

County of Monterey

Government Center - Board Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901



Meeting Agenda - Final

Wednesday, January 29, 2025

9:00 AM

Para interpretación en español, haga clic aquí:

<https://attend.wordly.ai/join/THCT-8529>

Monterey County Planning Commission

The Planning Commission is pleased to announce a six-month Pilot Program for Interpretation Services, commencing in December 2024. This initiative aims to enhance accessibility and participation in our meetings.

To utilize interpretation services during the Planning Commission meetings, please access the meeting via the below link or use the QR Code on our website. Once logged in, select your preferred language and click on ‘Attend’ to join.

Thank you for your cooperation and we look forward to your participation.

La Comisión de Planificación se complace en anunciar un Programa Piloto de Servicios de Interpretación de seis meses de duración, que comenzará en diciembre de 2024. Esta iniciativa tiene como objetivo mejorar la accesibilidad y la participación en nuestras reuniones.

Para utilizar los servicios de interpretación durante las reuniones de la Comisión de Planificación, acceda a la reunión a través del siguiente enlace o utilice el código QR en nuestro sitio web. Una vez que haya iniciado sesión, seleccione su idioma preferido y haga clic en "Asistir" para unirse.

Gracias por su colaboración y esperamos contar con su participación.

<https://attend.wordly.ai/join/THCT-8529>

For optimal audio quality, please use a headset with your device. If you require assistance or do not have a device, reach out to the Clerk of the Planning Commission for support.

Para una calidad de audio óptima, utilice auriculares con su dispositivo. Si necesita ayuda o no tiene un dispositivo, comuníquese con el secretario(a) de la Comisión de Planificación para obtener ayuda.

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Planning Commission alternative actions on any matter before it.

NOTE: All agenda titles related to numbered agenda items are live web links. Click on the title to be directed to the corresponding staff report and associated documents.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

You may participate through ZOOM. For ZOOM participation please join by computer audio at: <https://montereycty.zoom.us/j/95316276581>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Enter this Meeting ID number 953 1627 6581 when prompted.

PLEASE NOTE: IF ALL COMMISSIONERS ARE PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE CHAIRPERSON.

If you choose not to attend the Planning Commission meeting in person, but desire to make general public comment, or comment on a specific item on the agenda, you may do so in two ways:

- a. Submit your comment via email by 5:00 p.m. on the Tuesday prior to the Planning Commission meeting. Please submit your comment to the Clerk at phearingcomments@co.monterey.ca.us . In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Planning Commission Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.
- b. You may participate through ZOOM or telephonically. For ZOOM or telephonic participation please join by computer audio using the links above.

DOCUMENT DISTRIBUTION: Documents related to agenda items that are distributed to the Planning Commission less than 72 hours prior to the meeting shall be available for public inspection at the meeting the day of the Planning Commission meeting and in the Housing and Community

Development Office located at 1441 Schilling Place, 2nd Floor, Salinas California. Documents submitted in-person at the meeting, will be distributed to the Planning Commission. All documents submitted by the public at the meeting the day of the Planning Commission must have no less than sixteen (16) copies. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

INTERPRETATION SERVICE POLICY: The Monterey County Planning Commission invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the Monterey County Housing and Community Development Department by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas de la Comisión de Planificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en: <https://montereycty.zoom.us/j/95316276581>

O para participar por teléfono, llame a cualquiera de estos números a continuación:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Presione el código de acceso de reunión: 953 1627 6581 cuando se le solicite.

TENGA EN CUENTA: SI TODOS LOS COMISIONADOS ESTÁN PRESENTES EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES

REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL PRESIDENTE DE LA REUNIÓN.

Si decide no asistir a la reunión de la Comisión de Planificación en persona, pero desea hacer comentarios públicos generales o comentar sobre un tema específico de la agenda, puede hacerlo de dos maneras:

- a. Envíe su comentario por correo electrónico antes de las 5:00 p.m. del martes anterior a la reunión de la Comisión de Planificación. Por favor, envíe su comentario al asistente de la Comisión de Planificación a: phearingcomments@co.monterey.ca.us . En un esfuerzo por ayudar al asistente a identificar el tema de la agenda relacionado con su comentario público, indique en la Línea de Asunto, la audiencia de la reunión (ejemplo, la Junta de la Comisión de Planificación) y número de artículo (ejemplo, artículo n.º 10). Su comentario se incluirá en el registro de la reunión.
- b. Puede participar a través de ZOOM o telefónicamente. Pará ZOOM o participación telefónica, únase por audio de computadora utilizando los enlaces anteriores.

DISTRIBUCIÓN DE DOCUMENTOS: Los documentos relacionados con los temas de la agenda que se distribuyan a la Comisión de Planificación menos de 72 horas antes de la reunión estarán disponibles para inspección pública en la reunión el día de la reunión de la Comisión de Planificación y en la Oficina de Vivienda y Desarrollo Comunitario ubicada en 1441 Schilling Place, 2nd Floor, Salinas California. Los documentos presentados en persona en la reunión se distribuirán a la Comisión de Planificación. Todos los documentos presentados por el público en la reunión del día de la Comisión de Planificación deben tener no menos de dieciséis (16) copias. Las observaciones recibidas después del tema del programa pasarán a formar parte del acta si se reciben antes de que finalice la sesión.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

POLÍZA DE SERVICIO DE INTERPRETACIÓN: Los miembros de la Comisión de Planificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo

piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y no más de lo mínimo de 24 horas de anticipo para cualquier reunión.

NOTA: Todos los títulos de la agenda relacionados con los puntos numerados de la agenda son enlaces web en vivo. Haga clic en el título para dirigirse al informe del personal correspondiente y los documentos asociados.

COMENTARIO PÚBLICO: Los miembros del público pueden dirigir comentarios a la Comisión de Planificación sobre cada punto del orden del día. El momento de los comentarios públicos será a discreción del presidente.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:00 A.M. - CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Christine Shaw
Paul C. Getzelman
Ben Work
Ernesto G. Gonzalez
Francisco Javier Mendoza
Martha Diehl
Etna Monsalve
Jessica Hartzell
Ramon Gomez
Amy Roberts

PUBLIC COMMENTS

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Commission Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Planning Commission as provided in Sections 54954.2 of the California Government Code.

COMMISSIONER COMMENTS AND REQUESTS

This is a time set aside for the Commissioners to comment, request, or refer a matter that is on or not on the agenda.

9:00 A.M. – SCHEDULED MATTERS

1. COUNTY OF MONTEREY PLANNING COMMISSION NOMINATION COMMITTEE

Attachments: [Staff Report](#)

2. APPOINT A MEMBER OF THE PLANNING COMMISSION TO THE BIG SUR LAND USE PLAN AD HOC

Attachments: [Staff Report](#)

3. PLN190439 - YAN SHI & SUN YING

Public hearing to consider the construction of a 4,601 square foot single-family dwelling inclusive of a basement level three-car garage, a covered front porch and removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

Project Location: 1187 Lookout Road, Pebble Beach, Greater Monterey Peninsula Area Plan

Proposed CEQA action: Find the project Categorical Exempt per Section 15303 of the CEQA Guidelines

Attachments: [Staff Report](#)
 [Exhibit A - Project Data Sheet](#)
 [Exhibit B - Draft Resolution](#)
 [Exhibit C - Vicinity Map](#)
 [Exhibit D - Arborist Report \(LIB220243\)](#)
 [Exhibit E - Soils Report \(LIB220244\)](#)
 [Exhibit F - LUAC Minutes August 3, 2023](#)
 [Exhibit G - Public Comment](#)

REFERRALS**4. REFERRAL 24.1 - REBUILD STATUS FOR BURNED DOWN PROPERTY IN PAJARO**

- a. Consider receiving a status update regarding rebuild status of property in Pajaro just off the bridge along Porter Drive;
- b. Provide direction to staff.

Project Location: North County Inland Area (APN 117-332-003-000)

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

Attachments: [Staff Report](#)

5. REFERRAL 24.7 - PROCESS TO CONSIDER A MORATORIUM FOR NEW VISITOR SERVING UNITS IN THE BIG SUR COAST PLANNING AREA

- a. Consider receiving a report from staff regarding the process and findings necessary to consider a moratorium for new Visitor Serving Units in the Big Sur Coast Planning Area.
- b. Provide direction to staff.

Project Location: Big Sur Coast Land Use Plan

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

Attachments: [Staff Report](#)

DEPARTMENT REPORT**ADJOURNMENT**



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-005

January 29, 2025

Introduced: 1/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

COUNTY OF MONTEREY PLANNING COMMISSION NOMINATION COMMITTEE

Appointment by current Planning Commission Chair of a Nominating Committee for 2025 Chair and Vice Chair positions.



County of Monterey Planning Commission

Item No.1

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-005

January 29, 2025

Introduced: 1/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

COUNTY OF MONTEREY PLANNING COMMISSION NOMINATION COMMITTEE

Appointment by current Planning Commission Chair of a Nominating Committee for 2025 Chair and Vice Chair positions.



County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-008

January 29, 2025

Introduced: 1/21/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

**APPOINT A MEMBER OF THE PLANNING COMMISSION TO THE BIG SUR LAND
USE PLAN AD HOC**



County of Monterey Planning Commission

Item No.

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

January 29, 2025

Legistar File Number: PC 25-008

Introduced: 1/21/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

**APPOINT A MEMBER OF THE PLANNING COMMISSION TO THE BIG SUR LAND
USE PLAN AD HOC**



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-006

January 29, 2025

Introduced: 1/13/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN190439 - YAN SHI & SUN YING

Public hearing to consider the construction of a 4,601 square foot single-family dwelling inclusive of a basement level three-car garage, a covered front porch and removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

Project Location: 1187 Lookout Road, Pebble Beach, Greater Monterey Peninsula Area Plan

Proposed CEQA action: Find the project Categorically Exempt per Section 15303 of the CEQA Guidelines

RECOMMENDATIONS

Staff Recommends that the Planning Commission adopt a resolution that:

- 1) Finds that the single-family dwelling project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approves:
 - a. A Design Approval to allow construction of a 3,665 square foot one-story single family dwelling with an 80 square foot covered porch and an 856 square foot basement level three-car garage. Colors and materials consist of charcoal & tan blend shake cement tile roofing, cream cement plaster with beige, tan and brown stone accents for the exterior walls, dark bronze clad wood casement frame windows, off white wood door and window trim, and brown aluminum with obscure glass garage doors; and
 - b. A Use Permit for the removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 13 conditions of approval.

PROJECT INFORMATION

Property Owner: Peter Yan Shi & Sun Ying

Agent: Susan Bailey, Any Habitat

APN: 007-682-013-000

Parcel Size: 15,333 sq. ft.

Zoning: Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays or "MDR/B-6-D-RES"

Plan Area: Greater Monterey Peninsula Area Plan

Flagged and Staked: Yes

SUMMARY:

This project was originally scheduled for the November 13, 2024 Planning Commission hearing. It was the decision of the Commission to continue the hearing to January 29, 2025 to allow the applicant time to coordinate hearing attendance.

The project site is located approximately 2.5 miles west of Highway 68 and 1.0 mile east of 17 Mile Drive, within the inland portion of Pebble Beach. This lot was created as part of the Lookout Ridge subdivision. The vacant parcel is 0.35 acre in size that sits in and has a mixture of mature Monterey pine trees and Coast live oak trees. A small section of the Lookout Road right-of-way, between the northern property line and edge of road pavement, contains steeper slopes which level out at the property line. This condition was created when the cul-de-sac for Lookout Road was constructed. Slope conditions on the subject property are gradual and ascends from north to south and range from 5% to 20%.

The project consists of the construction of a one-story single family dwelling with a basement level 3-car garage. Site improvements include grading (970 cubic yards of cut and 70 cubic yards of fill); the removal of 15 trees (6 Coast live oaks and 9 Monterey pines ranging from 6 to 36 inches in diameter); and construction of a driveway, stepped entry path into the dwelling, a 6 foot tall rear perimeter fence and a short retaining wall (ranging in height from 2 to 6 feet) to create a flat 600 square foot patio area off the family room.

Although onsite improvements would not occur on steep slopes, offsite improvements to connect to the proposed driveway to existing roadway pavement would require development on slopes in excess of 25%. However, this area of development is below the 500 square foot threshold qualifying for a Use Permit exception pursuant to 2010 General Plan Policy OS-3.5.1.c.

The Greater Monterey Peninsula Land Use map (Figure LU5) illustrates that the subject property has a land use designation of "Residential 4 Units/Acre". Accordingly, the property has a base zone of Medium Density Residential (MDR), which allows development of single-family dwelling as an allowed use. However, the Design Control zoning overlay requires the granting of a Design Approval and a Use Permit is required for the removal of 15 protected trees.

DISCUSSION:

Staff reviewed the proposed siting and design of the dwelling and determined that the colors, materials, and design are consistent with the MDR development standards and the character of the surrounding neighborhood. Staff has evaluated the request for removal of trees and based on the site conditions and evidence from the arborist report (see **Exhibit D**), the required Use Permit findings to allow the proposed tree removal can be made in this case.

Siting and Design Review

Development of the property is subject to the development standards for the MDR zoning district in the Del Monte Forest area (Title 21 Section 21.12.070), setback requirements for the B-6 zoning overlay (Title 21 Section 21.42.030.F.2) and the setbacks delineated on the final map for the Lookout

Ridge subdivision. Title 21 Section 21.42.030.F.2 states that setbacks shall not be less than “B-4” regulations unless otherwise indicated on the final or parcel map. The subject property is shown as Lot 31 on the final map for the Lookout Ridge subdivision (recorded in Volume 11 of Cities and Towns, page 36) and as indicated, has a required front setback of 15 feet, a side setback of 10 feet, and a rear setback of 30 feet. The proposed dwelling is setback approximately 25 feet from the front, approximately 38 feet from the rear, and 12 feet (eastern) and 17 feet (western) from the sides. Maximum allowed structure height is 27 feet and the proposed height for the single-family dwelling is 23 feet from average natural grade. The allowed maximum site coverage and floor area ratio in the MDR district is 35 percent for lots with a density of more than 2 units acre. The property is 15,146 square feet, which allows a site coverage and floor area ratio of up to 5,301 square feet. Consistent with this requirement, the proposed single-family dwelling, attached garage and covered entry would result in site coverage of 4,601 square feet or 30.37 percent. Therefore, as proposed, the project meets all required development standards.

The subject property is located along a cul-de-sac at the end of a residential street. Properties along the roadway slope downward on the northern side of the street while on the southern side, slope upward resulting in residences that appear low profile and tucked into the natural topography on the north side and residences that appear larger on the south side as the natural elevation is higher than the roadway. In this case, the applicant has attempted to control the bulk of the structure by placing the garage below the living area, giving it a single story profile from the street. The craftsman style architectural incorporates natural mixed materials while incorporating features of a modern design. The project includes installation of a 6 foot tall cedar rear perimeter fence and a cement plaster patio wall. Colors and materials comprised of a charcoal and tan blend shake cement tile roofing, cream cement plaster with earth toned accent stone at exterior walls, dark bronze clad wood casement frame windows with off white wood trim and brown aluminum with obscure glass inserts for the garage doors. Nearby residences include similar features such as the use of stucco, wood trim and stone elements. There is a general California ranch style architectural theme throughout the immediate neighborhood with one and two story residences.

The siting and design of proposed structure is consistent with the surrounding medium density residential neighborhood. In addition to the architectural design and colors and materials discussed above, the project includes a preliminary landscape plan illustrating planting of several of the required replacement trees between the structure and the roadway as well as shrubs and groundcover in the understory. Ornamental landscaping is limited to the area adjacent to the entry stairs. As such, the development will blend in with both the manmade and natural environment. Staff has determined that the proposed residence is compatible with the surrounding neighborhood character in terms of size, color, and location.

Tree Removal/Forest Management

The proposed project would include the removal of 15 trees (6 Coast live oaks ranging between 6 to 8 inch diameter and 9 Monterey pines ranging between 6 to 32 inch diameter), both of which are considered protected trees, as specified in Greater Monterey Peninsula Policy GMP- 3.5. A Tree Assessment/Forest Management Plan report, dated October 1, 2020, (**Exhibit D**) was submitted by Frank Ono, Urban Forester. Of the 15 trees proposed for removal, two are landmark trees [a 28-inch

diameter pine (tree number 155) located near the driveway/garage and a 32-inch diameter pine (tree number 162) located within the building footprint]. The remaining trees range in size from 6 to 23 inches in diameter.

Due to the dense forest conditions development without tree removal is not feasible. Pursuant to Title 21 Section 21.64.260, the following findings must be made to grant the tree removal: 1) removal will not involve a risk of significant adverse environmental impacts such as soil erosion, water quality degradation, ecological impacts upon existing biological or ecological systems, noise pollution, and movement or significant reduction of available wildlife habitat; and 2) removal is the minimum required under the circumstances of the case.

Impacts: Removal of trees will not involve a risk of adverse environmental impacts in this case. The Ono report describes the conditions of the trees at the site and how it relates to the surrounding environment. The site is heavily forested with an understory of Coast live oaks and mature pines in their later stages of life. No significant long-term impacts to the surrounding forest ecosystem are anticipated due to the large number of trees that are senescent and in poor condition, combined with the relatively small amount of area that will be occupied by the proposed residence and driveway. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long-term. As recommended, best management practices would be implemented through construction in order to maintain the health of the remaining protected trees. The removal and replacement (see discussion below) of the large over mature trees will have a beneficial effect on the forest as a whole. The report concludes that removal of trees at the site will not result in adverse effects provided best management practices are incorporated. Staff has reviewed the report and agrees with its conclusions.

Minimum Required: In this case, the lot is .35 acres in size and zoned for residential development. The lot supports a dense stand of trees and development anywhere on the parcel would require removal of trees. Siting of the single-family dwelling is located near the center of the lot meeting setback and development standards for the zoning district. The house is of a size and design that fits the lot and is typical for the area. Attempts have been made to preserve trees around the perimeter of the proposed home with focus on trees that are in good to fair condition. For these reasons, staff supports the determination that the project includes removal of the minimum number of trees under the circumstances of this case.

Tree Protection/Replacement

Pursuant to the requirements of the Title 21 Section 21.64.260, all non-landmark oak trees removed as a result of the project shall be replaced at a 1:1 ratio. Although the site is heavily forested, the project arborist recommended that there is sufficient room to replant nine (9) Monterey pine and six (6) Coast live oak trees for a total of 15 trees. New plantings should be five-gallon stock or larger, if available. Spacing between trees should be at least 8 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. The project has been conditioned accordingly.

In addition, surrounding trees located close to the construction site will be protected from construction equipment by fencing off the canopy driplines and/or critical root zones with protective materials

(Condition No. 8).

Fire Prevention

In addition to any pruning for construction or aesthetics, California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. Pebble Beach Community Service District has reviewed the project without imposing any additional conditions of approval on top of these state requirements. Fuel Management was addressed within the Ono report (**Exhibit D**).

Public Comment

Staff received a correspondence dated August 3, 2023 (**Exhibit G**) by a neighboring property owner expressing concerns for incorrect staking and flagging as well as "on-site" parking for the construction vehicles and crews. Staff conducted a site inspection on July 18, 2023 and observed the project's staking and flagging and found the placement consistent with the proposed plans. A non-standard condition requiring submittal and approval of a Construction Management Plan has been incorporated that includes specific measures relative to preventing obstruction of vehicular and pedestrian access.

CEQA

California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including structures accessory to a single-family dwelling or residential use. The project involves the construction of a single-family dwelling and removal of 15 pine and oak trees. Therefore, the proposed development is consistent with the parameters of this Class 3 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Planning
- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Pebble Beach Community Service District

LAND USE ADVISORY COMMITTEE

The proposed project was reviewed by the Del Monte Land Use Advisory Committee (LUAC) on August 3, 2023 (see **Exhibit F**). The LUAC members recommended denial of the project by a vote of 3-1 with 3 absent members based on the lack of attendance from the applicant, owner or representative. However, the LUAC recommended the public comment received (see discussion above) be addressed and issues be resolved.

Prepared by: Marlene Garcia, Assistant Planner, x5114
Reviewed by: Anna Ginette Quenga, AICP, Principal Planner
Approved by: Melanie Beretti, AICP, HCD Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

Exhibit D - Arborist Report (LIB220243)

Exhibit E - Soils Report (LIB220244)

Exhibit F - LUAC Minutes August 3, 2023

Exhibit G - Public Comment

cc: Front Counter Copy; Planning Commission; Pebble Beach Community Service District; Environmental Health Bureau; HCD-Engineering Services Works; HCD-Environmental Services; Anna Ginette Quenga, AICP, Principal Planner; Marlene Garcia, Project Planner; Susan Bailey, Agent; Peter Yan Shi & Sun Ying, Owner; Laborers International Union of North America (Lozeau Drury LLP); The Open Monterey Project (Molly Erickson); LandWatch; Planning File PLN190439.



County of Monterey Planning Commission

Item No.3

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No.3

Legistar File Number: PC 25-006

January 29, 2025

Introduced: 1/13/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN190439 - YAN SHI & SUN YING

Public hearing to consider the construction of a 4,601 square foot single-family dwelling inclusive of a basement level three-car garage, a covered front porch and removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

Project Location: 1187 Lookout Road, Pebble Beach, Greater Monterey Peninsula Area Plan

Proposed CEQA action: Find the project Categorical Exempt per Section 15303 of the CEQA Guidelines

RECOMMENDATIONS

Staff Recommends that the Planning Commission adopt a resolution that:

- 1) Finds that the single-family dwelling project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approves:
 - a. A Design Approval to allow construction of a 3,665 square foot one-story single family dwelling with an 80 square foot covered porch and an 856 square foot basement level three-car garage. Colors and materials consist of charcoal & tan blend shake cement tile roofing, cream cement plaster with beige, tan and brown stone accents for the exterior walls, dark bronze clad wood casement frame windows, off white wood door and window trim, and brown aluminum with obscure glass garage doors; and
 - b. A Use Permit for the removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 13 conditions of approval.

PROJECT INFORMATION

Property Owner: Peter Yan Shi & Sun Ying

Agent: Susan Bailey, Any Habitat

APN: 007-682-013-000

Parcel Size: 15,333 sq. ft.

Zoning: Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays or "MDR/B-6-D-RES"

Plan Area: Greater Monterey Peninsula Area Plan

Flagged and Staked: Yes

SUMMARY:

This project was originally scheduled for the November 13, 2024 Planning Commission hearing. It was the decision of the Commission to continue the hearing to January 29, 2025 to allow the applicant time to coordinate hearing attendance.

The project site is located approximately 2.5 miles west of Highway 68 and 1.0 mile east of 17 Mile Drive, within the inland portion of Pebble Beach. This lot was created as part of the Lookout Ridge subdivision. The vacant parcel is 0.35 acre in size that sits in and has a mixture of mature Monterey pine trees and Coast live oak trees. A small section of the Lookout Road right-of-way, between the northern property line and edge of road pavement, contains steeper slopes which level out at the property line. This condition was created when the cul-de-sac for Lookout Road was constructed. Slope conditions on the subject property are gradual and ascends from north to south and range from 5% to 20%.

The project consists of the construction of a one-story single family dwelling with a basement level 3-car garage. Site improvements include grading (970 cubic yards of cut and 70 cubic yards of fill); the removal of 15 trees (6 Coast live oaks and 9 Monterey pines ranging from 6 to 36 inches in diameter); and construction of a driveway, stepped entry path into the dwelling, a 6 foot tall rear perimeter fence and a short retaining wall (ranging in height from 2 to 6 feet) to create a flat 600 square foot patio area off the family room.

Although onsite improvements would not occur on steep slopes, offsite improvements to connect to the proposed driveway to existing roadway pavement would require development on slopes in excess of 25%. However, this area of development is below the 500 square foot threshold qualifying for a Use Permit exception pursuant to 2010 General Plan Policy OS-3.5.1.c.

The Greater Monterey Peninsula Land Use map (Figure LU5) illustrates that the subject property has a land use designation of "Residential 4 Units/Acre". Accordingly, the property has a base zone of Medium Density Residential (MDR), which allows development of single-family dwelling as an allowed use. However, the Design Control zoning overlay requires the granting of a Design Approval and a Use Permit is required for the removal of 15 protected trees.

DISCUSSION:

Staff reviewed the proposed siting and design of the dwelling and determined that the colors, materials, and design are consistent with the MDR development standards and the character of the surrounding neighborhood. Staff has evaluated the request for removal of trees and based on the site conditions and evidence from the arborist report (see **Exhibit D**), the required Use Permit findings to allow the proposed tree removal can be made in this case.

Siting and Design Review

Development of the property is subject to the development standards for the MDR zoning district in the Del Monte Forest area (Title 21 Section 21.12.070), setback requirements for the B-6 zoning overlay (Title 21 Section 21.42.030.F.2) and the setbacks delineated on the final map for the Lookout

Ridge subdivision. Title 21 Section 21.42.030.F.2 states that setbacks shall not be less than “B-4” regulations unless otherwise indicated on the final or parcel map. The subject property is shown as Lot 31 on the final map for the Lookout Ridge subdivision (recorded in Volume 11 of Cities and Towns, page 36) and as indicated, has a required front setback of 15 feet, a side setback of 10 feet, and a rear setback of 30 feet. The proposed dwelling is setback approximately 25 feet from the front, approximately 38 feet from the rear, and 12 feet (eastern) and 17 feet (western) from the sides. Maximum allowed structure height is 27 feet and the proposed height for the single-family dwelling is 23 feet from average natural grade. The allowed maximum site coverage and floor area ratio in the MDR district is 35 percent for lots with a density of more than 2 units acre. The property is 15,146 square feet, which allows a site coverage and floor area ratio of up to 5,301 square feet. Consistent with this requirement, the proposed single-family dwelling, attached garage and covered entry would result in site coverage of 4,601 square feet or 30.37 percent. Therefore, as proposed, the project meets all required development standards.

The subject property is located along a cul-de-sac at the end of a residential street. Properties along the roadway slope downward on the northern side of the street while on the southern side, slope upward resulting in residences that appear low profile and tucked into the natural topography on the north side and residences that appear larger on the south side as the natural elevation is higher than the roadway. In this case, the applicant has attempted to control the bulk of the structure by placing the garage below the living area, giving it a single story profile from the street. The craftsman style architectural incorporates natural mixed materials while incorporating features of a modern design. The project includes installation of a 6 foot tall cedar rear perimeter fence and a cement plaster patio wall. Colors and materials comprised of a charcoal and tan blend shake cement tile roofing, cream cement plaster with earth toned accent stone at exterior walls, dark bronze clad wood casement frame windows with off white wood trim and brown aluminum with obscure glass inserts for the garage doors. Nearby residences include similar features such as the use of stucco, wood trim and stone elements. There is a general California ranch style architectural theme throughout the immediate neighborhood with one and two story residences.

The siting and design of proposed structure is consistent with the surrounding medium density residential neighborhood. In addition to the architectural design and colors and materials discussed above, the project includes a preliminary landscape plan illustrating planting of several of the required replacement trees between the structure and the roadway as well as shrubs and groundcover in the understory. Ornamental landscaping is limited to the area adjacent to the entry stairs. As such, the development will blend in with both the manmade and natural environment. Staff has determined that the proposed residence is compatible with the surrounding neighborhood character in terms of size, color, and location.

Tree Removal/Forest Management

The proposed project would include the removal of 15 trees (6 Coast live oaks ranging between 6 to 8 inch diameter and 9 Monterey pines ranging between 6 to 32 inch diameter), both of which are considered protected trees, as specified in Greater Monterey Peninsula Policy GMP- 3.5. A Tree Assessment/Forest Management Plan report, dated October 1, 2020, (**Exhibit D**) was submitted by Frank Ono, Urban Forester. Of the 15 trees proposed for removal, two are landmark trees [a 28-inch

diameter pine (tree number 155) located near the driveway/garage and a 32-inch diameter pine (tree number 162) located within the building footprint]. The remaining trees range in size from 6 to 23 inches in diameter.

Due to the dense forest conditions development without tree removal is not feasible. Pursuant to Title 21 Section 21.64.260, the following findings must be made to grant the tree removal: 1) removal will not involve a risk of significant adverse environmental impacts such as soil erosion, water quality degradation, ecological impacts upon existing biological or ecological systems, noise pollution, and movement or significant reduction of available wildlife habitat; and 2) removal is the minimum required under the circumstances of the case.

Impacts: Removal of trees will not involve a risk of adverse environmental impacts in this case. The Ono report describes the conditions of the trees at the site and how it relates to the surrounding environment. The site is heavily forested with an understory of Coast live oaks and mature pines in their later stages of life. No significant long-term impacts to the surrounding forest ecosystem are anticipated due to the large number of trees that are senescent and in poor condition, combined with the relatively small amount of area that will be occupied by the proposed residence and driveway. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long-term. As recommended, best management practices would be implemented through construction in order to maintain the health of the remaining protected trees. The removal and replacement (see discussion below) of the large over mature trees will have a beneficial effect on the forest as a whole. The report concludes that removal of trees at the site will not result in adverse effects provided best management practices are incorporated. Staff has reviewed the report and agrees with its conclusions.

Minimum Required: In this case, the lot is .35 acres in size and zoned for residential development. The lot supports a dense stand of trees and development anywhere on the parcel would require removal of trees. Siting of the single-family dwelling is located near the center of the lot meeting setback and development standards for the zoning district. The house is of a size and design that fits the lot and is typical for the area. Attempts have been made to preserve trees around the perimeter of the proposed home with focus on trees that are in good to fair condition. For these reasons, staff supports the determination that the project includes removal of the minimum number of trees under the circumstances of this case.

Tree Protection/Replacement

Pursuant to the requirements of the Title 21 Section 21.64.260, all non-landmark oak trees removed as a result of the project shall be replaced at a 1:1 ratio. Although the site is heavily forested, the project arborist recommended that there is sufficient room to replant nine (9) Monterey pine and six (6) Coast live oak trees for a total of 15 trees. New plantings should be five-gallon stock or larger, if available. Spacing between trees should be at least 8 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. The project has been conditioned accordingly.

In addition, surrounding trees located close to the construction site will be protected from construction equipment by fencing off the canopy driplines and/or critical root zones with protective materials

(Condition No. 8).

Fire Prevention

In addition to any pruning for construction or aesthetics, California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. Pebble Beach Community Service District has reviewed the project without imposing any additional conditions of approval on top of these state requirements. Fuel Management was addressed within the Ono report (**Exhibit D**).

Public Comment

Staff received a correspondence dated August 3, 2023 (**Exhibit G**) by a neighboring property owner expressing concerns for incorrect staking and flagging as well as "on-site" parking for the construction vehicles and crews. Staff conducted a site inspection on July 18, 2023 and observed the project's staking and flagging and found the placement consistent with the proposed plans. A non-standard condition requiring submittal and approval of a Construction Management Plan has been incorporated that includes specific measures relative to preventing obstruction of vehicular and pedestrian access.

CEQA

California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including structures accessory to a single-family dwelling or residential use. The project involves the construction of a single-family dwelling and removal of 15 pine and oak trees. Therefore, the proposed development is consistent with the parameters of this Class 3 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Planning
- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Pebble Beach Community Service District

LAND USE ADVISORY COMMITTEE

The proposed project was reviewed by the Del Monte Land Use Advisory Committee (LUAC) on August 3, 2023 (see **Exhibit F**). The LUAC members recommended denial of the project by a vote of 3-1 with 3 absent members based on the lack of attendance from the applicant, owner or representative. However, the LUAC recommended the public comment received (see discussion above) be addressed and issues be resolved.

Prepared by: Marlene Garcia, Assistant Planner, x5114
Reviewed by: Anna Ginette Quenga, AICP, Principal Planner
Approved by: Melanie Beretti, AICP, HCD Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

Exhibit D - Arborist Report (LIB220243)

Exhibit E - Soils Report (LIB220244)

Exhibit F - LUAC Minutes August 3, 2023

Exhibit G - Public Comment

cc: Front Counter Copy; Planning Commission; Pebble Beach Community Service District; Environmental Health Bureau; HCD-Engineering Services Works; HCD-Environmental Services; Anna Ginette Quenga, AICP, Principal Planner; Marlene Garcia, Project Planner; Susan Bailey, Agent; Peter Yan Shi & Sun Ying, Owner; Laborers International Union of North America (Lozeau Drury LLP); The Open Monterey Project (Molly Erickson); LandWatch; Planning File PLN190439.

Exhibit A

This page intentionally left blank.

EXHIBIT A

Project Information for PLN190439

Application Name: Yan Shi & Sun Ying
Location: 1187 Lookout Rd, Pebble Beach
Applicable Plan: Greater Monterey Peninsula
Primary APN: 007-682-013-000
Advisory Committee: Del Monte Forest Advisory Committee
Coastal Zone: No
Permit Type: Use Permit
Final Action Deadline (884): 12/30/1899
Environmental Status: To Be Determined
Zoning: MDR/B-6-D-RES
Land Use Designation: RESIDENTIAL 4U/AC

Project Site Data:

Lot Size: 15333
Coverage Allowed: 5366
Existing Structures (sf): 0
Coverage Proposed: 4521
Proposed Structures (sf): 4521
Height Allowed: 27'
Total Sq. Ft.: 4521
Height Proposed:
Special Setbacks on Parcel: Y
FAR Allowed:
FAR Proposed: 4521

Resource Zones and Reports:

Seismic Hazard Zone: III
Soils Report #:
Erosion Hazard Zone: Moderate
Biological Report #:
Fire Hazard Zone: Very High
Forest Management Rpt. #:
Flood Hazard Zone: X (unshaded)
Geologic Report #:
Archaeological Sensitivity: moderate
Archaeological Report #:
Visual Sensitivity: None
Traffic Report #:
Historic Report #:

Other Information:

Water Source: public
Grading (cubic yds.):
Water Purveyor: Cal Am
Sewage Disposal (method): public
Fire District: Pebble Beach CSD
Sewer District Name: PBCSD
Tree Removal: 15/oaks & pines

This page intentionally left blank

Exhibit B

This page intentionally left blank.

DRAFT RESOLUTION

Before the Monterey County Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

YAN SHI & SUN(PLN190439)

RESOLUTION NO. 24 -

Resolution by the Monterey County Planning
Commission:

- 1) Finding that the single-family dwelling project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines; and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving:
 - a) A Design Approval to allow construction of a 3,665 square foot one-story single family dwelling with an 80 square foot covered porch and an 856 square foot basement level three-car garage. Colors and materials consist of charcoal & tan blend shake cement tile roofing, cream cement plaster with beige, tan and brown stone accents for the exterior walls, dark bronze clad wood casement frame windows, off white wood door and window trim, and brown aluminum with obscure glass garage doors; and
 - b) A Use Permit for the removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

[PLN190439, 1187 Lookout Road, Pebble Beach,
Greater Monterey Peninsula Area Plan (APN: 007-
682-013-000)]

The YAN SHI & SUN YING application (PLN190439) came on for public hearing before the Monterey County Planning Commission on November 13, 2024 and January 29, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;

- Greater Monterey Peninsula Area Plan;
- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The project consists of the construction of a one-story single family dwelling with a basement level 3-car garage. Site improvements include grading (970 cubic yards of cut and 70 cubic yards of fill); the removal of 15 trees (6 Coast live oaks ranging between 6 to 8 inch diameter and 9 Monterey pines ranging between 6 to 32 inch diameter); and construction of a driveway, stepped entry path into the dwelling, a 6 foot tall rear perimeter fence and a short retaining wall (ranging in height from 2 to 6 feet) to create a flat 600 square foot patio area off the family room.
- c) Allowed Use: The property is located at 1187 Lookout Road, Pebble Beach (Assessor's Parcel Number 007-682-013-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). The project includes a new single-family dwelling. Single family dwellings are a principally permitted use in the MDR zone (Monterey County Code Section 21.12.030.A). Therefore, the project is an allowed land use for this site.
- d) Design: The site is subject to the Design Review requirements contained in Chapter 21.44 of the Inland Zoning Ordinance (Title 21). Chapter 21.44 requires review of siting, size, configuration, colors, and materials to ensure that the development will blend with the site and the surrounding neighborhood. The subject property is located along a cul-de-sac at the end of a residential street. Properties along the roadway slope downward on the northern side of the street while on the southern side, slope upward resulting in residences that appear low profile and tucked into the natural topography on the north side and residences that appear larger on the south side as the natural elevation is higher than the roadway. In this case, the applicant has attempted to control the bulk of the structure by placing the garage below the living area, giving it a single story profile from the street. The craftsman style architectural incorporates natural mixed materials while incorporating features of a modern design. The project includes installation of a 6 foot tall cedar rear perimeter fence and a cement plaster patio wall. Colors and materials comprised of a charcoal and tan blend shake cement tile roofing, cream cement plaster with earth toned accent stone at exterior walls, dark bronze clad wood casement frame windows with off white wood trim and brown aluminum with obscure glass inserts for the garage doors. Nearby residences include similar features such as the use of stucco, wood trim and stone elements. There is a general California ranch style architectural theme throughout the immediate neighborhood with one and two story residences. The siting and design of proposed structure is consistent with the surrounding medium density residential neighborhood. In addition to the architectural design and colors and materials discussed above, the project includes a preliminary landscape plan illustrating planting of several of the required replacement trees

between the structure and the roadway as well as shrubs and groundcover in the understory. Ornamental landscaping is limited to the area adjacent to the entry stairs. As such, the development will blend in with both the manmade and natural environment. Staff has determined that the proposed residence is compatible with the surrounding neighborhood character in terms of size, color, and location.

- e) Development Standards: Development of the property is subject to the development standards for the MDR zoning district in the Del Monte Forest area (Title 21 Section 21.12.070), setback requirements for the B-6 zoning overlay (Title 21 Section 21.42.030.F.2) and the setbacks delineated on the final map for the Lookout Ridge subdivision. Title 21 Section 21.42.030.F.2 states that setbacks shall not be less than “B-4” regulations unless otherwise indicated on the final or parcel map. The subject property is shown as Lot 31 on the final map for the Lookout Ridge subdivision (recorded in Volume 11 of Cities and Towns, page 36) and as indicated, has a required front setback of 15 feet, a side setback of 10 feet, and a rear setback of 30 feet. The proposed dwelling is setback approximately 25 feet from the front, approximately 38 feet from the rear, and 12 feet (eastern) and 17 feet (western) from the sides. Maximum allowed structure height is 27 feet and the proposed height for the single-family dwelling is 23 feet from average natural grade. The allowed maximum site coverage and floor area ratio in the MDR district is 35 percent for lots with a density of more than 2 units acre. The property is 15,146 square feet, which allows a site coverage and floor area ratio of up to 5,301 square feet. Consistent with this requirement, the proposed single-family dwelling, attached garage and covered entry would result in site coverage of 4,601 square feet or 30.37 percent. Therefore, as proposed, the project meets all required development standards.
- f) The project site is within a Parking and Use of Major Recreational Equipment Storage in Seaward Zone (RES) zoning overlay district. This district limits the ability to park Recreational Vehicles in the front yard. The project does not propose such parking. This parking restriction will apply to ongoing use of the property.
- g) Pursuant to Greater Monterey Peninsula Area Plan Supplemental Policy GMP- 3.5, removal of healthy native oak trees, Monterey Pines and Redwood trees are discouraged. Further, Title 21 Section 21.64.260.D requires a Use Permit for removal of three or more protected oak trees. As demonstrated in Finding 3 and supporting evidence, finding to allow removal of 15 trees (6 Coast live oaks & 9 Monterey pines) can be made in this case.
- h) Development on Slopes in Excess of 25%. A small portion of the Lookout Road right-of-way, between the northern property line of the parcel and edge of road pavement, contains steeper slopes which level out at the property line. This condition was created when the cul-de-sac for Lookout Road was constructed. Slope conditions on the subject property are gradual and ascends from north to south ranging from 5% to 20%. Onsite improvements will not occur on steep slopes. However, offsite improvements to connect to the proposed driveway to existing roadway pavement will require development on slopes in excess of 25%. However, this area of development is below the 500 square foot

threshold qualifying for a Use Permit exception pursuant to 2010 General Plan Policy OS-3.5.1.c.

- i) Land Use Advisory Committee: The proposed project was reviewed by the Del Monte Land Use Advisory Committee (LUAC) on August 3, 2023. Public comment was provided by a neighboring property owner expressing concerns for incorrect staking and flagging as well as “on-site” parking for the construction vehicles and crews. Staff conducted a site inspection on July 18, 2023 and observed the project’s staking and flagging and found the placement consistent with the proposed plans. A non-standard condition requiring submittal and approval of a Construction Management Plan has been incorporated that includes specific measures relative to preventing obstruction of vehicular and pedestrian access. As recommended by the LUAC, concerns expressed in the public comment be addressed and resolved. However, due to the lack of attendance from the applicant, owner or representative, the LUAC recommended denial of the project by a vote of 3-1 with 3 absent.
- j) Staff conducted a site inspection on July 18, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- k) No conflicts were found to exist with the above standards and policies. The County finds that the project is consistent with the text, policies, and regulations within the applicable documents.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190439.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Pebble Beach Community Service District, HCD-Engineering Services, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to trees and cultural resources. The following reports have been prepared:
 - *“Soil Investigation Report” (LIB220244) prepared by Geronimo Martin Daliva., Salinas, CA October 25, 2021*
 - *“Tree Assessment/Forest Management plan” (LIB220243) prepared by Frank Ono, Pacific Grove, CA October 1, 2020.*The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
 - c) Staff conducted a site inspection on July 18, 2023 to verify that the site is suitable for this use. The proposed dwelling is located in a residentially zoned area and is surrounded by existing residential uses.
 - d) The site is in a high fire hazard area. A Fire Fuel Management Plan has been prepared for the project that incorporates guidance on fuel

management and fire protection from Pebble Beach CSD. Defensible space and vegetation management around the structure will be incorporated in accordance with the Fuel Management Plan to minimize risks from fire.

- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN190439.

3. **FINDING:** **TREE REMOVAL-** Tree removal is the minimum required under the circumstances of this case and removal will not involve a risk of environmental impacts in accordance with the applicable goals and policies of the Greater Monterey Peninsula Area Plan.

EVIDENCE: a) The proposed project would include the removal of 15 trees (6 Coast live oaks and 9 Monterey pines), both of which are considered protected trees, as specified in Greater Monterey Peninsula Policy GMP- 3.5. A Tree Assessment/Forest Management Plan report dated October 1, 2020, (**Exhibit D**) was submitted by Frank Ono, Urban Forester. Of the 15 trees proposed for removal, two are landmark trees [a 28-inch diameter pine (tree number 155) located near the driveway/garage and a 32-inch diameter pine (tree number 162) located within the building footprint]. The remaining trees range in size from 6 to 23 inches in diameter.

- Six (6) Coast Live Oaks in fair condition in the 6-8 inch diameter class, (tree numbers: 148, 150, 153, 154, 156, 165)
- One (1) six (6) inch diameter Monterey pine in fair condition, (tree number 152)
- One (1) 23-inch diameter Monterey pine in fair condition, (tree number 158)
- One (1) 16-inch diameter Monterey pine in fair/poor condition, (tree number 159)
- Four (4) Monterey pines in poor condition in the 9-22 inch diameter class, (tree numbers 149, 151, 163, 164)
- Two (2) Monterey pines in fair/poor condition
 - Landmark tree (#155) is a 28-inch diameter Monterey Pine located near the driveway/garage.
 - Landmark tree (#162) is a 32-inch diameter Monterey Pine located within the building footprint.

Due to the dense forest conditions development without tree removal is not feasible. Pursuant to Title 21 Section 21.64.260, the following findings must be made to grant the tree removal: 1) removal will not involve a risk of significant adverse environmental impacts such as soil erosion, water quality degradation, ecological impacts upon existing biological or ecological systems, noise pollution, and movement or significant reduction of available wildlife habitat; and 2) removal is the minimum required under the circumstances of the case.

- b) Minimum Required: In this case, the lot is .35 acres in size and zoned for residential development. The lot supports a dense stand of trees and development anywhere on the parcel would require removal of trees. Siting of the single-family dwelling is located near the center of the lot meeting setback and development standards for the zoning district. The

house is of a size and design that fits the lot and is typical for the area. Attempts have been made to preserve trees around the perimeter of the proposed home with focus on trees that are in good to fair condition. For these reasons, staff supports the determination that the project includes removal of the minimum number of trees under the circumstances of this case.

- c) Impacts: Removal of trees will not involve a risk of adverse environmental impacts in this case. The Ono report describes the conditions of the trees at the site and how it relates to the surrounding environment. The site is heavily forested with an understory of Coast live oaks and mature pines in their later stages of life. No significant long-term impacts to the surrounding forest ecosystem are anticipated due to the large number of trees that are senescent and in poor condition, combined with the relatively small amount of area that will be occupied by the proposed residence and driveway. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long-term. As recommended, best management practices would be implemented through construction in order to maintain the health of the remaining protected trees. The removal and replacement of the large over-mature trees will have a beneficial effect on the forest as a whole. The report concludes that removal of trees at the site are the minimum required and will not result in adverse effects provided best management practices are incorporated. In this case, the lot is .35 acres in size and zoned for residential development. The lot supports a dense stand of trees and development anywhere on the parcel would require removal of trees. Siting of the single-family dwelling is located near the center of the lot meeting setback and development standards for the zoning district. The house is of a size and design that fits the lot and is typical for the area. Attempts have been made to preserve trees around the perimeter of the proposed home with focus on trees that are in good to fair condition. For these reasons, staff supports the determination that the project includes removal of the minimum number of trees under the circumstances of this case. Staff has reviewed the report and agrees with its conclusions.
- d) Tree Protection/Replacement: Pursuant to the requirements of the Title 21 Section 21.64.260, all non-landmark oak trees removed as a result of the project shall be replaced at a 1:1 ratio. Although the site is heavily forested, the project arborist found that there is sufficient room to replace with nine (9) Monterey pine and six (6) Coast live oak trees for a total of 15 trees to replant. New plantings should be five-gallon stock or larger, if available. Spacing between trees should be at least 8 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. The project has been conditioned accordingly. In addition, surrounding trees located close to the construction site will be protected from construction equipment by fencing off the canopy driplines and/or critical root zones with protective materials (Condition No. 8).
- e) Best management practices (BMPs) will be implemented through the construction management plan and recommendations in the forest management plan have been incorporated as conditions of approval in

order to maintain the health of the trees to be retained. BMPs include but are not limited to:

- Not depositing fill, parking equipment, or staging construction materials on or near existing trees. Trees will be protected by boards, fencing or other materials to delineate protection zones.
- Any and all pruning directed by an arborist to prevent unnecessary tree injury and to ensure appropriate timing/season of work.
- Any and all root cutting directed by an arborist should occur outside of the springtime.
- Management of oak material greater than 3 inches in diameter remaining on site more than one month being covered to discourage infestation of bark beetles.

In addition to the BMPs, other management measures recommended by the arborist will be employed to ensure the overall health of remaining trees, including: clearing of brush/debris; removal of invasive plant species; and thinning of trees that are less than six inches diameter at breast height. These actions will help to promote the health of trees at the site.

4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD - Planning, Pebble Beach Community Service District, HCD-Engineering Services, Environmental Health Bureau, and HCD-Environmental Services. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities currently serve the existing residence and will continue to be provided to the proposed residence. Domestic water service is provided by California American Water letter dated September 28, 2022 and sewer service is provided by Pebble Beach Community Service District. The project was reviewed by the Environmental Health Bureau which found the existing services adequate to serve the project.
 - c) In addition to any pruning for construction or aesthetics, California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. Pebble Beach Community Service District has reviewed the project without imposing any additional conditions of approval on top of

these state requirements. A Fuel Management Plan was submitted as part of the application (Exhibit D).

- d) Staff conducted a site inspection on July 18, 2023 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN190439.

5. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. Violations does not exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 18, 2023 and researched County records to assess if any violation exists on the subject property. The site is vacant with natural vegetation apparent.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN190439.

6. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including structures accessory to a single-family dwelling or residential use. The project involves the construction of a single-family dwelling and removal of 15 pine and oak trees. Therefore, the proposed development is consistent with the parameters of this Class 3 exemption.
 - b) No adverse environmental effects were identified during staff review of the development application during a site visit on July 18, 2023.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Project location is not considered a particularly sensitive environment. It is a relatively small lot within a developed residential neighborhood. There is no significant effect on the environment due to unusual circumstances. Tree removal is the primary environmental concern, but the removal will not cause adverse environmental impacts in this case (See Finding 3 and supporting evidence). The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource. It is not within a highway officially designated areas as a state scenic highway.
 - d) Staff conducted a site inspection on July 18, 2023 to verify that the site is suitable for this use.

- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190439.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
EVIDENCE: Section 21.80.040 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Planning Commission does hereby:

1. Find that the single-family dwelling project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines; and there are no exceptions pursuant to Section 15300.2; and
2. Approve:
 - a. A Design Approval to allow construction of a 3,665 square foot one-story single family dwelling with an 80 square foot covered porch and an 856 square foot basement level three-car garage. Colors and materials consist of charcoal & tan blend shake cement tile roofing, cream cement plaster with beige, tan and brown stone accents for the exterior walls, dark bronze clad wood casement frame windows, off white wood door and window trim, and brown aluminum with obscure glass garage doors; and
 - b. A Use Permit for the removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines).

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of January, 2025, upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO THE APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTE

This permit expires 3 years after the above date of granting thereof unless certificates of compliance are recorded within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190439

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval and Use Permit (PLN190439) allows 4,601 square foot single family dwelling inclusive of an attached two-car subterranean garage, rear perimeter fencing and retaining walls enclosing a rear patio; and the removal of 15 protected trees (6 Coast live oaks and 9 Monterey pines). Colors and materials consist of charcoal & tan blend shake cement tile roofing, cream cement plaster with beige, tan and brown stone accents for the exterior walls, dark bronze clad wood casement frame windows, off white wood door and window trim, and brown aluminum with obscure glass garage doors. The property is located at 1187 Lookout Road, Pebble Beach (Assessor's Parcel Number 007-682-013-000), Greater Monterey Peninsula Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval and Use Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 007-682-013-000 on January 29, 2025. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final of related construction permit(s), the applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: 1 to 1 consisting of 9 Monterey pine and 6 Coast live oak trees.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

8. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

12. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

13. PDSP001 - CONSTRUCTION MANAGEMENT PLAN (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas.

The CMP shall incorporate the following concepts to reduce off-site impacts:

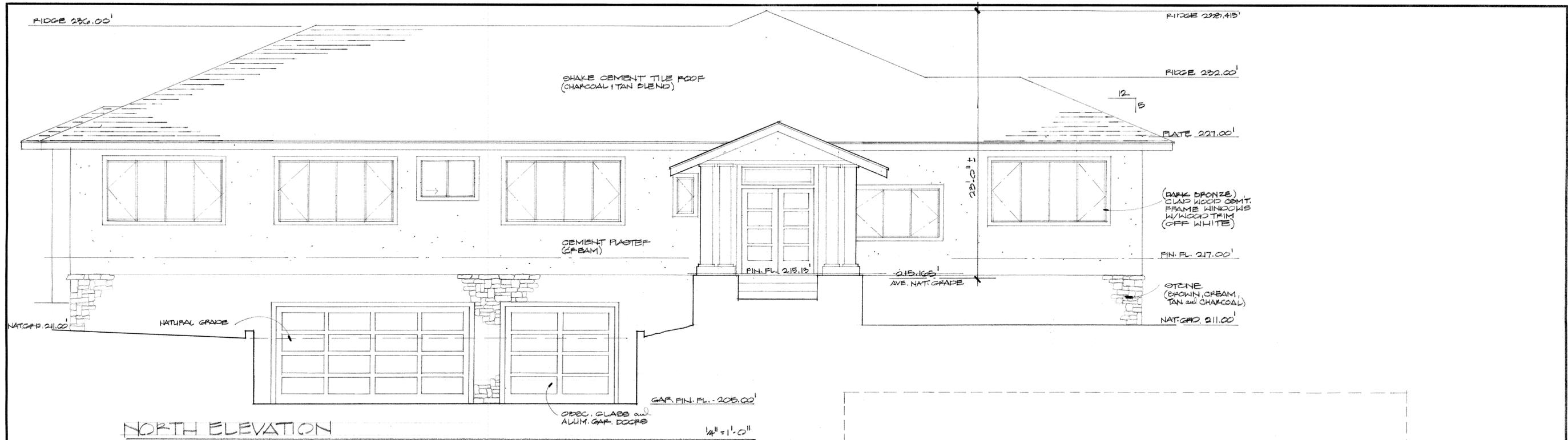
- 1) Identify the specific travel route for construction equipment and waste;
- 2) Identify travel times to have construction vehicles avoid peak hour congestion areas along the travel route;
- 3) Avoid impacts to access, and park on, other properties near the construction site and along the travel route;
- 4) Ensure pedestrian path of travel is not impeded or describe alternative path of travel;
- 5) Provide all storage and staging areas on the construction property, where feasible, or where not feasible provide management strategies to not adversely impact access or cause excessive noise for neighboring properties. On-site staging and storage areas shall be sited to the extent possible to reduce potential noise impacts to neighboring property;
- 6) Reduce project construction traffic generation by encouraging carpooling;
- 7) Reduce truck traffic impacts by scheduling deliveries of construction materials during off-peak hours;
- 8) Reduce traffic during morning and evening peak hours by scheduling shift changes to occur at off-peak hours; and
- 9) Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.

Measures included in the approved CMP shall be implemented by the applicant during the construction/grading phase of the project.

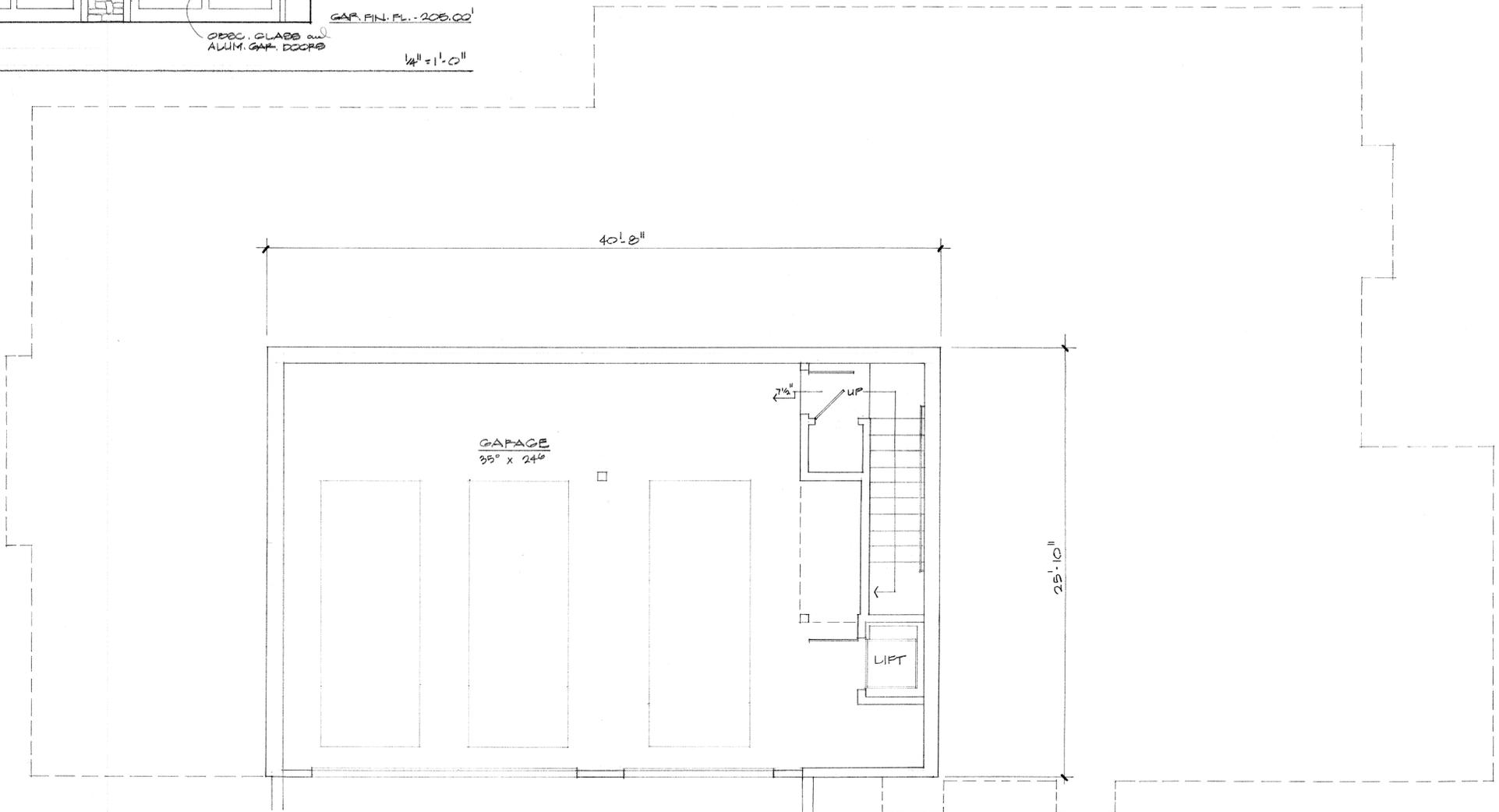
Compliance or Monitoring Action to be Performed: Prior to issuance of a Grading Permit or Building Permit for any of the future construction projects, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to HCD-Planning and HCD-Engineering Services for review and approval.

On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

This page intentionally left blank



NORTH ELEVATION



PROPOSED FLOOR PLAN - BASEMENT LEVEL

REVISIONS	BY

ANY HABITAT + SUSAN J. BAILEY
RESIDENTIAL DESIGN - ADDITIONS - REMODELS - PERMITS
8151 Hans Lane SE Salem, OR 97302 831.238-6188

PROPOSED RESIDENCE FOR:
SHI YAN and YING SUN (PETER YAN and SHEILA SUN)
1187 LOOKOUT ROAD
PEBBLE BEACH, CA.

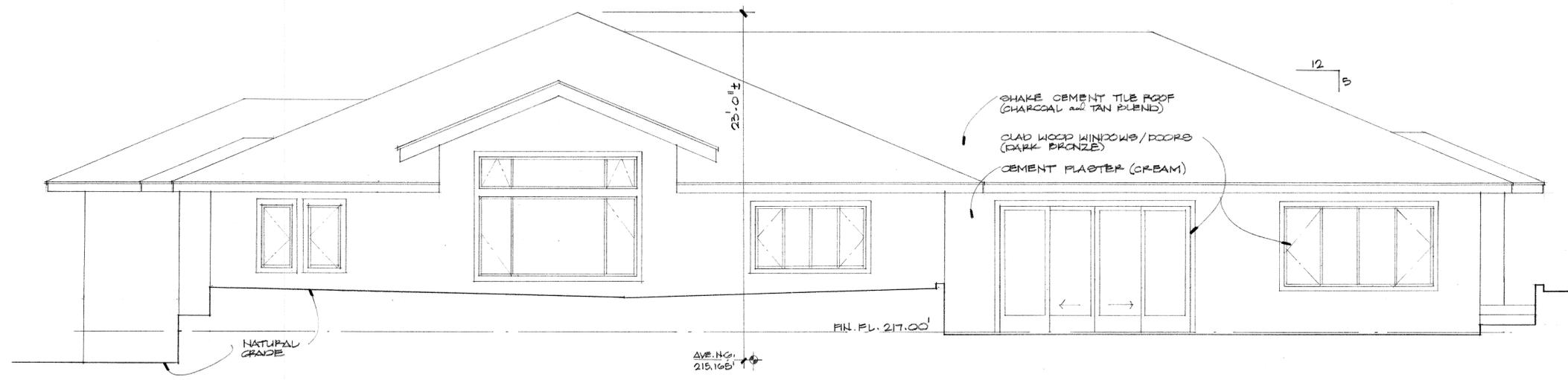
Date 8-4-22
Scale 1/4"
Drawn SUB
Job 114-19
Sheet 4
Of 15 Sheets

REVISIONS	BY

ANY HABITAT * SUSAN J. BAILEY
 RESIDENTIAL ARCHITECTURE * ADDITIONS * REMODELS * NEW
 815 Haas Lane SE Salem, OR 97302 831 238-6188

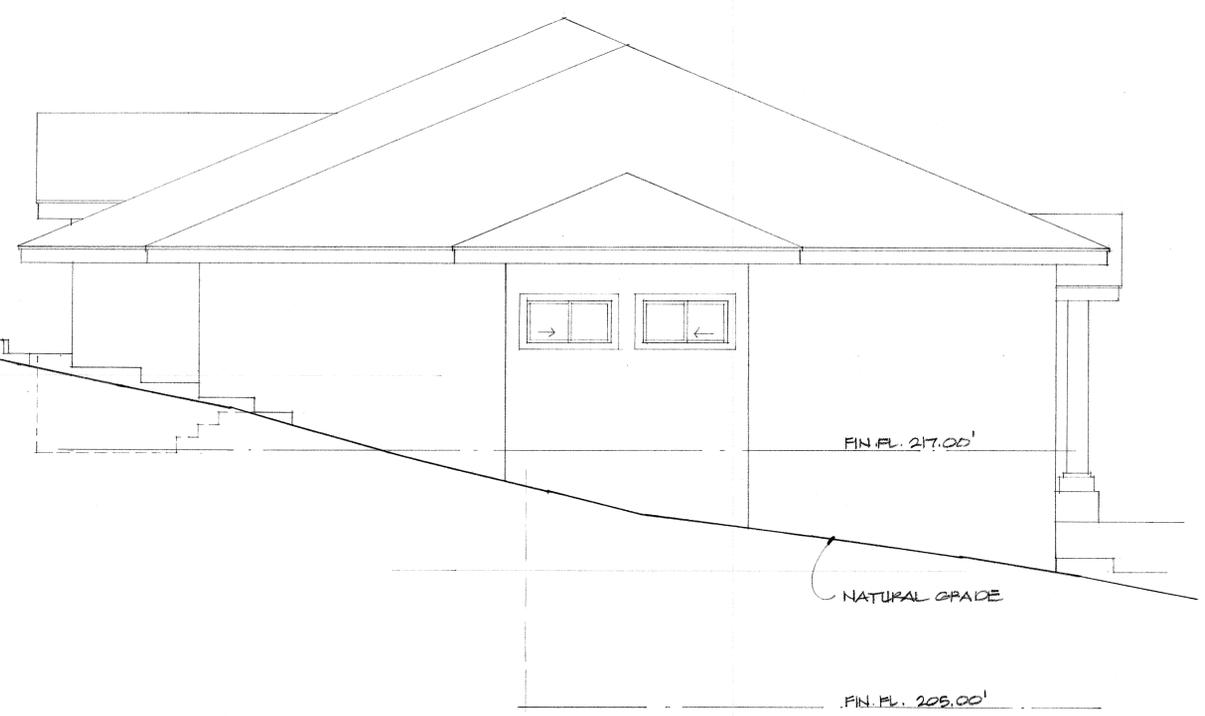
PROPOSED RESIDENCE FOR:
 SHI YAN and YING SUN (PETER YAN and SHEILA SUN)
 1127 LOOKOUT ROAD
 PEBBLE BEACH, CA.

Date 8-4-22
 Scale 1/4"
 Drawn GJB
 Job 114-19
 Sheet 5
 Of 15 Sheets



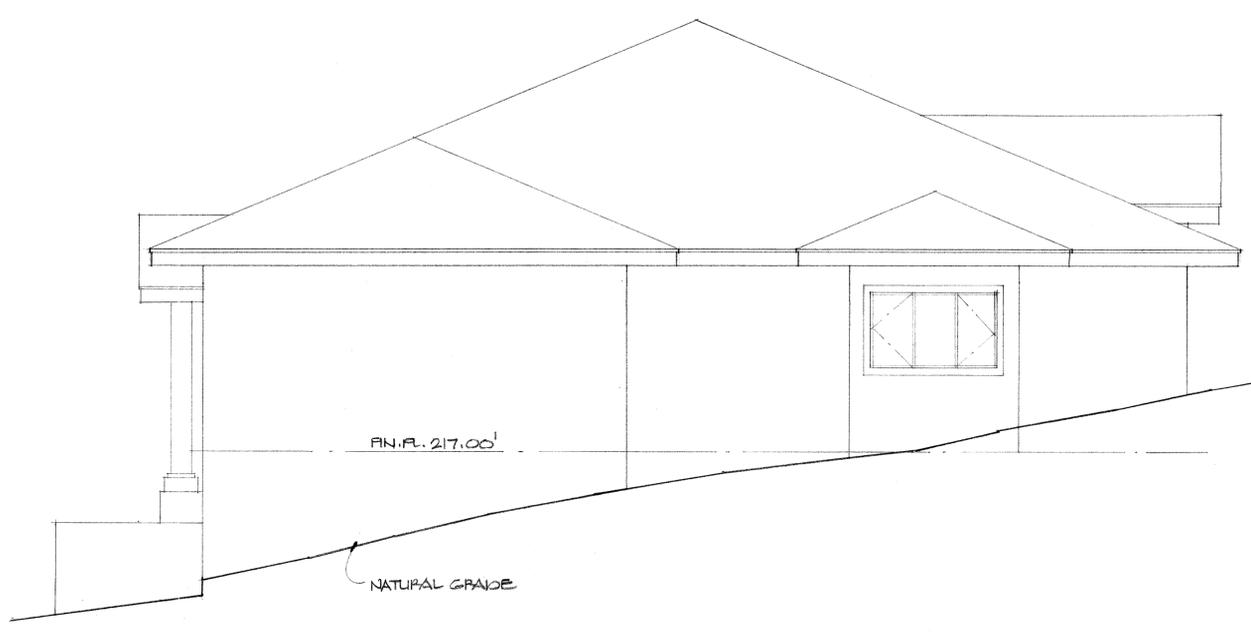
SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

REVISIONS	BY
10/28/23	AWP

BASIC FUEL MANAGEMENT

Basic Defensible Space & Vegetation Management Guidelines for Property Owners

Cut flammable vegetation around buildings a minimum of 30 feet or to the property line, whichever is closer, except for landscaping as follows:

- Cut dry and dead grass to a maximum height of 4 inches.
- Maintain the roof and gutters of the structure free of leaves, needles, or other dead vegetative growth.
- Maintain any tree adjacent to or overhanging a building free of dead wood.
- Trim tree limbs that extend within 10 feet of the outlet of a chimney or stove pipe.
- Trim dead portions of tree limbs within 10 feet from the ground.
- Remove all limbs within 6 feet of the ground.
- Remove all dead fallen material unless it is embedded in the soil.

Remove all cut material from the area or chip and spread on site.

Provide and maintain at all times a screen over the outlet of every chimney or stovepipe that is attached to a fireplace, stove or other device that burns any solid or liquid fuel. The screen shall be constructed of nonflammable material and openings of not more than one half inch in size.

Post house numbers per Fire Department requirements.

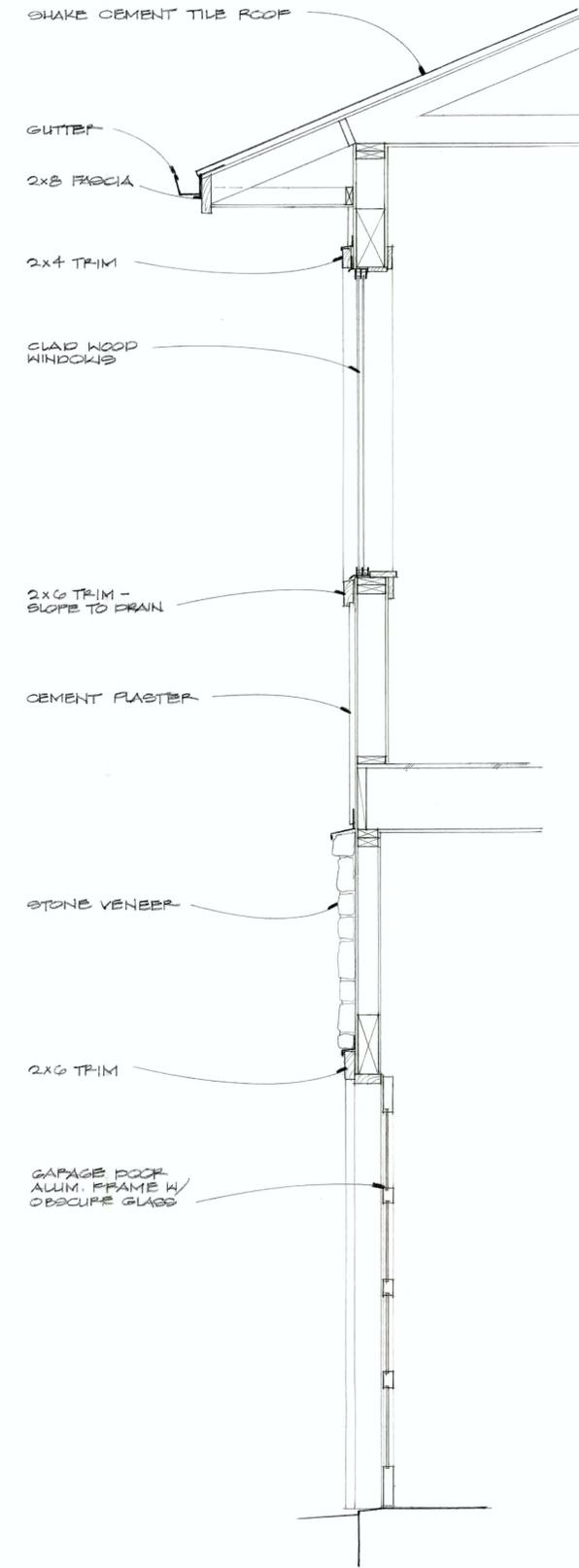
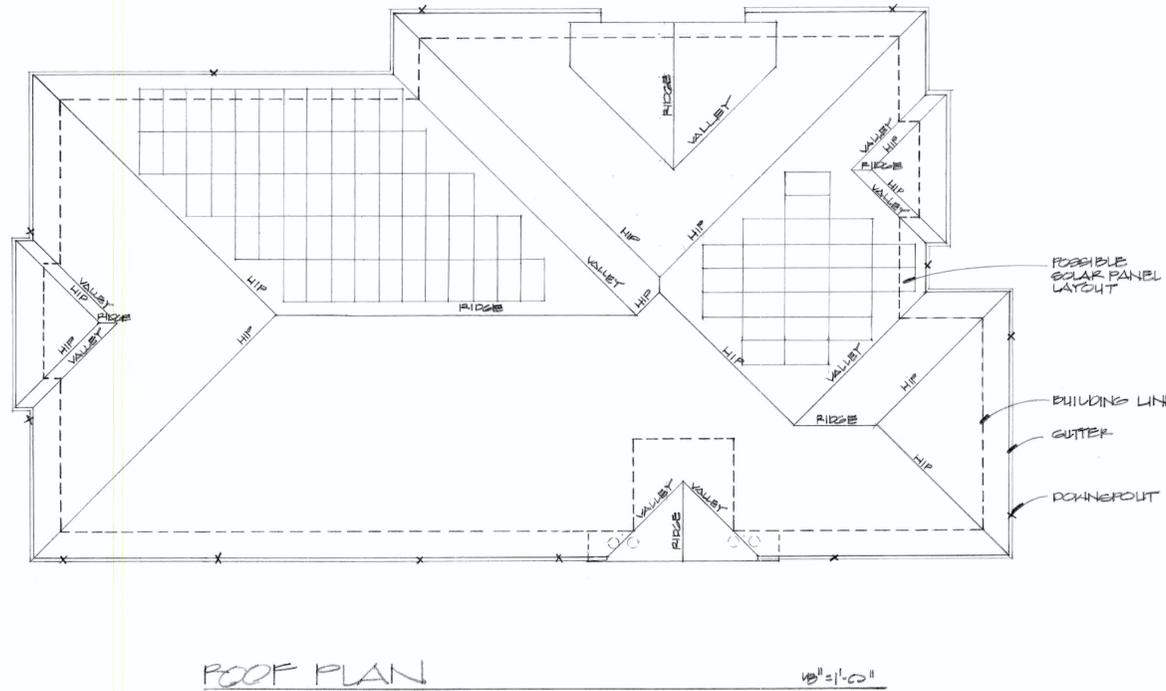
Between 30 and 100 feet around the building (or to the property line, whichever is closer)

Cut plants and grass beneath tree canopies to prevent fire from spreading to the trees. These plants should be "topped off" leaving the root structure intact to minimize erosion.

Do not use herbicide or other chemical methods to remove vegetation.

NOTE: Any further vegetation management activities, including those required by insurance companies, may require approval from the Planning Services Department when activities involve the following:

- Exposing soil to erosion.
- Impact sensitive habitat.
- Accelerating sediment runoff into water courses.
- Tree removal.



Detailed descriptions of the firebreaks described in subsections (a)(1) and (a)(2) of Public Resource Code 4291. These spacings are to be used in and around proposed home site.

Zone 1

Zone 1 extends 30 feet out from buildings, structures, decks, etc.

- Remove all dead plants, grass and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees.
- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Relocate wood piles into Zone 2.
- Relocate or prune flammable plants and shrubs near windows.
- Remove vegetation and items that could catch fire from around and under decks.
- Create a separation between trees, shrubs and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.

Zone 2

Zone 2 extends 100 feet out from buildings, structures, decks, etc.

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs and trees.
- Create vertical spacing between grass, shrubs and trees.
- Remove all dead trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches.

Agreement by Landowner

The following standard conditions are made a part of all Monterey County Forest Management Plans:

A. Management Objectives

- Minimize erosion to prevent soil loss and siltation.
- Preserve natural habitat including native forest, understory vegetation, and associated wildlife.
- Prevent forest fire.
- Preserve scenic forest canopy as located within the Critical Viewshed (any public viewing area).
- Preserve landmark trees to the greatest extent possible as defined below.

B. Management Measures

- Tree Removal:** No tree will be removed without a Forest Management Plan or an Amended Forest Management Plan.
- Application Requirements:** Trees proposed for removal will be conspicuously marked by flagging or by paint. The proposed removal of native trees greater than six inches will be the minimum necessary for the proposed development. Removal not necessary for the proposed development will be limited to that required for the overall health and long term maintenance of the forest, as verified in this plan or subsequent amendments to this plan.

3. **Landmark Trees:** All landmark trees will be protected from damage if not permitted to be removed as a diseased tree, which threatens to spread the disease to nearby healthy trees or as a dangerous tree, which presents an immediate danger to human life or structures. Landmark trees are trees that are visually, historically, or botanically significant specimens or are greater than 24 inches or more in diameter at breast height (DBH), or more than 1,000 years old.

4. **Dead Trees:** Because of their great value for wildlife habitat (particularly as nesting sites for insect-eating birds) large dead trees will normally be left in place. Small or dead trees will normally be removed to reduce the fire hazard. Dead trees may be removed at the convenience of the owner.

5. **Thinning:** Trees less than six inches diameter breast height may be thinned to promote the growth of neighboring trees, without first developing a Forest Management Plan.

6. **Protection of Trees:** All trees other than those approved for removal shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree, may be performed wherever necessary in the judgment of the owner, particularly to reduce personal safety and fire hazards. Retained trees which are located close to the construction site shall be protected from inadvertent damage by construction equipment through wrapping of trunks with protective materials, bridging or tunneling under major roots where exposed in foundation or utility trenches, and other measures appropriate and necessary to protect the well-being of the retained trees.

7. **Fire prevention:** In addition to any measures required by the local California Department of Forestry fire authorities, the owner will;

- Maintain a spark arrester screen atop each chimney.
- Maintain spark arresters on gasoline-powered equipment.
- Establish a "greenbelt" by keeping vegetation in a green growing condition to a distance of at least 50 feet around the house.
- Break up and clear away any dense accumulation of dead or dry underbrush or plant litter, especially near landmark trees and around the greenbelt.

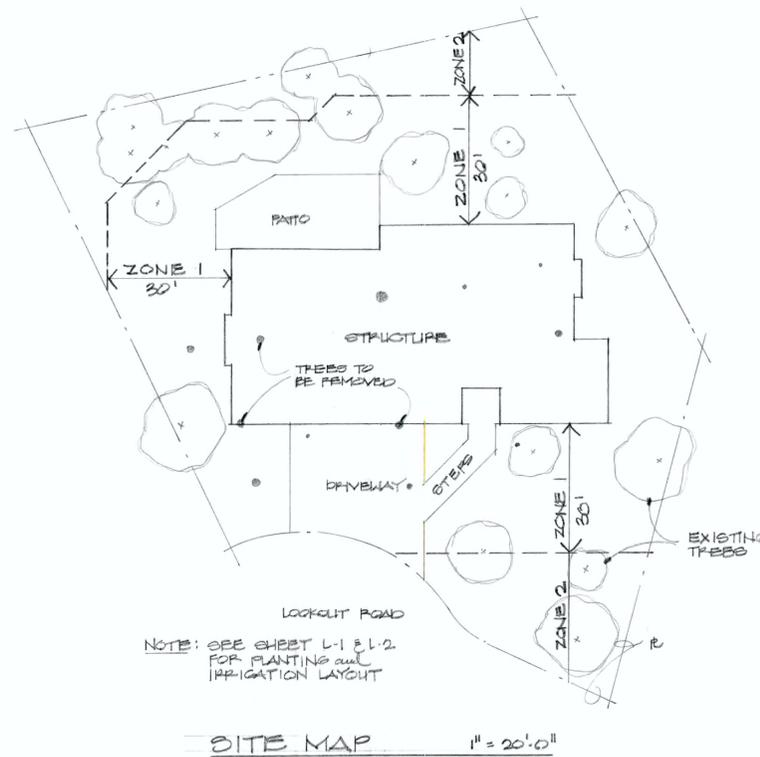
8. **Use of fire (for clearing, etc.):** Open fires will be set or allowed on the parcel only as a forest management tool under the direction of the Department of Forestry authorities, pursuant to local fire ordinances and directives.

9. **Clearing Methods:** Brush and other undergrowth, if removed, will be cleared through methods, which will not materially disturb the ground surface. Hand grubbing, crushing, and mowing will normally be the methods of choice.

10. **Irrigation:** In order to avoid further depletion of groundwater resources, prevent root diseases, and otherwise maintain favorable conditions for the native forest, the parcel will not be irrigated except within developed areas. Caution will be exercised to avoid overwatering around trees.

11. **Exotic Plants:** Care will be taken to eradicate and to avoid the introduction of the following pest species:

- Pampas grass
- Genista (Scotch broom, French broom)
- Eucalyptus (large types)



FUEL MANAGEMENT PLAN

(A) WALL SECTION

ANY HABITAT
SUSAN J BAILEY
BOI 235-0188

PROPOSED RESIDENCE FOR:
SHILYAN and YING SUN (PETER TAN and SHEILA SUN)
1187 LOOKOUT ROAD
PEBBLE BEACH, CA.

Date	4/10/23
Scale	AS NOTED
Drawn	GJB
Job	114-19
Sheet	6
Of 15	Sheets



Water Efficient Landscape Worksheet

30-Dec-20

Yan Residence

Cimis station (#193 Pacific Grove)

Reference Evapotranspiration (Eto)= **38.26**

Zone	Plant factor (PF)	Irrigation method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAFx Area	ETWU
1	0.4	Drip	0.81	0.49382716	146	72.0987654	1710.269235
2	0.3	Drip	0.81	0.37037037	572	211.851852	5025.380148
3	0.3	Drip	0.81	0.37037037	955	353.703704	8390.276296
4	0.3	Drip	0.81	0.37037037	222	82.2222222	1950.409778

Totals	1895	719.876543	
Average ETAF=	0.379882081	ETWU Total	17076.33546
		MAWA	24723.4207

SUMATION
 Total Landscape Area= 1,895 sq ft
 ETWU Total= 17,076 gal
 MAWA Total= 24,723 gal

*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total social landscape area in square

SOIL MANAGEMENT REPORT

Four (4) Cubic yards or organic mulch / bark per 1,000 ft² shall be incorporated into all planted areas as a minimum plus a topsoil import comprising of the specifications found on Sheet L-4. The Optimum is to perform a soil test as soon as construction begins. A Soil Test shall be ordered and paid for by the landscape contractor for better onsite soil amendments prior to commencing landscape work. The contractor shall take a minimum of three sample spots of equal native soil amounts, pulverize the soil and place into two (2) / 24 oz sterile containers and send to a registered Horticulture Soil lab test:
 1.) Basic Fertility Test N P K Ca, Salinity & Alkalinity
 2.) Soil Texture: Organic Mater appraisal with recommendations

Landscape Water Use Statement:

I Scott Hall, a registered California Landscape Architect (#3405), certify that these landscape Plans comply with County of Monterey and the Monterey Water Management Agency criteria of the ordinance 172 and the California State Model Water Ordinance section 492.7 Water efficient Landscape Requirements are accordingly for the efficient use of water in this Irrigation Design Plan.
 Estimated Total Water Use (ETWU) is projected to be 17,076 gallons per year. The MAWA water projection is 24,723 gallons per year.

The responsible and appropriate Water Saving plant species selected (refer L-1 the Planting Plan) is reflected in the Irrigation use of a LOW FLOW water saving Irrigation delivery system. The water conserving system is ALL Drip type irrigation. There is no Turf Area.

Revisions

Hall Landscape Design
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
 (831) 655-3808
 e-mail: scott@halllandscape.com



Peter Yan
 1187 Lookout Road
 Pebble Beach, CA APN 007-682-013

Water Allocation

Page Title:

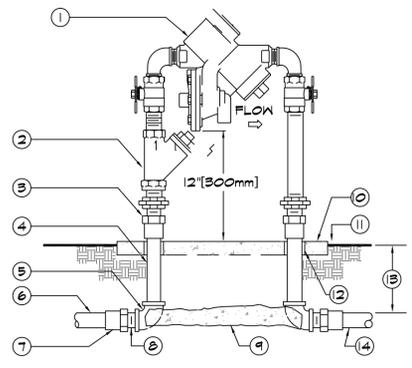
Job #	23-2020
Date Print:	03-21-2022
Revision	
Drawn By	MASH
Sheet	

L-3

of: 4 Sheets



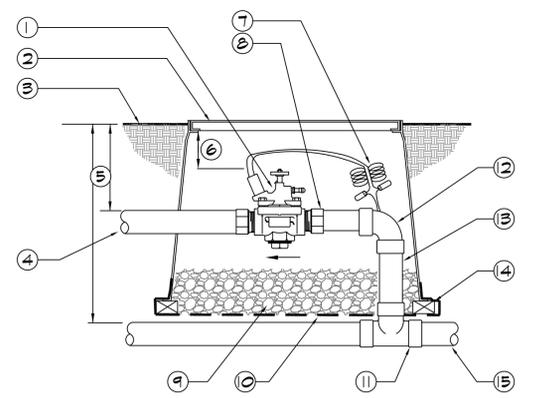
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR REPLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH HALL LANDSCAPE DESIGN. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE IRREVOCABLE EVIDENCE OF THE ACCEPTANCE OF THESE INSTRUMENTS.



- 1 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 2 TOTAL (SOLDER x THREAD CONNECTION).
- 3 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 4 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 5 PVC MAIN LINE TO POINT OF CONNECTION.
- 6 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 7 FINISH GRADE.
- 8 PVC SLEEVE BOTH SIDES.
- 9 REFER TO IRRIGATION SPECS.
- 10 PVC MAIN LINE TO IRRIGATION SYSTEM CONNECTION.

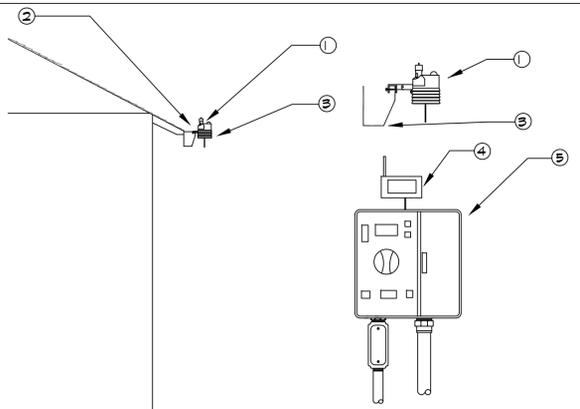
NOTES:
 1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.

7 REDUCED PRESSURE BACKFLOW 3" [75mm] & SMALLER
 SCALE: NONE



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED
- 2 10" ROUND VALVE BOX, ONE VALVE PER BOX- NO EXCEPTIONS.
- 3 FINISH GRADE
- 4 PVC LATERAL LINE
- 5 REFER TO IRRIGATION LEGEND
- 6 3" MIN 6" MAX
- 7 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS WIRE IN A 1" DIAMETER COIL
- 8 SCHEDULE 40 MALE ADAPTER (2 TOTAL)
- 9 FEA GRAVEL OR 3/4" DRAIN ROCK- 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 10 1/4 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- 11 UPC APPROVED SCHEDULE 40 PVC TEE
- 12 SCHEDULE 40 PVC 90° ELBOW (5XS)
- 13 SCHEDULE 40 PVC
- 14 BRICK-1 EACH CORNER
- 15 PVC MAIN LINE

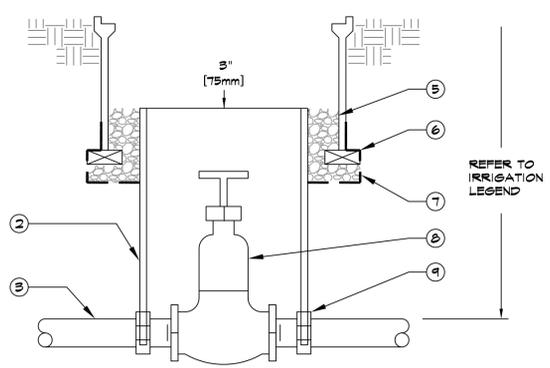
8 REMOTE CONTROL VALVE ROTATORS
 SCALE: NONE



NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.

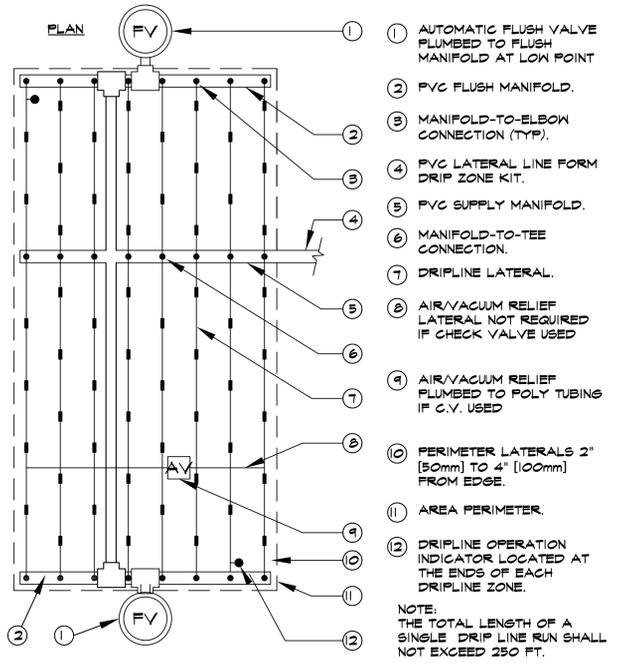
- 1 WIRELESS CLIMATE SENSOR TRANSMITTER (EVE/GUTTER MOUNTED)
- 2 MOUNT SENSOR ON GUTTER / EVE OR FENCLINE PROXIMATE TO OPEN SKY
- 3 GUTTER/EVE
- 4 SENSOR RECEIVER
- 5 CONTROLLER

5 WIRELESS WEATHER SENSOR
 SCALE: NONE



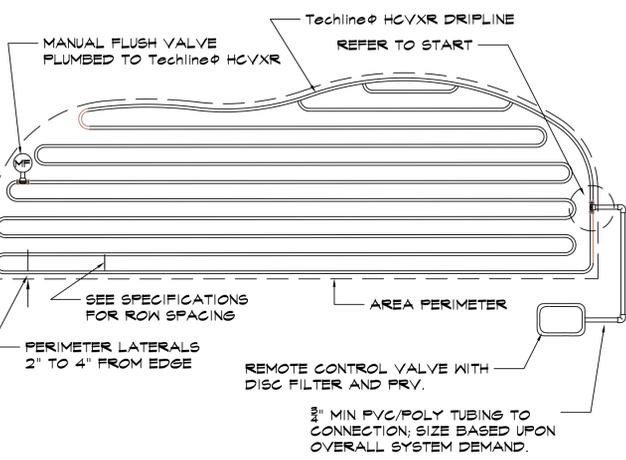
- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 FEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 1/4 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 SCHEDULE 40 PVC MALE ADAPTER.

6 GATE VALVE / BALL VALVE
 SCALE: NONE

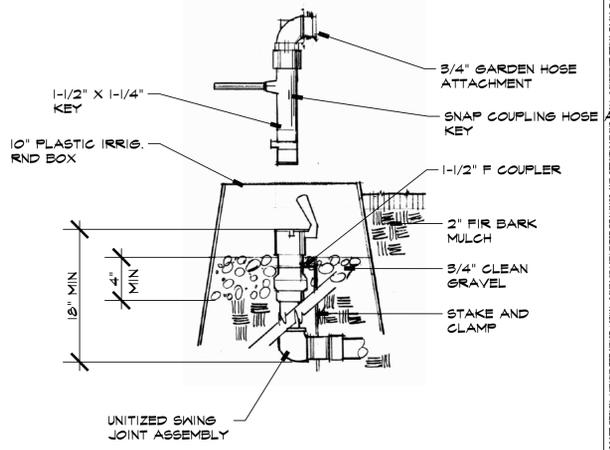


NOTE: THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.

3 NETAFIM TECHLINE CV CENTER FEED

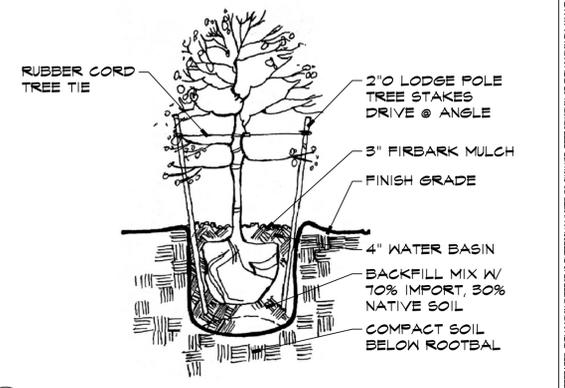


4 TECHLINE INSTALL IRRIGULAR AREA
 SCALE: NONE



QUICK COUPLER VALVE ALTERNATIVE TO TYPICAL HOSE BIB, RAINBIRD 44 RC QUICK COUPLER OR EQUAL. PROVIDE FOUR (4) KEYS AT TIME OF INSTALL TO THE OWNER

1 QUICK COUPLER / HOSE BIB SYSTEM
 SCALE: NONE



2 TREE PLANTING & STAKING DTL
 SCALE: NONE



2 TREE PLANTING & STAKING
 SCALE: NONE

Revisions

Hall Landscape Design
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Palisades, Ca 90950
 (831) 655-3808
 e-mail: scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT
 SCOTT HALL #3405
 SIGNATURE
 DATE

Peter Yan
 1187 Lookout Road
 Pebble Beach, CA APN 007-682-013

Irrigation & Plant Specifications

Page Title:

Job # 232020
 Date Printed: 03-21-2022
 Revision
 Drawn By MASH
 Sheet

L-4
 of: 4 Sheets

GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
 - LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS
 - LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).
- STATE GENERAL CONSTRUCTION PERMIT (ORDER NO. 2012-0006-DWQ, NPDES NO. CAS000002.)
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.
- THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, CUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

STORM DRAIN

- ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.
- STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

SANITARY SEWER

- SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.
- PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE CITY.
- SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.
- SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

GRADING & DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT-BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- EARTHWORK QUANTITIES:
 - CUT = 970 CY
 - FILL = 70 CY
 - NET = 900 CY FILL

- EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.
 - PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
 - INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.
 - BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.
 - ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)
 - ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.
 - VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.
 - NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
 - PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.
 - FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
 - THE ULTIMATE PURPOSE OF GRADING IS FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH AND DRIVEWAY.

UNDERGROUND UTILITIES

- CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
- ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
- SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

BENCHMARK

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM.

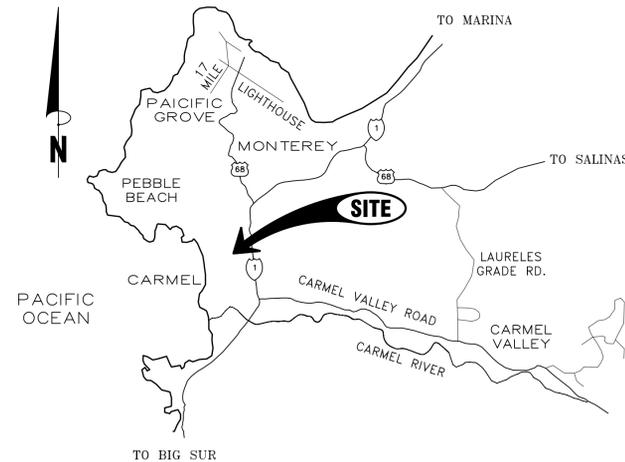
TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

- MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASQA CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C4.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER.
- ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

- PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.
- ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.
- PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.
- THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

LEGEND

EXISTING		PROPOSED
---	BOUNDARY LINE	---
---	EASEMENT (ESMT)	---
---	CENTERLINE (CL)	---
SD	STORM DRAIN MAIN	SD
---	ROOF DRAIN LATERAL	---
SS	SANITARY SEWER MAIN	SS
W	WATER MAIN	W
---	DRAINAGE FLOW LINE	---
---	SAWCUT	---
---	GRADE BREAK	---
---	ACCESSIBLE PATH OF TRAVEL	---
170	MAJOR CONTOUR	170
169	MINOR CONTOUR	169
X X X	FENCE	X X X
	SPOT ELEVATION	FG 171.13
	DROP INLET (DI)	■
	CURB INLET (CI)	■
	AREA DRAIN (AD)	■
SDMH	STORM DRAIN MANHOLE (SDMH)	●
SSMH	SANITARY SEWER MANHOLE (SSMH)	●
FH	FIRE DEPARTMENT CONNECTION (FDC)	Y
FH	FIRE HYDRANT (FH)	●
WM	POST INDICATOR VALVE (PIV)	●
WM	WATER METER (WM)	■
WV	WATER VALVE (WV)	⊗
▷	CHECK VALVE	▷
▷▷	DOUBLE CHECK VALVE	▷▷
○	CLEANOUT (CO)	○

SHEET INDEX

- C1 COVER & GENERAL NOTES
- C2 GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 SECTIONS & DETAILS
- C5 EROSION CONTROL PLAN

COVER SHEET
& GENERAL NOTES
YAN RESIDENCE
APN# 007-682-013

Project Location: 1187 Lookout Rd., Pebble Beach, CA 93953
PREPARED FOR: PETER YAN

SCALE:	AS NOTED
DATE:	05/25/22
DESIGN BY:	FJC
DRAWN BY:	MSM
CHECKED BY:	FJC
SHEET NUMBER:	

C1
OF 5 SHEETS
PROJECT# 120-115

C3 ENGINEERING INCORPORATED
Civil Engineering, Land Development,
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (931) 647-1192 Fax (931) 647-1194
mailto:C3Engineering.net



This page intentionally left blank



EVATION

1/4" = 1'-0"



Materials: cement plaster Colors: Cream

Description: beds



Materials: cement tiles Colors: Concord Blend

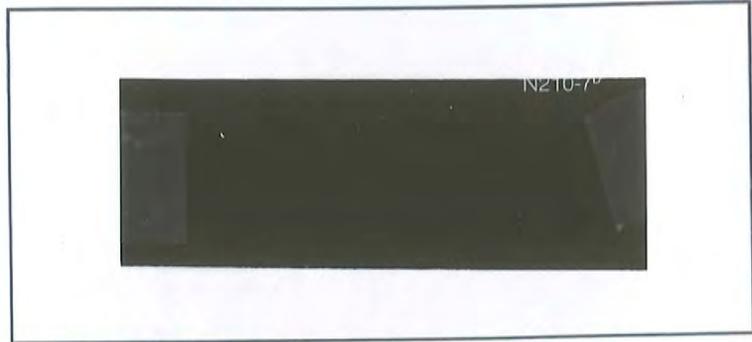
Description: roof



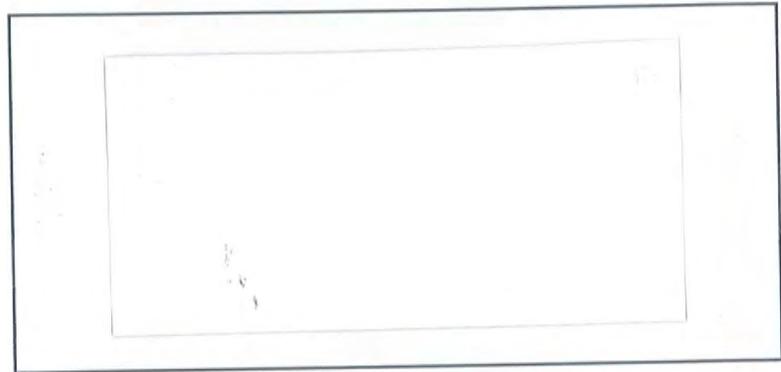
Materials: stone Colors: beige, tan & brown

Description: wall covering

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: aluminum Colors: Bronze
Description: window/doors



Materials: wood Colors: white
Description: door/window trim



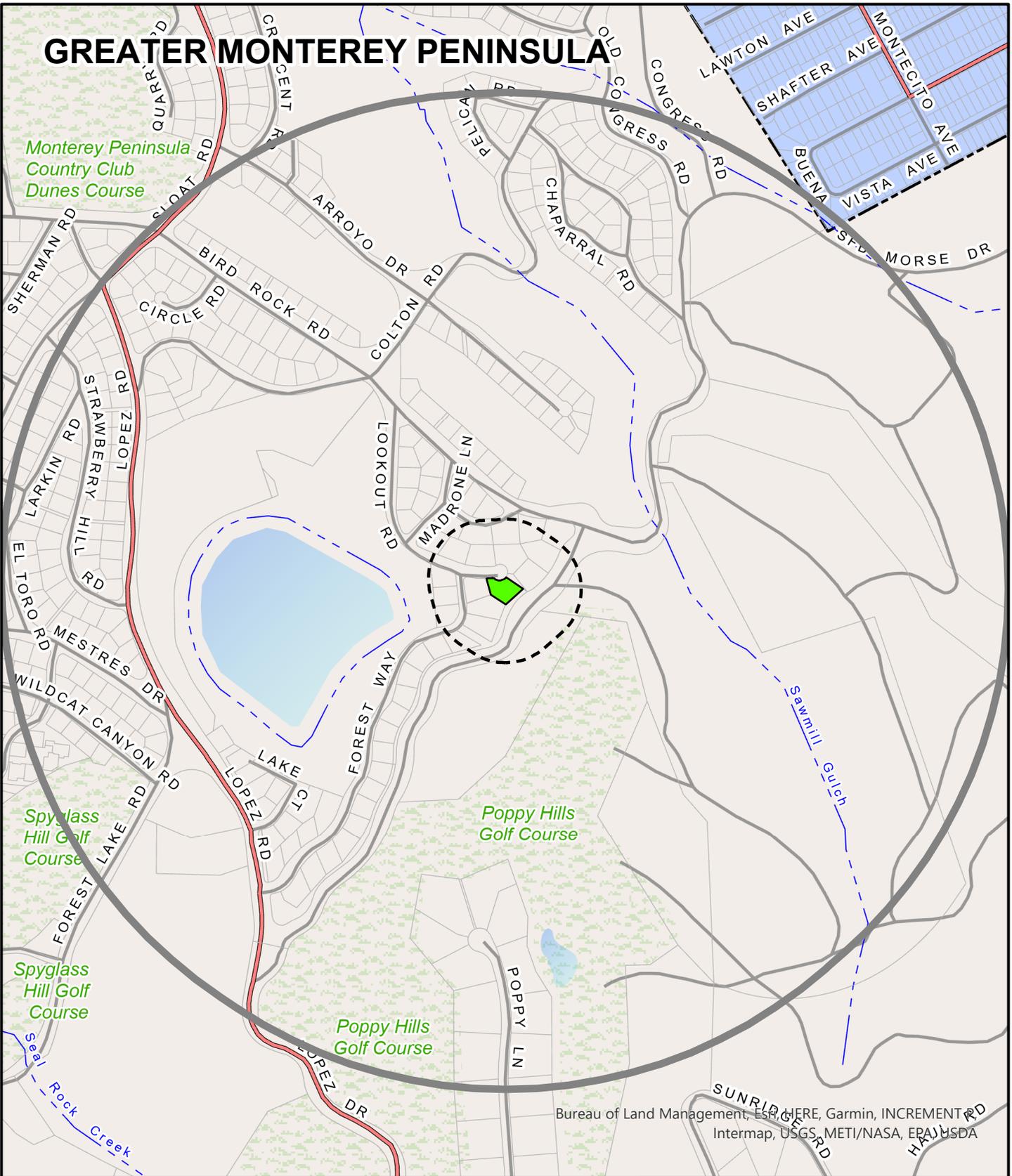
Materials: alum & glass Colors: brown
Description: garage doors

This page intentionally left blank

Exhibit C

This page intentionally left blank.

GREATER MONTEREY PENINSULA



Bureau of Land Management, Esri, HERE, Garmin, INCREMENTAL, Intermap, USGS, METI/NASA, EPA/USDA

APPLICANT: YAN SHI & SUN YING

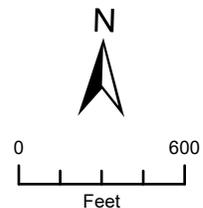
APN: 007682013000

FILE # PLN190439

 Project Site

 300 FT Buffer

 2500 FT Buffer



This page intentionally left blank

Exhibit D

This page intentionally left blank.

Tree Assessment/
Forest Management Plan
Yan Residence

Prepared for:

Mr. Peter Yan

Prepared by:

Frank Ono

Forester

Society of American Foresters I.D.# 48004

Certified Arborist #536

1213 Miles Avenue

Pacific Grove, CA 93950

October 1, 2020

Owner:

Mr. Peter Yan, C/O Susan J. Bailey
7189 Oak Tree Place
Monterey, CA 93940

Designer:

Any Habitat
Susan J. Bailey
P.O. Box 761
Twain Harte, CA 95383

Forester and Arborist

Frank Ono, Society of American Foresters # 048004, Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

Development is proposed for this site located at 1187 Lookout Road, Pebble Beach, CA 93953. Because protected trees forest this site, a tree assessment/arborist report has been prepared that identifies and addresses the effects that the project will have on the existing tree resources on-site as well as a list of recommendations for the project.

The project proposes to new single-family residence and driveway requiring the pruning/removal of trees located on-site and protection of others identified for retention. In studying the project, 16 trees are proposed for removal with this project. At this time, the remaining trees adjacent to the proposed construction are to be protected and retained.

ASSIGNMENT/SCOPE OF PROJECT

To ensure the protection of the tree resources on-site, the property owner, Mr. Peter Yan has requested an assessment of the trees in proximity to proposed development areas and an arborist report for trees that are adjacent to these areas on this property. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure, and preservation suitability for each tree within or adjacent (15 feet or less) to the proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Ms. Susan Bailey, Designer.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to numbered trees keyed to an annotated Tree Location Map.
- Determine the number of trees affected by construction that meet “Landmark” criteria as defined by the County of Monterey, Title 21 Monterey County Zoning Ordinance; as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the County of Monterey Planning Department.

LIMITATIONS

This assignment is limited to the review of plans submitted to me by Ms. Susan Bailey in August 2020 to assess effects from potential construction to trees within or adjacent to construction activities. The assessment has been made of these plans specifically and no other plans were reviewed. Only minor grading and erosion details are discussed in this report as it relates to tree health.

PURPOSE

This tree Assessment/Forest management report is prepared for this parcel due to proposed construction activities that are intent on building a new structure on the vacant lot located at 1187 Lookout Road, Pebble Beach, CA 93953. The purpose of the site visit was to give an independent assessment of the existing trees that are on-site and to determine if any of the trees will be affected by the proposed project. Monterey pine and Coast live oak trees are considered protected trees as defined by the County of Monterey, Title 21 Monterey County Zoning Ordinance.

GOAL

The goal of this plan is to protect and maintain the Greater Monterey Peninsula Area’s forested resources through the adherence of development standards, which allow the protection, and maintenance of its forest resources. Furthermore, it is the intended goal of this Arborist report to aid in planning to offset any potential effects of the proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

INTRODUCTION

This forest management plan is prepared for Mr. Peter Yan owner of the lot located at 1187 Lookout Road, Pebble Beach, CA 93953 by Frank Ono, Forester and Certified Arborist, S.A.F. #48004 and ISA #536 due to construction. Monterey County's Zoning Ordinance Sec. 21.64.260D requires a forest management plan when tree removal is necessary of native trees six inches diameter or greater to preserve and maintain the forest and its beneficial uses. The County identifies Monterey pine and Coast live oak trees as native tree species that require special consideration for management.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 007-682-013-000.
- 2) Location: 1187 Lookout Road, Pebble Beach, CA 93953.
- 3) Parcel size: 0.35 Acres.
- 4) Existing Land Use: The parcel is vacant and is zoned MDR/B-6-D-RES for medium density residential use in a design review zone.
- 5) Slope: The parcel is on a slope. Slopes range from 5% to over 20%.
- 6) Soils: The parcel is located on Soils classified by the Natural Resource Conservation Service as "Narlon loamy fine sand" about 55-inches deep. Paralithic bedrock is found generally at a depth of 53 – 57 inches. Runoff is very high and the erosion hazard is moderate.
- 7) Vegetation: The vegetation is of the Monterey Pine Forest type. It is a mixture of some mature Monterey pine trees with Coast live oak understory present. The site was recently cleared and masticated and there is very little undergrowth present.
- 8) Forest Condition and Health: The forest condition and health is evaluated with the use of the residual trees and those of the surrounding Monterey Pine Forest as a stand. This is an over-mature Monterey pine forest. The site has had little to no maintenance and the older larger trees range from poor to fair/poor in condition and health.

BACKGROUND/PROJECT DESCRIPTION

In August 2020, I (Frank Ono, F.O. Consulting) I was contacted by Ms. Susan J. Bailey of Any Habitat, who requested that I visit the site owned by Mr. Peter Yan for an assessment of trees adjacent or within the proposed construction areas. Ms. Bailey requested the findings from the review and assessment of trees that occupy the land at 1187 Lookout Road, Pebble Beach, CA 93953 that are adjacent to the proposed development be prepared and documented in a report to work in conjunction with other conditions for approval of the building permit application.

A site visit was taken to the property on September 30, 2020, where trees were assessed for health and condition at that time. The assessment focused on incorporating the preliminary location of site improvements coupled with consideration for the general goals of site improvement desired of the landowner. During this site visit, the proposed improvements assessed included preserving trees to the greatest extent feasible, maintaining the viewshed and general aesthetic quality of the area while complying with county codes. A study of the individual trees was made to determine the treatments necessary to complete the project and meet the goals of the landowner. As a result trees within and immediately adjacent to the proposed development area were located, measured, inspected, and recorded. The assessment of each tree concluded with an opinion of whether the tree should be removed, or preserved, based on the extent and effect of construction activity on the short and long-term health of the tree. All meetings and field reviews were focused on the area immediately surrounding the proposed development.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on-site and summarizes details discussed during this stage of the planning process.

- The site is forested mainly with Monterey pine trees ranging from fair to poor condition.
- 15 protected trees are proposed for removal with the current design.
 - Six (6) Coast live oak trees in fair condition in the 6-12-inch diameter class.
 - One (1) six (6) inch diameter Monterey pine tree in fair condition.
 - One (1) 23-inch diameter Monterey pine tree in fair condition.
 - One (1) 16-inch diameter Monterey pine in fair/poor condition.
 - Two (2) Monterey pines in fair/poor condition in the 23-36-inch diameter size class.
 - Four (4) Monterey pines in poor condition in the 9-22-inch diameter class.
- Most of the trees on the property are of moderate size (less than 24" in diameter" diameter) and compose the majority of the stand of trees.
- Several trees are ranging from dead to poor in their condition that should be removed before home construction. This process should be accomplished through a separate hazard tree assessment to be completed after the building plan is approved.
- No alternate building sites were considered for this assessment as the site was constrained by pre-existing setbacks and lack of available space.

TREE REMOVAL CHART

ID#	Diameter	Species	Condition	Remove	Comments
148	8	Oak	Fair	x	Lean
149	16	Pine	Poor	x	Lean, Western Gall Rust, Beetles
150	6,6	Oak	Fair	x	
151	22	Pine	Poor	x	Lean, Western Gall Rust, Beetles
152	6	Pine	Fair	x	
153	6	Oak	Fair	x	
154	8	Oak	Fair	x	
155	28	Pine	Fair/Poor	x	Lean, Exposed
156	6,6,6,8	Oak	Fair	x	
158	23	Pine	Fair	x	Fungus
159	16	Pine	Fair/Poor	x	Sweep
161*	8	Manzanita	Fair	x	
162	32	Pine	Fair/Poor	x	Beetles
163	9	Pine	Poor	x	Sweep, Termites
164	22	Pine	Poor	x	Western Gall Rust, Beetles
165	8	Oak	Fair	x	

*Not a tree

PROJECT ASSESSMENT/CONCLUSION

This proposal to build a single-family residence and driveway is planned to maintain the existing Monterey pine-forested environment, while still allowing the forest to continue to exist and regenerate over time. The majority of the property contains tree cover, which will remain undisturbed. No watercourses are near the planned construction. Whenever construction activities take place near trees, there is the potential for those trees to experience a decline in the long-term as well. The greatest attempt has been made to identify and remove those trees likely to experience such a decline.

Short Term Impacts

Site disturbance will occur during driveway and home construction. Short-term site impacts are confined to the construction envelope and immediate surroundings where trees will be removed and trimmed, and root systems are reduced. The pruning of tree crowns above 30% and reduction of root area may have a short term impact on those trees treated, including a reduction of growth, dieback, and potentially death. Every attempt has been made to recommend removing those trees likely to experience severe decline and death as a result of planned activities.

Long Term Impacts

No significant long-term impacts on the forest ecosystem are anticipated. This is due to the large number of trees that are senescent and in poor condition, combined with the relatively small amount of area that will be occupied by the proposed residence and driveway. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long-term. The removal and replacement of the large over mature trees will have a beneficial effect on the forest as a whole.

RECOMMENDATIONS

Tree Removal

There are 15 protected trees to be removed with the design as stated in the previous tree removal chart. The tree removal contractor shall verify the absence of active animal or bird nesting sites before any tree removal. If any active animal or bird nesting sites are found before tree removal, work shall be stopped until a qualified biologist is consulted for further recommendations.

Tree Planting

It is recommended replacement planting is necessary to restock the tree population. Trees should be planted in those areas with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Replacement shall be on a 1:1 ratio with nine (9) Monterey pine and six (6) Coast live oak trees for a total of 15 trees. New plantings should be five-gallon stock or larger, if available. Spacing between trees should be at least 8 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment.

Tree Protection

The health of trees remaining should not be affected if the following practices are adhered to:

- A) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip-line may encourage the development of oak root fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing, or other materials to delineate protection zones.
- B) Pruning shall be conducted so as not to unnecessarily injure the tree. General principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- C) Native live oaks are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought-resistant species are the most compatible with this goal.
- D) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- E) Oak material greater than 3 inches in diameter remaining on-site more than one month that is not cut and split into firewood should be covered with clear plastic that is dug in securely around the pile. This will discourage the infestation and dispersion of bark beetles.

- F) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected oaks following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on-site.
- G) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Tree Protection Standards

Before the commencement of any construction activity the following tree protection measures shall be implemented and approved by a qualified arborist or forester:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials. No stripping of topsoil or grubbing of understory shall occur in tree preservation zones.
- Fenced areas and the trunk protection materials shall remain in place during the entire construction period. Should access to the area be necessary a Professional Forester or Certified Arborist must be contacted to inspect the site for a recommended course of action.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
- Fencing is not to be attached to the tree but free-standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade and should be placed to the farthest extent possible from the base of the tree to protect the area within the trees drip line (typically 10-12 feet away from the base of a tree).
- In cases where access or space is limited for tree protection, it is permissible to protect the tree within the 10-12 foot distance after determination and approval by a qualified forester or arborist.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, cleaning of concrete or plaster, and/or dumping of spoils or materials shall not be allowed adjacent to trees on the property especially within or near fenced areas.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots should be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots. Again, no stripping of topsoil or grubbing of understory shall occur in tree preservation zones.
- The project architect and qualified arborist should be on-site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for retaining walls or footings located adjacent to any tree shall be done by hand where practical and any roots greater than 3-inches diameter shall be bridged or pruned appropriately.

- Any roots that must be cut shall be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock-saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation shall be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize effects, such as hand digging, bridging or tunneling under roots, etc..

Tree Pruning

It is to be understood that the pruning of retained trees is be expected for this site. Pruning shall conform to the following standards:

- Clear the crown of diseased, crossing, weak, and dead wood to a minimum size of 1-1/2 inch in diameter;
- Remove stubs, cutting outside the wound wood tissue that has formed around the branch;
- Interior branches shall not be stripped out.
- Reduce end weight on heavy, horizontal branches by selectively removing small-diameter branches, no greater than 3 inches, near the ends of the scaffolds. In some cases, larger diameters may be removed depending on the situation (where critical for safety).
- Pruning cuts larger than 4 inches in diameter, except for deadwood, shall be avoided, unless deemed crucial for safety (broken, cracked, crossing, rubbing, etc.).
- Pruning cuts that expose heartwood shall be avoided whenever possible.
- Pruning shall not be performed during periods of flight of adult boring insects because fresh wounds attract pests (generally spring). Pruning shall be performed only when the danger of infestation has passed.
- All pruning shall be performed by a qualified arborist or under the supervision of an ISA Certified Arborist or Tree Worker. Arborists are required to have a State of California Contractors License for Tree Service (C-61/D49) and provide proof of worker's compensation and general liability insurance.
- All pruning shall be following the Tree Pruning Guidelines (International Society of Arboriculture) and/or the ANSI A300 Pruning Standard (American National

Standard for Tree Care Operations) and adhere to the most recent edition of ANSI Z133.1.

- No more than 20 percent of live foliage shall be removed within the trees.
- Brush shall be chipped, and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 6 inches, leaving the trunk clear of mulch.

Fire Defensible Space (Amended PRC 4291 Effective January 1, 2019)

In addition to any pruning for construction or aesthetics, California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. The law (Public Resource Code 4291) is as follows.

(a) A person who owns, leases, controls, operates, or maintains a building or structure in, upon, or adjoining a mountainous area, forest-covered lands, brush-covered lands, grass-covered lands, or land that is covered with flammable material, shall at all times do all of the following:

(1) Maintain defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line except as provided in paragraph (2). The amount of fuel modification necessary shall take into account the flammability of the structure as affected by building material, building standards, location, and type of vegetation. Fuels shall be maintained in a condition so that a wildfire burning under average weather conditions would be unlikely to ignite the structure. This paragraph does not apply to single specimens of trees or other vegetation that are well-pruned and maintained so as to effectively manage fuels and not form a means of rapidly transmitting fire from other nearby vegetation to a structure or from a structure to other nearby vegetation. The intensity of fuels management may vary within the 100-foot perimeter of the structure, the most intense being within the first 30 feet around the structure. Consistent with fuels management objectives, steps should be taken to minimize erosion. For the purposes of this paragraph, "fuel" means any combustible material, including petroleum-based products and wildland fuels.

(2) A greater distance than that required under paragraph (1) may be required by state law, local ordinance, rule, or regulation. Clearance beyond the property line may only be required if the state law, local ordinance, rule, or regulation includes findings that the clearing is necessary to significantly reduce the risk of transmission of flame or heat sufficient to ignite the structure, and there is no other feasible mitigation measure possible to reduce the risk of ignition or spread of wildfire to the structure. Clearance on adjacent property shall only be conducted following written consent by the adjacent landowner.

(3) An insurance company that insures an occupied dwelling or occupied structure may require a greater distance than that required under paragraph (1) if a fire expert, designated by the director, provides findings that the clearing is necessary to significantly reduce the risk of transmission of flame or heat sufficient to ignite the structure, and there is no other feasible mitigation measure possible to reduce the risk of ignition or spread of wildfire to the structure. The greater distance may not be beyond the property line unless allowed by state law, local ordinance, rule, or regulation.

(4) Remove that portion of a tree that extends within 10 feet of the outlet of a chimney or stovepipe.

(5) Maintain a tree, shrub, or other plant adjacent to or overhanging a building free of dead or dying wood.

(6) Maintain the roof of a structure free of leaves, needles, or other vegetative materials.

(7) Prior to constructing a new building or structure or rebuilding a building or structure damaged by a fire in an area subject to this section, the construction or rebuilding of which requires a building permit, the owner shall obtain a certification from the local building official that the dwelling or structure, as proposed to be built, complies with all applicable state and local building standards, including those described in subdivision (b) of Section 51189 of the Government Code, and shall provide a copy of the certification, upon request, to the insurer providing course of construction insurance coverage for the building or structure. Upon completion of the construction or rebuilding, the owner shall obtain from the local building official, a copy of the final inspection report that demonstrates that the dwelling or structure was constructed in compliance with all applicable state and local building standards, including those described in subdivision (b) of Section 51189 of the Government Code, and shall provide a copy of the report, upon request, to the property insurance carrier that insures the dwelling or structure.

(b) A person is not required under this section to manage fuels on land if that person does not have the legal right to manage fuels, nor is a person required to enter upon or to alter property that is owned by any other person without the consent of the owner of the property.

(c) (1) Except as provided in Section 18930 of the Health and Safety Code, the director may adopt regulations exempting a structure with an exterior constructed entirely of nonflammable materials, or, conditioned upon the contents and composition of the structure, the director may vary the requirements respecting the removing or clearing away of flammable vegetation or other combustible growth with respect to the area surrounding those structures.

(2) An exemption or variance under paragraph (1) shall not apply unless and until the occupant of the structure, or if there is not an occupant, the owner of the structure, files with the department, in a form as the director shall prescribe, a written consent to the inspection of the interior and contents of the structure to ascertain whether this section and the regulations adopted under this section are complied with at all times.

(d) The director may authorize the removal of vegetation that is not consistent with the standards of this section. The director may prescribe a procedure for the removal of that vegetation and make the expense a lien upon the building, structure, or grounds, in the same manner that is applicable to a legislative body under Section 51186 of the Government Code.

(e) The department shall develop, periodically update, and post on its Internet Web site a guidance document on fuels management pursuant to this chapter. Guidance shall include, but not be limited to, regionally appropriate vegetation management suggestions that preserve and restore native species that are fire resistant or drought tolerant, or both, minimize erosion, minimize water consumption, and permit trees near homes for shade, aesthetics, and habitat; and suggestions to minimize or eliminate the risk of flammability of nonvegetative sources of combustion such as woodpiles, propane tanks, decks, and outdoor lawn furniture.

(f) As used in this section, “person” means a private individual, organization, partnership, limited liability company, or corporation.

Detailed descriptions of the firebreaks described in subsections (a)(1) and (a)(2) of Public Resource Code 4291. These spacings are to be used in and around proposed home site.

Zone 1

Zone 1 extends 30 feet out from buildings, structures, decks, etc.

- Remove all dead plants, grass and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees.
- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Relocate wood piles into Zone 2.
- Remove or prune flammable plants and shrubs near windows.
- Remove vegetation and items that could catch fire from around and under decks.
- Create a separation between trees, shrubs and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.

Zone 2

Zone 2 extends 100 feet out from buildings, structures, decks, etc.

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs and trees.
- Create vertical spacing between grass, shrubs and trees.
- Remove all dead trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches.

Agreement by Landowner

The following standard conditions are made a part of all Monterey County Forest Management Plans:

A. Management Objectives

1. Minimize erosion to prevent soil loss and siltation.
2. Preserve natural habitat including native forest, understory vegetation, and associated wildlife.
3. Prevent forest fire.
4. Preserve scenic forest canopy as located within the Critical Viewshed (any public viewing area).
5. Preserve landmark trees to the greatest extent possible as defined below.

B. Management Measures

1. Tree Removal: No tree will be removed without a Forest Management Plan or an Amended Forest Management Plan.
2. Application Requirements: Trees proposed for removal will be conspicuously

marked by flagging or by paint. The proposed removal of native trees greater than six inches will be the minimum necessary for the proposed development. Removal not necessary for the proposed development will be limited to that required for the overall health and long term maintenance of the forest, as verified in this plan or subsequent amendments to this plan.

3. Landmark Trees: All landmark trees will be protected from damage if not permitted to be removed as a diseased tree, which threatens to spread the disease to nearby healthy trees or as a dangerous tree, which presents an immediate danger to human life or structures. Landmark oaks are trees that are visually, historically, or botanically significant specimens or are greater than 24 inches or more in diameter at breast height (DBH), or more than 1.000 years old.

4. Dead Trees: Because of their great value for wildlife habitat (particularly as nesting sites for insect-eating birds) large dead trees will normally be left in place. Smaller dead trees will normally be removed to reduce the fire hazard. Dead trees may be removed at the convenience of the owner.

5. Thinning: Trees less than six inches diameter breast height may be thinned to promote the growth of neighboring trees, without first developing a Forest Management Plan.

6. Protection of Trees: All trees other than those approved for removal shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree, may be performed wherever necessary in the judgment of the owner, particularly to reduce personal safety and fire hazards. Retained trees which are located close to the construction site shall be protected from inadvertent damage by construction equipment through wrapping of trunks with protective materials, bridging or tunneling under major roots where exposed in foundation or utility trenches, and other measures appropriate and necessary to protect the well-being of the retained trees.

7. Fire prevention: In addition to any measures required by the local California Department of Forestry fire authorities, the owner will;

- A) Maintain a spark arrester screen atop each chimney.
- B) Maintain spark arresters on gasoline-powered equipment.
- C) Establish a "greenbelt" by keeping vegetation in a green growing condition to a distance of at least 50 feet around the house.
- D) Break up and clear away any dense accumulation of dead or dry underbrush or plant litter, especially near landmark trees and around the greenbelt.

8. Use of fire (for clearing, etc.): Open fires will be set or allowed on the parcel only as a forest management tool under the direction of the Department of Forestry authorities, pursuant to local fire ordinances and directives.

9. Clearing Methods: Brush and other undergrowth, if removed, will be cleared through methods, which will not materially disturb the ground surface. Hand grubbing, crushing, and mowing will normally be the methods of choice

10. Irrigation: In order to avoid further depletion of groundwater resources, prevent root diseases, and otherwise maintain favorable conditions for the native forest, the parcel will not be irrigated except within developed areas. Caution will be exercised

to avoid overwatering around trees.

11. Exotic Plants: Care will be taken to eradicate and to avoid the introduction of the following pest species:

- A) Pampas grass
- B) Genista (Scotch broom, French broom)
- C) Eucalyptus (large types)

Amendments

The Monterey County Director of Planning may approve amendments to this plan, provided that such amendments are consistent with the provisions of the discretionary permit or building submittal. Amendments to this Forest Management Plan will be required for proposed tree removal not shown as part of this Plan when the proposed removal fans within the description of a Forest Management Plan or Amendment to an existing Forest Management Plan.

Amended Forest Management Plan

A) An amended forest Management Plan shall be required when:

1. The Monterey County Director of Planning has previously approved a Forest Management Plan for the parcel.
2. The proposed tree removal as reviewed as part of a development has not been shown in the previously approved Forest management plan

B) At a minimum, the Amended Forest Management Plan shall consist of:

1. A plot showing the location, type, and size of each tree proposed for removal, as well as the location and type of trees to be replanted,
2. A narrative describing reasons for the proposed removal, alternatives to minimize the amount and impacts of the proposed tree removal, tree replanting information, and justification for the removal of trees outside of the developed area if proposed.

Compliance

It is further understood that failure to comply with this Plan will be considered as a failure to comply with the conditions of the Use Permit.

Transfer of Responsibility

This plan is intended to create a permanent forest management program for the site. It is understood, therefore, that in the event of a change of ownership, this plan shall be as binding on the new owner as it is on the present owner. As a permanent management program, this Plan will be conveyed to the future owner upon sale of the property.

Report Prepared By:



Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536

October 1, 2020
Date

Recommendations Agreed to by landowner:

Landowner

Date

Forest Management Plan approved by:

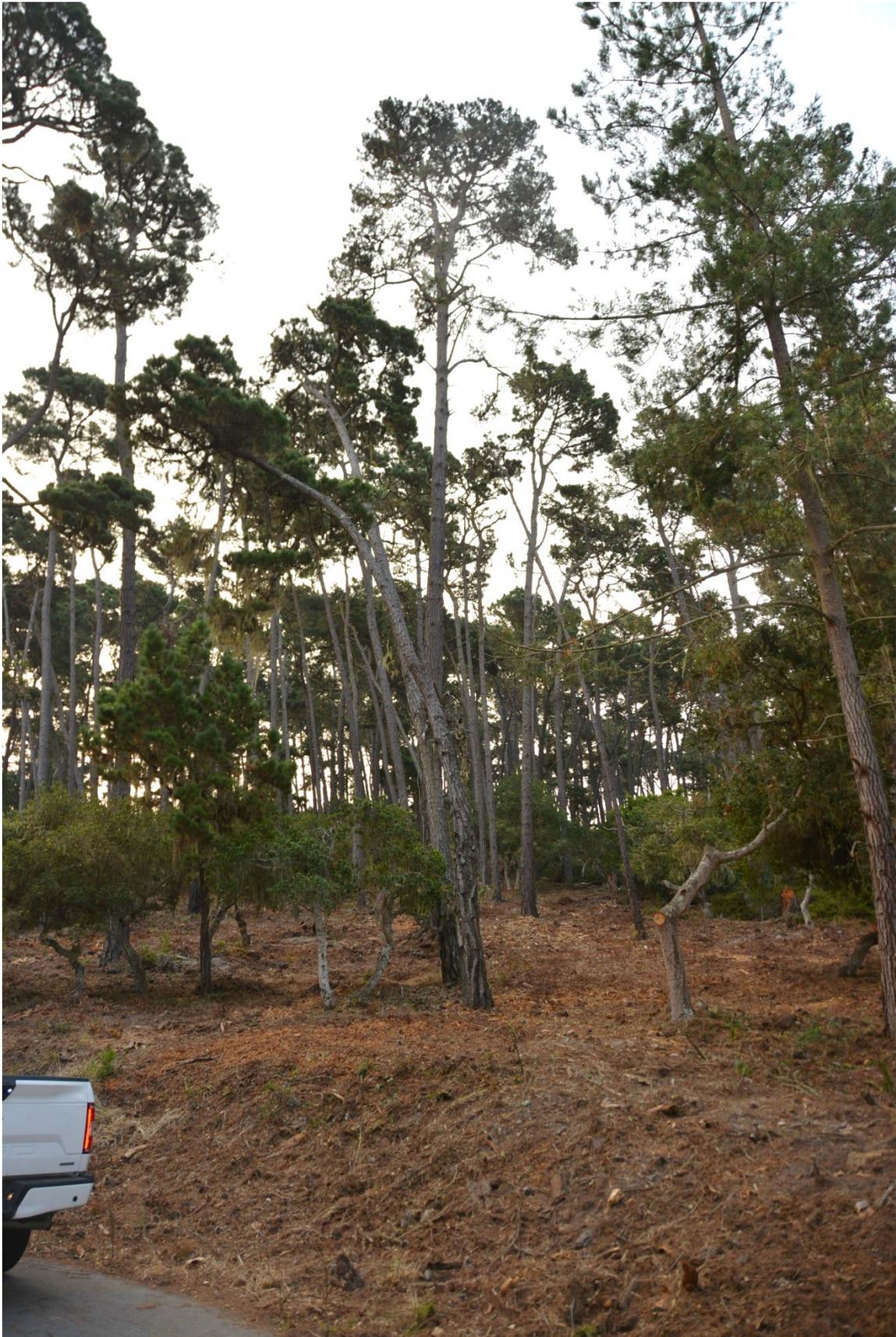
Director of Planning

Date

TOTAL TREE CHART

ID#	Diameter	Species	Condition	Remove	Comments
142	20	Pine	Fair		Exposed roots
143	10,10,8	Oak	Fair		
144	26	Pine	Fair		
145	14	Pine	Fair		Exposed roots
146	10	Oak	Fair		
147	13	Pine	Fair		Exposed roots
148	8	Oak	Fair	x	Leans into building site
149	16	Pine	Poor	x	Lean, Western Gall Rust, Beetles
150	6,6	Oak	Fair	x	
151	22	Pine	Poor	x	Lean, Western Gall Rust, Beetles
152	6	Pine	Fair	x	
153	6	Oak	Fair	x	
154	8	Oak	Fair	x	
155	28	Pine	Fair/Poor	x	Lean, Exposed
156	6,6,6,8	Oak	Fair	x	
157	18	Pine	1		Lean, Pitch Canker
158	23	Pine	Fair	x	Fungus
159	16	Pine	Fair/Poor	x	Sweep
160	8	Oak	Fair		
161	8	Manzanita	Fair	x	
162	32	Pine	Fair/Poor	x	Beetles
163	9	Pine	Poor	x	Sweep, Termites
164	22	Pine	Poor	x	Western Gall Rust, Beetles
165	8	Oak	Fair	x	
166	24	Pine	Dead		
167	8	Manzanita	Fair		Thinning crown
168	10	Oak	Poor		Top dying
169	10	Oak	Fair		
170	22	Pine	Fair/Poor		Lean, Termites
171	6	Oak	Fair		
172	22	Pine	Poor		Lean, Fungus
173	22	Pine	Poor		Lean, Fungus, Yellowjacket nest at base
174	14	Pine	Fair		Lean, Sweep
175	12	Pine	Fair/Poor		Low Live Crown Ratio
176	8	Oak	Fair		Beetles
177	20	Pine	Fair		Beetles
178	8,10	Oak	Fair/Poor		Decay in stem
179	12	Pine	Fair		
180	20	Pine	Fair		Yellowjacket nest at base
181	8	Oak	Fair		Yellowjacket nest at base
182	10	Pine	Fair		
183	8	Pine	Poor		Thinning crown
184	20	Pine	Fair		
185	10	Oak	Fair		

PHOTOGRAPHS



View upslope to the southeast, most the trees are tall, spindly, and weak



View of the site to the south



View of the site to the southeast

This page intentionally left blank

REVISIONS	BY

ANY HABITAT * SUSAN J. BAILEY
 RESIDENTIAL DESIGN * ADDITIONS * REMODELS * NEW
 P.O. Box 761, Twin Harb, CA. 95383 925 386-9492
 Agency Permit # 051 679-104

PROPOSED RESIDENCE FOR:
PETER TAN and SHEILA SUN
 1187 LOOKOUT ROAD
 PEBBLE BEACH, CA.

Date	
Scale	1" = 10'
Drawn	WB
Job	114-19
Sheet	
Of	Sheets

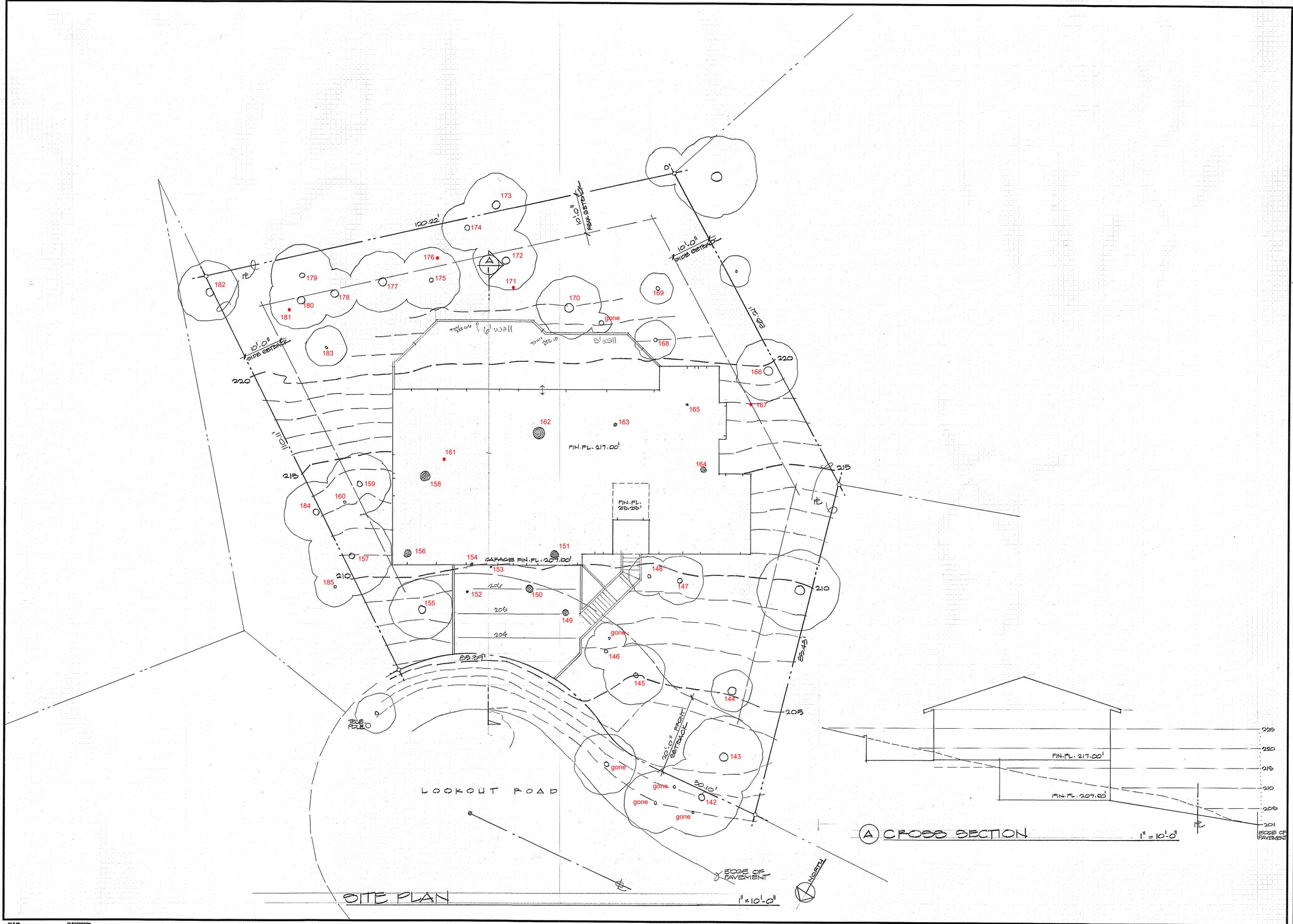


Exhibit E

This page intentionally left blank.



GMD Engineers

Foundation Engineering

SOIL INVESTIGATION REPORT (Design Phase)

Project Number: GMD 202110

Project: New Single Family Dwelling

For: Peter Yan

APN: 007-682-013-000

Location: 1187 Lookout Rd Pebble Beach, CA 93953

11 West Laurel Dr. Suite #225 Salinas, CA 93906

(831) 800-7671

(832) (831) 840-4284

E-mail: gmd.engr3@gmail.com



October 25, 2021

Peter Yan
APN: 007-682-013-000
eMail: peter_syan@yahoo.com

Project #:GMD 202110

SUBJECT: SOIL INVESTIGATION REPORT-Design Phase

Dear Mr. Yan,

In accordance with your authorization, GMD Engineers has completed a soil investigation report Design Phase for your proposed project located at 1187 Lookout Rd Pebble Beach, CA 93953.

This report includes the results of field and laboratory testing and recommendations for foundation design; as well as site development. It is our opinion that this site is suitable for the proposed development from soil engineering standpoint. The recommendations are based upon applicable standards at the time this report was done.

It has been a pleasure to be of service to you on this project. If you have any questions regarding the attached report, please don't hesitate to contact us at (831) 840-4284.

Respectfully Submitted,



GMD Engineers



GERONIMO MARTIN DALIVA CPE 65185
Registered Professional Civil Engineer

11 West Laurel Dr. Suite #225 Salinas, CA 93906

(833) 800-7671

(834) (831) 840-4284

E-mail: gmd.engr3@gmail.com

TABLE OF CONTENTS

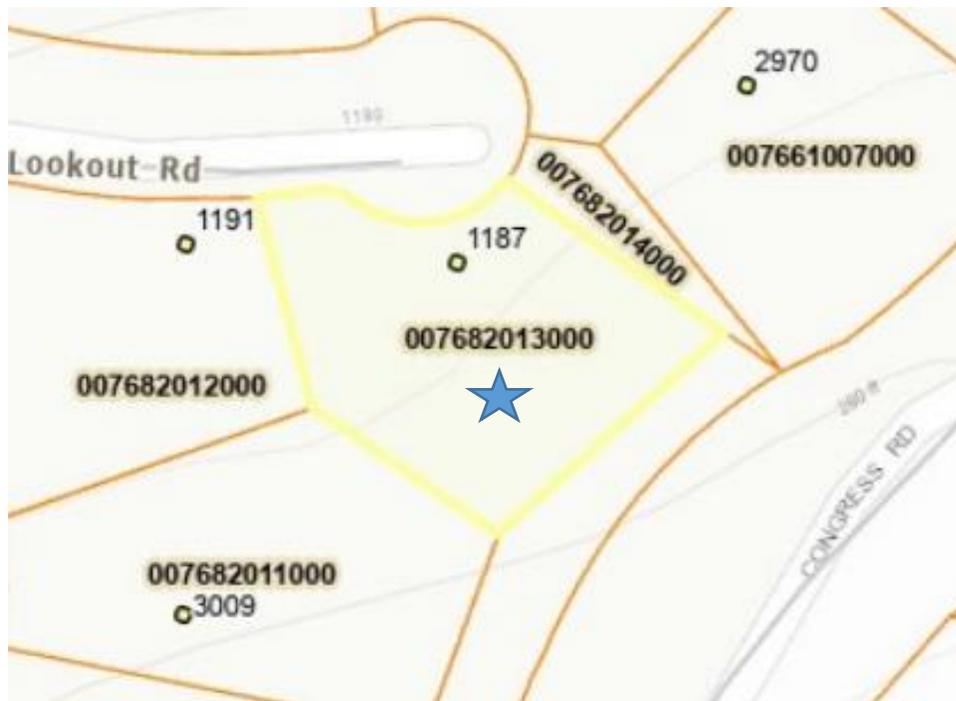
1	PROJECT DESCRIPTION
1.1	Proposed Development
1.2	Site Description
1.3	Geotechnical Setting
1.4	Geotechnical & Geological Hazards
2	INVESTIGATION & TESTING
2.1	Subsurface Geotechnical Exploration
2.2	Expansive Nature of Soil
2.3	Liquefaction Potential
3	SUB SURFACE CONDITIONS
3.1	Stratigraphy
4	GROUNDWATER
5	RECOMMENDATIONS
	2019 CBC Seismic Design Parameters
	Expected Total and Differential Settlement
	Site Preparation
	Excavation
	Structural Fill
	Graded Slope
	Fill Placement
	Foundation
	Allowable Vertical Bearing Pressure
	Resistance to Lateral Loads
	Foundation Design
	Drainage and Ground Water Considerations
	Jobsite Safety
6	LIMITATIONS
	APPENDIX A
	Unified Soil Classification System
	Log of Test Boring
	APPENDIX B
	Location of Boring
	Location of Plan
	APPENDIX C
	Results of Laboratory Soil Testing
	Seismic Parameters
	REFERENCES

1 PROJECT DESCRIPTION

1.1 PROPOSED DEVELOPMENT

This report was prepared for the exclusive use of our client, Peter Yan and his consultants for design of this project. We understand that the proposed project will include single family dwelling. In the event of project change such as the locations and scope of work of the proposed structures, or any other site features change from what is shown on the site plan included in this report, GMD Engineers should be notified so that the changes can be reviewed to determine if the recommendations presented in this report are still applicable or whether modifications are necessary.

1.2 SITE DESCRIPTION



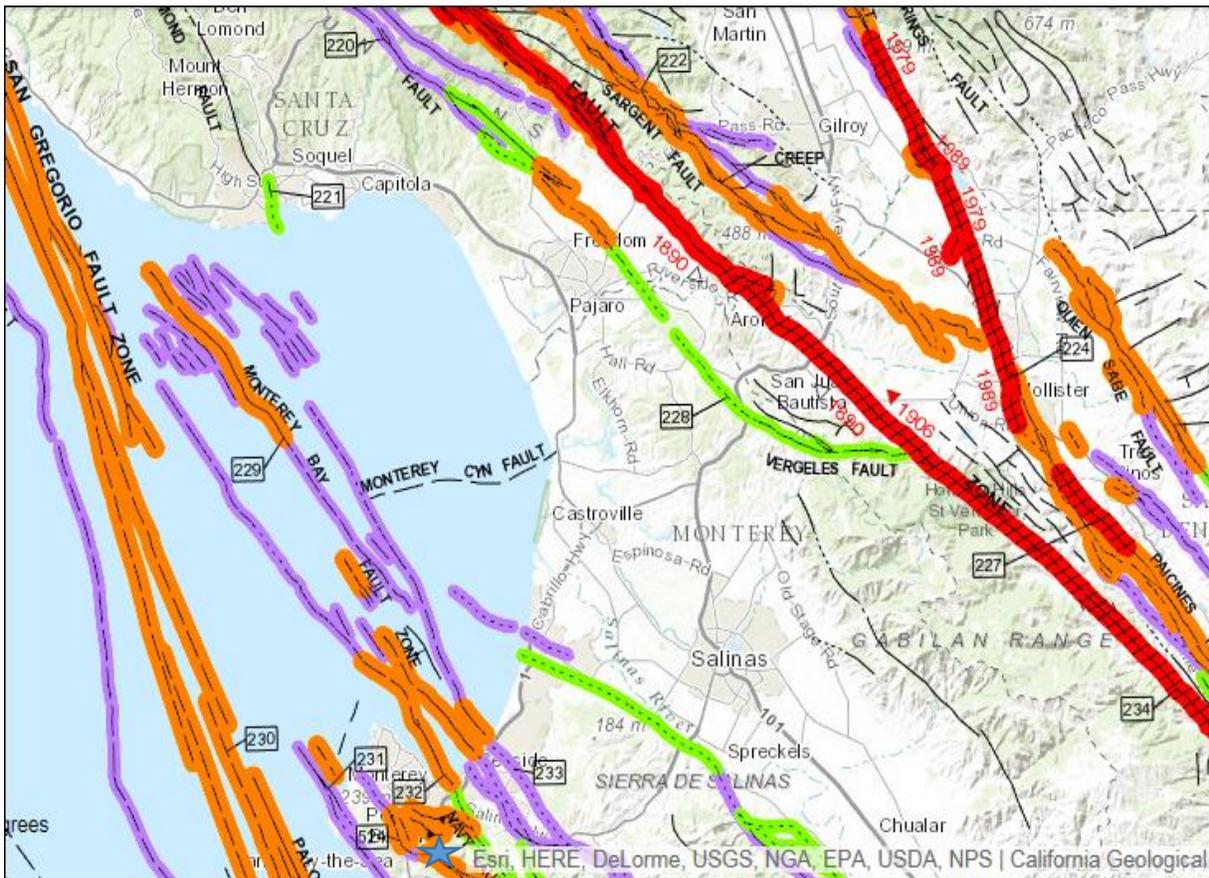
Assessor's Office Location Map

At the time of soil investigation, the 5-sided property which is vacant has a lot area of 0.3521 acre based on TR 659 Lookout Ridge Lot 31. Maximum topographic relief across the site is on the order of approximately 17 feet, generally manifest as a mild slope descending south easterly from the northwest. The site was vegetated with grasses, scrubs and some small trees.

1.3 GEOTECHNICAL SETTING

The site is not located within a currently designated Alquist-Priolo Earthquake Fault Zone and per the fault map below, no known surface expression of active faults is believed to exist within the site. California Central Coast is seismically active and the planning area can be expected to experience periodic minor earthquakes and possibly a major earthquake on one of the nearby active faults during the life of the proposed project.

Upon review of the Maps of Known Active Fault Near-Source Zones in California and Adjacent Portions of Nevada, Monterey is traversed by: San Andreas Fault, 19 miles from the site. Other faults that may cause very strong and violent ground shaking are: Berwick Canyon (reverse), Chupines (strike-slip), Cypress Point (reverse), Hatton Canyon (reverse), Sylvan thrust (reverse), Tularcitos/Navy/Monterey Bay (strike-slip) & Tularcitos/Navy/Monterey Bay (reverse) and and Vergeles. For each of the active faults, the distance from the planning area and estimated maximum moment magnitude are summarized in following table on regional faults & seismicity:



REGIONAL FAULT NEAR PROJECT SITE

Monterey County also is susceptible to high levels of groundshaking due to the numerous active faults which pass through or border the area. The entire mapped onshore active fault traces lie along the main San Andreas Fault.

The City of Pacific Grove is a city in Monterey County, California. Monterey County is traversed by a number of both 'active' and 'potentially active' faults most of which are relatively minor hazards for the purposes of the site development.

Most of the earthquakes originated from movement along the San Andreas Fault system, which runs through the southeastern portion of the county for approximately 30 miles. These faults include but are not limited to the San Andreas, Reliz, Chupines, Tularcitos, Berwick, Navy, Sylvan, Hatton, and Vergeles. Although, fault rupture through the site, is not anticipated.

The **San Andreas Fault (Type A)** is situated north-east of the subject is approximately 39 miles away. Fault in the next 30 years. Some scientist calls such magnitude of earthquake, the next "Big One".

The two largest historically recent earthquakes on the San Andreas to affect the area were the moment magnitude (M_w) 7.9 San Francisco earthquake of April 1906 and the M_w 6.9 Loma Prieta earthquake of October 1989. The San Francisco earthquake caused severe seismic shaking and structural damage to many buildings in the Monterey Bay area.

The site is likely to be shaken by earthquakes of approximately 8.0 (similar to the "San Francisco earthquake of 1906, with an average recurrence between 138 to 188 years along North coast segment of San Andreas Fault. Also, earthquakes of magnitude 6 to 7 are likely along the faults within the San Mateo area.

Major historical earthquakes in the region is seen below:

MAJOR HISTORICAL EARTHQUAKES IN THE REGION

YEAR	EPICENTER	RICHTER MAGNITUDE AT EPICENTER
1901	Parkfield	6.4
1906	San Francisco	8.3
1922	Parkfield	6.3
6.6	Parkfield	6.0
1966	Parkfield	6.6
1983	Coalinga	6.5
1984	Morgan Hill	6.1
1989	Loma Prieta	7.1
2003	San Simeon	6.5
2004	Parkfield	6.0
2019	Ridgecrest	7.1

Source: U.S. Geological Survey 2019

The Modified Mercalli Intensity (MMI) Scale provides a useful qualitative assessment of earthquake intensity. The MMI Scale is shown in the table below.

Modified Mercalli Intensity (MMI) Scale

Mercalli Intensity	Equivalent Richter Magnitude	Witness Observations
I	1.0 to 2.0	Felt by very few people; barely noticeable.
II	2.0 to 3.0	Felt by a few people, especially on upper.
III	3.0 to 4.0	Noticeable indoors, especially on upper floors, but may not be recognized as an earthquake.
IV	4.0	Felt by many indoors, few outdoors. May feel like heavy truck passing by.
V	4.0 to 5.0	Felt by almost everyone, some people awakened. Small objects moved trees and poles may shake.
VI	5.0 to 6.0	Felt by everyone. Difficult to stand. Some

		heavy furniture moved, some plaster falls. Chimneys may be slightly damaged.
VII	6.0	Slight to moderate damage in well built, ordinary structures. Considerable damage to poorly built structures. Some walls may fall.
VIII	6.0 to 7.0	Little damage in specially built structures. Considerable damage to ordinary buildings, severe damage to poorly built structures. Some walls collapse.
IX	7.0	Considerable damage to specially built structures, buildings shifted off foundations. Ground cracked noticeably. Wholesale destruction. Landslides.
X	7.0 to 8.0	Most masonry and frame structures and their foundations destroyed. Ground badly cracked. Landslides. Wholesale destruction.
XI	8.0	Total damage. Few, if any, structures standing. Bridges destroyed. Cracks in ground. Waves seen on ground.
XII	8.0 or greater	Total damage. Waves seen on ground. Objects thrown up into air.

Source: Abridged from
The Severity of an Earthquake, USGS General Interest Publication.

1.3 GEOTECHNICAL & GEOLOGICAL SEISMIC HAZARDS

The San Andreas Fault is one of the most famous and because of its proximity to large population centers in California, it one of the most dangerous earthquake-generating faults on Earth. Potential seismic hazards resulting from a nearby moderate to major earthquake may include primary lurching, ground shaking, ground rupture, liquefaction, lateral spreading, and earthquake-induced densification and landsliding. These potential hazards are discussed below. Risks from seiches, tsunamis, and inundation due to embankment failure are considered medium at the site based on the elevated topographic setting and the absence of large reservoirs in the vicinity.

LURCHING. Ground lurching is a result of the rolling motion imparted to the ground surface during energy released by an earthquake. Such rolling motion can cause ground cracks to form. The potential for the formation of these cracks is considered greater in poorly consolidated colluvial and

alluvial deposits or at the contact of surface materials with bedrock. There is no history of lurching at the project site.

GROUND SHAKING. An earthquake of moderate to high magnitude generated within the project area could cause considerable ground shaking at the site, similar to that which has occurred in the past. This hazard is not unique to this project and affects all properties in the Central Coast Area. To mitigate the shaking effects, all structures should be designed using sound engineering judgment and the latest California Building Code (CBC) requirements as a minimum. Seismic design provisions of current building codes generally prescribe minimum lateral forces, applied statically to the structure, combined with the gravity forces of dead-and-live loads. The prescribed lateral forces are generally considered to be substantially smaller than the actual peak forces that would be associated with a major earthquake. Consequently, structures should be able to (1) resist minor earthquakes without damage, (2) resist moderate earthquakes without structural damage but with some nonstructural damage, and (3) resist major earthquakes without collapse but with some structural as well as nonstructural damage. Conformance to the current building code recommendations does not constitute any kind of guarantee that significant structural damage would not occur in the event of a maximum magnitude earthquake; however, it is reasonable to expect that a well-designed and well-constructed structure will not collapse or cause loss of life in a major earthquake (SEAOC, 1996).

GROUND RUPTURE.

The site is not within a State of California Earthquake Fault Hazard Zone and no active faults that cross the site.

LIQUEFACTION. Soil liquefaction is a phenomenon under which saturated, cohesionless, loose sands experience a temporary loss of shear strength when subjected to the cyclic shear stresses caused by earthquake ground shaking. The liquefaction susceptibility is low.

LATERAL SPREADING. Lateral spreading is a failure within weaker soil material that causes the soil mass to move towards a free face or down a gentle slope. Also, erosion hazard rating is moderate.

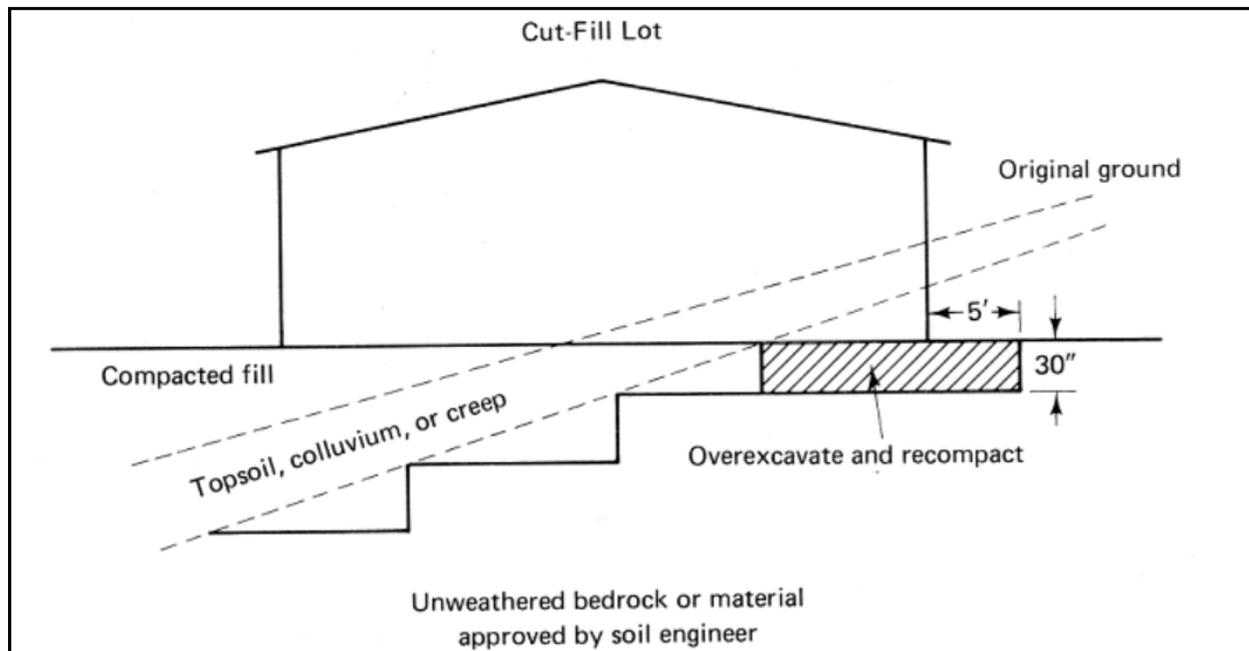
SEISMICALLY INDUCED DENSIFICATION. Densification of loose to medium dense sand above and below the groundwater level during earthquake shaking could cause settlement. There is no need to provide densification for soil improvement

SEISMICALLY INDUCED LANDSLIDING. As for all of the County of Monterey area, the risk of instability is greater during major earthquakes than during other time periods. Landslide susceptibility is low.

At the time of soil investigation, there are no existing landslides, active or inactive, present on, or adjacent to the project site. There are no geologic formations, or other earth materials located on or adjacent to the site that are known to be susceptible to landslides.

In general, future graded slopes should be constructed in conformance with our recommendations in an effort to minimize the risks associated with seismically induced erosion.

Below is typical mitigation for a Cut-and-Fill:



(From: Special Publication 117a)

The typical mitigation for a Cut-and-Fill lot is to construct a gradual “stepped” transition between bedrock and fill, over-excavating unstable soils and re-compacting

suitable fill beneath the footprint (Stewart and others, 2001). (From: Special Publication 117a)

The typical mitigation for a Cut-and-Fill lot is to construct a gradual “stepped” transition between bedrock and fill, over-excavating unstable soils and re-compacting suitable fill beneath the footprint.

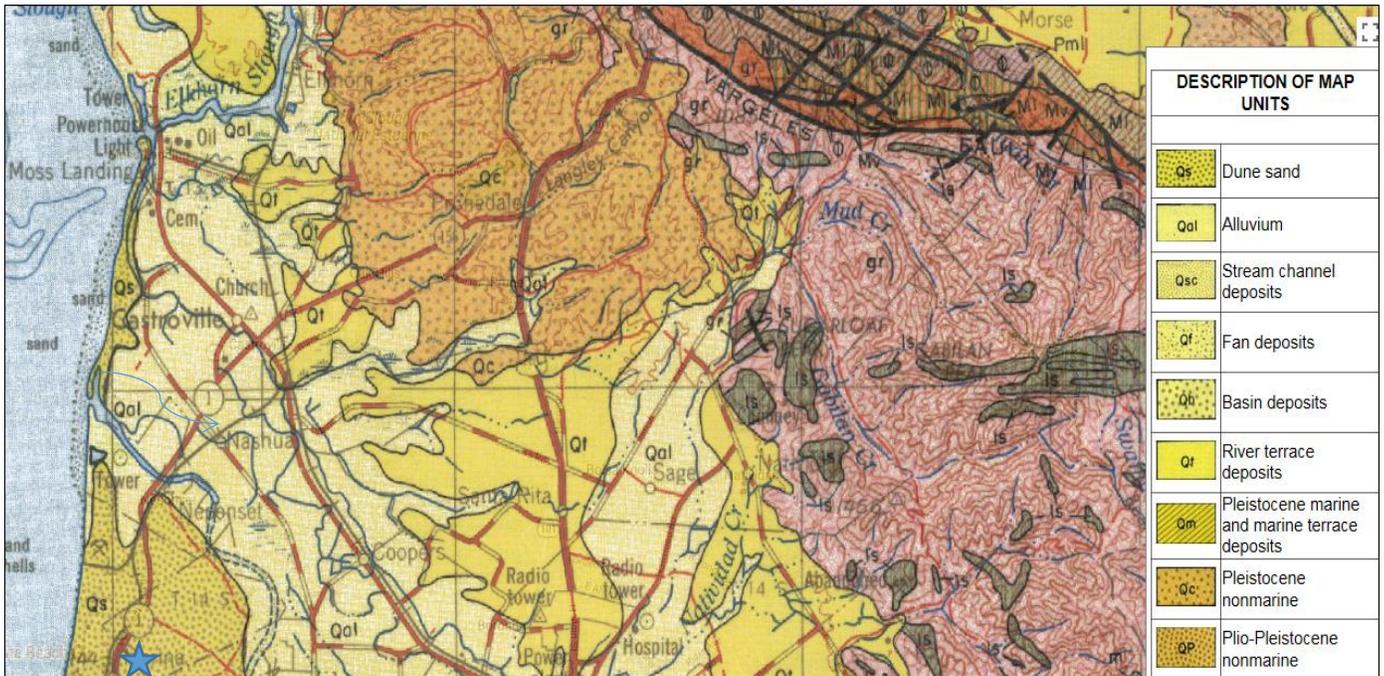
RECOMMENDED MITIGATION. The standard practice for stabilizing settlement failures at cut-fill transitions is to over-excavate during construction and grade the bedrock surface in multiple steps to provide a gradual slope transition. Fill should be compacted to a minimum of 90 percent of the maximum density as per ASTM D1557. Scarification provides a bond between the fill material and the underlying native rock. The overall grading goal is to minimize the difference in bearing capacity across the cut-fill boundary.

Although the California Building Code may be adequate for homogeneous engineered fill, the suggested geometry does not adequately consider bedding plane weaknesses, weathering, hydrostatic pressures or shear strength of the material.

1. Establish erosion-resistant vegetation on the slope face;
2. Maintain irrigation systems so they do not introduce excess water into the fill;
3. Ensure that sub-drains are kept open and control pore pressures at the base;
4. Keep surface drains in working order and discharging to acceptable outflows;
5. Control surface drainage, especially on building pads.

SOIL FLOWS. Soil flows/slips are generic terms for shallow disrupted slides composed of loose combinations of soil, surficial deposits, rock fragments, weathered rock and vegetation. The principal failure mechanism in this type of flow is fluidization of the. Although, there is no history of soil flows in the project location.

GEOLOGICAL MAP



REGIONAL GEOLOGY MAP NEAR PROJECT SITE

Site Geology:

General geologic features pertaining to the project site were evaluated by reference to Geologic Data Map No. 2 of the California Geological Survey (2010). Based on the publication, the project site and its vicinity is generally underlain by the following Quaternary geologic units:

- Q - Pleistocene to Holocene alluvium, lake, playa, and terrace deposits; unconsolidated and semi-consolidated.
- Qoa - Older Pleistocene to Holocene alluvium, lake, playa, and terrace deposits.

Legend:

Q - Alluvium, lake, playa, and terrace deposits.
 Qoa - Older alluvium, lake, playa, and terrace deposits.

Source:

California Geological Survey (2010), Geologic Map of California, Geologic Data Map No. 2, Compilation and Interpretation by Jennings (1977).

2.0 INVESTIGATION AND TESTING

2.1 SUBSURFACE GEOTECHNICAL EXPLORATION

Based on our site and boring log investigation and exploration, the site soil properties indicate that the sub-surface on the site are relatively consistent, however, there are variations in color, moisture content, and density across the site.

The subsurface exploration portion of the investigation consisted of one (2) drill rig borings that were conducted under our observation on 3/5/2021.

We observed drilling of one boring and logged the subsurface conditions eastern portion of the property. Boring location is shown on Site Plan, Appendix. We retained a portable drill rig and crew to advance the boring using 4-inch diameter solid flight auger methods.

Boring 1 was advanced to a depth of 20 feet below existing grade. Boring were backfilled with drill cuttings. We obtained soil at 5, 10 & 15\, respectively; using standard penetration tests and a 2" O.D. split spoon SPT sampler. The blow counts were obtained by dropping a 140-pound hammer through a 30-inch free fall. The sampler was driven 18 inches and the number of blows were recorded for each 6 inches of penetration. Unless otherwise indicated, the blows per foot recorded on the boring log represent the accumulated number of blows required to drive the last 1 foot of penetration; the blow counts have not been converted using any correction factors. When sampler driving was difficult, penetration was recorded only as inches penetrated for 50 hammer blows.

Soil samples were obtained at selected intervals in the soil test borings. All samples were identified according to project number, boring number and depth, encased in polyethylene plastic wrapping to protect against moisture loss, and transported to the laboratory in special containers.

The soil samples were labeled, photographed, wrapped up in transparent membrane and stored in 5-gal plastic containers according to their depth.

The following tests had been performed: moisture test (ASTM D2937-04) and D2216-05; a grain size distribution test (ASTM D 422-63 (2002) & plasticity index test (ASTM D 4318-05).

We used the field log to develop the report logs in Appendix A. The log depicts subsurface conditions at the exploration locations for the date of exploration; however, subsurface conditions may vary with time.

2.2 EXPANSIVE NATURE OF THE SOIL

The surface soils are low to medium expansive characteristics.

1. Moisture condition soil to at least 4 percentage points over the optimum moisture content.
2. Wet with clean water the excavated foundation 24 hours before pouring of concrete

2.3 LIQUEFACTION POTENTIAL

There is a no mapped liquefaction at the site.

3.0 SUBSURFACE CONDITIONS

3.1 STRATIGRAPHY

The following soil types were encountered in the soil test borings performed at the site:

Boring 1 encountered trace of grass roots up to 1-3 feet. Below the existing surface, 3-10 feet of dark brown clayey Sand, dense, then cemented sand with clay is found at 10 feet and continued below 15 ft.

Our laboratory testing indicates that this soil exhibits low to moderate shrink/swell potential with variations in moisture content.

Expansive soil can cause distress to foundations, floor slabs, pavements, sidewalks, and other improvements, which are sensitive to soil movements. We define expansive soil as any soil with a plasticity index greater than 15; soils with a plasticity index of less than 15 can be considered non-expansive.

Detailed description of the type of soil layers encountered during drilling is given in the borehole logs (Appendix B). The lines designating the interface between soil strata on the boring logs represent approximate boundaries; transition between materials may be gradual.

4.0 GROUNDWATER

Groundwater was found not found during drilling. However, groundwater levels may fluctuate with seasonal climatic variations and changes in the land use. Low permeability soils will require several days or longer for groundwater to enter and stabilize in the test borings.

5.0 RECOMMENDATIONS

The recommendations presented in the following sections of this report are based on the information available regarding the proposed construction, the results obtained from our soil test borings and laboratory tests, and our experience with similar projects. Because the test borings represent a very small statistical sampling of subsurface conditions, it is possible that conditions may be encountered during construction that are substantially different from those indicated by the soil test borings. In these instances, adjustments to design and construction may be necessary.

Seismic Design Parameters, 2019 CBC

Please refer to Appendix C

Expected Total and Differential Settlement.

The recommendations given in this report are such that settlements are negligible and as such are of little concern. The expected total settlement is expected to be ¼ inch and the expected differential settlement is less than ½ of that value.

Site Preparation

Concrete pavement, building rubble, concrete foundations and any other debris noted at or below the existing ground surface should be removed as part of the site preparation for the proposed construction area.

Excavations

There is no major grading. Temporary construction slopes should be designed and excavated in strict compliance with the rules and regulations of Occupational Safety and Health Administration (OSHA), 29 CFR, Part 1926. This document was prepared to better insure the safety of workers entering trenches or excavations, and requires that all excavations conform to the new OSHA guidelines.

The side walk of trenches constructed in these materials will be prone to sudden collapse (for trenches deeper than 2 feet) unless they are properly shored and braced or laid back at an appropriate angle. Project designers should make a clear note of this fact in the project specifications and on the project plans and should draw attention to contractor and particularly the underground contractor, to the property shore and brace or lay back the sides walls of trenches.

All work should comply with the State of California Construction Safety Orders for “Excavations, Trenches, and Earthworks”.

For the purpose of this section of the report, utility pipes, free draining sand should be used as bedding. Sand bedding should be compacted to at least 90% relative compaction based on ASTM Test Procedure D 1557-00, or to the degree of compaction specified by the utility designer.

The contractor is solely responsible for protecting excavations by shoring, sloping, benching or other means as required to maintain stability of both the excavation sides and bottom. GMD Engineers does not assume any responsibility for construction site safety or the activities of the contractor.

For this site, the overburden soil encountered in our exploratory borings consisted of mostly fat clay. We anticipate that OSHA will classify these materials as type B. OSHA recommends a maximum slope inclination of 1H: 1V for type B soils. Excavation requirements will vary depending on the actual soil conditions in some areas. Temporary construction slopes should be closely observed for signs of mass movement, such as tension cracks near the crest, bulging at the toe of the slope, etc.

Structural Fill

We do not anticipate structural fill in this project. If it is needed, we recommend that structural fill and backfill be compacted in accordance with the criteria standard engineering practice. A qualified field representative should periodically observe fill placement operations and perform field density tests at various locations throughout each lift, including trench backfill, to indicate if the specified compaction is being achieved.

STANDARD STRUCTURAL FILL PLACEMENT GUIDELINES

Areas of Fill Placement	Compaction Recommendation (ASTM D1557-Standard Proctor)	Moisture Content (Percent of Optimum)
-------------------------	---	--

Granular cushion beneath Floor Slab and over Footings	90%	As necessary to obtain density
Structural fill supporting Footings	90%	-1 to +3 percent
Structural fill placed within 5 feet beyond the perimeter of the building pad	90%	-1 to +3 percent
Grade-raise fill placed within 1 foot of the base of the pavement	90%	-1 to +3 percent
Structural fill placed below the base of the Pavement Soil Sub grade	90%	-1 to +3 percent
Utility Trenches - Within building and pavement areas	90%	-1 to +3 percent
Beneath Landscaped/Grass Areas	88%	As necessary to obtain Density

During construction, we recommend that fill materials placed in the building area have a liquid limit of less than 45, and a plasticity index of less than 25. Whenever possible, highly plastic silt (MH) or clay (CH) fill soils should not be placed within the upper 4 feet of the final ground elevation. Soils which have a liquid limit greater than 45 and a plasticity index greater than 25 will typically require removal or blending with less plastic materials to result in lower Atterberg limits.

The soil horizons were categorized as per the Unified Soils Classification System (USCS) with additional notes regarding any soft, moist, or unsuitable soils. The presence and depth of subsurface water was estimated during excavation and measured after completion of each boring. The soil descriptions and classifications contained within the boring logs (Appendix B) were determined by visual observation of a Soils Engineer unless a laboratory number denotes the soil.

Graded Slopes

There is no major cut (which is approximately less than 100 cubic yards) is anticipated.

FOUNDATION

Resistance to Lateral Loads

Lateral loads applied to foundations can be resisted by a combination of lateral bearing and base adhesion.

If the deflection resulting from the strain necessary to develop the passive pressure is within structural tolerance, the passive pressure and frictional resistance can be used in combination. Otherwise, additional passive pressure values could be provided based on tolerable deflection. The allowable values already incorporate a factor of safety and, as such, would be compared directly to the driving loads. If analytical approaches require the input of a ratio of available resisting forces and driving loads greater than unity, the ultimate values would be used.

REINFORCED CONCRETE CONSTRUCTION

Based on the results of the soil test borings, laboratory testing and our engineering evaluation, it is our opinion that the subsurface conditions are suitable for supporting the proposed structure using continuous wall footings and pad footings using the following:

- Soil bearing capacity of 2,000 psf
- All concrete in contact with soil should have a 3 inches clearance.
- All concrete should have unit weight of 150 pcf, a steel yield stress of 60,000 psi and a concrete compressive strength of 2,500 psi.
- All bearing wall footings should be embedded at least 18 inches below the lowest adjacent gradient and a minimum of 12” wide.
- Footings should a minimum of 18” below undisturbed natural grade, unless deeper footings are required to satisfy structural requirements.
- All bearing wall-footing for a raised floor construction shall have a minimum of two (2) rebars near the bottom of footing.
-

SLAB ON GRADE

Slabs-on-grade should be supported on compacted subgrade as described in this report. The slab subgrade, to a depth of 12 inches, should have moisture content above optimum immediately prior to pouring the slab or placing a vapor retarding membrane and re-compacted to a minimum of 90 percent density based on to ASTM 1557.

Slab concrete should have good density, a low water/cement ratio, and proper curing to promote a low porosity. It is recommended the water/cement ratio not exceed 0.45 to minimize vapor transfer.

All slabs on grade should have a minimum thickness of 5 full inches reinforced with #4 at 18 inches each way reinforcing bars or as directed by the Project Structural Engineer or Building Architect/Designer.

Waterproof membrane should be placed between the granular layer and the floor slab in order to reduce the moisture condensation under the floor coverings.

All concrete slabs should be underlain by a minimum of 4-inch-thick capillary break of $\frac{3}{4}$ inch clean crushed rock. It is recommended neither Class II base rock nor sand be employed as the capillary break material.

It is recommended that the slab subgrade be covered by vapor retarding membrane, 10 mil vapor barrier. Consideration could be given to extending the vapor retarding membrane around the footings to provide a more complete vapor barrier. The subgrade surface should be smooth and care should be exercised to avoid tearing, ripping, or otherwise puncturing the vapor retarding membrane. If the vapor retarding membrane becomes torn or disturbed, it should be removed and replaced or properly patched. It is recommended consideration be given to placing concrete directly on the vapor retarding membrane.

If desired by designers, the vapor retarding membrane could be covered with approximately 1 to 2 inches of saturated surface dry (SSD), relatively clean sand to protect it during construction. Concrete should not be placed if sand overlying the vapor barrier has been allowed to attain a moisture content greater than about 5% (due to precipitation or excessive moistening). Excessive water beneath interior floor slabs could result in future significant vapor transmission through the slab, adversely affecting moisture-sensitive floor coverings and the indoor environment.

RAISED FLOOR FOUNDATION

Wall footing should be embedded to a minimum of 18” below the lowest adjacent grade and a minimum of 18 wide with 2 #5 top and bottom.

Stem wall should have a minimum thickness of 8 inches with one (1) rebar near top of stem wall and (one) 1 rebar near bottom.

Pad footing should be embedded to a minimum of 18” below the lowest adjacent grade and a minimum of 20 wide with 3 #5 each way.

Drainage and Groundwater Considerations

The site should be graded to provide positive drainage to reduce storm water infiltration. Surface drainage should be planned to prevent ponding and to promote drainage of surface water away from the structure foundations, edges of pavements and sidewalks, toward suitable collection and discharge facilities. A minimum gradient of one percent for asphalt areas should be maintained. A five percent gradient should be maintained for landscaped areas immediately adjacent (within 10 feet) to the structure. In general, water should not be allowed to collect near the surface of the footing of the structures during or after construction. If water were allowed to accumulate next to the foundation, it would provide an available source of free water to the expansive soil underlying the foundation. Similarly, surface water drainage patterns or swales must not be altered so that runoff is allowed to collect next to the foundation.

Jobsite Safety

Neither the professional activities of GMD Engineers and sub consultants at a construction/project site, shall relieve the General Contractor of its obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending and coordination the work in accordance with the contract documents and any health or safety precautions required by any regulatory agencies. GMD Engineers and its personnel have no authority to exercise any control over any construction contractor or its employees in connection with their work or any health or safety programs or procedures. The General Contractor shall be solely responsible for jobsite safety.

6.0 LIMITATIONS

Changes in the project design will render our recommendation invalid unless our staff reviews such changes and our specific recommendations are modified accordingly.

Our recommendations have been in accordance with the principles and practices generally employed by the soils engineering profession and engineering geology; and as such, this acknowledgement is in lieu of all other warranties, express or implied.

This report is being issued with the understanding that it is the responsibility of the Owner, or his representative, to ensure that the information and recommendations contained within our report are called to the attention of the Project Architect/ Engineers and incorporated into the plans, and that the necessary steps are being taken to ensure that the Contractors and Sub Contractors carry out such recommendations in the field.

Unanticipated soil and bedrock conditions are commonly encountered and cannot be fully evaluated by surface geologic investigations or exploratory borings, and frequently require that additional expenditures be made to attain proper development. Some contingency fund should be allotted to accommodate these possible extra costs.

We recommend the following:

1. We should be retained to provide observations and testing during removal of unsuitable soils, placement of select fill, preparation of subgrade, and construction observation of footing excavations.
2. We should be contacted with any questions that arise regarding application of our recommendations during construction, or if any soil conditions different from those described

APPENDIX A

Unified Soil Classification System

Log of Test Boring

UNIFIED SOIL CLASSIFICATION SYSTEM – ASTM D2488 (Modified)

PRIMARY DIVISIONS			GROUP SYMBOL	SECONDARY DIVISIONS
COARSE GRAINED SOILS MORE THAN HALF OF MATERIAL IS LARGER THAN #200 SIEVE SIZE	GRAVELS MORE THAN HALF OF COARSE FRACTION IS LARGER THAN #4 SIEVE	CLEAN GRAVELS (LESS THAN 5% FINES)	GW	Well graded gravels, gravel-sand mixtures, little or no fines
		GRAVELS (MORE THAN 12% FINES)	GP	Poorly graded gravels or gravels-sand mixtures, little or no fines
			GM	Silty gravels, gravel-sand-silt mixtures, non-plastic fines
		GC	Clayey gravels, gravel-sand-clay mixtures, plastic fines	
	SANDS MORE THAN HALF OF COARSE FRACTION IS SMALLER THAN #4 SIEVE	CLEAN SANDS (LESS THAN 5% FINES)	SW	Well graded sands, gravelly sands, little or no fines
			SP	Poorly graded sands or gravelly sands, little or no fines
		SANDS (MORE THAN 12% FINES)	SM	Silty sands, sand-silt mixtures, non-plastic fines
			SC	Clayey sands, sand-clay mixtures, plastic fines
FINE GRAINED SOILS MORE THAN HALF OF MATERIAL IS SMALLER THAN #200 SIEVE SIZE	SILTS AND CLAYS LIQUID LIMIT IS LESS THAN 35%		ML	Inorganic silts and very fine clayey sand silt sands, with slight plasticity
	SILTS AND CLAYS LIQUID LIMIT IS BETWEEN 35% AND 50%		CL	Inorganic clays of low to medium plasticity, gravelly, sand, silty or lean clays.
			OL	Organic silts and organic silty clays of low plasticity.
			MI	Inorganic silts, clayey silts and silty fine sands of intermediate plasticity
	SILTS AND CLAYS LIQUID LIMIT IS GREATER THAN 50%		CI	Inorganic clays, gravelly/sandy clays and silty clays of intermediate plasticity.
			OI	Organic clays and silty clays of intermediate plasticity.
			MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
	HIGHLY ORGANIC SOILS		CH	Organic clays of high plasticity, fat clays
			OH	Organic clays of medium to high plasticity, organic clays
				PT

BORING LOG EXPLANATION

LOGGED BY _____ DATE DRILLED _____ BORING DIAMETER _____ BORING NO. _____

Depth, ft.	Sample No. and Type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	SPT "N" Value	Plasticity Index	Dry Density, p.c.f.	Moisture % of Dry Wt.	MISC. LAB RESULTS
1			← Ground water elevation						
2	1-	L	← Soil Sample Number ← Soil Sample Size/Type						
3			L = 3" Outside Diameter M = 2.5" Outside Diameter T = 2" Outside Diameter ST = Shelby Tube BAG = Bag Sample						
4									
5									

RELATIVE DENSITY

SANDS AND GRAVELS	BLOWS/FOOT
VERY LOOSE	0-4
LOOSE	4-10
MEDIUM DENSE	10-30
DENSE	30-50
VERY DENSE	OVER 50

CONSISTENCY

SILTS AND CLAYS	BLOWS/FOOT
VERY SOFT	0-2
SOFT	2-4
FIRM	4-8
STIFF	8-16
VERY STIFF	16-32
HARD	OVER 32



GMD ENGINEERS
SOIL & FOUNDATION ENGINEERING

11 W LAUREL DR STE 225 SALINAS CA 93906
(831) 840-4284
gmd.engr3@gmail.com

1187 Lookout Rd Pebble Beach, CA 93953
Single Family Dwelling

GMD-202110

BORING LOG

Project: Single Family Dwelling	Project Number: 202110	Client: Peter Yan	Boring No. B-1
Address, City, State 1187 Lookout Rd Pebble Beach, CA 93953		Drilling Contractor: CA Geotech	Drill Rig Type: B-24
Logged By: TIM	Date	Started: 05 March 2021	Bit Type: 4-wing (solid head) carbide-tipped
Drill Crew: -		Completed: 05 March 2021	Hammer Type: Diameter: 4.0"
USA Ticket Number: xxx	Backfilled: Yes		Hammer Weight: 130 lbs
	Groundwater Depth: not encountered		Hammer Drop: 0.762-m
		Elevation:	Total Depth of Boring: 15 ft

Depth (feet)	Sample Type	Sample Number	Blow Counts (blows/foot)	Graphic Log	Lithology		
					Dry Density (pcf)	Moisture Content (%)	Field Penetrometer (tsf)
0					Soil Group Name: modifier, color, moisture, density/consistency, grain size, other descriptors Rock Description: modifier color, hardness/degree of concentration, bedding and joint characteristics, solutions, void conditions.		
5	1-a	14			118	6	2.2
10	1-b	24				6.5	2.8
15	1-C	38				9	3.6
20				CONSISTENT			
				Groundwater not encountered at 15 feet during drilling.			

- Standard Penetration Split Spoon Sampler (SPT)
- California Sampler
- Shelby Tube
- CPP Sampler

- Stabilized Ground water
- Groundwater At time of Drilling
- Bulk/ Bag Sample



1187 Lookout Rd Pebble Beach, CA 93953
 Single Family Dwelling

GMD-202110

BORING LOG

Project: Single Family Dwelling		Project Number: 202110		Client: Peter Yan		Boring No. B-2	
Address, City, State 1187 Lookout Rd Pebble Beach, CA 93953				Drilling Contractor: CA Geotech		Drill Rig Type: B-24	
Logged By: TIM		Date	Started: 05 March 2021		Bit Type: 4-wing (solid head) carbide-tipped		
Drill Crew: -			Completed: 05 March 2021		Hammer Type:		Diameter: 4.0"
USA Ticket Number: XXX		Backfilled: Yes		Hammer Weight: 130 lbs		Hammer Drop: 0.762-m	
		Groundwater Depth: not encountered		Elevation:		Total Depth of Boring: 15 ft	
Depth (feet)	Sample Type	Sample Number	Blow Counts (blows/foot)	Graphic Log	Lithology		
					Dry Density (pcf)	Moisture Content (%)	Field Penetrometer (tsf)
0					Soil Group Name: modifier, color, moisture, density/consistency, grain size, other descriptors Rock Description: modifier color, hardness/degree of concentration, bedding and joint characteristics, solutions, void conditions.		
5	1-a	14		Silty SAND (SM) with trace of clay, dark brown, some grass roots, dense to very dense, dry	116	6.5	2.5
10	1-b	22		Clayey SAND (SC), reddish brown to dark brown, with trace of small gravels 1/2" max diameter, dry, very dense		8	2.8
15	1-C	30		Clayey SAND (SC), gray-brown, very dense, damp, with some fine-grained gravels.		9.5	3.6
20				CONSISTENT Groundwater not encountered at 18 feet during drilling.			

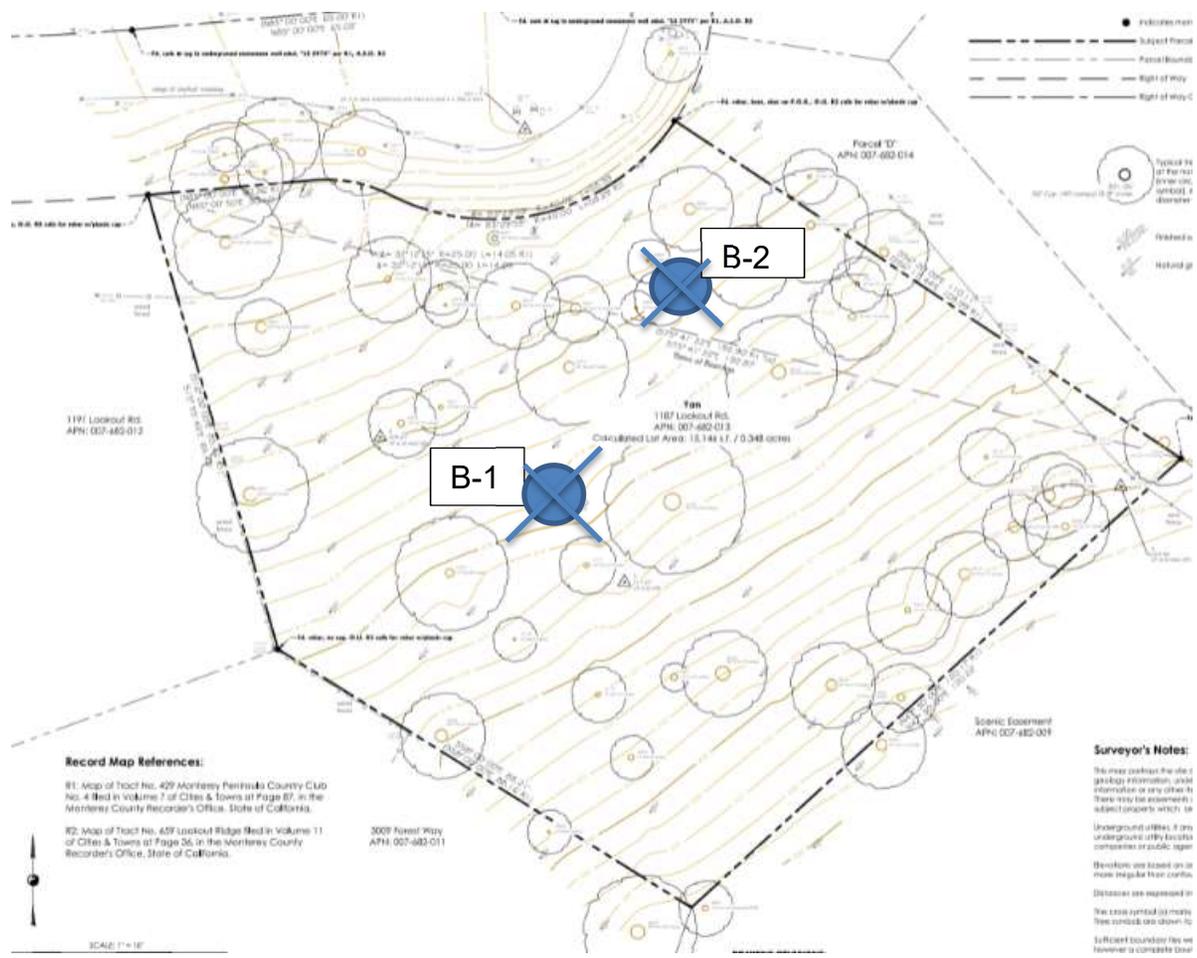
- Standard Penetration Split Spoon Sampler (SPT)
- California Sampler
- Shelby Tube
- CPP Sampler

- Stabilized Ground water
- Groundwater At time of Drilling
- Bulk/ Bag Sample

APPENDIX “B”

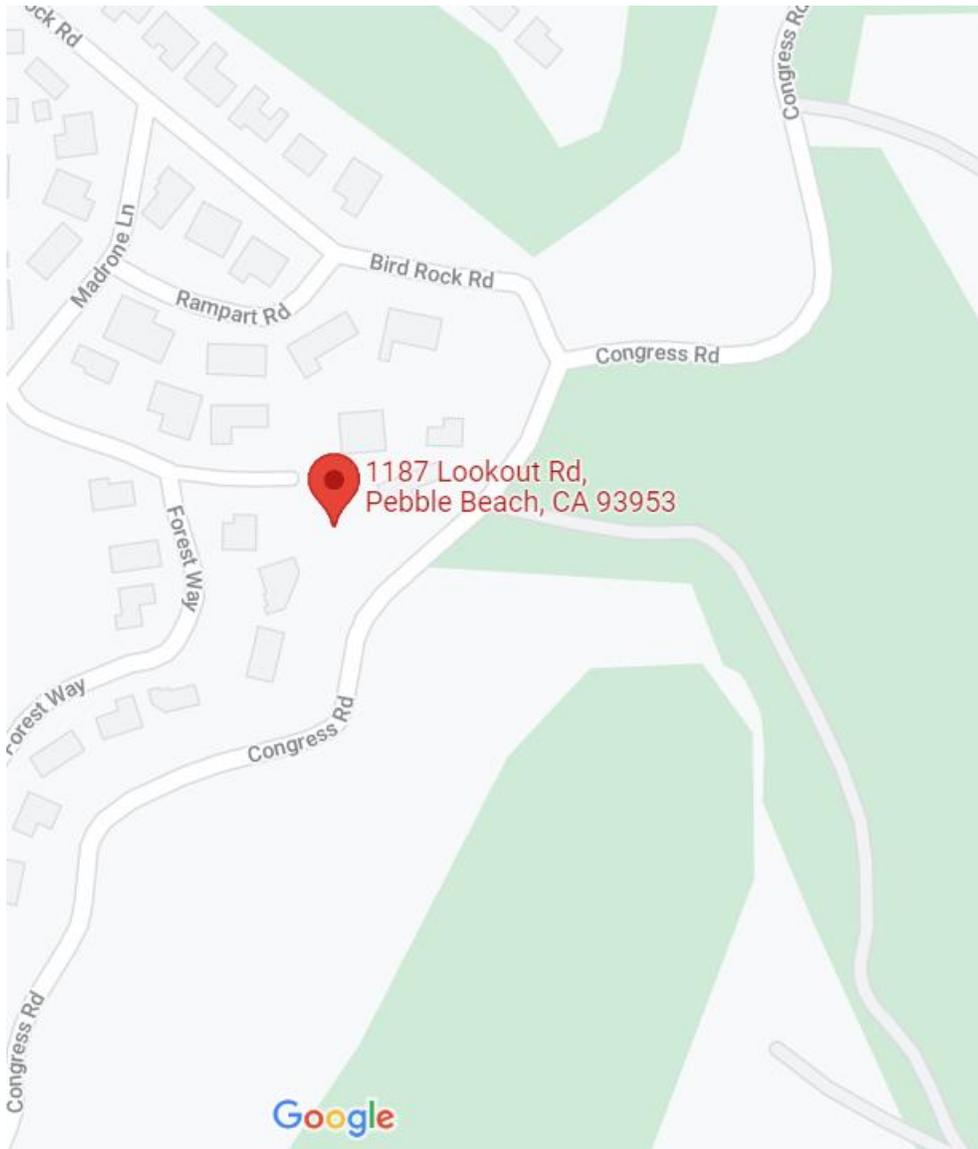
Location of Boring

Location Plan



APPROXIMATE BORING LOCATION

1187 Lookout Rd Pebble Beach, CA 93953



SITE MAP

1187 Lookout Rd Pebble Beach, CA 93953

APPENDIX “C”

Results of Laboratory Soil Testing

SOIL CLASSIFICATION ACCORDING ASTM

I. GRAIN SIZE PROPERTIES	
Percent, gravel:	3%
Percent, sand:	34%
Percent, passing No 200:	33%
Coefficient of uniformity Cu:	
Coefficient of curvature Cc:	

0% 67%
0% 100%
Gravel & Sand Silt & Clay

CLASSIFICATION RESULTS

Group symbol:

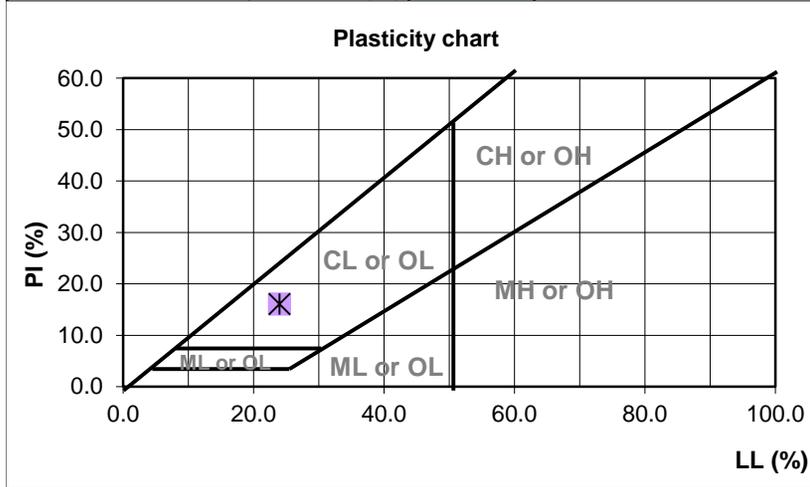
SC

English designation as:

Clayey Sand

(It may be necessary to click on a random cell after changing input data in order to refresh the results)

II. PLASTICITY OF FINES (PASSING SIEVE No.40)	
Liquidity Limit LL (%)	24.0
Plasticity Index PI(%)	16.0
<input type="checkbox"/> Organic with LLdry/LL<0.75	



<p style="margin: 0;">GMD ENGINEERS SOIL & FOUNDATION ENGINEERING 11 WEST LAUREL DRIVE SUITE 225 SALINAS CA 93906 (831) 840-4284 gmdalivaengineers@gmail.com</p>	<p style="text-align: center;">BORING #2 @ 6 FT</p> <p>1187 Lookout Rd Pebble Beach,</p>	<p>Project #: GMD 202110 DATE: 3/05/2020 PLATE NO: B-2</p>
--	---	--



1187 Lookout Rd Pebble Beach, CA 93953

1187 Lookout Rd, Pebble Beach, CA 93953, USA

Latitude, Longitude: 36.592395, -121.939187



Date	1/15/2022, 12:31:14 AM
Design Code Reference Document	ASCE7-16
Risk Category	II
Site Class	D - Default (See Section 11.4.3)

Type	Value	Description
S_S	1.291	MCE_R ground motion. (for 0.2 second period)
S_1	0.487	MCE_R ground motion. (for 1.0s period)
S_{MS}	1.55	Site-modified spectral acceleration value
S_{M1}	null -See Section 11.4.8	Site-modified spectral acceleration value
S_{DS}	1.033	Numeric seismic design value at 0.2 second SA
S_{D1}	null -See Section 11.4.8	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	null -See Section 11.4.8	Seismic design category
F_a	1.2	Site amplification factor at 0.2 second
F_v	null -See Section 11.4.8	Site amplification factor at 1.0 second
PGA	0.566	MCE_G peak ground acceleration
F_{PGA}	1.2	Site amplification factor at PGA
PGA_M	0.679	Site modified peak ground acceleration
T_L	12	Long-period transition period in seconds
SsRT	1.291	Probabilistic risk-targeted ground motion. (0.2 second)
SsUH	1.416	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
SsD	1.705	Factored deterministic acceleration value. (0.2 second)
S1RT	0.487	Probabilistic risk-targeted ground motion. (1.0 second)
S1UH	0.532	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S1D	0.615	Factored deterministic acceleration value. (1.0 second)
PGAd	0.707	Factored deterministic acceleration value. (Peak Ground Acceleration)
C_{RS}	0.912	Mapped value of the risk coefficient at short periods

Type	Value	Description
C _{R1}	0.915	Mapped value of the risk coefficient at a period of 1 s

REFERENCES

1. 2019 California Building Code, SOIL AND FOUNDATIONS
2. Tyler G. Hicks., 2000, HANDBOOK OF CIVIL ENGINEERING CALCULATION; SOIL MECHANICS
3. Navdocks DM-7, DESIGN MANUAL, SOIL MECHANICS, FOUNDATIONS, AND EARTH STRUCTURES; LABORATORY TEST AND PROPERTIES, Chapter 3, Section 6 Test and Compacted Soils Page 7-3-20
4. Design Manual 7.02, FOUNDATIONS & EARTH STRUCTURES; EXCAVATIONS
5. ASCE Standard 7-16, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES; DEAD LOADS, SOIL LOADS, AND HYDROSTATIC PRESSURE
6. John D. Nelson & Debora J. Miller, EXPANSIVE SOILS; IDENTIFICATION AND CLASSIFICATION OF EXPANSIVE SOIL
7. Cheng Liu & Jack B. Evett, 2ND ED. SOIL PROPERTIES; TESTING, MEASUREMENT, AND EVALUATION LAB MANUAL
8. Amer Ali Al-Rawas & Mattheus F.A. Goosen, 2006 ED EXPANSIVE SOILS; NATURE, IDENTIFICATION, AND CLASSIFICATION OF EXPANSIVE SOILS; Prediction and Classification of Expansive Clay Soils Page 25-36
9. Ruwan Rajapakse, P.E. 2004 GEOTECHNICAL ENGINEERING; PILE DESIGN & CONSTRUCTION
10. David McCarthy, ESSENTIALS OF SOILS MECHANICS & FOUNDATIONS; Fourth Edition
11. Maps of Active Fault Near-Source Zones in California & Adjacent Portions of Nevada; Limitations, References, Index Maps and Determining Distances from Faults within Bordering the State of California

Exhibit F

This page intentionally left blank.

MINUTES
Del Monte Land Use Advisory Committee
Thursday, August 3, 2023

1. Meeting called to order by Lori Lietzke at 3:05 pm

2. Roll Call

Members Present:

Lori Lietzke, Carol Church, Maureen Lyon, Bart Bruno, Kamlesh Parikh

Members Absent:

Ned Van Roekel, Rick Verbanec, Kim Caneer

3. Approval of Minutes:

A. June 15, 2023 minutes

Motion: Bart Bruno (LUAC Member's Name)

Second: Carol Church (LUAC Member's Name)

Ayes: Bart Bruno, Carol Church, Kamlesh Parikh

Noes: none

Absent: _____

Abstain: Lori Lietzke, Maureen Lyon

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

Lori Leitzke, Chairperson, recused herself due to proximity of property to her home. Carol Church chaired meeting.

7. Meeting Adjourned: 3:40 pm

Minutes taken by: Maureen Lyon

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
 1441 Schilling Place 2nd Floor
 Salinas CA 93901
 (831) 755-5025

Advisory Committee: Del Monte Forest

1. **Project Name:** YAN SHI & SUN YING
File Number: PLN190439
Project Location: 1187 LOOKOUT RD, PEBBLE BEACH, CA 93953
Assessor's Parcel Number(s): 007-682-013-000
Project Planner: Marlene Garcia
Area Plan: Greater Monterey Peninsula Area Plan
Project Description: Design Approval for the construction of a 4,521 square foot single family dwelling inclusive of an attached garage; and a Use Permit for the removal of 15 protected trees (9 Monterey Pine & 6 Coast Live Oak).

Was the Owner/Applicant/Representative present at meeting? YES x NO

(Please include the names of the those present)

Cynthia Spellacy (presenting for Susan Bailey); Neighbors: Wes Truscott Gail Ann Turcott, David Goupil, Dave Engelberg, Joe Suprenant; Monica Suprenant

Was a County Staff/Representative present at meeting? Marlene Garcia (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
David Goupil	x		Addressed concerns referenced in letter sent by David Goupil, neighbor, to County Planner Marlene Garcia on August 3, 2023
			Concerns: Property flagging and adequate on site parking for construction crews.

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Lack of decision making representation by owner, builder, etc.. who could answer neighbor's concerns		Need representation at meeting.
Lack of adequate parking on property site for construction crews. Property on narrow road and cul de sac.		Resubmit plan to include a construction site parking plan for more than 2 vehicles.

ADDITIONAL LUAC COMMENTS

Recommend denial since property has already had 3 continuances and still no responsible party for the project was present at meetings.

RECOMMENDATION:

Motion by: Bart Bruno (LUAC Member's Name)

Second by: Maureen Lyon (LUAC Member's Name)

~~Support Project as proposed~~ - Do not support Project

Support Project with changes

Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: Maureen Lyon, Bart Bruno, Carol Church

Noes: Kamlesh Parikh

Absent: Ned Van Roekel, Rick Verbanec, Kim Caneer

This page intentionally left blank

Exhibit G

This page intentionally left blank.

From: [David Goupil](#)
To: [Garcia, Marlene](#)
Cc: [Angelo, Philip](#)
Subject: Del Monte Forest Land Use Advisory Committee meeting/Yan Shi & Sun Ying project
Date: Thursday, August 3, 2023 12:18:04 PM

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

To Whom It May Concern,

My name is David Goupil and I live at 1171 Lookout Road, Pebble Beach CA. I'm writing to express my concerns about the proposed new home construction planned for 1187 Lookout Road, Pebble Beach CA by Yan Shi and Sun Yang.

I attended the previous meeting of the Del Monte Forest Land Use Advisory Committee (LUAC) in April 6, 2023 when this project was reviewed and there were many questions from committee members and neighbors. The owners' representative attended via one of her associate's cell phones.

The representative (project designer) acted in a most unprofessional manner and my primary concern is with her unwillingness to take responsibility for the project. Most of the issues raised were not addressed during the April meeting. Here are a few examples of the concerns and the response from the owners representative:

-The flagging appeared to be incorrectly erected and was severely damaged during the January/February winter storms. The owners representative stated she, "didn't install the flagging and had no control over its placement and condition, this was the responsibility of the flagging company."

-The property at 1187 Lookout Road is severely sloped, raising concerns about "on-site" parking for the construction vehicles and crews. Lookout Road is a narrow street. When advised on the rules/regulations regarding contractor parking, the owners rep reiterated her lack of control over where contractors park during construction.

I understand that the owners representative is not from this area and may need to be reminded of the construction process in Monterey County. My specific issue is with the project designer's unwillingness to take responsibility to adhere to the county's construction process requirements. Being unaware of the local regulations regarding the construction process does not solely constitute "unprofessional behavior". It was the combination of her lack of responsibility as well as her statement, "Well if everyone can shut up for a second, I'll try to answer...." This outburst caused everyone to step back in surprise at the aggressive and rude communication from the one person who is responsible for the construction process.

I fully support the owners desire and ability to build their home in our community and hope the LUAC review process helps to assure the project moves forward by following all local and county rules and minimizes disruption to the neighborhood throughout the construction.

Sincerely,
David Goupil
1171 Lookout Road
Pebble Beach CA

This page intentionally left blank



County of Monterey

Item No.4

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-011

January 29, 2025

Introduced: 1/22/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

REFERRAL 24.1 - REBUILD STATUS FOR BURNED DOWN PROPERTY IN PAJARO

- a. Consider receiving a status update regarding rebuild status of property in Pajaro just off the bridge along Porter Drive;
- b. Provide direction to staff.

Project Location: North County Inland Area (APN 117-332-003-000)

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

RECOMMENDATION:

It is recommended that the Planning Commission:

- a. Receive status update regarding rebuild status of property in Pajaro just off the bridge along Porter Drive;
- b. Provide direction to staff.

SUMMARY

This report provides a response regarding Planning Commission Referral No. 24.1 (Rebuild Status for Burned down property in Pajaro).

In 2017, an unprecedented fire damaged both the commercial and residential buildings located at 8 Porter Road, Pajaro, California. The residential building sustained partial damage. A building permit (17CP02147) was applied for in 2017 to repair the affected residential building. The repairs were completed, and the permit was finalized in 2018. As of today, the residential building shows no visible signs of fire damage and is occupied by residents.

The commercial building previously housed a small appliance repair store and a hair salon. Due to the fire, neither business was able to resume operations in the building. Since then, the commercial property has remained vacant, fenced off, and has contributed to community blight. Over the years, multiple code enforcement cases have been opened due to the building's poor condition. Efforts to redevelop the site began in 2020 but faced delays and challenges, ultimately resulting in the abandonment of the initial redevelopment plans. Currently, the commercial property remains vacant and fenced off. A demolition permit for the remaining structure has been submitted and is ready to proceed, pending final actions by the property owner.

DISCUSSION

In 2018, the first code enforcement case (18CE00393) was opened on the property that was triggered by the fire damaged commercial building, overgrown weeds, and the poor conditions of the property that continued to cause a public nuisance. This code enforcement case was resolved when

the property owner cleaned up the property and was issued demolition permits to demolish the portions of the commercial building that was damaged by the fire. Subsequently, a planning pre-application (PLN200234) was submitted to the County in October of 2020 for a General Development Plan to allow a rebuild of 5,246 square foot existing fire damaged commercial building and addition of a 5,246 square foot four (4) apartment units for residential use to the second floor and expansion of parking and landscaping. A planner was assigned to the project shortly after and a project checklist was sent to the applicant in March of 2021. The project was formally submitted in October of 2022, at which point it was reviewed by the fire department and HCD-Environmental Services, but incomplete by the Environmental Health Bureau (EHB) and HCD-Engineering Services, who requested a can and will serve letter from Pajaro Sunny-Mesa Community Services District for potable water service, and a traffic assessment, respectively. These materials were subsequently submitted and the departments revised their determinations to complete in May, 2023. Planning staff requested additional information and clarifications for their review of the proposed project in June, 2023. The applicant needed provide the total square footage and number of units for the existing apartments to ensure they comply with Title 21, Section 21.20.060.R, which requires residential space in Heavy Commercial zoning to be smaller than commercial space. This information would be used for the affordable housing calculations under Monterey County Code Chapter 18.40. Additionally, there was concerns setback between the proposed building and the neighboring lot (APN 117-332-002-000) which need to be specified to address egress, fire rating, and other structural concerns, with setbacks determined by the General Development Plan. Finally, planning staff requested the applicant to revise General Development Plan narrative to allow for flexibility in future retail uses while staying consistent with Title 21. Staff met with the project architect to review their questions and re-forwarded them on September 27, 2023, but no resubmittal was received afterward.

The most recent activity on the project was its presentation to the North County Land Use Advisory Committee in August 2023, where the proposal was recommended for approval as submitted. However, the applicant has not been actively pursuing the project, and recent conversations between County staff and the property owners indicate that a new property agent would be taking over the design and planning of the project to submit a new development proposal. As the previous project (PLN200234) was deemed economically unfeasible due to high costs. The new approach aims to add more residential units while retaining similar commercial space, and the team is currently collaborating with a new architect to develop a revised design for a formal submittal to the County.

A second code enforcement citation was issued to the property owner on September 30, 2021, for the substandard fire damaged building, storage of inoperable vehicles and poor property conditions that continue to cause public nuisance. In July of 2022, the County and the property owner entered into a stipulated agreement in which the administrative fines and penalties would be waived upon immediate removal of the accumulation of rubbish and garbage and that a construction permit be pulled to have the building be repaired or demolished.

On September 23, 2024, a construction permit application was submitted to demolish the remaining 2,676 square feet of commercial building on the property (24CP03040). As of December 12, 2024, the permit has been reviewed for completeness and ready to be issued to the applicant. The applicant would need to pull the permit and pay the outstanding fees to proceed with demolition of the remaining 2,676 square feet of commercial building.

ENVIRONMENTAL REVIEW

This report is Statutorily Exempt pursuant to Section 15262 of the CEQA Guidelines it does not involve a commitment to a project.

OTHER AGENCY INVOLVEMENT

Multiple County departments are involved in planning efforts in for this planning project located in Pajaro: County of Monterey Housing and Community Development is leading this effort; Health Department's Environmental Health Bureau a, Civil Rights Office; County Administrative Office's Sustainability Program and Office of Community Engagement and Strategic Advocacy; and the Public Works, Facilities and Parks Department.

Prepared by: Edgar Sanchez, HCD Assistant Planner, (831)783-7058

Reviewed and Approved by: Melanie Beretti, AICP, Chief of Planning

cc: Monterey County Department of Emergency Management, Monterey County Department of Public Works, Monterey County Environmental Health Bureau, Monterey County Civil Rights Office, Monterey County Water Resources Agency, US Army Corps of Engineers, Monterey County District 1, Monterey County District 2



County of Monterey Planning Commission

Item No.4

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-011

January 29, 2025

Introduced: 1/22/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

REFERRAL 24.1 - REBUILD STATUS FOR BURNED DOWN PROPERTY IN PAJARO

- a. Consider receiving a status update regarding rebuild status of property in Pajaro just off the bridge along Porter Drive;
- b. Provide direction to staff.

Project Location: North County Inland Area (APN 117-332-003-000)

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

RECOMMENDATION:

It is recommended that the Planning Commission:

- a. Receive status update regarding rebuild status of property in Pajaro just off the bridge along Porter Drive;
- b. Provide direction to staff.

SUMMARY

This report provides a response regarding Planning Commission Referral No. 24.1 (Rebuild Status for Burned down property in Pajaro).

In 2017, an unprecedented fire damaged both the commercial and residential buildings located at 8 Porter Road, Pajaro, California. The residential building sustained partial damage. A building permit (17CP02147) was applied for in 2017 to repair the affected residential building. The repairs were completed, and the permit was finalized in 2018. As of today, the residential building shows no visible signs of fire damage and is occupied by residents.

The commercial building previously housed a small appliance repair store and a hair salon. Due to the fire, neither business was able to resume operations in the building. Since then, the commercial property has remained vacant, fenced off, and has contributed to community blight. Over the years, multiple code enforcement cases have been opened due to the building's poor condition. Efforts to redevelop the site began in 2020 but faced delays and challenges, ultimately resulting in the abandonment of the initial redevelopment plans. Currently, the commercial property remains vacant and fenced off. A demolition permit for the remaining structure has been submitted and is ready to proceed, pending final actions by the property owner.

DISCUSSION

In 2018, the first code enforcement case (18CE00393) was opened on the property that was triggered by the fire damaged commercial building, overgrown weeds, and the poor conditions of the property that continued to cause a public nuisance. This code enforcement case was

resolved when the property owner cleaned up the property and was issued demolition permits to demolition the portions of the commercial building that was damaged by the fire. Subsequently, a planning pre-application (PLN200234) was submitted to the County in October of 2020 for a General Development Plan to allow a rebuild of 5,246 square foot existing fire damaged commercial building and addition of a 5,246 square foot four (4) apartment units for residential use to the second floor and expansion of parking and landscaping. A planner was assigned to the project shortly after and a project checklist was sent to the applicant in March of 2021. The project was formally submitted in October of 2022, at which point it was reviewed by the fire department and HCD-Environmental Services, but incomplete by the Environmental Health Bureau (EHB) and HCD-Engineering Services, who requested a can and will serve letter from Pajaro Sunny-Mesa Community Services District for potable water service, and a traffic assessment, respectively. These materials were subsequently submitted and the departments revised their determinations to complete in May, 2023. Planning staff requested additional information and clarifications for their review of the proposed project in June, 2023. The applicant needed provide the total square footage and number of units for the existing apartments to ensure they comply with Title 21, Section 21.20.060.R, which requires residential space in Heavy Commercial zoning to be smaller than commercial space. This information would be used for the affordable housing calculations under Monterey County Code Chapter 18.40. Additionally, there was concerns setback between the proposed building and the neighboring lot (APN 117-332-002-000) which need to be specified to address egress, fire rating, and other structural concerns, with setbacks determined by the General Development Plan. Finally, planning staff requested the applicant to revise General Development Plan narrative to allow for flexibility in future retail uses while staying consistent with Title 21. Staff met with the project architect to review their questions and re-forwarded them on September 27, 2023, but no resubmittal was received afterward.

The most recent activity on the project was its presentation to the North County Land Use Advisory Committee in August 2023, where the proposal was recommended for approval as submitted. However, the applicant has not been actively pursuing the project, and recent conversations between County staff and the property owners indicate that a new property agent would be taking over the design and planning of the project to submit a new development proposal. As the previous project (PLN200234) was deemed economically unfeasible due to high costs. The new approach aims to add more residential units while retaining similar commercial space, and the team is currently collaborating with a new architect to develop a revised design for a formal submittal to the County.

A second code enforcement citation was issued to the property owner on September 30, 2021, for the substandard fire damaged building, storage of inoperable vehicles and poor property conditions that continue to cause public nuisance. In July of 2022, the County and the property owner entered into a stipulated agreement in which the administrative fines and penalties would be waived upon immediate removal of the accumulation of rubbish and garbage and that a construction permit be pulled to have the building be repaired or demolished.

On September 23, 2024, a construction permit application was submitted to demolition the remaining 2,676 square feet of commercial building on the property (24CP03040). As of December 12, 2024, the permit has been reviewed for completeness and ready to be issued to the applicant. The applicant would need to pull the permit and pay the outstanding fees to

proceed with demolition of the remaining 2,676 square feet of commercial building.

ENVIRONMENTAL REVIEW

This report is Statutorily Exempt pursuant to Section 15262 of the CEQA Guidelines it does not involve a commitment to a project.

OTHER AGENCY INVOLVEMENT

Multiple County departments are involved in planning efforts in for this planning project located in Pajaro: County of Monterey Housing and Community Development is leading this effort; Health Department's Environmental Health Bureau a, Civil Rights Office; County Administrative Office's Sustainability Program and Office of Community Engagement and Strategic Advocacy; and the Public Works, Facilities and Parks Department.

Prepared by: Edgar Sanchez, HCD Assistant Planner, (831)783-7058

Reviewed and Approved by: Melanie Beretti, AICP, Chief of Planning

cc: Monterey County Department of Emergency Management, Monterey County Department of Public Works, Monterey County Environmental Health Bureau, Monterey County Civil Rights Office, Monterey County Water Resources Agency, US Army Corps of Engineers, Monterey County District 1, Monterey County District 2



County of Monterey

Item No.5

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-010

January 29, 2025

Introduced: 1/22/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

REFERRAL 24.7 - PROCESS TO CONSIDER A MORATORIUM FOR NEW VISITOR SERVING UNITS IN THE BIG SUR COAST PLANNING AREA

- a. Consider receiving a report from staff regarding the process and findings necessary to consider a moratorium for new Visitor Serving Units in the Big Sur Coast Planning Area.
- b. Provide direction to staff.

Project Location: Big Sur Coast Land Use Plan

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

RECOMMENDATION:

It is recommended that the Planning Commission:

- a. Receive a report from staff on the process to consider a moratorium for new Visitor Serving Units in the Big Sur Coast Planning Area; and
- b. Provide direction to staff.

SUMMARY/DISCUSSION:

Referral No. 2024.07 is a request from the Planning Commission for staff to provide a report explaining the process and findings required for the County to consider a moratorium for new Visitor Serving Units (VSUs) in the Big Sur Coast Planning Area. This referral came in response to concerns raised to the Planning Commission by members of the Big Sur community related to housing and visitor serving uses and accompanying request that the County place a moratorium on issuing permits for new VSUs in the Big Sur pending the certification of an update to the Big Sur Coast Land Use Plan (BSLUP).

The County of Monterey Housing and Community Development Department (HCD) has been working with the Big Sur community and Planning Commission Ad Hoc Committee to update the BSLUP. The updated BSLUP will return to the Planning Commission for review and will be an opportunity for the public to provide feedback to the County, including consideration of the appropriate categories and quantity of allowable new VSUs that may be permitted in the Big Sur Coast Planning Area moving forward.

Visitor Serving Units in Big Sur

The County's November 27, 2023 Memorandum on Visitor Accommodations and Campgrounds identified 600 VSU in the Big Sur Coast Planning Area, of which a total of 103 units have been added since the BSLUP was certified in 1986 (Access the memo at

<https://www.countyofmonterey.gov/home/showpublisheddocument/127481/638366817552270000>)

≥. The County's BSLUP VSU count is a living document and is staff will update as new projects are

entitled or new documentation is identified related to existing VSUs. VSU's in Big Sur provide opportunity for visitors to stay in the area when visiting Big Sur. The BSLUP identifies visitor serving facilities (and units) in two categories: 1) Visitor Accommodations, which include inns (units), recreational vehicle (RV) campgrounds (campsites), and hostels (beds); and 2) Campgrounds, which include rustic campgrounds (campsites), and hike-in and environmental campsites. As adopted, the BSLUP allows a maximum of 300 new VSUs for inns and RV campgrounds and 50 maximum hostel beds [units]. There is no cap on rustic campsites. Over the years Big Sur has grown in popularity, resulting in a significant increase in traffic along Highway 1.

Community members raised concerns to the Planning Commission regarding the increase in traffic on Highway 1 since the 1986 Plan adoption, creating congestion and dangerous conditions due to increased visitation. Additionally, community members recognize that VSUs and visitor lodging facilities require additionally staffing, yet there is a severe shortage of housing for the community and workers in Big Sur, further exacerbating the housing and traffic issues.

Process to Develop an Interim Ordinance

Government Code section 65858 allows a jurisdiction to adopt an interim ordinance without following the procedures otherwise required for zoning ordinance if necessary to protect public safety, health, and welfare. An interim ordinance serves as a temporary urgency measure to prohibit a use that may be in conflict with a contemplated general plan, specific plan, or zoning proposal that the legislative body, planning commission, or the County is considering.

The Board of Supervisors would be required to make certain findings to support the adoption of an interim ordinance. An interim ordinance could take effect immediately and be in effect for 45 days upon a four-fifths vote of the Board of Supervisors (Board).

Pursuant to Government Code section 65858(a), after proper notice and public hearing, the Board may extend the interim ordinance for 10 months and 15 days and subsequently extend the interim ordinance for one year. Any extension also requires a four-fifths vote by the Board for adoption. The interim ordinance cannot have more than two extensions. If the Board considers and adopts the Big Sur Coast Land Use Plan during this time period, the interim ordinance would be terminated.

Alternatively, pursuant to Government Code section 65858(b), after proper notice and public hearing the Board may by four-fifths vote extend the interim ordinance for 22 months and 15 days. This alternative option would not allow the Board to extend the interim ordinance.

Government Code section 65858(d) also requires ten days prior to the expiration of an interim ordinance or any extension, the Board must issue a written report describing the measures taken to alleviate the condition which led to the adoption of the ordinance.

Findings to Develop an Interim Ordinance

Pursuant to Government Code section 65858(c), the Board shall not adopt or extend any interim ordinance unless the ordinance contains legislative findings that there is a current and immediate threat to the public health, safety, or welfare, and that the approval of additional subdivisions, use permits, variances, building permits, or any other applicable entitlement for use which is required in order to

comply with a zoning ordinance would result in that threat to public health, safety, or welfare. In this case, the Board would need to make findings that VSUs pose a current and immediate threat to public health, safety, and welfare, and that issuing an entitlement for any new VSUs in the Big Sur Coast Planning Area would result in that threat. The Board would then need to find that this interim ordinance would prevent the current and immediate threat to public health, safety, and welfare. Adverse impacts of new VSUs in Big Sur Coast Planning Area *may* include, but are not limited to, increasing levels of traffic, impacts and congestion on Highway 1, and overcrowding of recreational facilities.

ENVIRONMENTAL REVIEW

This staff report is statutorily exempt pursuant to Section 15262 of the CEQA Guidelines as an early discussion of possible future actions that do not involve commitment to a project.

Prepared by: Katie Scariot, HCD Assistant Planner x 6093

Reviewed by: Taylor Price, Senior Planner (Working out of Class)

Approved by: Melanie Beretti, AICP, Chief of Planning

Cc: Front Counter Copy, Planning Commission, Supervisor Daniels, Big Sur Coast Land Use Plan Update (REF210024) Interested Parties List, Big Sur Byways Organization - Members Distribution List, Monterey County District 5, California Coastal Commission, Land Watch, Big Sur Byways Organization Interested Parties Distribution List, Big Sur Chamber of Commerce, Big Sur and South Coast LUAC's.



County of Monterey Planning Commission

Item No.5

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 25-010

January 29, 2025

Introduced: 1/22/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

REFERRAL 24.7 - PROCESS TO CONSIDER A MORATORIUM FOR NEW VISITOR SERVING UNITS IN THE BIG SUR COAST PLANNING AREA

- a. Consider receiving a report from staff regarding the process and findings necessary to consider a moratorium for new Visitor Serving Units in the Big Sur Coast Planning Area.
- b. Provide direction to staff.

Project Location: Big Sur Coast Land Use Plan

Proposed CEQA action: Statutory Exemption pursuant to Section 15262 of the CEQA.

RECOMMENDATION:

It is recommended that the Planning Commission:

- a. Receive a report from staff on the process to consider a moratorium for new Visitor Serving Units in the Big Sur Coast Planning Area; and
- b. Provide direction to staff.

SUMMARY/DISCUSSION:

Referral No. 2024.07 is a request from the Planning Commission for staff to provide a report explaining the process and findings required for the County to consider a moratorium for new Visitor Serving Units (VSUs) in the Big Sur Coast Planning Area. This referral came in response to concerns raised to the Planning Commission by members of the Big Sur community related to housing and visitor serving uses and accompanying request that the County place a moratorium on issuing permits for new VSUs in the Big Sur pending the certification of an update to the Big Sur Coast Land Use Plan (BSLUP).

The County of Monterey Housing and Community Development Department (HCD) has been working with the Big Sur community and Planning Commission Ad Hoc Committee to update the BSLUP. The updated BSLUP will return to the Planning Commission for review and will be an opportunity for the public to provide feedback to the County, including consideration of the appropriate categories and quantity of allowable new VSUs that may be permitted in the Big Sur Coast Planning Area moving forward.

Visitor Serving Units in Big Sur

The County's November 27, 2023 Memorandum on Visitor Accommodations and Campgrounds identified 600 VSU in the Big Sur Coast Planning Area, of which a total of 103 units have been added since the BSLUP was certified in 1986 (Access the memo at

<https://www.countyofmonterey.gov/home/showpublisheddocument/127481/638366817552270000>)

≥. The County's BSLUP VSU count is a living document and is staff will update as new projects are

entitled or new documentation is identified related to existing VSUs. VSU's in Big Sur provide opportunity for visitors to stay in the area when visiting Big Sur. The BSLUP identifies visitor serving facilities (and units) in two categories: 1) Visitor Accommodations, which include inns (units), recreational vehicle (RV) campgrounds (campsites), and hostels (beds); and 2) Campgrounds, which include rustic campgrounds (campsites), and hike-in and environmental campsites. As adopted, the BSLUP allows a maximum of 300 new VSUs for inns and RV campgrounds and 50 maximum hostel beds [units]. There is no cap on rustic campsites. Over the years Big Sur has grown in popularity, resulting in a significant increase in traffic along Highway 1.

Community members raised concerns to the Planning Commission regarding the increase in traffic on Highway 1 since the 1986 Plan adoption, creating congestion and dangerous conditions due to increased visitation. Additionally, community members recognize that VSUs and visitor lodging facilities require additionally staffing, yet there is a severe shortage of housing for the community and workers in Big Sur, further exacerbating the housing and traffic issues.

Process to Develop an Interim Ordinance

Government Code section 65858 allows a jurisdiction to adopt an interim ordinance without following the procedures otherwise required for zoning ordinance if necessary to protect public safety, health, and welfare. An interim ordinance serves as a temporary urgency measure to prohibit a use that may be in conflict with a contemplated general plan, specific plan, or zoning proposal that the legislative body, planning commission, or the County is considering.

The Board of Supervisors would be required to make certain findings to support the adoption of an interim ordinance. An interim ordinance could take effect immediately and be in effect for 45 days upon a four-fifths vote of the Board of Supervisors (Board).

Pursuant to Government Code section 65858(a), after proper notice and public hearing, the Board may extend the interim ordinance for 10 months and 15 days and subsequently extend the interim ordinance for one year. Any extension also requires a four-fifths vote by the Board for adoption. The interim ordinance cannot have more than two extensions. If the Board considers and adopts the Big Sur Coast Land Use Plan during this time period, the interim ordinance would be terminated.

Alternatively, pursuant to Government Code section 65858(b), after proper notice and public hearing the Board may by four-fifths vote extend the interim ordinance for 22 months and 15 days. This alternative option would not allow the Board to extend the interim ordinance.

Government Code section 65858(d) also requires ten days prior to the expiration of an interim ordinance or any extension, the Board must issue a written report describing the measures taken to alleviate the condition which led to the adoption of the ordinance.

Findings to Develop an Interim Ordinance

Pursuant to Government Code section 65858(c), the Board shall not adopt or extend any interim ordinance unless the ordinance contains legislative findings that there is a current and immediate threat to the public health, safety, or welfare, and that the approval of additional subdivisions, use permits, variances, building permits, or any other applicable entitlement for use which is required in order to

comply with a zoning ordinance would result in that threat to public health, safety, or welfare. In this case, the Board would need to make findings that VSUs pose a current and immediate threat to public health, safety, and welfare, and that issuing an entitlement for any new VSUs in the Big Sur Coast Planning Area would result in that threat. The Board would then need to find that this interim ordinance would prevent the current and immediate threat to public health, safety, and welfare. Adverse impacts of new VSUs in Big Sur Coast Planning Area *may* include, but are not limited to, increasing levels of traffic, impacts and congestion on Highway 1, and overcrowding of recreational facilities.

ENVIRONMENTAL REVIEW

This staff report is statutorily exempt pursuant to Section 15262 of the CEQA Guidelines as an early discussion of possible future actions that do not involve commitment to a project.

Prepared by: Katie Scariot, HCD Assistant Planner x 6093

Reviewed by: Taylor Price, Senior Planner (Working out of Class)

Approved by: Melanie Beretti, AICP, Chief of Planning

cc: Front Counter Copy, Planning Commission, Supervisor Daniels, Big Sur Coast Land Use Plan Update (REF210024) Interested Parties List, Big Sur Byways Organization - Members Distribution List, Monterey County District 5, California Coastal Commission, Land Watch, Big Sur Byways Organization Interested Parties Distribution List, Big Sur Chamber of Commerce, Big Sur and South Coast LUAC's.