

Change Order No. 01

Contract Title: Energy Services Contract	Contract Number: R3652
Contract Effective Date: December 3, 2024	Change Order Effective Date: July 29, 2025

Customer Name	County of Monterey
Address:	168 W. Alisal Street, Salinas, CA 93901
Contact:	Cora Panturad
Job Location:	1441 Constitution Boulevard, Salinas, CA 93906

Reason for/Description of Change Order:	<p>Whereas, on June 13, 2025, ENGIE Services U.S. Inc. changed its name to OPTERRA Energy Services, LLC. ("OPTERRA").</p> <p>The following changes shall be made to the Scope of Work:</p> <p>Item 1: ADA Parking Upgrades</p> <p>OPTERRA shall update the Scope of Work to include the following ADA upgrades at Natividad Medical Center:</p> <ul style="list-style-type: none"> • OPTERRA shall provide the following quantity of parking stalls per parking lot: <ul style="list-style-type: none"> ○ Parking Lot A <ul style="list-style-type: none"> ▪ One (1) van accessible ADA parking stall ▪ Two (2) standard accessible ADA parking stalls ○ Parking Lot C <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ Fourteen (14) standard accessible ADA parking stalls ○ Parking Lot D <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ Fourteen (14) standard accessible ADA parking stalls ▪ Two (2) van accessible ADA EV charging stalls ▪ Two (2) standard accessible ADA EV charging stalls ○ Parking Lot F2/I <ul style="list-style-type: none"> ▪ Three (3) van accessible ADA parking stalls ▪ Seven (7) standard accessible ADA parking stalls ▪ One (1) van accessible ADA EV charging stall ▪ One (1) standard accessible ADA EV charging stall ○ Parking Lot M <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ One (1) standard accessible ADA parking stall • The ADA Scope of Work shall be completed as shown on Accessibility Sheets G-100A, G-101A, G-102A, G-103A, G-104A, G-105A, and G-106A of the Issue For Permit drawing package dated June 6, 2025, including but not limited to striping and signage, wheel stops, truncated domes, grading, and asphalt/concrete work where necessary to achieve permit closeout. • Any ADA upgrades to parking stalls or paths of travel within Parking Lot K or Parking Lot N, and any additional ADA upgrades to paths of travel outside of any parking lots at the Natividad Medical Center campus except as explicitly shown within the Accessibility Plans of the drawing sheets listed above is excluded from the Scope of Work. <p>Item 2: Increased Foundation Depths</p>
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OPTERRA shall increase the depth of the solar canopy foundations and ground mount array piles at Natividad Medical Center according to the depths as shown in the Pier Depth tables on Sheets S3.0, S3.1, S3.2, S3.3, S3.4, S3.5, S3.6, and S5.0 in the Issue For Permit drawing package dated June 6, 2025.

All canopy array pier depths have been calculated by the Structural Engineer of Record based on the findings of the Geotechnical Engineering/Geologic Hazards Investigation report dated April 28, 2025, created by Krazan & Associates. The maximum depth of the piers for the solar canopy arrays shall be increased from thirteen feet (13') to sixteen feet (16'). The total linear footage of increased canopy array pier depth is 156 feet across fifty-two (52) columns among nine (9) canopy arrays.

Additionally, OPTERRA shall increase the depth of the piles on the ground mount arrays by a total of 268 feet across sixty-seven (67) piles.

County Contingency Budget

The County shall hold an additional construction contingency budget in the amount of \$357,000 (Three Hundred Fifty-Seven Thousand Dollars) to cover unforeseen conditions encountered in the construction of the Project. OPTERRA acknowledges and agrees that no additional Change Orders shall be requested from the County or granted to OPTERRA in excess of this County-held contingency amount to complete the Scope of Work; provided however, that this agreement and the monetary cap are not applicable to changes to the Project requested by the County or their consultants.

Schedule of Values		
Item 1	ADA Parking Upgrades	\$1,107,118.00
Item 2	Increased Foundation Depths	\$46,643.00
	Total	\$1,153,761.00

Original Contract Amount:	\$ 18,134,700.00
Prior Approved Change Order(s) Will Add/(Deduct)	\$ 00.00
This Change Order Will Add (Deduct):	\$ +1,153,761.00
Revised Contract Amount (includes sales tax):	\$ 19,288,461.00

Days added to Project Schedule	<u>0 days</u>
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The parties may execute this Change Order in counterparts, each of which constitutes an original, and all of which, collectively, constitute only one change order. The signatures of each of the parties need not appear on the same counterpart, and in the event that any signature is delivered by facsimile transmission or by e-mail delivery of a ".pdf" format data file, such signature shall create a valid and binding obligation of the party executing (or on whose behalf such signature is executed) with the same force and effect as if such facsimile or ".pdf" signature page were an original thereof.

COUNTY OF MONTEREY

OPTERRA ENERGY SERVICES, LLC

By: _____
Print
Name: _____
Title: _____

By: _____
Print
Name: _____
Title: _____

RETURN SIGNED DOCUMENT TO: OPTERRA Energy Services LLC, 500 Twelfth Street, Suite 300, Oakland, CA 94607, Attn.:
Contract Administrator



DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHANGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED, AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON EVALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARSHNESS ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

1. ALL EXISTING PARKING STALLS UNDER NEW PV ARRAYS TO BE RE-STRIPED AND/OR EXTENDED TO 18' FROM EDGE OF (N) PV CANOPY COLUMNS UNLESS OTHERWISE NOTED.
2. ALL EXISTING AND NEW PARKING STRIPING SHALL MEET CURRENT PARKING AND CBC REQUIREMENTS.
3. ALL EXISTING PARKING STALLS THAT ARE BEING CONVERTED TO NEW EV CHARGING STATIONS (EVCS) TO BE RE-STRIPED TO MEET MINIMUM STALL DIMENSIONS AS PER CALIFORNIA BUILDING CODE CHAPTER 11B-812 EVCS TECHNICAL REQUIREMENTS.

_____ ... _____ EXISTING POT

- - - - - NEW POT

ENGINEERING APPROVAL

AGENCY APPROVAL

[illegible]

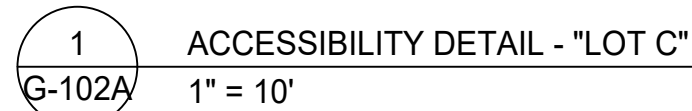
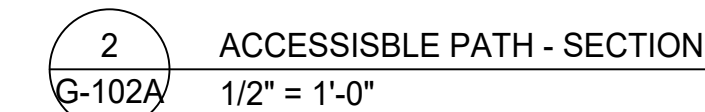
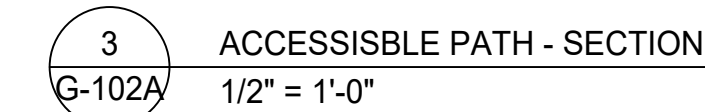
DESIGNER PROJECT NO.:	230-3
DRAWN BY:	GB
CHECKED BY:	BL
SCALE:	

SHEET TITLE

ACCESSIBILITY PLAN

SHEET NUMBER

G-101A



(E) ACCESSIBLE ROUTE

- 7A) NOT USED
- 7B) EXISTING RELOCATED WHEEL STOP PER DETAIL 5/G-102A. VERIFY THE PRESENCE, LOCATION AND CONDITION OF EXISTING WHEEL STOPS TO BE RELOCATED/ REUSED. ANY WHEEL STOPS NOT PRESENT OR IN POOR CONDITION WILL NEED TO BE REPLACED WITH NEW.
- 8A) NOT USED
- 8B) NEW 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-106A
- 8C) EXISTING WHITE PAINTED PAVEMENT "NO PARKING" TO BE REMOVED
- 9A) NOT USED
- 9B) NEW PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-106A
- 10) NOT USED
- 11) NOT USED
- 12) NOT USED
- 13) REMOVE EXISTING STRIPING

—...—...— EXISTING POT

- - - - - NEW POT

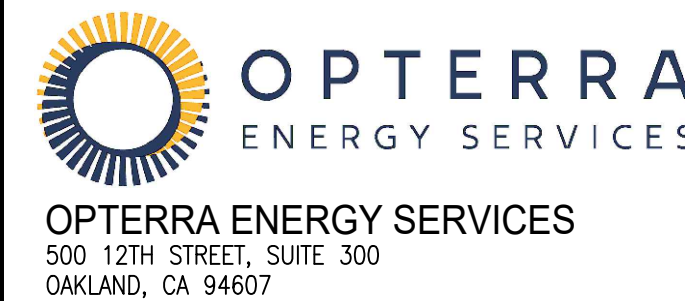
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DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED, AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."



NATIVIDAD MEDICAL
CENTER
1441 CONSTITUTION BOULEVARD,
SALINAS, CA 93906

DESIGNER



CONSULTANT

ENGINEERING APPROVAL

AGENCY APPROVAL

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DESIGNER PROJECT NO.:	230-3
DRAWN BY:	GB
CHECKED BY:	BL
SCALE:	

KEY PLAN

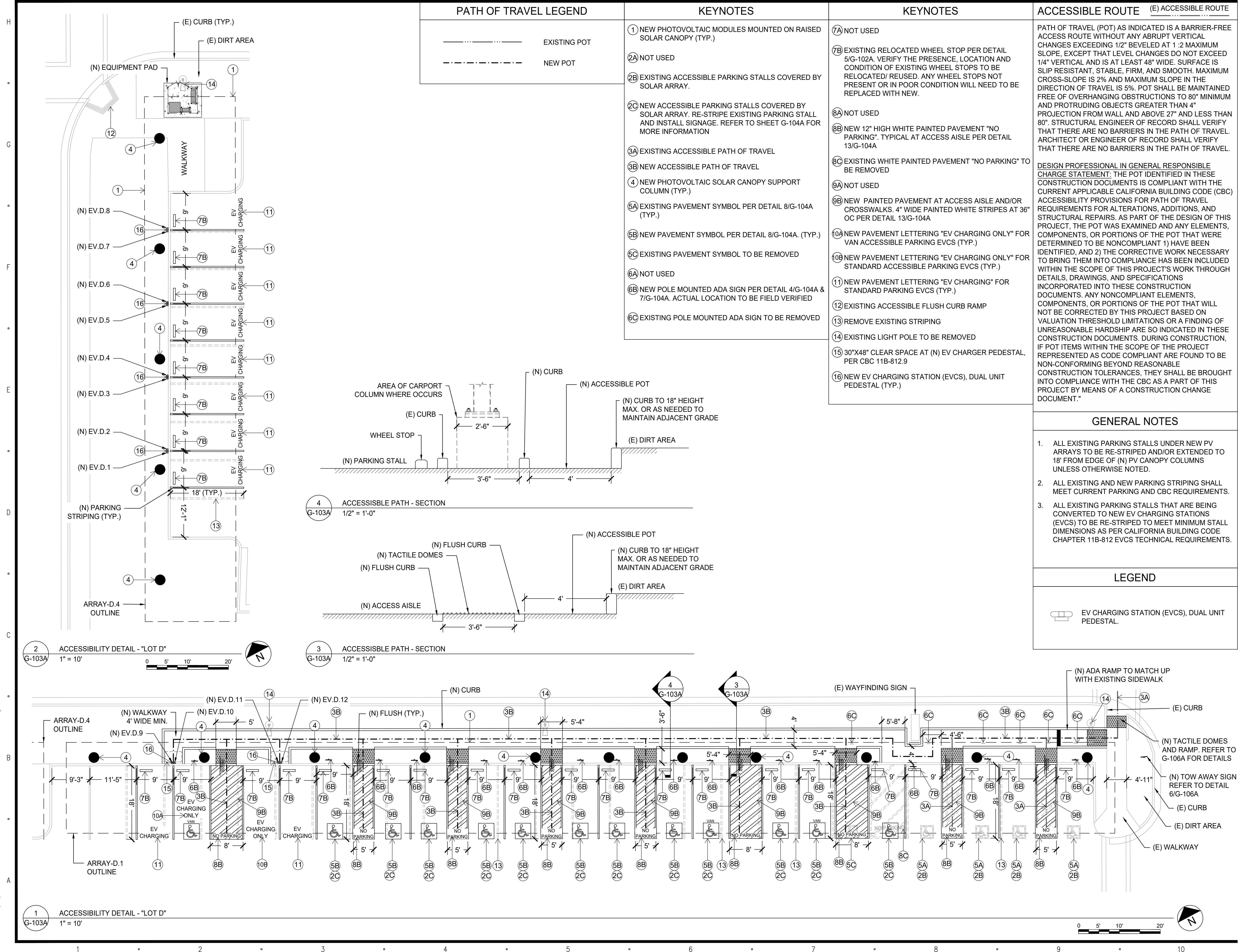
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ACCESSIBILITY PLAN

SHEET NUMBER

G-102A

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SIZE: 8.53 MB
PAPER SIZE: ARCH D 24x36"



PROJECT LOCATION
NATIVIDAD MEDICAL CENTER
1441 CONSTITUTION BOULEVARD,
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER



CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

MARK	DATE	DESCRIPTION
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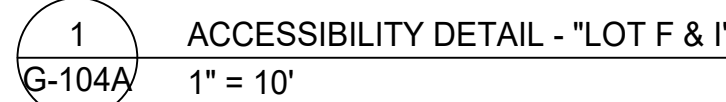
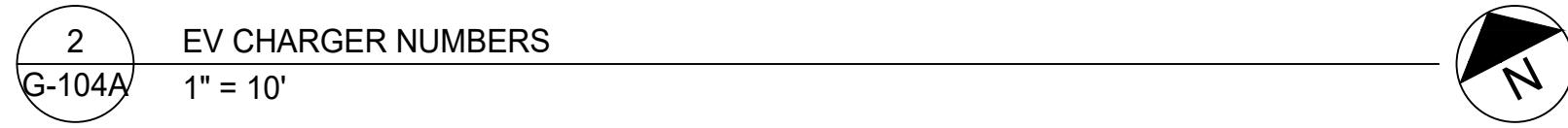
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SCALE:

KEY PLAN

SHEET TITLE
ACCESSIBILITY PLAN

SHEET NUMBER

G-103A



KEYNOTES

8A	NOT USED
8B	NEW 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-104A
9A	NOT USED
9B	NEW PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-104A
10A	NEW PAVEMENT LETTERING "EV CHARGING ONLY" FOR VAN ACCESSIBLE PARKING EVCS (TYP.)
10B	NEW PAVEMENT LETTERING "EV CHARGING ONLY" FOR STANDARD ACCESSIBLE PARKING EVCS (TYP.)
11	NEW PAVEMENT LETTERING "EV CHARGING" FOR STANDARD PARKING EVCS (TYP.)
12	NOT USED
13	REMOVE EXISTING STRIPING
14	EXISTING LIGHT POLE TO BE REMOVED
15	30"x48" CLEAR SPACE AT (N) EV CHARGER PEDESTAL, PER CBC 11B-812.9
16	NEW EV CHARGING STATION (EVCS), DUAL UNIT PEDESTAL (TYP.)


ACCESSIBLE ROUTE

PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. MAXIMUM CROSS-SLOPE IS 2% AND MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IS 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". STRUCTURAL ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL. ARCHITECT OR ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

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GENERAL NOTES

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3. ALL EXISTING PARKING STALLS THAT ARE BEING CONVERTED TO NEW EV CHARGING STATIONS (EVCS) TO BE RE-STRIPED TO MEET MINIMUM STALL DIMENSIONS AS PER CALIFORNIA BUILDING CODE CHAPTER 11B-812 EVCS TECHNICAL REQUIREMENTS.




EV CHARGING STATION (EVCS), DUAL UNIT
PEDESTAL


LEGEND



PATH OF TRAVEL LEGEND



EXISTING POT



NEW POT



PROJECT LOCATION

NATIVIDAD MEDICAL
CENTER
1441 CONSTITUTION BOULEVARD,
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER



CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

[illegible]

DESIGNER PROJECT NO.:	230-3
DRAWN BY:	GB
CHECKED BY:	BL
SCALE:	

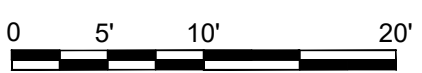
KEY PLAN

SHEET TITLE

ACCESSIBILITY PLAN

SHEET NUMBER

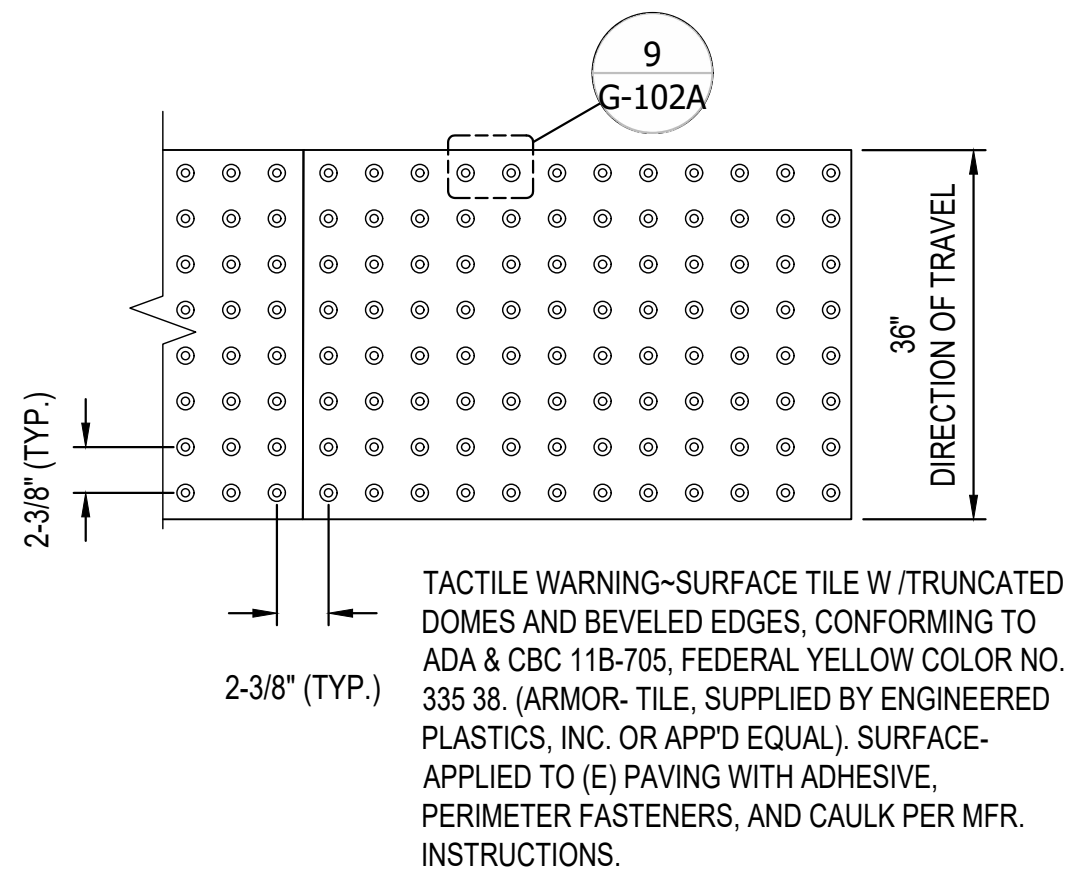
G-104A



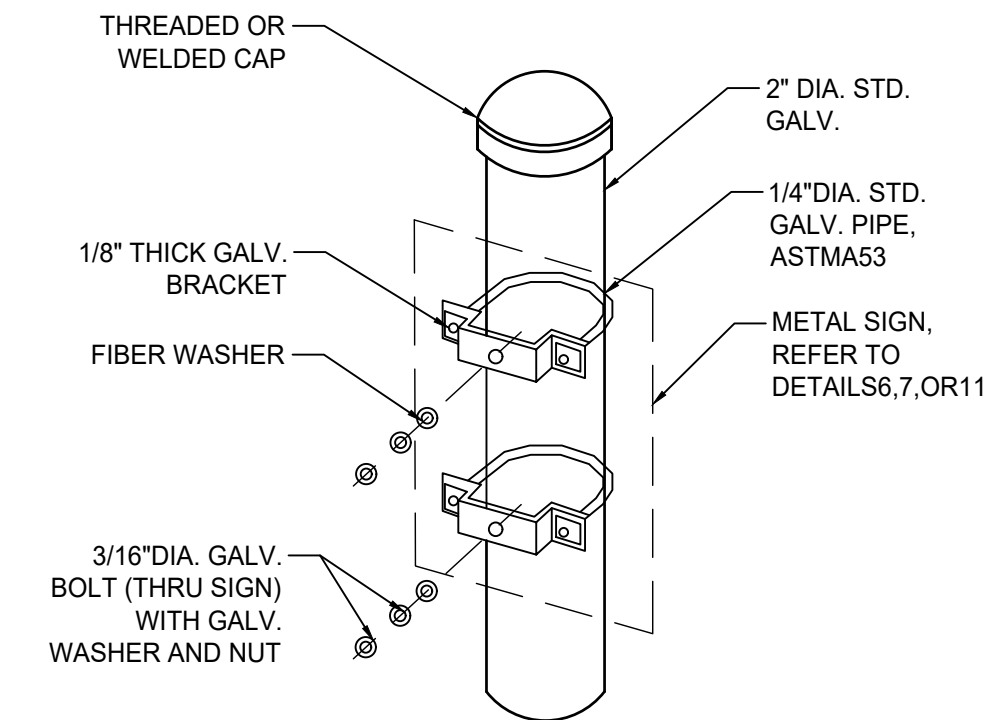
- | EV READY STALLS | | | | |
|--|---------------------|-------------------|-------|------------------------|
| PARKING LOT -
"M" EV READY | UNSHADED
PARKING | SHADED
PARKING | TOTAL | SHADED
PARKING
% |
| STANDARD EV
READY STALLS | 15 | 29 | 44 | 66% |
| ACCESSIBLE
REGULAR EV
READY STALLS | 0 | 2 | 2 | 100% |
| ACCESSIBLE VAN
EV READY
STALLS | 0 | 2 | 2 | 100% |
| TOTAL EV READY
STALLS | 15 | 33 | 48 | 69% |

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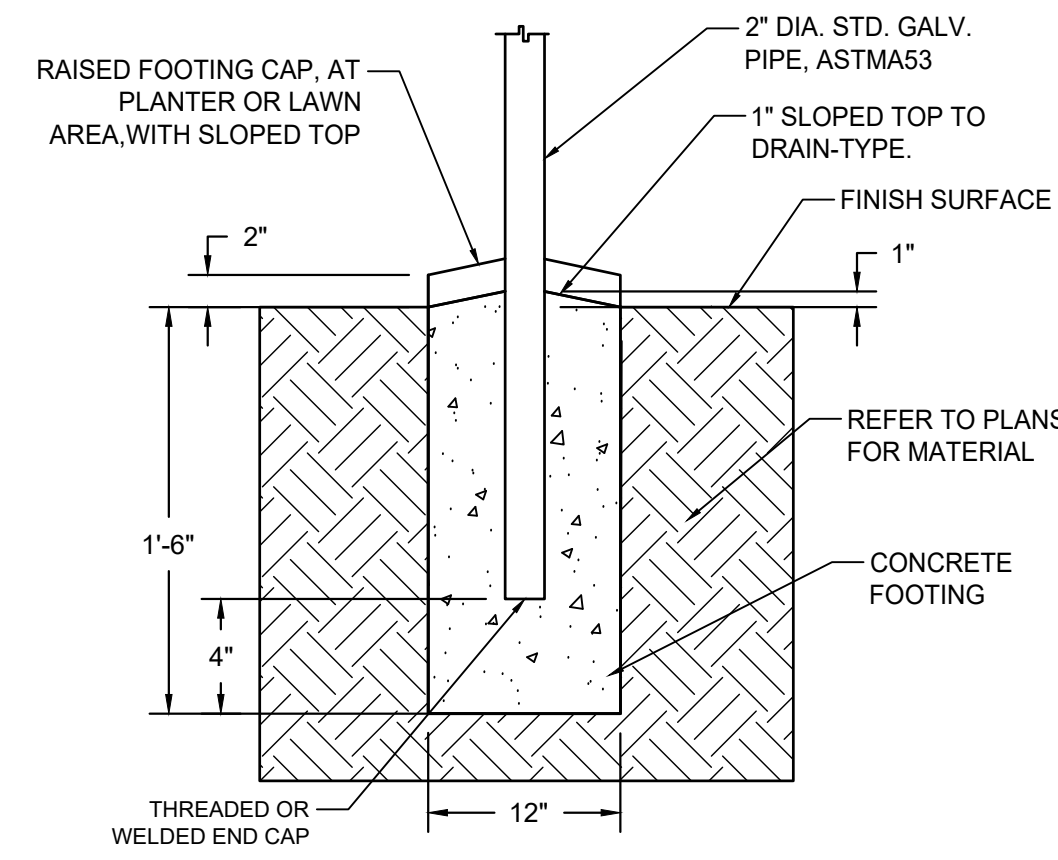
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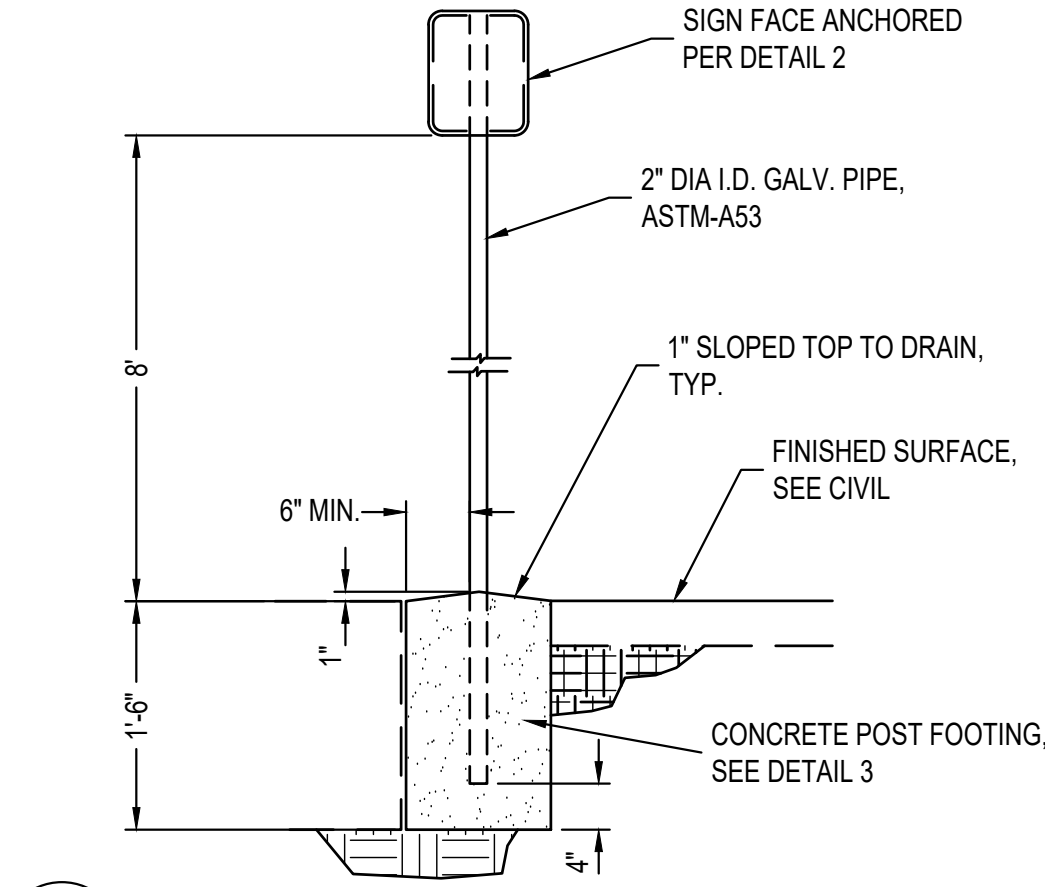
1 DETECTABLE WARNING
G-106A NTS



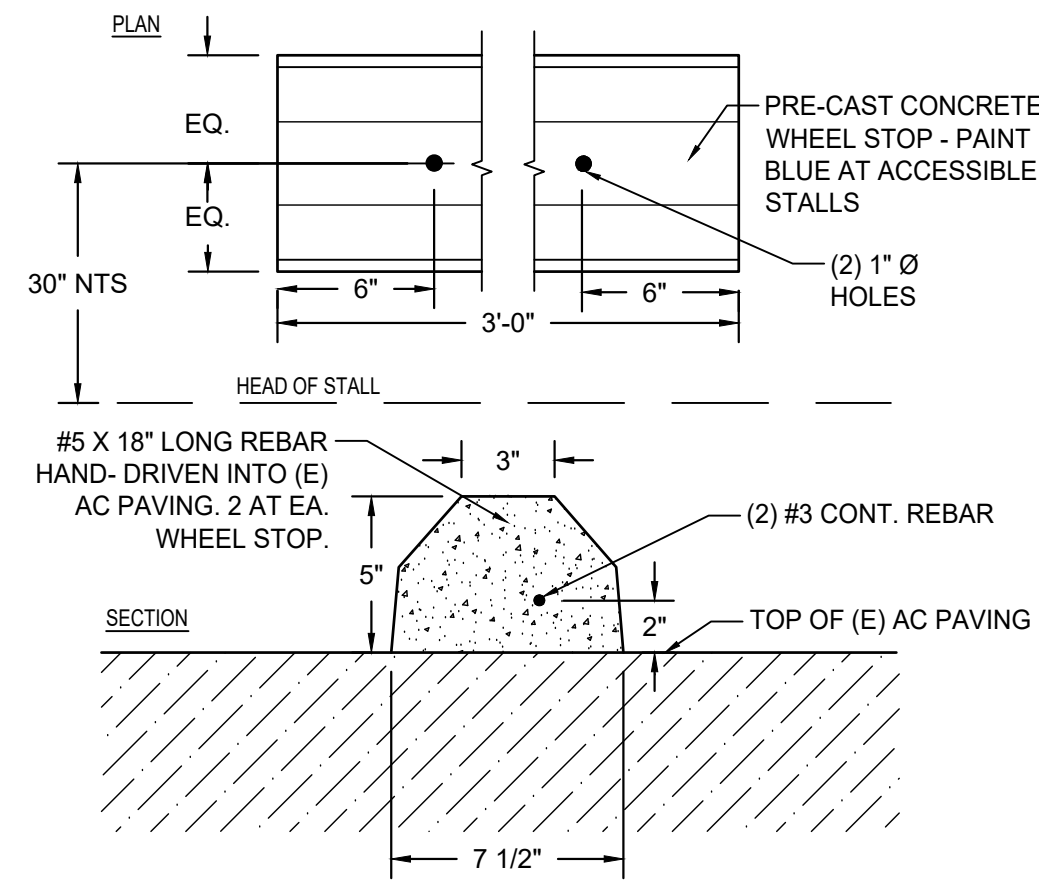
2 SIGN FACE ANCHORING
G-106A NTS



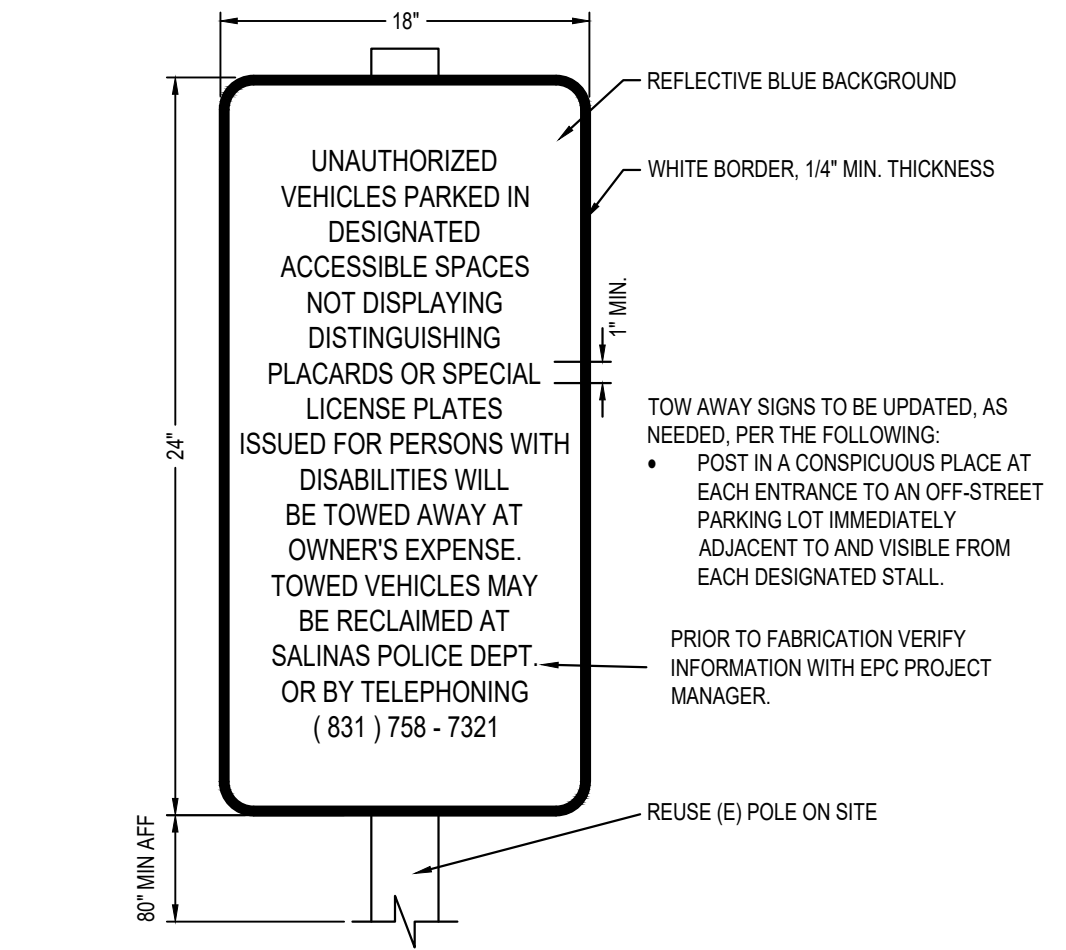
3 SIGN POLE BASE
G-106A NTS



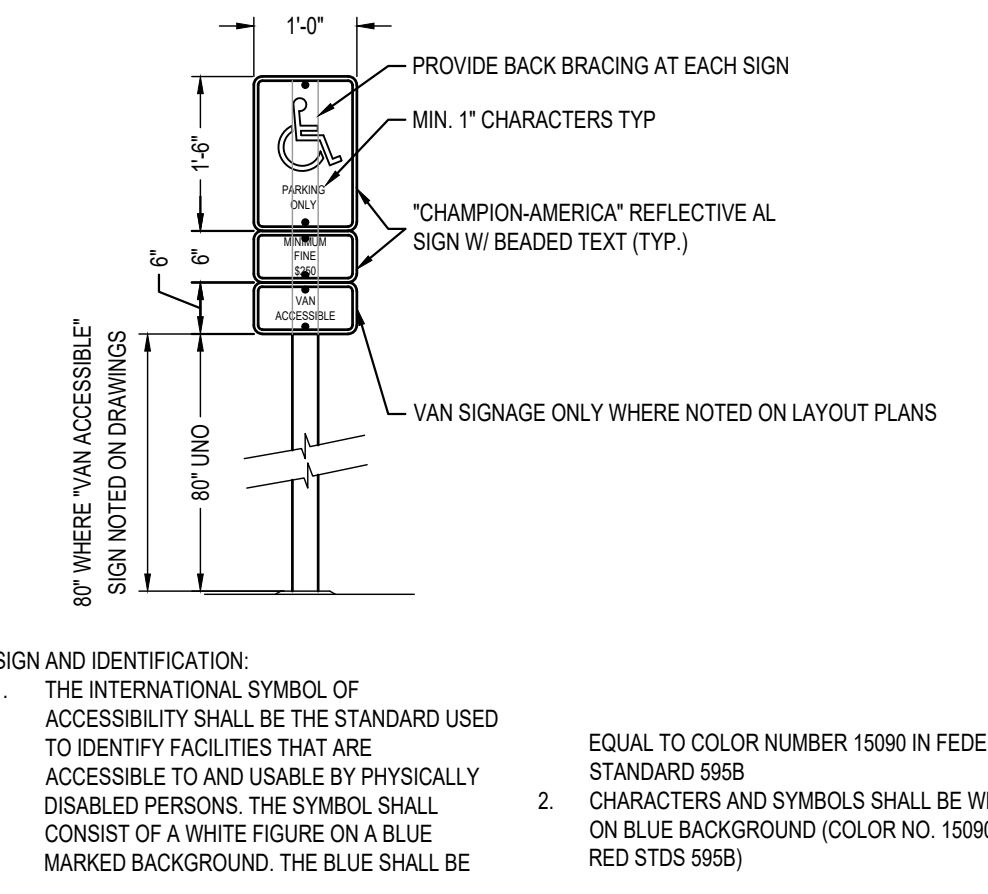
4 TYPICAL SIGN POLE MOUNT
G-106A NTS



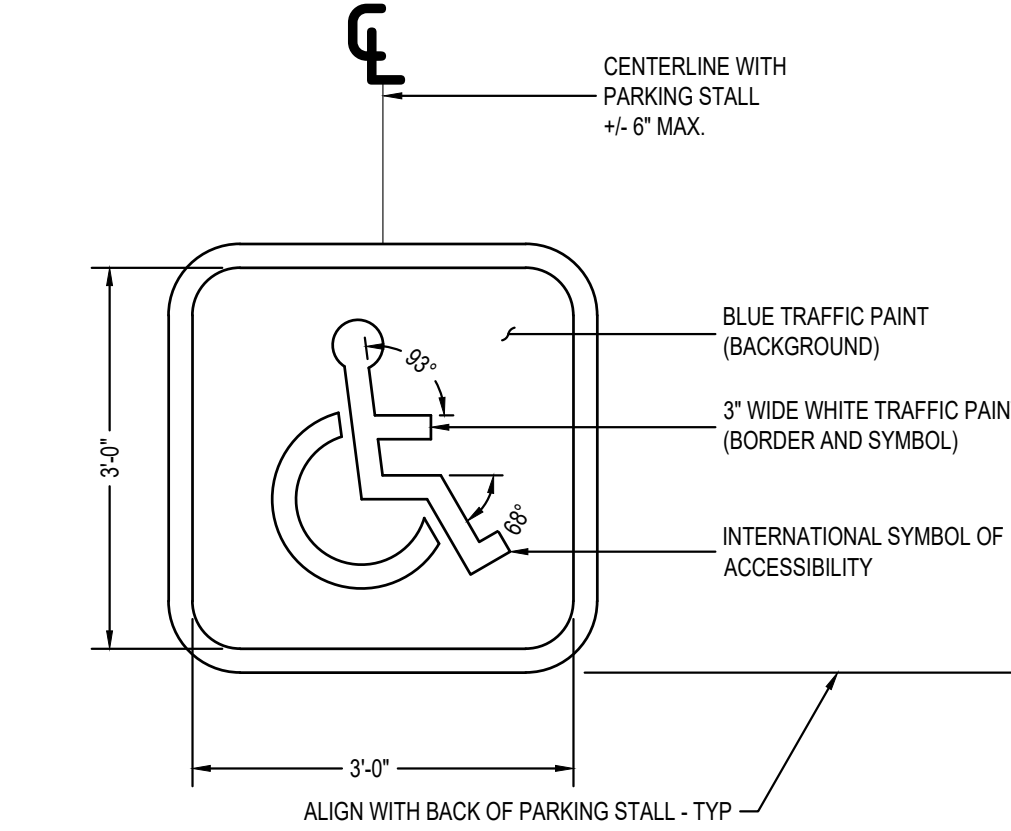
5 PRECAST CONCRETE WHEEL STOP
G-106A NTS



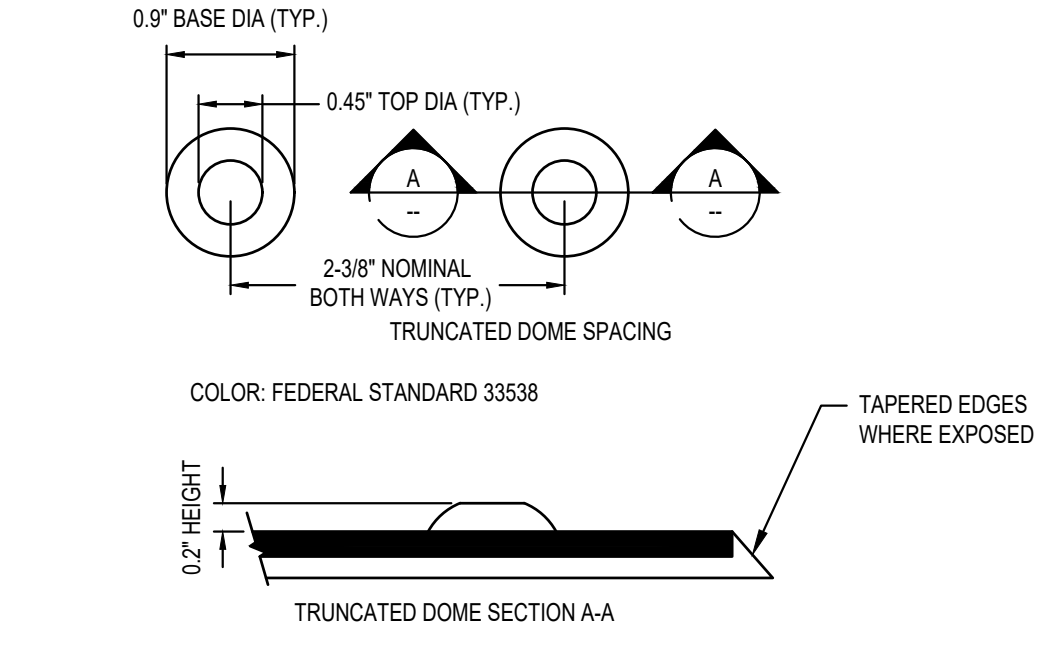
6 ACCESSIBLE SIGNAGE TOWAWAY
G-106A LOCATE AT OFF-STREET PARKING LOT ENTRANCES



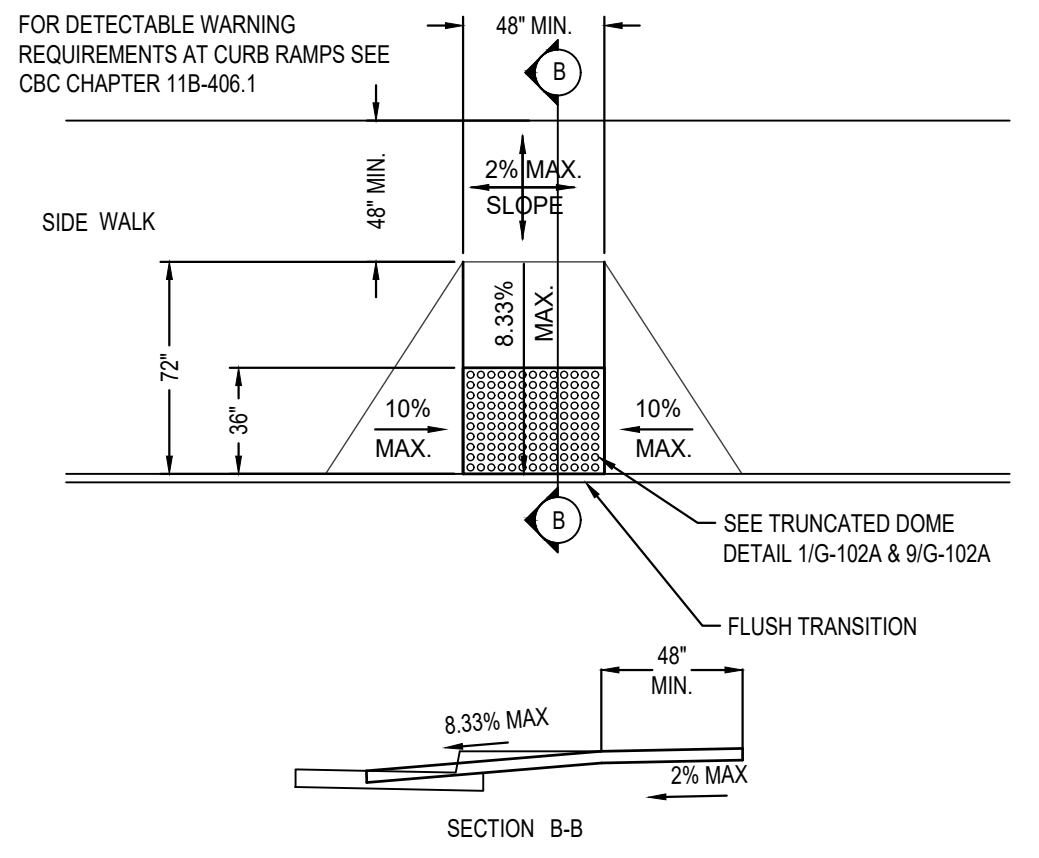
7 ACCESSIBLE PARKING SIGNS
G-106A NTS



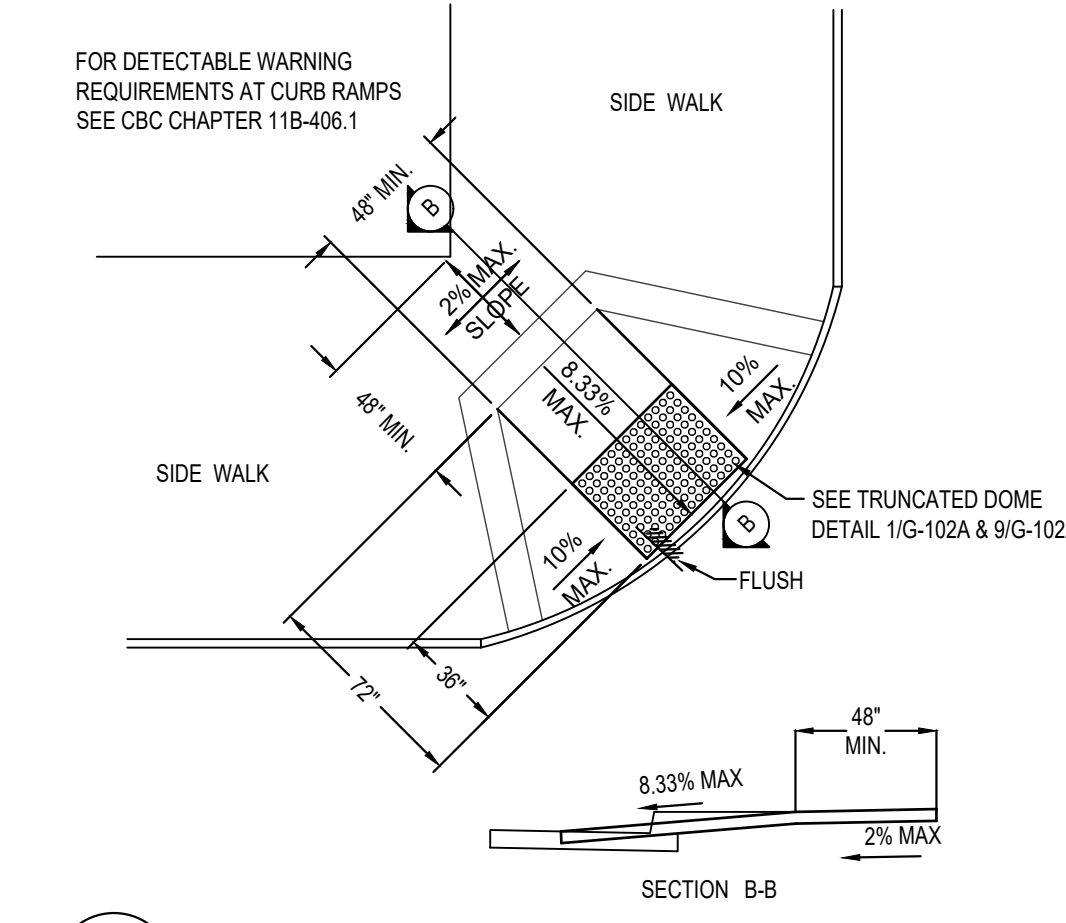
8 SYMBOL ACCESSIBLTY
G-106A NTS



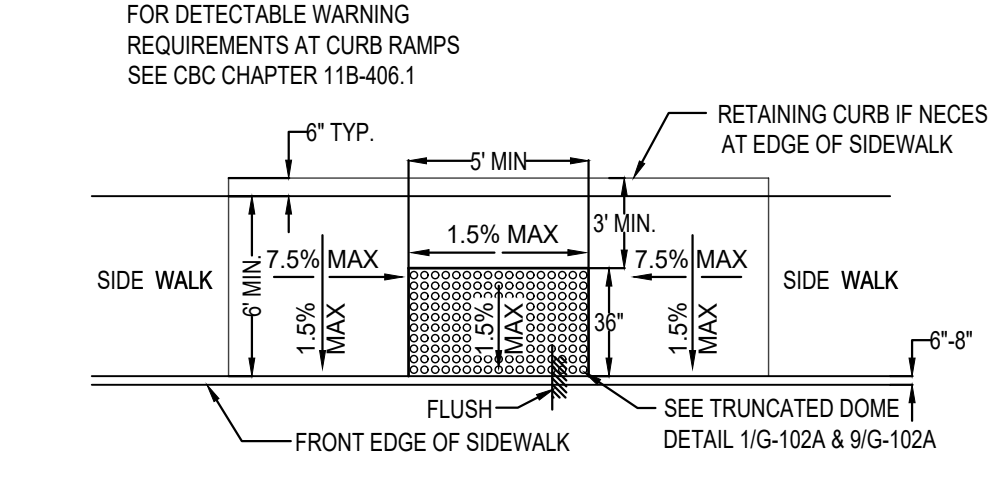
9 ACCESSIBLE WALKWAY TACTILE WARNING DETAILS
G-106A NTS



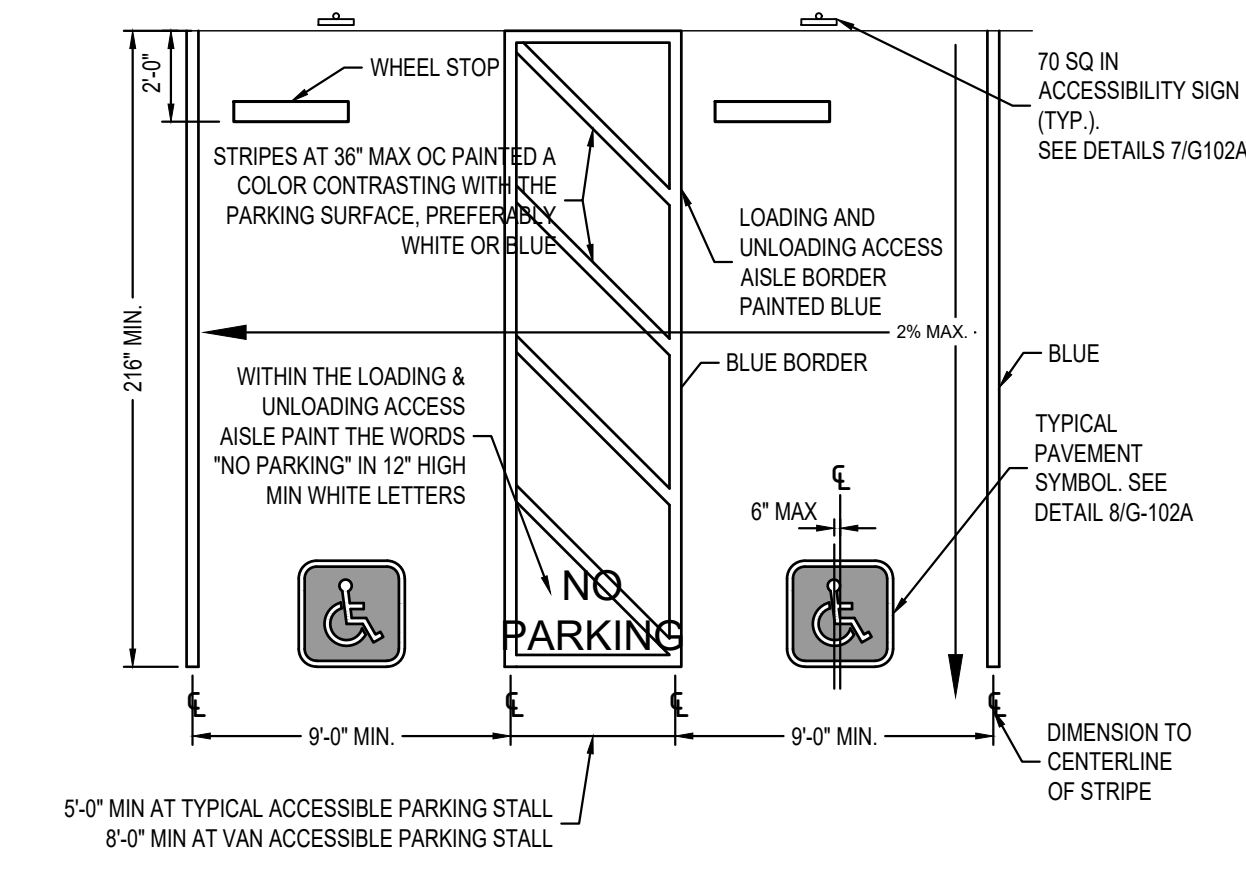
10 ACCESSIBLE CURB
G-106A ACCESSIBLE RAMP



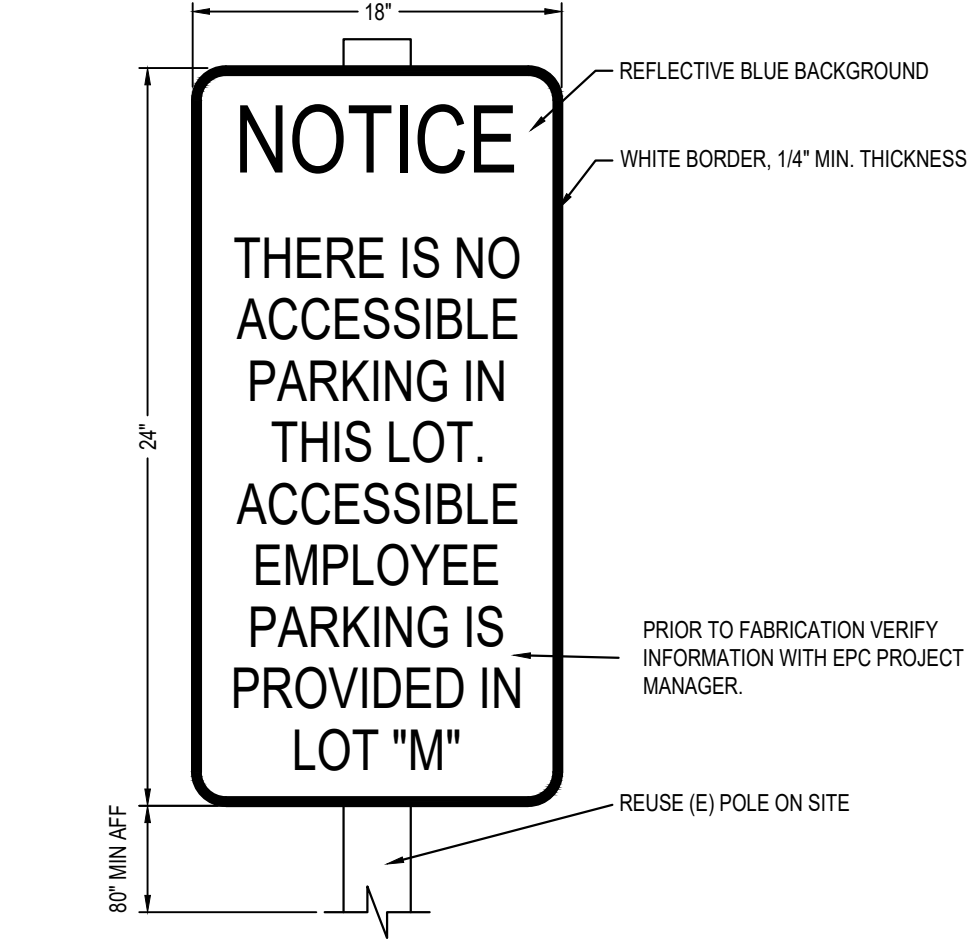
11 ACCESSIBLE CURB-90
G-106A ACCESSIBLE RAMP



12 ACCESSIBLE CURB - C TYPE
G-106A



13 ACCESSIBLE DOUBLE PARKING STALL
G-106A NTS



14 ACCESSIBLE SIGNAGE
G-106A

CLIENT



PROJECT LOCATION

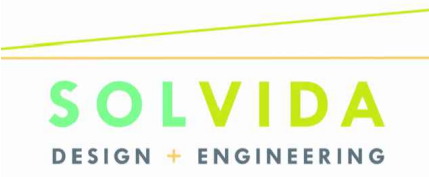
NATIVIDAD MEDICAL
CENTER
1441 CONSTITUTION BOULEVARD,
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER

OPTERRA
ENERGY SERVICES
OPTERRA ENERGY SERVICES
500 12TH STREET, SUITE 300
OAKLAND, CA 94607

CONSULTANT



1400 Shattuck Avenue, Suite 3
Berkeley, California 94709

ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

MARK	DATE	DESCRIPTION
0	06-06-25	ISSUE FOR PERMIT

DESIGNER PROJECT NO.: 230-3
DRAWN BY: GB
CHECKED BY: BL
SCALE:

KEY PLAN

SHEET TITLE

ACCESSIBILITY
DETAILS

SHEET NUMBER

G-106A