

Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CARMEL SELF STORAGE INVESTMENTS LLC (PLN210306)

RESOLUTION NO. 24 -

Resolution by the County of Monterey

Planning Commission:

- 1) Adopting a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
- 2) Approving a Combined Development Permit consisting of:
 - a) Use Permit for a 71,540 square foot two-story self-storage facility with an office and bathroom (5 buildings);
 - b) Administrative Permit and Design Approval for development in the Site Plan Review and Design Control district overlays; and
 - c) Use Permit to allow development within 200 feet of the Carmel River floodplain; project includes the removal of one oak tree; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

The property is located at the terminus of Center Street near the Berwick Drive intersection, Carmel Valley, Carmel Valley Master Plan. (APN 169-131-024-000).

The CARMEL SELF STORAGE INVESTMENTS LLC application (PLN210306) came on for a public hearing before the County of Monterey Planning Commission on October 30, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) The project as conditioned and mitigated is consistent with the policies of the
 - 2010 County of Monterey General Plan;
 - Carmel Valley Master Plan (CVMP); and

- County of Monterey Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. No conflicts were found to exist; communications received during review of the project but did not alter this conclusion.
- b) The project involves the construction of 5 two-story buildings with total floor area of 71,540 square feet which will serve as a self-storage facility with an office and bathroom. The project requires removal of one oak tree, and associated drainage, wastewater, driveway, landscaping and fencing improvements.
- c) The property is located at the terminus of Center Street near the Berwick Drive intersection, Carmel Valley, Carmel Valley Master Plan (APN 169-131-024-000), which is zoned Heavy Commercial (HC). HC zoning allows construction of a mini-warehouse storage facility of more than five thousand square feet with the granting of a Use Permit, Site Review and Design Approval (Title 21 Section 21.20.060.C). Therefore, as proposed, the project involves allowed land uses for this site. Development within 200 feet of the Carmel River floodplain is allowed subject to the granting of a Use Permit. Associated removal of one oak tree can be granted by the Chief of Planning and is included in this Combined Development Permit.
- d) During the review of the project, potential inconsistency with tribal cultural resources protections under State law were reviewed and mitigated sufficiently through the California Environmental Quality Act (CEQA) environmental document; regulations of the applicable Monterey County Code (Title 21, Title 16) were applied to grant entitlements with conditions and mitigations applied.
- e) Land Use Element of the 2010 General Plan. The project's ability to conform with 2010 General Plan policies were analyzed during review of the application and part of the CEQA environmental document. Key policies from Land Use Element that relate to the Project are Policy LU-1.9, infill development shall be compatible with surrounding land use and development, and Policy LU-1.13, which controls exterior lighting and off-site glare. The parcel is one of the last lots open for development within the Berwick Manor subdivision. Onsite lighting is proposed in the application plans, control of exterior glare is achieved through the height and design of the fixtures. Standard condition of approval for review and approval of a final exterior lighting plan has been incorporated to ensure consistency (Condition No. 27). A commercial land use policy that relates to the Project is Policy LU-4.3, Commercial uses shall be developed in a compact manner. Consistency is demonstrated by the design presented in the attached Project plans.
- f) Lot Legality. The lot has been confirmed legal as it is identified as Parcel A-1 as shown in the Roy Kaminske Parcel Map recorded February 18, 2004 and displayed on Volume 21 Par page 104.
- g) Development Standards. Development standards for the HC zoning district are identified in Title 21 Section 21.20.070. The maximum building site coverage in the zoning district is 50 percent. The lot area is 2.08 acres, or 90,649 square feet and the proposed development has a total building site coverage of 42.7 percent. Setbacks in this HC district are set by the surrounding land use, provision of adequate

parking and landscaping, and other site design features. The parcel fronts Carmel Valley Road and requires a 100 foot setback pursuant to CVMP Policy CV-3.1. The project includes 100 feet (front), 5 feet (rear), and 27 feet on the entry side and 3 feet on the other side, a property line shared with a mini-warehouse storage facility's fence and windowless wall. The Project has a height of 35 feet above average natural grade which is the maximum allowed height in this zoning district and CVMP Policy CV-1.21. The setbacks are found to be adequate for the site and the project conforms to applicable development standards regarding building site coverage, setbacks, and height.

- h) Sign. The project will have one sign located on Building A consisting of approximately 35 square feet of surface area. The proposed sign shall be consistent with the regulations of Title 21 Section 21.60.110 in that it shall not be affixed so that it is visible above the roof line of the buildings, street corner and driveway visibility is not infringed upon, and the aggregate 35 square feet of signage maximum is met. A sign design was not included in the PLN210306 project application plan set, however, so the related permit for a sign is not included in these entitlements and a separate Design Approval will be required.
- i) Process. The project was originally scheduled for the September 26, 2024 Zoning Administrator hearing. After review of several public comment letters regarding potential conflicts with goals and policies of the General Plan and CVMP and an existing access easement, the Zoning Administrator referred the project to the Planning Commission.
- j) Site Plan Review. The property is subject to the Site Plan Review or "S" overlay zoning district, which is intended to provide regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. In addition, CVMP Policy 1.20 provides guidelines for site plan review which include minimizing grading, modification of landforms and erosion. As demonstrated in the evidence below and Findings 2, 3, 4, 5 and supporting evidence, the development complies with the purpose of the S District.
- k) CVMP – Land Use. The project site is an infill lot within in the mid-valley community area and the project includes commercial development. CVMP CV-1.14 states that service centers should be limited to urbanized areas, such as the mid-Valley area, and sites should have low visibility, safe and unobtrusive access away from pedestrian traffic areas, low noise impact on surrounding uses, and the development conforms with other CVMP requirements. As demonstrated in the findings and evidence contained in this resolution, the project is consistent with this policy as Although the project includes two-story buildings, the lot shape tapers drastically as it approaches Carmel Valley Road and potential development visibility is reduced through the 100 foot setback from Carmel Valley Road and installation of landscape screening. The entrance to the site is safe at the terminus of Center Street and does not interfere with areas planned for pedestrian traffic (such as the mid-valley shopping center).

- l) Access. Site plan review included the review of an existing access and parking easement on the subject lot. As demonstrated in Finding 2, Evidence “F”, the project does not conflict an existing access easement serving the neighboring lot (APN 169-131-025-000).
- m) Biological Resources. Due to the proximity of the riparian corridor and the possibility of special status species within the vacant parcel’s meadow, a Biological Report was prepared for the project by Jami Colley, Denise Duffy & Associates (November 2023, HCD Library Document No. LIB220332). The Biological Report concluded that the proposed building envelope is situated in a previously disturbed and impacted clearing that is dominated by non-native annual grasses, broadleaf weeds and native shrubs. Furthermore, it determined that the construction phase of the project would not impact riparian woodland habitat or the lower lying floodplain area to the west and northwest of the proposed property development site. Results of a presence/absence survey for protected and special status species or habitats was negative. In the interest of protecting and minimizing impacts to habitat and biological resources, as well as protecting the ecological values and character of the property, the biologist recommended pre-construction surveys, resource protection and preservation measures and best management practices (BMP’s) to be implemented. These Mitigation Measures were found acceptable by the applicant and are incorporated into the project as Condition of Approval Nos. 8 through 12. Also see Finding 3, Evidence “b” and Finding 5 and supporting evidence.
- n) Cultural Resources. Phase I and Phase II archaeological assessments were completed for this property (Rubén G. Mendoza, Archives and Archaeology, July 28, 2022, HCD Library Document No. LIB220331 and Susan Morley and Brenna Wheelis, Achasta Archaeological Services in December 2023, HCD Library Document No. LIB240116. No evidence of historic or prehistoric cultural resources was observed within the soils of the parcel. As a precaution, however, due to the known tribal cultural resources discovered nearby, monitoring of ground disturbance by a qualified archaeologist and Tribal Cultural Monitor is required (Condition No. 26).
- o) Landscaping. Consistent with CVMP Policy CV-1.21, a draft Landscape Plan was included in the application. Parking areas shall be screened with exclusive use of native plants or compatible plant materials, and larger trees are proposed for the side of the development closest to Carmel Valley Road. The site development includes proposed landscaping on 16,175 square feet of the parcel, as shown in the attached plans on Sheets L-2.0 and 2.1. A standard condition requiring review and approval of a final landscape plan is incorporated (Condition No. 3).
- p) Design. Pursuant to CVMP Policy 1.20 and Title 21 Chapter 21.44, the proposed project parcels and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures so they are consistent with neighborhood character. Supplemental guidance in Policy CV-1.20 includes: visual compatibility with the character of the valley and immediate

surrounding areas, use of materials and colors compatible with the structural system of the building and with the appearance of the building's natural and man-made surroundings; retaining appropriate scale through controlling height and bulk in order to retain an appropriate scale, and minimizing disruption of views from existing homes. The development assures visual continuity and meets Design Control standards consistent with Policy CV-1.20. The exterior colors and materials that are consistent with the urbanized Carmel Village setting. The project is consistent with the size and scale of surrounding development, and the proposed bulk and mass would not contrast with the neighborhood character. Views from the housing in Berwick Manor subdivision already takes in the peaked rooves of a two-story self storage facility on the adjacent parcels to the east (entrance off of Robinson Canyon Road), several two-story professional buildings on Berwick Drive, and the two-story structures within the mid-valley shopping center. The dwellings and professional buildings in the project vicinity have a variety of architectural styles. Also see subsequent Evidence "q" and "r".

- q) 2010 General Plan – Visual Resources. Development in designated visually sensitive areas shall be subordinate to the natural features of the area, pursuant to 2010 General Plan Policy OS-1.9, Development that protects and enhances the County's scenic qualities shall be encouraged and Policy OS-1.12, the significant disruption of views from designated scenic routes shall be mitigated through use of appropriate materials, scale, lighting and siting of development. Consistency is demonstrated by the design presented in the project plans. Trees will be planted to screen the bulk of the development, as demonstrated in Evidence "o" above, and the colors and materials are muted.
- r) CVMP – Visual Resources. The project's effect upon visual resources conforms with the spirit of the CVMP expressed by Policy CV-1.1, which recommends development preserve the rural character of Carmel Valley and follow a rural architectural theme with design review. The proposed development includes a façade design with a rural architectural theme (barn). As demonstrated in subsequent Evidence "x", recommended changes from the LUAC were made to the façade design and colors. The mini-warehouse storage structures and office are two-story but the façade toward Carmel Valley Road and Center Street have been redesigned to include fenestrations which break up blockiness, and the exterior colors and materials include the following: matte gray Galvaline metal roof, dark and medium gray metal panel body, dark gray concrete CMU material, white window frames, trellis and vents, and black semi-transparent fence. The project conforms with CVMP Policy CV-1.8 as the design protects natural resources with mitigation measures (see Finding 5 and supporting evidence) and siting provides a voluntary naturally preserved area. Further, the development is sited adjacent to vertical forms as it is next door to a two-story commercial facility and other vertical forms. The project is proposed on a 2.08-acre lot that is currently vacant and has non-native grassland. Given the size and shape of the lot and the hardscape development to the east and west of it, this would not normally be considered "open grassland." Even so, the project is consistent with CVMP Policy CV-

1.9, as development is located near existing natural or man-made vertical features. Pursuant to CVMP Policy CV-3.2, public vista areas shall be provided and improved along Carmel Valley Road. The project site is located on the side of Carmel Valley Road at the shortest property line (30 feet wide). When travelling at normal speeds on Carmel Valley Road, the project would flash by for approximately 1 second. There is no sidewalk on the frontage of the property, and adjacent properties along Carmel Valley Road are built out with similar commercial development. Therefore, as proposed, the project would not obstruct public views of the hills and vistas as seen from Carmel Valley Road. Pursuant to CVMP Policy CV-3.3, views of the river and the hills as seen from key public viewing areas are not disturbed. There is no view of the river or the hills from a public vista point that would cross the subject parcel. If there were, it would be partially blocked by all the other development in the mid valley shopping center and the immediate vicinity.

- s) Tree removal. The subject property contains several trees and the project includes the removal of one oak tree (17 inches in diameter), which is avoidable due to its location. Pursuant to Title 21 Section 21.64.260.D.2, said removal does not require a Use Permit. In accordance with Title 21 Section 21.64.260.D.4, the project has been conditioned requiring replacement planting at a one to one ratio (Condition No. 15). However, draft Landscape Plan (sheet L-1 of the attached Plans) includes planting of three coast live oak trees.
- t) Proximity to the Carmel River. The development is located within 200 feet of the Carmel River, which requires a Use Permit pursuant to Title 21 Chapter 21.64.130. As demonstrated in Finding 3 and supporting evidence, the project is found to comply with the applicable policies and regulations contained in the CVMP and Title 21 to allow development within 200 feet of the Carmel River floodplain. Also see Finding 5 and supporting evidence.
- u) Limited Development on Slopes. The project is consistent with General Plan Policy OS-3.5 and CVMP Policies CV-3.4 and CV-3.22. Policy OS-3.5 allows an exception to the Use Permit requirement for development on slopes in excess of 25% if the development does not exceed 10% or 500 square feet of the total development footprint, whichever is less. The project qualifies for this exception as development is limited to approximately 340 square feet on slopes in excess of 25%. Development on slopes have been minimized through siting of buildings on flat areas to the greatest extent possible, while maintaining a 100 foot setback from Carmel Valley Road, and disturbed areas shall be revegetated pursuant to Monterey County Code Chapter 16.12.
- v) Cultural Resources. County records identify that the project site is within an area of high sensitivity for cultural resources. In accordance with General Plan Policy OS-6.1 and Title 21 section 21.66.050, a Phase I (Rubén G. Mendoza, Archives and Archaeology, July 28, 2022, HCD Library Document No. LIB220331) and Phase II (Susan Morley and Brenna Wheelis, Achasta Archaeological Services in December 2023, HCD Library Document No. LIB240116) archaeological reports were prepared. No tribal cultural resources

were identified on the subject site. However, as demonstrated in Finding 5, Evidence “k”, the project would have the potential to impact cultural and/or tribal cultural resources if said resources were accidentally uncovered during construction. As such, three mitigation measures have been incorporated to reduce impacts to a less than significant level.

- w) **Fire Hazards.** The subject property is in a State Responsibility Area and is classified as a Very High Fire Hazard Severity Zone. By design, the project minimizes potential to increase fire hazard with the use of flame resistant materials for construction and strict rules pertaining to storage of hazardous materials in project operations. As demonstrated in Finding 4, Evidence “c”, remaining fire hazards will be addressed through incorporation of safety measures as part of the construction permit process.
- x) **Land Use Advisory Committee (LUAC) Review.** The Carmel Valley LUAC reviewed the project at their May 1, 2023 meeting. Members of the public in attendance expressed concerns relative to visual incompatibility with the rural character, size and bulk, proximity to residences, exterior lighting, traffic, and vehicular and pedestrian access. The LUAC has similar concerns but supported the project in a unanimous vote (5 yes, 0 no, 1 absent) with the following recommended changes: plant oak trees on the south boundary of the property, adjust the design to be in keeping with a rural character and retain an informal trail traversing the property. The applicant was present and agreed to consider the recommendations. Responsive updates to exterior colors, façade design, and the landscaping plan were made and are shown in the current plans. However, formalizing the trail was found not to be prudent given the steep slope and ESHA at the rear of the property. In addition, there is an existing pedestrian trail easement on the rear property line of an adjacent parcel, APN 169-131-025-000, along the Carmel River.
- y) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN210306.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and the Monterey County Regional Fire District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable plans, and that the subject property is suitable for the proposed development.
 - b) The following technical reports have been prepared:
 - “Soil Engineering Investigation & Percolation Testing report for Carmel Valley Self Storage APN 169-131-024-000 End of Center Street, Monterey County, California,” August 12, 2022, (HCD Library Document No. LIB220335) Brian Papurello, Landset Engineers, Inc, Salinas, California;

- “Phase 1 Inventory of Archaeological Resources for 0 Center Street, Carmel Valley, CA 93923 (APN: 169-131-024-000)” July 28, 2022, (HCD Library Document No. LIB220331), Rubén G. Mendoza, Archives and Archaeology, Salinas, California;
 - “Phase II Archaeological Assessment in Support of the 0 Center Street Drive Project, Mid Carmel Valley, Monterey County, CA (APN 169-231-004-000)” December 2023, (HCD Library Document No. LIB240116), Susan Morley and Breanna Wheelis, Achasta Archaeological Services, Marina, California;
 - “Center Street Self Storage Project Carmel Valley, California Biological Resources Report” November 2023. (HCD Library Document No. LIB220332), Jami Colley, Denise Duffy & Associates, Monterey, California;
 - “Center Street Self-Storage Facility Traffic Assessment,” July 25, 2022 and revised on January 30, 2023, (HCD Library Doc. No. LIB220334), David Mizell, Rick Engineering Company, San Luis Obispo, California
 - “Center Street Self-Storage Facility Vehicle Miles Traveled (VMT) Assessment, Carmel Valley, California,” January 30, 2023. (HCD-Planning Library Document No. LIB230088), David Mizell, Rick Engineering Company, San Luis Obispo, California
- c) County staff reviewed these reports independently and concurs with their conclusions. There are no physical or environmental constraints that are presented in these reports for this project that the recommended mitigations cannot effectively and sufficiently reduce. The property is suitable for the use proposed.
- d) Stormwater on the site currently percolates into the soil and drains to the Carmel River. The proposed project would introduce 70, 775 square feet of impervious surfaces to the site which would alter drainage. However, the project includes stormwater swales along the western project boundary, north of Center Street, and a 2,915 square foot stormwater bio-filtration basin and catch basin along the northern boundary, south of Carmel Valley Road. These facilities would be monitored for compliance with Central Coast Regional Water Quality Control Board requirements. The project is designed with stormwater controls that retain up to 95th percentile of 24-hour flood waters within the parcel. Condition No. 8 through 12 ensure adherence with these regulations as part of construction permitting and the operations phase of the project.
- e) Adequate road and transportation facilities exist for the use. The property is located on Center Street, a tertiary road, which is the main access road to the site. Transportation and Traffic impacts were further analyzed in the project Initial Study. Per the Traffic Study prepared for the project (Rick Engineering Company, July 25, 2022, HCD Library Doc. No. LIB220334), the two study intersections: Carmel Valley Road/Dorris Drive and Carmel Valley Road / Berwick Drive, operate between Level of Service A and C during peak hours with the proposed project with no operational deficiencies identified. Because the Initial Study found no significant impacts to traffic or transportation and the less-than-significant impacts are mitigated through the payment of County traffic fees, no mitigation measures

were applied. The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-410, adopted September 12, 1995 (Fees are updated annually based on CCI). The applicant is also required to pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The County's Carmel Valley Traffic Impact Fee and RDIF fees have been applied as Condition Nos. 6 and 7, respectively.

- f) The subject property contains a 60 foot driveway and utility easement at the southwest corner of the parcel. In 2022, a Parking and Drive Easement and Maintenance Agreement was executed and recorded (Document No. 2022048093) between the owner of the subject parcel and the neighboring parcel (APN 169-131-025-000) giving the owner of the subject property the exclusive right to access and park vehicles on a certain portion of the 60 foot easement. The parking for the office is located within the parking easement area. There is sufficient access allowed for the owner of the neighboring parcel to drive into APN 169-131-025-000. This includes capacity for the minimum width required for construction of an access road pursuant to Q102.2 of the County Fire Code, specifically two 10-foot-wide traffic lanes with an unobstructed vertical clearance of not less than fifteen feet, which are the dimensions of an access road.
- g) The project planner reviewed submitted plans and conducted a site visit on February 27, 2024, to verify that the project conforms to the plans listed above and that the project area is suitable for this use.
- h) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN210306.

3. **FINDING:** **CARMEL RIVER/VALLEY FLOODWAY FRINGE** - The project complies with the applicable policies and regulations found in the Carmel Valley Master Plan (CVMP) and Title 21 to allow development within 200 feet of the Carmel River floodplain.

- EVIDENCE:**
- a) CVMP Policy CV-3.8 establishes the goal to protect riparian vegetation, minimize erosion, and preserve the visual aspects of the Carmel River. As is shown in the Sheet C-3 of the Plans, the Carmel River is located less than 200 feet from the area planned for construction of the first building near the southern boundary of the parcel. Riparian habitat associated with the Carmel Valley floodplain occupies a corner of the subject parcel which is not proposed for development. Consistent with CVMP Policy CV-3.8, there will be no removal of indigenous vegetation and no grading within the 100-year floodway. Condition of Approval Nos. 8 and 9 require Best Management Practices (BMPs) for drainage and erosion control to be established prior to construction permitting.
 - b) Development near the Carmel River is also regulated through 2010 General Plan Conservation/Open Space Element policies. Policy OS-3.5 regulates activity on slopes to reduce impacts to water quality and biological resources, and Policy OS-5.3 requires development to be planned to provide for the conservation and maintenance of critical

habitat. Policy OS-5.4 requires development to avoid, minimize, and mitigate impacts to listed species and critical habitat to the extent feasible, including through dedications of permanent conservation easements, and Policy OS-5.24 requires discretionary projects to retain movement corridors of adequate size and habitat quality to allow for continued wildlife use based on the needs of the species occupying the habitat. The CEQA environmental document analyzed the impacts of the project on hydrology and biological resources. Development on and near the slope uphill from riparian habitat is controlled through adherence with the project-specific Geotechnical Report and several standard conditions of approval for onsite stormwater control and erosion BMPs (Condition Nos. 9 through 12). The applicant voluntarily set aside the 786 square feet of habitat in “preserve,” which shall be enlarged pursuant to a biologist’s recommendation for protection in conservation easement (Condition No. 28); the conservation easement shall restrict all structural development while allowing fire fuel management activity only during periods identified by the Biological Report to have no potential to impact protected species (“Center Street Self Storage Project Carmel Valley, California Biological Resources Report” by Jami Colley, Denise Duffy & Associates, November 2023, HCD Library Document No. LIB220332). Finally, avoidance measures including construction personnel training, pre-construction surveys, and fencing to exclude species with potential to be present during construction are applied (Condition Nos. 19 through 22). Through project siting and the application of these conditions and mitigation measures, the project is consistent with the 2010 General Plan Open Space and Conservation Element.

- c) Title 21 Section 21.64.130 establishes regulations and standards for which development within the Carmel Valley floodplain may be permitted. A Use Permit has been applied to this project pursuant to section 21.64.030.D.1 to allow construction of the commercial structures within 200 feet of the area that FEMA has estimated would be flooded during a 100-year flood event, or the “floodway fringe.”
- d) FEMA flood zone AE is present only where the plans represent “riparian habitat.” In that area, there is a 100-year flood risk. The site plans show that elevation as between 121 and 127.0 feet (NAVD88, MOCO). The proposed improvements would include final floor elevation of 138.50 at Building A. Therefore, all developments within 200 feet of the Carmel River are at least 10 feet above the 100-year flood level. Therefore, the project complies with MCC section 21.64.130.D.2. Data presented above informed the application review by HCD-Environmental Services staff and they did not recommend changes to design.
- e) Free groundwater was encountered at this site in a bore at the southerly portion of the parcel an approximate depth of 40 feet below grade during the site July, 2022 assessment for the project-specific Percolation Report. The EHB reviewed the OWTS and deemed its location acceptable in relation to the Carmel Valley floodplain (see also Finding 4).

- f) During application reviews, HCD-Environmental Services did not find the need to apply a condition of approval for FEMA to be notified and their maps updated if needed, as the project design, with stormwater and erosion controls applied, does not have the potential to alter the floodway or the river course. The applicant is aware of the potential impact of a 100 year flood on the conditions of the parcel, and, by agreeing to implement Condition of Approval No. 18, will indemnify and hold the County of Monterey harmless for approving a permit within 200 feet of the floodway.
- g) The biological report analyzed potential impacts to plants, habitats, and wildlife and concluded that the development will not adversely impact the long-term maintenance of the riparian habitat associated with the Carmel River as it will continue to serve its function for the riparian species to survive. Animals that are known to use the Carmel River as habitat include California Red-legged Frog (*Rana draytonii*; CRLF), and one reptile SSC, western pond turtle (*Emys marmorata*; WPT). No individuals were found on the subject parcel during the biologist's onsite survey. Areas of the parcel were found to provide suitable upland and dispersal habitat for CRLF and suitable upland nesting habitat for WPT. Therefore, the biologist recommended mitigation measures for avoidance. These were strengthened in the Initial Study/draft Mitigated Negative Declaration (IS/MND) through consultation with California Department of Fish and Wildlife (CDFW) and USFWS and made conditions of project approval which the applicant has agreed to perform. See Finding 5 and supporting evidence.
- h) The Carmel River is also habitat for nesting raptors and other protected avian species and the construction phase of the project has the potential to disturb these protected species. Therefore, the project has been conditioned requiring avoiding construction during the nesting season period or conducting a pre-construction site survey and installing protective fencing for "no-disturbance" buffer zones if avoidance is not feasible. The survey must be completed prior to removal of the oak tree that is anticipated as part of the project.
- i) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File No. PLN210306.

4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Monterey County Regional Fire District, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) The project site contains a domestic well which would provide potable water to the project site. In accordance with Title 15 Section 15.05.020(e), the project would not meet the definition of a domestic water system as it would serve fewer than 25 people for at least 60 days per year. A 72-hour source capacity test concluded that the onsite well did fully recover in accordance with the California Waterworks Standards, Section 64554(C). Based on these two facts, the County of Monterey Environmental Health Bureau (EHB) determined that the proposed water system would be sufficient to serve the project. Because the project will have only two water fixtures, including the toilet and sink for the manager's office and only minimal additional landscaping, water use will not exceed the limited water allowance that was established for the parcel upon its formation (MS96006 Conditions of Approval recorded as County of Monterey Document No. 2004014525).
- c) A septic system is proposed to serve the project's wastewater needs. The EHB reviewed the project application and found the draft design to meet the needs of the proposed uses. A Geotechnical Investigation was requested for this project; the report established the soil conditions are suitable for the proposed structures and Onsite Wastewater Treatment System, or OWTS (Brian Papurello, Landset Engineers, Inc., August 12, 2022, HCD Library Document No. LIB220335).
- d) In order to reduce exposure to people or structures to a significant risk of loss, injury or death involving wildland fires where residences are intermixed with wildlands, construction permits have requirements to ensure that individual property owners provide structural safeguards that would reduce the need for rapid response of fire resources. This will include but not be limited to the installation of fire sprinklers throughout every structure. To that end, the plans provided by the applicant for this development permit propose structural fire safety measures, including a metal roof and sprinklers. The well which is permitted as part of this Combined Development Permit has the primary purpose of fire suppression. Overall, the owners are aware of the fire danger on the property and will reduce the risk of loss, injury or death and reduce the need for rapid response of fire resources where and when it is preventable. Impacts related to wildfire were evaluated in the Initial Study and were found to be less than significant within the strict regulatory environment of Monterey County development services and, as the parcel is within the local responsibility area, following County Fire Codes for hazardous vegetation and fuel management regulations.
- e) Pursuant to 2010 General Plan Policy OS-5.22, Title 16 includes a Stream Setback Ordinance to establish minimum standards for the avoidance and setbacks for new development relative to streams. HCD-Environmental Services reviewed the subject development with the stream setback ordinance and found that the 60-foot minimum distance is met.
- f) Construction of the project would produce solid waste during construction. The project applicant would be required to recycle or salvage at least 50 percent of non-hazardous construction debris

pursuant to the California Green Building Standards Code. The anticipated amount of construction waste produced shall be two 40-yard containers of scrap metal, and four 10-yard containers of concrete debris, two 40-yard containers of miscellaneous construction debris. This amount of construction waste would not affect the permitted landfill capacity at either of the two active solid waste landfills, Johnson Canyon Sanitary Landfill, located at 31400 Johnson Canyon Road in Gonzales, and Monterey Peninsula Landfill, located at 14201 Del Monte Boulevard in Marina. Johnson Canyon Sanitary Landfill has an estimated six million cubic yards of remaining capacity until the year 2055. Monterey Peninsula Landfill has an estimated 48 million cubic yard of remaining capacity and is expected to reach full capacity in 2107. Operation of the project would not result in a substantial increase of solid waste production as customers of the self-storage would not be permitted to use dumpsters on site for solid waste. The only waste would be generated by the office and employees.

- g) The project driveway is accessed from the terminus of Center Street, a tertiary street which is two blocks south of and parallel to Carmel Valley Road, and the closest intersection is Berwick Drive. During project review, three neighbors expressed concern with impacts to their neighborhood due to new traffic onto Center Street due to the project. HCD-Engineering Services required a traffic report which analyzed the potential for the project to impact the nearby intersections. There was no negative impact anticipated and no physical improvement to the roads or intersections recommended. HCD-Engineering Services applied standard conditions of approval to the project such as frontage improvements (to connect to the sidewalk) and driveway improvements to ensure safe access (Condition Nos. 4 and 5). See also Finding 5, evidence “1.”
- h) The project was analyzed for potential noise impacts in the CEQA review and found to have less than significant noise impacts. This is mainly because the project would be required to comply with Monterey County Code Chapter 10, section 10.60.040, which limits “loud and unreasonable” sound during the hours of 9 p.m. to 7 a.m. Office hours would be 9 a.m. to 5 p.m. at least during working days (Monday through Friday) and gate hours would be 7 a.m. to 8 p.m. for 7 days a week. The project would not result in a substantial permanent increase in ambient noise. As described herein and in other findings and evidence, the project conforms with other related County codes.
- i) The project planner reviewed submitted plans and conducted a site visit on February 27, 2024, to verify that the project, as proposed and conditioned/mitigated, would not impact public health and safety.
- j) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN210306.

5. **FINDING:** **CEQA (Mitigated Negative Declaration)** - On the basis of the whole record before the County of Monterey Planning Commission, there is no substantial evidence that the proposed project as designed,

conditioned and mitigated, would have a significant effect on the environment. The Mitigated Negative Declaration (MND) reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the project may have a significant effect on the environment, and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) The County prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (HCD-Planning File No. PLN210306).
 - c) There is no substantial evidence, based upon the whole record, that the project may have a significant effect on the environment. The Initial Study identified a few potential significant effects. Based upon the analysis of the Initial Study, HCD-Planning prepared a draft MND. The applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.
 - d) The Initial Study and draft MND for HCD-Planning File No. PLN210306 was prepared in accordance with the CEQA Guidelines; filed with the County Clerk on June 21, 2024; and circulated for public review from June 21 through July 22, 2024 (State Clearinghouse No. 2024060941).
 - e) Pursuant to Public Resources Code Section 21080.3.1, HCD-Planning staff initiated consultation notification on August 10, 2023, with the Esselen Tribe of Monterey County, KaKoon Ta Ruk Band of Ohlone-Costanoan Indians and the Ohlone/Costanoan-Esselen Nation (OCEN). On August 23, 2023, the Esselen Tribe requested consultation and on September 28, 2023, OCEN requested consultation. The County consulted with OCEN and, separately, the Esselen Tribe, on several occasions starting on October 3, 2023 regarding the proposed project. Potential tribal cultural resources were identified through the consultations. Both tribal representatives had requests relating to the project, and mitigations relating to such resources are required (see subsequent Evidence “k”).
 - f) Resource areas that were analyzed in the Initial Study/draft MND included: aesthetics, agriculture and forest resources, air quality, biological resources, cultural resources, energy, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, mineral resources, noise, population and housing, public services, recreation, transportation, tribal cultural resources, utilities and service systems, and wildfire.
 - g) Evidence that has been received and considered includes: the application, technical studies/reports, staff reports that reflect the County’s independent judgment, and information and testimony presented during tribal cultural consultations, public meetings and public comment letters to the Zoning Administrator. These

documents are on file in HCD-Planning (HCD-Planning File No. PLN210306) and are hereby incorporated herein by reference.

- h) The County identified no impacts to agriculture and forest resources, cultural resources, mineral resources, population and housing, public services, recreation, transportation and traffic, or utilities and service systems.
- i) The County identified less than significant impacts to aesthetics, air quality, energy, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, transportation and wildfire. Mitigation measures will not be required for these resource areas because the regulatory environment for the project brings any potential impacts to a level of *less-than-significant*.
- j) The County identified potentially significant impacts to biological resources. Due to the nature of the potential impacts, staff consulted with CDFW and USFWS during the preparation of the Initial Study. The Initial Study and draft MND recommended five mitigation measures that, in concert, reduce the identified impacts to a level of *less-than-significant*. Mitigation Measures BIO-1 through BIO-5 (Condition Nos. 19 through 23) and Condition No. 30 would reduce the potentially significant impacts to California red-legged frog (CRLF) and Western pond turtle (WPT) as well as migratory and nesting birds due to construction activities through the implementation of best management practices and habitat protection fencing, preconstruction surveys in the case of CRLF and WPT and nest surveys prior to tree removals during nesting season, and avoidance measures. The actions include implementation of an employee education program administered by a qualified biologist. Furthermore, the measures include regular reporting to County HCD – Planning, as well as reporting to USFWS and CDFW if any CRLF or WPT are encountered. Mitigation for potential disturbance of the WPT habitat area is in the form of exclusionary fencing placed to preclude construction vehicles and personnel from impacting riparian habitat outside of work areas. A biological monitor shall supervise the installation and check it weekly during the construction phase. Mitigation is also in the form of preservation through the establishment of a scenic and conservation easement (SCE) around the known riparian area and a suitable buffer area (Condition No. 28). This mitigation also serves to mitigate impact to land use and planning. The mitigation measures will reduce the impacts to biological resources and land use and planning to a *less-than-significant* level.
- k) The County identified potentially significant impacts to cultural resources and tribal cultural resources. Due to the nature of the potential impacts, staff consulted with tribal cultural representatives during the preparation of the Initial Study. A Phase II archaeological report was prepared and reviewed by County and the tribal cultural representatives from two local tribes. As a result, the Initial Study and draft MND recommended two mitigation measures for potential impacts to cultural resources and one mitigation measure for potential impacts to tribal cultural resources that, in concert, reduce the

identified impacts to a level of less than significant. Mitigation Measures CR-1, CR-2, and TCR-1 (Condition Nos. 24 through 26) address the potentially significant impact to unknown archaeological resources that were have the potential to be disturbed through monitoring by a contracted archaeologist and a Tribal Cultural Monitor, as well as development of a site-specific Cultural Resources Discovery Response Plan in the event that resources are discovered.

- l) The County identified potentially significant impacts to traffic and transportation. Therefore, a Traffic Impact Analysis was required for the project. HCD engineers and Public Works reviewed the report and the current Institute of Transportation Engineers Trip Generation Manual. The existing volume of trips for the neighboring property which has an access easement on the subject property is 10 daily trips (single family dwelling). The proposed office operating 10 hours per day and renter visits would also generate 85 daily trips. The potential cumulative load of 95 trips to the terminus of Center Street was not found to create an issue which would require mitigation. The regulatory environment requires traffic related fees to be paid by the owner/applicant, including the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution No. 95-410, adopted September 12, 1995 (Condition No. 6) and the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90 (Condition No. 7). Impacts related to Traffic were found to be less than significant within the regulatory environment. After some additional consideration of the Project Traffic Reports, HCD-Engineering found that they would not use the VMT report that was submitted for the project, and instead utilized the traffic data that was included in a separate traffic study and analyze the impacts based on the Office of Planning and Research thresholds. They requested several edits be made to pages 26 and 65 through 68, after circulation. The edits did not alter the analysis conclusions.
- m) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and Reporting Plan has been prepared in accordance with Monterey County regulations which is designed to ensure compliance during project implementation and is hereby incorporated herein by reference. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and Reporting Plan as a condition of project approval (Condition No. 17).
- n) Analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the CDFW regulations. The project is subject to a State filing fee plus the County recording fee. Initial Study was sent to CDFW CEQA office for review and comment and no written comments were received. The applicant will pay the State fee but only the processing fee payable to the County of Monterey Clerk/Recorder for posting the Notice of Determination (Condition No. 29).
- o) County received comments on the Initial Study/draft Mitigated Negative Declaration during the public review period from Deborah

Castles of Anthony Lombardo and Associates (agent representing the project) expressing a number of edits to the public draft and a comment letter from staff at Monterey Bay Air Resources District (Exhibit E of the October 30, 2024, Planning Commission staff report). Most proposed edits were within the Biological Resources section and referred to an attached letter from the project biologist to the applicant recommending errata edits for clarification of reporting timing and survey types. Others were suggested corrections to typos. The agent also requested the County set a strict time period for the consulting archaeologist to conclude any assessment of the extent of the resources, should any be discovered during ground disturbance. County staff reviewed the comments received based on the specific circumstances of this project and determined that they do not alter the conclusions in the Initial Study, however staff found minor revisions to the draft IS/MND are necessary in response to the comments.

- p) The County finds that there is no substantial evidence supporting a fair argument of a significant environmental impact.
- q) The County of Monterey Planning Commission considered the MND, along with the Combined Development Permit, at a duly noticed public hearing held on September 26, 2024.
- r) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the MND is based.

6. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) County of Monterey HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.
 - b) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN210306.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the County of Monterey Board of Supervisors.

- EVIDENCE:**
- a) Pursuant to Title 21 Section 21.80.040.D, the Board of Supervisors is the appeal authority of discretionary decisions of the Planning Commission.
 - b) Board of Supervisors. Pursuant to CEQA Guidelines section 15074(f), when a non-elected decision-making body within a local lead agency adopts a negative declaration, that adoption may be appealed to the agency's elected decision-making body.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission of the County of Monterey does hereby:

- A. Adopt a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
- B. Approve a Combined Development Permit consisting of:
 - 1. Use Permit for a 71,540 square foot two-story self-storage facility with an office and bathroom (5 buildings);
 - 2. Administrative Permit and Design Approval for development in the Site Plan Review and Design Control district overlays; and
 - 3. Use Permit to allow development within 200 feet of the Carmel River floodplain; project includes the removal of one oak tree; and
- C. Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

All work must be in general conformance with the attached plans and this approval is subject to fourteen conditions (including eight mitigation measures), all being attached hereto and incorporated herein by reference;

PASSED and ADOPTED upon motion of Commissioner _____, seconded by Commissioner _____, and carried this day of October 30, 2024 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES:

- 1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210306

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:** This Combined Development permit (PLN210306) allows a) Use Permit for a 71,540 square foot two-story self-storage facility with an office and bathroom (5 buildings); b) Administrative Permit and Design Approval for development in the "S" and "D" districts; c) Use Permit to allow development within 200 feet of the Carmel River floodplain; project includes the removal of one Oak tree.

The property is located at the terminus of Center Street near the Berwick Drive intersection, Carmel Valley (Assessor's Parcel Number 169-131-024-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD- Planning)

**Compliance or
Monitoring
Action to be
Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 169-131-024-000 on October 30, 2024. The permit was granted subject to 31 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the HCD Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

4. PW0001 – FRONTAGE IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct curb, gutter, sidewalk, and paveout, together with required drainage facilities, along the frontage of Center Street. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

5. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection(s) to Center Street. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

6. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-410, adopted September 12, 1995 (Fees are updated annually based on CCI). The fee shall be based on the project's estimated average daily trip generation multiplied by the fee per trip for a single-family dwelling (residential unit). With the traffic impact fee for a residential unit of \$18,720, which is approximately equivalent to 10 average daily trips, the fee per trip is calculated as \$1,872 per daily trip.

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to HCD the required traffic mitigation fee.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. STORMWATER CONTROL REPORT & PLAN (PR2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Prior to issuance of the permit, the applicant shall submit a stormwater control report and a stormwater control plan, prepared by a registered professional engineer, addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The plan and report shall include the location of the structural Stormwater Control Measures, construction details and supporting calculations to address the Performance Requirements of the PCRs. The plan and report shall include a construction inspection (ie. PG, PE, and/or Special Inspector), a description of the required inspections, inspector name, and the completion date. The Plan and Report shall also include a completed Site Design and Runoff Reduction Checklist.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Stormwater Control Report, Stormwater Control Plan and shall submit certification from a licensed practitioner that they have reviewed and approved the stormwater control plan for conformance with their geotechnical recommendations.

9. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number certifying the project is covered under the California Construction General Permit. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including a WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

10. FIELD VERIFICATION OF POST-CONSTRUCTION STORMWATER CONTROL MEASURES (PR2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide verification from a registered professional engineer that the stormwater control facilities have been constructed in accordance with the approved stormwater control plan.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HVE Environmental Services for review and approval.

11. MAINTENANCE AGREEMENT (PR2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to the HCD Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to HCD Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to HCD Environmental Services.

12. OPERATION & MAINTENANCE PLAN (PR2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Operation & Maintenance Plan prepared by a registered Professional Engineer that includes at a minimum the following:
1) a site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed. 2) O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices. 3) O&M Plan shall include short and long term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HCD Environmental Services for review and approval.

13. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

14. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

15. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio:
- Replacement ratio recommended by arborist:
- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

16. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

17. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

18. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law .

Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

Owner/Applicant shall execute and cause to be notarized an agreement to this effect concurrent with the issuance of building permits, use of the property, filing of the final map, recordation of the certificates of compliance, or demand of the County Counsel's office, whichever occurs first and as applicable. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to Housing and Community Development – Planning for the County's review and signatures. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits , the Owner/Applicant shall submit such signed and notarized Indemnification Agreement to Housing and Community Development – Planning for the County's review and signatures.

Owner/Applicant shall execute and cause to be notarized an agreement to this effect concurrent with the issuance of building permits, use of the property, filing of the final map, recordation of the certificates of compliance, or demand of the County Counsel's office, whichever occurs first and as applicable.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the HCD and Office of County Counsel-Risk Management.

19. PDSP001: BIO-1 CALIFORNIA RED-LEGGED FROG SITE ASSESSMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure BIO-1. California Red-Legged Frog Site Assessment: California red-legged frog (*Rana draytonii*; CRLF) have the potential to occur within the project site. Grading and vegetation removal at the project site may result in direct mortality of individuals if present at the time of construction. Prior to construction activities, the project proponent shall retain a qualified biologist to prepare a site assessment in accordance with the Revised Guidance on Site Assessments and Field Surveys for the California Red-legged Frog (Source IX.10). The site assessment shall be submitted to the U.S. Fish and Wildlife Service (USFWS) for concurrence that based on the site assessment and the avoidance measures identified therein, the project is unlikely to result in take. If the USFWS does not concur, the project proponent shall obtain an Incidental Take Permit (ITP) from the USFWS. ITP requirements shall involve the preparation and implementation of a mitigation plan and mitigating impacted habitat at a ratio agreed upon by USFWS representatives through preservation, restoration, and/or purchase of credits at an authorized mitigation bank. The project applicant shall retain a qualified biologist to prepare a mitigation plan, which will include, but is not limited to, identifying avoidance and minimization measures, and identifying a mitigation strategy that includes a take assessment, avoidance and minimization measures, compensatory mitigation lands, success criteria, and funding assurances. The project applicant shall implement the approved plan and any additional ITP requirements.

Compliance or Monitoring Action to be Performed: Prior to construction permits from HCD - Building Services, the owner/applicant shall submit to HCD - Planning for review and approval a contract with a qualified biologist on the County's list of approved biological consultants for the required site assessments and field surveys for CRLF. The contract shall include a scope of work that includes the text of BIO-1. When the contract is reviewed and approved, and other mitigation actions and steps in conditions of approval required prior to construction permit issuance are met, HCD-Planning staff will remove hold on the issuance of construction permits from HCD - Building Services. If an ITP is required, the owner/applicant shall provide full documentation of the ITP from USFWS to HCD-Planning prior to construction permit issuance.

20. PDSP002: BIO-2 CALIFORNIA RED-LEGGED FROM EMPLOYEE EDUCATION, CONSTRUCTION MONITORING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure BIO-2. California Red-Legged Frog Employee Education and Construction Site Monitoring:

California red-legged frog (*Rana draytonii*; CRLF) have the potential to occur within the project site. Ignorance among employees on the construction crew could result in direct mortality of individuals if present at the time of construction. Therefore, prior to construction activities, the project proponent shall retain a qualified biologist to conduct an Employee Education Program for the construction crew. The biologist shall meet with the construction crew at the project site at the onset of construction to educate the construction crew on the following: a) a review of the project boundaries; b) all special status species that may be present, their habitat, and proper identification; c) the specific mitigation measures that will be incorporated into the construction effort; d) the general provisions and protections afforded by USFWS and/or CDFW; and e) the proper procedures if a special-status animal is encountered within the project site.

A qualified biologist shall survey the proposed project site and immediately adjacent areas 48 hours before and the morning of the onset of work activities for the presence of CRLF. If any life stage of CRLF is observed, construction activities shall not commence until the USFWS is consulted and appropriate actions are taken to allow project activities to continue. CRLF shall not be handled unless authorized by the USFWS.

During ground disturbing and vegetation removal activities, a qualified biologist shall survey appropriate areas of the construction site daily before the onset of work activities for the presence of CRLF. The qualified biologist shall remain available to come to the site if a CRLF is identified until all ground disturbing activities are completed. If any life stage of the CRLF is found and these individuals are likely to be killed or injured by work activities, the qualified biologist shall be contacted, and work shall stop in that area until the CRLF has moved on its own out of the work area and the USFWS has been contacted. Construction activities shall not resume until the USFWS is consulted and appropriate actions are taken to allow project activities to continue. CRLF shall not be handled unless authorized through an ITP by the USFWS.

After ground disturbing and vegetation removal activities are complete, or earlier if determined appropriate by the qualified biologist, the qualified biologist will designate a construction monitor to oversee on-site compliance with all avoidance and minimization measures. The qualified biologist shall ensure that this construction monitor receives sufficient training in the identification of CRLF. The construction biological monitor shall be the contact for any CRLF encounters, will conduct daily inspections of equipment and materials stored on site and any holes or trenches prior to the commencement of work, and shall ensure that all installed fencing stays in place throughout the construction period. The qualified biologist shall then conduct regular scheduled and unscheduled visits to ensure the construction biological monitor is satisfactorily implementing all appropriate mitigation protocols. The qualified biologist shall remain available to come to the site if a CRLF is identified until construction is completed. The qualified biologist and the construction monitor shall complete a daily log summarizing activities and environmental compliance throughout the duration of the proposed project. The construction monitor and the qualified biologist are authorized to stop work if the avoidance and/or minimization measures are not being followed. If work is stopped, the USFWS shall be notified. CRLF shall not be handled unless

authorized by the USFWS.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to the building final, the owner/applicant shall submit to HCD – Planning a letter from the qualified biologist demonstrating how the education program was implemented, and how it was successful. The letter shall include the full and final list of all construction staff who participated in the Employee Education Program.

Results of the habitat assessment conducted in accordance with the Revised Guidance for CRLF Site Assessment and Field Survey (USFWS, 2005) and the results of pre-construction surveys of the project site and immediately adjacent areas shall be submitted to HCD-Planning and other required agencies. If any life stage of CRLF is observed, construction activities will not commence until the USFWS is consulted and appropriate actions are taken to allow project activities to continue. Reports shall be submitted to HCD-Planning and USFWS in a timely manner.

During construction operations, the owner/applicant or the qualified biologist shall send the results of on-going CRLF surveys to HCD - Planning in a timely manner which is contingent on the rate of construction activity as determined by the construction timeline; results are expected at least as often as the end of every month of ground disturbing and vegetation removal activities. Full documentation shall be submitted to HCD – Planning prior to building final or commencement of use, whichever comes first.

21. PDSP003: BIO-3 CONSTRUCTION SITE PROTECTION FOR CRLF

Responsible Department: Planning

Condition/Mitigation Mitigation Measure BIO-3. Construction Site Protection for CRLF:

Monitoring Measure: Without the employment of best management practices (BMPs) during construction, the project has the potential to impact special-status wildlife species. Therefore, BMPs are required for the project.

1. To prevent inadvertent entrapment of CRLF during project construction, all excavated, steep-walled holes or trenches more than two feet deep shall be covered at the close of each working day with plywood or similar materials. Alternately, an earthen or wood ramp at no more than a 2:1 slope can be installed if it is not practicable to cover the excavation. Before such holes or trenches are filled, they shall be thoroughly inspected for trapped animals.

2. Only tightly woven fiber netting or similar material shall be used for erosion control at the project site. Coconut coir matting is an acceptable erosion control material. No plastic mono-filament matting shall be used for erosion control, as this material may ensnare wildlife, including CRLF.

3. Because dusk and dawn are often the times when CRLF are most actively foraging and dispersing, all construction activities should cease one half hour before sunset and should not begin prior to one half hour after sunrise.

4. All trash that may attract predators shall be properly contained, removed from the construction site, and disposed of regularly. Following construction, all trash and construction debris shall be removed from work areas.

Compliance or Monitoring Action to be Performed: During construction operations, the owner/applicant shall ensure that the construction crew adhere with BMPs 1 through 4. The construction manager, onsite biologist, or designated monitor shall conduct a site inspection at the end of every workday and note results in a daily log to ensure conformance with the BMPs 1 through 4. The owner/applicant shall cause a copy of the daily logs to be submitted to HCD – Planning in a timely manner which is contingent on the rate of construction activity as determined by the construction timeline; results are expected at least as often as the end of every month. Full documentation shall be submitted to HCD – Planning prior to building final or commencement of use, whichever comes first.

22. PDSP004: BIO-4 WESTERN POND TURTLE SURVEY AND AVOIDANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Western pond turtle (*Emys marmorata*; WPT) have the potential to occur within the project site. Grading and vegetation removal at the project site may result in direct mortality of individuals if present at the time of construction. To avoid these potential impacts, a qualified biologist shall conduct a pre-construction survey for western pond turtles and their nests within the project site no more than three days prior to construction. If a western pond turtle nest is found, it shall be monitored and avoided until the eggs hatch. All western pond turtles or special status reptiles discovered within the project site immediately prior to or during project activities shall be allowed to move out of the area of their own volition. If this is not feasible, they shall be captured by a qualified biologist and relocated out of harm's way to the nearest suitable habitat at least 100 feet upstream or downstream from the project site where the individual was found. After ground disturbing and vegetation removal activities are complete, or earlier if determined appropriate by the qualified biologist, the qualified biologist will designate a construction monitor to oversee on-site compliance with all avoidance and minimization measures. The qualified biologist shall ensure that this construction monitor receives sufficient training in the identification of WPT. The construction biological monitor shall be the contact for any WPT encounters. The qualified biologist shall remain available to come to the site if a WPT is identified until construction is completed. If, at the time of construction, the WPT is federally protected as an endangered species, construction activities shall not resume until the USFWS is consulted and appropriate actions are taken to allow project activities to continue. In that case, WPT shall not be handled unless authorized through an ITP by the USFWS.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to construction permits from HCD - Building Services, the owner/applicant shall submit to HCD - Planning for review and approval a contract with a qualified biologist on the County's list of approved biological consultants for the required site assessments and field surveys for WPT. The contract shall include a scope of work that includes the text of BIO-4. When the contract is reviewed and approved, and other mitigation actions and steps in conditions of approval required prior to construction permit issuance are met, HCD-Planning staff will remove hold on the issuance of construction permits from HCD - Building Services. If an ITP is required, the owner/applicant shall provide full documentation of the ITP from USFWS to HCD-Planning prior to construction permit issuance.

Results of the pre-construction surveys of the project site and immediately adjacent areas shall be submitted to HCD-Planning and other required agencies. If any WPT or WPT nest is observed, construction activities will not commence until the appropriate actions are taken to allow project activities to continue. Reports shall be submitted to HCD-Planning and other required agencies in a timely manner. Reporting frequency is contingent on the rate of construction activity as determined by the construction timeline; results are expected at least as often as the end of every month of ground disturbing and vegetation removal activities. Full documentation shall be submitted to HCD - Planning prior to building final or commencement of use, whichever comes first.

The qualified biologist and the construction monitor shall submit a daily log summarizing activities and environmental compliance throughout the duration of the project to HCD - Planning. The construction monitor and the qualified biologist are authorized to stop work if the avoidance and/or minimization measures are not being followed. If work is stopped, they shall report to HCD - Planning and other required agencies. During construction operations, the owner/applicant or the qualified biologist shall send the results of the on-going WPT environmental compliance to HCD - Planning in a timely manner which is contingent on the rate of construction activity as determined by the construction timeline; results are expected at least as often as the end of every month of ground disturbing and vegetation removal activities. Full documentation shall be submitted to HCD - Planning prior to building final or commencement of use, whichever comes first.

23. PDSP005: BIO-5 RIPARIAN HABITAT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Construction could potentially result in damage or destruction of riparian habitat, which would result in a substantial adverse effect to a sensitive biological community. With this, the proposed project would not have a substantial adverse effect on a sensitive biological community. Prior to construction, exclusionary fencing shall be placed to preclude construction vehicles and personnel from impacting riparian habitat outside of work areas. A biological monitor shall supervise the installation of exclusionary fencing.

The following measures shall be confirmed weekly by the Biological Monitor or designated construction biological monitor:

- a) Inspect all the exclusionary fencing at least once per week until construction is complete to ensure that the protective exclusionary fencing remains intact and effective.
- b) Stationary equipment such as motors, generators, and welders located within 100 feet of riparian habitat shall be stored overnight at a designated staging area and shall be positioned over drip pans.
- c) Any hazardous or toxic materials deleterious to life that could be washed into adjacent sensitive habitats shall be contained in watertight containers.
- d) Refueling of equipment shall take place within designated staging areas or at least 100 feet from riparian habitats.
- e) All construction debris and associated materials stored in staging area shall be removed from the work site upon completion of the project.

Compliance or Monitoring Action to be Performed: The qualified biologist and the construction monitor shall submit a daily log summarizing activities and environmental compliance throughout the duration of the project to HCD – Planning. The construction monitor and the qualified biologist are authorized to stop work if the avoidance and/or minimization measures are not being followed. If work is stopped, they shall report to HCD – Planning and other required agencies. During construction operations, the owner/applicant or the qualified biologist shall send the results of the on-going riparian habitat environmental compliance to HCD - Planning in a timely manner which is contingent on the rate of construction activity as determined by the construction timeline; results are expected either at the end of every two weeks or at the end of every month of ground disturbing and vegetation removal activities. Full documentation shall be submitted to HCD – Planning prior to building final or commencement of use, whichever comes first.

24. PDSP006: CR - 1 EMPLOYEE EDUCATION ON CULTURAL RESOURCES

Responsible Department: Planning

Condition/Mitigation Mitigation Measure CR-1. Employee Education on Cultural Resources:

Monitoring Measure:

To reduce potential impacts to cultural resources that may be discovered during development of the site, a qualified archaeologist shall conduct a cultural resource awareness and response training for the construction field staffs that conduct any tree removal, major vegetation removal, grading or excavation activities. The training shall include a description of the kinds of cultural and tribal cultural resources that are found in the area, protocols to be used in the event of an unanticipated discovery, and the importance of cultural resources to the Native American community. The training shall occur within one month of the construction/tree removal activities. The training shall be provided to field staff personnel who commence employment after the initial training is concluded. After training, the archaeologist shall also monitor the site. The archaeological monitor shall be present during soil disturbance for all grading and excavation described in the Phase 2 report as having a potential to contain resources. (Neither excavations into hardpan and bedrock nor backfilling, off hauling of soils, nor processing of previously excavated soils shall require monitoring.) The archaeologist shall be authorized to stop work in the event resources are found.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to issuance of construction permits for grading or building, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified archaeological monitor. The contract shall include a pre-construction meeting agenda with specific construction activities that the monitor shall be present for, any construction activities where the archaeological monitor will not be present for, how sampling of the excavated soil will occur, and any other pertinent logistical information. The contract shall include provisions requiring the monitor be present during soil disturbance for all grading and excavation and authorizing the monitor to stop work in the event resources are found. The contract shall be submitted to HCD-Planning for review and approval.

Prior to the issuance of grading or building permits, the owner/applicant shall submit evidence that a qualified archaeologist conducted a cultural resource awareness and response training for construction personnel prior to the commencement of any grading or excavation activities.

25. PDSP007: CR-2 CULTURAL RESOURCES DISCOVERY RESPONSE PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure CR-2. Cultural Resources Discovery Response Plan:

The project has the potential to disturb human remains and other resources of archaeological value. The impact can be reduced to less-than-significant level by adherence to a “stop work” order with a location and resource-specific cultural resources discovery response. The construction plans shall include a note to halt work immediately within a 165-foot radius when any cultural, archaeological, historical, or paleontological resources are uncovered at the site. If the find is determined to be significant, work shall remain halted until proper mitigation measures for the discovery has been formulated and implemented, with the concurrence of HCD Planning and the archaeologist. In the event cultural resources are impacted during construction, work shall stop within a 165-foot radius of the find until the qualified archaeologist and Tribal Cultural Monitor has an opportunity to evaluate the find and provide treatment recommendations. If the resource is considered significant, ground disturbance shall be halted until a comprehensive Treatment Plan can be developed in coordination with the County, Tribal representatives, and Project proponent. In the event that human remains are encountered on site, ground disturbing activities on site shall immediately halt. The remains shall be covered with steel plates (where feasible) and the location shall be kept confidential among Project personnel to prevent vandalism and additional disturbance. The Monterey County Sheriff-Coroner shall be notified immediately, and no work shall resume in within a 150-ft radius of the find until a Most Likely Descendent (MLD) has be assigned to the Project by the Native American Heritage Commission and provided the Project proponent with treatment recommendations. Photographs of remains shall be strictly prohibited, unless requested by the coroner and permitted by the MLD.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits for grading or building, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified archaeological monitor. The contract shall include the specific logistic of when and how work on the site will be halted if any cultural resources are found.

Prior to the issuance of construction permits, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

The archaeologist shall immediately contact the project Planner who will visit the site in the event that resources are discovered. With input from the Tribal Cultural Monitor, the archaeologist shall determine the extent of the resources. The amount of time taken to prepare the determination shall be coordinated between the owner and the archaeologist through the Scope of Work in their contract. Within one week of the determination, the archaeologist shall submit a Cultural Resources Discovery Response Plan tailored to the specific legal requirements of the discovery to HCD – Planning, the Tribal Cultural representative(s), and the owner. If possible, human remains and accessory artifacts shall be respectfully reburied onsite.

Prior to building final, the owner/applicant shall submit to HCD-Planning a copy of the final report by the qualified archaeological monitor. The report shall include the specific times that the monitor worked on the site and any results of the monitoring. The report shall also be submitted to any required state agencies. If a larger report is required due to resource encounter, the report can be submitted within 6 months of building final.

26. PDSP008: TRC-1 TRIBAL CULTURAL MONITORING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tribal Cultural representatives expressed strong concern about development on the site and a Phase 2 archaeological report indicated that, although no resources were encountered during site investigations, there is still a high likelihood that tribal cultural resources could be uncovered during project construction. Prior to ground disturbing activities, the Project proponent shall retain the services of a Tribal Cultural Monitor with cultural and ancestral ties to the project area to monitor all ground disturbing activities, including but not limited to demolition, grading, trenching, augering, hand excavations, and landscaping activities. Excavations into hardpan and bedrock shall not require monitoring. Backfilling, off hauling of soils, and processing of previously excavated soils shall not require monitoring. Excavations shall be performed with equipment outfitted with flat blades. Upon completion of ground disturbance, the Tribal Cultural Monitor (TCM) will provide the project proponent and HCD-Planning a monitoring report documenting compliance with monitoring and reporting program.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits for grading or building, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified TCM. The contract shall include the specific construction activities that the TCM shall be present for and any construction activities where the TCM will not be present for. The contract shall be submitted to HCD-Planning for review and approval.

Prior to building final, the owner/applicant shall submit to HCD-Planning a copy of the final report by the TCM. The report shall include the specific times that the TCM worked on the site and any results of the monitoring. If a larger report is required due to resource encounter, the report can be submitted within 6 months of building final and the report shall also be submitted to any required state agencies.

27. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

28. PD022(A) - EASEMENT-CONSERVATION & SCENIC

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the County over those portions of the property where riparian habitat and a sufficient buffer around it exist(s). The easement shall be developed in consultation with certified professionals. The deed restriction shall restrict all structural development while allowing fire fuel management activity only during periods identified by the Biological Report to have no potential to impact protected species. (See "Center Street Self Storage Project Carmel Valley, California Biological Resources Report" by Jami Colley, Denise Duffy & Associates, November 2023, HCD Library Document No. LIB220332.) An easement deed shall be submitted to, reviewed and approved by, the Director of HCD - Planning and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to the issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recordation of the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to or concurrent with recording the parcel/final map, prior to the issuance of grading and building permits, or prior to the commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD - Planning.

29. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

30. PW0031 – BOUNDARY SURVEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the southeasterly and easterly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the southeasterly and easterly boundary line(s) of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

31. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

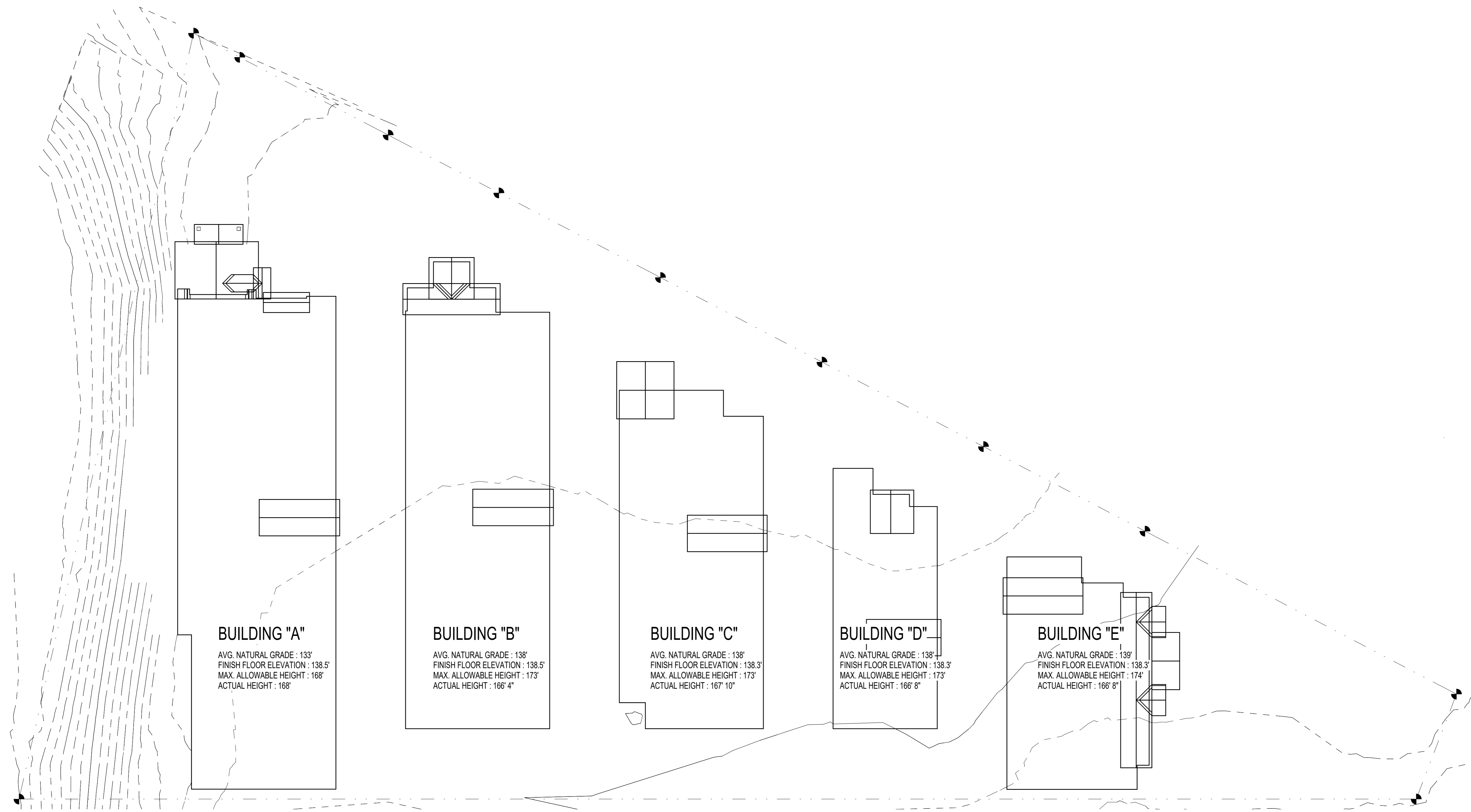
CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

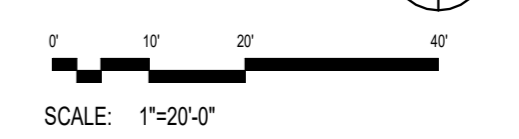
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

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HEIGHT ANALYSIS PLAN



GABRIEL-ARCHITECTS.COM

PASO ROBLES OFFICE 530 10TH STREET PASO ROBLES, CA 93446 805.238.9000
SANTA BARBARA OFFICE 923 OLIVE STREET, STE. 5 SANTA BARBARA, CA 93101 805.565.3800



CONSULTANT

CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
APN:169-131-024-000

PROJECT NUMBER
22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

DRAWN BY: TEG
CHECKED BY: LG

SHEET CONTENTS
HEIGHT ANALYSIS

SHEET NUMBER

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CONSULTANT

PROJECT

CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
 APN:169-131-024-000

PROJECT NUMBER
 22-500.02

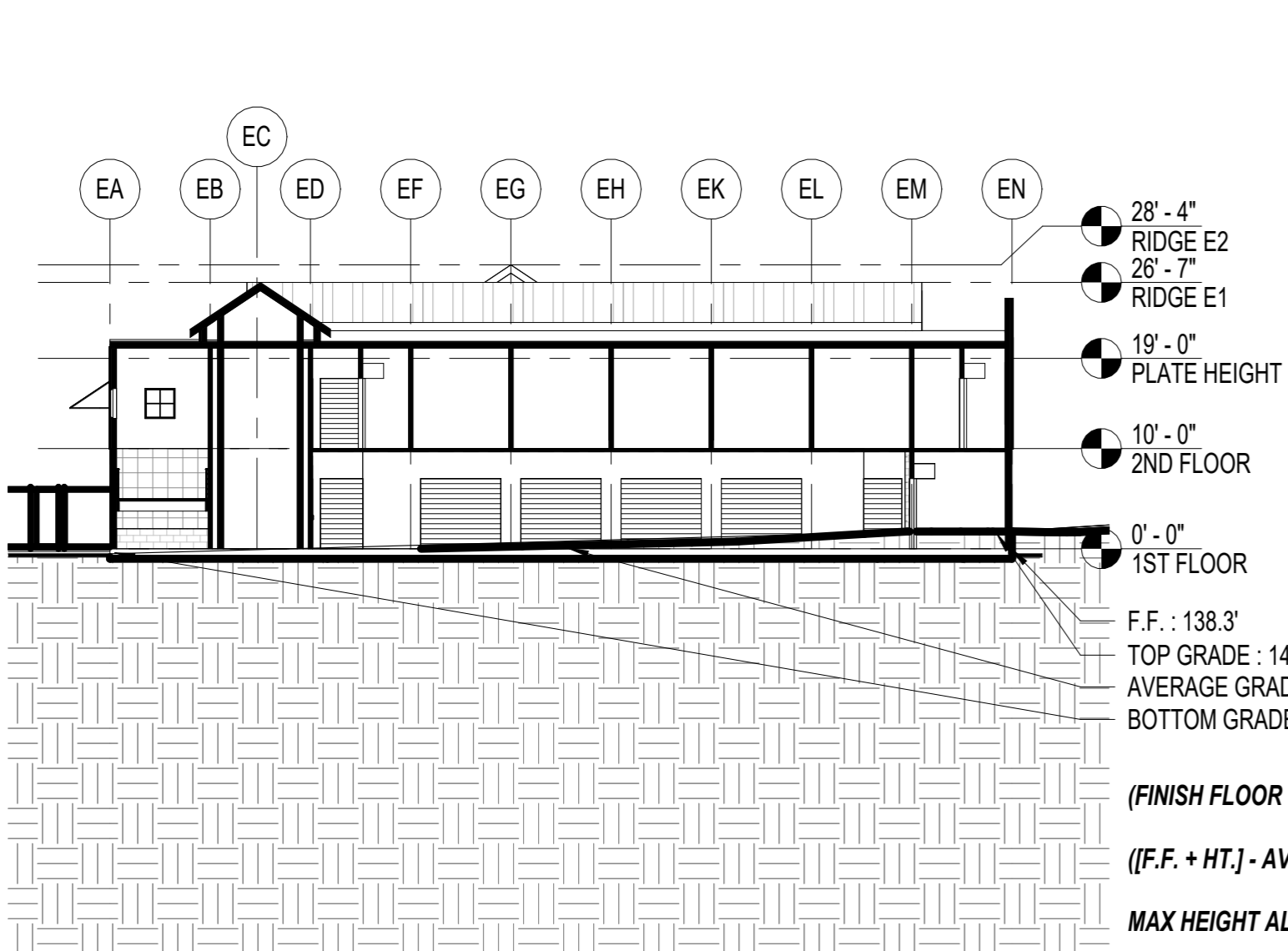
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2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

DRAWN BY: TEG
 CHECKED BY: LG

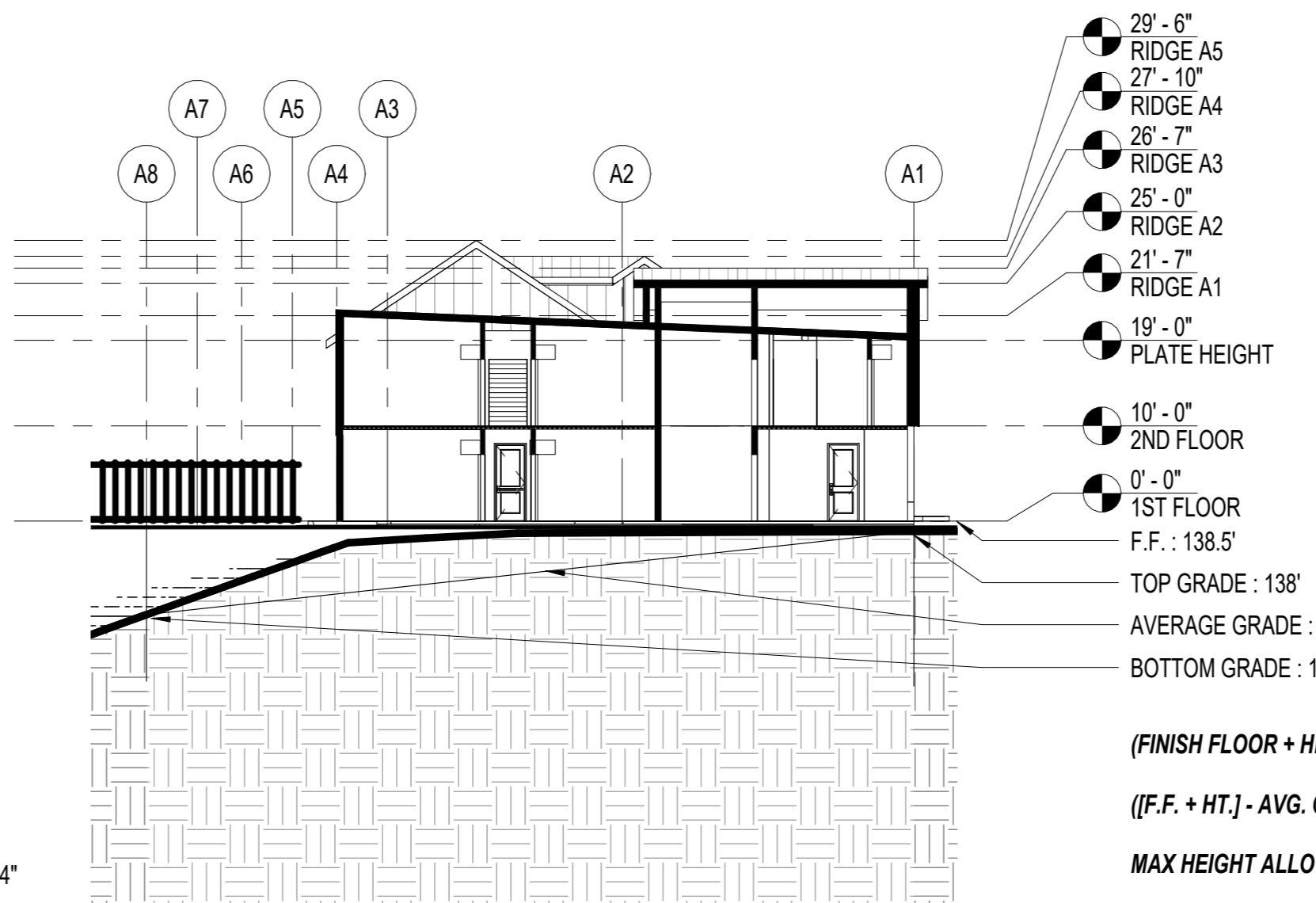
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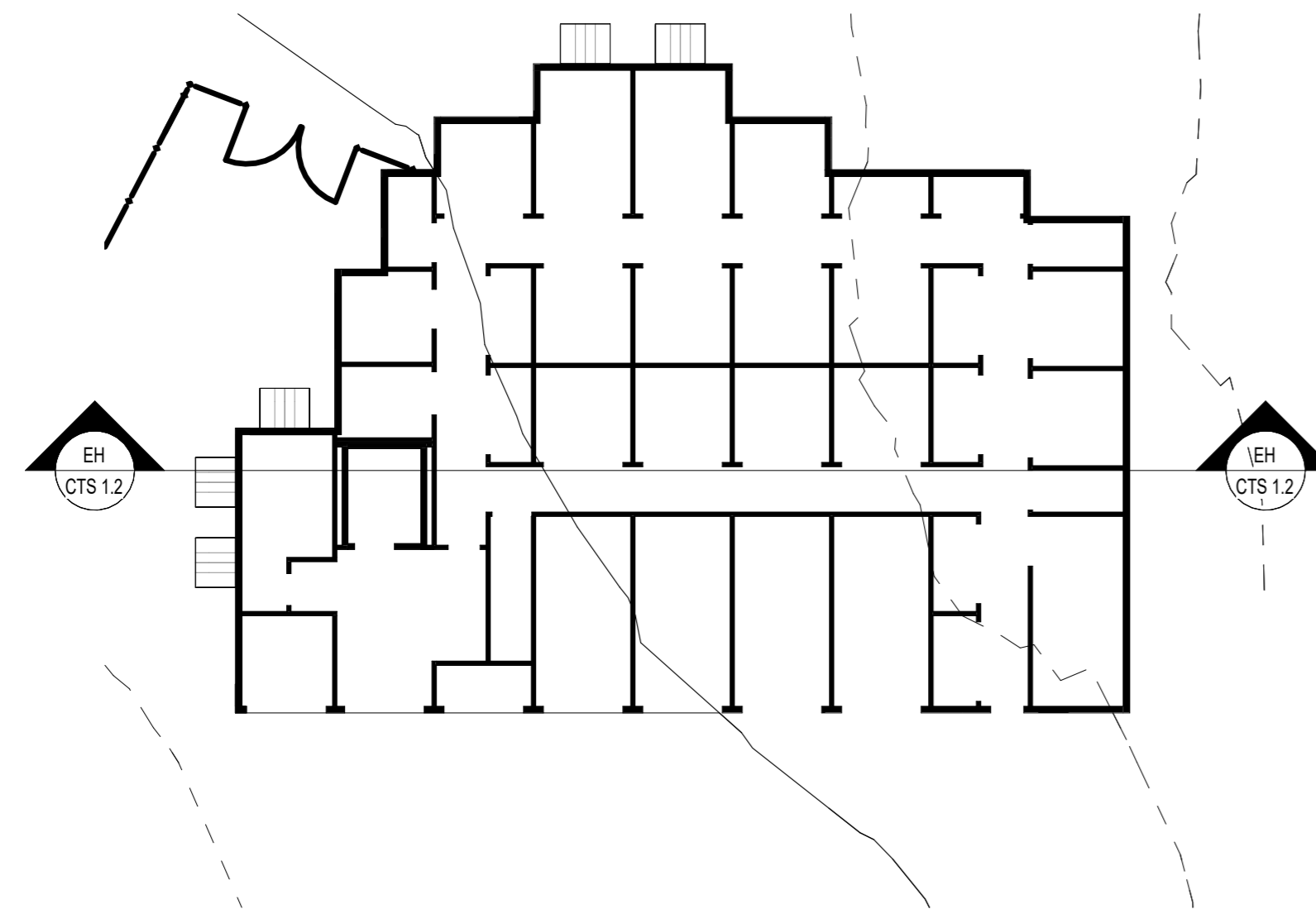
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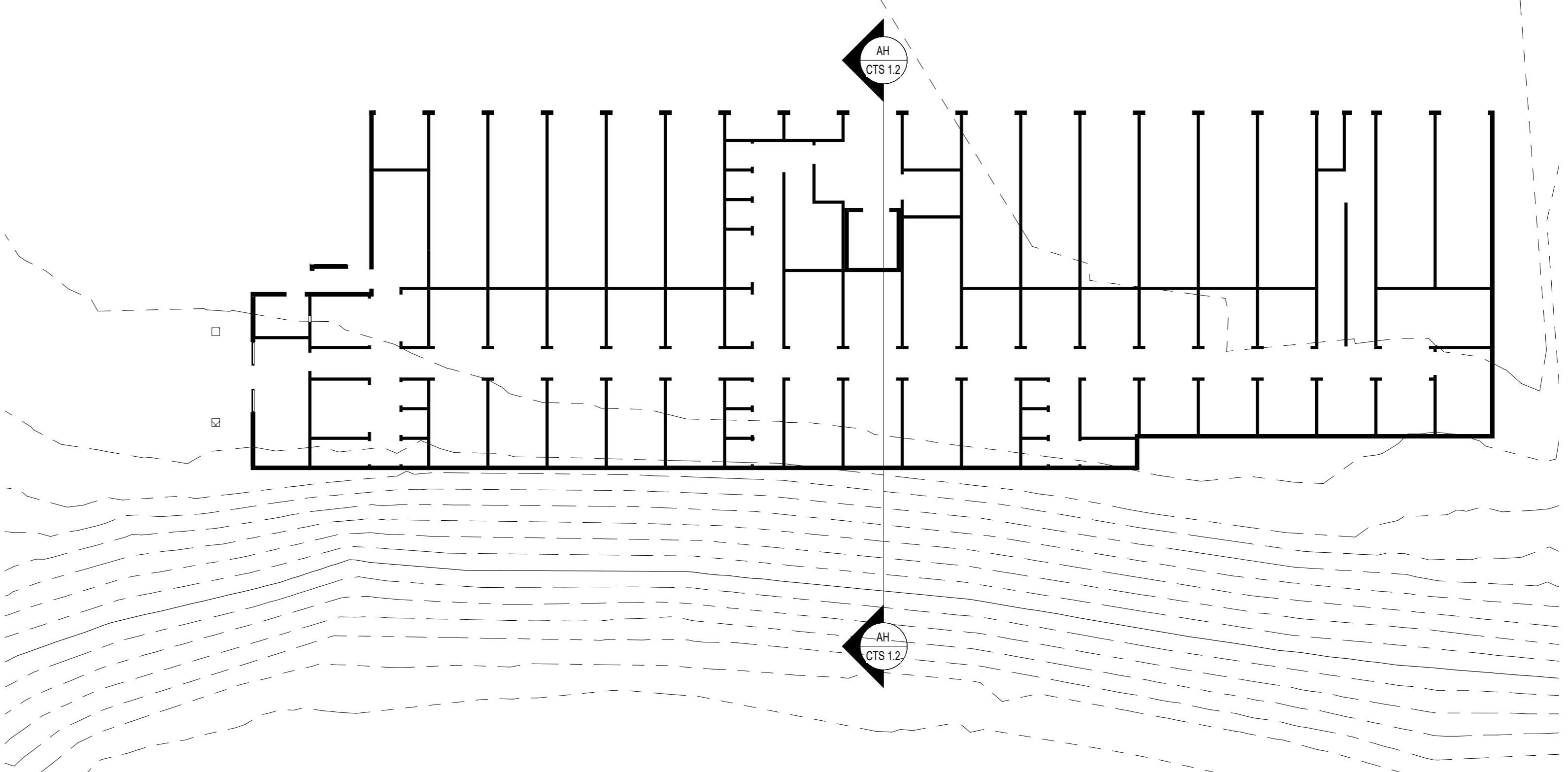
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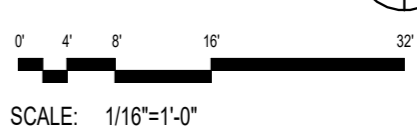
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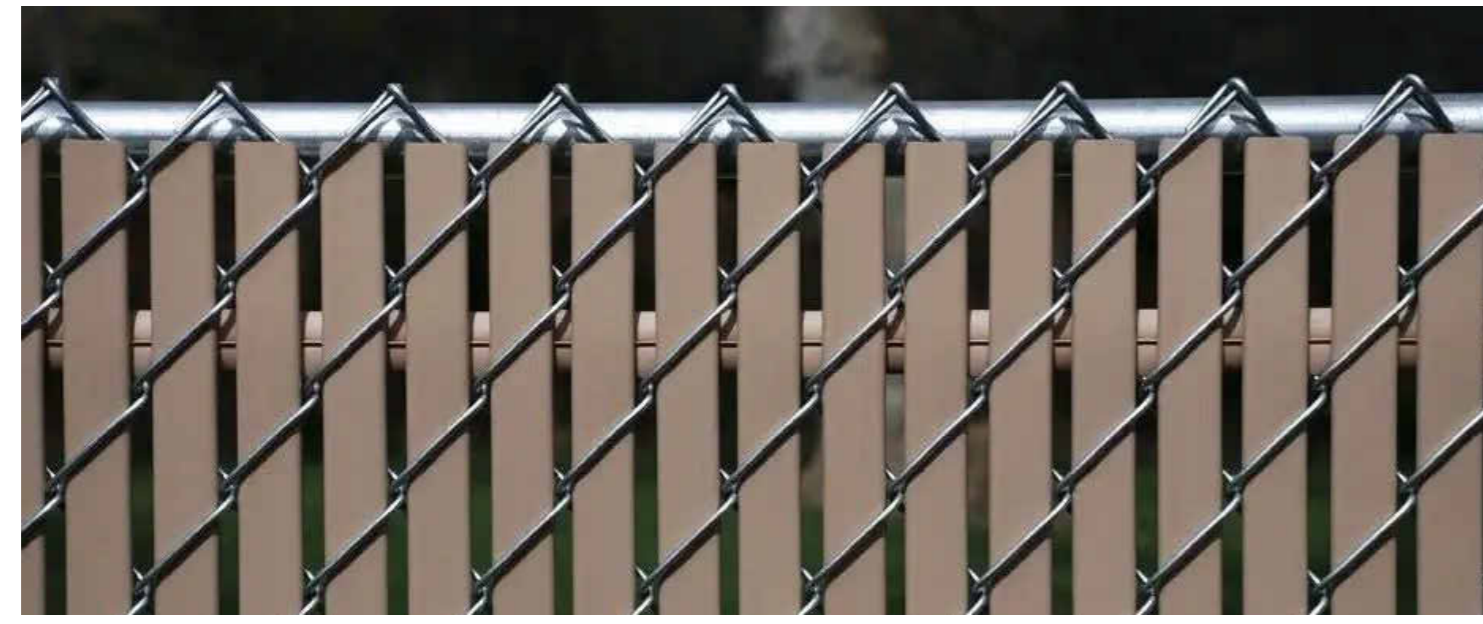
BUILDING E - HEIGHT ANALYSIS



BUILDING A - HEIGHT ANALYSIS



FENCE TYPES



FENCE 1 - CHAIN-LINK WITH SLATS



FENCE 2 - WROUGHT IRON



VICINITY MAP

STREET VIEWS



1 - VIEW FROM BERWICK DRIVE



2 - VIEW FROM CENTER STREET



3 - VIEW FROM CARMEL VALLEY ROAD



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CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
 APN:169-131-024-000

PROJECT NUMBER 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

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STREET VIEW RENDERINGS

SHEET NUMBER

CTS 1.3



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PROJECT NUMBER
 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

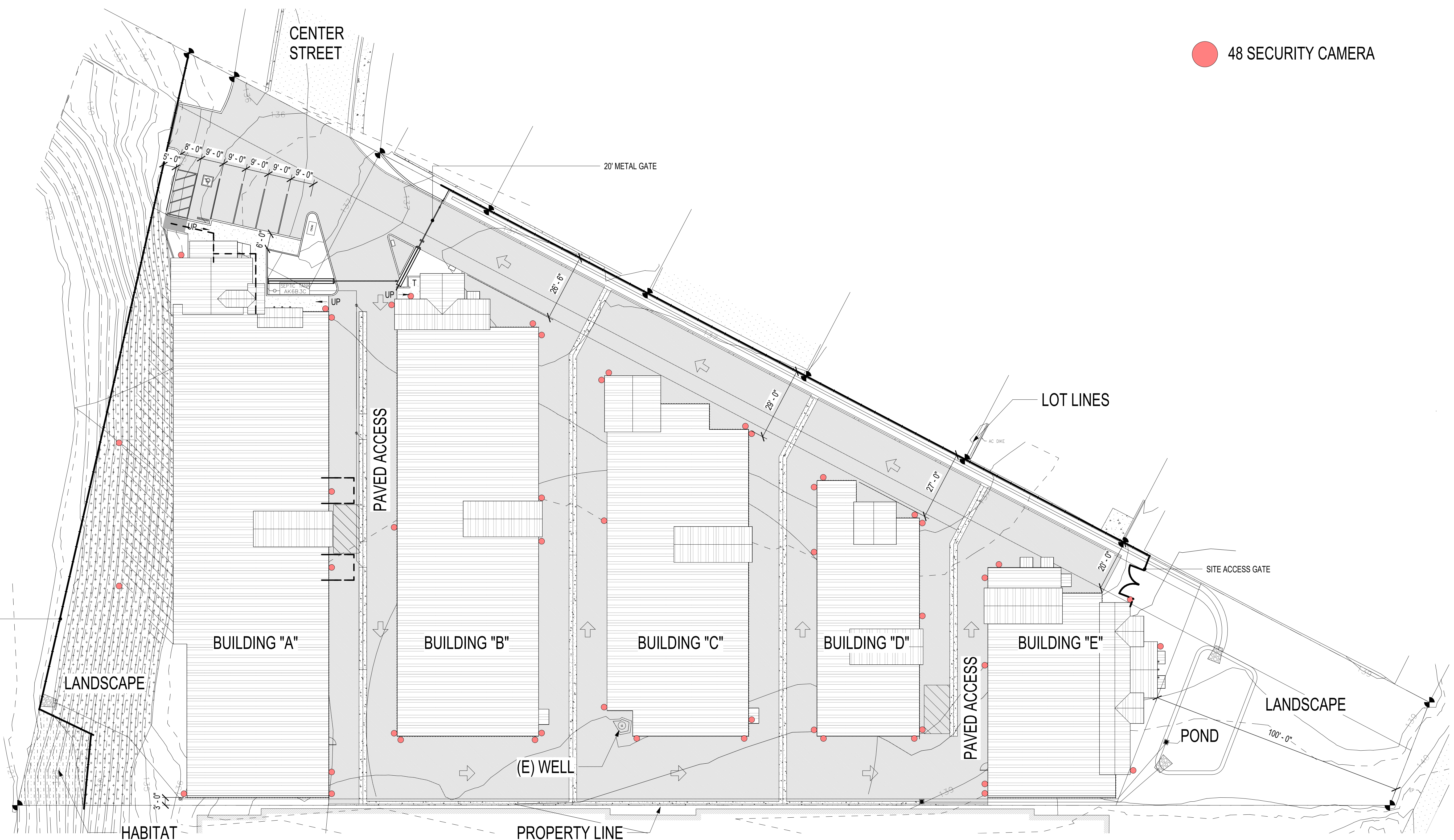
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SECURITY PLAN

SHEET NUMBER

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● 48 SECURITY CAMERA

SECURITY CAMERA PLAN



SCALE: 1"=20'-0"

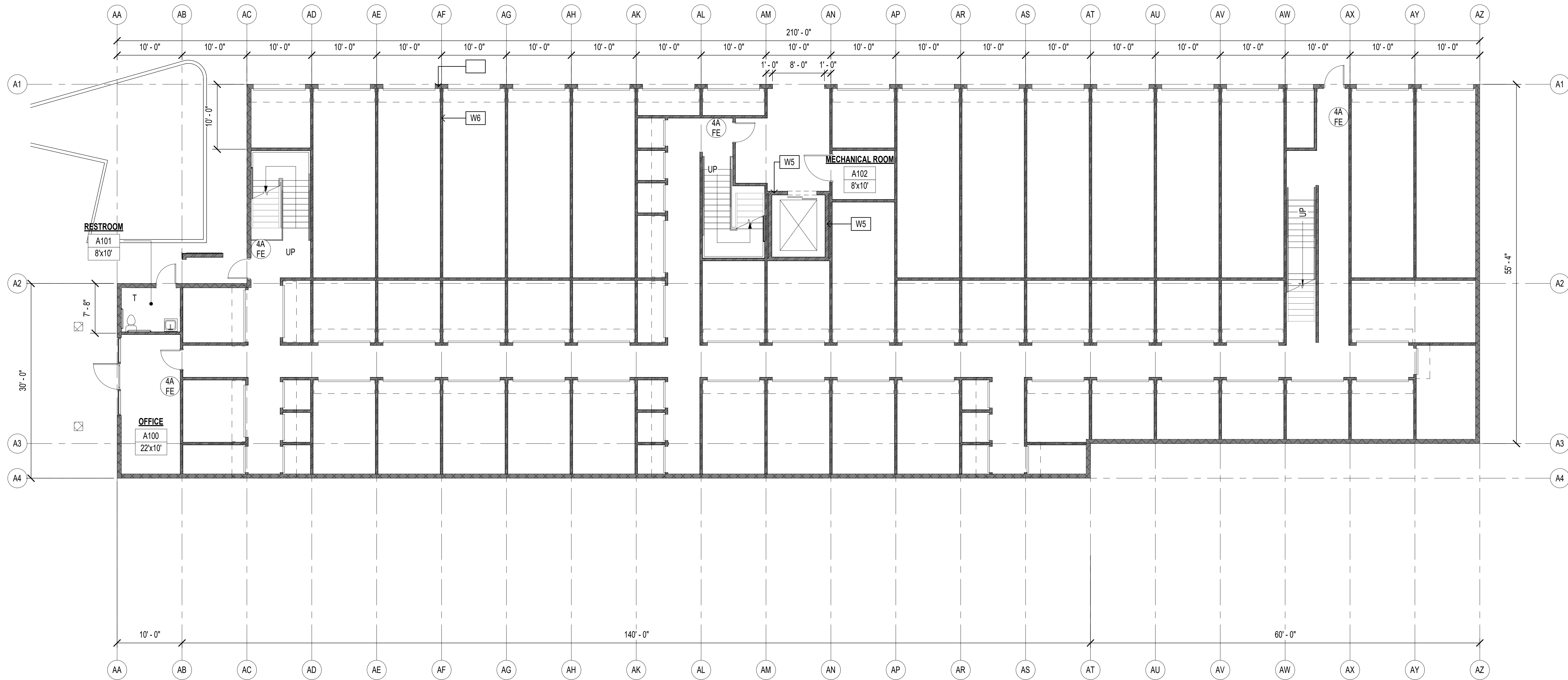
WALL LEGEND

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- 4A FE FIRE EXTINGUISHER, SEMI-RECESSED, MOUNT +40" TO TOP OF UNIT

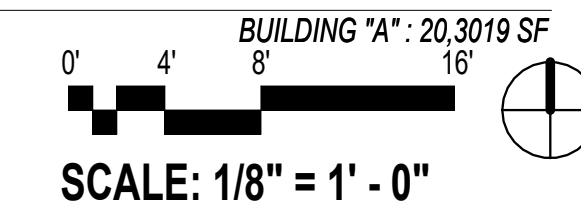


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BUILDING A - FIRST FLOOR PLAN



CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
 APN:169-131-024-000

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

BUILDING A - FIRST FLOOR PLAN

CA 2.0aa

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WALL LEGEND

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- 4A FE FIRE EXTINGUISHER, SEMI-RECESSED, MOUNT +40" TO TOP OF UNIT

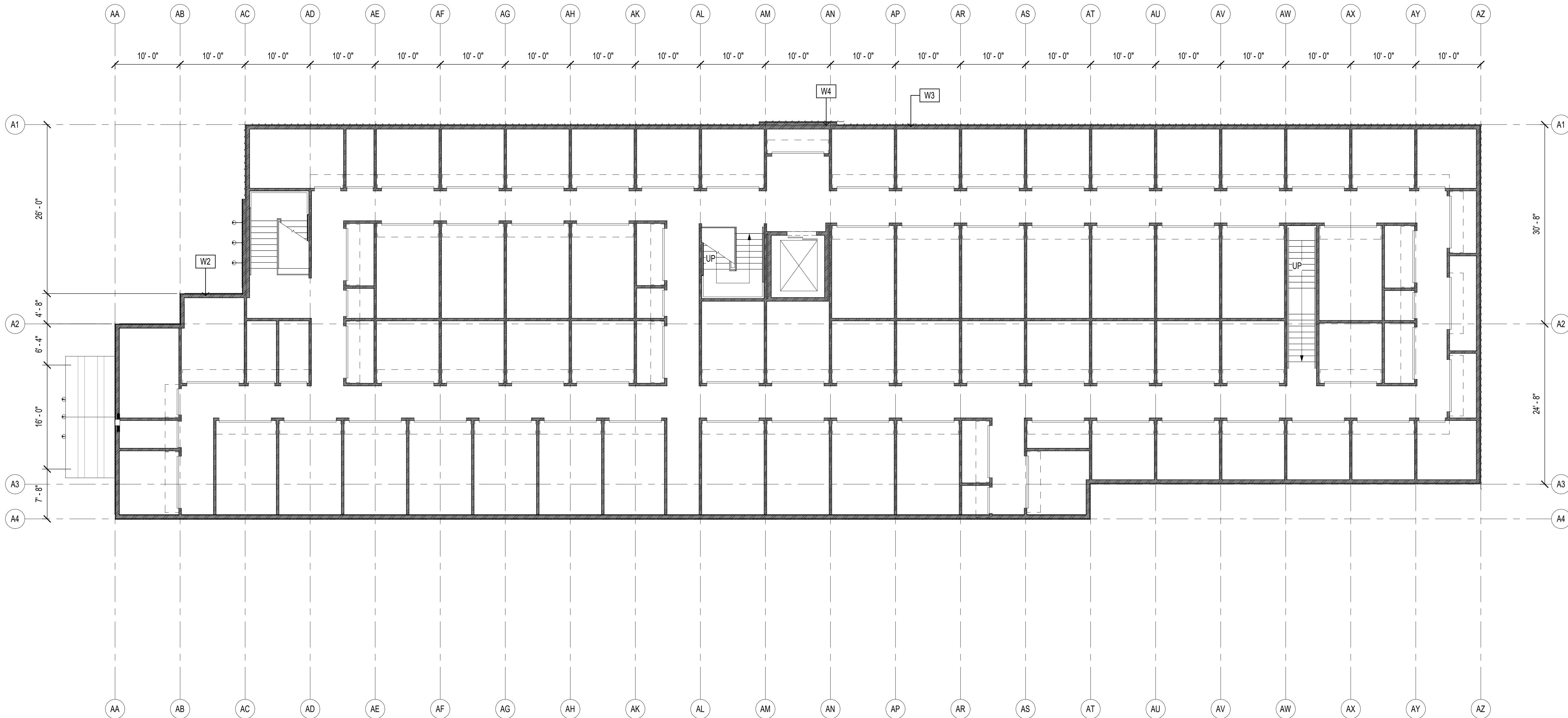


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PROJECT NUMBER: 22-500.02

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2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

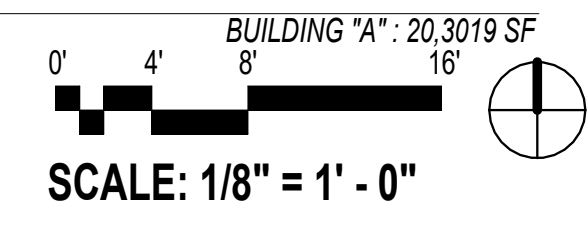
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BUILDING A - SECOND FLOOR PLAN

SHEET NUMBER

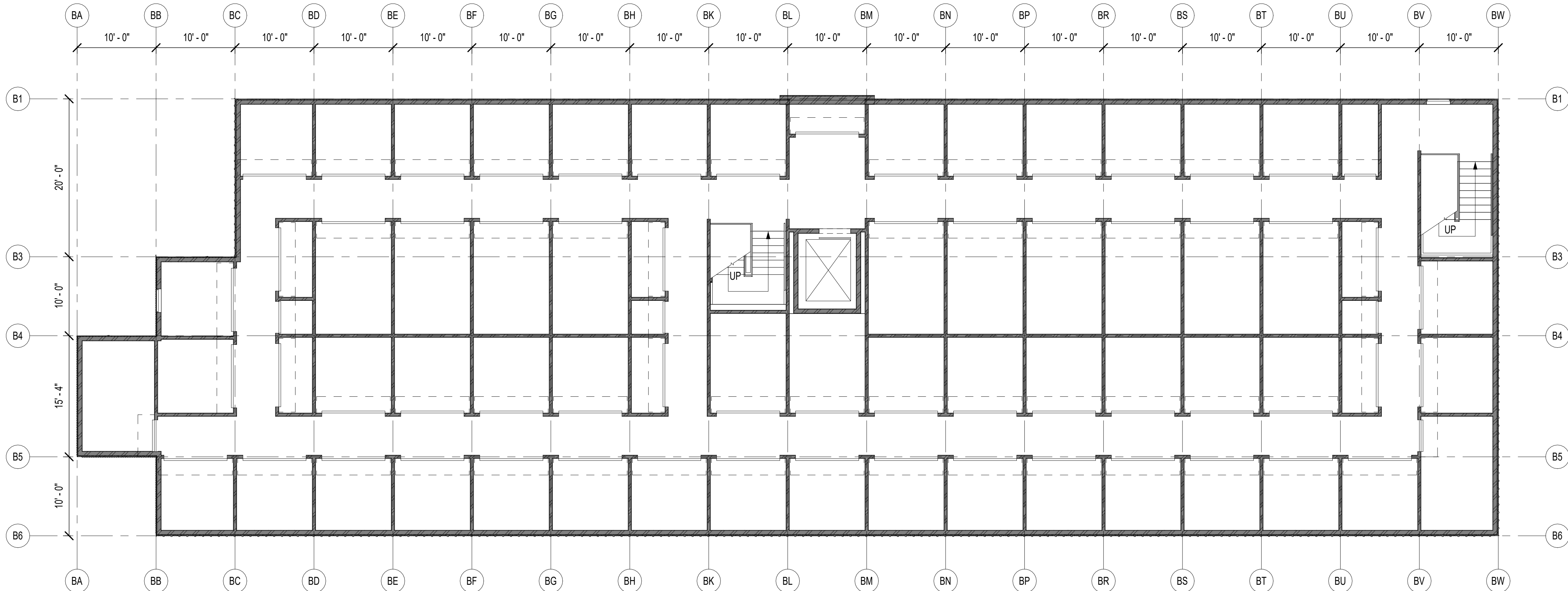
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BUILDING A - 2ND FLOOR PLAN

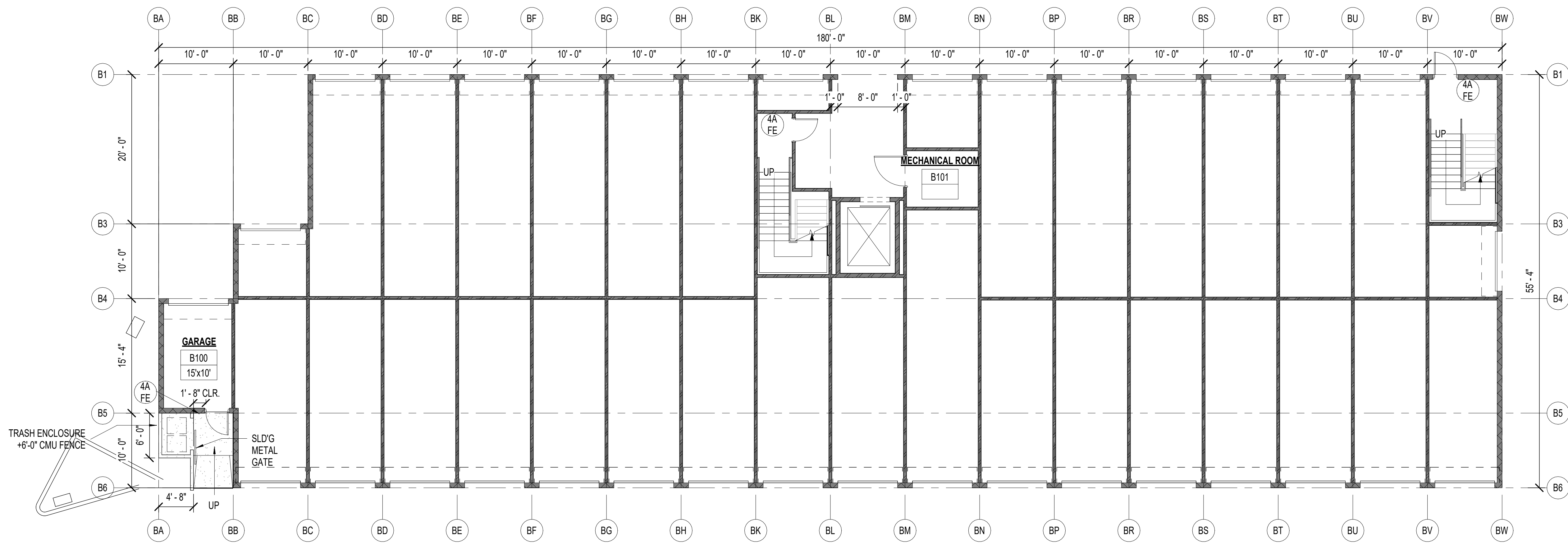


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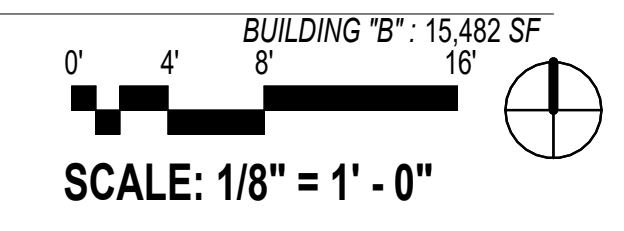
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BUILDING B - 2ND FLOOR PLAN



BUILDING B - FIRST FLOOR PLAN



WALL LEGEND

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- 4A FE FIRE EXTINGUISHER, SEMI-RECESSED, MOUNT +40" TO TOP OF UNIT



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CENTER STREET SELF STORAGE

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 APN:169-131-024-000

PROJECT NUMBER 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

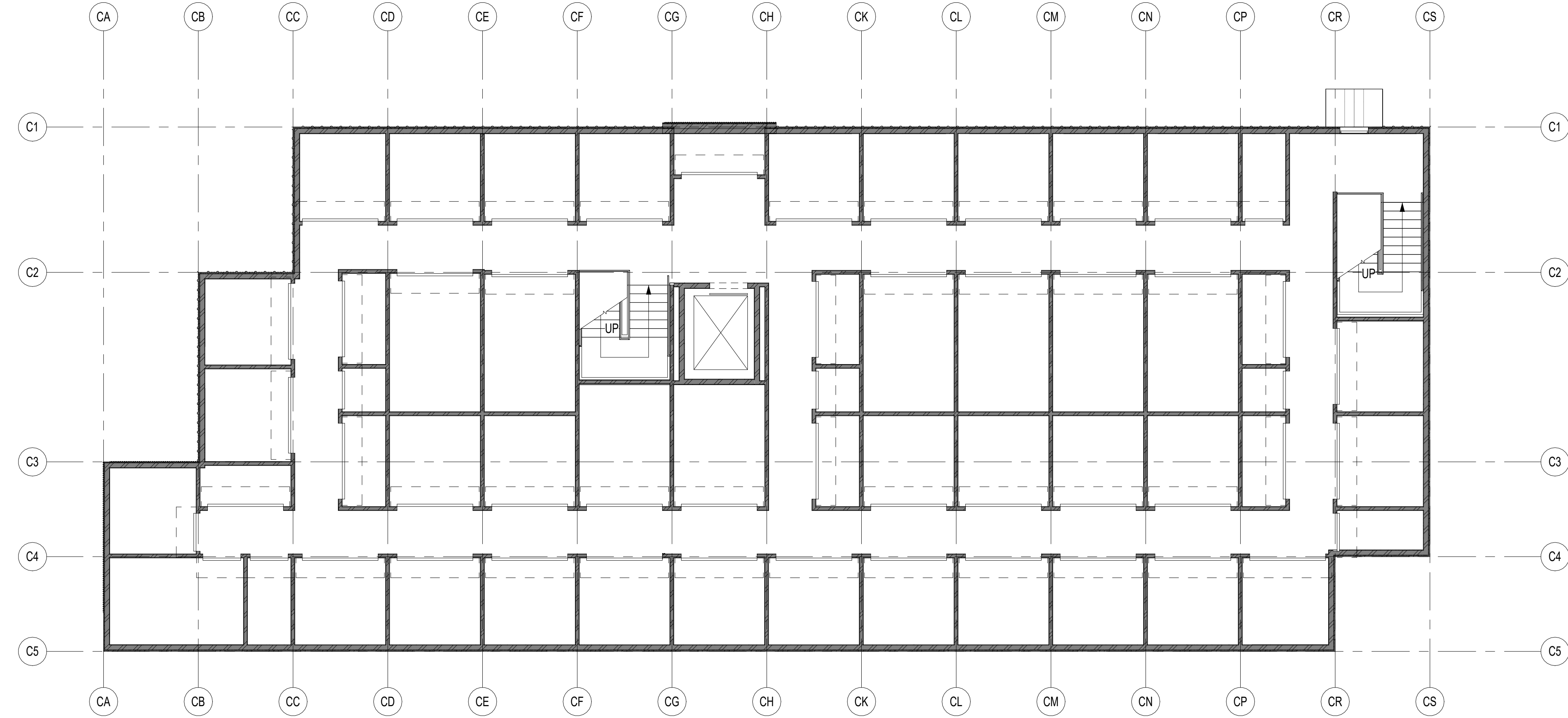
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BUILDING B - FLOOR PLANS

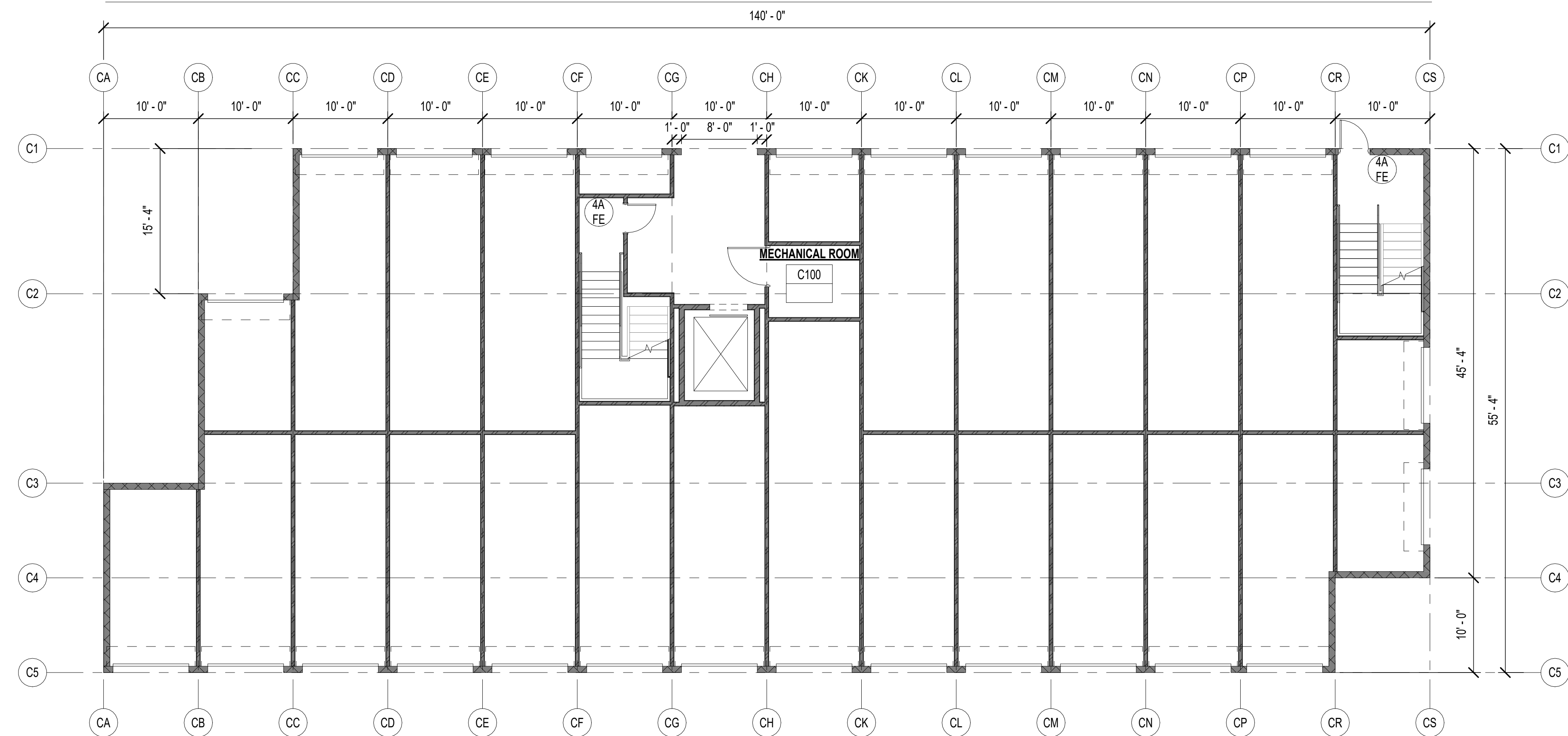
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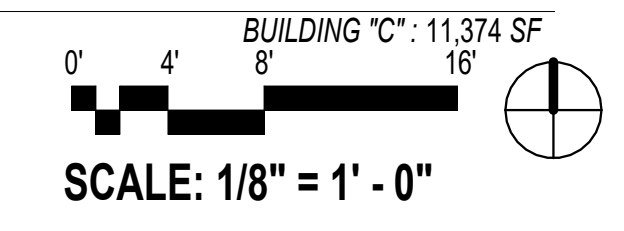
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BUILDING C - 2ND FLOOR PLAN



BUILDING C - FIRST FLOOR PLAN



WALL LEGEND

- W1 EXT. WALL : 8" CMU WALL, REFER TO ELEVATIONS FOR FINISH FACE, COORDINATE WITH STRUCTURAL SHEETS
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LICENSED ARCHITECT
LARRY C. GABRIEL
2023
REVIEW SET (NOT YET PERMITTED)
OF CALIFORNIA

CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
APN:169-131-024-000

PROJECT NUMBER: 22-500.02

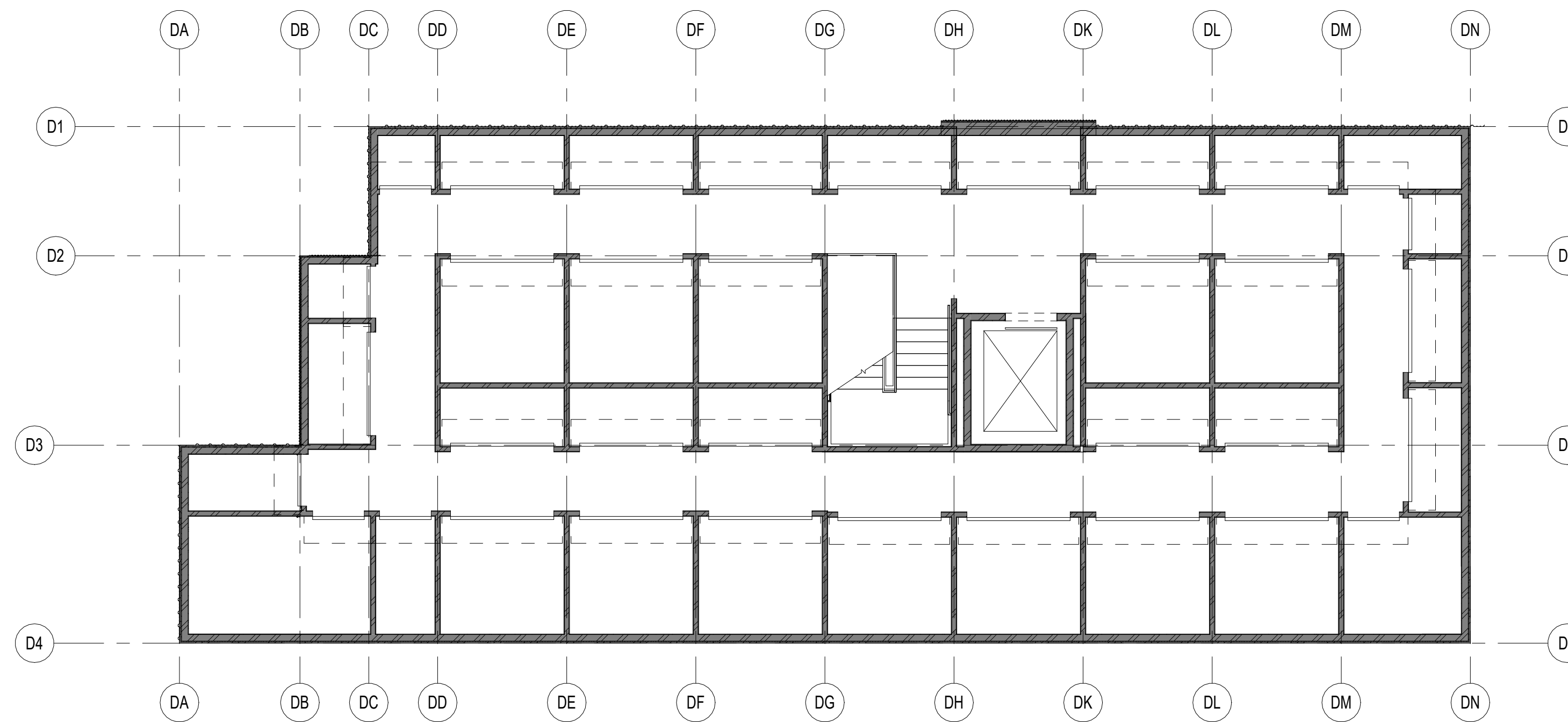
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2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

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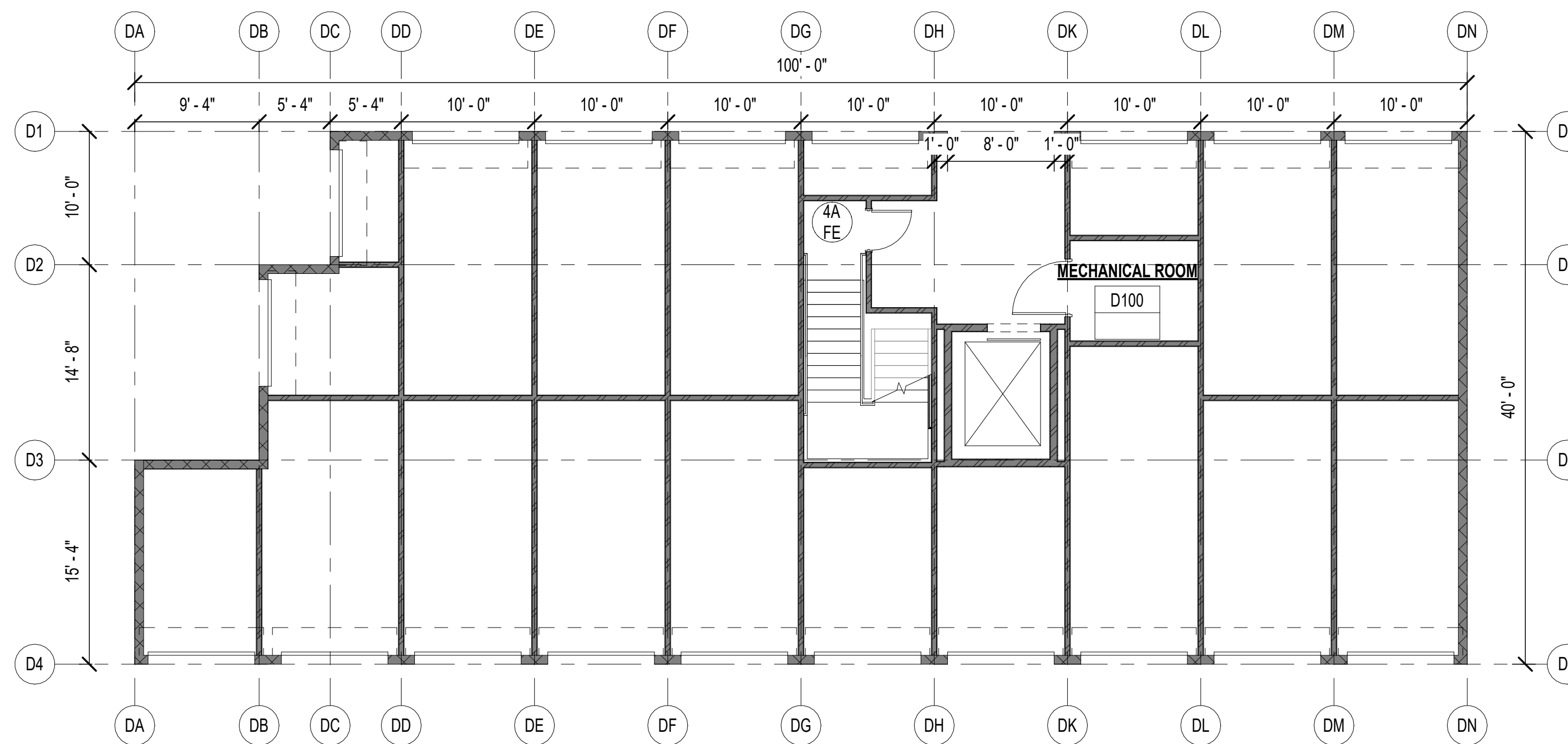
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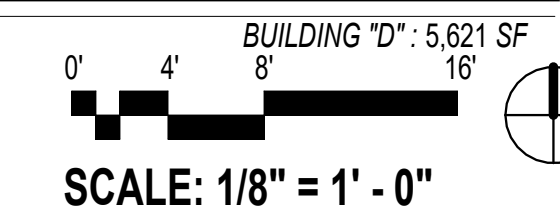
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BUILDING D - 2ND FLOOR PLAN



BUILDING D - FIRST FLOOR PLAN



WALL LEGEND

- W1 EXT. WALL : 8" CMU WALL, REFER TO ELEVATIONS FOR FINISH FACE, COORDINATE WITH STRUCTURAL SHEETS
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PASO ROBLES, CA 93446
805.238.9000

SANTA BARBARA OFFICE
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SANTA BARBARA, CA 93101
805.565.3800



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CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
APN:169-131-024-000

PROJECT NUMBER: 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

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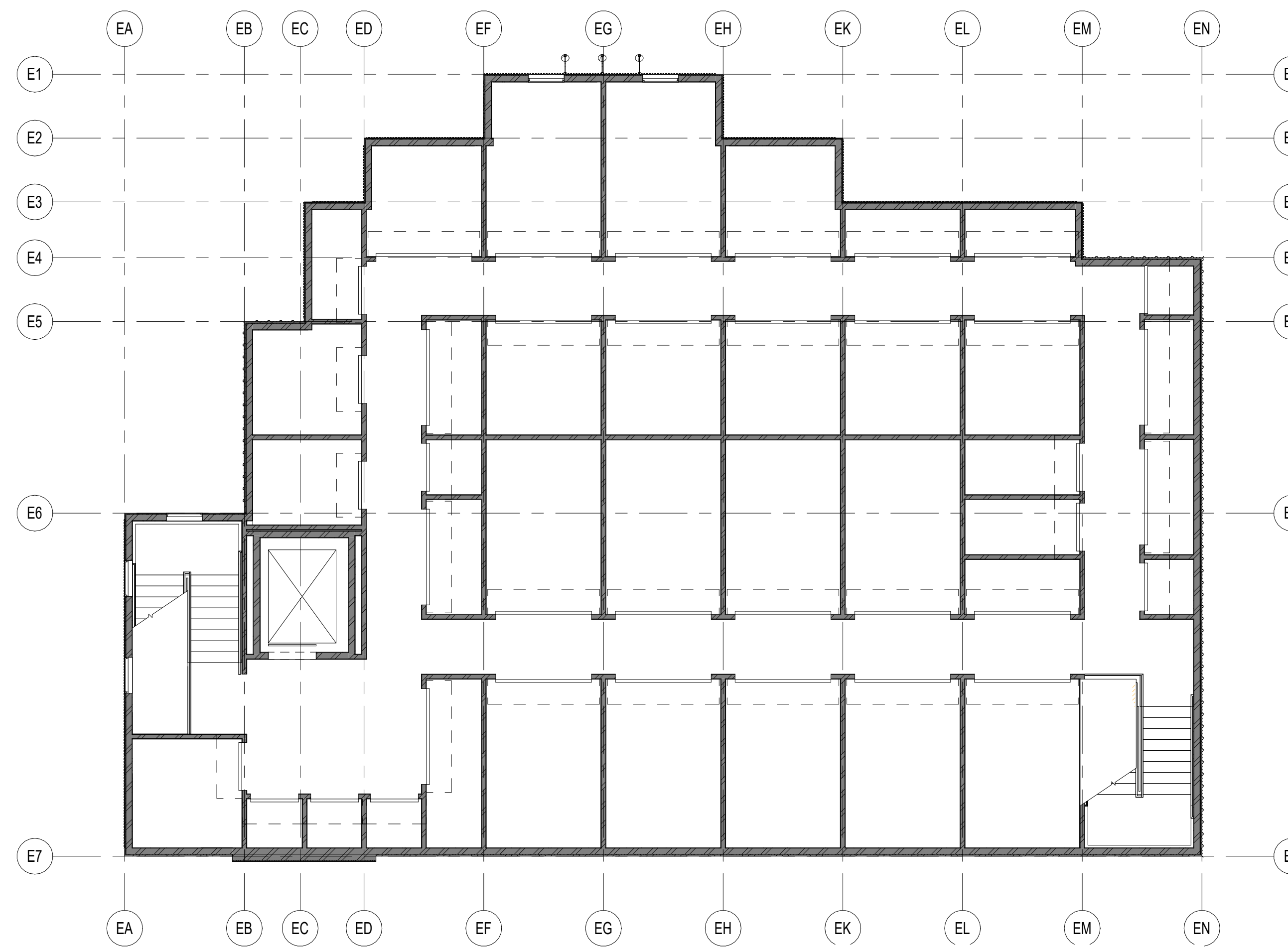
BUILDING D - FLOOR PLANS

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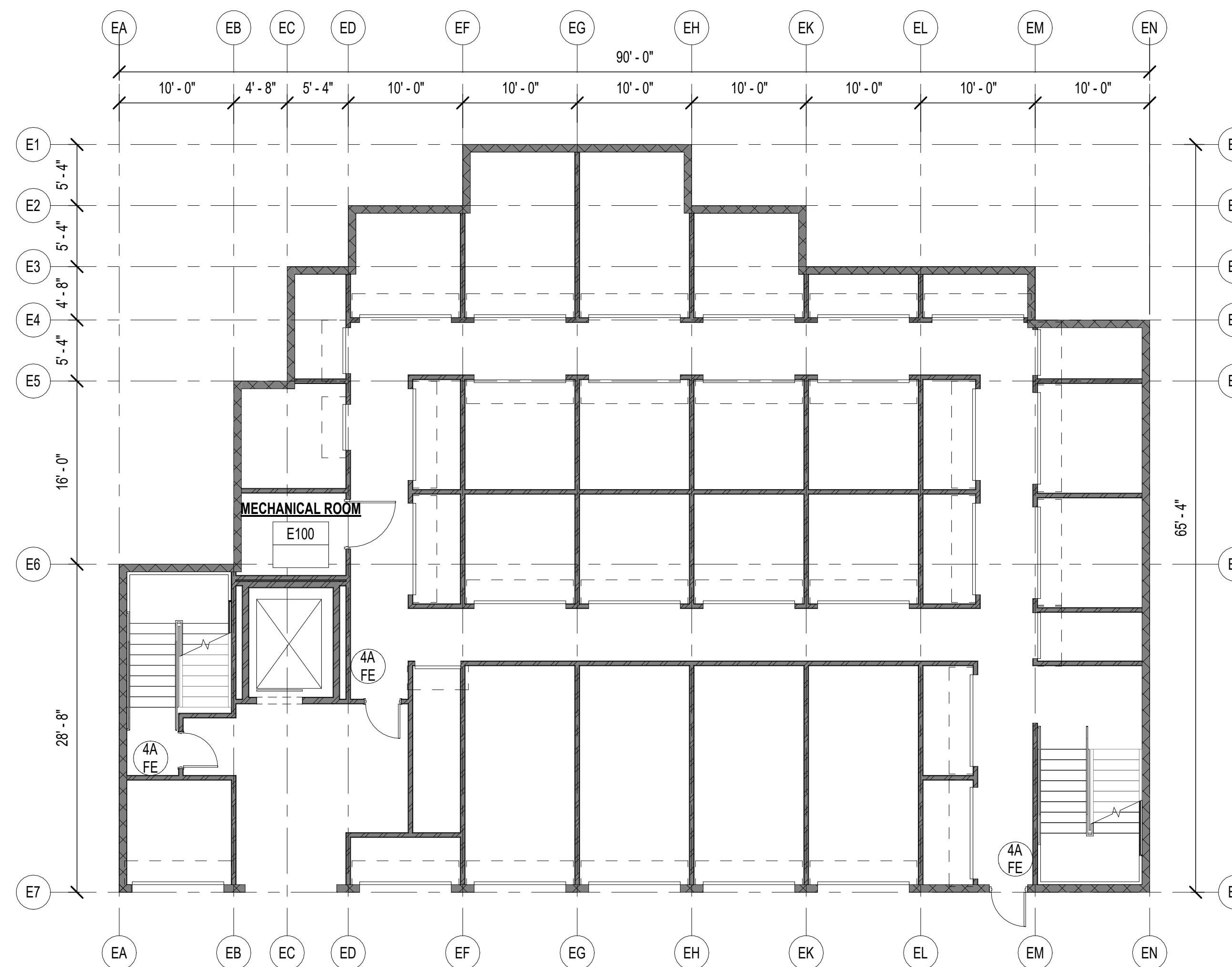
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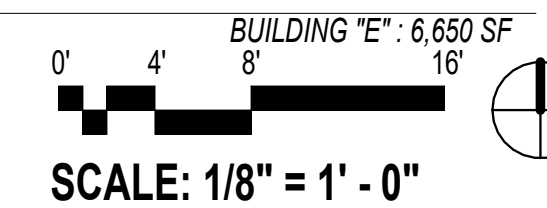
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BUILDING E - 2ND FLOOR PLAN



BUILDING E - FIRST FLOOR PLAN



WALL LEGEND

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CENTER STREET SELF STORAGE

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 APN:169-131-024-000

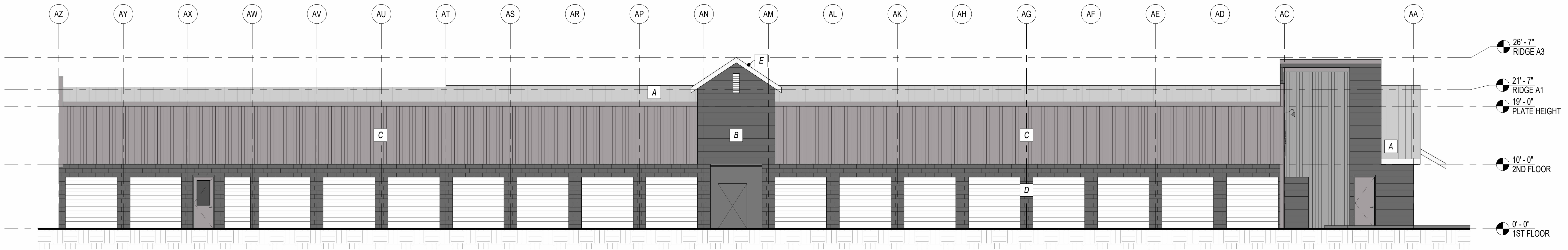
No.	Description	Date
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2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

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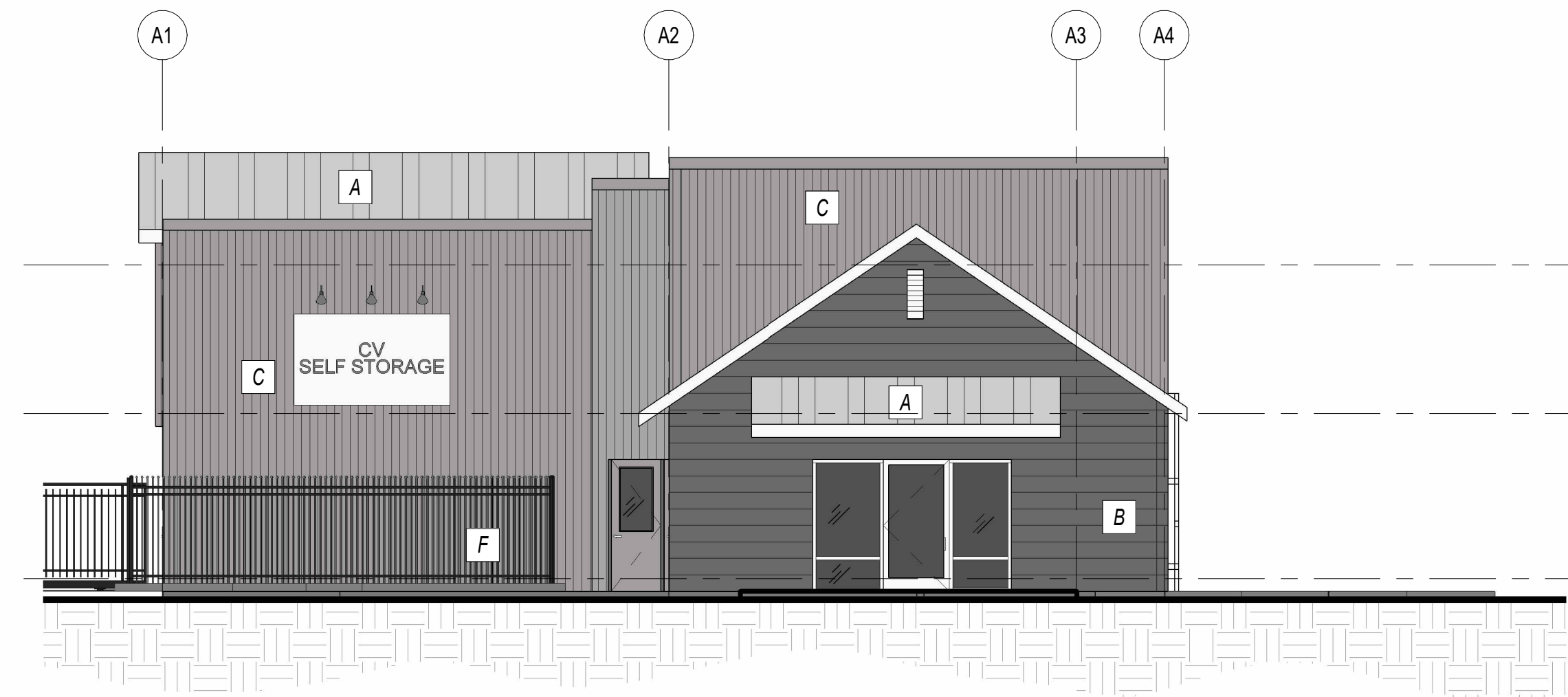
BUILDING E - FLOOR PLANS

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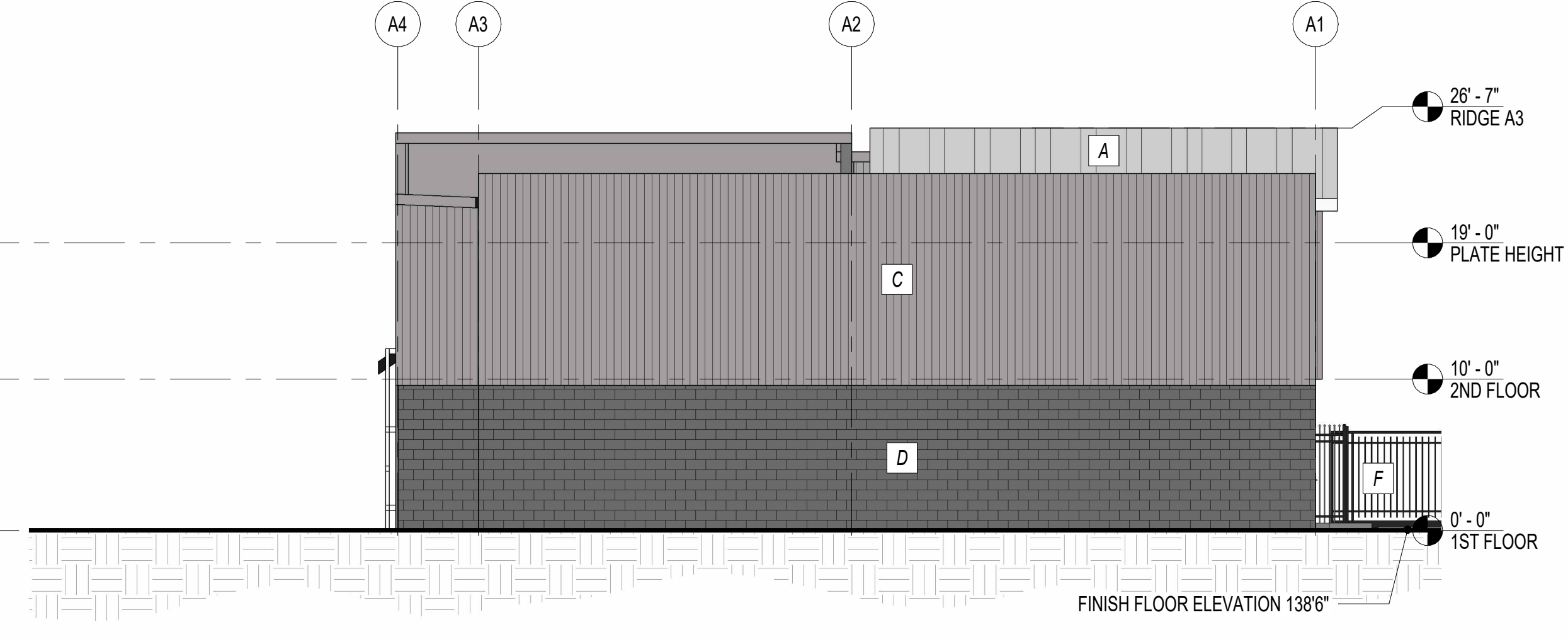
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BUILDING A NORTH ELEVATION



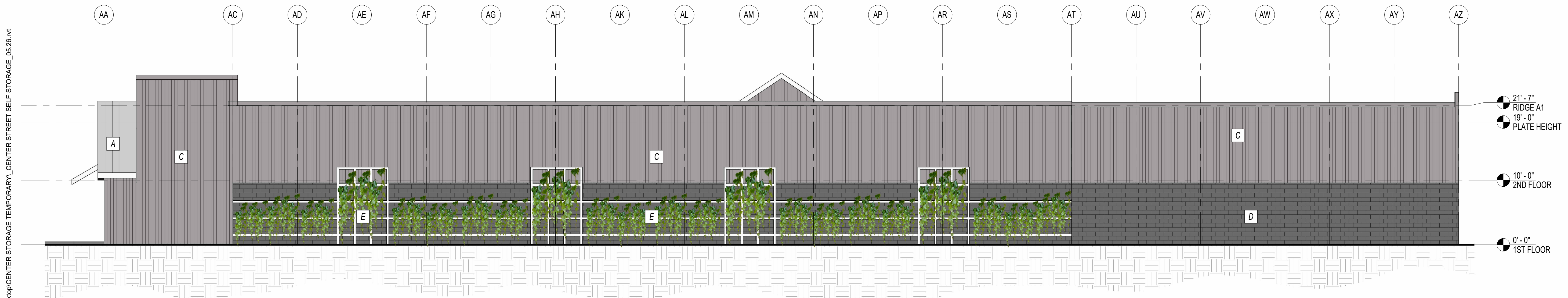
BUILDING A WEST ELEVATION



BUILDING A EAST ELEVATION

MATERIAL LEGEND

- A** ULTRA-DEK - GALVOLINE PLUS
- B** MCBI PBR METAL PANELS - CHARCOAL GREY
- C** MCBI PBD PANELS - ASH GRAY
- D** SPLIT FACE CMU - MATCH CHARCOAL GREY
- E** FRAMES / FASCIA / TRELLIS / VENTS WHITE
- F** W.I. FENCE BLACK



BUILDING A SOUTH ELEVATION



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 APN:169-131-024-000

PROJECT NUMBER 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023
3	CHANGES 1	05-18-2023

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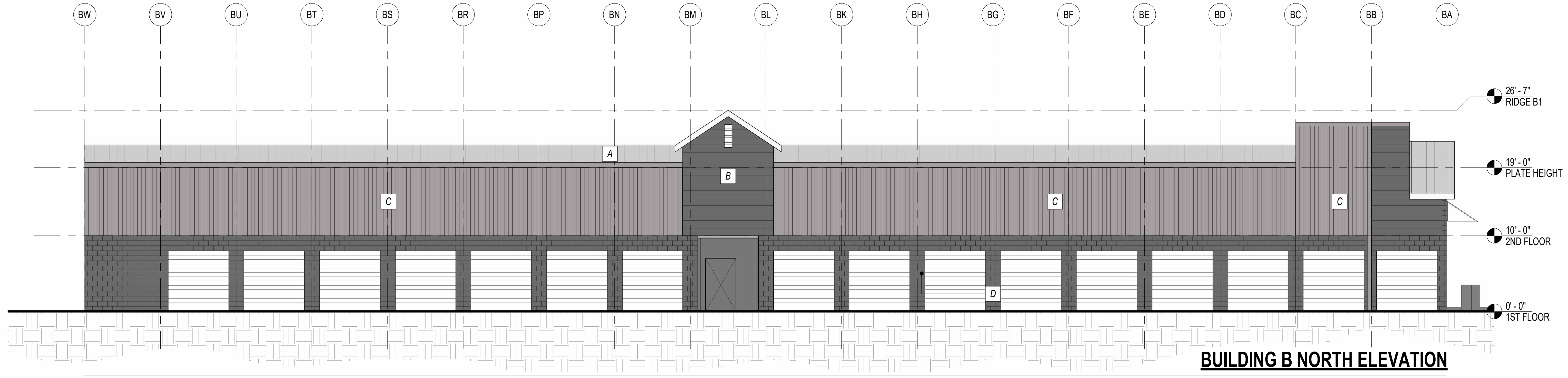
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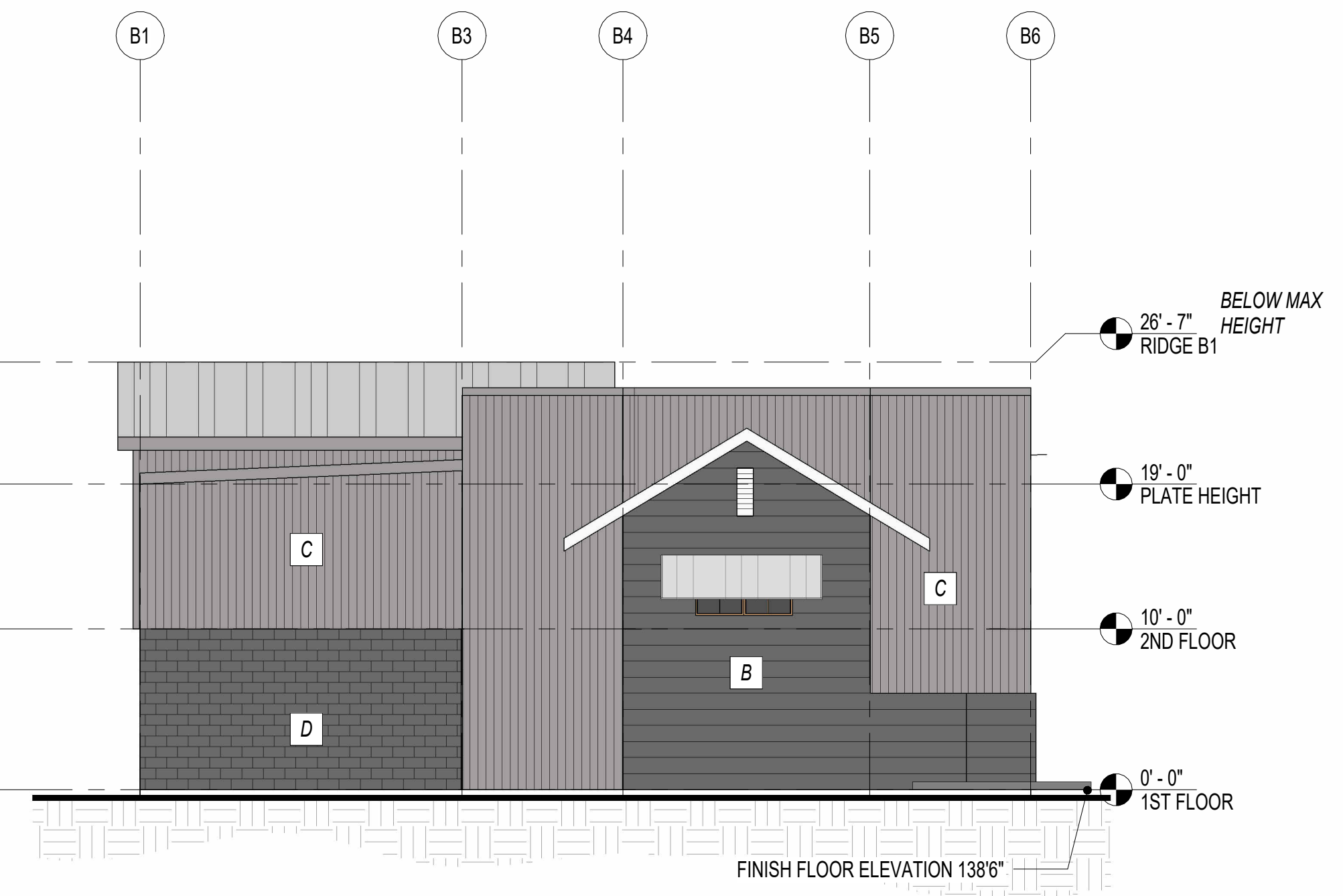
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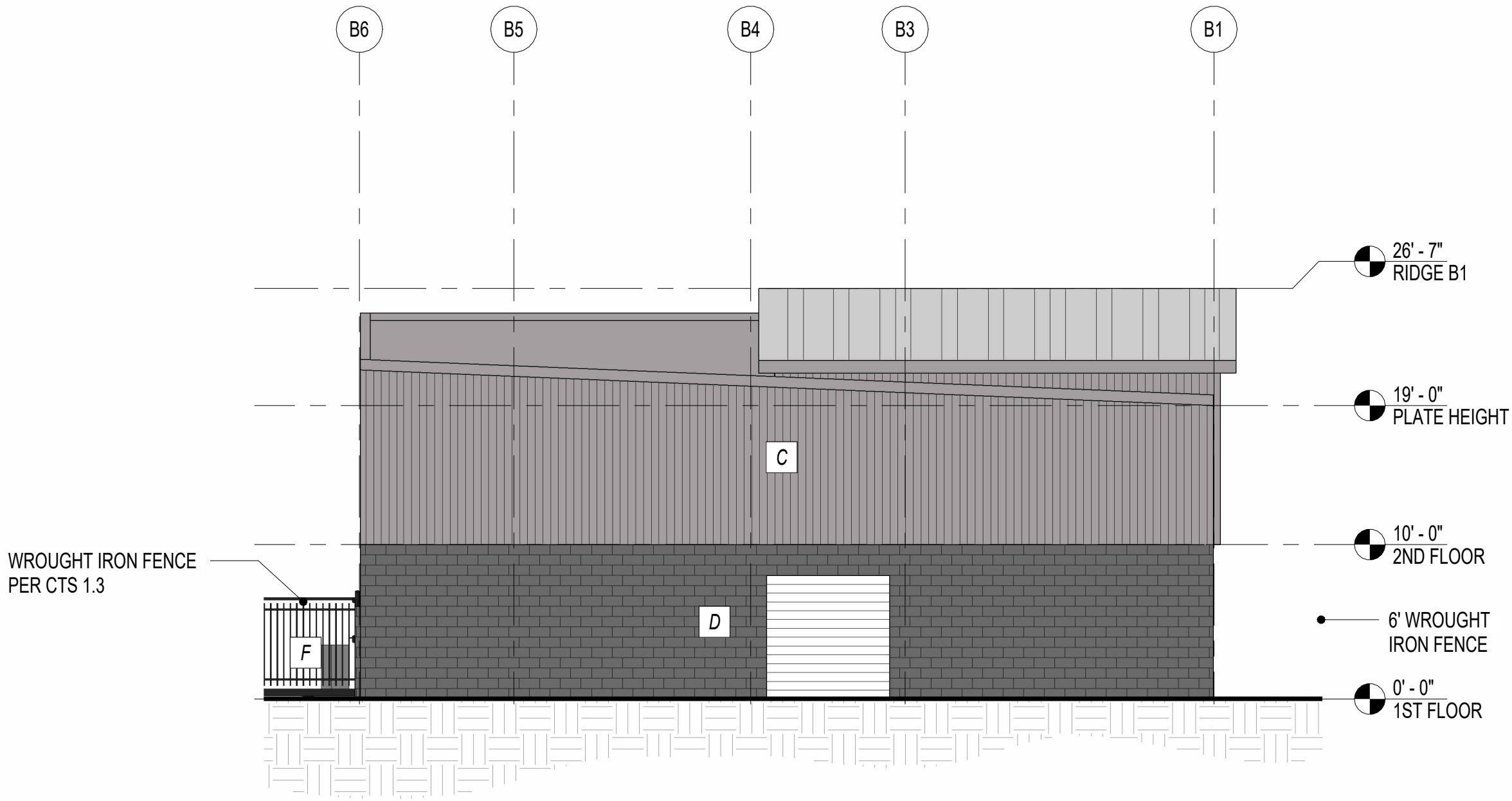
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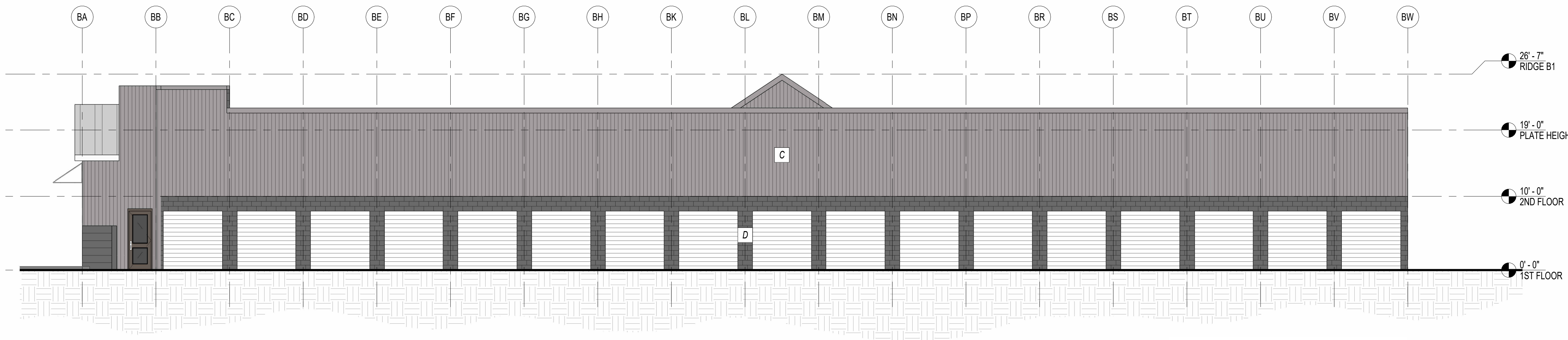
BUILDING B NORTH ELEVATION



BUILDING B WEST ELEVATION

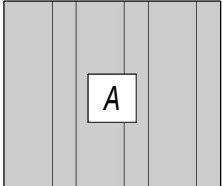
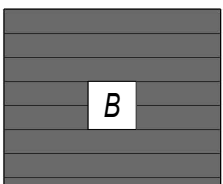
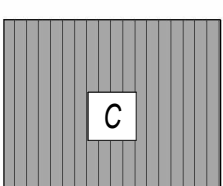
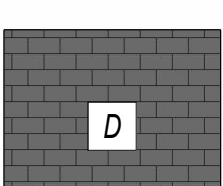
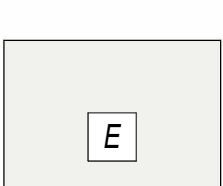
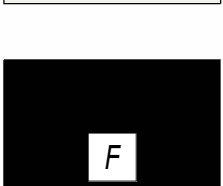



BUILDING B EAST ELEVATION



BUILDING B SOUTH ELEVATION

MATERIAL LEGEND

-  A ULTRA-DEK - GALVOLINE PLUS
-  B MCBI PBR METAL PANELS - CHARCOAL GREY
-  C MCBI PBD PANELS - ASH GRAY
-  D SPLIT FACE CMU - MATCH CHARCOAL GREY
-  E FRAMES / FASCIA / TRELLIS / VENTS WHITE
-  F W.I. FENCE BLACK




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CONSULTANT

CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
 APN:169-131-024-000

PROJECT NUMBER 22-500.02

No.	Description	Date
1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

DRAWN BY TEG CHECKED BY LG

SHEET CONTENTS
BUILDING B - EXTERIOR ELEVATIONS

SHEET NUMBER

CA 6.0b

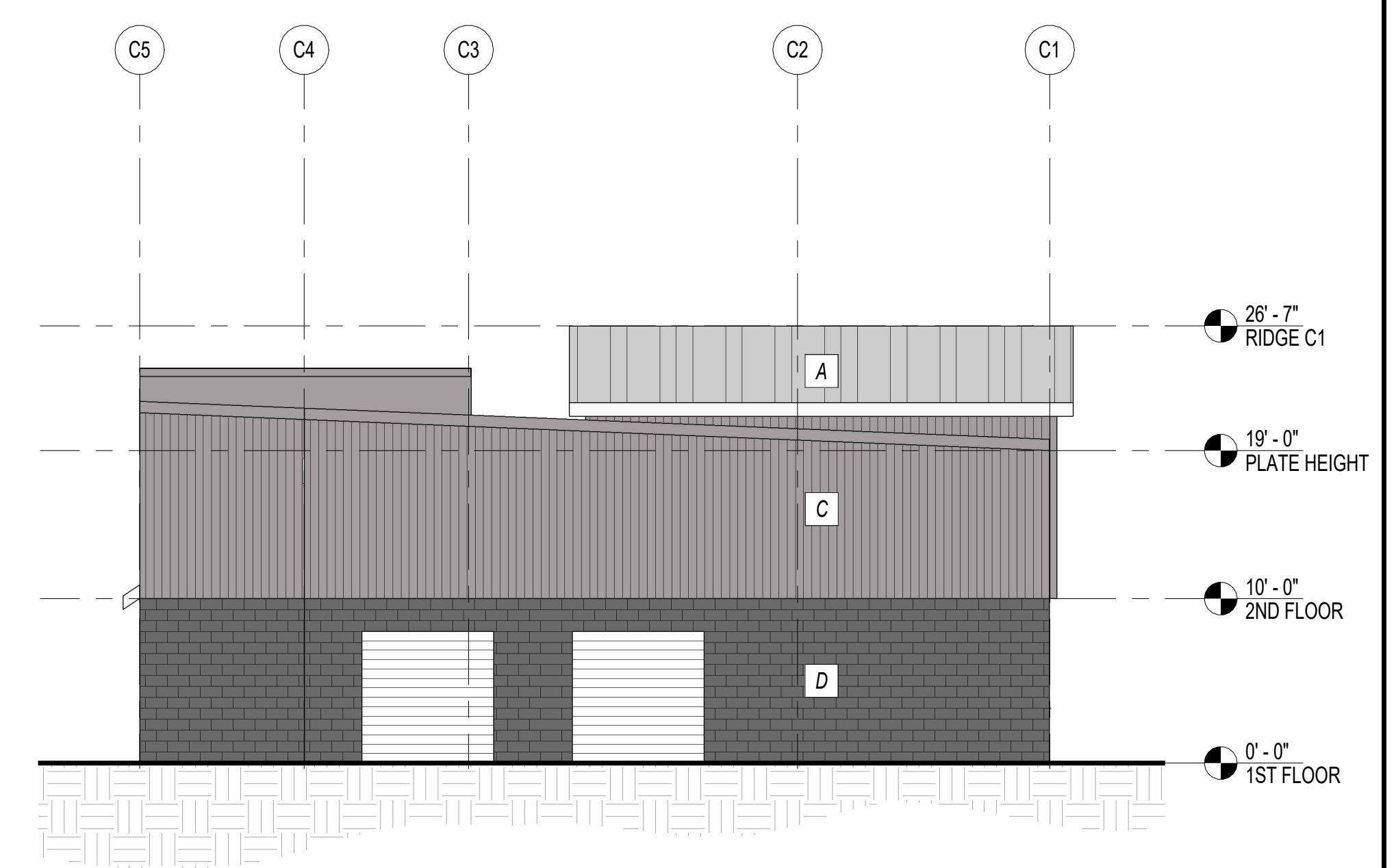
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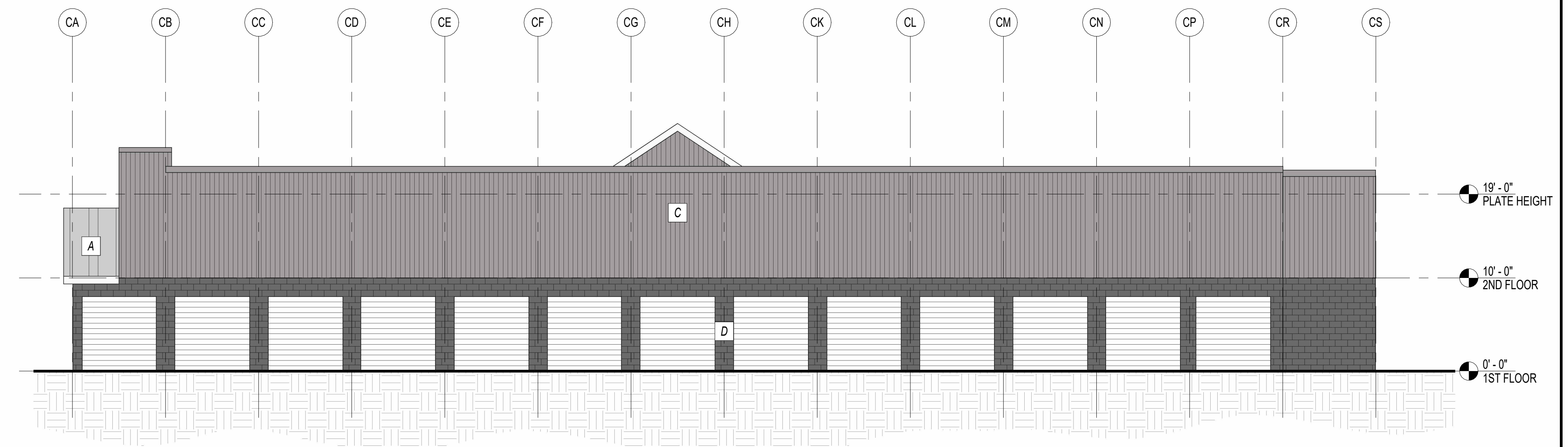
BUILDING C NORTH ELEVATION



BUILDING C WEST ELEVATION



BUILDING C EAST ELEVATION



BUILDING C SOUTH ELEVATION

MATERIAL LEGEND

- A ULTRA-DEK - GALVOLINE PLUS
- B MCBI PBR METAL PANELS - CHARCOAL GREY
- C MCBI PBD PANELS - ASH GRAY
- D SPLIT FACE CMU - MATCH CHARCOAL GREY
- E FRAMES / FASCIA / TRELLIS / VENTS WHITE
- F W.I. FENCE BLACK

GABRIEL ARCHITECTS
GABRIEL-ARCHITECTS.COM

PASO ROBLES OFFICE: 530 10TH STREET, PASO ROBLES, CA 93446, 805.238.9000
SANTA BARBARA OFFICE: 923 OLIVE STREET, STE. 5, SANTA BARBARA, CA 93101, 805.565.3800

LICENSED ARCHITECT LARRY G. GABRIEL
REVIEW SET (NOT YET PERMITTED)
2023
OF CALIFORNIA

CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
APN:169-131-024-000

PROJECT NUMBER: 22-500.02

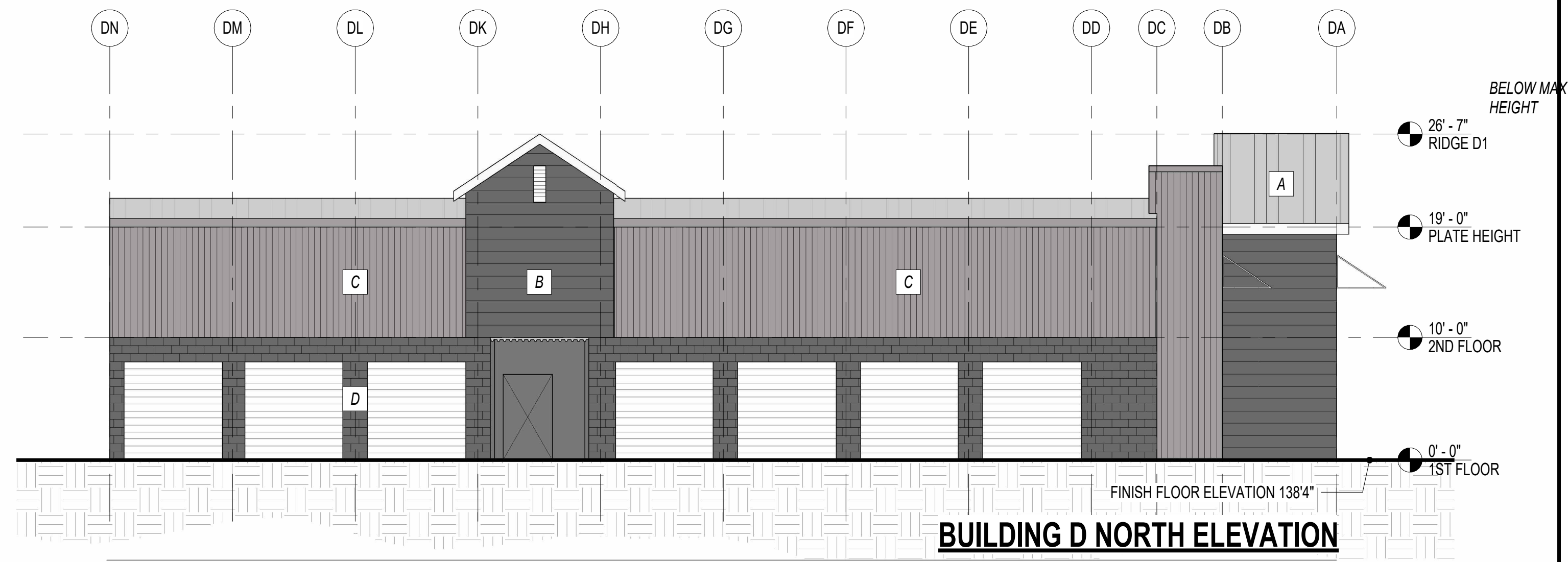
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DRAWN BY: TEG CHECKED BY: LG

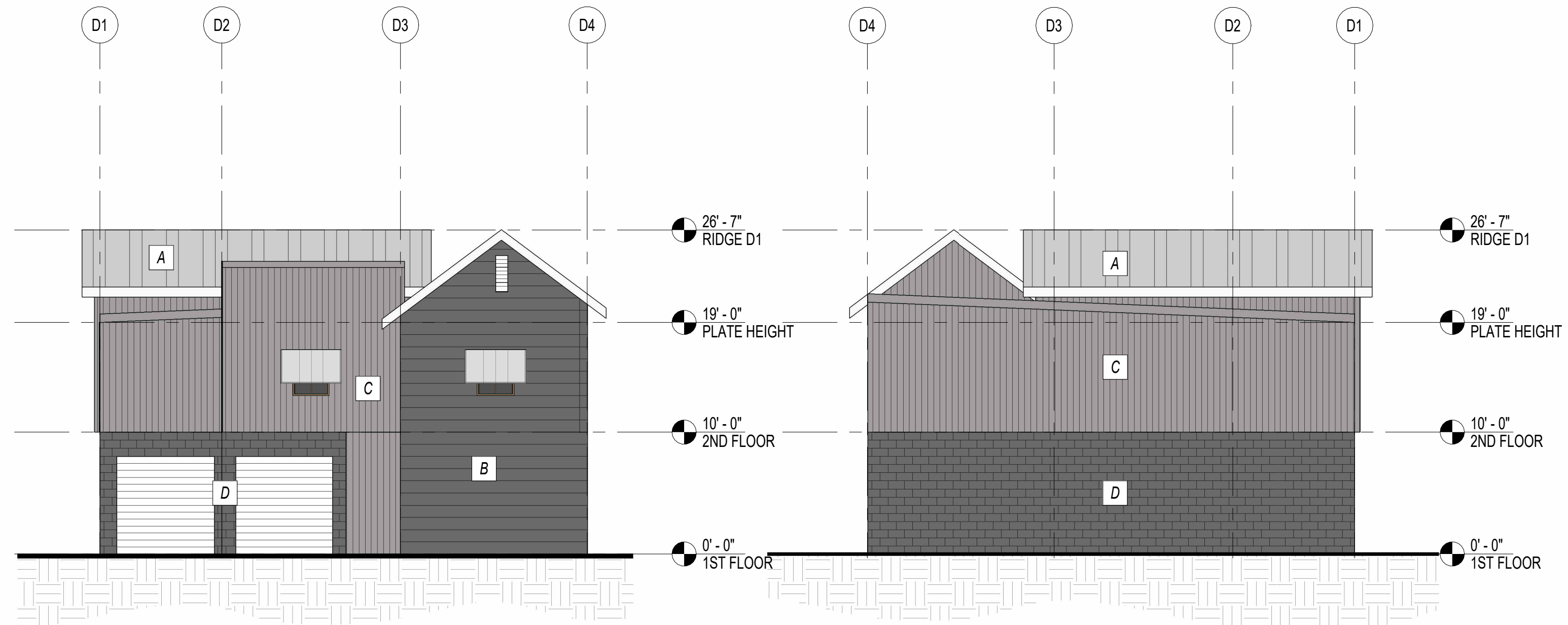
BUILDING C - EXTERIOR ELEVATIONS

CA 6.0c

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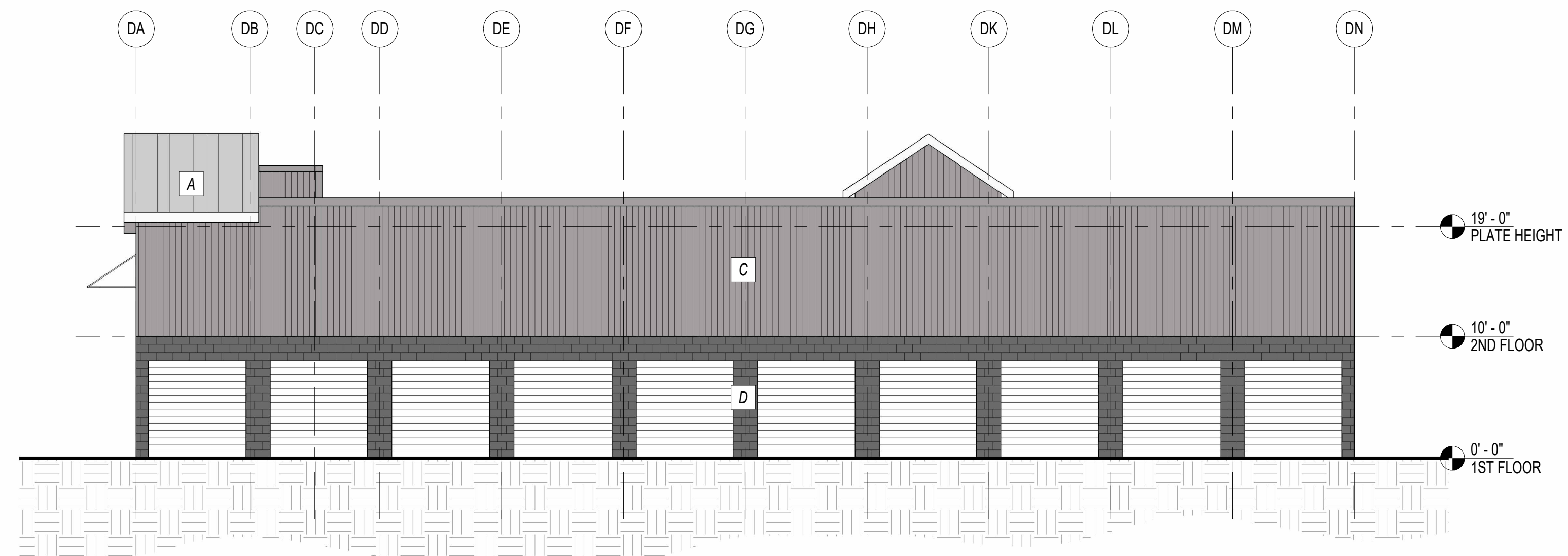


BUILDING D NORTH ELEVATION



BUILDING D WEST ELEVATION

BUILDING D EAST ELEVATION



BUILDING D SOUTH ELEVATION

MATERIAL LEGEND

- A** ULTRA-DEK - GALVOLINE PLUS
- B** MCBI PBR METAL PANELS - CHARCOAL GREY
- C** MCBI PBD PANELS - ASH GRAY
- D** SPLIT FACE CMU - MATCH CHARCOAL GREY
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CONSULTANT

CENTER STREET SELF STORAGE

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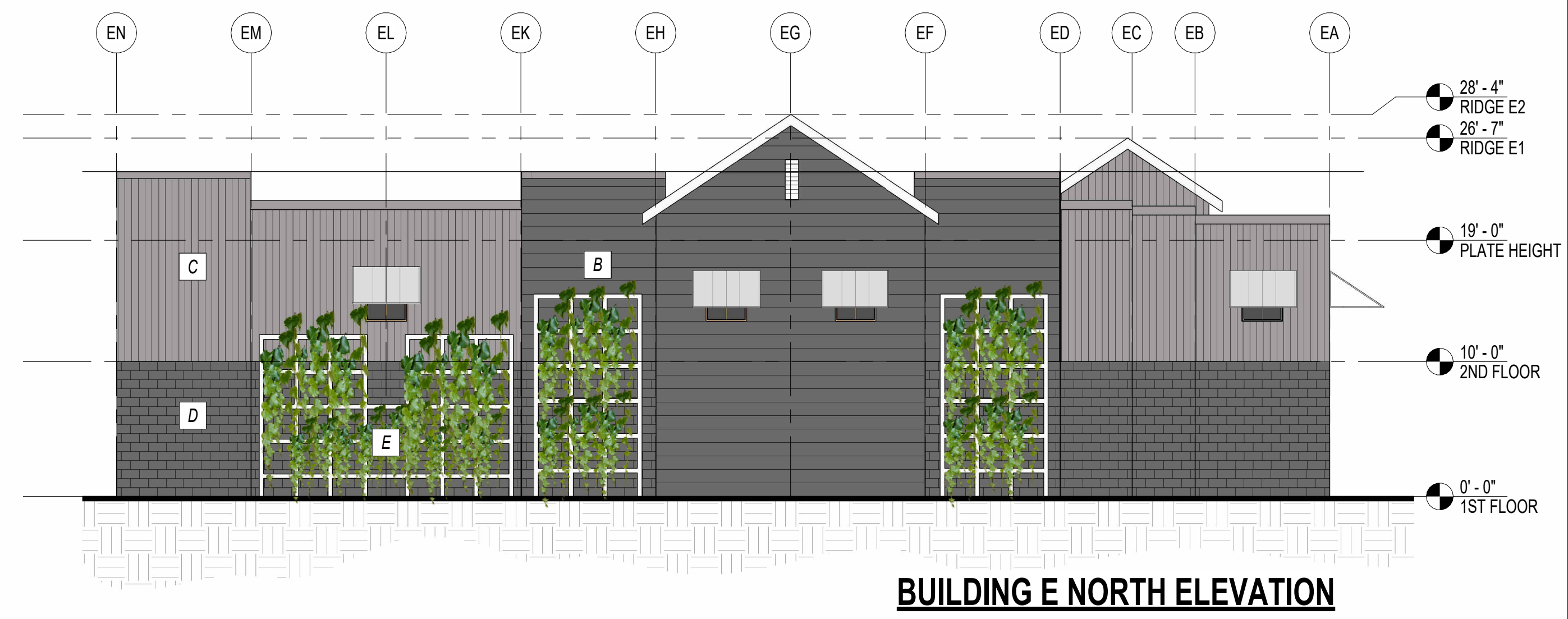
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SHEET CONTENTS BUILDING D - EXTERIOR ELEVATIONS

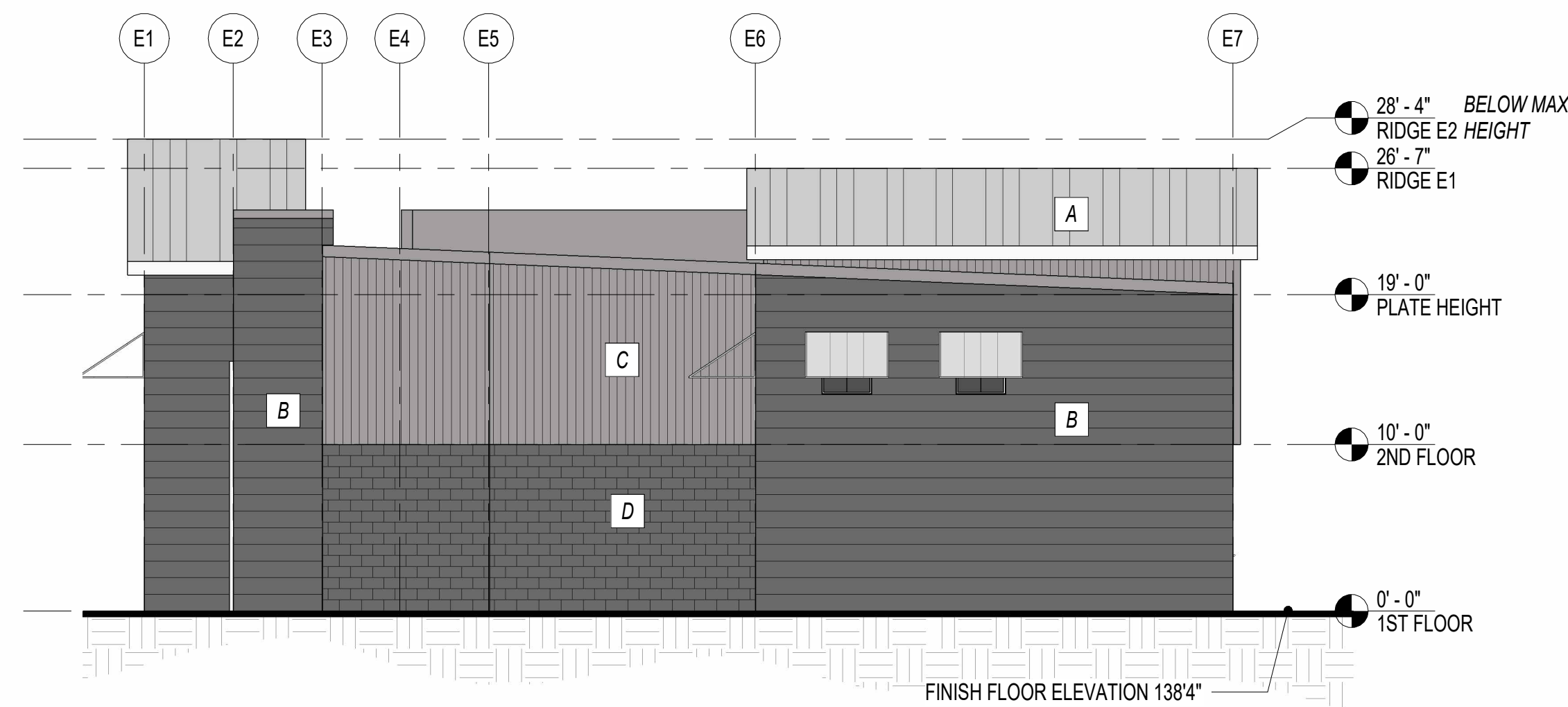
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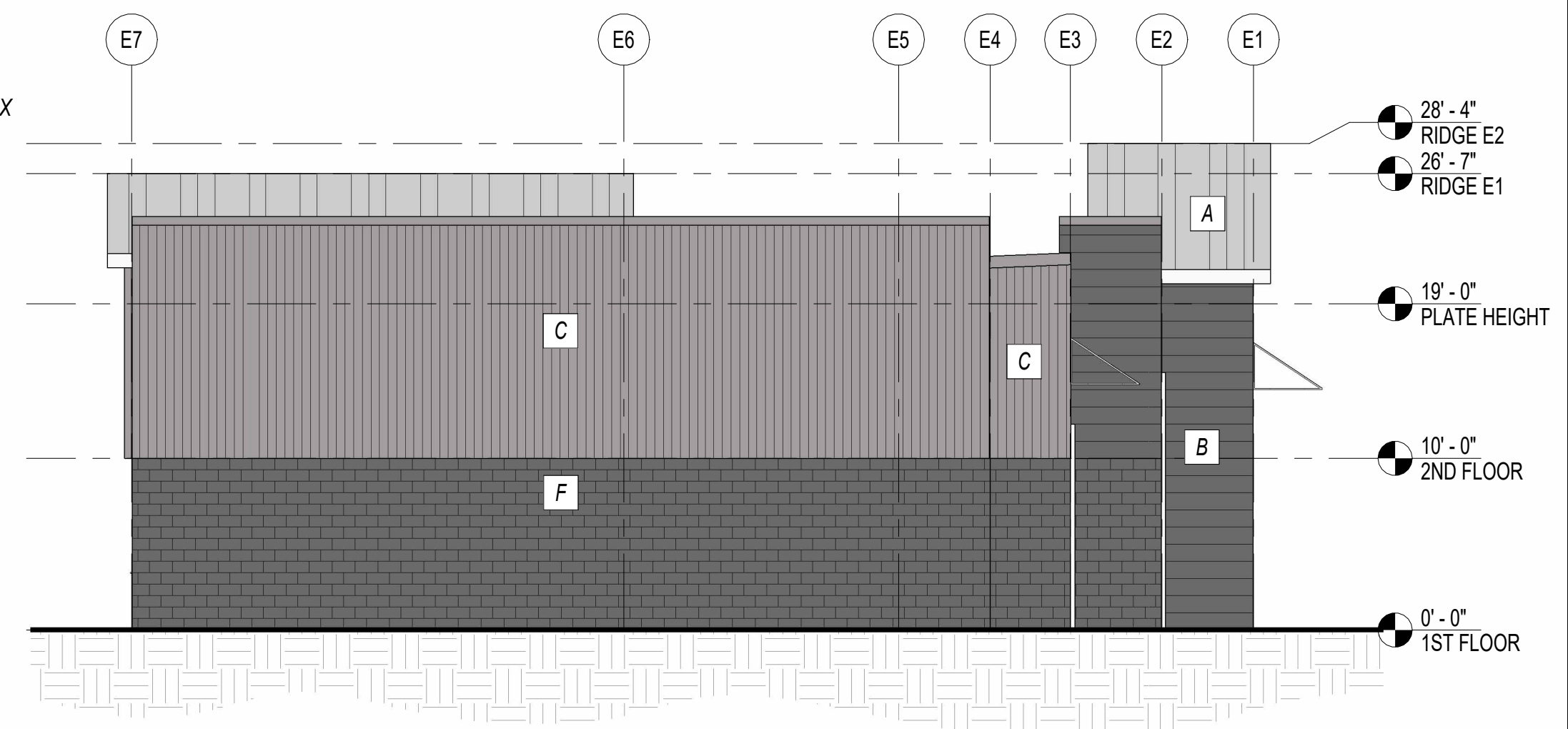
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BUILDING E NORTH ELEVATION



BUILDING E WEST ELEVATION



BUILDING E EAST ELEVATION



BUILDING E SOUTH ELEVATION

MATERIAL LEGEND

- A** ULTRA-DEK - GALVOLINE PLUS
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 SANTA BARBARA OFFICE 923 OLIVE STREET, STE. 5 SANTA BARBARA, CA 93101 805.565.3800



CENTER STREET SELF STORAGE

CENTER ST / CARMEL VALLEY, CA
 APN:169-131-024-000

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1	PLAN DEVELOPMENT SET	11-01-2022
2	PLAN DEVELOPMENT RESUBMITTAL	02-24-2023

BUILDING E - EXTERIOR ELEVATIONS

CA 6.0e

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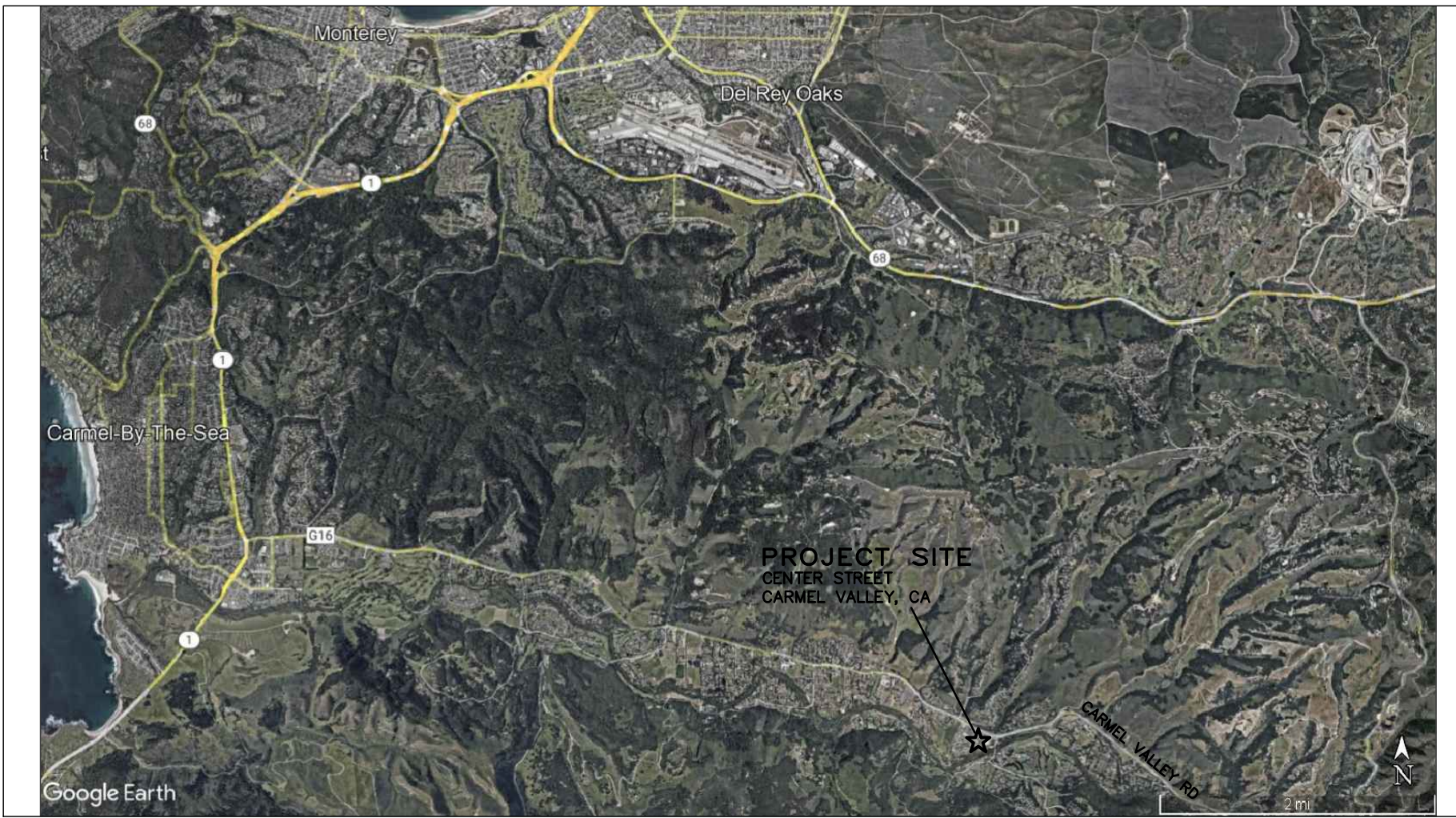
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

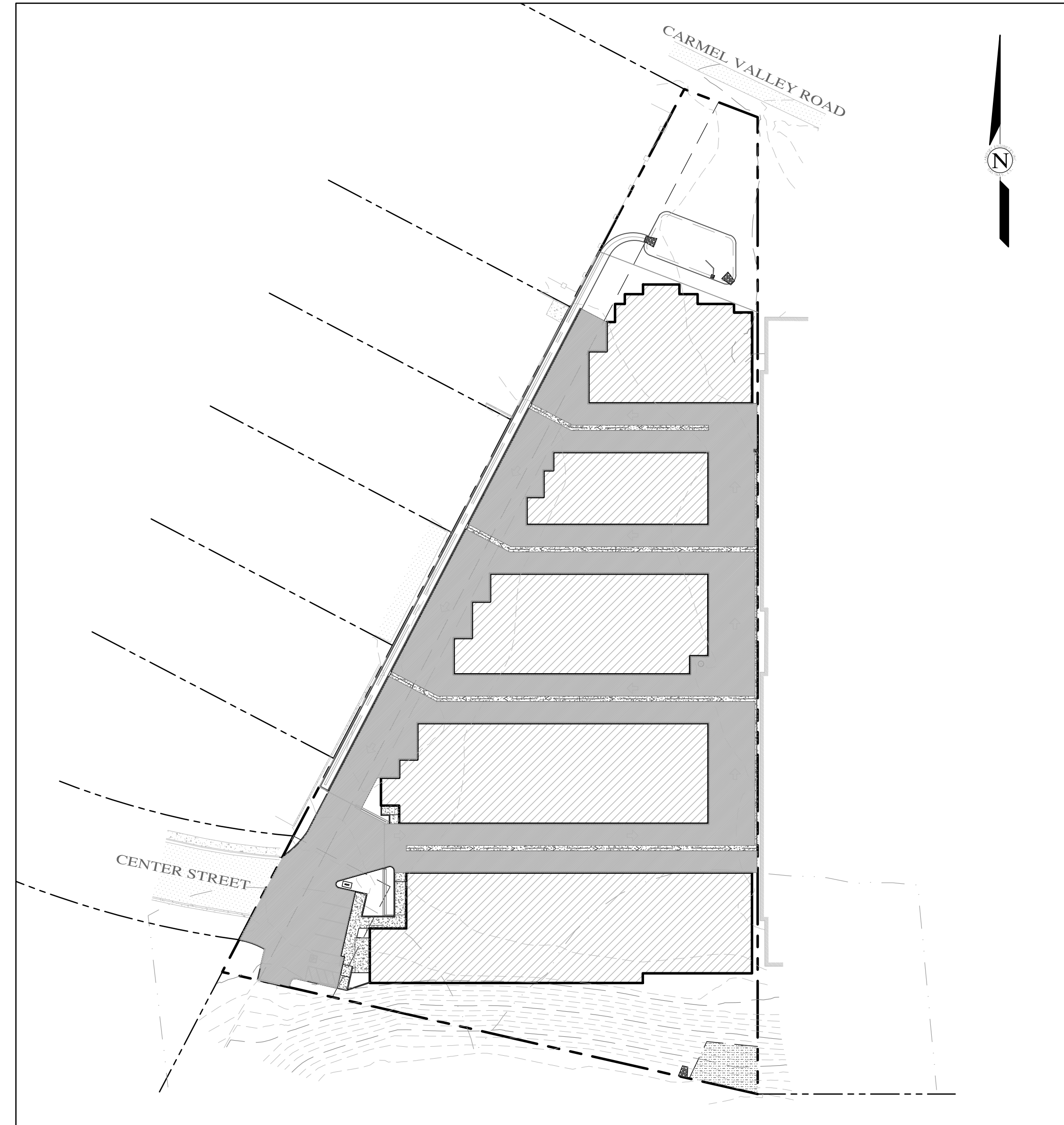
CENTER STREET SELF STORAGE

APN: 169-131-024

CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=50'

LEGEND:

NEW:

- MAJOR CONTOUR LINE (5' INTERVAL)
- - - MINOR CONTOUR LINE (1' INTERVAL)
- > DRAINAGE SWALE FLOW LINE
- SD --- STORM DRAIN LINE
- ← SURFACE DRAINAGE FLOW DIRECTION
- 138.26 SPOT ELEVATION
- ⊗ ROOF DOWNSPOUT/SPLASH BLOCK
- ASPHALT CONCRETE SURFACE
- PORTLAND CEMENT CONCRETE SURFACE
- ROCK/BIOFILTRATION BASIN
- MAIN FLOOR BUILDING FOOTPRINT

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Base rock subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

TOTAL LOT AREA = 90,649 SQ.FT.
TOTAL NEW/REPLACE IMPERVIOUS AREA = 70,765 SQ.FT.
TOTAL AREA OF DISTURBANCE = 79,820 SQ.FT.

GRADING QUANTITIES: CUT = 1,255 C.Y.
FILL = 670 C.Y.
NET = 585 C.Y. EXPORT

AREAS WITH NATURAL SLOPE EQUAL TO OR GREATER THAN 25% = 7,285 S.F.
IMPROVEMENTS IN AREAS WITH NATURAL SLOPE EQUAL TO OR GREATER THAN 25% = 339 S.F.

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	N	NORTH
ARV	AIR RELEASE VALVE	(N)	NEW
BC	BEGIN CURVE	NDE	NATURAL DRAINAGE EASEMENT
BCR	BEGIN CURB RETURN	NO.	NUMBER
BLDG	BUILDING	NTS	NOT TO SCALE
BRDY	BOUNDARY	O.C.	ON CENTER
BTM	BOTTOM	PCC	POINT OF COMPOUND CURVATURE
BO	BLOW OFF	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PL P/L R	PROPERTY LINE
CL C/L C	CENTERLINE	POT	POINT ON TANGENT
CLEAR	CLEARANCE	PRC	POINT OF REVERSE CURVATURE
CO	CLEAN OUT	PRE	PRIVATE ROAD EASEMENT
CP	CURVE POINT	PUE	PUBLIC UTILITIES EASEMENT
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
EC	END CURVE	R.C.	RELATIVE COMPACTION
ECR	END CURB RETURN	RCP	REINFORCED CONCRETE PIPE
ELEV EL	ELEVATION	REL	RELATIVE
EP	EDGE OF PAVEMENT	RET WALL	RETAINING WALL
EX (E)	EXISTING	S	SLOPE
FC	FACE OF CURB	SD	STORM DRAIN
FD	FACE OF DIKE	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SHO	SHOULDER
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FL F/C	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
FL F/L E	FLOW LINE	STA	STATION
FP	FINISHED PAD	S/W	SIDEWALK
FW	FACE OF WALL	TC T/C	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GR	GRATE	T.I.	TRAFFIC INDEX
HDPE	HIGH DENSITY POLYETHYLENE	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
INV	INVERT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WE	WATER LINE EASEMENT
MAX	MAXIMUM	WS	WATER SERVICE

EXISTING UTILITY NOTE:



EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCED BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOBSITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

INDEX TO SHEETS

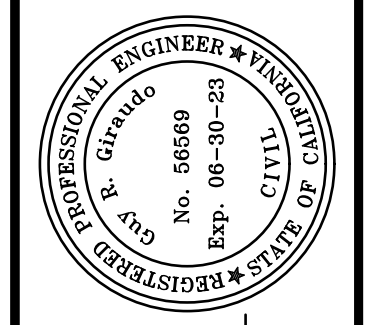
SHEET C1	COVER SHEET
SHEET C2	GENERAL NOTES
SHEET C3	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C4	GRADING, DRAINAGE & UTILITY PLAN
SHEET C5	GRADING SECTIONS
SHEET C6	STORM WATER CONTROL PLAN
SHEET C7	STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C8	EROSION & SEDIMENT CONTROL PLAN
SHEET C9	CONSTRUCTION MANAGEMENT PLAN
SHEET C10	ONSITE WASTE WATER TREATMENT SYSTEM PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
COASTAL INVESTMENT ENTERPRISES
385 DANTE LANE
TEMPLETON, CA 93465

SECONDARY: ARCHITECT
GABRIEL ARCHITECTS
ATTN: MR. LARRY GABRIEL
530 10TH STREET
PASO ROBLES, CA 93446
PH (805)238-9600

SITE LOCATION:
CENTER STREET
CARMEL VALLEY, CA 93924



APPROVED BY:
GUY R. GIRARDI
PROFESSIONAL ENGINEER - CIVIL
No. 56699
Exp. 06-30-23



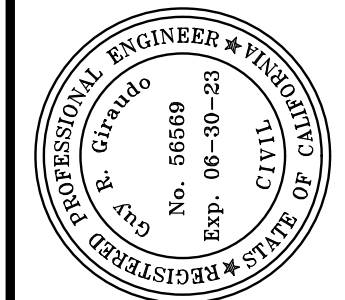
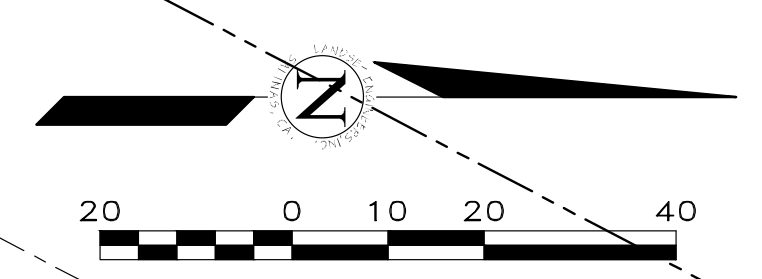
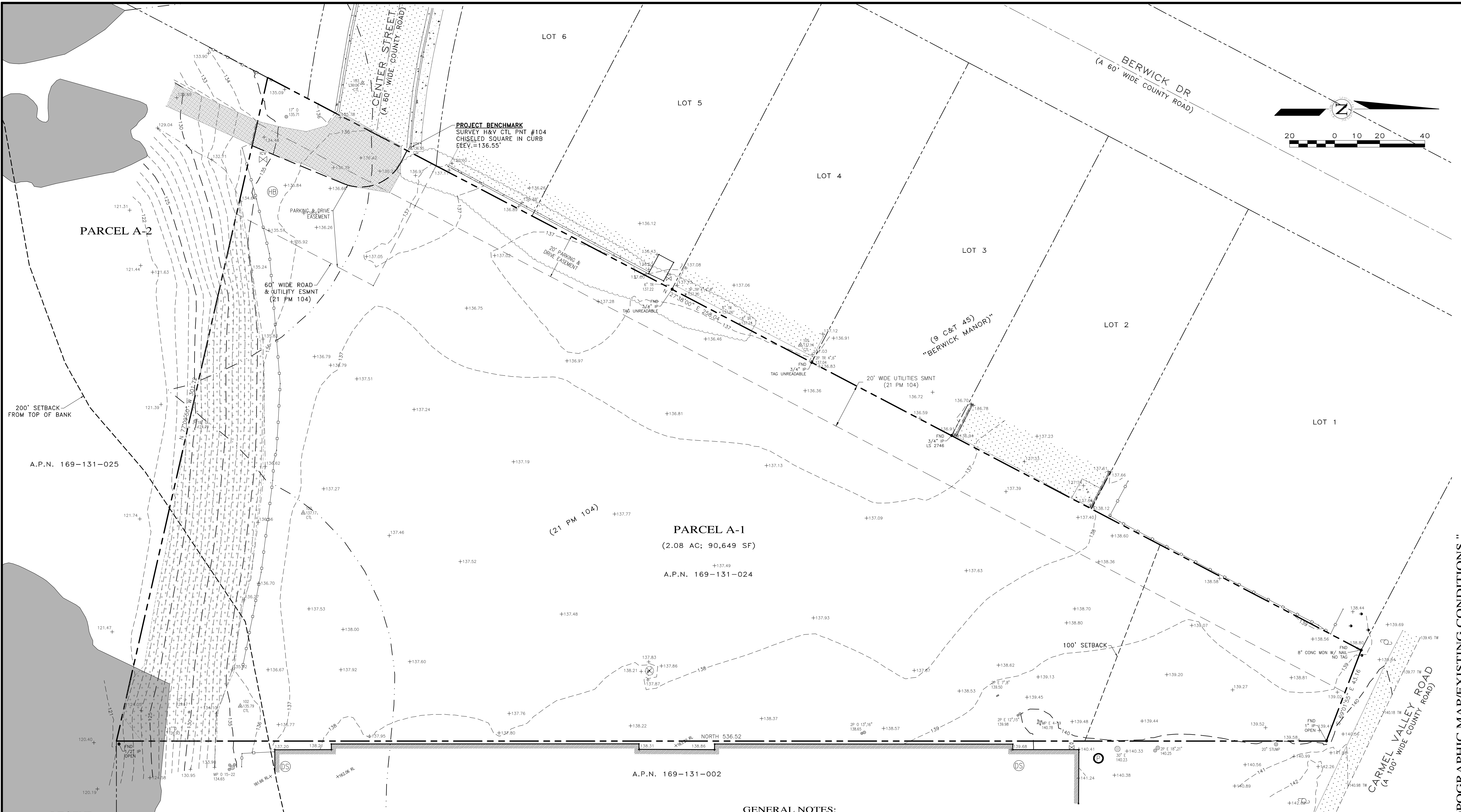
IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
 A.P.N.: 169-131-024
 CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. WILLIAM TUCKER

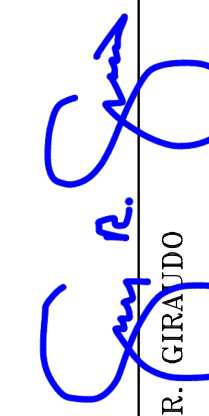
" COVER SHEET "

SCALE: AS SHOWN
DATE: AUGUST 2022
JOB NO. 2388-03

No.	DATE	BY	REVISION
02/17/23	AMS	BLDG. "A" NEW FLOOR PLAN	
12/20/22	AMS	MO.CO. HCD - EMAIL	
10/24/22	AMS	RELEASED TO CLIENT	
08/31/22	AMS	RELEASED TO CLIENT	

SHEET **C1**
OF 10 SHEETS



APPROVED BY:

 GUY R. GRAJDO



" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

IMPROVEMENT PLANS
 OF
CENTER STREET SELF STORAGE
 A.P.N.: 169-131-024
 CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. WILLIAM TUCKER

SCALE: 1"=10'
 DATE: AUGUST 2022
 JOB NO. 2388-03

SHEET **C3**
 OF 10 SHEETS

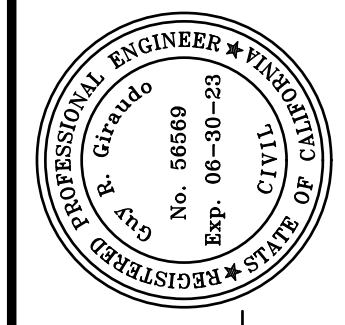
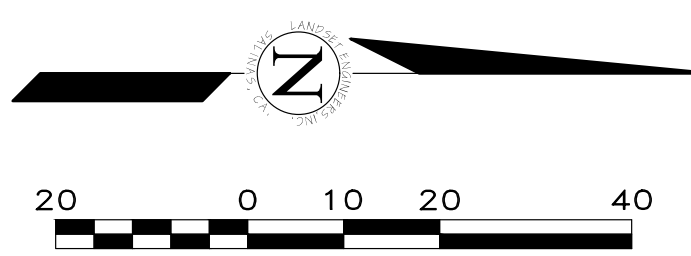
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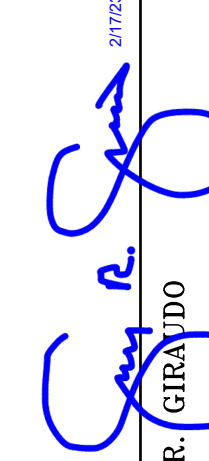
PROPERTY BOUNDARY	CONDUIT	IRRIGATION BOX
ADJACENT PROPERTY BOUNDARY	CLEANOUT	LANDSCAPE LIGHT
EASEMENT (TYPE AS SHOWN)	DOWNSPOUT	STREETLIGHT
ROADWAY CENTERLINE	ELECTRICAL HUB	PG&E BOX
MAJOR CONTOUR LINE (5' INTERVAL)	ELECTRIC METER	PG&E GAS MANHOLE
MINOR CONTOUR LINE (1' INTERVAL)	ELECTRICAL PANEL	PIPE
FENCE (TYPE AS MARKED)	ELECTRICAL OUTLET	STORM DRAIN MANHOLE
TOP OF SLOPE/BANK	ELECTRIC MANHOLE	SANITARY SEWER CLEANOUT
100' RIPARIAN HABITAT BUFFER	FUSEBOX	SANITARY SEWER MANHOLE
ASPHALT CONCRETE	GAS LINE	TELEPHONE BOX
PORTLAND CEMENT CONCRETE	GAS METER	UNKNOWN UTILITY
DECOMPOSED GRANITE	GAS VALVE	UTILITY HUB
NATURAL GROUND SURFACE/LANDSCAPED AREA	GUY WIRE	UTILITY POLE
RIPARIAN HABITAT	HOSE BIB	WATER METER
25% SLOPE OR GREATER	FIRE HYDRANT	WATER SERVICE
	IRRIGATION CONTROL VALVE	WATER VALVE

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #104, A CHISELED SQUARE IN THE CURB OF CENTER ST LOCATED APPROXIMATELY 63.3' NORTH AND 31.3' EAST OF THE SOUTHWESTERLY CORNER OF PARCEL A-1. ELEVATION = 136.55' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/30/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

- FOUND MONUMENT (TYPE NOTED)
- SURVEY H&V CONTROL POINT
- SPOT ELEVATION
- RIDGELINE
- FINISHED FLOOR
- THRESHOLD
- TREE (TYPE/SIZE AS MARKED)
- SYMBOL CENTER IS APPROX CENTER OF TREE
- TWO-PRONGED TREE (2P)
- THREE-PRONGED TREE (3P)
- MULTI-PRONGED TREE (MP)
- CE = CEDAR PA = PALM
- CW = COTTON WOOD PE = PEPPER
- CYP = CYPRESS P = PINE
- E = EUCALYPTUS R = REDWOOD
- H = HOLLY TR = TREE
- O = OAK W = WILLOW



APPROVED BY:

 GUY R. GIRARDI

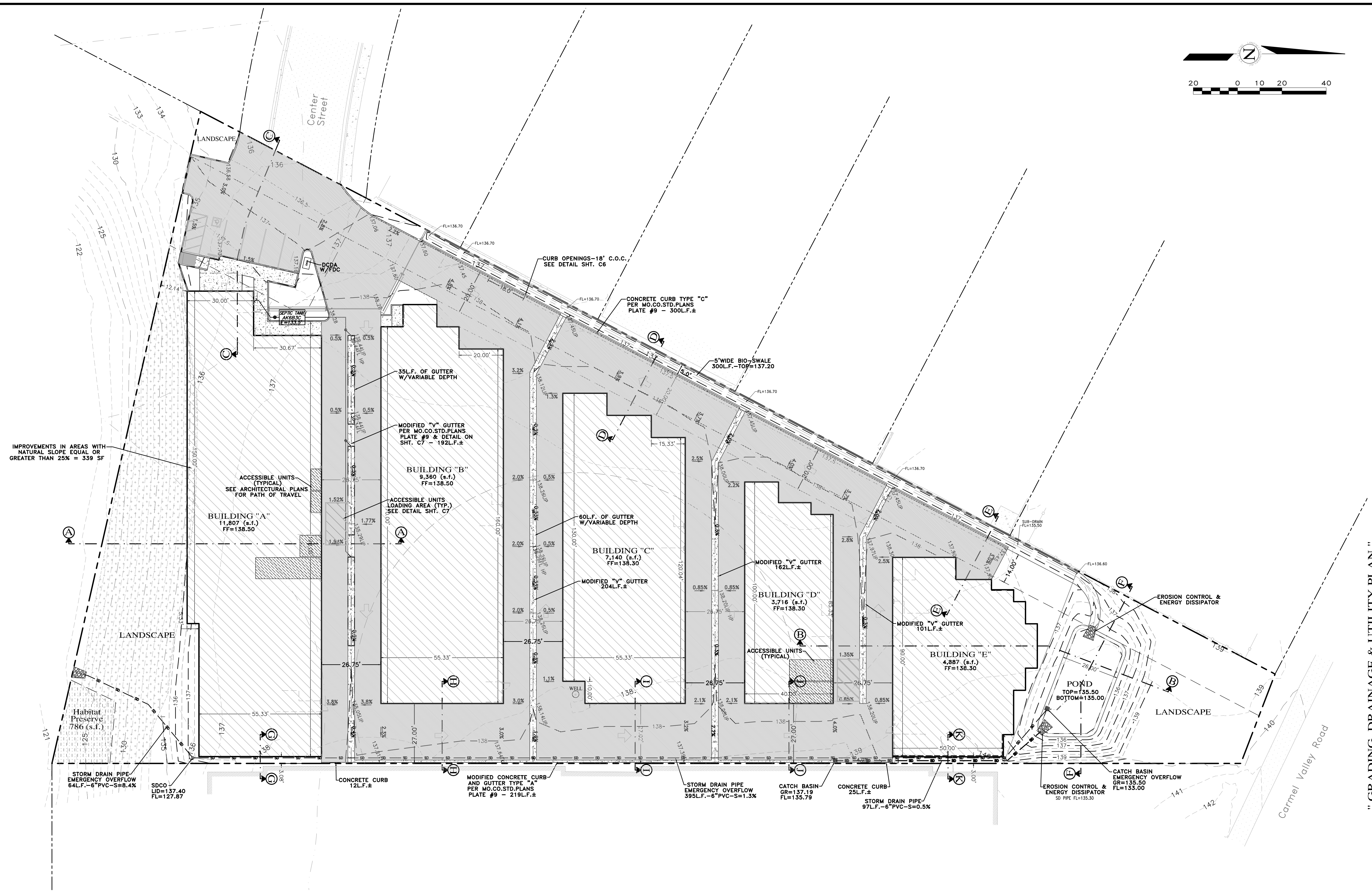


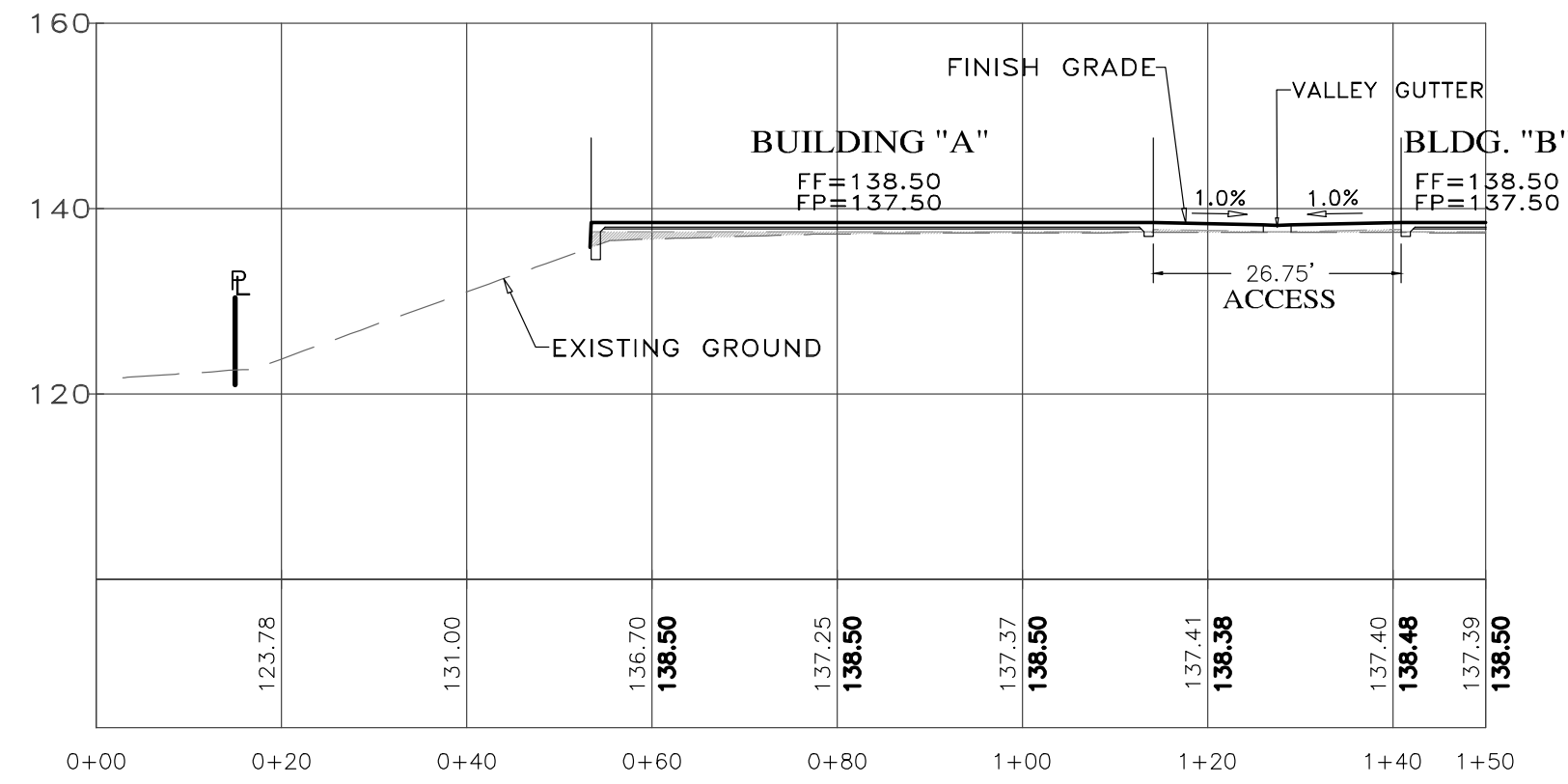
" GRADING, DRAINAGE & UTILITY PLAN "
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 FOR
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SCALE: 1"=20'
 DATE: AUGUST 2022
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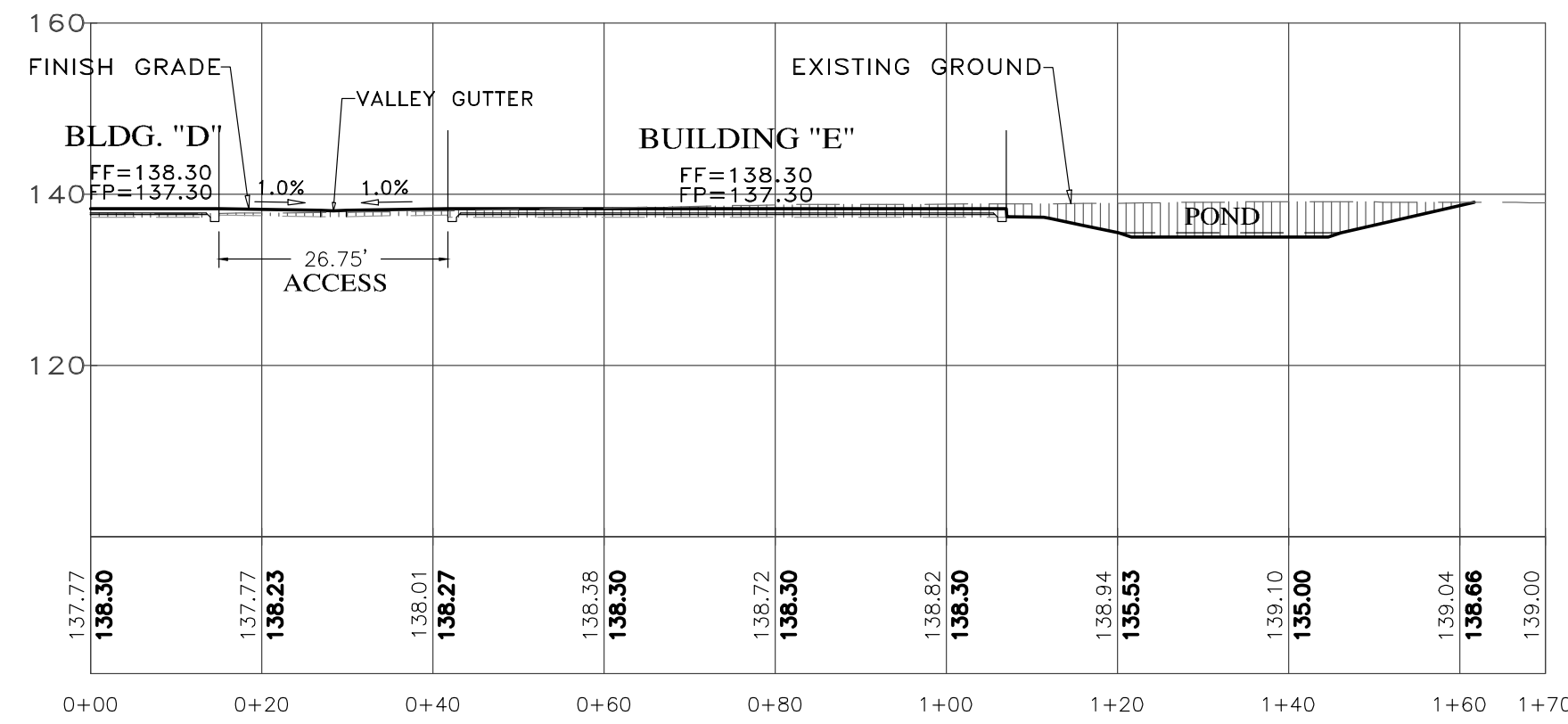
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08/31/22	AMS	RELEASED TO CLIENT	

SHEET **C4**
 OF 10 SHEETS

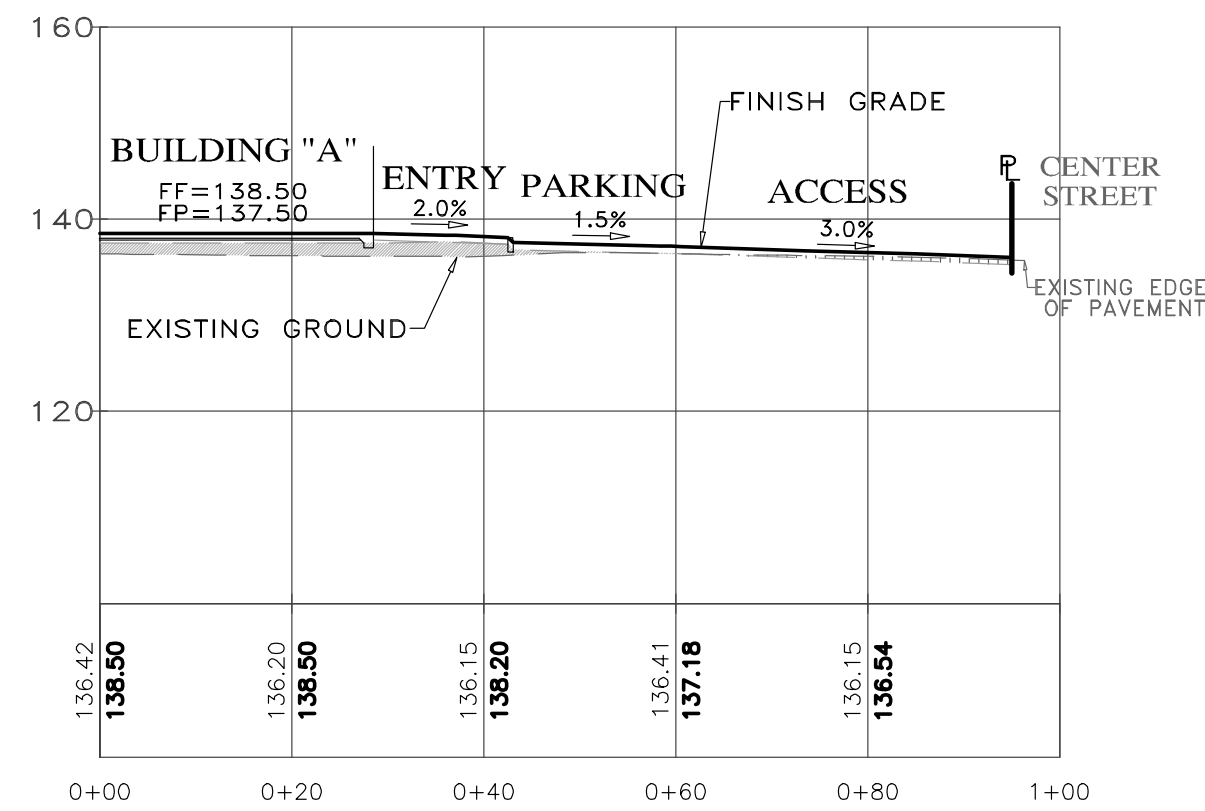




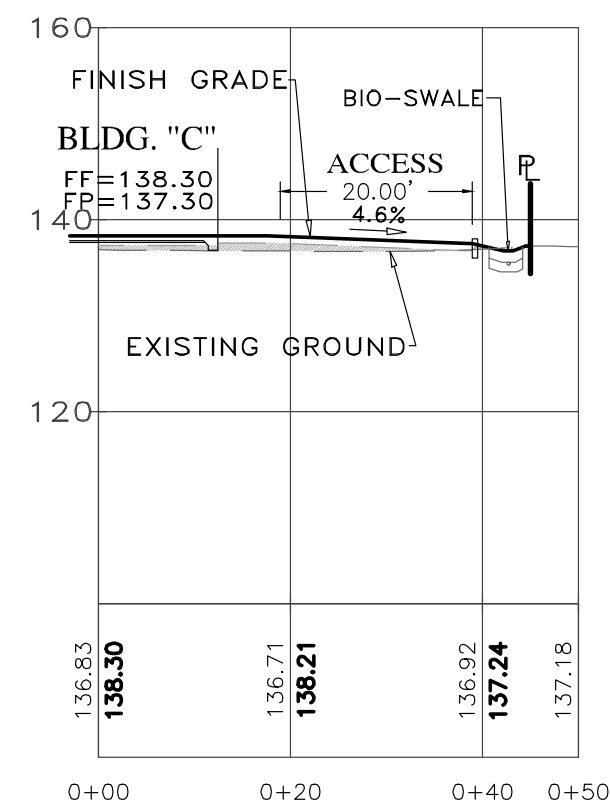
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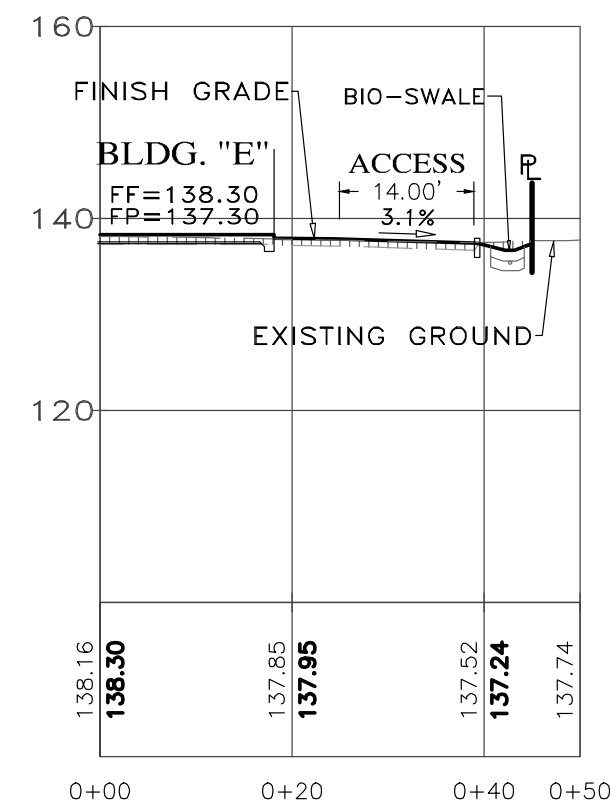
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SCALE: 1"=20' H&V



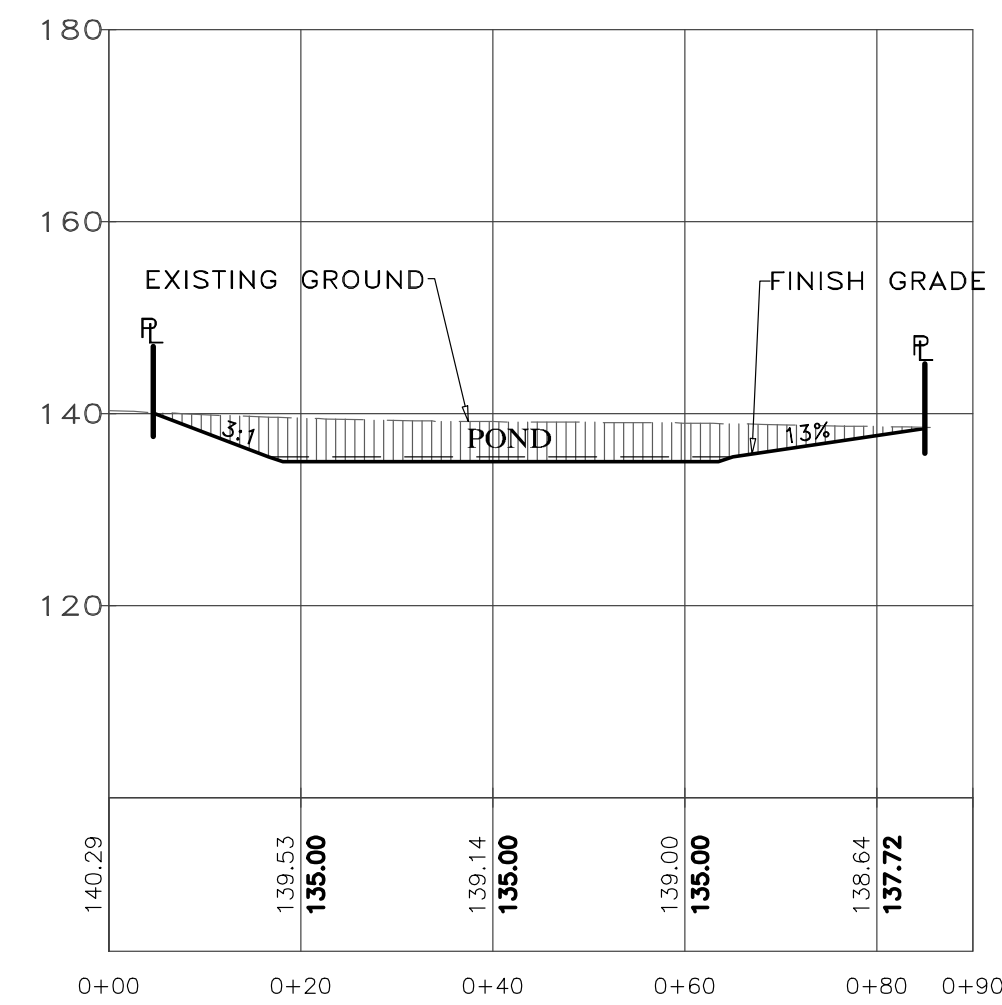
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SCALE: 1"=20' H&V



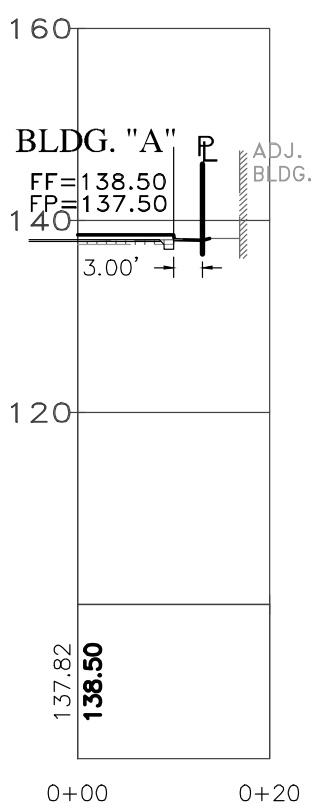
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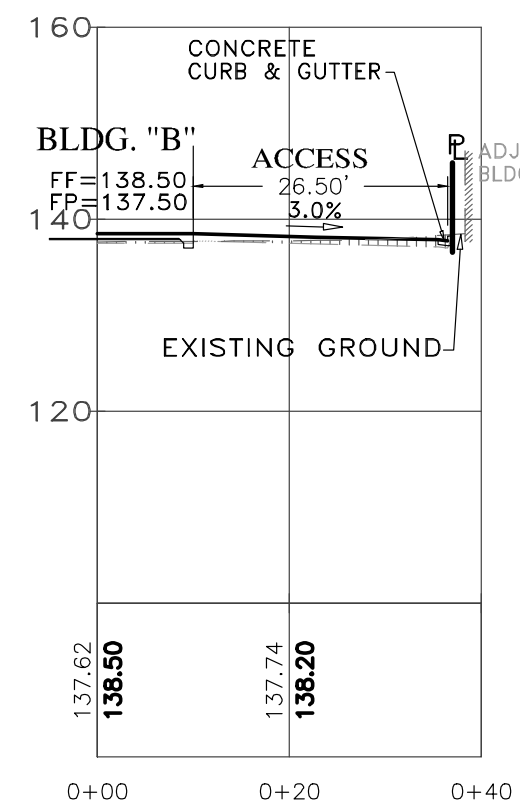
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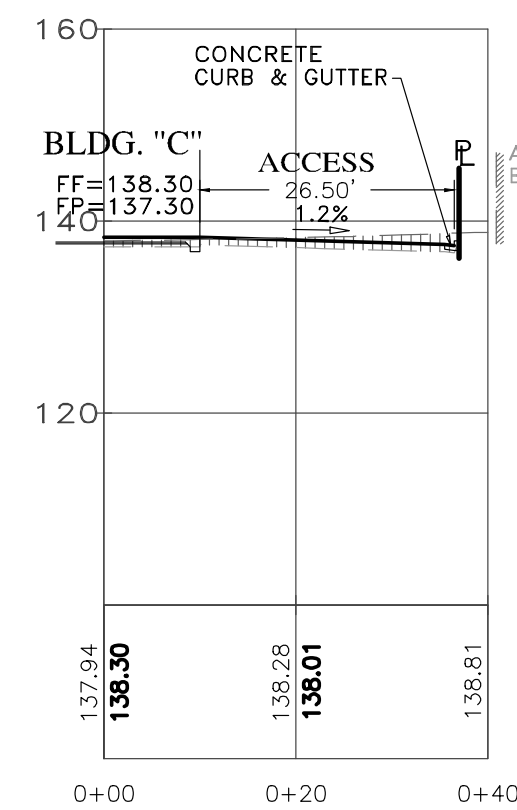
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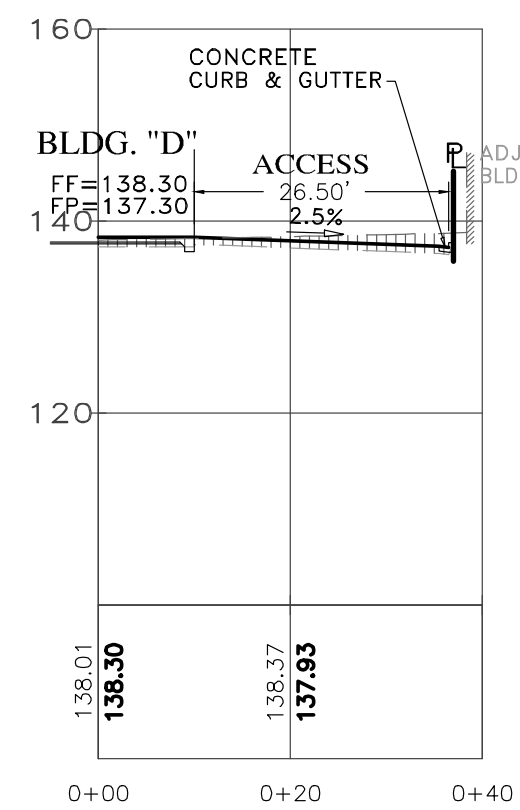
SECTION G-G
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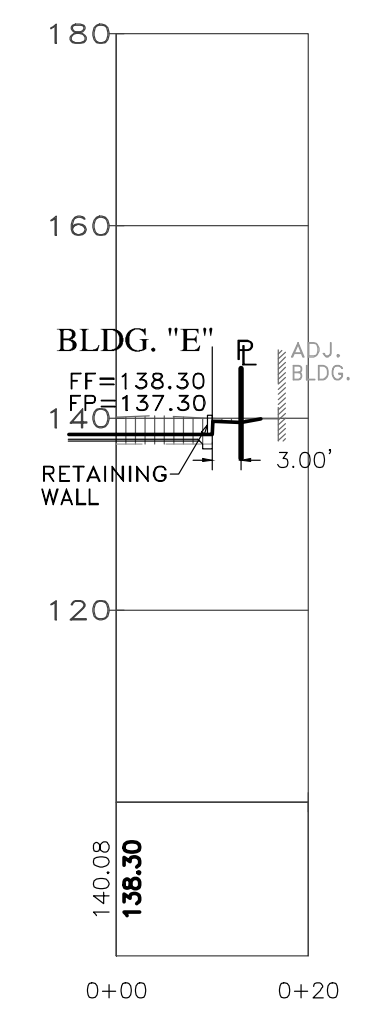
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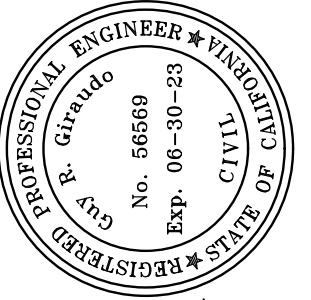
SECTION I-I
SCALE: 1"=20' H&V



SECTION J-J
SCALE: 1"=20' H&V



SECTION K-K
SCALE: 1"=20' H&V



APPROVED BY:
GUY R. GIRA
Professional Engineer # 66569
City of Carmel



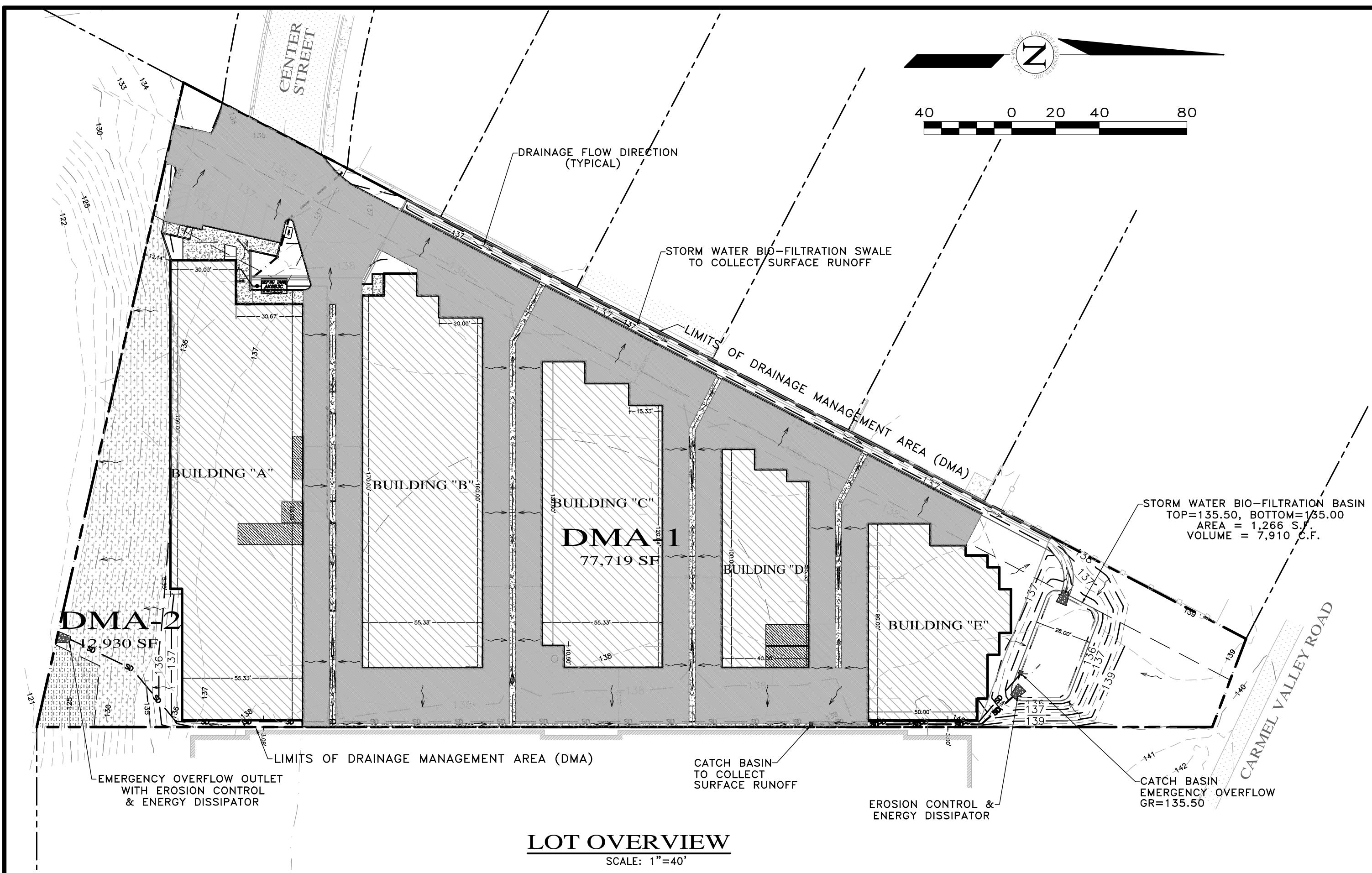
1" CONCEPTUAL GRADING SECTIONS 1"

IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. WILLIAM TUCKER

SCALE: 1"=20' H&V
DATE: AUGUST 2022
JOB NO. 2388-03

No.	DATE	BY	REVISION
02/17/23	AMS		BLDG. "A" NEW FLOOR PLAN
12/20/22	AMS		MD.CO. HCD - EMAIL
10/24/22	AMS		RELEASED TO CLIENT
08/31/22	AMS		RELEASED TO CLIENT

SHEET **C5**
OF 10 SHEETS



LOT OVERVIEW
SCALE: 1"=40'

AREA SUMMARY:

TOTAL LOT AREA 90,649 s.f.

- Building "A" (s.f.): 11,807
- Building "B" (s.f.): 9,360
- Building "C" (s.f.): 7,140
- Building "D" (s.f.): 3,716
- Building "E" (s.f.): 4,887

Total Building area (s.f.): 36,910
 Asphalt concrete area(s.f.): 30,584
 Concrete Valley Gutter (s.f.): 2,322
 Concrete walk areas (s.f.): 959
TOTAL IMPERVIOUS AREA: 70,775 s.f.
 to be treated on Basin

Habitat Preserve (s.f.) 786
 Bio-Filtration Basin/Swale(s.f.) 2,913
 Landscape Area (s.f.) 16,175
TOTAL PERVIOUS AREA: 19,874

WATER QUALITY TREATMENT:

FROM CENTRAL COAST REGION STORMWATER TECHNICAL GUIDE:

FLOW-BASED - BIOFILTRATION
 RAINFALL INTENSITY: 0.2 IN/HR
 PERCOLATION THROUGH SOIL MEDIA: 5 IN/HR
 TRIBUTARY IMPERVIOUS AREA (A_T): 70,775 SF
 BIO-FILTRATION MINIMUM AREA = A_T x 0.2/5
 BIO-FILTRATION MINIMUM AREA = 2,831 SF

RUNOFF RETENTION:

DMA-1 AREA 77,719 s.f.
 95th PERCENTILE 24hr RAINFALL DEPTH: 1.4"
 C=0.8

RET. VOL. = C x A x 1.4"

RETENTION VOLUME = 7,254 c.f.

DMA-2 AREA 12,930 s.f.

SELF TREATED AREA (PERVIOUS SURFACE)

VOLUME SUMMARY:

VOLUME REQUIRED FOR RUNOFF RETENTION: 7,254 c.f.
 VOLUME REQUIRED FOR PEAK FLOW RATE: 2,585 c.f.
 VOLUME PROVIDED IN SYSTEM: 31,939 c.f.

2388-03 CARMEL VALLEY SELF STORAGE

2 YR PRE-DEVELOPMENT PEAK FLOW RATE

DRAIN AREA	CONTRIBUTING AREA DESCRIPTION	WATERSHED AREA		FLOW DISTANCE (FT)	ELEV. DIFF. (FT)	SLOPE (FT/FT)	TIME OF CONCENTRATION (MIN)	PER MO. CO. SUD. DETAILS PLATE No. 25		RUNOFF COEFFICIENT	PEAK FLOW RATE	
		(C.F.)	(AC)					2YR INTENSITY (IN/HR)	MAX INTENSITY (IN/HR)		(C.F.S.)	(G.P.M.)
Existing DMA-1	14% IMPERV. + 88.6% PERV.	77719	1,7842	539	4	0.0074	17	0.62	1.17	0.22	0.46	206
2 YEARS PRE-DEVELOPMENT RUNOFF											0.46	206

10 YR PRE-DEVELOPMENT PEAK FLOW RATE

DRAIN AREA	CONTRIBUTING AREA DESCRIPTION	WATERSHED AREA		FLOW DISTANCE (FT)	ELEV. DIFF. (FT)	SLOPE (FT/FT)	TIME OF CONCENTRATION (MIN)	PER MO. CO. SUD. DETAILS PLATE No. 25		RUNOFF COEFFICIENT	PEAK FLOW RATE	
		(C.F.)	(AC)					2YR INTENSITY (IN/HR)	MAX INTENSITY (IN/HR)		(C.F.S.)	(G.P.M.)
Existing DMA-1	14% IMPERV. + 88.6% PERV.	77719	1,7842	539	4	0.0074	17	0.9176	1.72	0.22	0.68	305
10 YEARS PRE-DEVELOPMENT RUNOFF											0.68	305

10 YR POST - DEVELOPMENT PEAK FLOW RATE (MODIFIED RATIONAL METHOD)
 WITH A DISCHARGE OF 2YR PRE-DEVELOPMENT PEAK FLOW RATE (0.46 CFS) AND AN INFILTRATION OF 12"/HR (0.294 CFS)

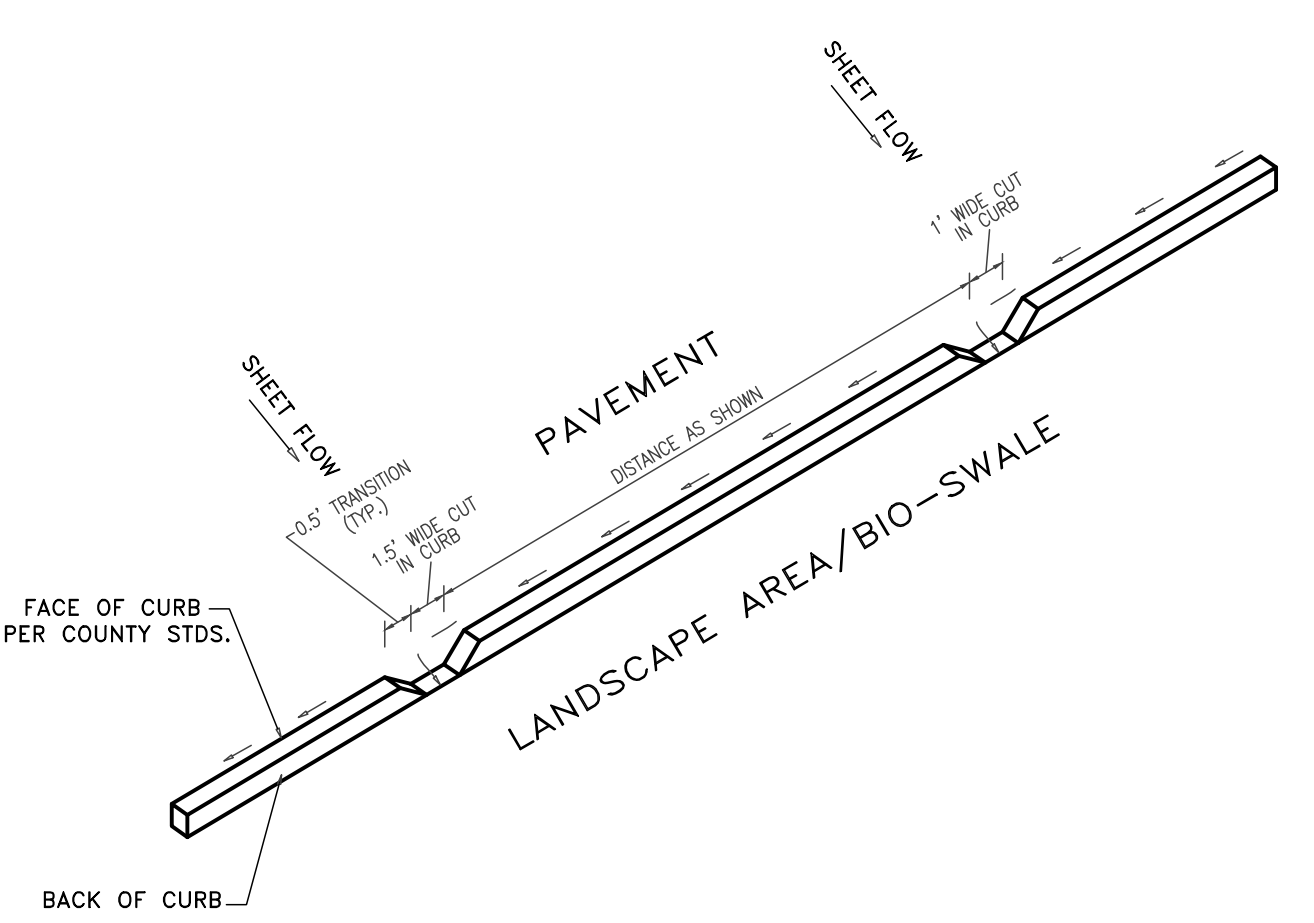
AREA	TIME OF CONCENTRATION (MIN)	PER MO. CO. SUD. DETAILS PLATE No. 25		RUNOFF COEFFICIENT	WEIGHTED COEFFICIENT (C _w)	PEAK FLOW RATE (C.F.S.)	STORAGE VOLUME REQUIRED (CU.FT.)
		2YR INTENSITY (IN/HR)	MAX INTENSITY (IN/HR)				
77,719.00	1.78	10	0.918	2.248822135	0.88	3.53	869.2225869
Buildings 36,910.00	0.85	20	1.990167382	1	2.50	1098.613627	
Asphalt 30,584.00	0.70	40	1.296555005	0.9	2.04	1097.451084	
Concrete 3,281.00	0.08	40	1.124411068	0.9	1.77	976.9451738	
Pervious 6,944.00	0.16	60	1.005703833	0.2	1.58	780.1723216	
		60	0.918077792		1.44	529.224689	

100 YR POST - DEVELOPMENT PEAK FLOW RATE (MODIFIED RATIONAL METHOD)
 WITH A DISCHARGE OF 10YR PRE-DEVELOPMENT PEAK FLOW RATE (0.68 CFS) AND AN INFILTRATION OF 12"/HR (0.294 CFS)

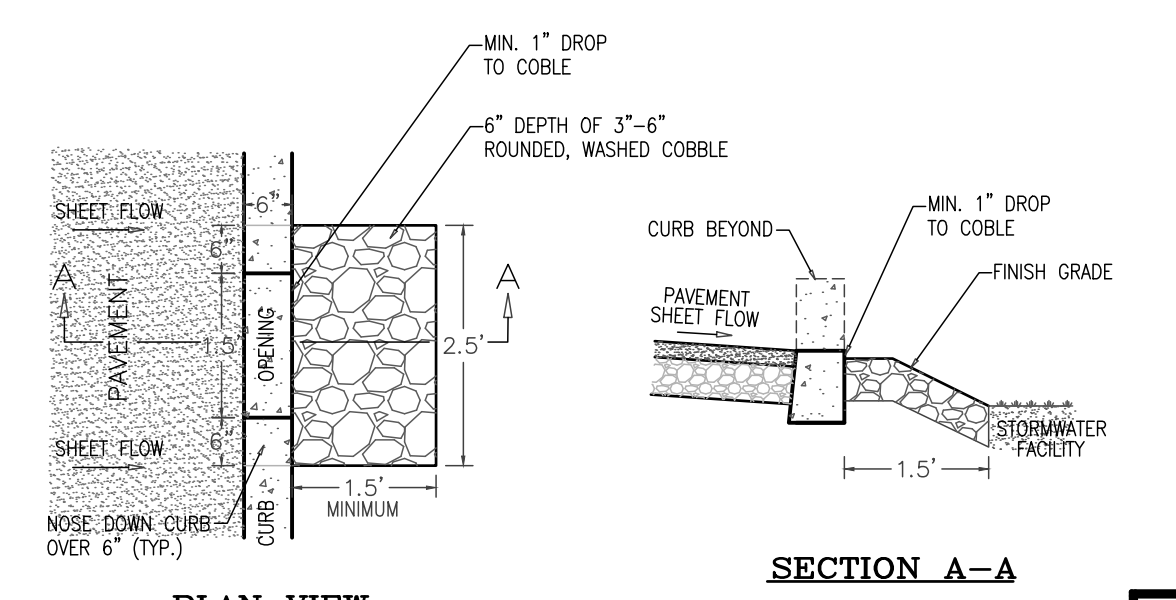
AREA	TIME OF CONCENTRATION (MIN)	PER MO. CO. SUD. DETAILS PLATE No. 25		RUNOFF COEFFICIENT	WEIGHTED COEFFICIENT (C _w)	PEAK FLOW RATE (C.F.S.)	STORAGE VOLUME REQUIRED (CU.FT.)
		10YR INTENSITY (IN/HR)	MAX INTENSITY (IN/HR)				
77,719.00	1.78	20	1.376	2.385236072	0.88	3.75	2168.807288
Buildings 36,910.00	0.85	30	1.947537098	1	3.06	2365.10423	
Asphalt 30,584.00	0.70	40	1.606616801	0.9	2.65	2390.456134	
Concrete 3,281.00	0.08	50	1.508555749	0.9	2.37	2306.428051	
Pervious 6,944.00	0.16	60	1.377116688	0.2	2.16	2144.746604	
		70	1.27496231		2.00	1924.223217	

BASIN VOLUME CALCULATION

ft (elevation)	ft (above bottom)	area 1 ft ² (area in plan)	Void Ratio	area 2 ft ² (area in plan)	volume cf	Volume cf	
135.50	3.5	1266	1		581.25	581.25	Pond
135.00	3	1059	0.26	1059	550.68	550.68	Soil
133.00	1	1059	0.4	1059	423.6	423.6	Gravel
132.00	0			1059			
TOTAL BASIN VOLUME:						1,555.5	
Infiltration Volume at bottom of pond at 12"/hr on 24 Hr						30,384.0	
TOTAL VOLUME THE BASIN IS CAPABLE TO HOLD ON 24 HRS (cf):						31,939.5	



PLAN VIEW

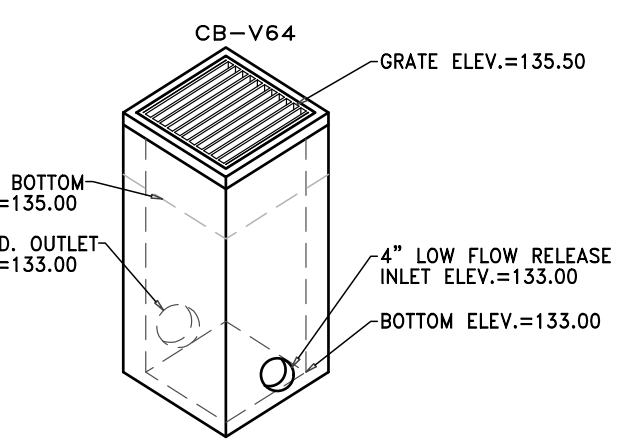


SECTION A-A

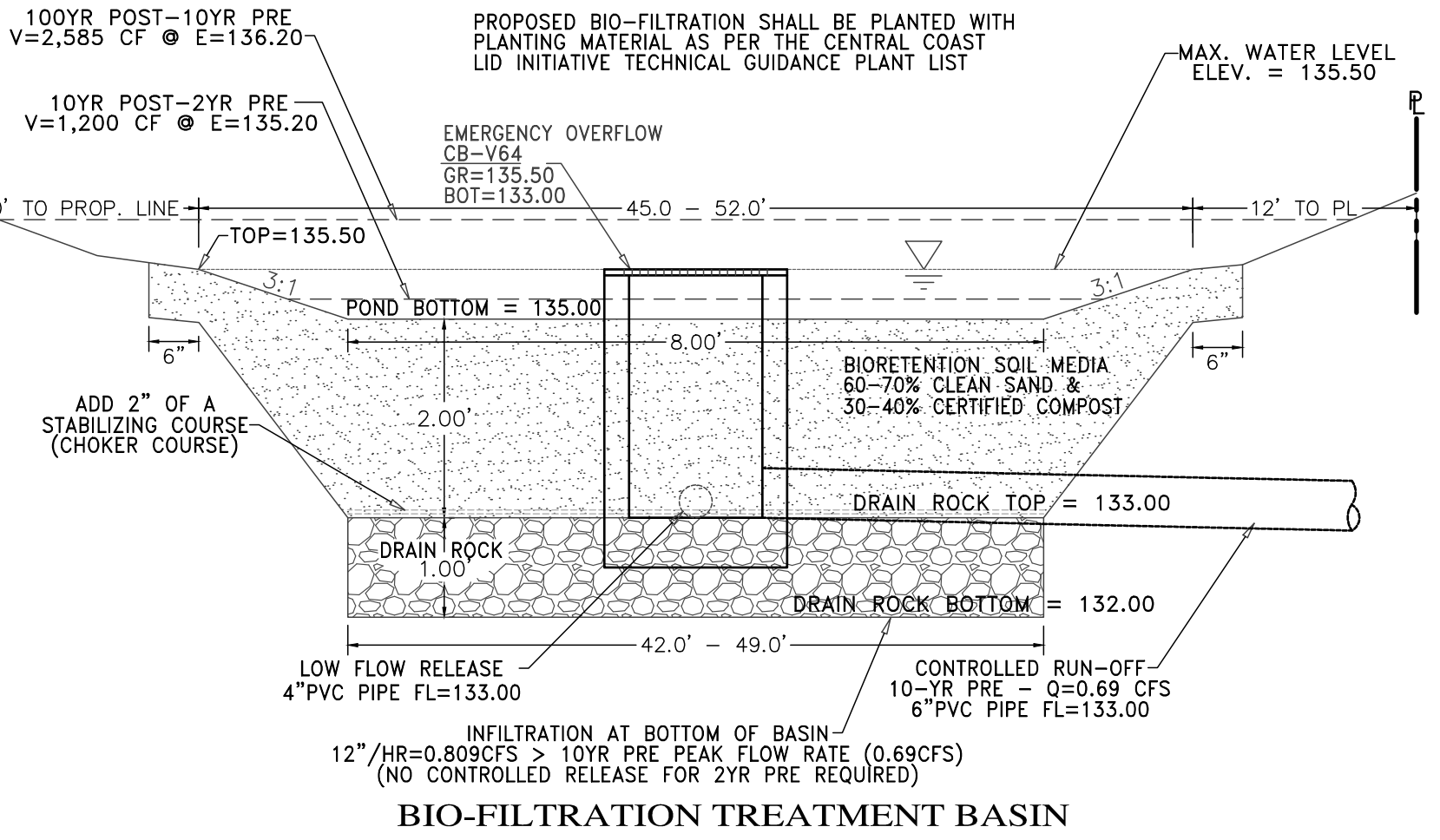
CURB OPENINGS
NOT TO SCALE

STORM WATER CONTROL NOTES:

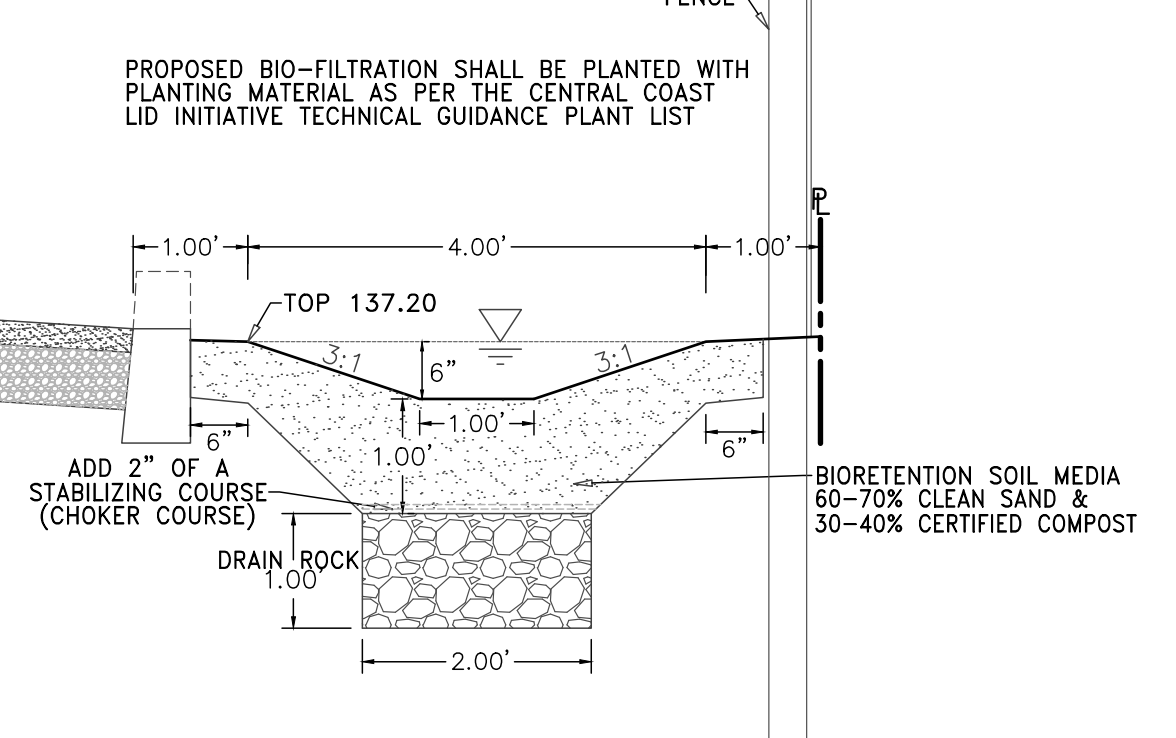
- 1) ALL WORK SHALL BE IN COMPLIANCE WITH THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, RESOLUTION No. R3-2013-0032, ATTACHMENT 1.
- 2) THIS PROJECT WILL CREATE AND/OR REPLACE 70,775 SQ.FT. OF IMPERVIOUS SURFACES (COLLECTIVELY OVER THE ENTIRE PROJECT).
- 3) PER POST-CONSTRUCTION REQUIREMENTS RESOLUTION R3-2013-0032, CHAPTER B, THIS PROJECT IS A REGULATED PROJECT PERFORMANCE REQUIREMENTS No. 1, 2, 3 & 4 (WATER TREATMENT, RUNOFF RETENTION & PEAK MANAGEMENT).
- 4) POST-DEVELOPMENT PEAK FLOWS DISCHARGED FROM THE SITE, SHALL NOT EXCEED PRE-PROJECT PEAK FLOWS FOR THE 2-THROUGH 10-YR STORM EVENTS.
- 5) PER SOILS ENGINEERING INVESTIGATION AND PERCOLATION TESTING PREPARED BY LANDSET ENGINEERS FOR THIS PROJECT, FOR STORM DRAINAGE PURPOSES THE INFILTRATION RATE USED FOR CALCULATIONS SHALL BE 12"/HR.



EMERGENCY OVERFLOW



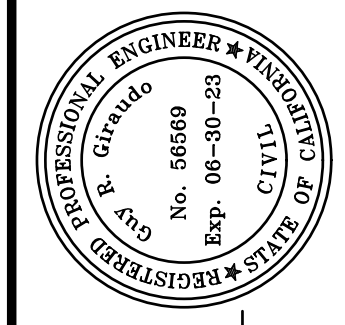
BIO-FILTRATION TREATMENT BASIN



BIO-FILTRATION TREATMENT SWALE

STRUCTURAL STORMWATER CONTROL MEASURES
NOT TO SCALE

" STORM WATER CONTROL PLAN "
IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
 A.P.N.: 169-1131-024
 CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. WILLIAM TUCKER



APPROVED BY:

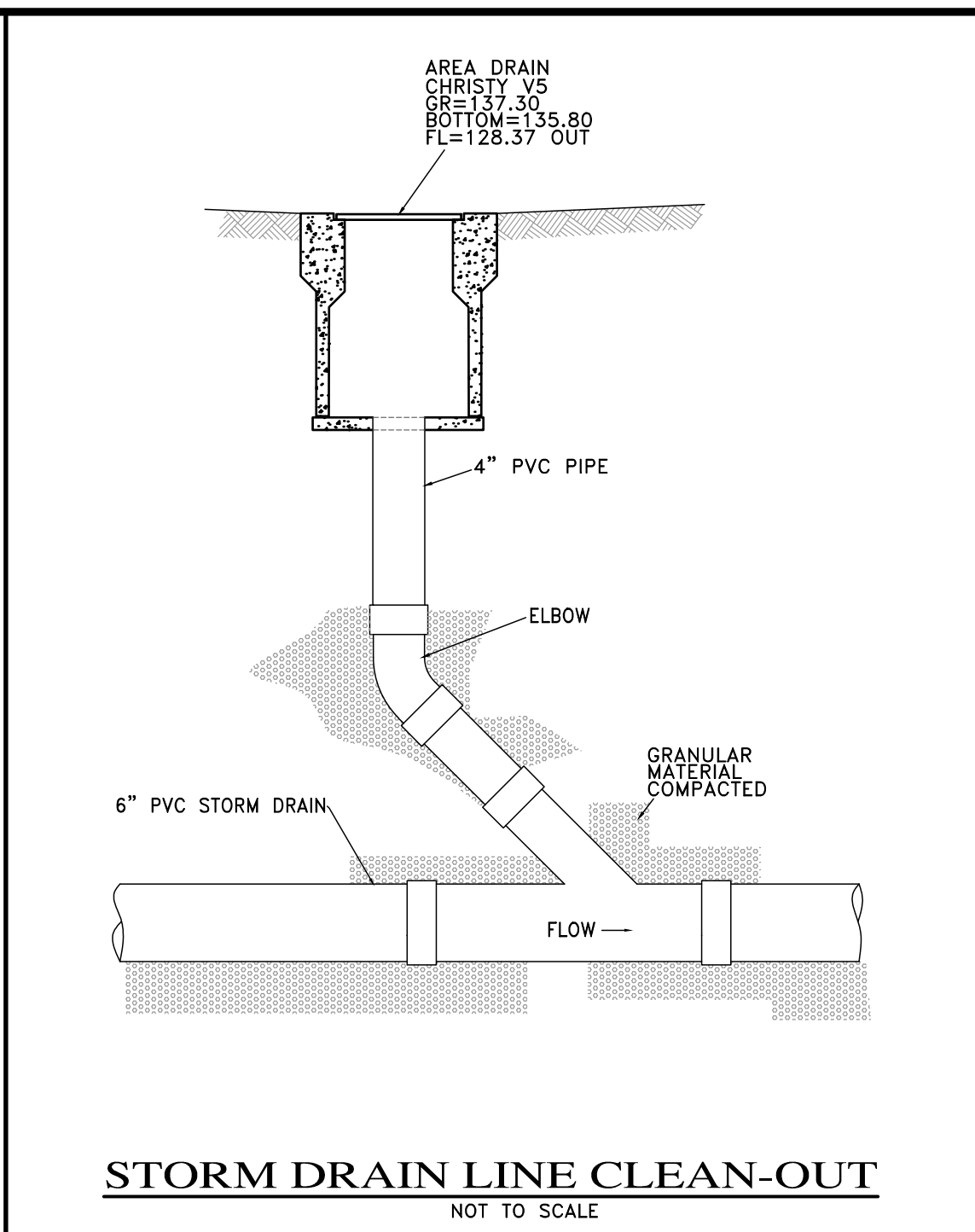
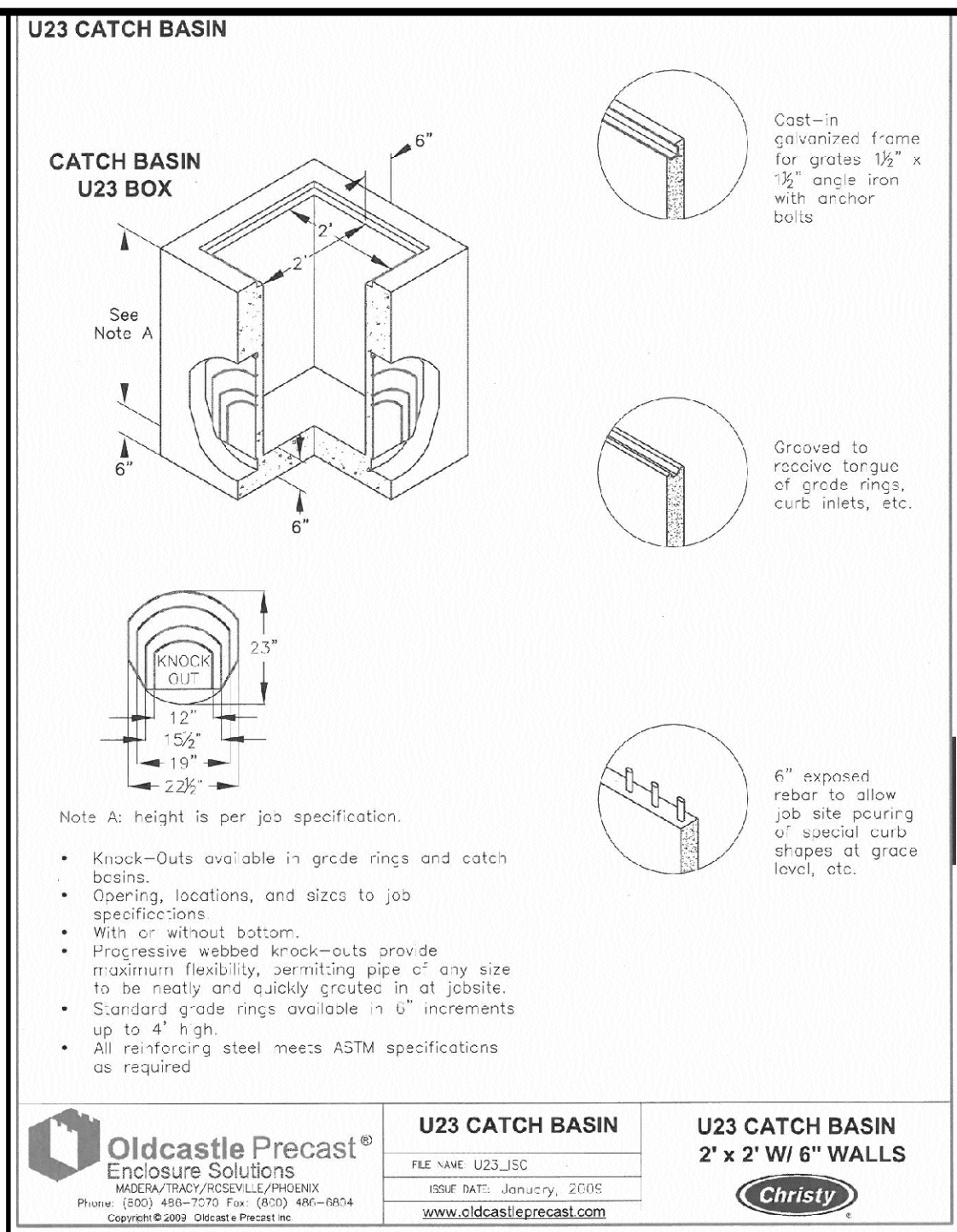
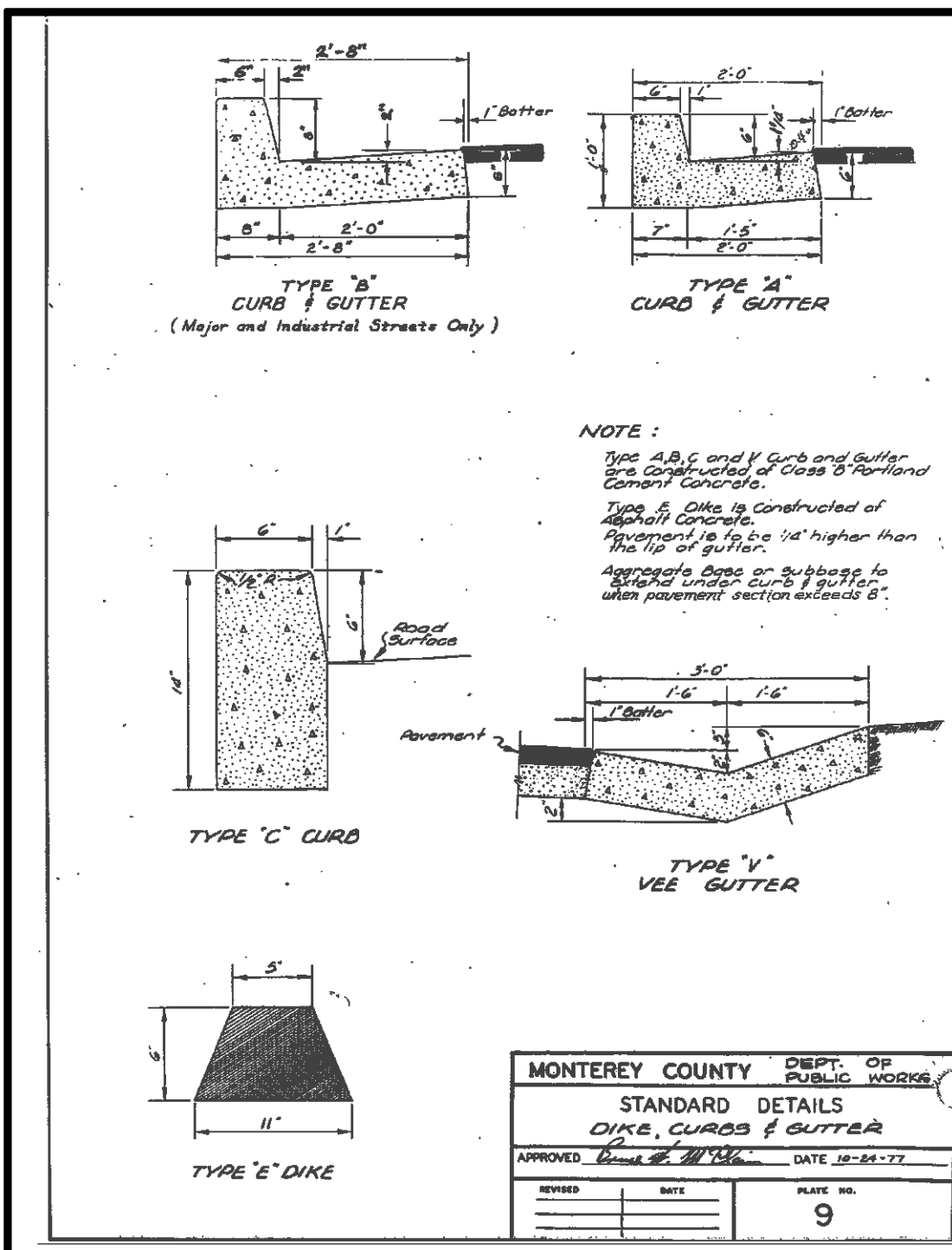
 GUY R. GIRARDI



02/17/23	AMS	BLDG. "A" NEW FLOOR PLAN
12/20/22	AMS	MO.CO. HCD - EMAIL
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08/31/22	AMS	RELEASED TO CLIENT
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		REVISION

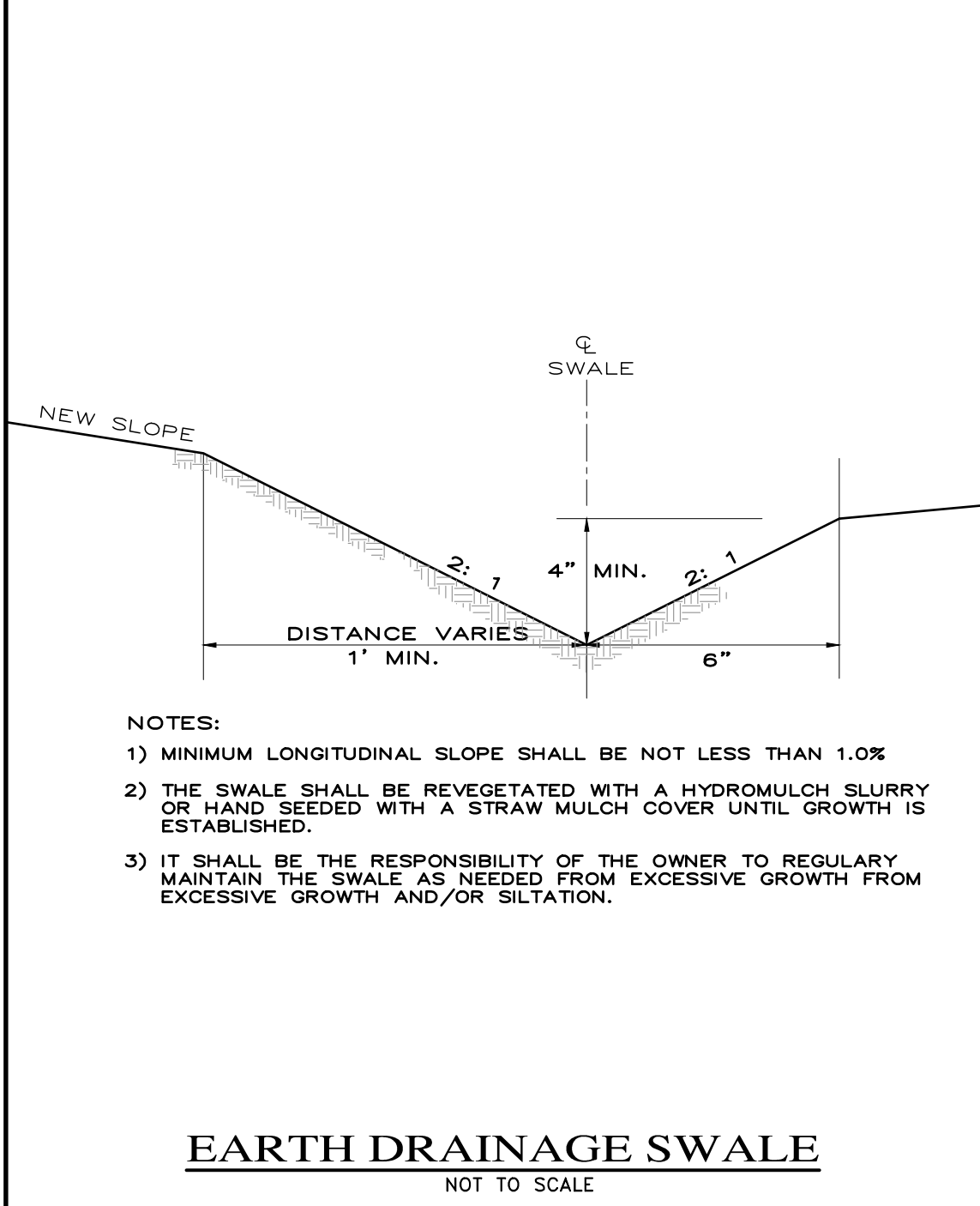
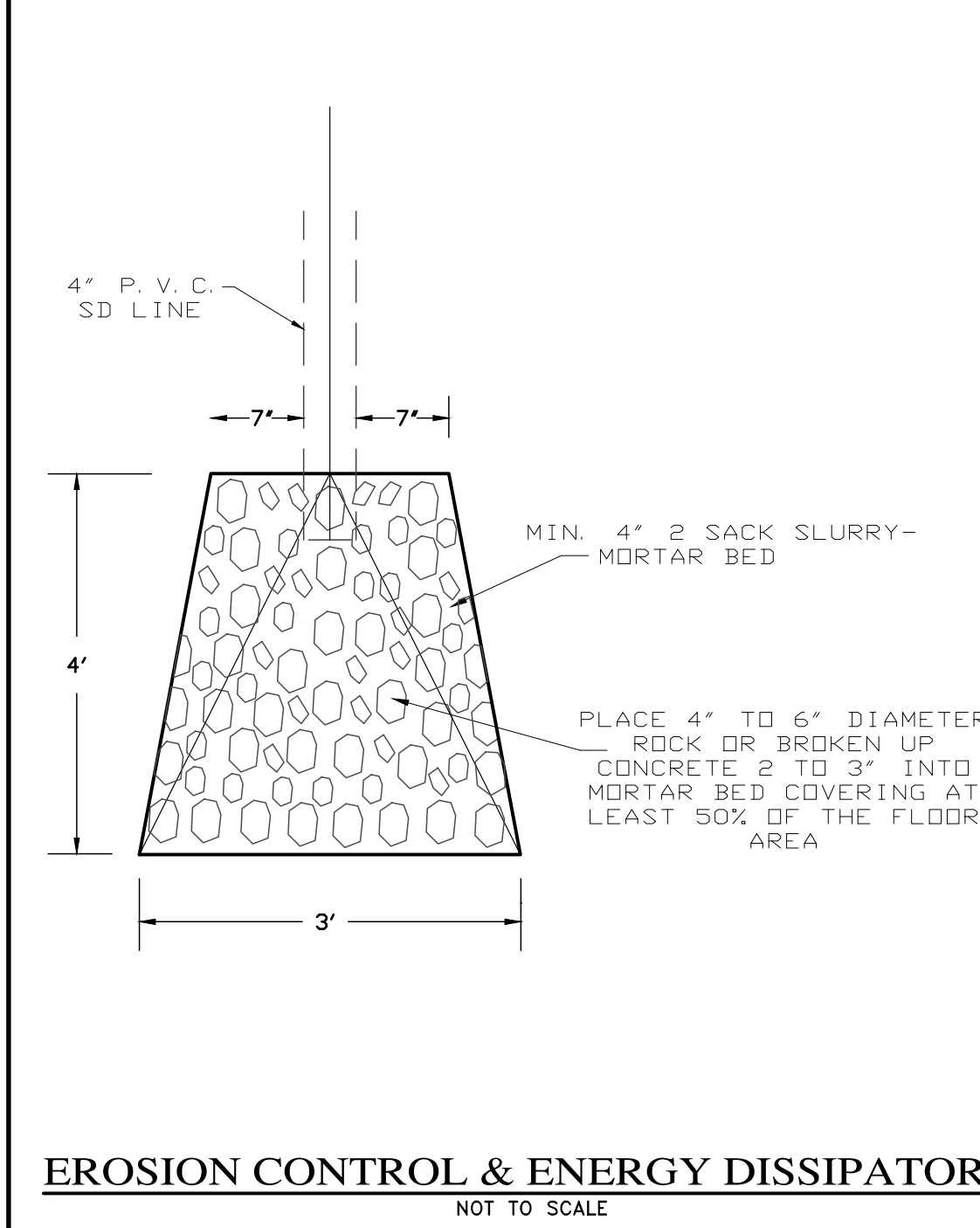
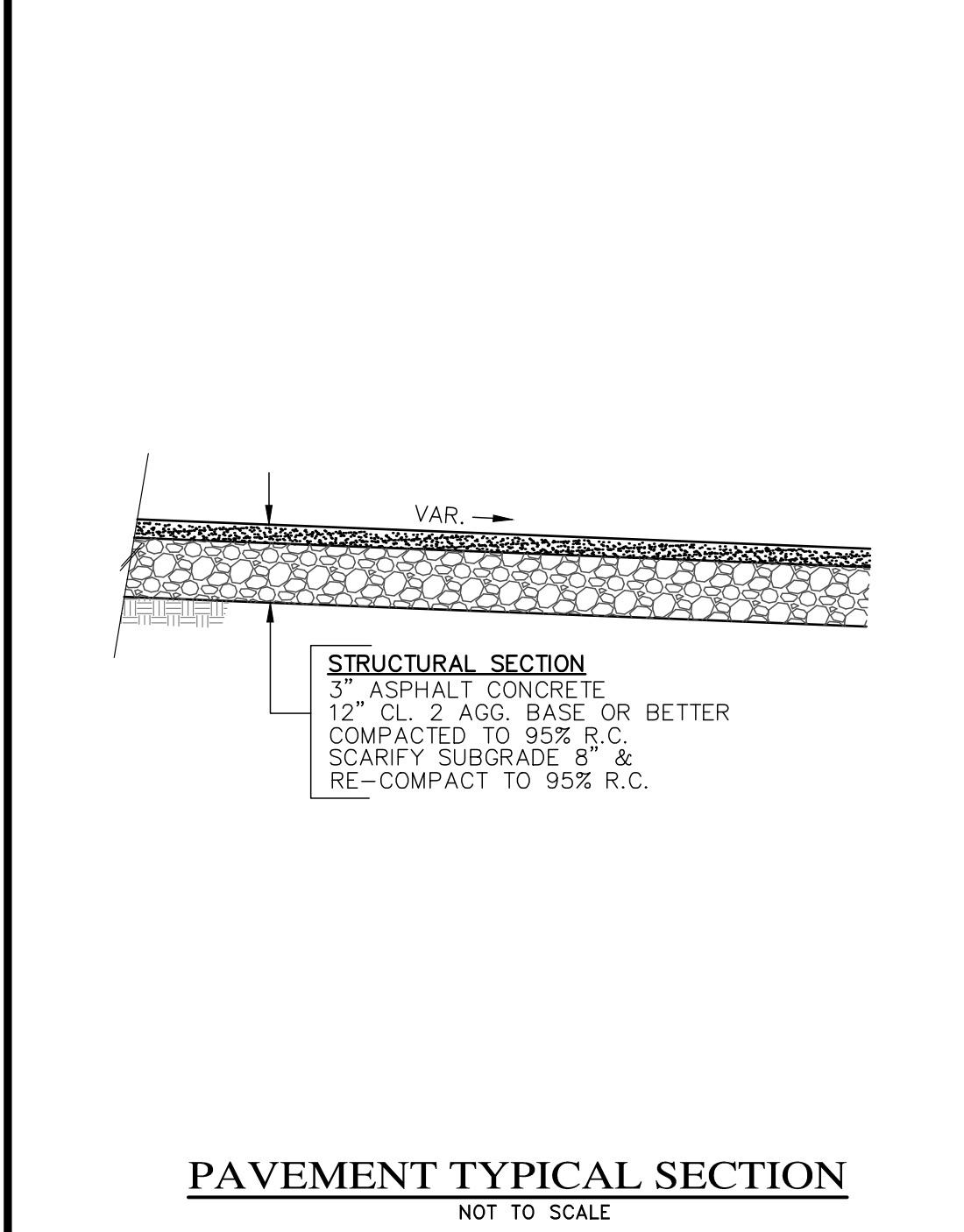
SCALE: AS SHOWN
 DATE: AUGUST 2022
 JOB NO. 2388-03
 SHEET **C6**
 OF 10 SHEETS

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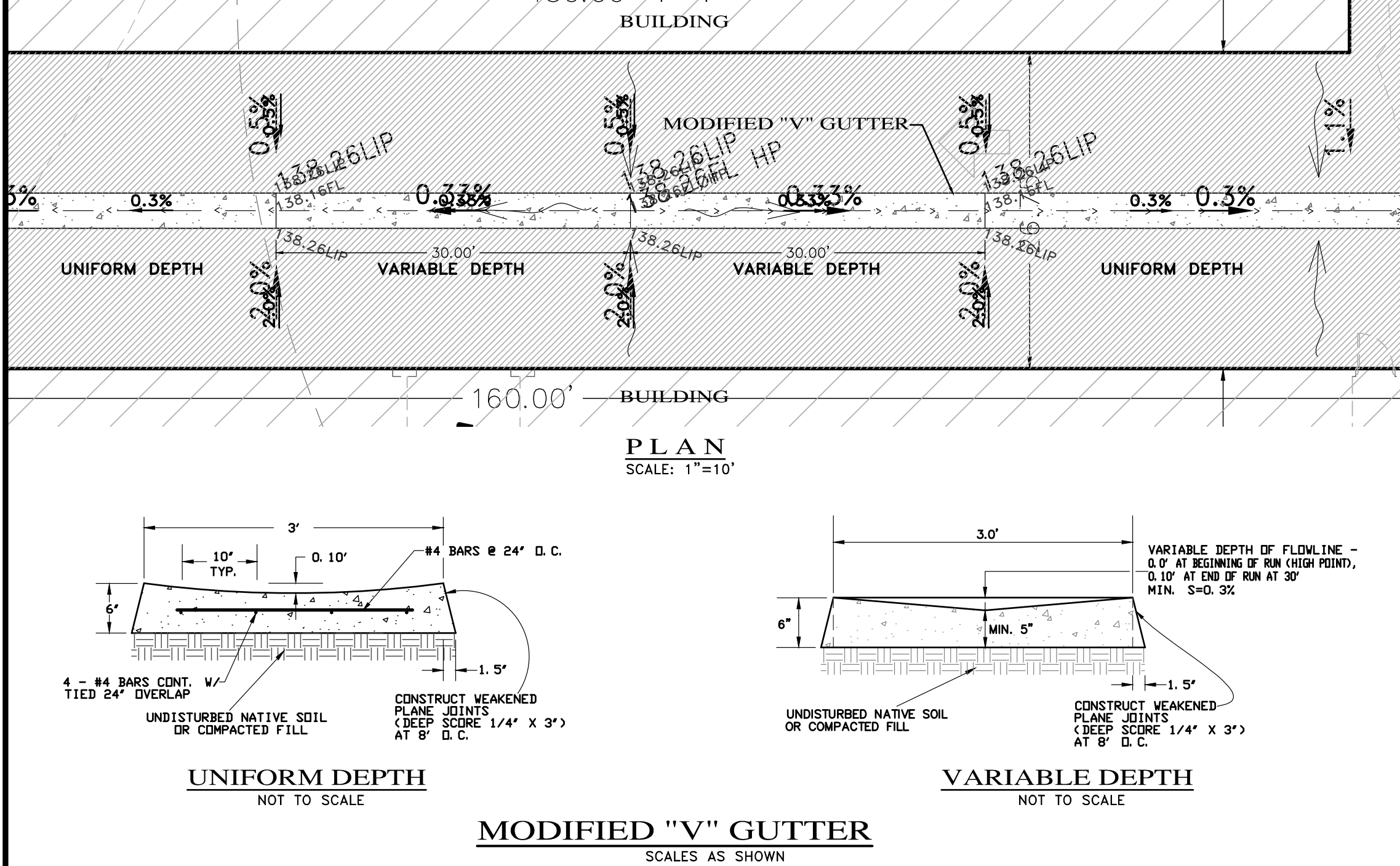
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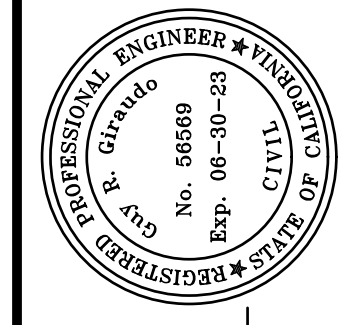
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" STANDARD PLANS & CONSTRUCTION DETAILS "

IMPROVEMENT PLANS
 OF
CENTER STREET SELF STORAGE
 A.P.N.: 169-131-024
 CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. WILLIAM TUCKER

02/17/23	AMS	BLDG. "A" NEW FLOOR PLAN	
12/20/22	AMS	MO.CO. HCD - EMAIL	
10/24/22	AMS	RELEASED TO CLIENT	
08/31/22	AMS	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

SCALE: AS SHOWN
 DATE: AUGUST 2022
 JOB NO. 2388-03
 SHEET **C7**
 OF 10 SHEETS



APPROVED BY:

 GUY R. GIRAUDO





LEGEND:

- ① FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ② DI DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ③ SC STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- ④ CW CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- ⑤ SW SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN SITES. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- ⑥ SP STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED THICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- ⑦ SA CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- ⑧ TRASH RECYCLE WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- ⑨ CD CONSTRUCTION DRAINAGE CHECK DAM: GRAVEL BAGS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- ⑩ TP TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- ⑪ SF SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

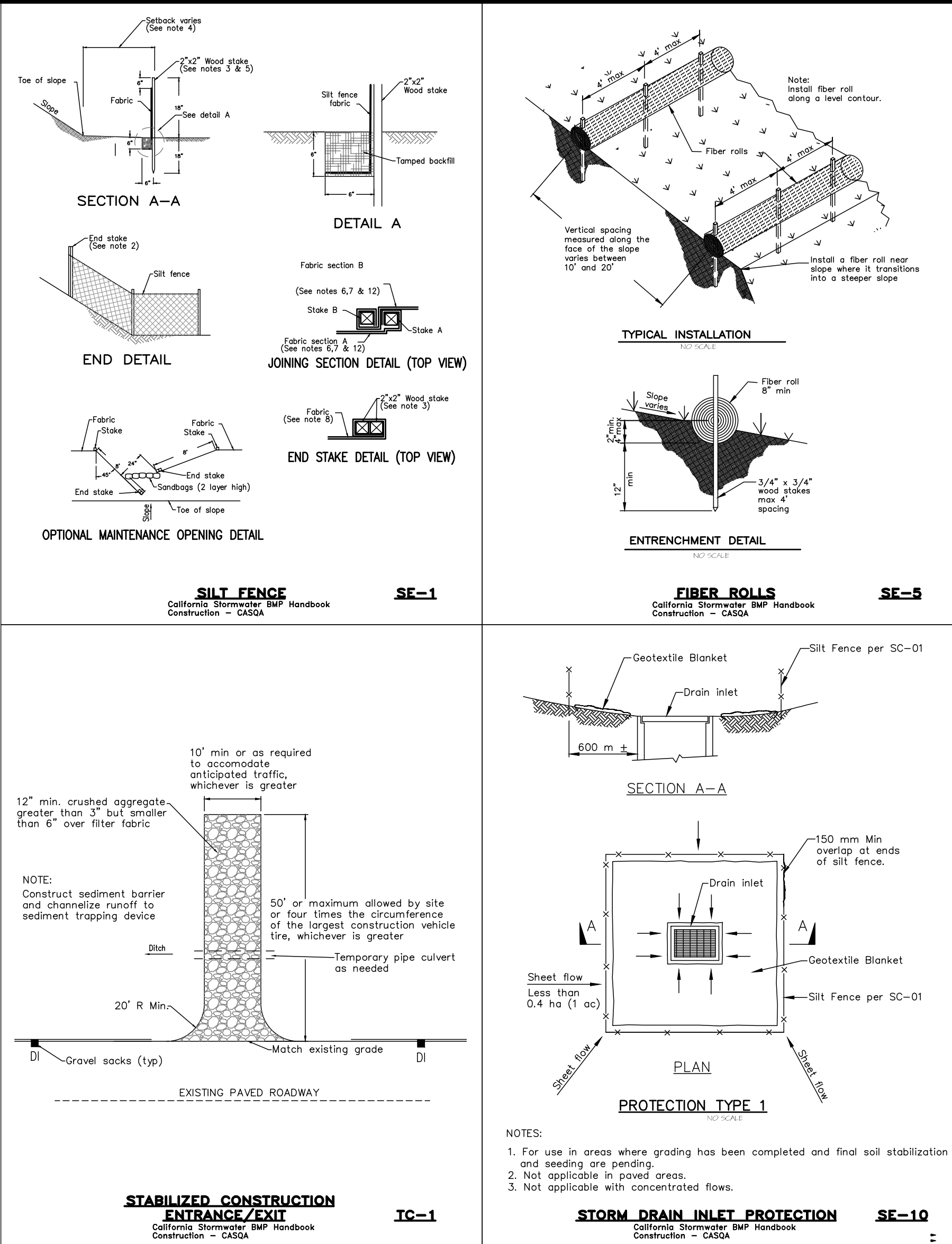


TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1

Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or waterbodies by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

Potential Alternatives
None

Hazardous Waste Management WM-6

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

Potential Alternatives
None

Stockpile Management WM-3

Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt miller (so called "cold mix" asphalt), and pressure treated wood.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9

Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

Potential Alternatives
None

Solid Waste Management WM-5

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

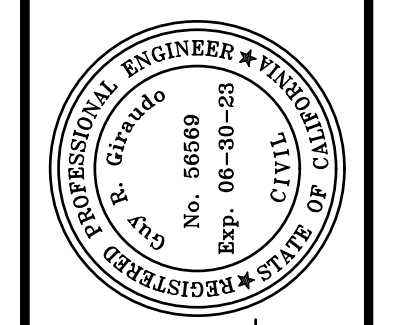
Potential Alternatives
None

Preservation Of Existing Vegetation EC-2

Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Targeted Constituents
Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics

Potential Alternatives
None



APPROVED BY:
GUY R. GIRA, P.E.

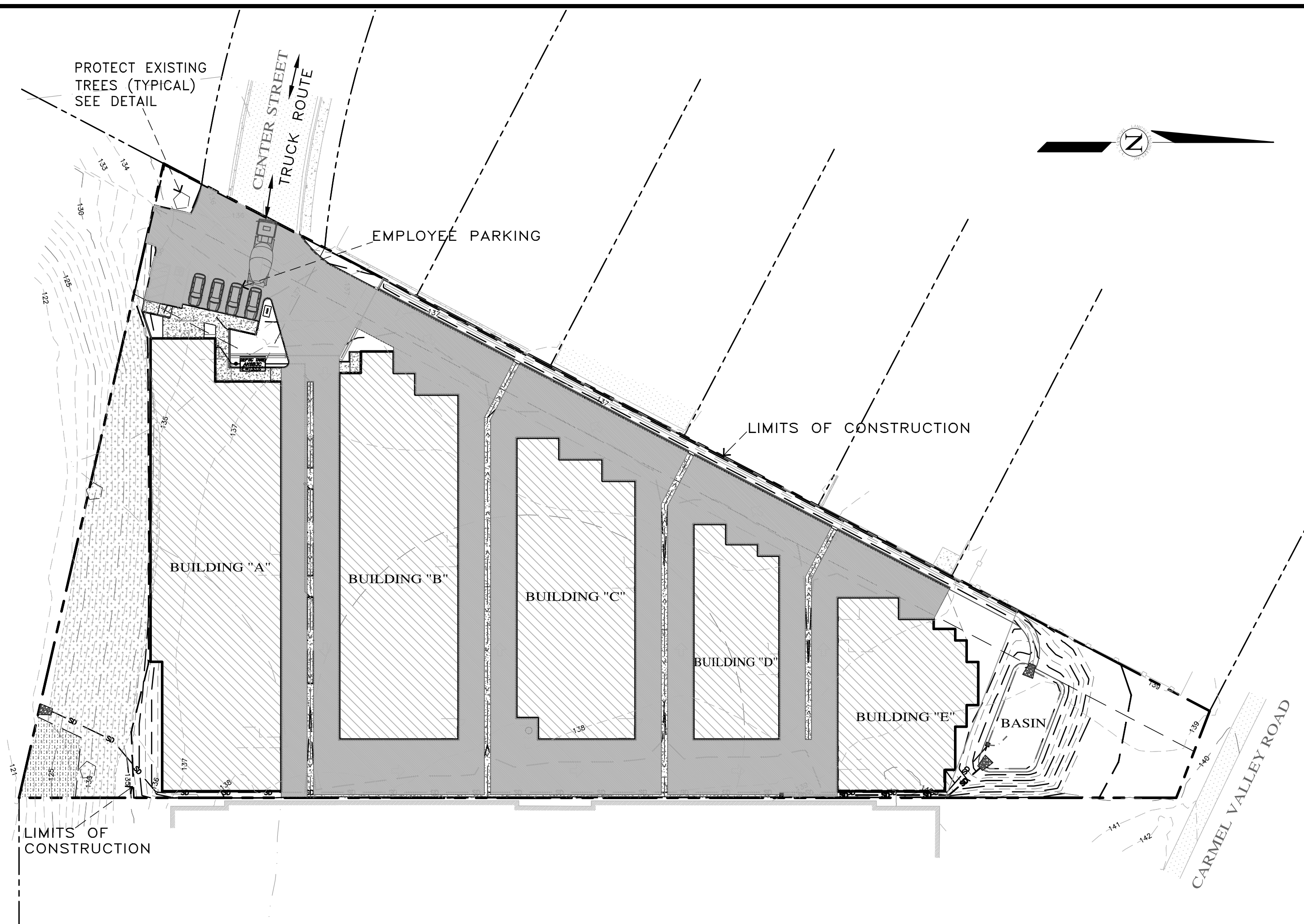


EROSION & SEDIMENT CONTROL PLAN
IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. WILLIAM TUCKER

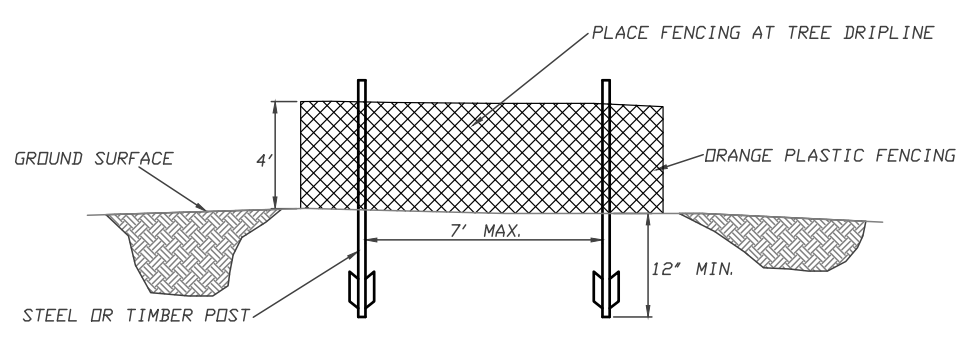
SCALE: AS SHOWN
DATE: AUGUST 2022
JOB NO. 2388-03

No.	DATE	BY	REVISION
02/17/23	AMS	BLDG. "A" NEW FLOOR PLAN	
12/20/22	AMS	MO.CO. HCD - EMAIL	
10/24/22	AMS	RELEASED TO CLIENT	
08/31/22	AMS	RELEASED TO CLIENT	

SHEET **C8** OF 10 SHEETS



PLAN
SCALE: 1"=40'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
1,255 CY CUT
670 CY FILL

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR & GRAB.
- B. SITE GRADING.
- C. UTILITY INSTALLATION.
- D. CONSTRUCT STRUCTURES.
- E. INSTALL PAVERS AND LANDSCAPING.
- F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE CENTER STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM THE CARMEL VALLEY ROAD TO DORRIS DRIVE TO CENTER STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED (IF NECESSARY) WHILE IN QUEUE ON THE CENTER STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B & C. TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE THE CENTER STREET TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE CENTER STREET AND SURROUNDING STREETS.

EMPLOYEE PARKING:
ON-SITE EMPLOYEE PARKING SHALL BE IN THE FUTURE PARKING AREA AND/OR IN LEGAL SPACES ALONG THE CENTER STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	2	2
GRADING & SOIL REMOVAL (EXPORT)	29	6
ENGINEERING MATERIALS (IMPORT)	3	3
TOTALS	34	11

TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE 585 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

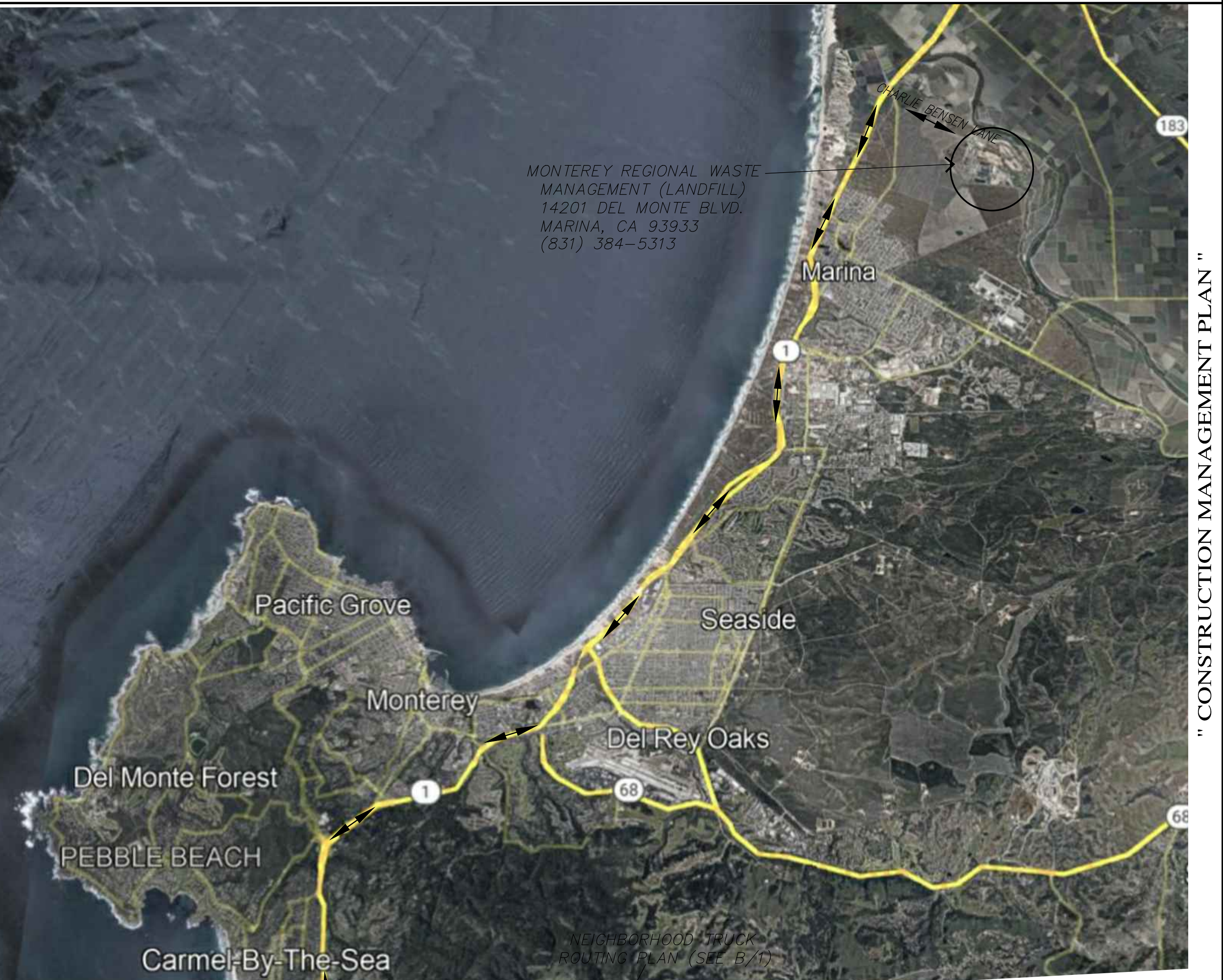
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 6 MARCH 2023.
7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



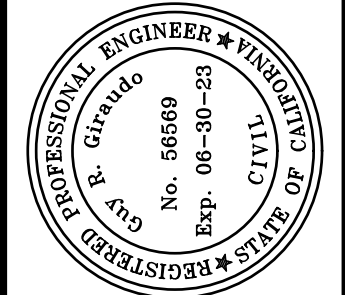
B NEIGHBORHOOD TRUCK ROUTING PLAN



Google Earth

OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
02/17/23	AMS	BLDG. "A" NEW FLOOR PLAN	
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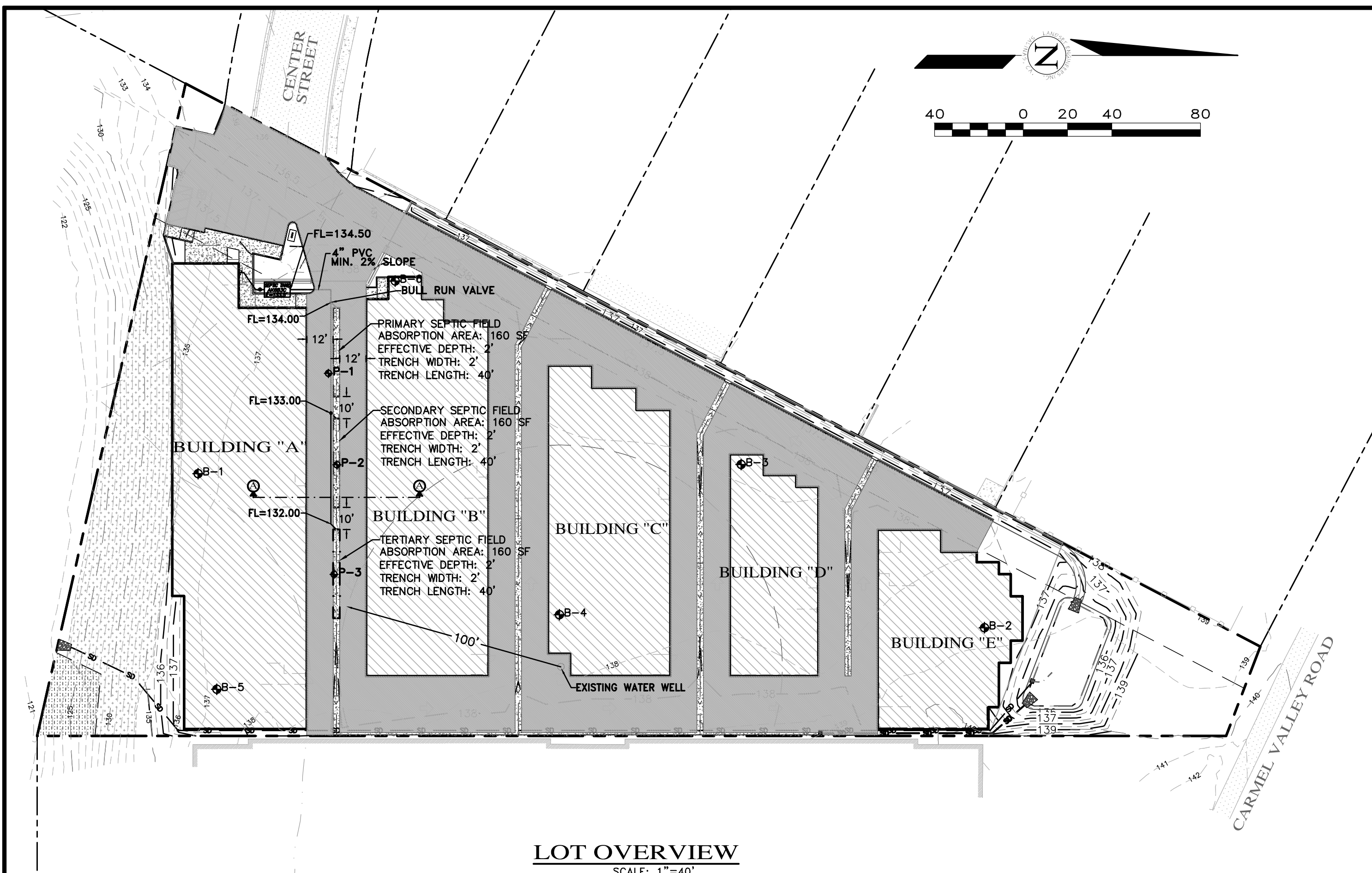
APPROVED BY:
GUY R. GIRARDO
PROFESSIONAL ENGINEER
No. 56690
Exp. 06-30-23



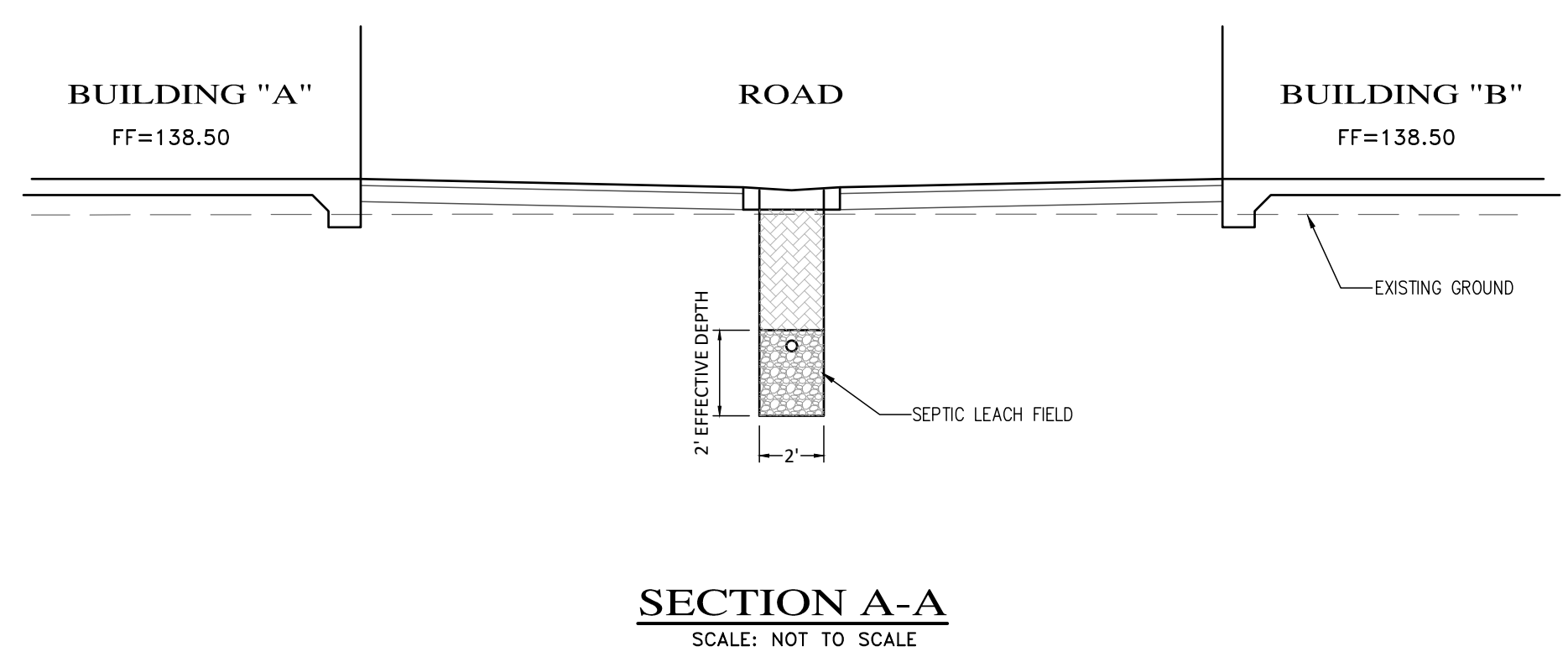
CONSTRUCTION MANAGEMENT PLAN
IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
L'AM TUCKER
MR. WILLIAM TUCKER

SCALE: AS SHOWN
DATE: AUGUST 2022
JOB NO. 2388-03

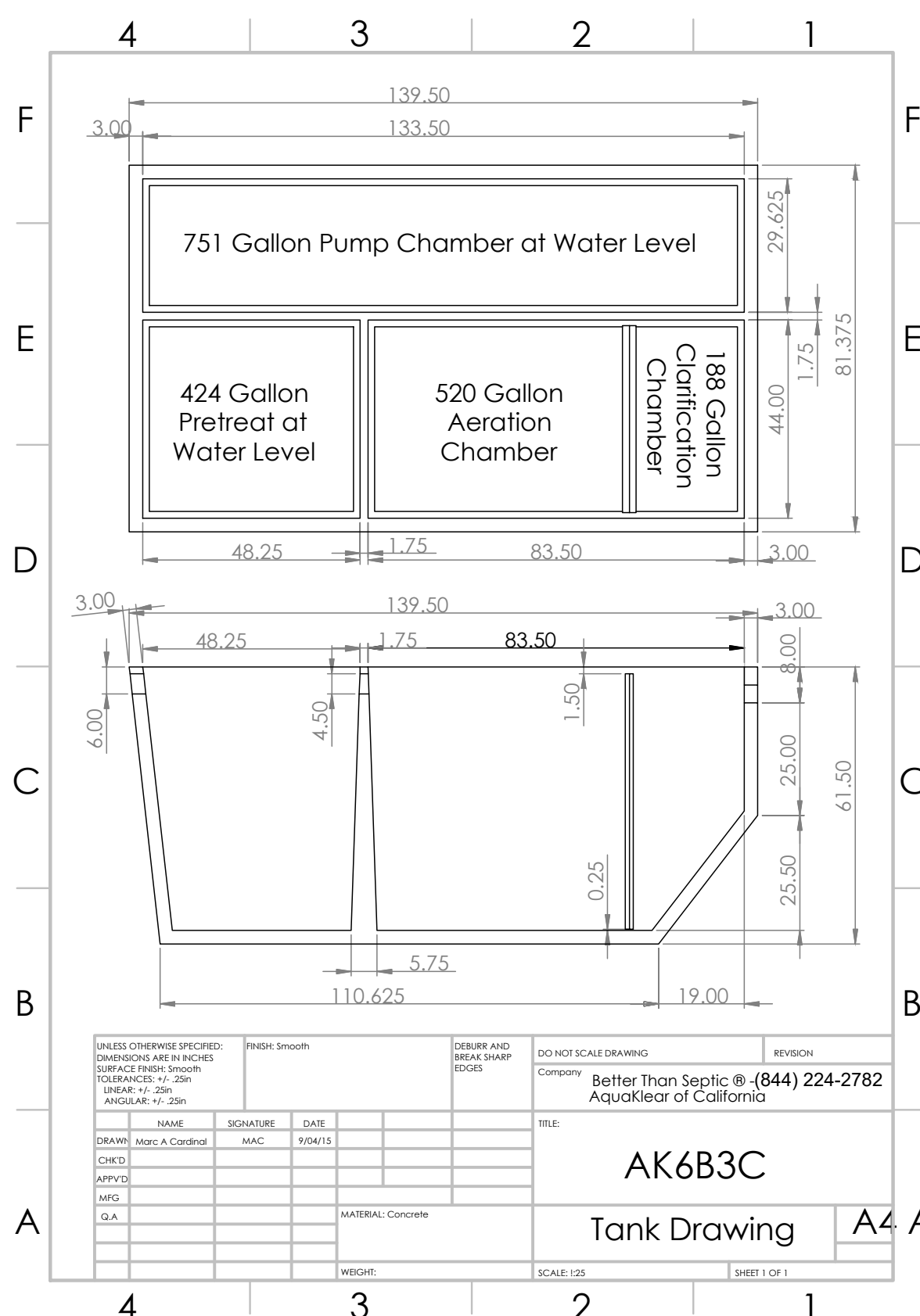
SHEET **C9**
OF 10 SHEETS



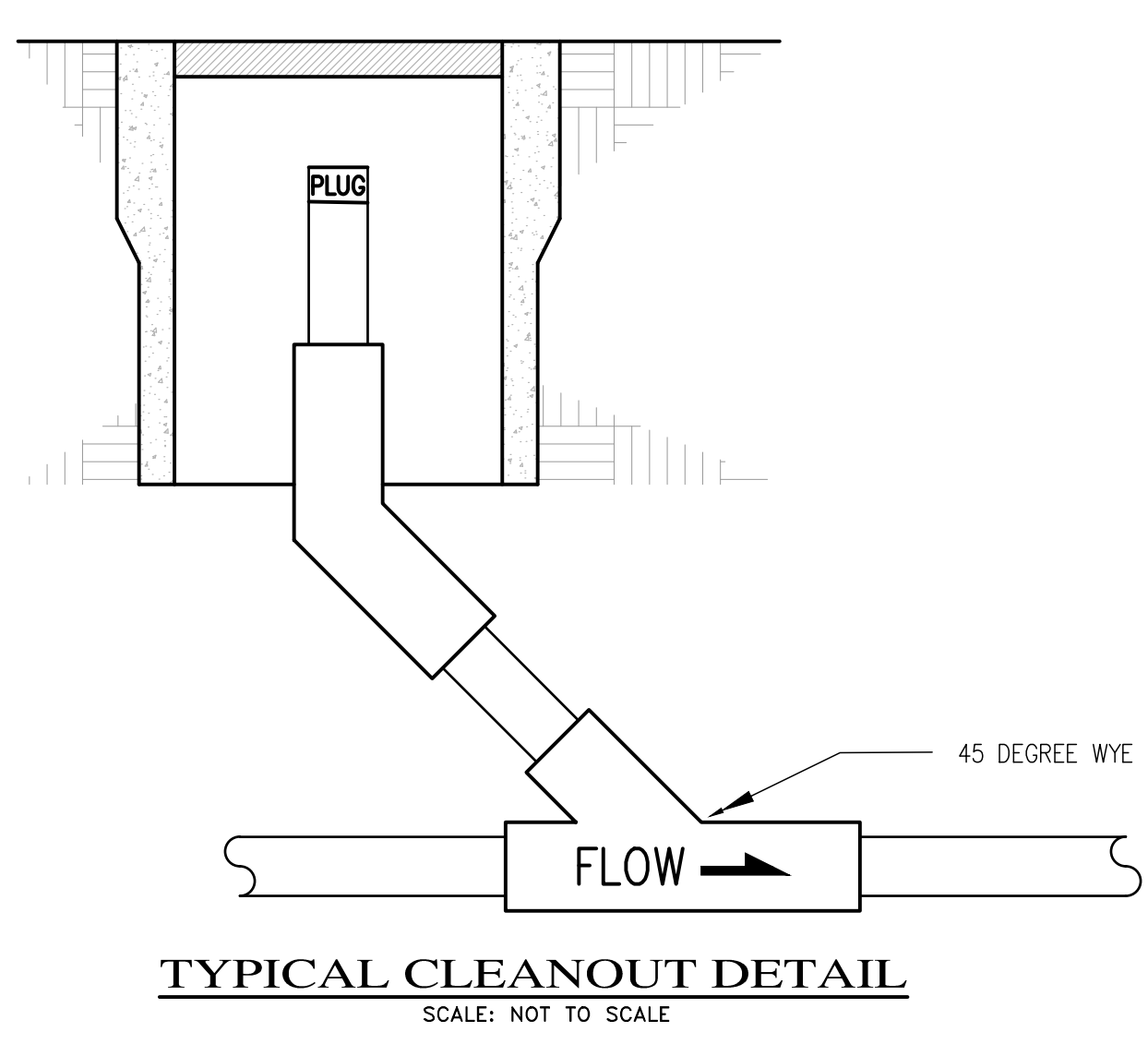
LOT OVERVIEW
SCALE: 1"=40'



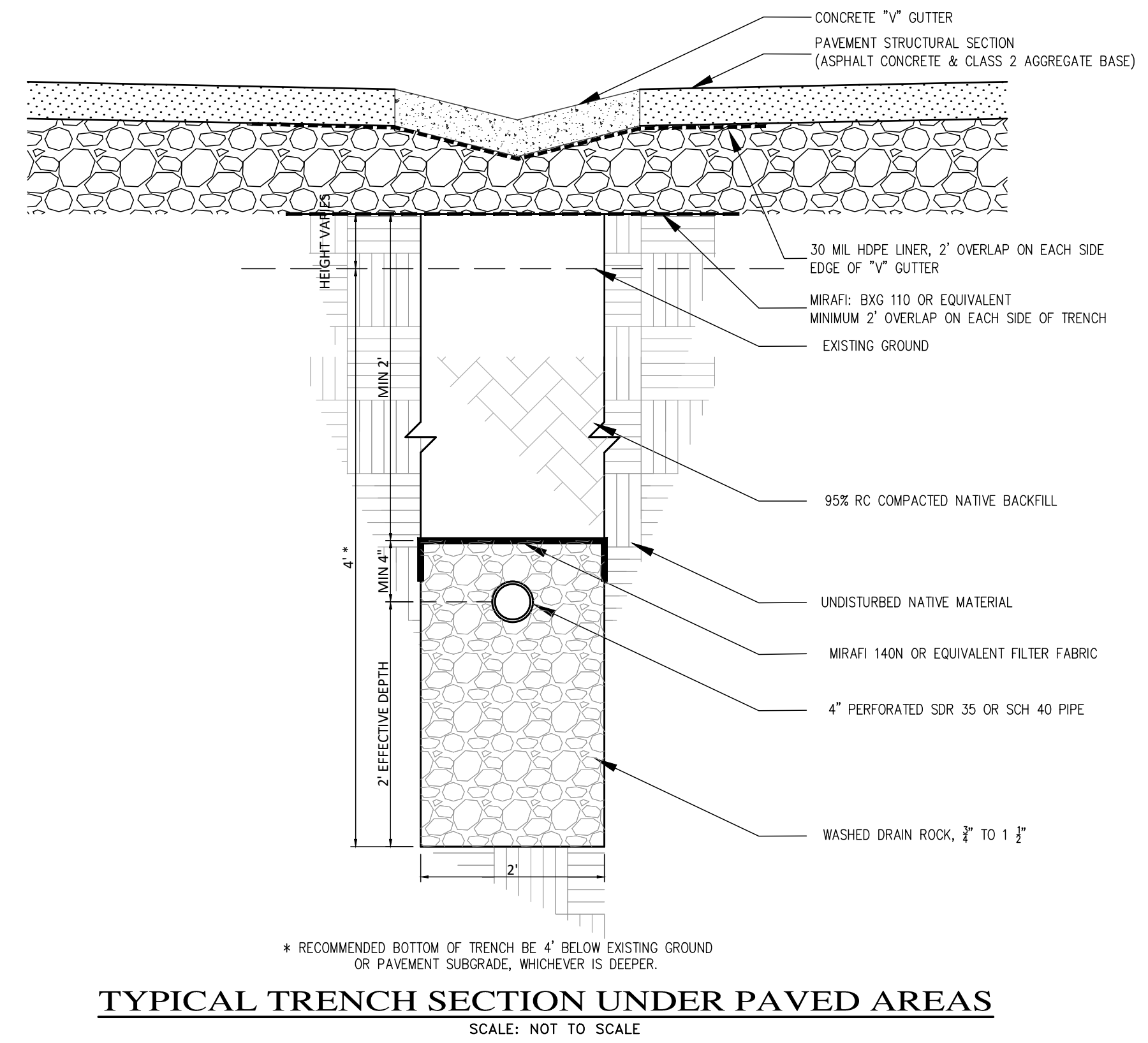
SECTION A-A
SCALE: NOT TO SCALE



AK6B3C
Tank Drawing
SCALE: 1/8"=1'-0"



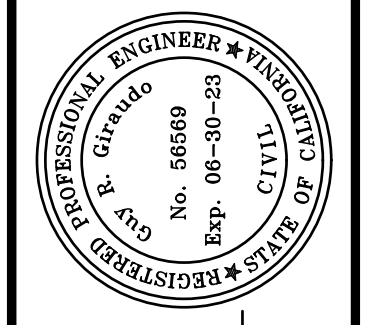
TYPICAL CLEANOUT DETAIL
SCALE: NOT TO SCALE



TYPICAL TRENCH SECTION UNDER PAVED AREAS
SCALE: NOT TO SCALE

NOTES:

- SEPTIC SYSTEM CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST COUNTY OF MONTEREY HEALTH DEPARTMENT STANDARDS FOUND IN CHAPTER 15.20 OF THE MONTEREY COUNTY CODE AND THE LOCAL AGENCY MANAGEMENT PROGRAM.
- SEPTIC SYSTEM LAYOUT AND DESIGN BASED UPON SITE LAYOUT PROVIDED BY OTHERS AND TOPOGRAPHIC INFORMATION PROVIDED BY LANDSET ENGINEERS.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THE ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) IS DESIGNED BASED UPON THE ESTIMATED EFFLUENT LOAD OF 145 GPD (3 FULL-TIME OFFICE EMPLOYEES AND 20 DAILY GUESTS). THE APPLICATION RATE IS 1.2 GPD/SF FOR A REQUIRED MINIMUM ABSORPTION AREA OF 120.8 SF.
- DISPOSAL TRENCH EFFECTIVE AREA TO BE 2 FEET DEEP BY 2.0 FEET WIDE FOR A NET 4 SF OF ABSORPTION AREA PER LINEAR FOOT OF TRENCH. TOTAL DEPTH UNDER EXISTING GROUND NOT TO EXCEED 10'.
- MIRAFI BXG 110 OR EQUIVALENT GEOGRID TO BE INSTALLED UNDER PAVEMENT WITH 2' OVERLAP ON EITHER SIDE OF TRENCH
- EFFLUENT TREATMENT UNIT TO BE TRAFFIC RATED AQUALEAR AK6PTF UNIT WITH AK500 PUMP TANK, 600 GALLON PER DAY CAPACITY.
- ALL OPEN BOTTOM VAULTS, BOXES, OR COMPONENTS TO HAVE GOPHER WIRE INSTALLED TO PROTECT FROM BURROWING ANIMALS.
- PIPING FROM OFFICE TO TREATMENT UNIT TO BE SDR 35 OR SCHEDULE 40, MINIMUM SLOPE 2%.
- EFFECTIVE CROSS SECTION IN DISPOSAL FIELDS TO BE COMPRISED OF 3/4" TO 1 1/2" WASHED DRAIN ROCK.
- INSPECTION RISERS TO BE PLACED AT END OF EACH DISPOSAL FIELD.
- CLEANOUTS SHALL BE INSTALLED AT THE EXIT OF ALL BUILDINGS, AT HORIZONTAL BENDS IN THE CONVEYANCE LINES, AND AT INTERVALS NOT EXCEEDING 100 FT.
- TRACER WIRE AS REQUIRED BY COUNTY.
- DISPOSAL FIELDS ARE TO MAINTAIN PROPER SETBACKS FROM STRUCTURES, WELLS, TREES, PROPERTY BOUNDARIES, ETC. THE STORM DRAIN SYSTEM ABOVE IS CONVEYED BY CLOSED CONDUIT AND THE POND TREATMENT AREAS WILL BE LINED TO PREVENT ANY INFILTRATION.
- THE SITE LAYOUT IS APPROXIMATE ONLY. THE COMPONENT ELEVATIONS, TREATMENT UNIT LOCATION AND DISPOSAL FIELDS MAY BE ADJUSTED SLIGHTLY TO BETTER ACCOMMODATE SITE CONSTRAINTS. DISPOSAL FIELD LENGTHS NOTED ARE MINIMUM REQUIRED LENGTHS.
- THE ENVIRONMENTAL HEALTH BUREAU (EHB) REQUIRES THE INSTALLATION OF THE TERTIARY DISPERSAL AREA ALONG WITH THE PRIMARY AND SECONDARY AT THE TIME OF INITIAL CONSTRUCTION.



APPROVED BY:
GUY R. GIRARDO
Professional Engineer # 56689
Exp. 08-30-25



" ONSITE WASTE WATER TREATMENT SYSTEM PLAN "

IMPROVEMENT PLANS
OF
CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
FOR
MR. WILLIAM TUCKER
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA

SCALE: AS SHOWN
DATE: AUGUST 2022
JOB NO. 2388-03

No.	DATE	BY	REVISION
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12/20/22	AMS	MO.CO. HCD - EMAIL	
10/24/22	AMS	RELEASED TO CLIENT	
08/31/22	AMS	RELEASED TO CLIENT	

SHEET **C10**
OF 10 SHEETS



GABRIEL-ARCHITECTS.COM

PASO ROBLES OFFICE 530 10TH STREET PASO ROBLES, CA 93446 805.238.9600
 SANTA BARBARA OFFICE 923 OLIVE STREET, STE. 5 SANTA BARBARA, CA 93101 805.565.3800

SHEET NOTES

1. PG&E PRIMARY. SEE 1/E1.1 FOR REQUIREMENTS.
2. PG&E SECONDARY. SEE 1/E1.1 FOR REQUIREMENTS.
3. (2) 2" C.O. FOR TELE/DATA CONNECTION. INSTALL PER UTILITY COMPANIES RULES AND REGULATIONS.
4. (2) 2" C.O. SPARES FOR FUTURE LOW VOLTAGE CONNECTIONS. STUB CONDUITS INTO NEAREST ACCESSIBLE CEILING SPACE AND HOMERUN BACK TO TTB.
5. MOUNT LIGHT FIXTURE AT 8' A.F.F. TO BOTTOM OF FIXTURE.
6. SEE E1.1 FOR FEEDER REQUIREMENTS.
7. STUB 2"C.O. UP TO ROOF OF STORAGE UNITS FOR FUTURE SOLAR INSTALLATION.
8. RESERVE SPACE FOR INSTALLATION OF FUTURE SOLAR PANEL AND INVERTER EQUIPMENT.
9. LOCATE FOR FIRE SPRINKLER RISER MONITOR MODULES AND BELL FOR TAMPER AND FLOW SWITCHES. FIELD VERIFY EXACT LOCATION.
10. LOCATE FOR 120V POWER FOR GATE CONTROLS. FIELD VERIFY EXACT LOCATION.
11. LOCATE FOR 120V POWER FOR GATE MOTOR. BREAKER ON PANEL SHALL BE LOCK-OFF CAPABLE. FIELD VERIFY EXACT MOTOR LOCATION.
12. PROVIDE 3/4" C. BETWEEN GATE MOTOR AND CONTROLS FOR CONTROL WIRING CONNECTION.
13. PAC BELL UTILITY PULL BOX.
14. PG&E TRANSFORMER.

NOTES:

A. CONTRACTOR SHALL LOCATE ALL (E) UNDERGROUND UTILITIES PRIOR TO TRENCHING AND TAKE CAUTION TO AVOID DAMAGE DURING TRENCHING. HAND TRENCH IF NECESSARY. CONTRACTOR SHALL MAKE ALL REPAIRS TO DAMAGED UTILITIES AT NO CHARGE TO OWNER.

B. ALL WIRING FOR SITE LIGHTING SHALL BE #10 AWG MINIMUM, U.O.N.

C. ALL UTILITIES (PG&E, AT&T AND CATV) ARE SHOWN IN SCHEMATIC FORM ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS WITH UTILITY COMPANY ENGINEERED DRAWINGS PRIOR TO START OF CONSTRUCTION AND PROVIDE FACILITIES ACCORDINGLY.

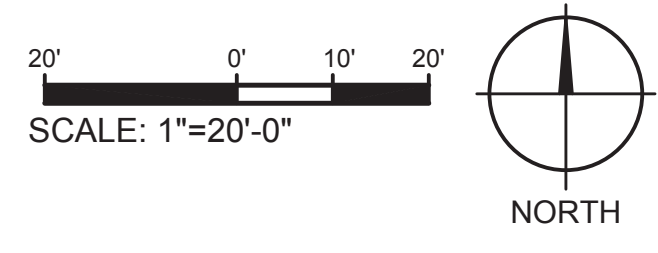
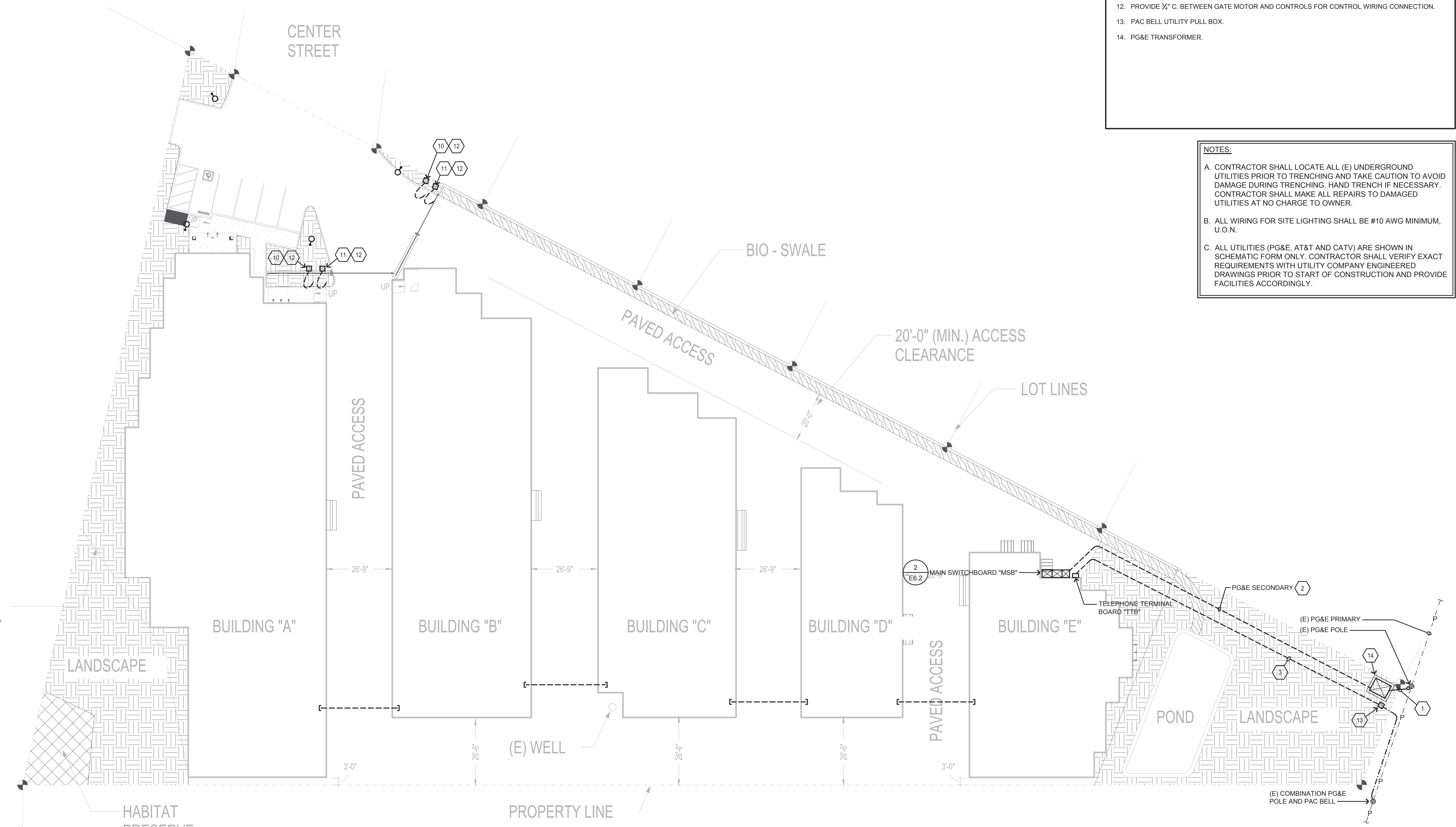


Project No. 22-250-00
 404 W. Franklin St. • Suite 100 • Monterey, CA 93940
 T: 831.646.3330 • F: 831.646.3335 • www.aacemb.com
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NEW CONSTRUCTION
 FOR
 CENTER STREET SELF STORAGE
 CENTER STREET
 CARMEL VALLEY, CA 93924
 APN : 169-131-024-000

NO.	DESCRIPTION	DATE
1	CD SUBMITTAL	10.24.2022

ELECTRICAL SITE PLAN

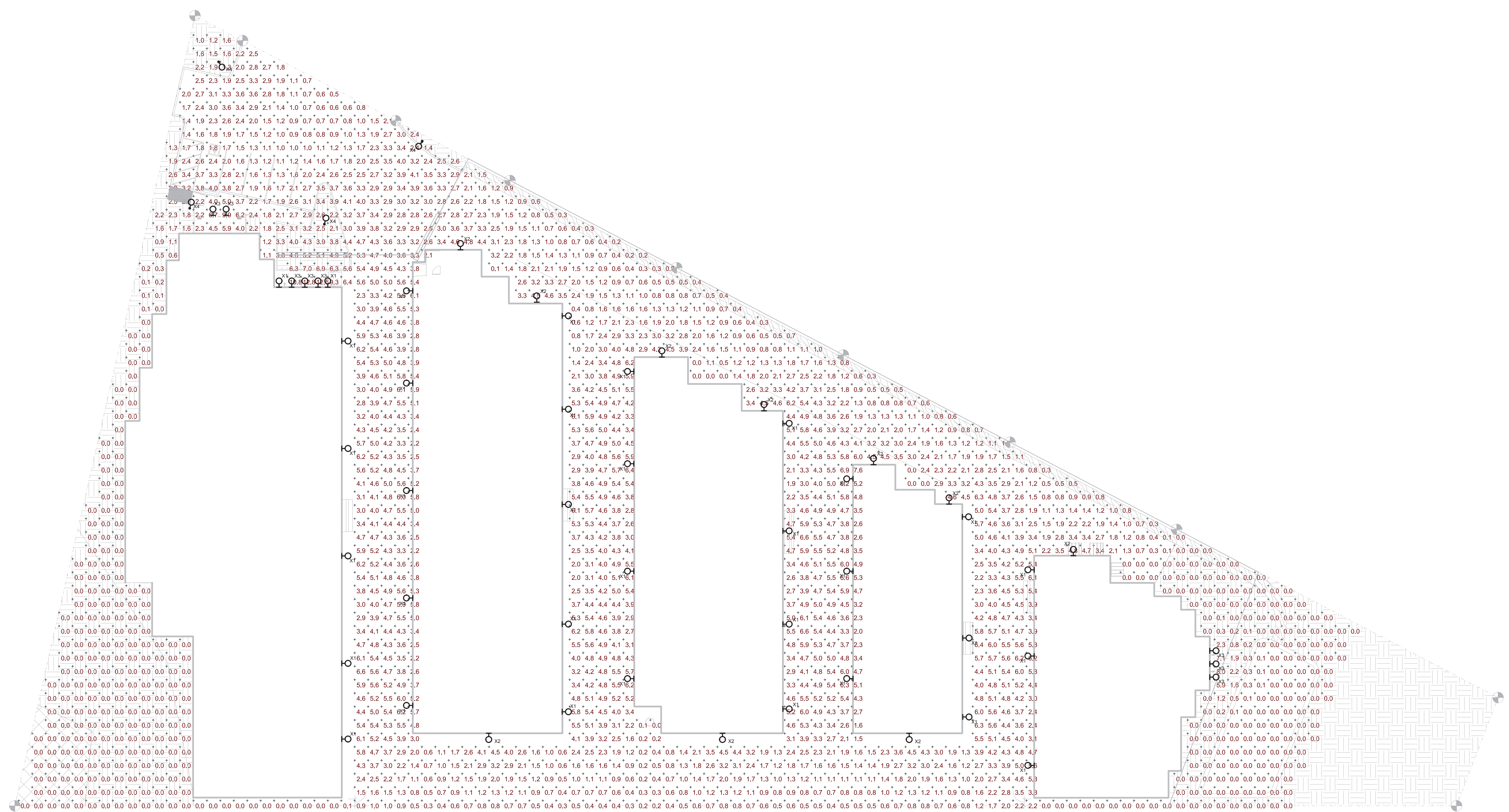
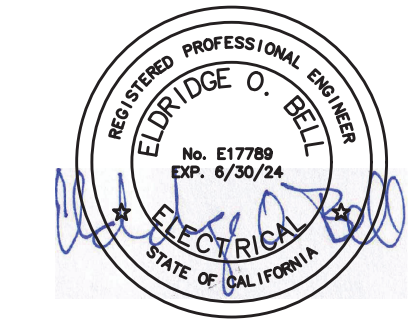


E2.1

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Schedule							
Symbol	Label	QTY	Manufacturer	Description	Number Lamps	Lamp Output	Input Power
⊙	X1	33	SIGNIFY GARDCCO	121 LED Sconce	1	3206	28.1
⊙	X2	10	SIGNIFY GARDCCO	121 LED Sconce	1	3213	28.1
⊙	X3	8	B-K LIGHTING, INC.	MACHINED CYLINDRICAL METAL HOUSING, 1 BLACK CIRCUIT BOARD WITH 5 LEADS, ONE CLEAR CONICAL PLASTIC OPTIC PER LED WITH FROSTED SURFACE OPPOSITE LED AND SEMI-HEMISPHERICAL RECESSED CENTER TOWARD LED, MOLDED BLACK PLASTIC OPTIC MOUNTING FRAME, CLEAR MICRO-PRISMATIC FLAT GLASS LENS IN MACHINED CYLINDRICAL BLACK PAINTED METAL LENS FRAME, LENS PRISMS OUT.	3	Absolute	6.77
⊙	X4	4	GARDCCO	PPT Pureform Post Top, 196 LED's, 4000K CCT, TYPE 3 OPTIC, Comfort Light Engine, 80CRI	1	5657	51

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.3 fc	12.8 fc	0.0 fc	N/A	N/A

AURUM CONSULTING ENGINEERS
MONTEREY BAY, INC.

Project No. 22-250-00

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NEW CONSTRUCTION

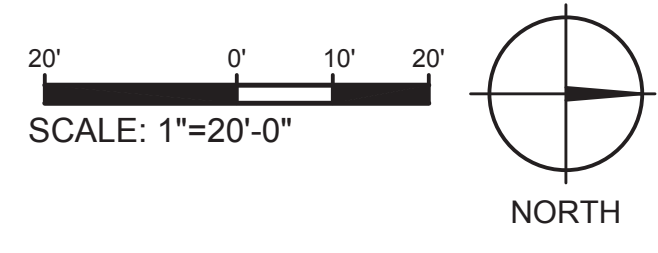
FOR

CENTER STREET SELF STORAGE

CENTER STREET
CARMEL VALLEY, CA 93924
APN : 169-131-024-000

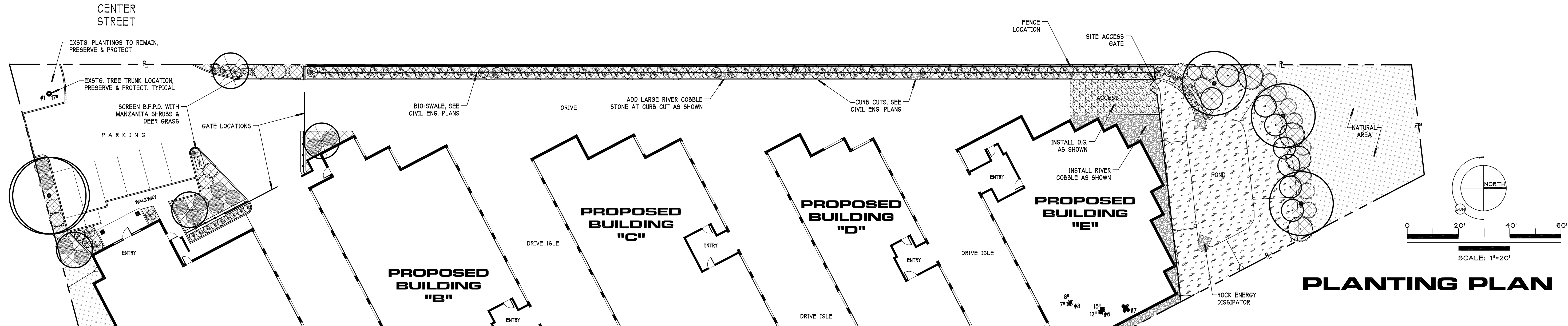
NO.	DESCRIPTION	DATE
CD	SUBMITTAL	10.24.2022

PHOTOMETRICS PLAN



E2.1PH

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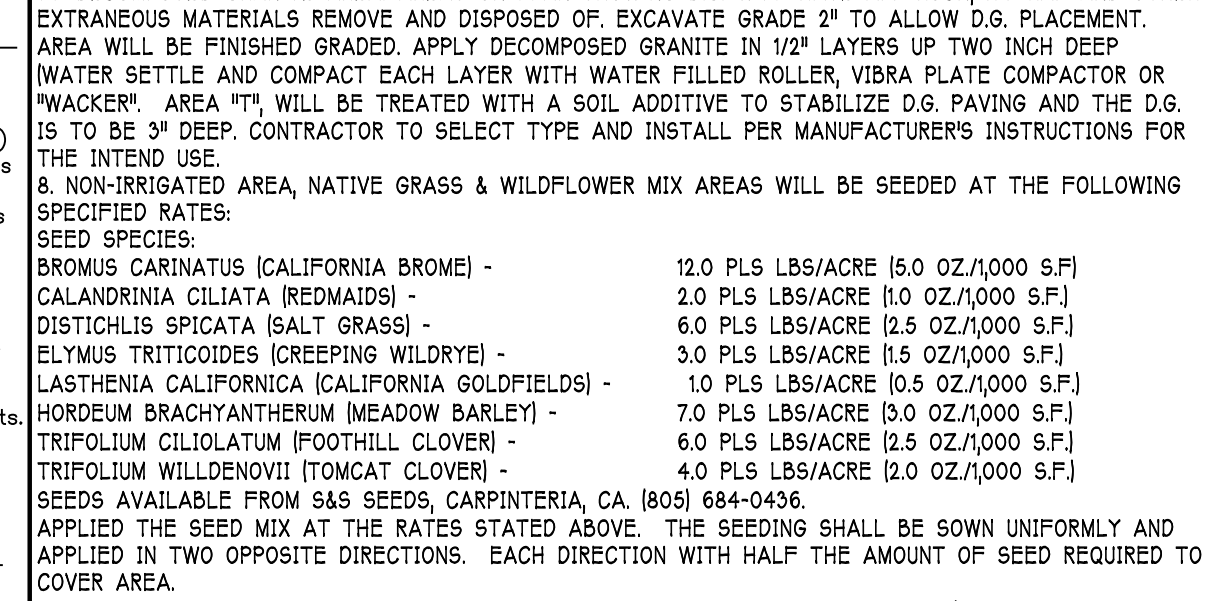


PLANTING PLAN

SYMBOL	NAME, BOTANICAL (COMMON)	QUANTITY	SIZE	*PER WUCOLS, REGION #1 WATER USE*	EMITTERS PER PLANT	INSTALLATION NOTES
	LEYMUS C. "CANYON PRINCE" (LYME GRASS)	123	4" P.	LOW	ONE	SEE DTL. #8, SHEET L-X
	MUHLENBERGIA RIGENS (DEER GRASS)	18	1 G.	LOW	ONE	SEE DTL. #8, SHEET L-X
	BACCHARIS P.S. "TWIN PEAKS" (DWARF COYOTE BUSH)	12	1 G.	LOW	ONE	SEE DTL. #8, SHEET L-X
	SALVIA LEUCOPHYLLA "POINT SAL SPREADER" (SPREADING PURPLE SAGE)	9	1 G.	LOW	ONE	SEE DTL. #8, SHEET L-X
	ARCTOSTAPHYLOS "SUNSET" (SUNSET MANZANITA)	11	1 G.	LOW	ONE	SEE DTL. #8, SHEET L-X
	HETEROMELES ARBUTIFOLIA (TOYON)	4	1 G.	LOW	ONE	SEE DTL. #8, SHEET L-X
	SAMBUCUS NIGRA SSP. CAERULEA (BLUE ELDERBERRY)	8	5 G.	LOW	TWO	SEE DTL. #8, SHEET L-X
	CERCIS OCCIDENTALIS (WESTERN REDBUDD)	4	5 G.	LOW	TWO	SEE DTL. #8, SHEET L-X
	QUERCUS LOBATA (VALLEY OAK)	1	5 G.	LOW	TWO	SEE DTL. #8, SHEET L-X
	QUERCUS AGRIFOLIA (COAST LIVE OAK)	3	15 G.	LOW	THREE	SEE DTL. #8, SHEET L-X

PLANTING NOTES

1. FINISH GRADES IN PLANTED AREAS ADJACENT TO PAVING, HEADER BOARDS, VALVE BOXES, ETC., SHALL BE ESTABLISHED 3" BELOW SUCH ELEVATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADJUST THE FINISH GRADES TO ACHIEVE EVEN, CONTINUOUS CONTOURS CAPABLE OF FACILITATING DRAINAGE. GRADES WILL SLOPE AWAY FROM STRUCTURES. ALL DEBRIS AND ROCKS 1" IN DIAMETER OR GREATER, EXPOSED FROM FINISH GRADING, CULTIVATING AND EXCAVATION WILL BE DISPOSED OF.
2. NOTE: SOIL TEST REPORT SUPERCEDES THESE NOTES FOR SOIL CONDITIONING.
3. PLANT QUANTITIES SHOWN IN ALL PLANT LEGENDS ARE FOR CONVENIENCE ONLY; CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLANTS SHOWN AS SYMBOLS ON THIS PLAN.
4. ALL PLANT MATERIALS WILL BE PLANTED PER PLANT PIT DETAIL #8. SEE SHEET L-3. BACKFILL MIXTURE WILL CONSIST OF 50% NITRIFIED REDWOOD SHAVINGS, 50% NATIVE SOIL. CAREFULLY BLENDED PRIOR TO PLACEMENT. USE AGRIFORM (20-20-21) GRAM SLOW RELEASE TABLETS IN BACKFILL MIXTURE AT THE RATE OF ONE FOR ONE GALLON PLANTS, TWO WITH FIVE GALLON PLANTS, 4 WITH 15 GALLON PLANTS, OTHER SIZES PER MANUFACTURER'S INSTRUCTIONS.
5. IF ACCEPTABLE TO THE OWNER AS A BID ALTERNATIVE, THE LANDSCAPE CONTRACTOR IS TO INSTALL ROOT GUARD GOPHER WIRE BASKETS * IN ALL PLANT PITS. INSTALL IN ALL GALLON PLANTS AND LARGER. ROOT GUARD GOPHER WIRE BASKETS (GOPHERBASKET.COM) ARE SPECIALLY DESIGNED BASKETS TO PROTECT PLANTS FROM GOPHERS. USE THE FOLLOWING BASKETS FOR THESE CONTAINER SIZES:
1 GALLON SIZE: 18" DIAMETER
5 GALLON SIZE: 12" DIAMETER
TREE SIZE: 15 GALLON (17" DIAMETER)
USE ROOT GUARD GOPHER WIRE ROLLS FOR 50% SIZE CONTAINERS.
REGULAR INSPECTIONS AND EARLY DETECTION IS THE KEY TO MANAGING PEST GOPHERS IN THE NEWLY PLANTED LANDSCAPE. THE CONTRACTOR SHALL PROVIDE THIS AS PART OF HIS LANDSCAPE MAINTENANCE SERVICES. THE CONTRACTOR SHALL CONTROL DETECTED GOPHERS BY USING RODENTICIDES OR TRAPPING.
6. 1/2" CRUSHED GRANITE MULCH AREA: AREA ON PLAN SHOWING GRUSHED GRANITE WILL HAVE ALL ROCK, RIP-RAP AND OTHER EXTRANEOUS MATERIALS REMOVE AND DISPOSED OF. AREA WILL BE FINISHED GRADED AND CRUSHED GRANITE WILL BE PLACED IN ONE LAYER PROVIDING COMPLETE COVERAGE. THEN APPLY CHIPCO'S "RONSTAR" 6% PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND WATERED-IN.
7. DECOMPOSED GRANITE AREA: AREAS ON PLAN SHOWING D.G. WILL HAVE ALL ROCK, RIP-RAP AND OTHER EXTRANEOUS MATERIALS REMOVE AND DISPOSED OF. EXCAVATE GRADE 2" TO ALLOW D.G. PLACEMENT. AREA WILL BE FINISHED GRADED, APPLIED DECOMPOSED GRANITE IN 12" LAYERS UP TWO INCH DEEP. WATER SETTLE AND COMPACT EACH LAYER WITH WATER FILLED ROLLER, VIBRA PLATE COMPACTOR OR "WACKER" AREA #7, WILL BE TREATED WITH A SOIL ADDITIVE TO STABILIZE D.G. PAVING AND THE D.G. IS TO BE 3" DEEP. CONTRACTOR TO SELECT TYPE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS FOR THE INTEND USE.
8. NON-IRRIGATED AREA, NATIVE GRASS & WILDFLOWER MIX AREAS WILL BE SEEDED AT THE FOLLOWING SPECIFIED RATES:
SEED SPECIES:
BROMUS CARINATUS (CALIFORNIA BROME) - 12.0 PLS LBS/ACRE [5.0 OZ/1,000 S.F.)
CALANDRINA CLYATA (REDMAIDS) - 2.0 PLS LBS/ACRE [0.0 OZ/1,000 S.F.)
DISTICHLIS SPICATA (SALT GRASS) - 6.0 PLS LBS/ACRE [2.5 OZ/1,000 S.F.)
ELYMUS TRITICOIDES (CREEPING WILDORY) - 3.0 PLS LBS/ACRE [1.5 OZ/1,000 S.F.)
LASTHENIA CALIFORNICA (CALIFORNIA GOLDFIELDS) - 1.0 PLS LBS/ACRE [0.5 OZ/1,000 S.F.)
HORDEUM BRACHYANTHERUM (MEADOW BARLEY) - 7.0 PLS LBS/ACRE [3.0 OZ/1,000 S.F.)
TRIFOLIUM CILIOLOLATUM (FOOTHILL CLOVER) - 6.0 PLS LBS/ACRE [2.5 OZ/1,000 S.F.)
TRIFOLIUM WILLDENOVII (TOMCAT CLOVER) - 4.0 PLS LBS/ACRE [2.0 OZ/1,000 S.F.)
SEEDS AVAILABLE FROM SAS SEEDS, CARPINTERIA, CA. (805) 684-0436.
APPLIED THE SEED MIX AT THE RATES STATED ABOVE. THE SEEDING SHALL BE SOWN UNIFORMLY AND APPLIED IN TWO OPPOSITE DIRECTIONS. EACH DIRECTION WITH HALF THE AMOUNT OF SEED REQUIRED TO COVER AREA.
AFTER SEEDING THE AREA WILL BE LIGHTLY AND EVENLY COVERED (RANGE FROM 1/2"-1/8" INCH) WITH A COMPOSTED SEED COVER (FOREST HUMUS) PRODUCT AND THEN ROLLED (IF AREA IS ACCESSIBLE). THE SEED COVERED AREA WILL THEN BE THOROUGHLY, BUT LIGHTLY WATERED.
SEEDING SHOULD ONLY BE DONE IN THE FALL, BEFORE WINTER RAINS. THE SEEDED AREA WILL BE KEPT CONTINUOUSLY MOIST THROUGHOUT THE GERMINATION PERIOD, AS SPECIFIED BY THE SEED COMPANY.
9. STAKE AND INSTALL ALL TREES PER DETAIL #2, THIS SHEET.
10. AREAS OF BARK MULCHES: BEFORE PLANTING, ALL AREAS WILL BE TREATED WITH "ROUNDUP" PER MANUFACTURER'S INSTRUCTIONS, THEN DEAD WEEDS REMOVED AND DISPOSED OF. CHIPCO'S "RONSTAR" 6% WILL BE USED AFTER THE BARK MULCH IS APPLIED, AND GROUND COVERS PLANTED, PER MANUFACTURER'S INSTRUCTIONS AND "WATERED-IN" BY THE LANDSCAPE CONTRACTOR.
INSTALL MULCH IN AREAS AS SHOWN ON PLANS. MULCH TO BE 3" DEEP WITH COMPLETE COVERAGE OF SITE AREA. ALL NEWLY PLANTED PLANT CROWNS WILL BE CLEARED OF MULCH BY 3" (SEE PLANT PIT DETAIL). FINISH SURFACE OF MULCH WILL BE SMOOTH AND LEVEL AND FOLLOW THE FINISH GRADE UNDERNEATH. MULCH TO BE "STRIPED" REDWOOD BARK, NON-FLOATABLE TYPE.
11. PLANT SIZES:
GROUND COVERS, PERENNIALS & GRASSES WILL BE PLANTED FROM 1 GALLON CONTAINERS UNLESS 4" IS AVAILABLE (UNLESS NOTED DIFFERENTLY ON PLANS) SHRUBS WILL BE 6 GALLON SIZE. ALL TREES WILL BE 15 GALLON UNLESS SPECIFIED DIFFERENTLY ON THE PLAN.
12. THE MAINTENANCE PERIOD FOR THE LANDSCAPE CONTRACTOR WILL BE FOR 6 MONTHS FROM THE DATE OF PLANTING BY THE OWNER. SEE SHEET L-1 FOR REQUIREMENTS.



SOIL TESTING

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO TEST SOIL FOR FERTILITY, THE RESULTS OF TEST SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS. CONTRACTOR IS TO APPLY THE FERTILIZER AND OTHER NUTRIENTS AT THE RATES STATED IN THE TEST FERTILITY TEST.
2. THE SOIL TESTING WILL OCCUR BEFORE PLANTING OPERATION BEGINS. THE LANDSCAPE CONTRACTOR WILL DO SOIL SAMPLING IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A COPY OF THE RESULTS OF THE SOIL TESTING & RECOMMENDATIONS TO THE CITY FOR REVIEW AND ACCEPTANCE.
3. THE FOLLOWING SOIL LABORATORY CAN PROVIDE THIS SOIL ANALYSIS: A & L WESTERN AGRICULTURAL LABORATORIES, INC. (209) 528-4080. USE SOIL ANALYSIS #9302 WITH RECOMMENDATIONS AND FOLLOW THE COMPANY'S INSTRUCTION ON SAMPLING.

TREE NO.	SPECIES	TRUNK DIA.*	REMAIN	REMOVE
#1	QUERCUS AGRIFOLIA (COAST LIVE OAK)	17"	X	
#2	QUERCUS AGRIFOLIA (COAST LIVE OAK)	18"	X	
#3	QUERCUS AGRIFOLIA (COAST LIVE OAK)	12"	X	
#4	QUERCUS AGRIFOLIA (COAST LIVE OAK)	6"	X	
#5	QUERCUS AGRIFOLIA (COAST LIVE OAK)	16"	X	
#6	EUCALYPTUS SPECIES (EUCALYPTUS)	12"/15"	X	
#7	EUCALYPTUS SPECIES (EUCALYPTUS)	4"/19"	X	
#8	EUCALYPTUS SPECIES (EUCALYPTUS)	7"/8"	X	

LANDSCAPE DOCUMENT REQUIREMENTS

1. PROJECT INFORMATION:
DATE: OCTOBER 18, 22
PROJECT APPLICANT:
LARRY GABRIEL, ARCHITECT 530 10TH STREET PASO ROBLES, CA 93446 805.238.9600.
PROJECT ADDRESS: CENTER STREET SELF STORAGE, A.P.N.: 169-131-024, CARMEL VALLEY, MONTEREY COUNTY, CA.
PROJECT CONTACTS:
LARRY GABRIEL, ARCHITECT 530 10TH STREET PASO ROBLES, CA 93446 805.238.9600.
CASEY J. PATTERSON, LANDSCAPE ARCHITECT, 10659 REALITO AVE., ATASCADERO, CA 805.466.7629
2. PROJECT TYPE: NEW PRIVATE LANDSCAPE.
3. MULCH ALL PLANTING BEDS ARE TO BE MULCHED TO THREE INCHES DEEP OR AS REQUIRED LOCAL WATER ORDINANCE REQUIREMENT.
4. ALL PLANTS USED FOR THE PLANTING AREAS OF THE SITE ARE IN THE "LOW" WATER-USE PLANT FACTOR CATEGORY (REGION I) AS DETERMINED BY WUCOLS (LESS THAN 0.3).
5. THE PROJECT WILL INCORPORATE COMPOST AT A RATE OF 4 C.Y./1,000 S.F. MIXED TO A DEPTH OF 6", UNLESS SUPERSEDED BY SOIL TESTING.
6. SOIL FERTILITY TESTING WILL BE COMPLETED AND INCORPORATED INTO THE LANDSCAPE CONSTRUCTION PLANS.
7. P.O.C. FOR IRRIGATION SYSTEM WILL BE OFF A DEDICATED, LANDSCAPE WATER SUB-METER.
8. IRRIGATION SYSTEMS WILL COMPLY WITH THE FOLLOWING:
(A) AUTOMATIC IRRIGATION CONTROLLER WILL USE EVAPOTRANSPIRATION AND WEATHER SENSOR.
(B) IRRIGATION CONTROLLERS WILL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATE IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
(C) PRESSURE WILL REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
(D) MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE P.O.C. OF THE WATER SUPPLY.
(E) ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS SET IN THE ANSI STANDARD ASABE/ICC 802-2014. LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD*. ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.

LS. AREA CALCULATION

TOTAL LANDSCAPE SQUARE FOOTAGE OF SITE: 3,737 S.F.
LOW WATER USE HYDROZONES = 3,737 S.F. (VALVE NO. 1,2,3)
SEE IRRIGATION PLAN, SHEET L-2 FOR VALVE LOCATIONS

WATER BUDGET CALC.

SEE SHEET L-1 FOR THE MANA & ETWU WATER BUDGET CALCULATION & IRRIGATION SCHEDULE IN REGARD TO COMPLIANCE WITH THE CITY'S LANDSCAPE & IRRIGATION ORDINANCE.

GREEN CODE REQ. & GENERAL NOTES:

EROSION CONTROL MEASURES:
ROOF WILL BE GUTTERED AND RAINWATER WILL BE DISTRIBUTED ONTO THE SITE FROM SPLASH BLOCKS. THE USE OF DEEP LAYER OF MULCH IN PLANTING BEDS WILL PREVENT RAIN EROSION. FUTURE, COMPLETE COVERAGE OF THE GROUND COVERS WILL ALSO PROVIDE FUTURE EROSION CONTROL MEASURES. FINISH GRADES IN PLANTED AREAS ADJACENT TO PAVING, HEADER BOARDS, MOW STRIP, ETC., SHALL DRAIN TO ACHIEVE EVEN, CONTINUOUS CONTOURS CAPABLE OF FACILITATING DRAINAGE. GRADES WILL SLOPE AWAY FROM ALL BUILDINGS AND OTHER STRUCTURES. SEE CIVIL ENGINEERING PLANS FOR OTHER EROSION CONTROL MEASURES.

LANDSCAPE NOTES:
1. THE SELECTED LANDSCAPE MATERIALS TIE THE LANDSCAPE TO THE DESIGN OF THE BUILDING AND SITE.
2. SELECT ORGANIC MULCH (IE: NO ROCK OR RUBBER MULCH) WILL IMPROVE SOIL STRUCTURE AND PROVIDE NUTRIENTS AS IT DECOMPOSES. THE CONTRACTOR SHALL SPECIFY FOUR INCHES OF MULCH TO ACCOUNT FOR SETTLING AND ASSURE THAT THE THREE INCH MINIMUM WILL BE MET. THERE MUST BE AT LEAST THREE INCHES AT THE TIME OF FIELD VERIFICATION.
3. CONSTRUCT RESOURCE EFFICIENT LANDSCAPES: * NO INVASIVE SPECIES LISTED BY CAL-IPC ARE TO BE PLANTED. * NO PLANT SPECIES TO REQUIRE SHEARING * A MINIMUM OF 75% OF PLANTS ARE TO BE DROUGHT TOLERANT, CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES OR OTHER APPROPRIATE SPECIES * MINIMIZE TURF IN LANDSCAPE INSTALLED. * TURF SHALL BE INSTALLED.
4. GROUP ALL PLANTS IN HYDROZONES IN ACCORDANCE WITH THEIR RESPECTIVE WATER, CULTURAL ISOL, CLIMATE, SUN AND LIGHT AND MAINTENANCE NEEDS. EACH HYDROZONE SHALL BE CLEARLY DELINEATED ON THE SITE, IRRIGATION, AND PLANTING PLANS. ZONES SHOULD INCLUDE AT LEAST HIGH AND LOW ZONES. INSTALL SEPARATE IRRIGATION VALVES FOR DIFFERENT ZONES.
5. DESIGNED IRRIGATION VALVE CIRCUITS TO ACHIEVE MATCHED PRECIPITATION RATES THROUGH HYDROZONES.
6. USED A GREAT PERCENTAGE DROUGHT TOLERANT PLANTS IN LANDSCAPE DESIGN.
7. USED A DEEP LAYER OF MULCH IN PLANTING BEDS.
8. USED DRIP SYSTEM TO CONSERVE WATER.
9. USE A RAIN SENSOR TO TURN-OFF IRRIGATION SYSTEM DURING INCLEMENT WEATHER.
10. HIGH-WATER USING LAWNS ARE ELIMINATED FROM THE LANDSCAPE DESIGN.

REV.	DESCRIPTION	DATE
1	CLARIFY REMOVAL TREE TABLE	2/19/22
2	BULKY SITE REVISION	4/17/22

CASEY J. PATTERSON
LANDSCAPE ARCHITECT

805 . 466 . 7629 CJP@CJPPRO.COM

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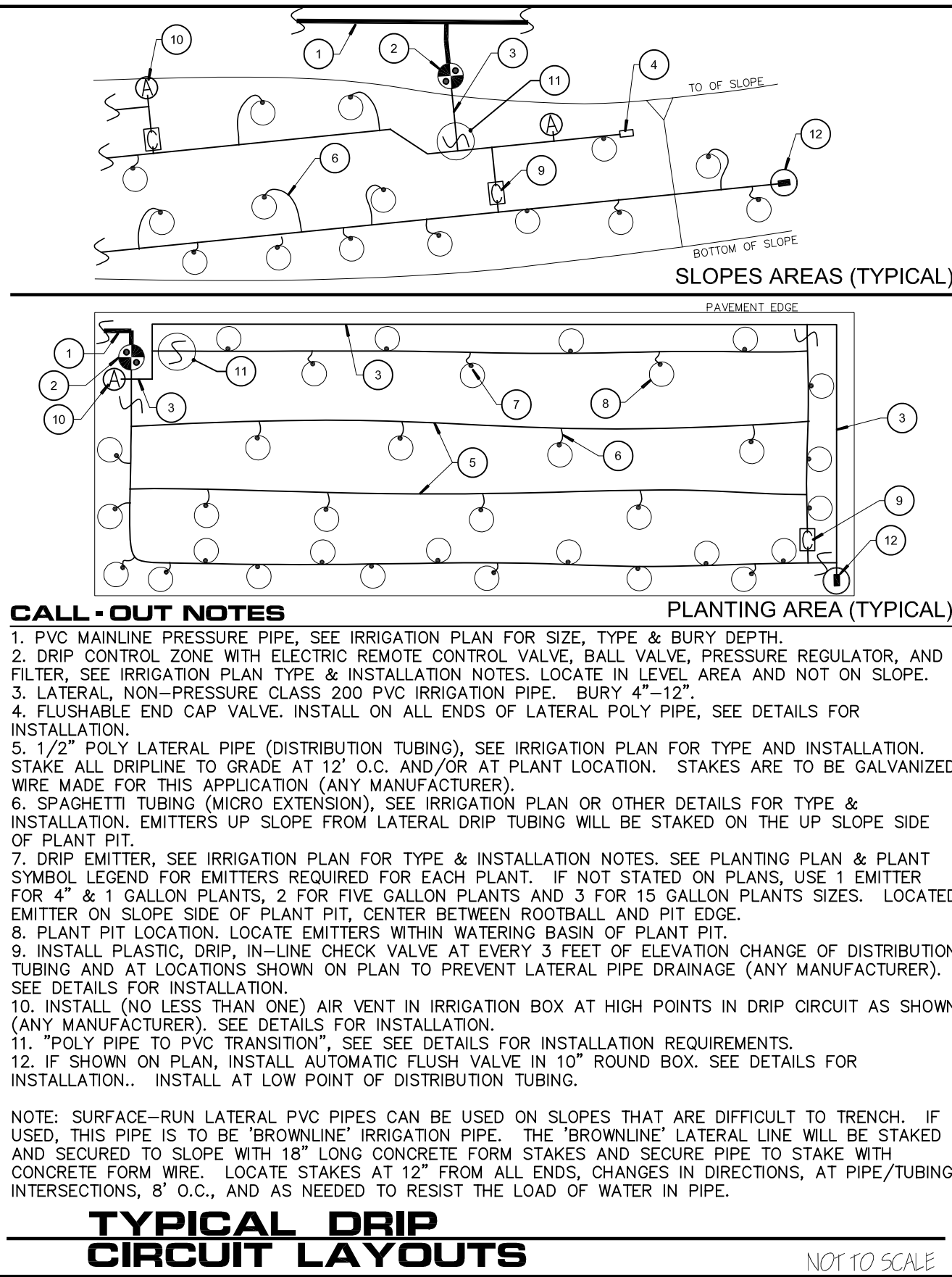
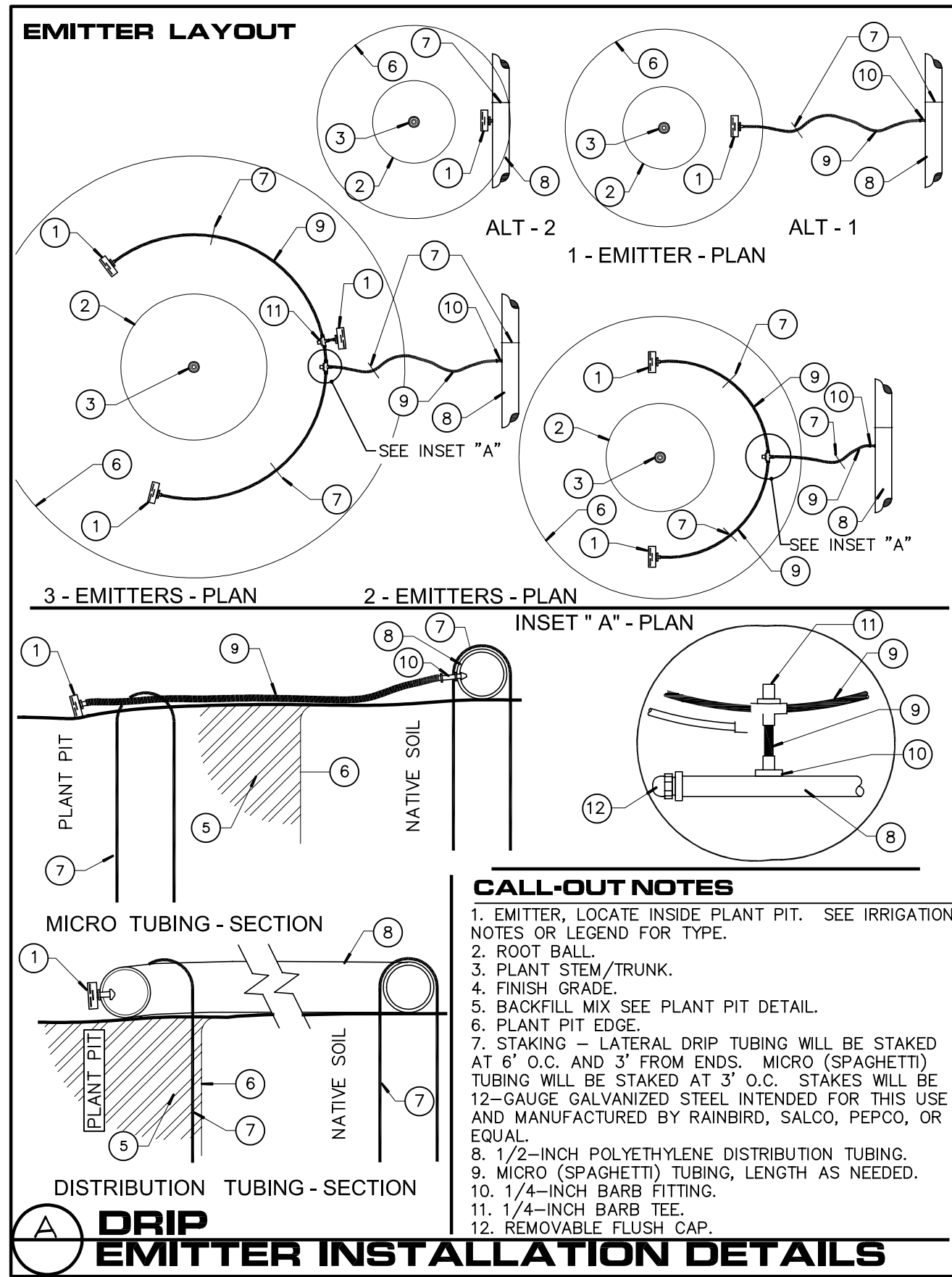
PROJECT: CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
CARMEL VALLEY, MONTEREY COUNTY, CA

SCALE: 1" = 20'-0"

DATE: 2/21/23

JOB NO:

SHEET NO. **L-1**

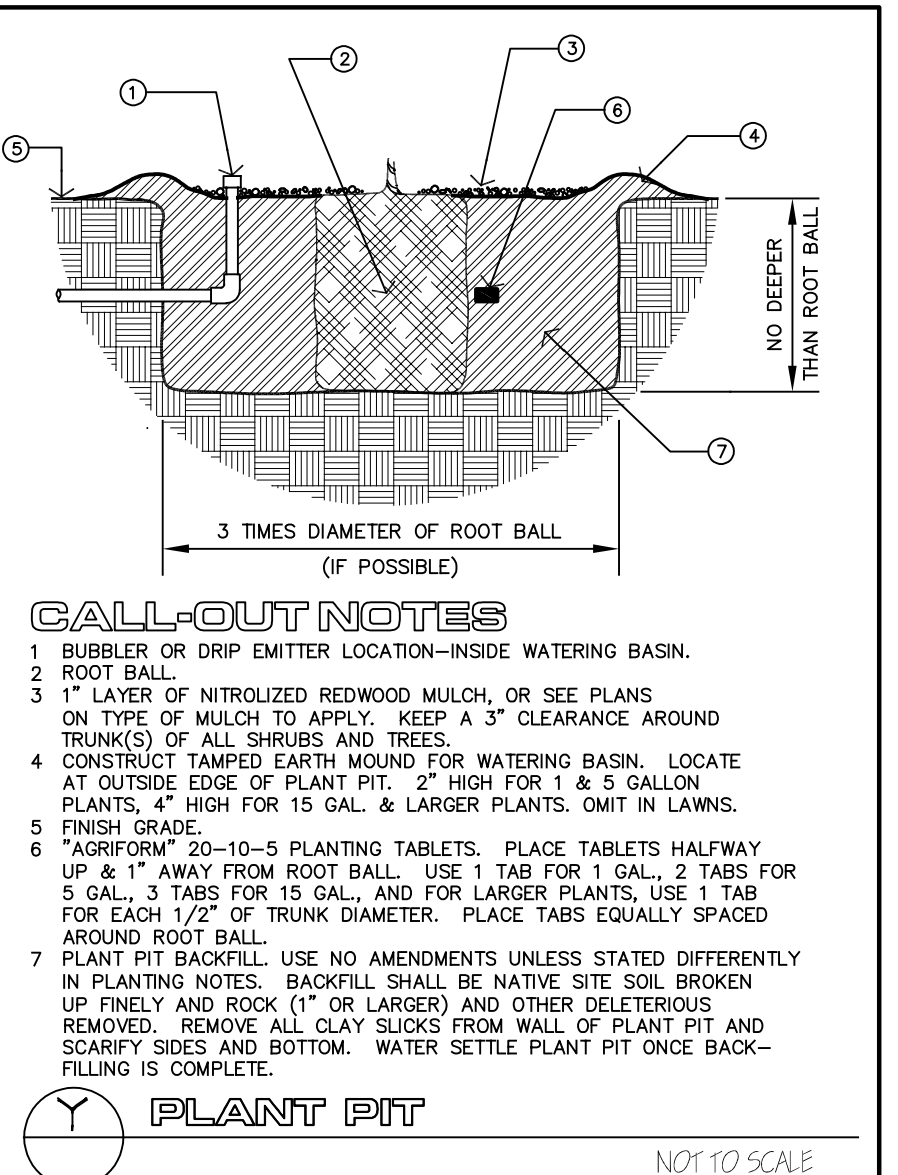
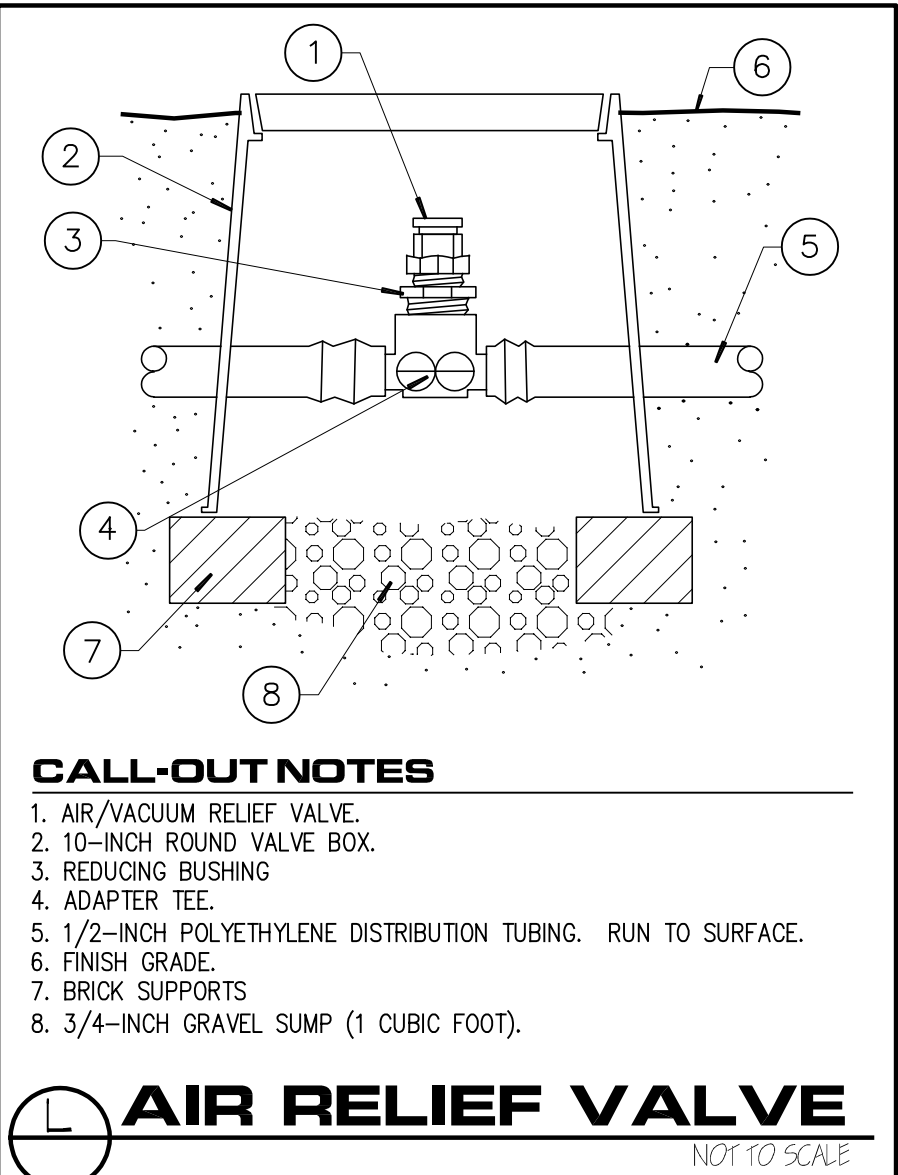
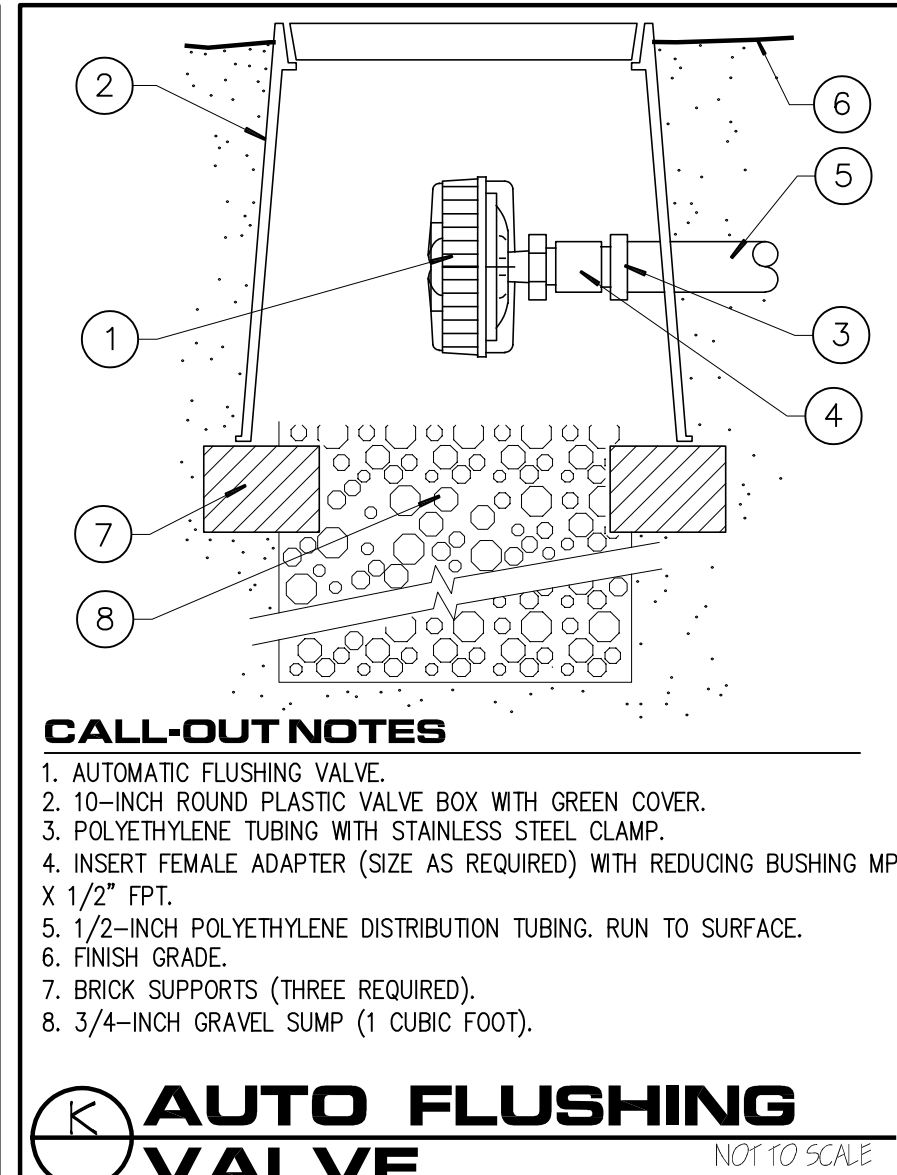
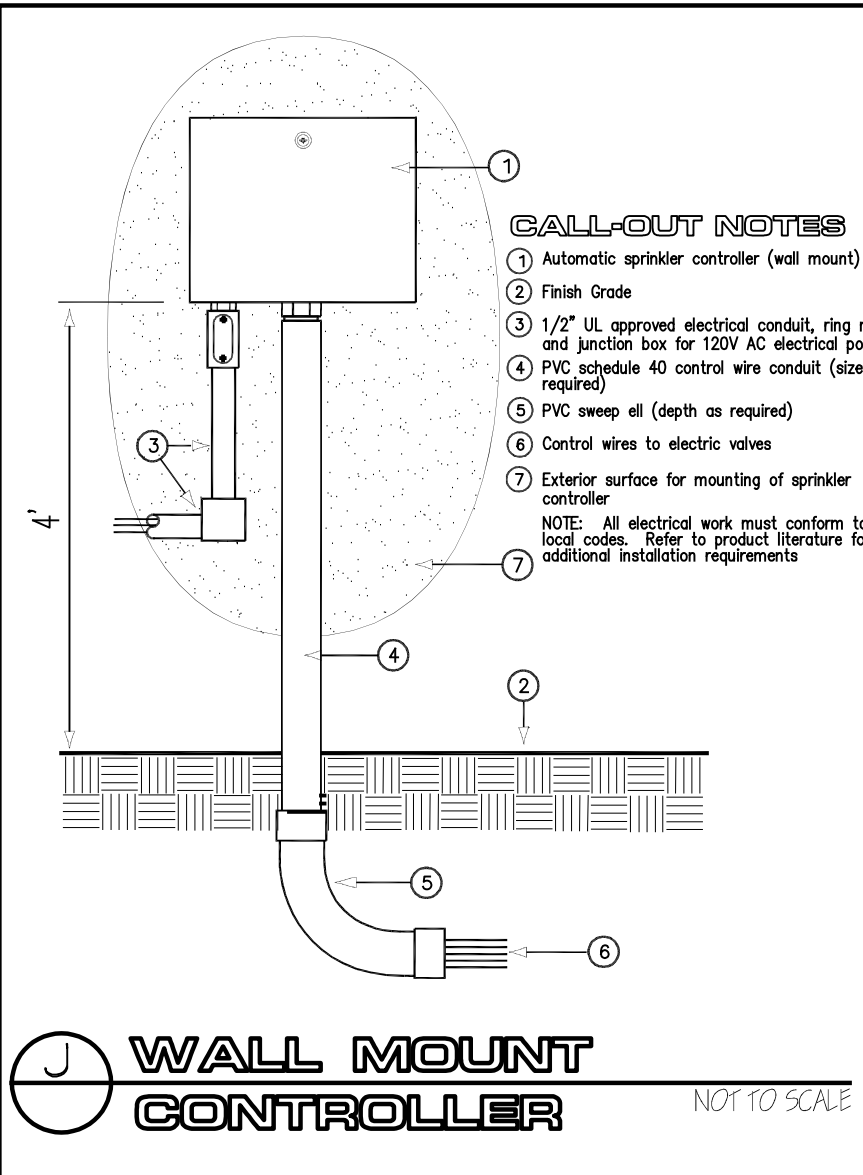
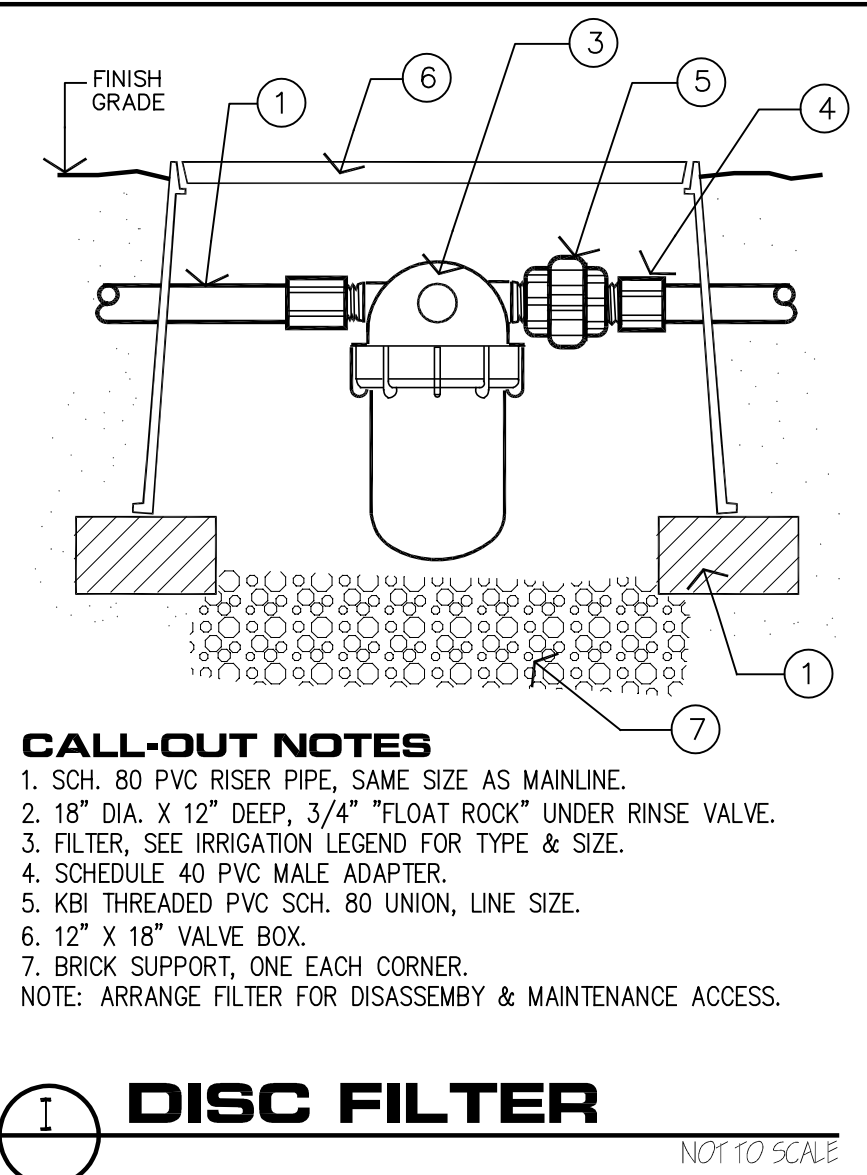
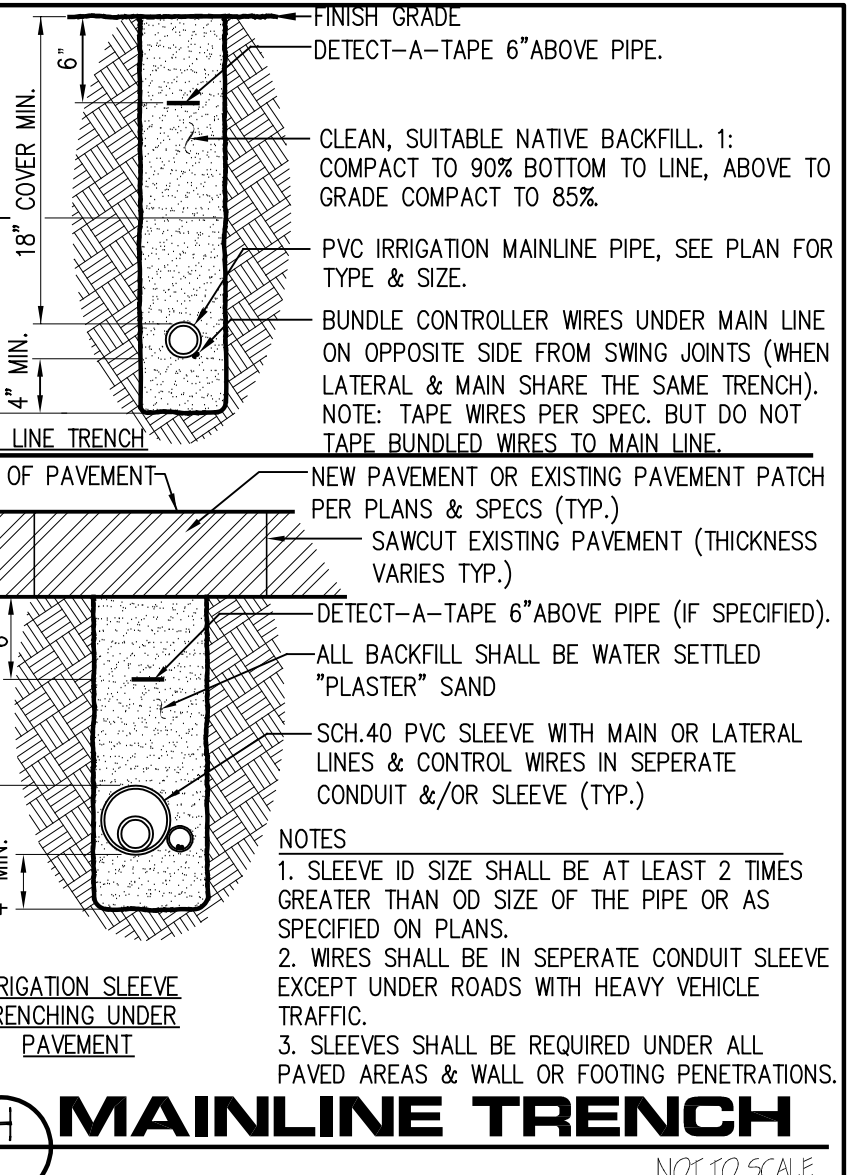
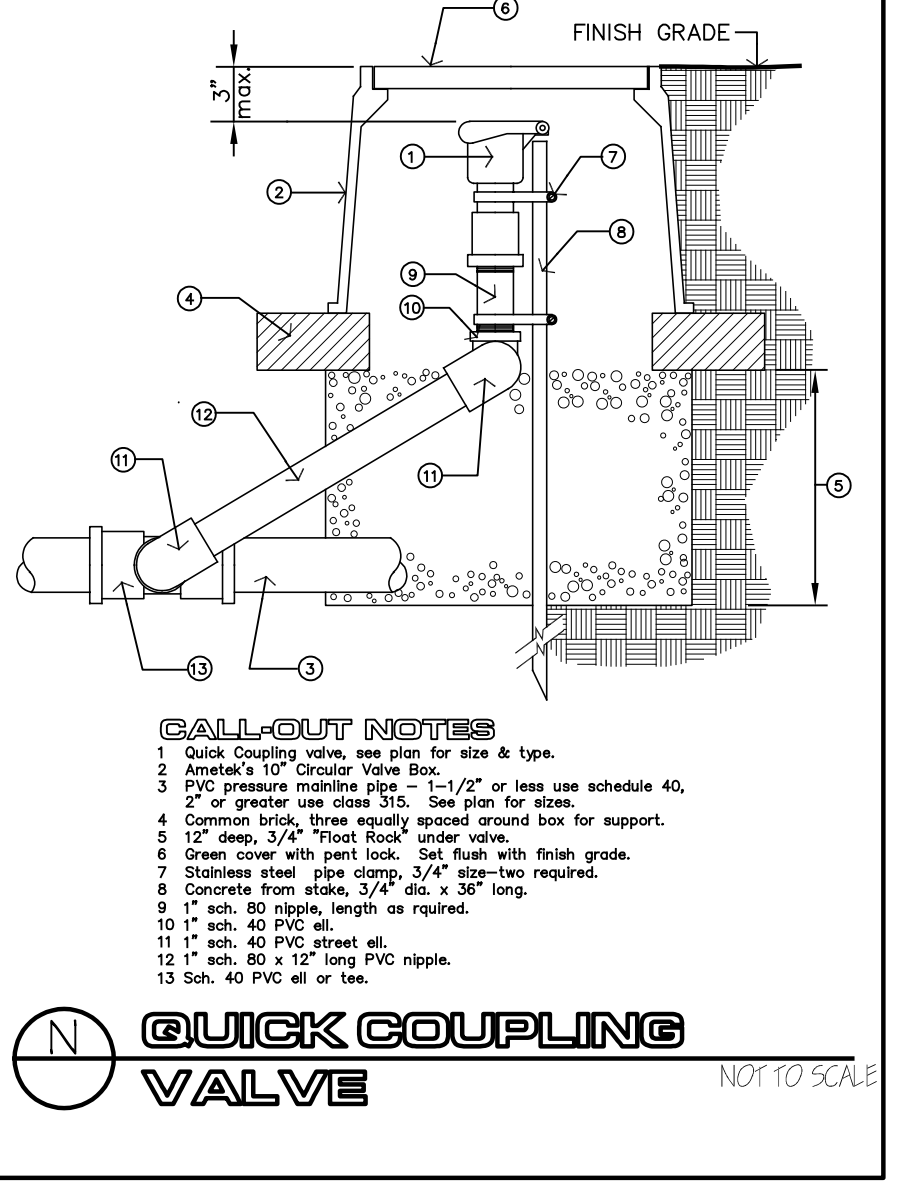
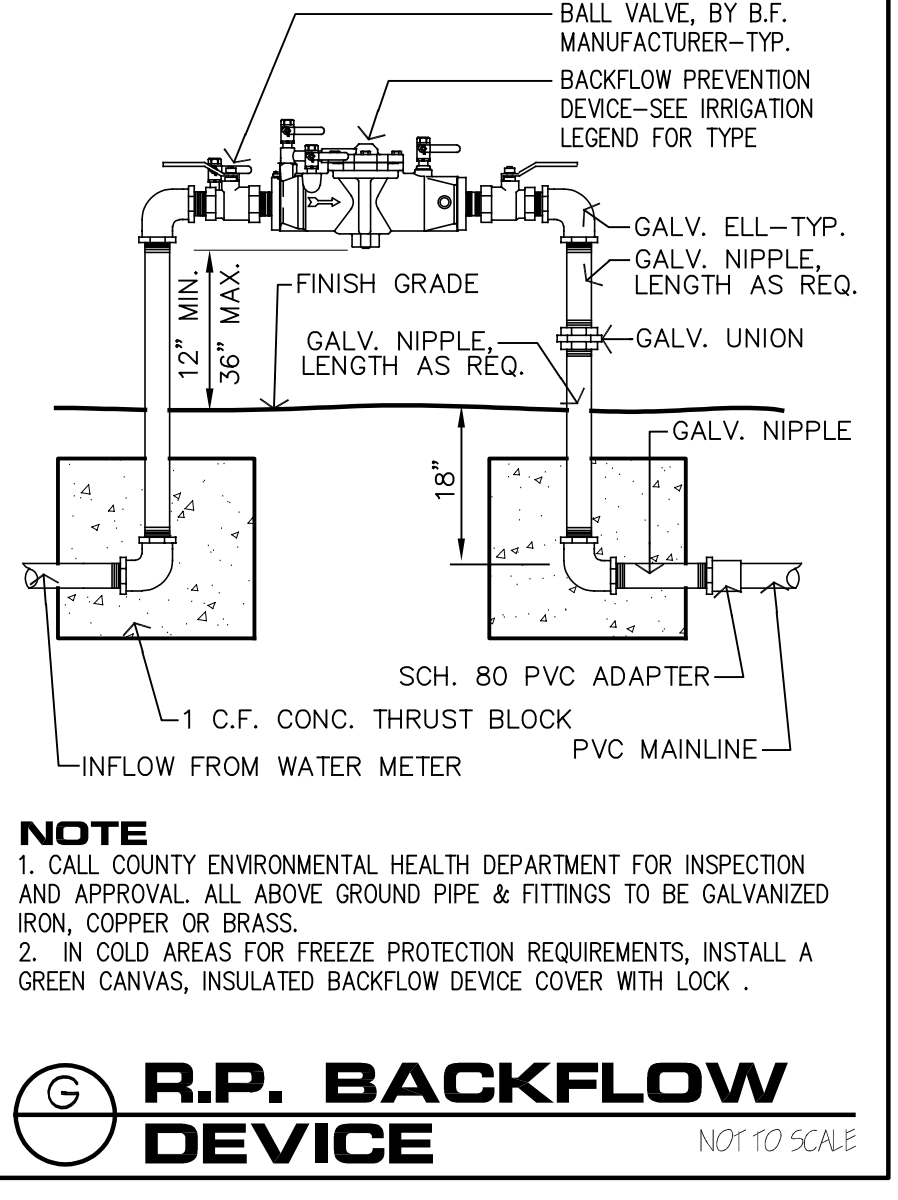
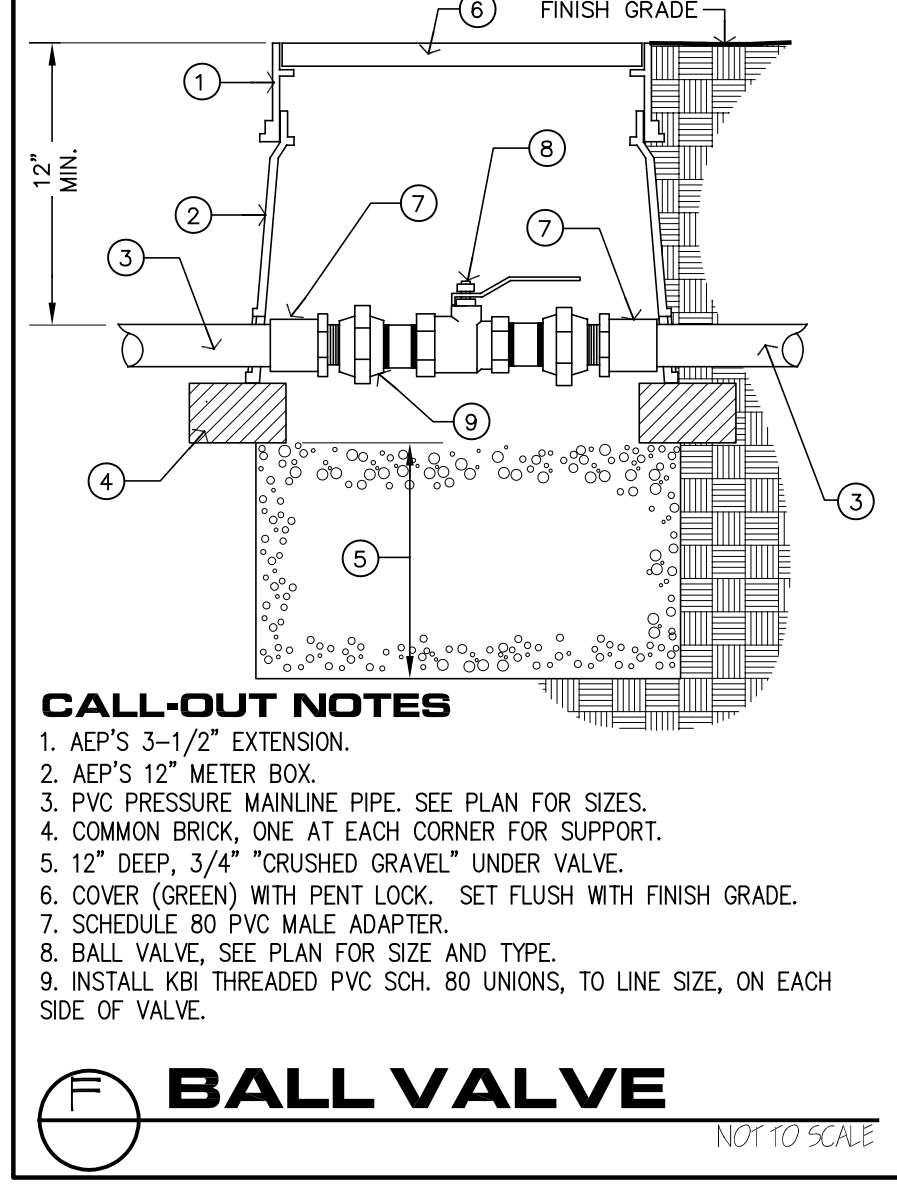
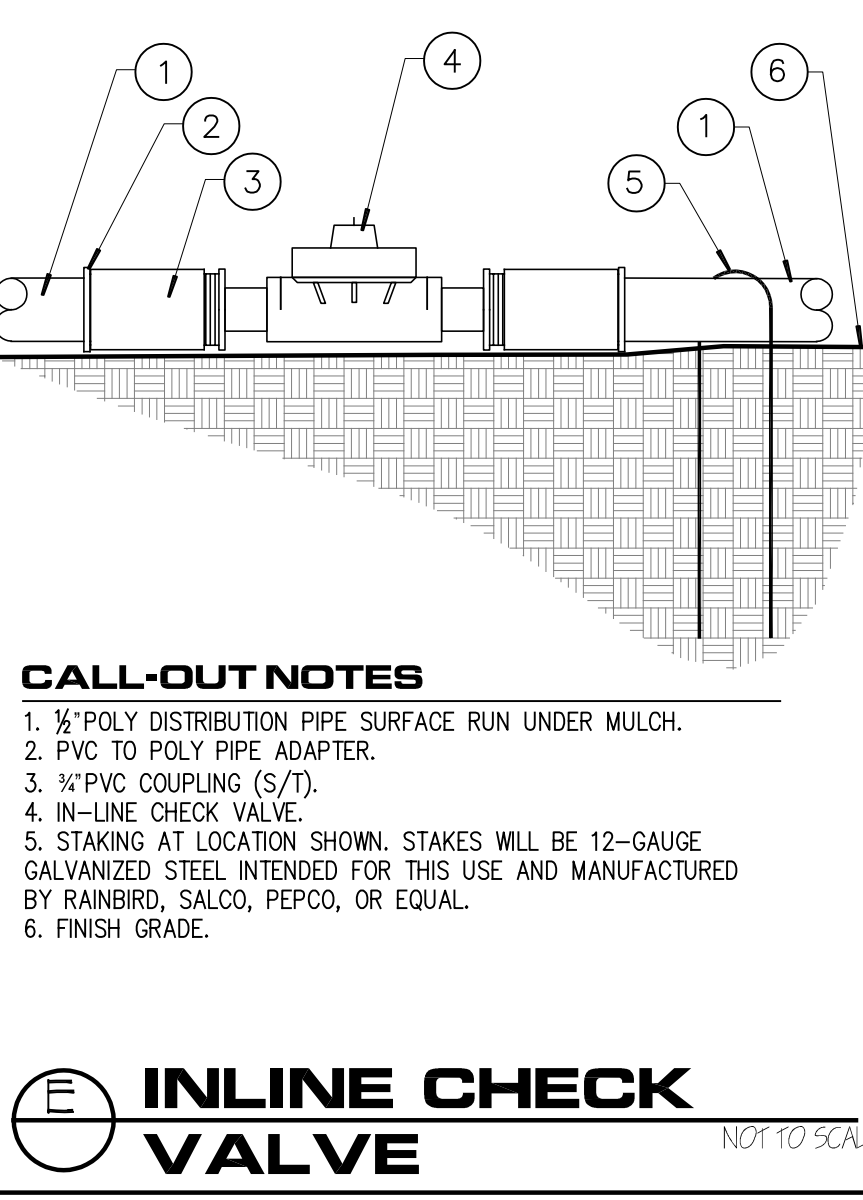
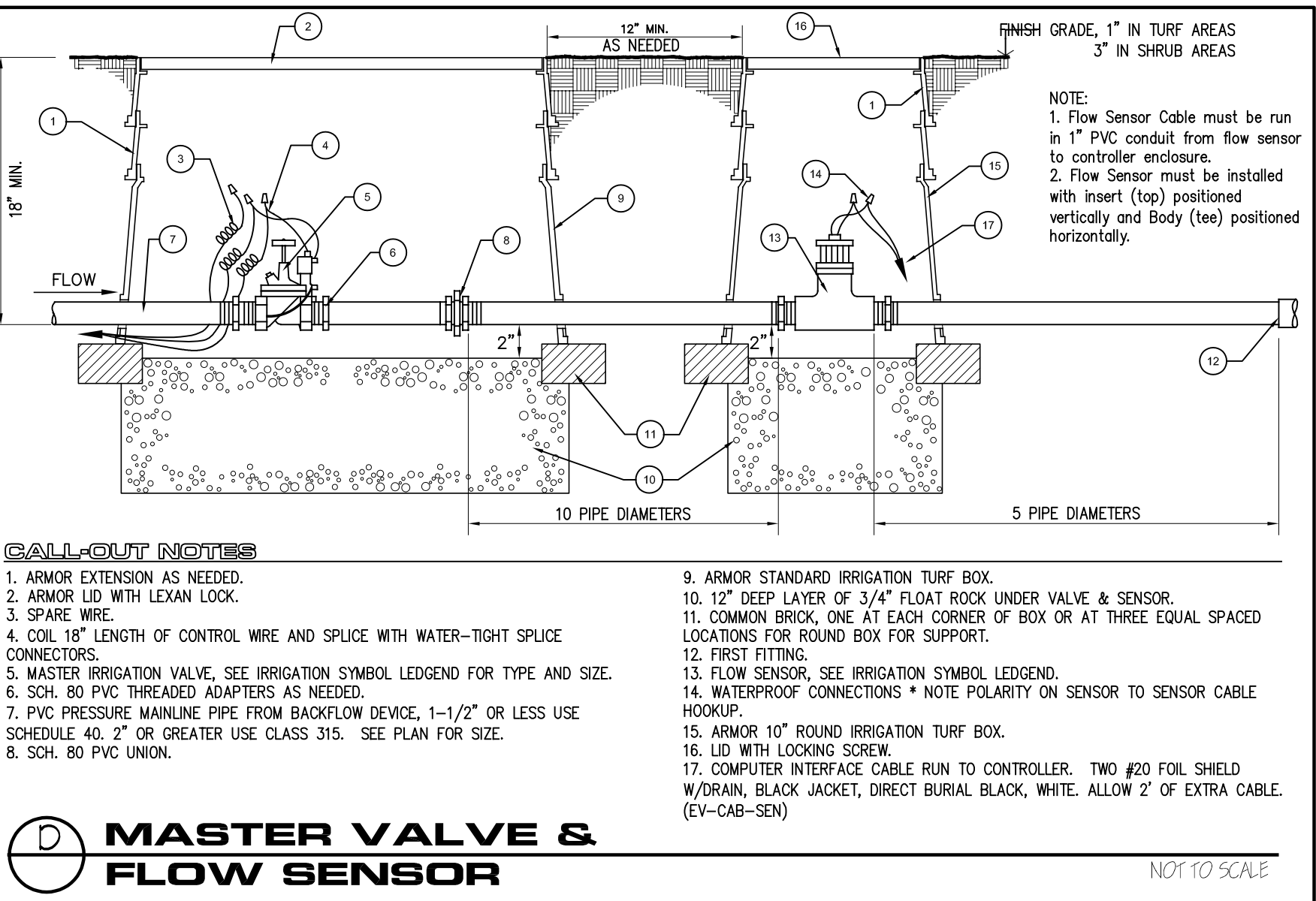
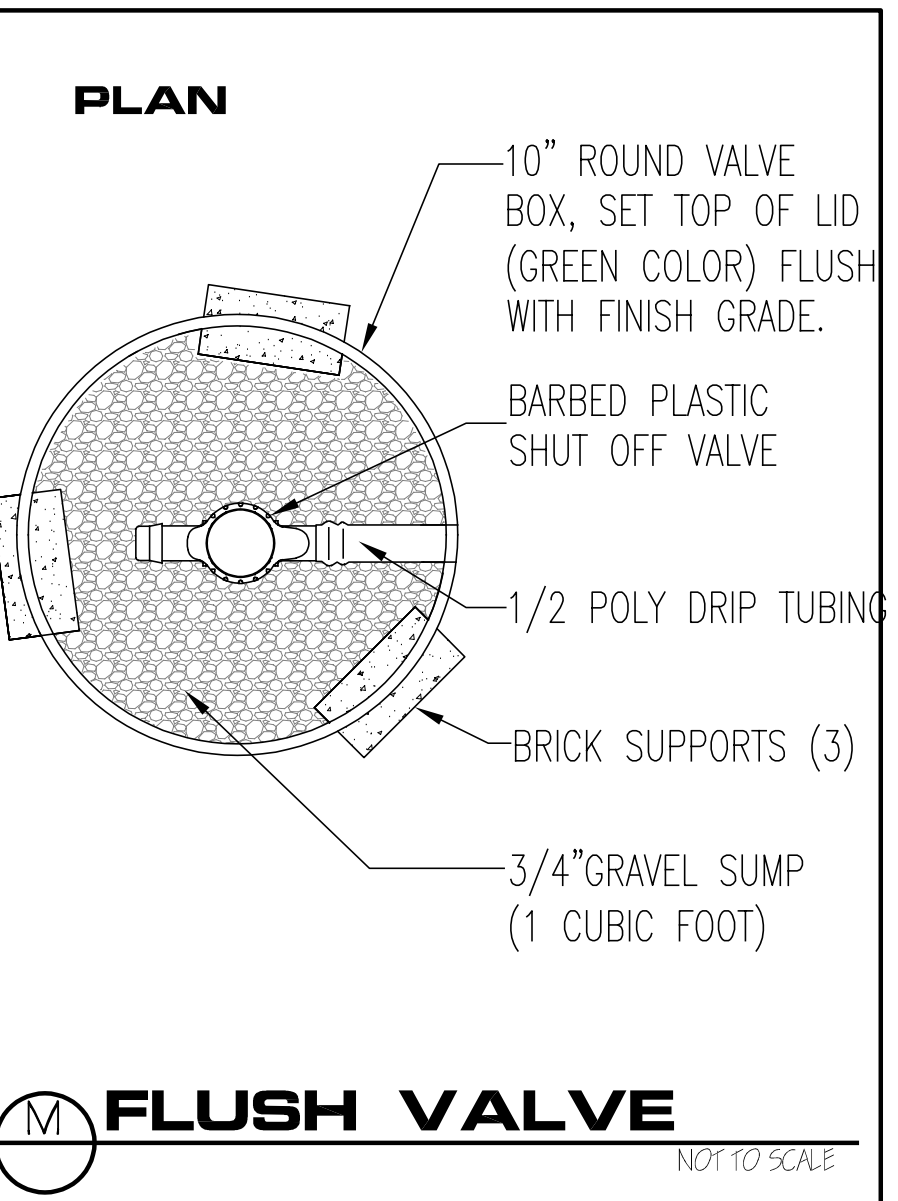
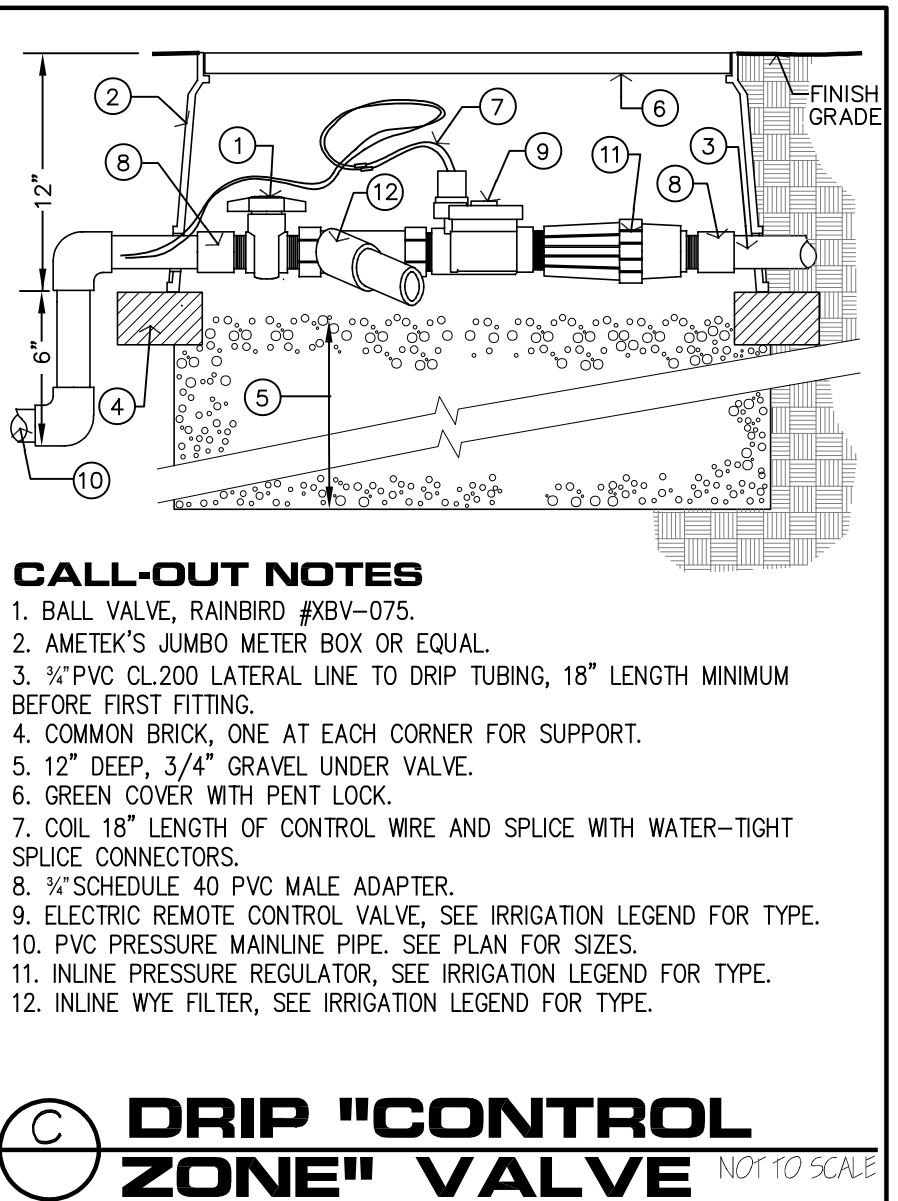
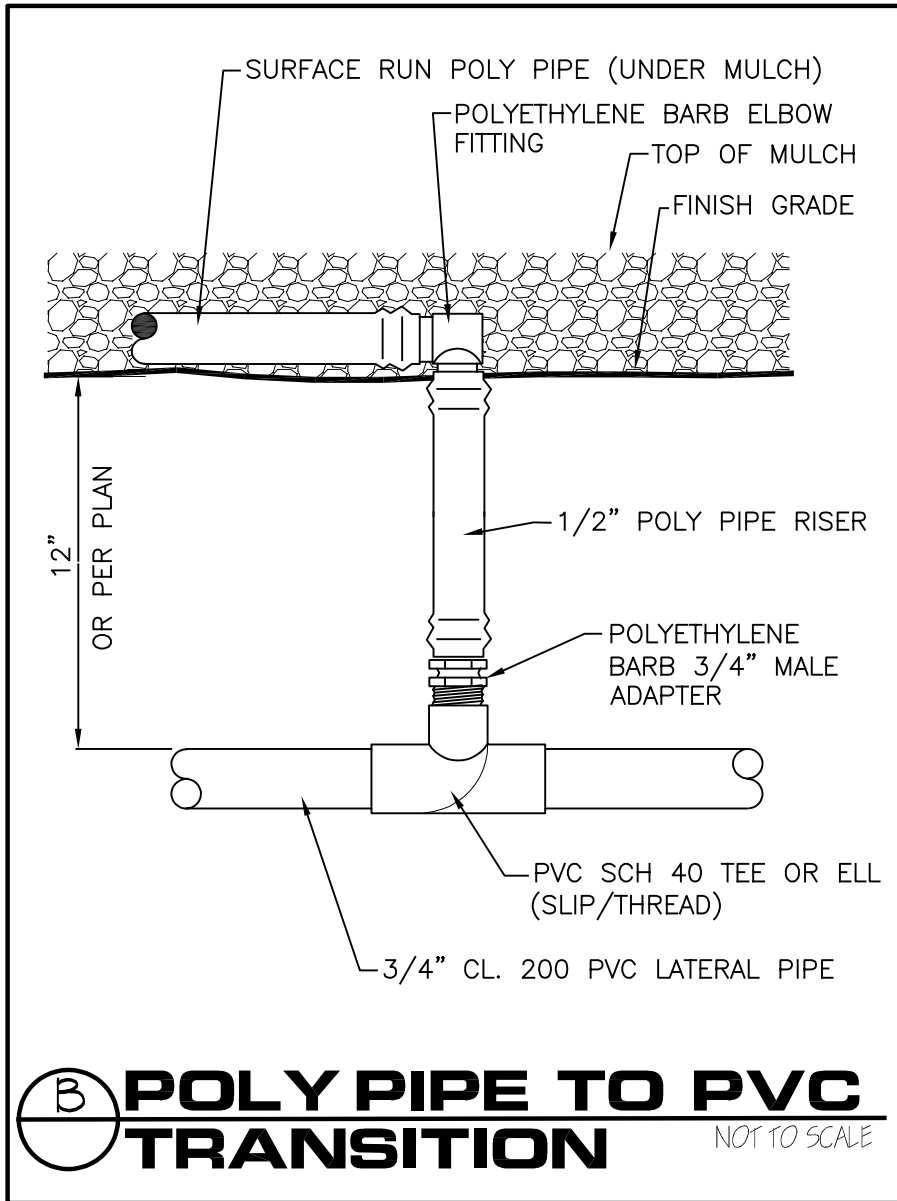


CALL-OUT NOTES

- PVC MAINLINE PRESSURE PIPE. SEE IRRIGATION PLAN FOR SIZE, TYPE & BURY DEPTH.
- DRIP CONTROL ZONE WITH ELECTRIC REMOTE CONTROL VALVE, BALL VALVE, PRESSURE REGULATOR, AND FILTER, SEE IRRIGATION PLAN TYPE & INSTALLATION NOTES. LOCATE IN LEVEL AREA AND NOT ON SLOPE.
- LATERAL, NON-PRESSURE CLASS 200 PVC IRRIGATION PIPE. BURY 4"-12".
- FLUSHABLE END CAP VALVE. INSTALL ON ALL ENDS OF LATERAL POLY PIPE. SEE DETAILS FOR INSTALLATION.
- 1/2" POLY LATERAL PIPE (DISTRIBUTION TUBING). SEE IRRIGATION PLAN FOR TYPE AND INSTALLATION. STAKE ALL DRIFLINE TO GRADE AT 12" O.C. AND/OR AT PLANT LOCATION. STAKES ARE TO BE GALVANIZED WIRE MADE FOR THIS APPLICATION (ANY MANUFACTURER).
- SPAGHETTI TUBING (MICRO EXTENSION). SEE IRRIGATION PLAN OR OTHER DETAILS FOR TYPE & INSTALLATION. EMITTERS UP SLOPE FROM LATERAL DRIP TUBING WILL BE STAKED ON THE UP SLOPE SIDE OF PLANT PIT.
- DRIP EMITTER. SEE IRRIGATION PLAN FOR TYPE & INSTALLATION NOTES. SEE PLANTING PLAN & PLANT SYMBOL LEGEND FOR EMITTERS REQUIRED FOR EACH PLANT. IF NOT STATED ON PLANS, USE 1 EMITTER FOR 4" & 1 GALLON PLANTS, 2 FOR FIVE GALLON PLANTS AND 3 FOR 15 GALLON PLANTS SIZES. LOCATED EMITTER ON SLOPE SIDE OF PLANT PIT, CENTER BETWEEN ROOTBALL AND PIT EDGE.
- PLANT PIT LOCATION. LOCATE EMITTERS WITHIN WATERING BASIN OF PLANT PIT.
- INSTALL PLASTIC, DRIP, IN-LINE CHECK VALVE AT EVERY 3 FEET OF ELEVATION CHANGE OF DISTRIBUTION TUBING AND AT LOCATIONS SHOWN ON PLAN TO PREVENT LATERAL PIPE DRAINAGE (ANY MANUFACTURER). SEE DETAILS FOR INSTALLATION.
- POLY PIPE TO PVC TRANSITION. SEE DETAILS FOR INSTALLATION REQUIREMENTS.
- IF SHOWN ON PLAN, INSTALL AUTOMATIC FLUSH VALVE IN 10" ROUND BOX. SEE DETAILS FOR INSTALLATION. INSTALL AT LOW POINT OF DISTRIBUTION TUBING.

NOTE: SURFACE-RUN LATERAL PVC PIPES CAN BE USED ON SLOPES THAT ARE DIFFICULT TO TRENCH. IF USED, THIS PIPE IS TO BE "BROWNLINE" IRRIGATION PIPE. THE "BROWNLINE" LATERAL LINE WILL BE STAKED AND SECURED TO SLOPE WITH 18" LONG CONCRETE FORM STAKES AND SECURE PIPE TO STAKE WITH CONCRETE FORM WIRE. LOCATE STAKES AT 12" FROM ALL ENDS, CHANGES IN DIRECTIONS, AT PIPE/TUBING INTERSECTIONS, 8" O.C., AND AS NEEDED TO RESIST THE LOAD OF WATER IN PIPE.

TYPICAL DRIP CIRCUIT LAYOUTS NOT TO SCALE



DATE	07/04
REV	00
DESCRIPTION	

CASEY J. PATTERSON LANDSCAPE ARCHITECT
REG. NO. 30232
LANDSCAPE ARCHITECTURE BOARD OF CALIFORNIA

SEE PLAN SPECIFICATIONS FOR MATERIALS AND DESIGN INCORPORATED HEREIN. CONTRACTOR TO VERIFY ALL CONDITIONS AND CONDITIONS BEFORE CONSTRUCTION. ANY REPRODUCTION FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORITY OF CASEY J. PATTERSON, LANDSCAPE ARCHITECT IS PROHIBITED.
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LANDSCAPE ARCHITECT

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905 . 466 . 7629 CJP@CJPPRO.COM

LANDSCAPE INSTALLATION DETAILS

PROJECT

CENTER STREET SELF STORAGE
A.P.N.: 169-131-024
CARMEL VALLEY, MONTEREY COUNTY, CA

SCALE:

DATE: 2/21/23

JOB NO.:

SHEET NO.

L-3