

Change Order No. 01

Contract Title: Energy Services Contract	Contract Number: R3652
Contract Effective Date: December 3, 2024	Change Order Effective Date: July 29, 2025

Customer Name	County of Monterey
Address:	168 W. Alisal Street, Salinas, CA 93901
Contact:	Cora Panturad
Job Location:	1441 Constitution Boulevard, Salinas, CA 93906

Reason for/Description of Change Order:	<p>Whereas, on June 13, 2025, ENGIE Services U.S. Inc. changed its name to OPTERRA Energy Services, LLC. ("OPTERRA").</p> <p>The following changes shall be made to the Scope of Work:</p> <p>Item 1: ADA Parking Upgrades</p> <p>OPTERRA shall update the Scope of Work to include the following ADA upgrades at Natividad Medical Center:</p> <ul style="list-style-type: none"> • OPTERRA shall provide the following quantity of parking stalls per parking lot: <ul style="list-style-type: none"> ○ Parking Lot A <ul style="list-style-type: none"> ▪ One (1) van accessible ADA parking stall ▪ Two (2) standard accessible ADA parking stalls ○ Parking Lot C <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ Fourteen (14) standard accessible ADA parking stalls ○ Parking Lot D <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ Fourteen (14) standard accessible ADA parking stalls ▪ Two (2) van accessible ADA EV charging stalls ▪ Two (2) standard accessible ADA EV charging stalls ○ Parking Lot F2/I <ul style="list-style-type: none"> ▪ Three (3) van accessible ADA parking stalls ▪ Seven (7) standard accessible ADA parking stalls ▪ One (1) van accessible ADA EV charging stall ▪ One (1) standard accessible ADA EV charging stall ○ Parking Lot M <ul style="list-style-type: none"> ▪ Two (2) van accessible ADA parking stalls ▪ One (1) standard accessible ADA parking stall • The ADA Scope of Work shall be completed as shown on Accessibility Sheets G-100A, G-101A, G-102A, G-103A, G-104A, G-105A, and G-106A of the Issue For Permit drawing package dated June 6, 2025, including but not limited to striping and signage, wheel stops, truncated domes, grading, and asphalt/concrete work where necessary to achieve permit closeout. • Any ADA upgrades to parking stalls or paths of travel within Parking Lot K or Parking Lot N, and any additional ADA upgrades to paths of travel outside of any parking lots at the Natividad Medical Center campus except as explicitly shown within the Accessibility Plans of the drawing sheets listed above is excluded from the Scope of Work. <p>Item 2: Increased Foundation Depths</p>
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OPTERRA shall increase the depth of the solar canopy foundations and ground mount array piles at Natividad Medical Center according to the depths as shown in the Pier Depth tables on Sheets S3.0, S3.1, S3.2, S3.3, S3.4, S3.5, S3.6, and S5.0 in the Issue For Permit drawing package dated June 6, 2025.

All canopy array pier depths have been calculated by the Structural Engineer of Record based on the findings of the Geotechnical Engineering/Geologic Hazards Investigation report dated April 28, 2025, created by Krajan & Associates. The maximum depth of the piers for the solar canopy arrays shall be increased from thirteen feet (13') to sixteen feet (16'). The total linear footage of increased canopy array pier depth is 156 feet across fifty-two (52) columns among nine (9) canopy arrays.

Additionally, OPTERRA shall increase the depth of the piles on the ground mount arrays by a total of 268 feet across sixty-seven (67) piles.

County Contingency Budget

The County shall hold an additional construction contingency budget in the amount of \$357,000 (Three Hundred Fifty-Seven Thousand Dollars) to cover unforeseen conditions encountered in the construction of the Project. OPTERRA acknowledges and agrees that no additional Change Orders shall be requested from the County or granted to OPTERRA in excess of this County-held contingency amount to complete the Scope of Work; provided however, that this agreement and the monetary cap are not applicable to changes to the Project requested by the County or their consultants.

Schedule of Values		
Item 1	ADA Parking Upgrades	\$1,107,118.00
Item 2	Increased Foundation Depths	\$46,643.00
	Total	\$1,153,761.00

Original Contract Amount:	\$ 18,134,700.00
Prior Approved Change Order(s) Will Add/(Deduct)	\$ 00.00
This Change Order Will Add (Deduct):	\$ +1,153,761.00
Revised Contract Amount (includes sales tax):	\$ 19,288,461.00

Days added to Project Schedule	0 days
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The parties may execute this Change Order in counterparts, each of which constitutes an original, and all of which, collectively, constitute only one change order. The signatures of each of the parties need not appear on the same counterpart, and in the event that any signature is delivered by facsimile transmission or by e-mail delivery of a ".pdf" format data file, such signature shall create a valid and binding obligation of the party executing (or on whose behalf such signature is executed) with the same force and effect as if such facsimile or ".pdf" signature page were an original thereof.

COUNTY OF MONTEREY

OPTERRA ENERGY SERVICES, LLC

By: _____
Print _____
Name: _____
Title: _____

By: _____
Print _____
Name: _____
Title: _____

RETURN SIGNED DOCUMENT TO: OPTERRA Energy Services LLC, 500 Twelfth Street, Suite 300, Oakland, CA 94607, Attn.:
Contract Administrator



CLIENT

PROJECT LOCATION

NATIVIDAD MEDICAL CENTER

1441 CONSTITUTION BOULEVARD,
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

The logo for Opterra Energy Services. It features a circular graphic on the left composed of a dark blue outer ring and a yellow inner ring with radiating lines. To the right of the graphic, the word "OPTERRA" is written in a large, bold, dark blue sans-serif font. Below "OPTERRA", the words "ENERGY SERVICES" are written in a smaller, dark blue sans-serif font.

OPTERRA ENERGY SERVICES
500 12TH STREET, SUITE 300
OAKLAND, CA 94607

CONSULTANT



SOLVIDA

DESIGN + ENGINEERING

ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

MARK	DATE	DESCRIPTION
0	06-06-25	ISSUE FOR PERMIT

DESIGNER PROJECT NO. : 230

DRAWN BY:

CHECKED BY:

SCALE:

KEY PLAN

SHEET TITLE

ACCESSIBILITY PLAN

SHEET NUMBER

G-104A



CLIENT

PROJECT LOCATION

ACTIVIDAD MEDICAL

ENTER
41 CONSTITUTION BOULEVARD,
ALINAS, CA 93906

N: # 003-851-041-000, 003-851-039-000



OPTERRA ENERGY SERVICES
100 12TH STREET, SUITE 300
OAKLAND, CA 94607

CONSULT



ENGINEERING APPROVAL

AGENCY APPROVAL

SUE		
WORK	DATE	DESCRIPTION
	06-06-25	ISSUE FOR PERMIT

DESIGNER PROJECT NO. : 23

DRAWN BY:

CHECKED BY:

SALE:

KEY PLAN

HEFT TITLE

ACCESSIBILITY DETAILS

HEET NUMBER

G-106A