

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**POSTEL LAURA A (PLN190209)**

**RESOLUTION NO. 23-082**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project is for a single-family dwelling and accessory structures which qualify for a Class 3 Categorical Exemption per section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval for the construction of a 2,149 square foot one-story single family dwelling with a 484 square foot attached two-car garage, 12 square foot storage room, and 239 square foot attached covered porch; a 200 square foot detached hay and tack room; two 100 square foot horse shelters; a 16,000 square foot riding arena; and a 1,200 square foot detached accessory dwelling unit with 144 square foot covered porch. The project includes associated site improvements and grading consists of approximately 620 cubic yards of cut and no fill.

[PLN190209, Laura Postel, 8330 Via Madalena, Carmel Valley, Carmel Valley Master Plan, (Accessors Parcel Number: 169-171-052-000)]

**The POSTEL LAURA A application (PLN190209) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on December 6, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - The 2010 Monterey County General Plan;
  - Carmel Valley Master Plan; and

- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 8330 Via Madalena, Carmel Valley, within the Carmel Valley Master Plan (Assessor's Parcel Number 169-171-052-000). The parcel is zoned Low Density Residential, two and a half acres per unit with Design Control, Site Plan Review and Residential Allocation Zoning District overlays or "LDR/2.5-D-S-RAZ" which allows for a single-family dwelling and accessory structures per legal lot of record. The proposed project consists of the construction of a 2,149 square foot one-story single family dwelling with 484 square foot attached two-car garage, 12 square foot storage room, 239 square foot attached covered porch, 200 square foot detached haystack room, two (2) 100 square foot horse shelters, 16,000 square foot riding arena, 1,200 square foot detached accessory dwelling unit with 144 square foot covered porch and associated site improvements. Grading consists of approximately 620 cubic yards of cut and no fill. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject parcel (1.12 acres) was created as Parcel 1 on the parcel map filed for record December 30, 1974, in Volume 7 of "Parcel Maps," on page 142, records of Monterey County. On June 17, 1976, the County of Monterey issued Building Permit No. 25831 for the adjacent property for the construction of a single family dwelling, which was finalized January 6, 1977. The approved plans illustrate a shift in the shared property line between the two properties. Beginning at the northern portions of the lots, the shared property line is shown shifted to the west by 6 feet for 200.75 feet; at that point, the lot line turns at a 90 degree angle to the east for a distance of 12 feet, then turns another 90 degrees to the south at a distance of 201 feet until it terminates at the southern portions of the lots. The size and configuration shown on the approved site plan matches the County's Assessor's map from 1976, the current Assessor's map and the attached plans. Therefore, County recognizes the property as a legal lot of record in accordance with Government Code section 66499.34.
- d) Development Standards. The development standards for the LDR zoning district are identified in Title 21 Section 21.14.060. Required setbacks for main dwelling units are 30 feet (front), 20 feet (rear), and 10 percent of the average lot width, to a maximum required of 20 feet (side). However, pursuant to Carmel Valley Master Plan Policy CV-3.1, a minimum 100 foot setback is required from Carmel Valley Road. The maximum allowed height is 30 feet. As proposed, the single family dwelling with attached garage will have a 30 foot front setback from an existing 60 foot Via Madalena road easement resulting in a 1,100 foot setback from Carmel Valley Road. The main dwelling will have 10 percent of the average lot width side setbacks of 12 feet or greater. The proposed height will be 19 feet which is well below the maximum allowed. Required setbacks for detached non-habitable accessory structures are 50 feet (front), 6 feet (rear), and 6 feet (sides) and the maximum allowed height is 15 feet. As proposed, the detached

accessory horse structures will meet and exceed all required setbacks from the surrounding property lines. The proposed height will be 12 feet which is below the maximum allowed. For accessory dwelling unit height and setback requirements, see Finding No. 5 and supporting evidence below. Therefore, the project is consistent with the development standards as outlined in Title 21 and the Carmel Valley Master Plan.

- e) Site Coverage. Pursuant to Title 21 Section 21.14.060.E, the maximum building site coverage is 25 percent. The property is 1.12 acres or approximately 48,787 square feet, which allows site coverage of 12,197 square feet. The proposed project results in site coverage of 4,628 square feet which equals 9.5 percent. Therefore, as proposed, the project meets the required coverage limitations.
- f) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which is intended to provide regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application submittal. The property is located approximately 620 feet north of the Carmel Valley river which is outside of any Federal Emergency Management Agency (FEMA) Flood Zones and aquifer recharge areas. A soil engineering report (LIB200127) was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for the development of a single family residence with detached accessory structures.
- g) Design/Neighborhood and Community Character. The project is subject to the Design Control Zoning District (“D” zoning overlay), which per Chapter 21.44, is intended to regulate the location, size, materials and colors of the structures to assure protection of the public viewshed and neighborhood character. As demonstrated in Finding No. 4 and supporting evidence, the new single family dwelling with attached garage and detached accessory structures is consistent with the purpose and regulations of the Design Control District.
- h) Cultural Resources. No evidence was found to potentially impact archaeological or cultural resources (see Finding No. 2, Evidence “b”). However, a standard condition of approval has been incorporated requiring construction work to stop if resources are accidentally uncovered.
- i) Accessory Dwelling Unit. The project proposes a detached ADU as part of this development application. See Finding No. 5 and supporting evidence.
- j) Carmel Valley Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Carmel Valley LUAC for review on September 21, 2020. No concerns or contentions regarding the proposed development were raised. The LUAC reviewed the project and recommended for approval as proposed by a vote of 5-0 with one member absent.
- k) The project planner conducted a site inspection on October 11, 2023 to verify that the project on the subject parcel conforms to the plans listed above.

- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN190209.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to soils, geological and fire hazards, tree resources, as well as cultural and historical resources. The following reports have been prepared:
    - “Phase I Cultural Resource Inventory Report” (LIB200126) prepared by Susan Morley, Marina, CA, September 10, 2019.
    - “Soil Engineering Investigation & Percolation Testing Report” (LIB200127) prepared by Landset Engineering, Inc., Salinas, CA, November 6, 2019.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on October 11, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN190209.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are provided for the project site. Water is provided to the parcel via Monterey Peninsula Water Management District (MPWMD) Water Use Permit # WUP1025 issued on July 18,



2019, which verifies entitlement of domestic water supply from Malpas Water Company. The applicant provided proof to EHB of a connection adequate to serve the proposed development. The proposed new alternative onsite wastewater treatment system (OWTS) design was also reviewed by EHB. On October 6, 2023, EHB found the proposed OWTS adequate to serve the proposed development while meeting all future setback requirements for tertiary reserve areas.

- c) The subject site is not identified as being in a very high fire hazard zone for Local or State Responsibility Areas. However, a Fuel Management Plan was provided in the plan set for this project. The plan provides guidelines to be followed to minimize fire hazard risk along with proposed Fuel Management Zones.
- d) Staff conducted a site inspection on October 11, 2023 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN190209.

**4. FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Pursuant to Chapter 21.44 of Title 21 of the Monterey County Code (MCC), the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
  - b) Neighborhood Character. The project involves a detached one-story accessory dwelling unit (ADU) and non-habitable accessory structures. The accessory structure is designed to be architecturally consistent with the main dwelling and would have a comparatively similar layout to other residences in the vicinity. As proposed, the visible structures will remain comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
  - c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the area's setting and surrounding residences. The single family dwelling is designed to reflect a Farmhouse style architecture which includes off-white board and batten wood siding with tan wood trim and aluminum-clad doors and windows. Roofing material will consist of "Class A" fire-rated light brown asphalt composite shingles and a stone chimney. The project has been conditioned to include a formal landscape plan and exterior lighting plan to ensure the project complies with the Monterey County lighting ordinance (Condition Nos. 5 and 6). The detached ADU is also designed to match the colors and materials of the main residence. However, the detached haystack room, horse shelters, and corral fencing will be built with fire-rated wood. The proposed exterior finishes described above are designed to be fire resistant to ensure building safety, blend with the surrounding environment, are consistent with the surrounding

residential neighborhood character, and other dwellings in the neighborhood.

- d) Visual Resources. The subject parcel is located approximately 1,100 feet from Carmel Valley Road. Although the property is within a visually sensitive area, the structures cannot be seen from Garland Ranch Regional Park or Carmel Valley Road due to the surrounding residential development and screening of vegetation that lines the southern property boundary of the adjacent Carmel Valley High School. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) The project planner conducted a site inspection on October 11, 2023 to verify that the project on the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN190209.

**5. FINDING:** **ACCESSORY DWELLING UNIT** – The proposed project must meet the regulations, standards, and circumstances under which an accessory dwelling unit (ADU) accessory to an existing or proposed main residence on a lot, may be permitted and to establish a means for creating affordable housing in Monterey County.

- EVIDENCE:**
- a) Title 21 Section 21.64.030.C.1.b allows detached ADUs to be no more than 1,200 square feet. The height limit for ADUs is 16 feet with 4-foot side and rear setbacks.
  - b) The project proposes a 1,200-square-foot ADU with a height of 15 feet. The northern-side is setback 4 feet and the southern-side is setback 99 feet from the respective property lines. The rear is setback 130 feet. Therefore, the project meets height and setback requirements.
  - c) The proposed colors and materials are designed to match the main residence on the property and meet design requirements as demonstrated in Finding No. 4 and supporting evidence above.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN190209.

**6. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on October 11, 2023 and researched County records to assess if any violation exists on the subject property.

- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN190209.

**7. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) for a Class 3 categorical exemption allows for a single family dwelling and accessory structures. Therefore, the proposed development is consistent with CEQA Guidelines Section 15303.
  - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway and does not cause any unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. On September 10, 2019, a Phase 1 Inventory of Archaeological Resources report was prepared (see Finding No. 2, Evidence “b”) since the project is located in a high archeological sensitivity area. The report concluded no evidence of cultural resources on the property. A standard condition of approval has been incorporated to ensure construction work is halted if archaeological resources are accidentally uncovered.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on October 11, 2023.
  - d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN190209.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

- EVIDENCE:**
- a) Pursuant to Section 21.80.040.A of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Chief of Planning. The decision of the Planning Commission would be final and may not be appealed.

## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project is for a single-family dwelling and accessory structures which qualifies for Class 3 Categorical Exemption per section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve the Administrative Permit and Design Approval for the construction of a 2,149 square foot one-story single family dwelling with a 484 square foot attached two-car garage, 12 square foot storage room, and 239 square foot attached covered porch; a 200 square foot detached hay and tack room; two 100 square foot horse shelters; a 16,000 square foot riding arena; and a 1,200 square foot detached accessory dwelling unit with 144 square foot covered porch. The project includes associated site improvements and grading consisting of approximately 620 cubic yards of cut and no fill.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 6th day of December 2023.

DocuSigned by:

*Melanie S Beretti*

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Melanie Beretti, AICP  
Acting HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE **DECEMBER 7, 2023.**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **DECEMBER 18, 2023.**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190209

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation  
Monitoring Measure:**

This Administrative Permit and Design Approval (PLN190209) allows construction of a 2,149 square foot one-story single family dwelling with a 484 square foot attached two-car garage, 12 square foot storage room, and 239 square foot attached covered porch; a 200 square foot detached hay and tack room; two 100 square foot horse shelters; a 16,000 square foot riding arena; and a 1,200 square foot detached accessory dwelling unit with 144 square foot covered porch. The project includes associated site improvements and grading consisting of approximately 620 cubic yards of cut and no fill. The property is located at 8330 Via Madalena, Carmel Valley, (Assessor's Parcel Number 169-171-052-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or  
Monitoring  
Action to be  
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "An Administrative Permit and Design Approval (Resolution Number 23-082) was approved by HCD Chief of Planning for Assessor's Parcel Number 169-171-052-000 on December 6, 2023. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.



## 5. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 7. PW0006 - CARMEL VALLEY

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

**Compliance or Monitoring Action to be Performed:** Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

## 8. PW0031 – BOUNDARY SURVEY

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Owner/Applicant shall have a professional land surveyor perform a boundary survey of the Westerly boundary line of the subject parcel and have said lines monumented.

**Compliance or Monitoring Action to be Performed:** Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the Westerly boundary line(s) of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

## 9. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.



## MONTEREY COUNTY GENERAL NOTES

NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER SURVEYOR OR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT. (SECTION 6 (L), ORD. 3522).

ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE. (SECTION 6 (K), ORD. 3522).

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUBPOTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE. (SECTION 6 (K), ORD. 3522).

AS OF JULY 1, 1986, THE USE OF SOLDERES CONTAINING MORE THAN TWO TENTHS OF 1 PERCENT LEAD IN SOLDER JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED. (ISS. 164).

ADDRESS TO BE POSTED PER ORD. 3600. ACCESS, ROADS AND DRIVEWAYS TO BE ADHERE TO ORD. 3600.

## WATER CONSERVATION MEASURES (WR)

THE APPLICANT SHALL COMPLY WITH ORDINANCE NO. 3932, OR AS SUBSEQUENTLY AMENDED, OF THE MONTEREY COUNTY WATER RESOURCES AGENCY PERTAINING TO MANDATORY WATER CONSERVATION REGULATIONS. THE REGULATIONS FOR NEW CONSTRUCTION REQUIRE, BUT ARE NOT LIMITED TO:

1. PLUMBING FIXTURE WATER CONSUMPTION RATES:
  - KITCHEN FAUCETS: 1.8 GPM @ 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE
  - THE MAX. FLOW RATE, BUT NOT TO EXCEED 2.2 GPM @ 60 PSI.
  - LAVATORY FAUCETS: 1.2 GPM @ 60 PSI MAX., 0.8 GPM @ 20 PSI MIN.
  - SHOWERHEAD: 1.8 GPM @ 80 PSI
  - WATER CLOSET: 1.2 GPM
  - ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
2. LANDSCAPE PLANS SHALL APPLY XERISCAPE PRINCIPLES, INCLUDING SUCH TECHNIQUES AND MATERIALS AS NATIVE OR LOW WATER USE PLANTS AND LOW PRECIPITATION SPRINKLER HEADS, BUBBLERS, DRIP IRRIGATION SYSTEMS AND TIMING DEVICES. (WATER RESOURCES AGENCY).

## TREE CARE DURING CONSTRUCTION

- TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES, THE FOLLOWING MEASURES SHALL BE ADHERED TO:
- 1) AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO THE CONSTRUCTION AREA, A BOUNDARY OF ORANGE SHAG NETTING OR HIGH VISIBILITY PLASTIC FENCING SUPPORTED BY WOOD OR METAL STAKES SHALL BE ERECTED ALONG THE APPROXIMATE DRIPLINES OF RETAINED TREES TO DEFINE THE CONSTRUCTION PROJECT BOUNDARY. WHERE APPROVED CONSTRUCTION WILL OCCUR WITHIN TREE DRIPLINES, SUCH FENCING SHOULD BE ERECTED AS CLOSE TO THE ACTUAL CONSTRUCTION FEATURE AS POSSIBLE IN ORDER TO MAINTAIN THE MAXIMUM AMOUNT OF UNDISTURBED AREA.
  - 2) NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS, OR PARKING OF VEHICLES IS PERMITTED BEYOND THE CONSTRUCTION BOUNDARY SO IDENTIFIED. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL SHOULD EXCEED 2" WITHIN THE DRIPLINES OF TREES, UNLESS ITS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST, BECAUSE EXISTING OAKS ARE SENSITIVE TO THE ADDITION OF FILL. EXCAVATED MATERIAL MUST EITHER BE REMOVED FROM THE SITE, INCORPORATED AS ENGINEERED FILL BENEATH DRIVEWAY, PARKING AREAS OF THE STRUCTURE, OR RETAINED AWAY FROM OAK TRUNKS (A MINIMUM OF 1 FOOT CLEARANCE) AND AS MUCH OF THE ROOTING AREA AS POSSIBLE.
  - 3) BARK INJURY TO ANY TREE FROM EQUIPMENT IS NOT ACCEPTABLE AND IS PREVENTED BY PROPER INSTALLATION OF PROTECTIVE FENCING AND NO INTRUSIONS WITHIN IT DURING CONSTRUCTION.
  - 4) NO SIGNIFICANT TREE AS DEFINED BY COUNTY CODE MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED UNDER THIS MANAGEMENT PLAN OR COUNTY REGULATIONS.
  - 5) ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED AND RECOVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH.
  - 6) TRIMMING WILL BE REQUIRED OF ONE RETAINED TREES TO PERMIT CONSTRUCTION. ALL TREE WORK SHALL BE MONITORED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST AND WORK COMPLETED BY QUALIFIED TREE PERSONNEL.

## ARCHAEOLOGICAL MEASURES

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY. (RMA - PLANNING DEPARTMENT).

## FIRE NOTES

-FIRE01 - ADDRESSSES FOR BUILDINGS

ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONEWAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE. RESPONSIBLE LAND USE DEPARTMENT, MONTEREY COUNTY REGIONAL FIRE DISTRICT.

-FIRE02 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)

REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

-FIRE03 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)

ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING COVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

-FIRE04 - FIRE PROTECTION EQUIPMENT (SYSTEMS - FIRE SPRINKLER SYSTEM)

THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

## EXTERIOR LIGHT NOTE

ALL EXTERIOR LIGHTING SHALL BE UNOBTUSIVE, DOWN-LIT, HARMONIOUS WITH THE LOCAL AREA, AND CONSTRUCTED OR LOCATED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED AND OFF-SITE GLARE IS FULLY CONTROLLED. EXTERIOR LIGHTING PLAN SHALL INDICATE THE LOCATION, TYPE, AND WATTAGE OF ALL LIGHT FIXTURES AND INCLUDE CATALOG SHEETS FOR EACH FIXTURE. THE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SET FORTH IN CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 6. THE EXTERIOR LIGHTING PLAN SHALL BE SUBJECT TO APPROVAL BY THE DIRECTOR OF THE RMA - PLANNING DEPARTMENT, PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

## CODE INFO

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA CODE OF REGULATIONS TITLE 24: RESIDENTIAL BUILDING CODE (CBC); BUILDING CODE (CBC); ELECTRICAL CODE (CEC); MECHANICAL CODE (CMC); PLUMBING CODE (CPC); ENERGY CODE ENERGY STANDARDS (CEC); 2019 GREEN BUILDING STANDARDS CODE; 2019 CALIFORNIA FIRE CODE AND ALL APPLICABLE MONTEREY COUNTY ORDINANCES.

## PROJECT INFO

APN: 169-171-052-000  
LOT SIZE: 112 ACRES  
NUMBER OF STORIES: 1  
FIRE SPRINKLERS REQUIRED: YES  
ZONING: LDR/2.5-D-S-RAZ  
OCC GROUP: R-3/U  
TYPE OF CONSTRUCTION: Y-B  
WATER: CAL-AM (MFUMD - MALFASO ENTITLEMENT)  
SEPTIC: PROPOSED PRIVATE OUTS  
NO PROPOSED TREE REMOVAL  
NO PROPOSED CONSTRUCTION ON SLOPES 25% OR GREATER  
GRADING: 620 CU. YDS. (SUB-EX 4 RECOMPACT, BASE)  
DEFERRED SUBMITTAL: FIRE SPRINKLER PLANS, PREFABRICATED TRUSS PLANS  
NOTE: PERMITS UNDER SEPARATE REVIEW AND NOT INCLUDED IN THIS APPLICATION:  
-SOLAR PERMIT ADU  
-SOLAR PERMIT MAIN HOUSE  
-POOL PERMIT  
-SEPTIC PERMIT

## DESIGN BY:

MARJORIE INGRAM VIALES  
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## GEOTECHNICAL ENGINEER

GRICE ENGINEERING, INC.  
561-A BRUNKEN AVENUE  
SALINAS, CALIFORNIA 93901  
(831) 422-9619  
EMAIL: griceengineering@bcglobal.net

## SCOPE OF WORK

PROPOSED:  
-RESIDENCE (2,884 S.F. TOTAL),  
-ADU (1,344 S.F. TOTAL),  
-HAY/TACK ROOM (200S.F.),  
-HORSE SHELTER (200 S.F.),  
-206' OF 4' WOOD CORRAL FENCE  
-200A ELECTRICAL SERVICE X2 (MAIN & ADU)  
-OUTS SEPTIC SYSTEM

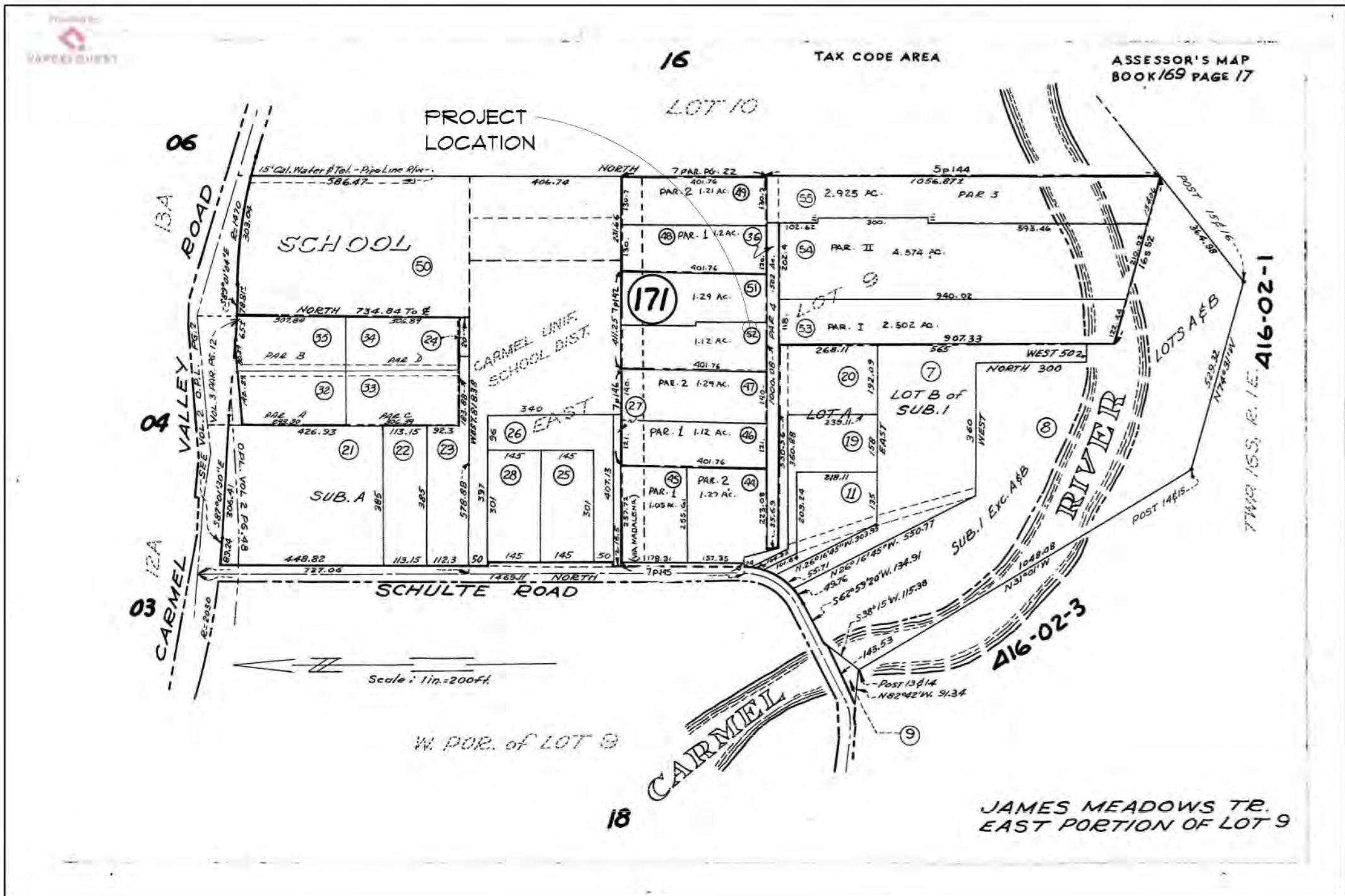
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OF 17 SHEETS



AERIAL VIEW



AP MAP



VIN MAP

## Proposed Residence & ADU For:

**LAURA  
POSTEL**

8330 (Main) & 8332 (ADU)  
VIA MADALENA,  
CARMEL CA. 93923  
APN: 169-171-052

## AREA CALCULATIONS

PROPOSED RESIDENCE (HABITABLE):	2,149#
PROPOSED GARAGE:	484#
PROPOSED STORAGE:	12#

TOTAL STRUCTURE:	2,645#
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PROPOSED COVERED PORCHES:	239#
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PROPOSED RESIDENCE FOOTPRINT:	2,884#
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PROPOSED ADU (HABITABLE):	1,200#
PROPOSED COVERED PORCH:	144#

PROPOSED HAY STORAGE/TACK ROOM:	200 #
PROPOSED HORSE SHELTER:	200#

TOTAL PROPOSED COVERAGE:	4,628 # OR 9.5%
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## LOT COVERAGE

TOTAL LOT AREA:	48,787# OR 1.12 ACRES
TOTAL PROPOSED COVERAGE:	9.5% OR 4,628 #
TOTAL COVERAGE ALLOWED:	25%

Proposed Residence and ADU For:

**LAURA POSTEL**  
8330 (Main) & 8332 (ADU) VIA MADALENA,  
CARMEL CA. 93923  
Ph: (831) 594-1224 Email: lapostel14@gmail.com

PLN190209  
APN: 169-171-052

Date: 09/07/2023  
Drawn: MIV, LRL  
Revision:

SHEET:

**CS-0**  
OF 17 TOTAL

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GENERAL

1. Provide each bedroom, basement, and habitable attics with a minimum of one exterior window with a 44" maximum clear opening height, 5.7 sq. ft. minimum clear openable area (minimum 5.0 sq. ft. at grade floor openings), 24" minimum clear openable height and 20" minimum clear width, or an openable exterior exit door (CRC R310.2.1 and CRC R310.2.2) Window wells, ladders, and steps shall comply with CRC R310.2.3. Bars, grilles, covers, and screens shall be releasable or removable from the inside without the use of a key, tool, special knowledge, or force greater than 15lbs to operate the emergency escape and rescue openings. (CRC R310.4) Photovoltaic panels & modules shall not be below an emergency escape and rescue opening within 36", (R324.6.2.2)

2. Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated with Energy Star approved equipment (minimum 50cfm) with an integral humidistat installed. (CRC R303.3.1) ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS

3. Provide attic cross ventilation: 1/150 of attic area or 1/300 with at least 40% but not more than 50% of vents are a maximum 3 ft. below the ridge or highest space in the attic and the balance is provided in the lower third of the attic space (not limited to eaves or cornice vents). As an alternative in Climate Zone 16 (Truckee region), the net area may be reduced to 1/300 when a Class I or II vapor barrier is installed on the warm-in-winter side of the ceiling. Baffles are required at vents for insulation. Provide minimum of 1" inch of air space between insulation and roof sheathing. (CRC R806)

4. Enclosed rafter spaces shall have a 1-inch clear cross ventilation. (Properly sized rafters for insulation) (CRC R806.3)

5. Under floor cross ventilation: minimum 1.0 sq. ft. for each 150 sq. ft. of under floor area. When a class 1 vapor retarder is installed on the ground surface the minimum area of ventilation may be limited to 1sq.ft. for each 1,500 square feet of under-floor space. One ventilation opening shall be within three (3) feet of each corner of the building (CRC R408.1). Unvented crawl spaces shall comply with CRC R408.3. Unvented crawl space added option for dehumidification of 70 pints moisture per day per 1,000 sf to requirement for exemption. (R408.3)

6. Exterior balconies and elevated walking surfaces exposed to water, where structural framing is protected by an impervious moisture barrier require construction documents with manufacturer's installation instructions. (R106.1.5). Must be inspected and approved before concealing barrier. (R109.1.5.3)

7. Enclosed framing in exterior balconies and elevated walking surfaces exposed to rain, snow or drainage from irrigation shall be provided with cross-ventilation at or at least 1/150. (R317.1.6)

8. Provide landings and a porch light at all exterior doors. Landings are to be minimum 3 ft deep x width of door. Landings at equipped egress doors may step down a maximum of 7.75 inches when the door does not swing over the landing and 1.5 inches when door swings onto the landing. Other than required exterior exit doors may have a threshold of 7.75 inches maximum; a landing is not required if a stair with two or fewer risers is located on the exterior side and the door does not swing over the stairway. (CRC R311.3-R311.3.2)

9. Mezzanines shall not be greater than 1/3 of the story less fire sprinklers are installed then the area can be ½ of the story. (R325.3)

10. The following windows shall be fully tempered: (CRC R308.4)

- Sliding/swinging glass doors
- Glazing in walls and enclosures facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and swimming pools where the glazing is less than 60 inches above the standing surface within the compartment and within 60 inches horizontally of the water's edge (CRC R308.4.5)
- Glazing within a 24" arc of a door that is less than 60 inches above the floor. Safety glazing required on a wall less than 180 degrees from the plane of the door in a closed position and within 24" of hinge side of an in-swinging door. (R308.4.2)
- Glazing where the exposed area is greater than 9sq.ft. bottom is less than 18 in. and at least 36 in. above the floor, and adjacent to a walking surface
- Within 60in. of the bottom tread of a stairway and less than 36in. above the landing
- Glazing in guards and railings
- Glazing adjacent to stairways, landings, and ramps within 36in. horizontally of the walking surface less than 36in. above the walking surface

FOUNDATIONS & CONCRETE SLABS

1. Slope drainage 6" within the first 10ft. from the foundation wall. If physical obstructions or lot lines prohibit the 10ft distance, a 2-5 percent slope shall be provided to an approved alternative method of diverting the water away from the foundation. Impervious surfaces shall also be sloped a minimum of 2 percent for 10ft away from structures to an approved drainage way. (CRC R401.3)

2. Footings shall extend at least 12 inches into the undisturbed ground surface. (CRC R403.1.4) Unless erected on solid rock, to protect against frost and freezing, the minimum foundation depth is 18 inches below grade if between 4,000-7,000 foot elevation and 24 inches below grade for 7,000 foot elevation and above. Exception: Interior footings shall be a minimum of 12 inches below grade. (L-V 3.14)

3. Stepped footings shall be used when slope of footing bottom is greater than 1 in 10 (V: H). Step footing detail shall be shown on building elevations and foundation plan. (CRC R403.1.5)

4. Concrete slabs: 3 ½" minimum (CRC R506.1). Slabs under living areas and garages shall be reinforced with wire 6" x 6", 10 gauge x 10 gauge welded mesh or equivalent steel reinforcement and 4" thickness of 3/8" minimum gravel under the concrete slab. Separate from soil with a 6 mil polyethylene vapor retarder with joints lapped not less than 6 inches in living areas. A capillary break shall be installed when a vapor retarder is required.

5. Provide an 18" x 24" under-floor access, unobstructed by pipes or ducts and within 5' of each under-floor plumbing cleanout and not located under a door to the residence, is required. Provide a solid cover or screen. (CRC 408.4 & CPC 707.9)

6. Minimum sill bolting: ½" anchor bolts or approved anchors at 6 ft. o.c. maximum for one-story. (CRC R403.1.6) Use anchor bolts at 4 ft. o.c. maximum for three story construction. Embed bolts 7" minimum. The anchor bolts shall be placed in the middle third of the width of the plate. Locate end bolts not less than 7 bolt diameters, or more than 12" from ends of sill members. In SDC D and above. Provide 3'X3'X0.229 plate washers on each bolt at braced or shear wall locations. standard cut washers shall be permitted for anchor bolts not located in braced/shear wall lines. (CRC R403.1.6.1 & R602.11.1)

CLEARANCES AND TREATMENT FOR WOOD FRAMING

1. Weather exposed glu-lam, beams and posts shall be pressure treated or shall be wood of natural resistance to decay (CRC R317.1.3 & 5)

2. Columns exposed to the weather or in basements when supported on concrete pier or metal pedestals shall be pressure treated or natural resistance to decay unless the pier/pedestals project 1" above concrete or 6" above earth and the earth is covered by an approved impervious moisture barrier. (CRC R317.1.4 exc. 1)

3. Columns in enclosed crawl spaces or unexcavated areas located within the periphery of the building shall be pressure treated or natural resistance to decay unless the column is supported by a concrete pier or metal pedestal of a height 8" or more and the earth is covered by an impervious moisture barrier. (CRC R317.1.4 exc. 2)

4. Deck posts supported by concrete piers or metal pedestals projecting not less than 1" above a concrete floor or 6" above exposed earth. (CRC R317.1.4 exc. 3)

FLOORS

1. Under-floor areas with storage, fuel-fired equipment or electric-powered equipment with less than 2x10 solid joists shall be protected on the underside by half-inch sheet-rock or a sprinkler system. (R302.13)

2. Balconies must be designed for a minimum live load of 60lbs per square foot. (CRC T-R301.5)

WALLS

1. Positive connection shall be provided to ensure against uplift and lateral displacement. (CRC R502.9 & CBC 2304.10.7)

2. All fasteners used for attachment of siding & into pressure treated lumber shall be of a corrosion resistant type. (CRC R317.3.)

3. Fire-block in concealed spaces of stud walls/partitions, vertically at ceiling/floor levels, & horizontally at 10ft. intervals. Fire-block at soffits, drop ceilings/similar locations & in concealed spaces at the top/bottom of stair stringers. (CRC R302.11)

4. Provide approved building paper under the building siding and approved flashing at exterior openings. (CRC R703.2) Specify a minimum of 2 layers of Grade D paper under stucco and 2 layers of 15lb felt (or equivalent) under stone veneer.

5. Stucco shall have a minimum clearance to earth of 4 inches and 2 inches to paved surfaces with an approved weep screed. (CRC R703.7.2.1) Masonry stone veneer shall be flashed beneath the first course of masonry and provided with weep holes immediately above the flashing. (CRC R703.8.5 and R703.8.6)

ROOF

1. Roof sheathing can only cantilever 9 inches beyond a gable end wall unless supported by overhang framing. (R602.5.2.1)

2. Provide a minimum 22" x 30" access opening to attic (CRC R807), may be required to be 30"x30" to remove the largest piece of mechanical equipment per the California Mechanical Code.

3. Roof drains/gutters required to be installed per the California Plumbing Code with leaf/debris protection also installed.

4. Roof construction and coverings shall comply with CRC Chapters 8, 9 and local ordinance. All roofing shall be tested/listed Class A minimum.

5. Asphalt shingles with sloped roofs 2/12 to <4/12 shall have two layers of underlayment applied per CRC R905.2.2.

GARAGE AND CARPORT

1. Garage shall be separated from the dwelling unit & attic area by ½ inch gypsum board applied to the garage side. Garage beneath habitable rooms shall be separated by not less than 5/8" type X gypsum board. Structure supporting floor/ceiling assemblies used for required separations shall have ½" gypsum board installed minimum. Door openings from the garage to the dwelling shall be solid wood/steel doors or honeycomb steel doors not less than 1 3/8" thick or a 20-minute rated fire door. Doors shall be self-closing & self-latching. No openings directly into a sleeping room from the garage. When the dwelling and garage has fire sprinklers installed per R309.6 and R313, doors into the dwelling unit from the garage only need to be self-closing and self-latching. (CRC R302.5.1 & T-R302.6)

2. Ducts penetrating the garage to dwelling separation shall be a minimum of 26 gauge with no openings into the garage. (CRC R302.5.2)

3. Penetrations through the garage to dwelling separation wall (other than ducts as listed above) shall be fire-blocked per CRC section R302.11, item #4.

4. Garage and carport floor surfaces shall be non-combustible material and slope to drain towards the garage door opening. (CRC R309.1)

5. Appliances and receptacles installed in garage generating a glow, spark or flame shall be located 18" above floor unless it is listed as flammable vapor ignition resistant. (CMC 305.1) Provide protective post or other impact barrier from vehicles. (CMC 305.1.1)

6. Appliances in private garages and carports shall be installed with a minimum clearance of 6ft above the floor unless they are protected from vehicular impact. (CBC 406.2.9.3)

STAIRWAYS & RAMPS

1. Stair landings required every 127" of vertical rise. (CRC R311.7.3)

2. Exterior stair stringers must be naturally resistant to decay or pressure treated. (CRC R317.1)

3. Rise shall be maximum 7.75"; Run shall be 10" minimum; headroom 6'-8" minimum; width 36" minimum, 31.5" between a handrail on one side and 27" with handrails on two sides. Variation between riser heights 3/8" maximum. A nosing not less than .75 inches but not more than 1.25 inches shall be provided on stairways with solid risers where the tread depth is less than 11 inches. The leading edge of treads shall project not more than 1.25 inches beyond the tread below. Open risers are permitted, provided the opening between the treads does not permit the passage of a 4" sphere. (Openings are not limited when the stair has a rise of 30" or less). (CRC R311.7)

4. Stairways with 4 or more risers shall have a handrail on one side 34" to 38" above the tread nosing. Circular handrails shall have an outside diameter of 1.25"-2"; if not circular, it shall have a perimeter dimension of 4"-6.25" with a maximum cross-sectional dimension of 2.25". See R311.7.8.3 Item# 2 for type II handrails with a parameter over 6.25". A minimum clearance of 1.5" shall be maintained from the wall or other surface. Handrails shall be returned, terminate in newel posts, or safety terminals. (CRC R311.7.8.2)

5. Guards shall be 42" minimum height (unless acting as a handrail/guard for a stairway, the guard height may be 34"-38" in height), with openings less than 4" inches clear (guards on the open sides of stairs may have 4 3/8" openings). (CRC R312)

6. Provide landings at the top/bottom of the stairway the width of the stairway. The depth of the landing shall be 36" minimum. (see CRC R311.7.6 for exceptions).

7. Usable spaces underneath enclosed/unenclosed stairways shall be protected by a minimum of ½" gypsum board. (CRC R302.7)

8. Ramps serving the egress door shall have a slope of not more than 1 unit vertical in 12 units horizontal (8.3-percent slope). All other ramps shall have a maximum slope of 1 unit vertical in 8 units horizontal (12.5-percent slope). Exception: Where it is technically infeasible to comply because of site constraints, ramps shall have a slope of not more than 1 unit vertical in 8 units horizontal (12.5-percent slope) (CRC R311.8.1). Provide 3'X3' landings at the top and bottom of ramps, where doors open onto ramps, and where ramps change directions. (CRC R311.8.2)

DECKS

1. Guards are required if deck or floor is over 30" above grade, minimum 42" high, with openings less than 4" (CRC R312). Guardsrails shall be designed and detailed for lateral forces according to CRC Table 301.5.

2. Provide deck lateral load connections at each end of the deck and at deck intersections per CRC R507.9.2. Specify connectors with a minimum allowable stress design capacity of 1,500lbs and install with 24" of the end of the deck. 750lb rated devices are allowed (DTT12 as example) if located at 4 points along the deck.

3. Posts/columns shall be retained at the bottom end to prevent lateral displacement; clearly show approved post bases, straps, etc to achieve this per CRC R407.3

4. Joists, girders, structural blocking and support posts shall be wood of natural resistance to decay or pressure-treated lumber when exposed to the weather. (CRC R317.1.3)

ELECTRICAL

1. No electrical panels in closets or bathrooms. Maintain a clearance of 36" inches in front of panels, 30" wide or width of equipment and 6'-6" high for headroom. (CEC 110.26)

2. Provide a minimum 3 lug intersystem bonding busbar at the main electrical service. (CEC 250.94)

3. All automatic garage door openers that are installed in a residence shall have a battery backup function that is designed to operate when activated because of an electrical outage. (CBC 406.2.1)

4. A concrete-encased electrode (ufer) consisting of 20' of rebar or #4 copper wire placed in the bottom of a footing is required for all new construction. (CEC 250.52(A) (3)) Bond all metal gas and water pipes to ground. All ground clamps shall be accessible and of an approved type. (CEC 250.104)

5. All 15/20 ampere receptacles installed per CEC 210.52 shall be listed tamper-resistant receptacles. (CEC 406.12)

6. All branch circuits supplying 15/20 ampere outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, kitchens, laundry room or similar rooms/areas shall be protected by a listed combination type arc-fault circuit interrupter. (CEC 210.12)

7. Provide a minimum of one 20A circuit to be used for the laundry receptacle. (CEC 210.11(C)(2)) Provide a minimum of one 20A circuit for bathroom receptacle outlets. (CEC 210.11(C)(3))

8. Provide at least 1 outlet in basements, garages, laundry rooms, decks, balconies, porches and within 3' of the outside of each bathroom basin. (CEC 210.52 (D), (F) & (G))

9. Furnaces installed in attics and crawl spaces shall have an access platform (catwalk in attics), light switch and receptacle in the space. Provide a service receptacle for the furnace. (CEC 210.63)

10. All dwellings must have one exterior outlet at the front and the back of the dwelling. (CEC 210.52(E) RECEPTACLES LOCATED IN DAMP OR WET LOCOS. SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF & SHALL BE LISTED WEATHER RESISTANT.

11. Garage receptacles shall not serve outlets outside the garage. Exception: Garage circuit may serve readily accessible outdoor receptacle outlets. (CEC 210.11 (C)(4)) A minimum of 1 receptacle shall be provided for each car space. (210.52(G) (1))

12. At least one wall switched lighting outlet or fixture shall be installed in every habitable room, bathroom, hallways, stairways, attached garages and detached garages, with electrical power, equipment spaces (attics, basements, etc) (CEC 210.70)

13. Kitchens, dining rooms, pantries, breakfast nooks, and similar areas must have a minimum of two 20A circuits. Kitchen, pantry, breakfast nooks, dining rooms, work surfaces and similar areas counter outlets must be installed in every counter space 12" inches or wider, not greater than 4' o.c., within 24" inches of the end of any counter space and not higher than 20" above counter. (CEC 210.52 (C)) Island counter spaces shall have at least 1 receptacle outlet unless a range top or sink is installed than 2 receptacles may be required. 1 receptacle is required for peninsula counter spaces. Receptacles shall be located behind kitchen sinks if the counter area depth behind the sink is more than 12" for straight counters and 18" for corner installations. (CEC Figure 210.52(C)(1))

14. Receptacles shall be installed at 12' o.c. maximum in walls starting at 6' maximum from the wall end. Walls longer than two feet shall have a receptacle. Hallway walls longer than 10 ft shall have a receptacle in hallways. (CEC 210.52(A))

15. Receptacles shall not be installed within or directly over a bathtub or shower stall. (CEC 406.3(C)) Light pendants, ceiling fans, lighting tracks, etc shall not be located within 3ft horizontally and 8ft vertically above a shower and/or bathtub threshold. (CEC 410.10(D))

16. All lighting/fan fixtures located in wet or damp locations shall be rated for the application. (CEC 410.10)

17. GFCI outlets are required: for all kitchen receptacles that are designed to serve countertop surfaces, dishwashers, bathrooms, in under-floor spaces or below grade level, in unfinished basements, crawl space lighting outlets, in exterior outlets, within 6' of a laundry/utility/wet bar sinks, laundry areas, and in all garage outlets including outlets dedicated to a single device or garage door opener. (CEC 210.8)

18. Carbon-monoxide alarms shall be installed in dwelling units with fuel-burning appliances or with attached garages. (CRC R315)

- Outside of each separate sleeping area in the immediate vicinity of bedrooms
- On every level of a dwelling unit including basements
- Alterations, repairs, or additions exceeding 1,000 dollars (May be battery operated)

19. Smoke alarms shall be installed (CRC R314):

- In each room used for sleeping purposes.
- Outside of each separate sleeping area in the immediate vicinity of bedrooms.
- In each story, including basements.

20. At the top of stairways between habitable floors where an intervening door or obstruction prevents smoke from reaching the smoke detector.

21. Shall not be installed within 20ft horizontally of cooking appliances and no closer than 3ft to mechanical registers, ceiling fans and bathroom doors with a bathtub or shower unless this would prevent placement of a smoke detector (314.3(4)).

22. Alterations, repairs, or additions exceeding 1,000 dollars. (May be battery operated.)

23. All smoke and carbon-monoxide alarms shall be hardwired with a battery backup (smoke alarms shall have a 10-year sealed battery). (CRC R314.4 & R315.1.2)

24. Smoke detectors within 10 feet to 20 feet of the stove shall be ionization type with alarm silencing switch. CRC R314.3.3.

25. All 15/20 ampere receptacles in wet locations shall have in-use (bubble) covers installed. All receptacles in wet locations shall also be listed weather-resistant type. (CEC 406.9(B)(1))

PLUMBING

1. Underfloor cleanouts shall not be more than 5' from an underfloor access, access door or trap door. (CPC 707.9)

2. ABS piping shall not be exposed to direct sunlight unless protected by water based synthetic latex paints. (CPC 312.13)

3. PVC piping shall not be exposed to direct sunlight unless protected by water based synthetic latex paint,.04" thick wrap or otherwise protected from UV degradation. (CPC 312.14)

4. Underground water supply lines shall have a 14 awg blue tracer wire. (CPC 604.10.1)

5. The adjacent space next to showers without thresholds shall be considered a "wet location" when using the CRC, CBC, and the CEC. (CPC 408.5)

6. Shower compartments, regardless of shape, shall have a minimum finished interior of 1024 square inches (32" by 32") and shall also be capable of encompassing a 30" circle. The required area and dimensions shall be measured at a height equal to the top of the threshold and shall be maintained to a point of not less than 70" above the shower drain outlet. (CPC 408.6) Provide curtain rod or door a minimum of 22" in width. (CPC 408.5) Showers and tubs with showers require a non-absorbent surface up to 6" above the floor. (CRC R307.2) Minimum shower receptor slope is 1/8" per foot. (408.5)

7. Show location and size of the water heater on plans. Provide pressure relief valve with drain to outside for water heater. (CPC 504.6) Provide seismic strapping in the upper & lower third of the water heater a minimum of 4" above controls. (CPC 507.2) The water heater shall be of an instantaneous type or the following shall be provided (new construction only) (CEC 150.0(n)):

- A 120v receptacles provided within 3ft
- A category II or IV vent, or a straight (without bends) Type B vent
- Condensate drain that is no more than 2 inches higher than the base of the water heater
- Gas supply line with a minimum 200,000 Btu/hr dedicated capacity for the water heater
- A dedicated 120/240, 3 wire circuit with 10AWG wire to a receptacle outlet within 3' of the water heater. The unused conductor shall be electrically isolated and have a reserved circuit breaker space. Both ends of the conductor shall be labeled "spare" and be electrically isolated. A reserve single-pole circuit breaker space near this circuit labeled "Future 240V Use." (CEC 150.0(n))

8. Domestic hot water lines shall be insulated. Insulation shall be the thickness of the pipe diameter up to 2" in size and minimum 2" thickness for pipes larger than 2" in diameter. (CPC 609.11)

9. A 3-inch gravity drain shall be provided at the low point of the space, installed which provides 1/4-inch per foot grade and terminate at an exterior point of the building protected from blockage. The opening shall be screened with a corrosion-resistant wire mesh with mesh openings of 1/4-inch in dimension. Lengths of the gravity drains over 10 feet in length shall be first approved by the Building Official. (L-V 8.8)

10. Water heaters located in attics, ceiling assemblies and raised floor assemblies shall show a water-tight corrosion resistant minimum 1 ½" deep pan under the water heater with a minimum ¼" inch drain to the exterior of the building. (CPC 507.5)

11. Water closet shall be located in a space not less than 30" in width (15" on each side) and 24" minimum clearance in front. (CPC 402.5)

12. Indicate on the plans that the maximum hot water temperature discharging from a bathtub or whirlpool bathtub filter shall not exceed 120 degrees F. (CPC 408.3)

13. Provide anti-siphon valves on all hose bibs. (CPC 603.5.7)

14. Floor drains shall be provided with a trap primer. (CPC 1007)

15. Clearly label on the plans the maximum water flow rates per the (CGBSC 4.303.1):

- Water Closets: 1.28gpf
- Urinals: 1.25gpf
- Kitchen Faucets: 1.8gpm @ 60psi
- Lavatory Faucets: 1.2gpm @ 60psi
- Showerheads: 1.8gpm

MECHANICAL

1. All newly installed gas fireplaces shall be direct vent and sealed-combustion type. (CMC 912.2)

2. Any installed wood stove or pellet stove shall meet the U.S. EPA New Source Performance Standard emission limits and shall have a permanent label certifying emission limits.

3. Top chimney must extend a minimum of 2 ft. above any part of the building within 10 ft. (CMC 802.5.4)

4. Fireplaces shall have closable metal or glass doors, have combustion air intake drawn from the outside and have a readily accessible fuel damper control. Continuous burning pilot lights are prohibited. (CEC 150.0(e))

5. Provide combustion air for all gas fired appliances per CMC Chapter 7.

6. Gas vents passing through an insulated assembly shall have a metal insulation shield a minimum 2" above insulation. (CMC 509.6.2.7)

7. Gas water heater and furnace are not allowed in areas opening into bathrooms, closets or bedrooms unless installed in a closet equipped with a listed gasketed door assembly and a listed self-closing device with all combustion air obtained from the outdoors. (CPC 504)

8. Roof top equipment on roofs with over 4/12 slope shall have a level 30"x30" working platform. (CMC 304.2)

9. Exhaust openings terminating to the outdoors shall be covered with a corrosion resistant screen ¼"-1/2" in opening size (not required for clothes dryers). (CMC 502.1)

10. Vent dryer to outside of building (not to under-floor area). Vent length shall be 14 ft. maximum. Shall terminate a minimum of 3' from the property line and any opening into the building. (CMC 504.4.2)

11. Environmental Air Ducts shall not terminate less than 3' to a property line, 10' to a forced air inlet, 3' to openings into the building and shall not discharge on to a public way. (CMC 502.2.1)

12. Provide minimum 100 square inches make-up air for clothes dryers installed in closets. (CMC 504.4.1(1))

13. Heating system is required to maintain 68 degrees at 3 ft. above floor level and 2ft from exterior walls in all habitable rooms. (CRC R303.10)

14. Wood burning appliances shall not be installed in a new or existing project that is not one of the following:

- A pellet-fueled wood burning heater.
- A U.S. EPA Phase II Certified wood burning heater.
- An appliance or fireplace determined to meet the U.S. EPA particulate matter emission standard of less than 7.5 grams per hour for a non-catalytic wood fired appliance or 4.1 grams per hour for a catalytic wood fired appliance and is approved in writing by the APCO.

TITLE 24 ENERGY

1. All ducts in conditioned spaces must include R-4.2 insulation. (150.1(c)(9) Minimum heating and cooling filter ratings shall be MERV 13 (150.0(m)(2))

2. Isolation water valves required for instantaneous water heaters 6.8kBTU/hr and above. Valves shall be installed on both cold and hot water lines. Each valve will need a hose bib or other fitting allowing for flushing the water heater when the valves are closed. (CEC 110.3(c)(6)

3. ALL luminaires must be high efficacy (150.0(k)1A)

- Luminaires recessed in insulated ceilings must meet five requirements (150.0(k)1C):
- They must be rated for direct insulation contact (IC).
- They must be certified as airtight (AT) construction.
- They must have a sealed gasket or caulking between the housing and ceiling to prevent flow of heated or cooled air out of living areas and into the ceiling cavity.
- They may not contain a screw base sockets
- They shall contain a JAB compliant light source

5. In bathrooms, garages, laundry rooms, and utility rooms, at least on luminaire in each of these spaces shall be controlled by a vacancy sensor or occupant sensor provided the occupancy sensor is initially programmed like a vacancy sensor (manual-on operation). (150.0(k)(2))

6. Joint Appendix A (JAB) certified lamps shall be considered high efficacy. JAB compliant light sources shall be controlled by a vacancy sensor or dimmer. (Exception: <70sf closets and hallway) (150.0(k)(2K)

7. Under-cabinet lighting shall be switched separately from other lighting systems. (150.0(k)(2L)

8. All exterior lighting shall be high efficacy, be controlled by a manual on/off switch and have one of the following controls (the manual switch shall not override the automatic control device): (150.0(k)(3A)

- Photo-control and motion sensor.
- Photo-control and automatic time switch control
- Astronomical time clock control turning lights off during the day

9. All high efficacy light fixtures shall be certified as "high-efficacy" light fixtures by the California Energy Commission.

10. Contractor shall provide the homeowner with a luminaire schedule giving the lamps used in the luminaires installed. (10-103(b))

11. The number of blank electrical boxes more than 5 feet above the finished floor shall not be greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor, or fan speed control. (150(k)1B)

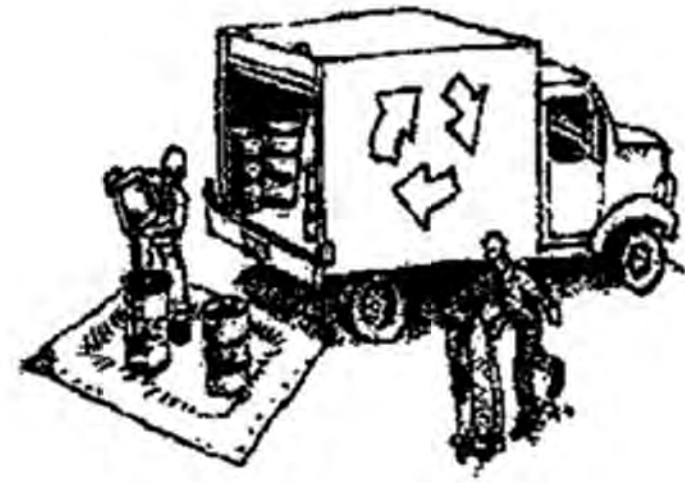
12. Provide a gasket/ insulation on all interior attic/under-floor accesses. (110.7)

13. Provide verification on the plans how the building will meet the minimum ventilation and acceptable indoor air quality requirements per ASHRAE Standard 62.2. Window operation is not a permissible method of providing the whole building ventilation airflow required. This is subject to HERS testing. The following label must be attached to the fan switch: "To maintain minimum levels of outside air ventilation required for good health, the fan control should be on at all times when the building is occupied, unless there is severe outdoor air contamination." (California Energy Code 150.0(o))



# CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs)  
on this Page, as they Apply to Your Project, All Year Long.



## MATERIALS & WASTE MANAGEMENT

### Non-Hazardous Materials

- ☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

### Waste Management

- ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ☐ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.



## EQUIPMENT MANAGEMENT & SPILL CONTROL

### Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



## EARTHWORK & CONTAMINATED SOILS

### Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
  - Unusual soil conditions, discoloration, or odor
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.



## PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt or concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



## CONCRETE, GROUT & MORTAR APPLICATION

- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



## LANDSCAPE MATERIALS

- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



## PAINTING & PAINT REMOVAL

### Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint Removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



## DEWATERING

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ☐ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

\* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

**STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!**



PROPERTY AND SYSTEM INFORMATION: ALL DATA & CODE REFERENCE PER MCEH 2018-OWTS  
SITE ADDRESS: 8330 VIA MADALENA, CARMEL, CALIFORNIA  
A.P.N.: 169-171-052-000  
AREA OF PARCEL: 1.12 ACRES

NITROGEN BALANCE EXISTING STRUCTURE: NO EXISTING STRUCTURES

PROPOSED STRUCTURE: 3 BEDROOM (MAIN RESIDENCE) W/ GARBAGE GRINDER  
4 PEOPLE @ 450 GALLONS SEWAGE PER DAY  
2 BEDROOM (ADU)  
3 PEOPLE @ 300 GALLONS SEWAGE PER DAY

POSSIBLE FUTURE STRUCTURES: 1 BEDROOM JUNIOR ADU @ MAIN RESIDENCE  
1 PERSON @ 75 GALLONS SEWAGE PER DAY  
1 BEDROOM DETACHED GUEST HOUSE  
1 PERSON @ 75 GALLONS SEWAGE PER DAY

TOTAL NUMBER OF OCCUPANTS & SEWAGE DEVELOPED:  
CURRENTLY PROPOSED : 7 TOTAL @ 750 GALLONS SEWAGE PER DAY  
POTENTIAL FUTURE : 9 TOTAL @ 900 GALLONS SEWAGE PER DAY

PER TABLE 5-2 MCEH OWTS:  
ALLOWABLE APPLIED NITROGEN PER ACRE: 40 GRAMS  
ALLOWABLE APPLIED NITROGEN ON PARCEL: 44.8 GRAMS  
EXISTING APPLIED NITROGEN ON PARCEL: 0 GRAMS

PROPOSED APPLIED NITROGEN ON PARCEL: 70 GRAMS  
FUTURE PROPOSED NITROGEN ON PARCEL: 90 GRAMS

EXCESS APPLIED NITROGEN: PROPOSED 25.20 GRAMS = REQUIRES 36% REDUCTION  
FUTURE 45.20 GRAMS = REQUIRES 50.2% REDUCTION

PROPOSED OWTS DESIGN IS TO ACCOMMODATE PROPOSED AND FUTURE OCCUPANCY

SEPTIC TANK SIZE: WITHOUT GARBAGE GRINDER 3,000 GALLONS  
WITH GARBAGE GRINDER 2X 4,500 GALLONS (500 PER GRINDER AS APPLICABLE)

NITROGEN REDUCTION: DUPLEX ADVANTEX AX20 PROCESSING IN MODE 3  
1,000 GALLON PER DAY PROCESSING CAPACITY  
70% NITROGEN REDUCTION

INFILTRATION AREA REQUIRED: PROPOSED 625 SQUARE FEET LEACHFIELD  
FUTURE 750 SQUARE FEET LEACHFIELD

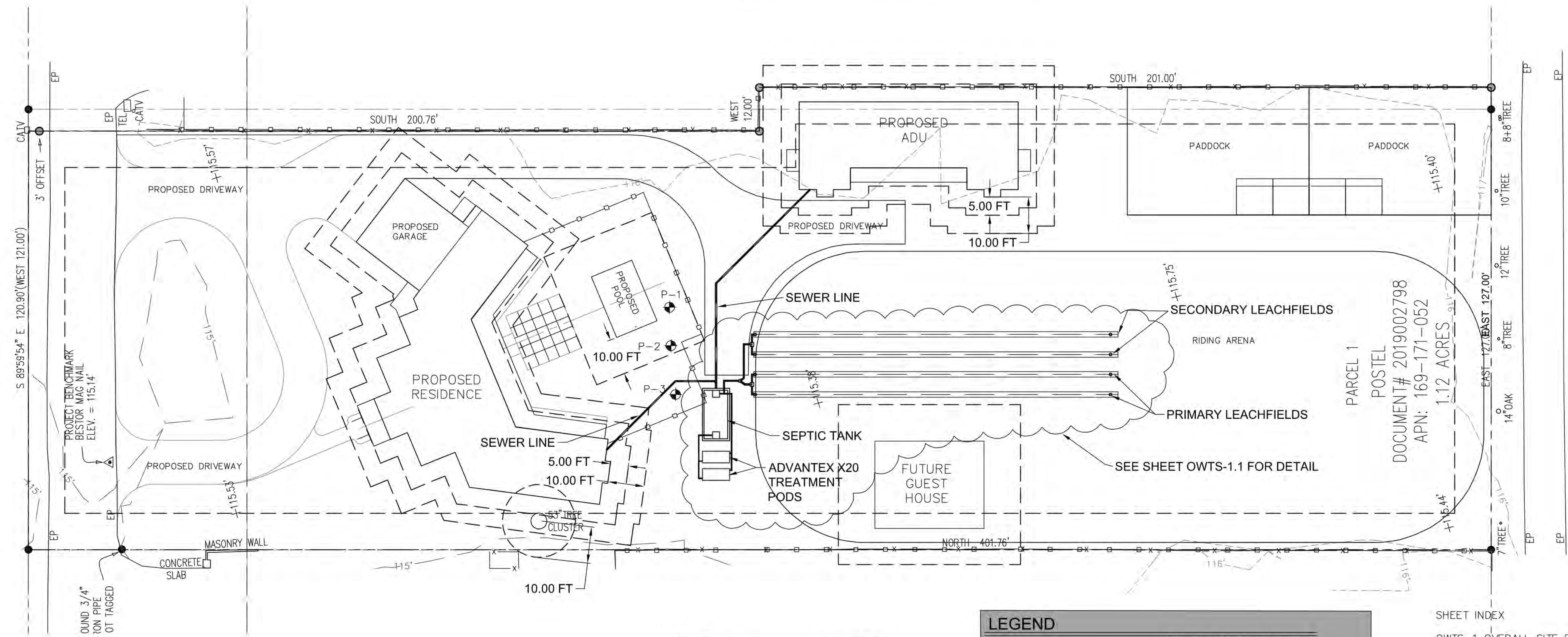
PROPOSED LEACHFIELD TYPE: TRENCH 2FT EFFECTIVE DEPTH @ 1.5FT WIDE  
PROVIDING 4 SQUARE FEET OF WALL AREA PER LINEAR FOOT OF TRENCH

REQUIRED LENGTH OF LEACHFIELD: PROPOSED: 156.25 LINEAR FEET  
FUTURE: 187.50 LINEAR FEET

PROPOSED LEACHFIELD IS DESIGNED TO ACCOMMODATE PROPOSED AND FUTURE EFFLUENT PRODUCTION

PRIMARY LEACHFIELD IS COMPRISED OF: 2 TRENCHES 100 FEET LONG  
800 SQUARE FEET OF EFFECTIVE WALL AREA  
SECONDARY LEACHFIELD IS COMPRISED OF: 2 TRENCHES 100 FEET LONG  
800 SQUARE FEET OF EFFECTIVE WALL AREA

SUFFICIENT ROOM REMAINS FOR INSTALLATION OF A TERTIARY FIELD OF EQUAL SIZE.  
OTHER LEACHFIELD LATERAL ALIGNMENTS ARE POSSIBLE.



SITE PLAN

SCALE 1" = 16'

PLAN NORTH

NOTE: TRACER WIRE SHALL BE INSTALLED PER  
DETAILS ON SHEET OWTS-4.

LEGEND

ALTERNATE LEACHFIELD LOCATIONS  
PROPOSED LEACHFIELDS  
PROPERTY LINE  
HORIZONTAL SETBACKS  
MINOR CONTOURS  
MAJOR CONTOURS  
PROPOSED STRUCTURE  
EXISTING STRUCTURE

TYPICAL 10 FOOT TREE SETBACK

TEST LOCATION PER LANDSET ENGINEERS, INC.

SHEET INDEX

OWTS-1 OVERALL SITE PLAN AND DESIGN  
SPECIFICATIONS  
OWTS-1.1 OWTS SYSTEM PLAN  
OWTS-2 PROFILES AND SECTIONS  
OWTS-3 DETAILS  
OWTS-4 DETAILS

NOT ALL EXISTING OR PROPOSED SITE FEATURES  
ARE SHOWN. REFER TO PROJECT PLANS BY  
ARCHITECT FOR FURTHER DETAILS.

GRICE ENGINEERING INC

ENGINEERING • GEOTECHNICS • HYDROLOGY • SOILS • FOUNDATIONS • EARTH STRUCTURES

561A Brunken Avenue Salinas, California Salinas: (831) 422-9619 Monterey: (831) 375-1198 FAX: (831) 422-1896

NOT VALID WITHOUT STAMP AND SIGNATURE



LAWRENCE E. GRICE, P.E.; R.C.E. 66827

PREPARED FOR:

MS. LAURA POSTEL  
4000 RIO ROAD #24  
CARMEL, CALIFORNIA 93923

POSTEL ESTATE  
8330 VIA MADALENA, CARMEL, CALIFORNIA 93923  
A.P.N. 169-171-052-000

ONSITE WASTEWATER TREATMENT SYSTEM  
SITE PLAN

REVISION  
DATES

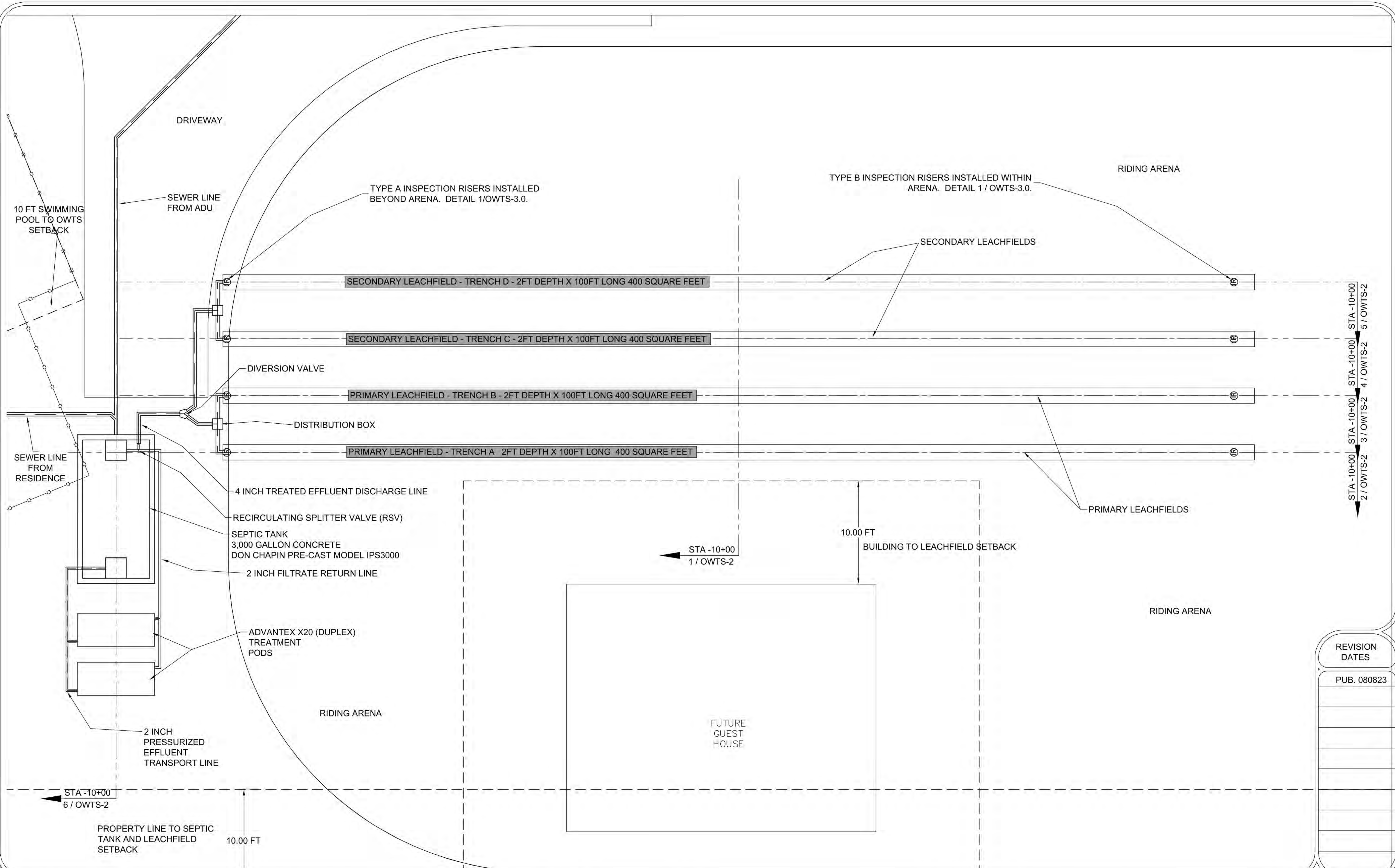
PUB. 080823

OWTS-1.0

Date Plotted: Aug 08, 2023

POSTEL ESTATE  
FILE NO. 7400-21.05





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LAWRENCE E. GRICE, P.E. ; R.C.E. 66857

PREPARED FOR:

MS. LAURA POSTEL  
4000 RIO ROAD #24  
CARMEL, CALIFORNIA 93923

POSTEL ESTATE  
8330 VIA MADALENA, CARMEL, CALIFORNIA 93923  
A.P.N. 169-171-052-000

ONSITE WASTEWATER TREATMENT SYSTEM  
OWTS SYSTEM PLAN

REVISION  
DATES

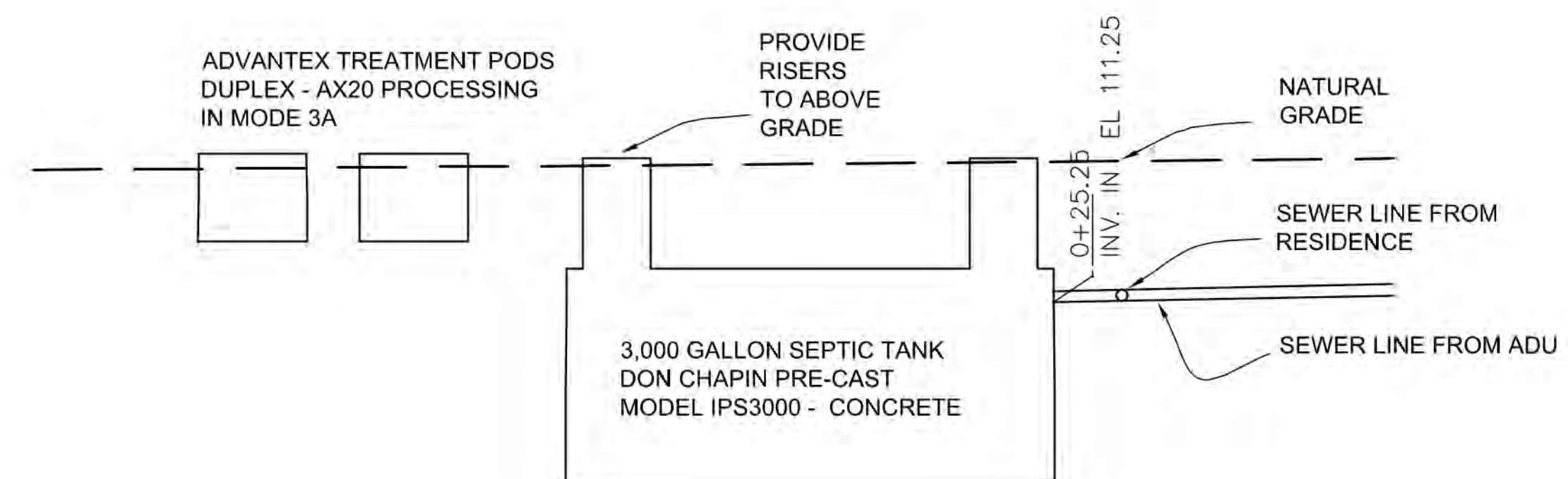
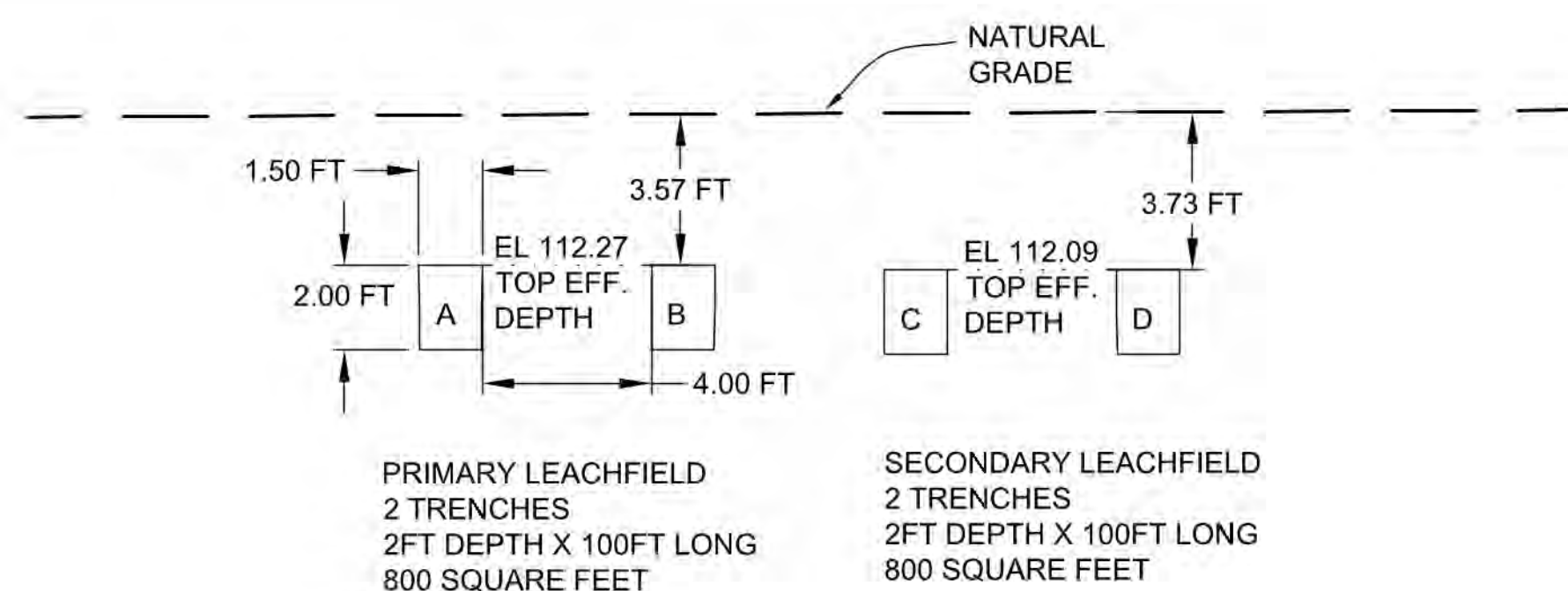
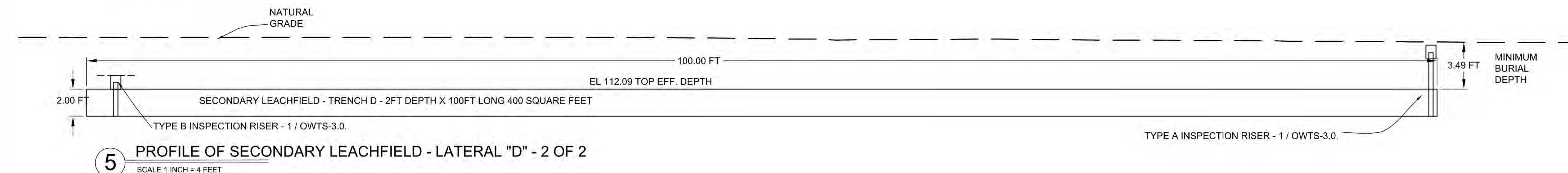
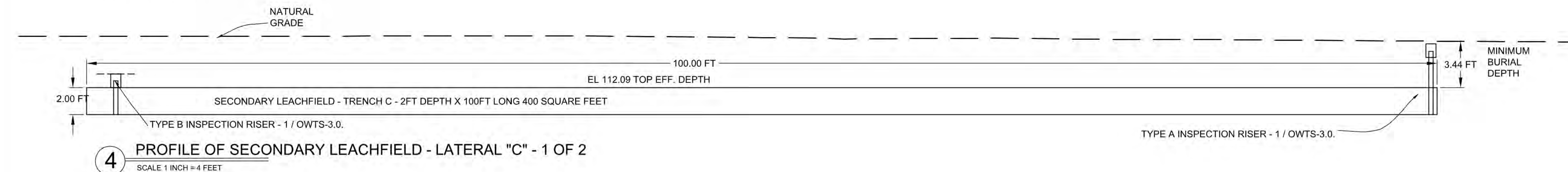
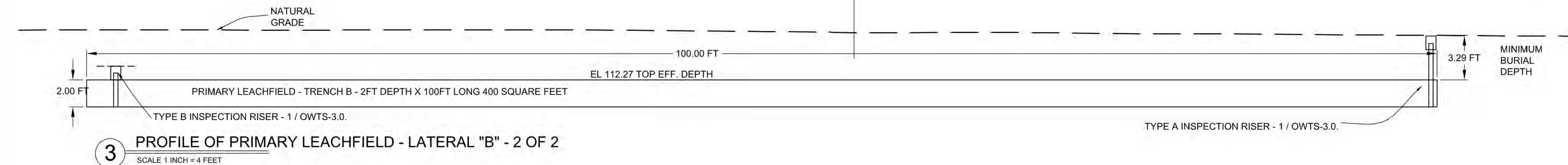
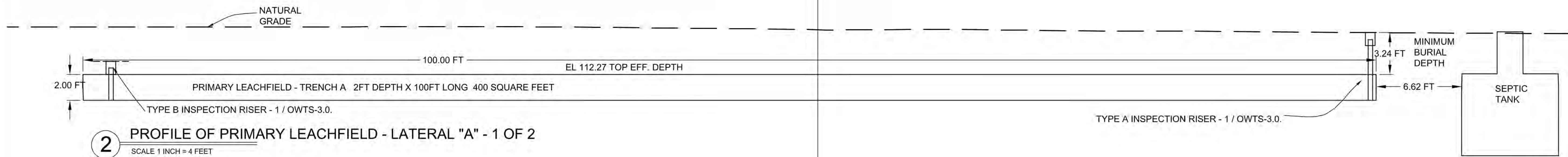
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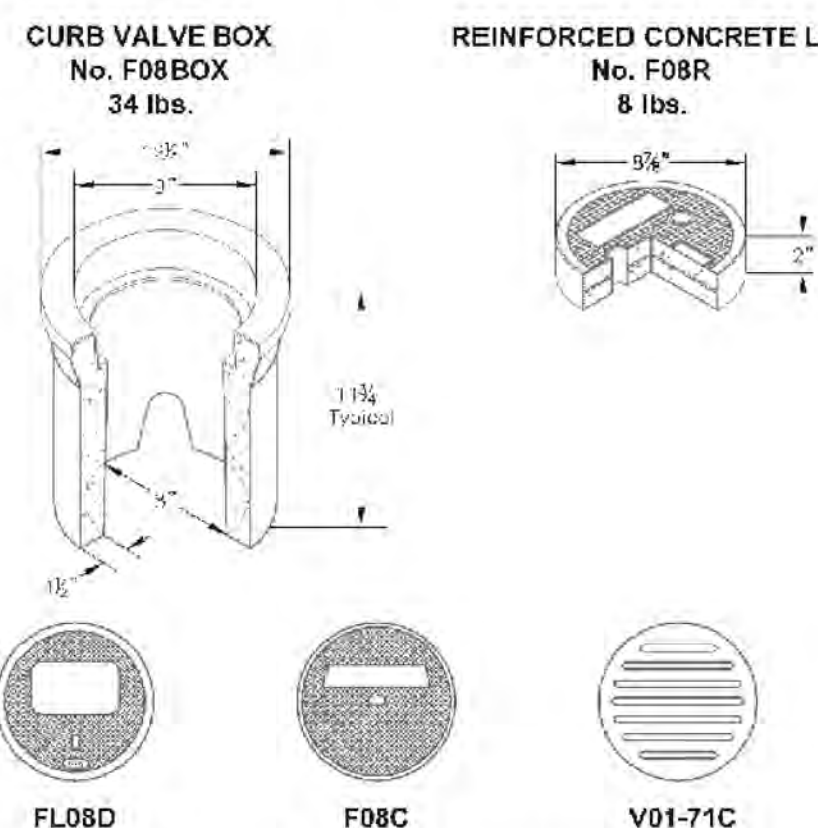
Date Plotted: Aug 08, 2023

POSTEL ESTATE  
FILE NO. 7400-21.05










Drumma Code	Item	Approx. Shipment Weight	Description
RC6R0X	BOX	34	FOR CURT. VALVE BOX (6" ID. x 11 1/2" high) 48 per pallet
GRK	III	7	Reinforced concrete with plastic tie
RC6R	LIB	6	Iron
FL080	LIB	2	Fiberglass lid, non-concrete
WC - 7 C	CRATE	2	Curt. Iron



**F08 BOX (STANDARD)**  
 1x F08L F08L ISO  
 ISSUE DATE: 00000000 2009  
[www.citilink.com/iso/](http://www.citilink.com/iso/)

**F08 CURB VALVE BOX**  
8" I.D. x 11-3/4"  


Copyright © 2009 by Oldcastle Precast Inc.

## AdvanTex® AX20 Textile Filter

Droneo's Advanced AK20 Treatment System is an innovative method for the treatment of residential wastewater. The use of the System is the Advanced filter, a dry, water tight bag packed filled with an engineered textile material. This lightweight, highly absorbent, textile material allows a tremendous amount of wastewater in a small space. AK20 Treatment Systems are used for:

- Wastewater treatment to better than secondary treatment standards
- Consistent treatment, even during absences
- Their operation for flow monitoring, flow modulation, and surge control

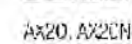
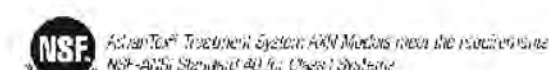
- Specify this product, explain its following:
  - Waste-to-energy (Waste-to-bio) is an secondary treatment (biological)
  - Composting treatment, even during dry seasons
  - Treated excretion for livestock, fish, medication, and virus control
  - Used for the facility for gas (polyester plastic), operated in an unsaturated condition
- Disinfection, media quality
- Low maintenance beyond annual servicing
- Low energy consumption (up to 5.45-5.60 kWh power cost at 1000 kg of waste per day, up to 4.8 kWh)
- Composting pre-manufactured to package ready-to-sell
- Without chemical treatment, no carbon cost waste oils, longer pump life
- Anti-biot for flanges
- Foam cover lid provides insulation value of 6 R (2.1 °F)
- Quick operation



### Physical Specifications\*\*

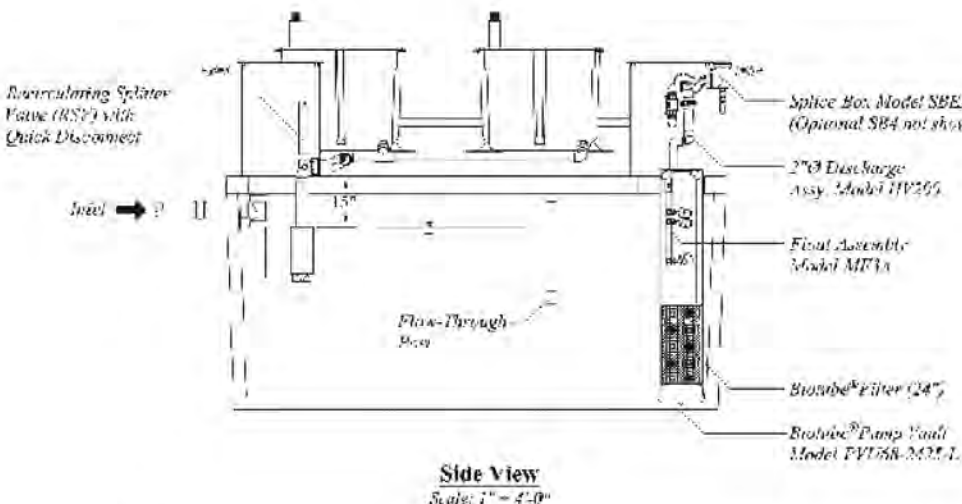
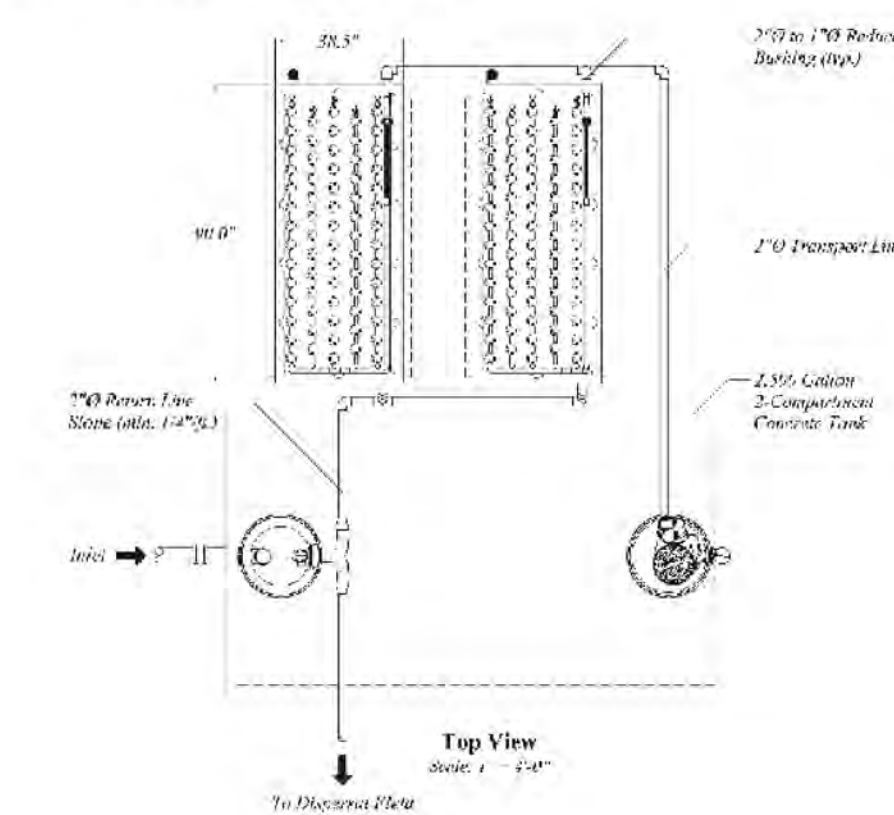
Physical Specifications	
Fiber length (mm)	87 (4.1")
Width (in. cm)	42 (1.6")
Weight (g. oz)	31 (1.1 oz)
Area (square ft. sq. m)	27 (1.8 sq. m)
Fiber density (lb./cu. ft.)	332 (7.4)

<sup>21</sup> Derived by the present authors: 5,260,709; 5,281,861; 5,323,261; 5,360,659; 5,126,633 and 4,432,323. Authors' estimate pending.

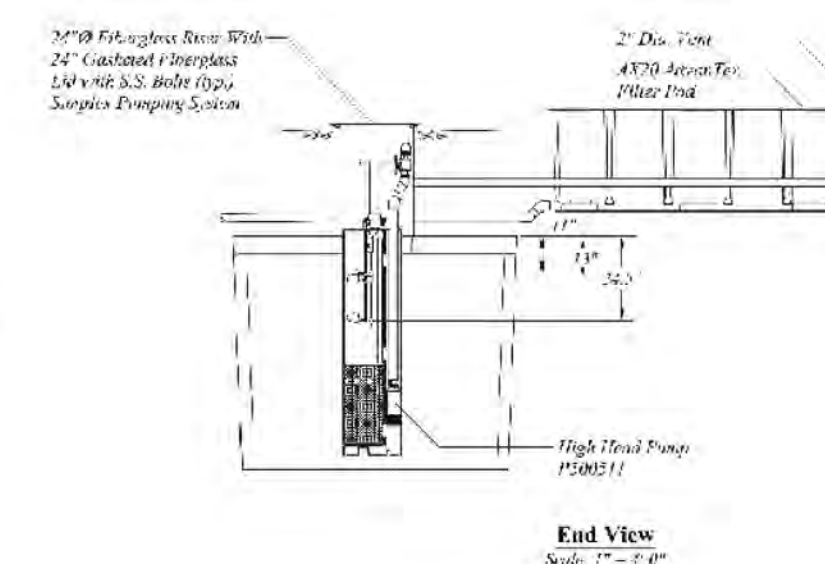
[illegible]Orion Systems® Inc., 8715 Airway Ave., Sutherland, OR 97478 USA • 800-348-0863 • 541-250-5449 • [www.orion.com](http://www.orion.com)

Rev. 1.2, © 03/14  
Page 1 of 1

Bedrooms	Occupants (maximum)	2-Compartment Processing Tank (min. gallons)
5	16	2,500
6	12	3,000



Flow Functions	
Y	High Level Alarm
G	Override Tower ON/Off
W	1.1-1.5(1)



**crenco**  
SYSTEMS

\* Source: Spall, L. A., Partners et al. in this Proceedings. System Configuration Experiments may be reproduced and analyzed at the discretion of the user and configuration of a system up to 20.

**Disclaimer:** This Important System Configuration and Upgrade Information only provides a general description of a basic configuration for the requirements and/or specifications shown in the following table. Only actual customer configurations, including the actual client and its specific hardware, are at the sole discretion of the customer.

<p>is provided only as a design          guide. We strongly advise          that you have been thoroughly          familiar with the          configuration of the system          and the software's operation.</p>	<p>AX20</p>
--	-------------

2 Pod Mode 3A	Drawn By:
	Reviewed By:
Design Aid	Lin. Number:

**Design Notes**

For residential strength: waste up to 6 bedrooms.  
Applications greater than 6 bedrooms requires a design review by Onuma.

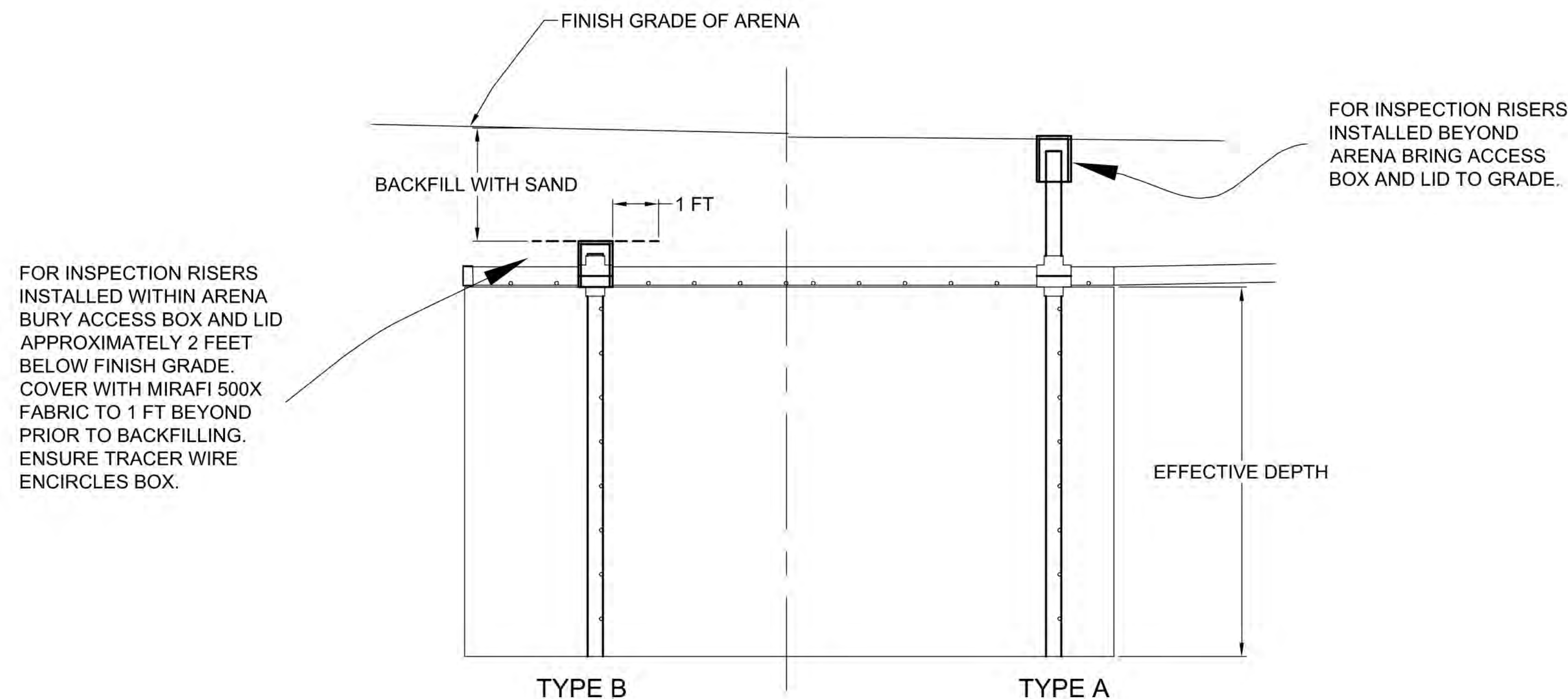
Installation to be performed by an Activitec Authorized Installer only.

Start-up and service to be performed by an American Authorized Service Technician.

## NO SCALE

## NO SCALE

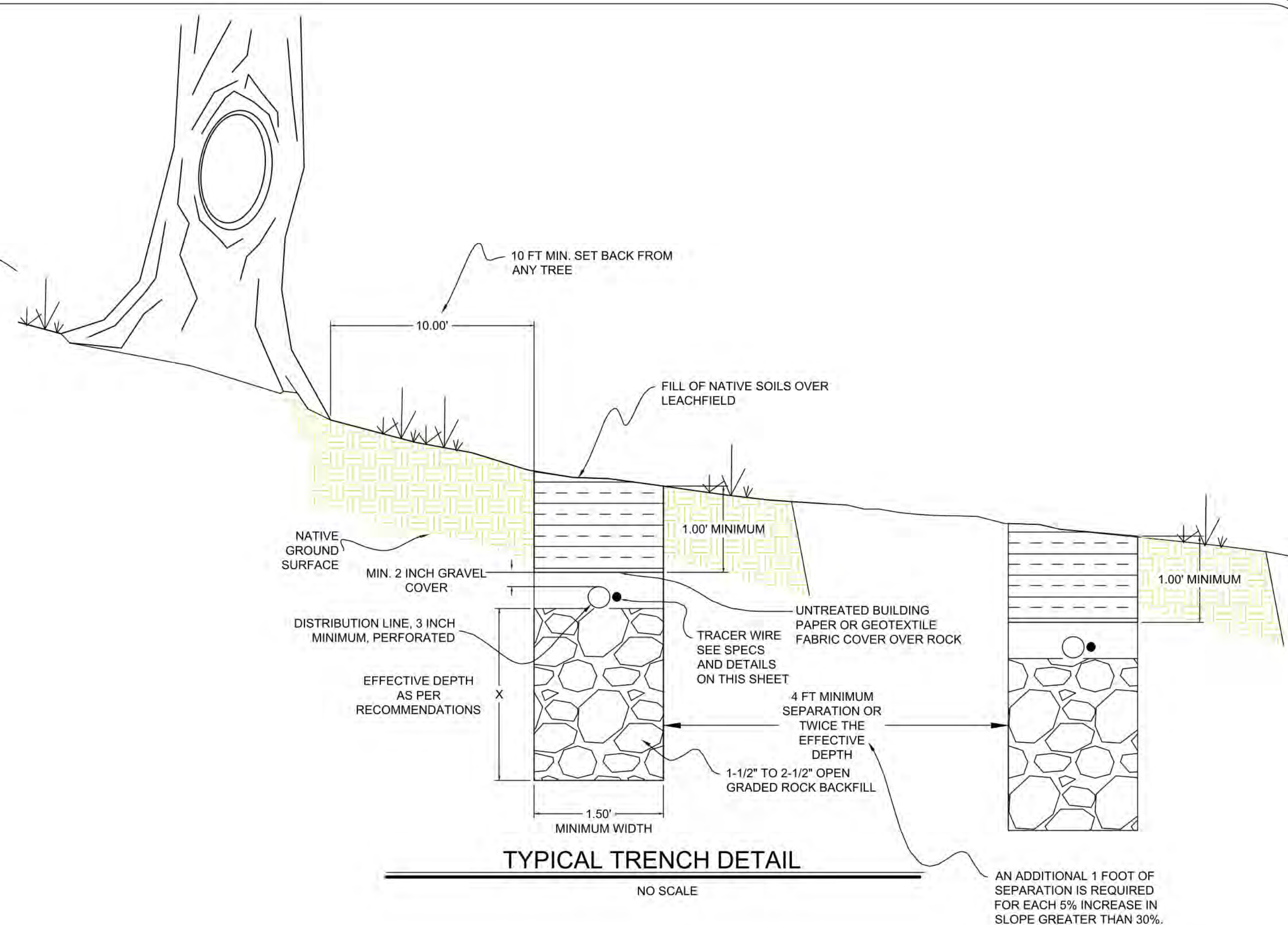
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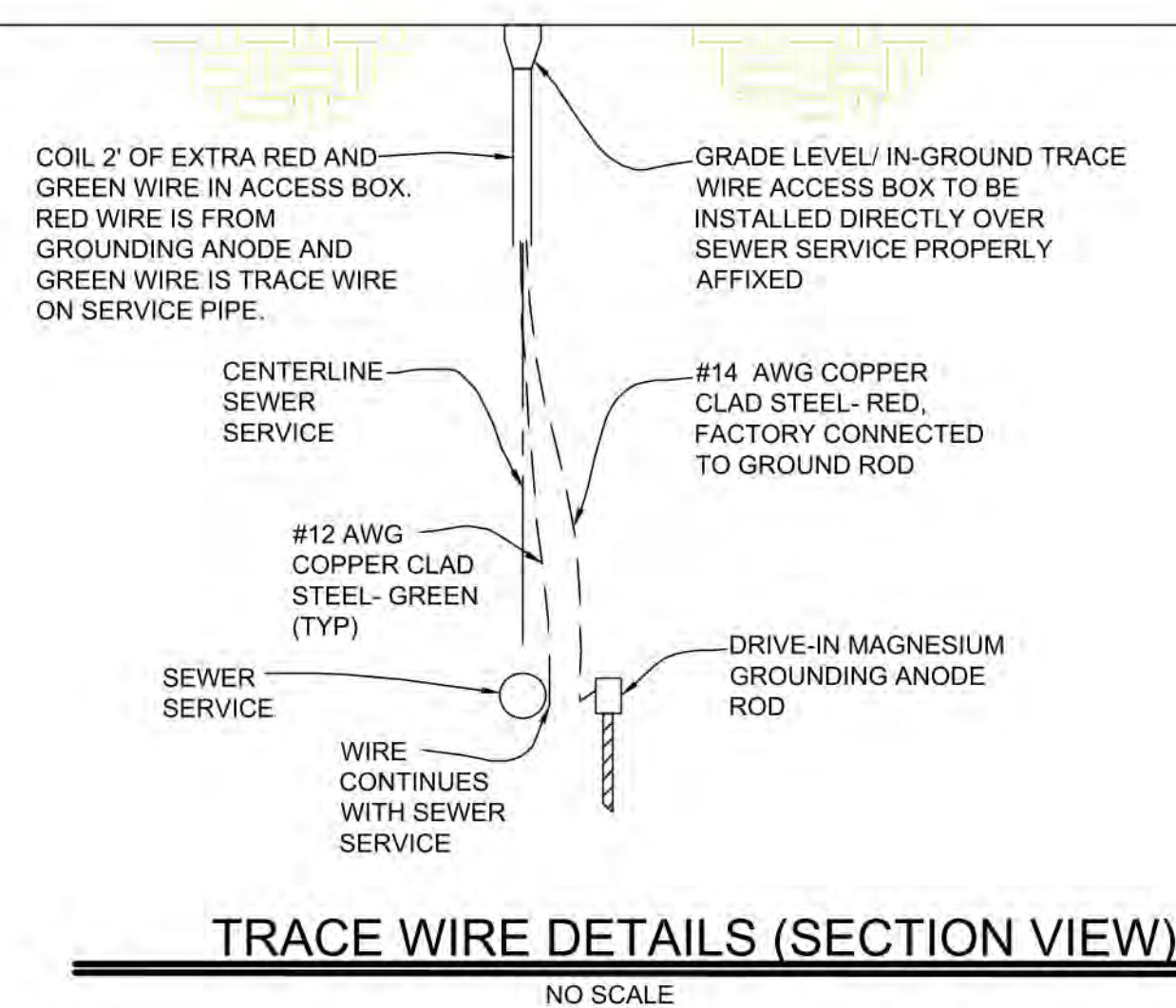
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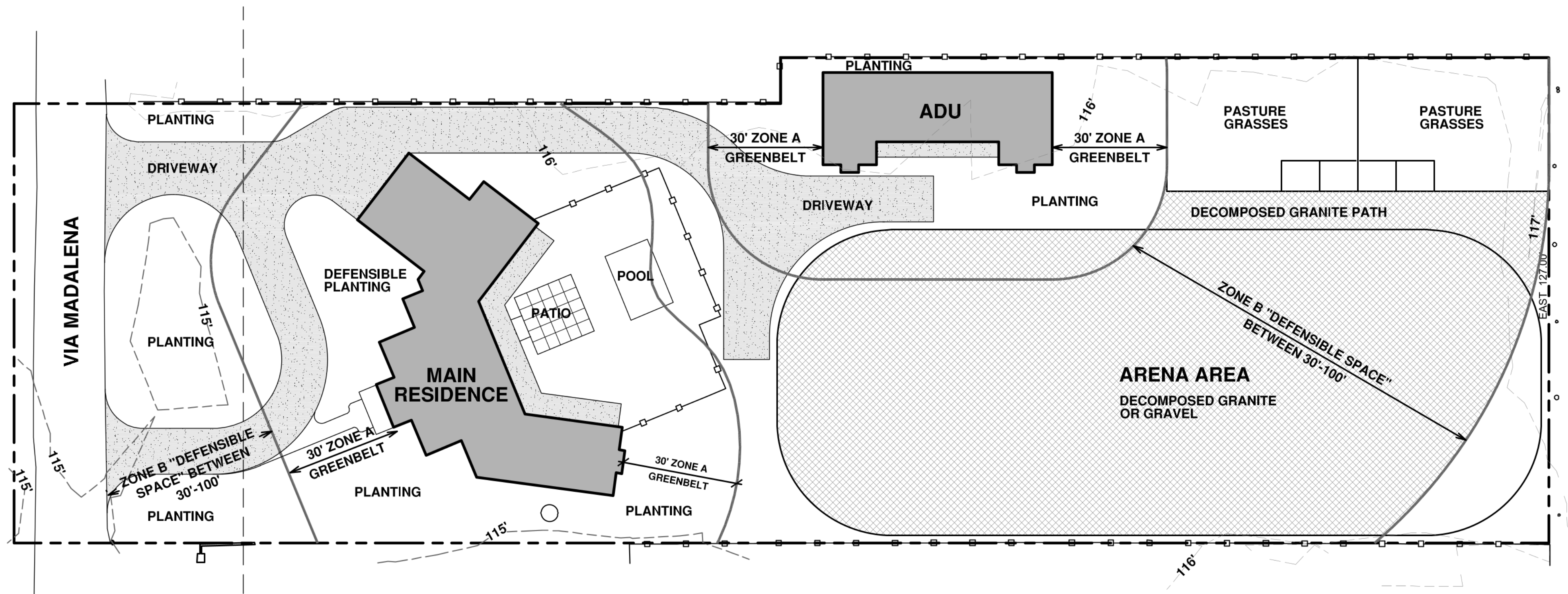


NO SCALE



NO SCALE





## FUEL MANAGEMENT PLAN

### Preliminary Fuel Management Zones

for implementing vegetation management for defensible space around the home, and safe access/egress along the driveway and road

**Zone A: Greenbelt Zone:** Within 30' of all structures:

Zone A shall be considered a greenbelt zone characterized by irrigated planting areas which include fire resistant and fire-retardant plants strategically located to separate structures and wildland fuels which either slows or prevents the advancement of ground or surface fires.

The owner shall properly maintain the landscape area at all times by removing dead branches from shrubs and trees, clearing brush, and leaf litter from the ground, and pruning lower branches once they are established to a minimum of 6' above the ground.

**Zone B: Defensible Space:** Between 30 - 100' from structures:

Eliminate fire ladders - an arrangement of plants that provide fuel for a fire to climb from ground cover or grasses to shrubs to tree-tops.

Eliminate continuous fuel beds; areas in the landscape which contain fuel (patches of vegetation) which are too close or continuous. Reduce the amount of horizontal continuity through the incorporation of hard and/or non-flammable surfaces such as bare ground or pavement.

Proper maintenance of the landscape area is required. Remove dead branches from shrubs, trees, clean leaf litter from the ground, and prune lower branches once trees are established to a minimum of 6' above the ground.

Landscape Architect has made every effort to incorporate fire resistant vegetation and plants with deep roots to enhance fire protection and erosion control.

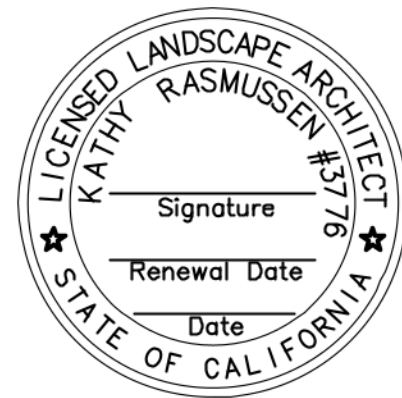
Owner shall implement and annually maintain a defensible space according to California fire code and public resources code from 30'-100' away from structures, 2 times during the year, provide growth reduction activities throughout all fuel modification zones. Perform maintenance from mid to late spring and once again in early to mid-fall. Include maintenance of irrigation systems, replacement of dead or dying vegetation, and removal of dead plant material.

Owner shall inspect the fuel modification zones throughout the year to identify where specific areas need to be addressed. Owner shall retain all fuel modification plans on site. Plans shall be used to perform maintenance.

#### Note:

See Sheet L2 for Irrigation and Preliminary Plant List.

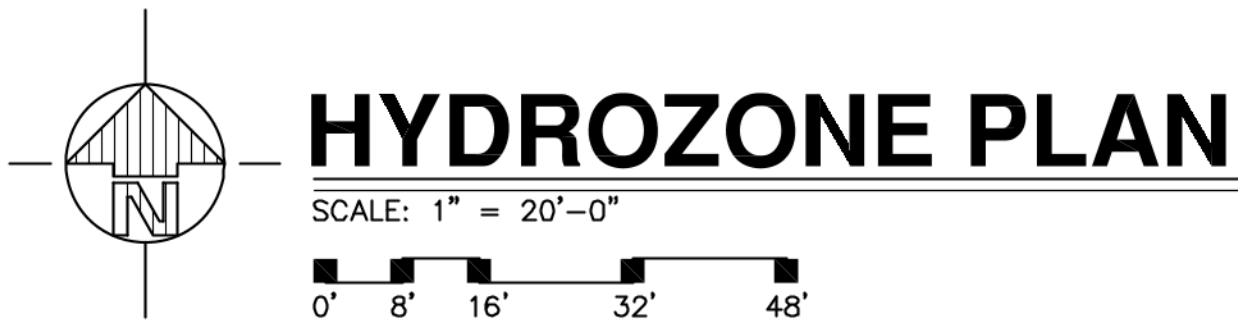
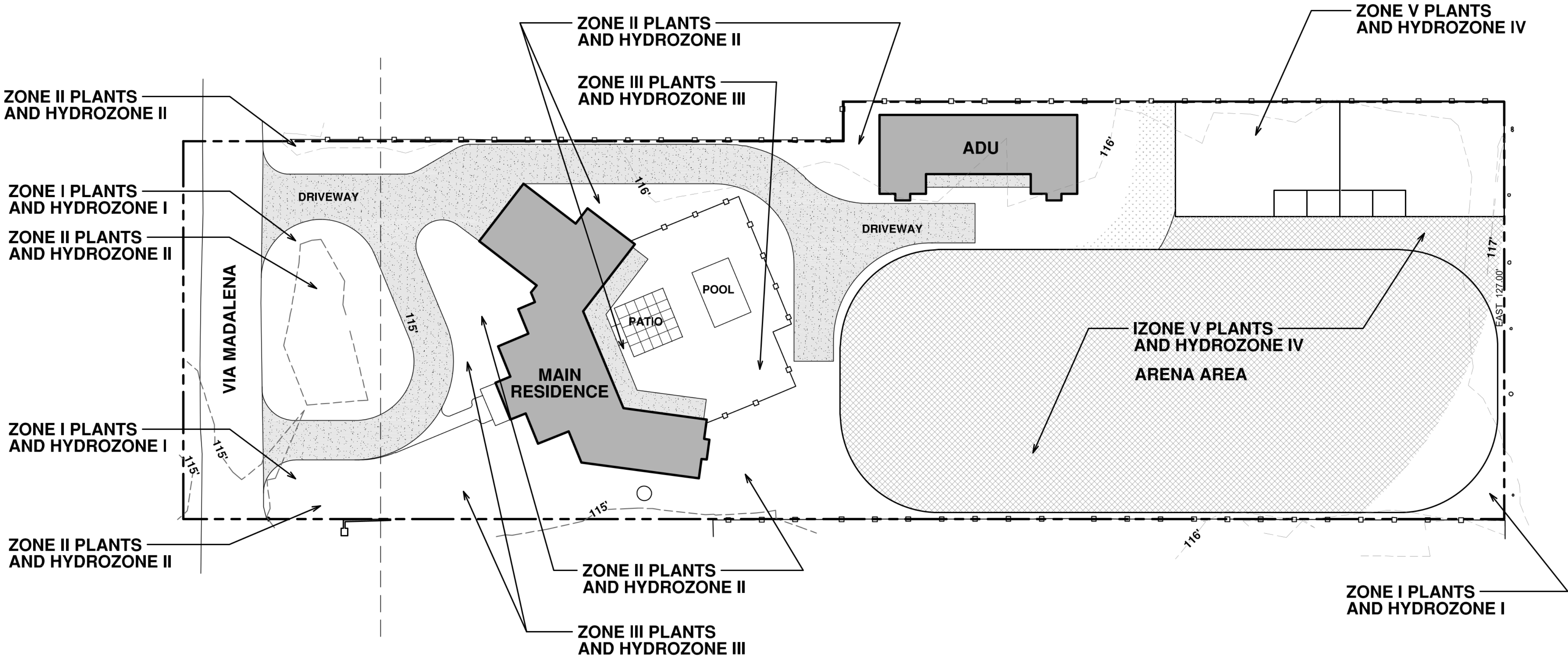
POSTEL ESTATE  
8330 VIA MADELENA CARMEL, CALIFORNIA 93923



FUEL MANAGEMENT PLAN

Landscape Architect  
Kathy Rasmussen  
36 Wellings Place  
Monterey, CA. 93940  
(831) 207-8348  
California License Number 3776

Drawn	Checked	Sheet
Date	12/18/22	L1
Revision		
Scale		



## HYDROZONE PLAN

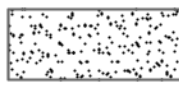
SCALE: 1" = 20'-0"

### HYDROZONE LEGEND



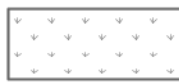
#### Hydrozone I

Wildflower and Native grasses. See Native grass & Wildflower seed Plant List for genus and species. Unless seed is established via natural rains, install temporary, low impact, water efficient, above ground, sprinkler heads. Watering requirements: 2-3 times/week until seed is established. Irrigation components: Hunter MP Rotator Nozzle with 30-degree increased efficiency overs-prays. Install on 6" Hunter Pro S SV. Dismantle after sufficiently established grass and wildflowers.



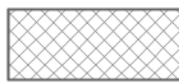
#### Hydrozone II

Native, fire resistant, drought resistant ornamental trees, shrubs, groundcover, and vines. See preliminary plant list. Use drip irrigation methods for all plants. After initial planting, water 2-3 times/week depending on time of year. Separate stations shall be used for trees and run days and times vary depending on species. Irrigation components: Agrifim or approved equivalent: Polypipe, emitter heads, bubblers, tubing, etc.



#### Hydrozone III

Lawn: Sod: Dwarf Fescue. Use conventional, low impact, water efficient, Pop-up spray heads. Irrigation components: Hunter spray heads with 30-degree increased efficiency over sprays. Install on 6" Hunter Pro Riser.



#### Hydrozone IV

Granite-Crete Gold Fines Decomposed Granite Gravel, prepared earth, non-irrigation.



#### Hydrozone V

Pasture for horses: Orchard grass, Birdsfoot trefoil, tetraploid perennial ryegrass. Watering requirements: Once every 10-14 days on a rotating basis for each of 3 pastures. Water efficient irrigation components. Aqualine Brass Impact Sprinkler

## PLANT LIST

### Zone I

#### Native Grass and Wildflower Seed

Qty/Lbs/Ac	Species	Common Name
60	Aurora Hard fescue (for slope areas)	
40	" " " (for flate areas)	
2.00	Nemophila menziesii	Baby Blue Eyes
.75	Lasthenia glabrata	Goldfields
2.25	Phacelia campanularia	California Bluebells
1.75	Eschscholzia californica	California Poppy
5.00	Lupinus nanus	Sky Lupine
1.00	Castilleja coccinea	Indian Paintbrush (P)
1.25	Clarkia purpurea	Wine cup Clarkia
1.75	Eriophyllum confertifolium	Yellow yarrow (p)
0.50	Achillea millefolium	White yarrow (P)
3.75	Linum rubrum	Red flax

### Zone II

Native, Fire Resistant, Drought Resistant Trees, Shrubs, Groundcovers and Vines

Botanical Name	Common Name	Size
TREES		
Cercis occidenta	California Redbud	24" Box
Laurus nobilis	California Bay Tree	15 G, 24"
Melaleuca nesophylla	Melaleuca	15 G, 24"
PA Platanus, Acerifolia	Columbia Sycamore	24"
Vitex agnus castus	Chaste Tree	15 G

#### SHRUBS

Achillea millefolium	Yarrow	1 G
Anemone Honore Jobert	Japanese Anemone	1 G
Arctostaphylos species	Manzanita	5 G
Aster frikartii 'Moench'	Aster	1 G
Dryopteris affinis	Native Chain Fern	1 G
Epilobium 'Marin's Pink'	California Fuschia	1 G
Epilobium 'Schieffelin's Choice'	California Fuschia	1 G
Eriogonum grande rubescens	Red Buckwheat	1 G
Fremontodendron 'San Gabriel'	Flannel Bush	15 G
Heteromeles arbutifolia	Christmasberry	15 G
Lavandula species	Lavender	1 G
Rhamnus californica	Coffeeberry	5 G
'Leatherleaf'		
Rhamnus californica	Coffeeberry	5 G
'Mound San Bruno'		
Rhus ovata	Sugar Bush	5 G
Salvia Amistat		
Verbena lilacina	Purple Cedros Verbena	1 G

#### GROUND COVER/VINES

Ajuga reptans	Ajuga	1 G
Clematis virginiana	Virgin's Bower Vine	1 G
Fragaria Chiloensis	Ornamental Strawberry	1 G
Helianthemum	Sunrose	5 G
'Hennfield Brilliant'		
Helianthemum	Sunrose	5 G
'Wisely Primrose'		
Isotoma fluviatilis	Blue Star Creeper	1 G
Mentha spicata	Creeping mint	1 G
Parthenocissus quinquefolia	Virginia Creeper	1 G, 5G
Vitex 'Rogers Red'	Grape Vine	5 G

### Zone III

#### LAWN

Sod, Dwarf Fescue

### Zone IV

#### ARENA AREA

Granitecrete, Gold Fines, prepared earth, gravel

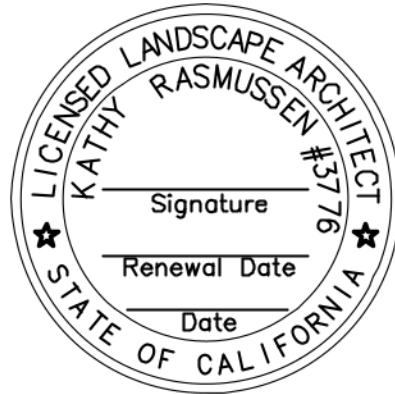
### Zone V

#### PASTURE FOR GRASSES

Orchard grass, Birdsfoot trefoil, tetraploid perennial ryegrass. Watering requirements: Once every 10-14 days on a rotating basis for each of 3 pastures. Water efficient irrigation components.

Aqualine Brass Impact Sprinkler

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8330 VIA MADELENA CARMEL, CALIFORNIA 93923

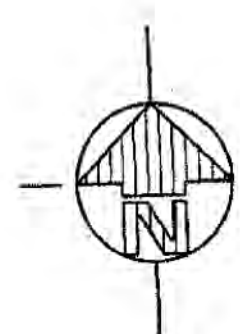


HYDROZONE PLAN

Landscape Architect  
Kathy Rasmussen  
36 Wellings Place  
Monterey, CA. 93940  
(831) 207-8348  
California License Number 3776

Drawn	Checked	Shaw
Date	12/18/22	
Revision		
Scale		L2





## CONCEPTUAL PLANTING PLAN

SCALE: 1" = 10'-0"

0' 8' 16' 24' 36'

**POSTEL ESTATE**  
8330 VIA MADELENA CARMEL, CALIFORNIA 93923

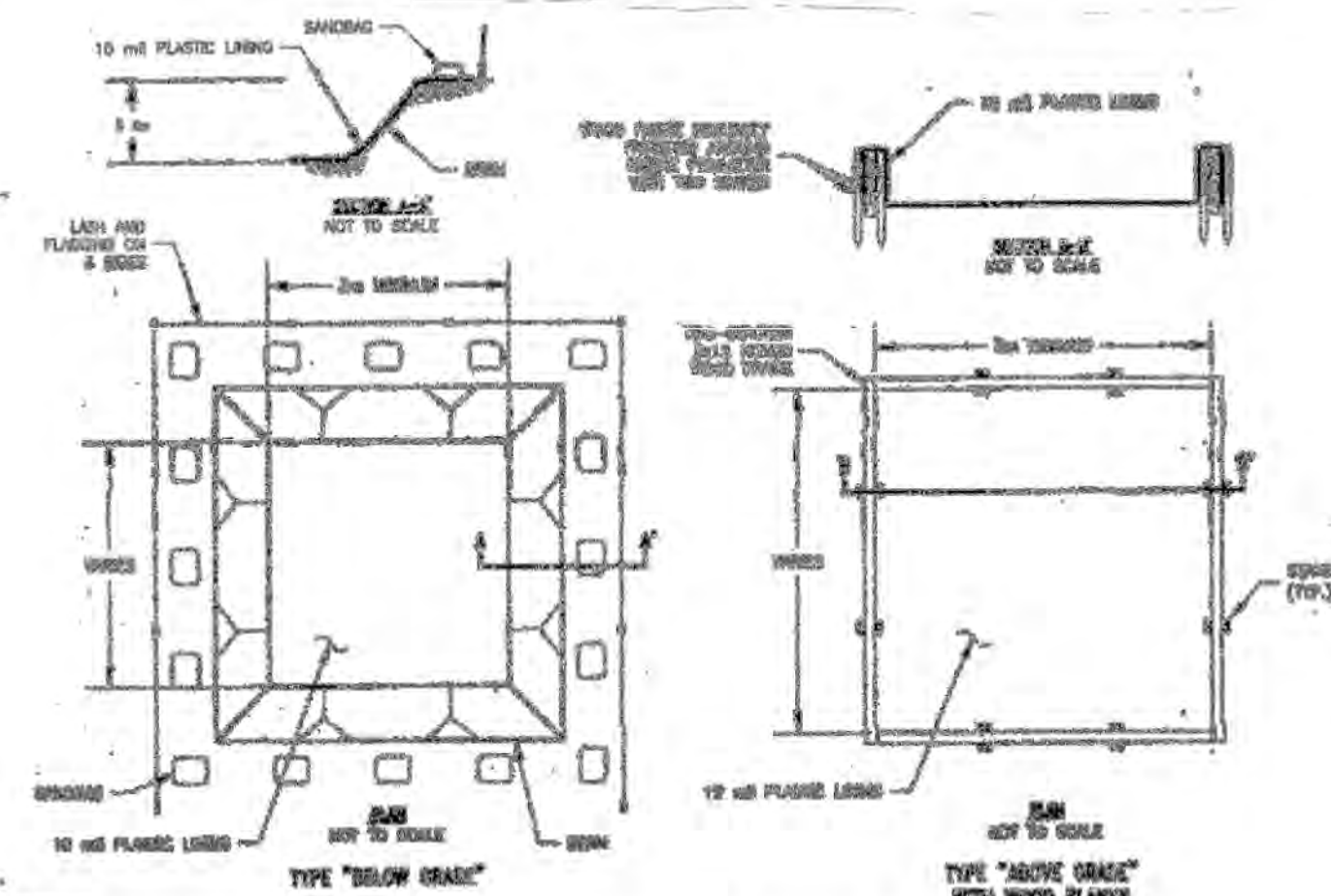


CONCEPTUAL PLANTING PLAN

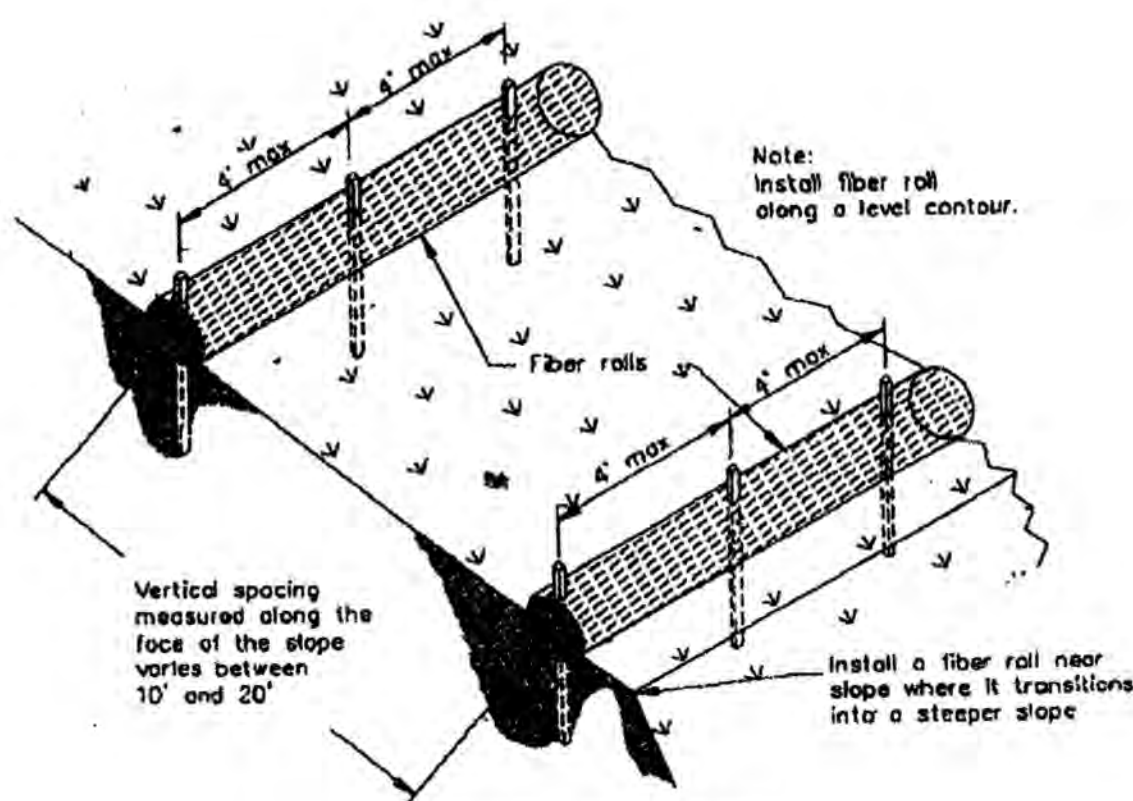
Landscape Architect  
Kathy Rasmussen  
36 Wellings Place  
Monterey, CA 93940  
(831) 207-8348  
California License Number 3776

Client: \_\_\_\_\_  
Date: 12/18/22  
Sheet: **L3**

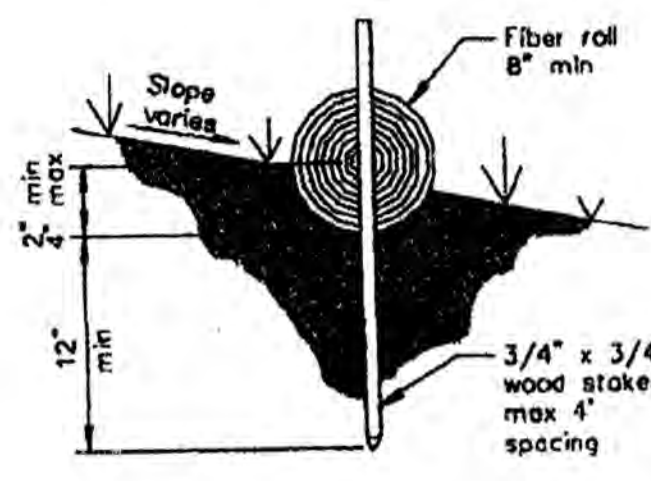




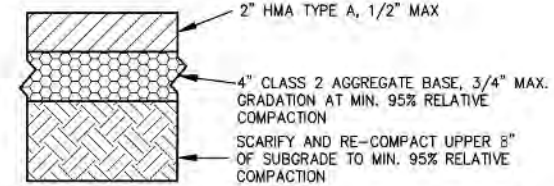
WASHOUT DETAIL



DRAINAGE SWALE DETAIL



ENTRENCHMENT DETAIL



ASPHALT DRIVEWAY DETAIL

GRADING, EROSION CONTROL & STORMWATER NOTES:

-ESTIMATED PROJECT SCHEDULE: AUGUST 2023 TO DECEMBER 2024  
-ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCT. 15TH THROUGH APRIL 15TH.) = YES  
-PERSON RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE: T.B.D.  
-SEE WASHOUT DETAIL, THIS SHEET  
-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH MA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.  
-DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.  
-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

DURING WINTER OPERATIONS (OCT. 15 TO APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:  
-DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER MEANS OF SOIL PROTECTION.  
-ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.  
-RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.  
-DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.  
-STAKE STRAW WATTLES TO CONTOUR OF SLOPE IN A 2" TO 5" TRENCH. STAKES ARE TO BE PLACED AT EACH END OF THE STRAW WATTLE AND EVERY 4', LEAVING 2" OF THE STAKE ABOVE. PACK SOIL AGAINST THE WATTLES ON THE UPHILL SIDE. WHEN STRAW WATTLES ARE USED ON FLAT GROUND, DRIVE STAKES IN VERTICALLY; WHEN USED ON SLOPES, DRIVE THE STAKES AT AN ANGLE TOWARDS THE UPHILL SIDE OF THE SLOPE.

811 USA LOCATE:  
THE CONTRACTOR SHALL OBTAIN AN 8-1-1 DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN IT IN ACTIVE STATUS THROUGHOUT THE PROJECT.

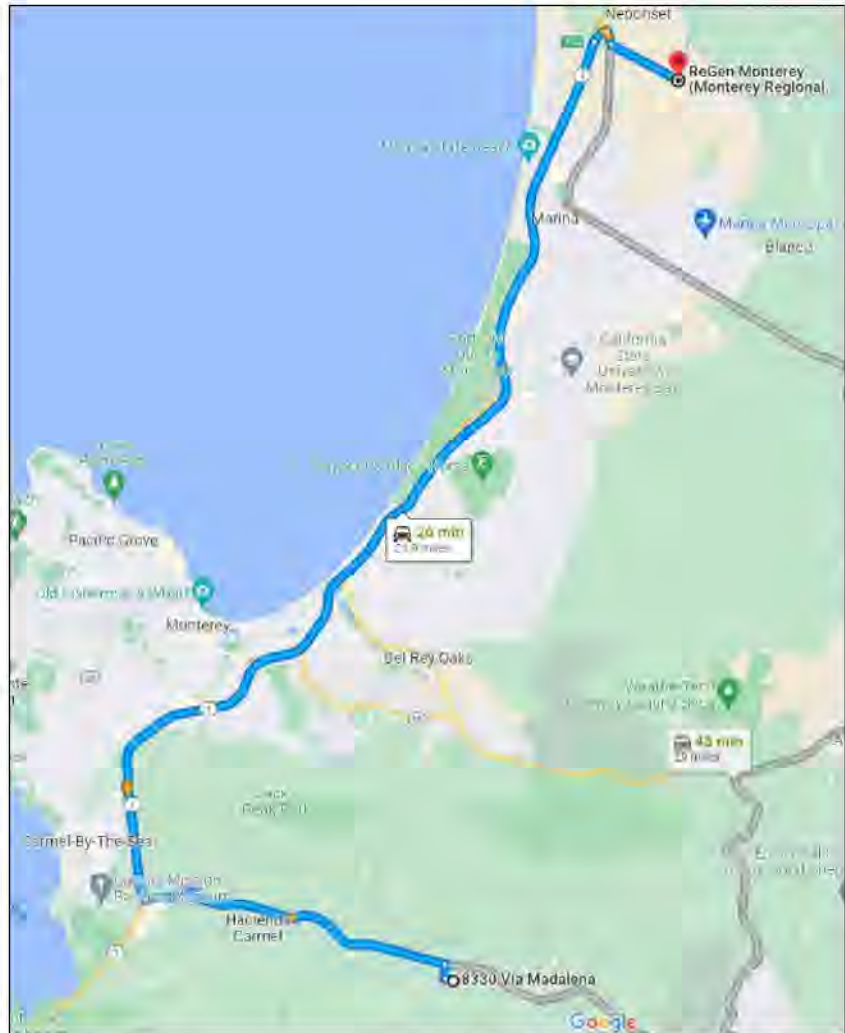
PERFORATED DRAIN RECOMMENDATIONS:

A FOUR-INCH DIAMETER PERFORATED NDS OR PVC PIPE BE INSTALLED BEHIND THE STEM WALL ALONG THE TOP OF THE FOOTING. HOLES PLACED DOWN, BEHIND ALL WALLS THAT RETAIN EARTH. THE PIPE SHALL BE COVERED WITH A 12-INCH WIDE ENVELOPE OF 1/2-INCH DRAIN ROCK OR CLASS 2 PERMEABLE MATERIAL (PER CALTRANS STANDARD SPECIFICATIONS SECTION 68-1.025) WHICH SHALL EXTEND TO MINIMUM OF ONE FOOT ABOVE THE TOP OF PIPE AND EXTEND TO WITHIN 12 INCHES OF THE TOP OF WALL. FILTER FABRIC SHALL BE INSTALLED OVER THE TOP OF THE DRAIN ROCK. NO GRAVEL SHALL BE PLACED BELOW THE PIPE. THE REMAINDER OF THE TRENCH CAN BE BACKFILLED WITH CLEAN NATIVE SAND. AS AN ALTERNATIVE TO INSTALLING DRAIN ROCK OR PERMEABLE MATERIAL, A COMPOSITE FILTER MATERIAL, EG. MIRADRAIN, CAN BE INSTALLED WITH A PERFORATED PIPE AT THE BOTTOM OF THE MATERIAL. CLEAN-OUT RISERS MUST BE INSTALLED ON THE PERFORATED PIPE AT THE UP-STREAM ENDS, EVERY 100-FEET, AND AT 90° ANGLE POINTS. THE CAPPED END OF THE CLEANOUT RISER SHALL BE LOCATED AT THE GROUND SURFACE OUTSIDE OF OR BEHIND THE RETAINING WALLS.

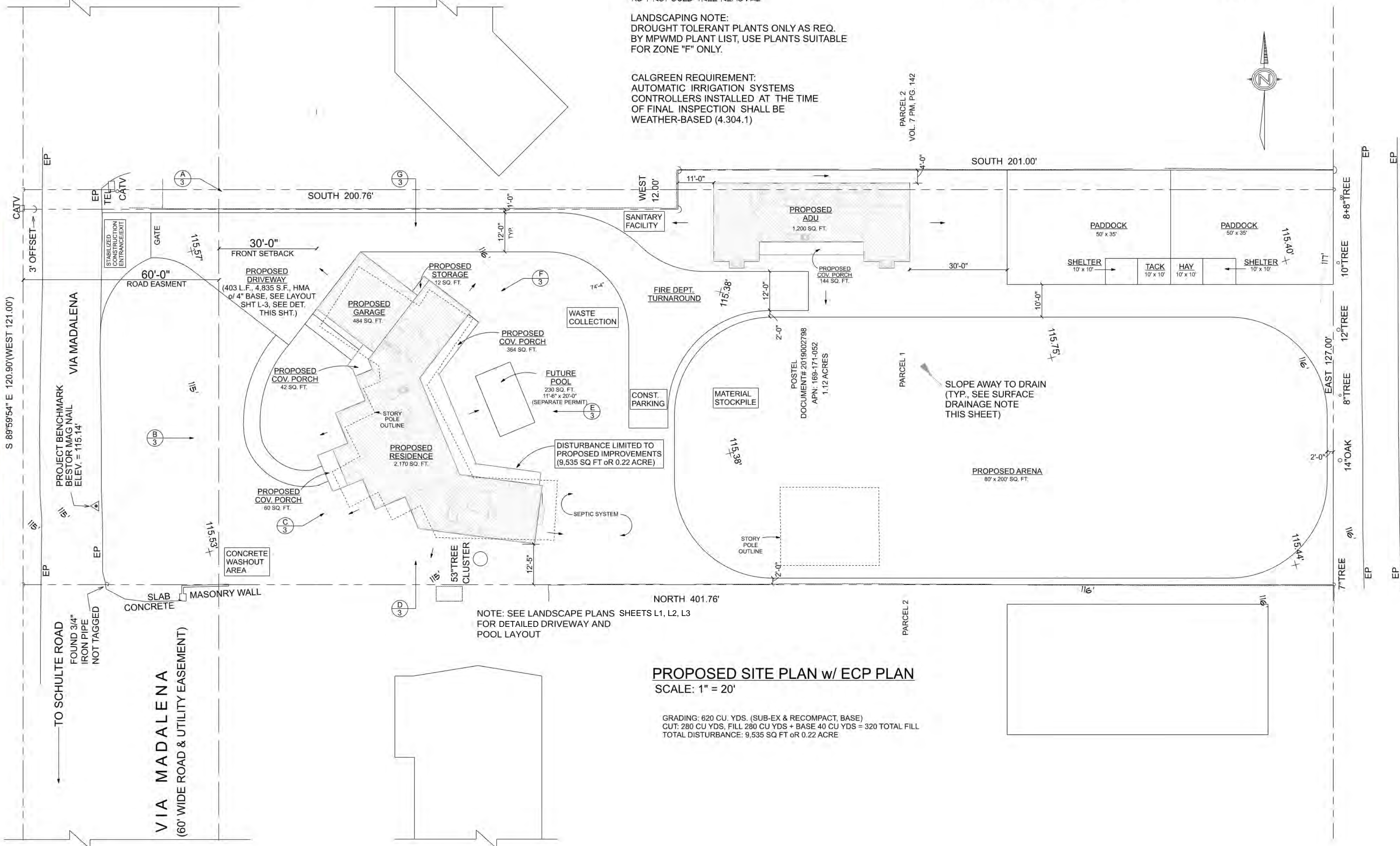
SURFACE DRAINAGE RECOMMENDATIONS:

1. THE BUILDING SHALL HAVE ROOF RAIN GUTTERS AND DOWNSPOUTS INSTALLED WHICH SHALL DISCHARGE ONTO SOLID SMOOTH WALL COLLECTOR PIPES WHICH SHALL THEN DISCHARGE ONTO LANDSCAPED AREAS DOWN SLOPE OF THE RESIDENCE. ROCK RIP RAP SHALL BE INSTALLED AT THE DISCHARGE POINTS OF COLLECTOR PIPES LOCATED OFF PAVED AREAS IN ORDER TO SPREAD THE WATER AND PREVENT SOIL EROSION.  
2. DRAINAGE COLLECTION FACILITIES AND PIPES SHALL BE INSTALLED AS NECESSARY TO ENSURE THAT RAIN WATER DOES NOT COLLECT OR BECOME TRAPPED AGAINST THE BUILDING AT ANY LOCATION.  
3. SURFACE DRAINAGE SHALL BE COLLECTED IN SEPARATE SOLID WALL PIPES AND SHALL NOT DISCHARGE INTO ANY PERFORATED PIPE. PERFORATED SUBSURFACE DRAIN PIPES MAY DROP INTO SOLID WALL DRAIN PIPES OUTSIDE THE LIMITS OF THE RESIDENCE.  
4. POSITIVE DRAINAGE MUST BE ESTABLISHED AWAY FROM THE BUILDING FOUNDATION.

5. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM DRAIN OR AN AREA THAT CAN ABSORB THE WATER. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE SLOPE AWAY FROM FOUNDATION SHOULD BE 6-INCHES MINIMUM WITHIN THE FIRST 10-FEET. WHERE IT IS NOT POSSIBLE TO OBTAIN MINIMUM SLOPE, DRAINS, OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM STRUCTURE. IMPERVIOUS SURFACES WITHIN 10-FEET IF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2-PERCENT AWAY FROM THE BUILDING.



TRUCK HAUL ROUTE



PROPOSED SITE PLAN w/ ECP PLAN  
SCALE: 1" = 20'

GRADING: 620 CU YDS. (SUB-EX & RECOMPACT, BASE)  
CUT: 280 CU YDS, FILL 280 CU YDS + BASE 40 CU YDS = 320 TOTAL FILL  
TOTAL DISTURBANCE: 9,535 SQ FT OR 0.22 ACRE

MAIN		
SETBACKS PROVIDED REQUIRED		
FRONT (ROW)	30'-0"	30'-0" MIN
SIDE	18'-0"	12'-2" MIN
SIDE	14'-0"	12'-2" MIN
REAR	238'-0"	20'-0"

HEIGHT PROVIDED REQUIRED		
MAX	19'-0"	30' MAX

ADU		
SETBACKS PROVIDED REQUIRED		
FRONT (ROW)	151'-9"	50'-0" MIN
SIDE	4'-0"	4'-0" MIN
SIDE	99'-0"	4'-0" MIN
REAR	130'-0"	4'-0"

HEIGHT PROVIDED REQUIRED		
MAX	15'-0"	15' MAX

SITE PLAN NOTES:

-NO PROPOSED CONSTRUCTION ON SLOPES 25% OR GREATER  
-NO PROPOSED TREE REMOVAL

LANDSCAPING NOTE:  
DROUGHT TOLERANT PLANTS ONLY AS REQ. BY MPWMD PLANT LIST, USE PLANTS SUITABLE FOR ZONE "F" ONLY.

CALGREEN REQUIREMENT:  
AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)

AREA CALCULATIONS

PROPOSED RESIDENCE (HABITABLE):	2,149#
PROPOSED GARAGE:	484#
PROPOSED STORAGE:	12#

TOTAL STRUCTURE:	2,645#
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PROPOSED COVERED PORCHES:	239#
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PROPOSED RESIDENCE FOOTPRINT:	2,884#
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PROPOSED ADU (HABITABLE):	1,200#
PROPOSED COVERED PORCH:	144#

PROPOSED HAY STORAGE/TACK ROOM:	200#
PROPOSED HORSE SHELTER:	200#

TOTAL PROPOSED COVERAGE:	4,628# OR 9.5 %
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LOT COVERAGE

TOTAL LOT AREA:	48,181# OR 1.12 ACRES
TOTAL PROPOSED COVERAGE:	9.5% OR 4,628#
TOTAL COVERAGE ALLOWED:	25%

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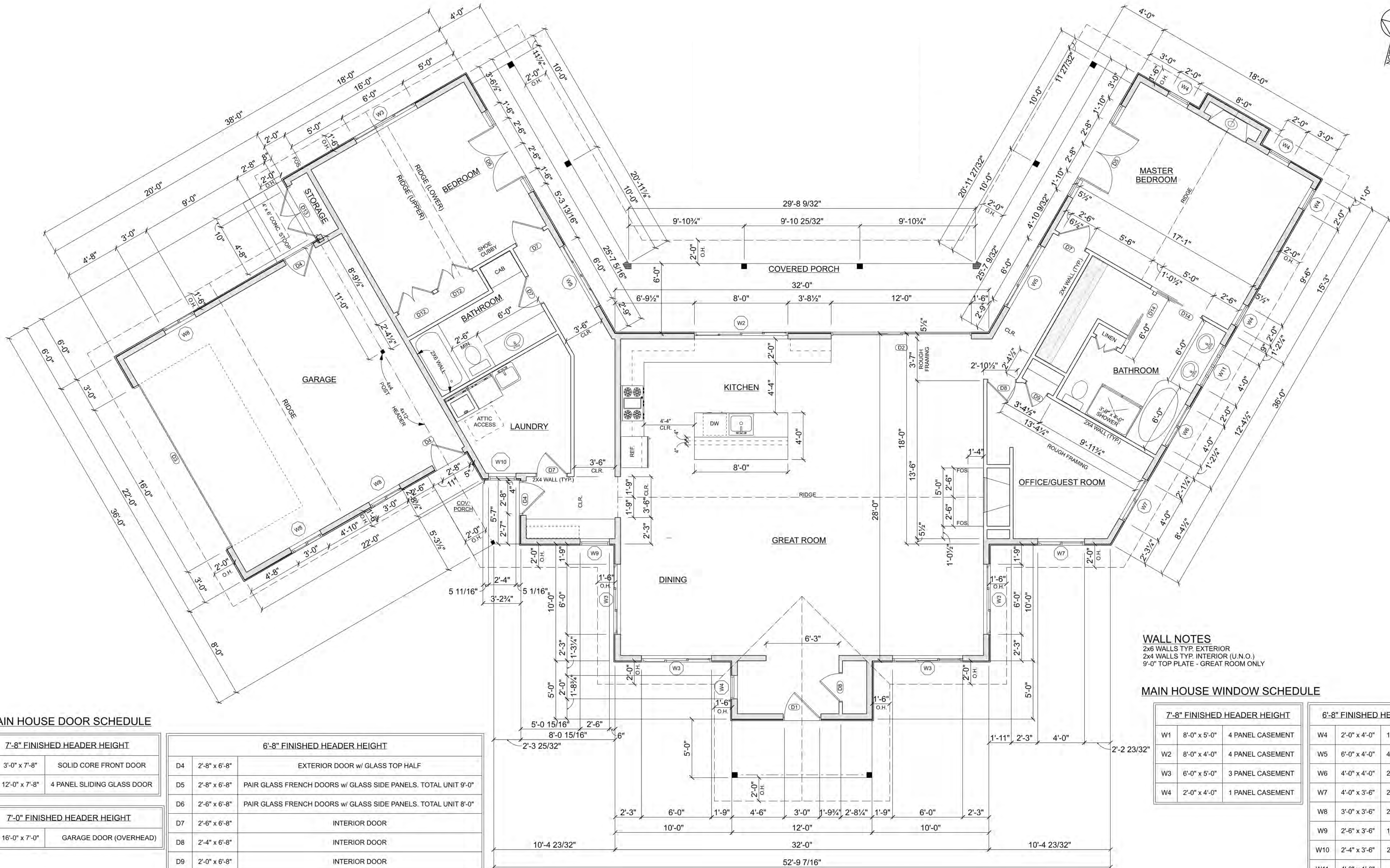
LAURA POSTEL  
8330 VIA MADALENA,  
CARMEL CA. 93923  
Ph: (831) 594-1224 Email: lapostel14@gmail.com

Proposed Residence and ADU For:

Date: 09/07/2023  
Drawn: MIV, LRL  
Revision:

PROPOSED SITE PLAN





MAIN HOUSE DOOR SCHEDULE

7'-8" FINISHED HEADER HEIGHT		
D1	3'-0" x 7'-8"	SOLID CORE FRONT DOOR
D2	12'-0" x 7'-8"	4 PANEL SLIDING GLASS DOOR

7'-0" FINISHED HEADER HEIGHT		
D3	16'-0" x 7'-0"	GARAGE DOOR (OVERHEAD)

6'-8" FINISHED HEADER HEIGHT		
D4	2'-8" x 6'-8"	EXTERIOR DOOR w/ GLASS TOP HALF
D5	2'-8" x 6'-8"	PAIR GLASS FRENCH DOORS w/ GLASS SIDE PANELS. TOTAL UNIT 9'-0"
D6	2'-6" x 6'-8"	PAIR GLASS FRENCH DOORS w/ GLASS SIDE PANELS. TOTAL UNIT 8'-0"
D7	2'-6" x 6'-8"	INTERIOR DOOR
D8	2'-4" x 6'-8"	INTERIOR DOOR
D9	2'-0" x 6'-8"	INTERIOR DOOR
D10	2'-0" x 6'-8"	BI-FOLD INTERIOR DOOR
D11	1'-8" x 6'-8"	BI-FOLD INTERIOR DOOR
D12	3'-4" x 6'-8"	2 EA. CLOSET DOORS
D13	2'-4" x 6'-8"	PAIR EXTERIOR STORAGE DOORS
D14	2'-8" x 6'-8"	CLOSET POCKET DOOR

WALL NOTES  
2x6 WALLS TYP. EXTERIOR  
2x4 WALLS TYP. INTERIOR (U.N.O.)  
9'-0" TOP PLATE - GREAT ROOM ONLY

MAIN HOUSE WINDOW SCHEDULE

7'-8" FINISHED HEADER HEIGHT		
W1	8'-0" x 5'-0"	4 PANEL CASEMENT
W2	8'-0" x 4'-0"	4 PANEL CASEMENT
W3	6'-0" x 5'-0"	3 PANEL CASEMENT
W4	2'-0" x 4'-0"	1 PANEL CASEMENT

6'-8" FINISHED HEADER HEIGHT		
W4	2'-0" x 4'-0"	1 PANEL CASEMENT
W5	6'-0" x 4'-0"	4 PANEL CASEMENT
W6	4'-0" x 4'-0"	2 PANEL CASEMENT
W7	4'-0" x 3'-6"	2 PANEL CASEMENT
W8	3'-0" x 3'-6"	2 PANEL CASEMENT
W9	2'-6" x 3'-6"	1 PANEL CASEMENT
W10	2'-4" x 3'-6"	2 PANEL DBL. HUNG
W11	4'-0" x 1'-0"	4 PANEL FIXED

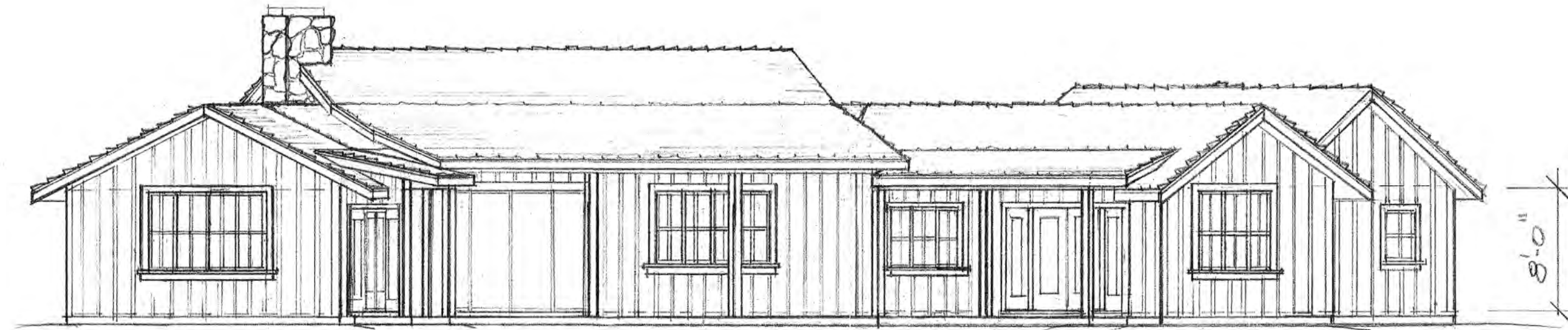
PROPOSED RESIDENCE FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROPOSED FLOORPLAN

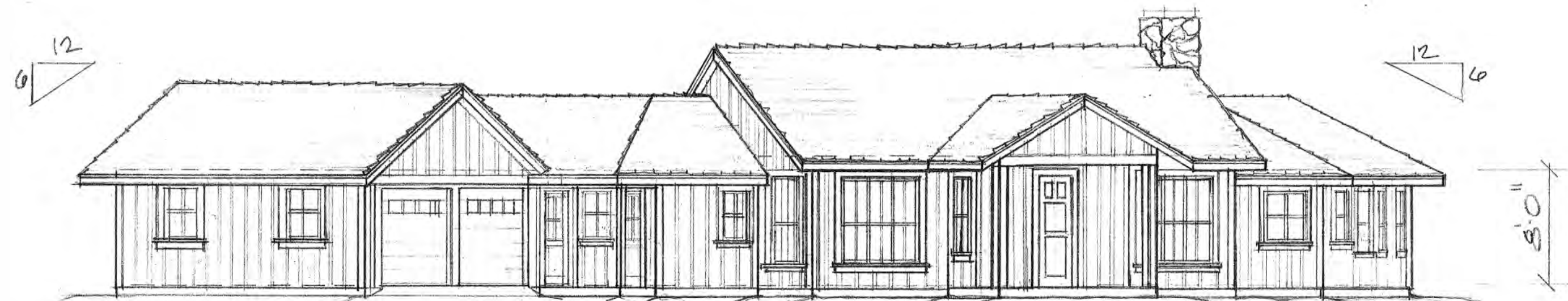




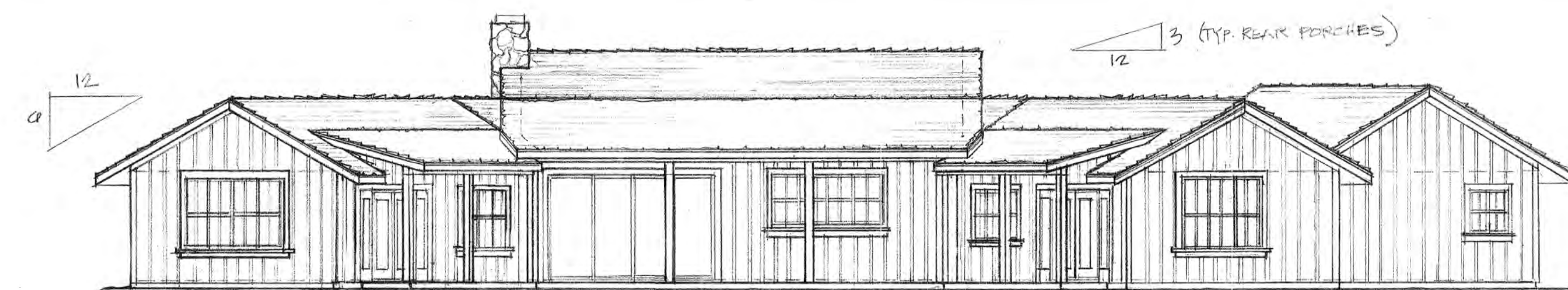
NORTHEAST ELEVATION (A)  
SCALE: 1/8" = 1'-0"



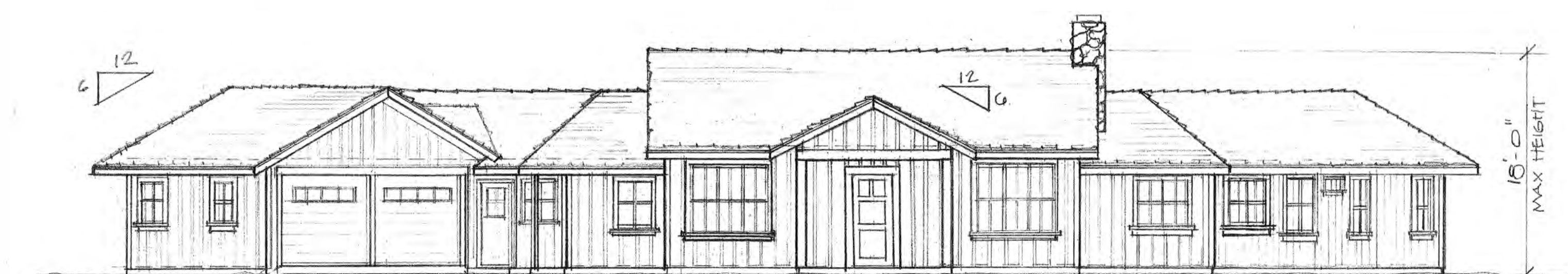
SOUTH (REAR) ELEVATION (E)  
SCALE: 1/8" = 1'-0"



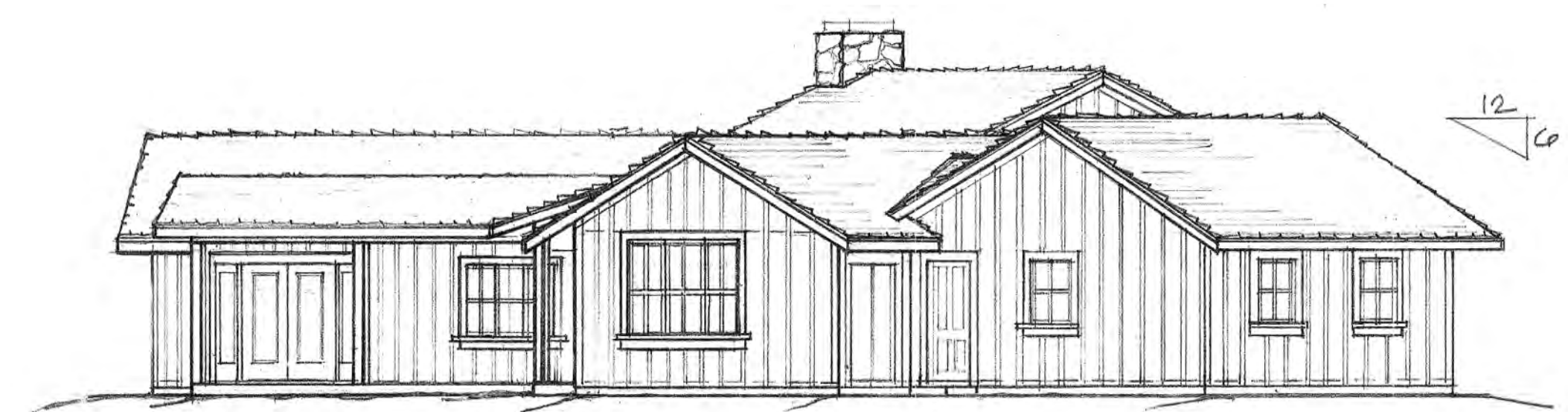
NORTH (FRONT) ELEVATION (B)  
SCALE: 1/8" = 1'-0"



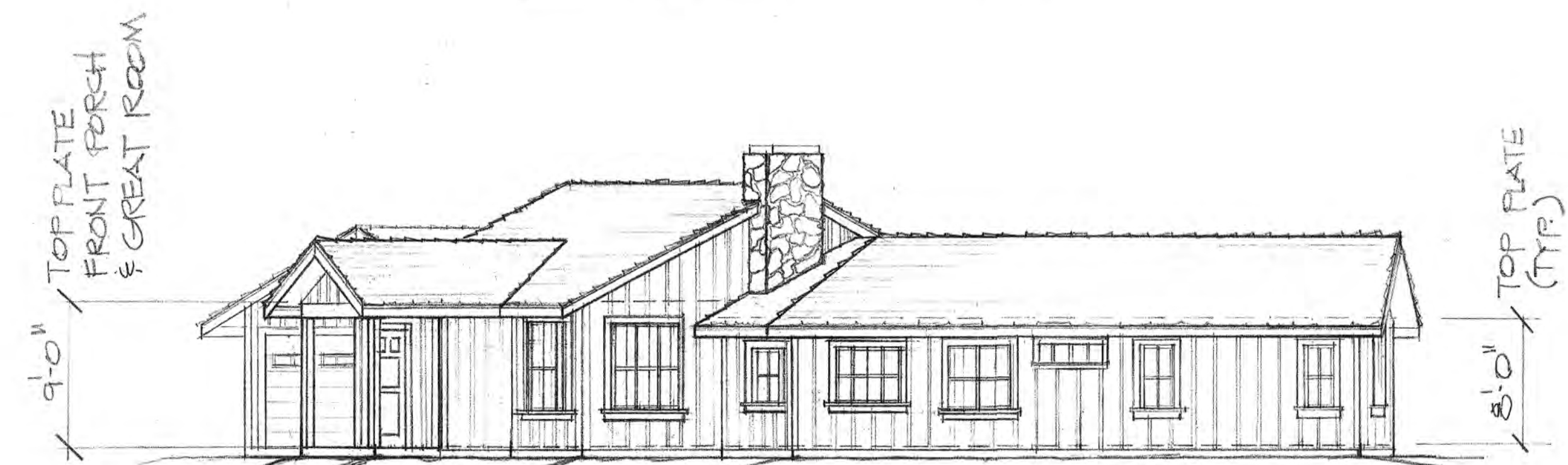
SOUTH EAST ELEVATION (F)  
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION (C)  
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION (G)  
SCALE: 1/8" = 1'-0"



WEST (SIDE) ELEVATION (D)  
SCALE: 1/8" = 1'-0"

PROPOSED ELEVATIONS

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Proposed Residence and ADU For:  
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PLN190209  
APN: 169-171-052

Date: 09/07/2023  
Drawn: MIV, LRI,  
Revision:

SHEET:  
**A3.0**  
OF 17 TOTAL



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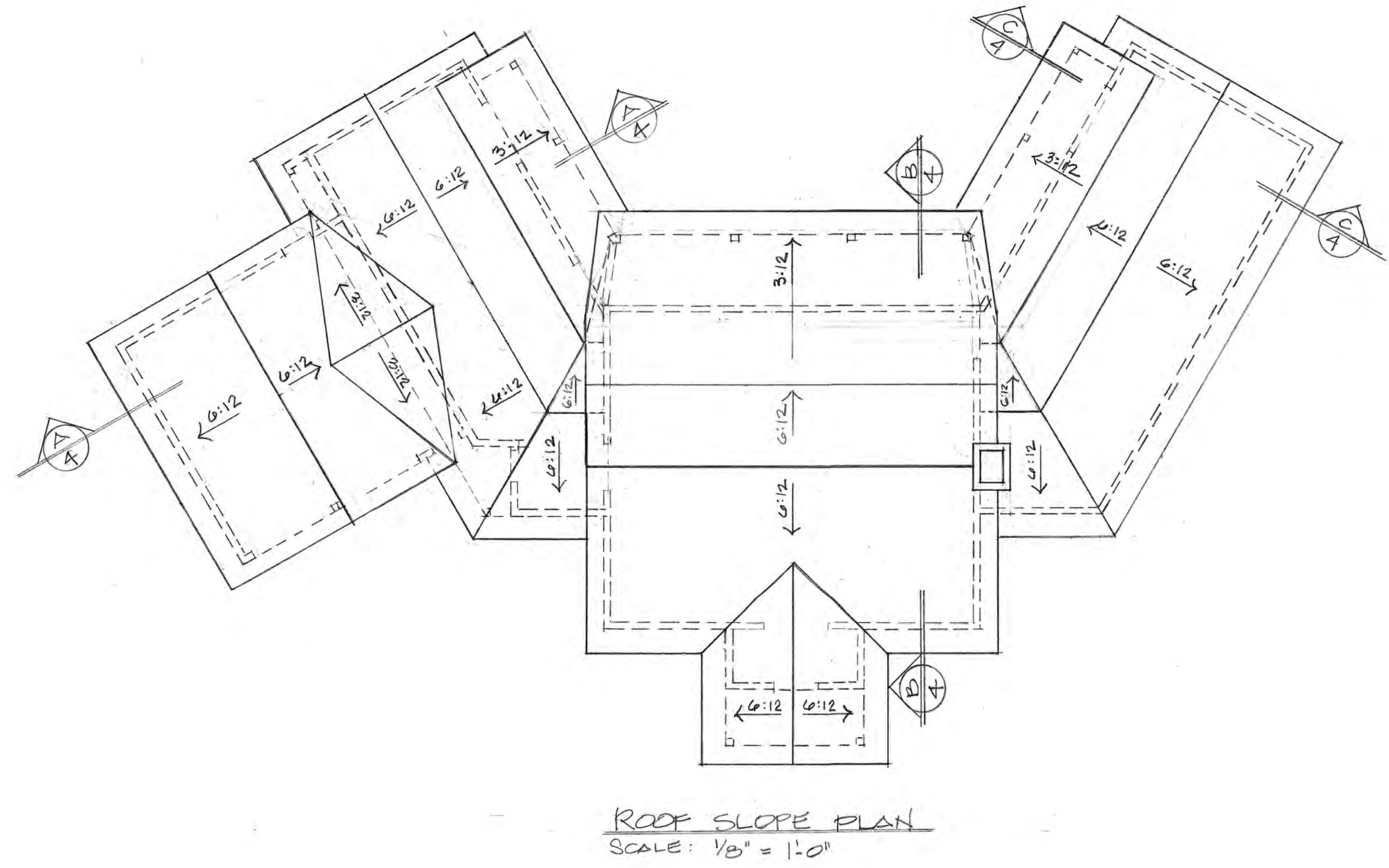
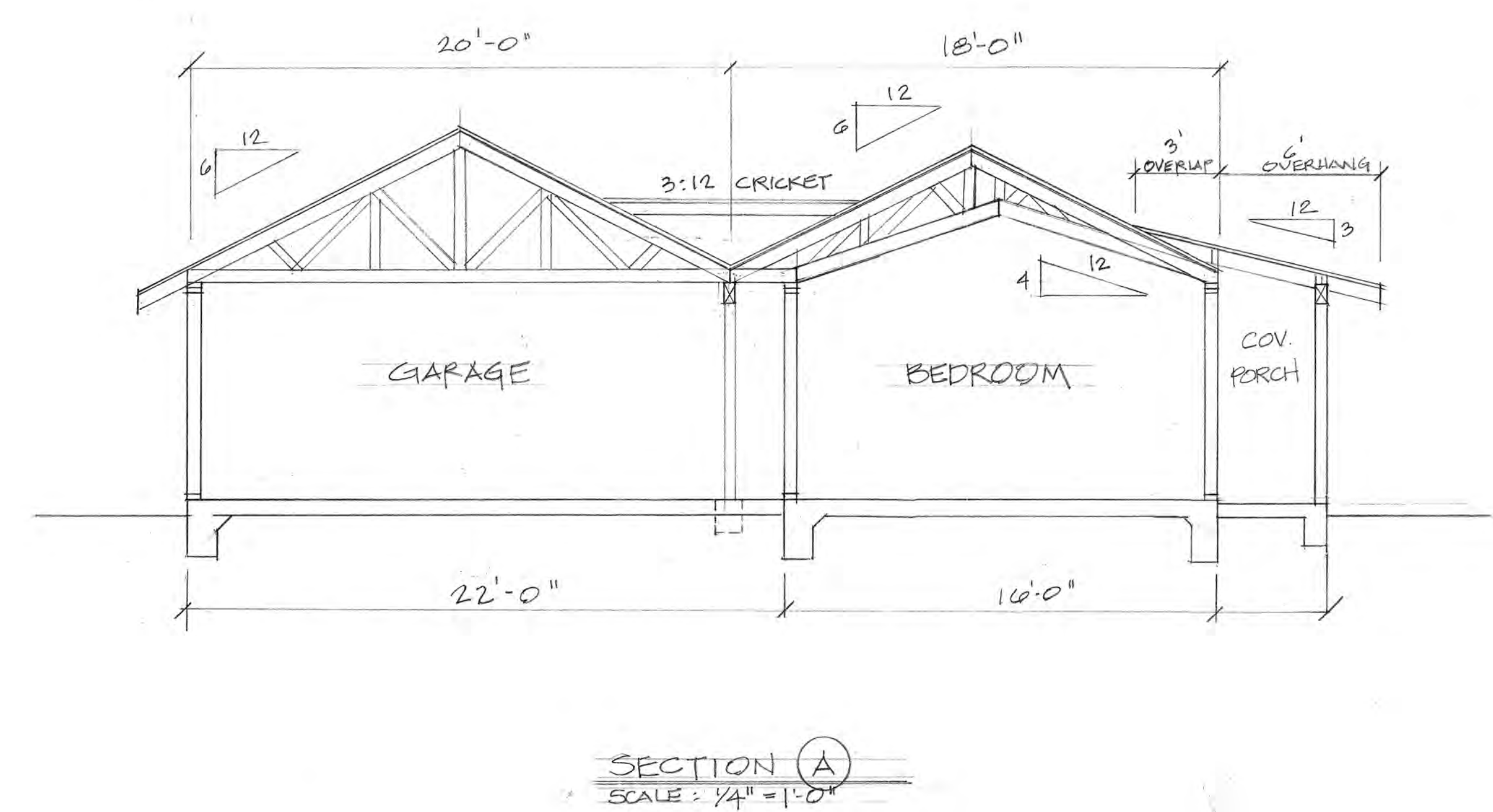
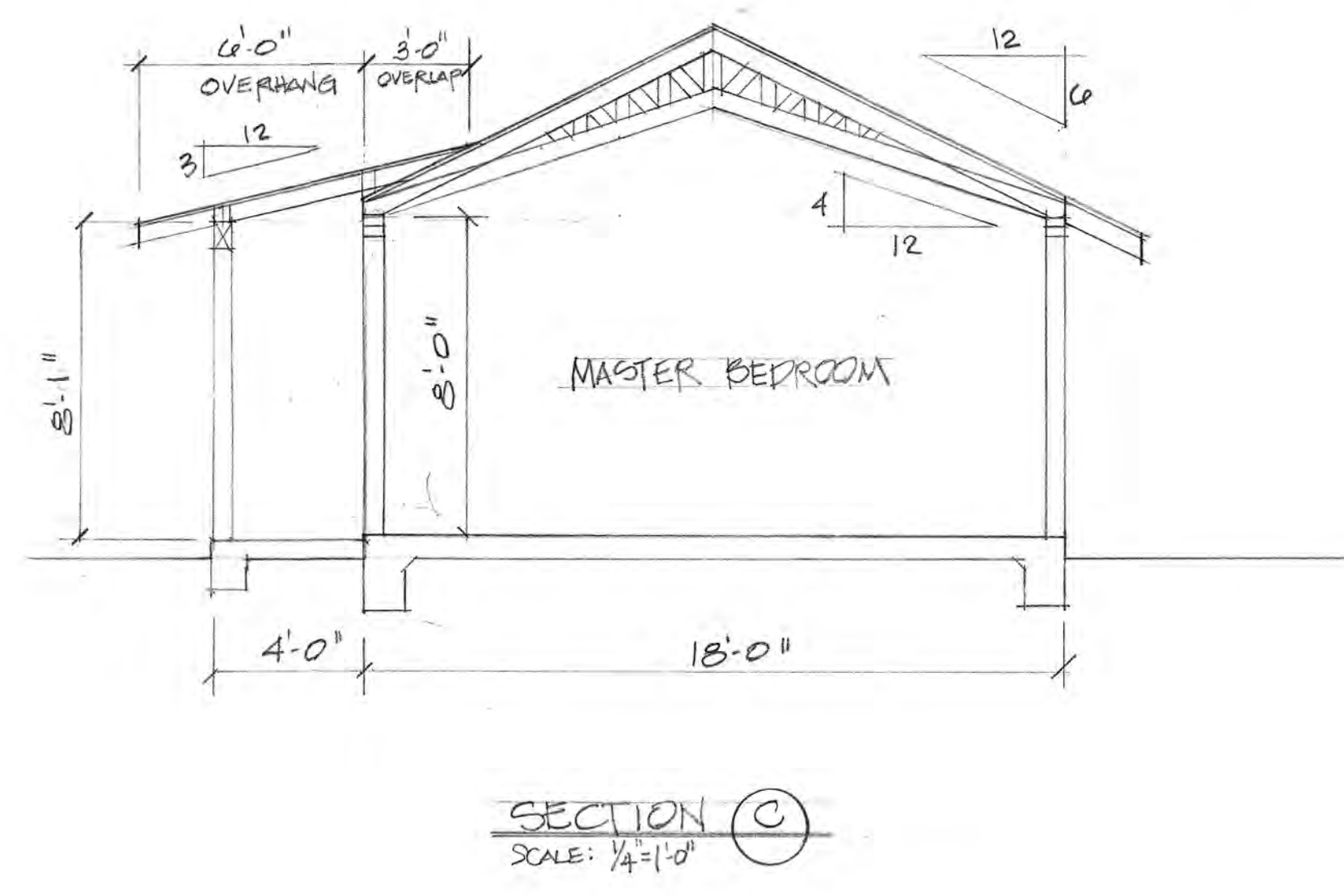
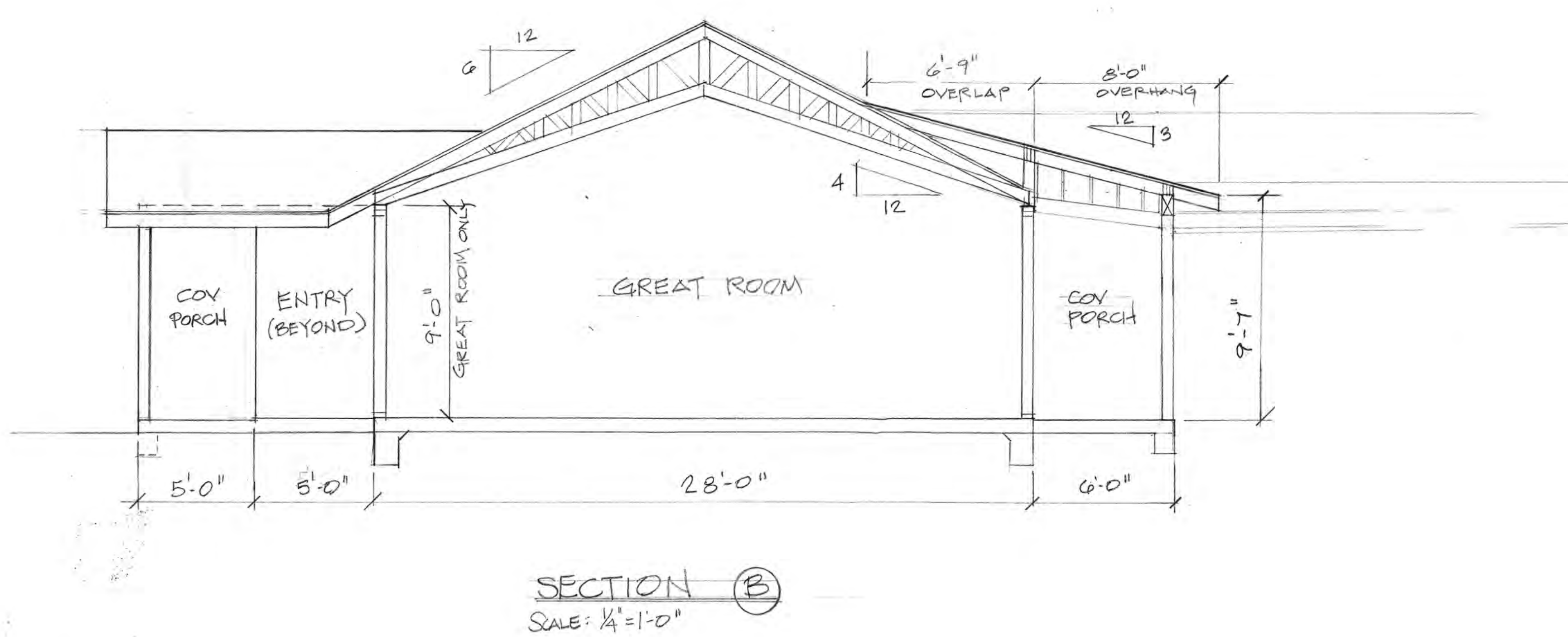
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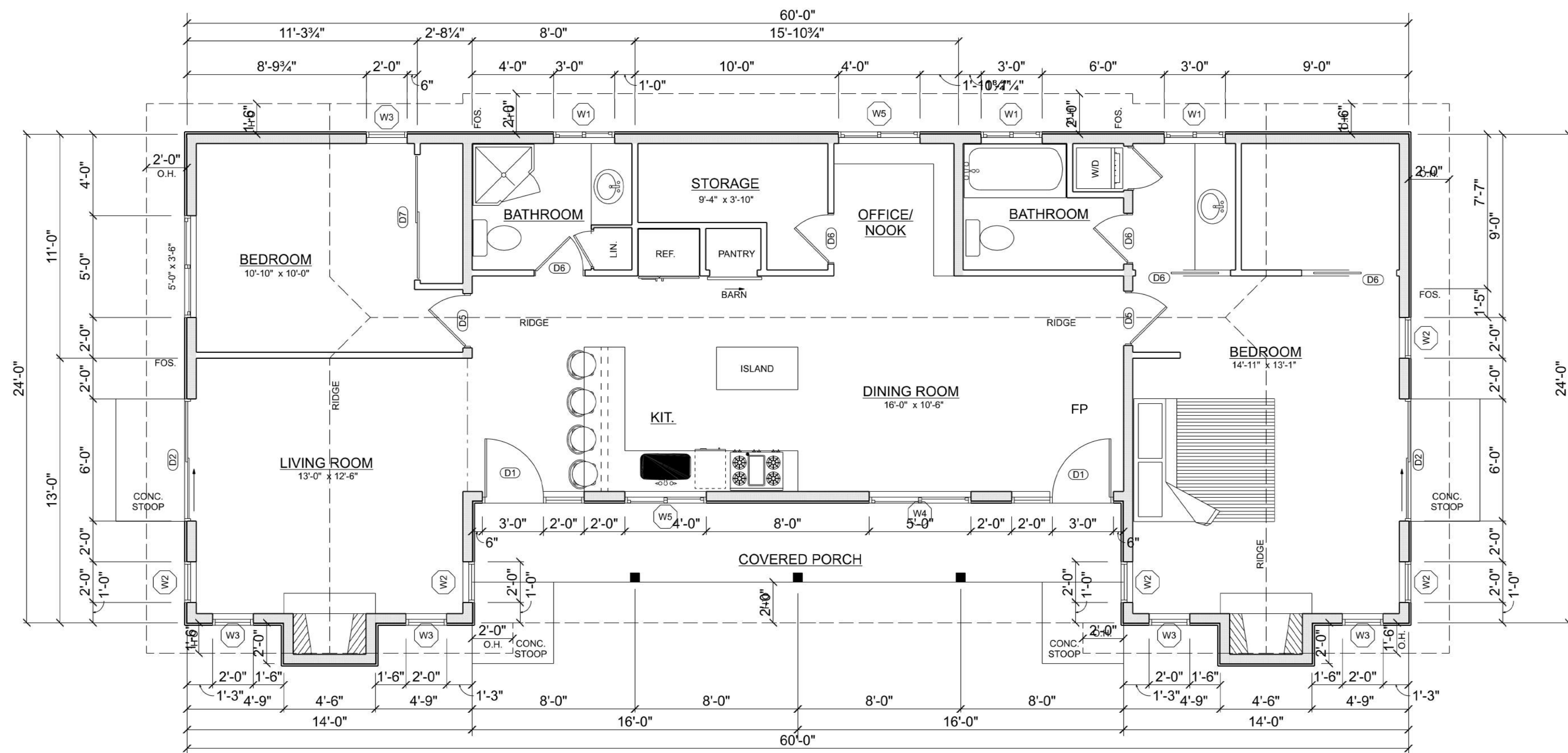
Date: 09/07/2023  
 Drawn: MIV, LRI  
 Revision:

SHEET:  
**A4.0**  
 OF 17 TOTAL

# ROOF SLOPE & SECTIONS







### PROPOSED ADU FLOOR PLAN

SCALE: 1/4" = 1'-0"

#### DOOR SCHEDULE

D1	3'-0" x 6'-8"	SOLID CORE WOOD DOOR w/ GLASS PANEL ONE SIDE, TOTAL UNIT 5'-0"
D2	6'-0" x 6'-8"	SLIDING GLASS DOOR
D3	2'-8" x 6'-8"	EXTERIOR DOOR w/ GLASS TOP HALF
D4	3'-0" x 6'-8"	PAIR EXTERIOR STORAGE DOORS
D5	2'-6" x 6'-8"	INTERIOR DOOR
D6	2'-4" x 6'-8"	INTERIOR DOOR (POCKET OPTION)
D7	3'-0" x 6'-8"	PAIR BIPASS DOORS

#### WINDOW SCHEDULE

W1	3'-0" x 3'-6"	2 PANEL SLIDER
W2	2'-0" x 4'-0"	1 PANEL FIXED
W3	2'-0" x 4'-0"	1 PANEL CASEMENT
W4	5'-0" x 3'-6"	2 PANEL SLIDER
W5	4'-0" x 3'-6"	2 PANEL SLIDER



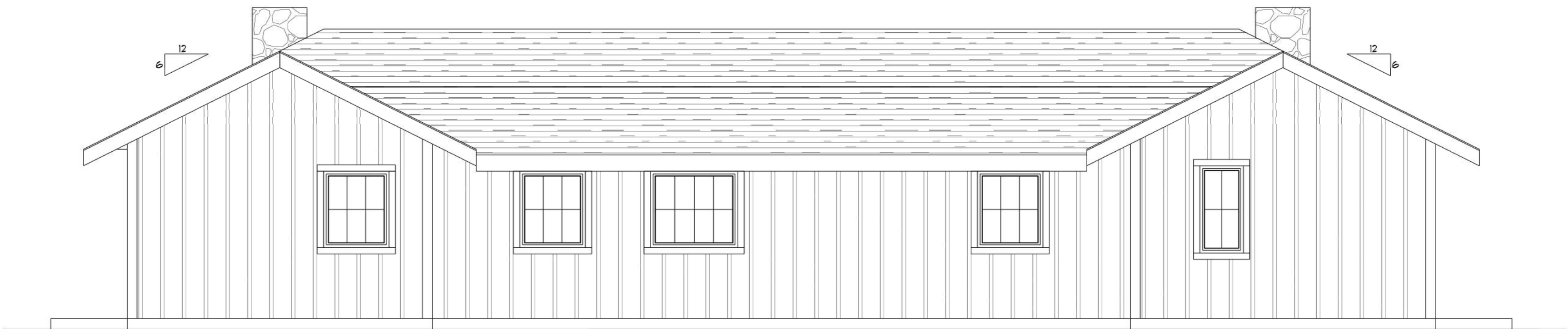
SOUTH ELEVATION



NORTH ELEVATION

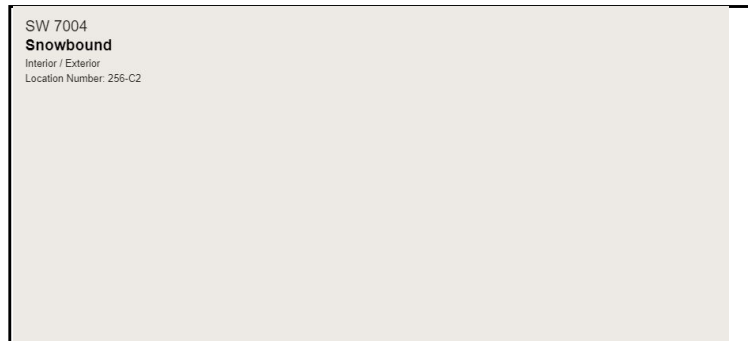


EAST ELEVATION



WEST ELEVATION

COLOR SAMPLES FOR PROJECT FILE NO. PLN190209



Materials: BOARD & BATTEN SIDING Colors: SW SNOWBOUND  
Description: BODY



Materials: WOOD TRIM & ALUMINUM CLADDING Colors: SW JOGGING PATH  
Description: TRIM & WINDOWS



Materials: GAF ASPHALT COMP SHINGLES Colors: WEATHERED WOOD  
Description: ROOFING COLOR

PROJECT FILE NO. PLN190209

## PHOTOGRAPHS



1



2



3

Date: 7/10/2020 Site Address: 3880 VIA MADALENA Planner: \_\_\_\_\_  
Description: PROPOSED 1) WOOD CORRAL FENCE, 2) HAY STORAGE & TACK ROOM,  
3) HORSE SHELTER

PROJECT FILE NO. PLN190209

## PHOTOGRAPHS



Date: 7/10/20 Site Address: 3880 VIA MADALENA Planner: \_\_\_\_\_  
Description: AERIAL & STREET VIEW OF SITE