

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, December 3, 2025

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on December 3, 2025 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, December 2, 2025. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN110257 - BERLIN ANDREW T TR**

Administrative hearing to consider a Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN110257) that allowed the demolition of an existing 1,960 square foot one-story single family dwelling and 255 square foot guest unit and the construction of a 9,255 square foot two-story single family dwelling, new retaining walls and associated grading within 750 feet of an archaeological resource and within 50 feet of a coastal bluff and a Lot Line Adjustment to merge two parcels into one parcel. This Minor and Trivial Amendment would allow replacing 53.5 feet of the existing wood fence and the main entrance gate with a stone wall and dark bronze entrance gate.

Project Location: 35986 HWY 1, Big Sur Coast Land Use Plan.

Proposed CEQA action: Find the project Categorically Exempt per Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)

2. PLN160240 - PEBBLE BEACH COMPANY

Administrative hearing to consider a six-year extension to the expiration date of a previously approved Pebble Beach Company Concept Plan's (PBC's) Phase II, III and IV development, which were a part of the previously approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148 and 12-149, HCD-Planning File No. PLN100138). The expiration dates of these PBC Phases would be December 3, 2031.

Project Location: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000, Pebble Beach

Proposed CEQA action: Consider a previously adopted Environmental Impact Report (SCH# 2011041028) and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162.

Attachments: [Staff Report](#)
[Exhibit A - Draft Resolution](#)
[Exhibit B - Vicinity Map](#)
[Exhibit C - Extension Letter, dated March 24, 2016](#)
[Exhibit D - Related Resolutions](#)

3. PLN240348 - COSMERO CONSTRUCTION & DEVELOPMENT LLC

Administrative hearing to consider an after-the-fact demolition and construction of a 4,600 square foot single-family dwelling with attached garage, and associated site improvements including 1,365 square feet of porches to clear code enforcement case 24CE00590.

Project Location: 22 La Rancheria Road, Carmel Valley

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Project Data Sheet](#)
 [Exhibit B - Draft Resolution](#)
 [Exhibit C - Vicinity Map](#)

4. PLN250127 - YANG PHILLIP & YANG MARIKO TRS

Administrative hearing to consider action on the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

Project Location: 3332 Ondulado Road, Pebble Beach, CA 93953

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)
 [Exhibit C - DMF LUAC Meeting Minutes](#)

5. PLN250267 - CTI TOWERS ASSETS I LLC (T-MOBILE)

Administrative Hearing to consider action on a previously approved permit that allowed installation of antennas and radios on the existing tower to install ground equipment within the existing compound. This Amendment would allow the collocation for T-Mobile on the previously approved wireless telecommunications facility including the installation of a 25 foot high tower extension, antennas and radios on an existing tower and installation of ground equipment within an existing compound.

Project Location: 4040 Sunset Lane, Pebble Beach, CA 93953

Proposed CEQA action: Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines section 15301, and that none of the exceptions from Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-064

December 03, 2025

Introduced: 11/19/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN110257 - BERLIN ANDREW T TR

Administrative hearing to consider a Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN110257) that allowed the demolition of an existing 1,960 square foot one-story single family dwelling and 255 square foot guest unit and the construction of a 9,255 square foot two-story single family dwelling, new retaining walls and associated grading within 750 feet of an archaeological resource and within 50 feet of a coastal bluff and a Lot Line Adjustment to merge two parcels into one parcel. This Minor and Trivial Amendment would allow replacing 53.5 feet of the existing wood fence and the main entrance gate with a stone wall and dark bronze entrance gate.

Project Location: 35986 HWY 1, Big Sur Coast Land Use Plan.

Proposed CEQA action: Find the project Categorically Exempt per Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning not take action on the proposed project.

PROJECT INFORMATION

Agent: Laura Lawrence, Law Office of Aengus L. Jeffers

Property Owner: Andrew Berlin Trust

APN: 243-231-027-000

Zoning: Rural Density Residential, 40 acres per unit, Design Control, 14-foot height limit, Coastal Zone, or "RDR/40-D (14')(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: No

SUMMARY

The proposed project is a Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN110257) that allowed the demolition of an existing 1,960 square foot one-story single family dwelling and 255 square foot guest unit and the construction of a 9,255 square foot two-story single family dwelling, new retaining walls and associated grading within 750 feet of an archaeological resource and within 50 feet of a coastal bluff and a Lot Line Adjustment to merge two parcels into one parcel. This Minor and Trivial Amendment would allow replacing 53.5 feet of the existing wood fence and the main entrance gate with a stone wall and dark bronze entrance gate.

On November 20, 2025, a member of the public raised concern with the proposed design, potential impacts on nearby public vistas, and requested that the project be referred to the Zoning Administrator in accordance with Title 20 section 20.76.060. Accordingly, staff recommends the Chief of Planning not take action on this item as it will be heard by the Zoning Administrator at a future date.

Prepared by: Fionna Jensen, Principal Planner x6407

Reviewed and Approved by: Jackie Nickerson, Principal Planner

cc: Front Counter Copy; California Coastal Commission; CalFire; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Fionna Jensen, Planner; Berline Andrew T Tr, Property Owners; Laura Lawrence, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File
PLN110257-AMD1



County of Monterey

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Project Location: 35986 HWY 1, Big Sur Coast Land Use Plan.

Proposed CEQA action: Find the project Categorically Exempt per Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning not take action on the proposed project.

PROJECT INFORMATION

Agent: Laura Lawrence, Law Office of Aengus L. Jeffers

Property Owner: Andrew Berlin Trust

APN: 243-231-027-000

Zoning: Rural Density Residential, 40 acres per unit, Design Control, 14-foot height limit, Coastal Zone, or "RDR/40-D (14')(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: No

SUMMARY

The proposed project is a Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN110257) that allowed the demolition of an existing 1,960 square foot one-story single family dwelling and 255 square foot guest unit and the construction of a 9,255 square foot two-story single family dwelling, new retaining walls and associated grading within 750 feet of an archaeological resource and within 50 feet of a coastal bluff and a Lot Line Adjustment to merge two parcels into one parcel. This Minor and Trivial Amendment would allow replacing 53.5 feet of the existing wood fence and the main entrance gate with a stone wall and dark bronze entrance gate.

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Reviewed and Approved by: Jackie Nickerson, Principal Planner

cc: Front Counter Copy; California Coastal Commission; CalFire; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Fionna Jensen, Planner; Berline Andrew T Tr, Property Owners; Laura Lawrence, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File
PLN110257-AMD1



County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-065

December 03, 2025

Introduced: 11/21/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN160240 - PEBBLE BEACH COMPANY

Administrative hearing to consider a six-year extension to the expiration date of a previously approved Pebble Beach Company Concept Plan's (PBC's) Phase II, III and IV development, which were a part of the previously approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148 and 12-149, HCD-Planning File No. PLN100138). The expiration dates of these PBC Phases would be December 3, 2031.

Project Location: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000, Pebble Beach

Proposed CEQA action: Consider a previously adopted Environmental Impact Report (SCH# 2011041028) and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Consider the previously adopted Environmental Impact Report (SCH# 2011041028) for the Pebble Beach Company Concept Plan and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162; and
- b. Approve a six-year extension to the expiration date of the previously approved Pebble Beach Company Concept Plan's (PBC's) Phases III and IV development and Phases II, III and IV vesting tentative maps, which were a part of the approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148, 12-149, and 12-124 HCD-Planning File No. PLN100138 and Ordinance No. 5201). The expiration dates of these PBC Phases, relating to areas M, U, V, the Corporation Yard, the Collins Residence parcels, and development of the Inn at Spanish Bay Meeting Rooms, Ballroom Expansion, and Cottages, and the New Colton Building, are December 3, 2031.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to one condition of approval.

PROJECT INFORMATION

Agent: Cheryl Burrell

Property Owner: Pebble Beach Company

APNs: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000

Zoning: Visitor Serving Commercial district with a Design Control overlay in the Coastal Zone “VSC-D(CZ),” Open Space Recreation district with a Building Site 8 and Design Control overlay in the Coastal Zone or “OR/B-8-D(CZ),” Open Space Recreation district with a Design Control overlay in the Coastal Zone or “OR-D(CZ),” Resource Conservation district with Design Control Overlay in the Coastal Zone “RC-D(CZ),” Low Density Residential district with 1.5 acre per unit density and Design Control overlays in the Coastal Zone “LDR/1.5-D(CZ),” Medium Density Residential district with 2 unit per acre density, Building Site 8 and Design Control overlays in the Coastal Zone “MDR/2-B6-D(CZ),” and Coastal General Commercial district with Design Control overlay “CGC-D(CZ)”

Plan Areas: Del Monte Forest Land Use Plan (Coastal Zone)

Flagged and Staked: No

Project Planner: Mary Israel, (831) 755-5183
israelm@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a six-year Permit Extension to the previously approved Pebble Beach Concept Plan (PLN100138) (proposed term to expire December 3, 2031), subject to the findings and evidence in the attached Resolution (see **Exhibit A**). Please read the resolution carefully and contact the planner if you have any questions. The applicant will be required to satisfy all permit conditions of PLN100138 prior to the approval of related vesting tentative maps or issuance of related construction permits for the approved use.

On December 3, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Planning Commission if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

Prepared by: Mary Israel, Supervising Planner, x5183

Reviewed and Approved by: Fionnna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Condition of Approval

Exhibit B - Vicinity Map

Exhibit C - Extension Letter, dated March 24, 2016

Exhibit D - linked webpage for Board of Supervisors Resolution Nos. 12-148 and 12-149, dated June 19, 2012 and Board of Supervisors Resolution No. 12-124 and Ordinance No. 5201

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Mary Israel, Planner; Fionna Jensen, Principal Planner; Pebble Beach Company, Property Owner; Cheryl Burrell, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN160240



County of Monterey

Item No.2

Administrative Permit

Legistar File Number: AP 25-065

December 03, 2025

Introduced: 11/21/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN160240 - PEBBLE BEACH COMPANY

Administrative hearing to consider a six-year extension to the expiration date of a previously approved Pebble Beach Company Concept Plan's (PBC's) Phase II, III and IV development, which were a part of the previously approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148 and 12-149, HCD-Planning File No. PLN100138). The expiration dates of these PBC Phases would be December 3, 2031.

Project Location: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000, Pebble Beach

Proposed CEQA action: Consider a previously adopted Environmental Impact Report (SCH# 2011041028) and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Consider the previously adopted Environmental Impact Report (SCH# 2011041028) for the Pebble Beach Company Concept Plan and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162; and
- b. Approve a six-year extension to the expiration date of the previously approved Pebble Beach Company Concept Plan's (PBC's) Phases III and IV development and Phases II, III and IV vesting tentative maps, which were a part of the approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148, 12-149, and 12-124 HCD-Planning File No. PLN100138 and Ordinance No. 5201). The expiration dates of these PBC Phases, relating to areas M, U, V, the Corporation Yard, the Collins Residence parcels, and development of the Inn at Spanish Bay Meeting Rooms, Ballroom Expansion, and Cottages, and the New Colton Building, are December 3, 2031.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to one condition of approval.

PROJECT INFORMATION

Agent: Cheryl Burrell

Property Owner: Pebble Beach Company

APNs: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000

Zoning: Visitor Serving Commercial district with a Design Control overlay in the Coastal Zone “VSC-D(CZ),” Open Space Recreation district with a Building Site 8 and Design Control overlay in the Coastal Zone or “OR/B-8-D(CZ),” Open Space Recreation district with a Design Control overlay in the Coastal Zone or “OR-D(CZ),” Resource Conservation district with Design Control Overlay in the Coastal Zone “RC-D(CZ),” Low Density Residential district with 1.5 acre per unit density and Design Control overlays in the Coastal Zone “LDR/1.5-D(CZ),” Medium Density Residential district with 2 unit per acre density, Building Site 8 and Design Control overlays in the Coastal Zone “MDR/2-B6-D(CZ),” and Coastal General Commercial district with Design Control overlay “CGC-D(CZ)”

Plan Areas: Del Monte Forest Land Use Plan (Coastal Zone)

Flagged and Staked: No

Project Planner: Mary Israel, (831) 755-5183
israelm@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a six-year Permit Extension to the previously approved Pebble Beach Concept Plan (PLN100138) (proposed term to expire December 3, 2031), subject to the findings and evidence in the attached Resolution (see **Exhibit A**). Please read the resolution carefully and contact the planner if you have any questions. The applicant will be required to satisfy all permit conditions of PLN100138 prior to the approval of related vesting tentative maps or issuance of related construction permits for the approved use.

On December 3, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Planning Commission if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

Prepared by: Mary Israel, Supervising Planner, x5183

Reviewed and Approved by: Fionnna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Condition of Approval

Exhibit B - Vicinity Map

Exhibit C - Extension Letter, dated March 24, 2016

Exhibit D - linked webpage for Board of Supervisors Resolution Nos. 12-148 and 12-149, dated June 19, 2012 and Board of Supervisors Resolution No. 12-124 and Ordinance No. 5201

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Mary Israel, Planner; Fionna Jensen, Principal Planner; Pebble Beach Company, Property Owner; Cheryl Burrell, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN160240

Exhibit A

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DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

PEBBLE BEACH COMPANY (PLN160240)

RESOLUTION NO. 25-060

Resolution by the County of Monterey Chief of Planning:

- 1) Consider the previously adopted Environmental Impact Report (SCH# 2011041028) for the Pebble Beach Company Concept Plan and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162; and
- 2) Approve a six-year extension to the expiration date of the previously approved Pebble Beach Company Concept Plan's (PBC's) Phases III and IV development and Phases II, III and IV vesting tentative maps, which were a part of the approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148, 12-149, and 12-124, HCD-Planning File No. PLN100138 and Ordinance No. 5201). The expiration dates of these PBC Phases, relating to areas M, U, V, the Corporation Yard, the Collins Residence parcels, and development of the Inn at Spanish Bay Meeting Rooms, Ballroom Expansion, and Cottages, and the New Colton Building, are December 3, 2031.

[PLN160240, Pebble Beach Company properties, Pebble Beach, Del Monte Forest Land Use Plan Coastal Zone, (Assessor's Parcel Numbers: 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-313-003-000, 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000)]

The PEBBLE BEACH COMPANY application (PLN160240) came on for an administrative hearing before the County of Monterey Chief of Planning on December 3, 2025. Having considered all the written and documentary evidence, the Chief of Planning finds and decides as follows:

RECITALS

WHEREAS, on June 19, 2012, Combined Development Permits (CDPs) to allow the phased development and preservation of the remaining Pebble Beach Company (PBC) properties located within the Del Monte Forest were approved by the Board of Supervisors through Resolution Numbers 12-148 and 12-149. The approved CDPs allowed 12 vesting tentative maps for the subdivision of approximately 899.6 acres, resulting in the creation of 90 to 100 single-family residential lots, the renovation and expansion of visitor-serving uses, and the preservation of 635 acres as forested open space. The CDPs included multiple Coastal Development Permits, Coastal Administrative Permits, and Design Approvals to allow new structural development at four primary sites (The Lodge at Pebble Beach, The Inn at Spanish Bay, Spyglass Hill, and the Pebble Beach Equestrian Center); new and amended General Development Plans; lot line adjustments; structural and hardscape development, including associated grading; development within 100 feet of environmentally sensitive habitat; development on slope exceeding 30 percent; tree removal; and development within 750 feet of a known archaeological resource. In accordance with the resolution, all vesting tentative maps associated with the PBC Concept Plan were required to be recorded by July 16, 2014 (Condition No. 9 of Board of Supervisors Resolution No. 12-149). However, pursuant to CA Govt Code § 66452.24, this expiration date was automatically extended for 24 months from June 19, 2014, to June 19, 2016. Separately, development associated with Phase I and II was set to expire on June 19, 2015, Phase III on June 19, 2017, and Phase IV on June 19, 2020;

WHEREAS, Phase I (development and tentative map) of the PBC Concept Plan was timely vested by filing of Areas F-2 and I-2 Final Maps on July 16, 2014, as Vol 24 C&T pages 36 and 37, and construction of the Collins Field driving range and golf academy (Construction Permit Nos. 13CP00140) and infrastructure improvements in Area F-2 and I-2 (Construction Permit Nos. 13CP000504 and 13CP000505);

WHEREAS, Phase II (development) of the PBC Concept Plan was timely vested in 2013 by the construction of Area B's parking lot, and grading and demolition associated with the Equestrian Center Reconstruction/Events Staging Area (Construction Permit No. 13CP00507) and Lot Line Adjustment at Fairway One/Beirne completed with Certificate of Compliance recorded on January 23, 2015 (Document No. 2015003643);

WHEREAS, Phase II Corporate Yard tentative map of the PBC Concept Plan has yet to be vested and was set to expire on June 19, 2016, as previously extended under CA Govt Code § 66452.24;

WHEREAS, Phases III and IV (development) of the PBC Concept Plan have yet to be vested and were set to expire on June 19, 2017 and June 19, 2020, respectively. Additionally, the associated tentative maps of these Phases were set to expire on June 19, 2016, as previously extended under CA Govt Code § 66452.24;

WHEREAS, the applicant submitted a written request for an additional three-year extension on March 28, 2016, more than thirty (30) days prior to the expiration date of the vested tentative maps for Phases II through IV (June 19, 2016) and the expiration date of the development associated with Phases III and IV (June 19, 2017 and June 19, 2020). The written request for the extension was filed by the applicant's agent, Mark Stillwell, and indicated the need for time to prepare the remaining unrecorded maps for Collins, Corporate Yard, and Areas J, K, L, U, V, M, and B/C, as well as the construction of remaining development proposals. The extension was requested because of the complexity of decision-making on development components and the

slow nature of compliance with conditions and mitigations required prior to filing of Final Maps with multi-agency review;

WHEREAS, CA Govt. Code Section 66452.6(e) (Subdivision Map Act) states: “Upon application of the subdivider filed prior to the expiration of the approved or conditionally approved tentative map, the time at which the map expires pursuant to subdivision (a) may be extended by the legislative body or by an advisory agency authorized to approve or conditionally approve tentative maps for a period or periods not exceeding a total of six years. The period of extension specified in this subdivision shall be in addition to the period of time provided by subdivision (a). Prior to the expiration of an approved or conditionally approved tentative map, upon an application by the subdivider to extend that map, the map shall automatically be extended for 60 days or until the application for the extension is approved”;

WHEREAS, although the extension request was filed in March 2016, the decision to extend Phase II through IV final maps occurred on December 3, 2025. Therefore, in accordance with CA Govt. Code Section 66452.6(e), expiration dates for unrecorded maps of U, V, M, Collins, Corporate Yard, and the Collins Residence parcels were automatically stayed or extended by an additional 9 years, 8 months, and 5 days (to December 3, 2025) while HCD-Planning processed the extension request. These delays were due to understaffing and staff departures in the Planning team, the reorganization of the Resource Management Agency into two separate departments (now Housing and Community Development and Public Works, Facilities, and Parks), and COVID-19 office closure;

WHEREAS, in discussing with HCD staff the delays in processing the requested extension in November 2025, the applicant clarified that a six-year extension was more appropriate to complete the conditions and mitigations required for construction and prior to filing the remaining final maps. Therefore, with the above-described automatic extension through December 3, 2025, and this approved six-year extension, the final maps for Phases II through IV must be recorded prior to December 3, 2031;

WHEREAS, County of Monterey Zoning Code Title 20 section 20.70.100.A allows for the extension of Coastal Development Permits. Similar to CA Govt. Code Section 66452.6(e), it is the HCD’s practice to stay the expiration date of Coastal Development Permits until such time that the extension request is considered by the Appropriate Authority. Accordingly, although the development associated with Phases III and IV were set to expire on June 19, 2017 and June 19, 2020, a timely extension request was made in 2016, and therefore, these expiration dates were stayed until December 3, 2025 and the six-year extension request of the related Coastal Development Permit is being considered from the time of approval of this application. A six-year extension is reasonable in this case to align the timing of the Coastal Development Permits and vesting tentative maps. Pursuant to CA Govt. Code Sections 65450 and 65455, the PBC Concept Plan also functions as a Specific Plan for the area, of which the phased development is a part. Therefore, a six-year extension of the Coastal Development Permits included the approved PBC Concept Plan, which included development of the Inn at Spanish Bay Meeting Rooms, Ballroom Expansion, and Cottages and the New Colton Building, all parts of Phase II, III and IV, as described in Board of Supervisors Resolution No. 12-149, is part of this action, and will now expire on December 3, 2031;

WHEREAS, this extension does not change the previously approved PBC Concept Plan and all findings previously made in Board of Supervisors Resolution No. 12-149, as supported by Board of Supervisors Resolution No. 12-148 (Final EIR adoption and Statement of Overriding Considerations), which continue to apply;

WHEREAS, no changes are proposed to the Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Monterey County Coastal Implementation Plan (Parts 1 and 5) and were adopted with a motion of intent on January 24, 2012, certified by the California Coastal Commission May 9, 2012, and adopted by the Board of Supervisors on May 22, 2012 (Board of Supervisors Resolution No. 12-124 and Ordinance No. 5201);

WHEREAS, the conditions of approval contained in Board of Supervisors Resolution Nos. 12-148 and 12-149 continue to apply, except that this extension modifies the expiration date of the PBC Concept Plan's phased development and tentative maps, as stated in Condition No. 9, Permit Expiration Dates, to a summary expiration date of December 3, 2031;

WHEREAS, County of Monterey HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject properties;

WHEREAS, the request for a Permit Extension does not change the scope of the previously approved Project, and does not alter the analysis or conclusions reached by the previously adopted Final EIR (SCH# 2011041028). Therefore, the project meets the criteria of CEQA Guidelines Section 15162, and no recirculation is required because no substantial changes are proposed requiring major revisions to the EIR, and there are no substantial changes in the circumstances under which the project was approved that would necessitate substantial revisions to the EIR; and

WHEREAS, pursuant to County of Monterey Zoning Code Title 20 section 20.86.030.A, the discretionary decisions of the Chief of Planning are appealable to the Board of Supervisors. The decision of the Board of Supervisors would be final and may not be appealed. This is because California Coastal Act Article 30603(b)(1) limits the grounds for appeal of a local decision after certification of a local coastal program to allegations that the development does not conform to the standards set forth in the certified local coastal program or the public access policies set forth in the Act. As a discretionary decision on the extension of an entitlement's duration, this permit is outside of those grounds.

DECISION

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey Chief of Planning does hereby:

- 1) Consider the previously adopted Environmental Impact Report (SCH# 2011041028) for the Pebble Beach Company Concept Plan and find that the preparation of a subsequent environmental document is not required, pursuant to CEQA Guidelines section 15162; and
- 2) Approve a six-year extension to the expiration date of the previously approved Pebble Beach Company Concept Plan's (PBC's) Phases III and IV development and Phases II, III and IV vesting tentative maps, which were a part of the approved Local Coastal Program Amendment that modified the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Board of Supervisors Resolution Nos. 12-148, 12-149, and 12-124, HCD-Planning File No. PLN100138 and Ordinance No. 5201). The expiration dates of these PBC Phases, relating to areas M, U, V, the Corporation Yard, the Collins Residence parcels, and development of the Inn at Spanish Bay Meeting Rooms, Ballroom Expansion, and Cottages, and the New Colton Building, are December 3, 2031.

PASSED AND ADOPTED this 3rd day of December 2025.

Melanie Beretti, AICP,
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160240

1. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A six year extension (Resolution Number ***) was approved by the Chief of Planning for Assessor's Parcel Numbers 007-091-028-000, 008-272-011-000, 008-312-002-000, 008-313-002-000 (portion), 008-321-008-000, 008-321-009-000, 008-411-018-000, 008-423-029-000 on December 3, 2025. The permit was granted subject to one condition of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

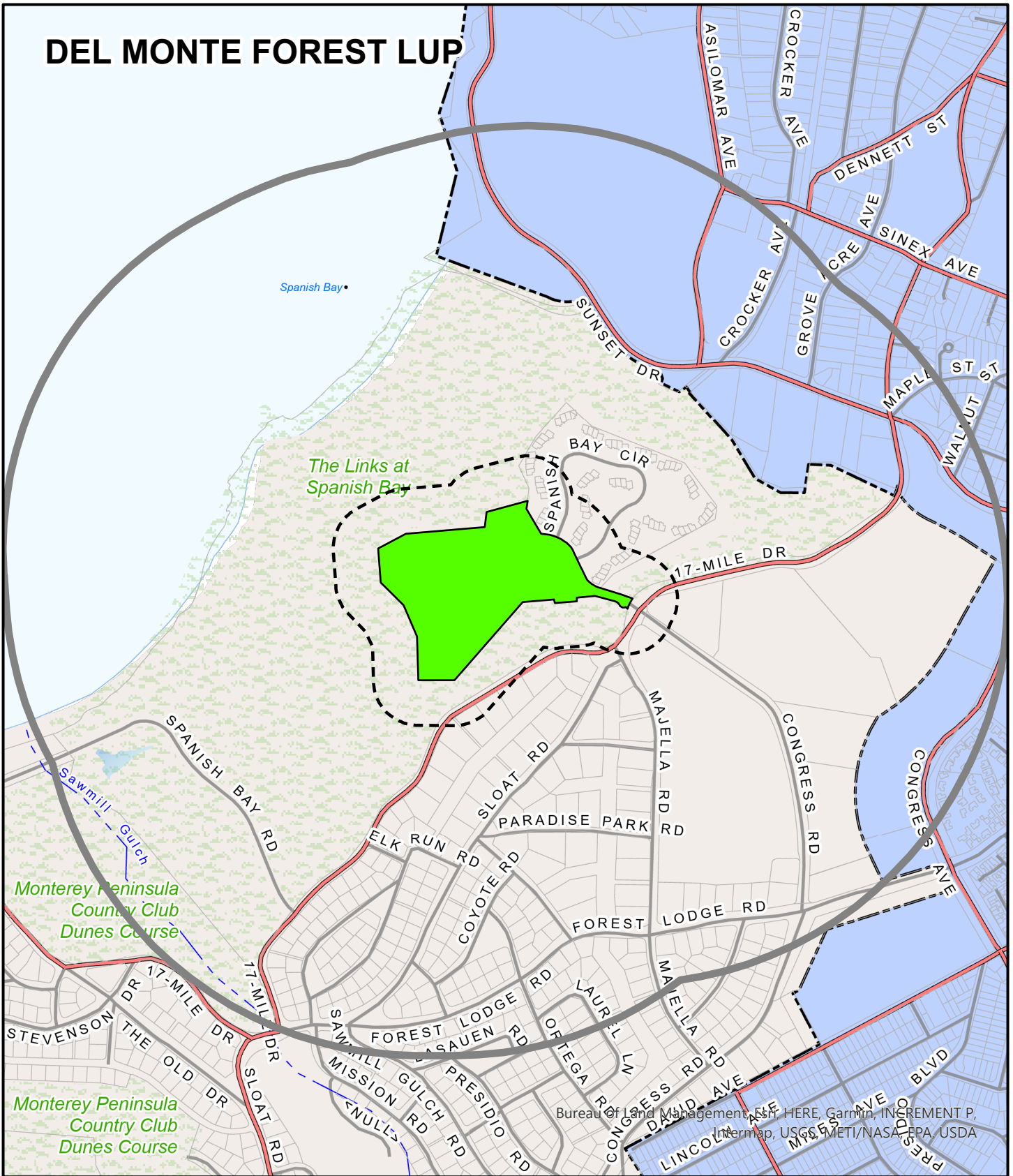
Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

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Exhibit B

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DEL MONTE FOREST LUP



APPLICANT: PEBBLE BEACH COMPANY

APN: 007091028000

FILE # PLN160240



Project Site



300 FT Buffer



2500 FT Buffer



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P,
Intermap, USGS, METI/NASA, EPA, USDA

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Exhibit C

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PEBBLE BEACH
COMPANY

RECEIVED

MAR 29 2016

electronically
Pebble Beach Company
Capital Services/Legal
CB

March 24, 2016

Mr. Mike Novo, Planning Director
Mr. Joseph Sidor, Associate Planner
Monterey County RMA – Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

Re: Del Monte Forest Plan
- PLN100138, Condition No. 9 (Final Map Expiration Dates)

Dear Mike and Joe:

While we continue to work through development components of our Del Monte Forest Plan, we are requesting a three-year extension of the expiration date of the final maps and parcel maps from June 19, 2016, to June 19, 2019.

This request includes maps for the following areas:

- Collins Residential Subdivision
- Spanish Bay Lot Line Adjustment
- Subdivision Areas J, K, L, M, U, V, and Corporate Yard
- Areas B and C (this map is ready to be submitted pending Coastal Commission approval of the Conservation Easement, currently under review)

Please acknowledge *receipt* *request* of this map expiration date extension by executing and returning to me the enclosed copy of this letter.

Please call me at 625-8449 should you have any questions or, in my absence, Cheryl Burrell at 625-8497.

Sincerely,
PEBBLE BEACH COMPANY

Mark Stilwell

Mark Stilwell,
Senior Real Estate Consultant

MONTEREY COUNTY RMA – PLANNING

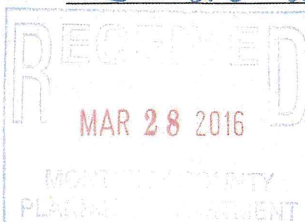
- PLN100138, Condition 9 (final map expiration date extension request)

By: *J. Sidor*

Name/Title: *J. Sidor, Associate Planner*

Date: *3-28-2016*

cc: C. Burrell
D. Stivers



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Exhibit D

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EXHIBIT D

County of Monterey HCD webpage for PBC
Concept Plan documents:

Board of Supervisors Resolution Nos.
12-148, 12-149, and 12-124
and Ordinance No. 5201

[https://www.countyofmonterey.gov/government/departments-a-h/housing-community-development/
planning-services/library-current-major-projects/pebble-beach-company](https://www.countyofmonterey.gov/government/departments-a-h/housing-community-development/planning-services/library-current-major-projects/pebble-beach-company)

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County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-066

December 03, 2025

Introduced: 11/24/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240348 - COSMERO CONSTRUCTION & DEVELOPMENT LLC

Administrative hearing to consider an after-the-fact demolition and construction of a 4,600 square foot single-family dwelling with attached garage, and associated site improvements including 1,365 square feet of porches to clear code enforcement case 24CE00590.

Project Location: 22 La Rancheria Road, Carmel Valley

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve an after-the-fact Administrative Permit and Design Approval to clear code enforcement case 24CE00590 to allow the demolition and reconstruction of a 4,600 square single-family dwelling with an attached garage, and associated site improvements including 1,365 square feet of porches.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 6 conditions of approval.

PROJECT INFORMATION

Agent: Greg Cosmero

Property Owner: Cosmero Construction & Development LLC

APN: 187-121-013-000

Parcel Size: 2.7 acres

Zoning: "LDR/1-D-S-RAZ" or Low Density Residential with 1 acre per unit density, Design Control, Site Plan Review and Residential Allocation Zoning overlays.

Plan Area: Carmel Valley Master Plan

Flagged and Staked: No

Project Planner: McKenna Bowling, Associate Planner

bowlingmr@countyofmonterey.gov, (831) 755-5298

SUMMARY

Staff is recommending approval of an after-the-fact Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services

Environmental Health Bureau

HCD - Environmental Services

Monterey County Regional Fire Protection District

Prepared by: McKenna Bowling, Associate Planner, (831) 755-5298

Reviewed/Approved by: Jacquelyn M Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Project Data Table

Exhibit B - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; McKenna Bowling, Associate Planner; Jacquelyn M. Nickerson, Principal Planner; Cosmero Construction & Development LLC, Property Owners; Greg Cosmero, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240348



County of Monterey

Item No.3

Administrative Permit

Registrar File Number: AP 25-066

December 03, 2025

Introduced: 11/24/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240348 - COSMERO CONSTRUCTION & DEVELOPMENT LLC

Administrative hearing to consider an after-the-fact demolition and construction of a 4,600 square foot single-family dwelling with attached garage, and associated site improvements including 1,365 square feet of porches to clear code enforcement case 24CE00590.

Project Location: 22 La Rancheria Road, Carmel Valley

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve an after-the-fact Administrative Permit and Design Approval to clear code enforcement case 24CE00590 to allow the demolition and reconstruction of a 4,600 square single-family dwelling with an attached garage, and associated site improvements including 1,365 square feet of porches.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 6 conditions of approval.

PROJECT INFORMATION

Agent: Greg Cosmero

Property Owner: Cosmero Construction & Development LLC

APN: 187-121-013-000

Parcel Size: 2.7 acres

Zoning: "LDR/1-D-S-RAZ" or Low Density Residential with 1 acre per unit density, Design Control, Site Plan Review and Residential Allocation Zoning overlays.

Plan Area: Carmel Valley Master Plan

Flagged and Staked: No

Project Planner: McKenna Bowling, Associate Planner

bowlingmr@countyofmonterey.gov, (831) 755-5298

SUMMARY

Staff is recommending approval of an after-the-fact Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services

Environmental Health Bureau

HCD - Environmental Services

Monterey County Regional Fire Protection District

Prepared by: McKenna Bowling, Associate Planner, (831) 755-5298

Reviewed/Approved by: Jacquelyn M Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Project Data Table

Exhibit B - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; McKenna Bowling, Associate Planner; Jacquelyn M. Nickerson, Principal Planner; Cosmero Construction & Development LLC, Property Owners; Greg Cosmero, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240348

Exhibit A

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EXHIBIT A

Project Information for PLN240348

Application Name: Cosmero Construction & Development Llc
Location: 22 La Rancheria Rd, Carmel Valley
Applicable Plan: Carmel Valley Master Plan
Advisory Committee: Carmel Valley Advisory Committee
Permit Type: Administrative Permit
Environmental Status:
Zoning: LDR/1-D-S-RAZ(see note)
Primary APN: 187-121-013-000
Coastal Zone: No
Final Action Deadline (884):
Land Use Designation: Residential - Low Density 5
- 1 Acres/Unit

Project Site Data:

Lot Size:
Existing Structures (sf):
Proposed Structures (sf):
Total Sq. Ft.:
Coverage Allowed: 25
Coverage Proposed: 6
Height Allowed:
Height Proposed:
FAR Allowed:
FAR Proposed:
Special Setbacks on Parcel: N

Resource Zones and Reports:

Seismic Hazard Zone: IV|UNDETERMINED
Erosion Hazard Zone: Moderate
Fire Hazard Zone: Very High
Flood Hazard Zone: X (unshaded)
Archaeological Sensitivity: high|moderate
Visual Sensitivity: Sensitive
Soils Report #: LIB250375
Biological Report #:
Forest Management Rpt. #:
Geologic Report #: LIB250375
Archaeological Report #:
Traffic Report #:
Historic Report #: LIB250294

Other Information:

Water Source: CalAm
Water Purveyor:
Fire District: Monterey County Regional FPD
Tree Removal:
Grading (cubic yds.):
Sewage Disposal (method):
Sewer District Name: Septic

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Exhibit B

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DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

COSMERO CONSTRUCTION & DEVELOPMENT LLC (PLN240348)

RESOLUTION NO. 25-061

Resolution by the Monterey County Chief of
Planning:

- 1) Finding that the project Categorically Exempt pursuant to CEQA Guidelines sections 15302, and none of the exceptions pursuant to Section 15300.2 apply; and
- 2) Approve an after-the-fact Administrative Permit and Design Approval to clear code enforcement case 24CE00590 to allow the demolition and reconstruction of a 4,600 square foot single-family dwelling with attached garage, and associated site improvements including 1,365 square feet of porches.

[PLN240348, COSMERO CONSTRUCTION &
DEVELOPMENT LLC, 22 La Rancheria Road,
Carmel Valley, Carmel Valley Master Plan (APN:
187-121-013-000)]

The COSMERO application (PLN240348) came on for public hearing before the Monterey County Chief of Planning on December 3, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 22 La Rancheria Road, Carmel Valley (Assessor's Parcel Number: 187-121-013-000), Carmel Valley

Master Plan. The parcel is zoned Low Density Residential with 1 acre per unit density, and Design Control, Site Plan Review, and Residential Allocation Zoning overlays or “LDR/1-D-S-RAZ”. LDR zoning allows for the establishment of the first single-family dwelling as a principally allowed use pursuant to Title 21 section 21.14.030.A. However, the Site Plan Review overlay requires the granting of an Administrative Permit for all structures pursuant to Title 21 section 21.45.020. There is an existing violation on the property, Code Enforcement Case 24CE00590 for construction that exceeded the approved scope of work under DA240182, and would be cleared through this permit (see Finding 4). The proposed project involves the demolition and reconstruction of a 4,600 square foot single-family dwelling with an attached garage, and associated site improvements including 1,365 square feet of porches. Therefore, the project is an allowed land use for this site.

- c) HCD-Planning staff conducted a site inspection on Google Earth, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Development Standards. The project meets all required development standards for the Low Density Residential zoning district and B overlay district, which are identified in Title 21 sections 21.14.060 and 21.42.030. Pursuant to these sections, main structures shall have setbacks of at least 30 feet for the front, 10 percent of the average lot width to a maximum of twenty feet for the sides, and 20 feet for the rear, and a maximum allowable height of 30 feet. The garage is structurally attached to the proposed residence and, therefore, are subject to the same site development standards as the main structure. As proposed, the structures are to be setback 20 feet from the front, 10 feet from the side, and approximately 30 feet from the rear, and have a proposed height of 14-1 feet as measured from average natural grade. The subject property has an allowable building site coverage of 35 percent, and as proposed, the lot coverage will be 21.78 percent. Therefore, the property complies with the required site development standards based on the applicable zoning district.
- e) Design and Visual Resources. Pursuant to Title 21 Chapter 21.44, the project parcels and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Carmel Valley Master Plan Policy CV-1.1 indicates that all policies and ordinances, and decisions regarding Carmel Valley shall be consistent with the goal of preserving the rural character of the Valley, and development shall follow a rural architectural theme with design review. According to County of Monterey GIS records, the subject property is designated as being visually “sensitive”. The development will be situated on the lot in the same footprint as the existing residence and attached garage, which are currently screened through existing vegetation and development. Consistent with Carmel Valley Master Plan Policy CV-1.20, the exterior finishes and proposed rural architectural style are compatible with the surrounding environment,

consistent with the surrounding residential neighborhood character, and maintain an appropriate bulk and mass. As designed, the proposed residence will have exterior colors and materials similar to the previous residence, that include off-white stucco siding, with white trim, aluminum exterior clad windows, brown composition roofing, white framed windows and doors, and neutral blue exterior doors. The proposed bulk, colors, and materials are consistent with the surrounding residential neighborhood, and similar to the previous residence. Therefore, the proposed project's colors will not detract from the immediately surrounding neighborhood character due to siting, architectural style, and vegetative screening. Policy LU-1.13 of the 2010 General Plan requires that all exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long-range visibility of the lighting source is reduced, and off-site glare is fully controlled. As delineated on the project plans, the lighting fixtures proposed are warm LED bulbs, are IDA Dark Sky compliant, and are downlit and unobtrusive, as required in Condition No.4. Therefore, the project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity, as required by Title 21 Chapter 21.44.

- f) Historical Resources. The existing residence is 77 years old and was constructed in 1948. The prepared Phase 1 Historic Assessment (County of Monterey Library No. LIB250294) confirmed that while the age of the house is over 50 years, the residence retains no historical significance, its design does not provide any distinctive historical design or style, and is not associated with any specific event that could be considered historical. The existing residence was previously owned by a local couple that has no historical significance. Therefore, the project will not impact historical resources.
- g) Cultural Resources. According to the Monterey County Geographic Informational System (GIS), the subject property has a high/moderate archaeological sensitivity. The project proposes minimal ground disturbance, in an already disturbed location of the parcel. The existing foundation will be retained, and therefore the potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Lot Legality. The subject property is shown in its current configuration (2.7 acres) as Lot 10, recorded in June 1937 (Volume 4, Parcel Maps, Page 10). Therefore, the County recognizes the subject properties as a legal lot of record.
- i) Land Use Advisory Committee (LUAC) Review. Based on the Board of Supervisors Guidelines, the project was not referred to the Carmel Valley LUAC for review because the project does not involve the granting of a Design Approval at a public hearing, the preparation of an Initial Study or Environmental Impact Report, or a lot line adjustment.
- j) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240348.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Historical Resources, Soil/Slope Stability, and Geologic Hazards. The following reports have been prepared:
 - “Phase One Historic Assessment” prepared by Seth Bergstein, Pacific Grove, CA, August 25, 2025 (County of Monterey Library No. LIB250294).
 - “Geotechnical and Percolation Investigation” prepared by Belinda Taluban, Salinas, CA, September 26, 2025 (County of Monterey Library No. LIB250375).The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
 - c) Staff conducted a site inspection on Google Earth to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240348.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities will be provided to the proposed single-family dwelling. Potable water will be provided through an existing connection with Cal-Am, which currently serves the property. The project proposes a new onsite wastewater treatment system (OWTS).

The Environmental Health Bureau reviewed the conceptual OWTS and expressed no concerns.

- c) According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to General Plan Policy S-1.7 and Title 21 section 21.66.040.C, a Geological Hazards Assessment and Geotechnical Report were prepared to address the property's known geological hazards. Per the prepared report (County of Monterey Library No. LIB250375), there is no evidence of fault surface traces crossing the building footprint, and there are no geologic hazards that would preclude the residential development of the property based on the current scope of work. Further, the potential for liquefaction, lateral spreading, and lurching occurring in any area that could affect this building site is low. Policy S-1.8 of the 2010 General Plan requires that new development only be approved if it can be demonstrated that the site is physically suitable, and the development will neither create nor significantly contribute to geologic instability or geologic hazards. Based on the conclusions of the prepared report, this site is suitable for the residential use this project proposes, and there are no geological or seismic hazards that would preclude this property from being developed. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.D.
- d) Staff conducted a site inspection on Google Earth to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240348.

4. **FINDING:** **VIOLATION** - The subject property is not in compliance with all rules and regulations pertaining to permitting provisions of the County's zoning ordinance. Violations exist on the property. The approval of this permit will abate the existing violations and bring the property into compliance.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is aware of violations existing on subject property.
 - b) The proposed project corrects an existing violation regarding demolition and reconstruction of a residence without the benefit of a construction permit or discretionary permit (24CE00590). When implemented, the project will bring the subject property into compliance with all rules and regulations pertaining to the property and will abate the existing violations.
 - c) Code Enforcement staff received a complaint on November 7, 2024 alleging that construction was taking place on the subject property and inquiring if permits had been obtained prior to work commencing. The officer assigned to this case conducted a site visit on November 8, 2024 and determined the claims made had merit, and issued a citation to the property owner on November 12, 2024, for demolition and construction of an existing residence and attached garage without the benefit of the correct construction permits or discretionary permits. The owner had

obtained a Design Approval (DA240182) to allow the removal of an existing roof and to allow exterior modifications to the residence and attached accessory structure, however during construction the scope increased to demolition over 50 percent without the benefit of the appropriate permits. In November of 2024, the owner subsequently sought the corrective permit to clear the violation and bring the property back into compliance, and clear code case 24CE00590. Approval of this after-the-fact Administrative Permit and Design Approval will clear the existing violation, and bring the property back into compliance with HCD zoning regulations.

- d) Staff conducted a site inspection on Google Earth and researched County records to assess if any violation exists on the subject property.
- e) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240348.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts the replacement or reconstruction of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
 - b) The proposed project involves the demolition and reconstruction of a 4,600 square foot single-family dwelling with an attached garage, and 1,365 square feet of porches to clear code enforcement case 24CE00590. The proposed residence will have the same footprint as the previous, and utilizes the existing foundation system. Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15302.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on Google Earth.
 - d) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical report, which may cause a substantial adverse change in the significance of a historical resource.
 - e) Staff conducted a site inspection on Google Earth to verify that the site and proposed project meet the criteria for an exemption.
 - f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240348.

6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21, Section 21.80.040.A, an appeal may be made to the Planning Commission by any public agency or person aggrieved by the discretionary decision of the Chief of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project Categorically Exempt from CEQA per Section 15302 of the CEQA Guidelines and none of the exceptions under CEQA Guidelines Section 15300.2 apply; and
2. Approve an after-the-fact Administrative Permit and Design Approval to clear code enforcement case 24CE00590 to allow demolition and reconstruction of a 4,600 square foot single-family dwelling with attached garage, and associated site improvements including 1,365 square feet of porches.

PASSED AND ADOPTED this 3rd day of December, 2025:

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE
THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE
COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING
COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED
AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE
APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240348

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This After-the-Fact Administrative Permit and Design Approval (PLN240348) to clear code enforcement case 24CE00590 allows the demolition and reconstruction of a 4,600 square single-family dwelling with an attached garage, and associated site improvements including 1,365 square feet of porches. The property is located at 22 La Rancheria, Carmel Valley (Assessor's Parcel Number 187-121-013-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by HCD Chief of Planning for Assessor's Parcel Number 187-121-013-000 on December 3, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD055 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Planning

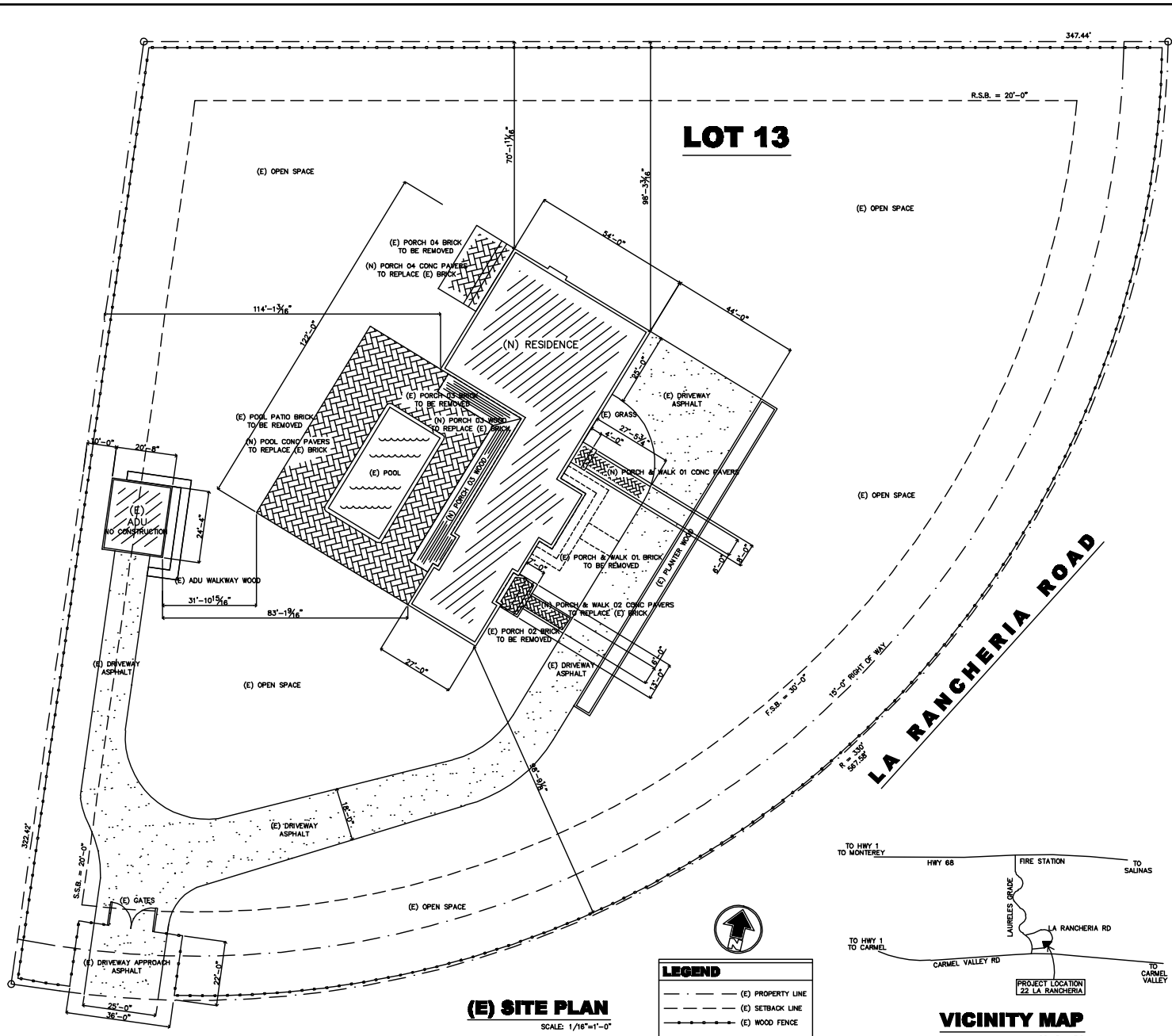
**Condition/Mitigation
Monitoring Measure:**

The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (as applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
 - Summary table including:
 - Types of construction vehicles and number of trucks and/or vehicle trips/day.
 - Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
 - Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
 - The CMP shall:
 - Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
 - Prohibit blocking of access roads or driveways.
 - Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - Provide adequate storage and staging areas. Staging and storage areas shall be on-site to the maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
 - Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.
- (HCD - Planning)

- Compliance or
Monitoring
Action to be
Performed:**
1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.
 2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase yes, they of the project.

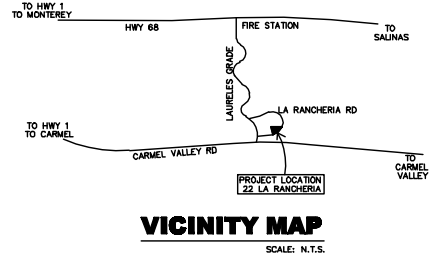
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(E) SITE PLAN
SCALE: 1/16"=1'-0"

LEGEND

| | |
|-----|-------------------|
| --- | (E) PROPERTY LINE |
| --- | (E) SETBACK LINE |
| --- | (E) WOOD FENCE |



VICINITY MAP
SCALE: N.T.S.

SITE DATA

(E) LOT SIZE (2.2 ACRES) 96,920 SQ FT 100%

(E) SITE COVERAGE:

| | | |
|-------------------------------|-------------|-----|
| (E) RESIDENCE/GARAGE ATTACHED | 4600 SQ FT | 5% |
| (E) ADU | 500 SQ FT | 1% |
| (E) DRIVEWAY/ASPHALT | 8240 SQ FT | 8% |
| (E) PORCH & WALKWAY 01 BRICK | 340 SQ FT | .5% |
| (E) PORCH 02 BRICK | 60 SQ FT | 0% |
| (E) PORCH 03 BRICK | 600 SQ FT | 1% |
| (E) PORCH 04 BRICK | 375 SQ FT | .5% |
| (E) POOL PATIO BRICK | 3060 SQ FT | 3% |
| (E) ADU WALKWAY WOOD | 180 SQ FT | 0% |
| (E) POOL | 800 SQ FT | 1% |
| (E) POOL PATIO CONC PAVERS | 18765 SQ FT | 20% |

(E) FLOOR AREA RATIO 5000 SQ FT 6%

(N) SITE COVERAGE:

| | | |
|------------------------------------|-------------|-----|
| (N) RESIDENCE/GARAGE ATTACHED | 4600 SQ FT | 5% |
| (N) ADU | 500 SQ FT | 1% |
| (N) DRIVEWAY/ASPHALT | 8240 SQ FT | 8% |
| (N) PORCH & WALKWAY 01 CONC PAVERS | 180 SQ FT | 0% |
| (N) PORCH & WALKWAY 02 CONC PAVERS | 210 SQ FT | 0% |
| (N) PORCH 03 WOOD | 600 SQ FT | 1% |
| (N) PORCH 04 CONC PAVERS | 375 SQ FT | .5% |
| (N) POOL PATIO CONC PAVERS | 3060 SQ FT | 3% |
| (N) ADU WALKWAY WOOD | 180 SQ FT | 0% |
| (N) POOL | 800 SQ FT | 1% |
| (N) POOL PATIO CONC PAVERS | 18745 SQ FT | 19% |

(N) FLOOR AREA RATIO 5100 SQ FT 6%

(N) IMPERVIOUS COVERAGE:

| | | |
|------------------------------------|-------------|-----|
| (N) RESIDENCE/GARAGE ATTACHED | 4600 SQ FT | 5% |
| (N) ADU | 500 SQ FT | 1% |
| (N) DRIVEWAY/ASPHALT | 8240 SQ FT | 8% |
| (N) PORCH & WALKWAY 01 CONC PAVERS | 180 SQ FT | 0% |
| (N) PORCH & WALKWAY 02 CONC PAVERS | 210 SQ FT | 0% |
| (N) PORCH 04 CONC PAVERS | 375 SQ FT | .5% |
| (N) POOL PATIO CONC PAVERS | 3060 SQ FT | 3% |
| (N) POOL | 17165 SQ FT | 18% |

SCOPE OF WORK

—ADMINISTRATIVE VIOLATION CURRENT, CASE NUMBER: 24CED0590 (MICHAEL BRAASH, CODE INSPECTOR)

—(E) RESIDENCE DEMOLISHED 4600 SQ FT.
—(N) REBUILD OF RESIDENCE IN EXACT SAME FOOTPRINT.
—(N) INTERIOR LAYOUT FROM (E) RESIDENCE.
—(N) CONC PAVERS AT FRONT AND REAR OF RESIDENCE TO REPLACE (E) RED BRICK.
—(N) REAR WOOD PATIO TO REPLACE (E) RED BRICK.
—(N) PRE-FAB TRUSSES THROUGHOUT.
—(N) INCREASE TOP PLATE FROM 8 FT TO 9 FT.
—(N) SPRINKLERS TO BE INSTALLED.
—(E) ADU TO REMAIN—NO CONSTRUCTION.
—(E) PERIMETER WOOD FENCE TO REMAIN AS IS.
—THERE WILL BE NO EXCAVATION.
—(E) FOUNDATION AND FLOOR ASSEMBLY TO REMAIN, (N) RESIDENCE TO BE CONSTRUCTED ABOVE FLOOR LEVEL.
—(E) POOL TO REMAIN.
—(N) MECHANICAL, ELECTRICAL, PLUMBING, WALLS, FINISHES ETC ETC.

GENERAL INFORMATION

ZONING: LDR/1-D-S-RAZ
OCCUPANCY: R-3/U
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: ONE (1)
FIRE SPRINKLERS: YES—TO BE INSTALLED
LAND USE DESIGNATION: RESIDENTIAL—LOW DENSITY 5-1 ACRES/UNIT
POOL: YES

PROJECT INFORMATION

PROJECT LOCATION: 22 LA RANCHERIA, CARMEL VALLEY, CA
DESIGNER: GREG CAREY, 11805 TURLOCK AVENUE, SAN MARTIN, CALIFORNIA, 95060, 831-901-1765, gregcary@soncarey@yahoo.com
OWNER: GREG COSMERO, 130 GLOCK TOWER #204, CARMEL, CA, 93918, 831-915-3918, (808)COSMOPROD.CLOUD.COM

PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE

for

GREG COSMERO

22 LA RANCHERIA, CARMEL VALLEY, CA

APN = 187 - 121 - 013

REVISIONS

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GREG CAREY

BUILDING DESIGNS

• CARMEL—MONTEREY

• PEBBLE BEACH

• 831-901-1765

GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

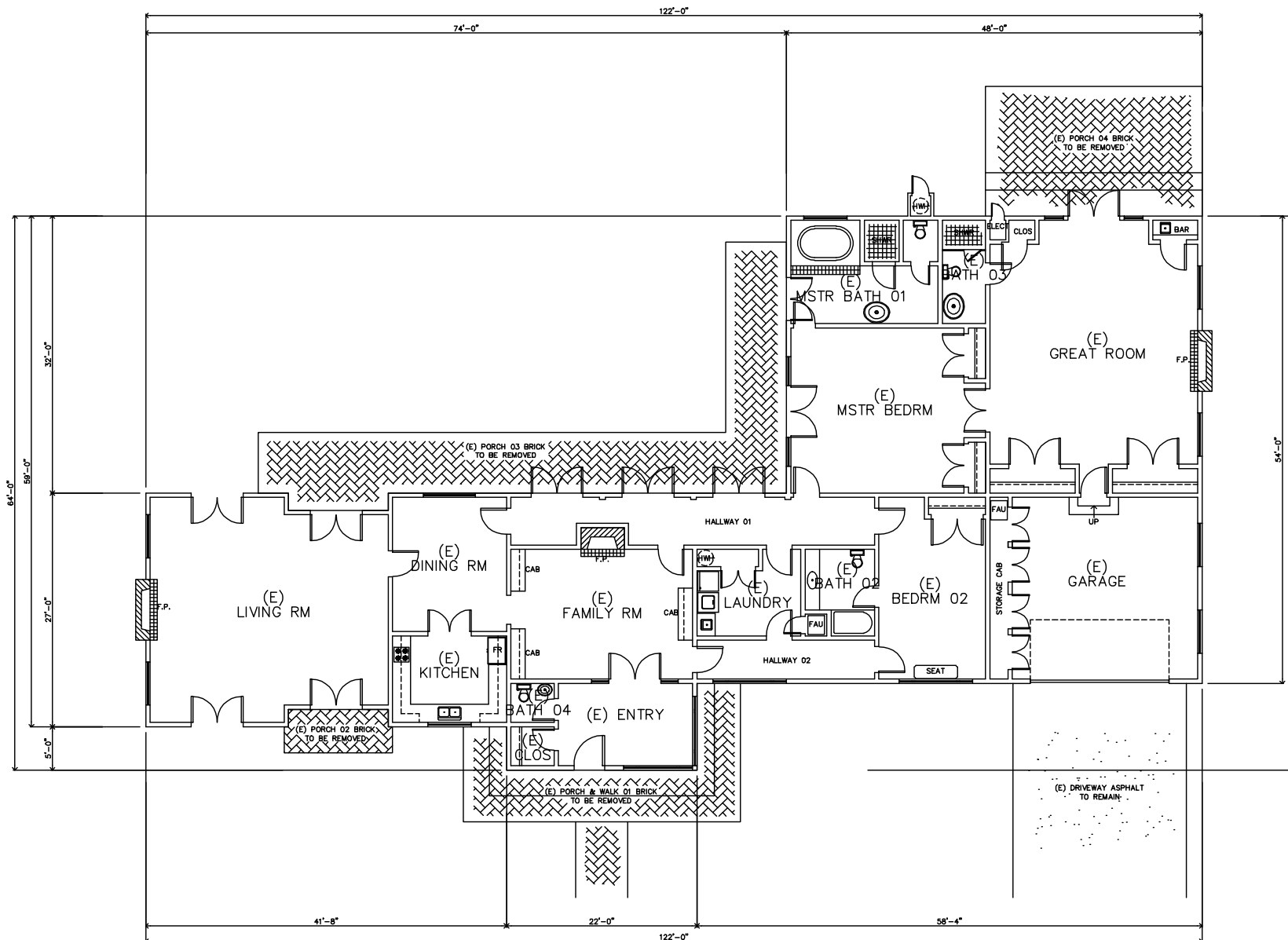
SITE PLAN

SITE DATA

INFO

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| DATE | SCALE |
| 11-2024 | AS SHOWN |
| DRAWN BY | FILE NUMBER |

A1



(E) FLOOR PLAN

SCALE: 3/16"=1'-0"

PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE

for
GREG COSMERO
 22 LA RANCHERIA, CARMEL VALLEY, CA
 APN = 187 - 121 - 013

REVISIONS

| NO. | DESCRIPTION |
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GREG CAREY
 BUILDING DESIGNS

- CARMEL-MONTEREY
 PEBBLE BEACH
- 831-901-1765

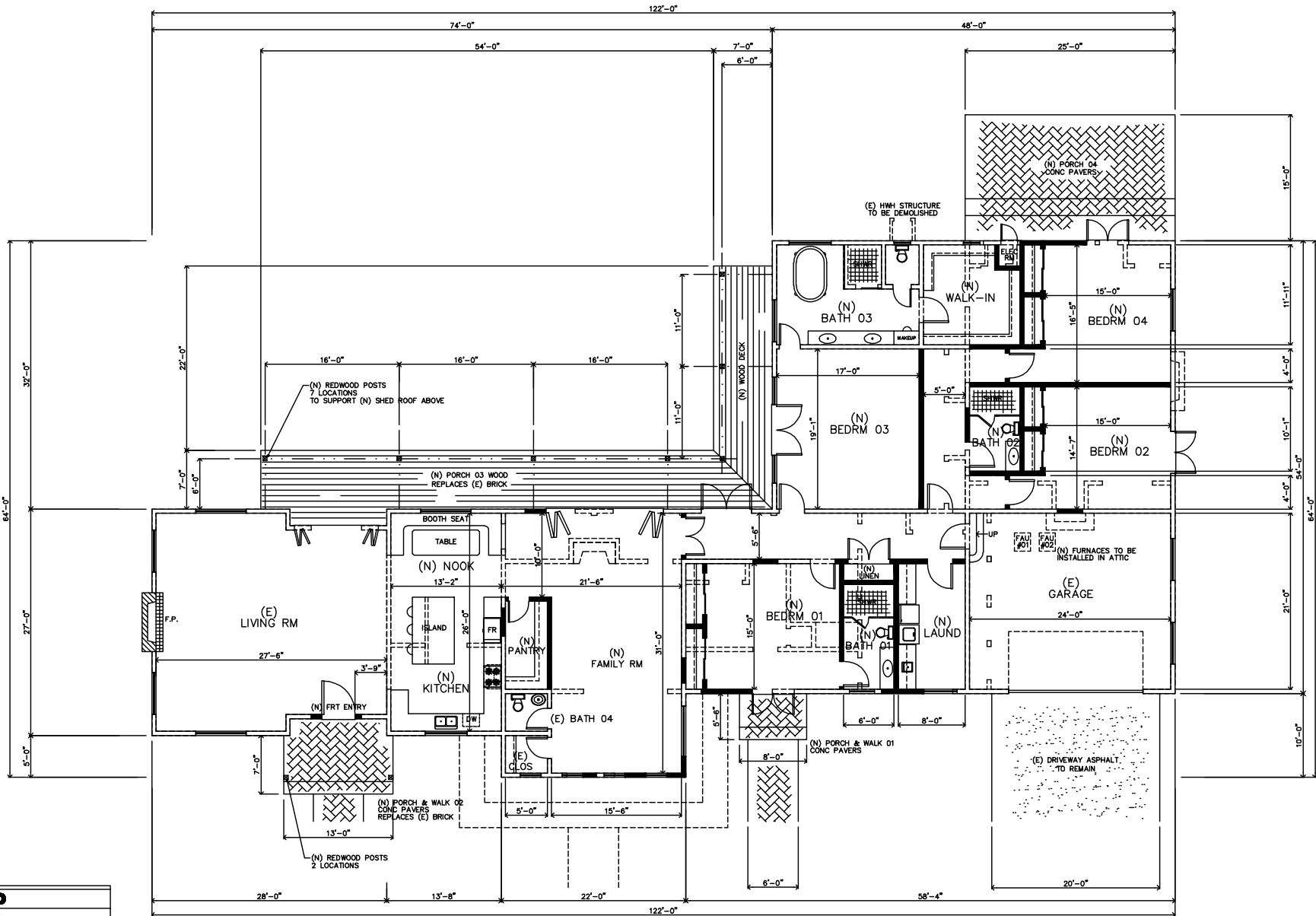
GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

(E)
FLOOR PLAN

| | |
|-----------------|-------------------|
| DATE 11-2024 | SCALE AS SHOWN |
| DRAWN BY | FILE NUMBER |

A2



PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE

for
GREG COSMERO
 22 LA RANCHERIA, CARMEL VALLEY, CA
 APN = 187 - 121 - 013

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
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GREG CAREY
 BUILDING DESIGNS

• CARMEL-MONTEREY

PEBBLE BEACH

• 831-901-1765

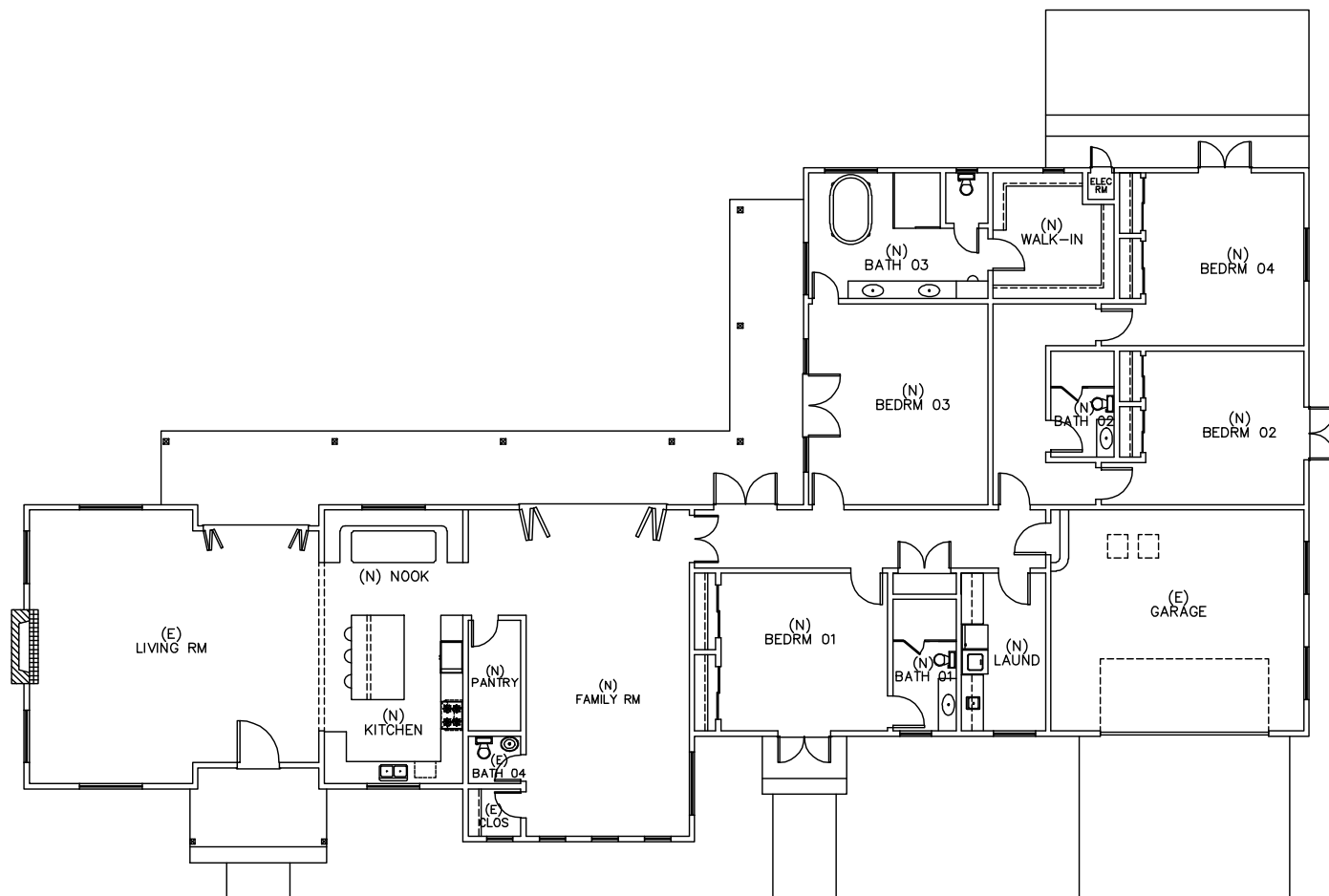
GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

**(N) FLOOR PLAN
 DEMO PLAN**

| | |
|-----------------|-------------------|
| DATE 11-2024 | SCALE AS SHOWN |
| DRAWN BY | FILE NUMBER |

A3



(N) FLOOR PLAN LAYOUT
SCALE: 3/16"=1'-0"

PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE
for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA
APN = 187 - 121 - 013

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
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GREG CAREY
BUILDING DESIGNS

• CARMEL-MONTEREY
PEBBLE BEACH

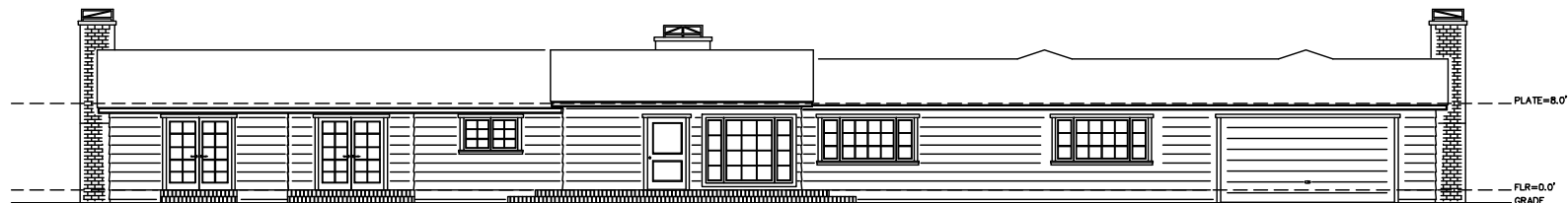
• 831-901-1765
GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

**(N)
FLOOR PLAN
LAYOUT**

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|-----------------|-------------------|
| DATE 11-2024 | SCALE AS SHOWN |
| DRAWN BY | FILE NUMBER |

A4

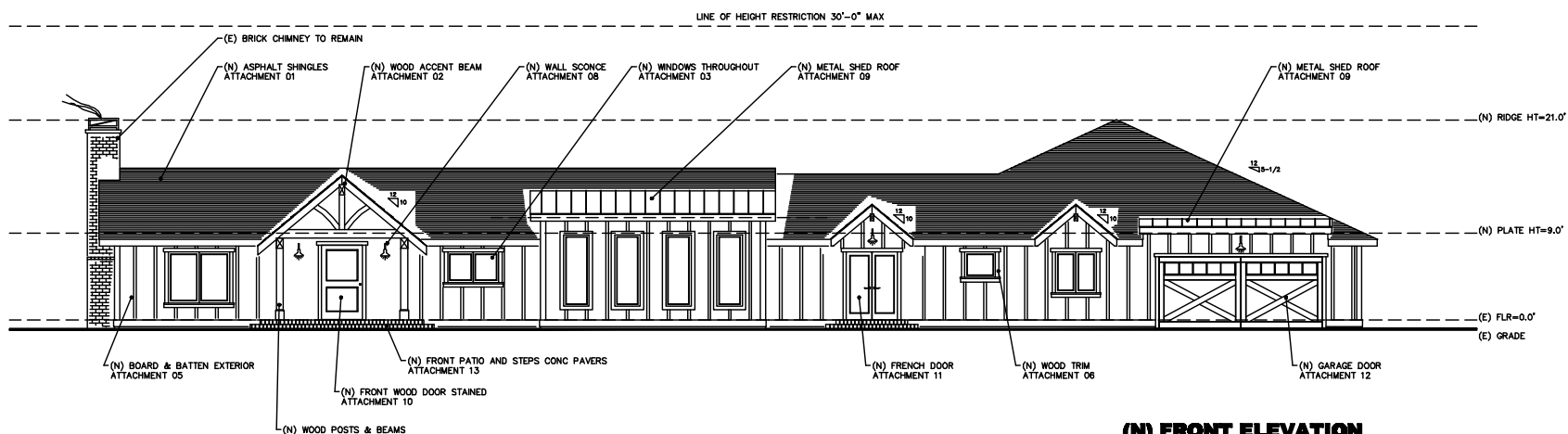


(E) FRONT ELEVATION

SCALE: 3/16"=1'-0"

(N) KEY NOTES - TYPICAL

- (N) PRE-FAB TRUSSES ENTIRE ROOF
- (N) ASPHALT COMP SHINGLES
- (N) METAL SHED ROOFS
- (N) BOARD & BATTEN - PAINTED
- (N) 1x5 TRIM - PAINTED
- (N) ALUMINUM EXTERIOR CLAD WINDOWS
- (N) WOOD EXTERIOR DOORS - STAINED
- (N) 2x WOOD FASCIA - PAINTED
- (N) ALUM PAINTED GUTTERS AND RAIN WATER LEADERS
- (N) EXTERIOR WALL SCONCES 25W MAX. 375 LUMENS
- (N) GARAGE DOOR



(N) FRONT ELEVATION

SCALE: 3/16"=1'-0"

NOTE: SEE A8 FOR ATTACHMENT MATERIAL SAMPLES

PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE

for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA
APN = 187 - 121 - 013

REVISIONS

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GREG CAREY

BUILDING DESIGNS

• CARMEL-MONTEREY
• PEBBLE BEACH

831-901-1765

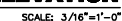
GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

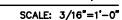
ELEVATIONS

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| DATE 11-2024 | SCALE AS SHOWN |
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A5



- (N) PRE-FAB TRUSSES ENTIRE ROOF
- (N) ASPHALT COMP SHINGLES
- (N) METAL SHED ROOFS
- (N) BOARD & BATTEN - PAINTED
- (N) 1x5 TRIM - PAINTED
- (N) ALUMINUM EXTERIOR CLAD WINDOWS
- (N) WOOD EXTERIOR DOORS - STAINED
- (N) 2x WOOD FASCIA - PAINTED
- (N) ALUM PAINTED GUTTERS AND RAIN WATER LEADERS
- (N) EXTERIOR WALL SCONCES 25W MAX. 375 LUMENS
- (N) GARAGE DOOR



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| PROJECT / CLIENT | |
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DEMO and (N) REBUILD RESIDENCE

for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA

RANCHERIA, CARMEL VALLE
APN = 187 - 121 - 013

REVISIONS



GREG CAREY
BUILDING DESIGNS

CARMEL—MONTEREY
PEBBLE BEACH

831-901-1765

GREGORYWILSONCAREY@YAHOO.COM

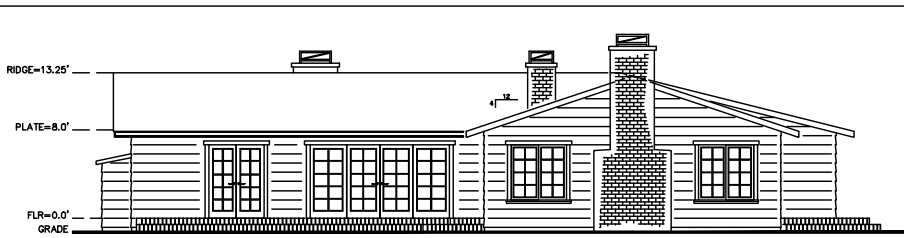
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ELEVATIONS

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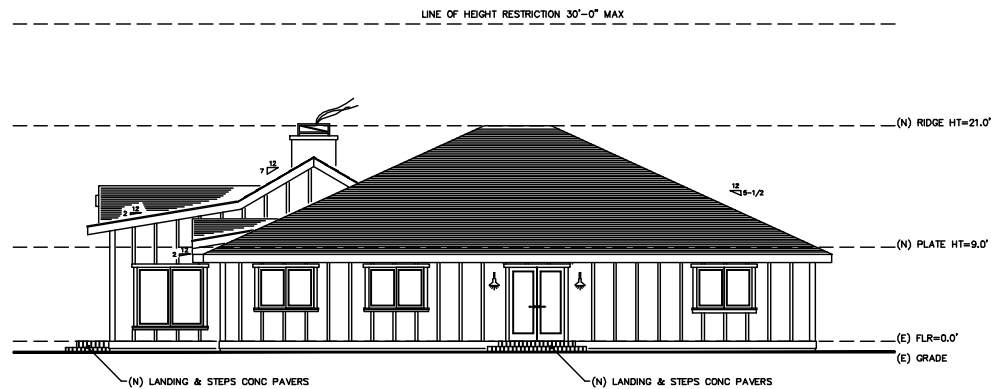
(E) LEFT ELEVATION

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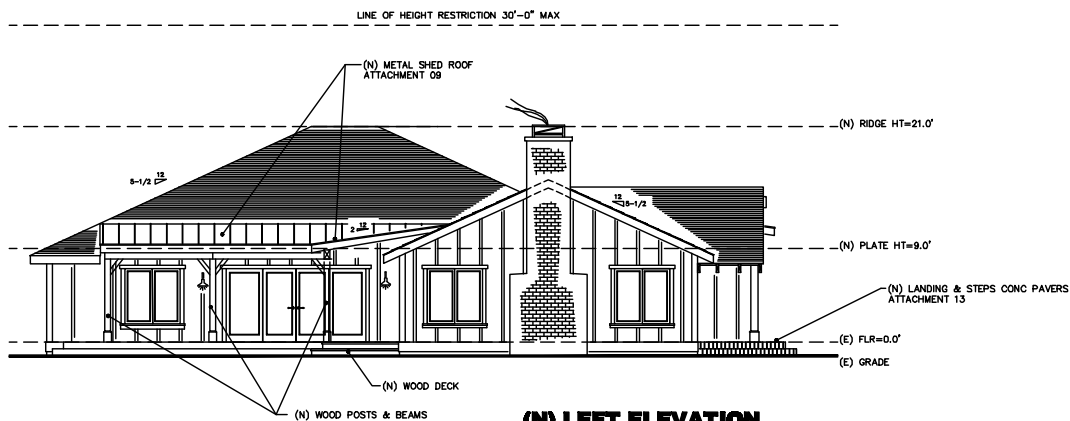
(E) RIGHT ELEVATION

SCALE: 3/16"=1'-0"



(N) RIGHT ELEVATION

SCALE: 3/16"=1'-0"



(N) LEFT ELEVATION

SCALE: 3/16"=1'-0"

(N) KEY NOTES - TYPICAL

- (N) PRE-FAB TRUSSES ENTIRE ROOF
- (N) ASPHALT COMP SHINGLES
- (N) METAL SHED ROOFS
- (N) BOARD & BATTEN - PAINTED
- (N) 1x5 TRIM - PAINTED
- (N) ALUMINUM EXTERIOR CLAD WINDOWS
- (N) WOOD EXTERIOR DOORS - STAINED
- (N) 2x WOOD FASCIA - PAINTED
- (N) ALUM PAINTED GUTTERS AND RAIN WATER LEADERS
- (N) EXTERIOR WALL SCONCES 25W MAX. 375 LUMENS
- (N) GARAGE DOOR

NOTE: SEE A8 FOR ATTACHMENT MATERIAL SAMPLES

PROJECT / CLIENT

DEMO and (N) REBUILD RESIDENCE

for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA
APN = 187 - 121 - 013

REVISIONS

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GREG CAREY
BUILDING DESIGNS

CARMEL-MONTEREY
PEBBLE BEACH

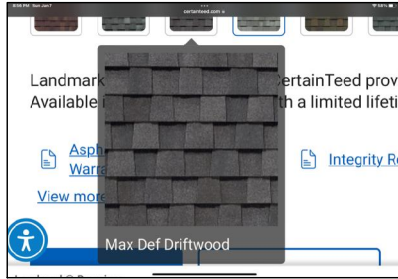
831-901-1765
GREGORYWILSONCAREY@YAHOO.COM

DRAWING TITLE

ELEVATIONS

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| DATE 11-2024 | SCALE AS SHOWN |
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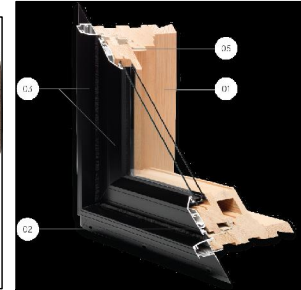
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ATTACHMENT 01



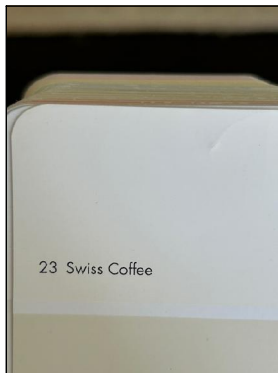
ATTACHMENT 02



ATTACHMENT 03



ATTACHMENT 04



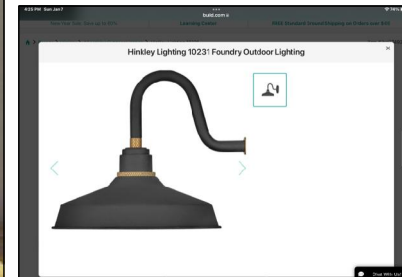
ATTACHMENT 05



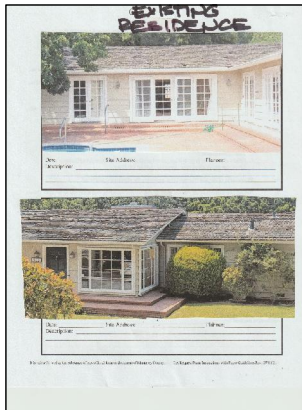
ATTACHMENT 06



ATTACHMENT 07



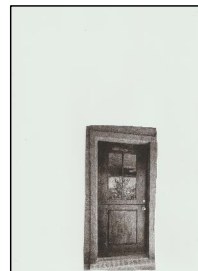
ATTACHMENT 08



EXISTING RESIDENCE



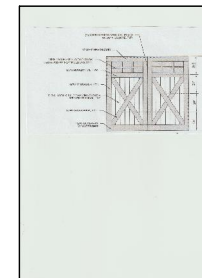
ATTACHMENT 09



ATTACHMENT 10



ATTACHMENT 11



ATTACHMENT 12



ATTACHMENT 13

PROJECT / CLIENT

**DEMO and (N) REBUILD RESIDENCE
for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA
APN = 187 - 121 - 013**

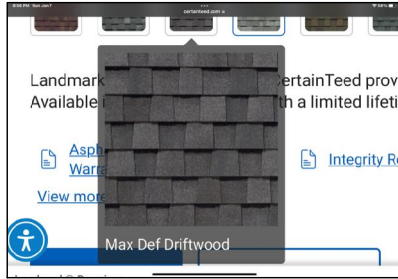
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GREG CAREY
BUILDING DESIGNS
•
CARMEL-MONTEREY
PEBBLE BEACH
•
831-901-1765
GREGORYWILSONCAREY@YAHOO.COM

**ATTACHMENT
MATERIAL
SAMPLES**

DATE 11-2024 SCALE AS SHOWN
DRAWN BY FILE NUMBER

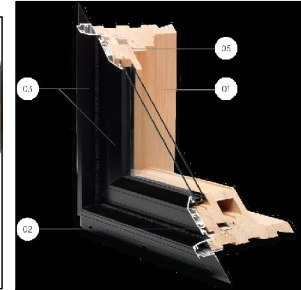
A8



ATTACHMENT 01



ATTACHMENT 02



ATTACHMENT 03



ATTACHMENT 04



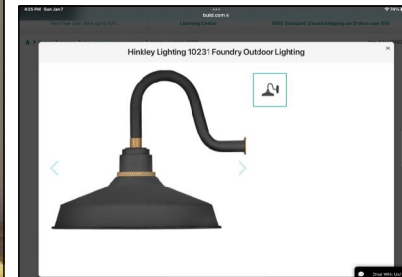
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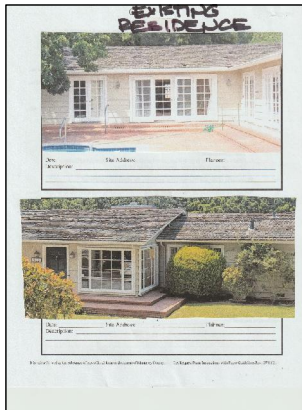
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ATTACHMENT 07



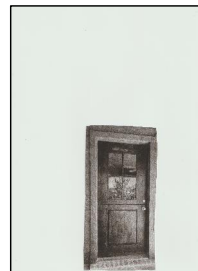
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EXISTING RESIDENCE



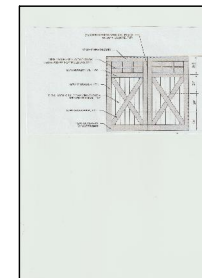
ATTACHMENT 09



ATTACHMENT 10



ATTACHMENT 11



ATTACHMENT 12



ATTACHMENT 13

PROJECT / CLIENT

**DEMO and (N) REBUILD RESIDENCE
for
GREG COSMERO
22 LA RANCHERIA, CARMEL VALLEY, CA
APN = 187 - 121 - 013**

| REVISIONS |
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BUILDING DESIGNS
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831-901-1765
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**ATTACHMENT
MATERIAL
SAMPLES**

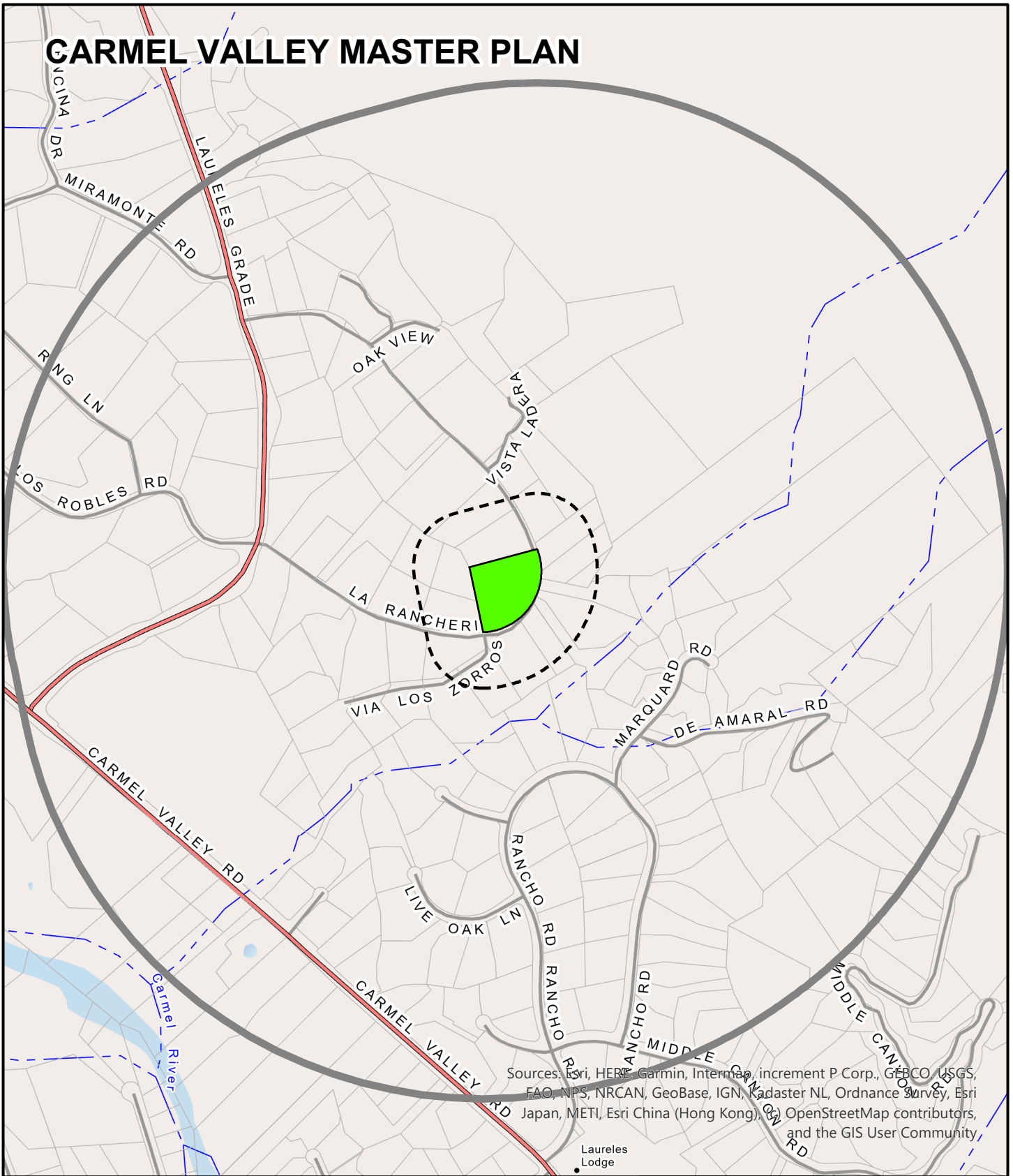
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A8

Exhibit C

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CARMEL VALLEY MASTER PLAN





APPLICANT: GREG COSMERO

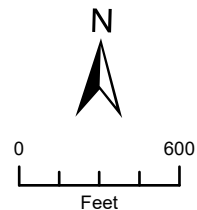
APN: 187121013000

FILE # PLN240348

 Project Site

 300 FT Buffer

 2500 FT Buffer



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County of Monterey

Item No.4

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-067

December 03, 2025

Introduced: 11/24/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250127 - YANG PHILLIP & YANG MARIKO TRS

Administrative hearing to consider action on the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

Project Location: 3332 Ondulado Road, Pebble Beach, CA 93953

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption from CEQA Guidelines section 15302, and that none of the exceptions from Section 15300.2 apply to the project; and
- b. Approve the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Sonia Madrigal

Property Owner: Phillip & Mariko Yang

APN: 008-302-025-000

Parcel Size: 65,340 square feet

Zoning: Low Density Residential, 1.5 acres per unit with a Design Control overlay, and Low Density Residential, with Building Site 6 and Design Control overlays, Coastal Zone, or "LDR/1.5-D(CZ)|LDR/B-6-D(CZ)"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY

Staff is recommending approval of a Coastal Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3rd, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services
Environmental Health Bureau
HCD - Environmental Services
Pebble Beach Community Services District

Prepared by: Jordan Evans-Pollockow, Assistant Planner, x7065
Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

Exhibit C - Del Monte Forest LUAC Meeting Minutes

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Pollockow, Planner; Fionna Jensen, Principal Planner; Phillip & Mariko Yang Trs, Property Owners; Sonia Madrigal, Agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN250127



Administrative Permit

Legistar File Number: AP 25-067

December 03, 2025

Introduced: 11/24/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250127 - YANG PHILLIP & YANG MARIKO TRS

Administrative hearing to consider action on the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

Project Location: 3332 Ondulado Road, Pebble Beach, CA 93953

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption from CEQA Guidelines section 15302, and that none of the exceptions from Section 15300.2 apply to the project; and
- b. Approve the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Sonia Madrigal

Property Owner: Phillip & Mariko Yang

APN: 008-302-025-000

Parcel Size: 65,340 square feet

Zoning: Low Density Residential, 1.5 acres per unit with a Design Control overlay, and Low Density Residential, with Building Site 6 and Design Control overlays, Coastal Zone, or "LDR/1.5-D(CZ)|LDR/B-6-D(CZ)"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY

Staff is recommending approval of a Coastal Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3rd, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services
Environmental Health Bureau
HCD - Environmental Services
Pebble Beach Community Services District

Prepared by: Jordan Evans-Pollockow, Assistant Planner, x7065
Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

Exhibit C - Del Monte Forest LUAC Meeting Minutes

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Pollockow, Planner; Fionna Jensen, Principal Planner; Phillip & Mariko Yang Trs, Property Owners; Sonia Madrigal, Agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN250127

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

YANG PHILLIP & YANG MARIKO TRS (PLN250127)

RESOLUTION NO. 25-062

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

[PLN250127 Yang Phillip Chung-Ming, 3332 Ondulado Rd, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-302-025-000)]

The YANG PHILLIP CHUNG-MING application (PLN250127) came on for an administrative decision before the County of Monterey Chief of Planning on December 3rd, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan; a
 - Del Monte Forest Coastal Implementation Plan Part 5; and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 3332 Ondulado Rd, Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Number 008-302-025-000). The parcel is zoned Low Density Residential, 1.5

acres per unit with a Design Control overlay, Coastal Zone, or “LDR/1.5-D(CZ)”, which allows for the establishment of a first single family dwelling as a principally allowed use, subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval for all structures. The proposed project involves the demolition of a 2,592 square foot single-family residence and construction of a 3,382 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements, including 6,426 square feet of a new pervious driveway, the removal of one acacia tree, 10 yards of grading cut, and 50 cubic yards of grading fill. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property (65,340 square feet), APN: 008-302-025-000, is identified in its current configuration at Lot No. 1 on a Final Map entitled “Map of Par Ro El Pescadero” within Griffin Property Minor Subdivision, recorded on April 5th, 1991 (Vol. 18, Page 106). Therefore, the County recognizes this lot as a legal lot of record.
- d) Development Standards. The project meets all required development standards for Low Density Residential zoning district, which are identified in Title 20 section 20.14.060. Pursuant to Title 20 section 20.14.030.F, the required setbacks are 30 feet (front), 20 percent (side), and 20 feet (rear). The proposed single-family dwelling will generously meet the front setback at 114 feet 2 inches, side setbacks of 115 feet and 3 inches to the west and 122 feet 9 inches to the east, and a rear setback of 63 feet 6 inches. The LDR zoning district allows a maximum height of 30 feet for main structures, and the proposed single-family dwelling will have a height of 26 feet 1 inch. The LDR zoning district allows a maximum building site coverage of 15% and the allowed Floor Area Ratio (FAR) is 17.5%. The subject property is 65,340 square feet and thus allows a site coverage of 9,801 square feet and an FAR of 11,434.5 square feet. The proposed project will have a building site coverage of 3,408 square feet or 5.21% and an FAR of 3,382 square feet, or 5.17%. Therefore, the project meets all required development standards.
- e) Site Access. Pursuant to DMF LUP Policy 1, the proposed driveway provides simple and direct access, which incorporates pervious decomposed granite to ensure runoff is minimized.
- f) Design/Neighborhood and Community Character. The project site and surrounding area are designated as being within a Design Control District or “D” overlay subject to the regulations outlined in Title 20 Chapter 20.44, which is intended to regulate the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. The proposed structure is a blend of mountain modern and northwest contemporary design, which is compatible with the varying architectural styles of nearby residences (ranging from Mediterranean to modern ranch to standard modern). The exterior design includes colors and materials of smooth stucco siding in a beige color, western red cedar wood siding, a rusty autumn and gray stack stone wall cladding, cool stone single-ply PVC roofing, and clear aluminum window finishings. The entrance gate and property line fence will consist of vertical wood and natural stone

columns. The exterior finishes will not detract from the surrounding environment and are consistent with the surrounding residential neighborhood character.

DMF LUP Figure 3 identifies the subject property to be within the public viewshed when viewed from Point Lobos, a public viewing area pursuant to DMF LUP Policy 47. Although the subject property is identified to be within the viewshed from Point Lobos, the proposed development is not visible from public access areas and vista points, or along ridgelines, as the staking required by DMF CIP section 20.147.070.A.1 and flagging was provided which showed the subject property was not visible from Point Lobos. Additionally, existing topography and vegetation screen the subject property from both Highway 1 and Point Lobos. Consistent with the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited and conditioned in a manner to ensure minimal visibility from any scenic areas. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP and Title 20.

- g) Pescadero Watershed Coverage Limitation. The subject property is located within the Pescadero Watershed (Area of Drainage of Carmel Area A.S.B.S). DMF LUP Policy 77 states that new residential development within the Pescadero Watershed is limited to a maximum of 9,000 square feet of site coverage, including both structural and other impervious surface coverage. The proposed development has 2,480 square feet of impervious coverage and thus will be below the maximum allowed impervious coverage listed DMF LUP Policy 77 and in CIP section 20.147.030. The proposed single-family dwelling of 2,813 square feet is larger than the impervious surface due to the house being two stories, with the first floor being 1,234 square feet, and the second floor 1,579 square feet. Therefore, the proposed project complies with the maximum impervious coverage for the Pescadero Watershed.
- h) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property to a high archaeological sensitivity. Pursuant to CIP Part 5 section 20.147.080.B.1, a Phase I Archaeological Survey (County of Monterey Library No. LIB250278) was prepared. The survey found no indicators of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Historical Resources. The property contains an existing structure over 50 years of age that once a stable that was converted into a caretaker's cottage is to be demolished. Pursuant to General Plan section CIP Part 5 20.147.080.B.1, a Phase One Historical Assessment Evaluation (County of Monterey Library No. LIB250280) was conducted. The assessment deemed that the subject property cannot be considered a historic

resource as defined by the California Environmental Quality Act (CEQA). Therefore, the project will not impact any historical resources.

- j) Land Use Advisory Committee (LUAC) Review. County staff referred the project to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on October 16th, 2025, and continued the item due to the number of public comments against the proposed project. The project returned to the LUAC on November 6, 2025, to resolve the concerns of the comments received, resulting in a 4-0 vote made by the LUAC.
- k) The project planner conducted a site inspection on October 21st, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Archaeological Resources, Geotechnical Resources, and Historical Resources. The following reports have been prepared:
 - “Phase I Archaeological Assessment” (County of Monterey Library No. LIB250278) prepared by Susan Morley, Marina, CA, March 18th, 2025.
 - “Geotechnical Investigation” (County of Monterey Library No. LIB250279) prepared by Butano Geotechnical Engineering Inc, Watsonville, CA, June 9th, 2025.
 - “Historical Evaluation” (County of Monterey Library No. LIB250280) prepared by Margaret Clovis, Salinas, CA, March 3rd, 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on October 14th, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Domestic water and sewage services are currently, and will continue to be, provided by California American Water Company (Cal Am) and the Pebble Beach Community Services District. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Potable water is provided by the Cal Am.
 - c) Staff conducted a site inspection on October 14th, 2025, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.
4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 14th, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

- b) The replacement single-family dwelling and garage will have the same residential purpose and capacity as the original structures. In comparison to the existing residence, the replacement residence's footprint is shifted towards the center of the property, but still within an area previously disturbed. Therefore, the proposed project meets the Class 2 Categorical Exemption requirements.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The historical report concluded that the existing main residence has no historical significance or integrity. The Phase I archaeological report concluded that there will be no impact on archaeological resources with the implementation of the project. Construction of the proposed residential development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on October 14th, 2025.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.

- 6. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where Major Public Access & Recreational Facilities requires visual or physical public access, but is not visible from (Figure 8, DMF LUP).
 - d) As proposed, the development project will not interfere with visual access from or to 17-Mile Drive and nearby designated vista points. The proposed development is consistent with DMF LUP Policies 123 and 137

and will not block significant public views towards the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. As proposed, the project is consistent with the applicable visual resource and public access policies of the DMF LUP.

- e) The project planner completed a site inspection on October 21st, 2025, to verify that the proposed project would not impact public access. The project planner also reviewed plans to verify that the proposed development will not impact public access or visual resources/access. See evidence “d” above. See also Finding No. 1 and supporting evidence.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250127.

7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors
 - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15300.2, and there are no exceptions pursuant to Section 15300.2;
2. Approve the Coastal Administrative Permit and Design Approval to allow demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage, and associated site improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 3rd day of December 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.
THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250127

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN250127) to allow for the demolition of a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage. The property is located at 3332 Ondulado Rd, Pebble Beach (Assessor's Parcel Number 008-302-025-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-302-025-000 on December 3rd, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

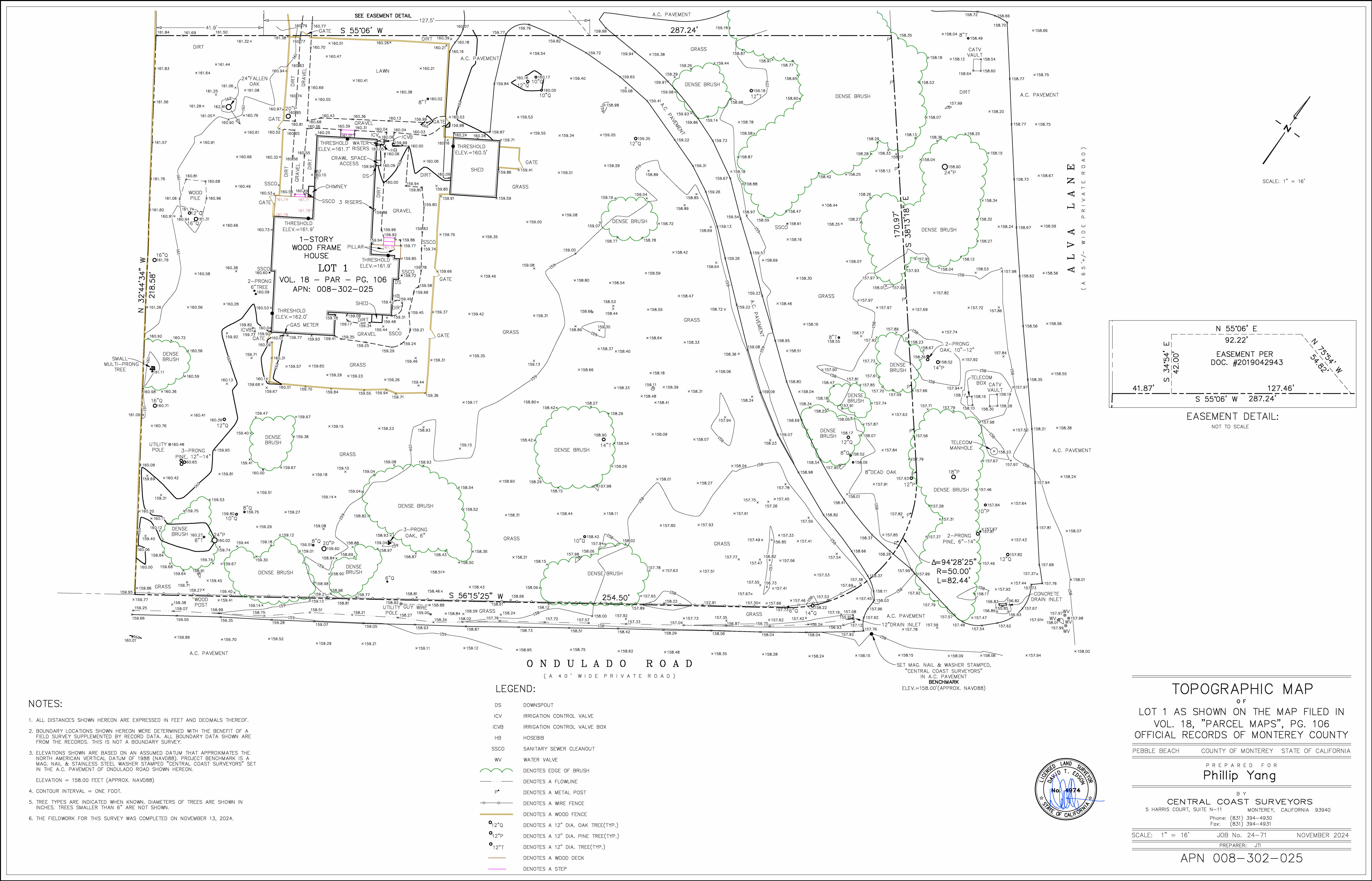
8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

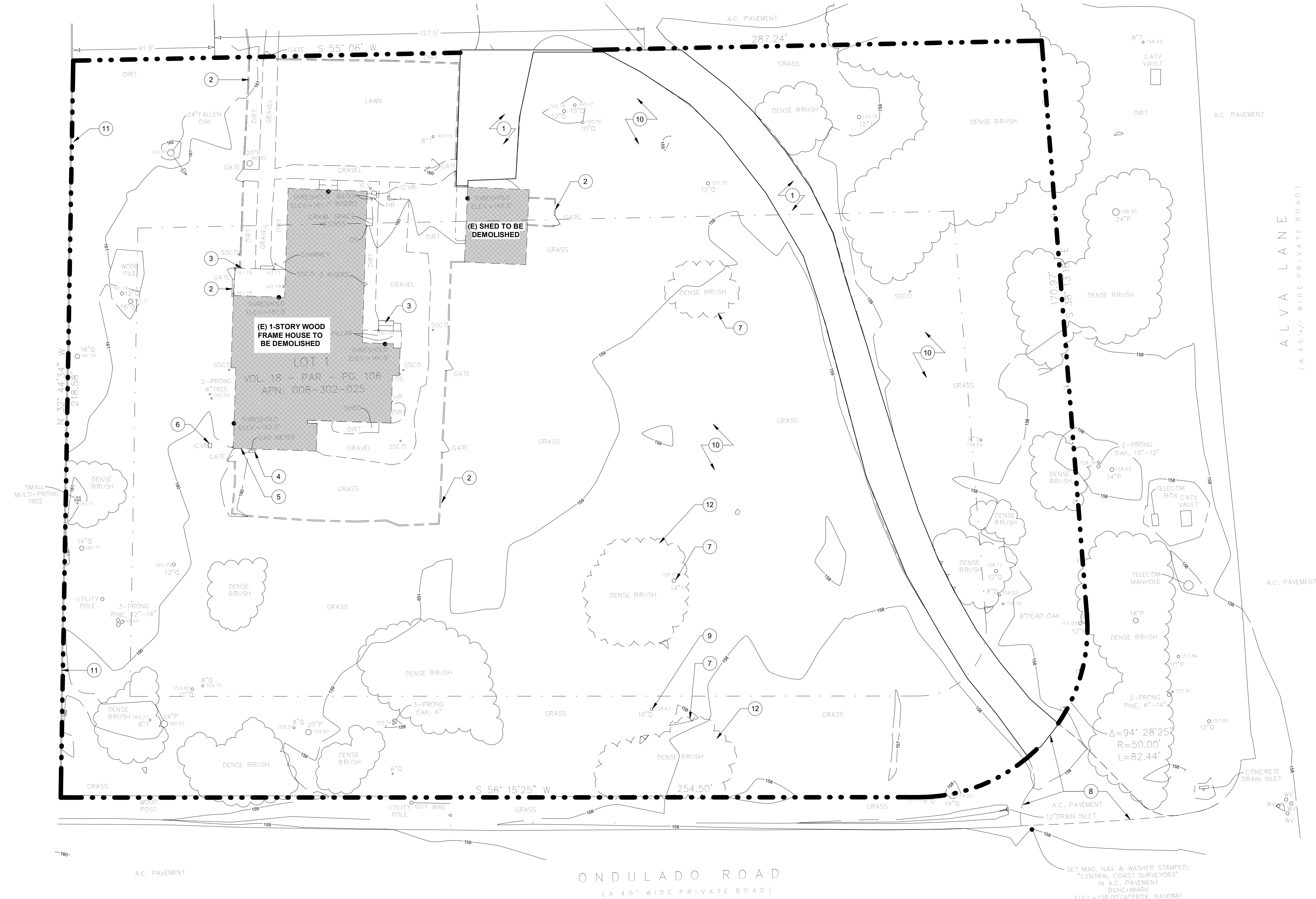
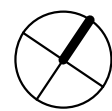
Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepare by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

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KEYNOTES - EXISTING/DEMO SITE PLAN

- 1 REMOVE (E) A.C. PAVEMENT
- 2 DEMO (E) WOOD FENCE AND GATE
- 3 DEMO (E) WOOD DECK
- 4 REMOVE (E) GAS METER AND RELOCATE. REFER TO 1 / A1.1 FOR NEW LOCATION.
- 5 REMOVE (E) ELECTRICAL PANEL AND RELOCATE. REFER TO 1 / A1.1 FOR NEW LOCATION.
- 6 CUT AND ABANDON (E) IRRIGATION CONTROL
- 7 (E) 14" DIA. ACACIA TREE TO BE REMOVED, NOT A PROTECTED SPECIE
- 8 REMOVE (E) A.C. PAVEMENT AND RESTORE TO NATIVE VEGETATION
- 9 (E) OAK TREE TO REMAIN, PROTECT DURING CONSTRUCTION
- 10 (E) GRASS MEADOW TO REMAIN. RESTORE TO NATIVE VEGETATION IN AREAS AFFECTED BY DEMOLITION IF POSSIBLE.
- 11 (E) WOOD FENCE ALONG WEST PROPERTY LINE TO REMAIN
- 12 REMOVE DENSE BUSH AND SHRUBS

SITE PLAN EXT/DEMO - LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING GROUND CONTOUR (1' INTERVAL)



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940
Ph: 831.649.6001
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| Date | 2025-11-03 | |
| Scale | As indicated | |
| Drawn by | EB | |
| Project number | 24.07 | |
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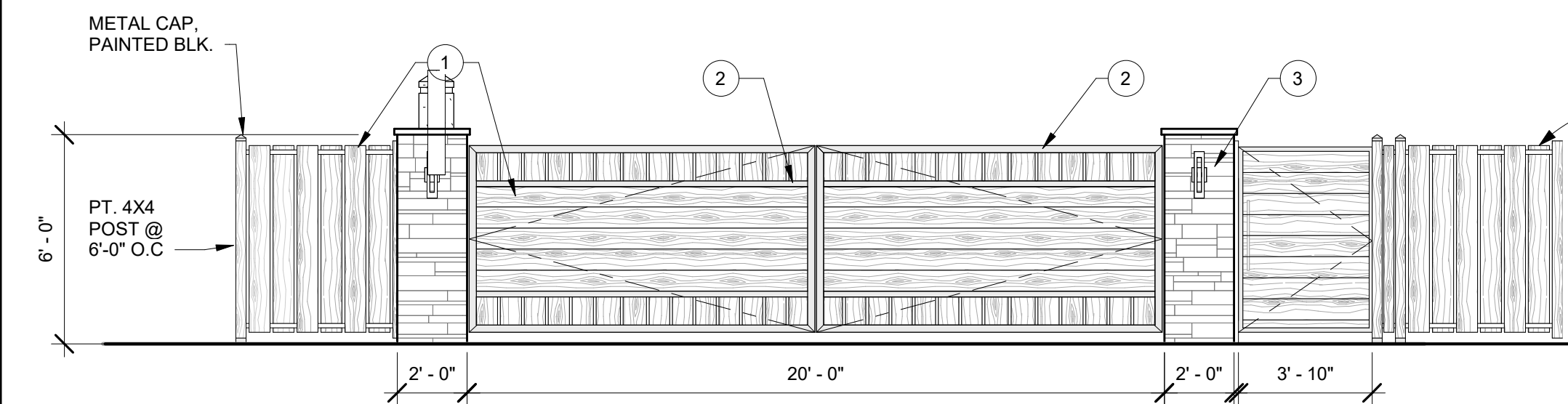
EXISTING AND DEMOLITION SITE PLAN

YANG. YOSHIHARA RESIDENCE

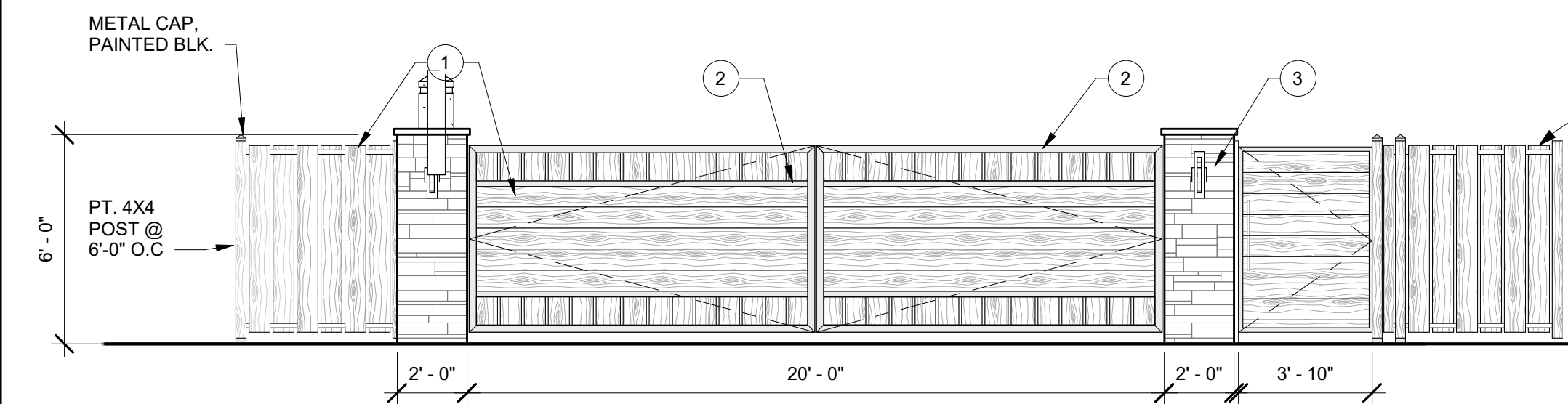
3332 Ondulado RD
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A.P.N. 008-302-025-000

A1.0

1 Site Plan - Proposed
1/16" = 1'-0"

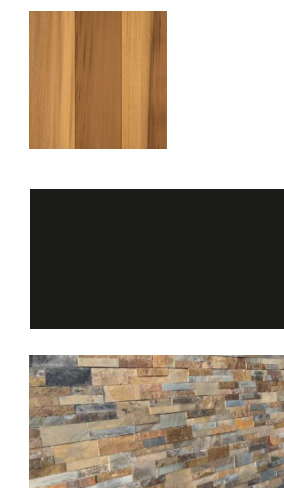


2 FRONT GATE - SOUTH
1/4" = 1'-0"



GATE MATERIAL PALETTE

- WOOD FENCE**
CONSTRUCTION GRADE RED WOOD
COLOR: NATURAL WEATHERED
- METAL**
GALVANIZED STEEL
COLOR: PAINTED BLACK
- STONE WALL**
LEDGE STONE
RANDOM RUNNING BOND
COLOR: VARIABLE BLEND
LIGHT GRAY GROUT



KEYNOTES - PROPOSED SITE PLAN

- (N) GAS METER LOCATION
- (N) ELECTRIC METER LOCATION
- (N) TREE, REFER TO SHEET L1 FOR ADDITIONALLY INFORMATION
- (N) DG DRIVEWAY (PERMEABLE)
- (N) CONCRETE APRON (IMPERMEABLE)
- (N) CONCRETE WALKWAY, BROOM BRUSH
- (N) 6'-0" STONE PIERS
- (N) MECHANICAL GATE
- (N) 3'-10" X 6'-0" MAN DOOR
- (N) 6'-0" WOOD FENCE
- (E) DENSE SHRUB TO REMAIN, TYP.
- (E) TREE TO REMAIN, TYP.
- (E) OAK TREE TO REMAIN, PROTECT DURING CONSTRUCTION
- (E) 14" DIA. ACACIA TREE TO BE REMOVED, NOT A PROTECTED SPECIE
- (N) 4X8 PERMEABLE INTERLOCKING CONCRETE PAVERS, CALSTONE NARROW JOINT PERMEABLE MISSION
- CONSTRUCTION PARKING WITHIN PROPERTY LINE
- (E) GRASS MEADOW TO REMAIN. RESTORE TO NATIVE VEGETATION IN AREAS AFFECTED BY CONSTRUCTION
- TRASH / RECYCLE BIN ENCLOSURE, 2X4 WOOD FENCE, 4'-6" HIGH
- NON-STRUCTURAL SITE WALL - LEDGE STONE, RANDOM RUNNING BOND
- 6X6 PLANTER WELLS
- WESTERN RED CEDAR DECK AND STAIRS
- (N) DG WALKWAY
- GATE ENTRY KEYPAD SYSTEM
- DRIVEWAY GATE OPERATOR AND JUNCTION BOX
- VEHICLE MOTION DETECTOR PROBE

EXTERIOR LIGHTING



WALL SCONCE LED
SKU: 944724
INSTALLATION TYPE: WALL MOUNT
MATERIAL: ALUMINUM
WIDTH: 5"
DEPTH: 4"
BASE PLATE HEIGHT: 5"
NUMBER OF BULBS: 2
BASE PLATE WIDTH: 5"
BULB TYPE: INTEGRATED LED
WATTAGE PER BULB: 8
CANOPY/BACKPLATE DEPTH: 1:
VOLTAGE: 120V
COLOR TEMPERATURE (KELVIN): 3,000K
COLOR RENDERING INDEX: 80
LUMENS: 754
DIMMABLE: YES



PATH LIGHT LED
SKU: 15601BKT
INSTALLATION TYPE: IN-GROUND 8"
MATERIAL: CAST ALUMINUM
WIDTH: 8"
LENGTH: 26.2"
SQUARE STEM: 1.25"
BULB TYPE: INTEGRATED LED AND DRIVER
WATTAGE: 4W/5.8 VA
VOLTAGE: 9V - 15V AC/DC
COLOR TEMPERATURE (KELVIN): 2,950K
(-150/+175), HIGH CRI
LUMENS: 754
DIMMABLE: YES



RECESSED LED
SKU: AL-RL-S-52-12
INSTALLATION TYPE: RECESSED
MATERIAL: ALUMINUM ALLOY
WIDTH: 5 5/16" DIAMETER
LENGTH: 2 11/16" TALL
BULB TYPE: 12 HIGH POWER 1 WATT LEDS
WATTAGE: 12
VOLTAGE: 12 VDC
COLOR TEMPERATURE (KELVIN): 3,000K
LUMENS: UP TO 1,220
DIMMABLE: YES

SITE PLAN PROPOSED - LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING GROUND CONTOUR (1' INTERVAL)
- PROPOSED GROUND CONTOUR (1' INTERVAL)
- NEW WOOD FENCE
- OUTDOOR PATH LIGHT LED
- OUTDOOR WALL SCONCE LED
- OUTDOOR RECESSED LED

PROPOSED SITE PLAN

YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

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| Project number | 24.07 | |
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ARCHITECTURE

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PROPOSED SITE PLAN

YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000



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project number 24.0

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YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A P N 008-302-025-000

A1.2



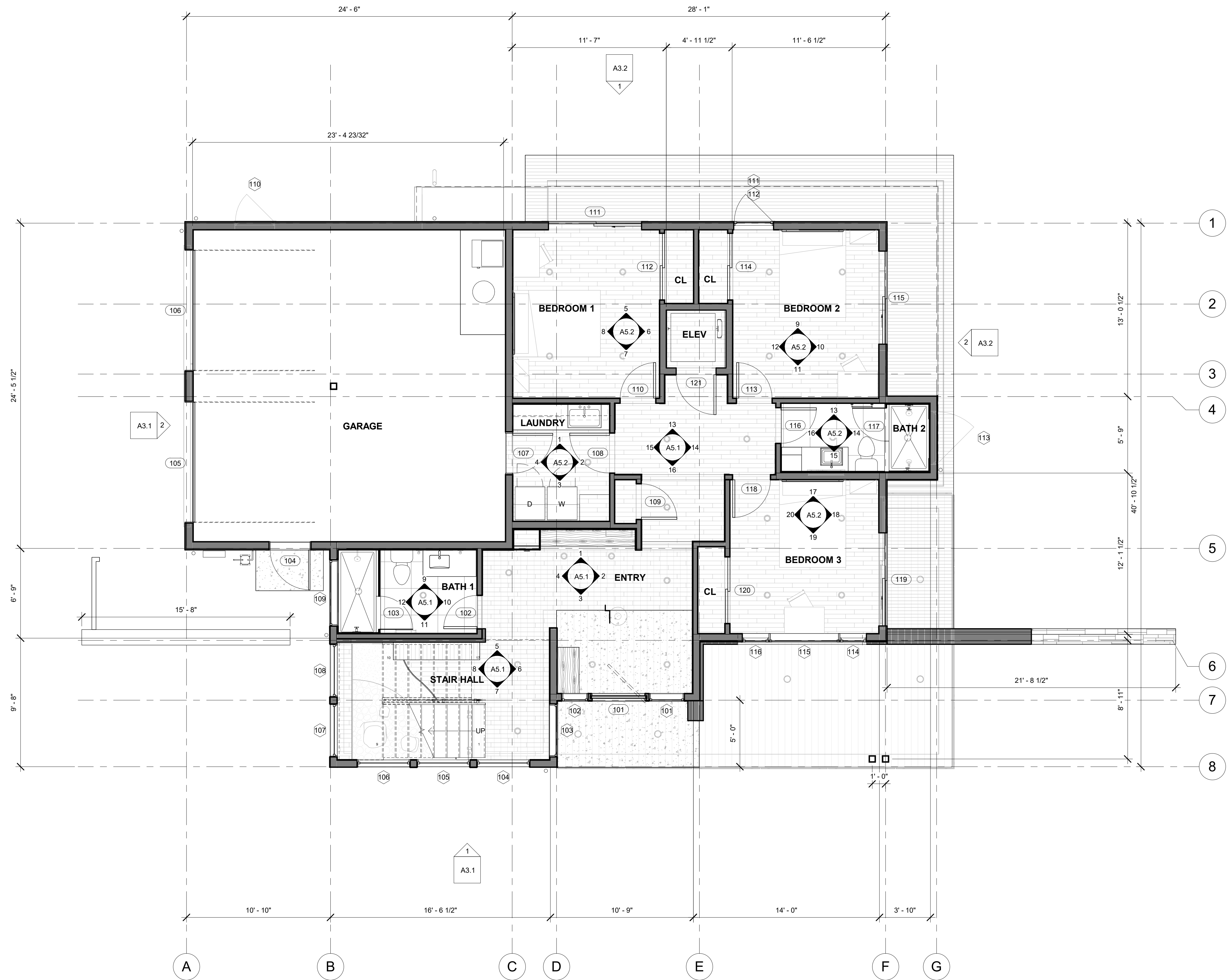
-
- PROPERTY LINE
- SETBACK
- EXISTING GROUND CONTOUR (1' INTERVAL)
- PROPOSED GROUND CONTOUR (1' INTERVAL)
- NEW WOOD FENCE
- NATURAL VEGETATION TO BE RETAINED
- EMBER RESISTANT ZONE (0-5 FEET)
- GREEN ZONE (5-30 FEET)
- MANAGEMENT ZONE (30+ FEET)
- EXISTING TREE TO REMAIN
- 12" Q
 - 12" P
 - 12" T

REFER TO SHEET L1 FOR ADDITIONAL
LANDSCAPE INFORMATION

1 Site Plan - Fuel Management Plan
1/16" = 1'-0"

11/9/2025 4:29:42 PM

1 Main Floor F.F.
1/4" = 1'-0"





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SECOND FLOOR PLAN

YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

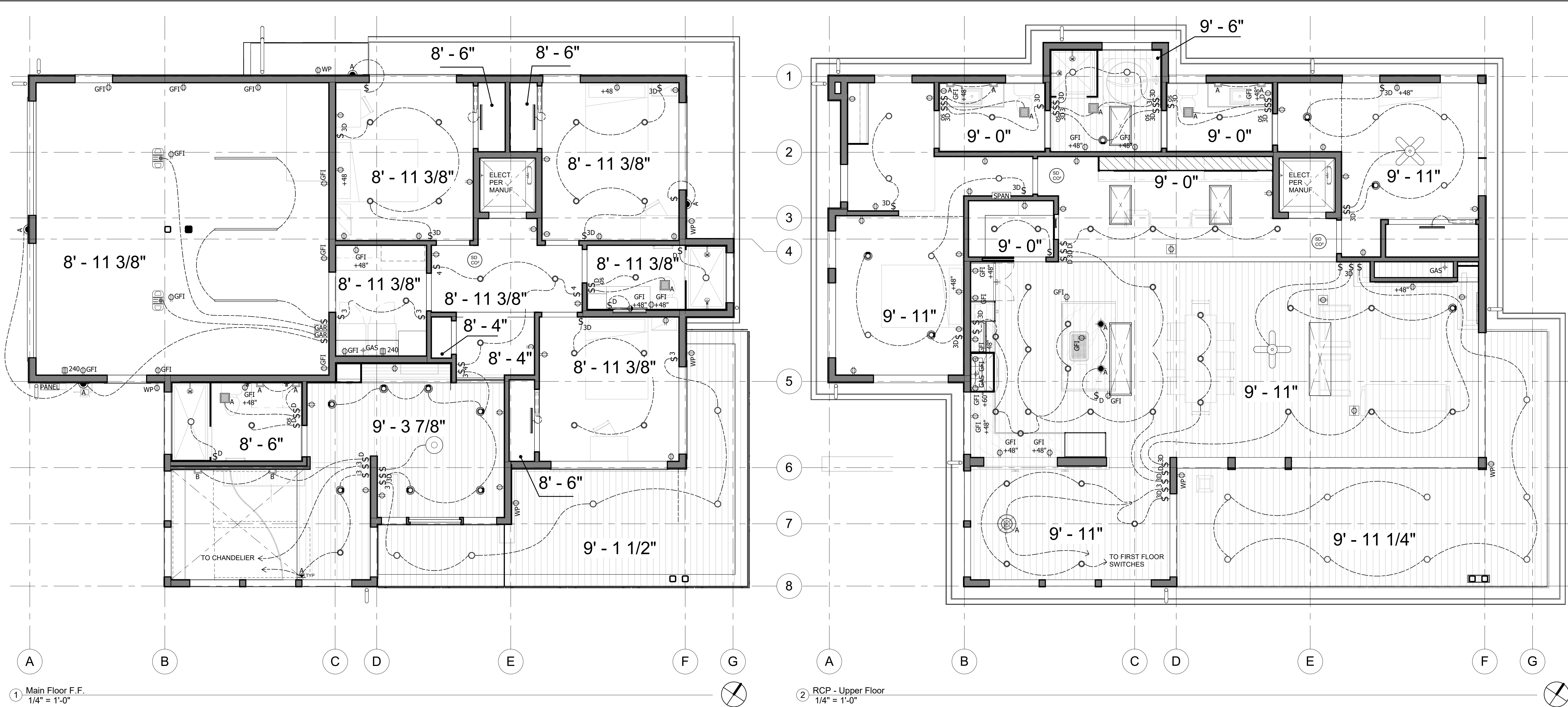
A2.2



NEW WOOD FRAMED WALL



① Upper Floor
1/4" = 1'-0"



ELECTRICAL LEGEND/SCHEDULE

| | ITEM | MFGR. | ITEM | NOTES |
|------------------------------|------------------------------------|-------------------|----------------|--------------------------------------------|
| \$ | SWITCH | LEVITON, OR EQUAL | DECORA - WHITE | TOGGLE SWITCH |
| \$ ³ | THREE-WAY SWITCH | LEVITON | DECORA - WHITE | TOGGLE SWITCH |
| \$ _D | DIMMER SWITCH | LEVITON | DECORA - WHITE | TOGGLE SWITCH W/ SLIDE DIMMER |
| \$ _D ⁰ | DIMMER SWITCH & OCCUPANCY SENSOR | LEVITON | DECORA - WHITE | TOGGLE SWITCH W/ MANUAL ON - AUTOMATIC OFF |
| \$ _G | GARAGE DOOR MOTOR SWITCH | LEVITON | DECORA - WHITE | TOGGLE SWITCH |
| \$ ⁴ | FOUR-WAY SWITCH | LEVITON | DECORA - WHITE | TOGGLE SWITCH W/ SLIDE DIMMER |
| | PRESSURE SWITCH BUTTON | TBD | TBD | |
| ⊕ | DUPLEX OUTLET | LEVITON | DECORA - WHITE | |
| ⊕ | QUADPLEX OUTLET | LEVITON | DECORA - WHITE | |
| ⊕GFI | DUPLEX OUTLET, GFCI | LEVITON | DECORA - WHITE | GROUND FAULT CIRCUIT INTERRUPTER |
| ⊕WP | DUPLEX OUTLET, WATER PROOF | LEVITON | DECORA - WHITE | GROUND FAULT CIRCUIT INTERRUPTER |
| ⊕ | DUPLEX OUTLET, HALF HOT | LEVITON | DECORA - WHITE | |
| ⊕ | DUPLEX OUTLET, IN-FLOOR WITH COVER | TBD | TBD | |
| 240 | 240V OUTLET | TBD | TBD | |
| PANEL | ELECTRICAL PANEL | TBD | TBD | |
| SPAN | ELECTRICAL SUBPANEL | TBD | TBD | |
| GAR | GARAGE DOOR OPERATOR | TBD | TBD | |
| GD | GARBAGE DISPOSAL | TBD | TBD | |

MECHANICAL LEGEND/SCHEDULE

| | ITEM | MFGR. | ITEM | NOTES |
|------|----------------|-------------------|-------------------------|---------|
| +GAS | GAS CONNECTION | BY CONTRACTOR | | |
| | EXHAUST FAN | PANASONIC (OR EQ) | WHISPERCEILING FV-20VQ3 | 190 CFM |

LIGHTING LEGEND/SCHEDULE

| | ITEM | MFGR. | MODEL/ COLOR. | NOTES |
|---|--------------------------------------|-------------------|---------------------------------|----------------------------------------------------|
| ○ | RECESSED CAN LIGHT #1 | HALO | H457ICAT1E - EL406930 - TL411WB | 3000K LIGHT, WHITE BAFFLE/TRIM |
| ○ | RECESSED CAN LIGHT #2 (WET LOCATION) | HALO | H457ICAT1E - EL406930 - TL422PS | 3000K LIGHT, WHITE BAFFLE, PRISMATIC CLEAR LENS |
| ⊙ | RECESSED CAN LIGHT #3 (DIRECTIONAL) | HALO | H457ICAT1E - ELG406930WH | ADJUSTABLE GIMBAL 35 TILT, 3000K LIGHT, WHITE TRIM |
| ● | HANGING PENDANT (LED) | BY OWNER | BY OWNER | TBD |
| ● | HANGING PENDANT (LED) | BY OWNER | BY OWNER | TBD |
| | CHANDELIER (LED) | BY OWNER | BY OWNER | TBD |
| | WALL SCONCE | CONT. LIGHTING | BY OWNER | TBD |
| | WALL SCONCE | BY OWNER | BY OWNER | TBD |
| | WALL SCONCE (EXTERIOR) (LED) | CONT. LIGHTING | BY OWNER | TBD |
| | WALL SCONCE (EXTERIOR) (LED) | CONT. LIGHTING | BY OWNER | TBD |
| | STEP LIGHT (LED) | BY OWNER | BY OWNER | LED NOSE STRIP, TYP ON ALL RISERS |
| | FAN W/ LIGHT | BY OWNER | BY OWNER | TBD |
| | LED STRIP - VARIABLE LENGTH | DIODE LED OR SIM. | CHROMAPATHR BUNDLE: RECESSED | TBD |
| | WARDROBE LIGHT STRIP - 24" | BY OWNER | BY OWNER | TBD |

NOTE: ALL LIGHTS TO BE LED U.O.N

LOW VOLTAGE LEGEND/SCHEDULE

| | ITEM | MFGR. | ITEM | NOTES |
|--|----------------------------------------------------------------------------------------------|-------|------|-------|
| | COMBINATION CARBON MONOXIDE & SMOKE DETECTOR W/ PRIMARY POWER FROM BUILDING & BATTERY BACKUP | TBD | TBD | |



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940

Ph: 831.649.6001

WWW.H-arc.com

Date 2025-11-03

Scale 1/4" = 1'-0"

Drawn by Author

Project number 24.07

| No. | Description | Date |
|-----|-------------|------|
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REFLECTED CEILING PLANS

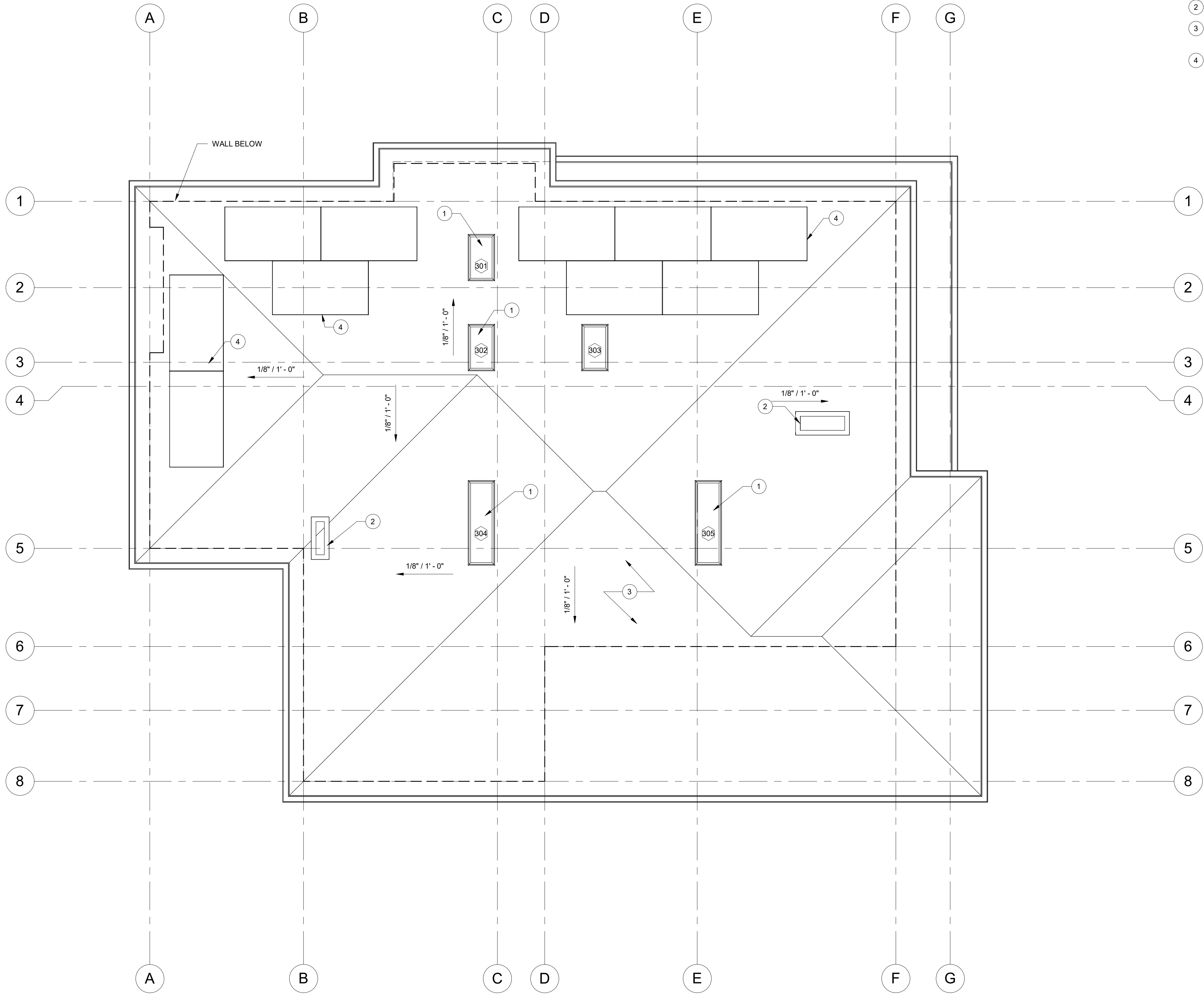
YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

A2.3

11/9/2025 4:22:06 PM

1 Roof Plan
1/4" = 1'-0"



KEYNOTES - ROOF PLAN

- 1 SKYLIGHT
- 2 CHIMNEY, METAL SHROUD
- 3 PVC SINGLE-PLY 60 MIL, SLOPED 1/8" PER FOOT
COLOR: COOL STONE
- 4 SOLAR PANELS; SUN POWER PERFORMANCE 3UPP
500-475 W OR SIMILAR



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Scale 1/4" = 1'-0"

Drawn by EB

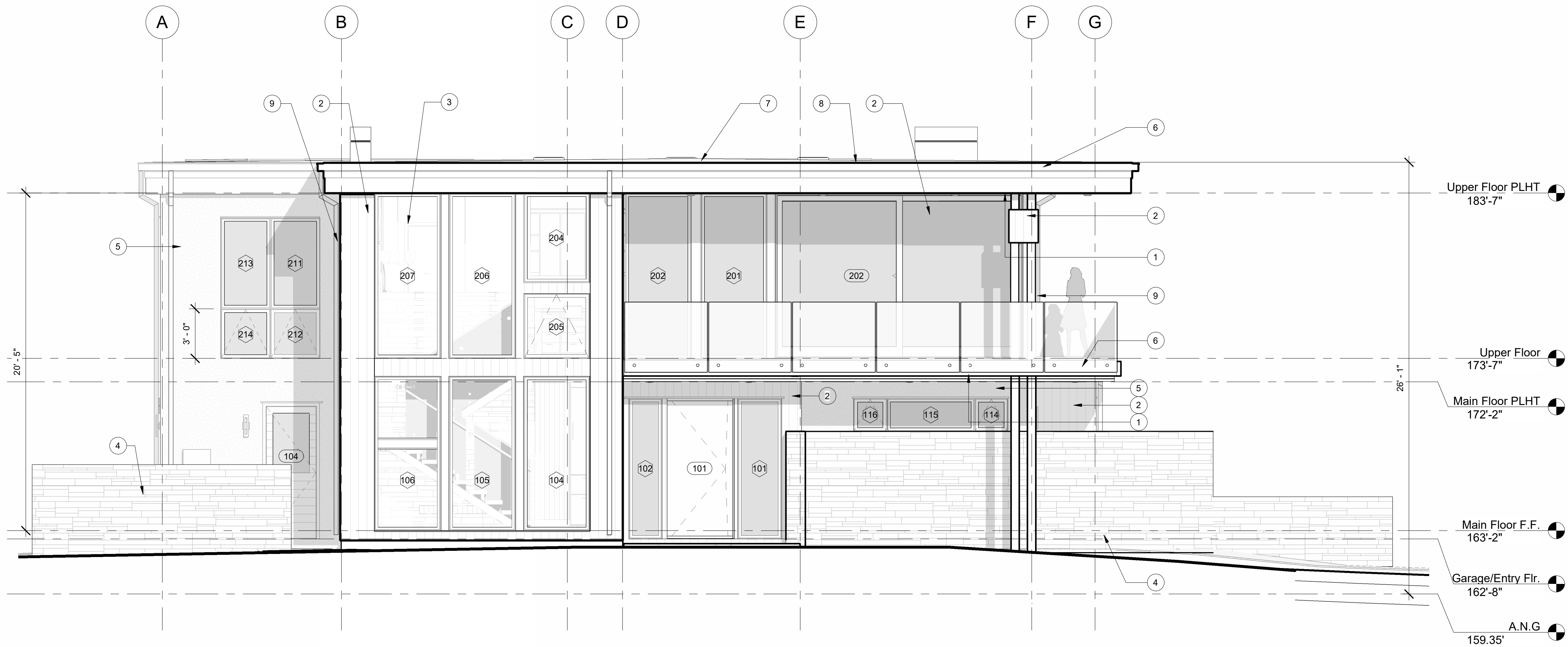
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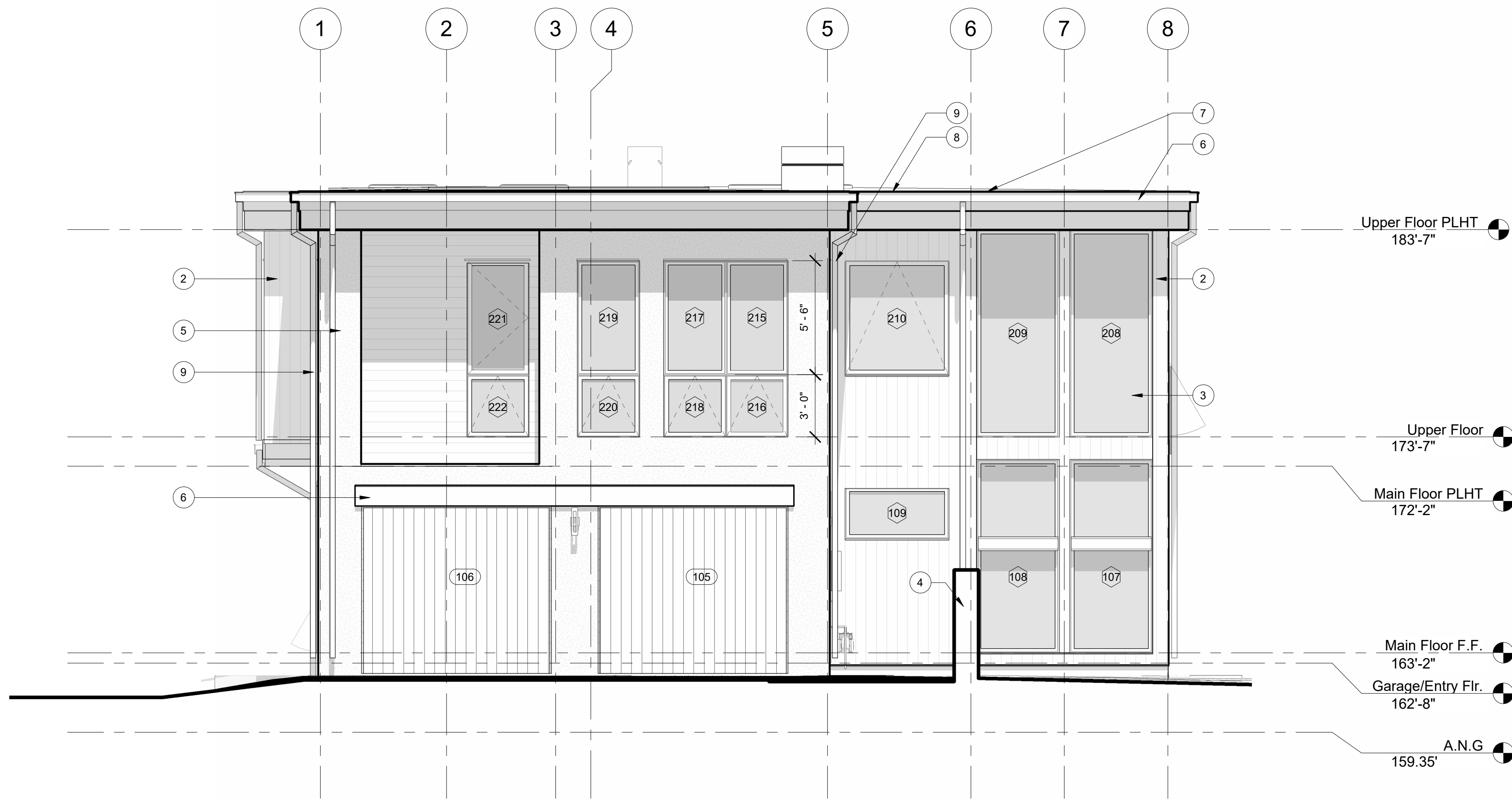
ROOF PLAN
YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

A2.4



1 South
1/4" = 1'-0"



2 West
1/4" = 1'-0"

EXTERIOR MATERIAL PALETTE

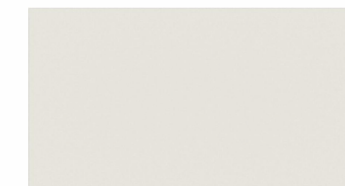
1 **SOFFIT WOOD SIDING**
TONGUE AND GROOVE
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE



2 **VERTICAL WOOD SIDING**
HARDIEPANEL FIBER CEMENT BOARDS, CEDARMILL VERTICAL SIDING
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE



3 **WINDOWS**
WOOD, ANODIZED ALUMINUM FINISH
COLOR: CLASS I CLEAR



4 **STONE WALL**
LEDGE STONE
RANDOM RUNNING BOND
COLOR: VARIABLE BLEND
LIGHT GRAY GROUT



5 **STUCCO**
SMOOTH TEXTURE
COLOR: SHERWIN WILLIAMS
GOLDEN FLEECE SW6388



6 **TRIM, FASCIA**
HARDIEPANEL FIBER CEMENT BOARD
COLOR: SHERWIN WILLIAMS
URBANE BRONZE SW7048



7 **ROOFING**
PVC SINGLE-PLY 60 MIL
COLOR: COOL STONE



8 **GUTTER**
FINISH TO MATCH FASCIA



9 **DOWNSPOUT**
COLOR: COPPER



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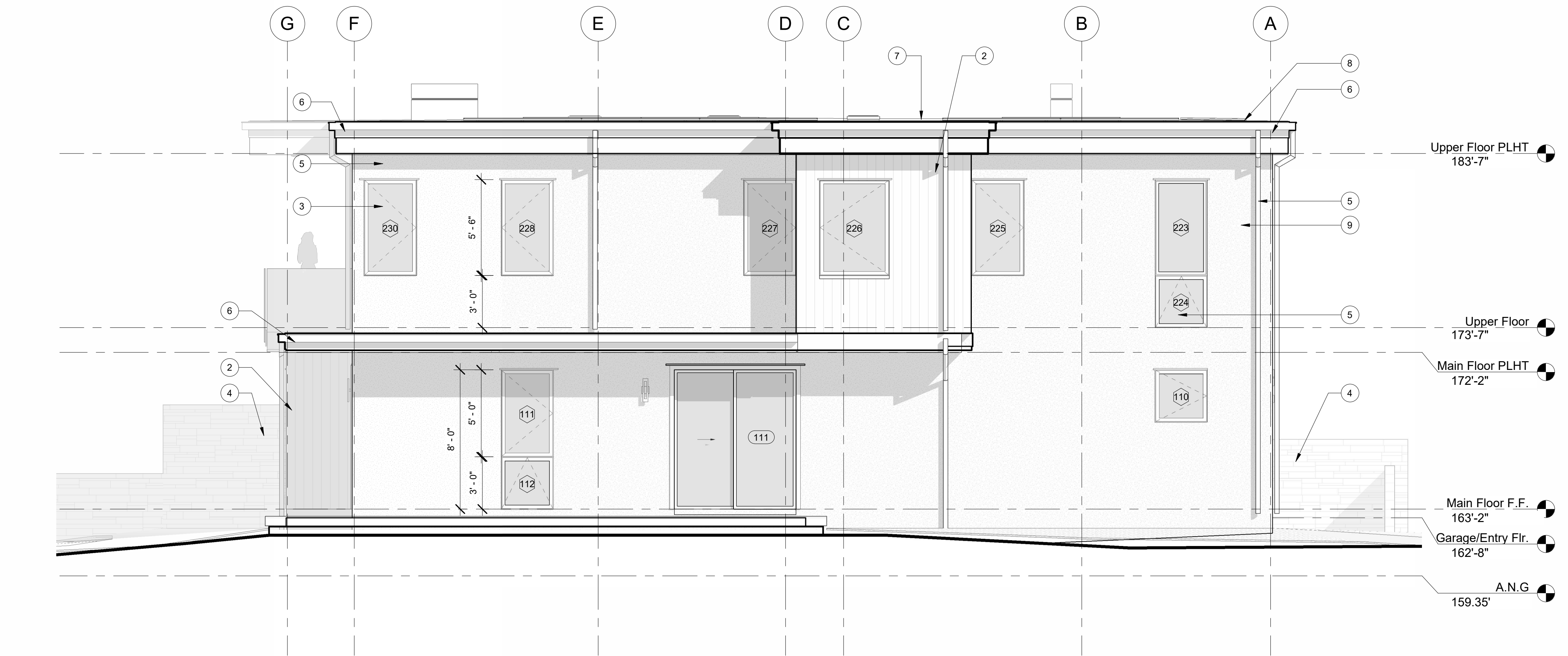
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EXTERIOR ELEVATIONS

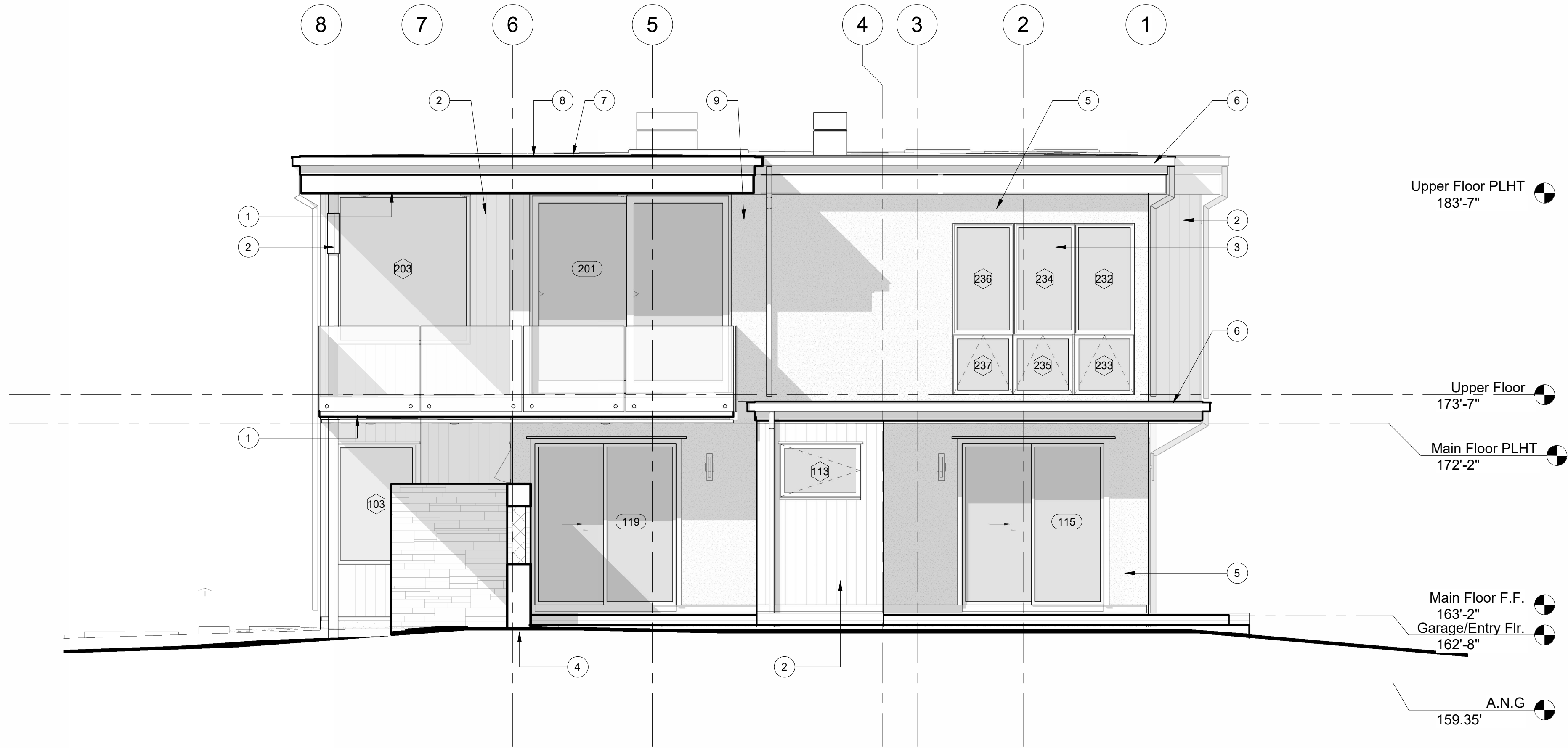
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A3.1



1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"

EXTERIOR MATERIAL PALETTE

- SOFFIT WOOD SIDING**
TONGUE AND GROOVE
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE
- VERTICAL WOOD SIDING**
HARDIEPANEL FIBER CEMENT BOARDS, CEDARMILL VERTICAL SIDING
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE
- WINDOWS**
WOOD, ANODIZED ALUMINUM FINISH
COLOR: CLASS I CLEAR
- STONE WALL**
LEDGE STONE
RANDOM RUNNING BOND
COLOR: VARIABLE BLEND
LIGHT GRAY GROUT
- STUCCO**
SMOOTH TEXTURE
COLOR: SHERWIN WILLIAMS
GOLDEN FLEECE SW6388
- TRIM, FASCIA**
HARDIEPANEL FIBER CEMENT BOARD
COLOR: SHERWIN WILLIAMS
URBANE BRONZE SW7048
- ROOFING**
PVC SINGLE-PLY 60 MIL
COLOR: COOL STONE
- GUTTER**
FINISH TO MATCH FASCIA
- DOWNSPOUT**
COLOR: COPPER



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EXTERIOR ELEVATIONS

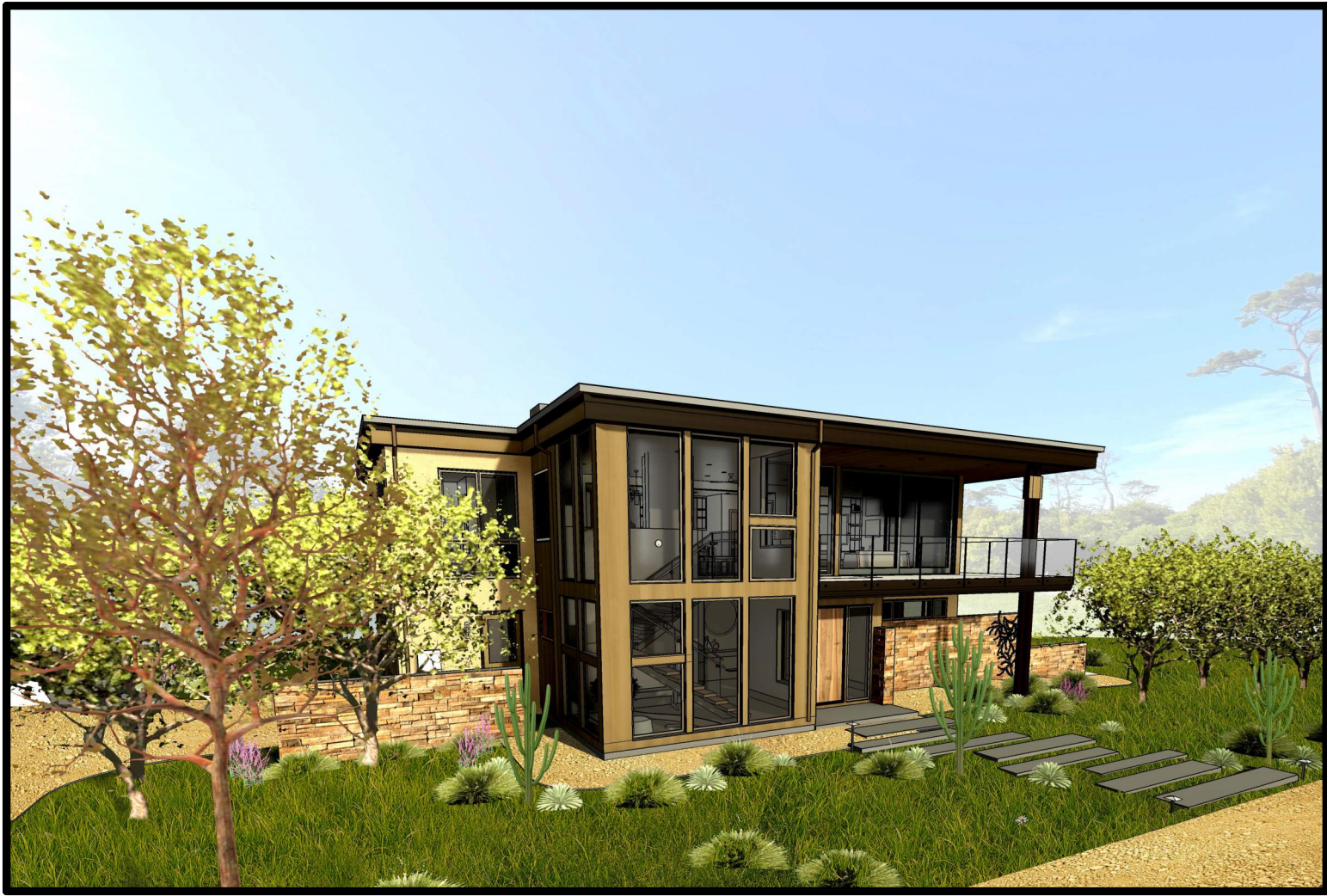
YANG. YOSHIHARA RESIDENCE

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A.P.N. 008-302-025-000

A3.2



(A) EAST VIEW



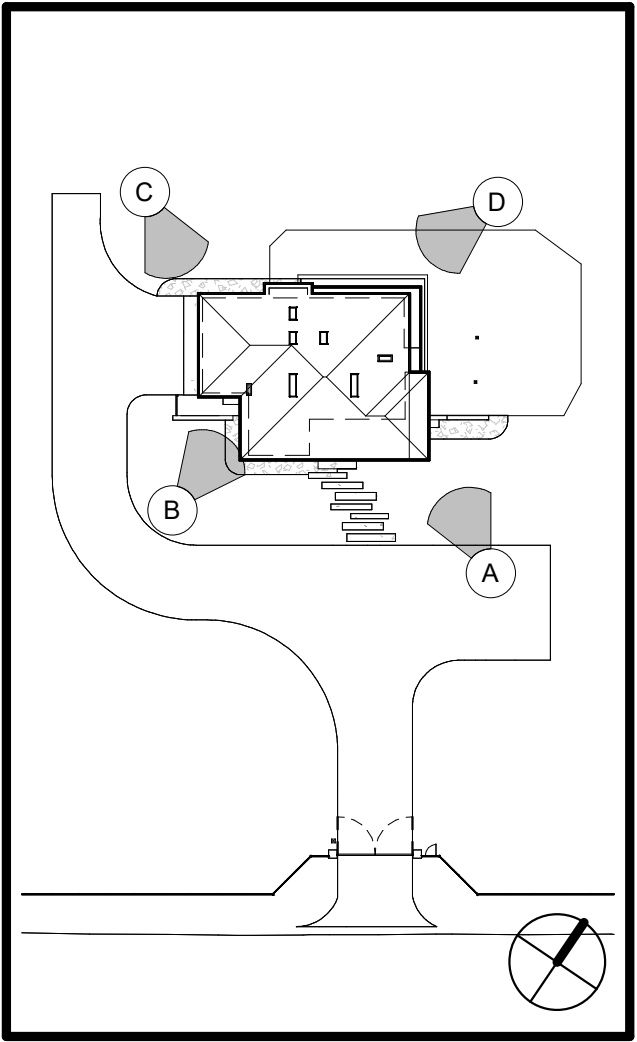
(B) WEST VIEW



(C) WEST VIEW



(D) NORTH VIEW



VIEWS KEY PLAN

EXTERIOR MATERIAL PALETTE

- 1

SOFFIT WOOD SIDING
TONGUE AND GROOVE
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE
- 2

VERTICAL WOOD SIDING
HARDIEPANEL FIBER CEMENT BOARDS, CEDARMILL VERTICAL SIDING
COLOR: WESTERN RED CEDAR, LIGHT GRAY OVERGLAZE
- 3

WINDOWS
WOOD, ANODIZED ALUMINUM FINISH
COLOR: CLASS I CLEAR
- 4

STONE WALL
LEDGE STONE
RANDOM RUNNING BOND
COLOR: VARIABLE BLEND
LIGHT GRAY GROUT
- 5

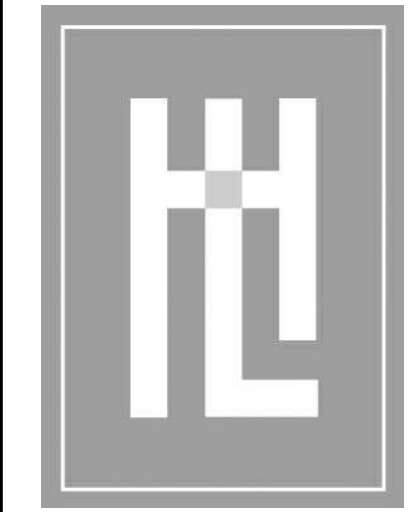
STUCCO
SMOOTH TEXTURE
COLOR: SHERWIN WILLIAMS
GOLDEN FLEECE SW6388
- 6

TRIM, FASCIA
HARDIEPANEL FIBER CEMENT BOARD
COLOR: SHERWIN WILLIAMS
URBANE BRONZE SW7048
- 7

ROOFING
PVC SINGLE-PLY 60 MIL
COLOR: COOL STONE
- 8

GUTTER
FINISH TO MATCH FASCIA
- 9

DOWNSPOUT
COLOR: COPPER



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ARCHITECTURE

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MONTEREY, CA. 93940
Ph: 831.649.6001
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Date 2025-11-03

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Project number 24.07

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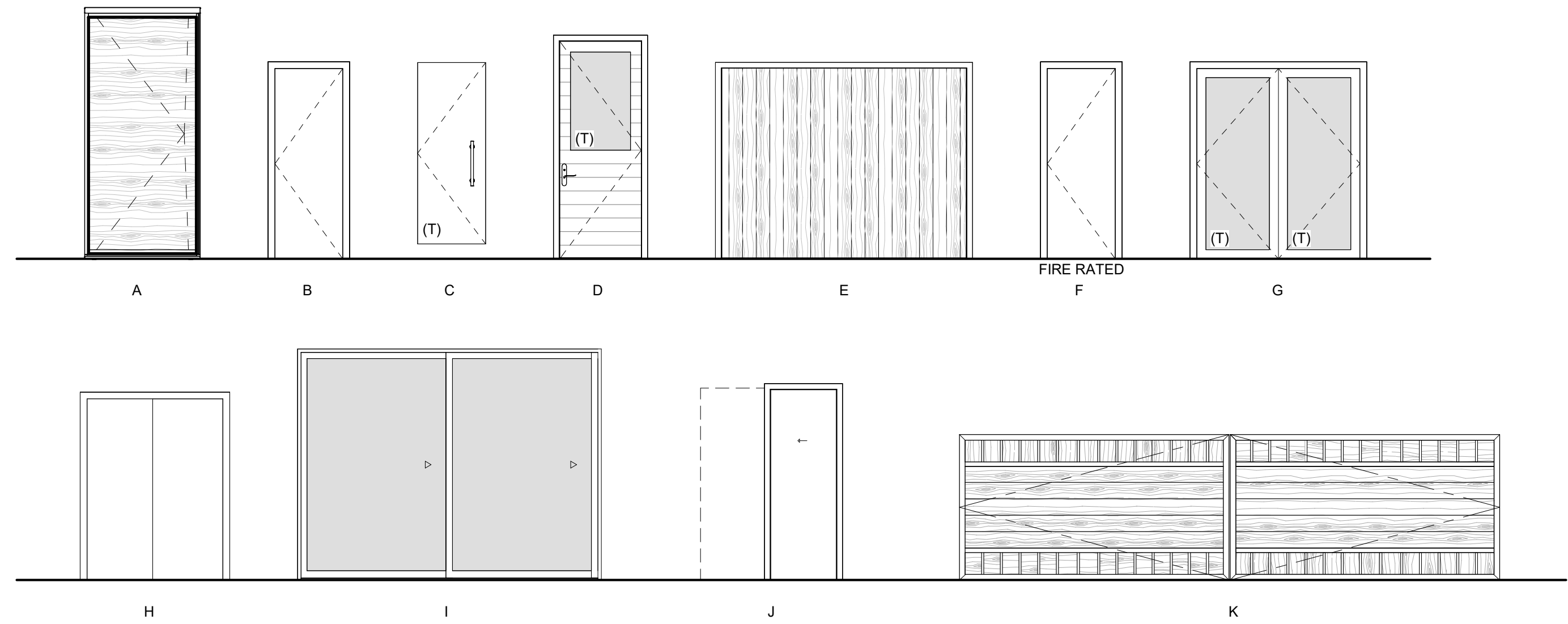
PERSPECTIVES - MATERIALS AND COLORS

YANG. YOSHIHARA RESIDENCE

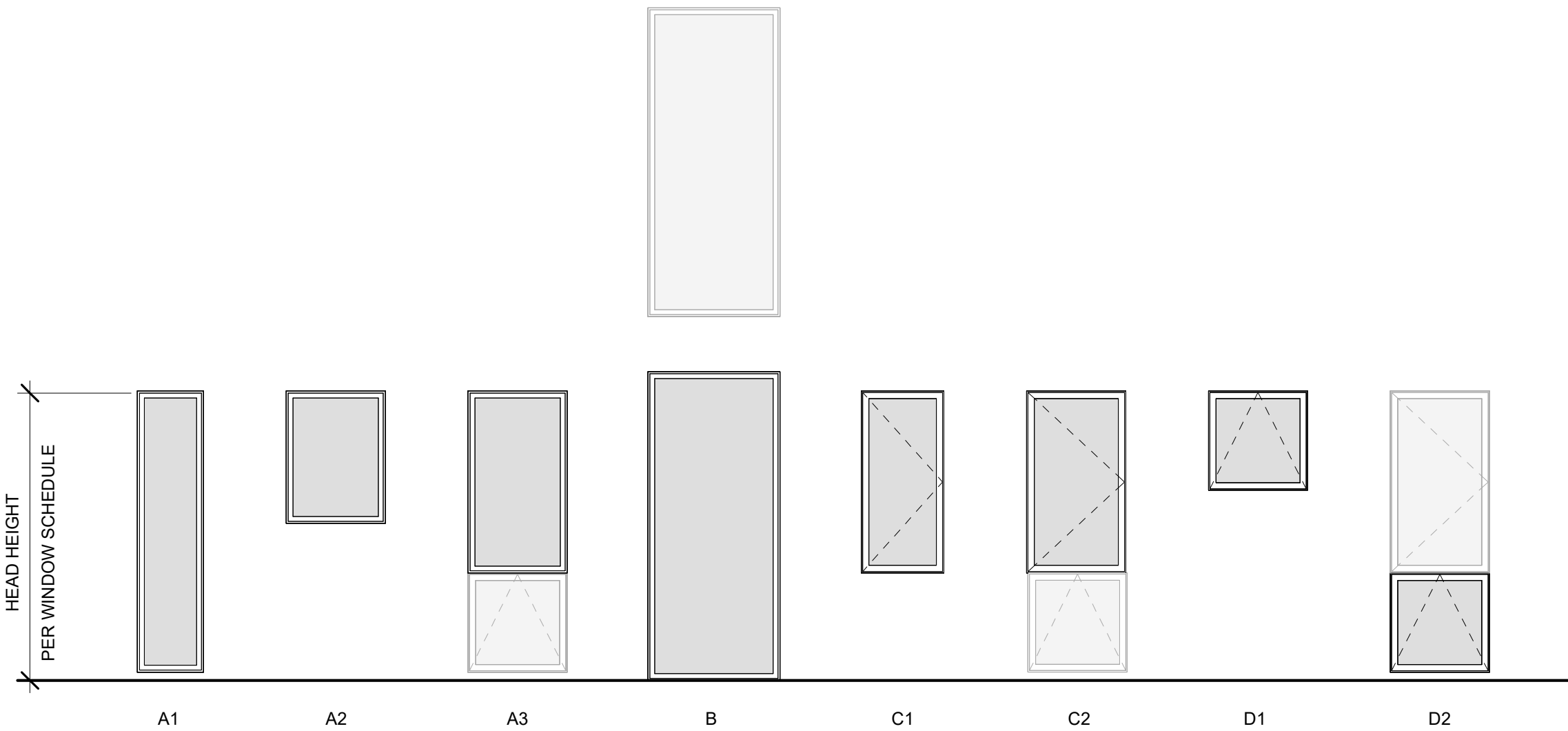
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A3.7

| DOOR SCHEDULE | | | | | | | | | | |
|---------------|-----------|-----------------|---------------|-------------|-----------|--------------|-------|--------|-------|-------------------|
| MARK | DOOR TYPE | ROOM NAME | WIDTH | HEIGHT | THICKNESS | GLAZING TYPE | FRAME | FINISH | | |
| | | | | | | | | DOOR | FRAME | COMMENTS |
| 101 | A | ENTRY | 4' - 2 15/16" | 8' - 8 1/2" | 2 1/4" | | | | | |
| 102 | B | BATH 1 | 2' - 6" | 8' - 0" | 1 3/4" | | | | | |
| 103 | C | BATH 1 | 2' - 6" | 7' - 8" | 3/8" | TEMPERED | | | | SHOWER DOOR |
| 104 | D | GARAGE | 3' - 0" | 8' - 0" | 2 1/4" | TEMPERED | | | | |
| 105 | E | GARAGE | 9' - 0" | 8' - 0" | PER MFR. | | | | | |
| 106 | E | GARAGE | 9' - 0" | 8' - 0" | PER MFR. | | | | | |
| 107 | F | GARAGE | 3' - 0" | 8' - 0" | 2 1/4" | | | | | 20 MIN. FIRERATED |
| 108 | B | LAUNDRY | 3' - 0" | 8' - 0" | 1 3/4" | | | | | |
| 109 | B | HALL CLOSET | 2' - 8" | 8' - 0" | 1 3/4" | | | | | |
| 110 | B | BEDROOM 1 | 2' - 8" | 8' - 0" | 1 3/4" | | | | | |
| 111 | G | BEDROOM 1 | 7' - 0" | 8' - 0" | 2" | TEMPERED | | | | |
| 112 | H | BEDROOM 1 | 5' - 0" | 8' - 0" | 1 3/8" | | | | | |
| 113 | B | BEDROOM 2 | 2' - 8" | 8' - 0" | 1 3/4" | | | | | |
| 114 | H | BEDROOM 2 | 5' - 0" | 8' - 0" | 1 3/8" | | | | | |
| 115 | G | BEDROOM 2 | 7' - 0" | 8' - 0" | 2" | | | | | |
| 116 | B | BATH 2 | 2' - 8" | 8' - 0" | 1 3/4" | | | | | |
| 117 | C | MASTER BATH | 2' - 6" | 7' - 8" | 3/8" | | | | | SHOWER DOOR |
| 118 | B | BEDROOM 3 | 2' - 10" | 8' - 0" | 1 3/4" | | | | | |
| 119 | G | BEDROOM 3 | 7' - 0" | 8' - 0" | 2" | | | | | |
| 120 | H | BEDROOM 3 | 5' - 0" | 8' - 0" | 1 3/8" | | | | | |
| 121 | B | ELEVATOR | 3' - 0" | 8' - 0" | 1 3/4" | | | | | |
| 201 | I | LIVING ROOM | 10' - 0" | 10' - 0" | 2 3/4" | TEMPERED | | | | |
| 202 | I | LIVING ROOM | 15' - 0" | 10' - 0" | 2 3/4" | TEMPERED | | | | |
| 203 | J | PANTRY | 2' - 6" | 8' - 0" | 1 3/4" | | | | | |
| 204 | B | ELEVATOR | 3' - 0" | 7' - 0" | 1 3/4" | | | | | |
| 205 | B | HIS SLEEPING RM | 2' - 10" | 8' - 0" | 1 3/4" | | | | | |
| 206 | B | HIS BATH | 3' - 0" | 8' - 0" | 1 3/4" | | | | | |
| 207 | B | M SHOWER / TUB | 3' - 0" | 8' - 0" | 1 3/4" | | | | | |
| 208 | C | M SHOWER / TUB | 2' - 6" | 7' - 8" | 3/8" | TEMPRED | | | | SHOWER DOOR |
| 209 | B | M SHOWER / TUB | 3' - 0" | 8' - 0" | 1 3/4" | | | | | |
| 210 | B | HER BATH | 2' - 6" | 8' - 0" | 1 3/4" | | | | | |
| 211 | B | HER SLEEPING RM | 2' - 8" | 8' - 0" | 1 3/4" | | | | | |
| 212 | H | HER CLOSET | 7' - 0" | 8' - 0" | 1 3/8" | | | | | |
| G100 | K | DRIVEWAY GATE | 20' - 0" | 6' - 0" | 3 1/4" | | | | | |



| WINDOW SCHEDULE | | | | | | | | | | |
|-----------------|-------------|-----------------|-----------|--------------|--------------|-------------|-------|--------|------------------|------------------------------------|
| MARK | WINDOW TYPE | ROOM NAME | OPERATION | WIDTH | HEIGHT | HEAD HEIGHT | FRAME | FINISH | GLASS TYPE | COMMENTS |
| 101 | A1 | ENTRY | FIXED | 2' - 8" | 8' - 6" | 8' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 102 | A1 | ENTRY | FIXED | 2' - 0" | 8' - 6" | 8' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 103 | A2 | STAIR HALL | FIXED | 4' - 0" | 6' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 104 | B | STAIR HALL | FIXED | 4' - 0" | 9' - 4" | 9' - 4" | | | DUAL PANE, LOW E | TEMPERED |
| 105 | B | STAIR HALL | FIXED | 4' - 0" | 9' - 4" | 9' - 4" | | | DUAL PANE, LOW E | TEMPERED |
| 106 | B | STAIR HALL | FIXED | 4' - 0" | 9' - 4" | 9' - 4" | | | DUAL PANE, LOW E | TEMPERED |
| 107 | B | STAIR HALL | FIXED | 4' - 0" | 9' - 4" | 9' - 4" | | | DUAL PANE, LOW E | TEMPERED |
| 108 | B | STAIR HALL | FIXED | 4' - 0" | 9' - 4" | 9' - 4" | | | DUAL PANE, LOW E | TEMPERED |
| 109 | A2 | BATH 1 | FIXED | 5' - 0" | 2' - 6" | 8' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 110 | C1 | GARAGE | CASEMENT | 3' - 0" | 3' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 111 | C2 | BEDROOM 2 | CASEMENT | 3' - 0" | 5' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 112 | D2 | BEDROOM 2 | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 113 | D1 | BATH 2 | CASEMENT | 4' - 0" | 2' - 8" | 8' - 0" | | | DUAL PANE, LOW E | TEMPERED, FROSTED FILM BOTTOM HALF |
| 114 | D1 | BEDROOM 3 | AWNING | 2' - 0" | 2' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 115 | A2 | BEDROOM 3 | FIXED | 5' - 4" | 2' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 116 | D1 | BEDROOM 3 | AWNING | 2' - 0" | 2' - 0" | 8' - 0" | | | DUAL PANE, LOW E | |
| 201 | A1 | LIVING ROOM | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 202 | A1 | LIVING ROOM | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 203 | A2 | STAIR HALL | FIXED | 6' - 8" | 7' - 6" | 10' - 0" | | | DUAL PANE, LOW E | |
| 204 | A3 | STAIR HALL | FIXED | 4' - 0" | 5' - 5" | 10' - 0" | | | DUAL PANE, LOW E | |
| 205 | D2 | STAIR HALL | AWNING | 4' - 0" | 3' - 11" | 3' - 11" | | | DUAL PANE, LOW E | TEMPERED |
| 206 | B | STAIR HALL | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 207 | B | STAIR HALL | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | |
| 208 | B | STAIR HALL | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | |
| 209 | B | STAIR HALL | FIXED | 4' - 0" | 10' - 0" | 10' - 0" | | | DUAL PANE, LOW E | |
| 210 | D1 | KITCHEN | AWNING | 5' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 211 | A3 | HIS SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 212 | D2 | HIS SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 213 | A3 | HIS SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 214 | D2 | HIS SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 215 | A3 | HIS SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 216 | D2 | HIS SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 217 | A3 | HIS SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 218 | D2 | HIS SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 219 | A3 | HIS SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 220 | D2 | HIS SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 221 | C2 | HIS CL | CASEMENT | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 222 | D2 | HIS CL | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 223 | A3 | HIS CL | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 224 | D2 | HIS CL | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 225 | C1 | HIS BATH | CASEMENT | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 226 | C1 | M SHOWER / TUB | CASEMENT | 4' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | TEMPERED |
| 227 | C1 | HER BATH | CASEMENT | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 228 | C2 | HER SLEEPING RM | CASEMENT | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 230 | C2 | HER SLEEPING RM | CASEMENT | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 232 | C2 | HER SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 233 | D2 | HER SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 234 | C2 | HER SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 235 | D2 | HER SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 236 | C2 | HER SLEEPING RM | FIXED | 3' - 0" | 5' - 6" | 8' - 6" | | | DUAL PANE, LOW E | |
| 237 | D2 | HER SLEEPING RM | AWNING | 3' - 0" | 3' - 0" | 3' - 0" | | | DUAL PANE, LOW E | TEMPERED |
| 301 | | | SKYLIGHT | 1' - 10 3/8" | 3' - 3 3/8" | | | | DUAL PANE, LOW E | |
| 302 | | | SKYLIGHT | 1' - 10 3/8" | 3' - 3 3/8" | | | | DUAL PANE, LOW E | |
| 303 | | | SKYLIGHT | 1' - 10 3/8" | 3' - 3 3/8" | | | | DUAL PANE, LOW E | |
| 304 | | | SKYLIGHT | 1' - 10 3/8" | 5' - 11 3/4" | | | | DUAL PANE, LOW E | |
| 305 | | | SKYLIGHT | 1' - 10 3/8" | 5' - 11 3/4" | | | | DUAL PANE, LOW E | |



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940

Ph: 831.649.6001
WWW.H-arc.com

Date 2025-11-03

Scale 1/4" = 1'-0"

Drawn by EB

Project number 24.07

| No. | Description | Date |
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WINDOW AND DOOR SCHEDULES AND DETAIL

YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

A4.1

11/9/2025 4:22:35 PM



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940

Ph: 831.649.6001
WWW.H-arc.com

Date 2025-11-03

Scale 3/8" = 1'-0"

Drawn by Author

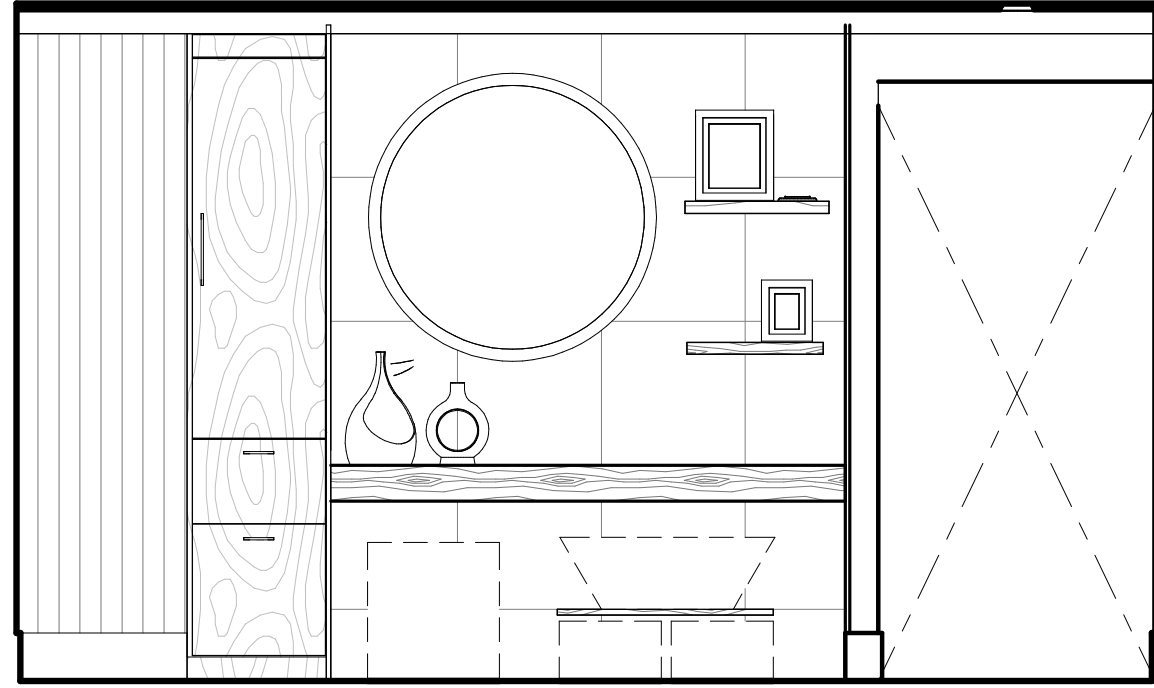
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| No. | Description | Date |
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INTERIOR ELEVATIONS

YANG. YOSHIHARA RESIDENCE
3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

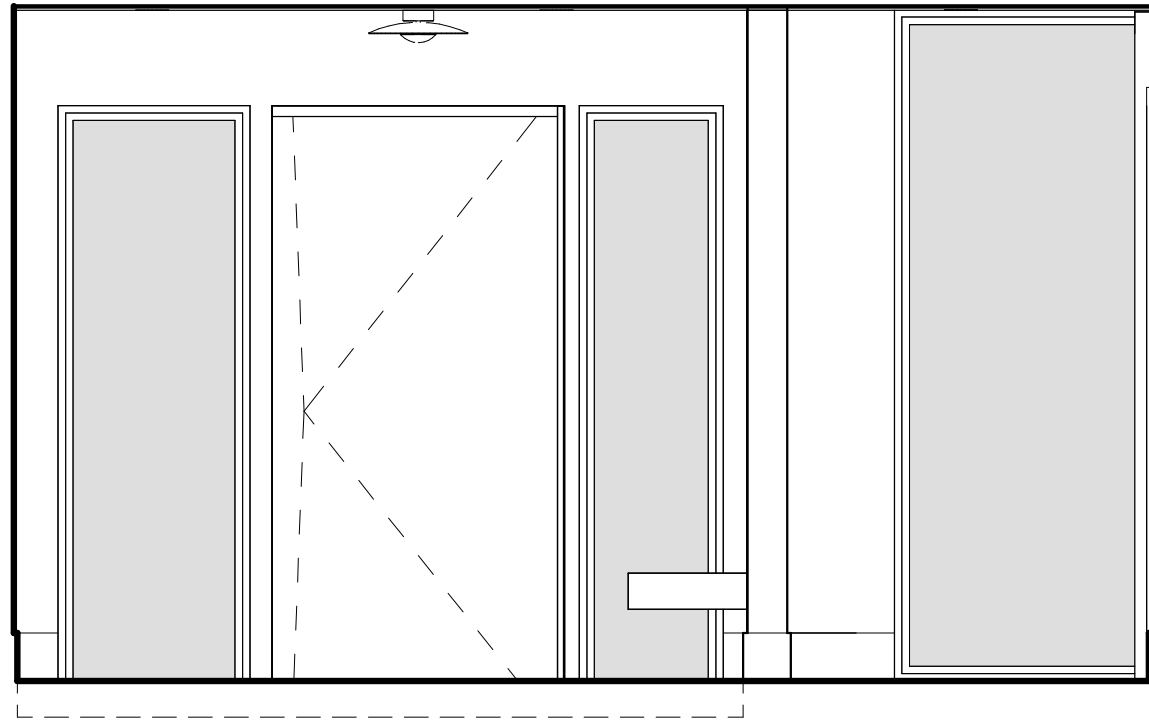
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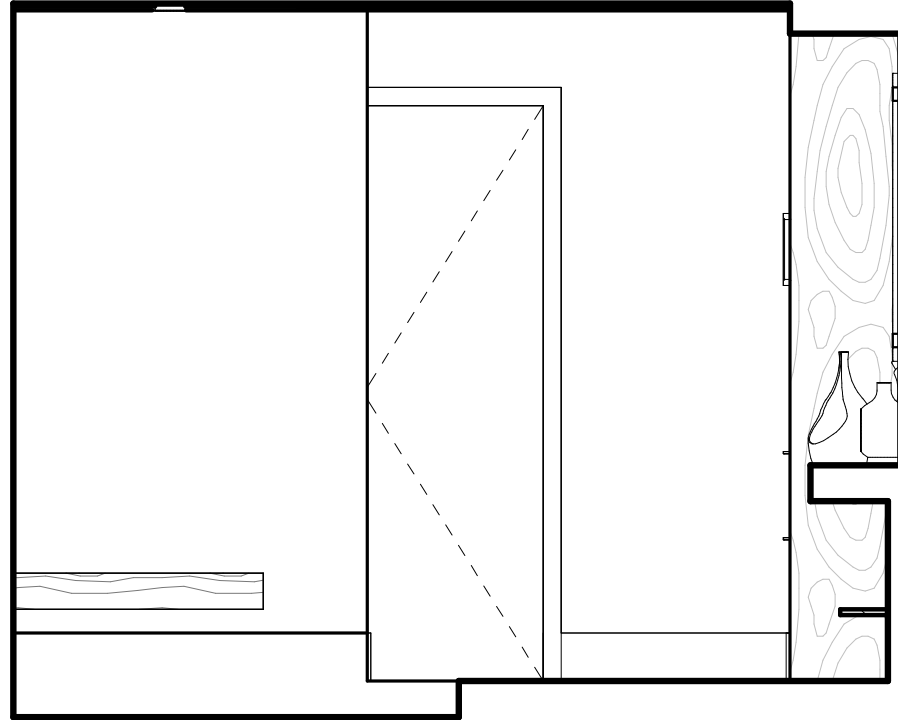
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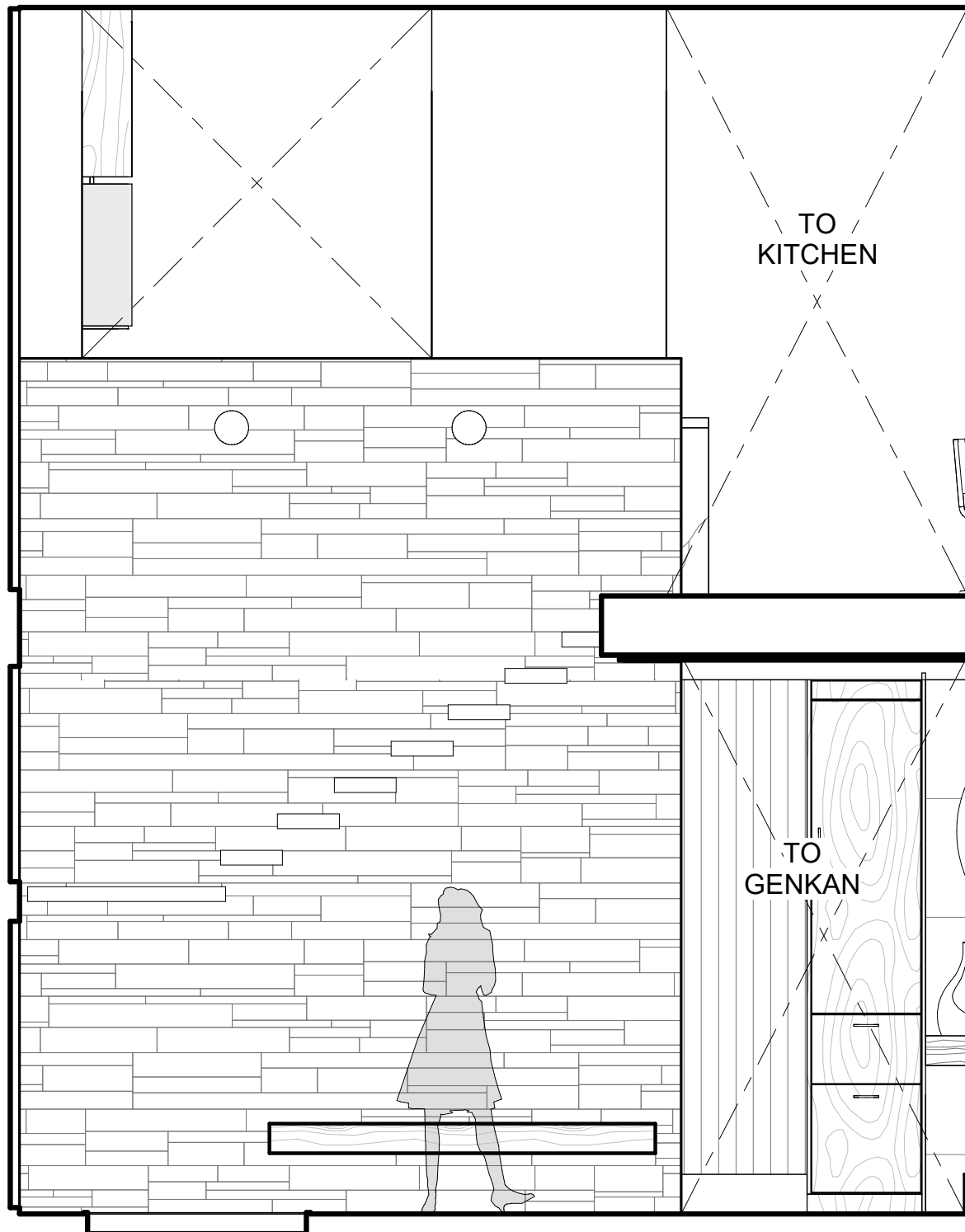
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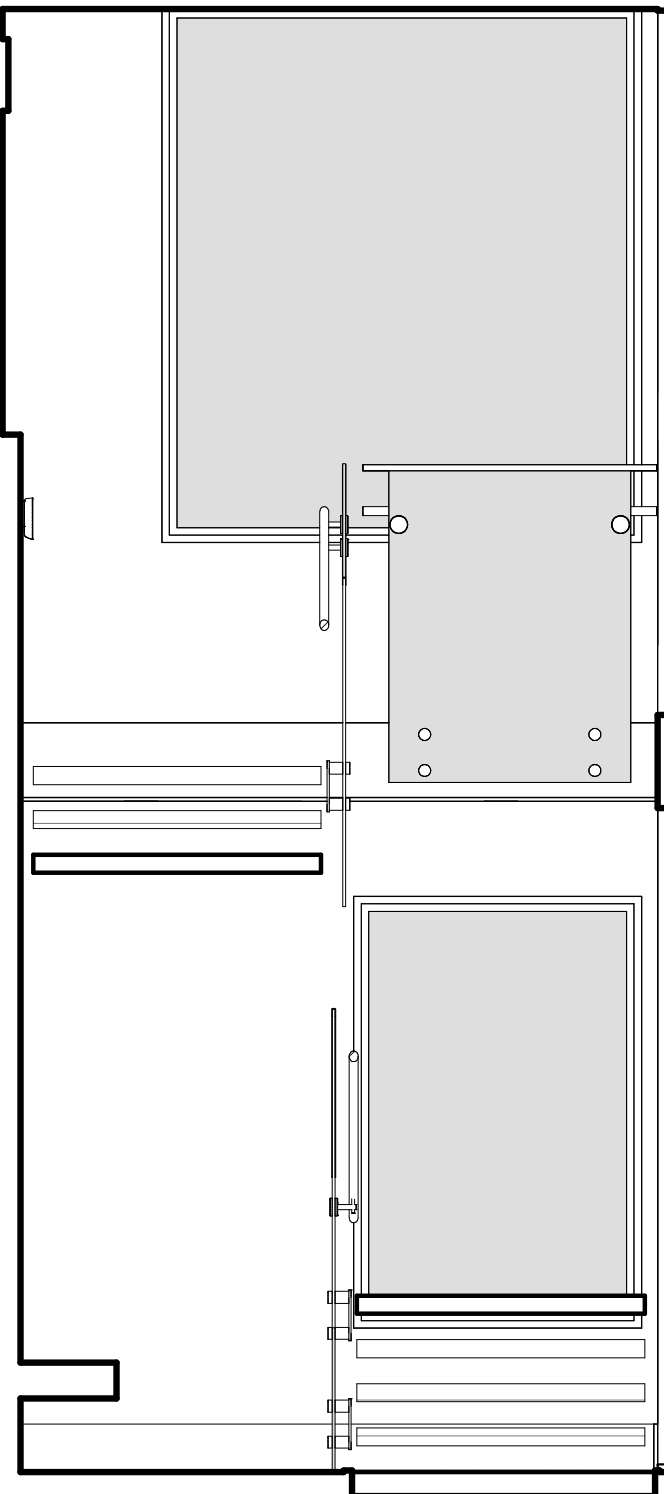
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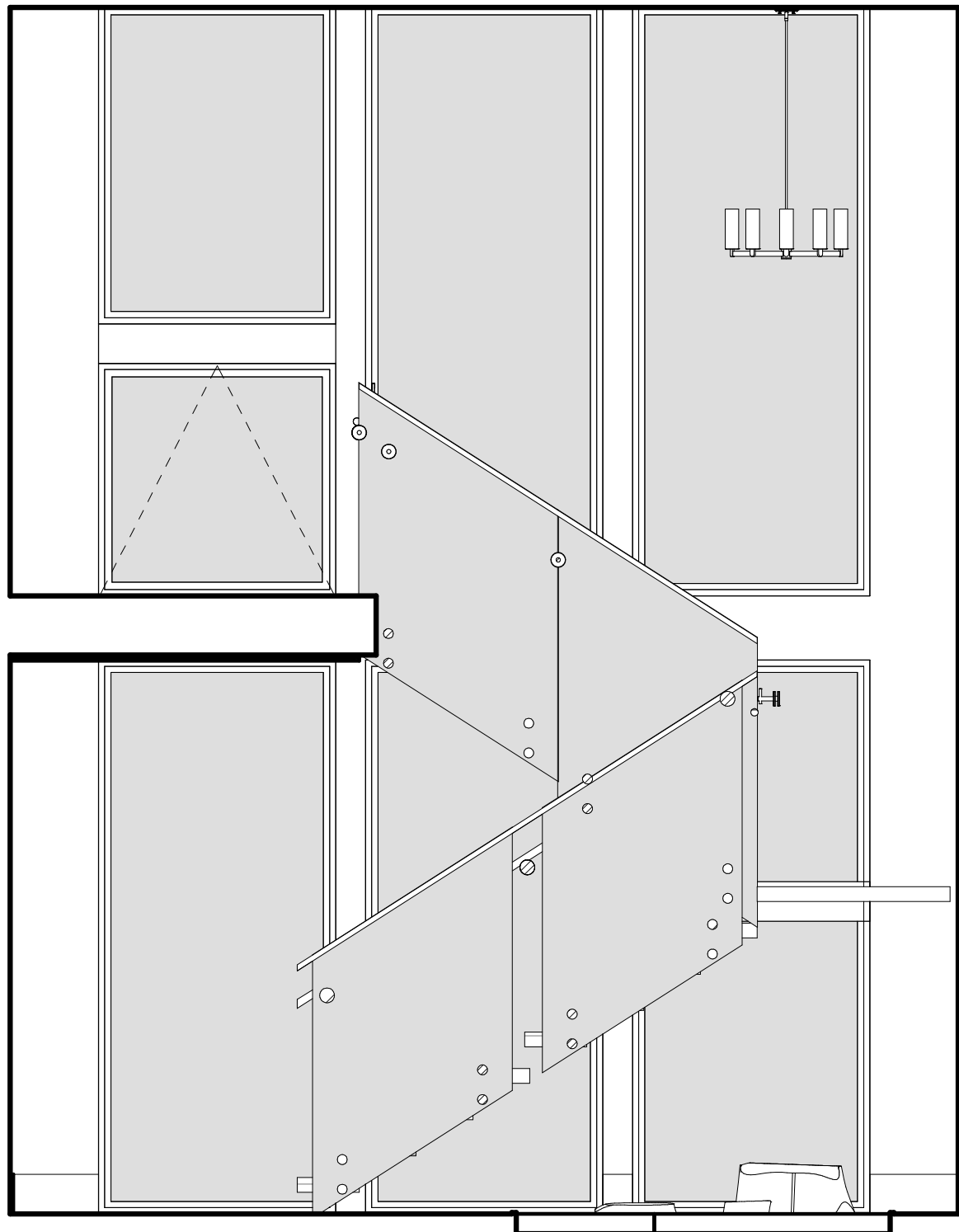
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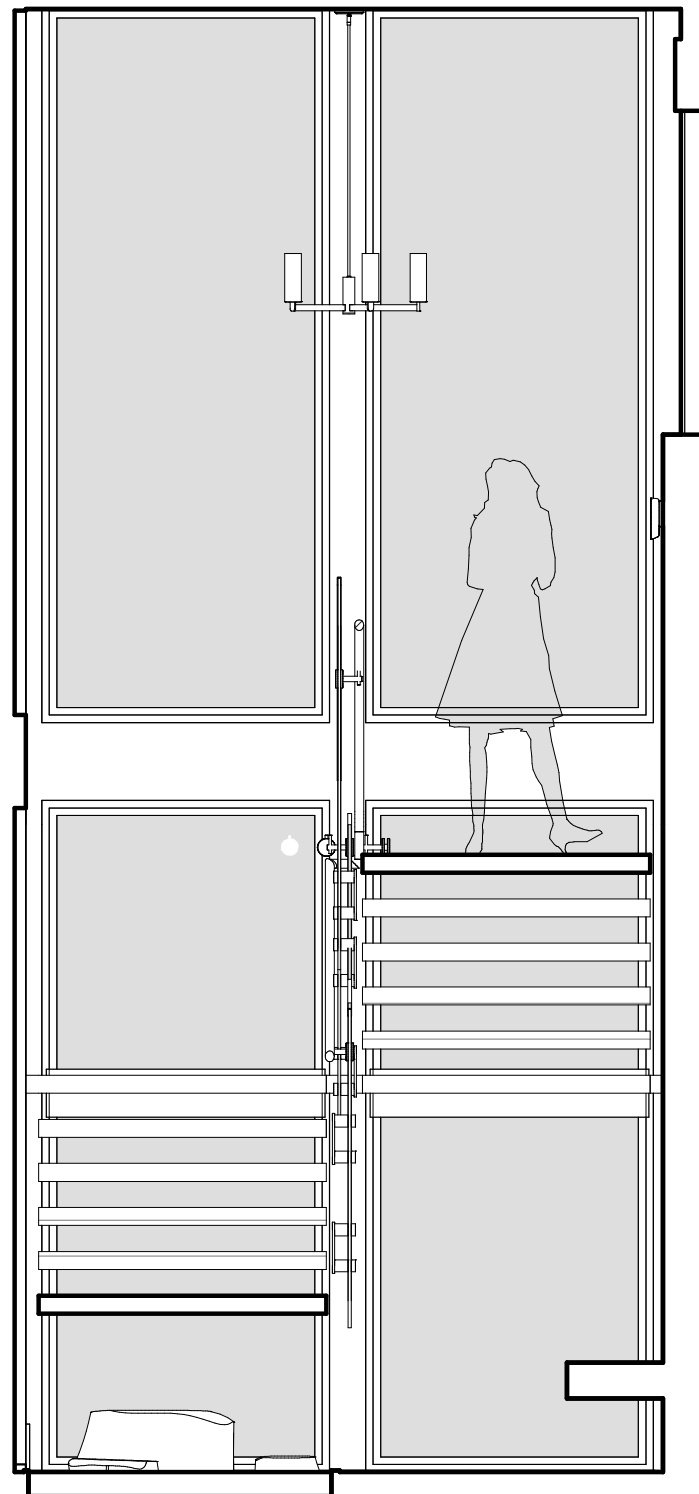
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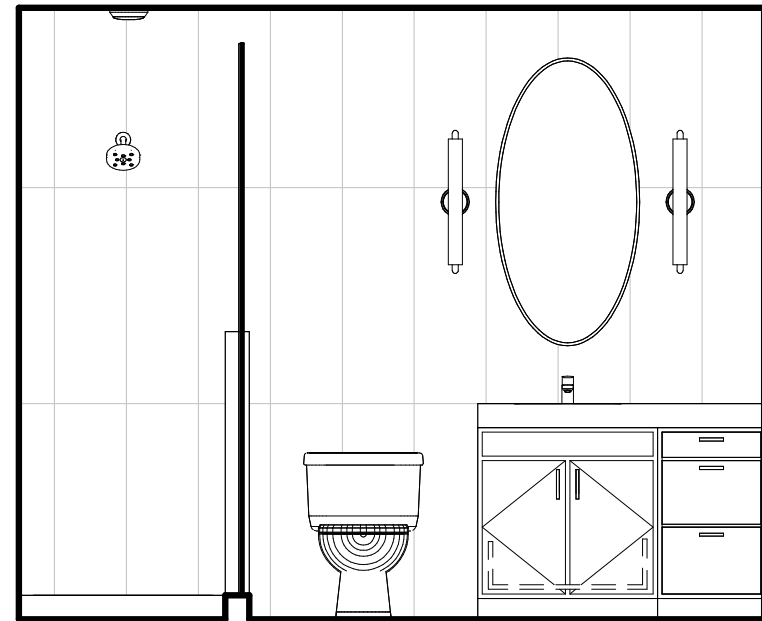
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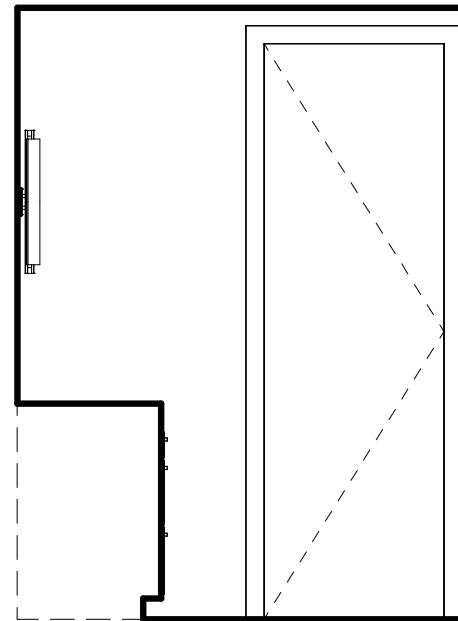
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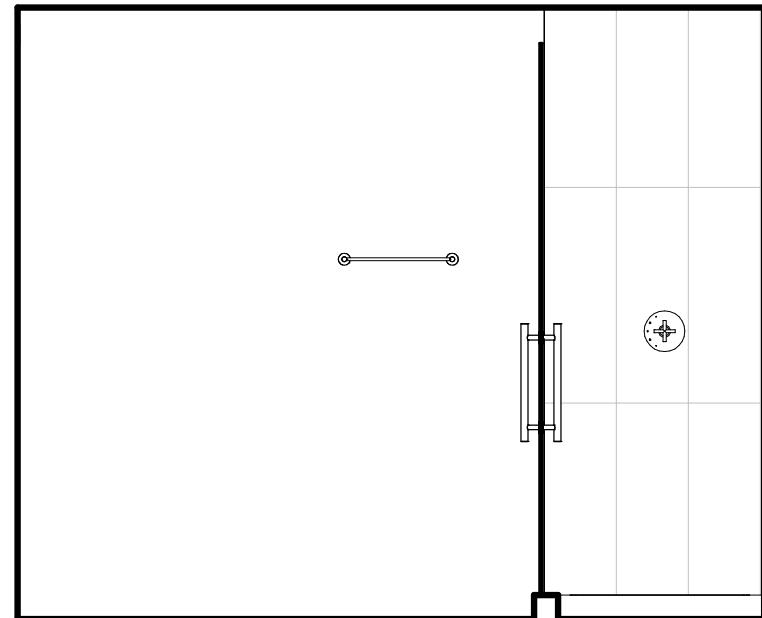
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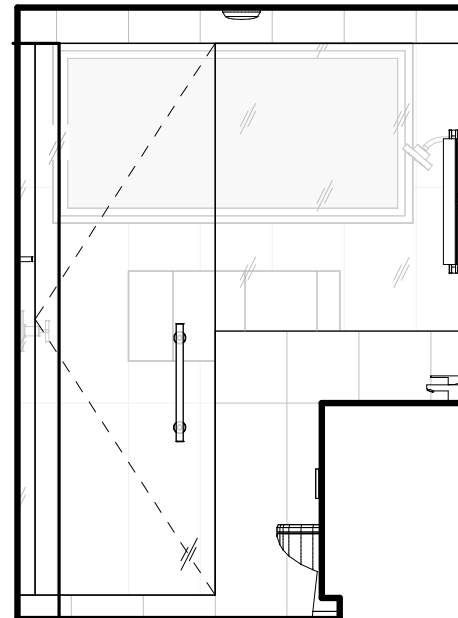
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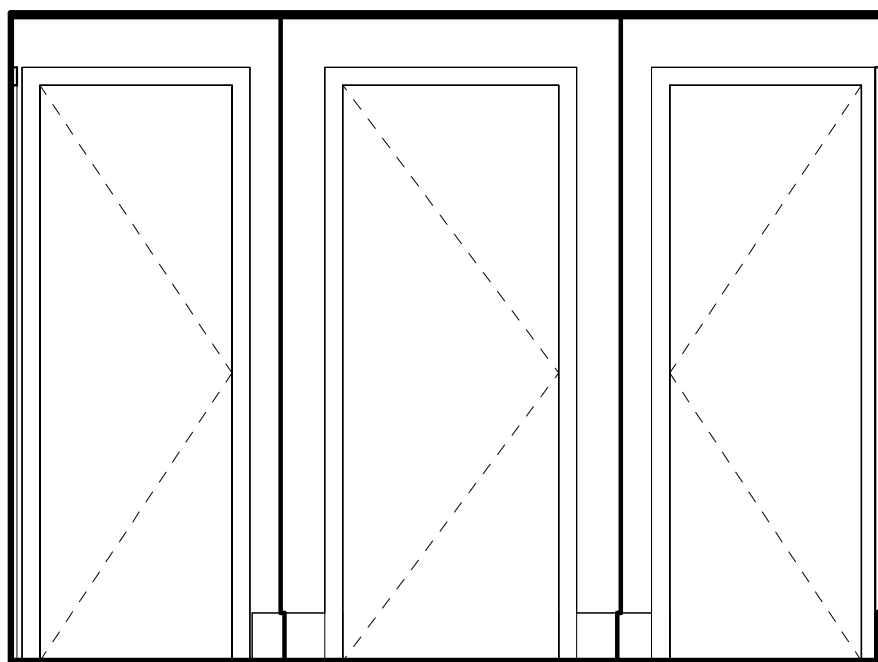
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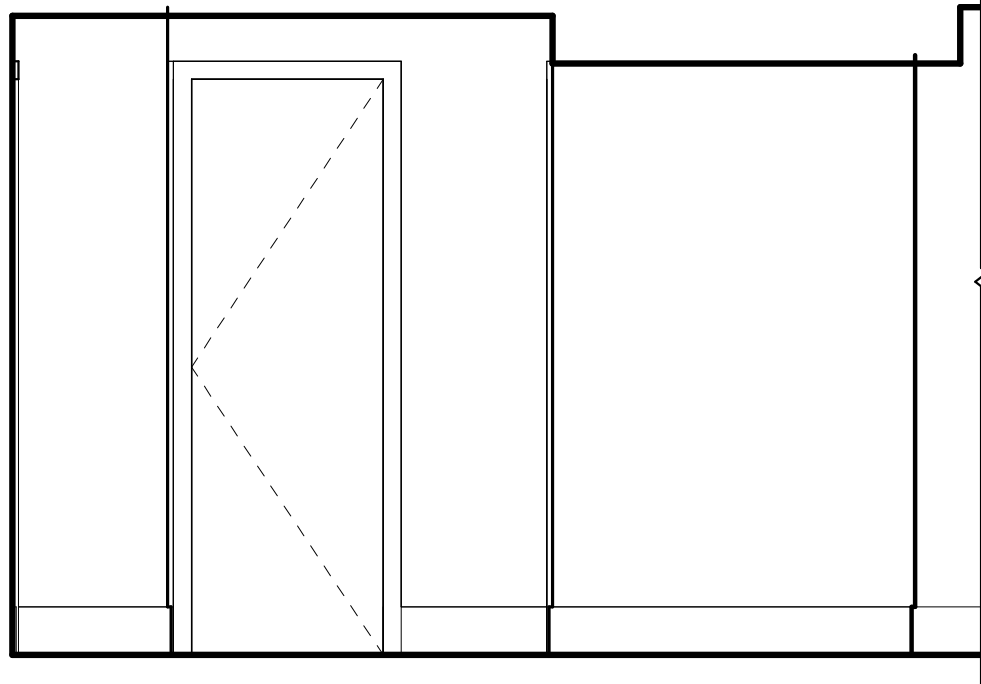
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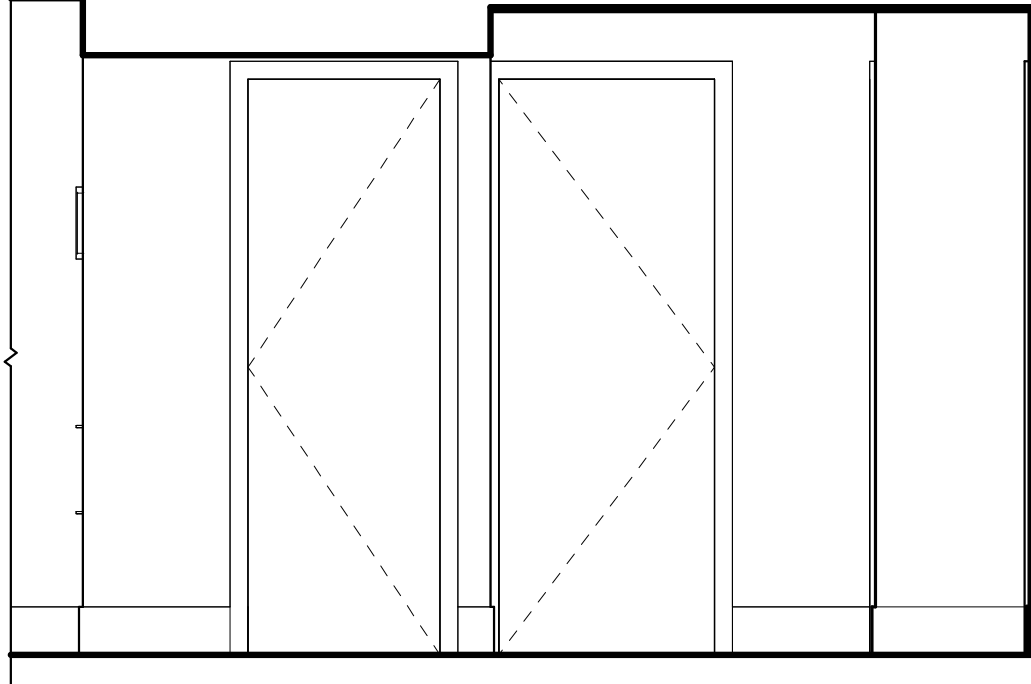
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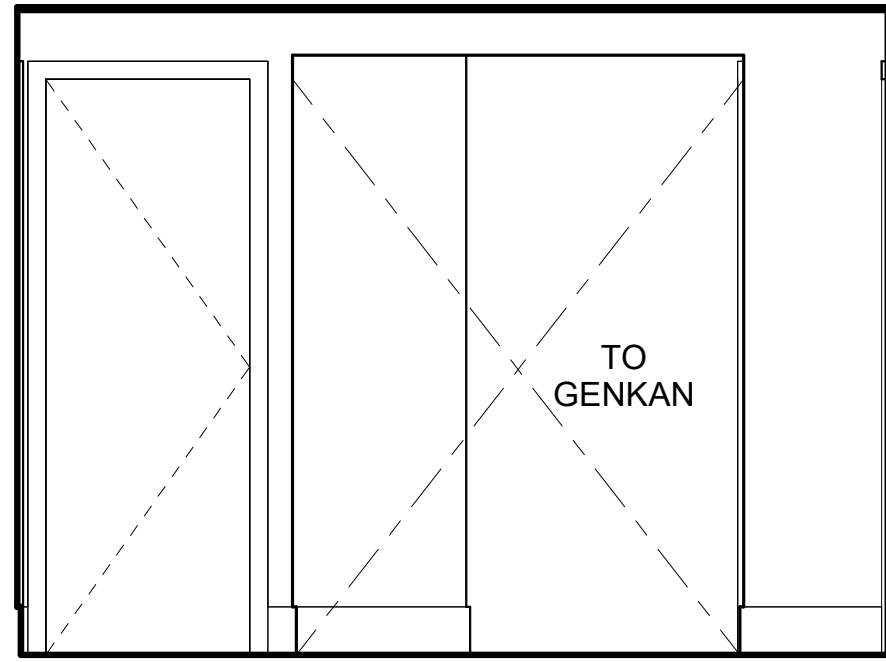
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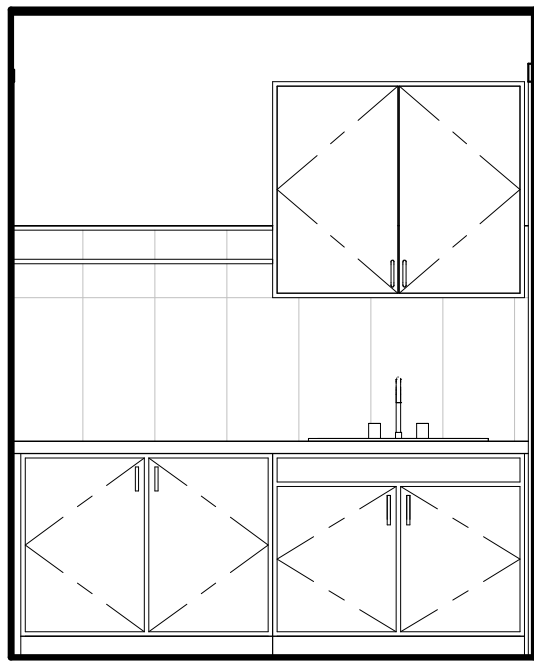
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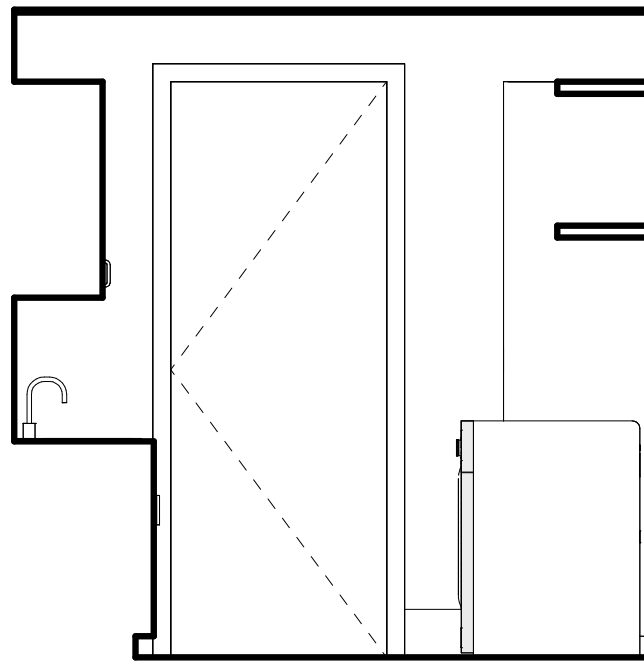
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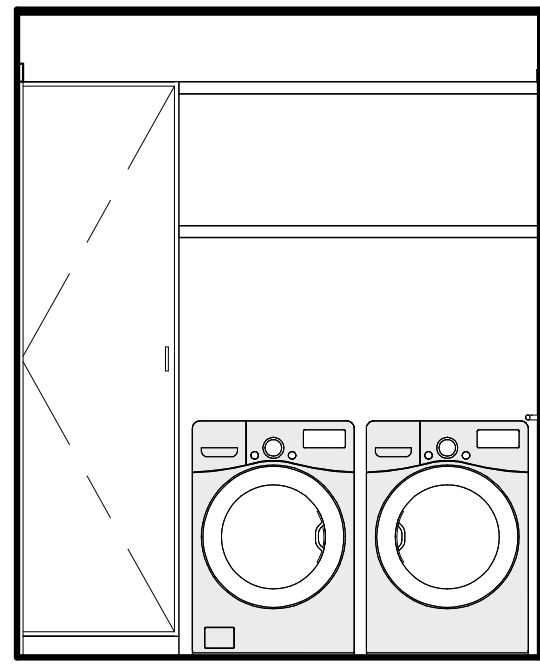
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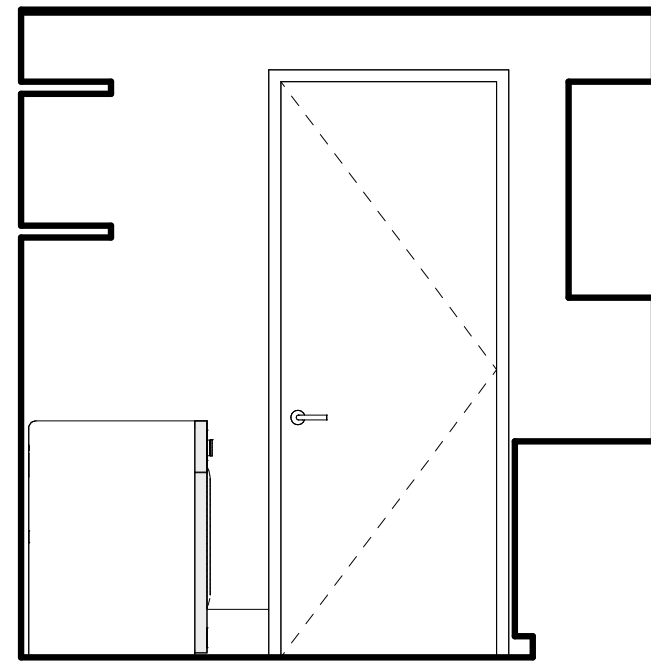
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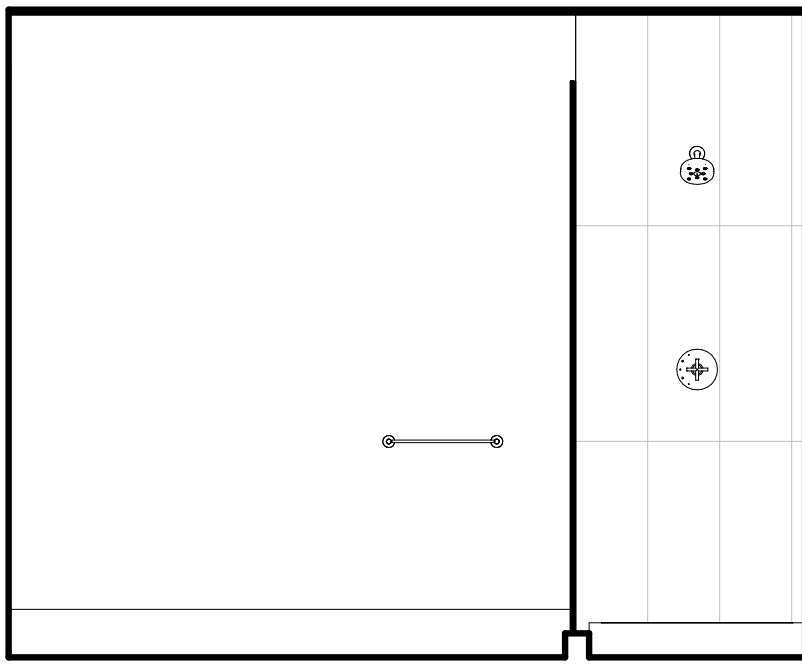
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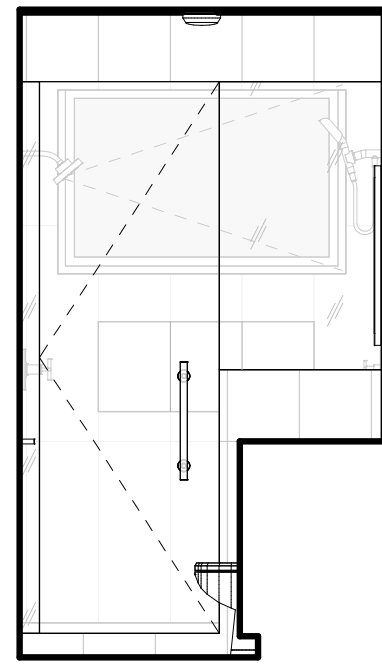
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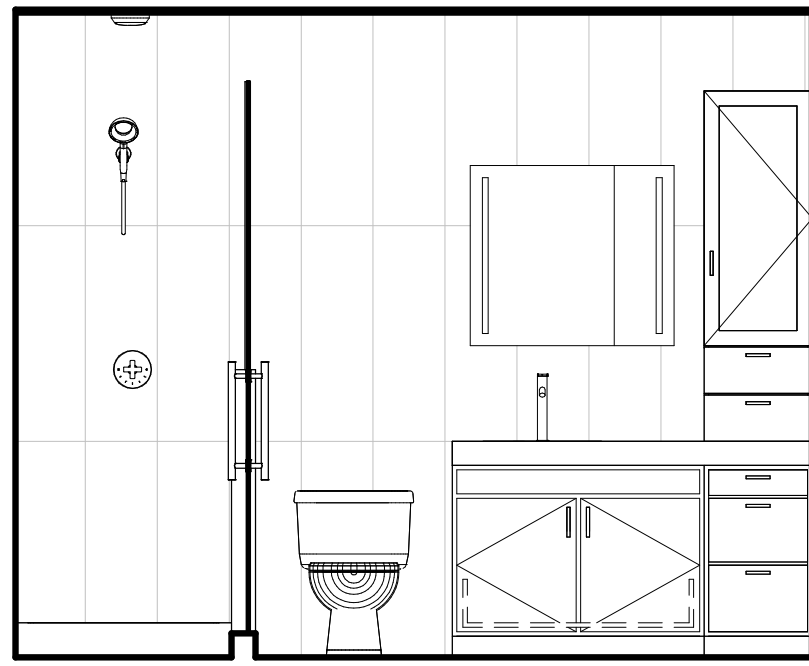
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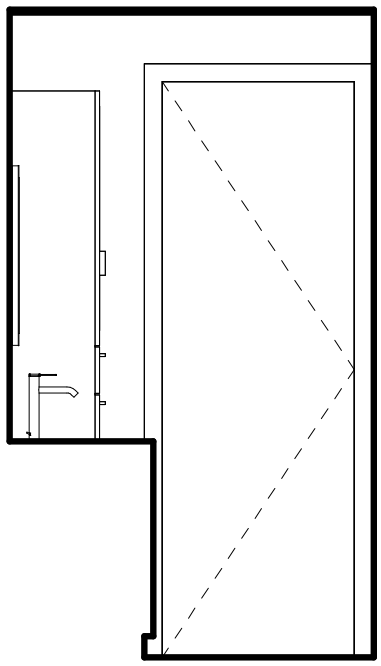
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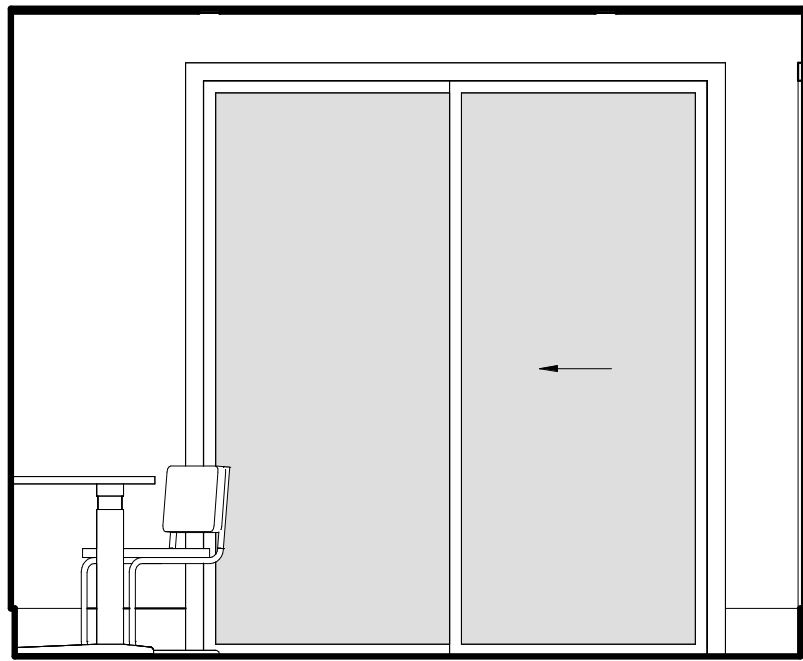
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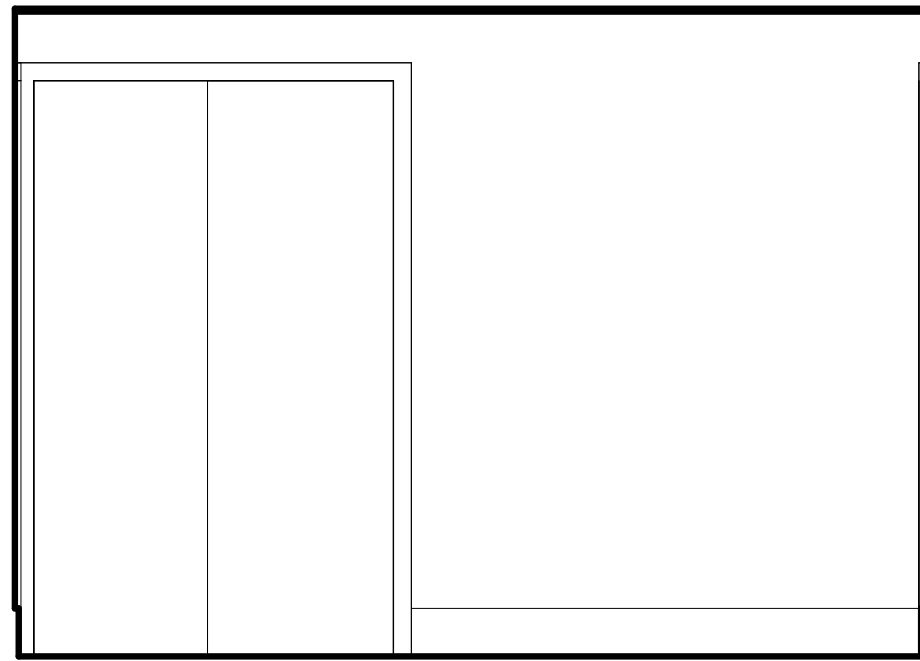
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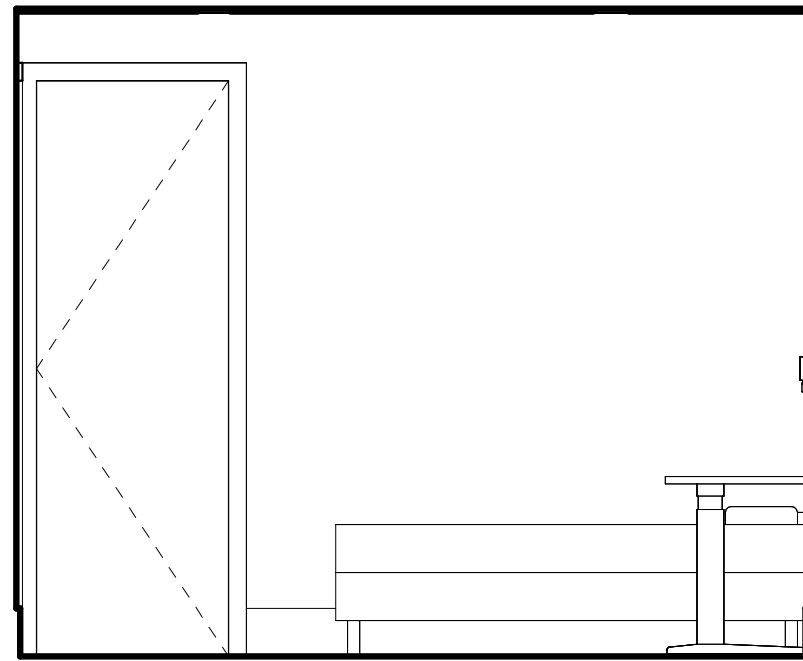
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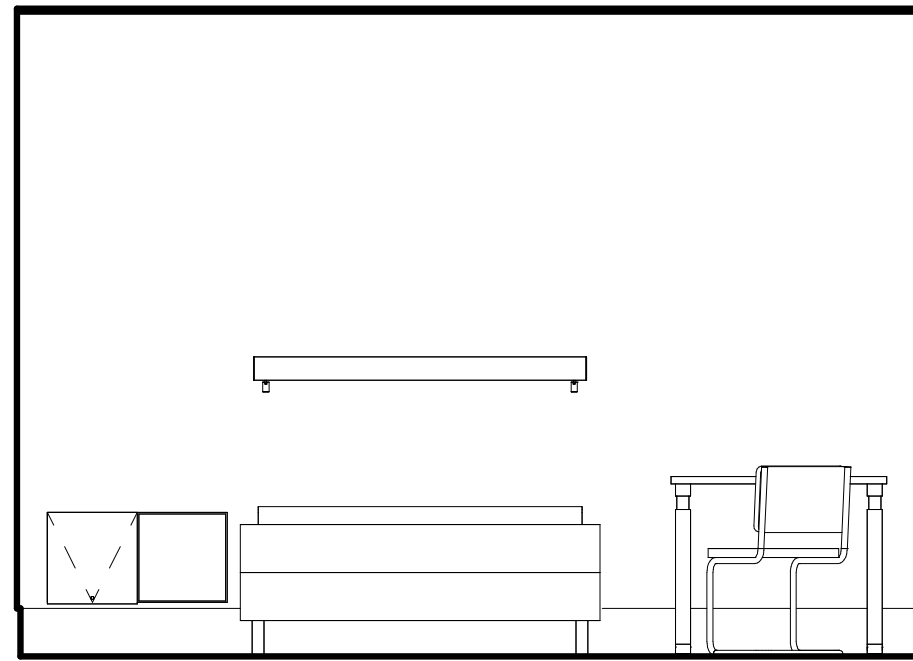
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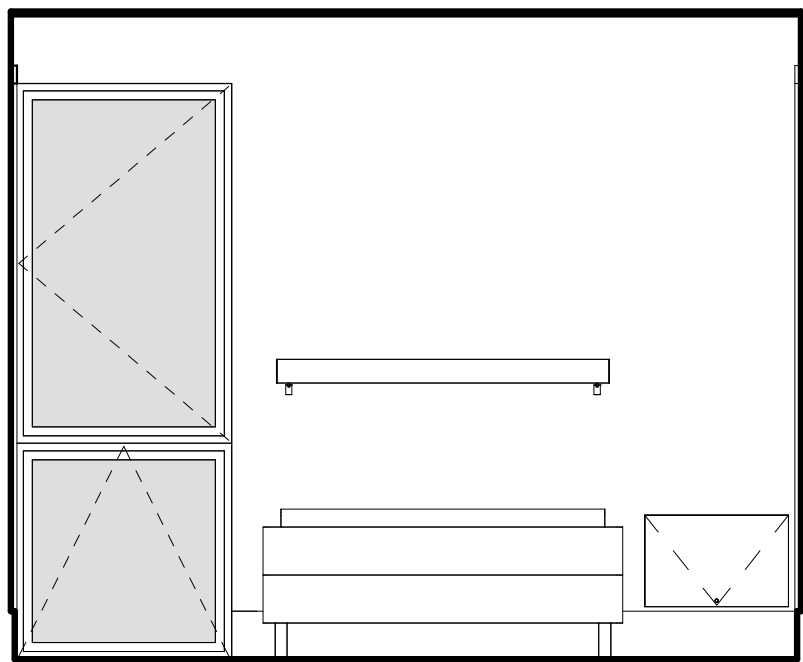
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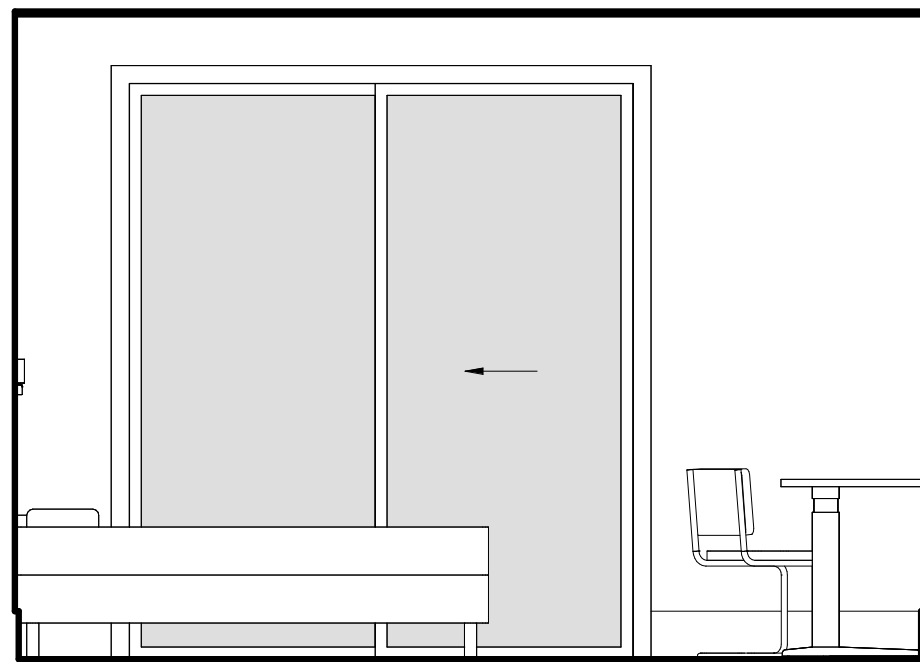
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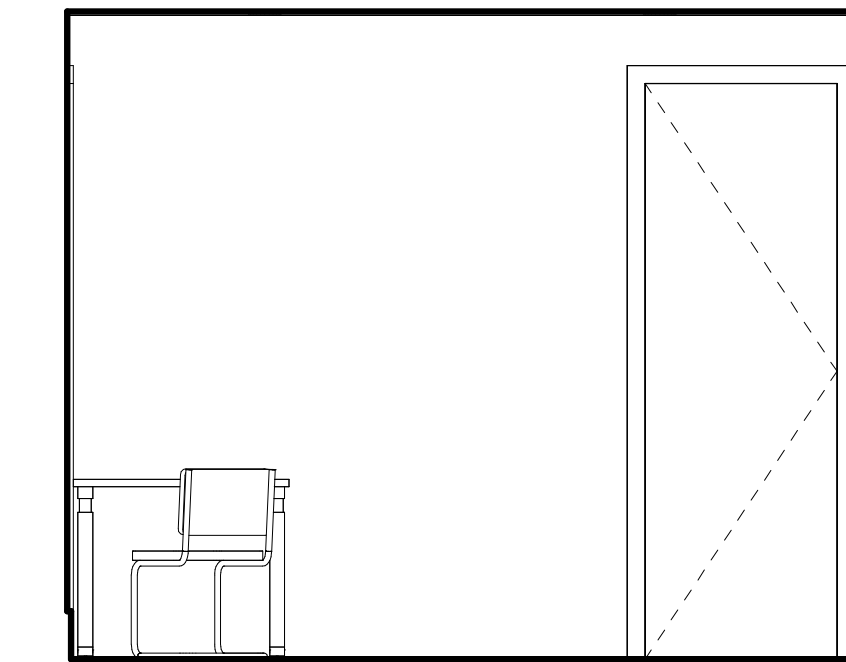
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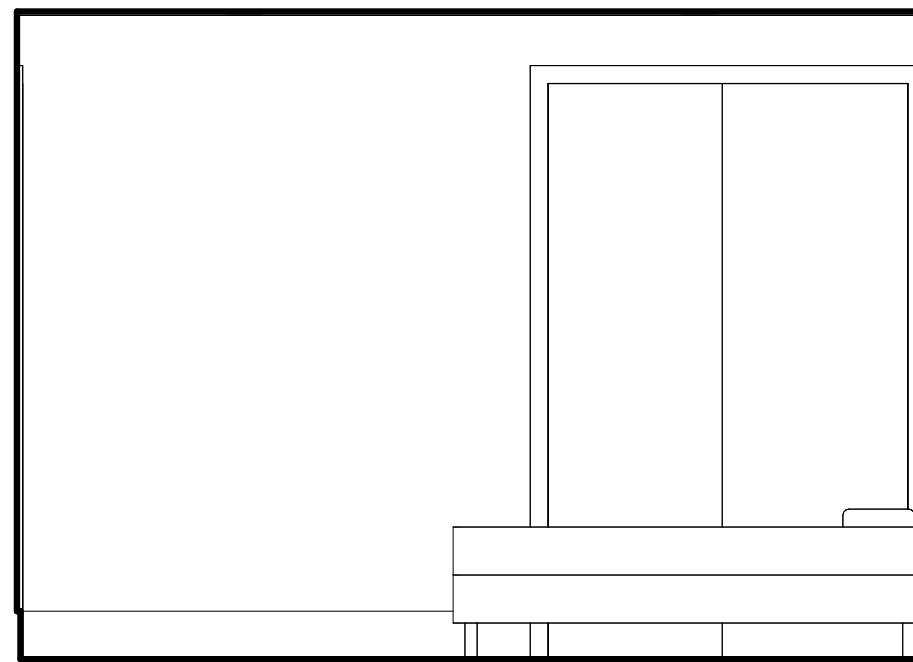
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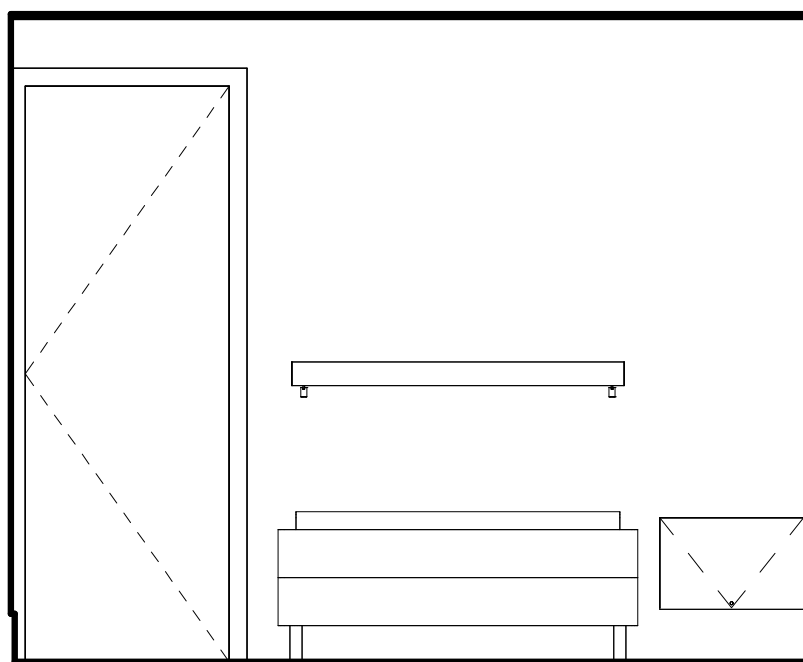
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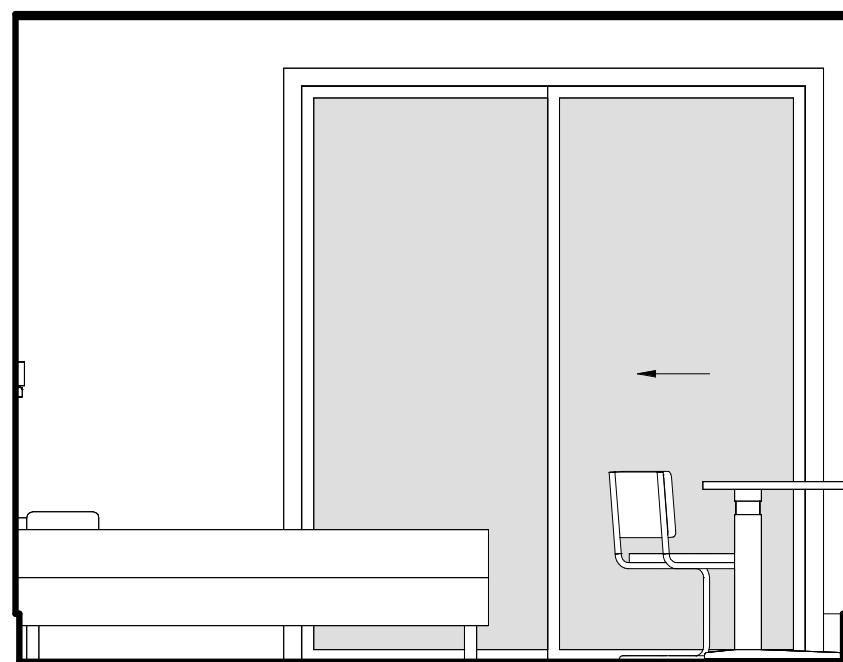
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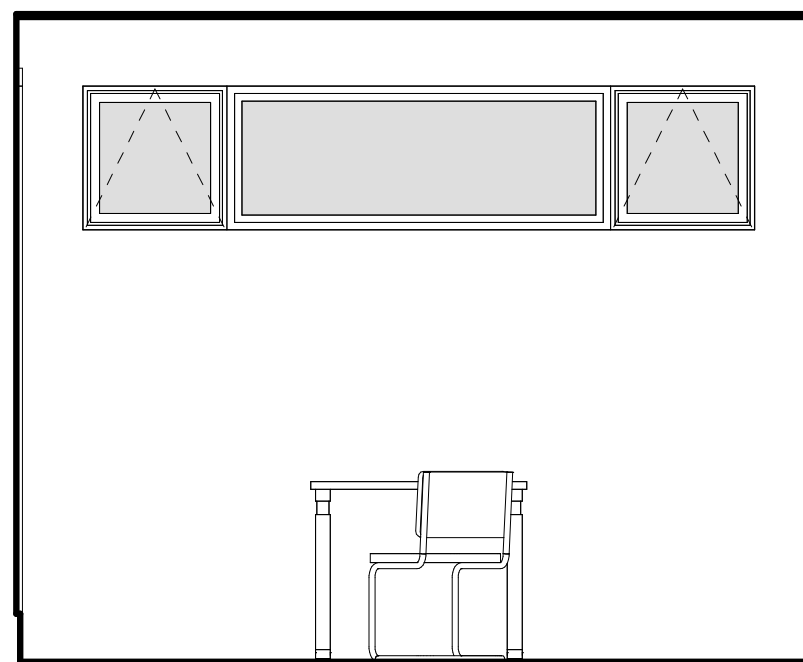
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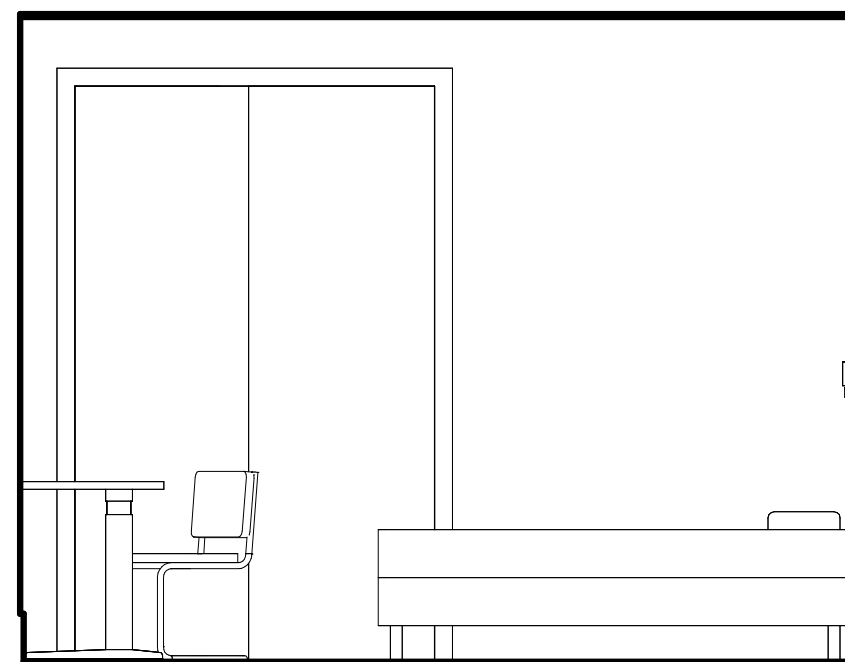
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3/8" = 1'-0"



18 BEDROOM 3 EAST
3/8" = 1'-0"



19 BEDROOM 3 SOUTH
3/8" = 1'-0"



20 BEDROOM 3 WEST
3/8" = 1'-0"



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940

Ph: 831.649.6001

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Date 2025-11-03

Scale 3/8" = 1'-0"

Drawn by Author

Project number 24.07

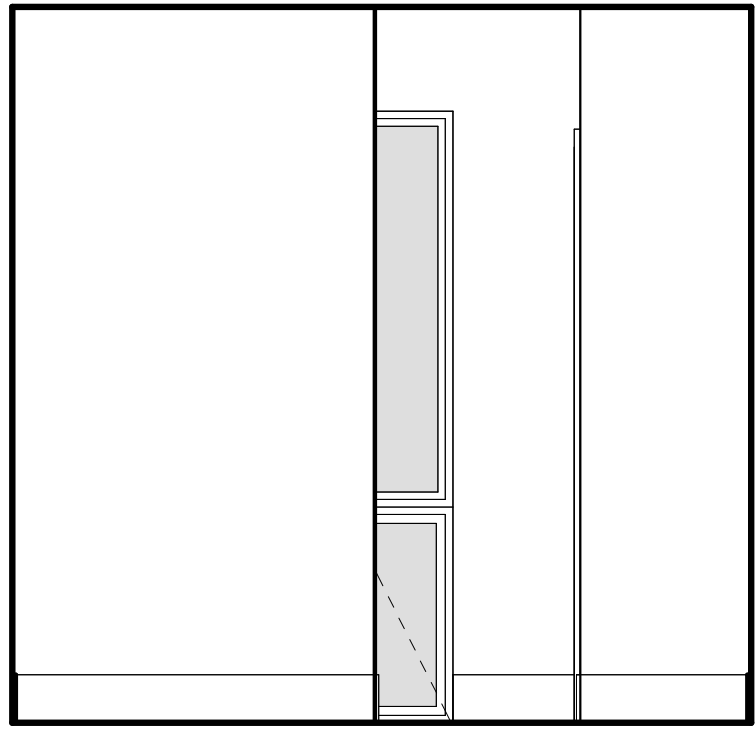
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INTERIOR ELEVATIONS

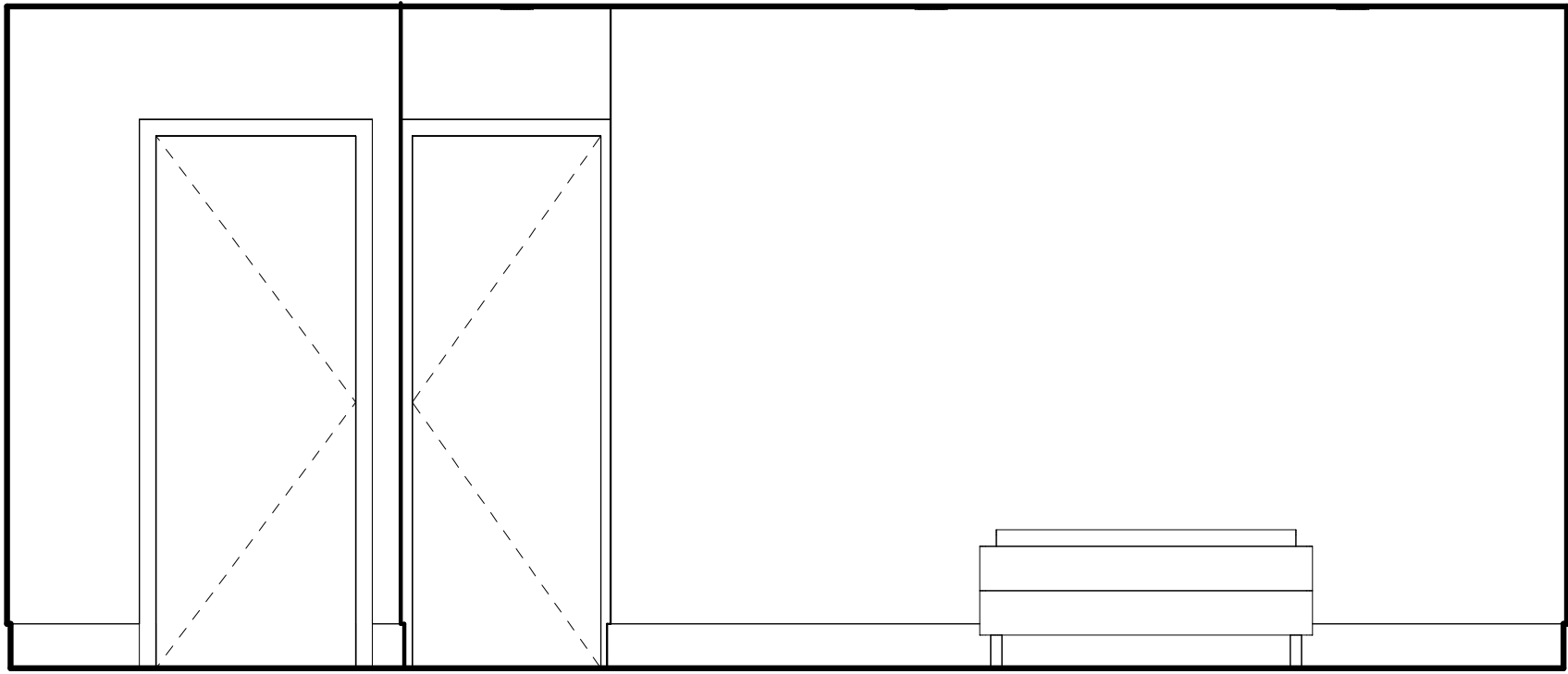
YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

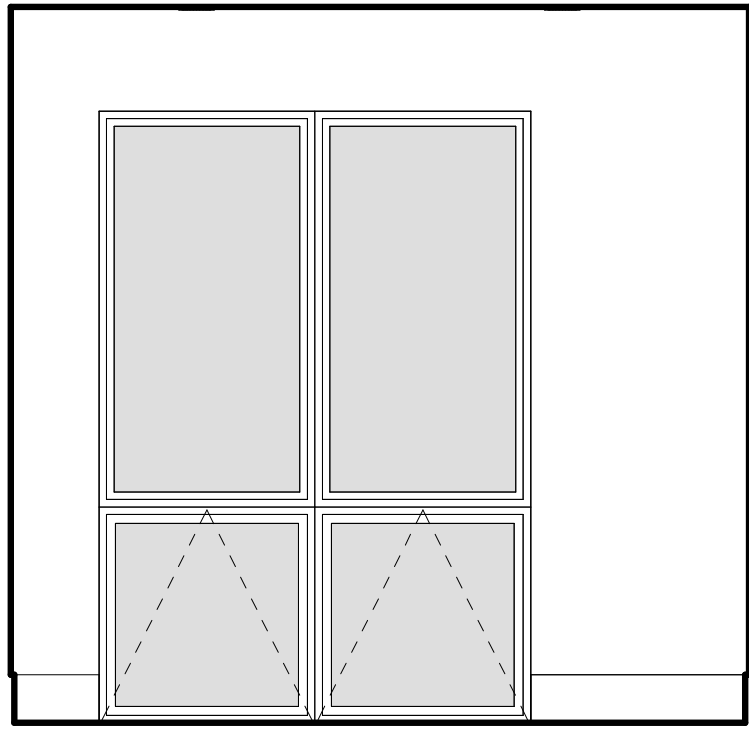
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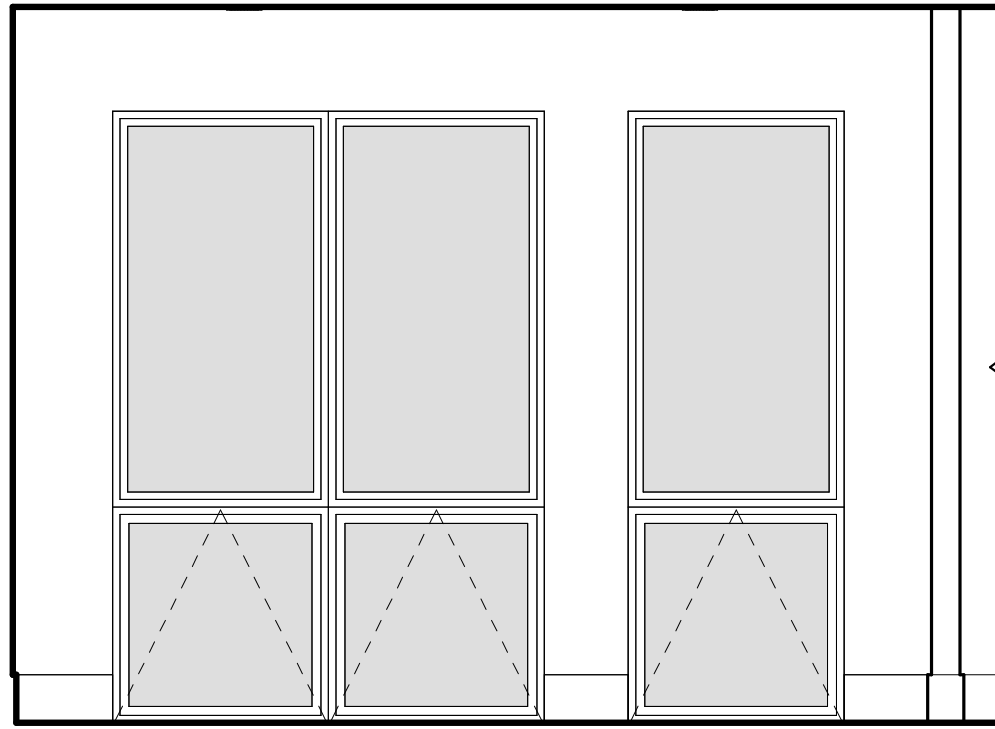
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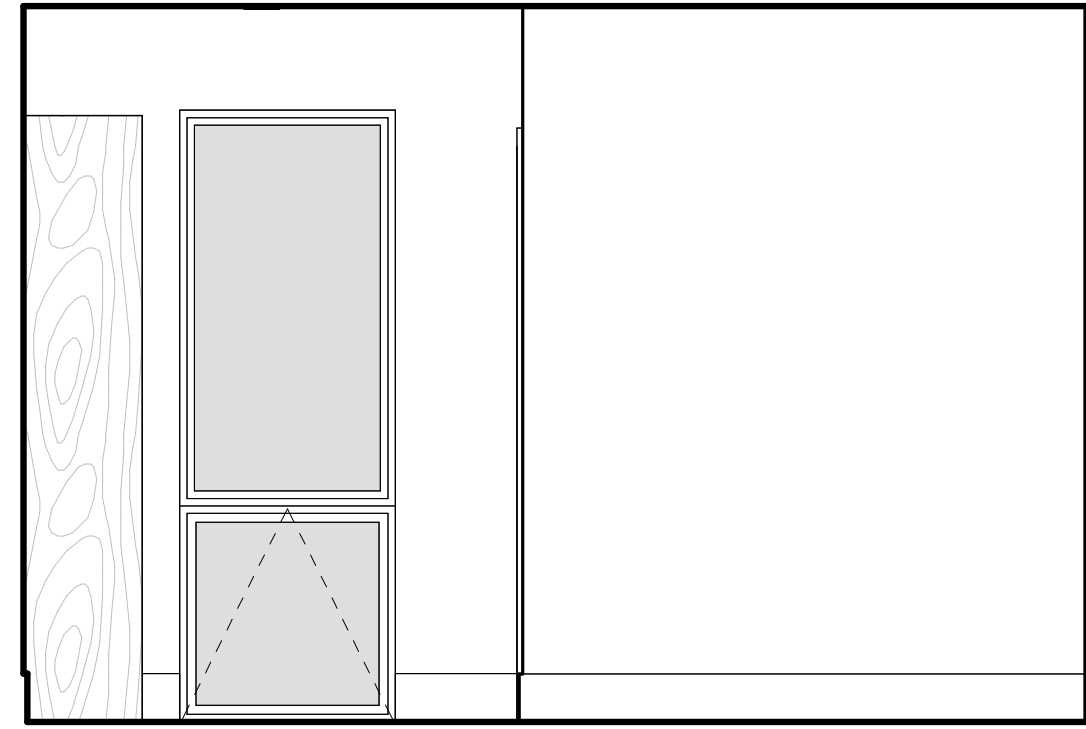
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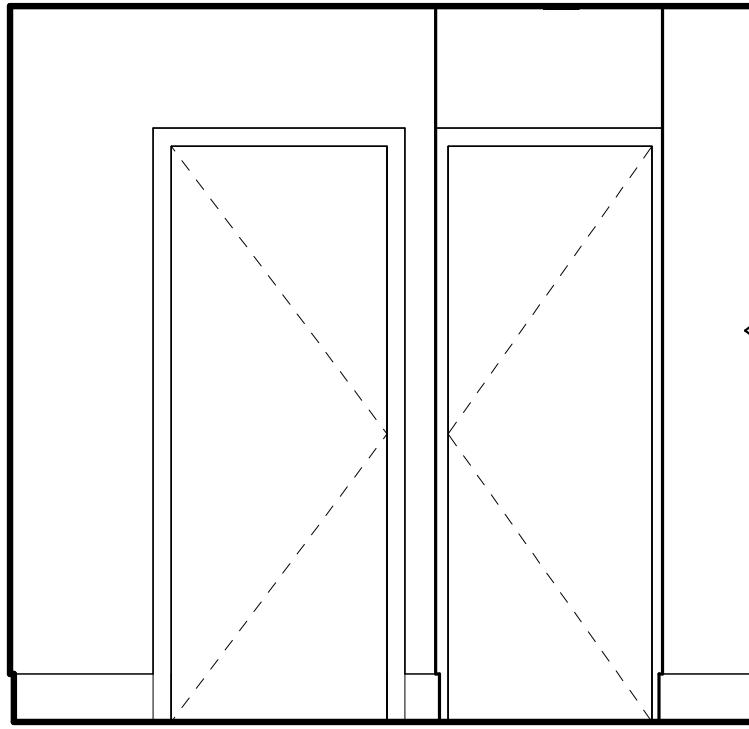
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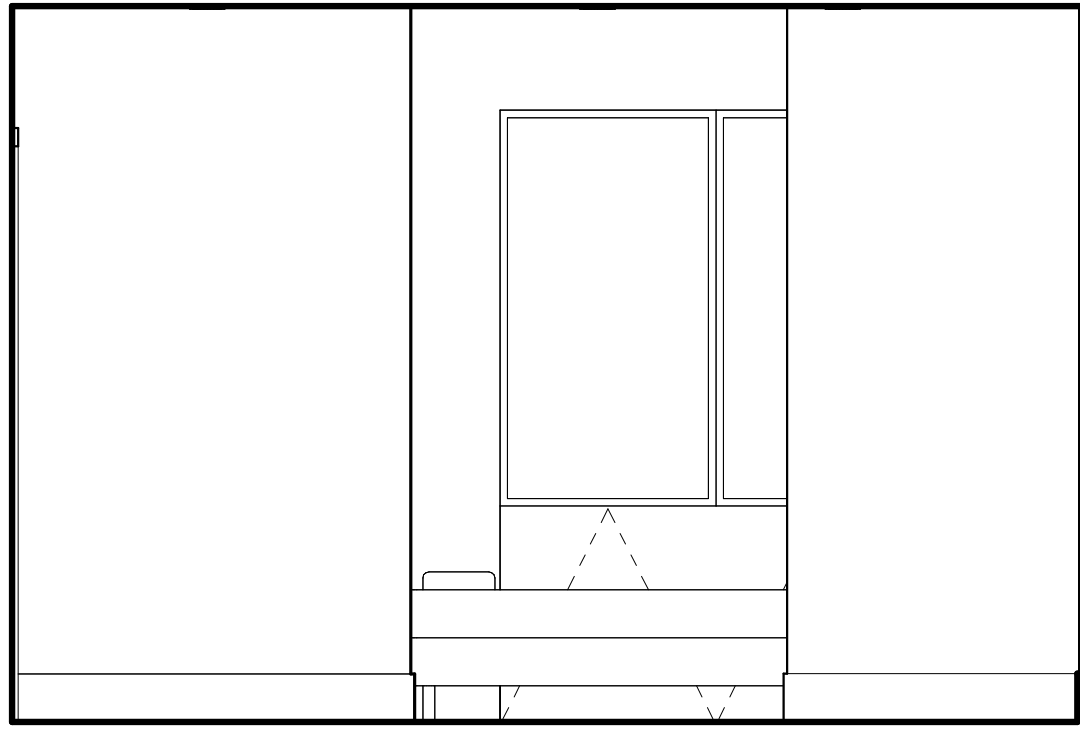
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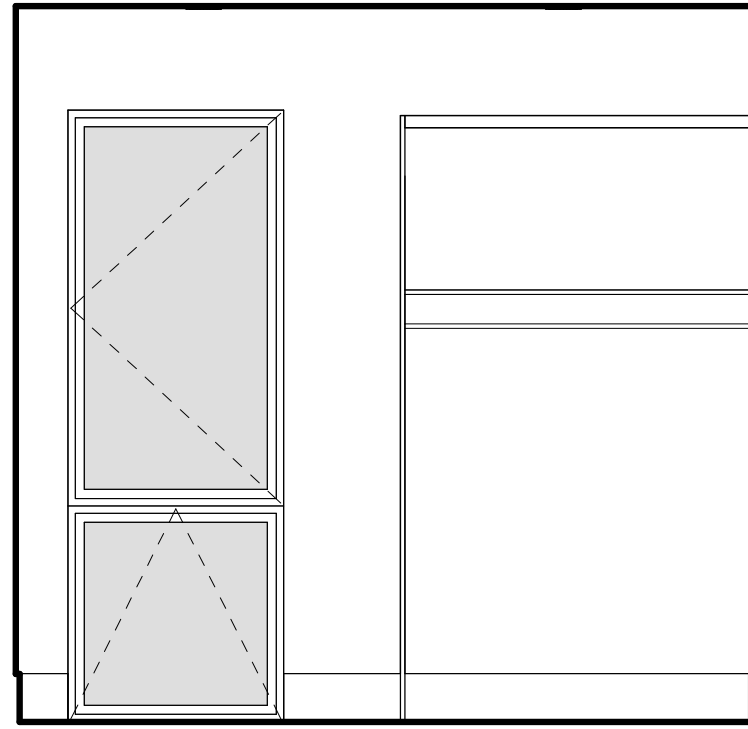
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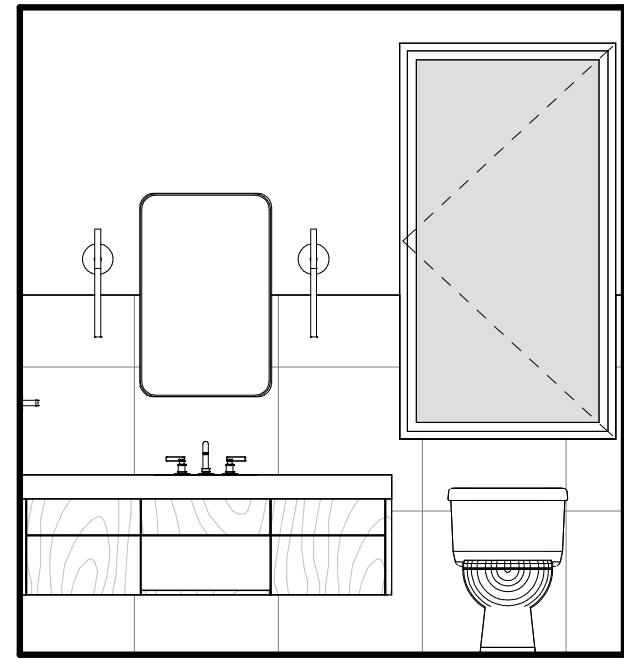
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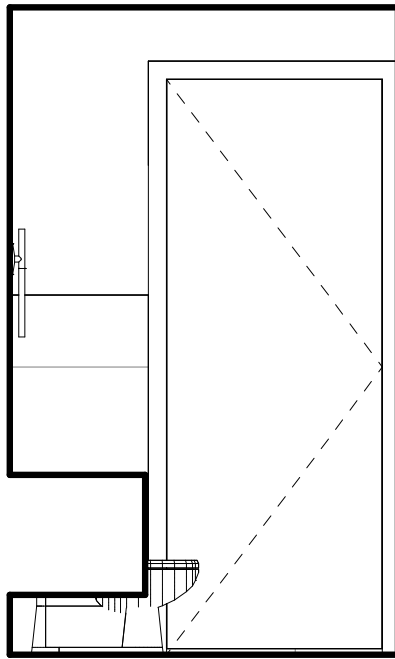
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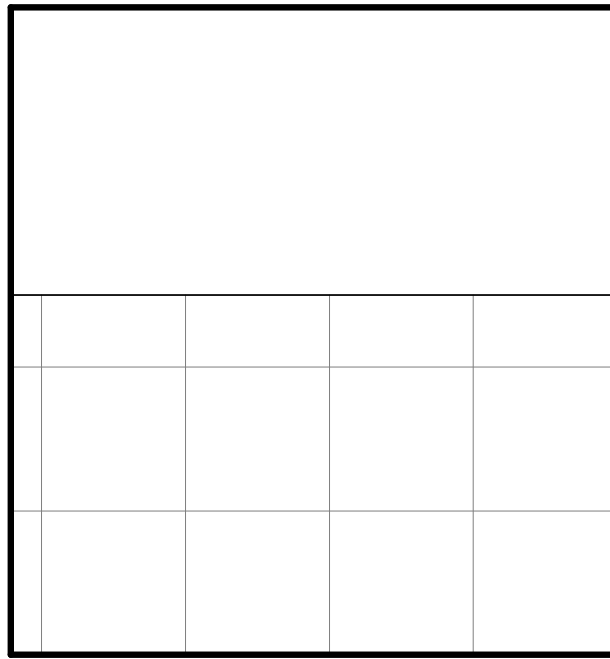
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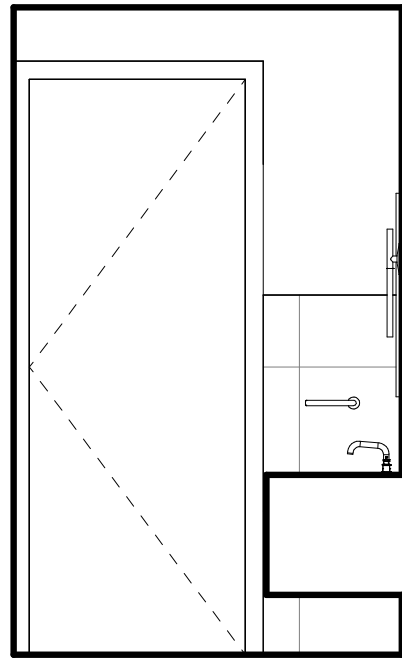
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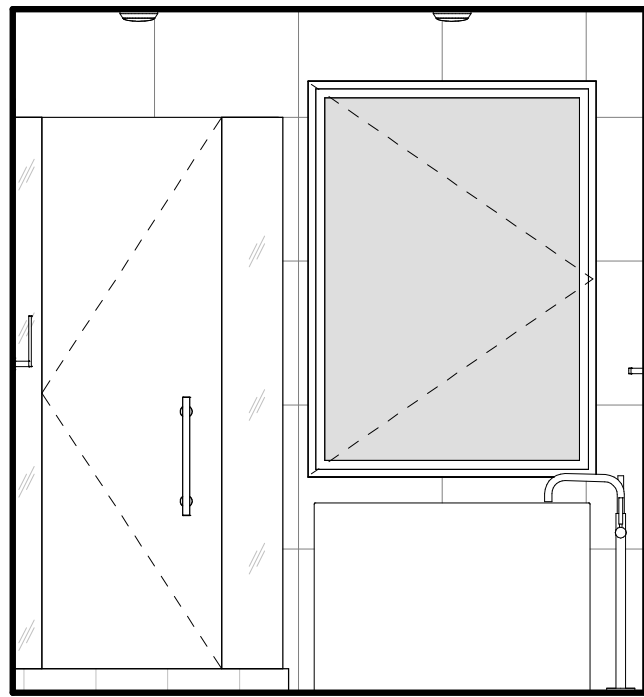
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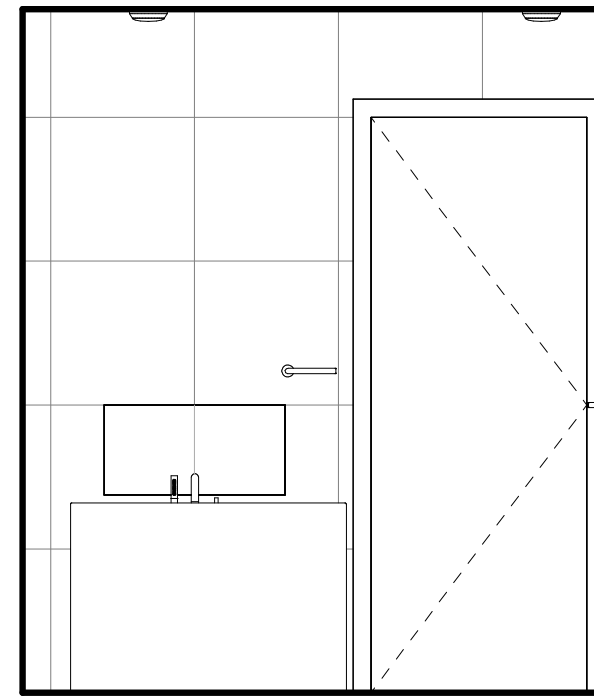
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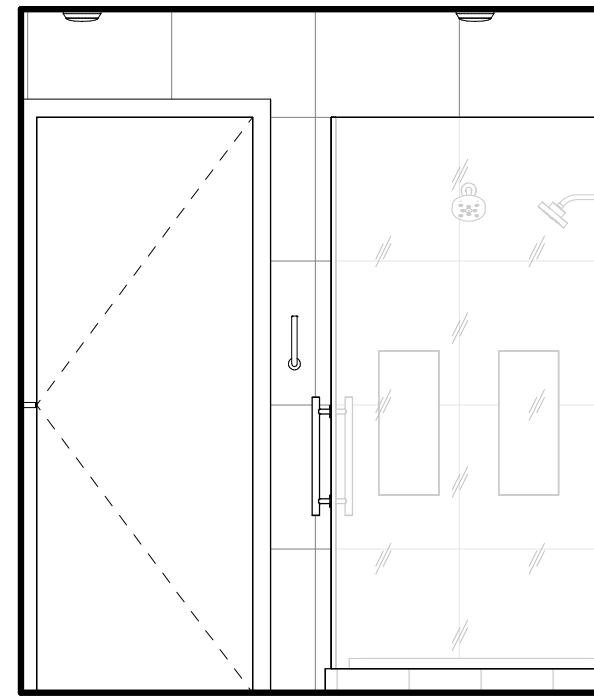
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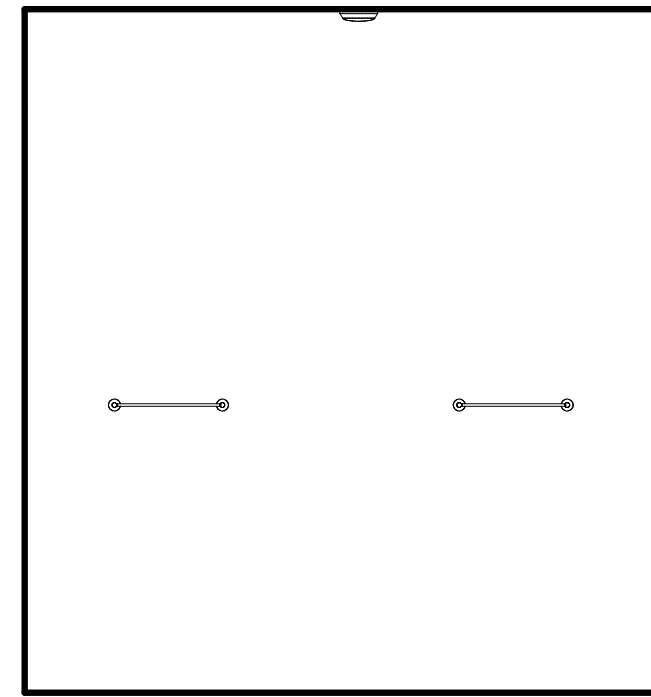
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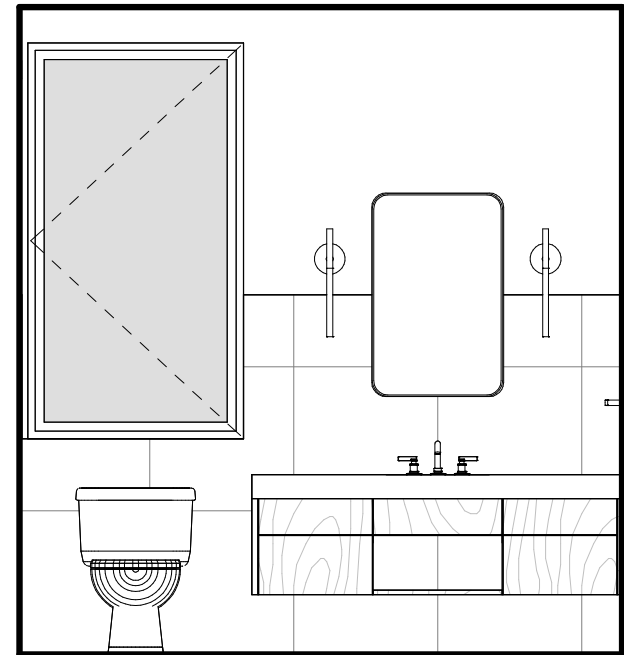
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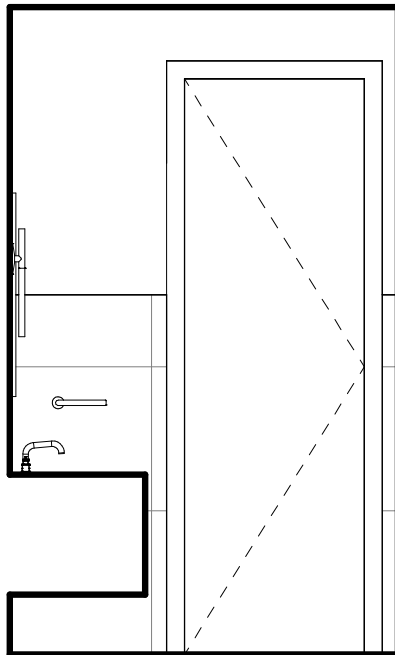
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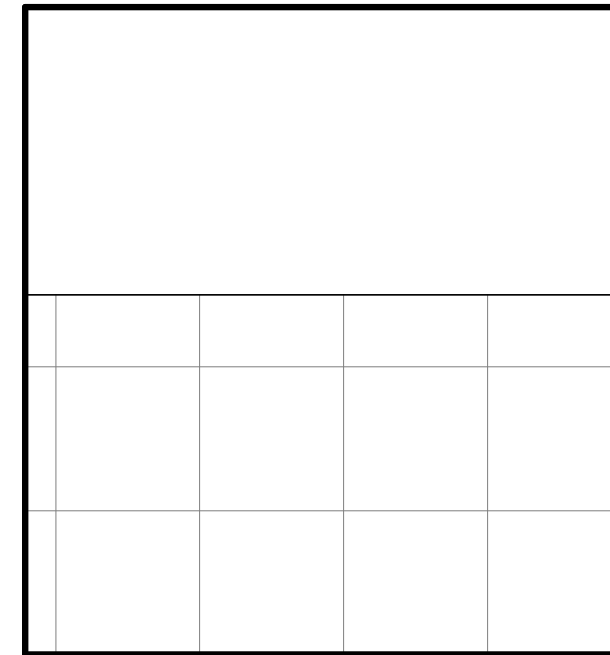
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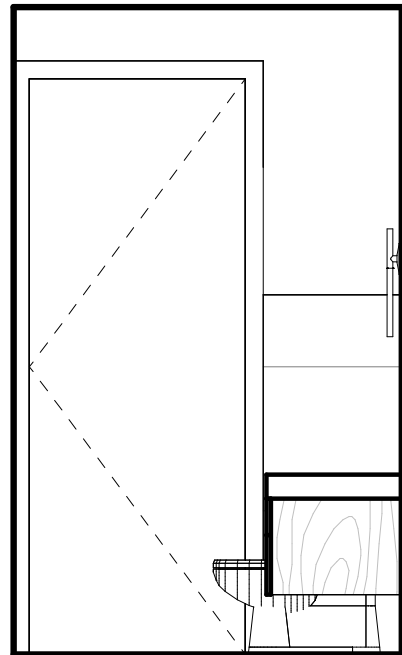
⑰ HER BATH NORTH
3/8" = 1'-0"



⑱ HER BATH EAST
3/8" = 1'-0"



⑲ HER BATH SOUTH
3/8" = 1'-0"



⑳ HER BATH WEST
3/8" = 1'-0"



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ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940

Ph: 831.649.6001

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Date 2025-11-03

Scale 3/8" = 1'-0"

Drawn by Author

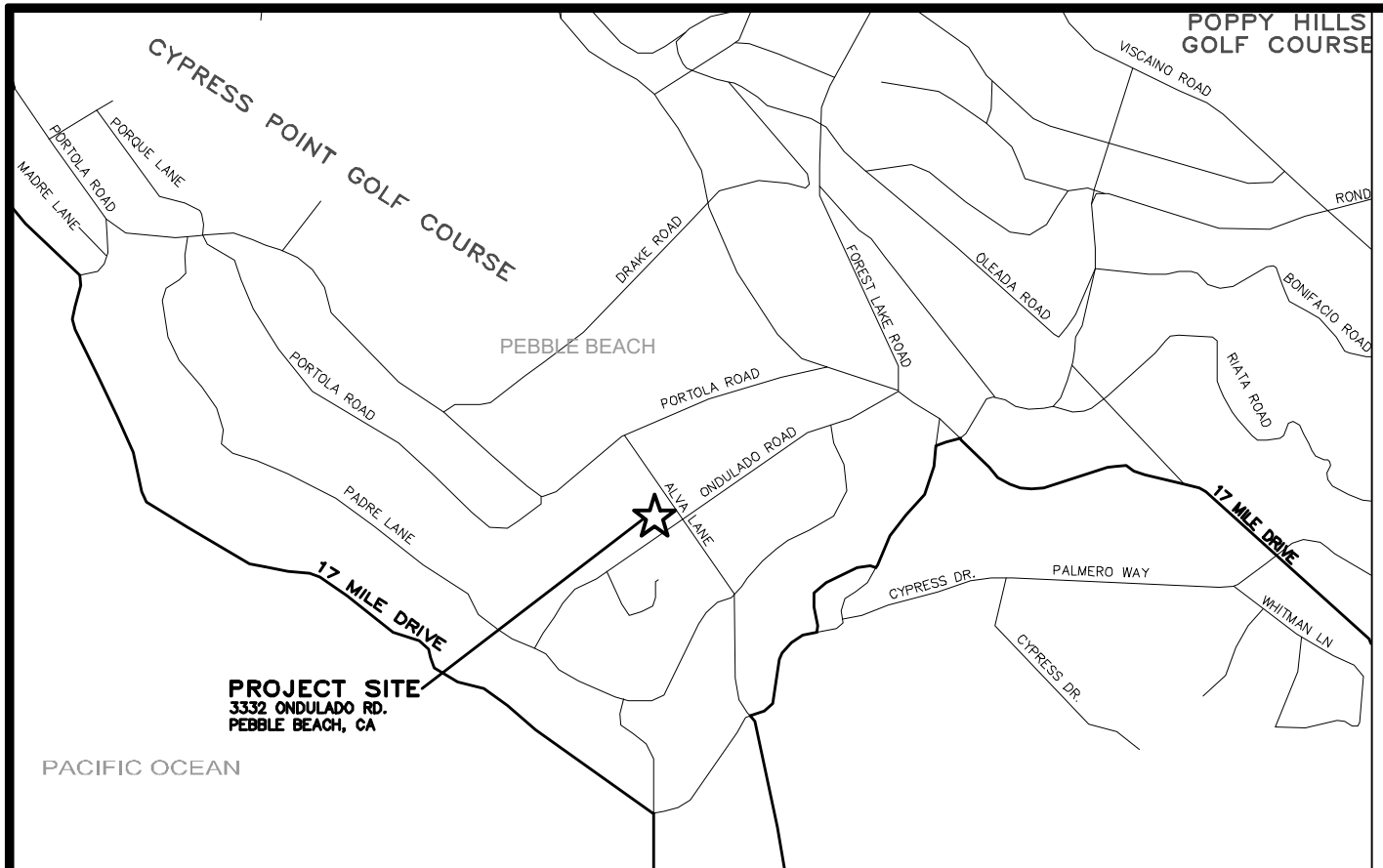
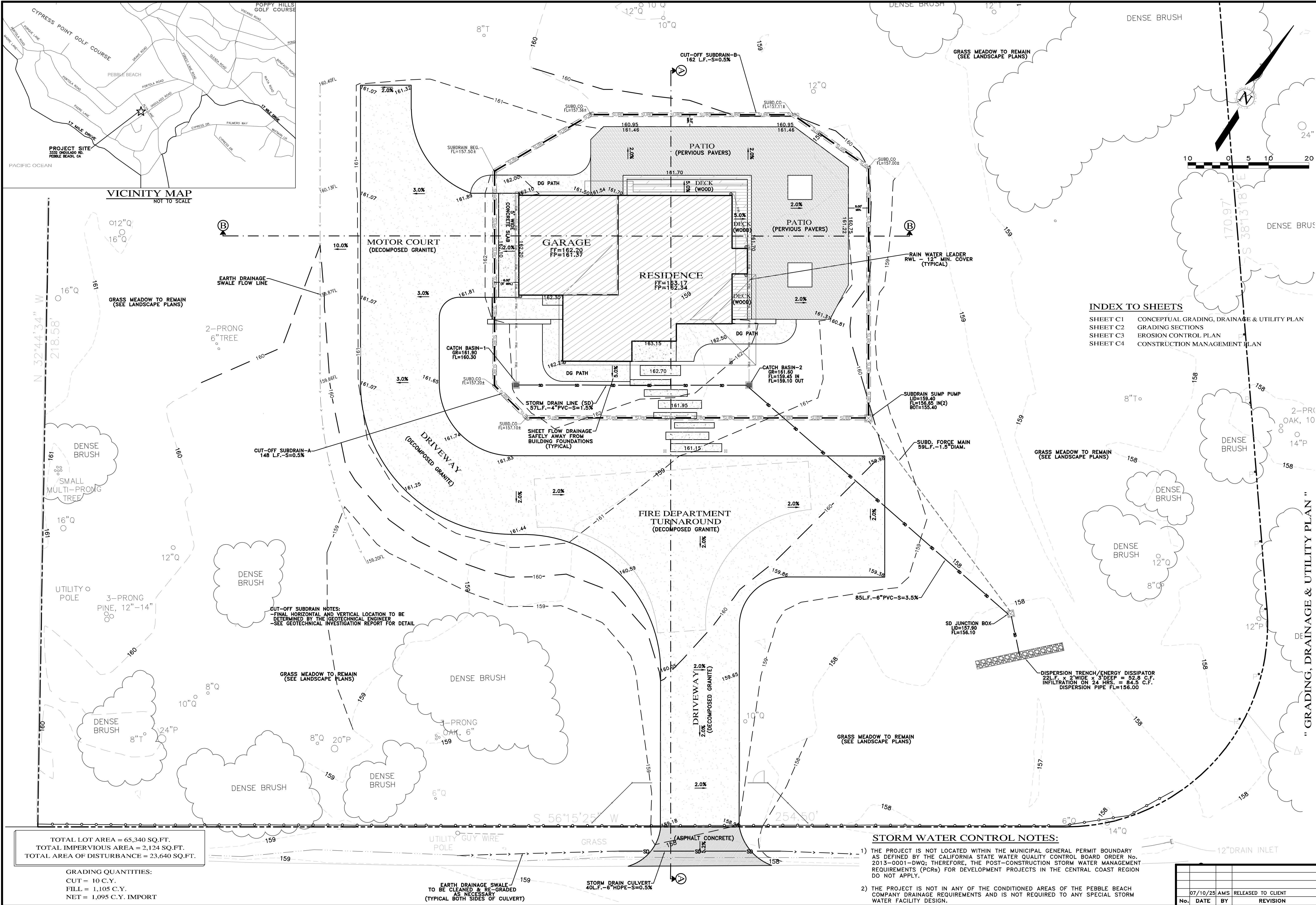
Project number 24.07

| No. | Description | Date |
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INTERIOR ELEVATIONS
YANG. YOSHIHARA RESIDENCE

3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

A5.3



INDEX TO SHEETS

| | |
|----------|---------------------------------------------|
| SHEET C1 | CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN |
| SHEET C2 | GRADING SECTIONS |
| SHEET C3 | EROSION CONTROL PLAN |
| SHEET C4 | CONSTRUCTION MANAGEMENT PLAN |

TOTAL LOT AREA = 65,340 SQ.FT.
TOTAL IMPERVIOUS AREA = 2,124 SQ.FT.
TOTAL AREA OF DISTURBANCE = 23,640 SQ.FT.

GRADING QUANTITIES:
CUT = 10 C.Y.
FILL = 1,105 C.Y.
NET = 1,095 C.Y. IMPORT

- STORM WATER CONTROL NOTES:
- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
 - THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

| No. | DATE | BY | REVISION |
|----------|------|--------------------|----------|
| 07/10/25 | AMS | RELEASED TO CLIENT | |

LANDSET ENGINEERS, INC.
520-B Gray Horse Canyon Road
Salinas, California 95307
Office (831) 443-3801
www.landseteng.com

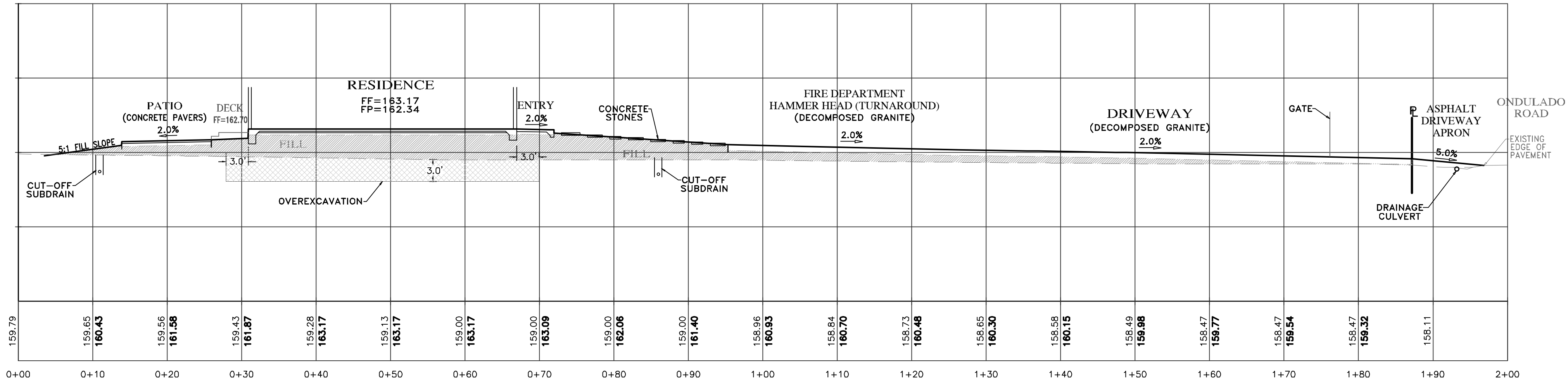
APPROVED BY:
GUY R. GIRARDO
REGISTERED PROFESSIONAL ENGINEER
No. 56569
Exp. 06-30-27
STATE OF CALIFORNIA

GRADING, DRAINAGE & UTILITY PLAN "OF" GRADING, DRAINAGE & UTILITY PLAN "

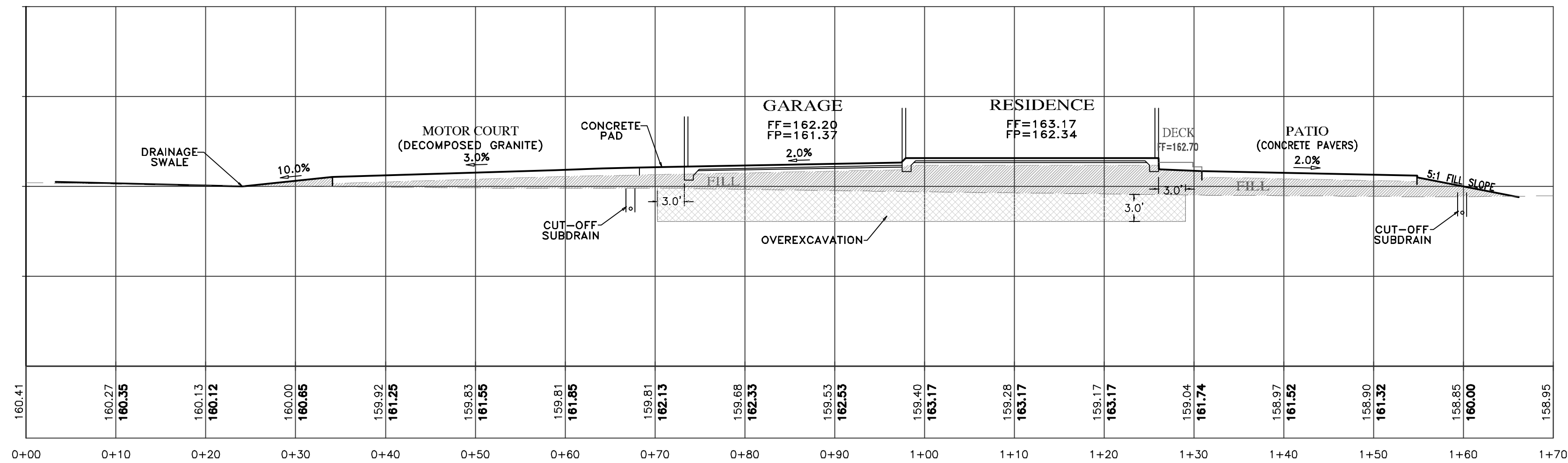
YANG YOSHIHARA RESIDENCE
A.P.N.: 008-302-025
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR PHILIP YANG & MARKO YOSHIHARA

SCALE: 1"=10'
DATE: JULY 2025
JOB NO. 2913-01

SHEET C1
OF 4 SHEETS

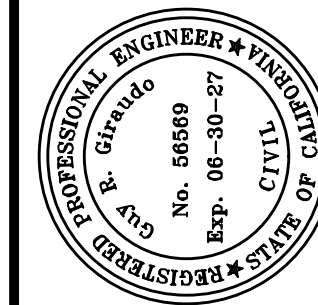


SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:

GUY R. GIRARDO



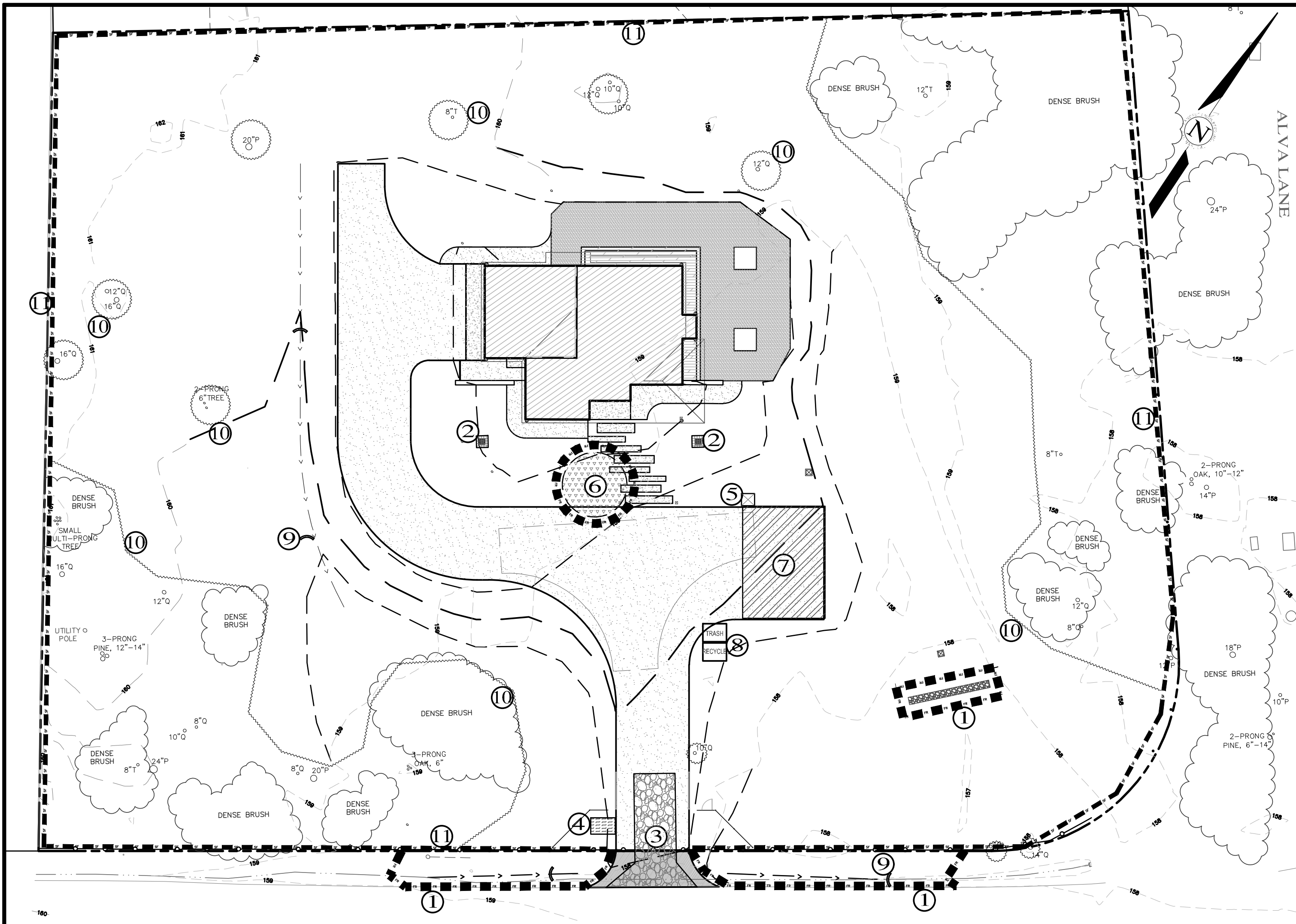
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
YANG YOSHIHARA RESIDENCE
A.P.N.: 008-302-025
FOR
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
PHILIP YANG & MARKO YOSHIHARA

SCALE: 1"=10' H&V
DATE: JULY 2025
JOB NO. 2913-01

SHEET C2

OF 4 SHEETS

| No. | DATE | BY | REVISION |
|----------|------|--------------------|----------|
| 07/10/25 | AMS | RELEASED TO CLIENT | |



PLAN
NOT TO SCALE

LEGEND:

- FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

| VERIFICATION AND INSPECTION TASK | CONTINUOUS DURING TASK LISTED | PERIODICALLY DURING TASK LISTED |
|----------------------------------------------------------------------------------------------------------------------|-------------------------------|---------------------------------|
| 1. Verify material below shallow foundations are adequate to achieve the design bearing capacity | -- | X |
| 2. Verify excavations are extended to proper depth and have reached proper material | -- | X |
| 3. Perform classification and testing of compacted fill materials | -- | X |
| 4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill. | X | -- |
| 5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly. | -- | X |

CONSTRUCTION INSPECTION REQUIREMENTS

A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

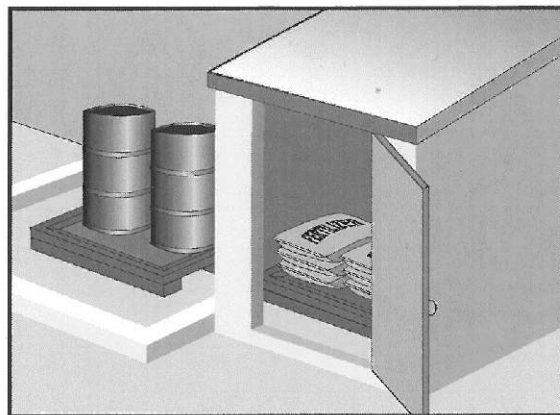
B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNR'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

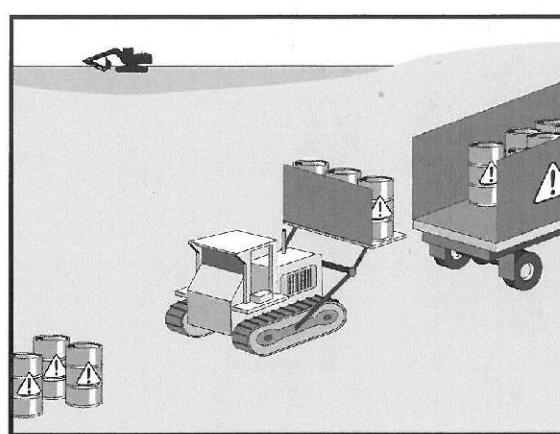
| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:
☒ Primary Category
☒ Secondary Category

| Targeted Constituents |
|-----------------------|
| Sediment |
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

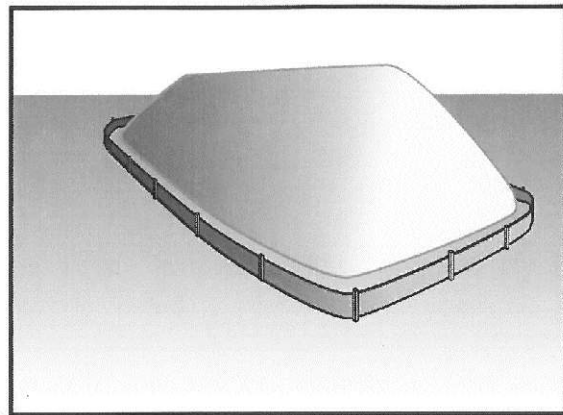
| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:
☒ Primary Objective
☒ Secondary Objective

| Targeted Constituents |
|-----------------------|
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

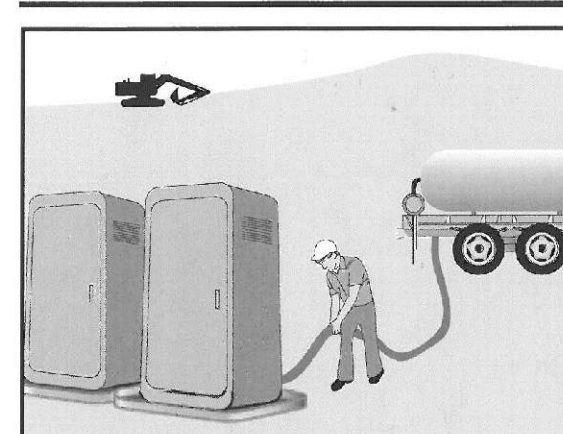
| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:
☒ Primary Category
☒ Secondary Category

| Targeted Constituents |
|-----------------------|
| Sediment |
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

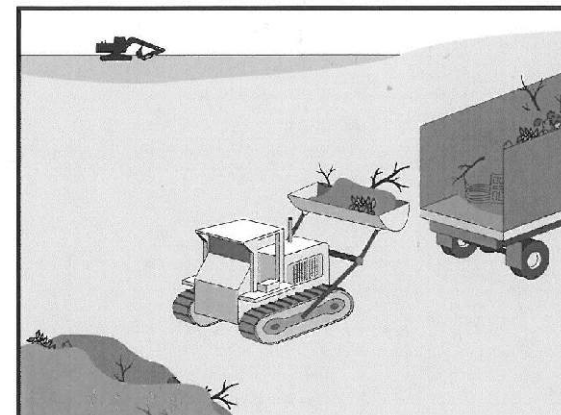
| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:
☒ Primary Category
☒ Secondary Category

| Targeted Constituents |
|-----------------------|
| Sediment |
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

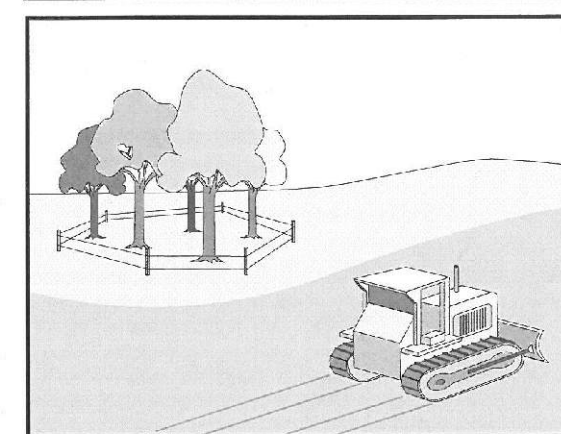
| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:
☒ Primary Objective
☒ Secondary Objective

| Targeted Constituents |
|-----------------------|
| Sediment |
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

| Categories |
|-----------------------------------------------------|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

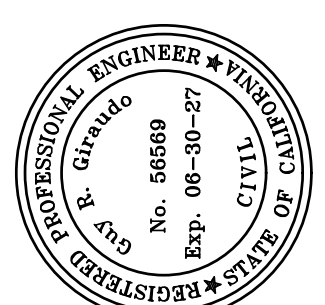
Legend:
☒ Primary Objective
☒ Secondary Objective

| Targeted Constituents |
|-----------------------|
| Sediment |
| Nutrients |
| Trash |
| Metals |
| Bacteria |
| Oil and Grease |
| Organics |

Potential Alternatives
None

" EROSION & SEDIMENT CONTROL PLAN "

OF
YANG YOSHIHARA RESIDENCE
A.P.N.: 008-302-025
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
PHILIP YANG & MARKO YOSHIHARA



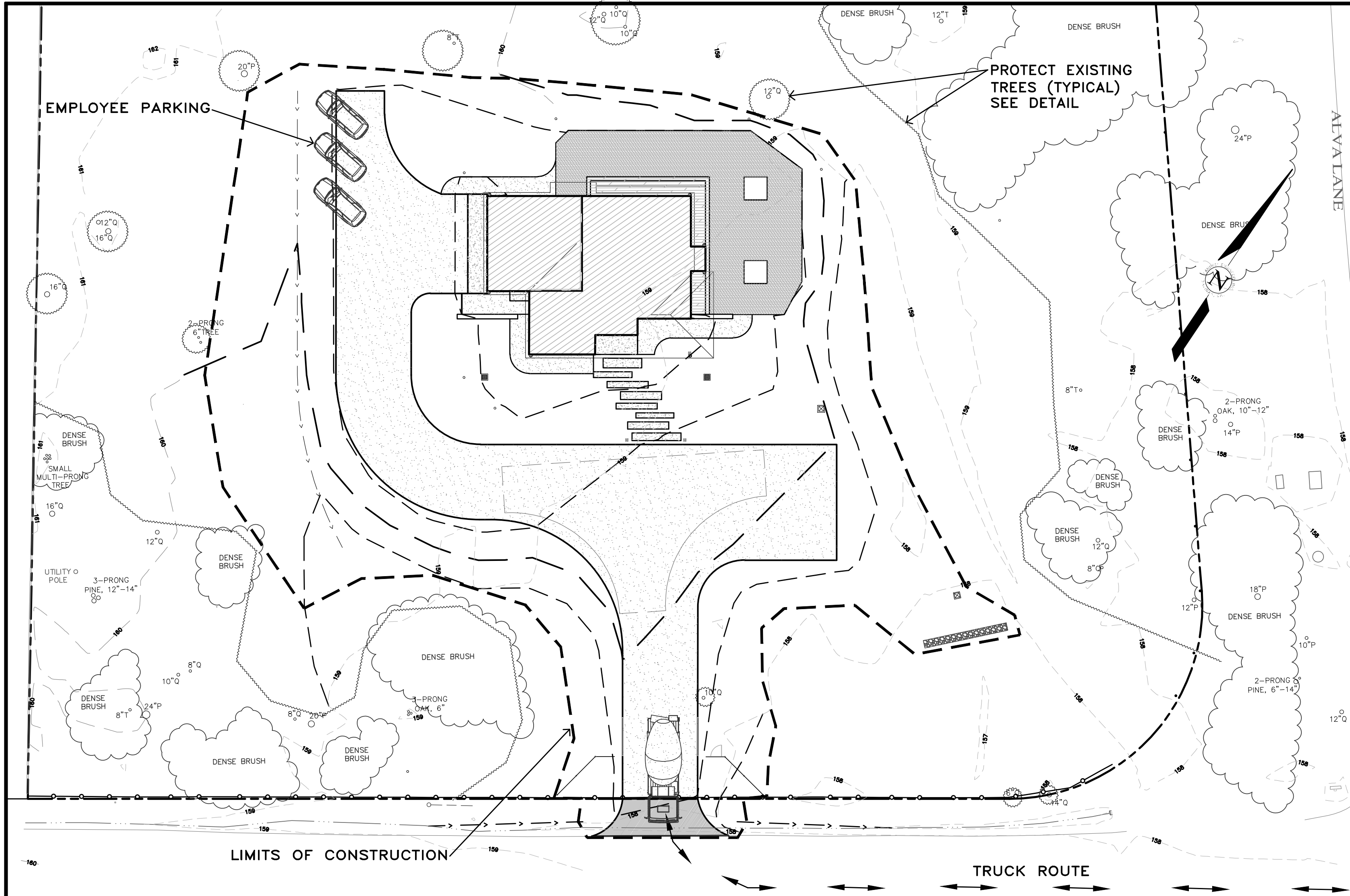
APPROVED BY:
GUY R. GIRARD



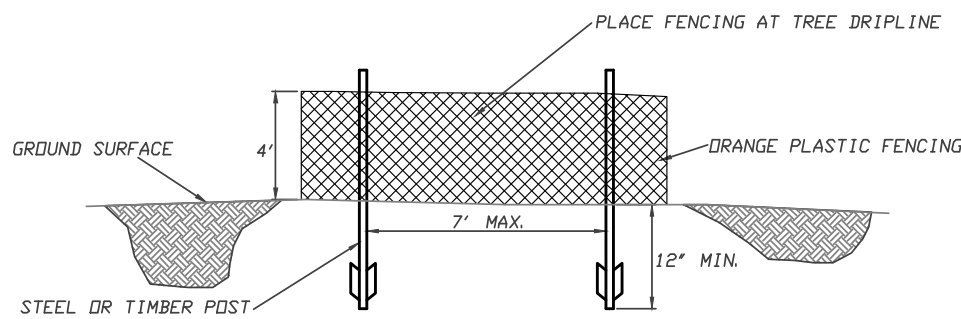
GRADING, DRAINAGE & EROSION CONTROL PLAN

SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2913-01

SHEET C3
OF 4 SHEETS



PLAN
SCALE: 1"=20'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
10 CY CUT
1,105 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. PROPOSED DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DECOMPOSED GRANITE DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON ONDULADO ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM 17 MILE DRIVE TO PORTOLA ROAD TO ONDULADO ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON ONDULADO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN THE PROPOSED GUEST PARKING AREAS AND IN LEGAL SPACES ALONG ONDULADO ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

| CATEGORY | NO. OF TRUCK TRIPS | TOTAL DAYS |
|---------------------------------|--------------------|------------|
| DEMOLITION/CLEARING | 4 | 2 |
| GRADING & SOIL REMOVAL (EXPORT) | 1 | 1 |
| ENGINEERING MATERIALS (IMPORT) | 55 | 7 |
| TOTALS | 60 | 10 |

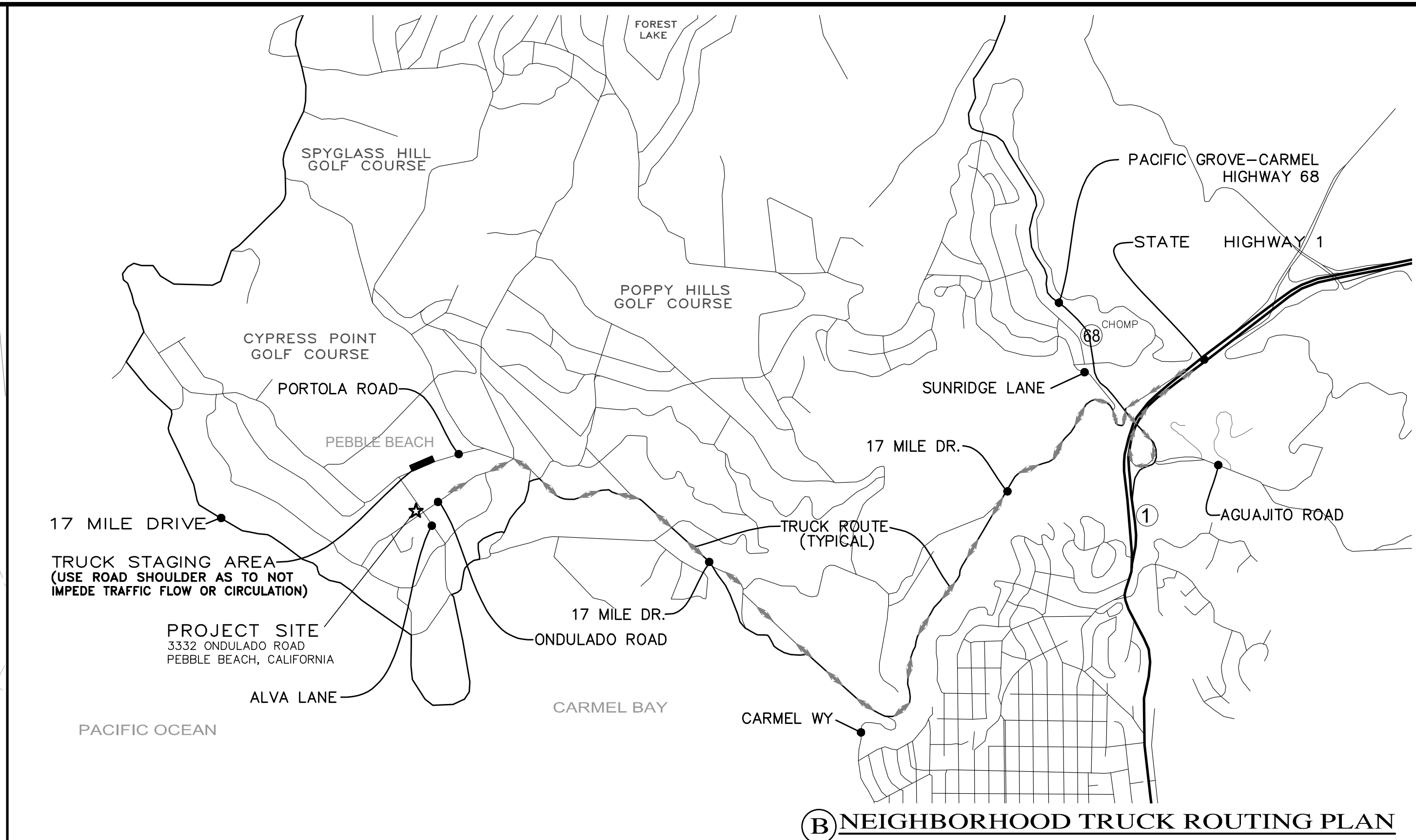
TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY.
2. THERE ARE 1,095 C.Y. OF FILL MATERIAL THAT WILL BE IMPORTED TO THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

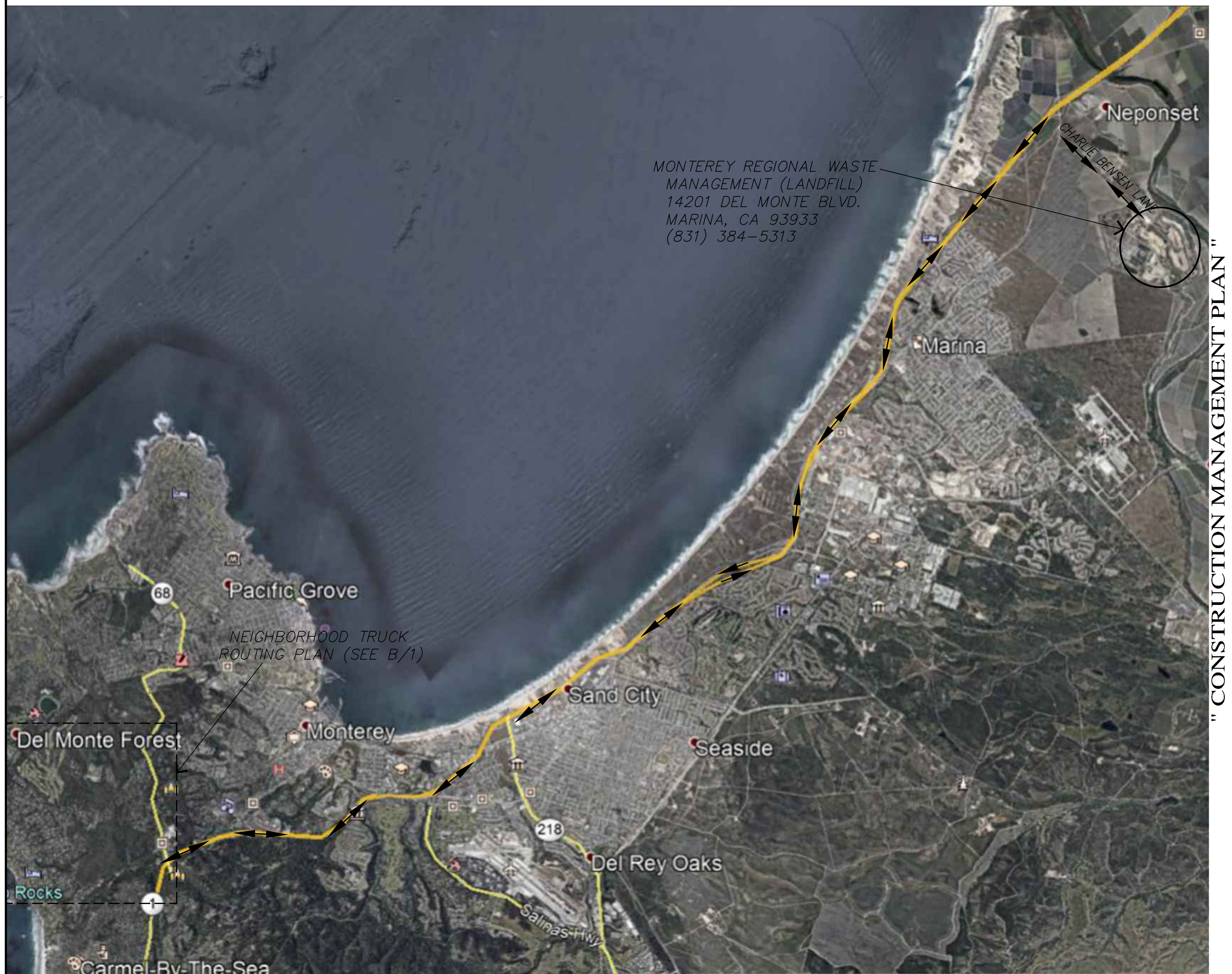
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 11 AUGUST 2025, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

| No. | DATE | BY | REVISION |
|----------|------|--------------------|----------|
| 07/10/25 | AMS | RELEASED TO CLIENT | |

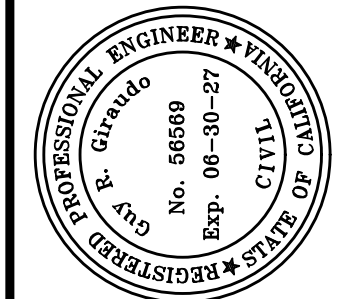
CONSTRUCTION MANAGEMENT PLAN "A" GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
YANG YOSHIHARA RESIDENCE
A.P.N.: 008-302-025
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

PHILIP YANG & MARKO YOSHIHARA

SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2913-01

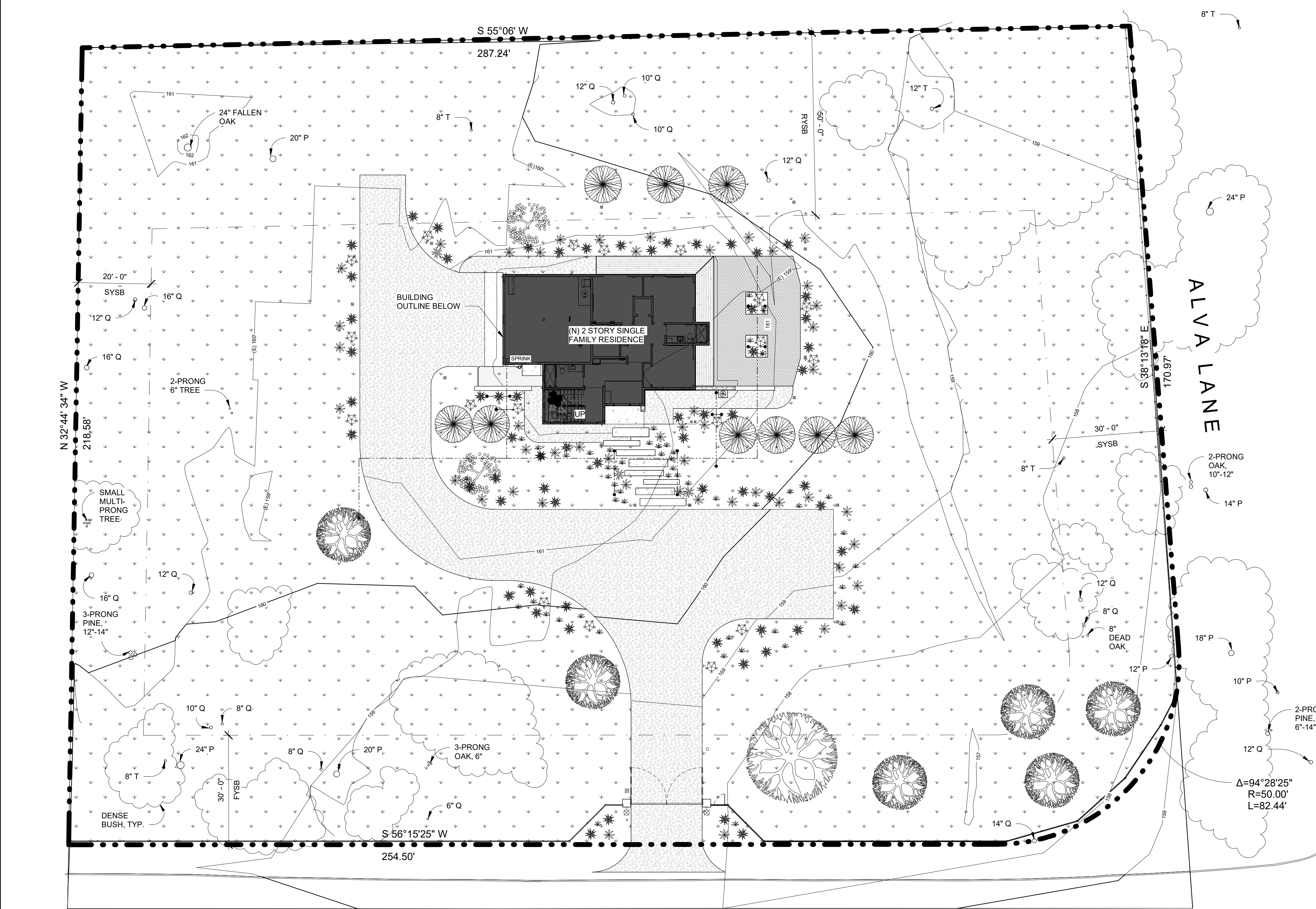
SHEET C4
OF 4 SHEETS



APPROVED BY:

GUY R. GIRARDO





| SYMBOL | NAME | QTY. | SIZE | |
|--------|-------------------------------------------|------|---------|--|
| | QUERCUS AGRIFOLIA LIVE OAK TREE | 5 | 24" BOX | |
| | QUERCUS AGRIFOLIA LIVE OAK TREE | 2 | 36" BOX | |
| | CALIFORNIA ASH | 9 | 5 GAL. | |
| | POPULUS TRICHOCARPA | 2 | 24" BOX | |
| | AGAVE 'BLUE GLOW' | 30 | 1 GAL. | |
| | SENECIO MANDRALISCAE (BLUE CHALKSTICS) | 40 | 1 GAL. | |
| | LUPINUS SUCCULENTUS (RODEO ROSE) | 25 | 1 GAL. | |
| | FESTUCA CALIFORNIA | 35 | 1 GAL. | |
| | EUPHORBIA | 3 | 5 GAL. | |
| | BOUGAINVILLEA SPECTABILIS | 1 | 5 GAL. | |

| HARDSCAPING SUMMARY | | | | |
|---------------------|----------------------------------------------|----------|----------------------|--|
| | | | | |
| | DECOMPOSED GRANITE - TAN/GOLD BLEND | 6,896 SF | 3/4" 1/2" 3/8" | |
| | CALSTONE NARROW JOINT PERMEABLE MISSION | 1,578 SF | 4" x 8" | |
| | CONCRETE PAVEMENT DARK GRAY, BRUSH FINISH | 350 SF | 4" | |

LANDSCAPE PLAN - LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING GROUND CONTOUR (1' INTERVAL)
- PROPOSED GROUND CONTOUR (1' INTERVAL)
- NEW WOOD FENCE
- (E) NATURAL VEGETATION TO BE RETAINED
- EXISTING TREE TO REMAIN
12" DIA. OAK TREE (TYP.)
12" DIA. PINE TREE (TYP.)
12" DIA. TREE (TYP.)
- AUTOMATIC SPRINKLER CONTROLLER
- UNDERGROUND DISTRIBUTION TUBING
- 16 GPH ADJUSTABLE DRIP MULTI STREAM
EMITTER

1 Site Plan - Landscape Plan
1/16" = 1'-0"



EXISTING SOUTH WEST CORNER LOT VIEW



EXISTING SOUTH EAST CORNER LOT VIEW



PROPOSED SOUTH EAST CORNER LOT VIEW

HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA. 93940
Ph: 831.649.6001
WWW.H-arc.com

| | | |
|----------------|--------------|------|
| Date | 2025-11-03 | |
| Scale | As indicated | |
| Drawn by | EB | |
| Project number | 24.07 | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |

LANDSCAPE PLAN

YANG. YOSHIHARA RESIDENCE

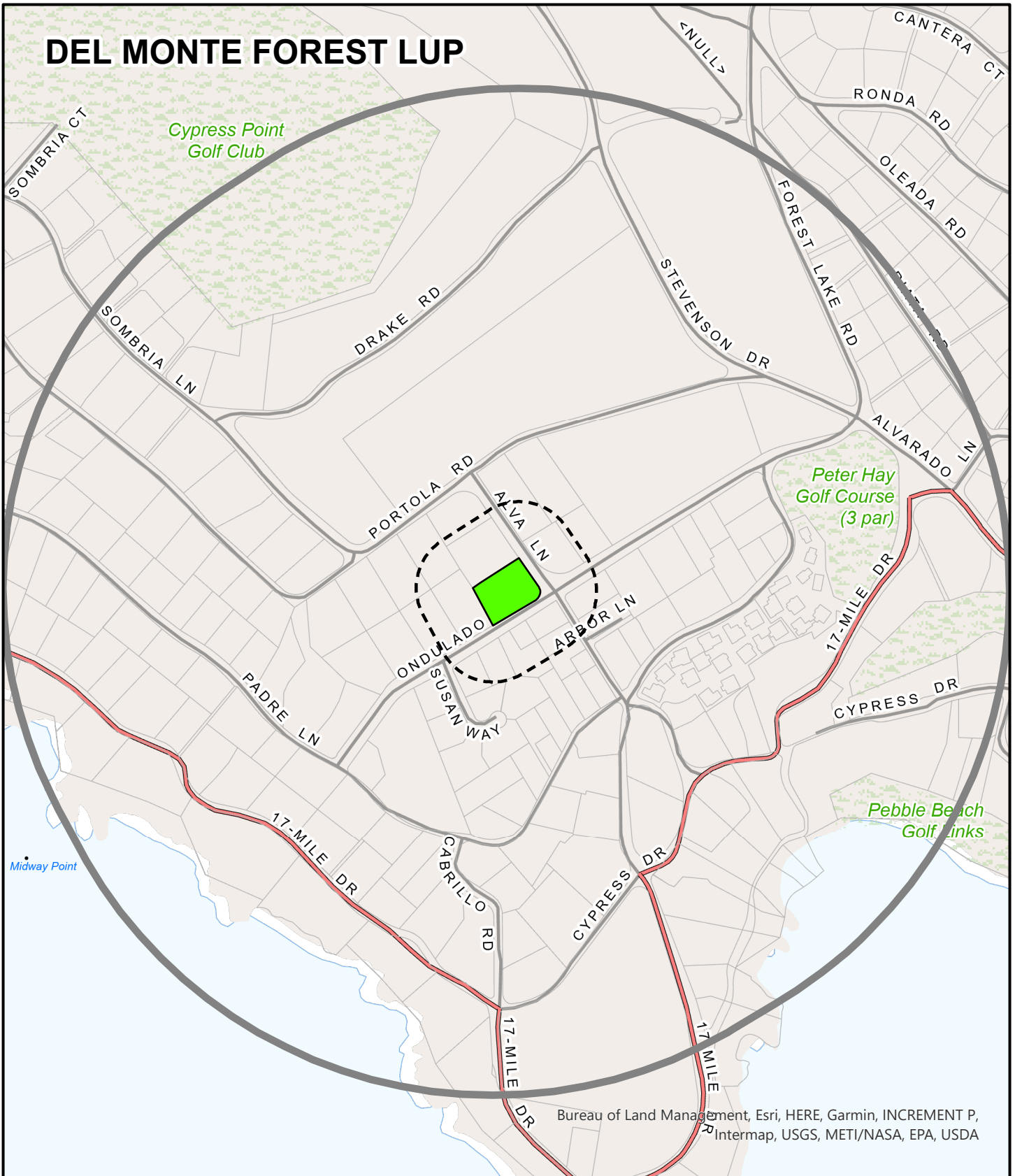
3332 Ondulado RD
Pebble Beach, Ca 93953
A.P.N. 008-302-025-000

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Exhibit B

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DEL MONTE FOREST LUP



APPLICANT: YANG PHILLIP CHUNG-MING

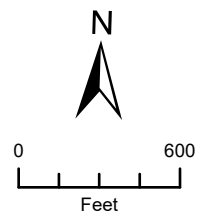
APN: 008302025000

FILE # PLN250127

 Project Site

 300 FT Buffer

 2500 FT Buffer



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Exhibit C

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MINUTES
Del Monte Land Use Advisory Committee
November 6, 2025

1. Meeting called to order by Lori Lietzke at 3:01 pm

2. Roll Call

Members Present:

Lori Lietzke, Maureen Lyon, Rick Verbanec, Ned Van Roekel, Bart Bruno, Kamlesh Parikh

Members Absent:

Carol Church

3. Approval of Minutes:

A. October 16, 2025 minutes

Motion: Ned Van Roekel (LUAC Member's Name)

Second: Rick Verbanec (LUAC Member's Name)

Ayes: Maureen Lyon, Rick Verbanec, Ned Van Roekel, Bart Bruno, Kamlesh Parikh

Noes: _____

Absent: Carol Church

Abstain: Lori Lietzke

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

No

5. Scheduled Item(s)

PLN250127 - YANG PHILLIP & YANG MARIKO TRS (Continued from 10-16-25)
PLN250060 - CURTIS ALASTAIR STUART & AMANDA JANE

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

No

B) Announcements

Change: Future meetings will be held at 4 PM at PBCSD Meeting Room while repairs are being done on the PBCSD Building. All LUAC members agreed.

7. Meeting Adjourned: 3:58 pm

Minutes taken by: Maureen Lyon

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Del Monte Forest

1. **Project Name:** YANG PHILLIP & YANG MARIKO TRS
 File Number: PLN250127
 Project Location: 3332 Ondulado Rd, Pebble Beach, CA 93953
Assessor's Parcel Number(s): 008-302-025-000
 Project Planner: Jordan Evans-Polockow
 Area Plan: Del Monte Forest Land Use Plan, Coastal Zone
Project Description: Demolish a 2,592 square foot single one-story family residence and construction of a 2,813 square foot two-story single-family dwelling with an attached 595 square foot two-car garage.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of the those present)

Phillip and Mariko Yang (owners); Craig Holdren (Architect), Terry Baldwin (Neighbor), Nancy Zahm & John Hagen (neighbors), Hop Essick (neighbor)

Was a County Staff/Representative present at meeting? Jade Mason (Name)

PUBLIC COMMENT:

| Name | Site Neighbor? | | Issues / Concerns (suggested changes) |
|--------------------------------------------------------------|----------------|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | YES | NO | |
| Memo from Nikki Simon, PB ARB (attached to minutes) was read | | X | Memo concerned notification from ARB on construction projects. Only neighbors adjacent are notified. |
| Terry Baldwin (Neighbor) | X | | Concern on drainage from property. Ondulado area has drainage problems. Drainage is being address, catch basin on property. County rep. stated that plans meet county codes for drainage. |
| Craig Holdren | | X | Addressed issue of modern architecture that neighbors had issue with. Did study of area and pointed out many modern buildings in neighborhood. Landscape plan has been revised to include more plantings of trees. |

| | | | |
|------------|---|--|---------------------------------------------------------------------------------|
| John Hagen | X | | What is the size of oaks being planted? Trees will be 7-8 ft; 48 inch planters. |
|------------|---|--|---------------------------------------------------------------------------------|

LUAC AREAS OF CONCERN

| Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc) | Policy/Ordinance Reference (If Known) | Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc) |
|-----------------------------------------------------------------------------------------|------------------------------------------|------------------------------------------------------------------------------------------------------|
| Property fence is very straight and long | | PB would like to see fences lines soften and broken up by plantings or other architectural features. |
| | | |
| | | |

ADDITIONAL LUAC COMMENTS

RECOMMENDATION:

Motion by: Ned Van Roekel (LUAC Member's Name)

Second by: Bart Bruno (LUAC Member's Name)

- ☒ Support Project as proposed
- ☐ Support Project with changes
- ☐ Continue the Item

Reason for Continuance:

Continue to what date:

Ayes: Maureen Lyon, Bart Bruno, Rick Verbanec, Ned Van Roekel, Kamlesh Parikh

Noes:

Absent: Carol Church

Abstain: Lori Lietzke (Rick verbanec took over Lori's duties for this project)

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Del Monte Forest

2. **Project Name:** CURTIS ALASTAIR STUART & AMANDA JANE
 File Number: PLN250060
 Project Location: 3158 Don Ln, Pebble Beach, CA 93953
Assessor's Parcel Number(s): 008-361-024-000
 Project Planner: McKenna Bowling
 Area Plan: Del Monte Forest Land Use Plan, Coastal Zone
Project Description: Construction of 930 square foot additional to an existing 5,622 square foot single family dwelling, and removal of 3 Monterey Pine trees.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of the those present)

Sam Pitnick (architect)

Was a County Staff/Representative present at meeting? Jade Mason (Name)

PUBLIC COMMENT:

| Name | Site Neighbor? | | Issues / Concerns (suggested changes) |
|------|----------------|----|------------------------------------------|
| | YES | NO | |
| | | | |
| | | | |
| | | | |
| | | | |

LUAC AREAS OF CONCERN

| Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc) | Policy/Ordinance Reference (If Known) | Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc) |
|-----------------------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------------------------------------------------------|
| Property located in heavily wooded area | Zone Zero | Work with fire department to increase fire resistance |
| | | |
| | | |

ADDITIONAL LUAC COMMENTS

RECOMMENDATION:

Motion by: Rick Verbanec (LUAC Member's Name)

Second by: Ned Van Roekel (LUAC Member's Name)

X Support Project as proposed

 Support Project with changes

 Continue the Item

Reason for Continuance:

Continue to what date:

Ayes: All

Noes:

Absent: Carol Church

Abstain:

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County of Monterey

Item No.5

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-068

December 03, 2025

Introduced: 11/25/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250267 - CTI TOWERS ASSETS I LLC (T-MOBILE)

Administrative Hearing to consider action on a previously approved permit that allowed installation of antennas and radios on the existing tower to install ground equipment within the existing compound. This Amendment would allow the collocation for T-Mobile on the previously approved wireless telecommunications facility including the installation of a 25 foot high tower extension, antennas and radios on an existing tower and installation of ground equipment within an existing compound.

Project Location: 4040 Sunset Lane, Pebble Beach, CA 93953

Proposed CEQA action: Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines section 15301, and that none of the exceptions from Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines section 15301, and that none of the exceptions from Section 15300.2 apply to the project; and
- b. Approve a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN010094) that allowed installation of antennas and radios on the existing tower to install ground equipment within the existing compound. This Amendment would allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Rachel Bruin

Property Owner: CTI TOWERS ASSETS I LLC

APN: 008-112-009-000

Parcel Size: 0.31 acres

Zoning: Medium Density Residential, 4 acres per unit, with a Design Overlay, or "MDR/4-D(CZ)"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: No

SUMMARY

Staff is recommending approval of a Minor and Trivial Amendment subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3rd, 2025,, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2nd, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services
Environmental Health Bureau
HCD - Environmental Services
Pebble Beach Community Services District

Prepared by: Jordan Evans-Pollockow, Assistant Planner, x7065
Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Pollockow, Planner; Jacquelyn M. Nickerson, Principal Planner; CTI TOWERS ASSETS I LLC, Property Owners; Rachel Bruin, Agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN250267



Administrative Permit

Registrar File Number: AP 25-068

December 03, 2025

Introduced: 11/25/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250267 - CTI TOWERS ASSETS I LLC (T-MOBILE)

Administrative Hearing to consider action on a previously approved permit that allowed installation of antennas and radios on the existing tower to install ground equipment within the existing compound. This Amendment would allow the collocation for T-Mobile on the previously approved wireless telecommunications facility including the installation of a 25 foot high tower extension, antennas and radios on an existing tower and installation of ground equipment within an existing compound.

Project Location: 4040 Sunset Lane, Pebble Beach, CA 93953

Proposed CEQA action: Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines section 15301, and that none of the exceptions from Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines section 15301, and that none of the exceptions from Section 15300.2 apply to the project; and
- b. Approve a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN010094) that allowed installation of antennas and radios on the existing tower to install ground equipment within the existing compound. This Amendment would allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**).

Staff recommends approval subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Rachel Bruin

Property Owner: CTI TOWERS ASSETS I LLC

APN: 008-112-009-000

Parcel Size: 0.31 acres

Zoning: Medium Density Residential, 4 acres per unit, with a Design Overlay, or "MDR/4-D(CZ)"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: No

SUMMARY

Staff is recommending approval of a Minor and Trivial Amendment subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On December 3rd, 2025,, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, December 2nd, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services

Environmental Health Bureau

HCD - Environmental Services

Pebble Beach Community Services District

Prepared by: Jordan Evans-Polockow, Assistant Planner, x7065

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Planner; Jacquelyn M. Nickerson, Principal Planner; CTI TOWERS ASSETS I LLC, Property Owners; Rachel Bruin, Agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN250267

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

CTI TOWERS ASSETS I LLC (T-MOBILE) (PLN250267)

RESOLUTION NO. 25-063

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to section 15300.2; and
1. Approving a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN010094) for 3 satellite radio antennas to co-locate on an existing tower and install ground equipment within an existing compound. This Amendment is to allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound.

[PLN250267 CTI TOWERS ASSETS I LLC, 4040 Sunset Lane, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-112-009-000)]

The CTI TOWERS ASSETS I LLC application (PLN250267) came on for an administrative decision hearing before the County of Monterey Chief of Planning on December 3rd, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Del Monte Forest Coastal Implementation Plan (DMF CIP); and

- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Description. On February 21, 2001, the Monterey County HCD-Planning department approved a permit (PLN010094) for a permit consisting of a satellite radio to co-locate on an existing tower. On September 10th, 2025, an application for a Minor and Trivial Amendment was submitted to HCD-Planning staff. The Amendment will allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound. The ground equipment consists of a 15-foot concrete pad, 3 enclosure cabinets including a Hoffman box, 12 batteries, an ice bridge, one GPS antennae, one meter, and underground conduits in joint trench.
- c) Allowed Use. The property is located at 4040 Sunset Lane, Pebble Beach, within the Del Monte Forst Land Use Plan (Assessor's Parcel Number 008-112-009-000). The parcel is zoned Medium Density Residential, 4 acres per unit, with a Design Overlay, or "MDR/4-D(CZ)" which allows for additions to existing approved wireless telecommunication facilities as a principally allowed use pursuant to Title 20 section 20.14.040.R. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property is located in an American Tower Corporation Site No. 207954, which the owner has granted authorization to T-Mobile to co-locate on a tower ground lease agreement dated October 1st, 2013, between Comcast of California IX Inc., Comcast, and CTI Towers Assets I LLC. The subject property APN:008-112-009-000, is identified in its current configuration as a portion of Lot 9 in Block 204 of Track No. 169 in the Final Map for the City of Pebble Beach, recorded on October 27, 2016 (Volume 5, Page 21). Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design and Visual Resources. The subject area includes a Design Control Overlay, which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character pursuant to Title 20 Chapter 20.44. The proposed collocation and additions to the existing WCF will utilize the existing utility pole, which is silver metal. The development is surrounded by existing vegetation and will blend with the surrounding environment. Pursuant to Title 20 section 20.64.310.H.1, wireless communication facilities should not be sited to create visual clutter or negatively affect specific views. The proposed development will be sited on an existing utility pole with materials and colors to not create a negative visual effect or visual clutter within the area. DMF LUP Policy 48 indicates that new development within visually prominent settings, shall be sited and designed in such a manner that will not take away the scenic value of

the area. Although there will be an increase in height from the top of the existing tower from 80 feet to 105 feet, it is still subordinate to the surrounding environment, similar to the existing height of the adjacent vegetation. Therefore, as proposed and designed, the project is consistent with the design control regulations and is subordinate to the surrounding environment.

- f) Cultural Resources. According to Monterey County Geographic Information System (GIS) records identifies the subject property to be within a moderate archaeological sensitivity area and is not within a known or potential archaeological resource area. Therefore, an archaeological report is not required under the DMF CIP section 20.147.080.B.1. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- g) Wireless Telecommunication Facility. As demonstrated in Finding 6, the project is consistent with the regulations for siting and design of WCF contained in Title 20 Section 20.64.310.
- h) Land Use Advisory Committee (LUAC) Review. Based on the LUAC guidelines, the project was not referred to the Del Monte Forest Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- i) The project planner conducted a site inspection on November 25th, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250267.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff conducted a site inspection on November 25th, 2025, to verify that the site is suitable for this use.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250267.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The existing power pole will continue to provide electricity. The proposed project will not require the use of water or sewer.
 - c) Staff conducted a site inspection on November 25th, 2025, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250267.
4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on November 25th, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250267.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts maintenance or minor alterations of an existing structure.
 - b) The Amendment will install a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound. Due to the installation of equipment being a collocation on an existing facility, being considered a facility used to provide electrical power for public utility services, they qualify for a Class 1 categorical exemption as described in §15301 of the CEQA Guidelines.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. The project site does not contain environmentally sensitive habitat. Additionally, no scenic resources, such as trees, rock outcroppings, and historical buildings, within the scenic highway will be impacted by the proposed project. The development will neither create nor significantly contribute to geologic instability or geologic hazards. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 25th, 2025.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250267.

6. FINDING: WIRELESS COMMUNICATION FACILITIES – The development of the proposed wireless communications facility will not significantly affect any designated public viewing area, scenic corridor, or any identified environmentally sensitive area or resources. The site is adequate for the proposed development of the wireless communications facility, and the applicant has demonstrated that it is the most adequate for the provision of services as required by the Federal Communications Commission (FCC). The proposed wireless communications facility complies with all applicable requirements of Monterey County Code (MCC) Section 20.64.310. The subject property on which the wireless communication facility is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of MCC, and that all zoning violation abatement costs, if any, have been paid. The proposed telecommunication facility will not create a hazard for aircraft in flight.

- EVIDENCE:**
- a) Pursuant to the requirements in Title 20 section 20.64.310.C.7, co-location on pre-existing wireless communication facilities should be pursued to the maximum extent feasible and are allowed on any lot or parcel in any zoning district subject to the General Development Standards that is encouraged when it will decrease visual impact and discouraged in cases when it will increase visual impact. The proposed addition to the existing WCF tower by T-Mobile does not change the use of the existing CTI Towers Assets transmission tower by installing additional equipment and therefore is subject to a Minor and Trivial Amendment as identified in Title 20 section 20.76.115 as a conditional use for the proposed amendments to any coastal administrative permit issued (see evidence “b” in Finding 1).
 - b) Site Location and Analysis Site analysis confirms that the proposed additions to the existing wireless communication facility (WCF) will not substantially alter the visual impact when viewed from Huckleberry Hill or nearby scenic viewpoints, as it is not within the visually sensitive area. The

WCF will continue to match the existing pole's metal finish and blend with its surroundings, consistent with DMF LUP Policy 48.

- c) Co-location. Title 20 section 20.64.310(H)(b) encourages co-location of facilities. While the existing pole will be raised in height with minor additions and will not be replaced, this addition will not substantially alter the visual impact of the existing metal tower as it is a co-location, when viewed from Sunset Lane.

Title 20 section 20.64.310 encourages co-location of wireless facilities when possible. Co-location opportunities were analyzed for the proposed project, which is the existing WCF on the subject property is proposed to be used for co-location, meeting the coverage objectives identified in the plan provided. Photographic simulations provided by the applicant illustrate that there is not a significant increase to the visually perceived bulk or height of the existing tower. The project includes a condition to encourage future co-location by other wireless carriers (Condition No. 7).

- d) The project is consistent with Monterey County Code Chapter 20.92, Airport Approach Zoning, and does not require review by the Monterey County Airport Land Use Commission. This project does not affect any aircraft zones identified in Monterey County Code section 20.92.050 and therefore need not comply with the heights outlined in Monterey County Code section 20.92.060. The proposed collocation on an existing telecommunication facility will not create a hazard for airport approaches or departures.
- e) The project does not penetrate a Federal Aviation Regulation (FAR) Part 77 Imaginary Surface. The project site is located approximately 4.3 miles from Monterey Regional Airport, the nearest public use airport. If deemed necessary by the FCC, warning lights would be located on top of the structure to prevent conflict with any aircraft when visibility is limited. The proposed telecommunication facility will not create a hazard for aircraft in flight.
- f) The project planner reviewed the project application materials and plans and the County GIS database to verify that the project on the subject parcel conforms to the plans listed above and that the site is suitable for this use. The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250267.

7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Del Monte Forest Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 8 in the Del Monte Forest Coastal Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250267.
 - e) The project planner conducted a site inspection on November 25th, 2025.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. In accordance with Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. In accordance with Title 20 Section 20.86.080.A, this project is appealable to the California Coastal Commission as it is between the sea and the first through public road paralleling the sea. For the Del Monte Forest, this would be Highway 68.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301;
2. Approve the Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN010094) for 3 satellite radio antennas to co-locate on an existing tower and install ground equipment within an existing compound. This Amendment is to allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 3rd day of December 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250267

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Minor and Trivial Amendment (PLN250267) to a previously approved Coastal Administrative Permit (PLN010094) allows for 3 satellite radio antennas to co-locate on an existing tower and install ground equipment within an existing compound. This Amendment is to allow collocation for T-Mobile on the previously approved wireless telecommunications facility, which includes installation of a 25-foot-high tower extension, three antennas, three radios, on an existing tower with three swivel and sector mounts, as well as the installation of ground equipment within an existing compound. The property is located at 4040 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-112-009-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Minor and Trivial Amendment (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-112-009-000 on December 3rd, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. EHSP01 - HAZARDOUS MATERIALS BUSINESS PLAN (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The facility is anticipated to store hazardous materials in excess of threshold quantities that require registration with the California Environmental Protection Agency's California Environmental Reporting System (CERS) and an up-to-date Hazardous Materials Business Plan that meets the standards found in the California Code of Regulations, Title 19, Division 2, Chapter 4 (Hazardous Material Release Reporting, Inventory, and Response Plans) and the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Material Release Response Plans and Inventory), and the Monterey County Code Chapter 10.65.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the owner/applicant shall submit a completed Business Plan – Memorandum of Understanding (form available from EHB) that specifies the facility will be registered with CERS and that a Hazardous Materials Business Plan must be on file prior to bringing hazardous materials on site and/or commencement of operations.

5. PD039(B) - WIRELESS REDUCE VISUAL IMPACTS

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall agree in writing that if future technological advances allow for reducing the visual impacts of the telecommunication facility, the applicant shall make modifications to the facility accordingly to reduce the visual impact as part of the facility's normal replacement schedule. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit, in writing, a declaration agreeing to comply with the terms of this condition HCD - Planning for review and approval.

6. PD039(C) - WIRELESS CO-LOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant and/or successors assigns shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. Any expansion or additions of microwave dishes, antennas and/or similar appurtenances located on the monopole, which are not approved pursuant to this permit, are not allowed unless the appropriate authority approves additional permits or waivers. In any case, the overall height of the pole shall not exceed the specified height. (HCD - Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. The overall height of the pole shall not exceed the approved height in accordance with the attached plans.

7. PD039(D) - WIRELESS REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If the applicant abandons the facility or terminates the use, the applicant shall remove the monopole, panel antennas, and equipment shelter. Upon such termination or abandonment, the applicant shall enter into a site restoration agreement subject to the approval of the Director of HCD - Planning and County Counsel. The site shall be restored to its natural state within six (6) months of the termination of use or abandonment of the site.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to abandoning the facility or terminating the use, the Owner/Applicant shall submit a site restoration agreement to HCD - Planning subject to the approval of the HCD - Director of Planning and County Counsel.

Within 6 months of termination of use or abandonment of the site, the Owner Applicant shall restore the site to its natural state.

8. PD039(E) - WIRELESS EMISSION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The facility must comply with Federal Communications Commission (FCC) emission standards. If the facility is in violation of FCC emission standards, the Director of HCD - Planning shall set a public hearing before the Appropriate Authority whereupon the appropriate authority may, upon a finding based on substantial evidence that the facility is in violation of the then existing FCC emission standards, revoke the permit or modify the conditions of the permit. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of use and on an on-going basis, the Owner/Applicant shall submit documentation demonstrating compliance with the FCC emission standards to the Director of HCD-Planning for review and approval.

On an on-going basis, if the facility is in violation of FCC emission standards, the Director of HCD-Planning shall set a public hearing before the Appropriate Authority to consider revocation or modification of the permit.



VICINITY MAP



AMERICAN TOWER®

ATC SITE NAME: PEBBLE BEACH
ATC SITE NUMBER: 207954
T-MOBILE SITE NAME: ATC: PEBBLE BEACH
T-MOBILE SITE NUMBER: SF95723A
SITE ADDRESS: 4040 SUNSET LN
DEL MONTE FOREST, CA 93953



LOCATION MAP



PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

TEP IS A FAMILY OF COMPANIES LICENSED TO PROVIDE DIFFERENT SERVICES IN DIFFERENT JURISDICTIONS. DEPENDING ON THE JURISDICTION, PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES ARE PROVIDED BY TEP OPCO LLC, A DELAWARE LIMITED LIABILITY COMPANY, TEP ENGINEERING, LLC, A NORTH CAROLINA PROFESSIONAL LIMITED LIABILITY COMPANY, OR MSH ENGINEERING, LLC, A NEW YORK PROFESSIONAL LIMITED LIABILITY COMPANY. GENERAL CONTRACTOR SERVICES ARE PROVIDED BY TEP OPCO LLC, A DELAWARE LIMITED LIABILITY COMPANY. WE ACQUIRE THE REQUISITE LICENSES IN EACH STATE. ADDITIONAL INFORMATION CAN BE OBTAINED FROM THE COMPANY.

| REV. | DESCRIPTION | BY | DATE |
|----------|-------------------|-----|----------|
| <u>A</u> | PRELIMINARY | PVW | 02/17/25 |
| <u>0</u> | 100% CONSTRUCTION | SRZ | 04/07/25 |
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ATC SITE NUMBER:
207954

ATC SITE NAME:
PEBBLE BEACH

T-MOBILE SITE NAME:
ATC: PEBBLE BEACH

SITE ADDRESS:
4040 SUNSET LN
DEL MONTE FOREST, CA 93953

SEAL:



04/07/25



| | |
|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

TITLE SHEET

SHEET NUMBER:
G-001

REVISION:
0

154

| COMPLIANCE CODE | PROJECT SUMMARY | | PROJECT DESCRIPTION | SHEET INDEX | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|--------------------------------|------|----------|-----|
| ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. 2022 CALIFORNIA ADMINISTRATIVE CODE 2. 2022 CALIFORNIA BUILDING CODE 3. 2022 CALIFORNIA RESIDENTIAL CODE 4. 2022 CALIFORNIA ELECTRICAL CODE 5. 2022 CALIFORNIA PLUMBING CODE 6. 2022 CALIFORNIA ENERGY CODE 7. 2022 CALIFORNIA FIRE CODE 8. 2022 CALIFORNIA EXISTING BUILDING CODE 9. 2021 INTERNATIONAL BUILDING CODE (IBC) 10. LOCAL BUILDING CODE 11. CITY/COUNTY ORDINANCES | <u>SITE ADDRESS:</u> 4040 SUNSET LN DEL MONTE FOREST, CA 93953 COUNTY: MONTEREY <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: 36.58617 LONGITUDE: -121.92296 GROUND ELEVATION: 785' AMSL <u>ZONING INFORMATION:</u> JURISDICTION: MONTEREY COUNTY PARCEL ID: 008112009000 | | THE PROPOSED PROJECT INCLUDES MODIFYING GROUND BASED AND TOWER MOUNTED EQUIPMENT AS INDICATED PER BELOW: <u>TOWER WORK:</u> INSTALL (3) VFA8-NPNH SECTOR MOUNT(S), (3) RRU DUAL SWIVEL MOUNT(S), (3) AIR 6419 B41 ANTENNA(S), (3) APXVAALL24M-U-J20 ANTENNA(S), (3) RADIO 4480 B71+B85A RRU(s), (3) RADIO 4460 B25+B66 RRU(s), (9) PIPE MOUNT(S), (9) CROSSOVER PLATE KIT(S), AND (2) 6/24 4AWG (2.00" / 50.8mm) HYBRID TRUNK(S) (LENGTH: ± 70m). PROPOSED TOWER EXTENSION TO BE PERMITTED AND INSTALLED BY OTHERS. <u>GROUND WORK:</u> INSTALL (1) 10' X 15' CONCRETE PAD(S), (1) ENCLOSURE 6160 V2 AC CABINET(S), (1) ENCLOSURE B160 CABINET(S), (12) NORTHSTAR NSB 190FT BATTER(IES), (2) H-FRAME(S), (1) 200A PPC(s), (1) HOFFMAN BOX(ES), (1) ICE BRIDGE(S), (1) GPS ANTENNA(S), (1) METER(S), (1) DISCONNECT(S), (2) RP 6651(s), (1) CSR IXRE V2(s), (1) LED LUMINARE(s), AND UNDERGROUND CONDUIT(S) IN JOINT TRENCH. RFDS VERSION: 1 PROJECT TYPE: REPLACEMENT APPROVED: 10/16/2024 10:17:44 AM | SHEET NO: | DESCRIPTION: | REV: | DATE: | BY: |
| | | | | G-001 | TITLE SHEET | 0 | 04/07/25 | SRZ |
| | | | | G-002 | GENERAL NOTES | 0 | 04/07/25 | SRZ |
| | | | | C-001 | OVERALL SITE PLAN | 0 | 04/07/25 | SRZ |
| | | | | C-101 | DETAILED SITE PLAN | 0 | 04/07/25 | SRZ |
| | | | | C-102 | DETAILED EQUIPMENT LAYOUT | 0 | 04/07/25 | SRZ |
| | | | | C-201 | TOWER ELEVATION | 0 | 04/07/25 | SRZ |
| | | | | C-401 | ANTENNA INFORMATION & SCHEDULE | 0 | 04/07/25 | SRZ |
| | | | | C-501 | CONSTRUCTION DETAILS | 0 | 04/07/25 | SRZ |
| | | | | C-502 | CONSTRUCTION DETAILS | 0 | 04/07/25 | SRZ |
| | | C-503 | CONSTRUCTION DETAILS | 0 | 04/07/25 | SRZ | | |
| | | C-504 | CONSTRUCTION DETAILS | 0 | 04/07/25 | SRZ | | |
| | | E-101 | GROUNDING DETAILS & ELECTRICAL SCHEMATIC | 0 | 04/07/25 | SRZ | | |
| | | E-501 | GROUNDING DETAILS | 0 | 04/07/25 | SRZ | | |
| | | E-601 | PANEL SCHEDULE & ONE-LINE DIAGRAM | 0 | 04/07/25 | SRZ | | |
| | | R-601 - R-610 | SUPPLEMENTAL | | | | | |
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GENERAL CONSTRUCTION NOTES:

1. OWNER FURNISHED MATERIALS, T-MOBILE "THE COMPANY" WILL PROVIDE AND THE CONTRACTOR WILL INSTALL

A. BTS EQUIPMENT FRAME (PLATFORM) AND ICEBRIDGE SHELTER (GROUND BUILD/CO-LOCATE ONLY)

B. AC/TELCO INTERFACE BOX (PPC)

C. ICE BRIDGE (CABLE TRAY WITH COVER) (GROUND BUILD/CO-LOCATE ONLY, GC TO FURNISH AND INSTALL FOR ROOFTOP INSTALLATION)

D. TOWERS, MONOPOLES

E. TOWER LIGHTING

F. GENERATORS & LIQUID PROPANE TANK

G. ANTENNA STANDARD BRACKETS, FRAMES AND PIPES FOR MOUNTING

H. ANTENNAS (INSTALLED BY OTHERS)

I. TRANSMISSION LINE

J. TRANSMISSION LINE JUMPERS

K. TRANSMISSION LINE CONNECTORS WITH WEATHERPROOFING KITS

L. TRANSMISSION LINE GROUND KITS

M. HANGERS

N. HOISTING GRIPS

O. BTS EQUIPMENT
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS FENCING, STRUCTURAL STEEL SUPPORTING SUB-FRAME FOR PLATFORM, ROOFING LABOR AND MATERIALS, GROUNDING RINGS, GROUNDING WIRES, COPPER-CLAD OR XIT CHEMICAL GROUND ROD(S), BUSS BARS, TRANSFORMERS AND DISCONNECT SWITCHES WHERE APPLICABLE, TEMPORARY ELECTRICAL POWER, CONDUIT, LANDSCAPING COMPOUND STONE, CRANES, CORE DRILLING, SLEEPERS AND RUBBER MATTING, REBAR, CONCRETE CAISSONS, PADS AND/OR AUGER MOUNTS, MISCELLANEOUS FASTENERS, CABLE TRAYS, NON-STANDARD ANTENNA FRAMES AND ALL OTHER MATERIAL AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. IT IS THE POSITION OF T-MOBILE TO APPLY FOR PERMITTING AND CONTRACTOR RESPONSIBLE FOR PICKUP AND PAYMENT OF REQUIRED PERMITS.
3. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
6. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
7. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
8. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
9. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
11. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
12. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE T-MOBILE REP PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE T-MOBILE REP PRIOR TO PROCEEDING.
13. EACH CONTRACTOR SHALL COOPERATE WITH THE T-MOBILE REP, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
14. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE T-MOBILE CONSTRUCTION MANAGER.
15. ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
16. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE T-MOBILE REP AND ENGINEER OF RECORD IMMEDIATELY.
17. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
18. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
19. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH AMERICAN TOWER CORPORATION (ATC) AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
20. CONTRACTOR SHALL FURNISH T-MOBILE AND AMERICAN TOWER CORPORATION (ATC) WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
21. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH T-MOBILE REP TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.

22. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH T-MOBILE REP TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY CONTRACTOR. ALL REQUIRED PERMITS NOT OBTAINED BY T-MOBILE MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
23. CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH T-MOBILE SPECIFICATIONS AND REQUIREMENTS.
24. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO T-MOBILE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
25. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO T-MOBILE SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
26. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
27. CONTRACTOR SHALL NOTIFY T-MOBILE REP A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
28. WHEN THE PROJECT SCOPE REQUIRES THE USE OF THE SAFETY CLIMB, THE GENERAL CONTRACTOR SHALL ENSURE THE SAFETY CLIMB IS FREE OF OBSTRUCTIONS, NOT RUBBING ON OR TRAPPED BY ANY INSTALLED CUSTOMER EQUIPMENT, IS VISUALLY TAUT, MEETS MANUFACTURER INSTALLATION SPECIFICATIONS, AND IS FIRMLY SECURED AT ALL CABLE GUIDE LOCATIONS UPON PROJECT COMPLETION.
29. COMPLETION OF PROJECT SHALL NOT OBSTRUCT, TRAP, LOOSEN, OR OTHERWISE CAUSE FAILURE TO MEET MANUFACTURER INSTALLATION REQUIREMENTS FOR THE SAFETY CLIMB.
30. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.
31. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION.
32. ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE T-MOBILE REP. ANY WORK FOUND BY THE T-MOBILE REP TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
33. IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.
34. T-MOBILE FURNISHED EQUIPMENT SHALL BE PICKED-UP AT THE T-MOBILE WAREHOUSE, NO LATER THAN 48HR AFTER BEING NOTIFIED INSURED, STORED, UNCRATE, PROTECTED AND INSTALLED BY THE CONTRACTOR WITH ALL APPURTENANCES REQUIRED TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING IT UP.
35. T-MOBILE OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH, IN HIS OWN OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO T-MOBILE OR THEIR ARCHITECT/ENGINEER.
- STRUCTURAL STEEL NOTES:
1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
2. STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:

A. ASTM A-572, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE

B. ASTM A-36 - ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.

C. ASTM A-500, GRADE B - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)

D. ASTM A-325, TYPE SC OR N - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS

E. ASTM F-1554 07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
3. ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR B695.
4. ALL FIELD CUT SURFACES, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING PAINT OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED WITH (2) BRUSHED COATS OF ZRC GALVILITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURER'S RECOMMENDATIONS.
5. DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND

DETAILED ON STRUCTURAL DRAWINGS.

6. CONNECTIONS:

A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1.

B. ALL WELDS SHALL BE INSPECTED VISUALLY. 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.

C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.

D. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.

E. ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.

F. MINIMUM WELD SIZE TO BE 0.1875 INCH FILLET WELDS, UNLESS NOTED OTHERWISE.

G. PRIOR TO FIELD WELDING GALVANIZING MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING 1/2" BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZRC GALVILITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS.

H. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.

I. ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE ENGINEER, AND T-MOBILE PROJECT MANAGER IN WRITING
- SPECIAL CONSTRUCTION
- ANTENNA INSTALLATION NOTES:
1. WORK INCLUDED:

A. ANTENNA AND COAXIAL CABLES ARE FURNISHED BY T-MOBILE UNDER A SEPARATE CONTRACT. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL

B. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND T-MOBILE SPECIFICATIONS.

C. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.

D. INSTALL FURNISHED GALVANIZED STEEL OR ALUMINUM WAVEGUIDE AND PROVIDE PRINTOUT OF THAT TEST.

E. CONTRACTOR SHALL PROVIDE FOUR (4) SETS OF SWEEP TESTS USING ANRITZU-PACKARD 8713B RF SCALAR NETWORK ANALYZER. SUBMIT FREQUENCY DOMAIN REFLECTOMETER(FDR) TESTS RESULTS TO THE PROJECT MANAGER. SWEEP TESTS SHALL BE AS PER ATTACHED RFS "MINIMUM FIELD TESTING RECOMMENDED FOR ANTENNA AND HELIAX COAXIAL CABLE SYSTEMS" DATED 10/5/93. TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND BE BOUND AND SUBMITTED WITHIN ONE WEEK OF WORK COMPLETION.

F. INSTALL COAXIAL CABLES AND TERMINATING BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTIONS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE STATED.

G. ANTENNA AND COAXIAL CABLE GROUNDING:

2. ALL EXTERIOR #6 GREEN GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED WITH RFS CONNECTORS/SPICE WEATHERPROOFING KIT #221213 OR EQUAL.

3. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS).
- CONCRETE AND REINFORCING STEEL NOTES:
1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
2. MIX DESIGN SHALL BE APPROVED BY T-MOBILE REP PRIOR TO PLACING CONCRETE.
3. CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (+/- 1.5%) WITH A SLUMP RANGE OF 3-6" AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS OTHERWISE NOTED.
4. THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT: ASTM C150, TYPE 2

REINFORCEMENT: ASTM A185, PLAIN STEEL WELDED WIRE FABRIC

REINFORCEMENT BARS: ASTM A615, GRADE 60, DEFORMED

NORMAL WEIGHT AGGREGATE: ASTM C33

- WATER: ASTM C 94/C 94M

WELDED WIRE FABRIC: ASTM A185

ADMIXTURES:

-WATER-REDUCING AGENT: ASTM C 494/C 494M, TYPE A

-AIR-ENTERING AGENT: ASTM C 260/C 260M

-SUPERPLASTICIZER: ASTM C494, TYPE F OR TYPE G

-RETARDING: ASTM C 494/C 494M, TYPE B
5. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN 3".
6. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
7. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR APPROVAL FROM AN ATC ENGINEER WHEN DRILLING HOLES IN CONCRETE.
8. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN "METHOD 1" OF ACI 301.
9. DO NOT WELD OR TACK WELD REINFORCING STEEL.
10. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
11. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
12. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
13. FOR COLD-WEATHER (ACI 306) AND HOT-WEATHER (ACI 301M) CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
14. ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH."
15. SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
16. DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
17. ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
18. LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
19. SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 6".
20. BAR SUPPORTS SHALL BE ALL-GALVANIZED METAL WITH PLASTIC TIPS.
21. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTENDED PURPOSE, BUT NOT LESS THAN NO. 18 GAUGE.
22. SLAB ON GROUND: COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.
- ELECTRICAL NOTES:
1. ELECTRICAL WORK SHALL BE PERFORMED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL ENSURE THAT ALL WORK COMPLIES WITH ALL APPLICABLE LOCAL AND STATE CODES AND NATIONAL ELECTRICAL CODE.
2. ALL SUGGESTED ELECTRICAL ELEMENTS (SUCH AS BREAKER SIZES, WIRE SIZES, CONDUITS SIZES) ARE FOR ZONING PURPOSES ONLY. IT IS THE RESPONSIBILITY TO OF THE ELECTRICAL CONTRACTOR TO CONFIRM COMPLIANCE WITH LOCAL ELECTRICAL CODES AND PASS ALL APPLICABLE AND NECESSARY INSPECTIONS. IN SOME EVENTS, IT MAY BE NECESSARY TO PERFORM AN ELECTRICAL LOAD STUDY TO VERIFY THE CAPACITY OF THE EXISTING SERVICE. THIS IS NOT THE RESPONSIBILITY OF ATC. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
3. CONTRACTOR SHALL FIELD LOCATE ALL BELOW GRADE GROUNDING CABLES AND UTILITY LINES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES AND GROUNDING LINES THAT MAY BECOME DISTURBED OR CONFLICTING IN THE COURSE OF CONSTRUCTION.

ALL DISCREPANCIES FROM WHAT IS SHOWN ON THESE CONSTRUCTION DRAWINGS SHALL BE COMMUNICATED TO ATC ENGINEERING IMMEDIATELY FOR CORRECTION OR RE-DESIGN. FAILURE TO COMMUNICATE DIRECTLY WITH ATC ENGINEERING OR ANY CHANGES FROM THE DESIGN CONDUCTED WITHOUT PRIOR APPROVAL FROM ATC ENGINEERING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



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| REV. | DESCRIPTION | BY | DATE |
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| | PRELIMINARY | PVW | 02/17/25 |
| | 100% CONSTRUCTION | SRZ | 04/07/25 |
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ATC SITE NUMBER:
207954
ATC SITE NAME:
PEBBLE BEACH

T-MOBILE SITE NAME:
ATC: PEBBLE BEACH

SITE ADDRESS:
4040 SUNSET LN
DEL MONTE FOREST, CA 93953

SEAL:



04/07/25

T-Mobile

| | |
|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

GENERAL NOTES

SHEET NUMBER:

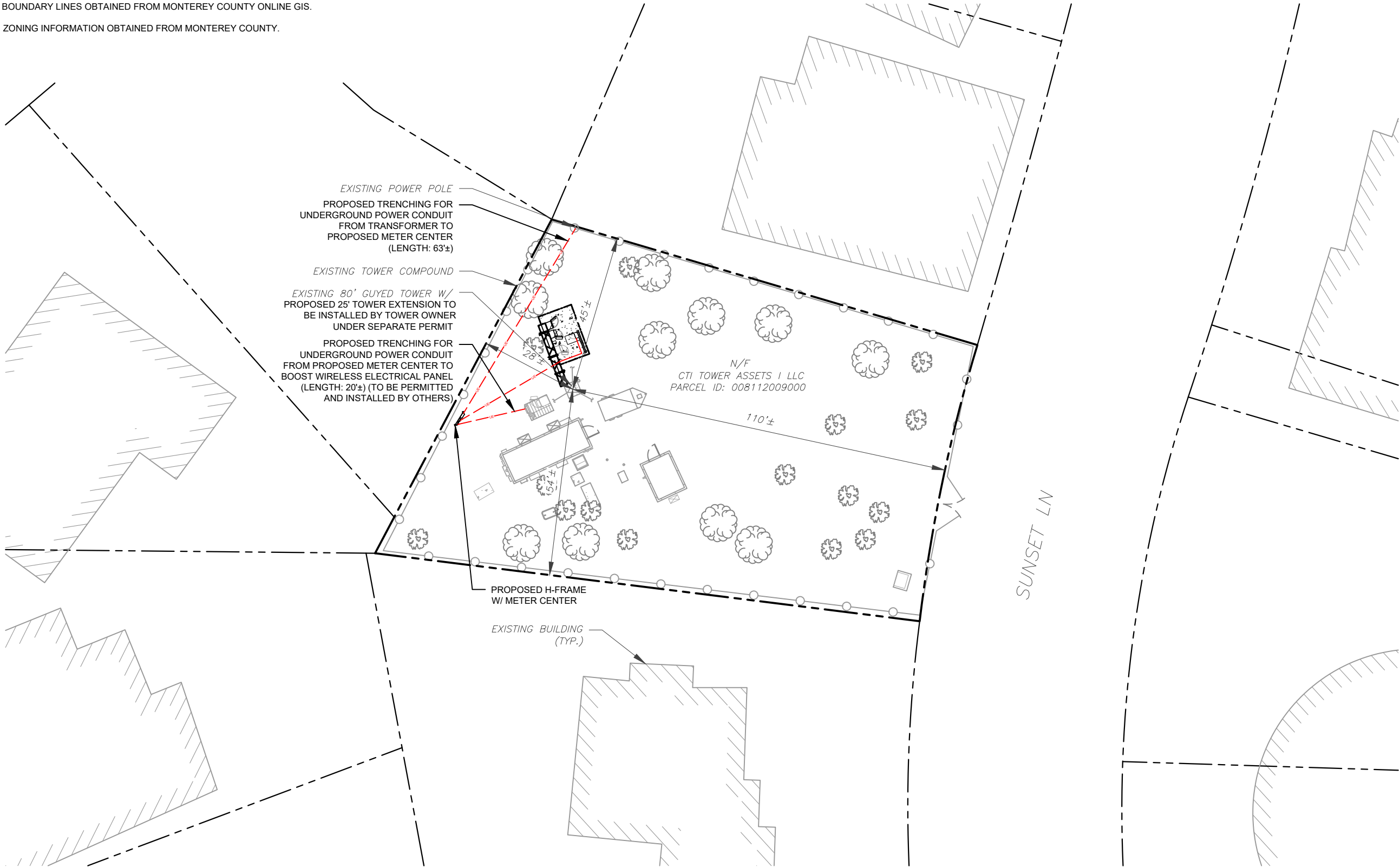
G-002

REVISION:

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NOTES:

1. BOUNDARY LINES OBTAINED FROM MONTEREY COUNTY ONLINE GIS.
2. ZONING INFORMATION OBTAINED FROM MONTEREY COUNTY.



LEGEND

--- EXISTING PROPERTY LINE

--- EXISTING ADJACENT PROPERTY LINE

--- EXISTING LEASE AREA

1 OVERALL SITE PLAN

SCALE: 1" = 30'

0 30' 60'

SCALE: 1"=30' (11X17)
1"=15' (22X34)

N



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OVERALL SITE PLAN

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| SHEET NUMBER: C-001 | REVISION: 0 |
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SITE PLAN NOTES:

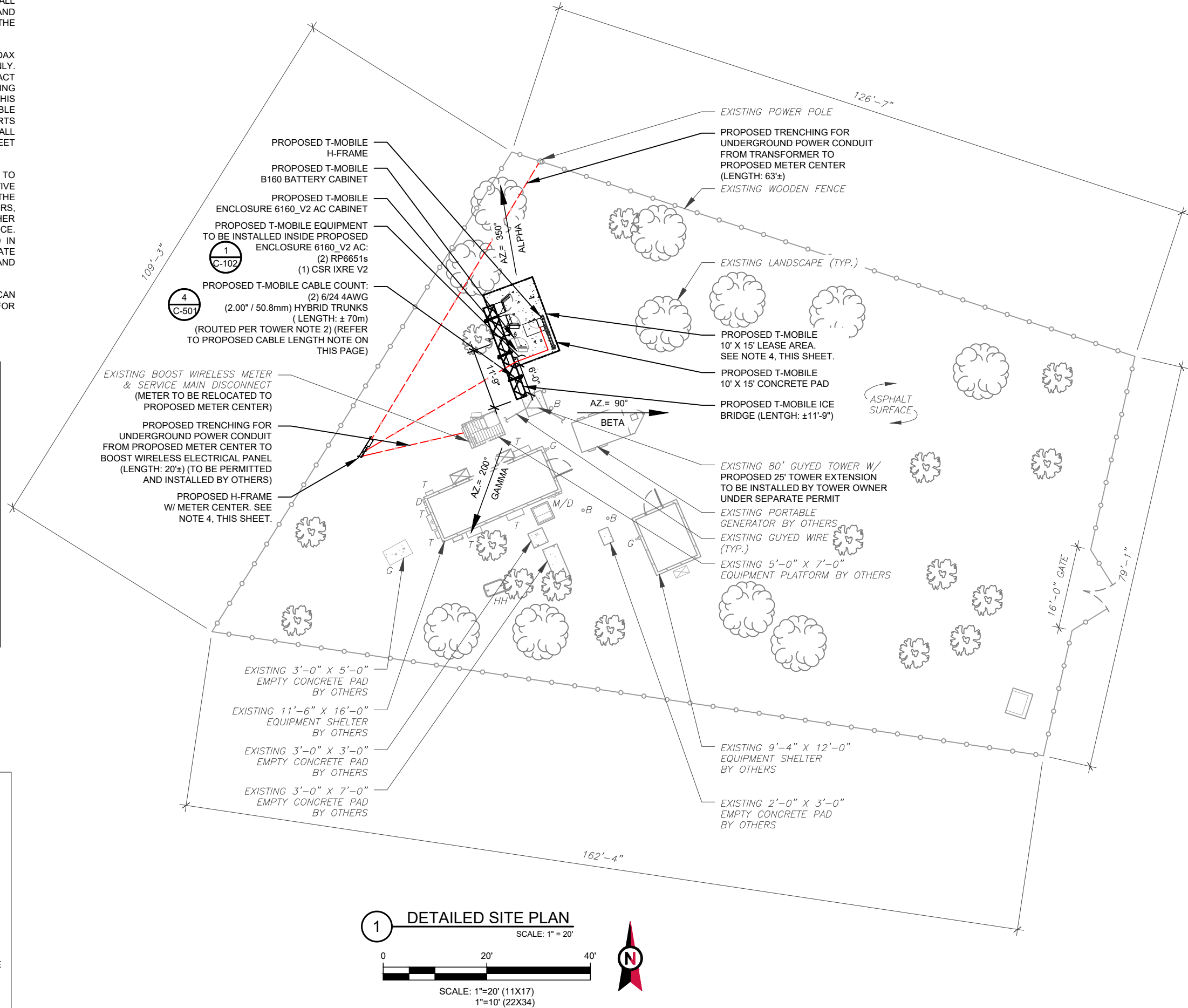
1. THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
2. ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN. BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT, CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE T-MOBILE REPRESENTATIVE AND LOCAL UTILITY COMPANY FOR THE INSTALLATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS PROJECT.
4. SEE ELECTRICAL INSTALLATION PLAN BY AMERICAN TOWER CORPORATION DATED MARCH 19, 2025 FOR FURTHER PROPOSED ELECTRICAL DETAILS.

LEGEND

| | |
|-------|---------------------------|
| ⊗ | GROUNDING TEST WELL |
| ATS | AUTOMATIC TRANSFER SWITCH |
| B | BOLLARD |
| CSC | CELL SITE CABINET |
| D | DISCONNECT |
| E | ELECTRICAL |
| F | FIBER |
| GEN | GENERATOR |
| G | GENERATOR RECEPTACLE |
| HH, V | HAND HOLE, VAULT |
| IB | ICE BRIDGE |
| K | KENTROX BOX |
| LC | LIGHTING CONTROL |
| M | METER |
| PB | PULL BOX |
| PP | POWER POLE |
| T | TELCO |
| TRN | TRANSFORMER |
| —○— | WOODEN FENCE |

PROPOSED CABLE NOTES:

1. ESTIMATED LENGTH OF PROPOSED CABLE IS **70m**. ESTIMATED LENGTH OF CABLE WAS PROVIDED BY CUSTOMER OR CALCULATED BY ADDING THE RAD CENTER AND THE DISTANCE FROM THE SHELTER ENTRY PLATE TO THE TOWER (ALONG THE ICE BRIDGE) AND A SAFETY FACTOR MEASUREMENT OF 15% (OF THE TWO PREVIOUS VALUES). CDS DEFER TO GREATEST CABLE LENGTH.
2. ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. WHERE POSSIBLE UTILIZE EXISTING CABLE SUPPORT STRUCTURES AS PROVIDED FOR CARRIER TO ADEQUATELY SECURE CABLES, USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER. OTHERWISE, ATTACH CABLES TO HORIZONTAL OR DIAGONAL TOWER MEMBERS USING PROPOSED STAINLESS STEEL ADAPTERS (DO NOT ATTACH TO TOWER LEG).



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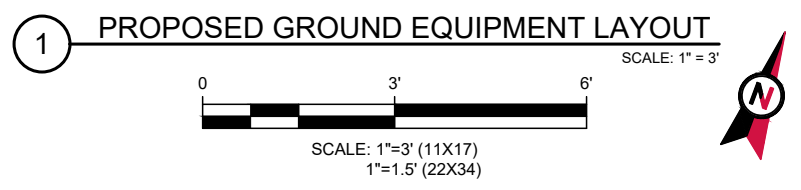
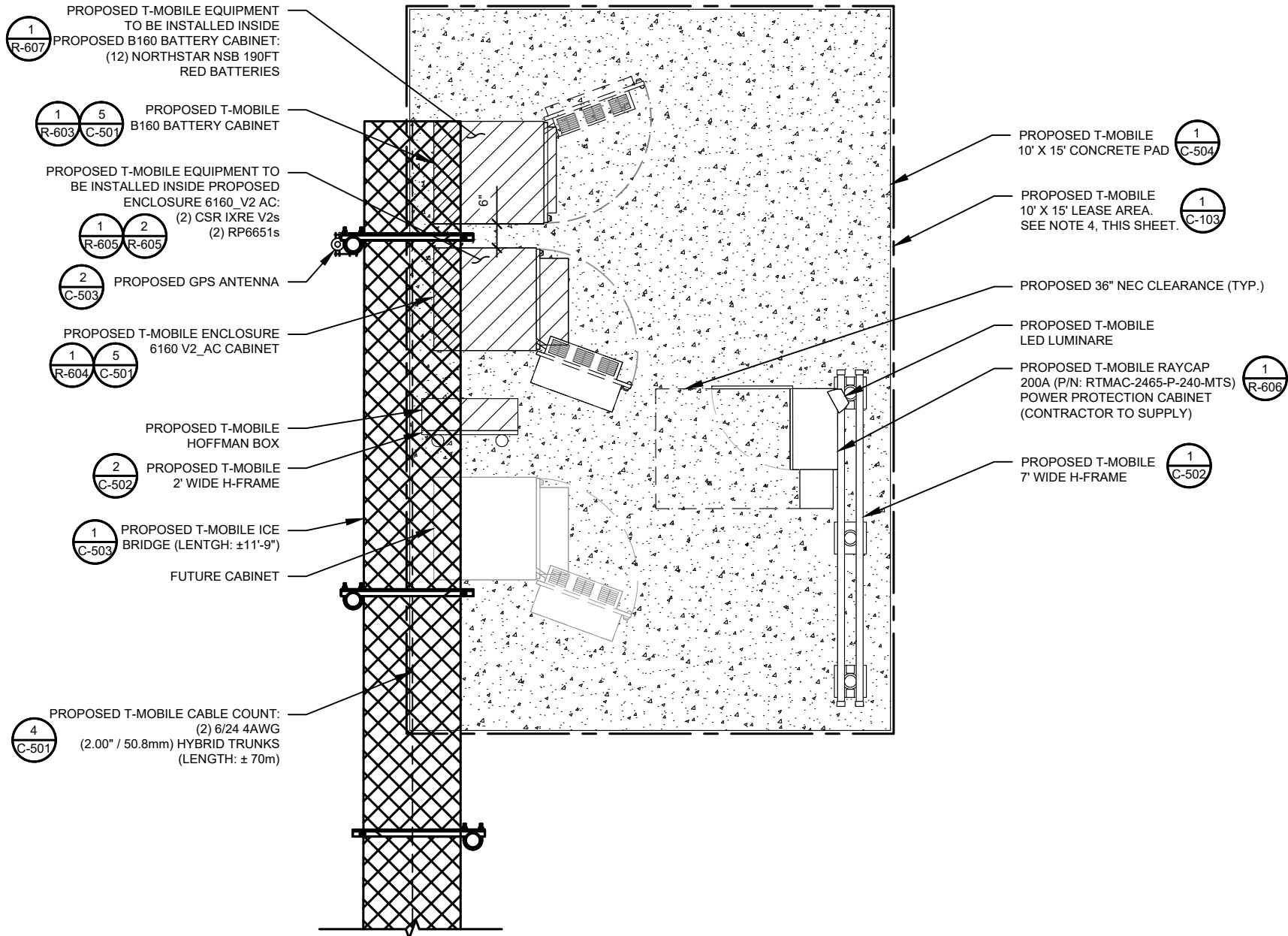
DETAILED SITE PLAN

SHEET NUMBER:

C-101

REVISION:

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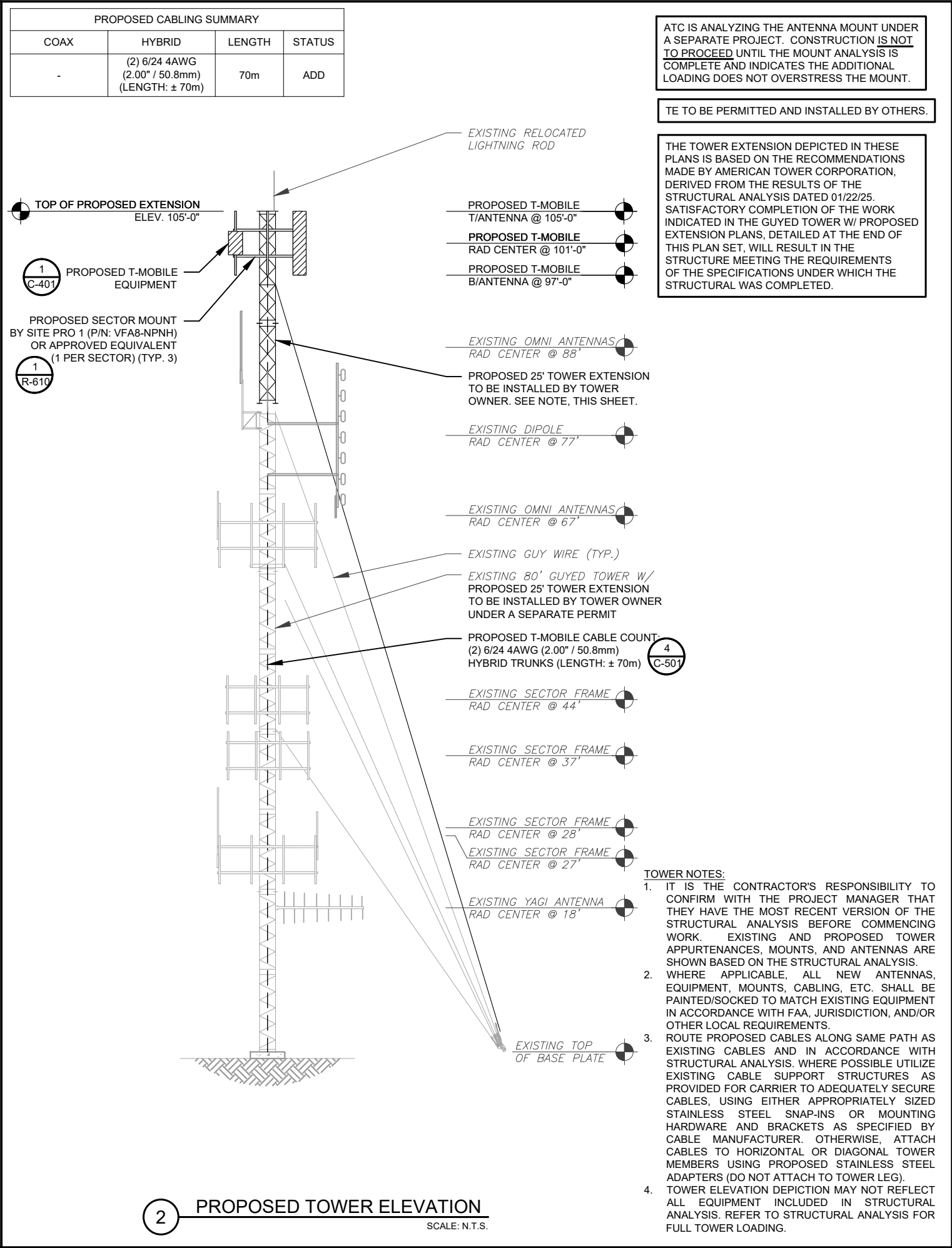
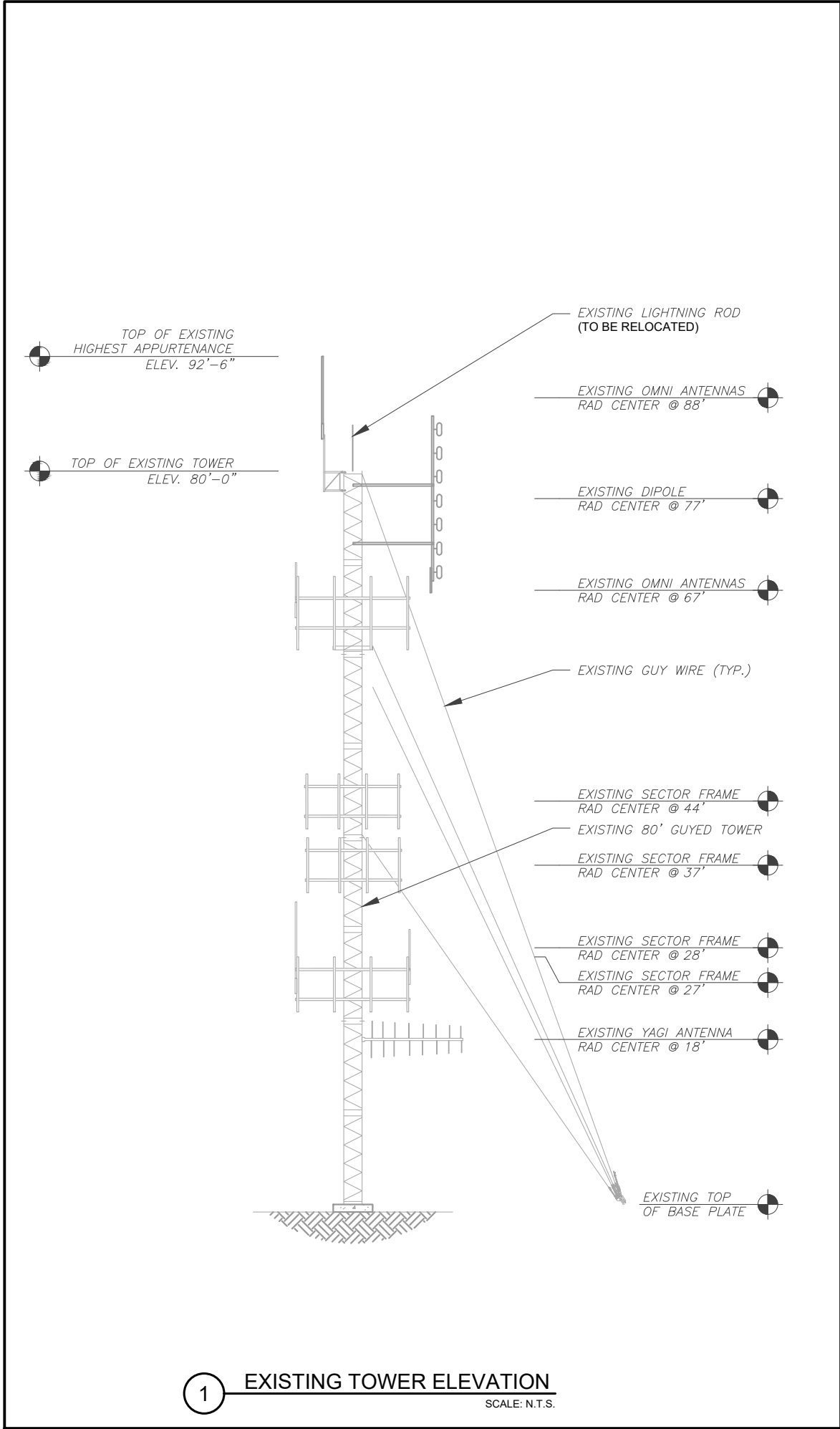
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DETAILED EQUIPMENT LAYOUT

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| C-102 | 0 |



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| REV. | DESCRIPTION | BY | DATE |
|------|-------------------|-----|----------|
| A | PRELIMINARY | PVW | 02/17/25 |
| B | 100% CONSTRUCTION | SRZ | 04/07/25 |
| | | | |
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ATC SITE NUMBER:
207954

ATC SITE NAME:
PEBBLE BEACH

T-MOBILE SITE NAME:
ATC: PEBBLE BEACH

SITE ADDRESS:
4040 SUNSET LN
DEL MONTE FOREST, CA 93953

SEAL:

04/07/25

| | |
|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

TOWER ELEVATION

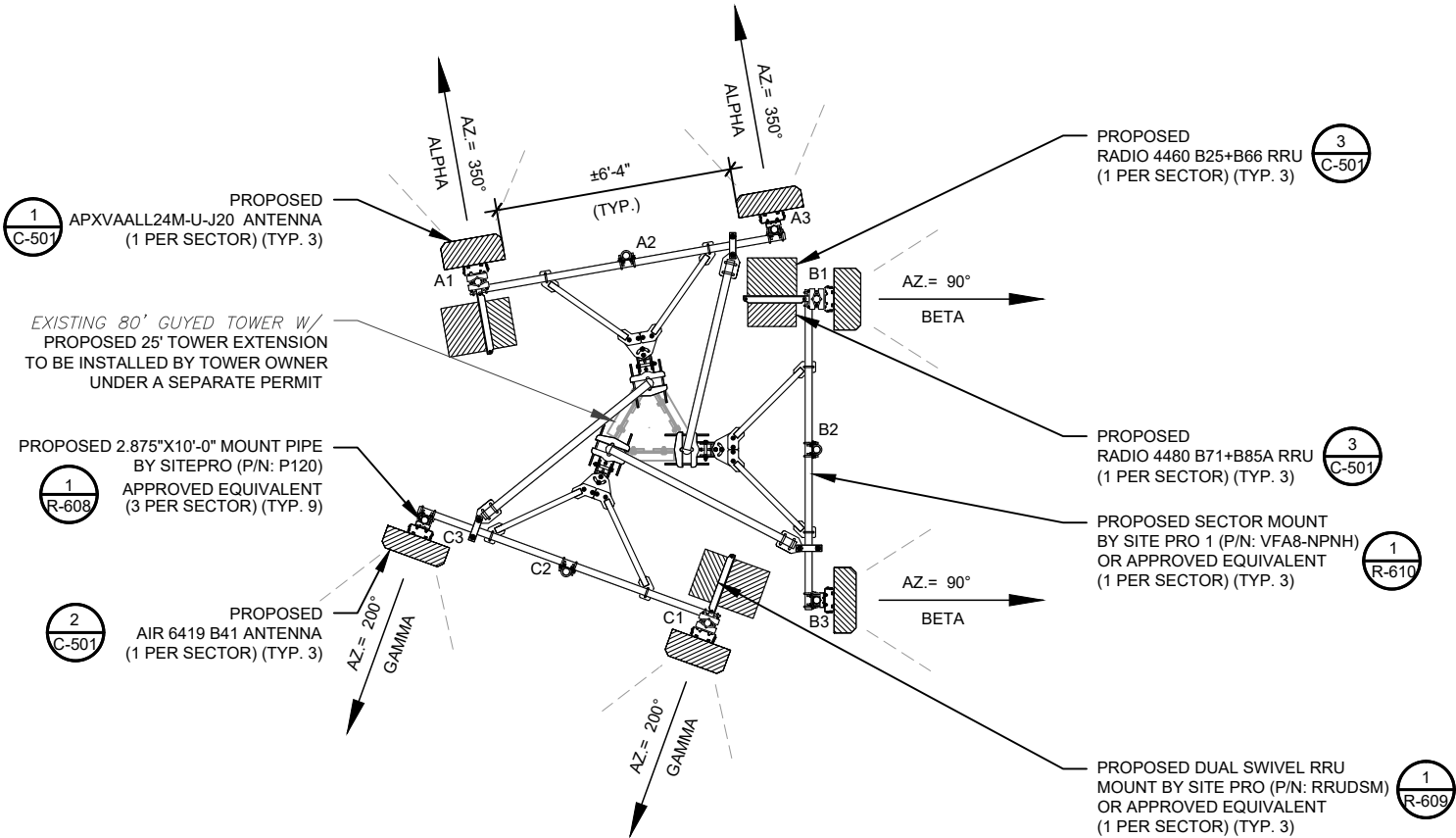
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| SHEET NUMBER: C-201 | REVISION: 0 |
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159

NOTES:

1. MATERIALS IN FRONT AND SIDE OF ANTENNAS MUST BE RF TRANSPARENT TO MINIMIZE PIM ISSUES.
2. PLEASE MAKE SURE NO RUST ON COMPONENTS AND NO LOOSE CONNECTIONS.
3. ENSURE THERE ARE NO PIM ISSUES DURING INSTALLATION.
4. ANTENNAS CAN'T SHOOT INTO METAL, OTHER OPERATOR ANTENNAS, ANYTHING THAT CAN CAUSE PIM, ETC.
5. NO ANTENNA SHADOWING. ALL ANTENNAS ARE TO BE CO-PLANAR.
6. RADIOS CANNOT TOUCH ANTENNAS.
7. CALL OUT THE USE OF THE CONCEAL FAB PIM SHIELD KIT.

ATC IS ANALYZING THE ANTENNA MOUNT UNDER A SEPARATE PROJECT. CONSTRUCTION IS NOT TO PROCEED UNTIL THE MOUNT ANALYSIS IS COMPLETE AND INDICATES THE ADDITIONAL LOADING DOES NOT OVERSTRESS THE MOUNT.



1 FINAL ANTENNA PLAN
SCALE: N.T.S.

| FINAL ANTENNA SCHEDULE | | | | | | | | | | | | |
|------------------------|------|------|-----------------|-------------------|-------------------------------------|------------------|--------|--------------------------------------------------|------------|---------------------------------------------------------------------------------------------------|------------|------------|
| LOCATION | | | ANTENNA SUMMARY | | | | | NON ANTENNA SUMMARY | | CABLE SUMMARY | | |
| SECTOR | RAD | AZ | POS | ANTENNA | BAND | MECH/ELEC D-TILT | STATUS | ADDITIONAL TOWER MOUNTED EQUIPMENT | STATUS | JUMPERS | LENGTH | STATUS |
| ALPHA | 101' | 350° | A1 | APXVAALL24M-U-J20 | L700/N600/N1900/ L2100/ L1900/N2100 | 0°/- | ADD | (1) RADIO 4480 B71+B85 (1) RADIO 4460 B25+B66 | ADD ADD | (8) JUMPER 8 FT SUREFLEX 4.3 - 10 TO 4.3 - 10 (6) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 10FT 5m | ADD ADD |
| | | | A2 | - | - | - | - | - | - | - | - | - |
| | | | A3 | AIR 6419 B41 | N2500 | 0°/- | ADD | - | - | (3) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 5m | ADD |
| BETA | 101' | 90° | B1 | APXVAALL24M-U-J20 | L700/N600/N1900/ L2100/ L1900/N2100 | 0°/- | ADD | (1) RADIO 4480 B71+B85 (1) RADIO 4460 B25+B66 | ADD ADD | (8) JUMPER 8 FT SUREFLEX 4.3 - 10 TO 4.3 - 10 (6) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 10FT 5m | ADD ADD |
| | | | B2 | - | - | - | - | - | - | - | - | - |
| | | | B3 | AIR 6419 B41 | N2500 | 0°/- | ADD | - | - | (3) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 5m | ADD |
| GAMMA | 101' | 200° | C1 | APXVAALL24M-U-J20 | L700/N600/N1900/ L2100/ L1900/N2100 | 0°/- | ADD | (1) RADIO 4480 B71+B85 (1) RADIO 4460 B25+B66 | ADD ADD | (8) JUMPER 8 FT SUREFLEX 4.3 - 10 TO 4.3 - 10 (6) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 10FT 5m | ADD ADD |
| | | | C2 | - | - | - | - | - | - | - | - | - |
| | | | C3 | AIR 6419 B41 | N2500 | 0°/- | ADD | - | - | (3) FIBER JUMPER - 2F SM OUTDOORCON- LCD W COVER | 5m | ADD |

1. BASED ON APPROVED ATC APPLICATION 14921636, DATED UNKNOWN. CONFIRM WITH T-MOBILE REP FOR APPLICABLE UPDATES/REVISIONS AND MOST RECENT RFDS FOR NSN CONFIGURATION (CONFIG). GC TO CAP ALL UNUSED PORTS.
2. CONFIRM SPACING OF PROPOSED EQUIPMENT DOES NOT CAUSE TOWER CONFLICTS NOR IMPEDE TOWER CLIMBING PEGS.

CABLE LENGTHS FOR JUMPERS
FIBER DISTRIBUTION/OVP TO RRU: 15'
RRU TO COMBINER: 10'
COMBINER TO ANTENNA: 10'

2 ANTENNA SCHEDULE

| PROPOSED FIBER DISTRIBUTION/OVP BOX | | PROPOSED CABLING SUMMARY | | | |
|-------------------------------------|--------|--------------------------|----------------------------------------------------------|--------|--------|
| MODEL NUMBER | STATUS | COAX | HYBRID/FIBER | LENGTH | STATUS |
| - | - | - | (2) 6/24 4AWG 70m (2.00" / 50.8MM) (LENGTH: ± 70m) | 70m | ADD |



PLANS PREPARED BY:



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DEL MONTE FOREST, CA 93953

SEAL:



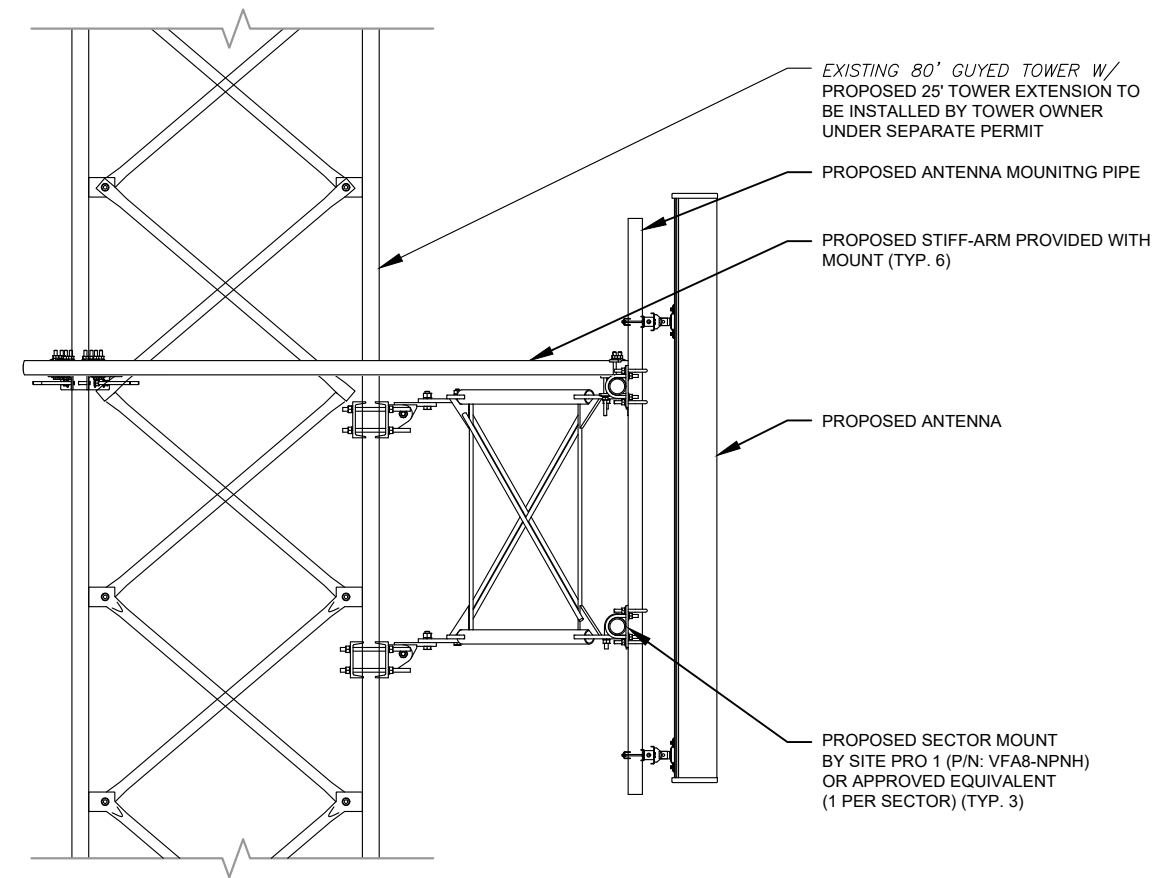
04/07/25



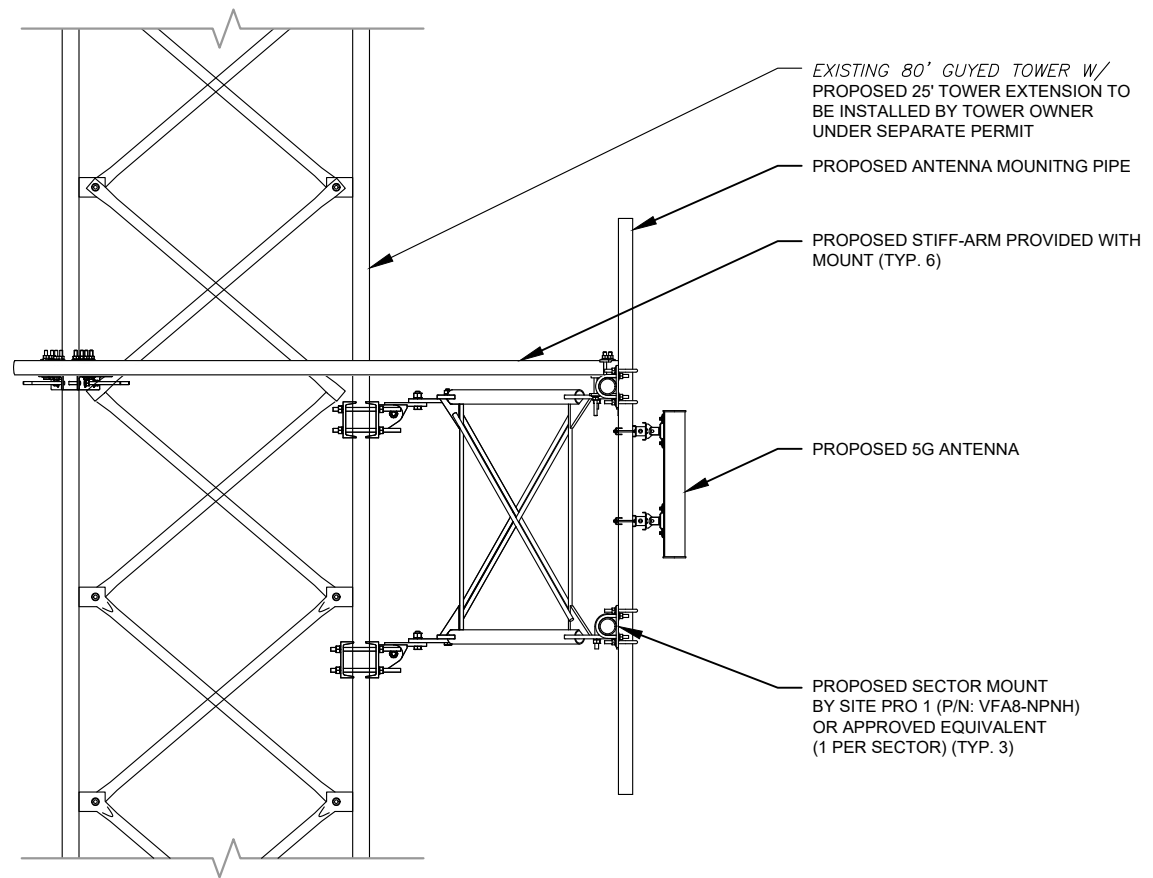
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| CUSTOMER NAME: | ATC: PEBBLE BEACH |
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ANTENNA INFORMATION
& SCHEDULE

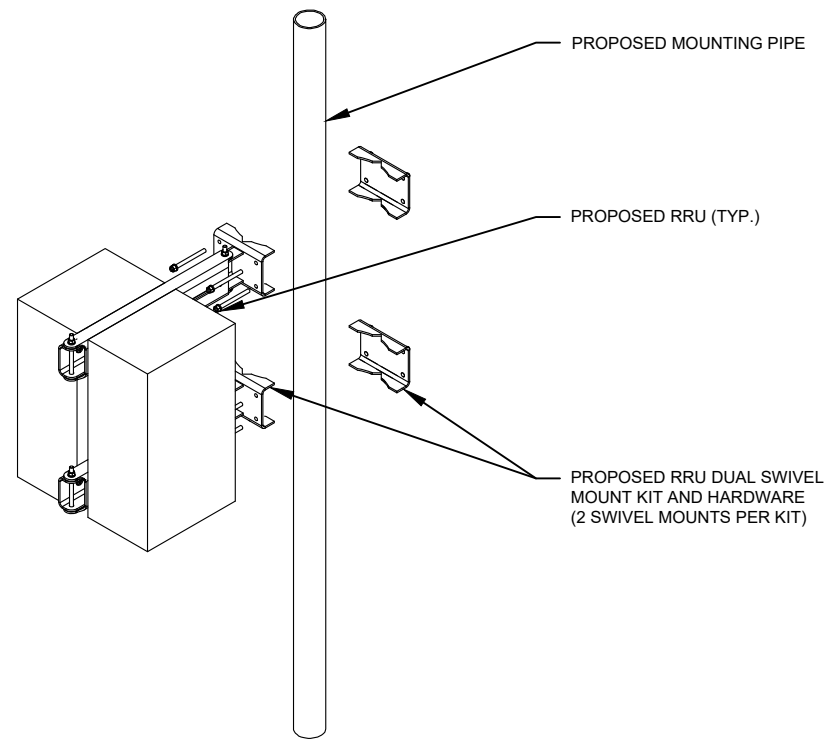
SHEET NUMBER:
C-401
REVISION:
0



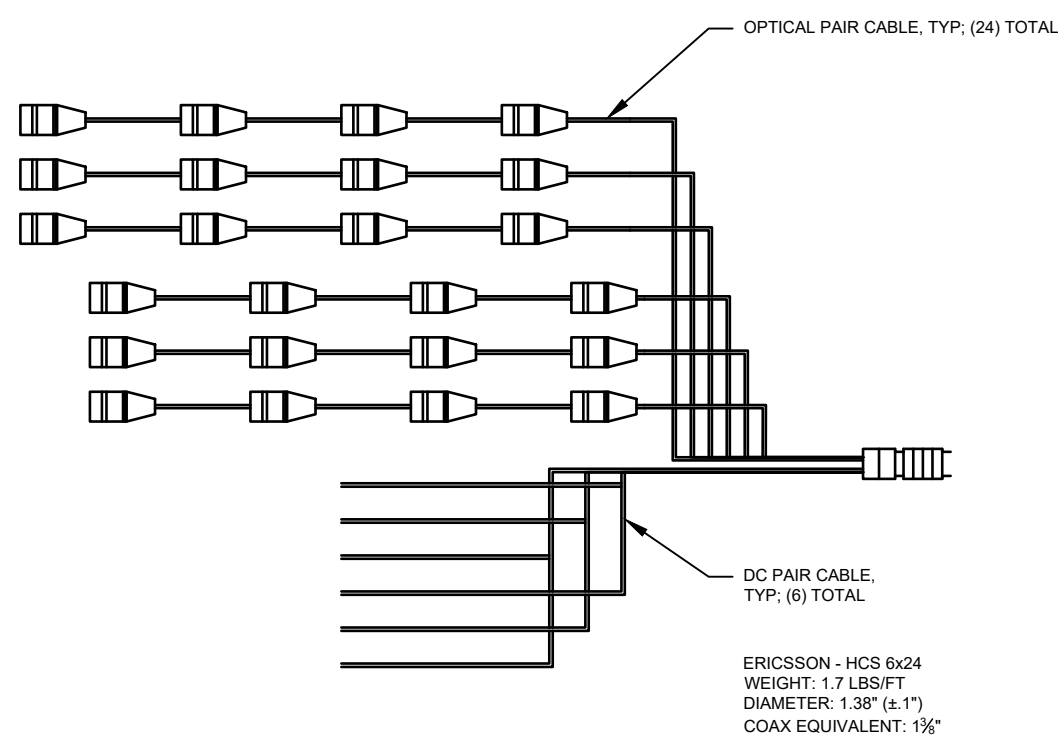
1 PROPOSED ANTENNA MOUNTING DETAIL
SCALE: N.T.S.



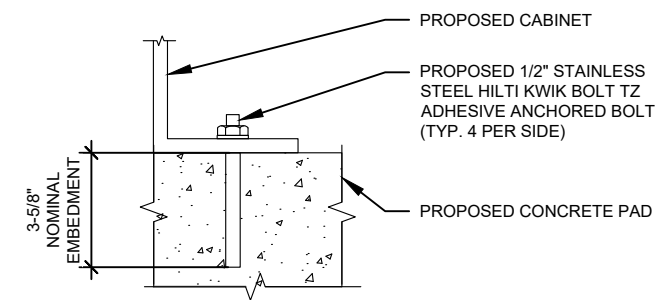
2 PROPOSED 5G ANTENNA MOUNTING DETAIL
SCALE: N.T.S.



3 PROPOSED RRU MOUNTING DETAIL
SCALE: N.T.S.



4 PROPOSED HCS DETAIL
SCALE: N.T.S.



NOTE:
INSTALL HILTI KWIK BOLT ANCHORS STRICTLY PER
INSTALLATION INSTRUCTIONS INCLUDED WITH PRODUCT OR
FOUND ONLINE AT WWW.US.HILTI.COM. PROPER
INSTALLATION IS CRITICAL FOR FULL PERFORMANCE.
SPECIAL INSPECTION IS REQUIRED.

5 CABINET ATTACHMENT DETAIL
SCALE: N.T.S.



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04/07/25

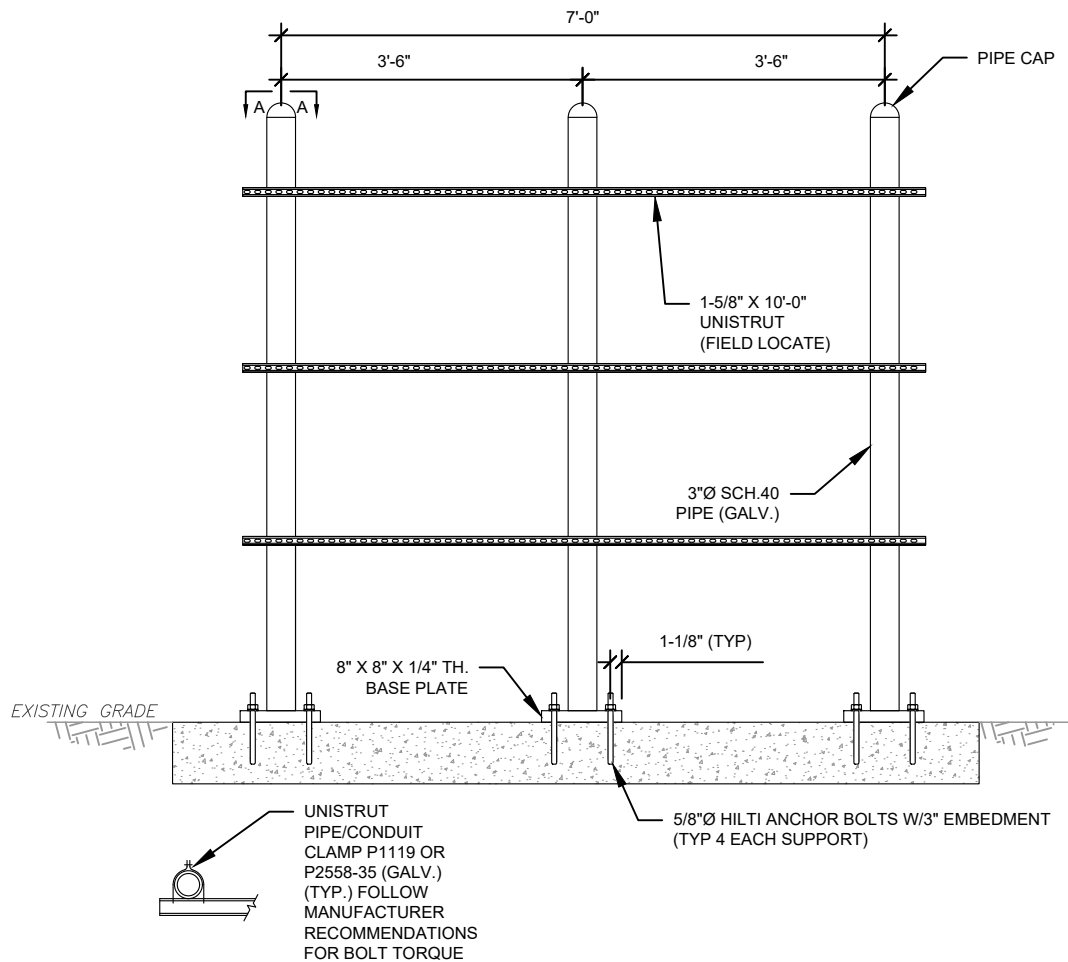


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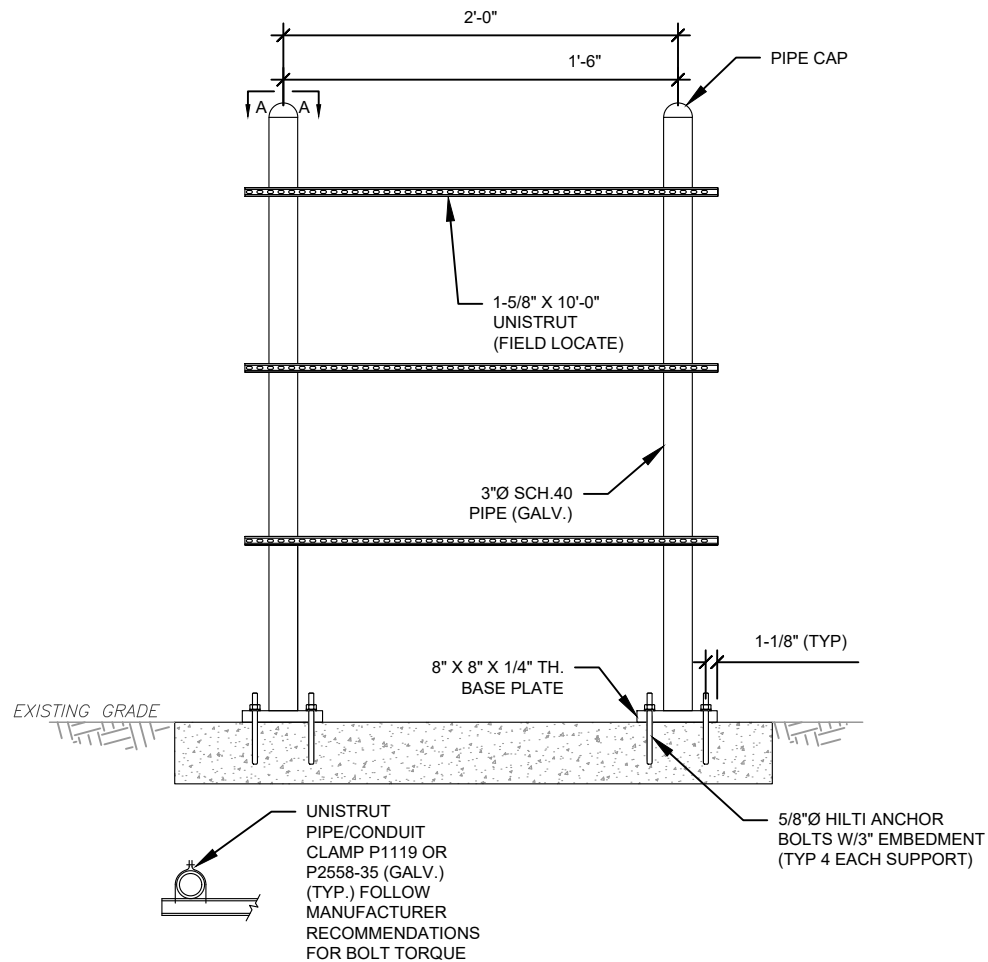
| CONSTRUCTION DETAILS | |
|-------------------------|----------------|
| SHEET NUMBER: C-501 | REVISION: 0 |

H-FRAME NOTES:

1. IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST WILL ALWAYS BE REQUIRED.
2. PROPOSED UNISTRUTS TO BE FIELD CUT AND SHOULD NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
3. SPRAY ENDS OF UNISTRUT WITH COLD GALVANIZING SPRAY PAINT, ALLOW TO DRY, THEN COVER WITH RUBBER PROTECTIVE CAPS FOR SAFETY.
4. UNISTRUT TO BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
5. ALL PROPOSED HARDWARE TO BE MOUNTED PER MANUFACTURERS SPECS.



1 PROPOSED 7' WIDE H-FRAME DETAIL
SCALE: NOT TO SCALE



2 PROPOSED 2' WIDE H-FRAME DETAIL
SCALE: NOT TO SCALE



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DEL MONTE FOREST, CA 93953

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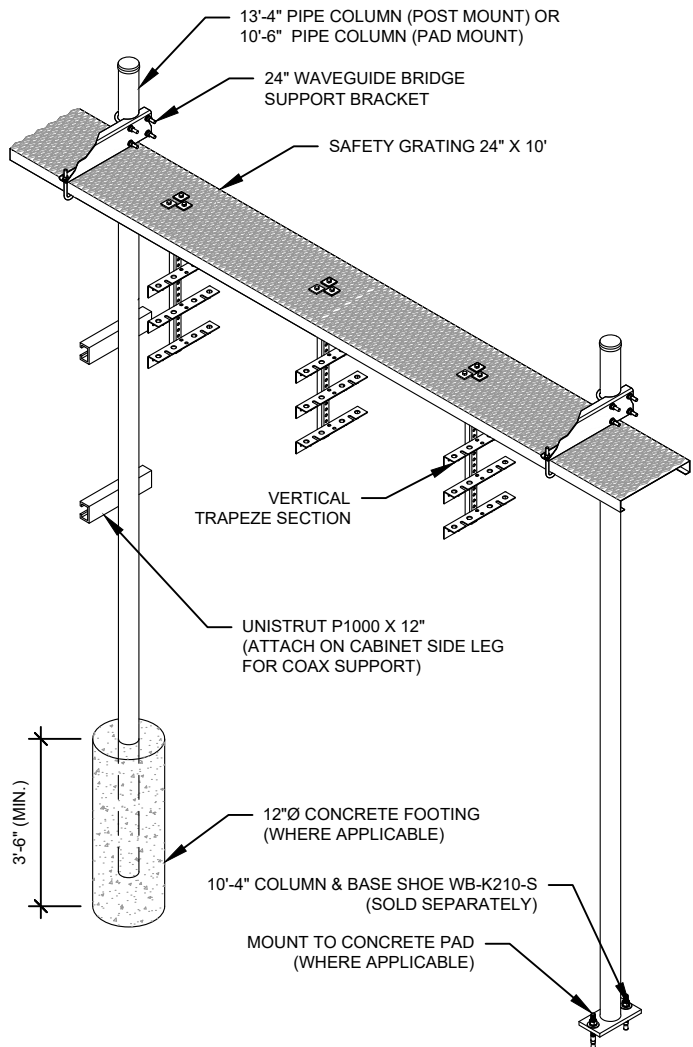
04/07/25



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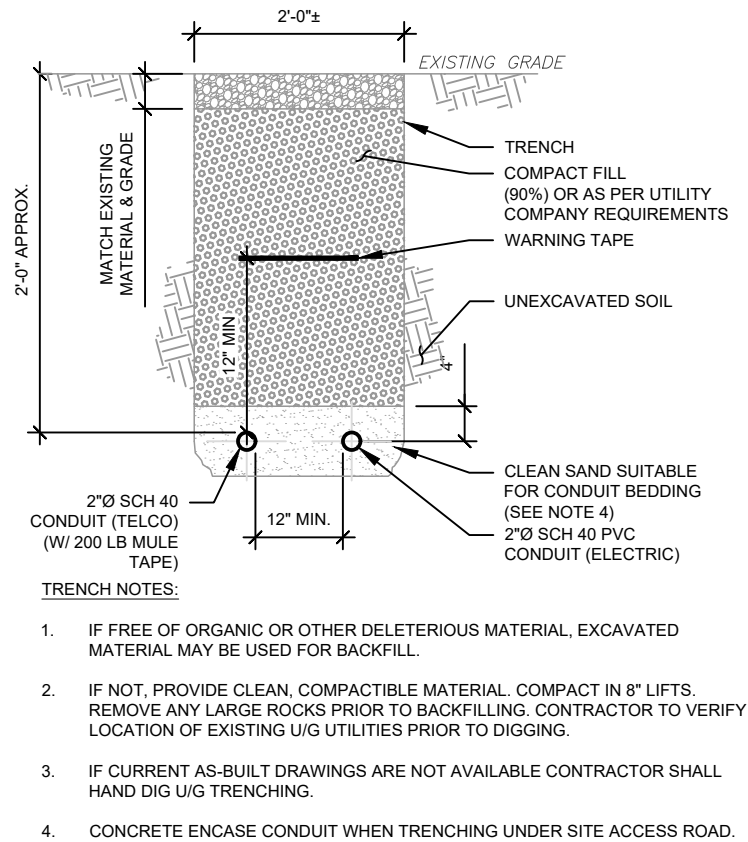
CONSTRUCTION
DETAILS

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| SHEET NUMBER: | REVISION: |
| C-502 | 0 |



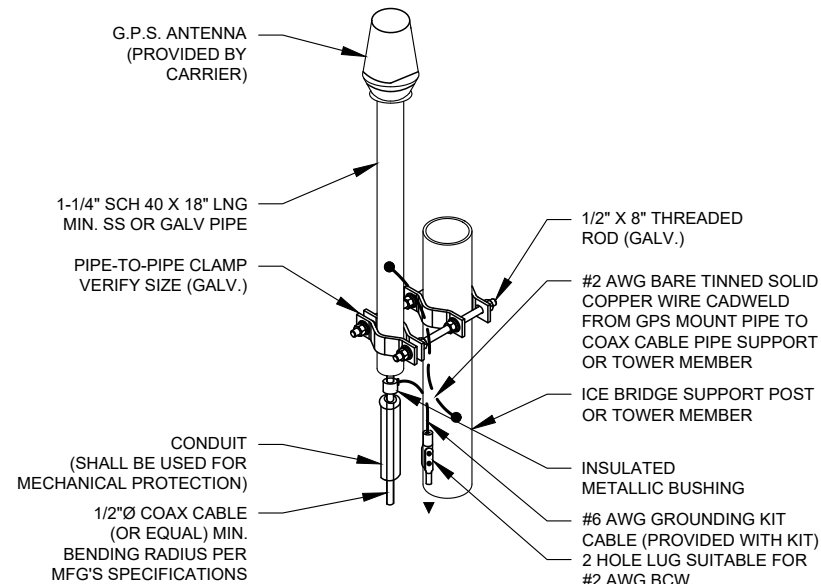
- CONSTRUCTION NOTES:
1. INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.
 2. INSTALL PER MANUFACTURES SPECIFICATION.

1 WAVEGUIDE BRIDGE KIT
SCALE: N.T.S.



- TRENCH NOTES:
1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
 2. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 3. IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
 4. CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.

2 TELCO AND POWER CONDUIT JOINT TRENCH
SCALE: N.T.S.



- NOTES:
1. GPS SHALL BE PLACED WITH CLEAR SIGHT LINE TO THE SOUTHERN SKY.
 2. CONTRACTOR TO SUPPLY COAX FOR GPS UNIT.

3 GPS ANTENNA ATTACHMENT DETAIL
SCALE: N.T.S.



AMERICAN TOWER®

PLANS PREPARED BY:



TEP

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| CUSTOMER NAME: | ATC: PEBBLE BEACH |
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CONSTRUCTION DETAILS

| | |
|------------------------|----------------|
| SHEET NUMBER: C-503 | REVISION: 0 |
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FOUNDATION NOTES:

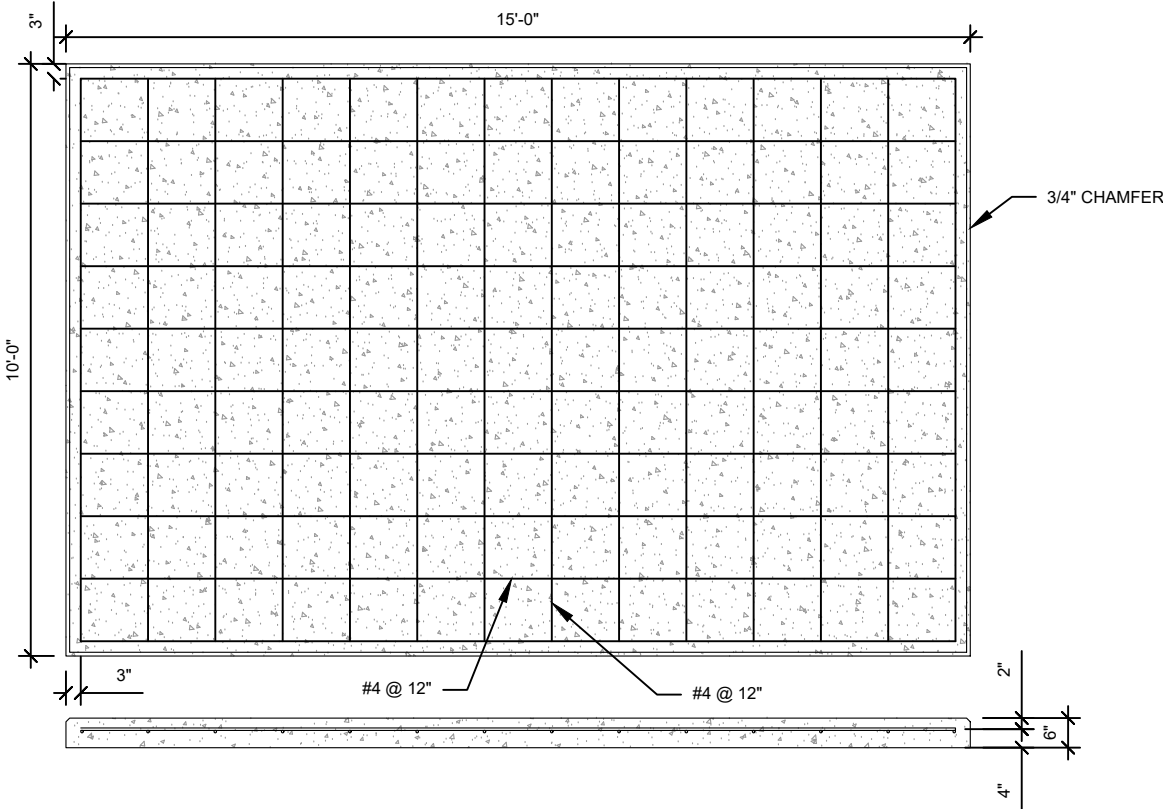
- FOUNDATION BASED ON 2,000 PSF SOIL BEARING CAPACITY.
- CONCRETE SHALL BE MIN. 4,000 PSI AFTER 28 DAYS.
- REINFORCING STEEL $F_y = 60,000$ PSI.
- ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.
- SURFACE OF FINISHED SLAB SHALL BE LEVEL AND FLAT WITHIN 1/4".
- CONTRACTOR SHALL VERIFY MANUFACTURER ACTUAL DIMENSIONS OF CABINET PRIOR TO LAYING OUT FOUNDATION.
- MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED 1 INCH; SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED; OR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
- REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED.
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL BE 3 INCHES MINIMUM.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- FOUNDATION DESIGN ASSUMED CONTINUOUS CONCRETE PLACEMENT WITHOUT CONSTRUCTION JOINTS.
- WELDED WIRE FABRIC SHALL BE SUPPLIED IN FLAT SHEETS, (NOT ROLLED).
- TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAYS CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH ASTM C39.
- TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02" OF ELEVATION SPECIFIED BY THE CUSTOMER.

GENERAL STRUCTURAL NOTES:

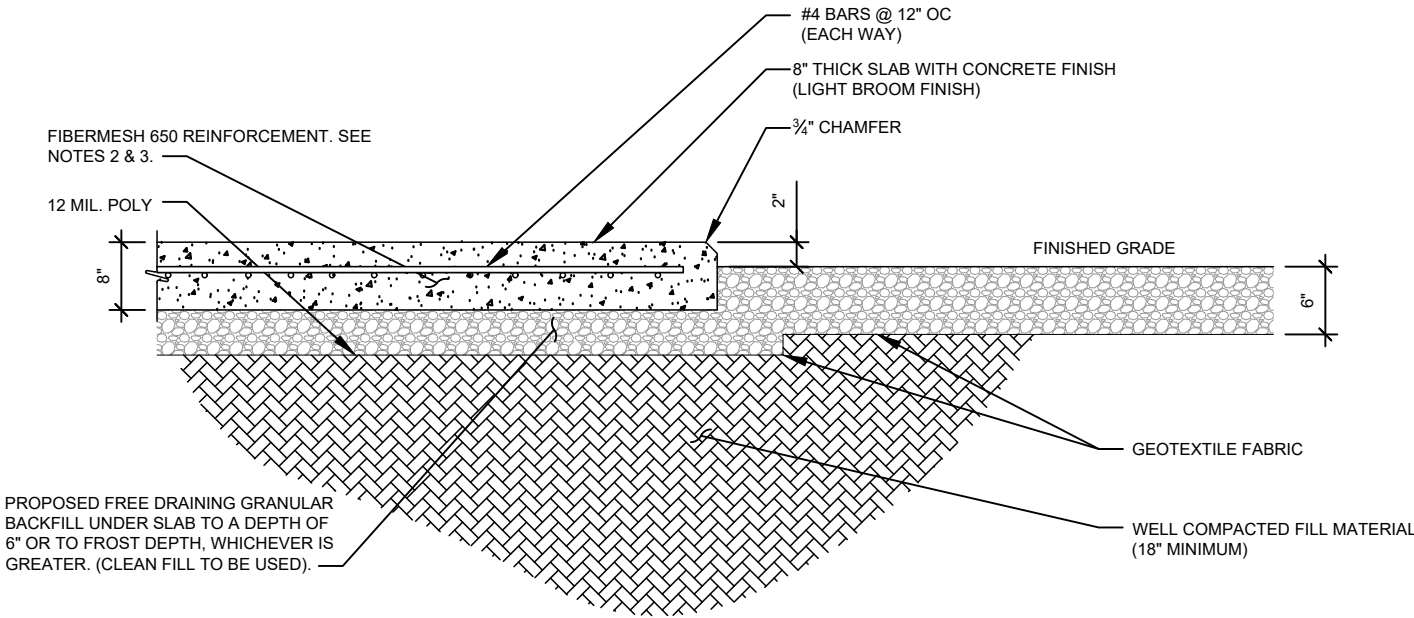
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318-14.
- REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".

NOTES:

- FROST DEPTH FOR MONTEREY COUNTY IS 5 INCHES.
- APPLICATION RATE OF FIBERS SHALL BE DETERMINED BY THE READY MIX CONCRETE SUPPLIER.
- THE CONCRETE SUPPLIER SHALL FOLLOW ALL MANUFACTURER RECOMMENDATIONS FOR FIBERMESH APPLICATION INCLUDING MINIMUM APPLICATION RATE OF 3LBS/YD³.



1 REINFORCED PAD LAYOUT
SCALE: N.T.S.



2 FOUNDATION SECTION VIEW
SCALE: N.T.S.



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T-Mobile

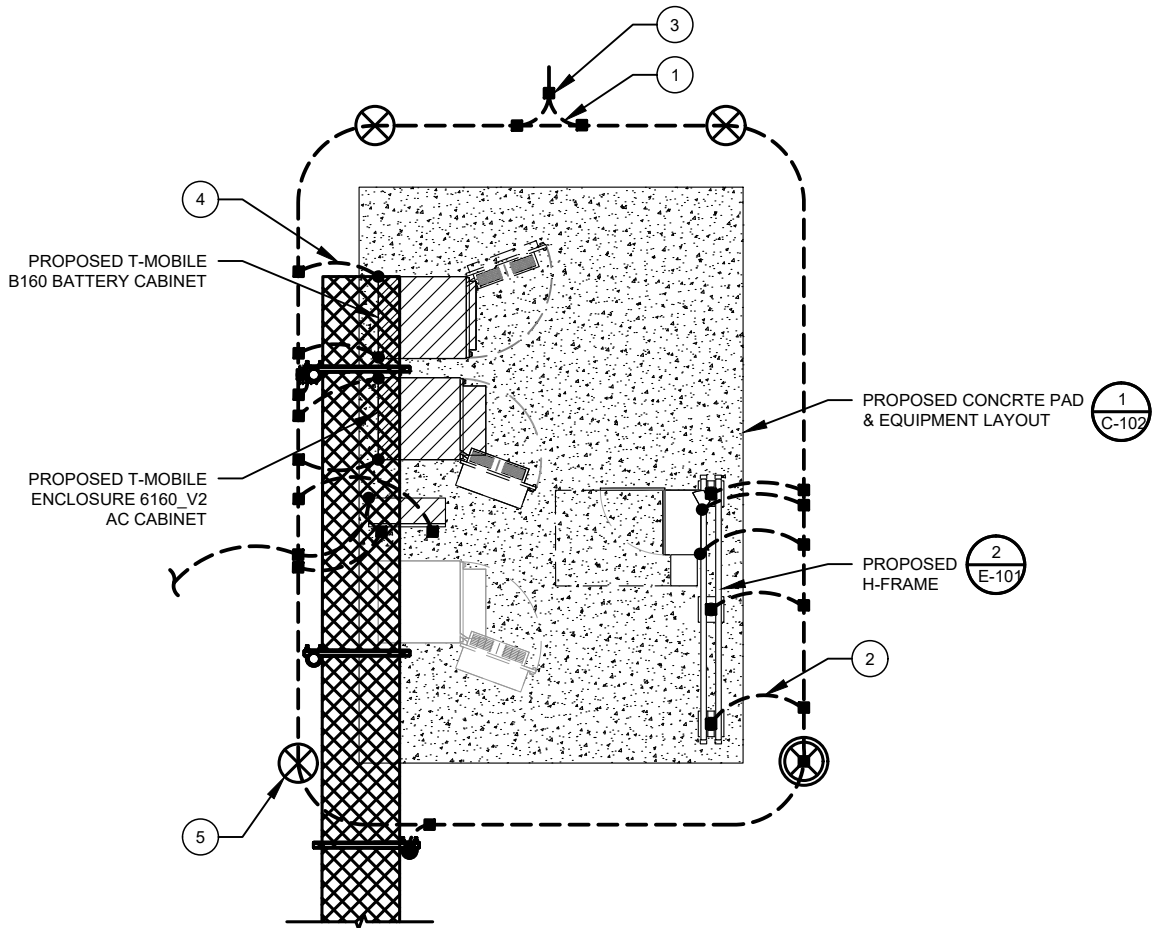
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CONSTRUCTION
DETAILS

SHEET NUMBER:
C-504
REVISION:
0

GROUNDING NOTES:

1. ALL EQUIPMENT ENCLOSURES, DEVICES AND CONDUITS SHALL BE GROUNDED TO CONFORM WITH THE LATEST REQUIREMENTS OF THE NEC BY THE INSTALLATION OF A SEPARATE, GREEN, INSULATED GROUND CONDUCTOR FOR ALL FEEDER AND BRANCH CIRCUITS. GROUND CONDUCTORS SHALL BE OF THE SIZE INDICATED ON THE DRAWINGS. GROUND CONDUCTORS SHALL BE CONTINUOUS IN LENGTH AND SHALL BE BONDED TO EACH ENCLOSURE THEY PASS THROUGH. CONDUIT SHALL NOT BE USED AS A GROUNDING CONDUCTOR.
2. GROUNDING CONDUCTORS SHALL:
- A. BE #2 AWG SOLID BARE TINNED COPPER (SBTC) FOR ALL GROUNDING SYSTEM WIRE UNLESS OTHERWISE NOTED, OR OTHERWISE REQUIRED BY CODE.
 - B. BE MINIMUM 12" BEND RADIUS. KEEP NUMBER OF BENDS TO A MINIMUM.
 - C. AVOID LONG BONDING CONNECTION RUNS. MAKE DIRECT AS POSSIBLE.
 - D. NOT HAVE ANY U-SHAPED RUNS.
 - E. BE IN NON-METALLIC CONDUIT ONLY, IF IN CONDUIT.
 - F. BE PLACED THROUGH NON-METALLIC SLEEVES IN FLOORS, WALLS, CEILINGS, ETC.
 - G. PROTECTED IN NON-METALLIC CONDUIT WHERE EXPOSED ABOVE GRADE.
2. INSTALL ALL GROUNDING RINGS AND RADIALS WITH CONDUCTIVE CEMENT, SANKOSHA AS DISTRIBUTED BY ELECTRIC MOTION COMPANY, INC., WINSTED, CT 06098, OR AS SPECIFICALLY INDICATED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
3. GROUND RINGS SHALL BE:
- A. MINIMUM 30" BELOW GRADE, OR BELOW FROST LINE WHICHEVER IS DEEPER.
 - B. MINIMUM 2' FROM FOUNDATIONS, FOOTINGS, OTHER GROUNDING SYSTEMS AND ALL CONDUCTIVE OBJECTS.
 - C. WITH MINIMUM 12" BEND RADII.
 - D. WITH ALL CONNECTIONS IN CONTACT WITH EARTH, BONDED BY EXOTHERMIC WELDING.
 - E. BONDED TO A SINGLE POINT GROUND (SPG) WITH A SINGLE WIRE AS INDICATED ON DRAWINGS.
4. GROUND RODS SHALL BE:
- A. MINIMUM 5/8" DIAMETER.
 - B. MINIMUM 10' LONG.
 - C. COPPER-CLAD GALVANIZED STEEL OR STAINLESS STEEL.
 - D. PLACED IN UNDISTURBED SOIL AND BELOW THE FROST LINE.
 - E. INSTALLED WITH MINIMUM SEPARATION DISTANCE OF TWICE THE DEPTH OF THE ROD(S), OR AS INDICATED ON DRAWINGS.
 - F. MINIMUM TWO (2) RODS ON THE TOWER RING OR ONE (1) PER LEG WHICHEVER IS LARGER, MINIMUM FOUR (4) RODS ON EVERY EQUIPMENT BUILDING RING WITH ONE AT EACH CORNER OR AS INDICATED, MINIMUM ONE (1) ROD FOR POWER SERVICE GROUNDING ELECTRODE, AND MINIMUM ONE (1) ROD AT END OF EACH RADIAL.
5. CONDUCTIVE OBJECTS, SUCH AS FENCES, SHALL BE BONDED TO THE GROUNDING SYSTEM IF WITHIN 20' OF THE TOWER GROUNDING SYSTEM, OR 5' OF ANY OTHER GROUNDED COMPONENT.



1 DETAILED GROUNDING PLAN

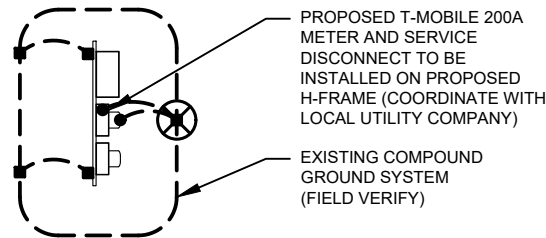
SCALE: N.T.S.

GROUNDING PLAN LEGEND:

- EXISTING GROUND WIRE
- GROUND WIRE
- EXOTHERMIC WELD
- MECHANICAL WELD
- 5/8"Ø X 10' COPPER GROUND ROD
- TEST WELL

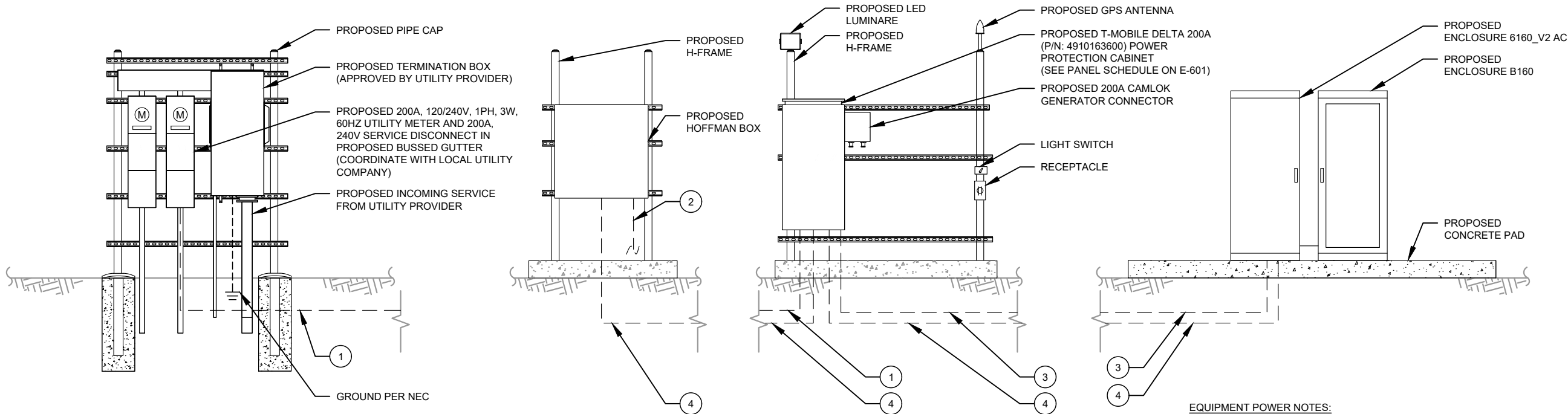
GROUNDING KEYED NOTES:

- 1 BOND TO TOWER GROUND RING
- 2 #2 AWG BOND FROM VERTICAL H-FRAME AND ICE BRIDGE POST TO EXTERNAL GROUND RING (TYP. EVERY POST).
- 3 #2 AWG SBTC BOND FROM TOWER GROUND RING TO EQUIPMENT.
- 4 EQUIPMENT BOND TO GROUND RING (TYP.)
- 5 5/8Ø" X 10 FT GROUND ROD.



2 METER GROUNDING PLAN

SCALE: N.T.S.



3 EQUIPMENT POWER AND TELCO SCHEMATIC

SCALE: N.T.S.

EQUIPMENT POWER NOTES:

- 1 2" CONDUIT WITH (3) 3/0 AWG AND (1) #6 GND PPC POWER
- 2 4" CONDUIT FOR TELCO FEEDER SERVICE TO TELCO SOURCE PER UTILITY
- 3 2" CONDUIT WITH (3) 2/0 AWG, (1) #4 AWG CU G FOR 6160 SSC POWER AND (2) #12 AWG CU, (1) #12 AWG CU G FOR 6160 GFCI
- 4 4" CONDUIT FOR CAT6



PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

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| REV. | DESCRIPTION | BY | DATE |
|------|-------------------|-----|----------|
| A | PRELIMINARY | PVW | 02/17/25 |
| B | 100% CONSTRUCTION | SRZ | 04/07/25 |
| C | | | |
| D | | | |
| E | | | |

ATC SITE NUMBER:

207954

ATC SITE NAME:

PEBBLE BEACH

T-MOBILE SITE NAME:

ATC: PEBBLE BEACH

SITE ADDRESS:

4040 SUNSET LN
DEL MONTE FOREST, CA 94553

SEAL:



04/07/25

T-Mobile

| | |
|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

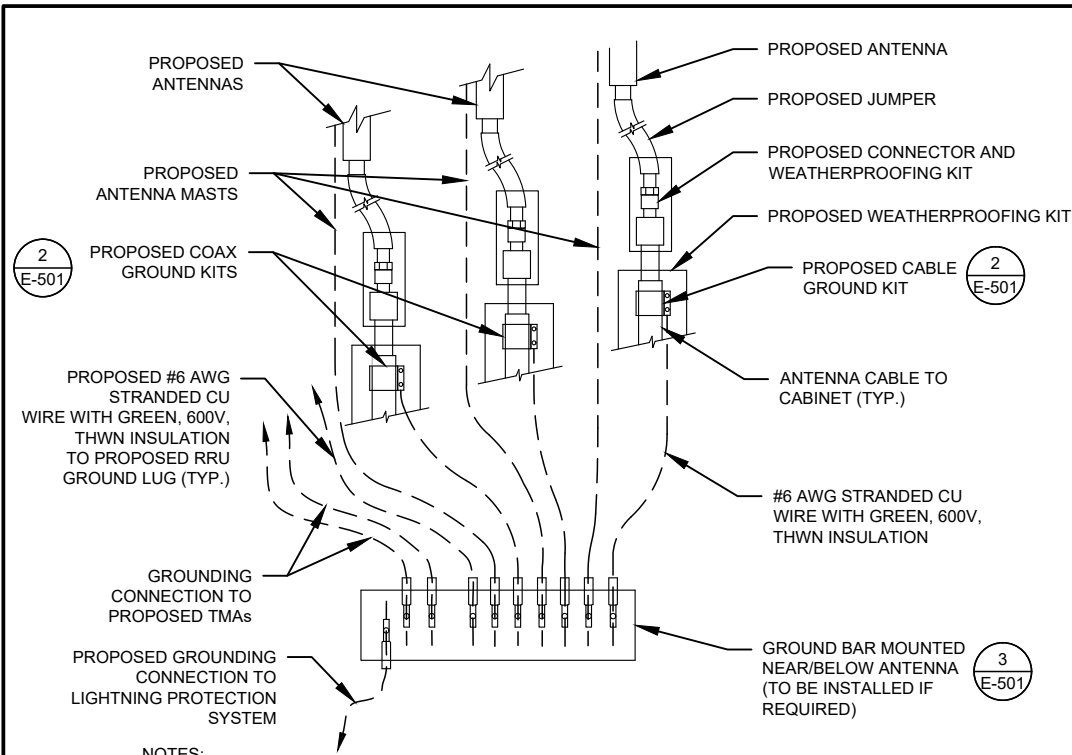
GROUNDING DETAILS & ELECTRICAL SCHEMATIC

SHEET NUMBER:

E-101

REVISION:

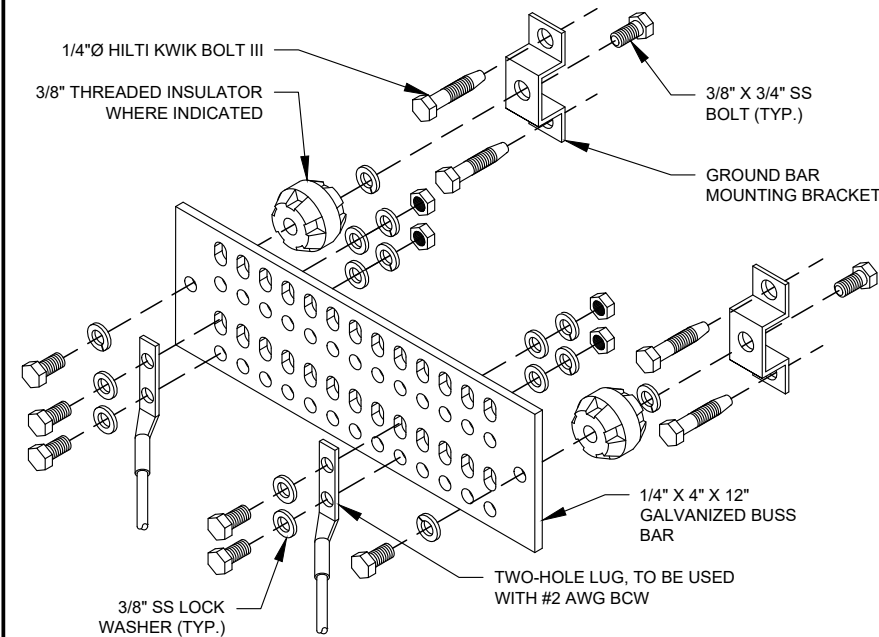
0



NOTES:

1. THIS DETAIL IS INTENDED TO SHOW THE GENERAL GROUNDING REQUIREMENTS. SLIGHT ADJUSTMENTS MAY BE REQUIRED BASED ON EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED AND INFORM THE CONSTRUCTION MANAGER OF ANY CONFLICTS.
2. SITE GROUNDING SHALL COMPLY WITH T-MOBILE GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH T-MOBILE GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.

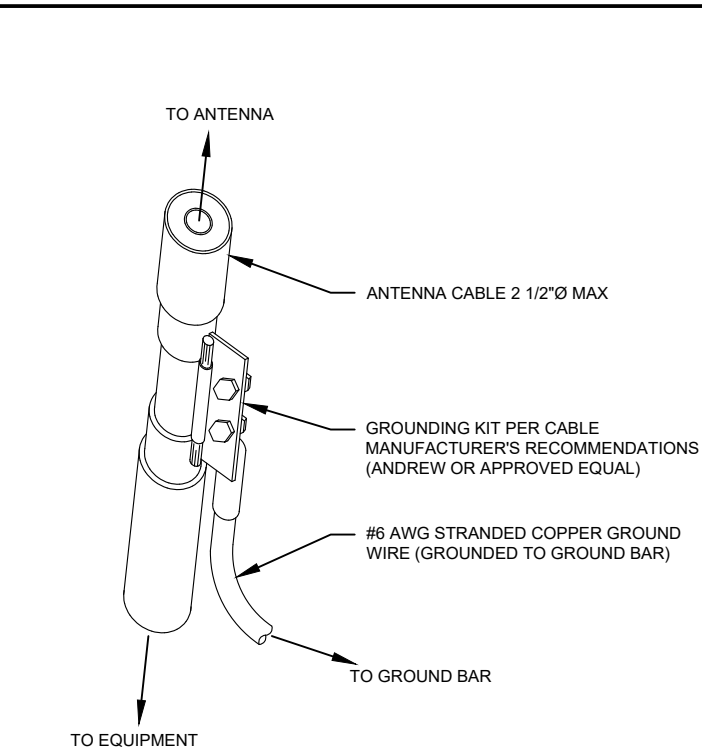
1 TYPICAL ANTENNA GROUNDING DIAGRAM
SCALE: N.T.S.



GROUND BAR NOTES

1. GROUND KITS COME WITH ALL HARDWARE, NUTS, BOLTS, WASHERS, ETC. EXCEPT THE STRUCTURAL MOUNTING MEMBER(S).
2. GROUND BAR SHALL BE BOLTED TO STRUCTURAL MEMBER OR ANCHORED TO CONCRETE SLAB W/ HILTI KWIK BOLT III.

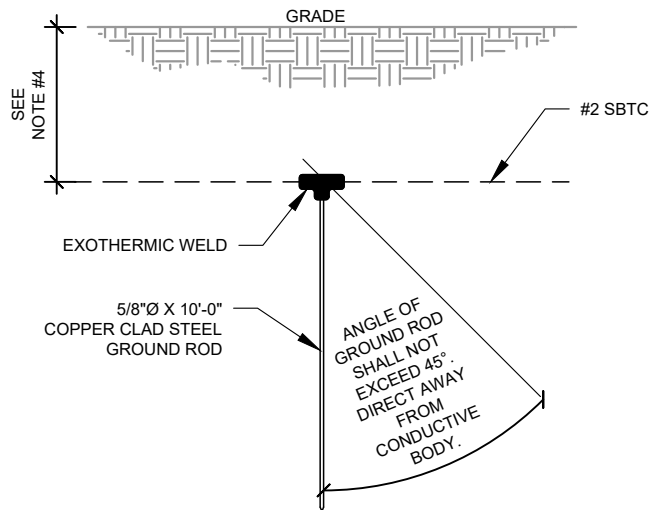
4 MAIN GROUND BAR DETAIL
SCALE: N.T.S.



GROUND KIT NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. CONTRACTOR SHALL PROVIDE WEATHERPROOFING KIT (ANDREW PART NUMBER 221213) AND INSTALL/TAPE PER MANUFACTURER'S SPECIFICATIONS.

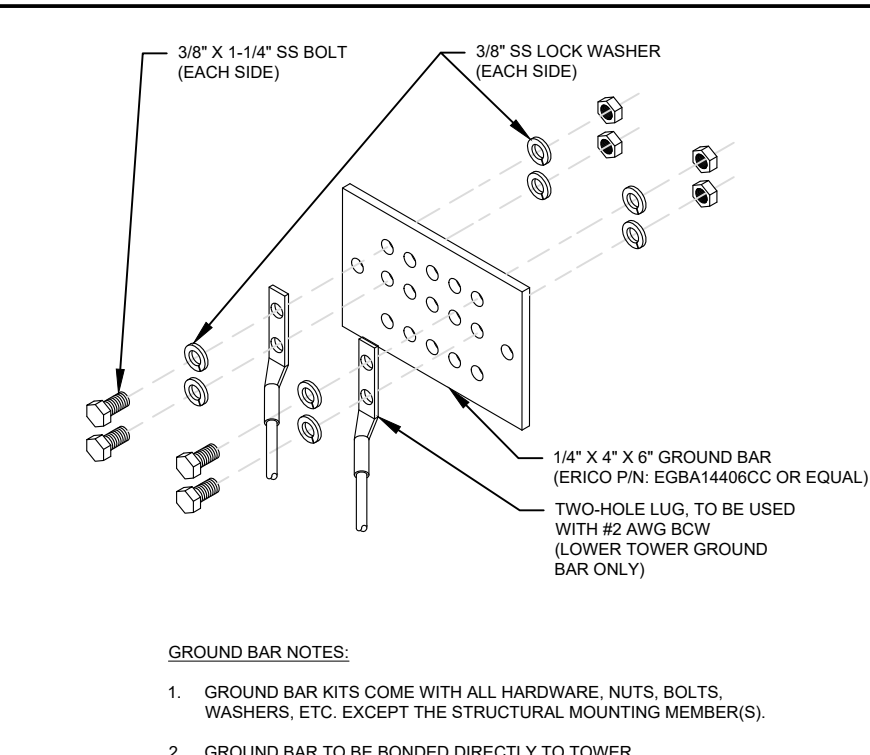
2 CABLE GROUND KIT CONNECTION DETAIL
SCALE: N.T.S.



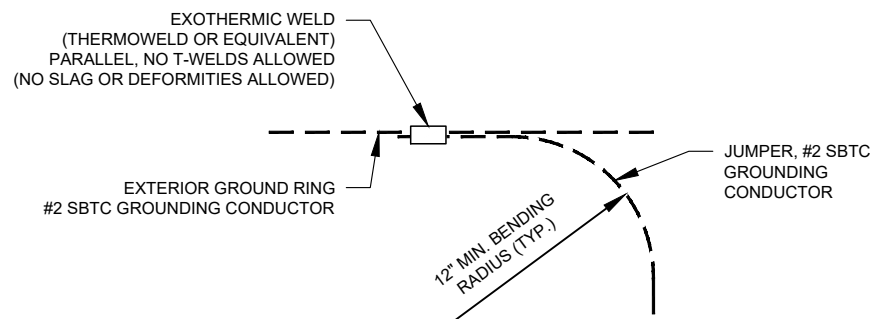
NOTES:

1. SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.
2. COORDINATE UTILITY, LOCATE BEFORE DIGGING.
3. CONDUIT TRENCHING DEPTHS AT 36" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.
4. ALL RING AND RADIAL DEPTHS AT 30" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.

5 GROUND ROD DETAIL
SCALE: N.T.S.



3 TOWER GROUND BAR DETAIL
SCALE: N.T.S.



6 TIE CONNECTION DETAIL
SCALE: N.T.S.

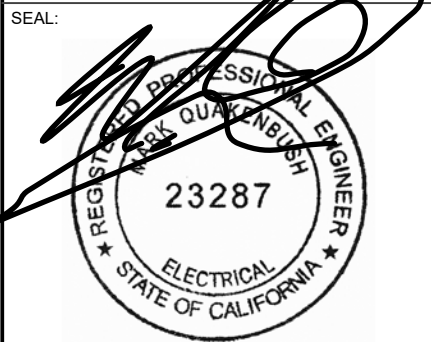


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| E | | | |

ATC SITE NUMBER:
207954
ATC SITE NAME:
PEBBLE BEACH
T-MOBILE SITE NAME:
ATC: PEBBLE BEACH
SITE ADDRESS:
4040 SUNSET LN
DEL MONTE FOREST, CA 95953



04/07/25

T-Mobile

| | |
|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

GROUNDING DETAILS

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| E-501 | 0 |

PANEL DESIGNATION: TMO

TYPE MOUNTING: SURFACE
ENCLOSURE: NEMA 3R

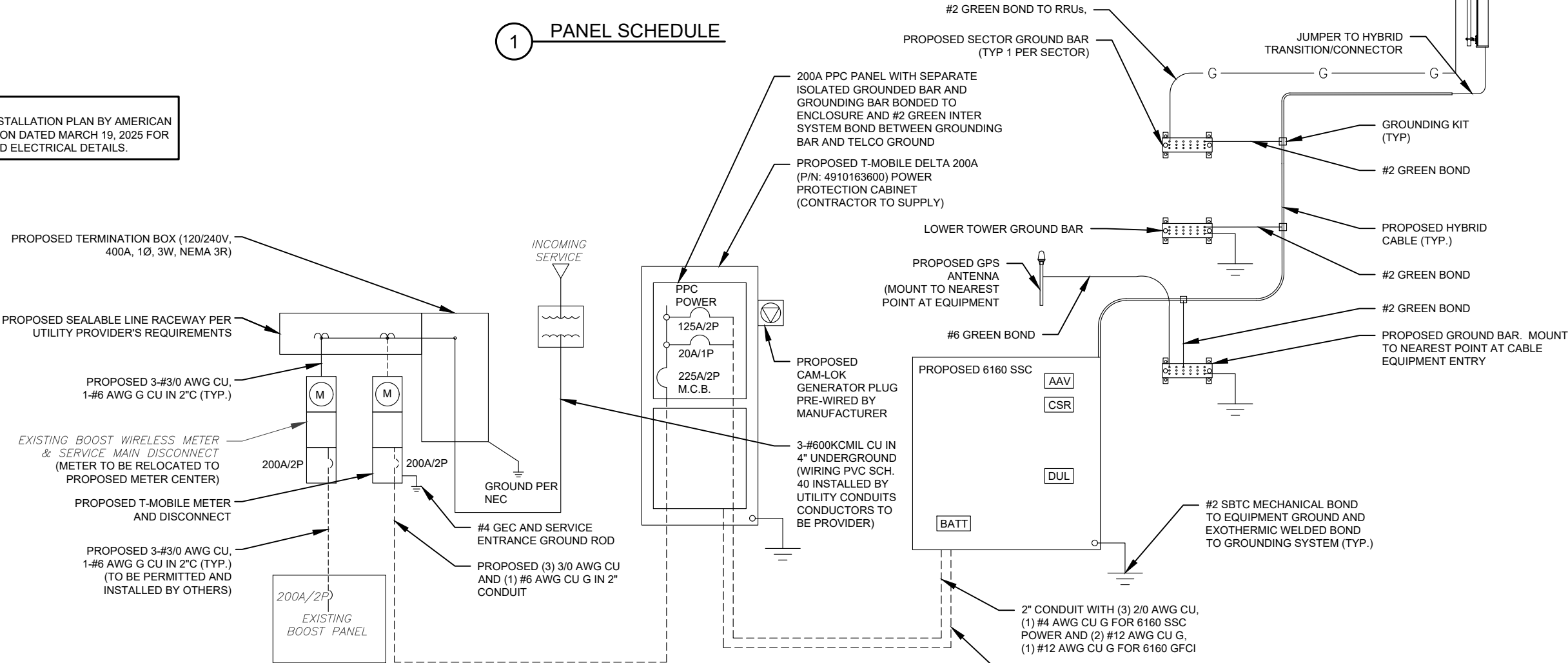
SYSTEM: 120/240V, 1Ø, 3W, 20 CKT
MAIN BREAKER (MB): 200A MCB
MAIN BUS RATING: 200A
MIN. A.I.C. RATING: 65 KAIC

LOCATION: T-MOBILE LEASE AREA
PANEL NOTES: RAYCAP PPC PANEL WITH CAM-LOCK
WITH SW D MANUAL TRANSFER
SWITCH INTERCONNECT KIT

| CONNECTED LOAD (KVA) | | BRIEF DESCRIPTION | FEEDER OR BRANCH CIRCUIT | | | | | | | FEEDER OR BRANCH CIRCUIT | | | | | | BRIEF DESCRIPTION | CONNECTED LOAD (KVA) | | | | | | | | | | |
|-------------------------|------|-------------------|--------------------------|-------|---------|-----|-------|-------------|--|--------------------------|----------------|-------------|---------|-----|------|-------------------|-------------------------|------------|------|------------------------|------|--|--|--|--|--|--|
| | | | BREAKER | | CIRCUIT | | | POLE NO. | | CIRC. NOTES | CIRC. NOTES | POLE NO. | CIRCUIT | | | | BREAKER | | A | B | | | | | | | |
| A | B | | AMPS | POLES | WIRE | GND | COND. | | | | | | COND. | GND | WIRE | | POLES | AMPS | | | | | | | | | |
| 8.02 | | 6160 SSC | 125 | 2 | 2/0 | #4 | 2" | 1 | | | | 2 | 3/4" | #12 | #12 | 1 | 20 | RECEPTACLE | 0.72 | | | | | | | | |
| | 8.02 | | | | | | | 3 | | | | 4 | 3/4" | #12 | #12 | 1 | 20 | LIGHT | | 0.30 | | | | | | | |
| 0.18 | | 6160 GFCI | 20 | 1 | #12 | #12 | | 5 | | | | 6 | | | | | | SPACE | 0.00 | | | | | | | | |
| | 0.0 | SPACE | | | | | | 7 | | | | 8 | | | | | | SPACE | | 0.00 | | | | | | | |
| 0.0 | | SPACE | | | | | | 9 | | | | 10 | | | | | | SPACE | 0.00 | | | | | | | | |
| | 0.0 | SURGE | 30 | 2 | #10 | #10 | 3/4" | 11 | | | | 12 | | | | | | SPACE | | 0.00 | | | | | | | |
| 0.0 | | | | | | | | 13 | | | | 14 | | | | | | SPACE | 0.00 | | | | | | | | |
| | 0.0 | SPACE | | | | | | 15 | | | | 16 | | | | | | SPACE | | 0.00 | | | | | | | |
| 0.0 | | SPACE | | | | | | 17 | | | | 18 | | | | | | SPACE | 0.00 | | | | | | | | |
| | 0.0 | SPACE | | | | | | 19 | | | | 20 | | | | | | SPACE | | 0.00 | | | | | | | |
| 8.20 | 8.02 | | | | | | | | | A | B | TOTAL | | | | | | | | 0.72 | 0.30 | | | | | | |
| 125% DEMAND LOAD (AMPS) | | | | | | | | | | 8.92 | 8.32 | 17.24 | | | | | | | | CONNECTED LOAD (kVA) | | | | | | | |
| | | | | | | | | | | 8.92 | 8.32 | 17.24 | | | | | | | | DEMAND LOAD (kVA) | | | | | | | |
| | | | | | | | | | | 89.79 | | 21.55 | | | | | | | | 125% DEMAND LOAD (kVA) | | | | | | | |

NOTE:
SEE ELECTRICAL INSTALLATION PLAN BY AMERICAN TOWER CORPORATION DATED MARCH 19, 2025 FOR FURTHER PROPOSED ELECTRICAL DETAILS.

1 PANEL SCHEDULE



2 ONE-LINE DIAGRAM

NOTE:
GC TO FIELD VERIFY EXISTING TENANT PANEL SIZE AND CONTACT EOR IF DIFFERENT THAN SHOWN IN ONE-LINE DIAGRAM.



PLANS PREPARED BY:



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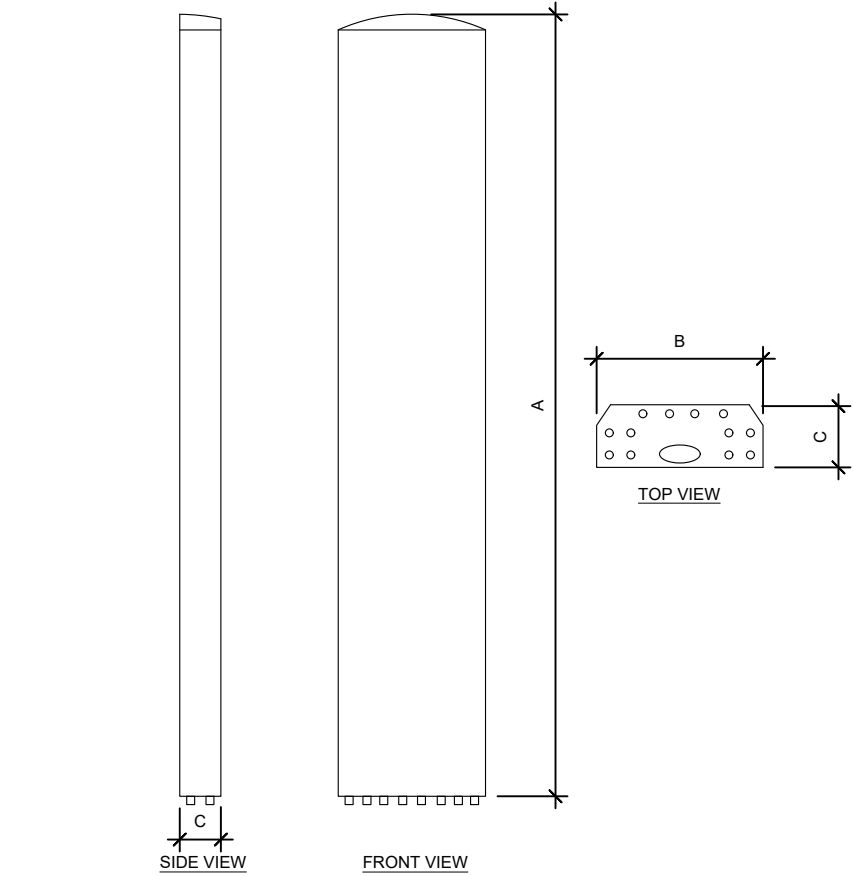
04/07/25



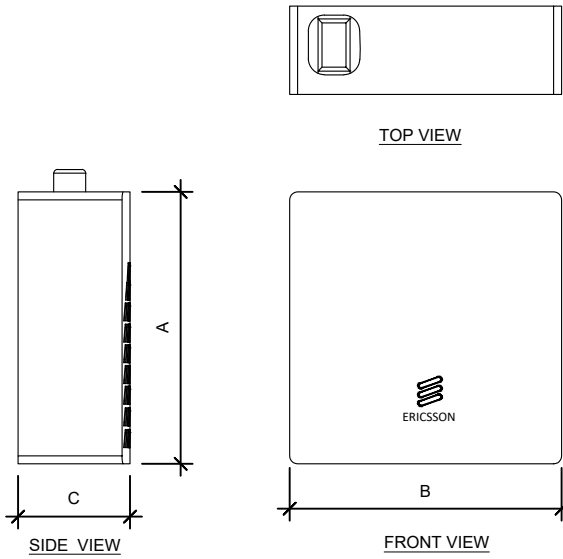
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|----------------|-------------------|
| DATE DRAWN: | 04/07/25 |
| ATC JOB NO: | 14921636 |
| CUSTOMER NAME: | ATC: PEBBLE BEACH |
| CUSTOMER ID: | SF95723A |

PANEL SCHEDULE & ONE-LINE DIAGRAM

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| E-601 | 0 |



| ANTENNA SPECIFICATIONS | | | | |
|------------------------|-------|-------|------|--------------|
| ANTENNA MODEL | A | B | C | WEIGHT (LBS) |
| APXVAALL24M-U-J20 | 95.7" | 19.7" | 8.5" | 86.0 |
| AIR 6419 B41 | 35.2" | 20.9" | 7.0" | 83.0 |

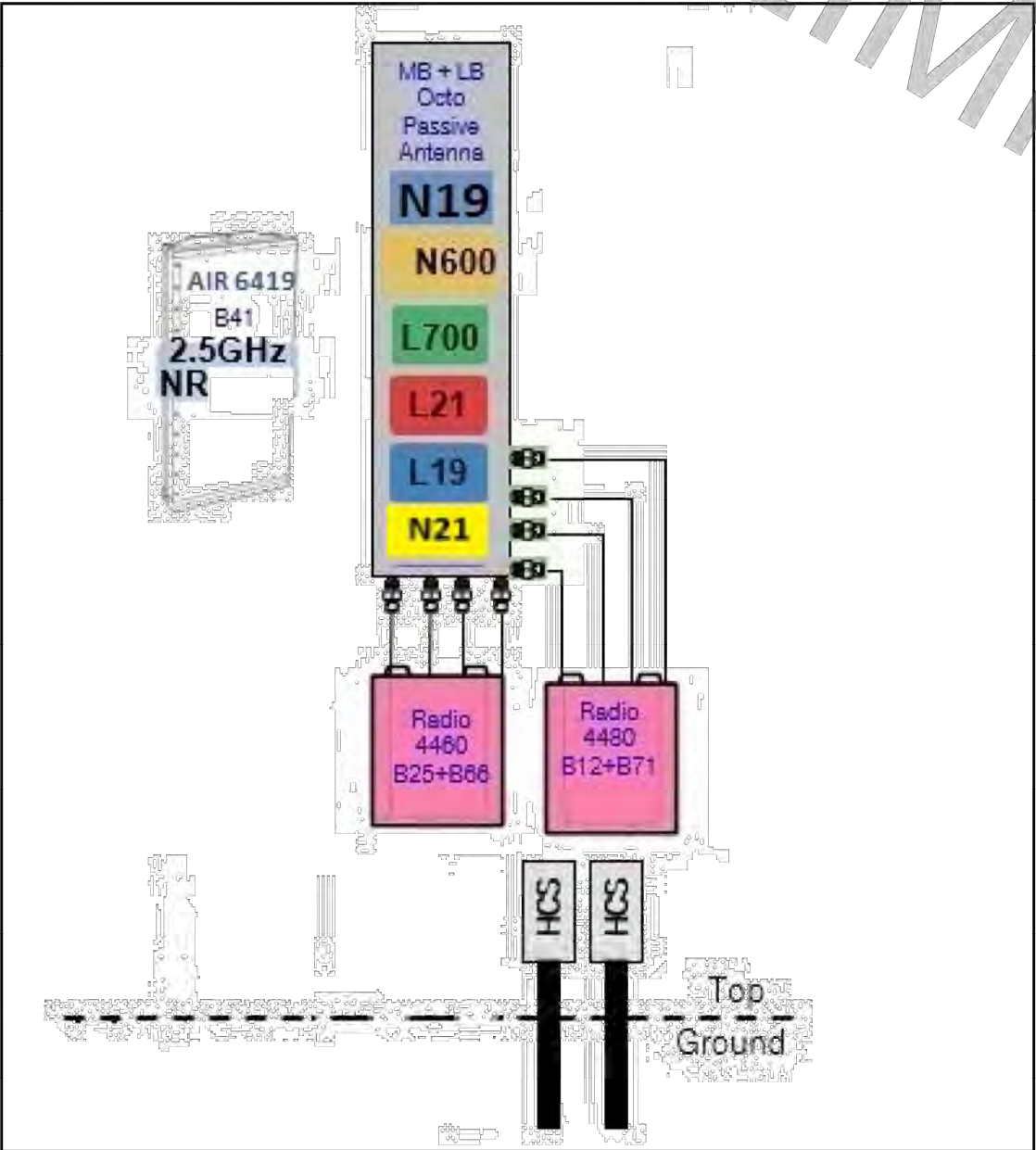


| RRU SPECIFICATIONS | | | | |
|---------------------|-------|-------|-------|--------------|
| RRU MODEL | A | B | C | WEIGHT (LBS) |
| RADIO 4460 B25+B66 | 19.6" | 15.7" | 12.1" | 109.0 |
| RADIO 4480 B71+B85A | 21.8" | 15.4" | 7.5" | 93.0 |

| Proposed RAN Equipment | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|------|
| Template: 67E5D998E 6160 | | |
| Enclosure | 1 | 2 |
| Enclosure Type | Enclosure 6160_v2 AC | B160 |
| Baseband | RP 6651 N2500 RP 6651 N600 N1900 N2100 L700 L1900 L2100 | |
| Transport System | CSR IXRe V2 (Gen2) | |
| Hybrid Cable System | Hybrid Trunk 6/24 4AWG 70m (x2) | |
| RAN Scope of Work: | | |
| 10/15/2024: RC Updated from 60' to 99' as per instruction i.e tower extension. 9/20/2024: RC changed from 40' to 60' as per Vanessa/Dev. 1. Add (1) RP6651 for L7/N6 + L19/L21/N19/N21 MMBB 2. Add (1) RP6651 for N2500 3. Add (1) iXRe Router 4. Add E6160 and B160 Cabinets 5. Add (2) 6x24 HCS 4 AWG 70M | | |

1 PROPOSED CABINET CONFIGURATION
SCALE: N.T.S.

67E5D998E_With N19_No U19_No L600_No L25_Dark passive (1).jpg



Notes:

2 PROPOSED ANTENNA CONFIGURATION
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

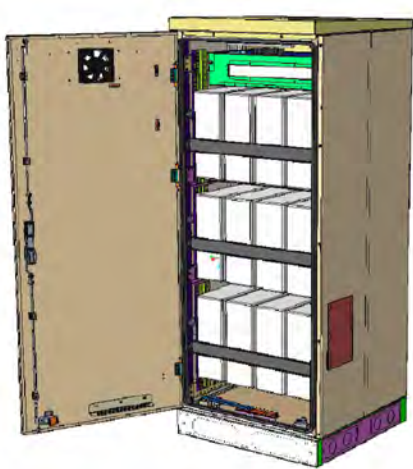
SHEET NUMBER:

R-602

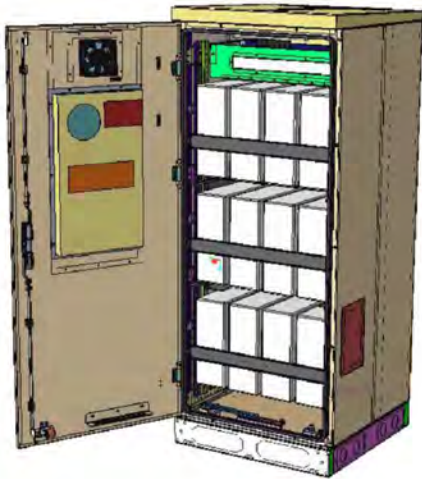
REVISION:

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Enclosure B160



Enclosure B160
AirCon + VRLA



Enclosure B160
AirCon + Li-Ion



Enclosure B160
Convection Cooling
+ VRLA

PA1 | 2019-02-03 | Ericsson Confidential | Page 1

Enclosure B160

- Capacity
- VRLA 12V: 100Ah / 150Ah / 170Ah / 190Ah / 210Ah
 - Li-Ion: 24U 19" / 23"
 - Sodium-Nickel: 3x FIAMM
- Electrical specification
- DC Output: -48VDC/200A
 - Battery breakers: 2x 125/2p
 - Alarms: Door open, Climate failure, MCB Connection
- Mechanical specification
- Weight: 134kg
 - Dimensions: 63 x 26 x 26 in. (incl. Base frame)
 - Base frame height: 6 in.
 - Material: Galvanized steel (180g/m²)
 - Color: Powder paint NCS 2002-B
 - Door: Front access
 - Locking type: Pad lock / cylinder

- Environmental specification
- Ingress protection: VRLA/Sodium IP44
Li-Ion IP55
 - Relative humidity: 15-100%
- Climate system
- Air Conditioner
 - Fan type: DC
 - Cooling capacity: 500W @L35/L35
 - Convection cooling
 - Emergency fan

PA1 | 2019-02-03 | Ericsson Confidential | Page 2



Enclosure 6160 AC

The Enclosure 6160 is a multi-purpose site cabinet designed to support a multitude of equipment such as ERS Baseband, Transport, Li-Ion battery and 3PP vendor equipment. It also provides a highly capable power system and battery back-up - all in a streamlined design and minimized footprint to support cost efficient expansion of mobile broadband.

Being an all-in-one enclosure, the Enclosure 6160 is a very fitting choice for all types of sites where the capacity need is large or room for future expansion is needed. It is ideally used for modernizing existing sites or in greenfield scenarios to match both current and future needs.

With a robust design, IP65 compliance and a sealed Heat Exchanger (HEX) climate system the Enclosure 6160 ensures optimal environmental protection of the active equipment - enabling them for a long-lasting service. The complete system is also integrated and verified for the entire Ericsson Radio System and ensures best-in-class service.

The power system offers 31,5kW of power in total and provides 24kW of -48V DC power for both internal and external consumers.

The equipment space allows 19U of rack space ensuring well enough capacity for existing need and future expansion.

One of the main advantages of the Enclosure 6160 is its default integration with ENM - allowing for advanced remote monitoring and control such a fault management (alarms), inventory management and performance measurements. The cabinet also provides an open O&M interface for integration to 3PP O&M systems.



Preliminary technical specification for Enclosure 6160 AC

CAPACITY

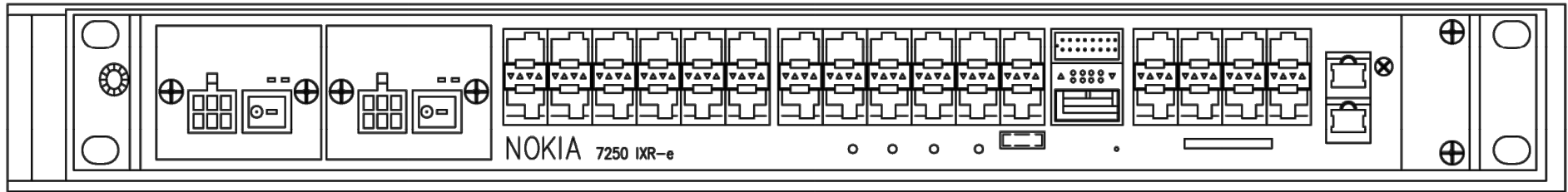
| | |
|---------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Rack space user equipment | 19U (19" rack) |
| Hardware capabilities | Power and CPRI support for multi-standard remote radios (RRU or AIR) ERS Baseband and Transport units Li-Ion batteries 3PP equipment Additional power feed available as option |

MECHANICAL SPECIFICATION

| | |
|-----------------------|-------------------------------------------------------------------------------|
| Weight | 145 kg (excluding active equipment) 320 lbs (excluding active equipment) |
| Dimension (H x W x D) | 1600 x 650 x 650 mm (incl. Base frame) 63 x 26 x 26 in. (incl. Base frame) |
| Base frame height | 150 mm 6 in. |
| Mounting position | Ground |
| Enclosure material | Aluminum |
| Color | Power paint NCS 2002-B |
| Door | Front access |
| Rack type | 19" (IEC 60297-3-100) |
| Locking type | Pad lock or Cylinder |

POWER SYSTEM

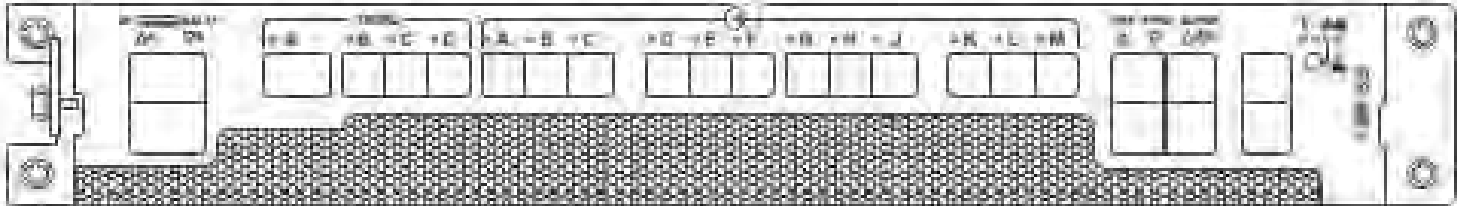
| | |
|--------------------------------|--------------------------------------------------------------------------------------|
| Input voltage | 3P+N+PE: 346/200-415/240 VAC 2P+N+PE: 208/120-220/127 VAC 1P+N+PE: 200-250 VAC |
| Input power | <33kW |
| Output load (-48VDC) | 24kW |
| Total capacity (-48VDC) | 31.5kW |
| AC SPD | Class 2/Type 2 |
| DC SPD | Class 2/Type 2 |
| PSU Slots | 9x |
| Service outlet | Optional |
| Priority load | 8x Circuit Breaker |
| LLVD 1 | 6x Circuit Breaker |
| LLVD 2 | 6x Circuit Breaker |
| CB ratings | 3A / 5A / 10A / 15A / 20A / 25A / 30A / 40A / 50A / 60A / 80A / 100A |
| Battery Interface | 2x Circuit Breaker |
| Battery Circuit Breaker rating | 125A 2pol (200A) |
| PSU capacity | 3500W |



NOKIA – CSR IXRE V2 ROUTER
WEIGHT: 11.2 LBS.
SIZE (HxWxD): 1.75x17.25x10.0 IN.

1 PROPOSED CSR IXRE V2 DETAIL
SCALE: N.T.S.

| | | |
|---------------|--------|--------------------|
| MANUFACTURER: | | ERICSSON |
| MODEL NO.: | | RP 6651 |
| DIMENSIONS: | | TOTAL WEIGHT |
| | 1.75" | |
| | 19" | |
| | 13.65" | 16.53 LBS (7.5 KG) |



2 PROPOSED RP 6651 DETAIL
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

SHEET NUMBER:

R-605

REVISION:

-



Power Protection Cabinet (PPC) 225A with Generator Input and AC Alarm

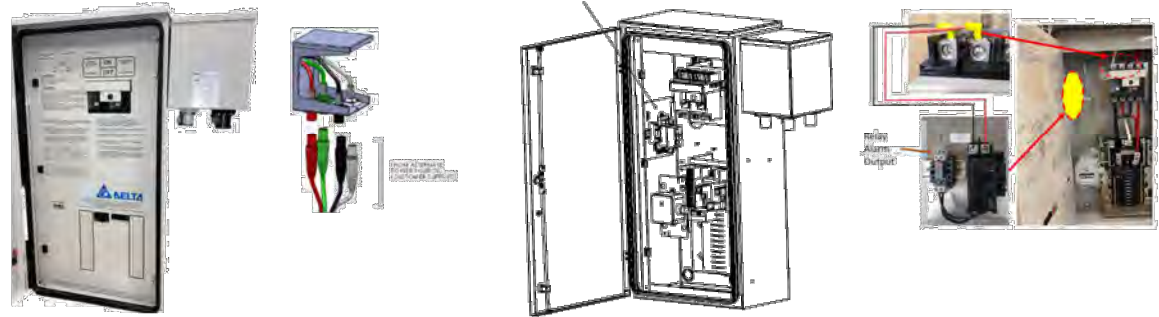
Product Features

- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection
- Main AC Input Detection Alarm



Specifications

| Model / Part Number | | 4910163600 |
|-------------------------|-----------------------------------------------------------------------------------------------------------------|-------------------------------------------|
| 1. General | | |
| Construction | Single layer Aluminum enclosure, Type 3R | |
| Dimensions (W x H x D) | 20.2 x 39 x 11.2 inch excludes generator connections 29.7 x 39 x 11.2 inch including RH Camlok generator box | |
| Weight | 71 lbs (without packaging) | |
| Finish | Polyester Powder Paint | |
| Door Latch | 3-Point latching, pad lockable | |
| Safety | UL50 (Cabinet) | |
| | UL891 Dead Front Switchboard Listed | |
| | Suitable for Use as Service Equipment (N-G Bonding kit included) | |
| 2. Environment | | |
| Operating temperature | -40°C to +46°C (-40°F to 115°F) | |
| Humidity (relative) | 95%, non-condensing (Max.) | |
| Protection class | Type 3R | |
| 3. AC Section | | |
| Voltage | 240/120 Single Phase (3 wire + Ground) | |
| Current | 225A | |
| AIC Rating | Utility 65,000 Amps | |
| Other features | Generator Interface: Camlok Connections (Right Mount) | |
| | Service Disconnect: Square D 225 Amp (65kAIC) Mechanical Slide Bar Interlock | |
| | Load Center: Square D 225 Amp, QO Series, 24 Position | |
| | Surge Protection Device (SPD) - 1 ea. AC2080M-02 | |
| | Square D 30 Amp, 2-Pole Breaker for SPD | |
| | Ground Bar | |
| | Silkscreen Dead-Front Lift Off Style | |
| | Captive Dead-Front Fasteners | |
| | Loss of AC Input Alarm | |
| | | |
| 5. Ordering information | | |
| PPC | 4910163600 | Power Pedestal Cabinet - 225A w/ AC Alarm |
| AC Alarm Relay Kit FRU | 5630102506 | Alarm Monitoring Retrofit Kit for PPC |



GENERATOR INPUT

*Male Receptacle Twist Lock Panel Mount connectors (not included)

*All specifications are subject to change without prior notice.

EN_z23n2P17/ FH

Delta Group Website:
www.deltaww.com

Product Website:
www.deltapowersolutions.com

United States of America & Canada:
Delta Electronics (USA) Inc.
2925 E. Plano Parkway
Plano, TX (Texas) 75074

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DEUSTPS.Orders@deltaww.com

Field Support:
1-877-DELTA-08 option 3
(877-335-8208 option 3)
DEUSTPS.Support@deltaww.com

Installation Services:
DEUSTPS.Services@deltaww.com

RMA:
DEUSTPS.RMA@deltaww.com

www.deltaww.com



1 PROPOSED 225A PPC DETAIL
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

SHEET NUMBER:

R-606

REVISION:

-



The NSB RED Battery® delivers long life for reliable and unreliable grid conditions.

- Pure lead electrochemistry greatly increases temp and corrosion resistance, while reducing component aging
 - Thin plates deliver large surface area, high power density and low resistance
 - Design life 15+ years at 20°C (68°F)
 - EUROBAT design life definition: Very Long Life (12+ years)
 - Fast recharging
 - Operating temperature range -40°C to +65°C (-40°F to 149°F)
- State-of-the-art automated manufacturing ensures consistency and reliability
 - Shelf life of up to 24 months
 - Advanced 3 stage terminal design to ensure leak-free operation - brass terminals provide maximum performance
 - High modulus Polyphenylene Oxide (PPO) plastic materials designed to withstand extended elevated operating temperatures and maintain high battery compression essential for reliable operation
 - Non-halogenated, thermally sealed plastic casing
 - Flame retardant (UL 94 VO) and LOI of at least 28%
 - Approved as non-hazardous cargo for ground, sea, and air transport - DOT 49CFR173.159(d), (i) and (ii)

Release date: 2021-09-05



NSB 190FT RED
Technical Specifications

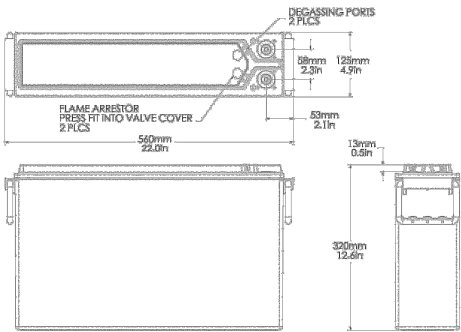
Dimensions (Nominal)

| | | | |
|--------|---------|--------|---------|
| Height | 12.6 in | Width | 4.9 in |
| Length | 22 in | Weight | 123 lbs |

Electrical

| | |
|-----------------------------------------------|----------------------|
| Terminal | Female M8 x 1.25 |
| Terminal torque | 8.0 Nm (71 in-lbs) |
| 1 hr capacity to 1.70VPC @ 20/25°C (68/77°F) | 123 / 129 Ah |
| 3 hr capacity to 1.75VPC @ 20/25°C (68/77°F) | 160 / 164 Ah |
| 8 hr capacity to 1.75VPC @ 20/25°C (68/77°F) | 183 / 186 Ah |
| 10 hr capacity to 1.80VPC @ 20/25°C (68/77°F) | 187 / 190 Ah |
| Float voltage @ 20/25°C (68/77°F) | 2.28 / 2.27 VPC |
| Impedance (1Khz) | 2.8 mΩ @ 25°C (77°F) |
| Conductance | 1900 S |
| Short circuit current | 6000 A |
| Operation temperature range | -40°C to +65°C |
| Nominal voltage | 12 V |

Technical Drawing



• Approved as non-hazardous cargo for ground, sea, and air transportation in accordance with US DOT Regulation 49 and ICAO & IATA Packing Instruction 806. Please see our SDS for complete details at www.enersys.com

• Complies with Telcordia® SR-4228, Network Equipment Building System (NEBS™) Criteria Levels

• The management systems governing the manufacture of this product are ISO 9001 and ISO 14001 certified

EnerSys World Headquarters
2366 Bernville Road
Reading, PA 19605, USA
Tel: +1-610-208-1991/+1-800-538-3627

Release date: 2021-09-05

Pxxx: Bulk Pipe



| Part # | Length | OD x Length (in) |
|-------------|--------|------------------|
| Schedule 40 | | |
| P260 | 5'-0" | 2-3/8" x 60" |
| P263 | 5'-3" | 2-3/8" x 63" |
| P272 | 6'-0" | 2-3/8" x 72" |
| P284 | 7'-0" | 2-3/8" x 84" |
| P296 | 8'-0" | 2-3/8" x 96" |
| P2108 | 9'-0" | 2-3/8" x 108" |
| P2120 | 10'-0" | 2-3/8" x 120" |
| P2126 | 10'-6" | 2-3/8" x 126" |
| P2150 | 12'-6" | 2-3/8" x 150" |
| P2174 | 14'-6" | 2-3/8" x 174" |
| P2252 | 21'-0" | 2-3/8" x 252" |
| P3072 | 6'-0" | 2-7/8" x 72" |
| P3084 | 7'-0" | 2-7/8" x 84" |
| P3096 | 8'-0" | 2-7/8" x 96" |
| P30108 | 9'-0" | 2-7/8" x 108" |
| P30120 | 10'-0" | 2-7/8" x 120" |
| P30126 | 10'-6" | 2-7/8" x 126" |
| P30150 | 12'-6" | 2-7/8" x 150" |
| P30174 | 14'-6" | 2-7/8" x 174" |
| P30252 | 21'-0" | 2-7/8" x 252" |
| P360 | 5'-0" | 3-1/2" x 60" |
| P372 | 6'-0" | 3-1/2" x 72" |
| P384 | 7'-0" | 3-1/2" x 84" |
| P396 | 8'-0" | 3-1/2" x 96" |
| P3150 | 12'-6" | 3-1/2" x 150" |
| P3160 | 13'-4" | 3-1/2" x 160" |
| P3174 | 14'-6" | 3-1/2" x 174" |
| P3216 | 18'-0" | 3-1/2" x 216" |
| P3252 | 21'-0" | 3-1/2" x 252" |
| P472 | 6'-0" | 4-1/2" x 72" |
| P4126 | 10'-6" | 4-1/2" x 126" |
| P4252 | 21'-0" | 4-1/2" x 252" |



- Features:**
- Factory cut end, hot-dip galvanized pipe
- Construction:**
- ASTM A53 Grade B
 - Schedule 40 or Schedule 80
- Design Criteria:**
- ASTM A53 Grade B (Yield Fy = 35 ksi [240 MPa]/ Tensile Fu = 60 ksi [415 MPa])
 - Hot dip galvanized in accordance with ASTM A123 requirements

| Part # | Length | OD x Length (in) |
|-------------|--------|------------------|
| Schedule 80 | | |
| P2252-80 | 21' | 2-1/2" x 252" |
| P30126-80 | 10'-6" | 2-7/8" x 126" |
| P30252-80 | 21' | 2-7/8" x 252" |
| P3252-80 | 21' | 3-1/2" x 252" |

SitePro1.com

888-438-7761

1 PROPOSED 10' PIPE MOUNT DETAIL
SCALE: N.T.S.

2 PROPOSED CROSSOVER PLATE KIT DETAIL
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

1-1/2" TO 4-1/2" ANTENNA PIPE (ORDERED SEPARATELY)

1-1/2" TO 3-1/2" O.D. PIPE (ORDERED SEPARATELY)

4 OR 5 6 X2 7 8

| ITEM | QTY | PART NO. | PART DESCRIPTION | LENGTH | UNIT WT. | NET WT. |
|-------------|-----|----------|--------------------------------------------|----------|----------|---------|
| 1 | 1 | SCX7 | CROSSOVER PLATE | 8 in | 7.55 | 7.55 |
| 2 | 2 | X-115785 | 5" V-CLAMP | | 1.02 | 2.04 |
| 3 | 2 | X-100064 | CLAMP (S) (4" V-CLAMP) GALVANIZED | | 0.91 | 1.83 |
| 4 | 8 | G12085 | 1/2" x 6-1/2" HDG HEX BOLT GR5 FULL THREAD | 6 1/2 in | 0.41 | 3.28 |
| 5 | 4 | G12045 | 1/2" x 4.5" HDG HEX BOLT GR5 FULL THREAD | 4 1/2 in | 0.30 | 1.19 |
| 6 | 16 | G12FW | 1/2" HDG USS FLATWASHER | | 0.03 | 0.54 |
| 7 | 8 | G12LW | 1/2" HDG LOCKWASHER | | 0.01 | 0.11 |
| 8 | 8 | G12NUT | 1/2" HDG HEAVY ZH HEX NUT | | 0.07 | 0.57 |
| TOTAL WT. # | | | | | | 16.98 |

TOLERANCE NOTES
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.005"$)

PROPRIETARY NOTE:
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT EQUIPMENT AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT EQUIPMENT IS EXPRESSLY PROHIBITED.

| DESCRIPTION | | CROSSOVER PLATE (V-CLAMP STYLE) | |
|---------------|-----|---------------------------------|-----------|
| CPD NO. | CEK | DRAWN BY | 10/7/2010 |
| CLASS | 81 | ENGINEERING | BMC |
| SUB | 01 | CHECKED BY | 10/8/2010 |
| DRAWING USAGE | | CUSTOMER | |
| PART NO. | | SCX7-U | |
| DWG. NO. | | SCX7-U | |

Locations: New York, NY; Atlanta, GA; Los Angeles, CA; Plymouth, IN; Dallas, TX

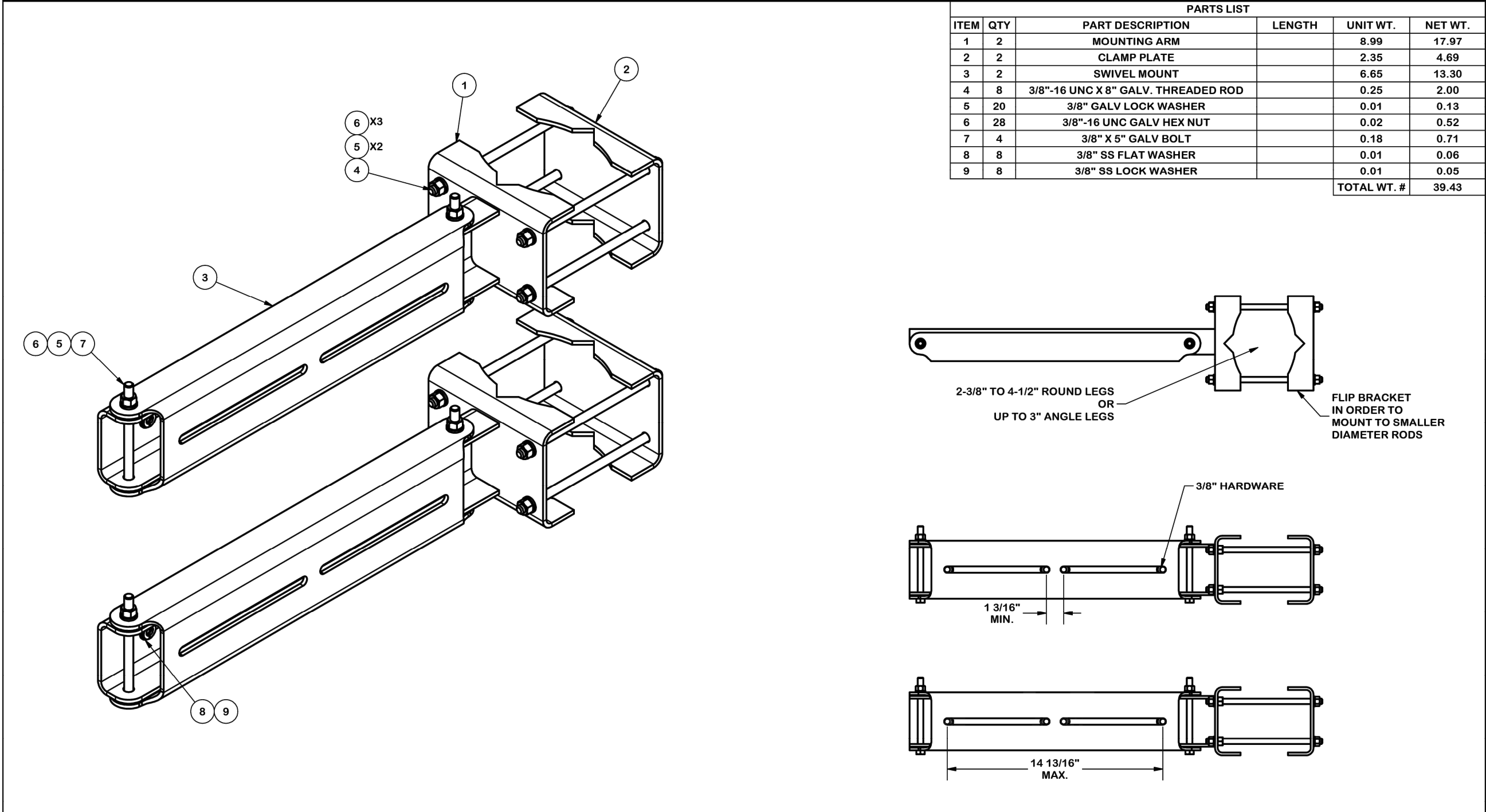
Engineering Support Team: 1-888-753-7446

PAGE 1 OF 1

SUPPLEMENTAL

SHEET NUMBER: R-608

REVISION: -



| PARTS LIST | | | | | |
|-------------|-----|-------------------------------------|--------|----------|---------|
| ITEM | QTY | PART DESCRIPTION | LENGTH | UNIT WT. | NET WT. |
| 1 | 2 | MOUNTING ARM | | 8.99 | 17.97 |
| 2 | 2 | CLAMP PLATE | | 2.35 | 4.69 |
| 3 | 2 | SWIVEL MOUNT | | 6.65 | 13.30 |
| 4 | 8 | 3/8"-16 UNC X 8" GALV. THREADED ROD | | 0.25 | 2.00 |
| 5 | 20 | 3/8" GALV LOCK WASHER | | 0.01 | 0.13 |
| 6 | 28 | 3/8"-16 UNC GALV HEX NUT | | 0.02 | 0.52 |
| 7 | 4 | 3/8" X 5" GALV BOLT | | 0.18 | 0.71 |
| 8 | 8 | 3/8" SS FLAT WASHER | | 0.01 | 0.06 |
| 9 | 8 | 3/8" SS LOCK WASHER | | 0.01 | 0.05 |
| TOTAL WT. # | | | | 39.43 | |

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
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DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
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DESCRIPTION

**RRU
DUAL SWIVEL MOUNT**

| | | |
|---------|---------------|---------------|
| CPD NO. | DRAWN BY | ENG. APPROVAL |
| | CEK 1/12/2015 | |
| CLASS | DRAWING USAGE | CHECKED BY |
| 81 | SHOP | BMC 2/3/2015 |



Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX

Engineering
Support Team:
1-888-753-7446

| | | |
|----------|--------|--------|
| PART NO. | RRUDSM | PAGE |
| DWG. NO. | RRUDSM | 1 OF 1 |

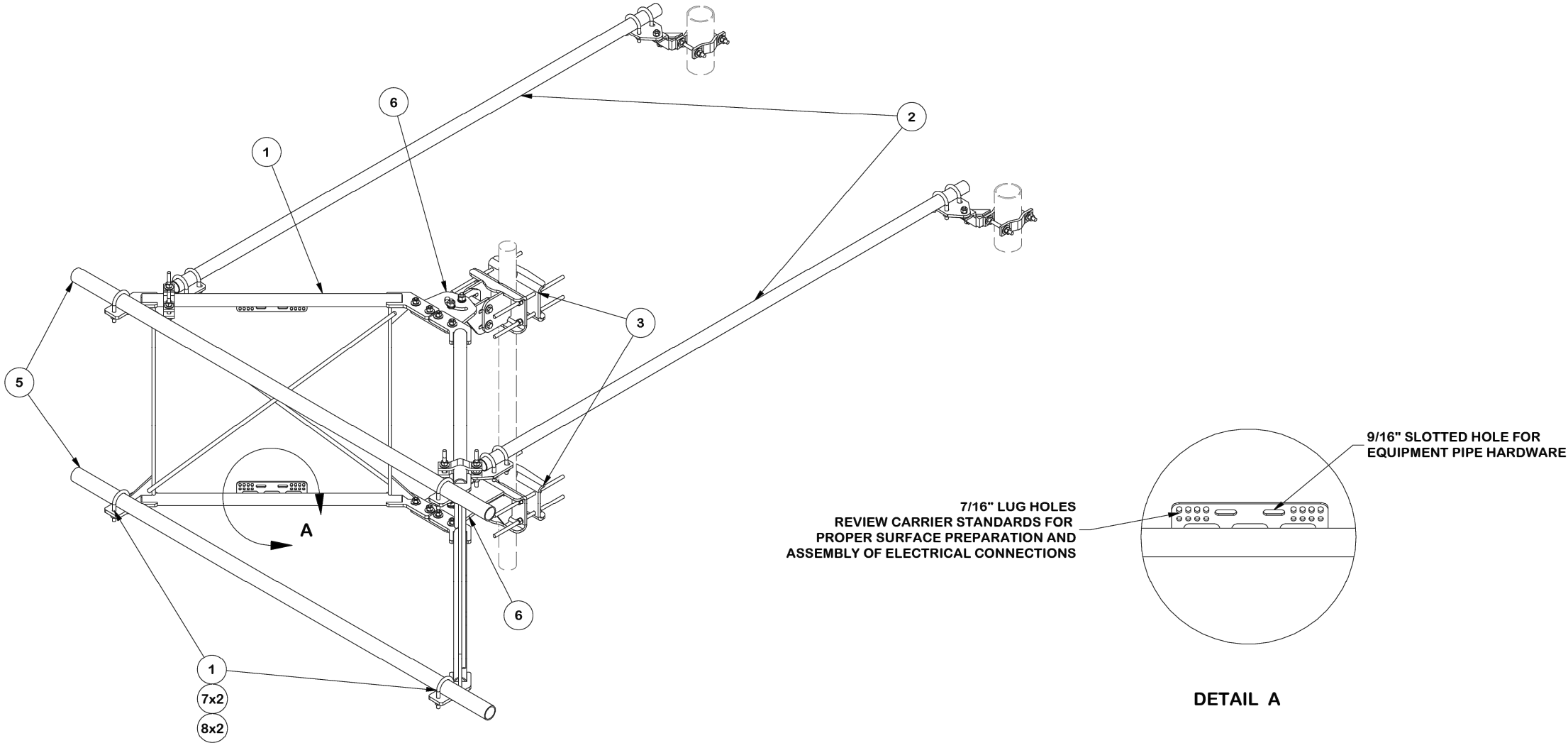
1 PROPOSED RRU DUAL SWIVEL MOUNT DETAIL
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

SHEET NUMBER: R-609
REVISION: -

| PARTS LIST | | | | | | |
|------------|-----|----------|-----------------------------------------------------------|--------|-------------|---------|
| ITEM | QTY | PART NO. | PART DESCRIPTION | LENGTH | UNIT WT. | NET WT. |
| 1 | 2 | X-VXDW45 | XTREME DUTY 45" VERTICAL SUPPORT ARM | | 100.07 | 200.13 |
| 2 | 2 | SPTB | SLIDING TIE-BACK ASSEMBLY KIT | | 93.55 | 187.10 |
| 3 | 1 | BCAM-HD | HEAVY DUTY BOLT CALIBRATED ANGLE MAINSTAY | | 147.01 | 147.01 |
| 5 | 2 | P30108 | 2-7/8" O.D. X 108" SCH. 40 PIPE (A53 Gr.B Fy=35 ksi min.) | 108 in | 52.32 | 104.63 |
| 6 | 1 | VFAPL4-K | HD FRAME PIVOT PLATE KIT | | 39.25 | 39.25 |
| 7 | 8 | G58NUT | 5/8" HDG HEAVY 2H HEX NUT | | 0.13 | 1.04 |
| 8 | 8 | G58LW | 5/8" HDG LOCKWASHER | | 0.03 | 0.21 |
| | | | | | TOTAL WT. # | 694.77 |



TOLERANCE NOTES

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DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES
BENDS AND ANGLES ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PATENT INFORMATION: WWW.SITEPRO1.COM/PATENTS

PROPRIETARY NOTE:
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION

8' XTREME DUTY V-FRAME ASSEMBLY WITH TWO STIFF ARMS 5' STAND-OFF



Engineering Support Team:
sp1engineering@valmont.com

A valmont COMPANY

CPD NO.

SP1

DRAWN BY

ADB 11/5/2024

ENG. APPROVAL

CLASS

87

SUB

02

DRAWING USAGE

CUSTOMER

CHECKED BY

PART NO.

VFA8-XD-NPNH

DWG. NO.

VFA8-XD-NPNH

PAGE
1 OF 14

1 PROPOSED SECTOR MOUNT DETAIL

SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

SHEET NUMBER:

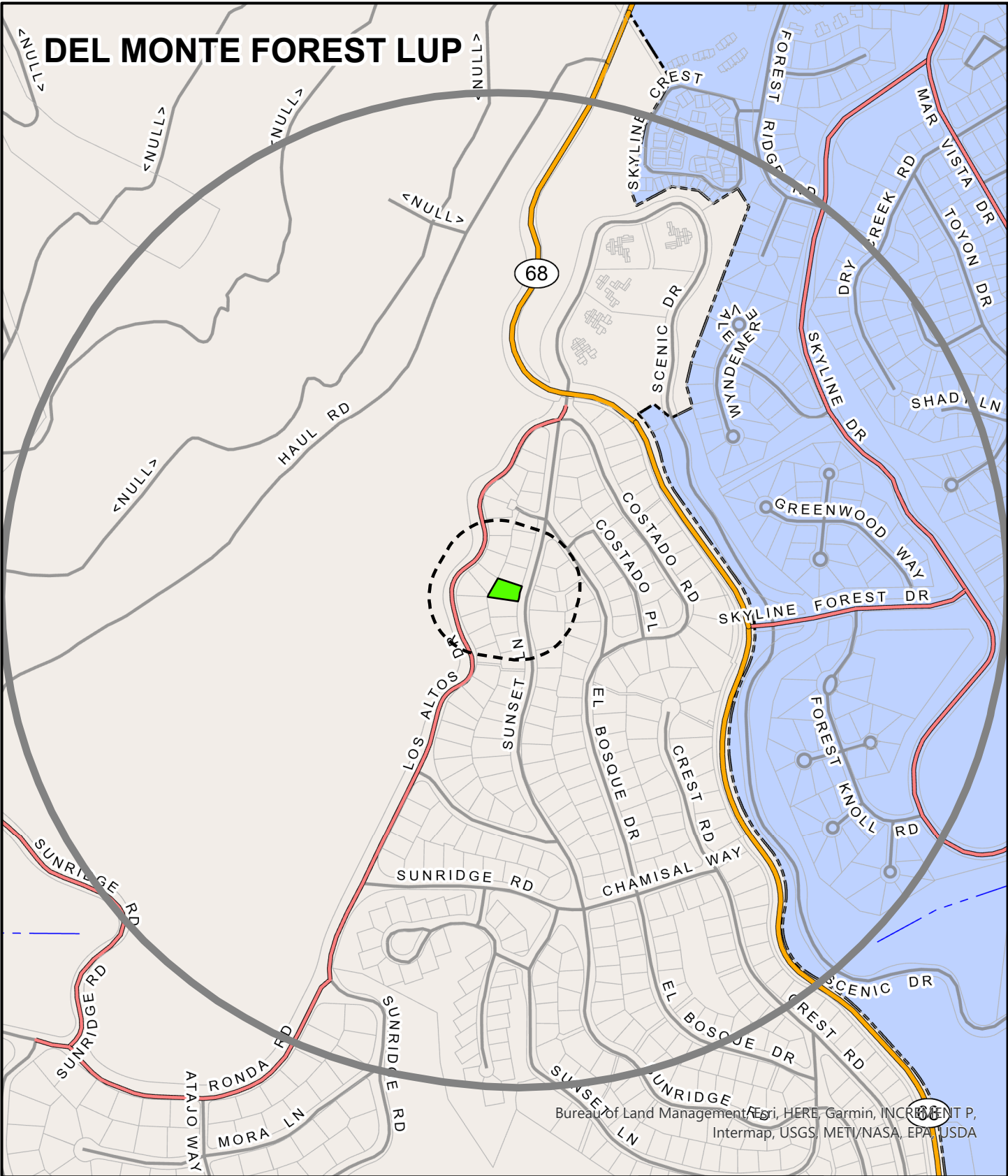
R-610

REVISION:

- 177

Exhibit B

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APPLICANT: CTI TOWERS ASSETS I LLC (T-MOBILE)

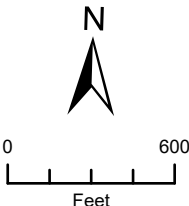
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FILE # PLN250267

 Project Site

 300 FT Buffer

 2500 FT Buffer



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