

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

BECHTEL CORPORATION (PLN240070)

RESOLUTION NO. 25-013

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies for a Class
1 Categorical Exemption pursuant to CEQA
Guidelines Section 15301; and
- 2) Approving a Combined Development Permit
consisting of:
 - a. Coastal Administrative Permit and Design
Approval to allow minor exterior
modifications to an existing single-family
dwelling including construction of an 845
square foot pergola, pickleball court, and
perimeter fencing, within 750 feet of known
archaeological resources; and
 - b. Coastal Development Permit to allow
development within 100 feet of ESHA.

[PLN240070, Bechtel Global Corporation, 1451
Cypress Drive, Del Monte Forest Land Use Plan
(APN: 008-453-017-000)]

The Bechtel Corporation application (PLN240070) came on for a public hearing before the County of Monterey Zoning Administrator on March 6, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

- 1. FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Del Monte Forest Coastal Implementation Plan, Part 5 (DMF CIP); and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey

County Code. The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) The project involves minor exterior modifications to an existing 3,098 square foot single-family dwelling, and demolition of two tennis courts to be rebuilt with a pickleball court, construction of an 845 square foot pergola, updates to landscaping and hardscaping, a new driveway, new patios, and other site improvements within 100 feet of Environmentally Sensitive Habitat Area and within 750 feet of known archaeological resources.
- c) Allowed Use. The property is located at 1451 Cypress Drive, Pebble Beach, within the Del Monte Forest Land Use Plan area, Coastal Zone (Assessor's Parcel Number [APN]: 008-453-017-000). The parcel is zoned Low Density Residential with a 1.5 acres per unit density, Design Control Overlay within the Coastal Zone or "LDR/1.5-D(CZ)", which allows for modifications to an existing residence, subject to the granting of a Design Approval in each case, per Chapter 20.14 and 20.44. A Coastal Administrative Permit and Coastal Development Permit is needed to allow the project's development within 750 feet of known archaeological resources and within 100 feet of environmentally sensitive habitat area, respectively. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (APN:008-453-017-000) is approximately 1.38 acres (60,476 square feet) and is identified in its current configuration as Lot 1 of the Rancho El Pescadero, as shown on the 1974 Assessor's Map of Book 1664, Page 66, Volume 6. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The single-family dwelling will continue to have ranch architectural style with exterior colors and materials that consist of: light gray siding, black steel windows and doors, dark wood shake roof shingles. The large custom residences along the Cypress Drive are eclectic in architecture; ranging from modern to craftsmen style homes. The exterior finishes blend with the surrounding environment and are consistent with the surrounding residential neighborhood character. The property is surrounded by mature Monterey cypress trees, Monterey pines, Coast live oaks, and other landscaping, such as shrubs. The project, as designed and sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.
- f) Development Standards. The project meets all required development standards. Pursuant to Title 20, Section 20.14.060.C, the subject property shall have a front setback of 30 feet, and 20 feet for the sides and rear setbacks, with a maximum allowable height of 30 feet. The proposed pergola complies with the required setbacks for a non-habitable accessory structure by maintaining a front setback of over 50 feet, a side and rear both over 20 feet, and has a proposed height of 10

feet 6 inches, which is below the allowable maximum height for the LDR zoning district. As proposed, the project does not include any expansion or new construction; therefore, the property continues to maintain the required setbacks.

- g) Scenic and Visual Resources. Within the Del Monte Forest Land Use Plan, under the Scenic and Visual Resources Policy 48, development located in visually prominent settings, as identified in Figure 3, shall be designed, and sited in a manner that avoids blocking significant public views, or that may create a significant adverse impact. The southern corner of the property is shown in Figure 3 as being visible from 17-Mile Drive and scenic vistas. Staff conducted a site visit on August 26, 2024 to determine whether the project would be visible from any common public viewing area, including 17 Mile Drive, Point Lobos, and Highway 1. The subject parcel is not visible from Point Lobos due to intervening mature vegetation and development, but is located at the intersection of 17 Mile Drive, Cabrillo Road, and Cypress Drive, and is thus visible from this location. However, only the roof of the existing residence is visible at this intersection. As proposed, the project does not include an expansion or adjustment of the footprint of the existing residence, and the exterior changes to the residence will not increase its limited visibility from 17 Mile Drive. The proposed site improvements, including the replacement of the tennis courts with a pickleball court and the construction of the pergola, will not be visible from any common public viewing area. The proposed replacement perimeter cedar post fencing will not block ocean views when viewed from 17-Mile Drive and will be compatible with the surrounding environment, as required by Policy 48 of the Del Monte Forest LUP.
- h) Cultural Resources. Del Monte Forest Land Use Plan Policy 58 states that when development is proposed in areas with potential or known archaeological resources, an archaeological survey shall be conducted to determine if resources exist on the parcel or will be impacted by development. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is within 750 of a known archaeological resource, therefore a Phase One archaeological report (County of Monterey Library No. LIB240196) was prepared for the project site. This report concluded that no resources were present on-site and that the property had been used heavily and had high ground disturbance, resulting in no indicators of historical activity or cultural or archaeological resources. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Environmentally Sensitive Habitat Area (ESHA). The project includes a Coastal Development Permit to allow development within 100 feet of ESHA. Policy 20.147.040 within the Del Monte Forest Coastal Implementation Plan directs which areas are to be protected, maintained, and where possible, enhanced and restored. As designed

and conditioned, the project minimizes impacts to environmentally sensitive habitat in accordance with the applicable goals and policies of the Del Monte Forest Coastal Implementation Plan, Land Use Plan, and MCC. See Finding No. 7 and supporting evidence.

- j) The project planner conducted a site inspection on November 15, 2024 to verify that the project on the subject parcel conforms to the plans listed above.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) The following reports have been prepared:

- “Phase 1 Archaeological Assessment” (LIB240196) prepared by Susan Morley, Marina, CA, December 1, 2023.
- “Arborist Report” (LIB240195) prepared by Chris Stewart, Los Gatos, CA, June 25, 2024.
- “Casita Cypress Biological Assessment” (LIB240197) prepared by Pat Regan, Sausalito, CA, July 16, 2024.
- “Geotechnical Investigation” (LIB240198) prepared by Haro, Kasunich and Associates, Watsonville, CA, June 21, 2024.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on November 15, 2024 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240070.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health,

safety, and welfare of persons either residing or working in the neighborhood.

- b) All necessary public facilities are available to the subject property and will continue to be provided. Sewer service is provided by Pebble Beach Community Services District.
- c) Staff conducted a site inspection on November 15, 2024 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240070.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on November 15, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN40070.

5. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301, categorically exempts minor interior and/or exterior alterations to an existing facility, such as an existing residence.
 - b) The project qualifies for the Class 1 Categorical Exemption CEQA Guidelines section 15301) because the project makes minor exterior improvements to the existing residence and does not expand the floor area by 50%. Additionally, the proposed site improvement are accessory to the residential use of the property and do not alter the use of the property or existing facility.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or have an impact on an environmental resource of hazardous concern, or development that would result in a cumulative significant impact. Although the property is in close proximity to a scenic road (17 Mile Drive) and is located in an area designated as being visible from Point Lobos and 17 Mile Drive (Figure 3 of the Del Monte Forest LUP), the project site will not create any impacts on the public viewsheds or scenic vistas (see Finding No. 1, Evidence “g”). Limited areas of the property contain low and moderate sensitivity Monterey Cypress Habitat (EHSA). The proposed project will not impact the project site’s ESHA. Further, compliance with Del Monte Forest LUP Policies and adherence to the conditions of approval

will protect these trees and enhance their understory, resulting in an increase in habitat value. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 15, 2024.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240070.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in, Del Monte Forest Coastal Implementation Plan, Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) Although the subject property is shown in Figure 3, Visual Resources, of the Del Monte Forest LUP, the project site does not block ocean views or significantly degrade the public viewshed and therefore does not require visual access. The property is also not located in an area that required physical public access (Figure 8, Major Public Access and Recreational Facilities, Del Monte Forest Land Use Plan).
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240070.
7. **FINDING:** **ENVIRONMENTALLY SENSITIVE HABITAT:** The subject project avoids all impacts on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan (LUP) and Title 20.
- EVIDENCE:**
- a) The project includes development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Del Monte Forest LUP and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit has been applied to the project.
 - b) Del Monte Forest LUP Policy 12 requires that where any development is proposed and is located in or near documented locations of environmentally sensitive habitat areas, a biological report and/or field surveys and impact analysis shall be required to determine the habitat locations and mitigation measures to ensure protection of any sensitive species or habitat present. A Biological report was prepared (County of Monterey Library No. LIB240197) and identified numerous Monterey Cypress trees, Coast live oaks, and Monterey pines on the property.

Although Cypress trees exist throughout the property, the Project Biologist confirmed that only approximately 5,600 square feet of the 60,476 square foot property contain indigenous Monterey Cypress habitat, which is identified as ESHA in the Del Monte Forest LUP. However, these habitat areas are limited to the southeastern and southwestern corners of the property and have low and moderate critical habitat sensitivity, respectively. Within these habitat areas, the project biologist describes the understory as being “very limited with mostly weeds and lots of recently deposited wood chip mulch.” No development is proposed within these Monterey Cypress habitat areas and therefore the project biologist found that the project will have no impacts on ESHA. However, the Project Biologist recommended restoring these understory areas with appropriate plant species. No other special status plants, plant communities, or wildlife were observed on the property.

- c) Policy 20 in the Del Monte Forest LUP establishes regulations to protect indigenous Monterey Cypress habitat, as shown in Figure 2a. Although the subject property contains Monterey Cypress habitat with highly disturbed understory, no development is occurring within these areas and therefore the requirements of Policy 20 do not apply in this case.
- d) Del Monte Forest LUP policy 8 establishes the goal to protect environmentally sensitive habitats from significant disruption, minimize erosion, and preserve the habitat. Consistent with this policy, the project does not include the removal of any native trees or indigenous vegetation and proposes minimal grading. Additionally, the project involves demolition of the tennis courts, which have physically constrained the Cypress habitat on the southeastern corner. Removal of the tennis courts and reconfiguring the driveway, together with landscaping the property with Del Monte Forest/Monterey Cypress habitat compatible native species (Del Monte Forest LUP Policy 15; Condition No. 6) will improve the property’s Cypress habitat and its understory. Further, the tree protection measures outlined in the prepared arborist report (County of Monterey Library No. LIB240195) have been incorporated into Condition Nos. 4 and 5 to ensure the protection of nearby trees during construction. As proposed and conditioned, the project avoids impacts on nearby sensitive habitat areas, will enhance the understory, and does not introduce any uses or development that are incompatible with the continuance of those habitat areas (Del Monte Forest LUP Policy 14).
- e) The project planner conducted a site inspection on November 15, 2024 to verify ESHA locations and potential project impacts to ESHA. The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN240070.

8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:** a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or

person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1) and conditionally allowed uses (i.e. development within 100 feet of ESHA and 750 feet of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Zoning Administrator does hereby:

1. Find the Combined Development Permit qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301;
2. Approve a Combined Development Permit consisting of: a) Coastal Administrative Permit and Design Approval to allow minor exterior modifications to an existing single-family dwelling including construction of an 845 square foot pergola, pickleball court, and perimeter fencing, within 750 feet of known archaeological resources; and b) Coastal Development Permit to allow development within 100 feet of ESHA.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 6th day of March, 2025.

DocuSigned by:

Mike Novo

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Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON 3/17/25

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE 3/27/25

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240070

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240070) allows for exterior modifications to an existing residence, construction of an 845 square foot pergola, perimeter fencing, and pickleball court and associated site improvements within 750 feet of known archaeological resources and within 100 feet of environmentally sensitive habitat. The property is located at 1451 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-453-017-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 25-013) was approved by Zoning Administrator for Assessor's Parcel Number 008-453-017-000 on March 06, 2025. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

**Condition/Mitigation
Monitoring Measure:**

The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to reduce potential impacts protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following:

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - Types of construction vehicles and number of truck and/or vehicle trips/day.
 - Amount Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
- Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
- The CMP shall: Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling,
 - Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads.
 - Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - Provide adequate on-site storage and staging areas. On-site staging and storage areas shall be sited on-site to maximum the extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging areas do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

**Compliance or
Monitoring
Action to be
Performed:**

1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD012(G) - LANDSCAPE PLAN & MAINTENANCE (OTHER)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Immediately around the development, the site may be landscaped with native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures. Within the remainder of the property, Del Monte Forest/Monterey Cypress compatible plant species shall be planted to support and enhance the property's Monterey Cypress understory. The landscape plans shall be reviewed and approved by a qualified biologist. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans approved by a qualified biologist and a contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

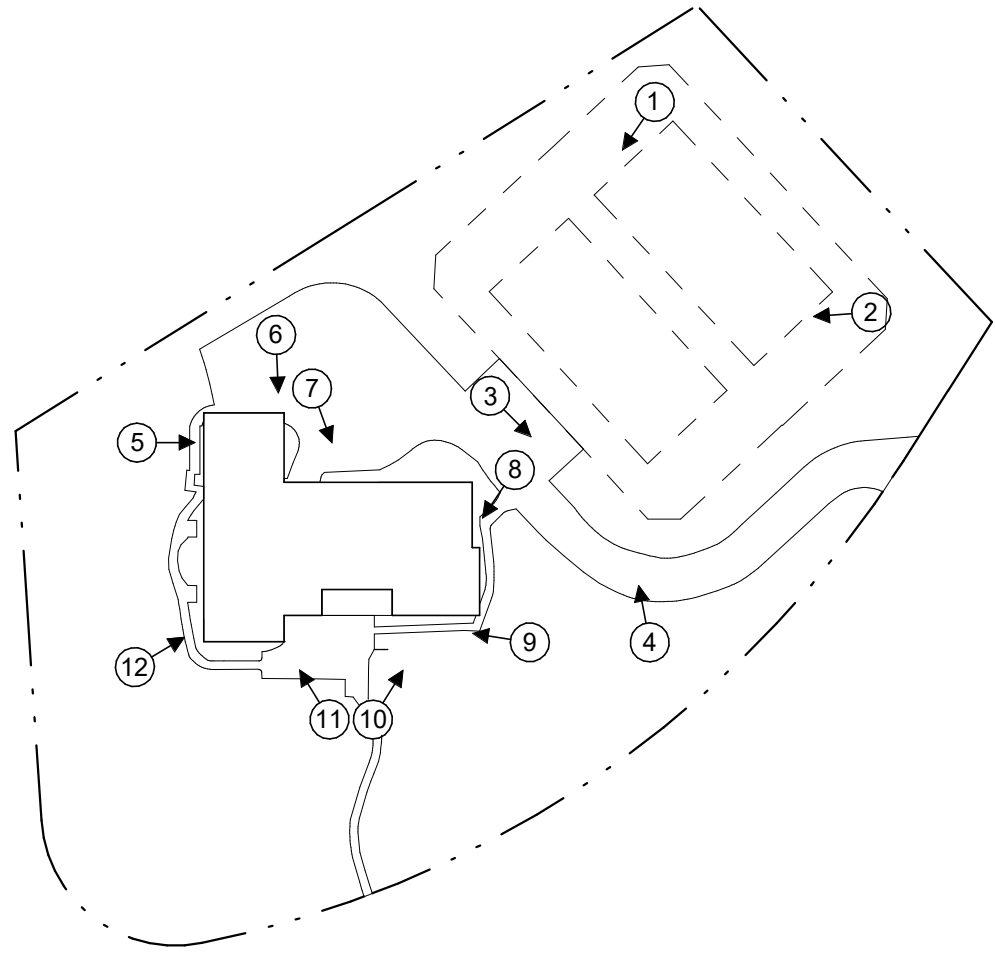
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7/16/2024 9:50:44 AM



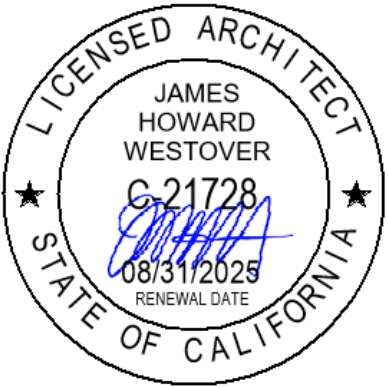
KEY PLAN
1/64" = 1'-0"



William Duff
Architects

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San Francisco, CA 94103
(415) 371-0900

wdarch.com



Agency Approvals

Revision No.	Date
PLANNING SUBMITTAL	07.16.24
ARB SUBMITTAL	09.27.24
PLANNING RESUBMITTAL	10.04.24
PLANNING RESUBMITTAL	02.03.25

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Job Title
**Casita Cypress
Residence**

Job Address
**1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953**

Date: 4 OCTOBER 2024

Issued For
PLANNING RESUBMITTAL

Job Number: **23015**

Drawn By: **DC/MA** Checked By: **MA/EL**

Scale

Sheet Title
EXISTING PHOTOS

Sheet No.

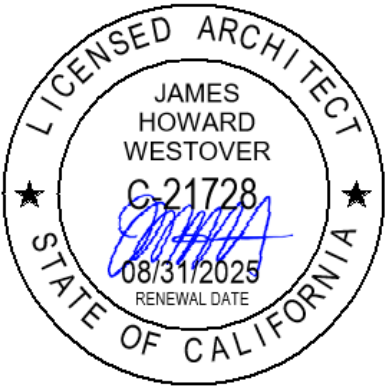
A0.70



William Duff Architects

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(415) 371-0900

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Agency Approvals

Revision No.	Date
PLANNING SUBMITTAL	07.16.24
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**Casita Cypress
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Job Address
**1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953**

Date: 4 OCTOBER 2024

Issued For
PLANNING RESUBMITTAL

Job Number: 23015

Drawn By: DC/MA Checked By: MA/EL

Scale
12" = 1'-0"

Sheet Title
MATERIAL PALETTE

Sheet No.

A0.80

NEW WOOD LOOK SHINGLES
(FROM WUI APPROVED PRODUCTS
LIST) , MATCH SIZE AND COLOR OF
ORIGINAL CEDAR SHINGLES
SHOWN IN PHOTO

NEW METAL
WINDOW/DOOR FRAMES,
MATCH EXISTING DARK
BLACK/BROWN FINISH

COPPER GUTTER & RWL
TO REMAIN

PAINTED WOOD
BOARD SIDING
TO REMAIN
REPAIR/REPLACE
AS NEEDED



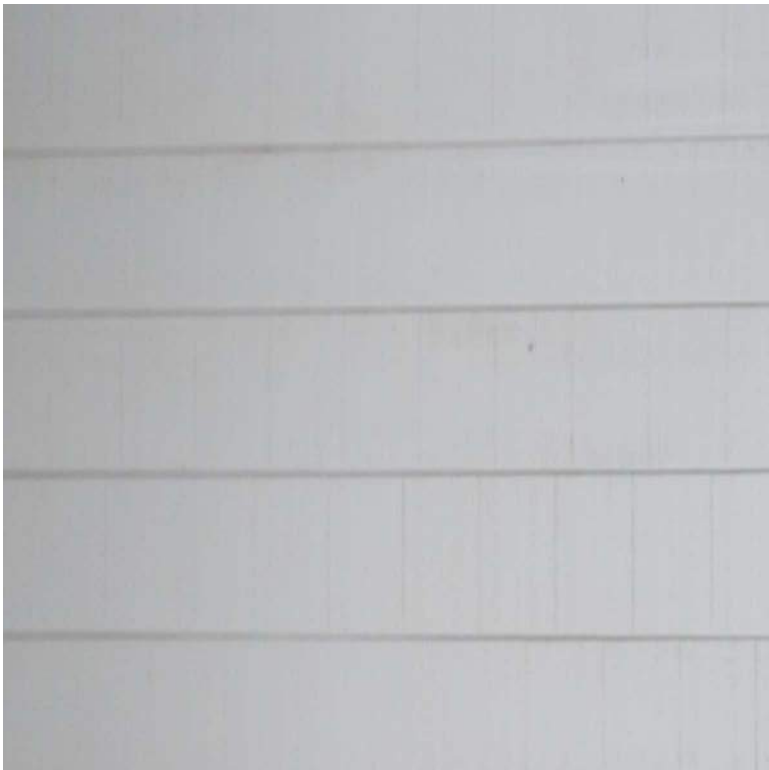
COPPER GUTTER & RWL
TO REMAIN

BRICK CHIMNEY AND
WALL FINISH



MATERIAL PALETTE - EXISTING

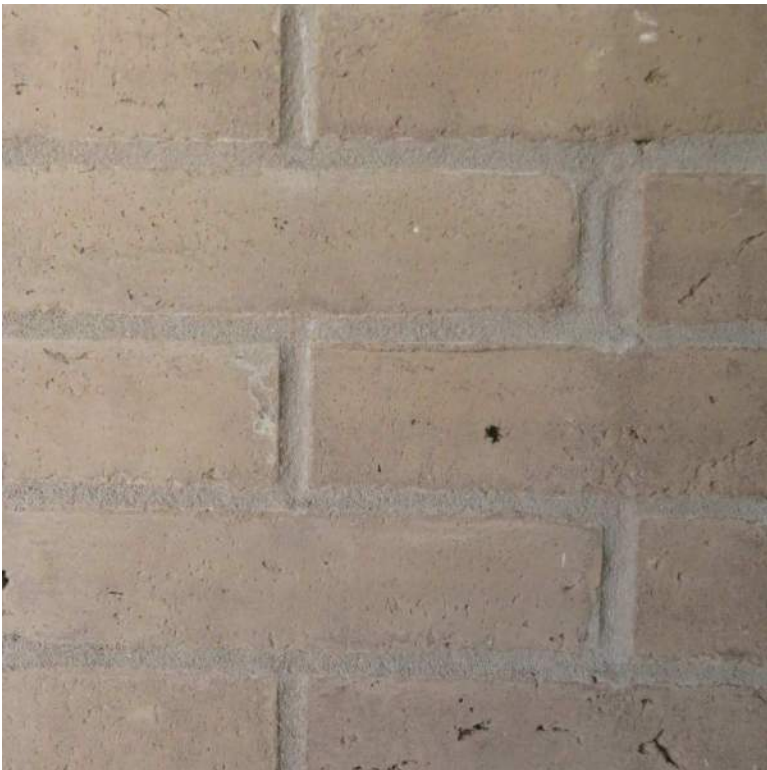
EXISTING MATERIALS TO REMAIN OR BE REPLACED IN KIND



PAINTED WOOD
SIDING / TRIM



BLACK/BROWN METAL
FRAME DOOR / WINDOW



BRICK
CHIMNEY & CHIMNEY CAP



COPPER
GUTTER / FASCIA



DARK WOOD SHAKE
ROOF SHINGLES

Map Information:

Basis of Bearings: The bearing of N41° 00'W for the northeasterly line of Parcel 1 per Record of Survey recorded in Volume 11 of Surveys at Page 55 and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.
Site Benchmark: Control Point #2 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

- Boundary Legend**
- A.G.S. - above ground surface
 - A.S.O. - as shown on
 - AP - angle point
 - BC - brass cap or begin curve
 - BFP - backflow preventer
 - B.G.S. - below ground surface
 - BOC - back of curb
 - COR - corner
 - CP - control point
 - CTL - CONTROL
 - DOC - document
 - ENG/ENGR - engineer
 - FD/PND - found
 - F.C.C. - from calculated corner
 - I.P. - iron pipe
 - L&T - lead & tag
 - LS - land surveyor
 - MAG - MAG NAIL
 - MKD - marked
 - MON - monument
 - N&T - nail & tag
 - N.R.F. - no reference found
 - N.S.F. - not searched for
 - O.R. - Official Records, Monterey County
 - O.U. - origin unknown
 - POL - point on line
 - PP - plastic plug
 - RCE - registered civil engineer
 - ROW - right of way
 - S.F.N.F. - searched for, not found
 - SPK - spike
 - STA - station (control point)
 - TBM - temporary benchmark
- Topography Legend**
- AC - asphalt concrete
 - AD - area drain
 - AL - area light
 - BLD/BLDG - building
 - BLD(S) - boulder(s)
 - BOC - back of curb
 - BRK - brick
 - BTM/BOT - bottom
 - BW - back of sidewalk
 - CF - curb face
 - CHIM - chimney
 - CL - centerline
 - CLM - column
 - CONC - concrete
 - D - dirt
 - DG - decomposed granite
 - DK - deck
 - DW - driveway
 - EA - exposed aggregate concrete
 - ENCL - enclosure
 - FF - edge of paving
 - FF - finished floor
 - FF-THRESH - finished floor threshold
 - FH - fire hydrant
 - FL - flow line
 - FLNG - flow line natural grade
 - FNC - fence
 - FNC-BRD - board fence
 - FNC-BW - barbed wire fence
 - FNC-CL - chainlink fence
 - FNC-GS - grapestake fence
 - FNC-HW - hogwire fence
 - FNC-I - iron fence
 - FNC-LAT - lattice fence
 - FNC-PR - post & rail fence
 - FNC-WD - wood fence
 - FNC-WI - wrought iron fence
 - FNC-WR - wire fence
 - FOB - face of building
 - FOW - face of wall
 - FS - finished surface
 - FTG - footing
 - FW - front of sidewalk
 - GAR - garage
 - GB - grade break
 - GUT - edge of gutter
 - GUYA - guy anchor
 - GUYP - guy pole
 - GVL - gravel
 - HG - handicap
 - HGD - hedge
 - HRAIL - hand rail
 - INT - intersection
 - LNDG - landing
- Utility Legend**
- CATV - cable tv
 - COMM - communications
 - CO or C/O - clean out
 - DDCV - double detector check valve
 - ELEC - electric
 - EM - electric meter
 - EO - electric outlet
 - GM - gas meter
 - GV - gas valve
 - HB - hose bib
 - ICV - irrigation control valve
 - IRR - irrigation
 - JP - joint utility pole
 - LT - light
 - LT-STD - light standard/pole
 - PB - utility pull box
 - PB-? - unmarked pull box
 - PF-PIN FLAG
 - PF-B - blue pin flag
 - PF-G - green pin flag
 - PF-O - orange pin flag
 - PF-P - pink pin flag
 - PF-PL - purple pin flag
 - PF-R - red pin flag
 - PF-W - white pin flag
 - PF-Y - yellow pin flag
 - PM - paint mark
 - PM-B - blue PM (water)
 - PM-G - green PM (sewer)
 - PM-O - orange PM (catv/comm)
 - PM-P - pink PM (unknown facilities)
 - PM-PL - purple PM (reclaimed water/ir)
 - PM-R - red PM (elec)
 - PM-W - white paint mark
 - PM-Y - yellow PM (gas)
 - PP - power pole
 - PVR - paver
 - SCO - sewer clean out
 - SDMH - storm drain manhole
 - SSMH - sanitary sewer manhole
 - ST LT - street light
 - STN - stone
 - TELCO - telephone
 - TP - top of drain grate
 - UP - utility pole
 - UTL - utility
 - VLT - vault
 - VLT-GTE - GTE vault
 - VLT-PB - PacBell vault
 - VLT-PGE - PG&E vault
 - VLT-TELCOM - telecommunications vault
 - VLT-? - unmarked vault
 - VLT-VRZ - Verizon vault
 - WD-wood
 - WL - water line
 - WM - water meter
 - WV - water valve

Site Coverage:

Main Residence Footprint: 3,119 s.f.
Hardscape: 22,567 s.f.

APN: 008-462-005

DRAWING REVISIONS:
October 2023 - Original Survey
March 2024 - Added additional Topo

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (X) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and free canopy are drawn to scale based on approximate trunk and canopy diameters.

301° 50' 00" E 412.30'

N01° 50' 00" W 282.07'

APN: 008-453-016

APN: 008-461-009

Doc. No. 2014055061
Parcel 1 (R1)
1451 Cypress Drive
APN: 008-453-017
Calculated Lot Area:
60,476.05SF / 1.388AC

Record Map References:

R1: Record of Survey filed in Volume 11 of Surveys at Page 55, in the Monterey County Recorder's Office, State of California.

Topographic Survey

Parcel 1 per Record of Survey filed in Volume 11 of Surveys at Page 55 and as described in Grant Deed Doc. No. 2014055061
Commonly known as 1451 Cypress Drive, APN: 008-453-017
Located in Pebble Beach, Monterey County, State of California

Requested By: Matt Hubbard, Brodie CM

Original Survey: October 2023
Revised: March 2024

Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93940
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2023-056 Casita Cypress

Sheet 1 of 1



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Revision No. _____ Date _____

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Job Title
CASITA

Job Address
451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953

Date: 10/04/24

Issued For
PLANNING RESUBMITTAL

Job Number: 20240473

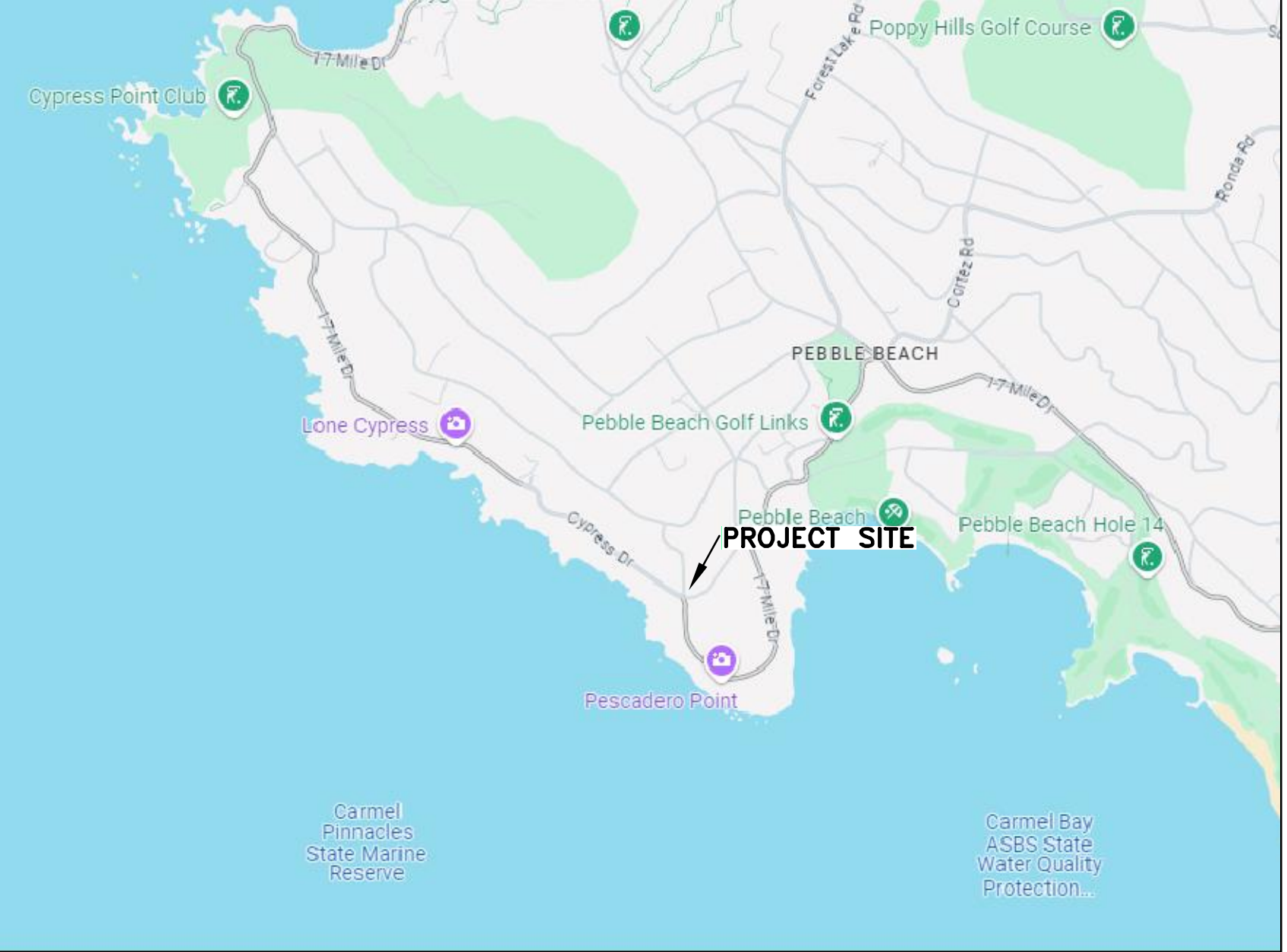
Drawn By: SW Checked By: RC

As indicated

Sheet Title
PRELIMINARY GRADING,
DRAINAGE AND UTILITY
PLAN

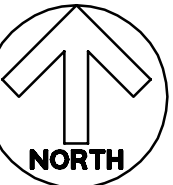
Sheet No. _____

C1.0



LOCATION MAP

NTS



LEGEND

- BOUNDARY LINE
- GRADE BREAK
- STORM DRAIN AREA DRAIN
- EXISTING GRADE
- PROPOSED GRADE

KEYNOTE

- 1 NEW SIDEWALK
- 2 NEW DRIVEWAY
- 3 EXISTING DRAINAGE INLET TO BE REMOVED
- 4 NEW PICKLE COURT
- 5 NEW FENCE
- 6 NEW RETAINING WALL
- 7 NEW AREA DRAIN
- 8 EXISTING DRAINAGE INLET TO BE ADJUSTED TO GRADE
- 9 EXISTING TRENCH DRAIN TO REMAIN
- 10 EXISTING GENERATOR / PENDING ISSUANCE OF BUILDING PERMIT
- 11 3/8" STAINLESS STEEL SLOT DRAIN

NOTES

- THE SCOPE OF WORK INCLUDES IMPROVEMENTS TO THE LANDSCAPE AREAS, WHICH ENCOMPASS:
- RELOCATE DRIVEWAY USING ORIGINAL APRON LOCATION
 - RECONFIGURED AUTOCOURT FOOTPRINT
 - NEW PAVING AND PLANTING THROUGHOUT
 - NEW PEDESTRIAN GATES, TRELLIS, AND PICKLEBALL COURT

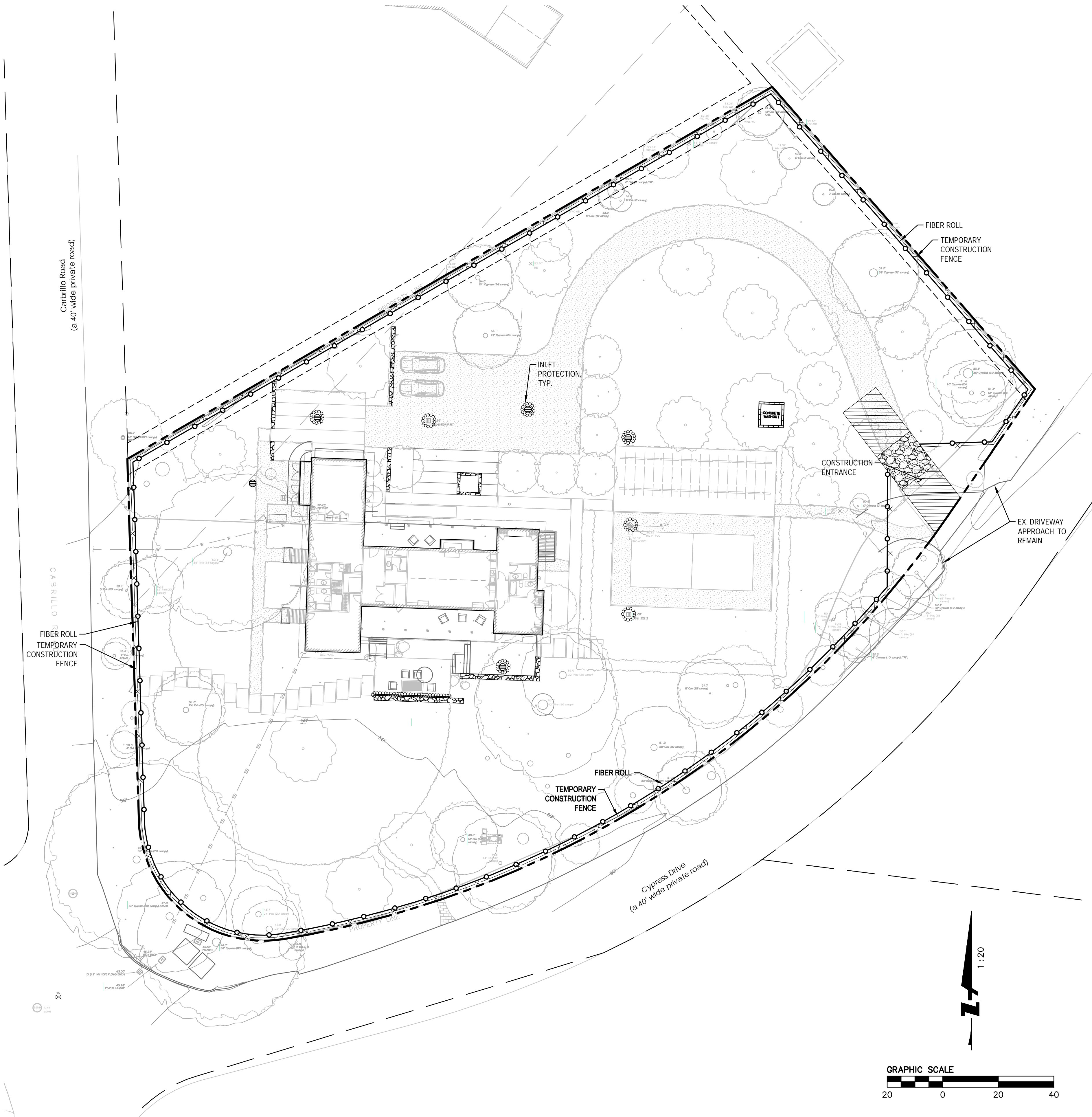


<u>EARTHWORK QUANTITIES:*</u>		
CUT	560	C.Y.
FILL	10	C.Y.
<hr/>		
BALANCE NET CUT	550	C.Y.
TOTAL DISTURBANCE	570	C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

EARTHWORK NUMBERS ARE NOT FINAL, PRELIMINARY ONLY

DRAFT, NOT FOR CONSTRUCTION



LEGEND

- PROPERTY LINE
TEMPORARY CONSTRUCTION FENCE
FIBER ROLL, SEE DETAIL 1 ON SHEET C2.1
INLET PROTECTION, SEE DETAIL 3 & 4 ON SHEET C2.1
STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL 2 ON SHEET C2.1
ENTRANCE/EXIT TIRE WASH PER DETAIL 5 ON SHEET C2.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)
CONCRETE WASTE MANAGEMENT PER DETAIL 6 ON SHEET C2.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)



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Agency Approvals

NOT FOR CONSTRUCTION

Revision No. Date

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Job Title

CASITA

Job Address

1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953

Date: 10/04/24

Issued For

PLANNING RESUBMITTAL

Job Number:

20240473

Drawn By: SW

Checked By: RC

Scale

As indicated

Sheet Title

EROSION CONTROL PLAN

Sheet No.

C2.0

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PLANNING RESUBMITTAL

Job Number: 20240473

Drawn By: SW Checked By: RC

Scale

As indicated

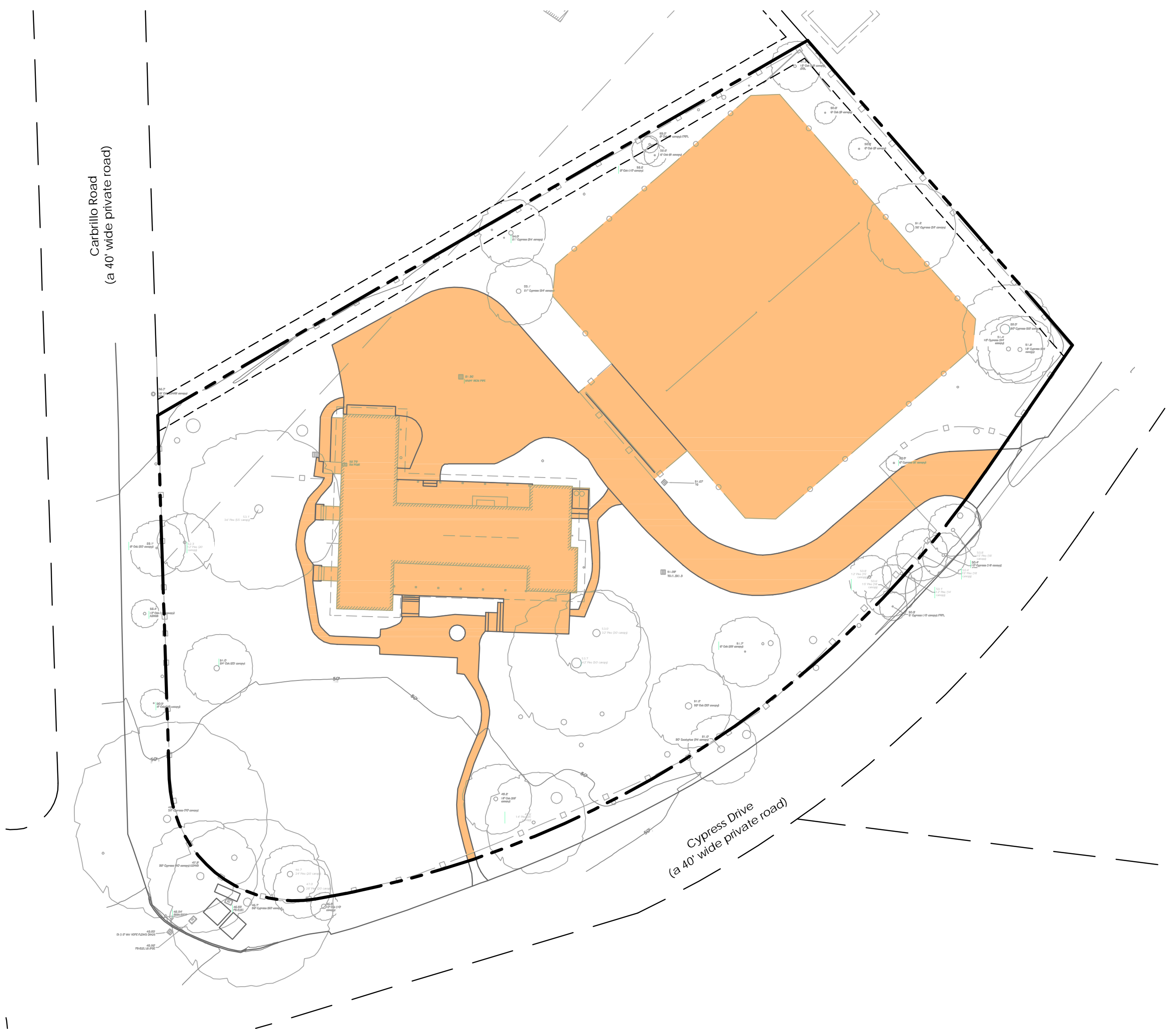
Sheet Title

IMPERVIOUS &
PERVIOUS PLAN

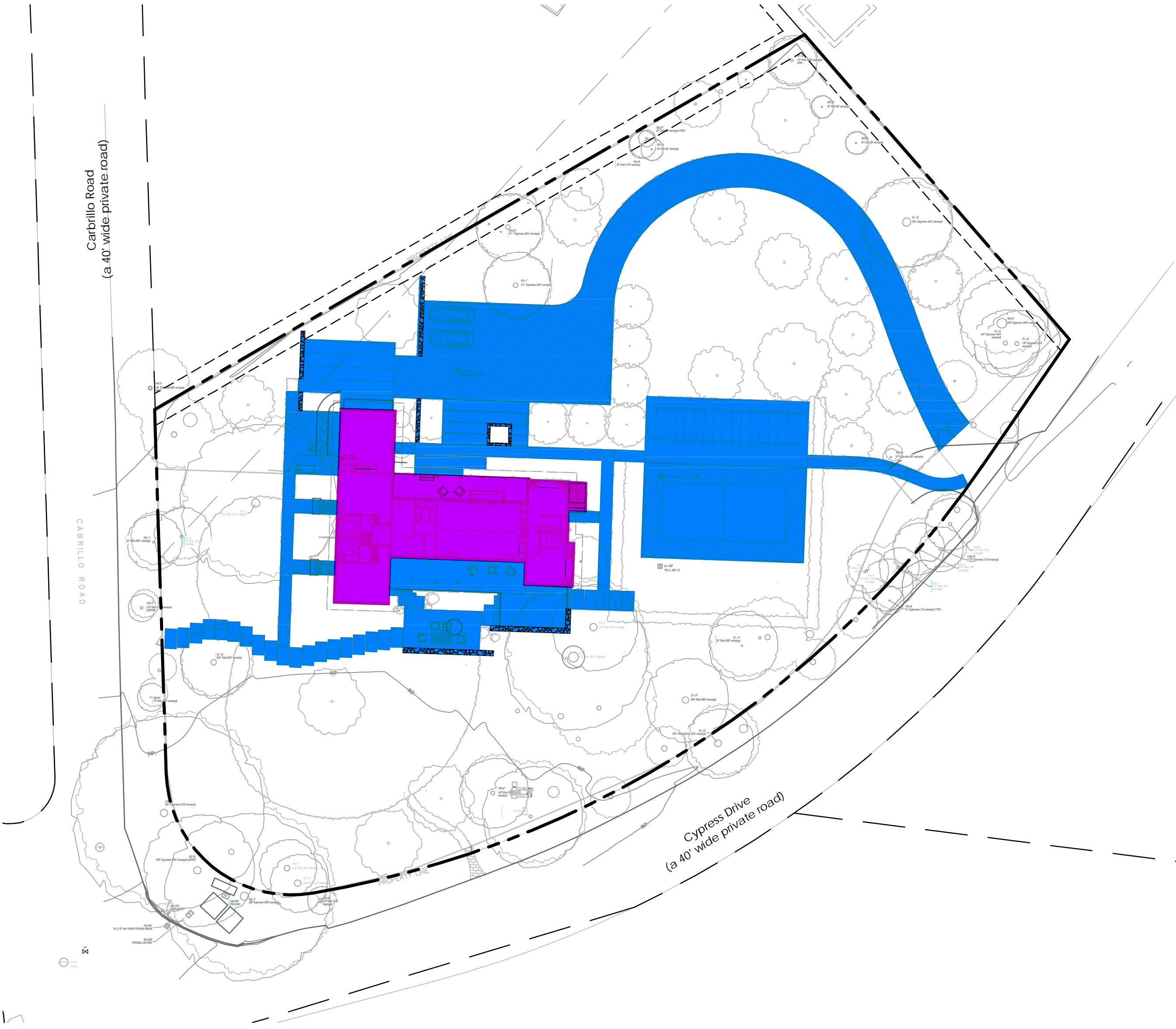
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C3.0

DRAFT, NOT FOR CONSTRUCTION

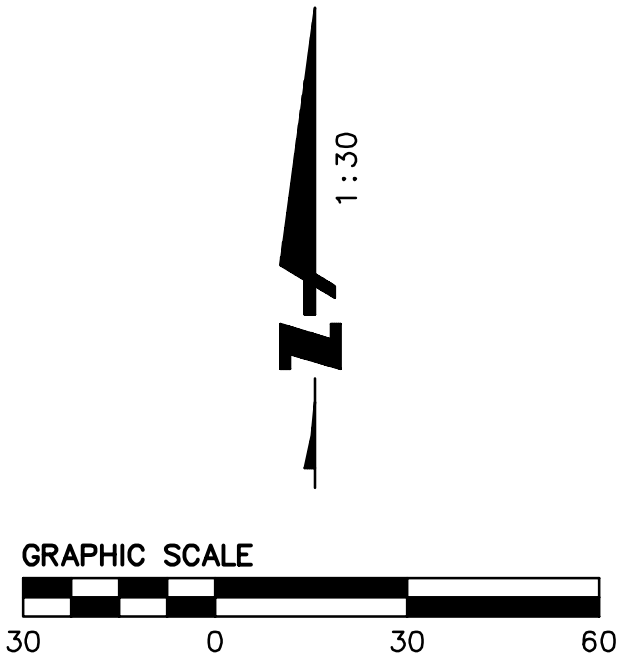


PRE-DEVELOPMENT
(EXISTING CONDITION)



POST-DEVELOPMENT
(FINAL CONDITION)

Casita Area Summary Table				
Pre-Project	Existing Pervious Area		34502	[SF]
	Existing Impervious Area		25974	[SF]
Post-Project	New and Replaced Impervious Area		13700	[SF]
	Existing Impervious Area to Remain		3521	[SF]
	Total Pervious Area		43255	[SF]
	Total Impervious Area		17221	[SF]
	Impervious Deduction From Post Project		8753	[SF]
	Net Impervious Area		8468	[SF]
Project Total Area			60476	[SF]



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LANDSCAPE
ARCHITECTURE

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Carmel CA 93923
831.298.0990
blisslandarch.com



FOR REGULATORY PERMITTING
PURPOSES ONLY
NOT FOR CONSTRUCTION

CASITA CYPRESS
RESIDENCE

1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-453-017

Phase
DESIGN DEVELOPMENT

Revisions		
No.	Date	Description
7/16/24		PLANNING SUBMITTAL
9/27/24		ARB SUBMITTAL
10/04/24		PLANNING RESUBMITTAL
02/03/25		PLANNING RESUBMITTAL

Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16" = 1'-0"



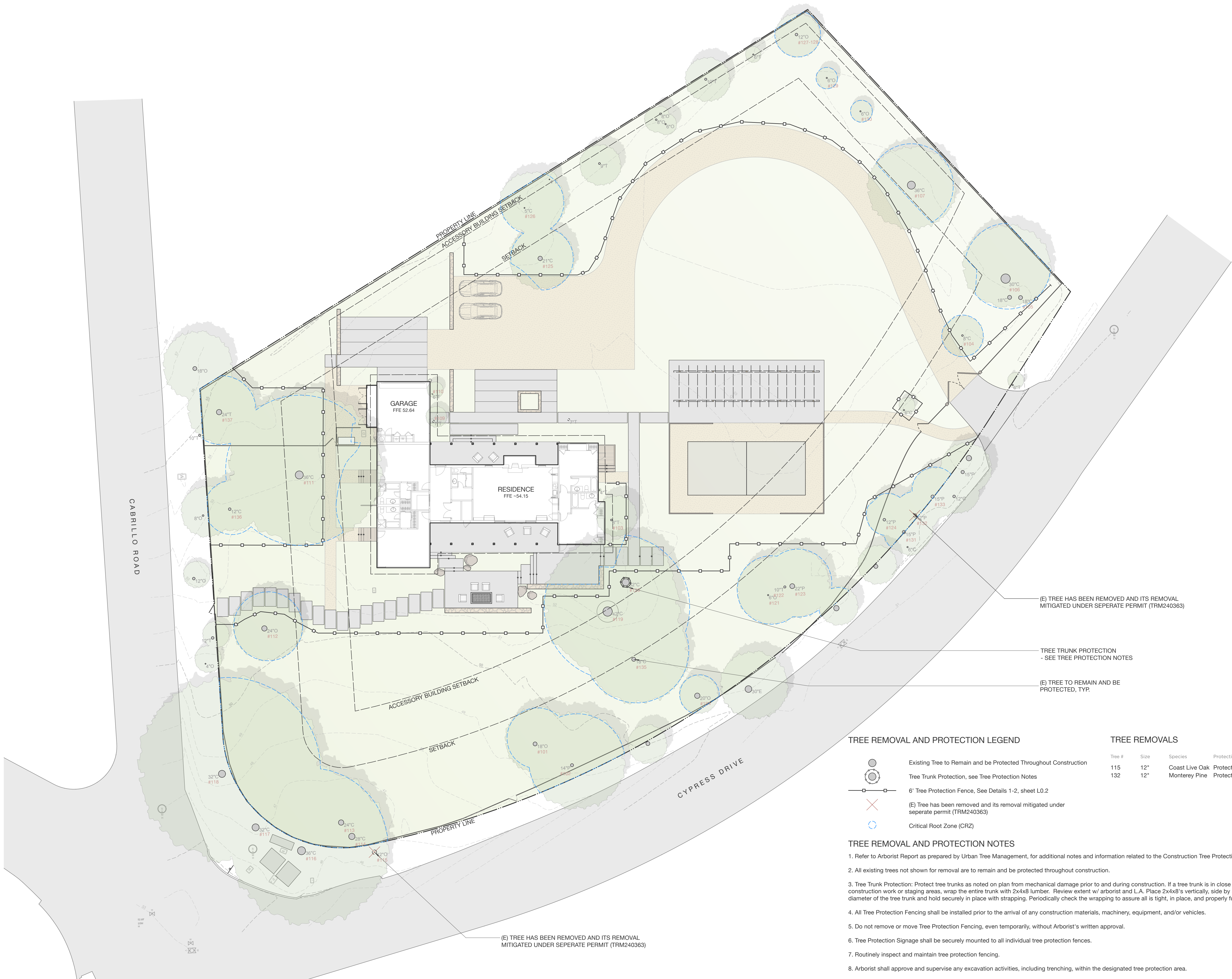
North



Drawing Title

TREE REMOVAL +
PROTECTION PLAN

L0.1



TREE REMOVAL AND PROTECTION LEGEND

- Existing Tree to Remain and be Protected Throughout Construction
- Tree Trunk Protection, see Tree Protection Notes
- 6' Tree Protection Fence, See Details 1-2, sheet L0.2
- (E) Tree has been removed and its removal mitigated under separate permit (TRM240363)
- Critical Root Zone (CRZ)

TREE REMOVALS

Tree #	Size	Species	Protection Status	Mitigation	Qty
115	12"	Coast Live Oak	Protected		1
132	12"	Monterey Pine	Protected		1

TREE REMOVAL AND PROTECTION NOTES

- Refer to Arborist Report as prepared by Urban Tree Management, for additional notes and information related to the Construction Tree Protection Measures.
- All existing trees not shown for removal are to remain and be protected throughout construction.
- Tree Trunk Protection: Protect tree trunks as noted on plan from mechanical damage prior to and during construction. If a tree trunk is in close proximity to the construction work or staging areas, wrap the entire trunk with 2x4x8 lumber. Review extent w/ arborist and L.A. Place 2x4x8's vertically, side by side, around the diameter of the tree trunk and hold securely in place with strapping. Periodically check the wrapping to assure all is tight, in place, and properly functioning.
- All Tree Protection Fencing shall be installed prior to the arrival of any construction materials, machinery, equipment, and/or vehicles.
- Do not remove or move Tree Protection Fencing, even temporarily, without Arborist's written approval.
- Tree Protection Signage shall be securely mounted to all individual tree protection fences.
- Routinely inspect and maintain tree protection fencing.
- Arborist shall approve and supervise any excavation activities, including trenching, within the designated tree protection area.



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APN/ Lot Number
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Phase
DESIGN DEVELOPMENT

Revisions		
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02/03/25		PLANNING RESUBMITTAL

Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

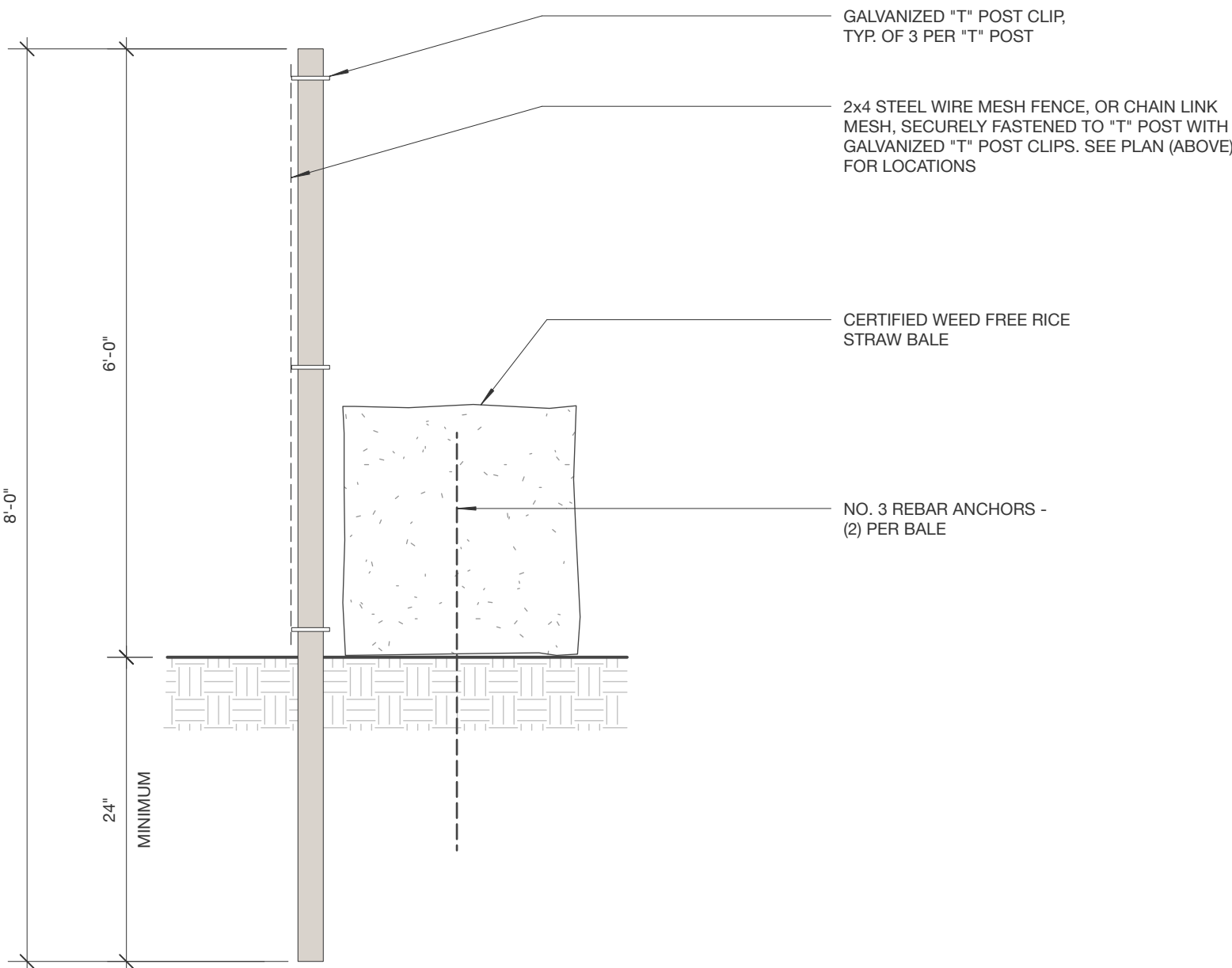
Drawn by
KD

Scale: AS SHOWN

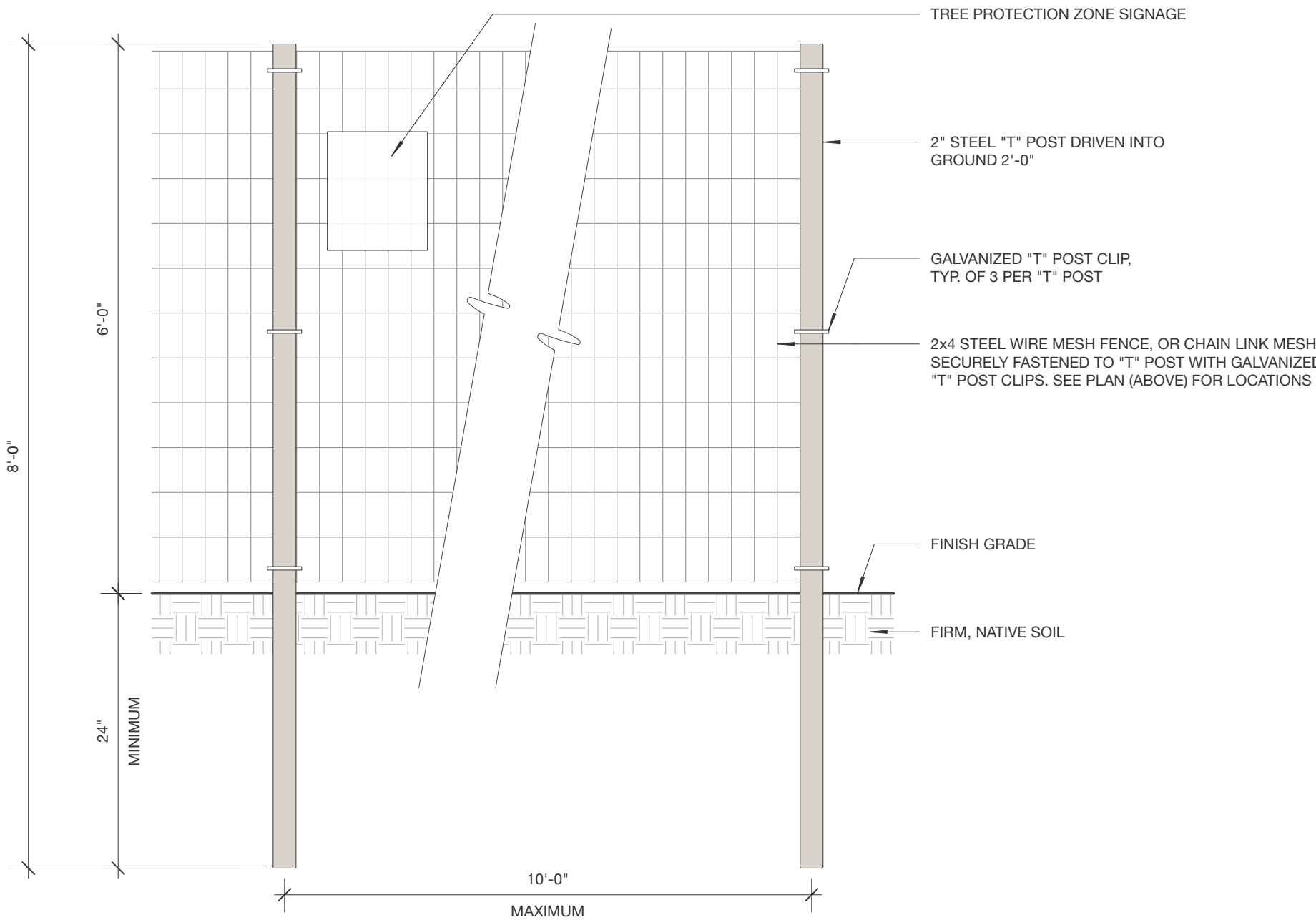
Drawing Title

TREE PROTECTION
DETAILS

L0.2



2 SECTION DETAIL: TREE PROTECTION FENCE
1" = 1'-0"



1 ELEVATION DETAIL: TREE PROTECTION FENCE
1" = 1'-0"

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CASITA CYPRESS
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APN/ Lot Number
008-453-017

Phase
DESIGN DEVELOPMENT

Revisions		
No.	Date	Description
7/16/24		PLANNING SUBMITTAL
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02/03/25		PLANNING RESUBMITTAL

Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16"=1'-0"



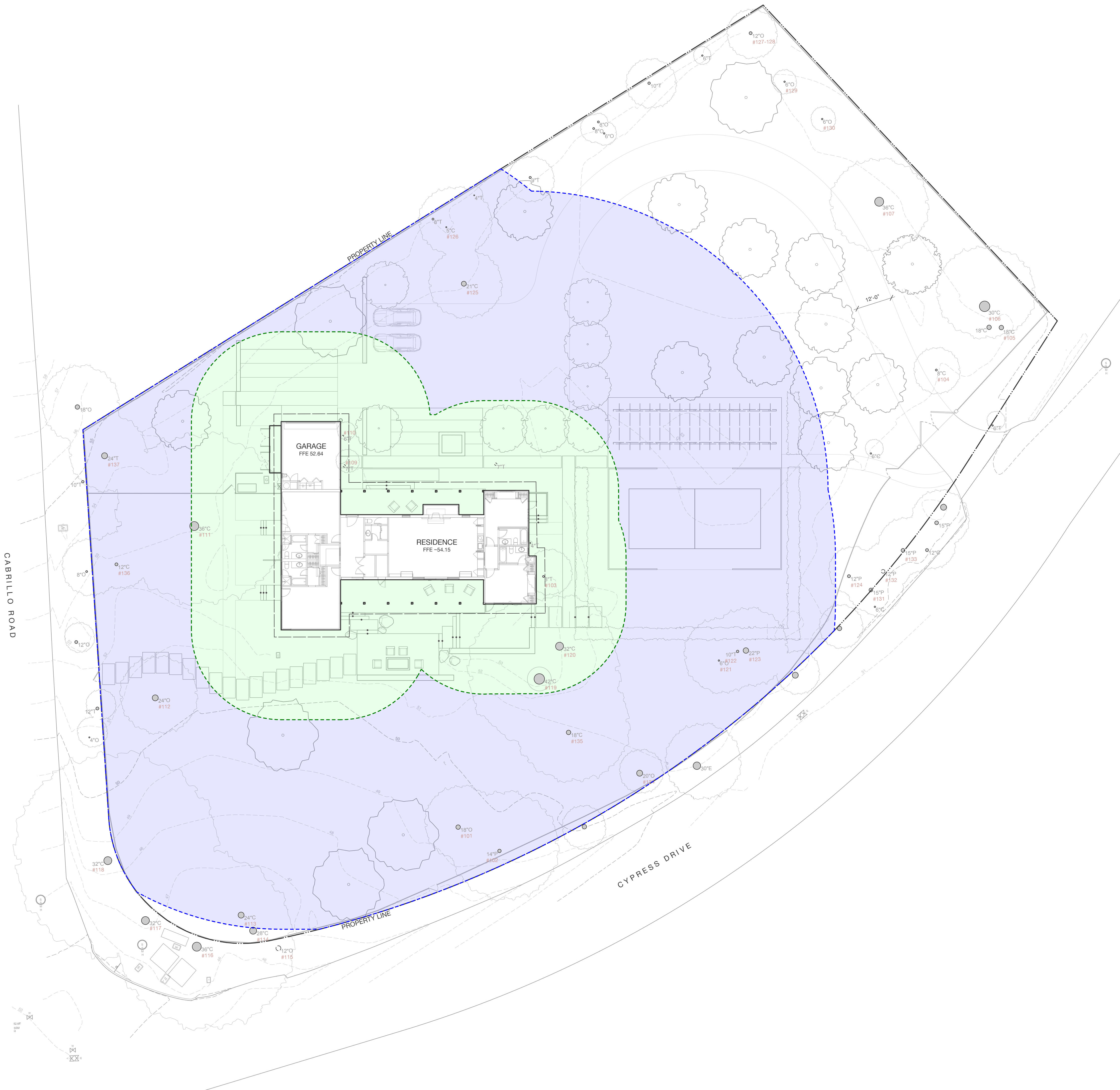
North



Drawing Title

FUEL MANAGEMENT
PLAN

L0.3



FUEL MANAGEMENT NOTES:

In accordance with State guidelines for creating a defensible space around structures, a reduced fuel zone shall be created and managed for the proposed development shown in these drawings.

Management will include thinning and removal of existing combustible vegetation, live or dead. In addition, proposed plantings closest to the structures shall have some fire resistance, or be very low growing plants as to reduce the potential fire hazard.

Landscaping Zone – entire landscaped area
Approved landscaping must be designed and maintained to minimize flammability. All landscaping occurs within the property boundary. Ornamental landscaping often results in large amounts of shrubby flammable vegetation being planted near structures. Many commonly used landscape plants, such as conifers, flammable woody shrubs, and tall ornamental grasses, shall be avoided because they may create a fire threat to a home that would otherwise be fire safe. All plant material that is removed from the landscaping must be composted or removed and disposed of properly. The horizontal and vertical spacing between landscaping plants and volume of landscaping biomass should be appropriate to reduce fire intensity and the rate of spread of fire.

Green Zone: 0-30ft from structures
All flammable vegetation and any dead or dying plant shall be removed within 30 feet surrounding any building on the property. Trees shall be well pruned and well spaced to avoid the spread of fire, including removal of all limbs 6 feet from the ground. All annual grasses shall be mowed in early summer to maintain a height of 4 inches during the summer. All work to be performed in coordination with the project biologist and arborist.

Management Zone: 30+ft from structures
Mowing grass under and around trees reduces fire intensity and rate of spread of fire to an acceptable level, and diminishes the possibility fire can climb into tree canopy. Pruning the small lower tree branches, will reduce the possibility fire can spread into the tree crowns. Woody weed species such as French Broom, Poison Hemlock and Thistles must be completely removed annually. All grass growing under trees, out to 6 feet beyond the drip lines of trees, should be mowed in early summer to a height of four inches. Small diameter lower tree branches must be pruned, and removal of leaf litter depth should be kept to no greater than 4 inches. All work to be performed in coordination with the project biologist and arborist.

Prescriptions for Tree Pruning:
a. All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
b. Living branches that are greater than 3 inches in diameter but lower than 8 feet in height can be retained, provided that the area within the drip-line of trees is maintained Oaks with live limbs resting on the ground need not be removed, but all ground debris around and beneath the limbs must be removed to reduce fire risk.
c. Dead limbs less than 8 feet in height shall be removed.
d. In landscaped areas, healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to provide vertical clearance of 3 times the height of the understory plants, or 8 feet above understory plants, whichever is greater.
e. For trees shorter than 24 inches in height, remove lower 1/3 of branches smaller than 3 inches in diameter, or alternatively, treat as a shrub grouping.
f. Once initial pruning is accomplished, tree pruning is likely to be needed infrequently, on an interval of about once every 3 to 5 years.
g. Do not thin or prune the tree canopy, as this will promote more understory shrub growth as well as lower parts of the tree, and will result in increased risk that fire will spread to the tree canopy.

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1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953

Phase
DESIGN DEVELOPMENT

Revisions		
No.	Date	Description
	7/16/24	PLANNING SUBMITTAL
	9/27/24	ARB SUBMITTAL
	10/04/24	PLANNING RESUBMITTAL
	02/03/25	PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Scale: 1/16"=1'-0"

LANDSCAPE SITE PLAN

LEGEND

- 1 (N) VEHICULAR ENTRY GATE
- 2 (N) CHIP SEAL DRIVEWAY + PARKING COURT
- 3 (N) GRAVEL PAVING
- 4 (E) TIMBER DECK, S.A.D.
- 5 (N) STONE PAVEMENT
- 6 (N) LOW STONE WALL
- 7 (N) STONE STEPS
- 8 (N) PICKLEBALL COURT
- 9 (N) GAS FIRE PIT
- 10 (N) TIMBER PERGOLA
- 11 (N) 6" TIMBER FENCE
- 12 (N) 42" FENCE
- 13 (N) PEDESTRIAN GATE
- 14 (N) NATIVE MOWN TURF
- 15 (N) NATIVE GRASS
- 16 (E) BOULDER
- 17 (E) GENERATOR / PENDING ISSUANCE OF BUILDING PERMIT

— (E) TREE TO REMAIN AND BE PROTECTED, TYP.

— (E) FENCE TO REMAIN

— (N) TREE, TYP. SEE PLANTING PLAN

— (E) PEDESTRIAN GATE

— (E) PATH

— (E) TREE HAS BEEN REMOVED AND ITS REMOVAL
MITIGATED UNDER SEPERATE PERMIT (TRM240363)

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FOR REGULATORY PERMITTING
PURPOSES ONLY
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CASITA CYPRESS
RESIDENCE

1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-453-017

Phase
DESIGN DEVELOPMENT

Revisions		
No.	Date	Description
7/16/24		PLANNING SUBMITTAL
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10/04/24		PLANNING RESUBMITTAL
02/03/25		PLANNING RESUBMITTAL

Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16"=1'-0"



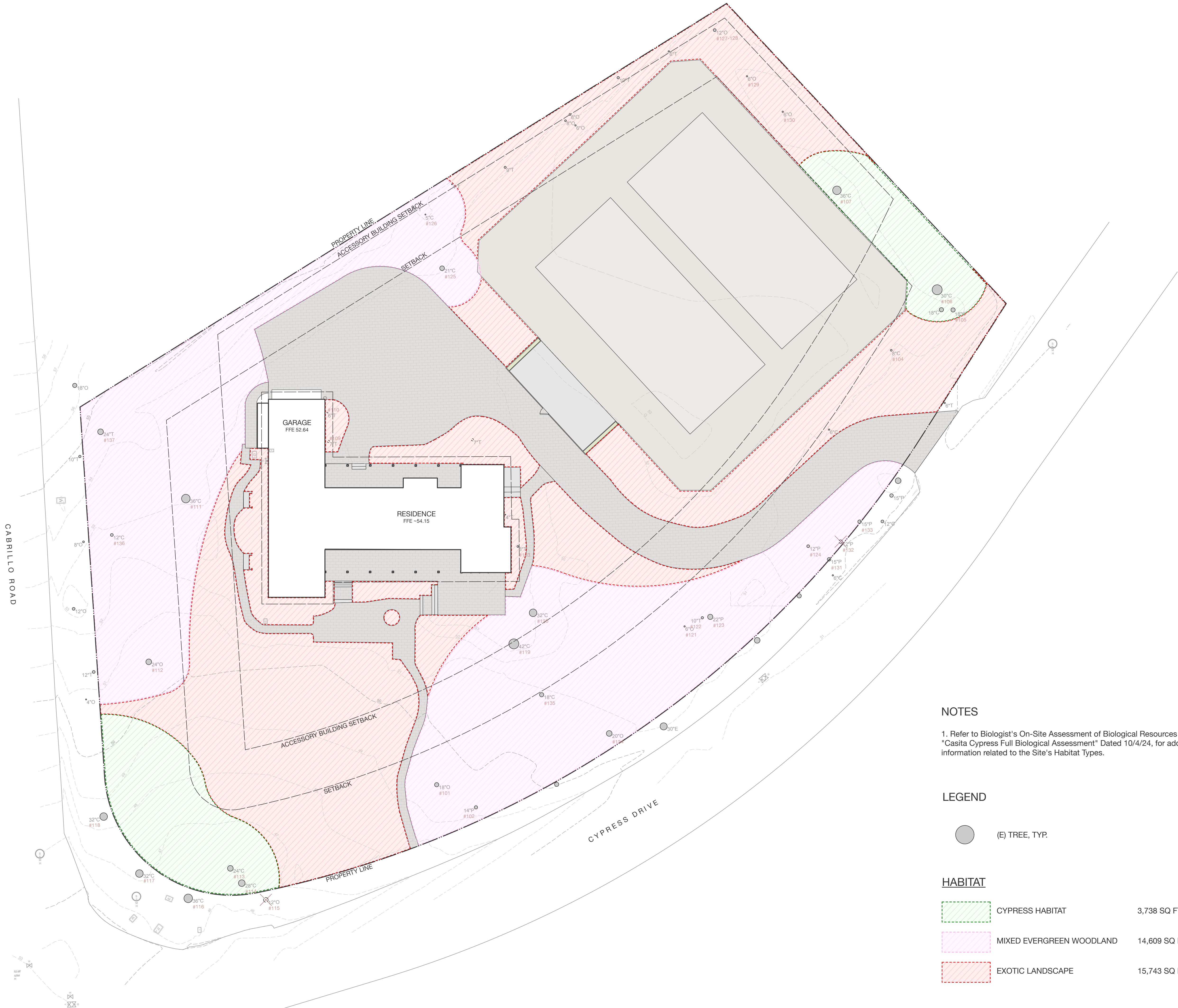
North



Drawing Title

HABITAT TYPES

L1.1



NOTES

1. Refer to Biologist's On-Site Assessment of Biological Resources Report "Casita Cypress Full Biological Assessment" Dated 10/4/24, for additional information related to the Site's Habitat Types.

LEGEND

(E) TREE, TYP.

HABITAT

CYPRESS HABITAT	3,738 SQ FT
MIXED EVERGREEN WOODLAND	14,609 SQ FT
EXOTIC LANDSCAPE	15,743 SQ FT

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Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1" = 30.0'



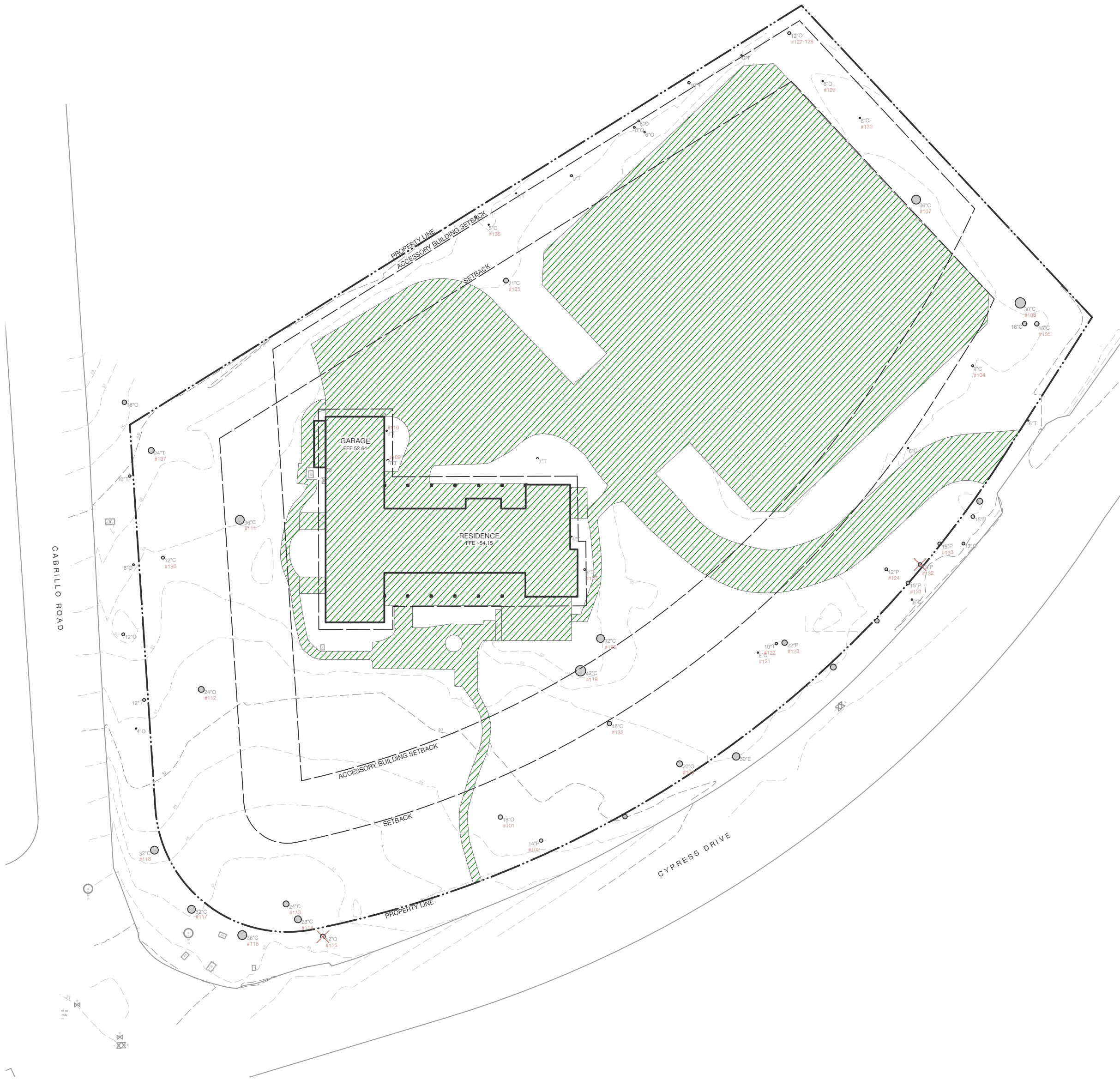
North



Drawing Title

DEVELOPMENT AREA
PLAN

L1.2



LEGEND

EXISTING DEVELOPMENT AREA =25,895 SQ FT



LEGEND

PROPOSED DEVELOPMENT OUTSIDE OF EXISTING = 4,084 SQ FT

PROPOSED DEVELOPMENT AREA = 13,403 SQ FT

TOTAL PROPOSED DEVELOPMENT AREA = 17,487 SQ FT
(8,408 SQ FT REDUCTION FROM EXISTING)

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Issue
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Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16"=1'-0"



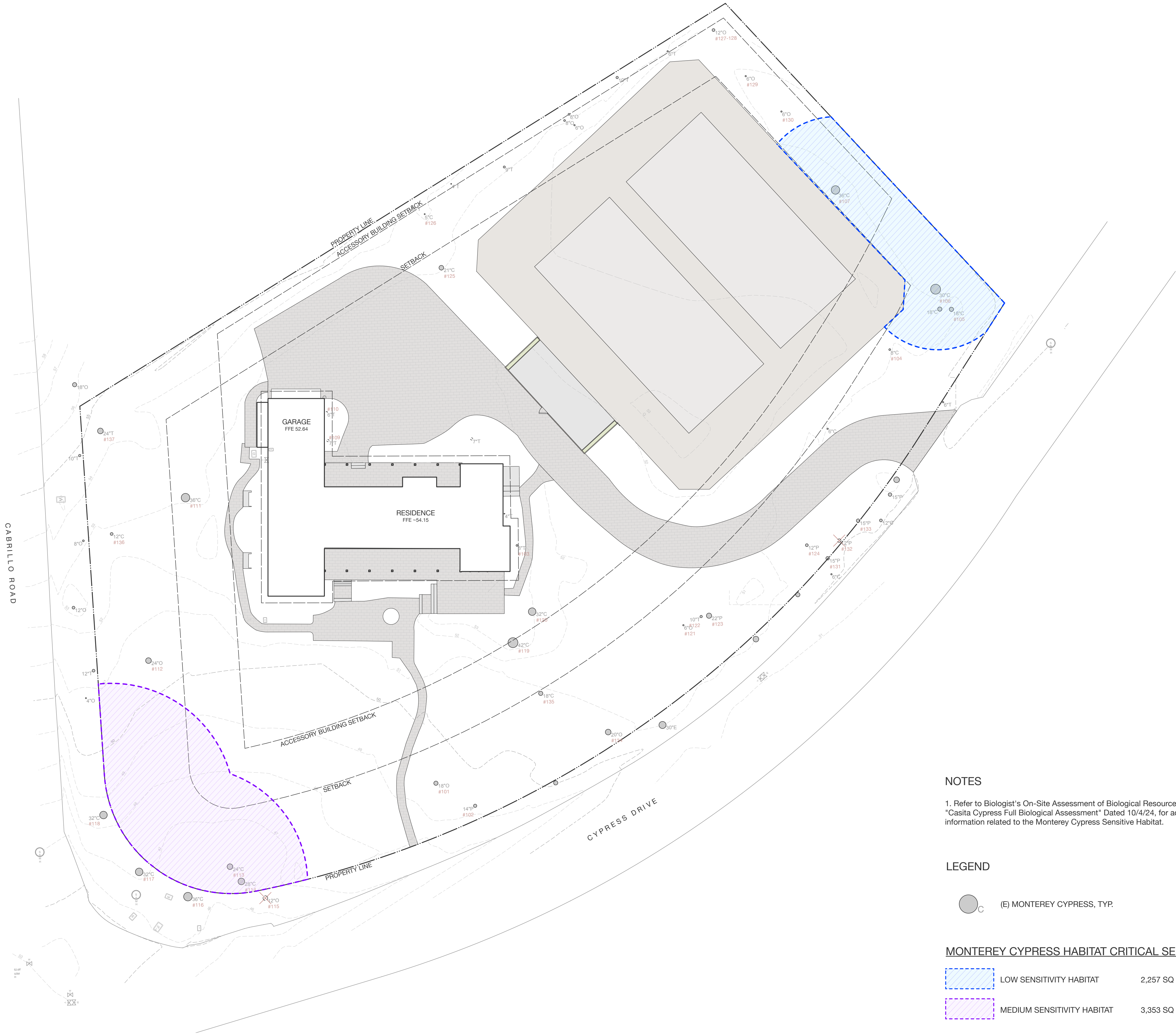
North



Drawing Title

ESTIMATED LEVELS OF
MONTEREY CYPRESS
HABITAT SENSITIVITY

L1.3



NOTES

1. Refer to Biologist's On-Site Assessment of Biological Resources Report "Casita Cypress Full Biological Assessment" Dated 10/4/24, for additional information related to the Monterey Cypress Sensitive Habitat.

LEGEND

(E) MONTEREY CYPRESS, TYP.

MONTEREY CYPRESS HABITAT CRITICAL SENSITIVITY

LOW SENSITIVITY HABITAT	2,257 SQ FT
MEDIUM SENSITIVITY HABITAT	3,353 SQ FT

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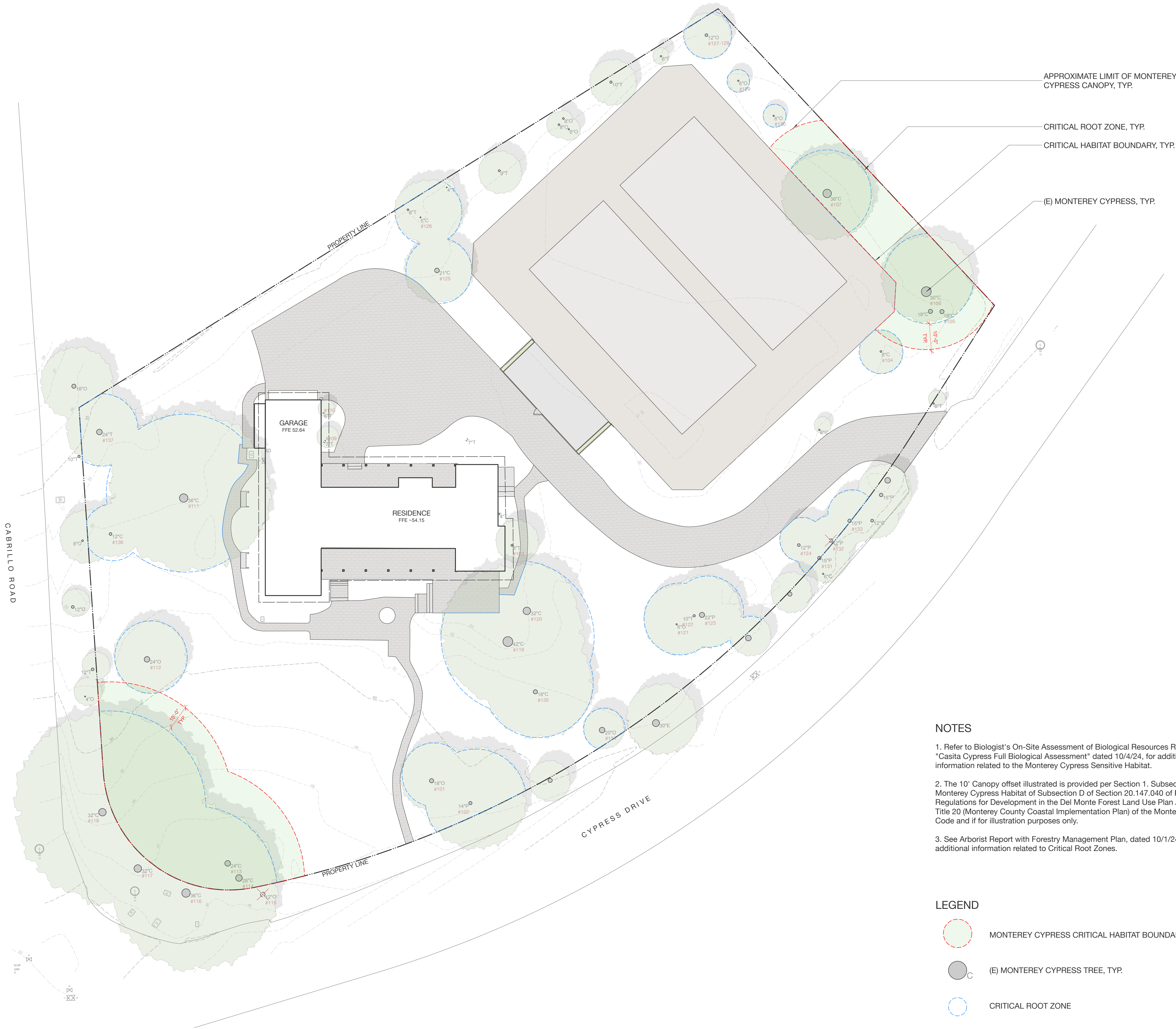
North



Drawing Title

MONTEREY CYPRESS
CRITICAL HABITAT +
CRITICAL ROOT ZONE

L1.4



APPROXIMATE LIMIT OF MONTEREY
CYPRESS CANOPY, TYP.

CRITICAL ROOT ZONE, TYP.

CRITICAL HABITAT BOUNDARY, TYP.

(E) MONTEREY CYPRESS, TYP.

NOTES

1. Refer to Biologist's On-Site Assessment of Biological Resources Report "Casita Cypress Full Biological Assessment" dated 10/4/24, for additional information related to the Monterey Cypress Sensitive Habitat.
2. The 10' Canopy offset illustrated is provided per Section 1. Subsection 2A Monterey Cypress Habitat of Subsection D of Section 20.147.040 of Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area, of Title 20 (Monterey County Coastal Implementation Plan) of the Monterey County Code and if for illustration purposes only.
3. See Arborist Report with Forestry Management Plan, dated 10/1/24, for additional information related to Critical Root Zones.

LEGEND

- MONTEREY CYPRESS CRITICAL HABITAT BOUNDARY
- (E) MONTEREY CYPRESS TREE, TYP.
- CRITICAL ROOT ZONE

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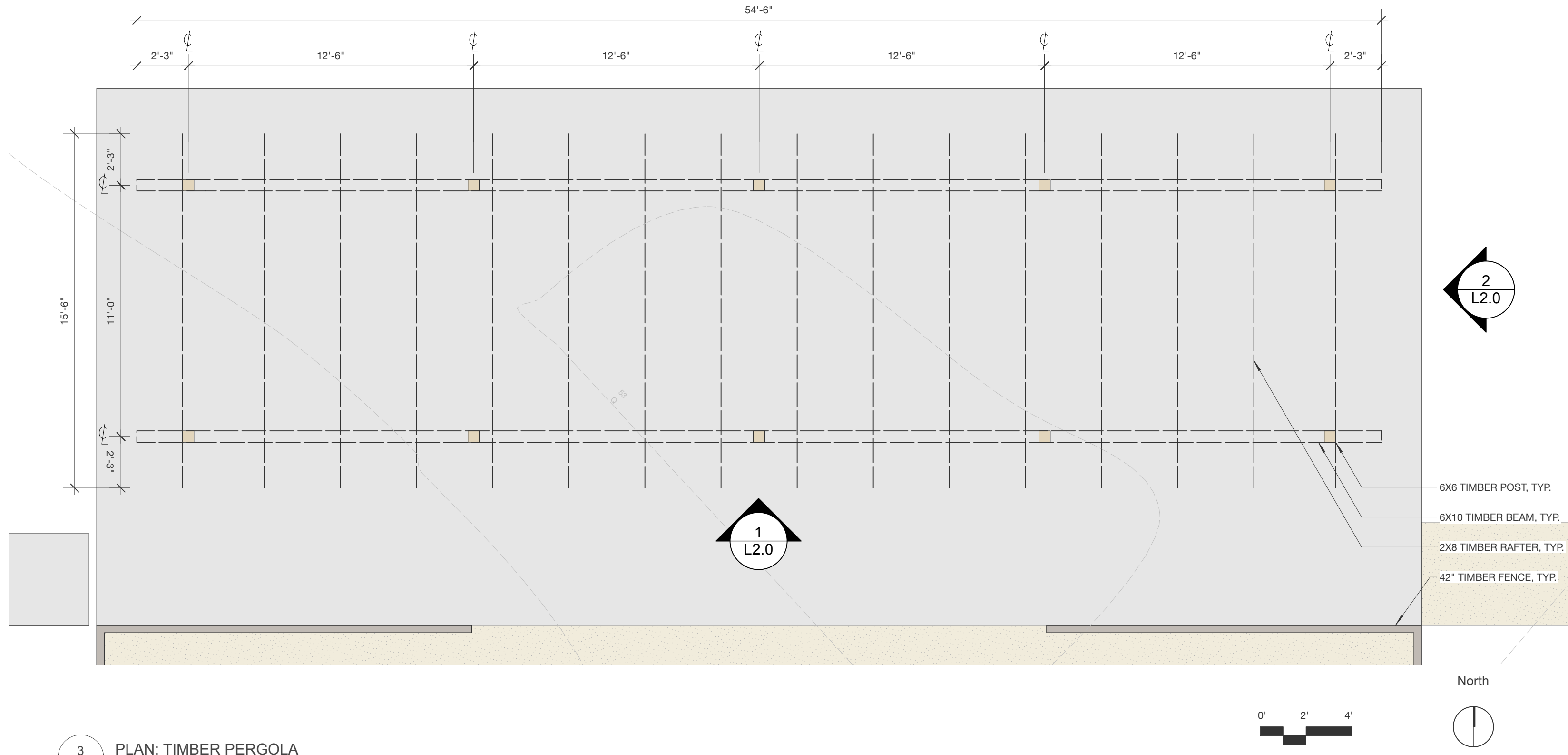
Drawn by
KD

Scale: AS SHOWN

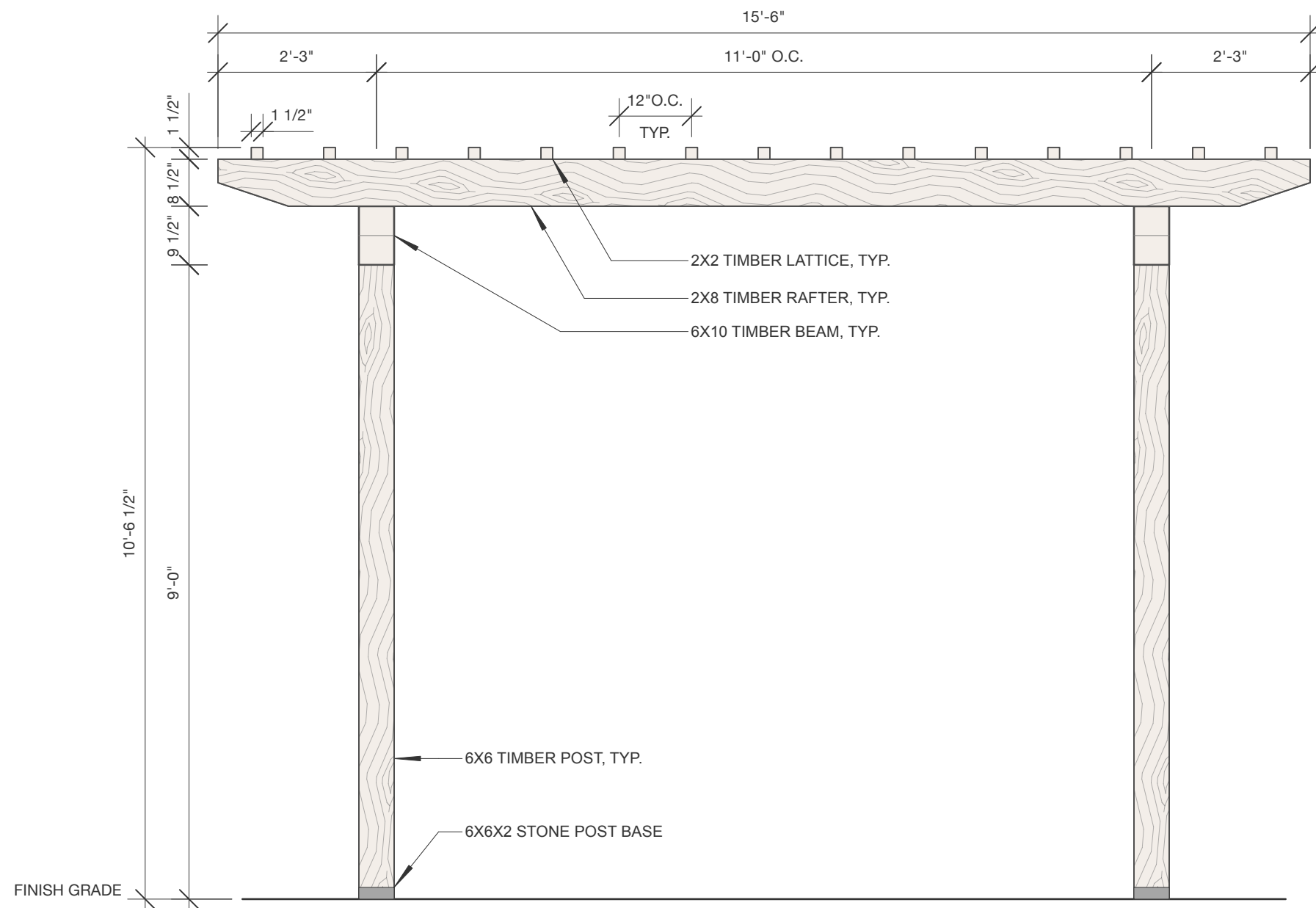
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LANDSCAPE DETAILS

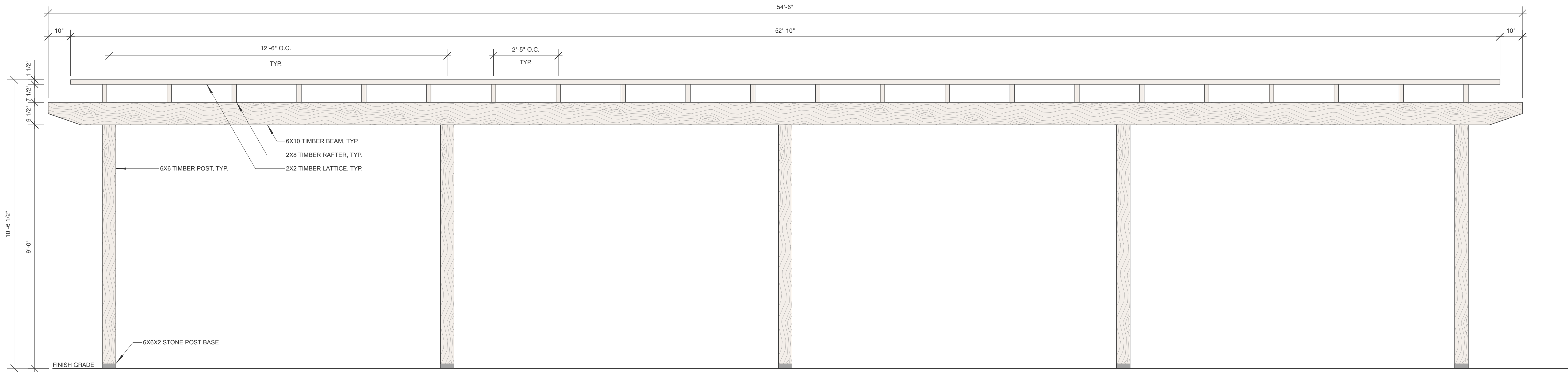
L2.0



3 PLAN: TIMBER PERGOLA
1/4" = 1'-0"



2 ELEVATION: TIMBER PERGOLA
1/2" = 1'-0"



1 ELEVATION: TIMBER PERGOLA
1/2" = 1'-0"

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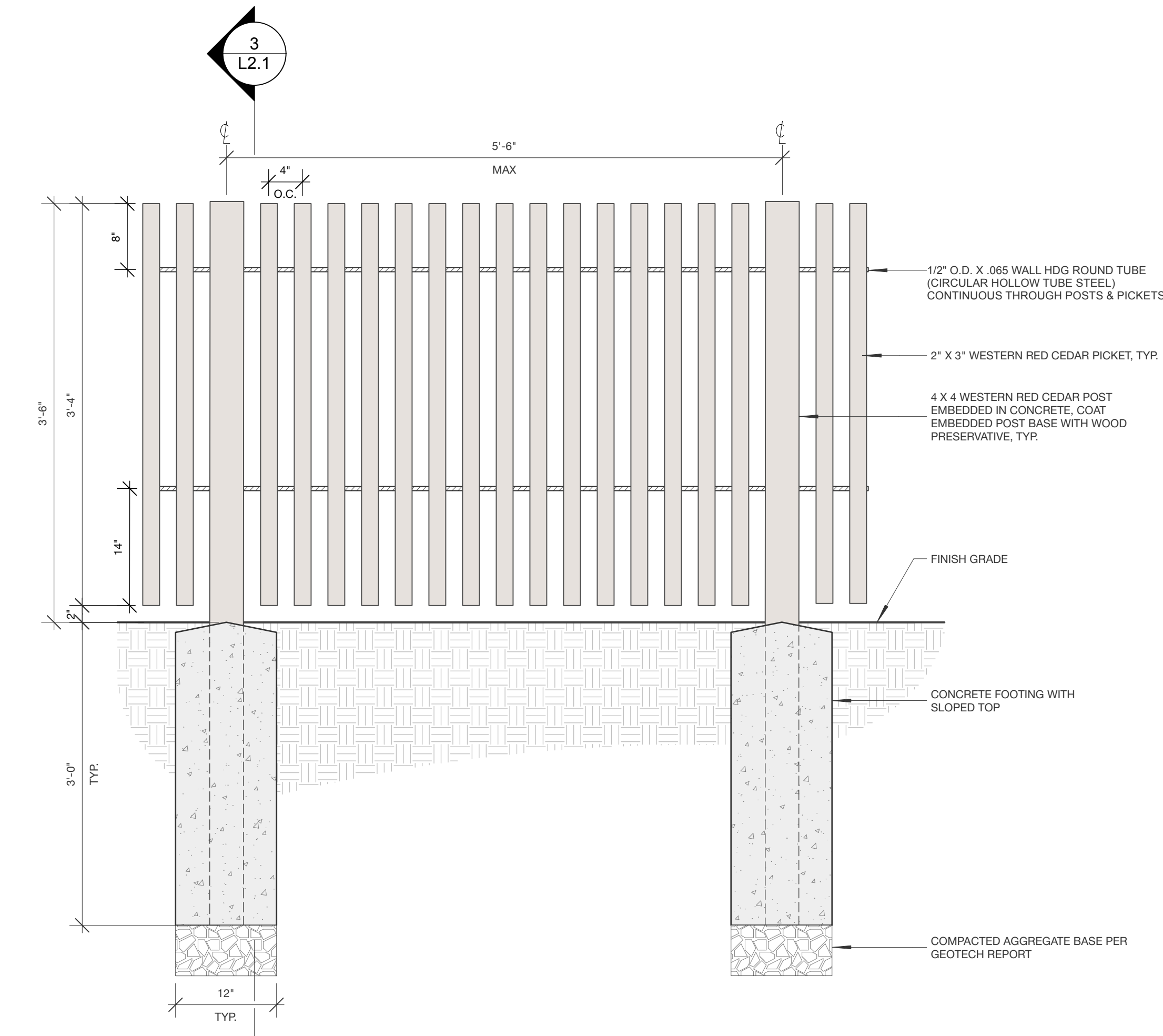
Drawn by
KD

Scale: AS SHOWN

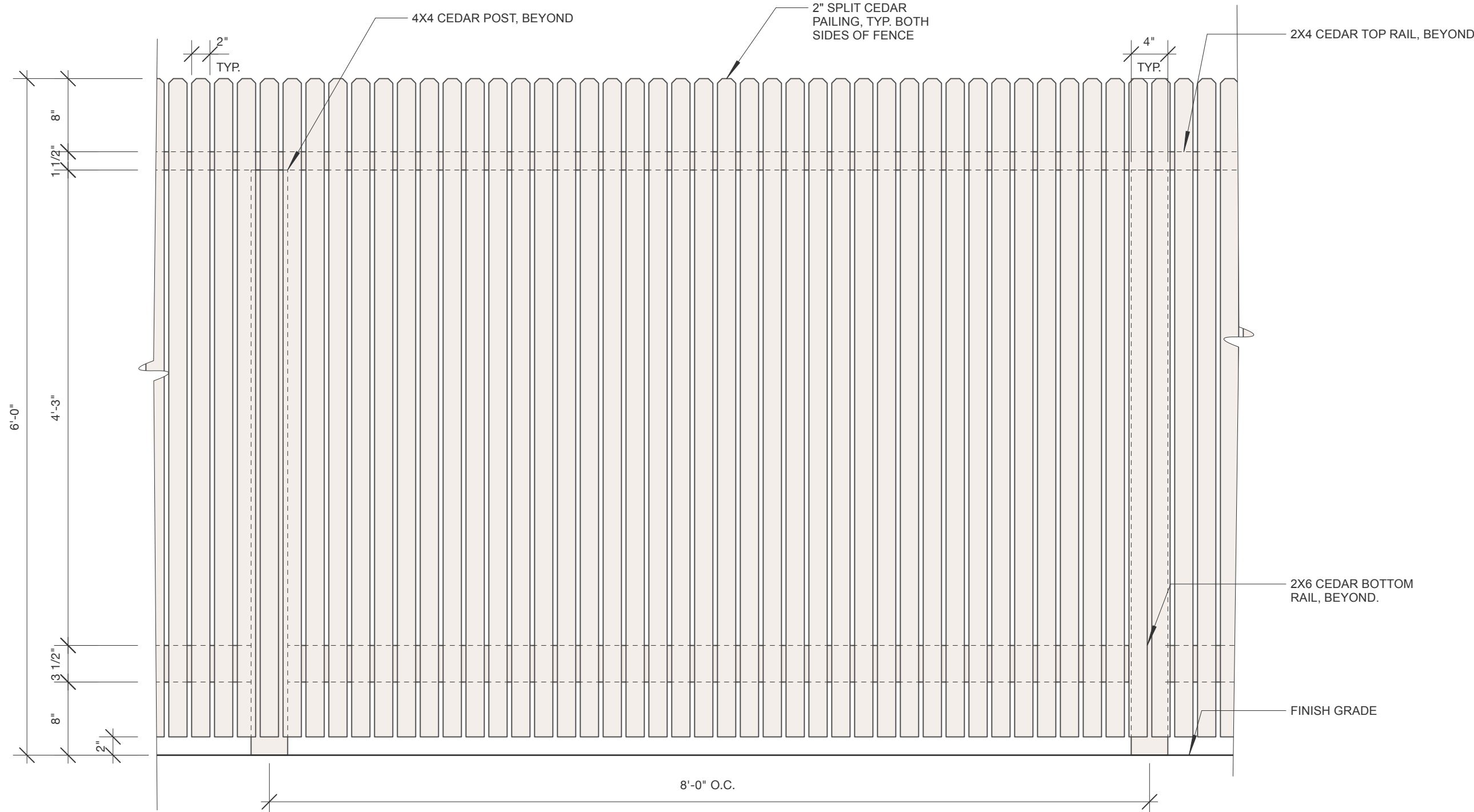
Drawing Title

LANDSCAPE DETAILS

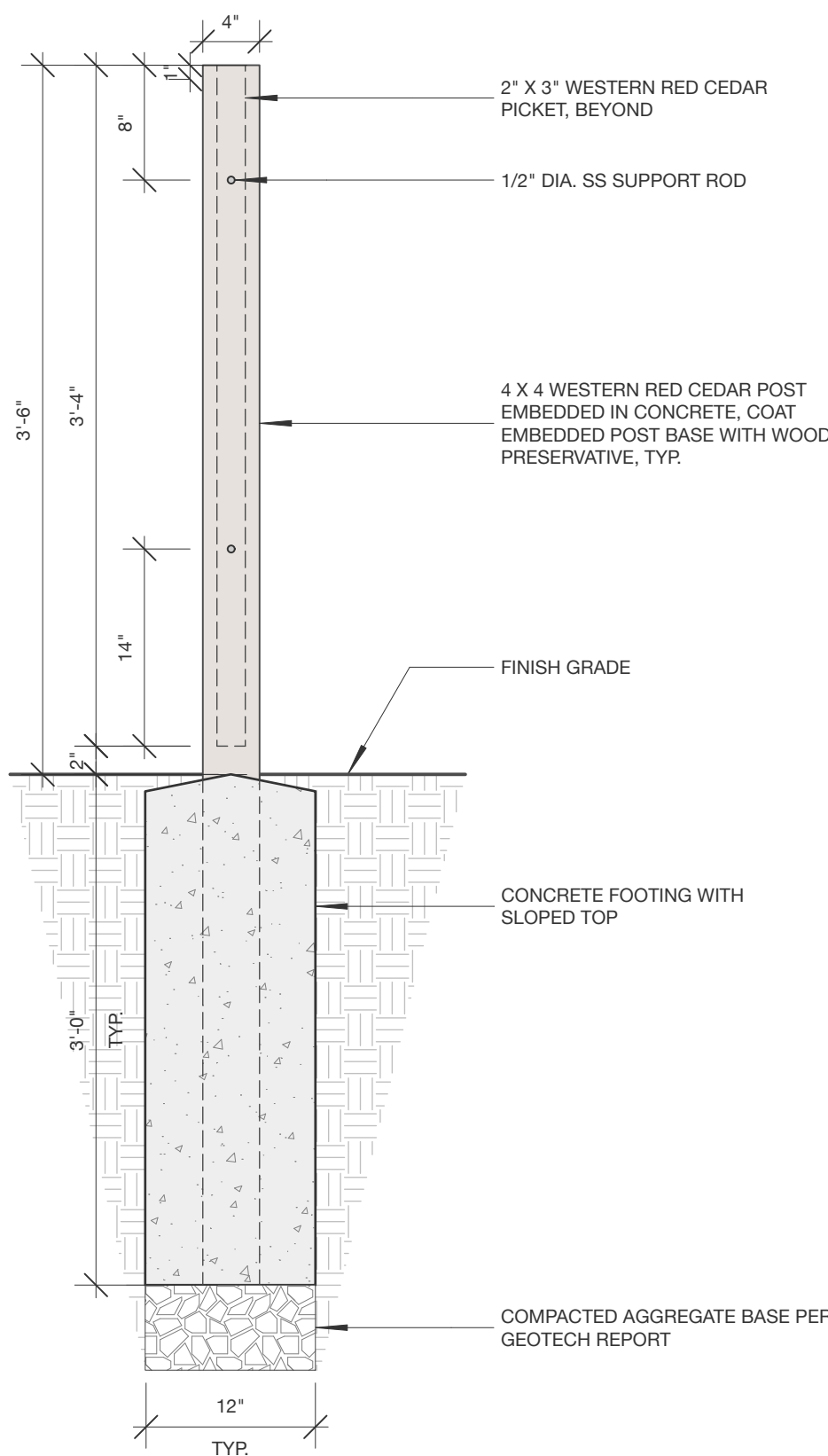
L2.1



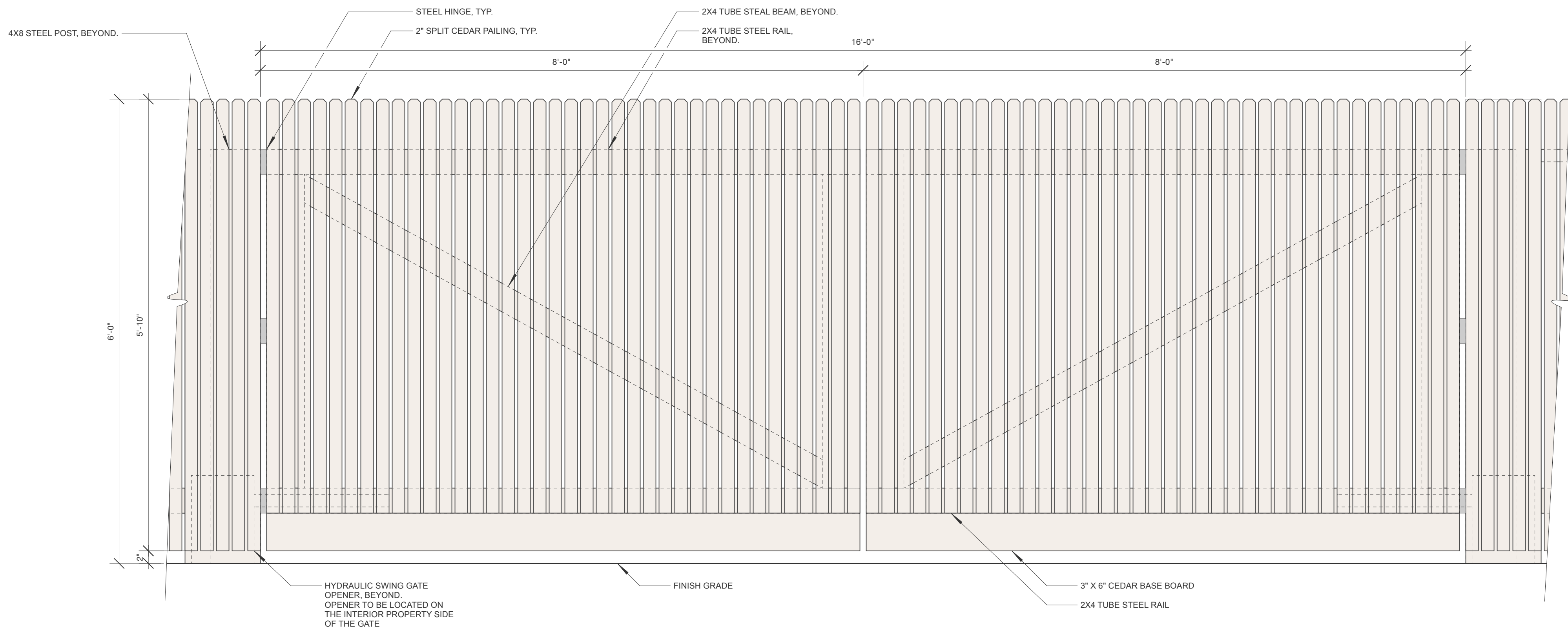
4 ELEVATION: 42" FENCE
1" = 1'-0"



2 SECTION DETAIL: CEDAR FENCE
1" = 1'-0"



3 SECTION DETAIL: 42" FENCE
1" = 1'-0"



1 SECTION DETAIL: DRIVEWAY GATE
1" = 1'-0"



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Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16"=1'-0"



North



Drawing Title

PLANTING PLAN

LANDSCAPE CERTIFICATION

Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.

[Signature]

L3.0

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Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: AS SHOWN

Drawing Title

PLANTING LEGEND +
NOTES

L3.1

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Notes
--------	----------	----------------	-------------	----------------	-------

TREES

	8	Arbutus 'Marina'	Strawberry Tree	60" box	Natural Form
	11	Cornus x 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	36" box	
	1	Hesperocyparis macrocarpa	Monterey Cypress	15 gal	
	5	Quercus agrifolia	Coastal Live Oak	(3) 48" box (4) 60" box	

SHRUBS

	9	Ceanothus 'Dark Star'	Dark Star Ceanothus	5 gal	
	13	Chondropetalum 'El Campo'	Dwarf Cape Rush	2 gal	
	33	Frangula 'Leatherleaf'	Leatherleaf Coffeeberry	5 gal	
	33	Morella Californica	Pacific Wax Myrtle	15 gal	
	66	Westringia 'Blue Gem'	Blue Gem Coast Rosemary	2 gal	

PLANTING ZONES

Symbol	Quantity	Botanical Name	Common Name
--------	----------	----------------	-------------

COURTYARD PLANTING

	2,112 SF	Heuchera maxima Leymus condensatus 'Canyon Prince' Woodwardia fimbriata Pittosporum crassifolium 'Nana' Thymus serpyllum 'Elfin'	Giant Alumroot Canyon Prince Wild Rye Giant Chain Fern Dwarf Karo Elfin Thyme
--	----------	--	---

COASTAL BACKDUNE BUFFER

	9,104 SF	Artemisia 'David's Choice' Heuchera maxima Iris douglasiana Leymus condensatus 'Canyon Prince' Woodwardia fimbriata	Coastal Sagewort Giant Alumroot Douglas Iris Canyon Prince Wild Rye Giant Chain Fern
--	----------	---	--

COASTAL MEADOW

	8,751 SF	Carex divulsa Chondropetalum 'El Campo' Deschampsia cespitosa Festuca 'Tomaes Bay' Iris douglasiana	Berkeley Sedge Dwarf Cape Rush Tufted Hairgrass Idaho Fescue Douglas Iris
--	----------	---	---

MONTEREY CYPRESS HABITAT RESTORATION ZONE - MED

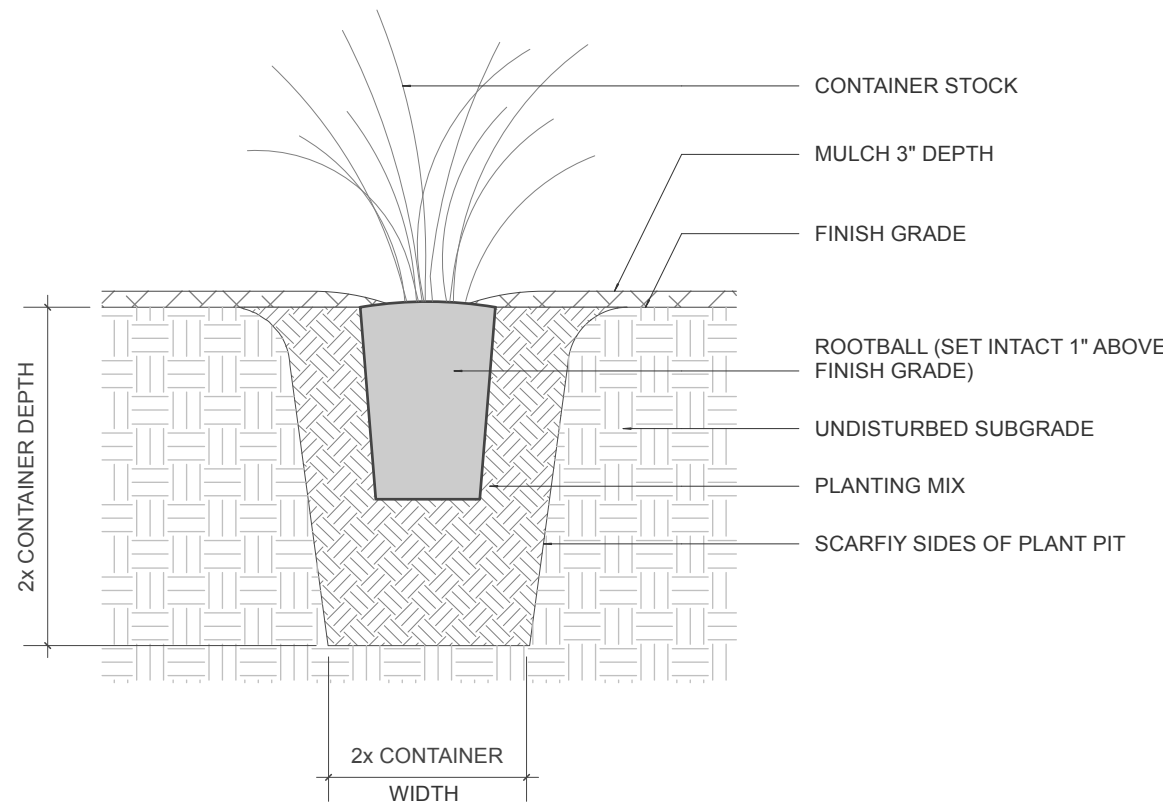
	3,118 SF	Achillea millefolium Carex pansa Frangula californica Iris douglasiana Ribes sanguineum var. glutinosum Stachys bullata	Common Yarrow Sand Dune Sedge California Coffeeberry Douglas's Iris Pink Flowerin Currant Wood Mint
--	----------	--	--

NATIVE TURF

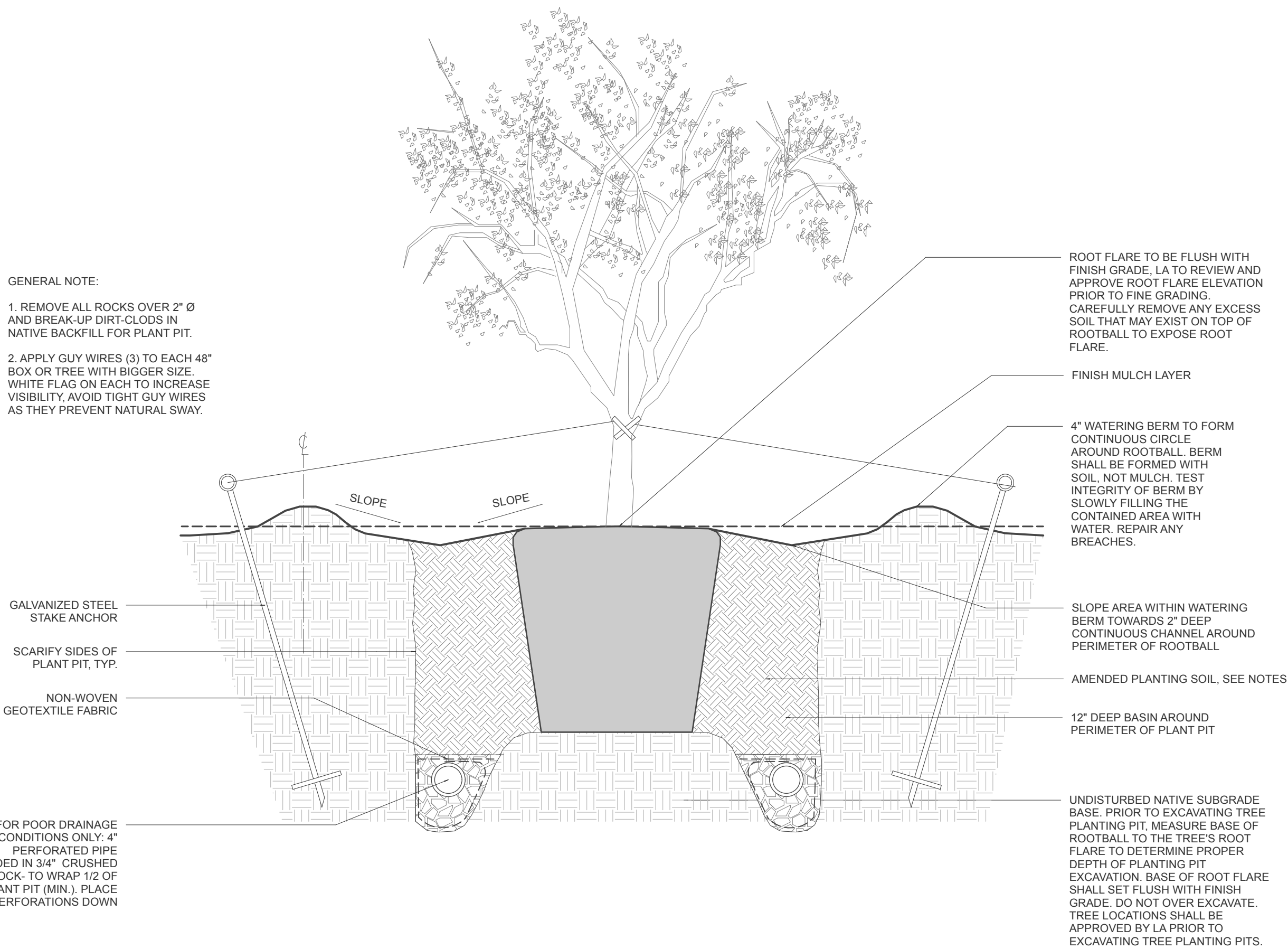
	6,641 SF	Achillea millefolium Carex pansa	Common Yarrow Sand Dune Sedge
--	----------	-------------------------------------	----------------------------------

LANDSCAPE CERTIFICATION

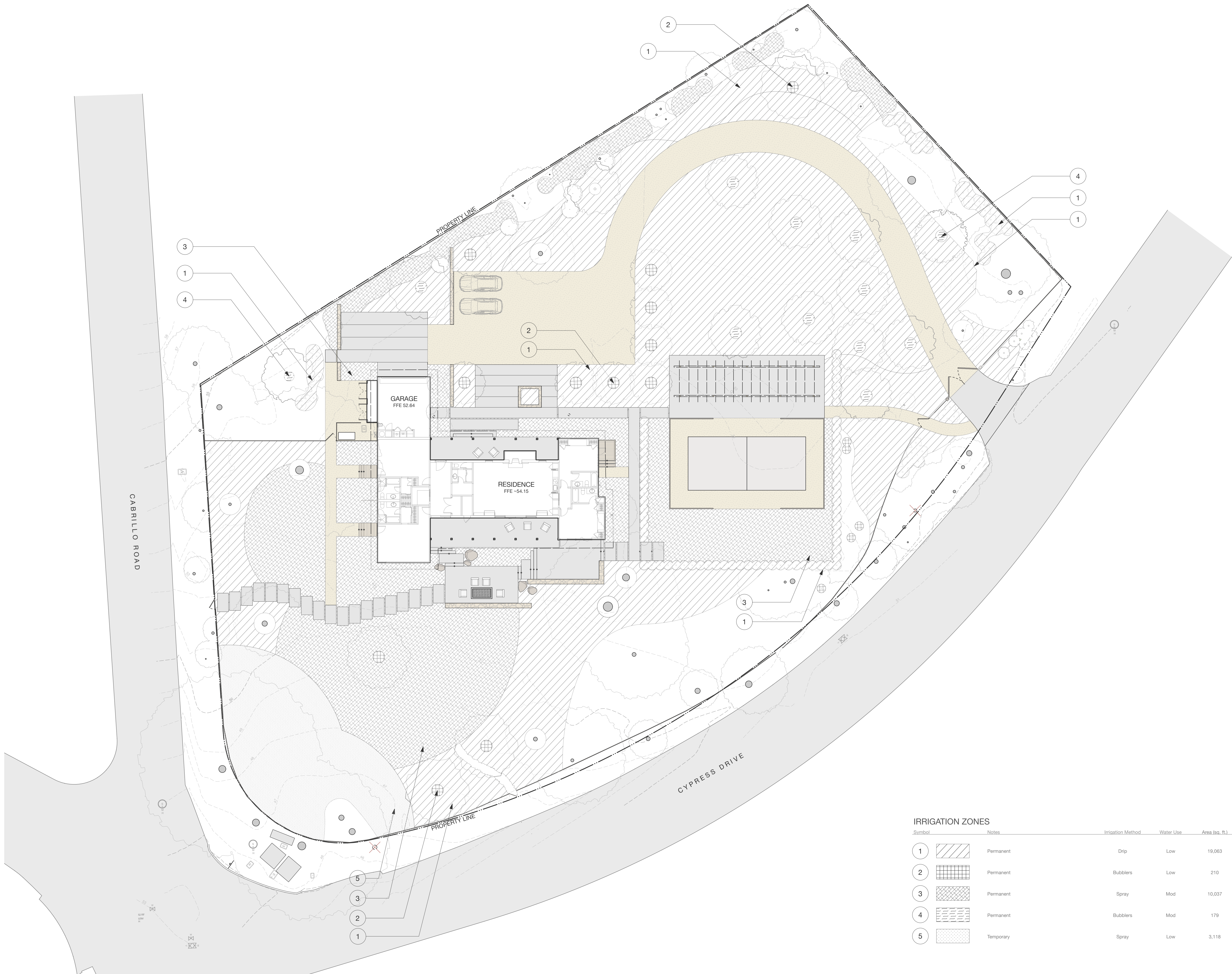
Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.



2 SECTION: CONTAINER STOCK PLANTING
L3.1 1" = 1'-0"



1 ELEVATION: TREE PLANTING IN VEGETATION
L3.1 1" = 1'-0"



IRRIGATION ZONES					
Symbol	Notes		Irrigation Method	Water Use	Area (sq. ft.)
1		Permanent	Drip	Low	19,063
2		Permanent	Bubblers	Low	210
3		Permanent	Spray	Mod	10,037
4		Permanent	Bubblers	Mod	179
5		Temporary	Spray	Low	3,118

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4	02/03/25	PLANNING RESUBMITTAL

Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: 1/16"=1'-0"
0' 8' 16'
North

Drawing Title
IRRIGATION PLAN

L4.0

IRRIGATION NOTES

1. LANDSCAPE CONTRACTOR WILL FOLLOW INDUSTRY STANDARDS FOR THE INSTALLATION OF THE IRRIGATION SYSTEM ANY PROPOSED CHANGES TO THE IRRIGATION SYSTEM WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE CHANGES BEING MADE. CONTRACTOR TO VERIFY IN FIELD THE CONDITIONS OF THE LANDSCAPE AREAS PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
2. MAINLINE PIPE SHALL BE NO LESS THAN CLASS 315 FOR PIPE SIZED 3" AND GREATER, AND SCHEDULE 40 FOR PIPE SIZED 2-1/2" AND SMALLER. MAINLINE PIPING SHALL BE INSTALLED AT A MINIMUM DEPTH TO ENSURE 18" OF COVER AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT INTERFERE WITH THE STORMWATER AND OTHER UTILITIES' SYSTEMS.
3. LATERAL PIPING SHALL BE CLASS 200 PIPE AND INSTALLED TO A MINIMUM DEPTH TO ENSURE 12" OF COVER
4. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY SHALL BE INSTALLED ON PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING, TREE ROOT ZONES, AND ARCHITECTURAL FEATURES.
5. SYSTEM SHALL RECEIVE AN INTERIOR MOUNTED IRRIGATION CONTROLLER. CONTRACTOR TO VERIFY IN FIELD LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.
6. LANDSCAPE IRRIGATION SYSTEMS SHALL BE INSTALLED TO PREVENT OVER-SPRAY ON STRUCTURES.
7. IRRIGATION DEMAND: 20 GPM AT 80 PSI. FIELD VERIFY EXACT PRESSURE PRIOR TO START OF WORK IF PRESSURE VARIES FROM REQUIRED PRESSURE, NOTIFY LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION.
8. ALL TEMPORARY VALVES AND SPRINKLER OUTLETS SHOWN IN ARE FOR THE ESTABLISHMENT PERIOD AND SHALL BE SHUT-OFF POST ESTABLISHMENT.
9. CONNECT THE IRRIGATION MAINLINE TO DOMESTIC WATER LINE. INSTALL NEW 1-1/2" SUB-METER FOR THE IRRIGATION SYSTEM. RUN 1-1/2" PVC MAINLINE FROM NEW SUB-METER TO BACKFLOW PREVENTOR. PIPE RUNS SHALL AVOID CRITICAL ROOT ZONES OF TREES AND USE 45° ELBOWS WERE POSSIBLE TO REDUCE THE NUMBER OF 90° ELBOWS
10. SYSTEM SHALL RECEIVE A 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER, FLOW SENSOR, AND MASTER VALVE. CONTRACTOR TO VIF. LOCATION OF ALL IRRIGATION SYSTEM COMPONENTS PRIOR TO INSTALLATION AND INSTALL ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.

ESTIMATED WATER USE CALCULATIONS


ETO	X	(ETaF	X	Planting SF)	X	Gal/ SF	MAWA (gal/yr)	ACRE-FT
36		0.55		29,489		0.62	362,007	1.1
Estimated Total Water Use								
Plant Water Use	(Eto)(0.62)	x	(PF x HA)			ETWU (gal/yr)	ACRE-FT	
Low	22.3		7,138		IE			
Mod	22.3		8,163					
ETWU						341,504	1	
Proposed Landscape Water use								
Plant Type	Water Use	x	Planting SF					
Low (drip)	0.3		19,063					
Low (bubbler)	0.3		210					
Mod (spray)	0.6		10,037					
Mod (bubbler)	0.6		179					

IRRIGATION ZONES

Symbol	Notes	Irrigation Method	Water Use	Area (sq. ft.)
1	Permanent	Drip	Low	19,063
2	Permanent	Bubblers	Low	210
3	Permanent	Spray	Mod	10,037
4	Permanent	Bubblers	Mod	179
5	Temporary	Spray	Low	3,118

LANDSCAPE CERTIFICATION

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Issue
PLANNING RESUBMITTAL

Date
04 OCTOBER 2024

Drawn by
KD

Scale: N/A

Drawing Title
IRRIGATION LEGEND +
NOTES

L4.1

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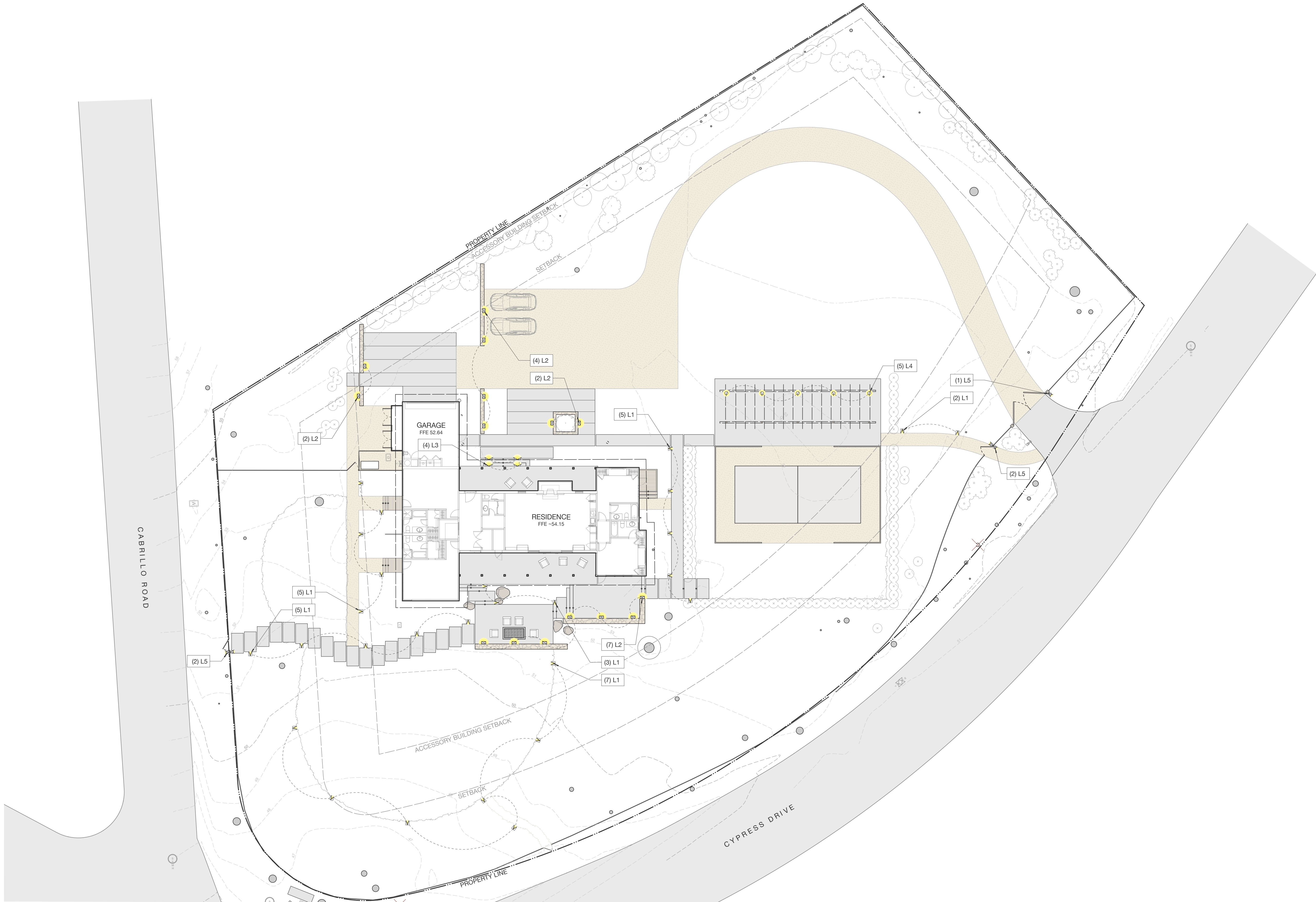
North



Drawing Title

LANDSCAPE LIGHTING
PLAN

L5.0



LIGHTING LEGEND & SPECIFICATIONS

#	Symbol	Quantity	Description	Brand/Model	Wattage
L1	M	27	Path Light	Beachside Lighting / R-005 / R-005-12-3W-G4-27	3W
L2	W	15	Wall Light	Beachside Lighting / E3-SQL / E3-SQL -2W-A-NFL	2W
L3	S	4	Step Light	Beachside Lighting / E9-RCL / E9-RCL -2W-A-NFL	2W
L4	D	5	Directional Downlight	Hunza / Wall Spot Light / WSL-S-EBZ-15-2700k	4W
L5	S	5	Sconce	Beachside Lighting / E1 / E1 -2W-A-NFL	2W

LIGHTING FIXTURES



EXTERIOR LIGHTING NOTES

- The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
- Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
- All fixtures to be installed per manufacturer's specifications.
- All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.
- All exterior fixtures shall be LED modules.
- Review lighting zones and switches with client, Arch, and LA prior to construction.
- All exterior fixtures to satisfy Monterey County's Guidelines for Exterior Lighting (Adopted 01/26/16)

L4



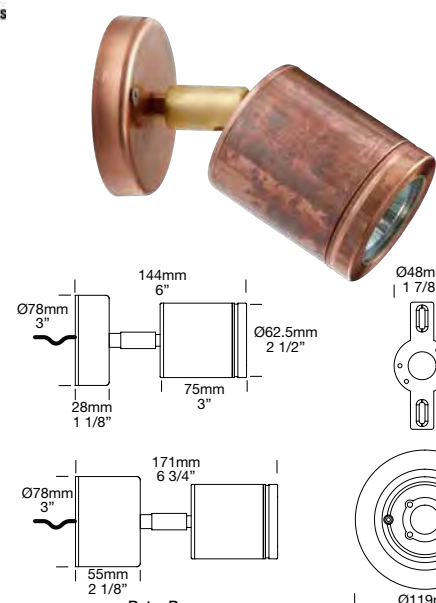
HUNZA™ PURE OUTDOOR LIGHTING

Wall Spot Spot Light with PURE LED

SPECIFICATIONS IP66	
LED Chip	One XHP-50-2 Plug and Play field replaceable LED board
Luminaire Output*	600 Lumens @ 1050mA (6 watts), 420 Lumens @ 700mA (4 watts), 240 Lumens @ 350mA (2 watts)
Lumens Per Watt*	100 Lumens @ 6 watts minimum
LED Life Expectancy	50,000 hours L70
CRI (3000K)	90+
Colour Temperatures	2700K, 3000K, 4000K
Beam Angles	15, 25, 35, 60
Ingress Protection	IP66
Warranty	Electronics = 5 years Aluminum = 5 years Body Cop/SS = 10 years
Standards	AS/NZS 6104.6, EN60598 cUL 1838, 2108, 1598 CSA C22.2 No. 250.7, No. 250.0-08, No. 250.0 CE

*Delivered from the Luminaire with unobstructed beam

PROJECT:	
TYPE:	
SOURCE:	
NOTES:	



PRODUCT CONFIGURATION

Please fill in appropriate codes into boxes provided

Cat. No. WS/L

Luminaire	Power	Material/Finish	Beam	Colour	Accessories				
WS/L									
S	1050mA Input, Series Wired 6W	EBK	BLACK	15°	2	2700K	CFK	Cable Joint Kit	
D3	12VAC Input, Parallel Wired 2W	EBZ	BRONZE	25°	3	3000K	LF	Frosted Lens	
D7	12VAC Input, Parallel Wired 4W	EDGR	OLIVE GREEN	35°	38°	4	4000K	HCL	Hex Cell Louvre
D10	12VAC Input, Parallel Wired 6W	EDW	WHITE	60°	60°			GG	Glare Guard
R	RETRO, 110/240V Input, Parallel Wired	EDG	DARK GREY					SGT	Shoot
		ESTAR	SILVER STAR					LKN	Locking Knuckle
		ECT	CORTEN					WBAP	Wall Box Adaptor
		CCP	Copper						
		SS	Stainless Steel						

S - Series Driver

Power Supply: Constant current driver
REQUIRED: NOT SUPPLIED

Wired Method: Wired in series

Feature Input: Individual features require 6W @ 1050mA maximum frame

D3 D7 D10 - 12VAC Input

Power Supply: Line Voltage to 12VAC

REQUIRED: NOT SUPPLIED

Wired Method: Parallel

Feature Input: 0 - 100% Dimmable

Fixture Output: 0 - 60W @ 300mA 2W
D10 @ 60W @ 300mA 2W
D3 @ 40W @ 300mA 2W

1050mA limited to -40°C / 1050mA ambient temperature in standing still

R - 110/240VAC RETRO DRIVER:

Input: 120/240VAC, 5 watt load from dimmer - only
Output: 6vdc, 100mA from dimmer - used only

OTHER LAMP OPTIONS:

WS/L - M816 HALEGON LAMP:
WS/L - M816 LED RETRO 12V Lamp (Lamps vary by market - please refer to supplier for details)
WS/GH - GU10 120/240V Halogen Lamp (beam length increases for all GU10 lamps)
WS/GS - GU10 LED RETRO 12V Lamp (Lamps vary by market - please refer to supplier for details)

Additional Comments:

This is a proposed model of enhancements, specifications may change without notification

S-Series Driver
Power Supply: Constant current driver
REQUIRED - NOT SUPPLIED
Wiring Method: Wired in series
Fixture Input: Individual fixtures require 6W @ 1050mA minimum 5 Watts

D3 D7 D10 - 12VAC Input
Power Supply: Line/Voltage to 12VAC Transformer (REQUIRED - NOT SUPPLIED)
Wiring Method: Parallel
Fixture Input: 12VAC
Fixture Output: D3 = 6W @ 350mA 2W
D7 = 6W @ 700mA 4W
D10 = 6W @ 1050mA 6W
(1050mA limited to 10% duty cycle, ambient temperature 100°F max)

R - 110/240VAC RETRO DRIVER:
Input: 120/240VAC, 5 watt total (driver included)
Output: 6W, 700mA (non dimming - USA only)

*Due to continued product enhancements, specifications may change without notification.

HUNZA LIGHTING
130 Fulton Matthew Ave
San Jose, CA 95128
New Zealand
Ph: +64-9-528 8471
huntr@hunza.co.nz
www.hunzalighting.com

INTERNATIONAL CONTACTS:
www.hunzalighting.com/contact
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L3



E9-RCL

The E9-RCL is a rectangular, brass, recessed fixture with a louvered faceplate for mounting in floors, walls, or ceilings.

E9-RCL-RT: Surface-mounted trim. 2.5" diameter mounting hole required.

Construction
Adds CONCRETE RING and PVC HOUSING for flush-mounted, recessed trim. Solid brass faceplate, trim ring, and lamp compartment. Outer PVC Housing for "CR" versions features four 1/2" NPT taps for conduit: two in the side and two in the back/bottom. Secured with two #6-32 black stainless steel screws.

Lens
Tempered frosted soda lime glass

Voltage
12 Volts AC / DC. Remote transformer required.

Lamps
Integrated LED light engine
Triac dimmable: MLV >6% typ., ELV >16% typ.

One XHP2 LED 2 Watt AMBER (1500K) TURTLE FRIENDLY	— 2W-A-SP — 2W-A-NFL — 2W-A-FL — 2W-A-NO	spot narrow flood flood no optic (wide flood)
One XHP2 LED 2 Watt RED-ORANGE (1000K) TURTLE FRIENDLY	— 2W-RO-SP — 2W-RO-NFL — 2W-RO-FL — 2W-RO-NO	spot narrow flood flood no optic (wide flood)
One XHP2 LED 2 Watt Warm White (3000K)	— 3W-SP — 3W-NFL — 3W-FL — 3W-NO	spot narrow flood flood no optic (wide flood)

*Also available in 2700K. Add color suffix to lamp specification, e.g. "3W-NFL-2700K"

MR16 LED • GU3 • Amber, Warm White (2700K/3000K)

5 Watt Cree chipset
TURTLE FRIENDLY

2700K 3000K

— SW-SP-27 15° spot 85+ CRI
— SW-NFL-27 25° narrow flood 85+ CRI
— SW-FL-30 40° flood 85+ CRI
— SW-FL-60-27 60° flood 85+ CRI
— SW-WFL-27 100° wide flood 85+ CRI

— TW-FL-60-27 60° flood 90+ CRI
— BW-SP-27 10° spot 90+ CRI
— BW-NFL-27 25° narrow flood 90+ CRI
— BW-FL-30 35° flood 90+ CRI

Optical Accessories**

— HL1 Honeycomb louver, 1/8" (3mm) thick
— PR Prismatic spread lens
— RT Rectilinear spread lens

**Maximum (2) accessories. HL2 cannot be used with any other accessory.

Finish: Unfinished is standard; no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

Weight: 4.4 lbs [2.0 kg]

IP 67
CSA Listed, file #190030
10 year future warranty
5 year warranty on MR16 LED lamps
Drive-over static load rating: 10,500 lbs (CR version only)

PROJECT: By Date

For ordering purposes, please specify (example: E9-RCL-RT—SW-NFL-27—RT)

PROJECT: By Date

For ordering purposes, please specify (example: E9-RCL-RT—SW-NFL-27—RT)

PROJECT: By Date

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PROJECT: By Date

For ordering purposes, please specify (example: E9-RCL-RT—SW-NFL-27—RT)

PROJECT: By Date

For ordering purposes, please specify (example: E9-RCL-RT—SW-NFL-27—RT)

L2



E3-SQL

The E3-SQL is a square, recessed, louvered spotlight with a minimal 2.17" (55mm) footprint. Positioning of louvers milled at 30° angle throw light out and down without glare at fixture level.

Construction
Solid brass trim with brass cylindrical lamp compartment. PVC outer housing.

Lens
Frosted, tempered soda lime glass.

Voltage
12 Volts AC / DC. Remote transformer required.

Mounting
Ground, ceiling, or wall-mount installation in masonry or wood. No mounting accessory is needed for core drill applications. Optional Deck Mount accessory allows for adaptation to wood deck of varying thicknesses. Optional brass Conduit Fitting features two side and one bottom 1/2" NPT threaded holes for remote splicing and/or applications with limited depth. Concrete Form Kit secures the fixture housing vertically or horizontally in a form for installation in new concrete. Trim and lamp compartment are friction-fit into sleeve using o-rings, eliminating the need for visible fasteners.

Lamps
LED, Triac dimmable: MLV >6% typ., ELV >16% typ.

One XHP2 2W AMBER (1500K) TURTLE FRIENDLY	— 2W-A-SP — 2W-A-NFL — 2W-A-FL	10° spot 30° narrow flood 50° flood	19.6 cd 10.5 cd	5.9 lm 4.7 lm
One XHP2 2 Watt RED-ORANGE (1000K) TURTLE FRIENDLY	— 2W-RO-SP — 2W-RO-NFL — 2W-RO-FL	10° spot 30° narrow flood 50° flood		
One XHP2 3W Warm White (3000K)*	— 3W-SP — 3W-NFL — 3W-FL	10° spot 30° narrow flood 50° flood	47.5 cd 30.7 cd	15.4 lm 13.5 lm

*Also available in 2700K. Add color suffix to lamp specification, e.g. "3W-NFL-2700K"

MR11 LED, Triac dimmable >25%

— 2W-MR11-NFL 30° narrow flood

2700K 3000K

One chipset
2 Watt Warm White

— 2W-MR11-SP-27 15° spot
— 2W-MR11-NFL-30 30° narrow flood
— 2W-MR11-FL-30 60° flood

Mounting Accessories
(None needed for Core Drill Applications)

— CF Conduit Fitting (limited Depth / Remote Splice)
— CFK Concrete Form Kit
— DM Deck Mount adapter ring for wooden decks

Finish: Unfinished is standard; no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

IP 67
CSA Listed, file #190030
10 year future warranty, 5 year LED module warranty, 3 year MR11 LED lamp warranty

PROJECT: By Date

For ordering purposes, please specify (example: E3-SQL—2W-MR11-NFL-27—DM)

PROJECT: By Date

For ordering purposes, please specify (example: E3-SQL—2W-MR11-NFL-27—DM)

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SUITABLE FOR WET LOCATIONS AND INDOOR & OUTDOOR USE

PROJECT: By Date

For ordering purposes, please specify (example: E3-SQL—2W-MR11-NFL-27—DM)

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PROJECT: By Date



William Duff
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San Francisco, CA 94103
(415) 371-0900

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NOT FOR CONSTRUCTION

Agency Approvals

NOT FOR CONSTRUCTION

Revision No.	Date
PLANNING SUBMITTAL	07.16.24
ARB SUBMITTAL	09.27.24
PLANNING RESUBMITTAL	10.04.24
PLANNING RESUBMITTAL	02.03.25

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of William Duff Architects, Inc. and may not be reused or reproduced in any manner without our express written consent.

Job Title
**Casita Cypress
Residence**

Job Address
**1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953**

Date: 4 OCTOBER 2024

Issued For
PLANNING RESUBMITTAL

Job Number: 23015

Drawn By: DC/MA Checked By: MA/EL

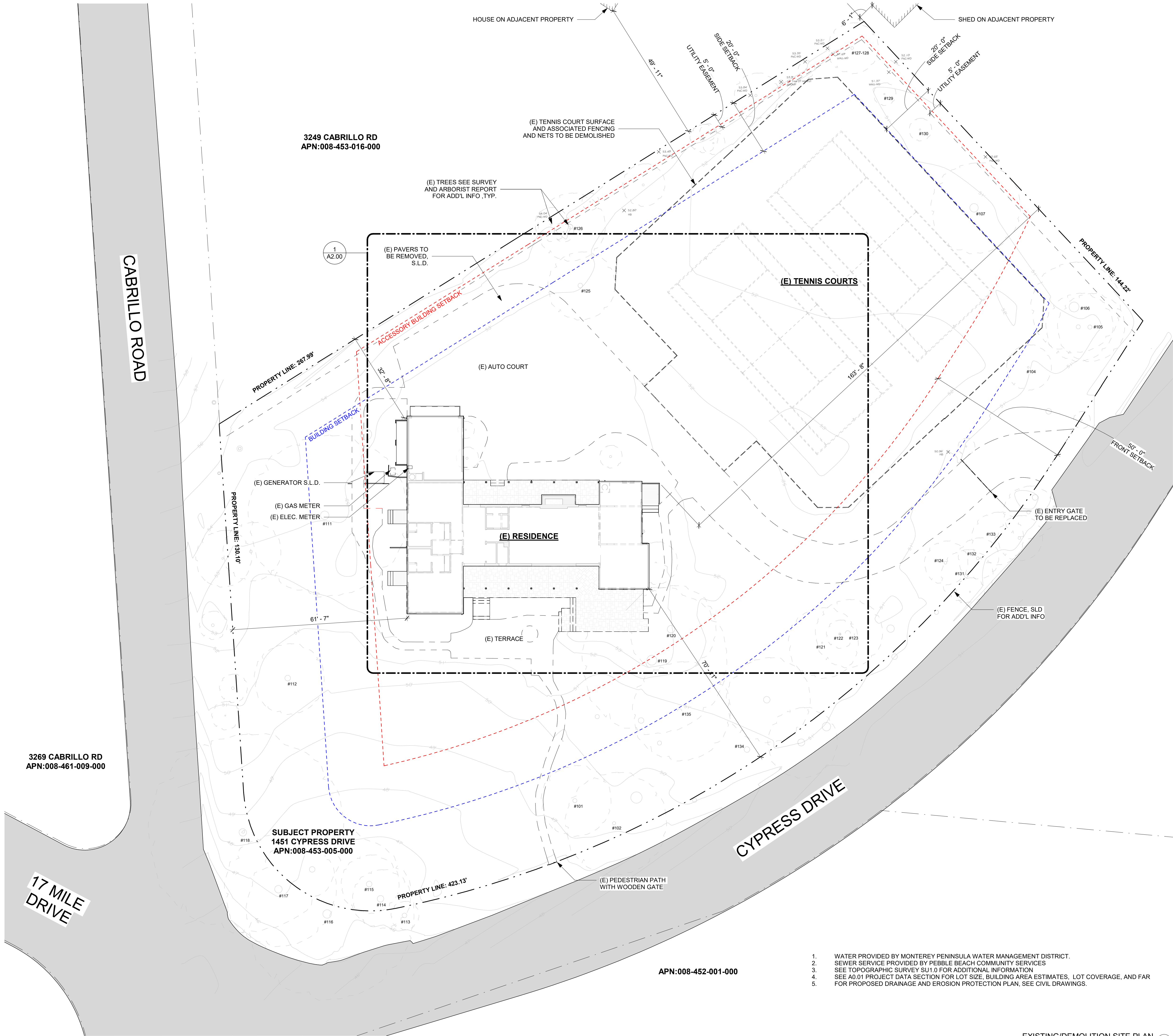
Scale
1/16" = 1'-0"



Sheet Title
**EXISTING/DEMOLITION
SITE PLAN**

Sheet No.

A1.00



1. WATER PROVIDED BY MONTEREY PENINSULA WATER MANAGEMENT DISTRICT.
2. SEWER SERVICE PROVIDED BY PEBBLE BEACH COMMUNITY SERVICES
3. SEE TOPOGRAPHIC SURVEY SU1.0 FOR ADDITIONAL INFORMATION
4. SEE A0.01 PROJECT DATA SECTION FOR LOT SIZE, BUILDING AREA ESTIMATES, LOT COVERAGE, AND FAR
5. FOR PROPOSED DRAINAGE AND EROSION PROTECTION PLAN, SEE CIVIL DRAWINGS.

EXISTING/DEMOLITION SITE PLAN
1/16" = 1'-0"

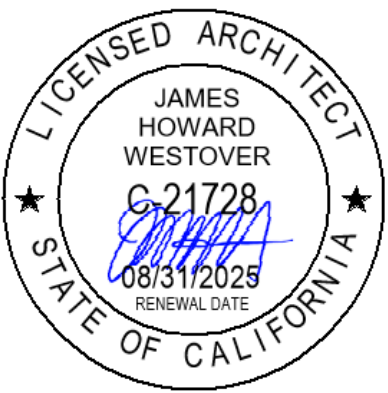
1



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Job Number: 23015

Drawn By: DC/MA Checked By: MA/EL

Scale
1/16" = 1'-0"



Sheet Title
PROPOSED SITE PLAN

Sheet No.

A1.01

HOUSE ON ADJACENT
PROPERTY

SHED ON ADJACENT
PROPERTY

APN:008-453-016-000

APN:008-453-005-000

CABRILLO ROAD

CYPRESS DRIVE

17 MILE
DRIVE

APN:008-461-009-000

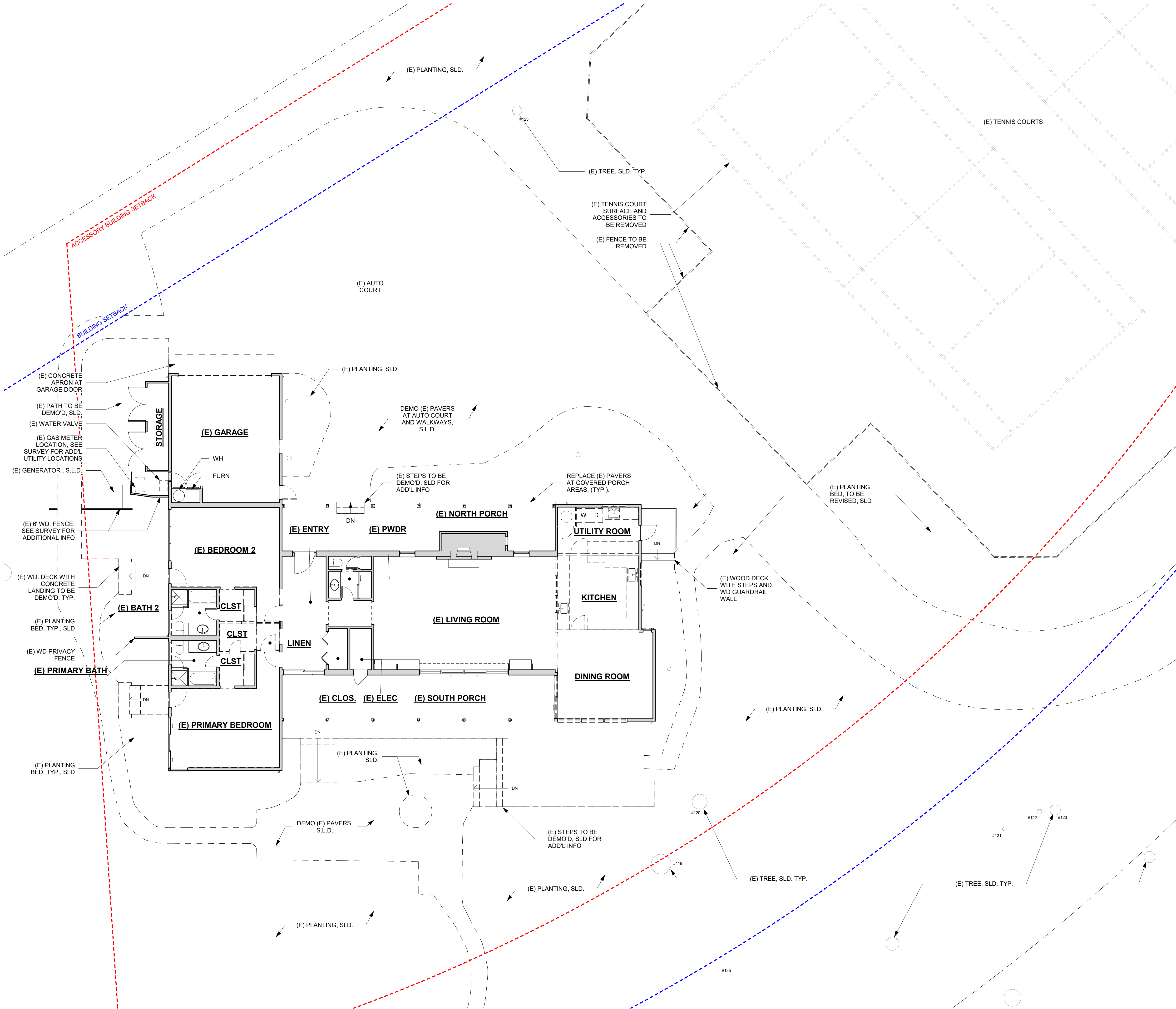
SUBJECT PROPERTY
1451 CYPRESS DRIVE
APN:008-453-005-000

APN:008-452-001-000

1. WATER PROVIDED BY MONTEREY PENINSULA WATER MANAGEMENT DISTRICT.
2. SEWER SERVICE PROVIDED BY PEBBLE BEACH COMMUNITY SERVICES
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5. FOR PROPOSED DRAINAGE AND EROSION PROTECTION PLAN, SEE CIVIL DRAWINGS.

PROPOSED SITE PLAN
1/16" = 1'-0"

1



EXISTING / DEMO FLOOR PLAN 1
1/8" = 1'-0"

LEGEND - DEMOLITION

- (E) AREA TO BE REMOVED
- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (E) WINDOW TO BE REMOVED
- (E) WINDOW TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) DOOR TO REMAIN

DEMOLITION NOTES

- GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCOVERY OF UNFORSEEN CONDITIONS IN THE PROCESS OF DEMOLITION
- (E) STRUCTURAL BEARING ELEMENTS TO REMAIN U.O.N. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IF ANY BEARING COLUMNS ARE FOUND IN PARTITIONS TO BE REMOVED THAT DO NOT APPEAR IN PLANS.
- DAMAGES WHICH OCCUR DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY AND EXPENSE TO RESTORE/REPAIR TO ORIGINAL CONDITION.
- IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER, OWNER'S RE/PLANDLORD/TENANT/CLIENT AND ARCHITECT.

DEMOLITION CALCULATIONS:

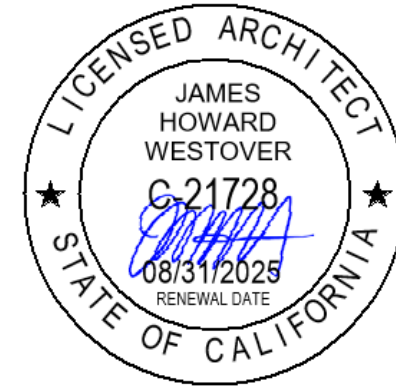
(E) WALL LENGTH = 625.00'
DEMO WALL LENGTH = 94.75'
DEMOLITION % = 15.16%



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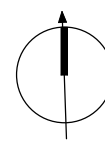
Job Number: 23015

Drawn By: DC/MA Checked By: MA/EL

Scale

As indicated

0 2' 4' 8' 16'



Sheet Title
**EXISTING / DEMO
FLOOR PLAN**

Sheet No.

A2.00

LEGEND - NEW CONSTRUCTION

- ABOVE OR BELOW
- == (E) WALL TO REMAIN
- == (N) WALL
- == 1 HR. FIRE RESISTANCE RATED WALL
- XXX (N) DOOR
- ## (N) WINDOW

SHEET NOTES

- ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN ALUMINUM UNITS, OPERATION AND DIMENSIONS TO MATCH EXISTING UNITS.

DIMENSION NOTES

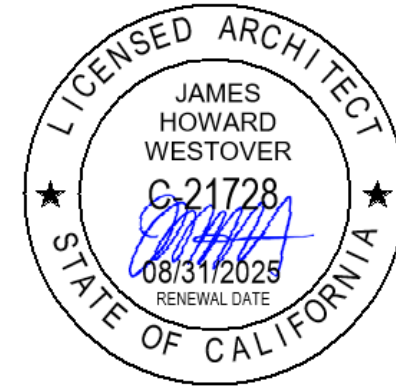
1. DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED :
- A) TO FACE OF FINISH
- B) TO CENTER OF DOORS AND OTHER OPENINGS
- C) TO TOP OF FINISHED FLOORS
- D) TO BOTTOM OF FINISH AT CEILINGS
- E) TO OUTSIDE FACE OF FINISHED MILLWORK
- F) TO FINISHED WINDOW FRAME. SEE WINDOW DETAILS FOR DIMENSION POINT



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Job Number: 23015

Drawn By: DC/MA Checked By: MA/EL

Scale

As indicated

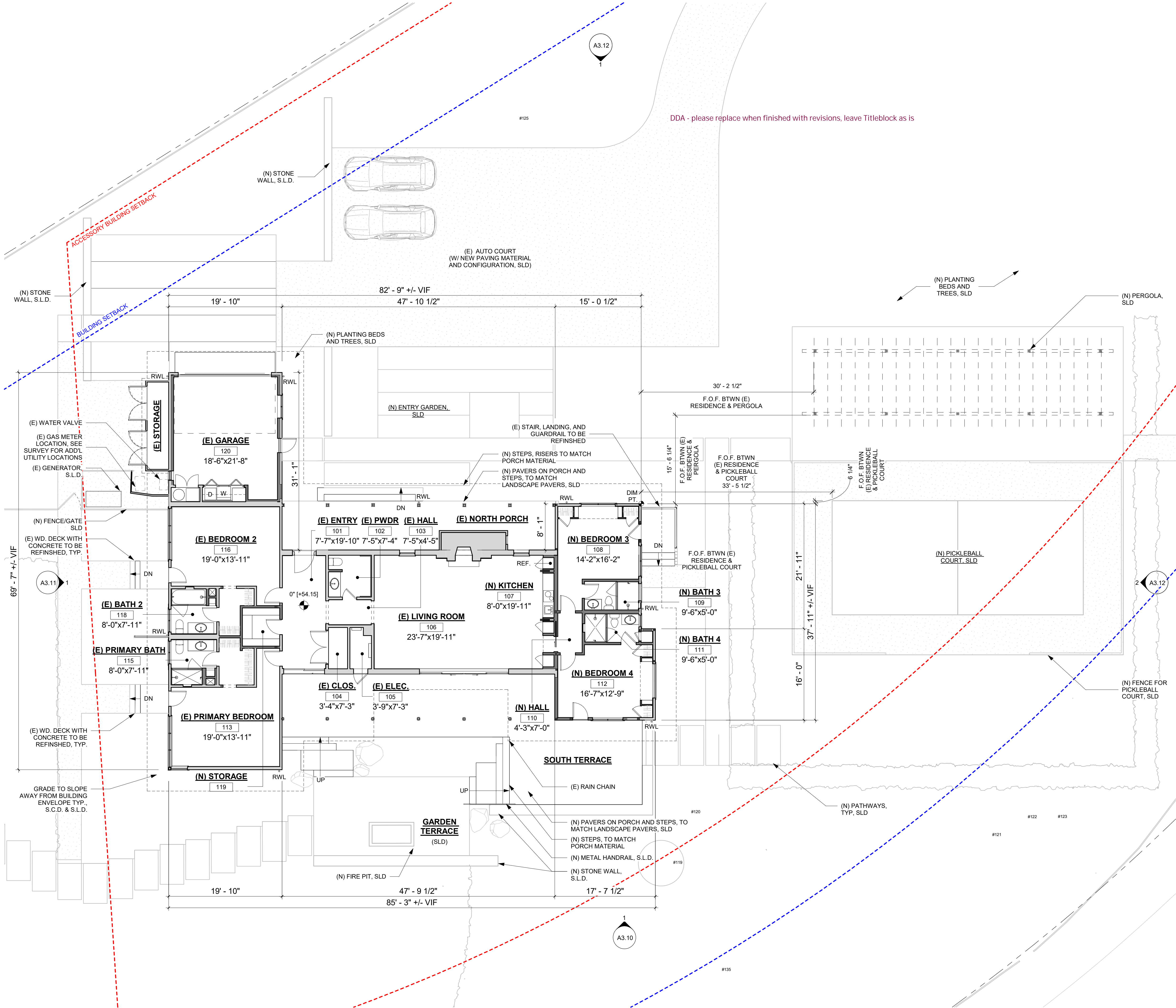
0 2' 4' 8' 16'

Sheet Title

PROPOSED FLOOR PLAN

Sheet No.

A2.21



PROPOSED FLOOR PLAN
1/8" = 1'-0"

1

LEGEND - DEMOLITION

- (E) AREA TO BE REMOVED
- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (E) WINDOW TO BE REMOVED
- (E) WINDOW TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) DOOR TO REMAIN

DEMOLITION NOTES

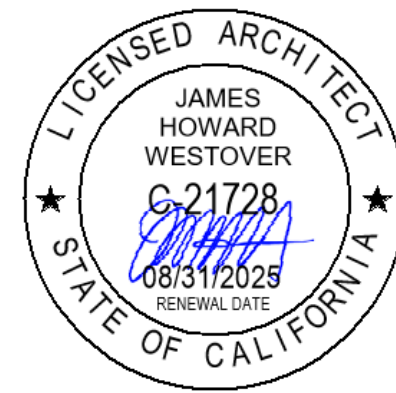
- GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCOVERY OF UNFORSEEN CONDITIONS IN THE PROCESS OF DEMOLITION
- (E) STRUCTURAL BEARING ELEMENTS TO REMAIN U.O.N. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IF ANY BEARING COLUMNS ARE FOUND IN PARTITIONS TO BE REMOVED THAT DO NOT APPEAR IN PLANS.
- DAMAGES WHICH OCCUR DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY AND EXPENSE TO RESTORE/REPAIR TO ORIGINAL CONDITION.
- IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER, OWNER'S RE/PLANDLORD/TENANT/CLIENT AND ARCHITECT.



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Agency Approvals

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ARB SUBMITTAL	09.27.24
PLANNING RESUBMITTAL	10.04.24
PLANNING RESUBMITTAL	02.03.25

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Job Title
**Casita Cypress
Residence**

Job Address
**1451 CYPRESS DRIVE
PEBBLE BEACH, CA 93953**

Date: 4 OCTOBER 2024

Issued For
PLANNING RESUBMITTAL

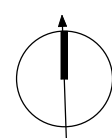
Job Number: **23015**

Drawn By: **DC/MA** Checked By: **MA/EL**

Scale

As indicated

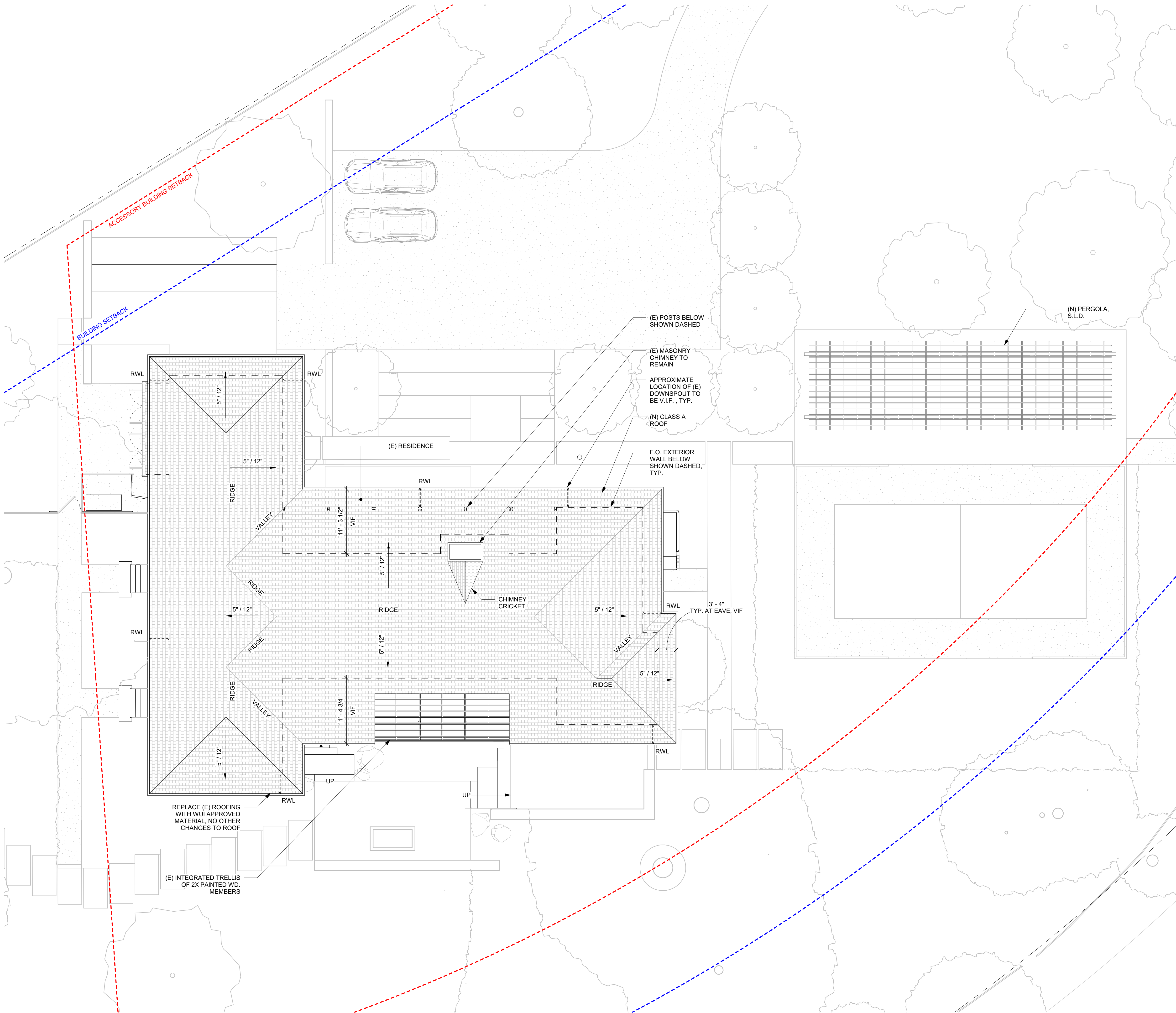
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Sheet Title
ROOF PLAN

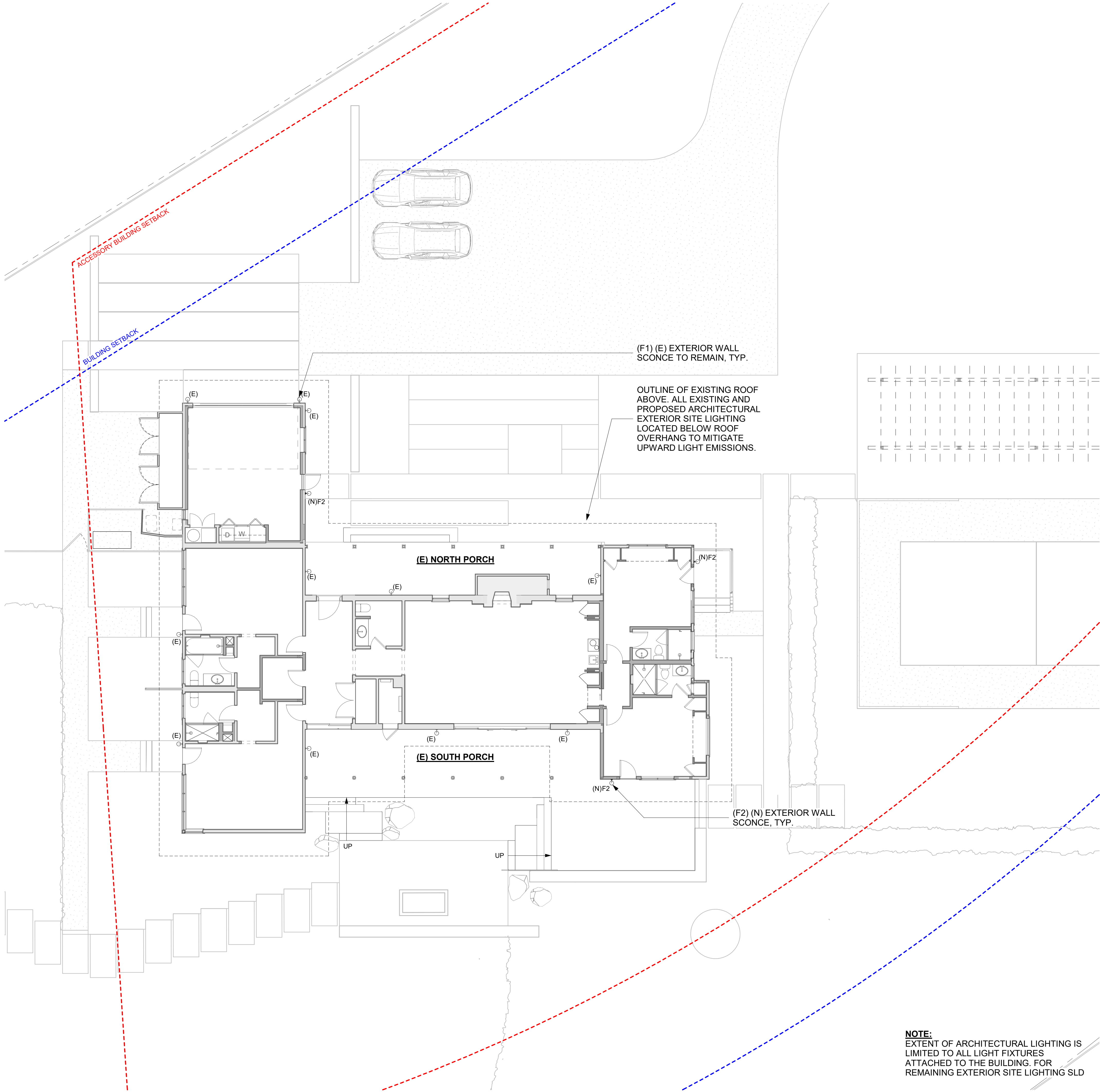
Sheet No.

A2.22



ROOF PLAN
1/8" = 1'-0"

1



LEGEND - LIGHTING

#	SYMBOL	DESCRIPTION	BRAND/MODEL	WATTAGE
F1		(E) WALL SCONCE		
F2		(N) DARK SKY COMPLIANT WALL SCONCE	SONNEMAN TRIFORM COMPACT LED SCONCE 7320.98-WL	10 W

REFERENCE IMAGE: NEW FIXTURE (F2)

CUTSHEET FOR NEW WALL SCONCE - DARK SKY COMPLIANT FIXTURE

SONNEMAN
A WAY OF LIGHT

Project:
Triform Compact LED Sconce Spec Sheet

SKU: 7320.98-WL
Compact luminaires direct light down from the pure geometry of a triangular prism. Also available as a [Ballard](#) and [Double Ballard](#).
Learn more: <https://sonnemanlight.com/triform-compact-led-sconce>
Type #:

©2024 Sonneman A Way of Light. All rights reserved.

REFERENCE IMAGE: EXISTING FIXTURE (F1)

EXISTING WALL SCONCES TO REMAIN

APPROXIMATE DIMENSIONS: 16"H X 7"W X 5"D

Dimensions

Height:	4.5"
Width:	3.5"
Extends:	2.5"
Minimum Extension:	2.5"
Maximum Extension:	2.5"
Canopy/Backplate/Base Width:	3"
Canopy/Backplate/Base Depth:	0.5"
Canopy/Backplate/Base Height:	4.25"

Electrical Specs

Bulb(s) Included?:	Yes
Bulb 1 Type:	Integral LED
Bulb Quantity:	1
Input Voltage:	100-277VAC
Wattage:	10
Initial Lumens:	980
Kelvin:	3000K
CRI:	90
Power Supply Type:	Transformer
Power Supply Quantity:	1
Power Supply Location:	Outlet Box
Dimming Type:	ELV
Bulb Max Wattage:	10

Installation

Installation:	Licensed electrician required
Sloped Ceiling Compatible?:	Adapter Available up to 45°
Installation Orientation:	Vertical

Shipping

Carton 1 L x W x H:	6" X 7" X 6"
Carton 1 Gross Weight:	2 LBS

Shade

Shade Material:	Diecast Aluminum
-----------------	------------------

General Listings

Features:	Wet Rated
Certification:	C-ETL-US
Color/Finish:	Textured White (.98)
Dark Sky Friendly:	Y

Available Finishes

Available Finishes:	Textured Bronze (.72), Textured Gray (.74), Textured White (.98)
---------------------	--

Available Color Temperatures

Available Color Temperatures:	3000k
-------------------------------	-------

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LICENSED ARCHITECT

JAMES HOWARD WESTOVER

C-21728

08/31/2025

RENEW DATE

STATE OF CALIFORNIA

Agency Approvals

Revision No.

Date

PLANNING SUBMITTAL

07.16.24

ARB SUBMITTAL

09.27.24

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10.04.24

PLANNING RESUBMITTAL

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Date:

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Drawn By:

DC/MA

Checked By:

MA/EL

Scale

As indicated

0 2' 4' 8' 16'

Sheet Title

EXTERIOR LIGHTING
PLAN & LIGHTING
SPECIFICATIONS

Sheet No.

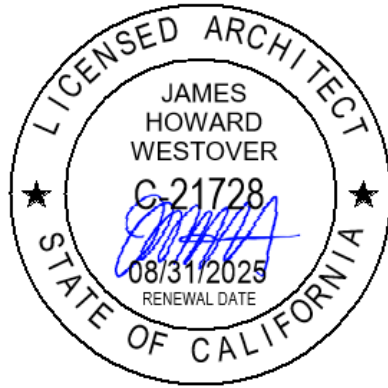
A2.30



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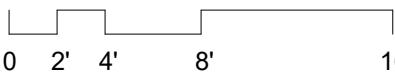
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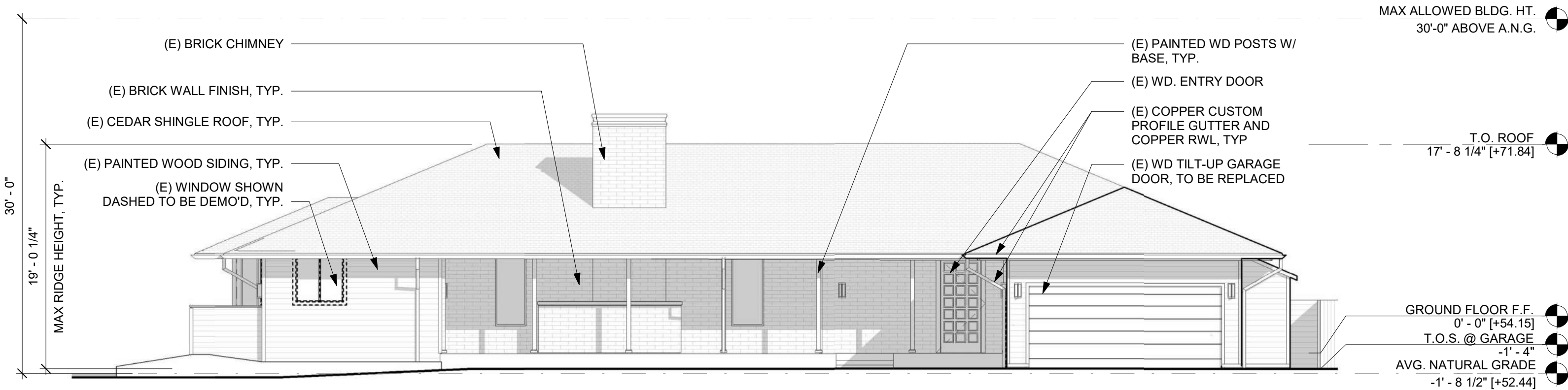
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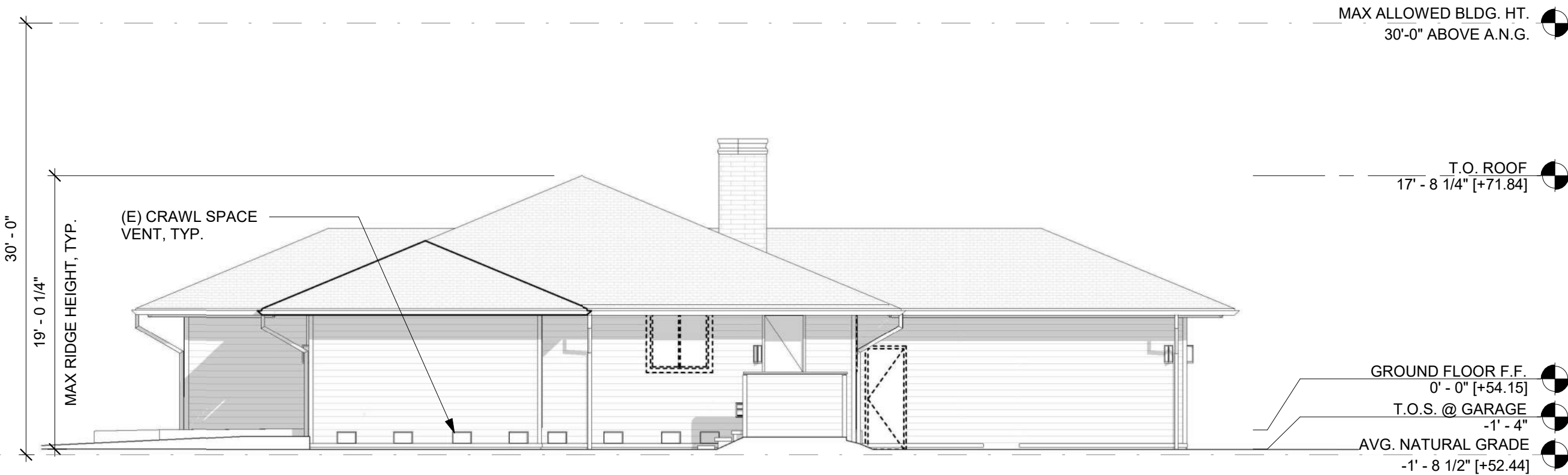
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**EXISTING EXTERIOR
ELEVATIONS**

Sheet No.

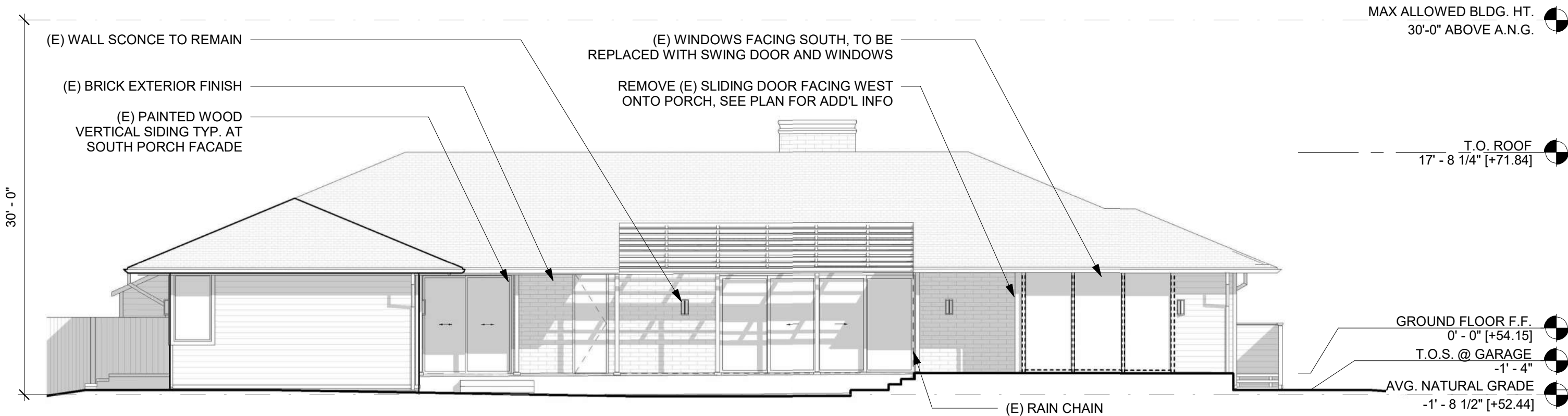
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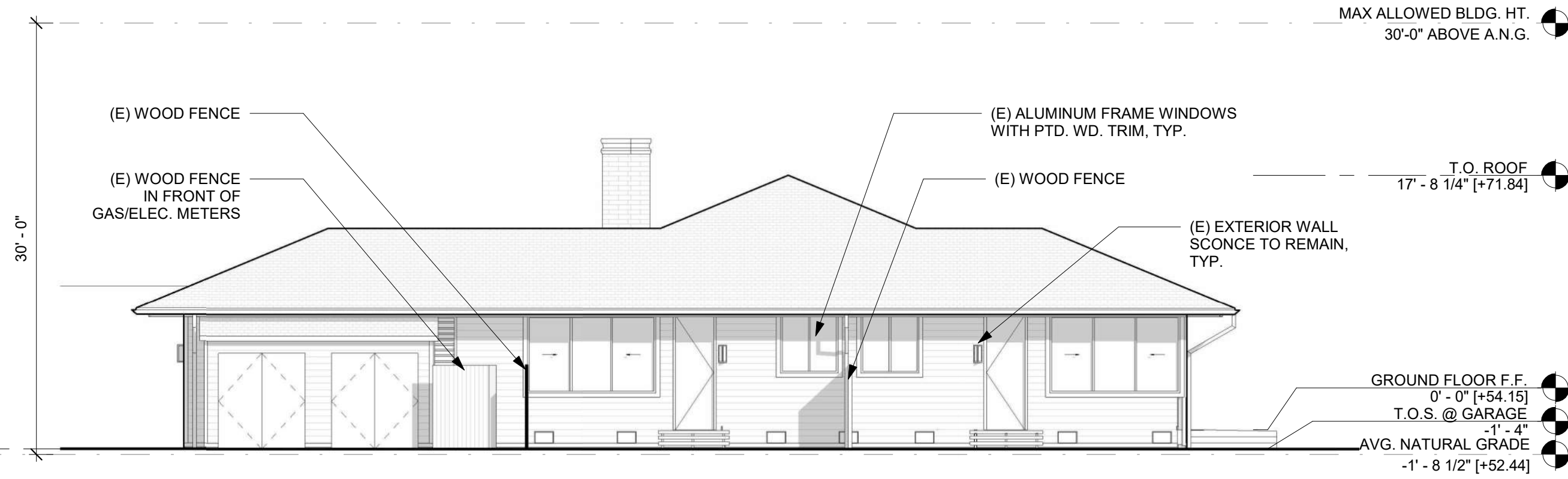
EXISTING NORTH EXTERIOR ELEVATION ④
1/8" = 1'-0"



EXISTING EAST EXTERIOR ELEVATION ③
1/8" = 1'-0"



EXISTING SOUTH EXTERIOR ELEVATION ②
1/8" = 1'-0"



EXISTING WEST EXTERIOR ELEVATION ①
1/8" = 1'-0"

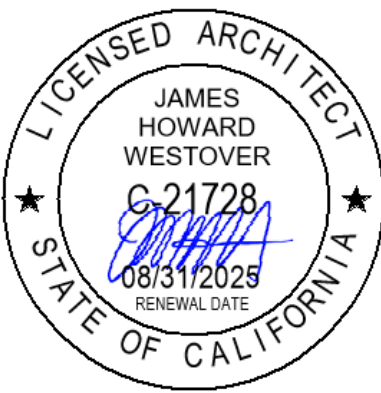
	EXISTING / DEMO ELEVATIONS GENERAL NOTES	LEGEND - DEMOLITION
	<div>1. AVERAGE NATURAL GRADE LEVEL 52.44' SEE CIVIL DRAWINGS FOR MORE INFORMATION.</div> <div>2. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK 54.15' AT FRONT DOOR ON OPOGRAPHIC SURVEY, SU-1 AND PROPOSED SITE PLAN A1.01.</div> <div>3. U.O.N., ALL EXISTING SURFACES ON THE EXTERIOR OF THE RESIDENCE TO BE REPAINTED/REFINISHED AS NEEDED. WILL MATCH EXISTING COLORS. SEE A0.80 FOR MATERIALS PALETTE SHEET</div> <div>4. NO CHANGE TO BUILDING HEIGHT NOR BUILDING ENVELOPE FOOTPRINT AT RESIDENCE</div>	<div> (E) AREA TO BE REMOVED</div> <div> (E) WALL TO BE REMOVED</div> <div> (E) WALL TO REMAIN</div> <div> (E) ITEM TO BE REMOVED</div>



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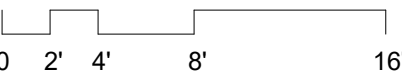
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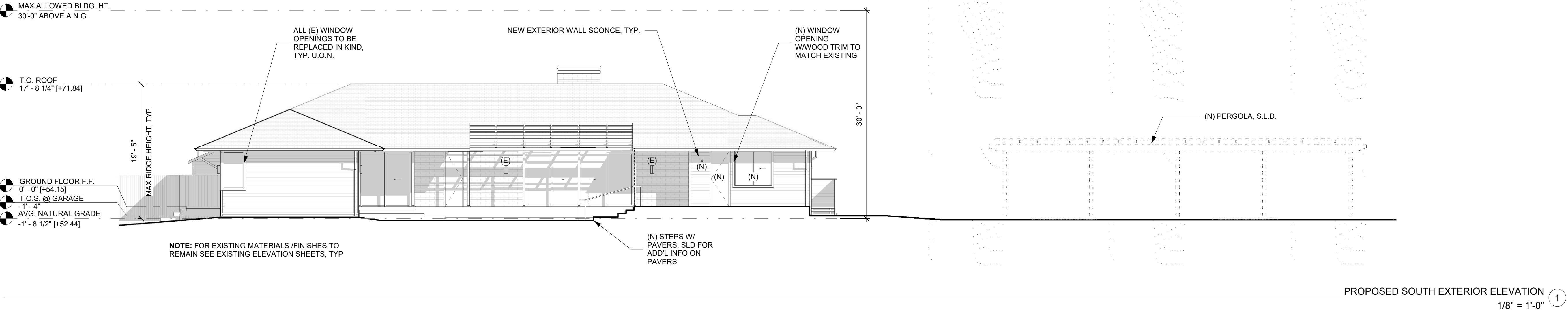
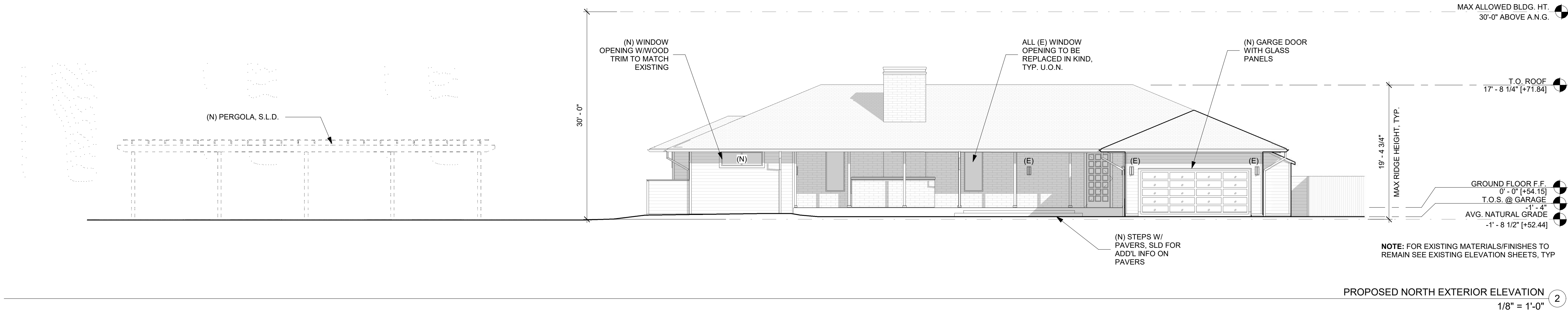
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Sheet Title
**PROPOSED EXTERIOR
ELEVATIONS**

Sheet No.

A3.10



SHEET NOTES

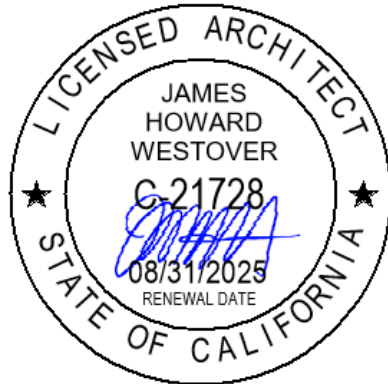
- FOR ADDITIONAL NOTES SEE EXISTING ELEVATIONS ON SHEET A3.01
- ALL EXISTING SURFACES ON THE EXTERIOR OF THE RESIDENCE TO BE REPAINTED/REFINISHED AS NEEDED. WILL MATCH EXISTING COLORS. SEE A0.80 FOR MATERIALS PALETTE SHEET
- SEE LANDSCAPE DRAWINGS FOR INFORMATION ON PERGOLA AND HARDSCAPE
- ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS. UON. PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)".



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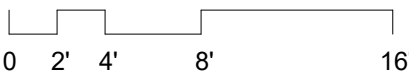
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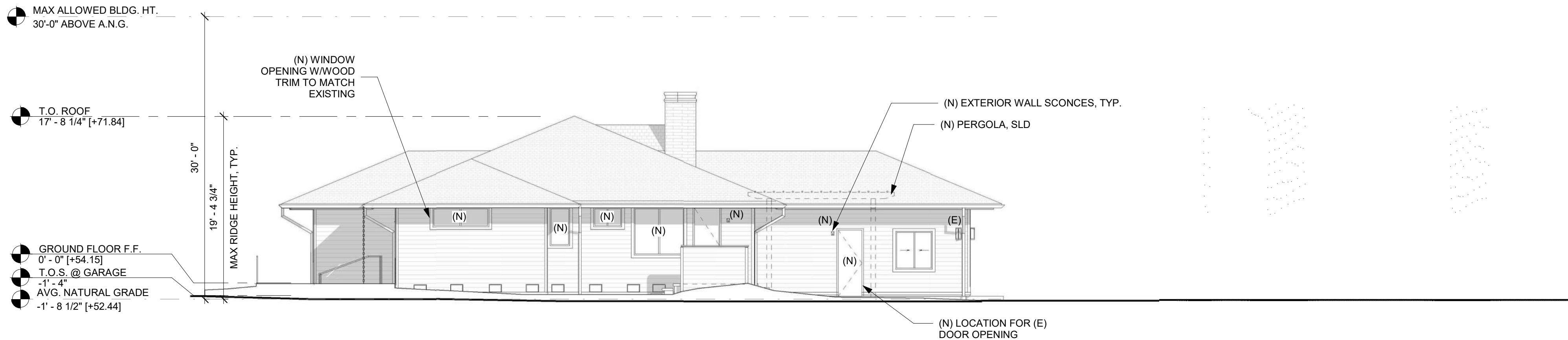
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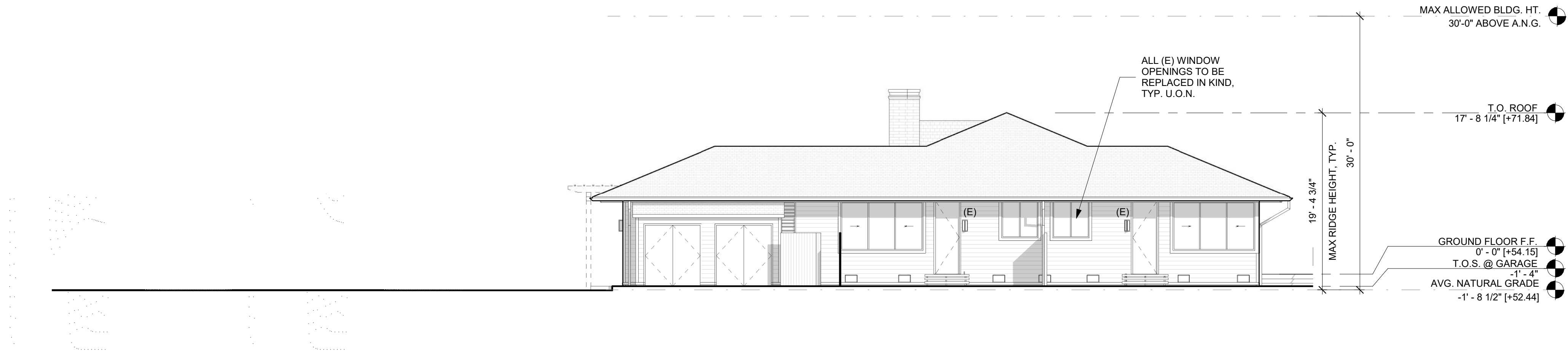
Sheet Title
**PROPOSED EXTERIOR
ELEVATIONS**

Sheet No.

A3.11



PROPOSED EAST EXTERIOR ELEVATION 2
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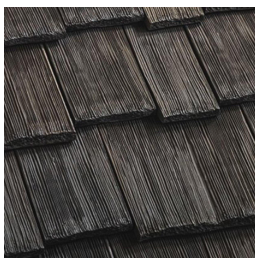


PROPOSED WEST EXTERIOR ELEVATION 1
1/8" = 1'-0"

SHEET NOTES

- FOR ADDITIONAL NOTES SEE EXISTING ELEVATIONS ON SHEET A3.01
- U.O.N., ALL EXISTING SURFACES ON THE EXTERIOR OF THE RESIDENCE TO BE REPAINTED/REFINISHED AS NEEDED. WILL MATCH EXISTING COLORS. SEE A0.80 FOR MATERIALS PALETTE SHEET
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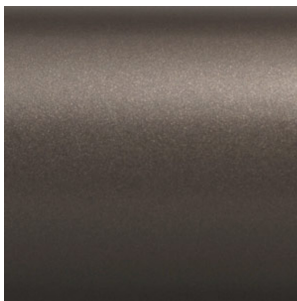
COLOR SAMPLES FOR PROJECT FILE NO. _____



DARK WOOD SHAKE
ROOF SHINGLES

Materials: _____ Colors: _____

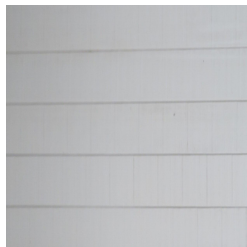
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(N) STEEL WINDOWS & DOORS

Materials: _____ Colors: _____

Description: _____



PAINTED WOOD
SIDING / TRIM

Materials: _____ Colors: _____

Description: _____