

Exhibit C

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**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

ANKLE CRISPER LLC (PLN150354)

RESOLUTION NO.

Resolution by the Monterey County Hearing Body:

- 1) Considering an addendum together with the Mitigated Negative Declaration; and
- 2) Approving an Amendment to a previously approved Combined Development Permit (PLN100342) to increase the house size from 2,106 square feet to an 8,396 square foot single family dwelling.

[PLN150354, Ankle Crisper LLC, 53150 Highway 1, Big Sur, (APN: 420-021-039-000)]
Big Sur Coast Land Use Plan

The Amendment to a Combined Development Permit application (PLN150354) came on for public hearing before the Monterey County Zoning Administrator on August 25, September 29, and October 27, 2016. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan;
 - Monterey County Coastal Implementation Plan Part 3;
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 53150 Highway 1, Big Sur (Assessor’s Parcel Number 420-021-039-000), Big Sur Coast Land Use Plan. The parcel is zoned “WSC/40-D (CZ)” [Watershed and Scenic Conservation, 40 acre minimum, Design Control District, (Coastal Zone)], which allows development in the more remote areas of the Coastal Zone while protecting the significant and substantial resources of these areas such as viewshed. The project was designed and sited to be consistent with the Big Sur Land Use Plan policies and the site development standards

required of this district. Therefore, the project is an allowed land use for this site.

- c) Original Project. On September 8, 2011, a Combined Development Permit (PLN100342) was granted to allow: 1) a Coastal Administrative Permit for the demolition of an existing single family dwelling and construction of a 2,106 square foot two-story residence with a 1,159 square foot patio, and 417 cubic yards of grading; 2) Coastal Development Permit for development within 50 feet of a coastal bluff; 3) Coastal Development Permit for development within 750 feet of a known archaeological resource; 4) a Variance to allow for a reduction in side yard setback to avoid development within the critical viewshed; and 5) Design Approval.
- d) Extension. The original project was set to expire on September 8, 2014. The applicants applied for an extension (PLN130912) on December 20, 2103. The project was extended for two years which commenced on September 8, 2014 through September 8, 2016.
- e) Amendment. This Amendment requests to increase the house size from 2,106 square feet to 8,396 square feet; and increase grading from 417 cubic yards to approximately 1,030 net cubic yards to be removed from site. A Variance will not be required for this amendment.
- f) Revised Project: Revised plans were re-submitted to shift the main residence 20 feet to the south to conform to the side yard setback. Two planted Monterey Cypress trees will be removed and an existing caretaker unit currently in the Critical Viewshed and will be replaced with an accessory dwelling unit on the east side of Highway 1. The revised project is as follows:
 - Move the main house to the south to satisfy a 20 foot side setback;
 - Relocated the accessory dwelling unit for the onsite caretaker unit outside of the viewshed east of the bridge (and greater than 50 feet from the creek);
 - Remove two (2) planted Cypress trees that are in poor health to accommodate the relocated main house.
- g) Design Approval. Pursuant to Chapter 20.44, Design Control Zoning District, the project requires design review of structures to make sure they are appropriate to assure protection of the public viewshed, neighborhood character and assure visual integrity. To ensure the structure blends into the surrounding area and is visually consistent, colors and materials will consist of natural wood siding, metal facia, Douglas fir rafters, corten steel panel siding (rust color), board-formed concrete walls, bronze clad columns, windows and doors, laminated glass railing, natural wood decking, standing seam metal roof with planted vegetated roof. The design and color scheme of the proposed structure fits into the environment because these are neutral colors and naturally made materials. The roof will be a planted vegetated roof that will blend with the natural vegetation between the structure and Highway 1. Skylight features will require low lighting and shading.
- h) Cultural Resources. The subject property is located within 750 feet of a known archeological resource. An archaeological report prepared by Archaeological Consulting, for the previously approved project

(PLN100342) was determined to have a recorded positive site on the lower parcel. Because of the proposed larger house and since adoption of the Mitigated Negative Declaration, archaeologists have performed auger tests within the proposed development areas and found that no cultural materials were present or an impassable obstruction was encountered. Onsite monitoring will still be required. The updated Archeological report (LIB160087) for this amendment concluded that based on auger hole testing, there was no surface or subsurface evidence of potentially significant archaeological resources within the proposed footprint. However, because of the proximity to the known site, archaeological monitoring was recommended. The previously approved project had four mitigation measures, one of which required auger testing which was done. The other three mitigation measures will be carried over to this permit. (Conditions #7, #8, #9, /Mitigation Measures #1, #2, #4)

- i) Coastal Bluff. Pursuant to Section 20.145.080.A.1.b.2, a geologic report was required for the development because it is within 50 feet of the face of a cliff or bluff. The parcel is approximately 60 feet wide and cannot avoid development within the coastal bluff. A geologic report was prepared for the previously approved project (PLN100342) by CAPROCK Engineering. The report concluded that replacement of the existing building and foundation with a well designed, site specific engineered foundation would reduce any geologic hazard subject to recommended mitigations for such a foundation. An updated geologic report prepared by Haro, Kasunich and Associates and confirms the changes from the previously approved project are not significant, and the present design may actually reduce impacts to the site because it doesn't encroach toward the bluff as much as the previously approved project. However, because of the limitations on site, the mitigation measures applied to the previous project will be carried over to the conditions of approval for this project. (Conditions#10, #11/Mitigation Measures #5, #6).
- j) No Violations. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- k) LUAC. Because of substantial changes to the proposed structure, the project was re-staked and re-flagged for review. On April 12, 2016, The Big Sur Land Use Advisory Committee (LUAC) reviewed the proposed structure once it was re-staked and re-flagged and recommended approval (4-0 vote) with the proposed Variance. Their only concern was the removal of K-rails located on Highway 1 in front of the property that were left there in 2008, as temporary mitigation for the Basin Complex Fire. They have since been removed. On October 11, 2016, the Big Sur Land Use Advisory Committee (LUAC) reviewed the most recent revisions, again after re-staking and re-flagging. This also included the new accessory dwelling unit (ADU) on the east side of the property. They were disappointed that the County does not want to support the Variance. The LUAC recommended approval (3-0), with two recommendations: First recommendation: They preferred the

original project because they think this is exactly how variances are supposed to be used. Second recommendation: Accept revised project with conditions: a) remove a line of planted pine trees north of the bridge and replace these with a lower, denser hedge; b) modify the existing driveway berm. The LUAC wants the applicants to consider shortening and lowering the berm further. The applicant will work with the LUAC to find a resolution.

- l) The project planner conducted site inspections on July 22, April 12, and October 11, 2016 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN150354.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, CDF Coastal Fire, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The following updated reports were prepared for the revised project:
 - “Supplemental Subsurface Archaeological Survey” (LIB160087) prepared by Archaeological Consulting, Salinas, CA, February 10 and October 7, 2016;
 - “Tree Report” prepared by Maureen Hamb, Santa Cruz, CA, October 5, 2016;
 - “Biological Resource Letter”, prepared by Fred Ballerini, Pacific Grove, October 8, 2016;
 - “Geologic Investigation” (LIB160268) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, March, 2016;
 - “Geotechnical Investigation” (LIB160267) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, March, 2016.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning, CDF –Coastal Fire; Public Works, Environmental Health Bureau, and Water Resources

Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities will be provided by an existing onsite water system that provides water to this parcel and the neighboring parcel. A new water system permit will be required by Environmental Health Bureau. There is an existing septic system that will be replaced with a proposed alternative onsite wastewater treatment system.

4. **FINDING:** **CRITICAL VIEWSHED** - The Critical Viewshed is everything within sight of Highway 1 and major public viewing areas including turnouts, beaches and specific locations (Policy 3.2.2.1.BSLUP). Pursuant to Section 20.145.030 (CIP), “all future public or private development which would be visible within the Critical Viewshed shall be prohibited.” Where it is determined that an alternative building site on a parcel would result in conformance to the Key Policy (Critical Viewshed), then the applicant will be required to modify his proposal accordingly.

- EVIDENCE:**
- a) The original house was located slightly on state park property. A variance was granted to allow a reduction in the side yard setback to avoid development within the critical viewshed. The previously approved project (PLN100342) was designed and re-sited to be located within the parcel, with an allowed three foot side yard setback along on the most northern part of the property that abuts California State Parks.
 - b) The project was revised, increasing the single family dwelling to 8,396 square feet (an increase of 6,290 square feet) with an increase of 1,030 net cubic yards of grading to be removed from site. Since the structure could expand further south without impacting the viewshed, it was not restricted to the original footprint which was the basis for granting a variance. A variance is not needed.
 - c) Shifting the main residence 20 feet to the south to conform to the side setback requires removal an existing caretaker unit currently in the Critical Viewshed. The accessory unit will be replaced with an accessory dwelling unit (ADU) on the east side of Highway 1. The ADU is proposed in an area east of Highway One near a wood bridge.
 - d) The new ADU location can only be seen if walking on the bridge and looking down. Since there is no walkway along this bridge, it has been determined that this is non-critical viewshed, pursuant to Section 20.145.030.C of the BS CIP).
 - e) The project planner conducted site inspections on July 22, April 12, and October 11, 2016 to verify that the project on the subject parcel is consistent with the Critical Viewshed policies of the Big Sur Coast Land Use Plan.

5. **FINDING:** **CEQA (Addendum):** - An Addendum to a previously certified Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.

- EVIDENCE:**
- a) A Mitigated Negative Declaration (MND) was prepared for PLN100342 and was circulated between August 5 and September 5, 2011. Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an MND has been certified, no subsequent MND shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review.
 - b) An Addendum to the Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines). The MND adopted for the previous project identified potential impacts to aesthetics, cultural resources, and geology/soils. The proposed project will have the same or fewer impacts than the previous project.
 - c) The project includes an increase of the house size from 2,106 square feet to 8,396 square feet; and increase grading from 417 cubic yards to approximately 1,030 net cubic yards to be removed from site.
 - d) The original grading consisted of 519 cubic yards of cut and 102 cubic yards of fill, with a net 417 cubic yards to be balanced on site. Due to the expansion of a larger home, grading will be increased to a net 1,030 cubic yards to be hauled off site. Most of the grading will be for the foundation of the single family dwelling with some for the turnaround required by the Fire Department. The parcel is situated on a relatively flat older marine terrace about 40 feet below Highway 1. The proposed house will be situated up against the gently sloped bluff on the inland side of the parcel consisting mostly of slough that will be evened out for the foundation. Construction impacts are temporary and will not increase the baseline of GHG emissions associated with transport of construction materials to and from the project site. A construction management plan has been submitted and includes worker parking, temporary stockpiling, equipment staging and a truck route for hauling export. Hauling of fill materials will be limited to 2 trucks per day with a total not to exceed 20 trips during the construction period.
 - e) The previously proposed single family dwelling was much wider than the currently proposed project. An updated geologic report confirms the proposed changes are not significant, and the present design may actually reduce geologic impacts to the site. The proposed extension of the single family dwelling is located within disturbed areas and will have no impacts to the geologic or archaeological resources identified in the previous Mitigated Negative Declaration.
 - f) The previously approved project has six mitigation measures that will be carried over to this permit. Mitigation Measures #1, #2, #3, #4 are included for the protection of archaeological resources. Mitigation Measures #5 and #6 are included for geologic impacts. The new structure cannot be seen from Highway 1 and will not affect any critical viewshed policies.
 - g) No adverse environmental effects were identified other than what was analyzed in the MND during staff review of the development

application during site visits on July 22, April 12, and October 11, 2016.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission/Board of Supervisors and the California Coastal Commission
- EVIDENCE:**
- a) Section 20.86.030 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
 - b) Section 20.86.080 of the Monterey County Zoning Ordinance states that the proposed project is subject to appeal by/to the Coastal Commission because the project is located between the sea and the first through public road paralleling the sea, which is Highway 1.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1. Considered an addendum together with the Mitigated Negative Declaration; and
- 2. Approved an Amendment to a previously approved Combined Development Permit (PLN100342) to allow altering the previously approved 3,367 square foot single family dwelling to a proposed 8,396 square foot bi-level single family dwelling; and revising grading to approximately 1,550 cubic yards cut and 520 cubic yards fill (1,030 net cubic yards to be removed from site), in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of October, 2016 upon motion of

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

(Coastal Projects)

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150354

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This is an Amendment of a previously approved Combined Development Permit (PLN100342) is to allow an increase to the house size from 2,106 square feet to an 8,396 square foot single family dwelling. The property is located at 53150 Highway 1, Big Sur, (APN: 420-021-039-000)] Big Sur Coast Land Use Plan. All conditions from the previous CDP (PLN100342) that were not met are carried over to these Conditions of Approval. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of ___ years, to expire on ___ unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA-Director of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

3. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

4. PD014(C) - LIGHTING-EXTERIOR LIGHTING PLAN (BIG SUR)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, compatible with the local area, and constructed or located so that only intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from critical viewshed viewing areas as defined in Section 20.145.020.V, are prohibited. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

6. SPPD001 – PRECONSTRUCTION MEETING (NONSTANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure #1:

An on-site pre-construction meeting shall be held between the applicant, the archaeologist, the representative of the Native American Heritage Commission and the contractor to discuss the mitigation requirements, scheduling of construction and to assure an understanding of the mitigations. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Monitoring Action #1:

Prior to any construction, evidence of a site meeting between all parties involved shall be submitted to the Director of the RMA Planning Department. Evidence shall consist of a letter summarizing what was discussed.

7. SPPD002 – AGREEMENT WITH ARCHAEOLOGIST (NONSTANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure #2:

An agreement between the applicant, a professional archaeologist and a Native American Monitor shall be signed stating that they shall be present during construction or pre-construction activities that involve earth disturbance, such as foundation demolition, grading, excavation for the garage and basement, footings and utilities, etc. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Monitoring Action #2:

A copy of the signed agreement shall be submitted to RMA-Planning Department for review and approval prior to issuance of any grading/building permits.

Additional on-going monitoring Action:

The text of the mitigation measure shall be posted and maintained at the project site for the duration of construction.

8. SPPD004 – IF RESOURCES FOUND (NONSTANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Mitigation Measure #4

Monitoring Measure:

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. If human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:

The coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required, and

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and the RMA Planning Department within 24 hours.

- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costanoans/ Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendent.

- The most likely descendent may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance.

1. The Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 24 hours after being notified by the commission.

2. The descendent identified fails to make a recommendation; or

3. The landowner or his authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner. (RMA - Planning Department)

Compliance or Monitoring Action #4:

Monitoring

Action to be Performed:

Prior to issuance of any grading/building permits, the applicant shall submit the contracts with a Registered Professional Archaeologist, and a representative of the Ohlone Costanoane Esselen Nation to the Director of the RMA Planning Department for review and approval.

9. SPPD005 – ONSITE GEOLOGIST (NONSTANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure #5:

An on-site pre-construction meeting shall be held between the applicant, the contractor, the geologist and the geotechnical engineer to discuss the mitigation requirements, scheduling of construction and to assure an understanding of all recommendations in both the Geologic Report and Geotechnical Report. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Monitoring Action #5:

Prior to any construction, evidence of a site meeting between all parties involved shall be submitted to the Director of the RMA Planning Department. Evidence shall consist of a letter summarizing what was discussed.

Additional on-going monitoring Action:

The text of the mitigation measure shall be posted and maintained at the project site for the duration of construction.

10. SPPD006 – FOUNDATION MEASURES (NONSTANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure #6:

An agreement between the applicant, contractor, geologist, and geotechnical engineer shall be signed stating that they shall be present during construction or pre-construction activities that involve earth disturbance, such as foundation demolition, grading, excavation for the garage and basement, footings and utilities, etc.

Specifically, during the replacement of the existing building and foundation the geologist shall confirm that a well-designed, site specific, engineered foundation is installed to reduce the geologic hazards. Such a foundation is also crucial to surviving the strong shaking and associated slope failure that could be generated at the subject property during a large magnitude earthquake.

The geologist shall determine that the drainage design incorporate appropriate measures to ensure that drainage moving downslope on the property is properly channeled so that it does not have an adverse impact on the existing or proposed buildings or the slopes below them. All drainage should be routed so that it does not discharge on the earth materials on the property other than bedrock or beach sand.

The geotechnical shall observe any site activity, especially grading and foundation excavations. The near surface soils are not suitable for continuous or isolated foundation purposes therefore, the geotechnical engineer shall ensure the structure be supported by a grade beam and caisson foundation with associated ground improvements, patio, etc, placed on soil mat foundation. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Monitoring Action #6

A copy of the signed agreement shall be submitted to RMA-Planning Department for review and approval prior to issuance of any grading/building permits.

Additional on-going monitoring Action:

The text of the mitigation measure shall be posted and maintained at the project site for the duration of construction.

11. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

12. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan may be combined with the grading plan provided it is clearly identified. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

13. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations in the project Geotechnical Investigation prepared by Haro, Kasunich & Associates. The grading plan shall also address the requirements of Monterey County Code Chapter 16.08, and the geotechnical inspection schedule shall be included on the plan. The applicant shall provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

14. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

15. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

16. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

17. SLOPE SETBACK REQUIREMENT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The proposed building(s) shall be setback from the ascending and descending slopes in accordance with the California Building Code. The applicant shall submit plans that include supporting calculations and cross-sections certifying compliance. If an alternate setback is requested, the applicant shall submit an updated Geotechnical Report that considers the material, height of slope, slope gradient, load intensity, and erosion characteristics of slope material to demonstrate the intent of the setback requirement has been satisfied. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit the information to RMA-Environmental Services for review and approval.

18. WR002 - STORMWATER CONTROL

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and below any septic leach fields. Erosion control shall be provided at each outlet. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

19. WRSP001 - DRAINAGE PLAN COASTAL (NONSTANDARD)

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Impervious surface stormwater runoff shall be routed to a non-erodible surface at the base of the bluff. Drainage improvements shall be constructed in accordance with plans approved by Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permits, the owner/applicant shall submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.

20. EHSP01 ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: OBTAIN PERMIT

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau (EHB) has determined that adequate area exists on the property to accommodate an alternative onsite wastewater treatment system (Alt OWTS).

Submit a completed permit application with applicable fees and the following information for review and approval:

- Proposed wastewater production rates
- Site plan indicating Alt OWTS treatment unit and dispersal proposal, designed by a registered engineer having experience in alternative wastewater treatment and disposal
- Soils and percolation testing report prepared by a qualified individual, which includes a summary of the soil profile extending at least 2' past the bottom of the proposed dispersal field and a determination of the depth to an impervious layer or groundwater if within 10' below the bottom of the proposed dispersal field.
- Linear loading rate evaluation

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, submit to EHB for review and approval an Alt OWTS application and pay all associated fees.

Alt OWTS permit shall be issued concurrent with construction permit

21. EHSP04 NEW WATER SYSTEM PERMIT

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Pursuant to Monterey County Code Chapter 15.04, Domestic Water Systems, obtain a new water system permit from the Environmental Health Bureau

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, submit necessary water system application, reports and testing results to Environmental Health Bureau for review and approval

22. EHSPO2 ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: DEED RESTRICTION

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The property owner shall record a deed restriction with the Monterey County Recorder for parcel 420-021-039-000 which indicates that an alternative onsite wastewater treatment system (Alt OWTS) is installed on the property. The deed restriction shall include, but is not limited to, the following details:

- The Alt OWTS is subject to all future federal, state or local laws and ordinances regarding the permitting, operation and maintenance and/or monitoring of Alt OWTS
- The Alt OWTS is subject to an annual operating permit with applicable fees paid to the Environmental Health Bureau
- Property owner agrees to enter into and maintain a maintenance contract with an authorized service provider

Contact EHB to request a copy of the deed restriction template. The property owner will be responsible to pay cost recovery fees associated with review of the deed restriction by County Counsel.

Compliance or Monitoring Action to be Performed: Prior to final inspection of the construction permit the property owner shall sign and notarize the completed deed restriction template and submit the draft for review and approval by the Environmental Health Bureau and County Counsel.

Once approved, the deed restriction shall be recorded with the Monterey County Recorder. Proof of recordation shall be provided to EHB and the Planning Department.

23. EHSPO3 ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: MAINTENANCE CONTRACT

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The proposed alternative onsite wastewater treatment system (Alt OWTS) requires ongoing maintenance and monitoring to function as designed. A signed operations and maintenance contract with an authorized service provider must be submitted to the Environmental Health Bureau (EHB). The contract must include, but is not limited to:

- Contract term, specification of services to be performed and frequency of service
- Statement indicating that EHB will be notified if either party fails to comply with the contract terms
- A monitoring/ maintenance report, including effluent quality as specified by the associated Alt OWTS operating permit, shall be submitted to EHB every 6 months, or as specified by the EHB operating permit
- EHB shall be notified at each contract renewal term, and a copy of the contract shall be submitted to EHB

Compliance or Monitoring Action to be Performed: Prior to final inspection of construction permit, submit an executed operations and maintenance contract with an authorized service provider to EHB for review and acceptance.

24. FIRE007 - DRIVEWAYS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. Responsible Land Use Department: _____ Fire District

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Applicant shall incorporate the specification of the driveway into design and print the text of this condition as "Fire Department Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of driveway improvements and obtain fire department approval the final fire inspection.

25. FIRE008 - GATES

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Applicant shall incorporate the specification of the entry gate into design and print the text of this condition as "Fire Department Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the entry gate and obtain fire department approval the final fire inspection.

26. FIRE009 - BRIDGES

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All new and reconstructed bridges shall be at least the width of the roadbed and berms, but in no case less than 12 feet wide. Bridge width on all roads exceeding tertiary standards shall not be less than the width of the two lanes with berms. All bridges shall be designed for HS15-44 loading and have guardrails. Appropriate signage, including but not limited to, weight ratings or vertical clearance limitations, and one-way road or single-lane road conditions, shall be provided at both entrances to any bridge. One-lane bridges may be permitted if there is unobstructed visibility across the entire bridge, and turnouts are provided at both bridge ends. The fire authority may impose more stringent requirements for bridges. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Applicant shall incorporate the specification of the bridge into design and print the text of this condition as "Fire Department Notes" on improvement plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of bridge improvements and obtain fire department approval the final fire inspection.

27. FIRE011 - ADDRESSES FOR BUILDINGS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.

Prior to requesting a final building inspection, Applicant shall install the required address signage and shall obtain fire department approval of the fire department final inspection.

28. FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the water system improvements and shall obtain fire department approval of the final fire inspection.

29. FIRE015 - FIRE HYDRANTS/FIRE VALVES

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet and no further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on construction plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the water system improvements and shall obtain fire department approval of the final fire inspection.

30. FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on construction plans.

Prior to requesting a final building inspection, the Applicant shall complete the vegetation management and shall obtain fire department approval of the final fire inspection.

31. FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall print the text of this condition as "Fire Dept. Notes" on construction plans.

Prior to requesting a framing inspection, the Applicant shall obtain fire department approval of the rough sprinkler inspection.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the fire sprinkler system and obtain fire department approval of the final fire sprinkler inspection.

32. FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. Responsible Land Use Department: CDF COASTAL FIRE

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, the Applicant shall print the text of this condition as "Fire Dept. Notes" on construction plans.

ANDERSON CANYON RETREAT

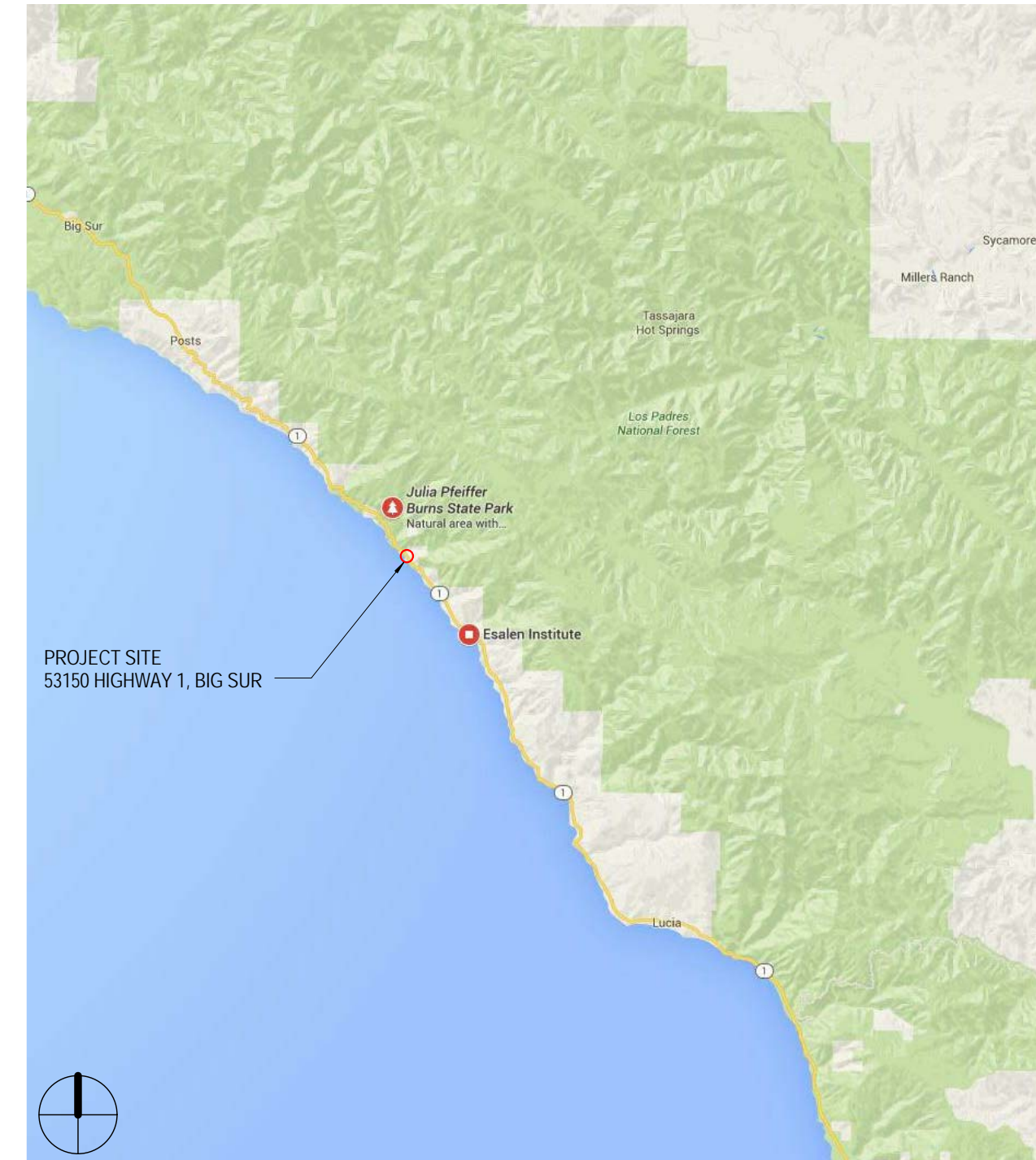
53150 HIGHWAY 1
BIG SUR, CA 93920

APN 420-021-039-000

PROJECT IMAGE:



PROJECT LOCATION:



PROJECT DIRECTORY:

Architect	Bohlin Cywinski Jackson 1932 First Avenue, Suite 916 Seattle, WA 98101 v: 206.256.0862 f: 206.256.0864	Land Use Facilitator	Handshy Land Use Facilitator P.O. Box 51758 Pacific Grove, CA 93950 v: 831.649.6420
Structural	PCS Structural Solutions 811 1st Avenue, Suite 620 Seattle, WA 98104 v: 206.292.5076	Survey	Rasmussen Land Surveying P.O. Box 3135 Monterey, CA 93942 v: 831.375.7240
Civil	Fall Creek Engineering 1525 Seabright Avenue Santa Cruz, CA 95062 v: 831.426.9054	Geotechnical	Haro Kasunich & Associates 116 E Lake Ave Watsonville, CA 95076 v: 831.722.4175
Lighting	Niteo Lighting, LLC 118 13th Avenue San Mateo, CA 94402 v: 650.521.5156	Ecological Restoration Specialist	Fred Ballerini P.O. Box 1023 Pacific Grove, CA 93950 v: 831.238.6832
Landscape	EinwillerKuehl 874 41st Street Oakland, CA 94608 v: 510.891.1696	Archaeologist	Archaeological Consulting Gary Breschini + Mary Doane P.O. Box 3377 Salinas, CA 93912 v: 831.422.4912

FIRE DEPARTMENT NOTES:

- CODES** - CONSTRUCTION SHALL CONFORM TO 2013 CBC, UFC AND THE MOST CURRENT NFPA STANDARDS.
- FIRE007 - DRIVEWAYS** - DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT, WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.117 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDDLE OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL LONG WITH A MINIMUM 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD IT IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.
- FIRE008 - GATES** - ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12 FEET WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 90-DEGREE TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
- FIRE011 - ADDRESSES FOR BUILDINGS** - ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER** - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER
FOR DEVELOPMENT OF STRUCTURES TOTALING LESS THAN 3,000 SQUARE FEET ON A SINGLE PARCEL, THE MINIMUM FIRE PROTECTION WATER SUPPLY SHALL BE 4,900 GALLONS. FOR DEVELOPMENT OF STRUCTURES TOTALING 3,000 SQUARE FEET OR MORE ON A SINGLE PARCEL, THE MINIMUM FIRE PROTECTION WATER SUPPLY SHALL BE 9,800 GALLONS. FOR DEVELOPMENT OF STRUCTURES TOTALING MORE THAN 10,000 SQUARE FEET ON A SINGLE PARCEL, THE REVIEWING AUTHORITY MAY REQUIRE ADDITIONAL FIRE PROTECTION WATER SUPPLY. OTHER WATER SUPPLY ALTERNATIVES, INCLUDING ISO RURAL CLASS 8 MOBILE WATER SYSTEMS, MAY BE PERMITTED BY THE FIRE AUTHORITY TO PROVIDE FOR THE SAME PRACTICAL EFFECT. THE QUANTITY OF WATER REQUIRED BY THIS CONDITION SHALL BE IN ADDITION TO THE DOMESTIC DEMAND AND SHALL BE PERMANENTLY AND IMMEDIATELY AVAILABLE.
- FIRE015 - FIRE HYDRANTS/FIRE VALVES** - A FIRE HYDRANT OR FIRE VALVE IS REQUIRED. THE HYDRANT OR FIRE VALVE SHALL BE 18 INCHES ABOVE GRADE, 8 FEET FROM FLAMMABLE VEGETATION, NO CLOSER THAN 4 FEET NOR FURTHER THAN 12 FEET FROM A ROADWAY, AND IN A LOCATION WHERE FIRE APPARATUS USING IT WILL NOT BLOCK THE ROADWAY. THE HYDRANT SERVING ANY BUILDING SHALL BE NOT LESS THAN 50 FEET AND NOT MORE THAN 1000 FEET BY ROAD FROM THE BUILDING IT IS TO SERVE. MINIMUM HYDRANT STANDARDS SHALL INCLUDE A BRASS HEAD AND VALVE WITH AT LEAST ONE 2 1/2 INCH NATIONAL HOSE OUTLET SUPPLIED BY A MINIMUM 4 INCH MAIN AND RISER. MORE RESTRICTIVE HYDRANT REQUIREMENTS MAY BE APPLIED BY THE REVIEWING AUTHORITY. EACH HYDRANT/VALVE SHALL BE IDENTIFIED WITH A REFLECTORIZED BLUE MARKER, WITH MINIMUM DIMENSIONS OF 3 INCHES, LOCATED ON THE DRIVEWAY ADDRESS SIGN, NON-COMBUSTIBLE POST OR FIRE HYDRANT RISER. IF USED, THE POST SHALL BE WITHIN 3 FEET OF THE HYDRANT/VALVE, WITH THE BLUE MARKER NOT LESS THAN 3 FEET OR GREATER THAN 5 FEET ABOVE THE GROUND, VISIBLE FROM THE DRIVEWAY. ON PAVED ROADS OR DRIVEWAYS, REFLECTORIZED BLUE MARKERS SHALL BE PERMITTED TO BE INSTALLED IN ACCORDANCE WITH THE STATE FIRE MARSHAL'S GUIDELINES FOR FIRE HYDRANT MARKINGS ALONG STATE HIGHWAYS AND FREEWAYS, MAY 1988.

FIRE DEPARTMENT NOTES CONT:

- FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)** - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)
REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS)** THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. DUE TO SUBSTANDARD ACCESS, OR OTHER MITIGATING FACTORS, SMALL BATHROOM(S) AND OPEN ATTACHED PORCHES, CARPORTS, AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS.
- FIRE025 - SMOKE ALARMS** - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE STATION SMOKE ALARMS REQUIRED BY THE CALIFORNIA BUILDING CODE OR CALIFORNIA RESIDENTIAL CODE, THE ALARM PANEL SHALL BE REQUIRED TO BE PLACED AS PERMANENT BUILDING EQUIPMENT.
- FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)** - ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

OWNERSHIP AND USE OF DOCUMENTS:

- THIS IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF BOHLIN CYWINSKI JACKSON WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. NO CHANGES, ALTERATIONS, ADDITIONS OR DELETIONS MAY BE MADE HERETO EXCEPT BY THE ARCHITECT. THIS SHALL NOT BE USED OR REPRODUCED BY ANYONE ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN CONSENT OF BOHLIN CYWINSKI JACKSON.
- SUBMISSION OR DISTRIBUTION TO MEET REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THIS PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF BOHLIN CYWINSKI JACKSON. COPYRIGHT 2015 BOHLIN CYWINSKI JACKSON
- MINIMUM DIMENSION FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS ARE FROM THE CENTER LINE OF COLUMN GRID TO FACE OF FINISH MATERIAL. ALL VERTICAL DIMENSIONS ARE FROM TOP OF STRUCTURAL SLAB ELEVATION TO FACE OF FINISH MATERIAL. RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT BEFORE BEGINNING OR CONTINUING CONSTRUCTION IN THE AREA OF CONCERN. DO NOT SCALE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO COORDINATE THE WORK AND VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK BY ALL TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT PRIOR WORK SHALL BE REPAIRED OR REPLACED BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.
- ALL EXISTING CONSTRUCTION AND LANDSCAPE FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT, WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
- THE EXISTING CONDITION INFORMATION INDICATED IS BASED ON A SURVEY PROVIDED BY THE OWNER AND OTHER DOCUMENTS PROVIDED TO THE ARCHITECT BY THE OWNER. THE INFORMATION IS NOT GUARANTEED AS TO COMPLETENESS OR ACCURACY. THE CONTRACTOR SHALL BE OBLIGATED AS A MATTER OF COURSE TO VERIFY, BY FIELD MEASUREMENTS, ALL SURVEY INFORMATION GIVEN. THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES INDICATED ON THE DRAWINGS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING ANY WORK.
- GRADING AND PAVING ADJACENT TO THE PERIMETER OF THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 1/2 INCH PER FOOT FOR GRADING AND 1/4 INCH PER FOOT FOR PAVING.

PROJECT DATA:

PROJECT ADDRESS:	53150 HIGHWAY 1 BIG SUR, CA 93920		
OWNER:	ANKLE CRISPER LLC		
APPLICANT:	ARDEN HANDSHY P.O. BOX 51758 PACIFIC GROVE, CA 93950 831.649.6420 ardn@handshy.com		
APPROVED PLN:	100342		
PROJECT DESCRIPTION:	NEW TWO STORY RESIDENCE ON SITE OF EXISTING HOUSE TO BE DEMOLISHED.		
APN:	PARCEL A 420-021-039-000		
PROPERTY DESCRIPTION:	PARCEL A ON RECORD OF SURVEY FILED ON MARCH 11, 2009 IN VOLUME 30, OF PARCEL MAPS AT PAGE 61.		
ZONING:	WSC40-D9(C2)		
PLANNING AREA:	COAST - BIG SUR		
SCHOOL DISTRICT - BUILDING FEES:	CARMEL UNIFIED		
FIRE DISTRICT:	BIG SUR VFB, CAL FIRE COASTAL		
SRA / FIRE HAZARD ZONE:	VERY HIGH		
WILDLAND-URBAN INTERFACE SITE:	YES		
LAND USE ADVISORY COMMITTEE:	BIG SUR COAST ADVISORY COMMITTEE SOUTH COAST ADVISORY COMMITTEE		
ARCHAEOLOGICAL SENSITIVITY:	HIGH		
HISTORICAL SITE:	NO		
SEISMIC HAZARD ZONE:	RELATIVELY UNSTABLE UPLANDS, UNDETERMINED		
600' EARTHQUAKE FAULT BUFFER ZONE:	YES		
WATER RESOURCES REFERRAL:	NO		
SITE AREA:	70 ACRES		

EXISTING AND PROPOSED PROJECT AREAS:	EXISTING	APPROVED PLN 100342	PROPOSED
FLOOR AREA:	2,779 SF	2,106 SF	8,396 SF
TOTAL LOT COVERAGE:	2,962 SF	3,390 SF	7,479 SF
BUILDING COVERAGE:	1,621 (DEMO) + 1,195 (TR)	2,394 SF	7,657 SF
BUILDING HEIGHT:	ALLOWABLE: 24'-0" ABOVE (E) AVERAGE NATURAL GRADE PROPOSED: 19'-6.5" ABOVE (E) AVERAGE NATURAL GRADE		
NUMBER OF STORIES:	2	2	2
FRONT SETBACK:	(E) NON-CONFORMING	NON-CONFORMING	(P) NON-CONFORMING
SIDE SETBACK:	(E) NON-CONFORMING	NON-CONFORMING	(P) NON-CONFORMING
REAR SETBACK:	(E) NON-CONFORMING	NON-CONFORMING	(P) NON-CONFORMING
COVERED PARKING SPACES:	-----	-----	0
UNCOVERED PARKING SPACES:	-----	-----	4
NUMBER OF DRIVEWAYS:	(1) EXISTING	(1) EXISTING	(1) (E) TO REMAIN
GRADING:	-----	-----	REFER TO SHEET C3.0
TREES TO BE REMOVED:	-----	-----	0
IMPERVIOUS COVERAGE:	-----	-----	REFER TO SHEET C3.0

TITLE

A-001 TITLE SHEET

SURVEY

- EXISTING PROPERTY EXTENTS SURVEY
- NORTHERN SITE SURVEY
- SOUTHERN SITE SURVEY

ARCHITECTURAL

AD-101	EXISTING SITE PLAN
AS-101	PROPOSED SITE PLAN
AS-102	PROPOSED SITE PLAN - ENLARGED
A-110	FIRST FLOOR PLAN
A-120	SECOND FLOOR PLAN
A-130	ROOF PLAN
A-140	GROSS BUILDING AREA
A-211	BUILDING ELEVATIONS
A-212	BUILDING ELEVATIONS
A-300	EXTERIOR MATERIAL SAMPLES

CIVIL

C0.0	CIVIL INFORMATION SHEET
C1.0	SITE IMPROVEMENT PLAN
C2.0	CIRCULATION PLAN
C3.0	GRADING AND DRAINAGE PLAN AND PROFILES
C4.0	UTILITY IMPROVEMENT PLAN
C4.1	UTILITY IMPROVEMENT PLAN CONTINUED
C5.0	EROSION CONTROL PLAN

LANDSCAPE

L-100	EXISTING VEGETATION PLAN
L-200	PLANTING PLAN

CONSTRUCTION MANAGEMENT PLAN

CM-100	CONSTRUCTION MANAGEMENT PLAN
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DRAWING LIST:

Revisions	No.	Description	Date

Bohlin Cywinski Jackson	
Architecture Planning Interior Design Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco	
1932 First Avenue Suite 916 Seattle, WA 98101 v: 206.256.0862 f: 206.256.0864	

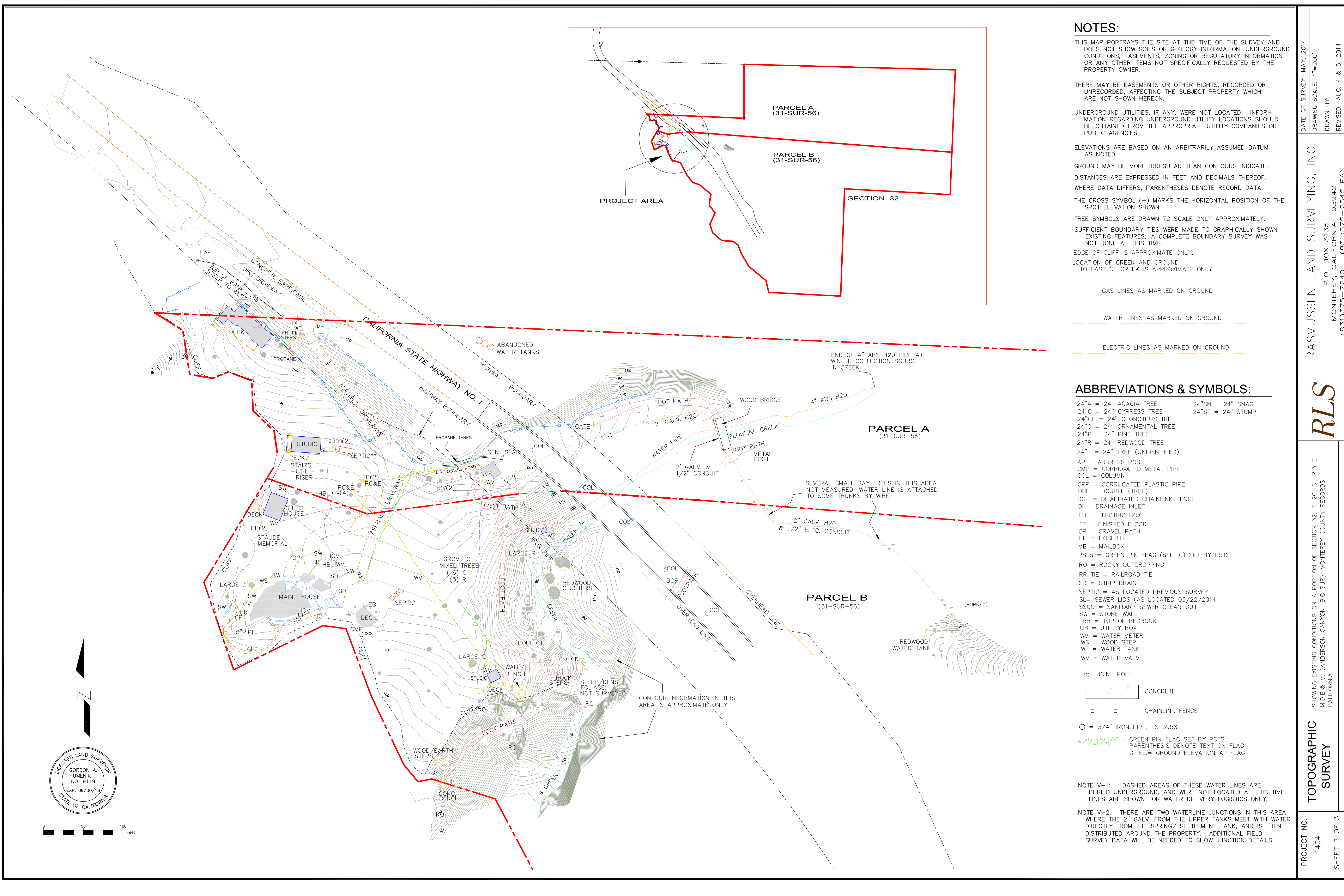
© 2015 Bohlin Cywinski Jackson	
ANDERSON CANYON RETREAT	
ANKLE CRISPER 53150 Highway 1 Big Sur, CA 93920 APN 420-021-039	
COASTAL DEVELOPMENT PERMIT	

Not For Construction	
TITLE SHEET	
COUNTY FILE NO. PLN 150354	

Scale	12" = 1'-0"
Date	MARCH 11, 2016
BCJ Project Number	14401

APPLICABLE CODES:	
ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE FOLLOWING:	
2013 CA BUILDING CODE (Based on 2012 International Building Code)	
CH. 7A of CBC (Materials and Construction Methods for Exterior Wildfire Exposure)	
2013 CA FIRE CODE (Based on 2012 International Fire Code)	
CH. 49 (Requirements for Wildland-Urban Interface Fire Areas)	
2013 CA MECHANICAL CODE (Based on 2012 Uniform Mechanical Code)	
2013 CA PLUMBING CODE (Based on 2012 Uniform Plumbing Code)	
2013 CA ELECTRICAL CODE (Based on 2011 National Electrical Code)	
2013 CA ENERGY CODE	

A-001



NOTES:

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DATE OF SURVEY: MAY, 2014
 DRAWING SCALE: 1"=200'
 DRAWN BY: P.O. BOX 3135 93942
 MONTEREY, CALIFORNIA 93942
 REVISED: AUG. 4 & 5, 2014 (831)375-2545 FAX
 REVISED: 11/06/2015

RASMUSSEN LAND SURVEYING, INC.

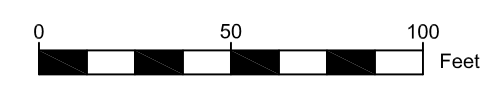
RLS

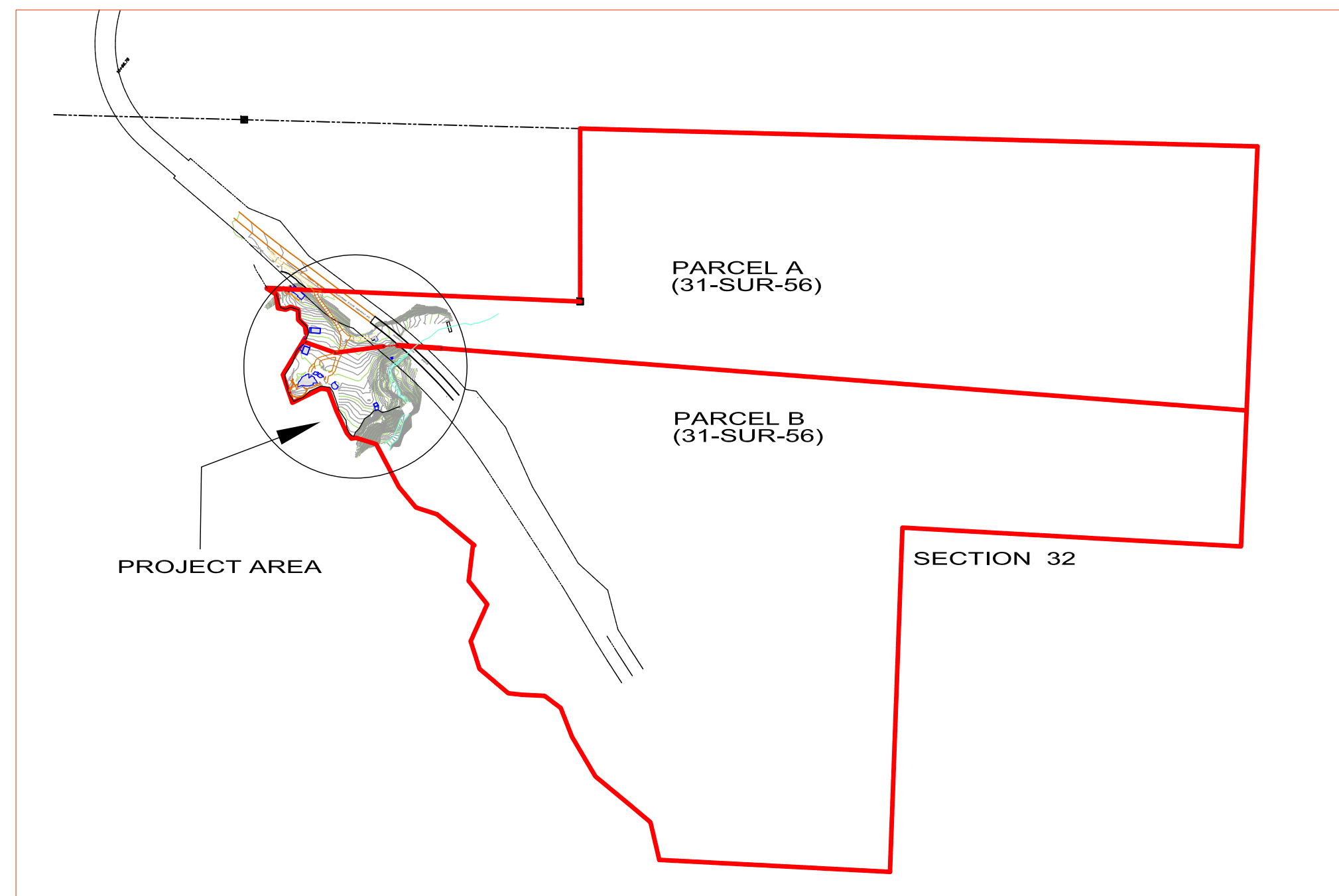
SHOWING EXISTING CONDITIONS ON A PORTION OF SECTION 32, T. 20. S., R.3 E., M.D.B. & M. (ANDERSON CANYON, BIG SUR), MONTEREY COUNTY RECORDS, CALIFORNIA.

TOPOGRAPHIC SURVEY

PROJECT NO. 14041
 SHEET 3 OF 3

PREPARED FOR: ANKLE CRISPER, LLC





NOTES:

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⊙ JOINT POLE

□ CONCRETE

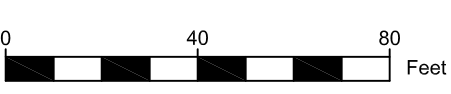
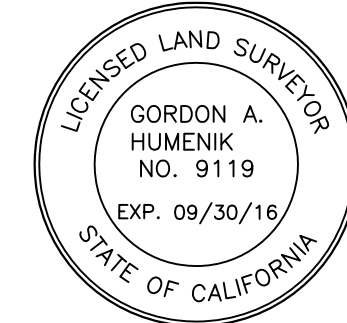
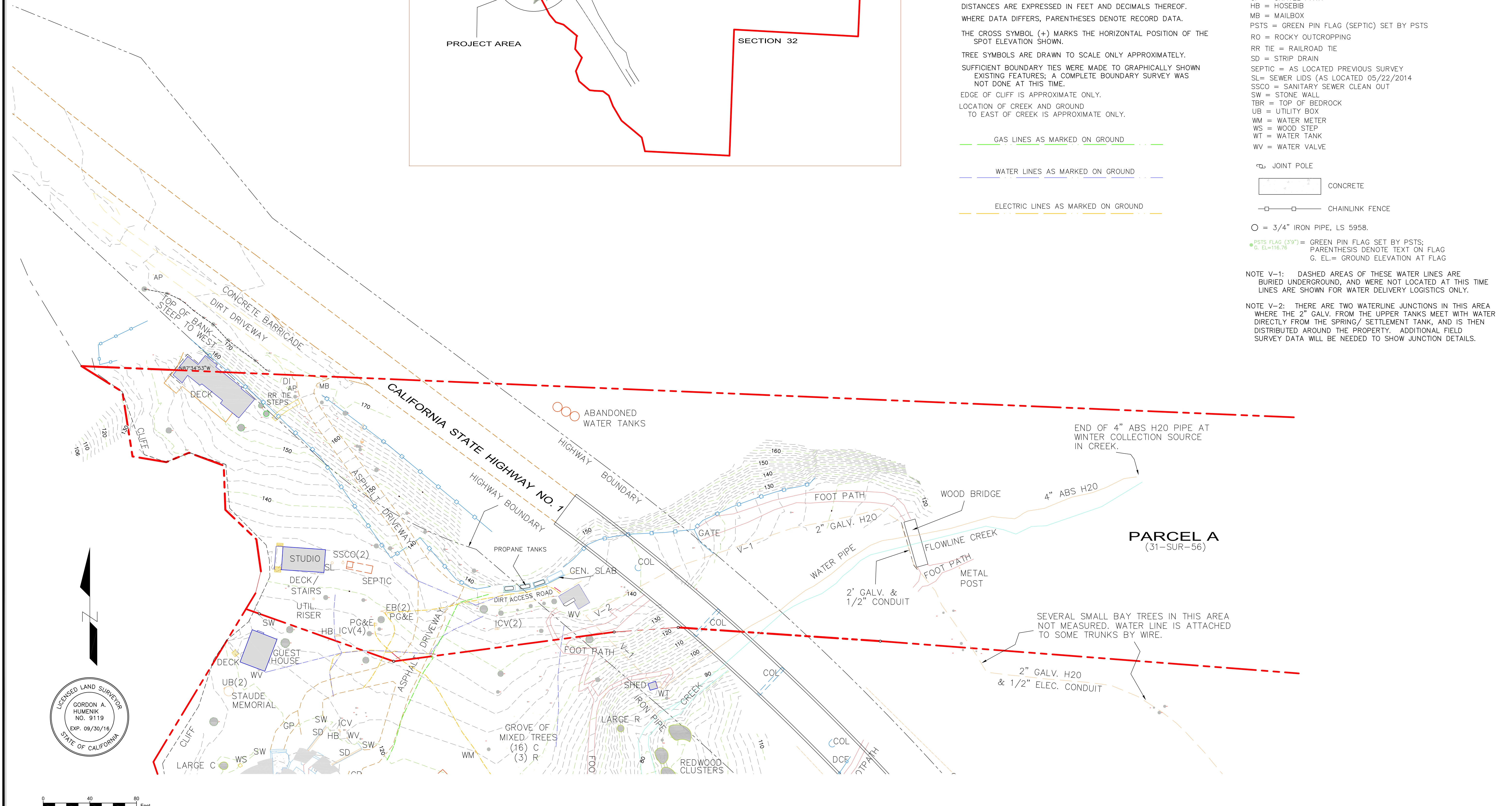
— CHAINLINK FENCE

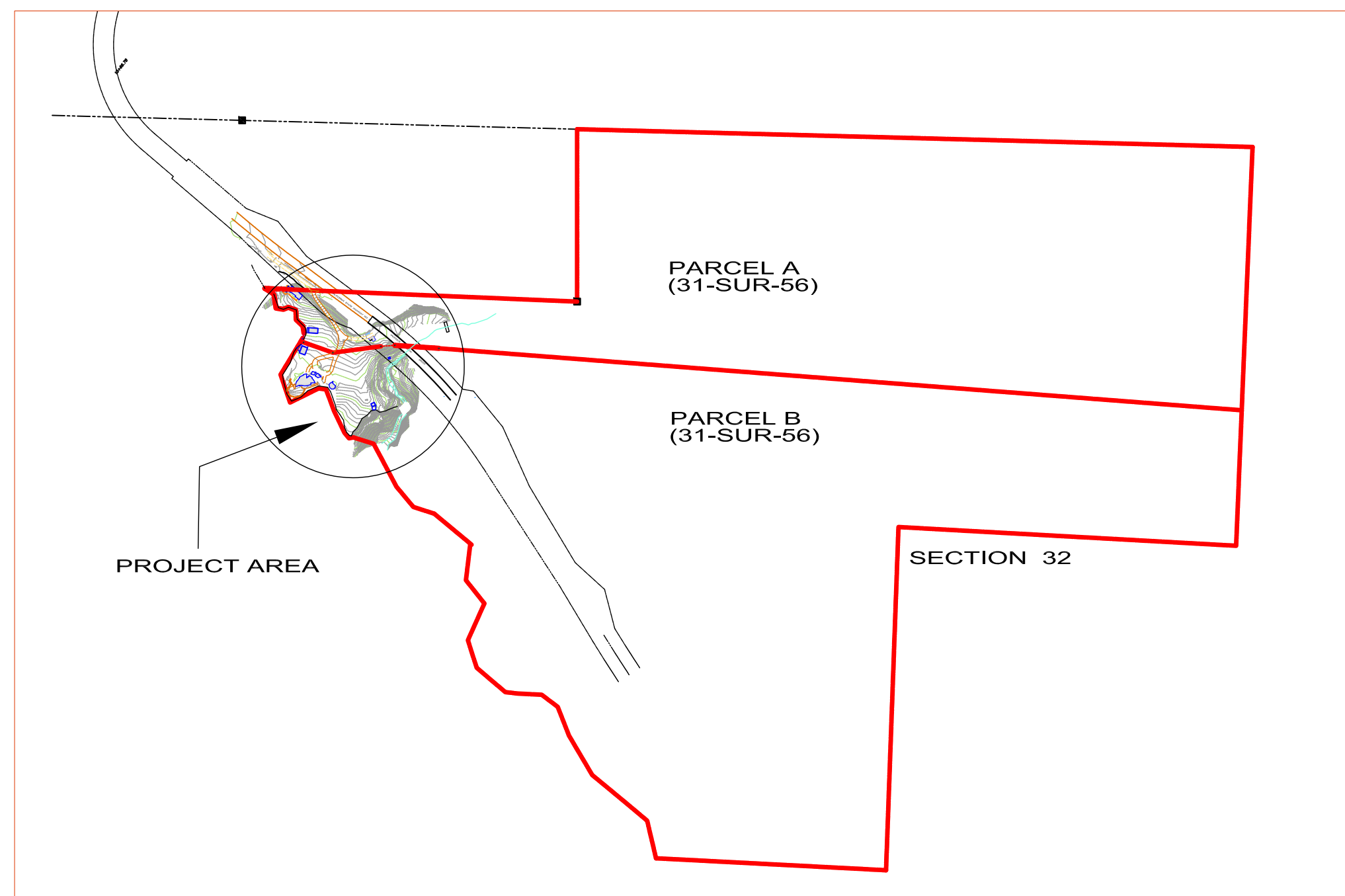
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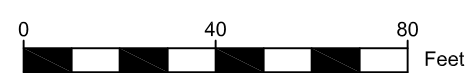
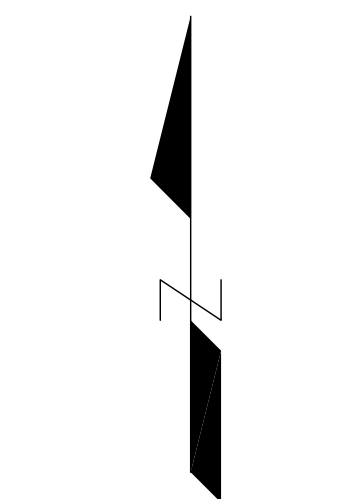
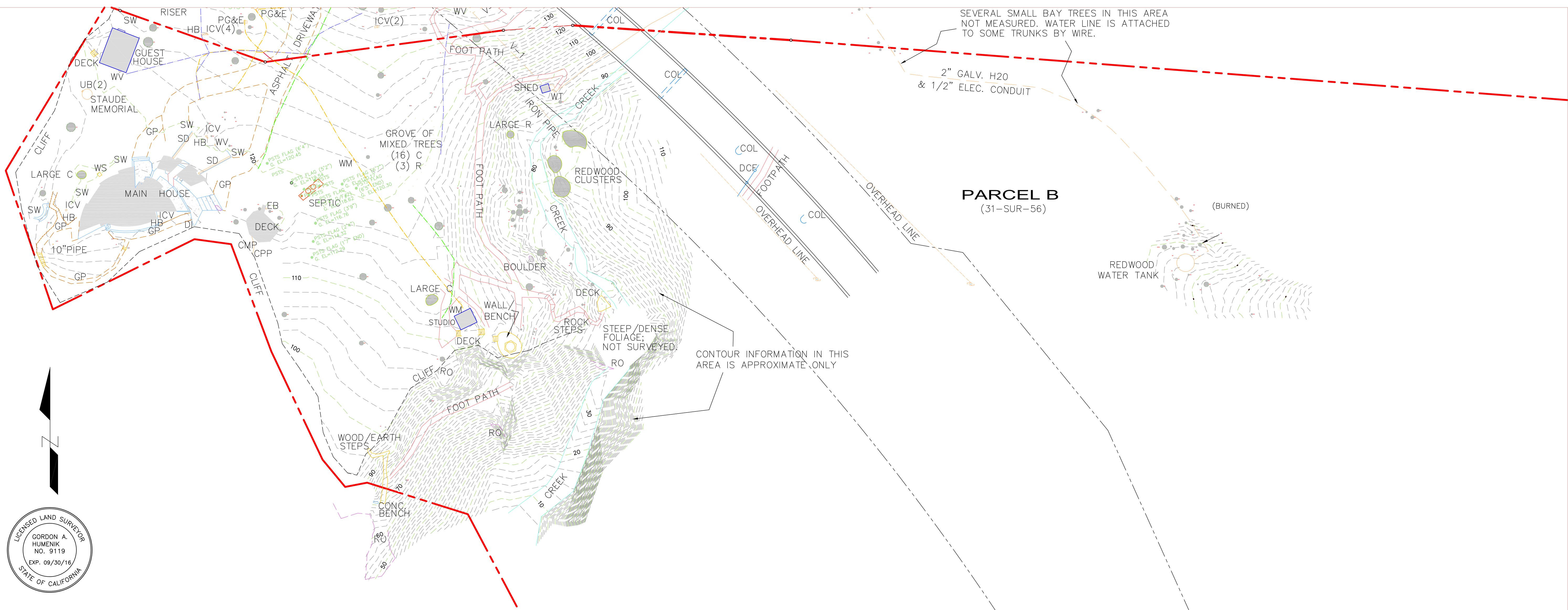
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DATE OF SURVEY: UPDATED FEB. 2016
 DRAWING SCALE: 1" = 40'
 DRAWN BY: BG

RASMUSSEN LAND SURVEYING, INC.
 P.O. BOX 3135
 MONTEREY, CALIFORNIA 93942
 (831)375-7240 (831)375-2545 FAX

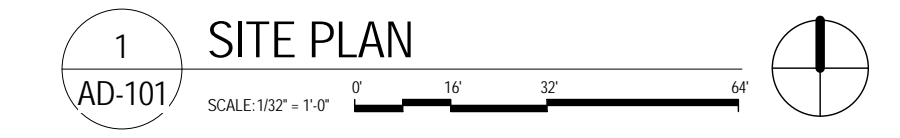
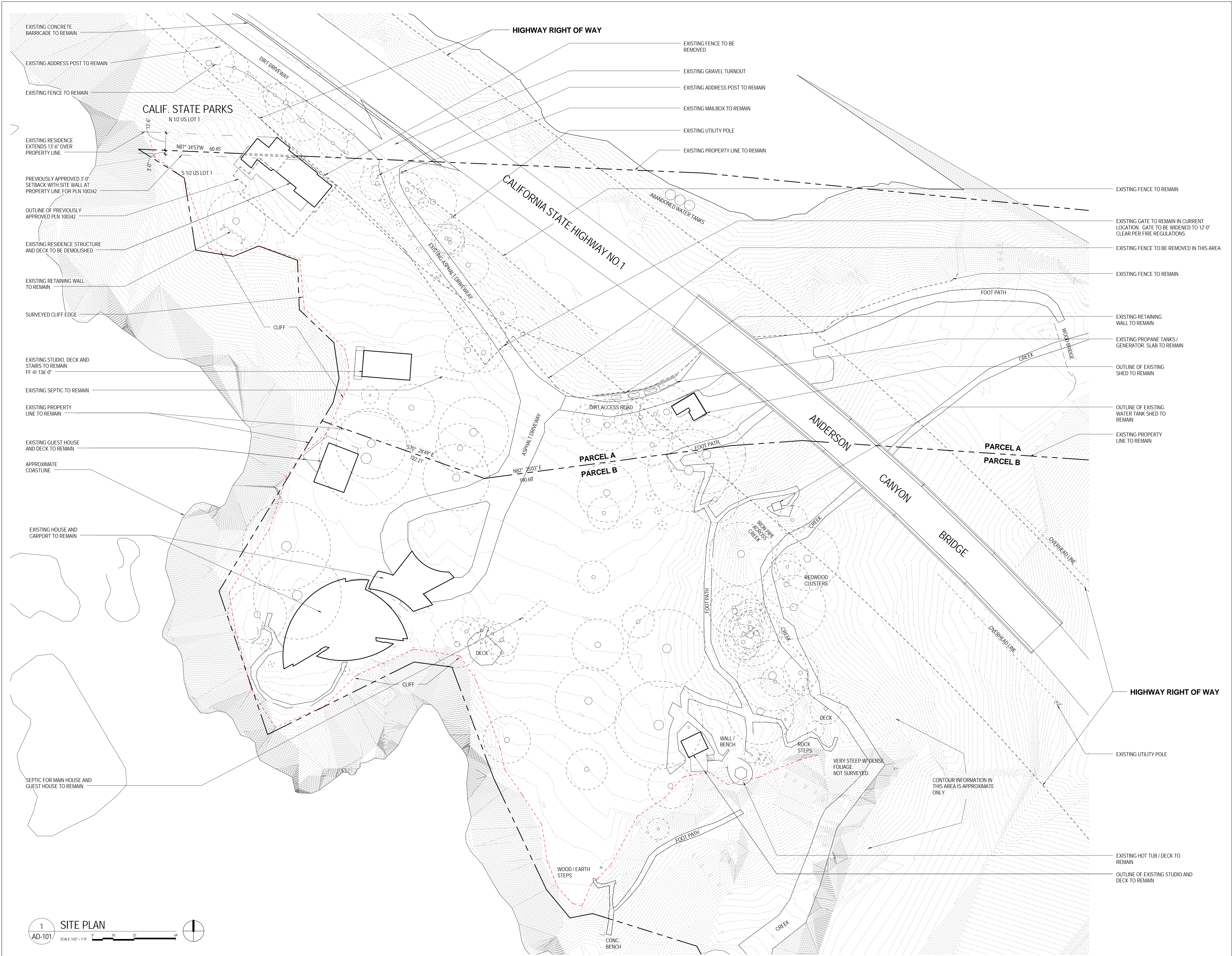
RLS

SHOWING EXISTING CONDITIONS ON A PORTION OF SECTION 32, T. 20. S., R. 3 E.,
 M.D.B. & M. (ANDERSON CANYON, BIG SUR), MONTEREY COUNTY RECORDS,
 CALIFORNIA.

TOPOGRAPHIC SURVEY

PROJECT NO. 14041
 SHEET 2 OF 2

PREPARED FOR: ANKLE CRISPER, LLC



- EXISTING CONCRETE BARRICADE TO REMAIN
- EXISTING ADDRESS POST TO REMAIN
- EXISTING FENCE TO REMAIN
- EXISTING RESIDENCE EXTENDS 13'-6" OVER PROPERTY LINE
- PREVIOUSLY APPROVED 3'-0" SETBACK WITH SITE WALL AT PROPERTY LINE FOR PLN 100342
- OUTLINE OF PREVIOUSLY APPROVED PLN 100342
- EXISTING RESIDENCE STRUCTURE AND DECK TO BE DEMOLISHED
- EXISTING RETAINING WALL TO REMAIN
- SURVEYED CLIFF EDGE
- CLIFF
- EXISTING STUDIO, DECK AND STAIRS TO REMAIN FF @ 136'-0"
- EXISTING SEPTIC TO REMAIN
- EXISTING PROPERTY LINE TO REMAIN
- EXISTING GUEST HOUSE AND DECK TO REMAIN
- APPROXIMATE COASTLINE
- EXISTING HOUSE AND CARPORT TO REMAIN
- SEPTIC FOR MAIN HOUSE AND GUEST HOUSE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- EXISTING GRAVEL TURNOUT
- EXISTING ADDRESS POST TO REMAIN
- EXISTING MAILBOX TO REMAIN
- EXISTING UTILITY POLE
- EXISTING PROPERTY LINE TO REMAIN
- ABANDONED WATER TANKS
- EXISTING FENCE TO REMAIN
- EXISTING GATE TO REMAIN IN CURRENT LOCATION. GATE TO BE WIDENED TO 12'-0" CLEAR PER FIRE REGULATIONS
- EXISTING FENCE TO BE REMOVED IN THIS AREA
- EXISTING FENCE TO REMAIN
- EXISTING RETAINING WALL TO REMAIN
- EXISTING PROPANE TANKS / GENERATOR SLAB TO REMAIN
- OUTLINE OF EXISTING SHED TO REMAIN
- OUTLINE OF EXISTING WATER TANK SHED TO REMAIN
- EXISTING PROPERTY LINE TO REMAIN
- EXISTING UTILITY POLE
- EXISTING HOT TUB / DECK TO REMAIN
- OUTLINE OF EXISTING STUDIO AND DECK TO REMAIN

Seal

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 ANKLE CRISPER
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COASTAL DEVELOPMENT PERMIT

Not For Construction

EXISTING SITE PLAN

COUNTY FILE NO. PLN 150354

Scale: 1/32" = 1'-0"
 Date: MARCH 11, 2016
 BCJ Project Number: 14401

AD-101

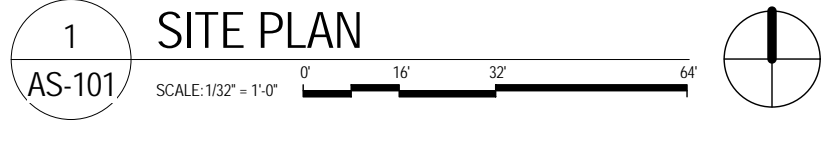
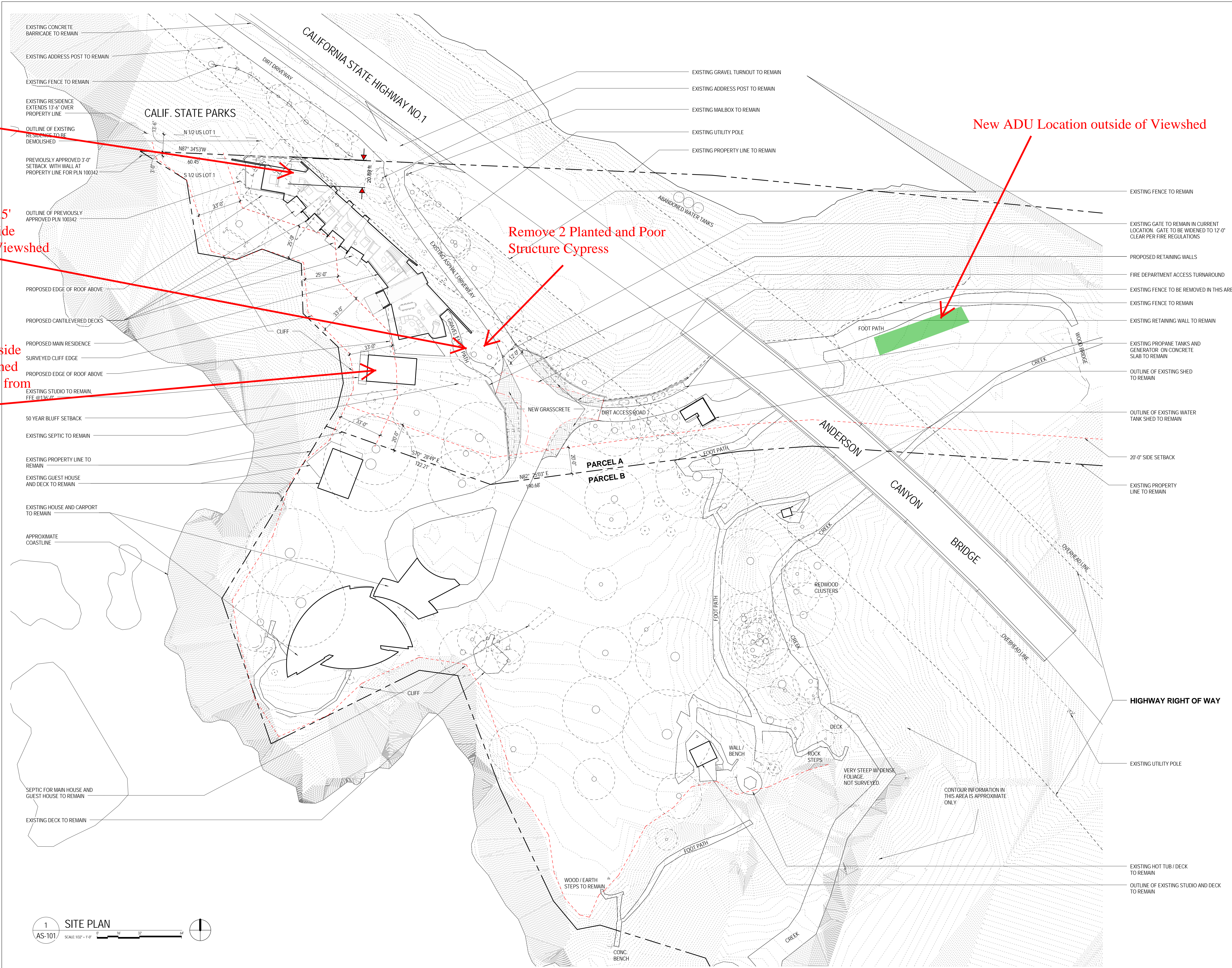
Establish 20' Side Setback

Shift House South 14.5' Still outside Critical Viewshed

Relocate Existing ADU outside of Viewshed and away from Bluff

New ADU Location outside of Viewshed

Remove 2 Planted and Poor Structure Cypress



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AS-101

EXISTING RESIDENCE EXTENDS 13'-0" OVER PROPERTY LINE

OUTLINE OF EXISTING RESIDENCE TO BE DEMOLISHED

PREVIOUSLY APPROVED 3'-0" SETBACK WITH WALL AT PROPERTY LINE FOR PLN 100342

OUTLINE OF PREVIOUSLY APPROVED PLN 100342

EDGE OF ROOF ABOVE

CANTILEVERED DECKS

PROPOSED MAIN RESIDENCE

SURVEYED CLIFF EDGE

50 YEAR BLUFF SETBACK

EDGE OF ROOF ABOVE

EXISTING STUDIO TO REMAIN

ENHANCED WASTEWATER TREATMENT SYSTEM (SEE CIVIL DRAWINGS)

EXISTING SEPTIC TO REMAIN

PROPERTY LINE

GRAVITY LEACHFIELD DISPOSAL AREA (SEE CIVIL DRAWINGS)

EXISTING GUEST HOUSE AND DECK TO REMAIN

1 SITE PLAN
AS-102
SCALE 1/16" = 1'-0"

CURRENT PER CDP

Variance for 3'-0" setback granted in the original Brubaker permit.

Seal

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	ANDERSON CANYON RETREAT	
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PROPOSED SITE PLAN - ENLARGED

SETBACK STUDY

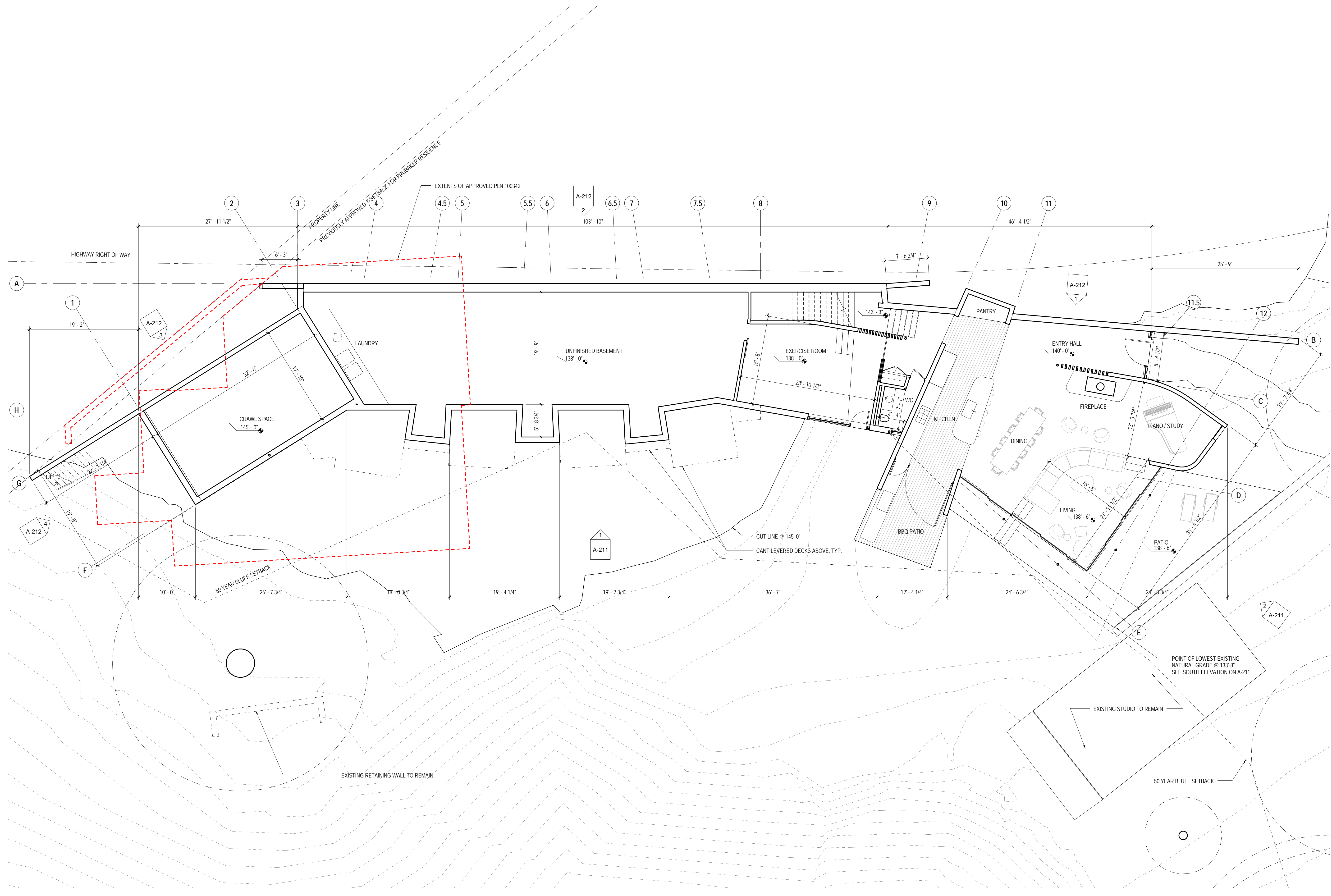
SEPTEMBER 16, 2016
DATE

14401
ECJ PROJECT NUMBER

1/16" = 1'-0"
SCALE

AS-102
SHEET NUMBER





1 MAIN LEVEL
A-110 SCALE: 1/8" = 1'-0"

Seal

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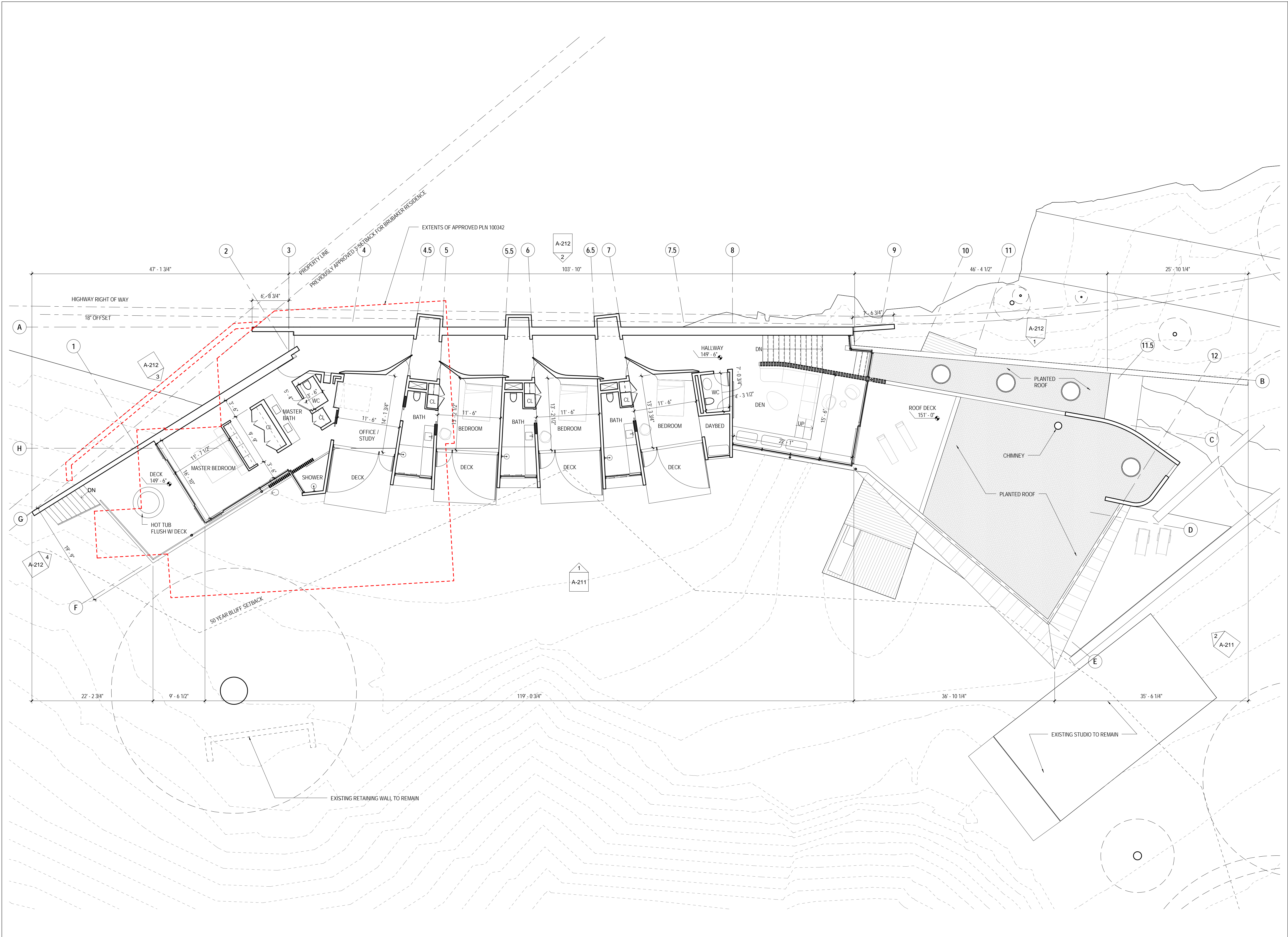
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MAIN FLOOR PLAN

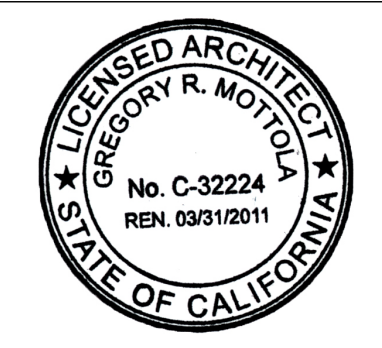
COUNTY FILE NO. PLN 150354

Scale 1/8" = 1'-0"
 Date MARCH 11, 2016
 BCJ Project Number 14401



1 SECOND FLOOR PLAN
 A-120 SCALE: 1/8" = 1'-0"

Seal



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SECOND FLOOR PLAN

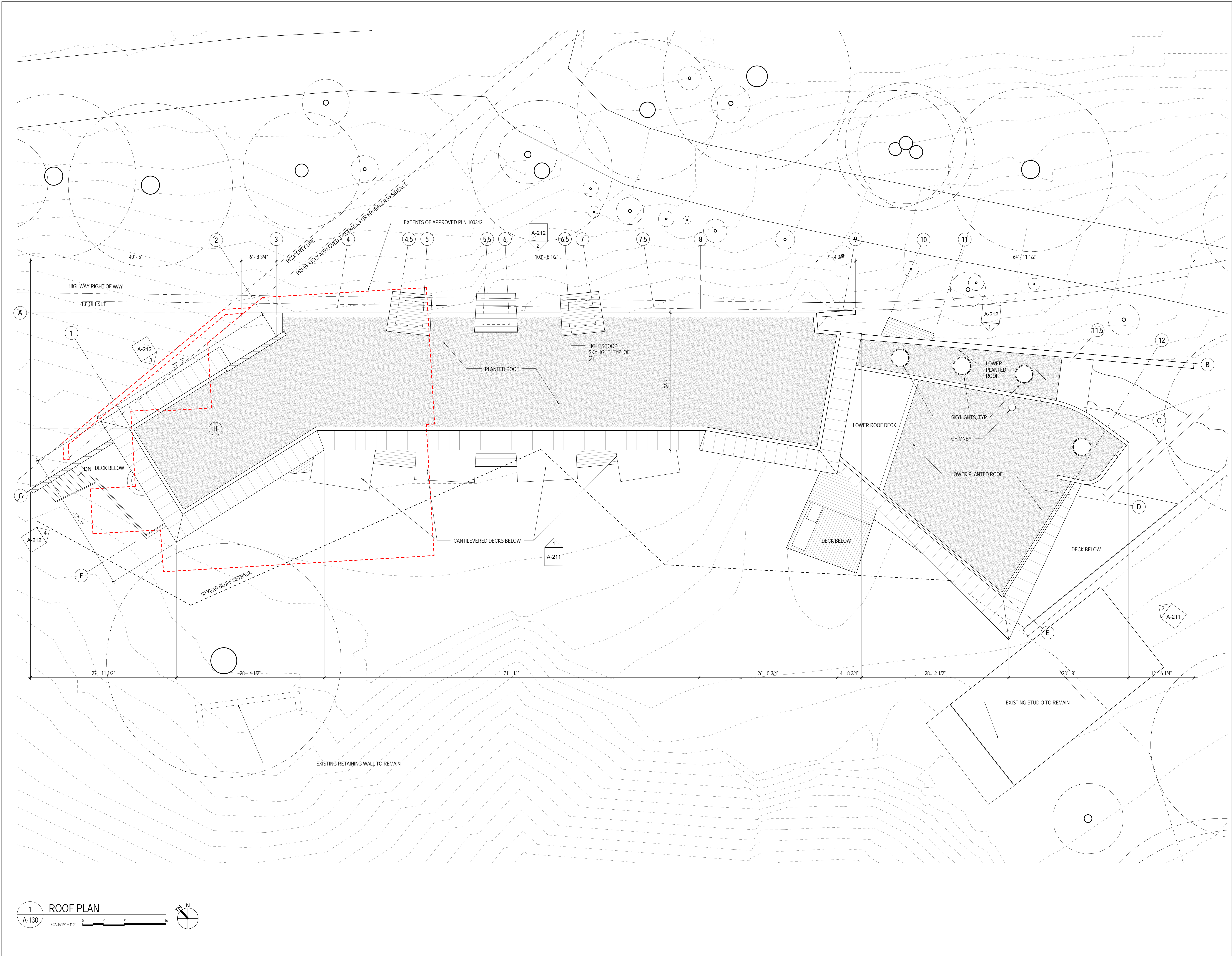
COUNTY FILE NO. PLN 150354

Scale 1/8" = 1'-0"

Date MARCH 11, 2016

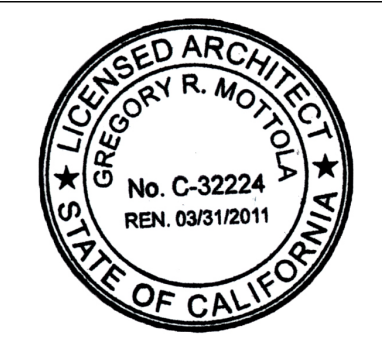
BCJ Project Number 14401

A-120



1 ROOF PLAN
 A-130 SCALE: 1/8" = 1'-0"

Seal



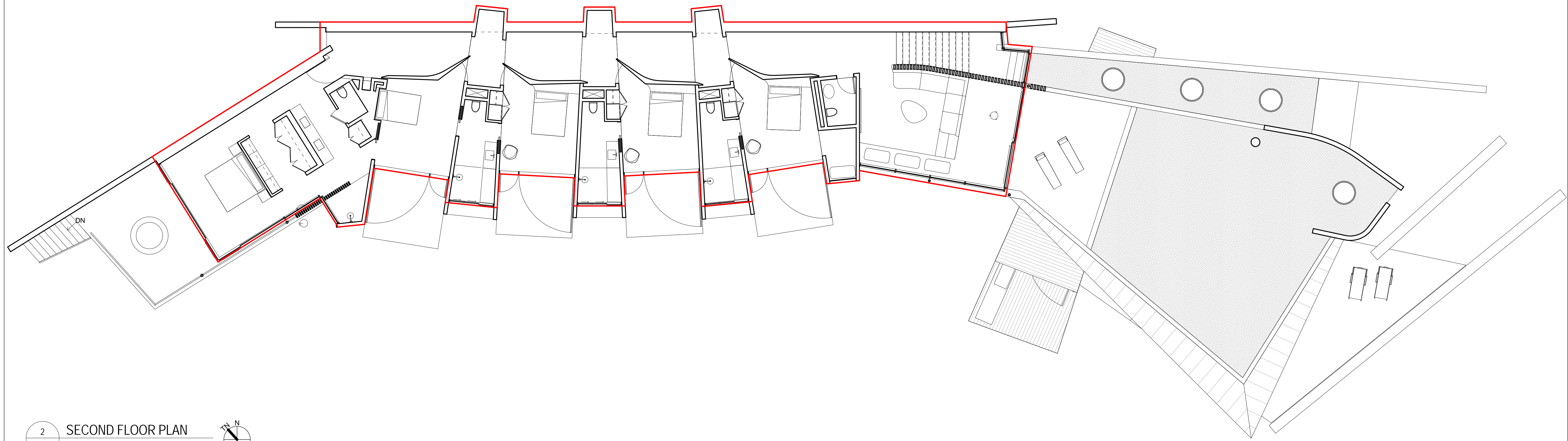
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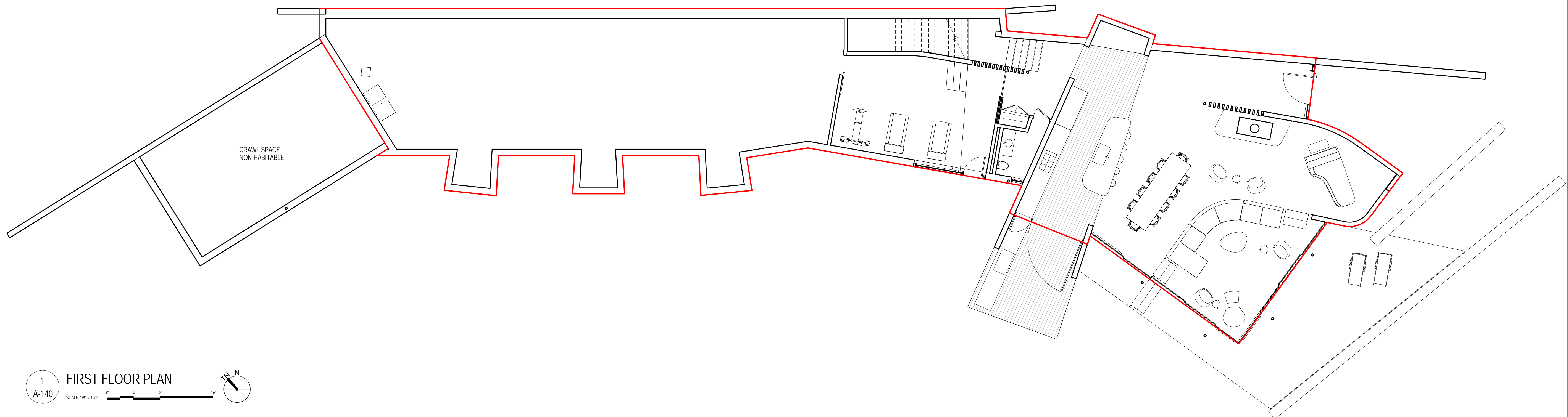
Not For Construction
ROOF PLAN
 COUNTY FILE NO. PLN 150354
 Scale 1/8" = 1'-0"
 Date MARCH 11, 2016
 BCJ Project Number 14401

A-130



2 SECOND FLOOR PLAN
A-140 SCALE: 1/8" = 1'-0"

GROSS BUILDING AREA	
LEVEL:	AMOUNT:
MAIN LEVEL:	4,147 SF
SECOND LEVEL:	3,091 SF
EXISTING STUDIO:	840 SF
EXISTING UTILITY SHED:	318 SF
TOTAL:	8,396 SF



1 FIRST FLOOR PLAN
A-140 SCALE: 1/8" = 1'-0"



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GROSS BUILDING AREA

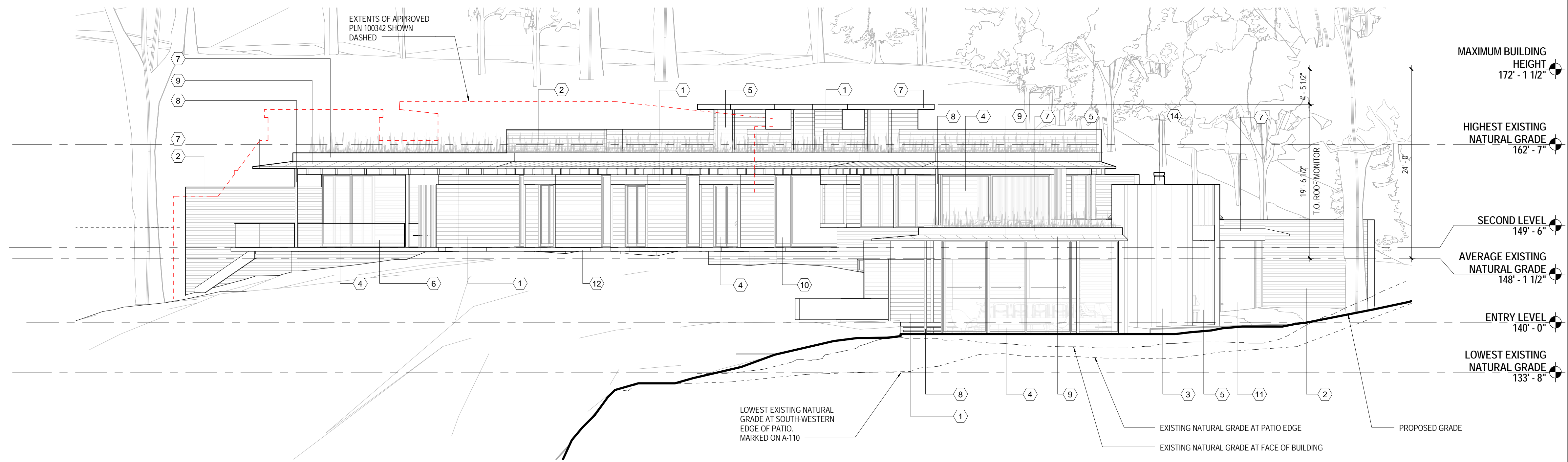
COUNTY FILE NO. PLN 150354

Scale 1/8" = 1'-0"

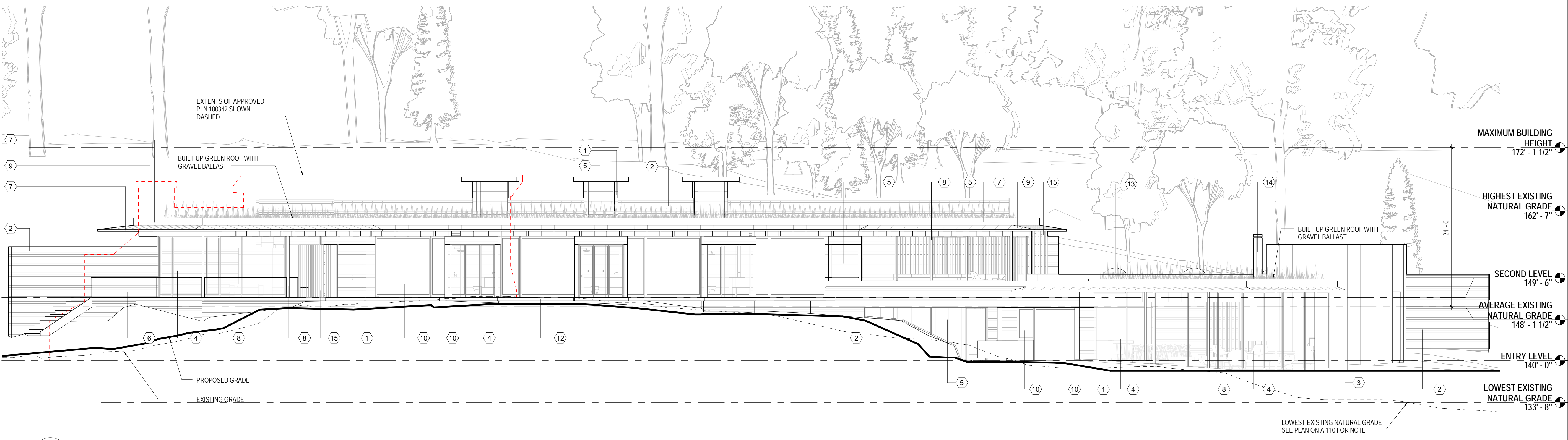
Date MARCH 11, 2016

BCJ Project Number 14401

A-140



2 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



1 ELEVATION - WEST
SCALE: 1/8" = 1'-0"

MATERIAL LIST	
LABEL	DESCRIPTION
1	WOOD SIDING
2	BOARD FORMED CONCRETE WALLS
3	CORTEN STEEL PANELS
4	PTD STEEL FRAMED SLIDING GLASS DOOR
5	PTD STEEL FRAMED WINDOW
6	LAMINATED GLASS RAILING
7	METAL FASCIA
8	PTD STEEL COLUMN
9	STANDING SEAM METAL ROOF
10	PTD STEEL FRAMED GLASS SWING DOOR
11	DOUG FIR RAFTER
12	WOOD DECKING
13	TEMPERED GLASS SKYLIGHT
14	CORTEN PLATED CHIMNEY
15	VERTICAL WOOD SCREEN

SEE SHEET A-300 FOR MATERIAL SAMPLES

Seal

Revisions

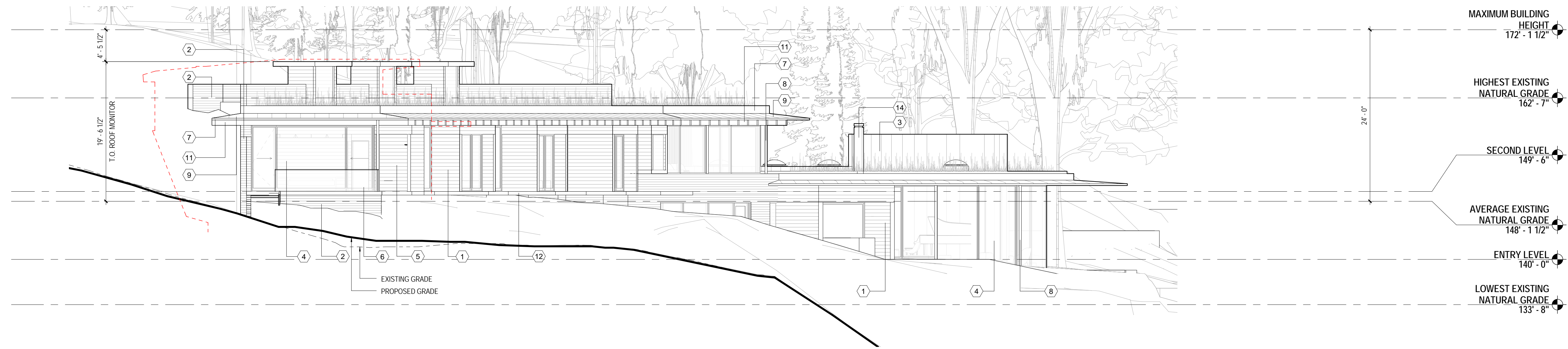
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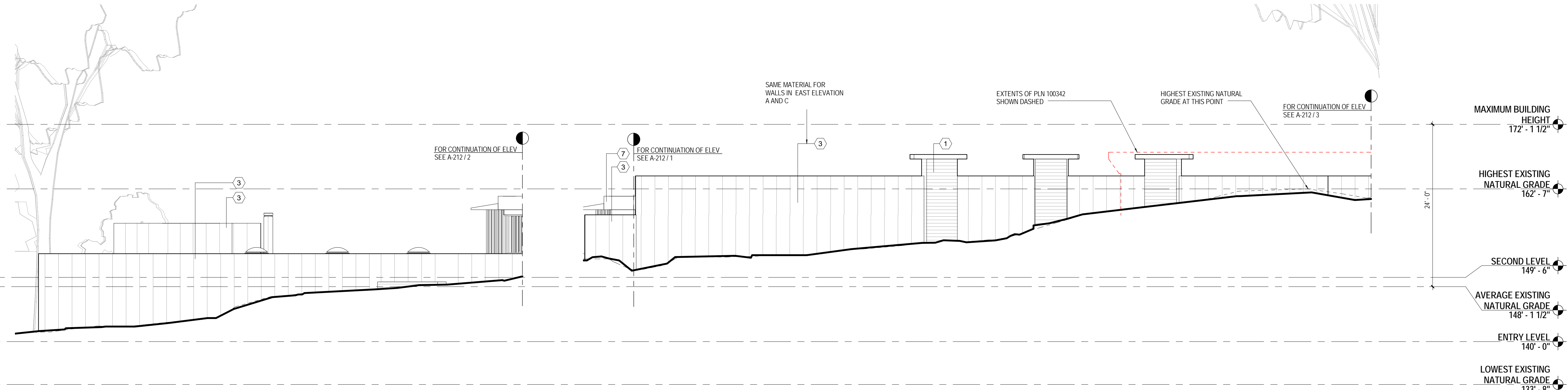
BUILDING ELEVATIONS
 COUNTY FILE NO. PLN 150354
 Scale 1/8" = 1'-0"
 Date MARCH 11, 2016
 BCJ Project Number 14401



4 ELEVATION - NORTH
A-212 SCALE: 1/8" = 1'-0"

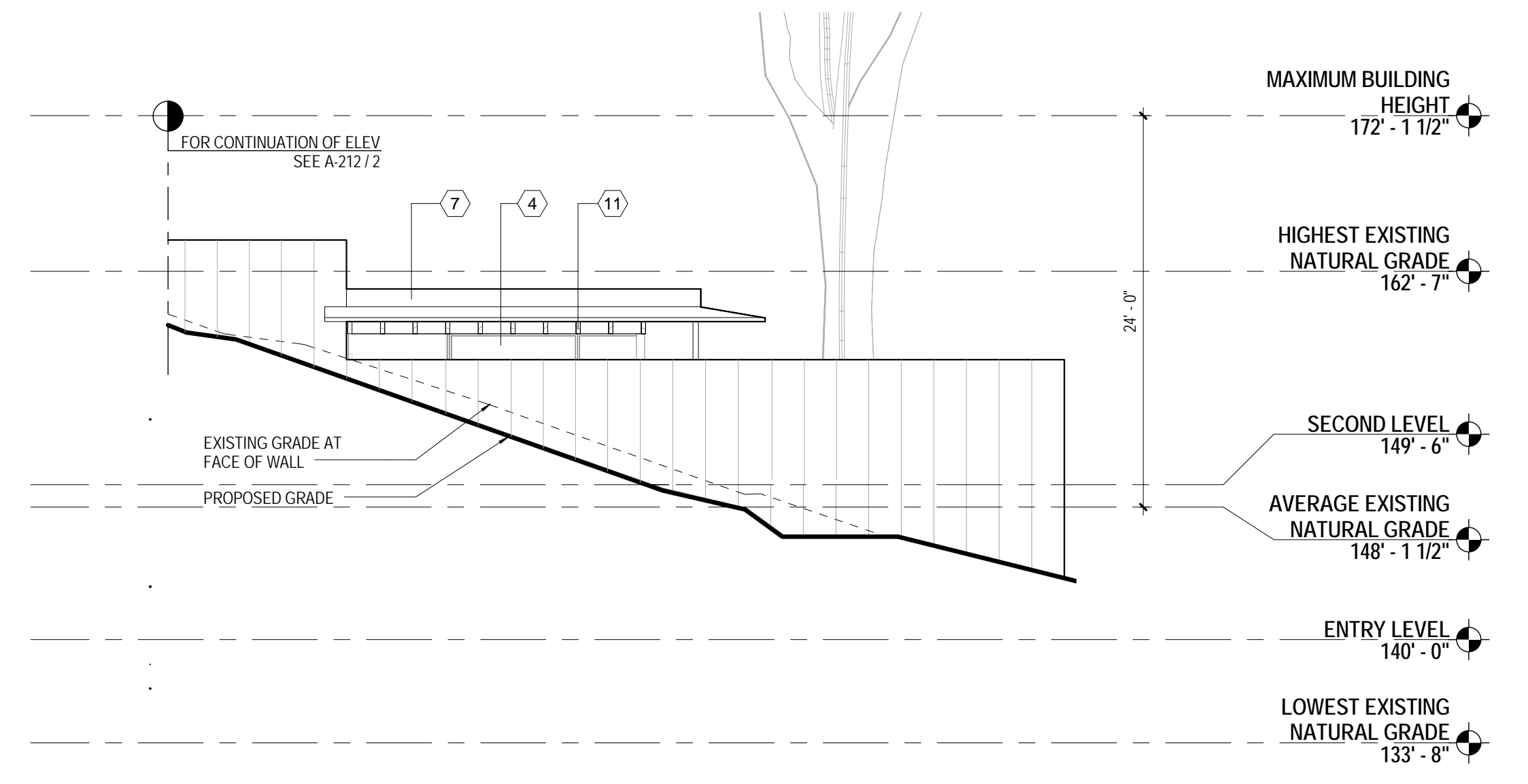
MATERIAL LIST	
LABEL	DESCRIPTION
1	WOOD SIDING
2	BOARD FORMED CONCRETE WALLS
3	CORTEN STEEL PANELS
4	PTD STEEL FRAMED SLIDING GLASS DOOR
5	PTD STEEL FRAMED WINDOW
6	LAMINATED GLASS RAILING
7	METAL FASCIA
8	PTD STEEL COLUMN
9	STANDING SEAM METAL ROOF
10	PTD STEEL FRAMED GLASS SWING DOOR
11	DOUG FIR RAFTER
12	WOOD DECKING
13	TEMPERED GLASS SKYLIGHT
14	CORTEN PLATED CHIMNEY
15	VERTICAL WOOD SCREEN

SEE SHEET A-300 FOR MATERIAL SAMPLES

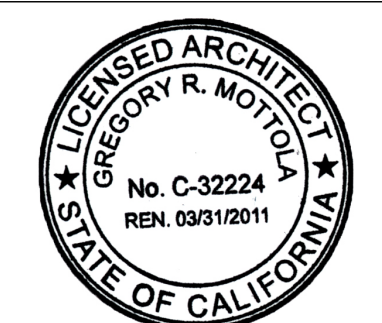


1 ELEVATION - EAST - A
A-212 SCALE: 1/8" = 1'-0"

2 ELEVATION - EAST - B
A-212 SCALE: 1/8" = 1'-0"



3 ELEVATION - EAST - C
A-212 SCALE: 1/8" = 1'-0"



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BUILDING ELEVATIONS

COUNTY FILE NO. PLN 150354

Scale 1/8" = 1'-0"

Date MARCH 11, 2016

BCJ Project Number 14401

A-212

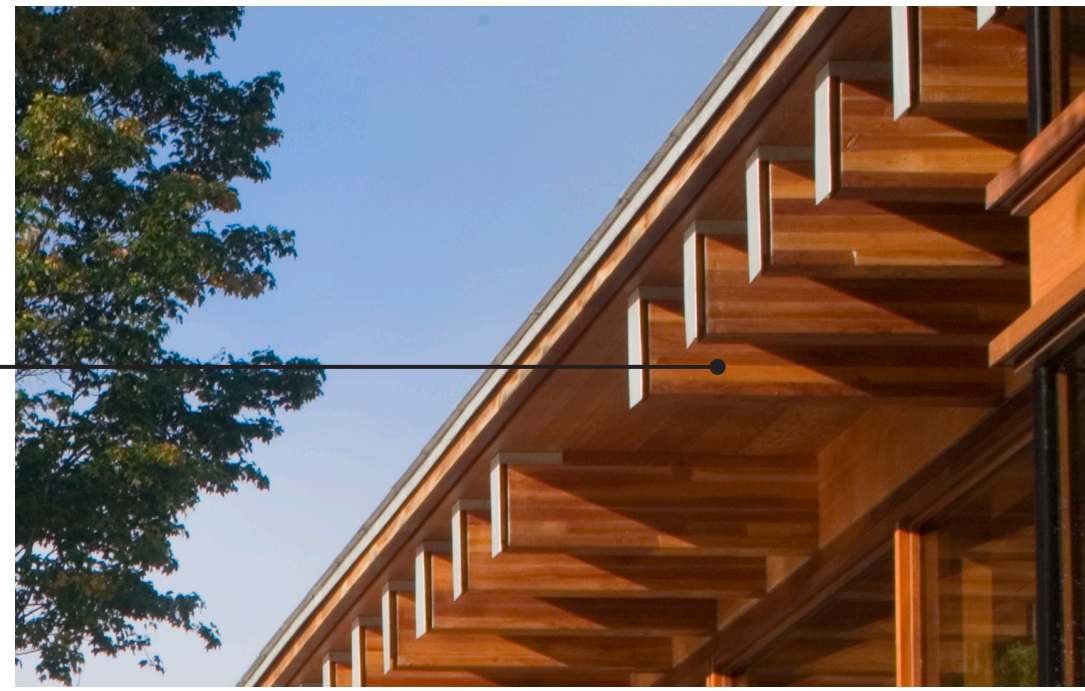
METAL FASCIA



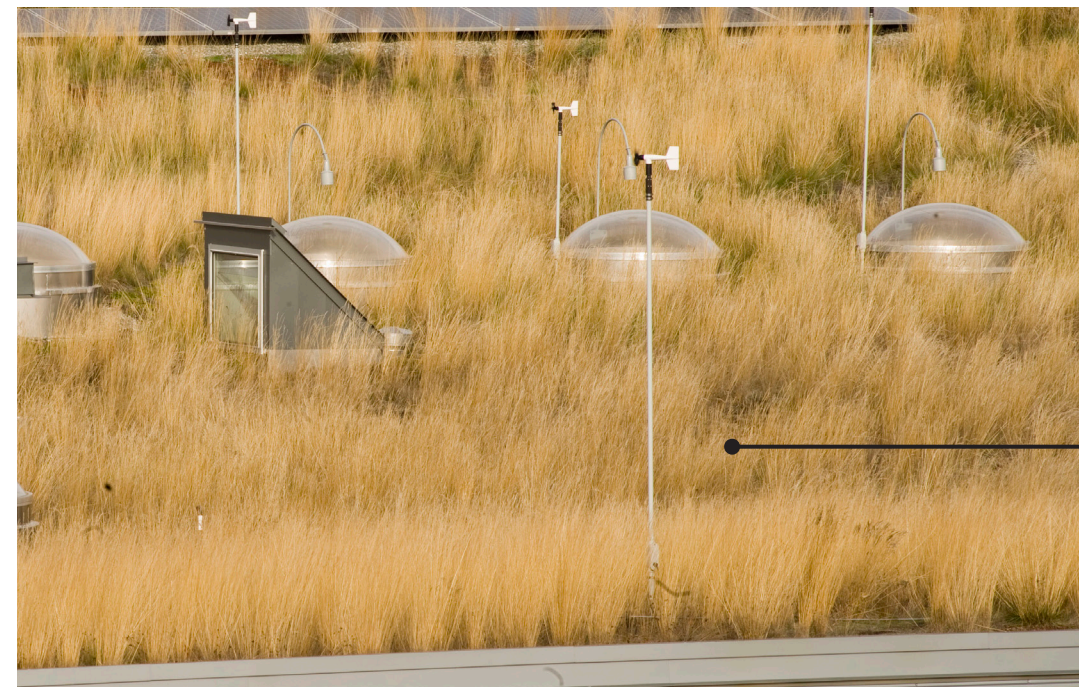
STANDING SEAM METAL ROOF



DOUG FIR RAFTERS



PLANTED VEGETATED ROOF



LAMINATED GLASS RAILING



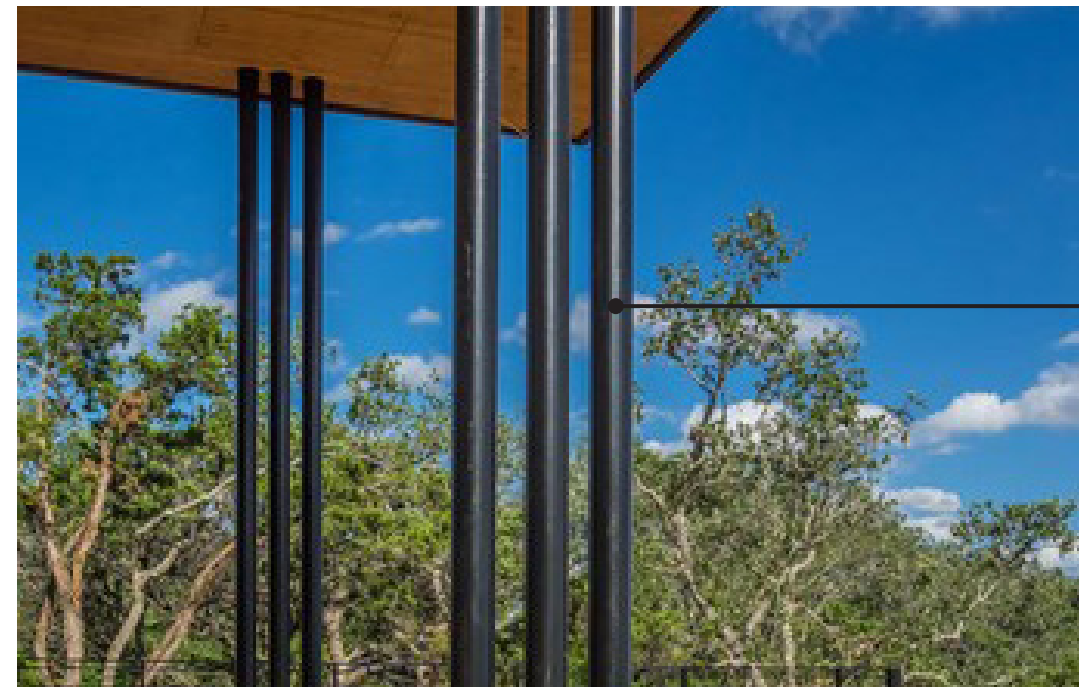
BRONZE CLAD - FRAMED WINDOWS AND DOORS



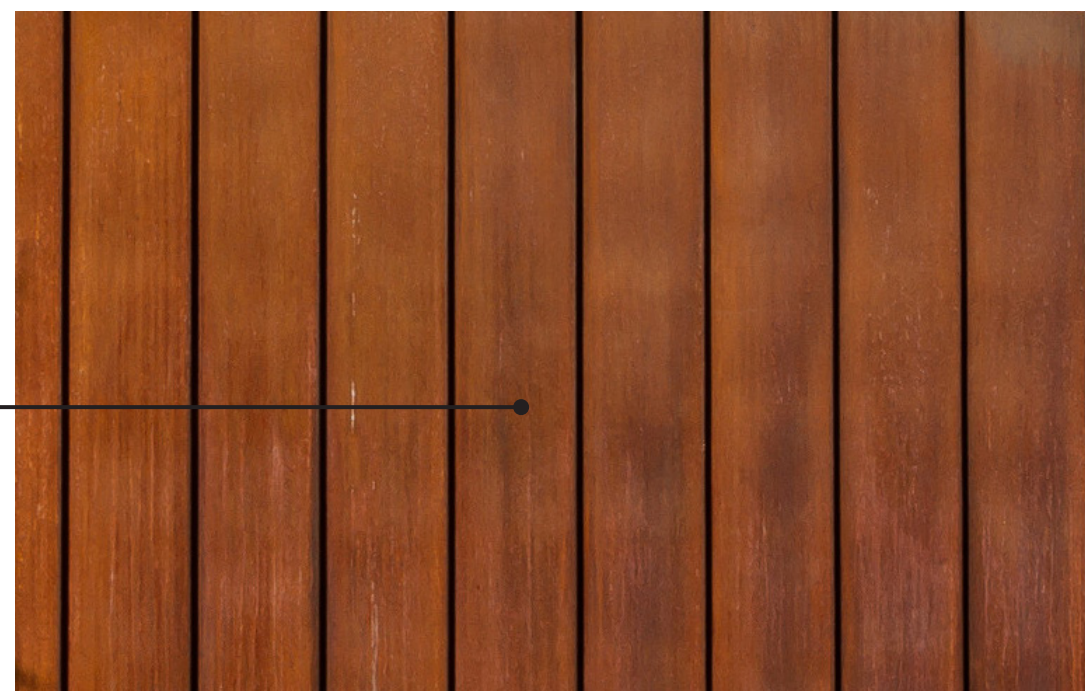
WOOD SIDING



BRONZE CLAD COLUMNS



CORTEN STEEL PANELS



VERTICAL WOOD SCREEN



BOARD - FORMED CONCRETE WALLS



WOOD DECKING



Seal



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BUILDING MATERIALS

COUNTY FILE NO. PLN 150354

Scale

Date MARCH 11, 2016

BCJ Project Number 14401

ABBREVIATIONS LEGEND	
A	ACACIA (TREE)
BOW	BOTTOM OF WALL
C	CYPRESS (TREE)
CE	CEANOTHUS (SHRUB)
CO	CLEANOUT
DBL	DOUBLE
DIA/Ø	DIAMETER
(E)	EXISTING
EG	EXISTING GROUND
EL	ELEVATION
FF	FINISHED FLOOR
FG	FINISHED GRADE
GPD	GALLONS PER DAY
INV	INVERT
LEN	LENGTH
MCC	MONTEREY COUNTY CODE
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
O	ORNAMENTAL (TREE)
OC	ON CENTER
P	PINE (TREE)
PVC	POLYVINYL CHLORIDE
R	REDWOOD (TREE)
ROW	RIGHT OF WAY
SF	SQUARE FEET
SS	SANITARY SEWER
SSD	SUBSURFACE DRIP
STA	STATION
SWTS	SURFACE WATER TREATMENT SYSTEM
T	TREE (UNIDENTIFIED)
TBR	TO BE REMOVED
TOW	TOP OF WALL
TYP	TYPICAL
WW	WASTEWATER

LINE TYPES	
	PROPERTY LINE/EASEMENT
	HIGHWAY EDGE OF TRAVEL
	EXISTING CLIFF
	EXISTING TRAIL
	EXISTING FENCE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	LIMIT OF DISTURBANCE
	EXISTING WATER LINE
	NEW DOMESTIC WATER LINE
	NEW FIRE WATER LINE
	FIRE SUPPRESSION RADIUS
	NEW GRAVITY SANITARY SEWER
	NEW SEWER FORCE MAIN
	WASTEWATER SYSTEM SETBACK
	EXISTING ELECTRICAL CONDUIT
	NEW ELECTRICAL CONDUIT
	EXISTING GAS LINE
	NEW GAS LINE
	EXISTING OVERHEAD POWER LINE
	SAWCUT LINE

SYMBOLS LEGEND	
	BUILDING
	(E) TREE WITH 10' SETBACK
	CLEANOUT
	DOUBLE CLEANOUT
	AIR/VACUUM RELIEF VALVE
	GATE VALVE
	BALL VALVE
	CHECK VALVE
	PIPE FLOW DIRECTION
	PUMP
	WHARF FIRE HYDRANT
	SURFACE FLOW DIRECTION

MATERIALS LEGEND	
	EARTH
	(E) ASPHALT ROAD SURFACING
	(N) ASPHALT ROAD SURFACING
	(N) TURF BLOCK ROAD SURFACING
	(N) GRAVEL WITH WOOD PLANK PATH SURFACING
	CONCRETE
	FILL
	SAND
	SSD DISPERSAL AREA

DRAWING NOTATION	
<p>DETAIL CALLOUT</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p>	<p>EXISTING SURFACE ELEVATION (FT)</p> <p>PROPOSED SURFACE ELEVATION (FT)</p> <p>PROFILE STATION AND ELEVATION INFORMATION</p> <p>ALIGNMENT STATION (FT)</p>

GENERAL NOTES	
1.	THE PURPOSE OF THIS PROJECT IS TO PROVIDE SITE IMPROVEMENTS FOR A NEW SINGLE FAMILY RESIDENCE.
2.	THE PROJECT INCLUDES ONE SINGLE FAMILY RESIDENCE AND ASSOCIATED CIRCULATION, GRADING, DRAINAGE, UTILITY, AND EROSION CONTROL CIVIL SITE IMPROVEMENTS.
3.	ALL IMPROVEMENTS SHALL BE INSTALLED AND CONSTRUCTED USING LOW IMPACT DESIGN AND CONSTRUCTION TECHNIQUES.

PROJECT DATA	
APN: 420-021-039	
OWNER: ANKLE CRISPER, LLC	
PROJECT: ANDERSON CANYON - HILL HOUSE SITE IMPROVEMENT PROJECT	
PROJECT AREA / AREA OF DISTURBANCE: 0.6 ACRE	

UTILITIES	
FIRE WATER -	SURFACE WATER RIGHTS/TANKS
DOMESTIC WATER -	SURFACE WATER RIGHTS/TANKS
SANITARY -	PRIVATE WASTEWATER SYSTEM (WASTEWATER TREATMENT SYSTEM, SUBSURFACE DRIP DISPERSAL, AND BACKUP LEACHFIELDS)
STORMWATER -	TBD
ELECTRIC -	PG&E PRIMARY AND BACK-UP GENERATOR
GAS -	PROPANE

GENERAL REQUIREMENTS	
THE INTENT OF THE DRAWINGS IS TO CONSTRUCT THE HILL HOUSE SITE IMPROVEMENTS PROJECT IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.	
ALL WORK PERFORMED UNDER THIS SCOPE SHALL CONFORM, AT A MINIMUM, TO THE FOLLOWING CODES AND REGULATIONS AS APPLICABLE:	
MONTEREY COUNTY CODES AND ORDINANCES CHAPTER 16.08 - GRADING REGULATIONS CHAPTER 15.20 - SEWAGE DISPOSAL MUNICIPAL CODE COUNTY OF MONTEREY, CALIFORNIA	
STATE OF CALIFORNIA CODE OF REGULATIONS, TITLE 24 CURRENT CALIFORNIA FIRE CODE (CFC)	
NATIONAL FIRE PROTECTION AGENCY (NFPA) STANDARDS CURRENT EDITION OF NFPA 1142, WATER SUPPLIES FOR SUBURBAN AND RURAL FIRE FIGHTING, ANNEX G - MUNICIPE-TYPE WATER SYSTEM CURRENT EDITION OF NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS	
CURRENT CALIFORNIA BUILDING CODE (CBC)	
UNLESS OTHERWISE STATED, IT IS INTENDED THAT THE ABOVE CODES AND REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN EFFECT ON THE DATE OF THE CONTRACT. NOTHING ON THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE ABOVE LISTED CODES AND REGULATIONS, OR OTHER LOCAL, STATE OR FEDERAL CODES OF REGULATIONS WHICH MAY BE APPLICABLE.	

TECHNICAL REFERENCES	
1.	SOURCE WATER ASSESSMENT, ANDERSON CANYON RETREAT, BIG SUR, CALIFORNIA. PREPARED BY FALL CREEK ENGINEERING, DATED FEBRUARY 9, 2016.
2.	WORK PLAN - WASTEWATER SYSTEM SOILS INVESTIGATION, ANDERSON CANYON RETREAT, BIG SUR, CALIFORNIA. PREPARED BY FALL CREEK ENGINEERING, DATED OCTOBER 9, 2015. SUBMITTED TO MONTEREY COUNTY HEALTH DEPARTMENT AND APPROVED BY ROGER VAN HORN.
3.	GEOTECHNICAL REPORT, ANDERSON CANYON. PREPARED BY HARO KASUNICH & ASSOCIATES, DATED TBD.
4.	ARCHEOLOGICAL REPORT, ANDERSON CANYON. PREPARED BY ARCHEOLOGICAL CONSULTING, DATED TBD.

GEOTECHNICAL NOTES	
1.	THE GEOTECHNICAL CONSULTANT SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY SITE CLEARING OR OTHER EARTHWORK OPERATIONS ON THE SUBJECT PROJECT IN ORDER TO OBSERVE THE STRIPPING AND DISPOSAL OF UNSUITABLE MATERIALS AND TO ENSURE COORDINATION WITH THE GRADING CONTRACTOR. DURING THIS PERIOD, A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON THE SITE TO DISCUSS PROJECT SPECIFICATIONS, OBSERVATION/TESTING REQUIREMENTS AND RESPONSIBILITIES, AND SCHEDULING. THIS CONFERENCE SHOULD INCLUDE AT LEAST THE GRADING CONTRACTOR, THE ARCHITECT, AND THE GEOTECHNICAL CONSULTANT.
2.	FIELD OBSERVATION AND TESTING SHALL BE PROVIDED BY A REPRESENTATIVE OF HARO KASUNICH & ASSOCIATES, INC., TO ENABLE THEM TO FORM AN OPINION REGARDING THE ADEQUACY OF THE SITE PREPARATION, AND THE EXTENT TO WHICH THE EARTHWORK IS PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL CONDITIONS PRESENT. THE REQUIREMENTS OF THE REGULATING AGENCIES, THE PROJECT SPECIFICATIONS AND THE RECOMMENDATIONS PRESENTED IN THE GEOTECHNICAL REPORT. ANY EARTHWORK PERFORMED IN CONNECTION WITH THE SUBJECT PROJECT WITHOUT THE FULL KNOWLEDGE OF, AND NOT UNDER THE DIRECT OBSERVATION OF GRICE ENGINEERING, INC., THE GEOTECHNICAL CONSULTANT, WILL RENDER THE RECOMMENDATIONS OF THE REPORT INVALID.

GRADING NOTES		
1. THE FOLLOWING SOIL VERIFICATIONS AND INSPECTIONS SHALL BE PERFORMED:		
REFERENCE: CBC, TABLE 1705.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS		
VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	—	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	—	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	—	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	—
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	—	X
2. DEVELOPMENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL REMOVAL OR PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE PROHIBITED ON SLOPES GREATER THAN OR EQUAL TO 30%.		
3. ALL FILL MATERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR, IN LIFTS NOT EXCEEDING 12 INCHES (305 MM) IN DEPTH, UNLESS OTHERWISE SPECIFIED BY GEOTECHNICAL ENGINEER.		
4. STRUCTURAL BACKFILL SHALL BE PLACED ONLY ON APPROVED SURFACES SUCH AS ENGINEERED FILL, AND SHALL BE COMPACTED TO 95% RELATIVE DENSITY. MATERIALS IMPORTED FOR BACKFILL PURPOSES SHALL HAVE A SAND EQUIVALENT OF NO LESS THAN 30% AND SHALL BE CLASSIFIED AS CLEAN SANDS AS DESIGNATED IN "THE CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES" (ASTM 2487).		
5. ALL PAVEMENT SECTIONS SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.		
6. THERE MAY BE OTHER EASEMENTS AFFECTING THIS PROPERTY NOT SHOWN HEREON. GRADING OPERATION SHOULD NOT OBSTRUCT OR IMPAIR FLOW OF RUN-OFF THROUGH A DRAINAGE COURSE, OR A SUITABLE DRAINAGE DEVICE DESIGNED ACCORDING TO APPROVED COUNTY DESIGN CRITERIA, SHALL BE CONSTRUCTED TO CONVEY THE FLOW PAST THE POINT OF IMPAIRMENT OR OBSTRUCTION. (MCC 16.08.330 A).		
7. "A FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION."		

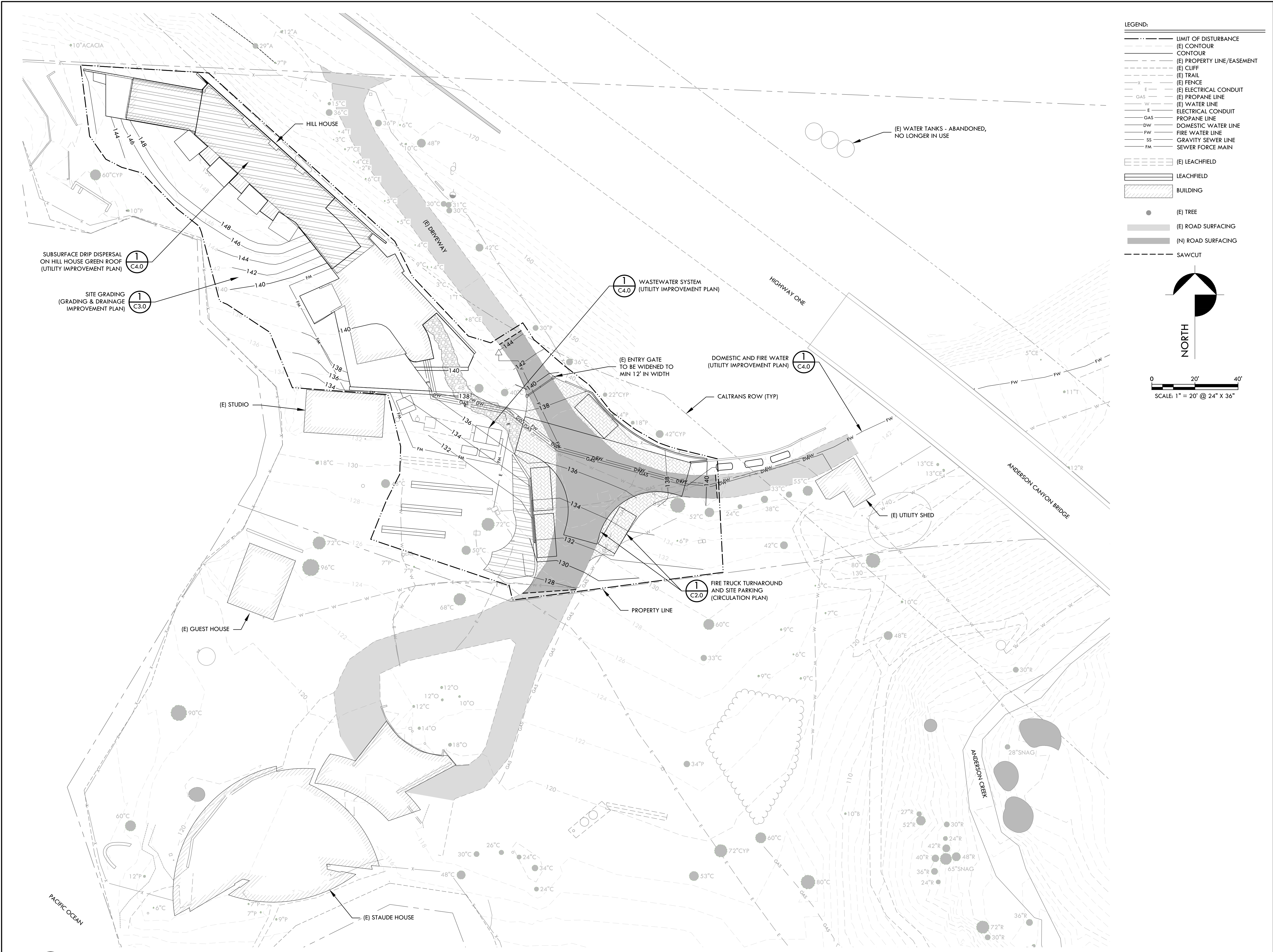
SURVEY NOTES	
1.	TOPOGRAPHIC SURVEY PERFORMED BY RASMUSSEN LAND SURVEYING, INC., DATED MAY 2014.
2.	THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THIS PROPERTY NOT SHOWN HEREON.
3.	ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.
4.	GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE.
5.	DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
6.	TREE SYMBOLS ARE DRAWN APPROXIMATELY TO SCALE.
7.	SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.
8.	EDGE OF CLIFF IS APPROXIMATE ONLY.
9.	LOCATION OF CREEK AND GROUND TO EAST OF CREEK IS APPROXIMATE ONLY.

CIVIL SHEET INDEX	
SHEET	SHEET TITLE
C0.0	CIVIL INFORMATION SHEET
C1.0	SITE IMPROVEMENT PLAN
C2.0	CIRCULATION PLAN
C3.0	GRADING AND DRAINAGE PLAN AND PROFILES
C4.0	UTILITY IMPROVEMENT PLAN
C4.1	UTILITY IMPROVEMENT PLAN - CONTINUED
C5.0	EROSION CONTROL PLAN

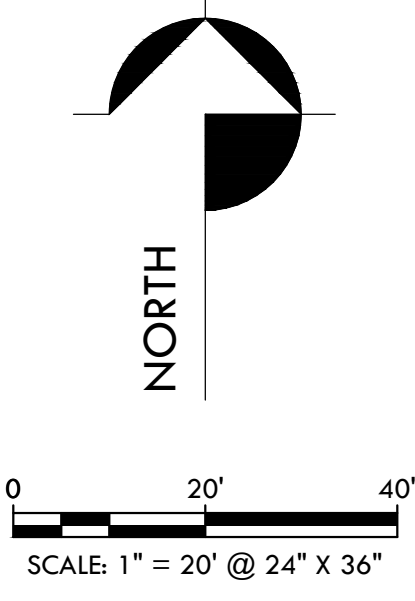
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CIVIL INFORMATION SHEET	
Scale	AS SHOWN
Date	MARCH 2016
BCJ Project Number	14401
FCE Project Number	21526



- LEGEND:
- LIMIT OF DISTURBANCE
 - - - (E) CONTOUR
 - CONTOUR
 - - - (E) PROPERTY LINE/EASEMENT
 - - - (E) CLIFF
 - - - (E) TRAIL
 - - - (E) FENCE
 - - - (E) ELECTRICAL CONDUIT
 - - - (E) PROPANE LINE
 - - - (E) WATER LINE
 - - - (E) ELECTRICAL CONDUIT
 - - - (E) PROPANE LINE
 - - - (E) DOMESTIC WATER LINE
 - - - (E) FIRE WATER LINE
 - - - (E) GRAVITY SEWER LINE
 - - - (E) SEWER FORCE MAIN
 - ▨ (E) LEACHFIELD
 - ▨ LEACHFIELD
 - ▨ BUILDING
 - (E) TREE
 - ▨ (E) ROAD SURFACING
 - ▨ (N) ROAD SURFACING
 - - - SAWCUT



SITE IMPROVEMENT PLAN

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Consulting Engineers
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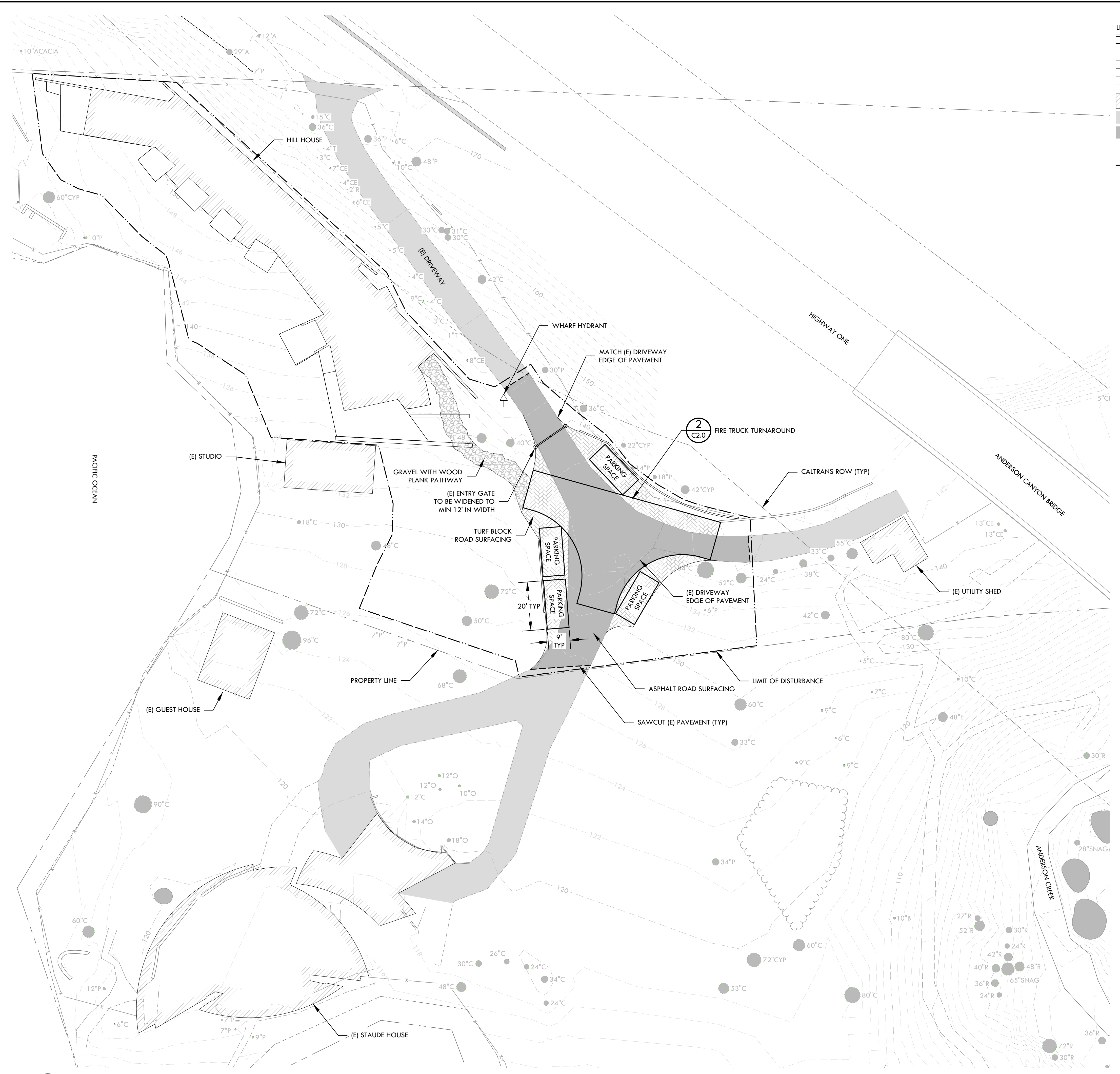
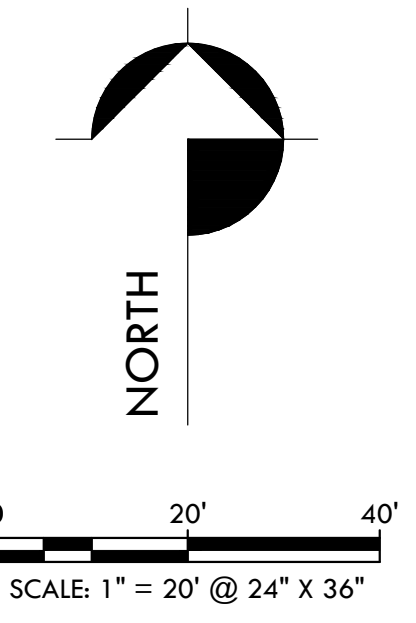
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SITE IMPROVEMENT PLAN	
Scale	AS SHOWN
Date	MARCH 2016
BCJ Project Number	14401
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1 SITE IMPROVEMENT PLAN
 SCALE: 1" = 20' @ 24" X 36"

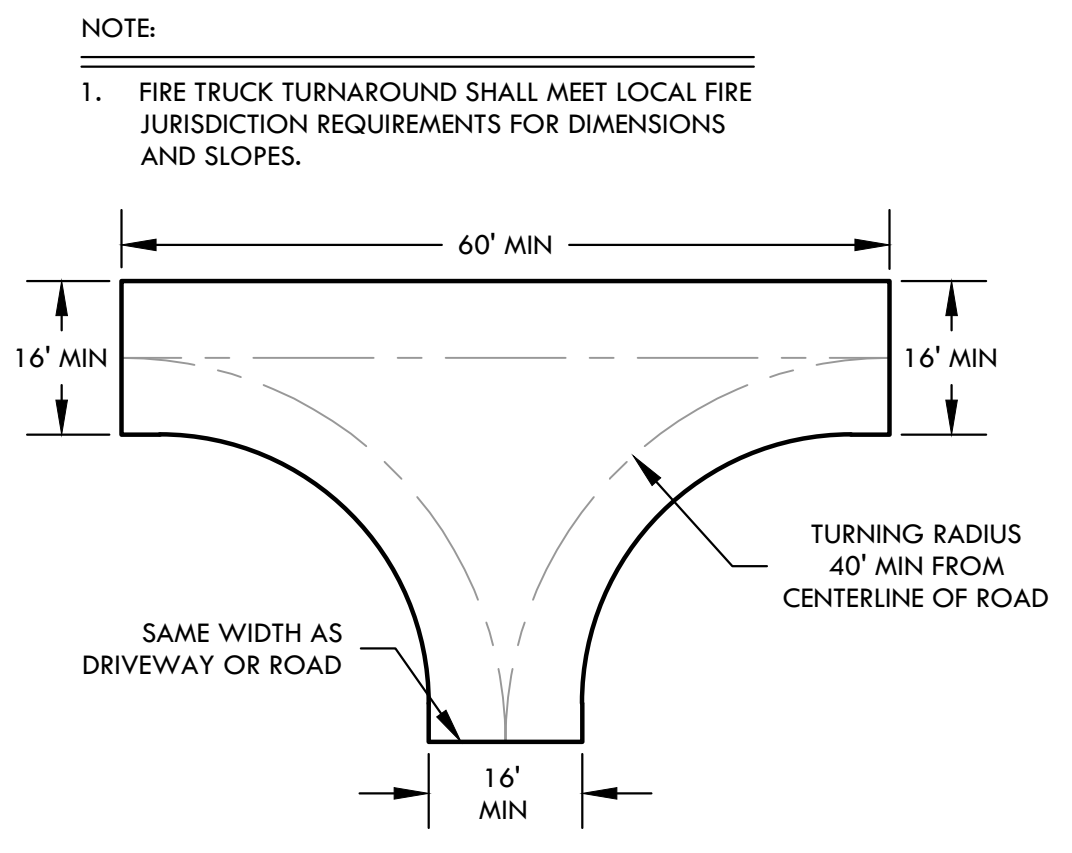
C1.0

- LEGEND:
- LIMIT OF DISTURBANCE
 - - - (E) CONTOUR
 - - - (E) PROPERTY LINE/EASEMENT
 - - - (E) CLIFF
 - - - (E) TRAIL
 - - - (E) FENCE
 - ▨ BUILDING
 - ▭ (E) ROAD
 - ▭ (N) ROAD
 - (E) TREE
 - - - SAWCUT



1 CIRCULATION PLAN
SCALE: 1" = 20' @ 24" X 36"

2 FIRE TRUCK TURNAROUND DETAIL
SCALE: 1" = 20' @ 24" X 36"



CIRCULATION PLAN

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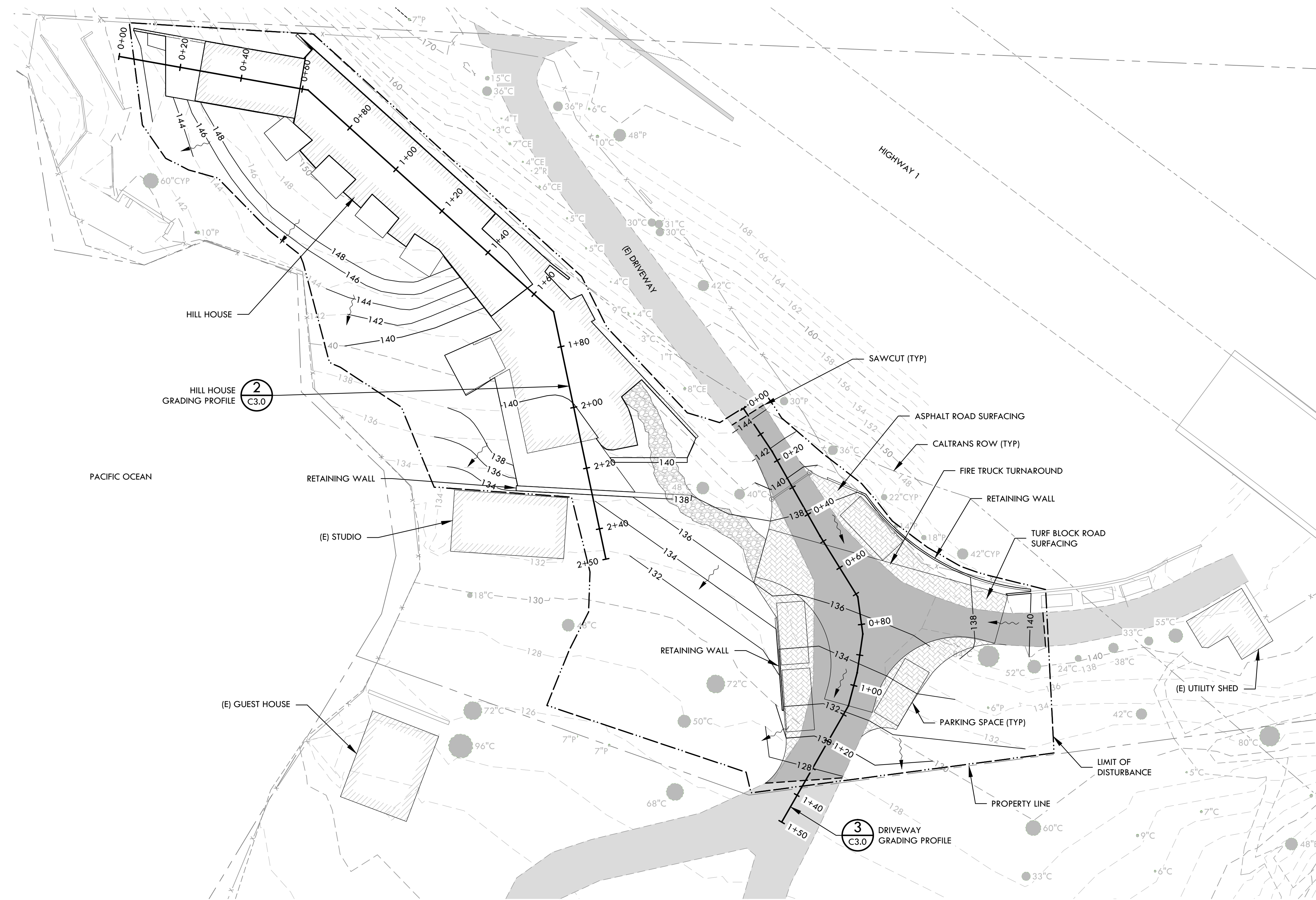
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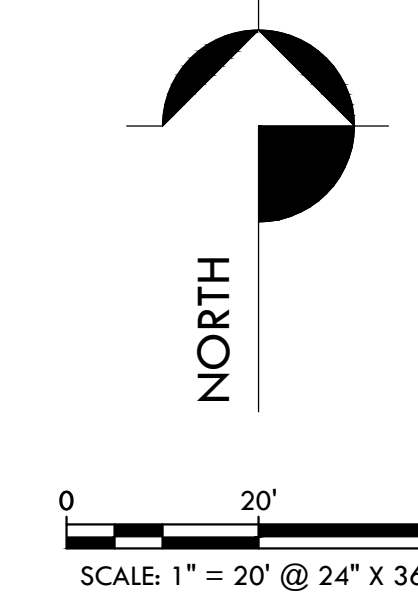
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CIRCULATION PLAN	
Scale	AS SHOWN
Date	MARCH 2016
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C2.0



- LEGEND:
- LIMIT OF DISTURBANCE
 - - - (E) CONTOUR
 - - - CONTOUR
 - - - (E) PROPERTY LINE/EASEMENT
 - - - (E) CLIFF
 - - - (E) TRAIL
 - - - (E) FENCE
 - ▨ BUILDING
 - ▭ (E) ROAD
 - ▭ (N) ROAD
 - (E) TREE
 - SURFACE FLOW ARROW
 - - - SAWCUT

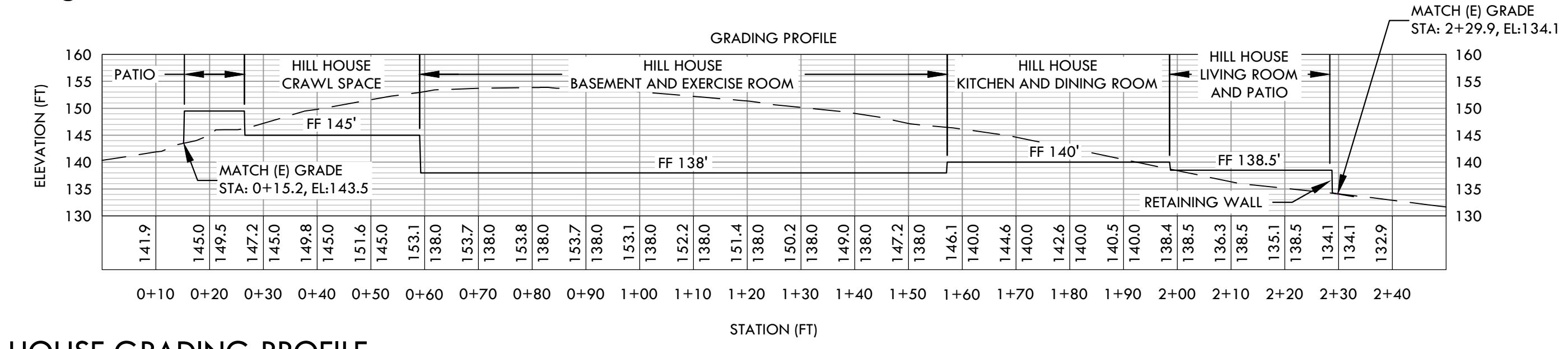


GRADING VOLUMES		
CUT	FILL	NET
1550 CY	520 CY	1030 CY CUT

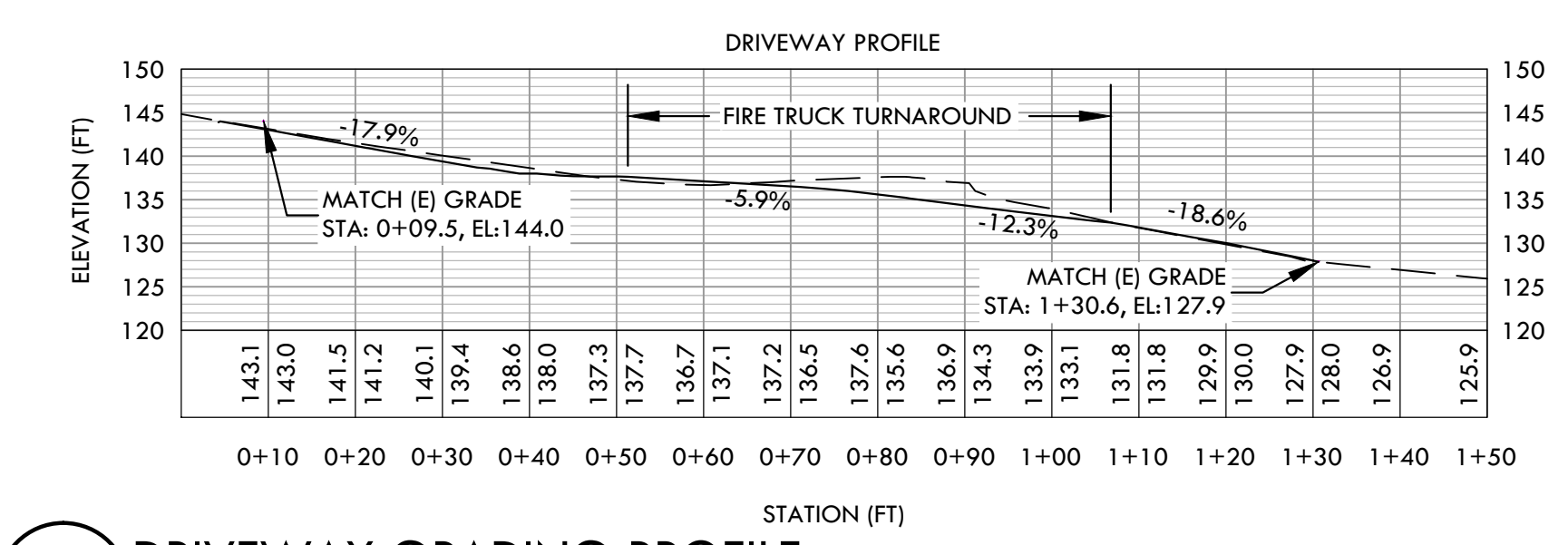
- GRADING NOTES:
- THESE GRADING VOLUMES ARE PRELIMINARY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL QUANTITIES.
 - NO COMPACTION FACTOR HAS BEEN APPLIED TO THE FILL VOLUMES.
 - NO EXPANSION FACTOR HAS BEEN APPLIED TO THE CUT VOLUMES.
 - GRADING VOLUMES DO NOT ACCOUNT FOR PAVEMENT SECTIONS.
 - ALL CONSTRUCTED SLOPES SHALL NOT EXCEED 2:1 (H:V).
 - CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF SOILS.
 - ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.

IMPERVIOUS AREA ANALYSIS	
EXISTING	AREA (SF)
EXISTING RESIDENCE & DECK (TBR)	2,134
STUDIO & DECK	867
UTILITY SHED	328
DRIVEWAY	6,777
PROPANE	159
WATER PUMP HOUSE	57
TOTAL EXISTING IMPERVIOUS AREA	8,188
PROPOSED	AREA (SF)
HILL HOUSE	6,887
GREEN ROOF AREA	(3,777)
DRIVEWAY	1,930
TURF BLOCK	(1,942)
TOTAL PROPOSED IMPERVIOUS AREA	3,098
POST CONSTRUCTION TOTAL IMPERVIOUS AREA	9,152

1 HILL HOUSE GRADING AND DRAINAGE PLAN
SCALE: 1" = 20' @ 24" X 36"



2 HILL HOUSE GRADING PROFILE
SCALE: 1" = 20' @ 24" X 36"



3 DRIVEWAY GRADING PROFILE
SCALE: 1" = 20' @ 24" X 36"

GRADING AND DRAINAGE PLAN AND PROFILES

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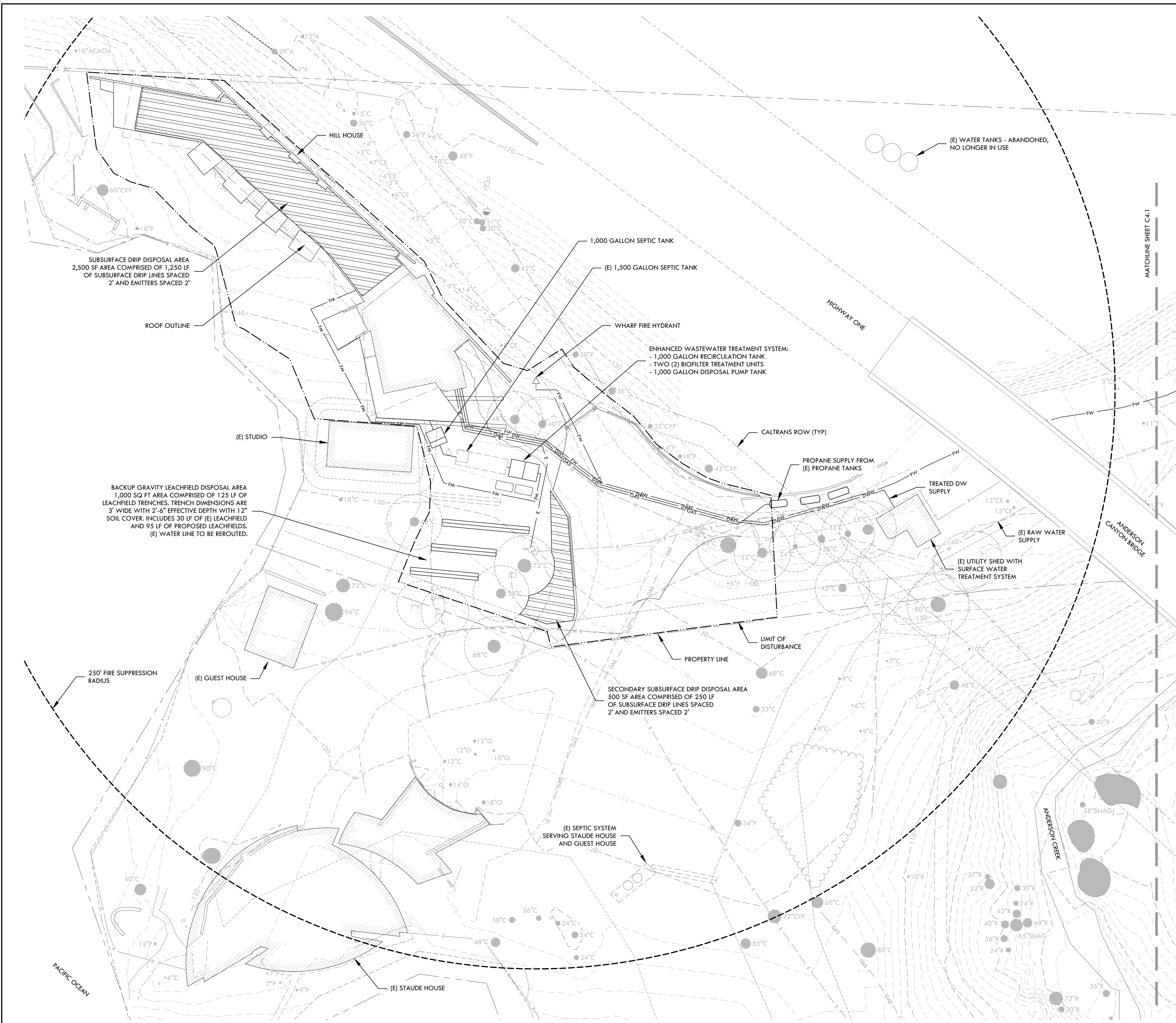
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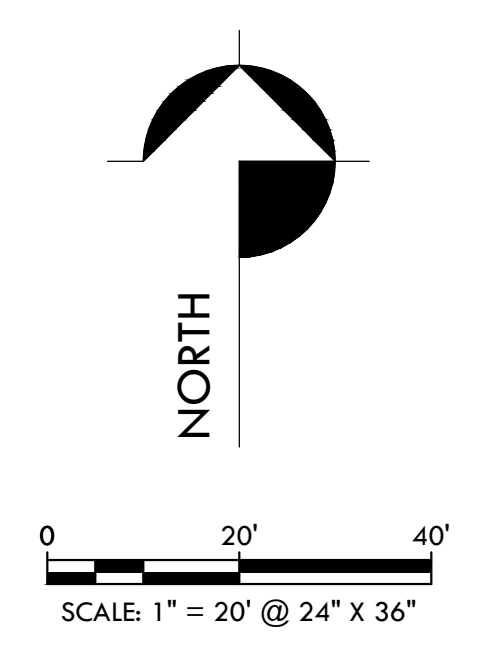
GRADING AND DRAINAGE PLAN AND PROFILES	
Scale	AS SHOWN
Date	MARCH 2016
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FCE Project Number	21526

C3.0



LEGEND:

- LIMIT OF DISTURBANCE
- - - (E) CONTOUR
- - - (E) PROPERTY LINE/EASEMENT
- - - (E) CLIFF
- - - (E) TRAIL
- - - (E) FENCE
- - - (E) ELECTRICAL CONDUIT
- - - (E) PROPANE LINE
- - - (E) WATER LINE
- - - WASTEWATER SYSTEM SETBACK
- - - ELECTRICAL CONDUIT
- - - PROPANE LINE
- - - DOMESTIC WATER LINE
- - - FIRE WATER LINE
- - - GRAVITY SEWER LINE
- - - SEWER FORCE MAIN
- - - FIRE SUPPRESSION RADIUS
- ▨ (E) LEACHFIELD
- ▨ LEACHFIELD
- ▨ BUILDING
- (E) TREE WITH 10' SETBACK



SITE WATER STORAGE	
NORTH PARCEL	VOLUME (GAL)
DOMESTIC WATER	1,000
FIRE WATER	9,800
TOTAL	10,800
SOUTH PARCEL	VOLUME (GAL)
DOMESTIC WATER	1,000
FIRE WATER	9,800
TOTAL	10,800
TOTAL STORAGE	21,600

WASTEWATER DISPOSAL SYSTEM DATA	
PARAMETER	VALUE
FLOW	1,200 GPD
SOIL APPLICATION RATE	0.6 GPD/SF
TOTAL DISPOSAL AREA	4,000 SF
SUBSURFACE DRIP DISPERSAL AREA	3,000 SF
LEACHFIELDS	1,000 SF
DISPOSAL CAPACITY	2,400 GPD
DISPOSAL CAPACITY	200%

WASTEWATER SYSTEM SETBACKS		
FEATURE	SEPTIC TANK	LEACHFIELD
BUILDING	5	10
PROPERTY LINE	10	10
DOMESTIC WATER LINE	10	10
WATERCOURSE	100	100
LARGE TREES	10	10
DOWN SLOPE	50	50

UTILITY IMPROVEMENT PLAN

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Consulting Engineers
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 SANTA CRUZ, CA 95062
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Seal: REGISTERED PROFESSIONAL ENGINEER H. H. JACOBSON, No. 05565, EXP. 12/31/16, CIVIL, STATE OF CALIFORNIA

No.	Description	Date

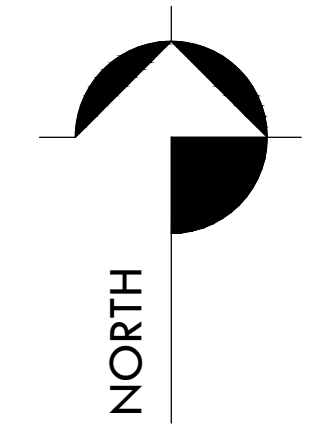
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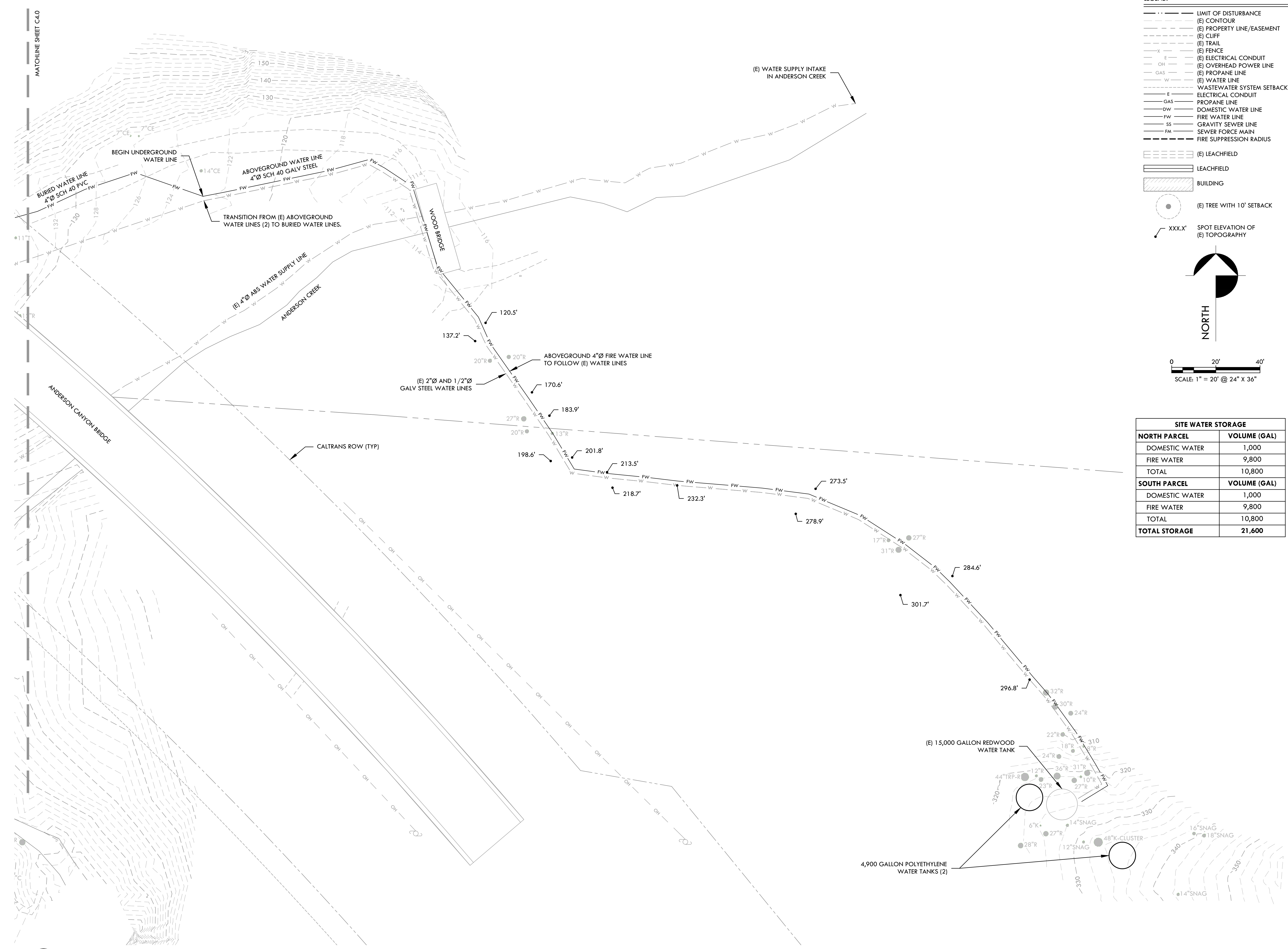
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UTILITY IMPROVEMENT PLAN	
Scale	AS SHOWN
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 - - - (E) FENCE
 - - - (E) ELECTRICAL CONDUIT
 - - - (E) OVERHEAD POWER LINE
 - - - (E) PROPANE LINE
 - - - (E) WATER LINE
 - - - WASTEWATER SYSTEM SETBACK
 - - - ELECTRICAL CONDUIT
 - - - PROPANE LINE
 - - - DW DOMESTIC WATER LINE
 - - - FW FIRE WATER LINE
 - - - SS GRAVITY SEWER LINE
 - - - FM SEWER FORCE MAIN
 - - - FIRE SUPPRESSION RADIUS
 - ▨ (E) LEACHFIELD
 - ▨ LEACHFIELD
 - ▨ BUILDING
 - (E) TREE WITH 10' SETBACK
 - xxx.x' SPOT ELEVATION OF (E) TOPOGRAPHY



SITE WATER STORAGE	
NORTH PARCEL	VOLUME (GAL)
DOMESTIC WATER	1,000
FIRE WATER	9,800
TOTAL	10,800
SOUTH PARCEL	VOLUME (GAL)
DOMESTIC WATER	1,000
FIRE WATER	9,800
TOTAL	10,800
TOTAL STORAGE	21,600



UTILITY IMPROVEMENT PLAN - CONTINUED

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UTILITY IMPROVEMENT PLAN - CONTINUED

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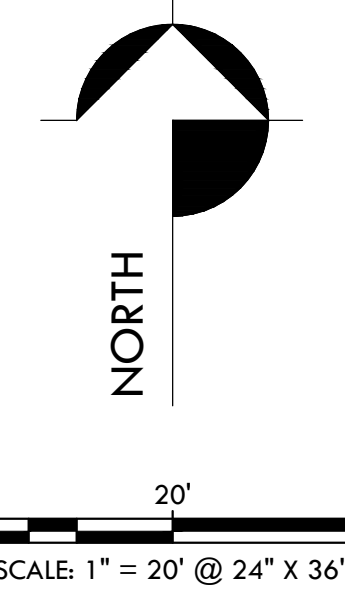
EROSION CONTROL NOTES:

1. **GENERAL.** THE CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT EROSION CONTROL AND TEMPORARY STORMWATER CONTROL MEASURES TO CONTROL SEDIMENT AND RUNOFF IN ACCORDANCE WITH THESE PLANS AND THE COUNTY OF MONTEREY REQUIREMENTS.
 - 1.1. THE CONSTRUCTION OF THIS PROJECT IS NOT EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
 - 1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE.
 - 1.3. THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - 1.4. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.
 - 1.5. ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF:
 - A) EFFECT TEMPORARY PLANTINGS SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL;
 - B) PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED;
 - C) MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.
 - 1.6. GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL EROSION. (MCC 16.08.300 C.1)
 - 1.7. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 16.08.300 C.2)
 - 1.8. DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS. (MCC 16.08.340)
 - 1.9. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
 - 1.10. LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE LIMITED TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS, AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.
 - 1.11. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE RESOURCE MANAGEMENT AGENCY (RMA) OF MONTEREY COUNTY - ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
 - 1.12. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
 - 1.13. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION; COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE; ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
 - 1.14. IF CONSTRUCTION MUST OCCUR BETWEEN OCTOBER 15TH AND APRIL 15TH, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. COVERING OR INSTALLING FILTER BERMS OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATERCOURSE. A WINTER GRADING PERMIT MAY BE REQUIRED.
 - 1.15. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER ANY NEARBY RIVERS. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR OTHER MEASURES SHALL BE USED TO PREVENT SUCH DISCHARGE.
2. **SEED AND MULCH.** ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR HAND BROADCASTING OF THE FOLLOWING SEED MIX AND INCORPORATED OVER ALL DISTURBED SLOPES:

BROMUS CARINATUS 10#/ACRE
 LEYMUS TRITICOIDES 8#/AC.
 HORDEUM BRACHYANTHERUM 5#/AC.
 FESTUCA RUBRA 8#/AC.
 DESCHAMPSIA CESPITOSA 8#/AC.

THE MIX/APPLICATION SHALL ALSO CONTAIN:
 - FERTILIZER (6-3-3) SHALL BE HAND BROADCAST AND INCORPORATED AT 30-LB/ACRE OVER ENTIRE AREA.
 - MYCORRHIZAL FUNGI SHALL BE ADDED AT 50 LB/ ACRE.
 - IF HYDROSEEDING, ADD MULCH AND TACKIFIER TO ABOVE.
- 2.1. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
- 2.2. ANY MATERIAL STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
- 2.3. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPED PLAN.
- 2.4. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
- 2.5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
3. **STRAW WATTLE.** STRAW WATTLES (OR FIBER ROLLS) SHALL BE INSTALLED ALONG THE CONTOUR OF THE SLOPE TO SLOW RUNOFF VELOCITY AND TRAP SEDIMENT. STRAW WATTLES SHALL BE INSTALLED WHEREVER THE DISTURBED SLOPE IS ADJACENT TO A STREAM OR DRAINAGE COURSE. TRENCH DEPTH SHALL BE 1/2 TO 3/4 OF THE THICKNESS OF THE WATTLE, AND THE WIDTH SHALL EQUAL THE WATTLE DIAMETER, IN ORDER TO PROVIDE AREA TO BACKFILL THE TRENCH. WOOD STAKES SHALL BE INSTALLED EVERY FOUR FEET THROUGH THE WATTLE AND THE END SHALL BE TURNED UP HILL TO PREVENT RUNOFF FORM GOING AROUND THE WATTLE.

- LEGEND:**
- LIMIT OF DISTURBANCE
 - (E) CONTOUR
 - (E) PROPERTY LINE/EASEMENT
 - (E) CLIFF
 - (E) TRAIL
 - (E) FENCE
 - ▨ BUILDING
 - (E) TREE
 - SAWCUT
 - (E) ROAD
 - (N) ROAD
 - ▨ MULCH AND SEED
 - ▨ EROSIONAL CONTROL BLANKET
 - ||||| STRAW WATTLE



4. **CONCRETE WASHOUT.** TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. THE CONCRETE WASHOUT FACILITY SHALL BE BELOW GRADE AND CONSTRUCTED WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET. TEMPORARY CONCRETE FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT SHALL HAVE A 10 MIL POLYETHYLENE PLASTIC LINER. WHEN CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE AND MATERIALS FOR THE WASHOUT SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS, OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE CONCRETE WASHOUT SHOULD BE BACKFILLED AND REPAIRED.

5. **EROSION CONTROL BLANKET.** THE EROSION CONTROL BLANKET SHALL BE CONSTRUCTED OF JUTE FIBERS, CURLED WOOD FIBERS, STRAW, COCONUT FIBER, OR A COMBINATION OF THESE MATERIALS.

- 5.1. CONSTRUCTION GUIDELINES
 - 5.1.1 GRADE AND SHAPE AREA OF INSTALLATION
 - 5.1.2 REMOVE ALL ROCK, CLODS, AND VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKET WILL HAVE DIRECT CONTACT WITH THE SOIL.
 - 5.1.3 LOOSEN 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE
 - 5.1.4 U-SHAPED WIRE STAPLES, METAL GEOTEXTILE STAKE PINS OR TRIANGULAR WOODEN STAKES CAN BE USED TO ANCHOR MATS TO THE GROUND SURFACE. WIRE STAPLES SHOULD BE A MINIMUM OF 11 GAUGE. METAL STAKE PINS SHOULD BE 3/16 INCH DIAMETER STEEL WITH A 1 1/2 INCH STEEL WASHER AT THE HEAD OF THE PIN. WIRE STAPLES AND METAL STAKES SHOULD BE DRIVEN FLUSH TO THE SOIL SURFACE. ALL ANCHORS SHOULD BE 6-8 INCHES LONG AND HAVE SUFFICIENT GROUND PENETRATION TO RESIST PULLOUT. LONGER ANCHORS MAY BE REQUIRED FOR LOOSE SOILS.
 - 5.1.5 EROSION CONTROL BLANKETS AND HYDROSEED SHALL BE INSTALLED ON ALL DISTURBED SLOPES WITH GREATER THAN 20% GRADES.
- 5.2. INSTALLATION ON SLOPE:
 - 5.2.1 BEGIN AT THE TOP OF THE SLOPE AND ANCHOR THE BLANKET IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL TRENCH AND TAMP EARTH FIRMLY.
 - 5.2.2 UNROLL BLANKET DOWNSLOPE IN THE DIRECTION OF WATER FLOW. BLANKET SHOULD BE UNROLLED SLOWLY IN A CONTROLLED MANNER TO ACHIEVE DIRECT CONTACT WITH THE SOIL.
 - 5.2.3. THE EDGE OF ADJACENT PARALLEL ROLLS MUST BE OVERLAPPED 2-3 INCHES AND BE STAPLED EVERY 3 FEET.
 - 5.2.4. WHEN BLANKETS MUST BE SPICED, PLACE BLANKET END OVER END (SHINGLE STYLE) WITH 6 INCH OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12 INCHES APART.
 - 5.2.5. LAY BLANKET LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL, DO NOT STRETCH.
 - 5.2.6. BLANKETS SHALL BE STAPLED SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL. STAPLES SHALL BE PLACED DOWN THE CENTER AND STAGGERED WITH THE STAPLES PLACED ALONG THE EDGES. STEEP SLOPES, 1:1 TO 2:1 REQUIRE 2 STAPLES PER SQUARE YARD. MODERATE SLOPES, 2:1 TO 3:1, REQUIRE 1-2 STAPLES PER SQUARE YARD (1 STAPLE 3 O.C.). GENTLE SLOPES REQUIRE 1 STAPLE PER SQUARE YARD.

6. **OTHER PROVISIONS**

- 6.1. IF CONSTRUCTION OCCURS BETWEEN OCTOBER 15TH AND APRIL 15TH, EXPOSED SOIL NOT INVOLVED IN IMMEDIATE CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM EROSION AT ALL TIMES. AFTER APRIL 15TH, EROSION CONTROL MEASURES SHALL BE IN PLACE DURING INCLEMENT WEATHER.
- 6.2. EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE BY THE CONTRACTOR UNTIL NATIVE VEGETATION HAS BEEN ESTABLISHED AND PROVIDES NECESSARY SLOPE COVER (MINIMUM 70% COVER).

EROSION CONTROL PLAN

FALL CREEK ENGINEERING, INC.
 Consulting Engineers
 Civil+Environmental+Water Resources
 1525 SEABRIGHT AVE.
 SANTA CRUZ, CA 95062
 TEL (831) 426-9054

Seal

Revisions

No.	Description	Date

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ANDERSON CANYON RETREAT

ANKLE CRISPER
 53150 Highway 1
 Big Sur, CA 93920
 APN 420-021-039

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EROSION CONTROL PLAN

Scale	AS SHOWN
Date	MARCH 2016
BCJ Project Number	14401
FCE Project Number	21526

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EXISTING VEGETATION PLAN

Scale AS SHOWN

Date MARCH 11, 2016

BCJ Project Number 14401

L-100



PROPOSED NEW TREE, TYP
 - NATIVE, EVERGREEN SPECIES
 - 60" BOX MIN

TOP OF CLIFF, TYP

IRRIGATED LANDSCAPE ZONE FOR FUEL SAFETY, 30-FOOT OFFSET FROM PROPOSED BUILDING

VEGETATION MANAGEMENT ZONE FOR FUEL SAFETY, 100-FOOT OFFSET FROM PROPOSED BUILDING

EXISTING TREE TO REMAIN, TYP

PROPERTY LINE - L.O.W.



LEGEND

EXISTING CLIFF FACE VEGETATION TO REMAIN

BLUFF PLANTING:
 - 25% CEANOTHUS GLORIOSUS 'ANCHOR BAY'
 - 25% RHAMNUS CALIFORNICA
 - 25% ARCTOSTAPHYLOS 'CARMEL SUR'
 - 25% ERIOGONUM GIGANTEUM
 - SIZE: 1 GALLON
 - SPACING: 30" OC TRIANGULAR
 - IRRIGATION METHOD: DRIP; IRRIGATION PROVIDED ON A SEPARATE VALVE TO BE SHUT OFF UPON ESTABLISHMENT

MEADOW GRASS PLANTING:
 - 40% FESTUCA RUBRA
 - 30% FESTUCA IDAHOENSIS
 - 30% FESTUCA OCCIDENTALIS
 - SOD INSTALLATION
 - IRRIGATION METHOD: SPRAY

ROOF PLANTING OF NATIVE GRASS AND PERENNIAL SPECIES:
 - 25% ERIGERON GLAUCUS 'SEA BREEZE'
 - 25% STIPA PULCHERA
 - 25% ACHILLEA MILLEFOLIUM
 - 25% DUDLEYA PULVERULENTA
 - SIZE: 4" POTS
 - SPACING: 12" OC TRIANGULAR
 - IRRIGATION METHOD: SPRAY

TURF BLOCK SEED
 - BOLERO PLUS TURF SEED

FOREST PLANTING:
 - IRRIGATION METHOD: DRIP
 - SHRUBS:
 40% RHAMNUS CALIFORNICA, 1 GALLON
 30% POLYSTICHUM MUNITUM, 1 GALLON
 30% HETEROMELES ARBUTIFOLIA, 5 GALLON
 6'-0" OC TRIANGULAR SPACING
 - PERENNIALS:
 50% ASARUM CAUDATUM, 4" POT
 50% FRAGARIA CHILOENSIS, 4" POT
 10" TRIANGULAR

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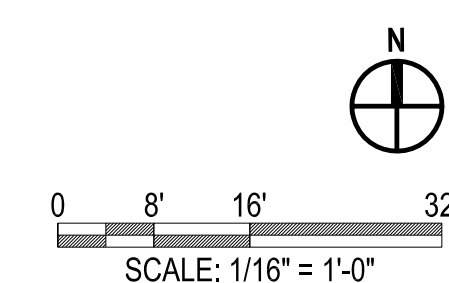
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PLANTING PLAN

Scale AS SHOWN

Date MARCH 11, 2016

BCJ Project Number 14401



L-200

CMP PROJECT INFO

ADDRESS: 53150 HIGHWAY 1
BIG SUR, CA

SITE CONTACT: JON KNIGHT
53150 HIGHWAY 1,
BIG SUR, CA

WASTE MANAGEMENT SITE (LANDFILL): MONTEREY REGIONAL WASTE MANAGEMENT
14201 DEL MONTE BLVD
MARINA, CA 93933

PROJECTED START DATE: AUGUST 2016
(60 DAYS TO COMPLETE GRADING)

PROJECTED END DATE: AUGUST 2018

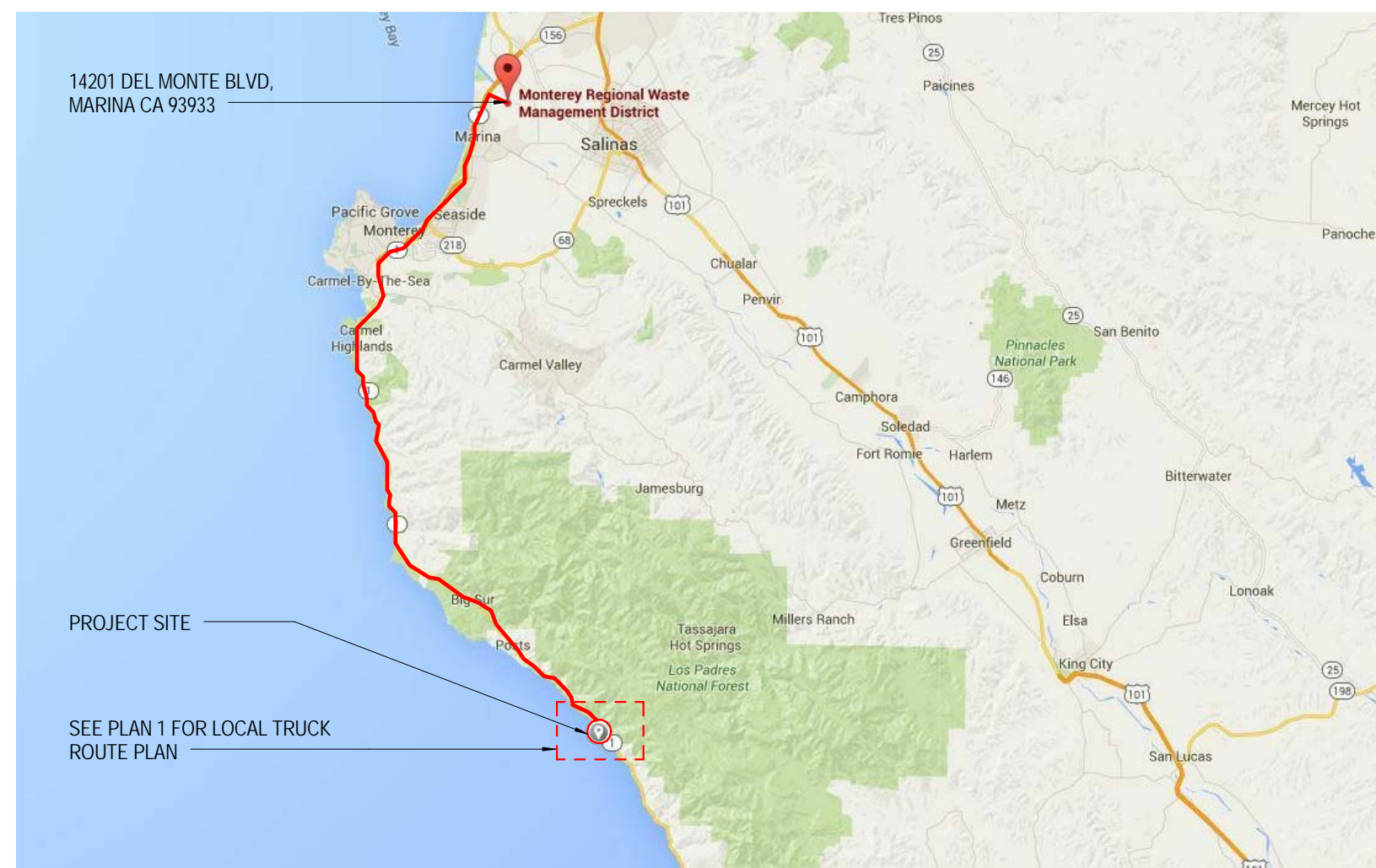
HOURS OF OPERATION: 8AM TO 5PM (MONDAY-FRIDAY)

AMOUNT OF GRADING: 1,030 CY CUT

CONSTRUCTION VEHICLE TYPE: DUMP TRUCK

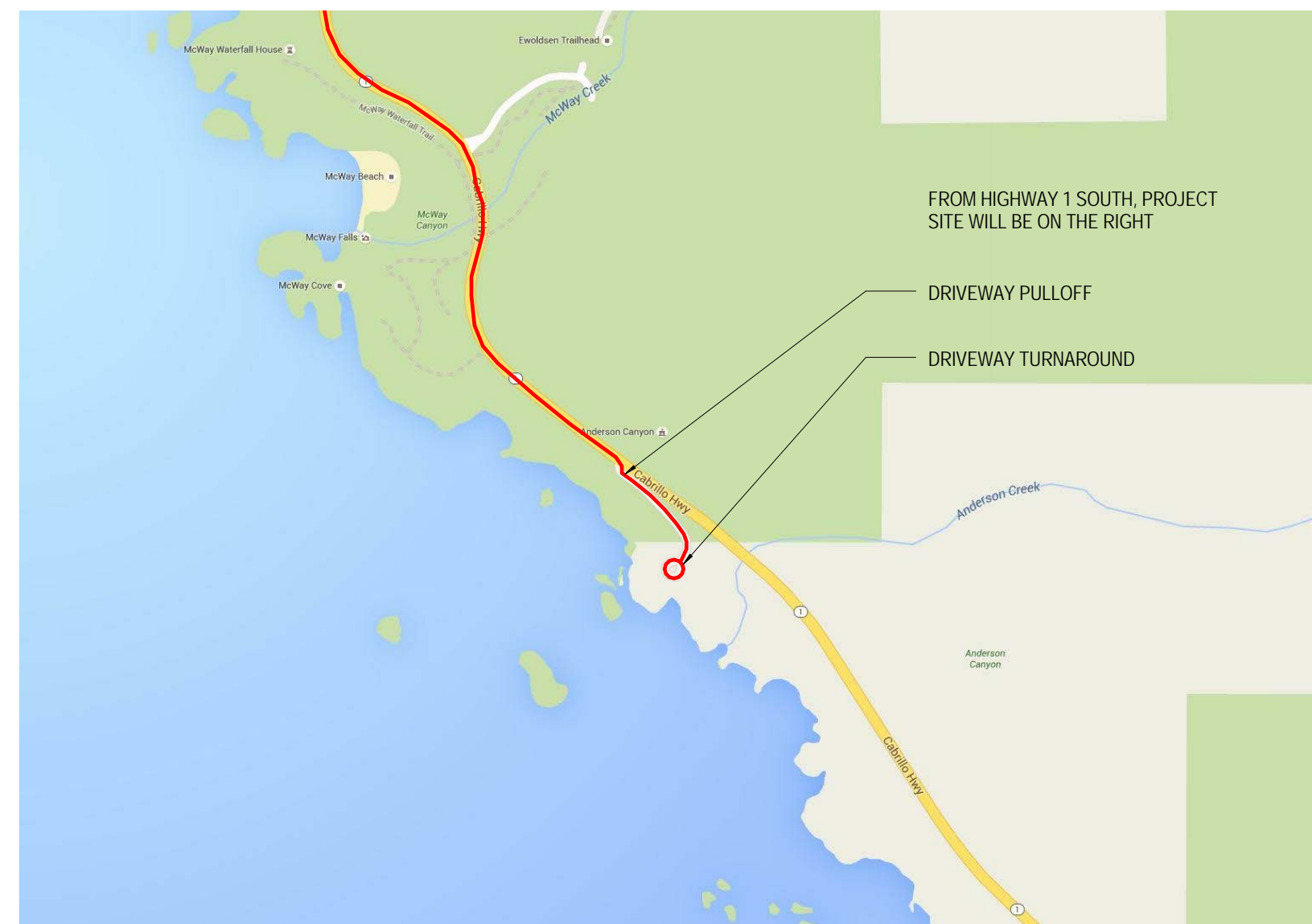
NUMBER OF TRUCK TRIPS GENERATED: 2 MAX PER DAY

NUMBER OF CONSTRUCTION WORKERS: 20 MAX AT ANY TIME



2 OVERALL TRUCK ROUTE PLAN

CM-100



1 LOCAL TRUCK ROUTE PLAN

CM-100

CONSTRUCTION STAGING NOTES

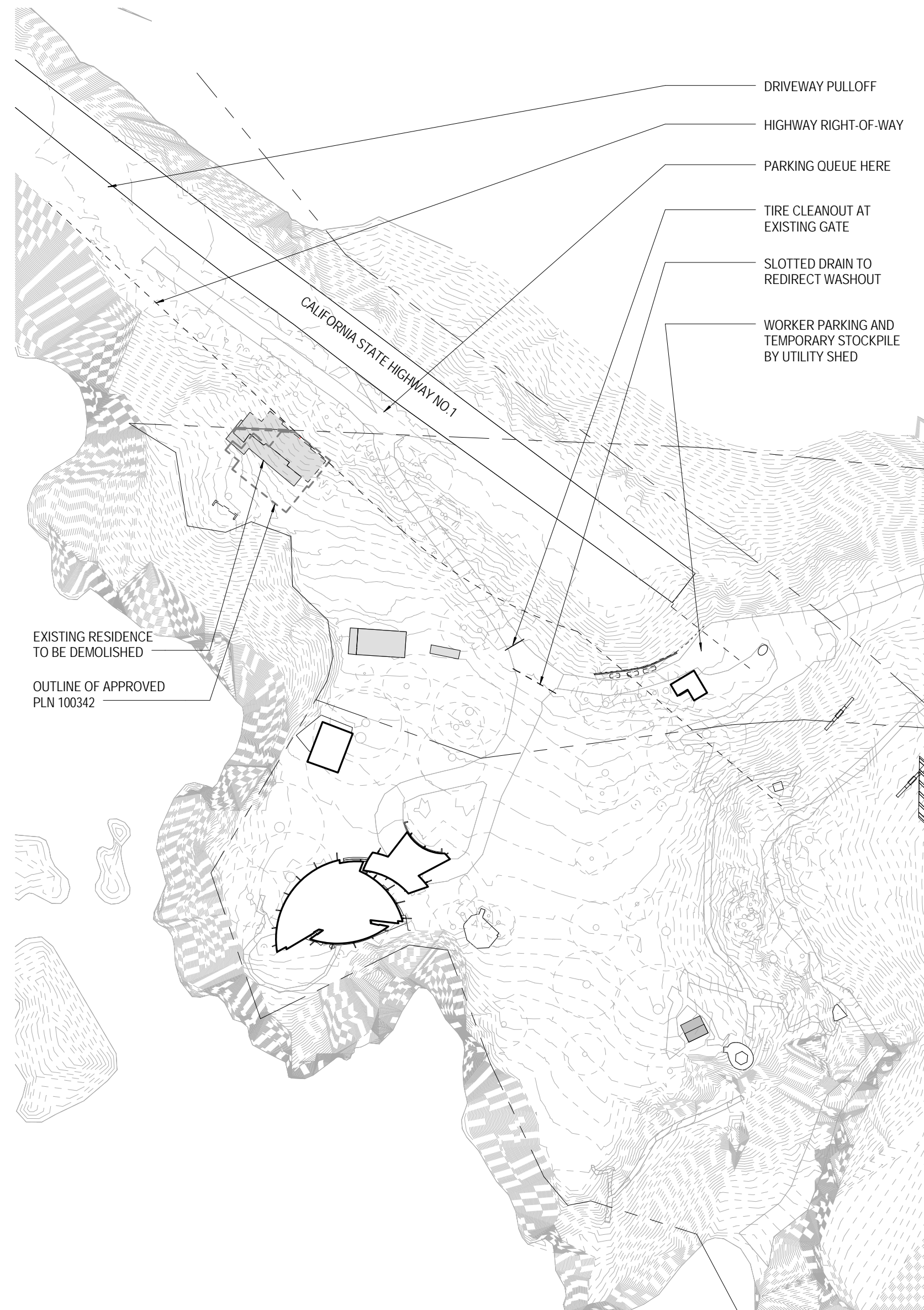
- IF JOB TRAILER IS TO BE UTILIZED, IT MUST BE LOCATED WITHIN THE PROPERTY OUTSIDE OF THE BUILDING SETBACKS.
- IF STORAGE UNIT OR DUMPSTER IS TO BE UTILIZED, IT MUST BE LOCATED WITHIN THE PROPERTY OUTSIDE OF THE BUILDING SETBACKS.
- CONSTRUCTION FENCING WILL ONLY BE UTILIZED FOR TREE PROTECTION.
- THERE SHALL BE NO DELIVERIES OR RUNNING OF EQUIPMENT PRIOR TO 8:00 AM. FAILURE TO COMPLY WITH CONSTRUCTION HOURS WILL RESULT IN A STOP WORK NOTICE.
- AT NO TIME SHALL THE STREET BE CLOSED OR BLOCKED. FLAGMEN SHALL BE USED AT ALL TIMES WHEN DELIVERIES OR CONSTRUCTION RESTRICT ANY PORTION OF THE RIGHT-OF-WAY.

WORKER PARKING NOTE

IF ONSITE PARKING FOR WORKERS IS LIMITED, WORKERS SHALL PARK IN THE PUBLIC RIGHT-OF-WAY ALONGSIDE HIGHWAY 1 IN THE GRAVEL TURNOUT AS NECESSARY OBEYING ALL PARKING LAWS. ON STREET VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF HIGHWAY 1 ONLY. VEHICLES MAY NOT PARK ON BOTH SIDES OF HIGHWAY 1. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. SEE PLAN 5 ON C-100.

LIMITS OF CONSTRUCTION

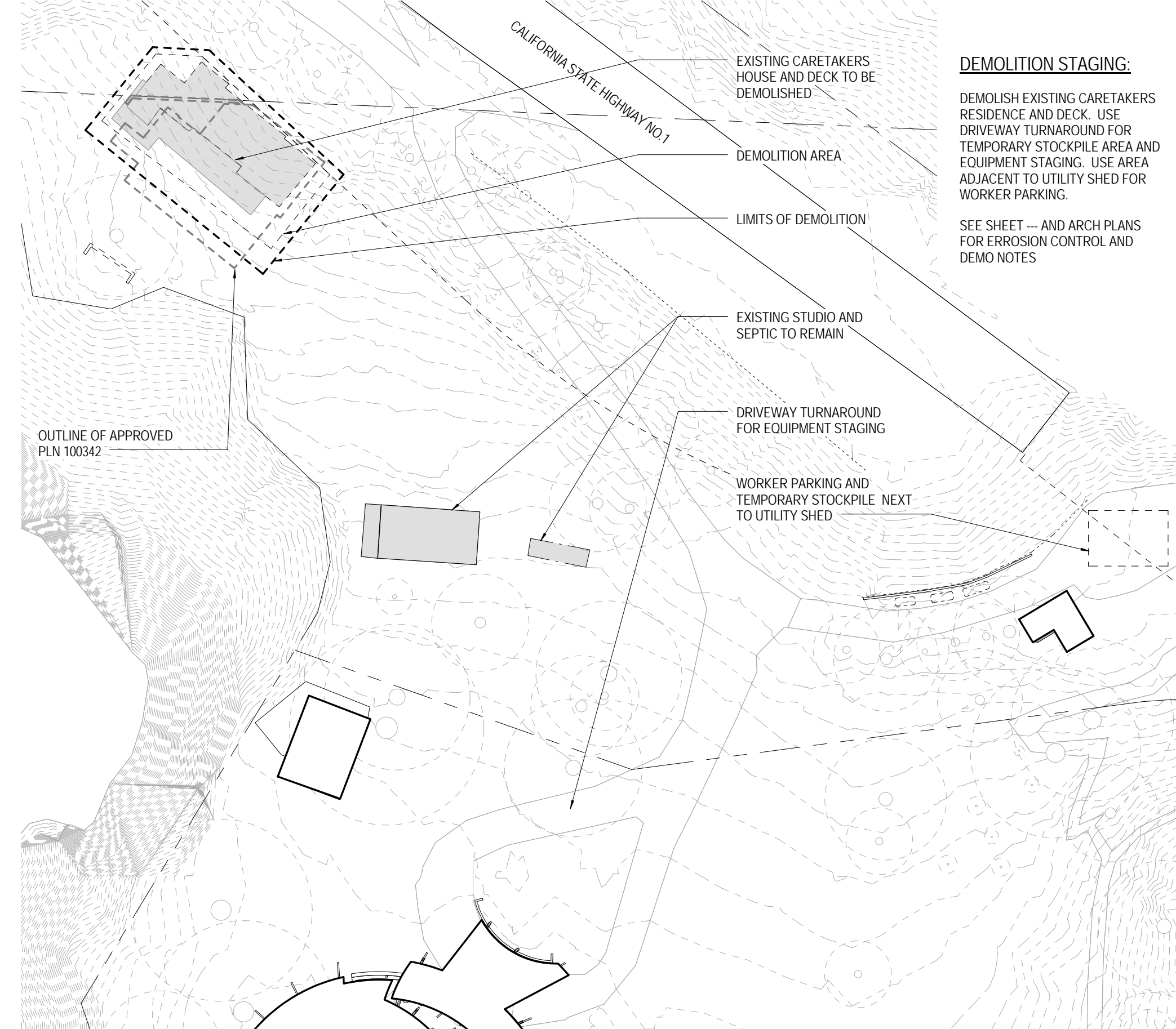
ALL CONSTRUCTION SHALL STAY WITHIN THE BOUNDARY SHOWN. PROTECT TREES AND VEGETATION THAT ARE TO REMAIN.



5 SITE - DEMOLITION STAGING PLAN

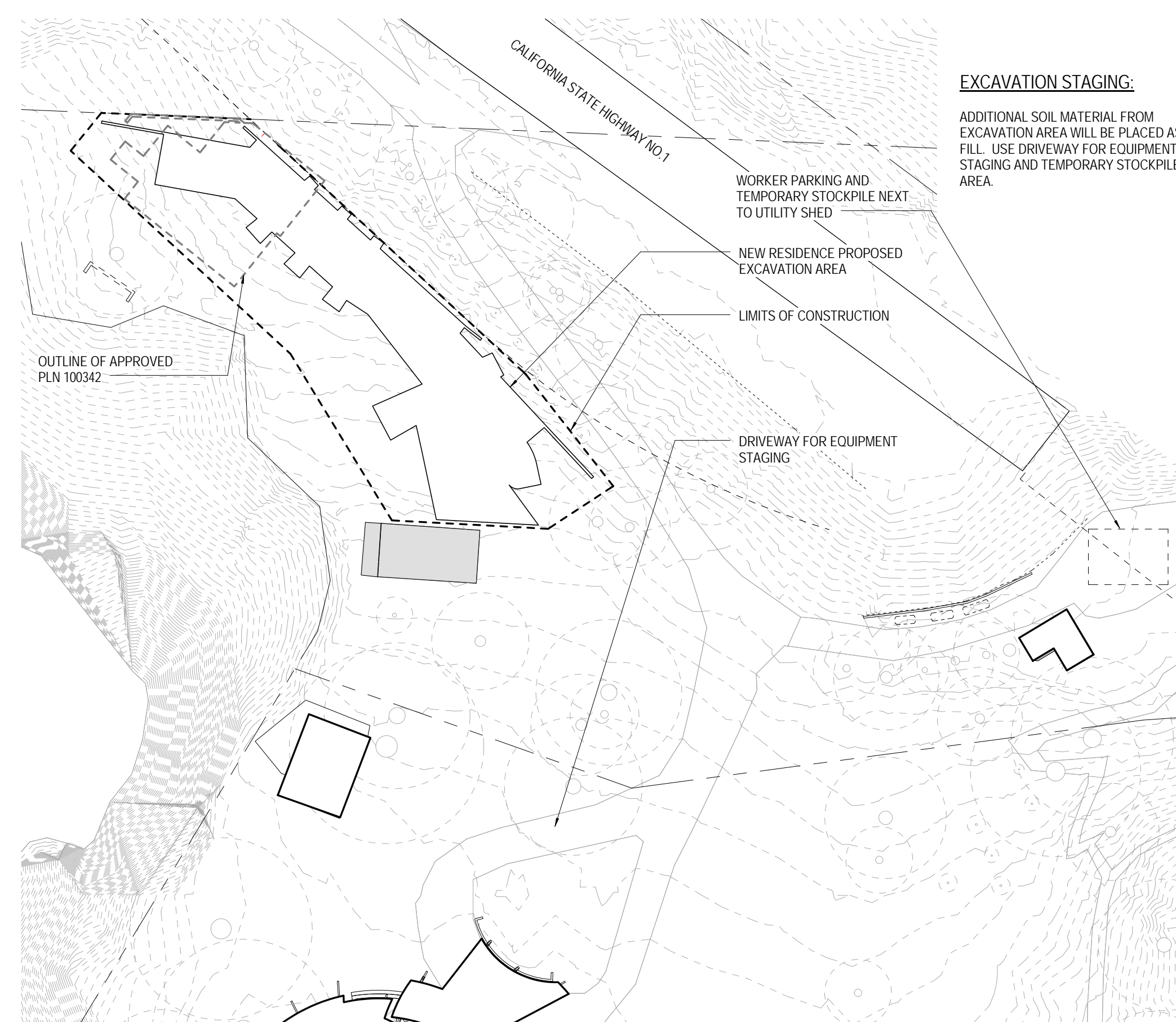
CM-100

DEMOLITION AND EXCAVATION NOTES:



3 SITE - DEMOLITION STAGING PLAN

CM-100



4 SITE - EXCAVATION STAGING PLAN

CM-100

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CONSTRUCTION MANAGEMENT PLAN
COUNTY FILE NO. PLN 150354

Scale: As indicated
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BCJ Project Number: 14401

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