

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

KANTOR JUSTIN M (PLN240274)

RESOLUTION NO. 25-035

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exemptions pursuant to CEQA Guidelines section 15300.2;
- 2) Approve the Administrative Permit and Design Approval to allow for the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage.

[PLN240274, Kantor Justin M, 26170 Rinconada Drive, Salinas, Toro Area Plan (APN: 416-051-017-000)]

The KANTOR JUSTIN M application (PLN240274) came on for an administrative decision hearing before the County of Monterey Chief of Planning on August 20th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Toro Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 26170 Rinconada Drive, Salinas, Toro Area Plan (APN: 416-051-017-000). The parcel is zoned Rural Density Residential with Building Site 8 and Visual Sensitivity overlays

or “RDR/B-8-VS”, which allows for the establishment of the first single-family dwelling as a principally allowed use. The Visual Sensitivity overlay requires the granting of an Administrative Permit and Design Approval for all structures that have been determined to not have a potential substantial adverse visual impact when viewed from a common public viewing area. The project involves the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage. Upon review of the installed staking and flagging, HCD-Planning staff determined that the project would not be visible from any public viewing areas (see subsequent Evidence “d”). Access will be provided via a new driveway from Rinconada Drive. Associated site improvements include a 5,000 gallon water tank, chicken coop, 800-square-foot ground-mounted solar array, and septic system. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property is shown in its current configuration as “Parcel C” on a Parcel Map recorded for Minor Subdivision 78-141, dated December 1980. Therefore, the County recognizes the project site as a legal lot of record.
- d) Visual Resources and Design. The project site and surrounding area are designated as a Visually Sensitive “VS” zoning district, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area such as Laureles Grade, San Benancio Road, and Highway 68. The nearest public viewing area is Laureles Grade (600 feet west), however the staking and flagging for the project was not visible from Laureles Grade nor any other common public viewing area. Due to the topography of the site and existing vegetation, the proposed dwelling and other improvements will not be visible from Laureles Grade or a public viewing area. Existing trees along Laureles Grade and on the adjacent properties screen the subject parcel from view while traveling the scenic corridor of Laureles Grade. Even without the screening provided by trees along Laureles Grade, proposed development on the subject parcel will not be visible due to the site being situated at a lower elevation below existing homes. Subject properties within a VS zoning district overlay are also subject to design standards outlined in Title 21, Chapter 21.44, which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The single-family dwelling and attached garage have a modern architectural style with rural finishes, and exterior colors and materials that consist of beige and blue wooden siding, and white wooden framed windows and doors. The residences within the vicinity vary in architectural style, ranging from modern-style homes to craftsman-style homes. The exterior finishes do not detract from the surrounding environment and are consistent with the surrounding residential neighborhood character. A standard condition of approval (Condition No. 7) is included to ensure that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas, in accordance with General Plan Policy LU- 1.13. The project, as

designed and sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- e) Development Standards. The site development standards for the RDR and B zoning Districts are identified in Title 21 sections 21.16.060 and 21.42.030, respectively. The B-8 overlay requires setbacks to be not less than the B-4 requirements, which are 30 feet (front), 10 percent (side), and 20 feet (rear). The project will have setbacks of approximately 200 feet (front) and 100 feet (rear and side). The maximum height allowed for main structures in the RDR zoning district is 30 feet, and the project will have a height of 19 feet 6 inches. The maximum building site coverage allowed is 25%, and the project will result in 11.2% coverage. Therefore, the project meets all required development standards.
- f) B-8 Overlay. The subject property is within a B-8 overlay. Within the Toro Area Plan, the B-8 overlay was established due to known water supply constraints and intended to restrict development or land use intensification that would adversely affect the water supply. Pursuant to Title 21 section 21.42.030.H.1, the construction of the first single-family dwelling and accessory structures is exempt from the limitation of the B-8 zoning overlay.
- g) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Toro Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- h) The project planner conducted a site inspection on April 18th, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240175.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geotechnical (soils) and Biological resources. The following reports have been prepared:
 - “Geotechnical Report” (LIB250104) prepared by Belinda Taluban, Salinas, CA, March 27, 2024.
 - “Biological Assessment” (LIB250103) prepared by Nicole Nedeff, Carmel Valley, CA, March 11, 2025.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on April 18th, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. EHB has reviewed and approved the proposed On-Site Wastewater Treatment System (OWTS) design. Potable water will continue to be provided to the lot by Cal-Am.
 - c) Staff conducted a site inspection on April 18th, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on April 18th, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures.
 - b) As proposed, the project involves the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot

attached deck and 448 square foot attached garage. Therefore, the project meets the Class 3 Categorical Exemption requirements.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical or archaeological resources are present.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on April 18th, 2025.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appropriate authority to hear appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exemptions pursuant to CEQA Guidelines section 15300.2;
2. Approve the Administrative Permit and Design Approval to allow for the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage

All of which are in general conformance with the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 20th day of August 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240274

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative permit and Design Approval (PLN240274) allows the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage. The property is located at 26170 Rinconada Drive, Salinas (Assessor's Parcel Number 416-051-017-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 416-051-017-000 on August 20, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

OWNER:

Justin Kantor
632 West Curtis
Salinas, CA 93906
PH. (831)2385188
email:justinmkantor@hotmail.com

PROJECT SCOPE:

Construction of a new 1,566 square foot manufactured home with a 704 square foot detached deck and 448 square foot detached garage.

PROJECT INFORMATION:

ADDRESS: 26170 Riconada Drive
Carmel Valley, CA 93924
A.P.N.: 416-051-017-000
LEGAL DESC.: Parcel C, Volume 14, page 122
LOT AREA: 90,996.84 S.F. (2.029 acres)
ZONING: RDR/BBVS
SETBACKS: 100' front yard setback along Laureles Grade (40.2.4(T))
PLANNING: Toro Area

MAX BLDG. HT: X FT
GRADING: CUT = 650 CY FILL = 105 CY NET 545 CY CUT
TREE REMOVAL: None
LAND USE DESIGNATION: Residential Rural Density 5 Acres+/Unit
CONST. TYPE: V-B
WATER MANAGEMENT AGENCY: MPWMD
WATER SERVICE AGENCY: CAL-AM
MAIN STRUCTURES:
MINIMUM SETBACKS:
FRONT: THIRTY (30) FEET
SIDE: TWENTY (20) FEET
REAR: TWENTY (20) FEET
MAXIMUM HEIGHT: THIRTY (30) FEET.

PROJECT CODE COMPLIANCE:
TITLE 24,
2022 CALIFORNIA BUILDING CODE (CBC),
2022 CALIFORNIA RESIDENTIAL CODE (CRC),
2022 CALIFORNIA MECHANICAL CODE (CMC),
2022 CALIFORNIA PLUMBING CODE (CPC),
2022 CALIFORNIA ELECTRICAL CODE (CEC),
2022 CALIFORNIA ENERGY CODE (CENC) AND
CURRENT EDITION OF MONTEREY COUNTY CODE. [§18.02.070 MCC]

F.A.R.:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION
MAIN BUILDING			
LOWER FLOOR	N/A	N/A	N/A
MAIN FLOOR	N/A	N/A	1,566 S.F.
UPPER FLOOR	N/A	N/A	N/A
GARAGE	N/A	N/A	448 S.F.
CARETAKER UNIT	N/A	N/A	N/A
TOTAL	N/A	N/A	2,014 S.F.

F.A.R. ALLOWED: XXXX S.F. (XX%)
F.A.R. PROPOSED: XXXX S.F. (XX%)

SITE COVERAGE:

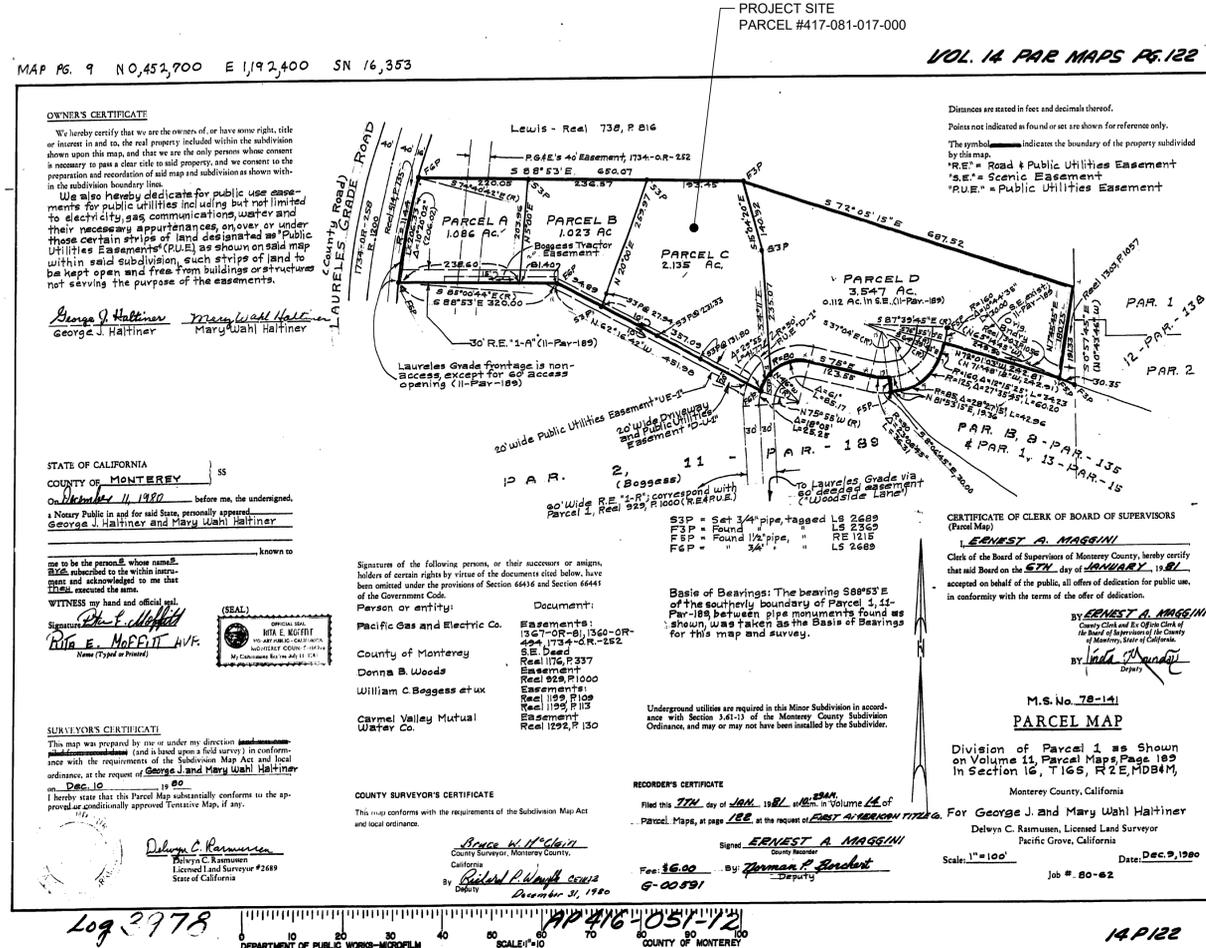
	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION
BUILDINGS	N/A	N/A	2,014 S.F.
DRIVEWAYS	N/A	N/A	7,476 S.F.
DECKS	N/A	N/A	704 S.F.
TOTAL	N/A	N/A	10,194 S.F.

LOT COVERAGE ALLOWED: XXXX S.F. (XX%)
LOT COVERAGE PROPOSED: 10,194 S.F. (11.2%)

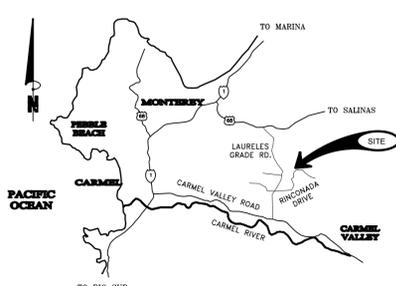
PROJECT TEAM:

LANDSCAPE ARCHITECT: Marion Weaver, CLA #5178
Environmental Planning & Design, Inc.
(831)596.6664
marion@EPDLA.com
CIVIL ENGINEER: Frank Campos
C3 Engineering, Inc.
(831) 647-1192
mail@C3Engineering.net
SOIL ENGINEER: Belinda Taluban
Taluban Engineering, Inc.
(831) 754-0545
taluban@sbcglobal.net

PARCEL MAP:



VICINITY MAP:

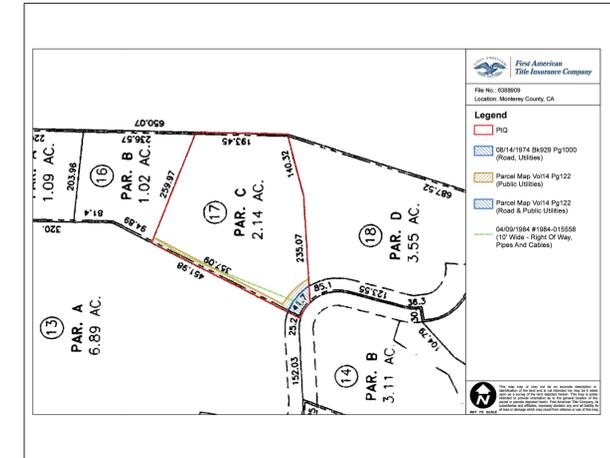


SHEET INDEX:

SHEET	NAME/DESCRIPTION
A1.0	Cover Sheet
A2.0	Site Plan
A3.0	Floor Plan
A3.1	Building Elevations: South & East
A3.2	Building Elevations: North & West
C1.0	Cover sheet & General Notes
C2.0	Existing Site Plan
C3.0	Overall Site Plan
C4.0	Grading & Drainage Plan
C5.0	Utility Plan
C6.0	Drainage Sections & Details
C7.0	Erosion & Sediment Control Plan
C8.0	Erosion & Sediment Control Details
SW1.0	Septic System Site Plan
L1.0	Landscape Plan
L2.0	Irrigation Plan & Prelim. Water Budget
L3.0	Construction Management Plan

TECHNICAL REPORTS: (LETTER SIZE SUBMITTALS):
CONSTRUCTION MANAGEMENT PLAN
GEOTECHNICAL REPORTS:
Soil surveys group, Inc. January 21, 2021 updated March 27, 2024
BIOTIC SURVEY/ ASSESSMENT:

PROJECT EASEMENTS:



WUI REQUIREMENTS:

- New buildings and structures located in any Fire Hazard Severity Zone ("Moderate", "High", "Very-High") in a State Responsibility Area shall comply with the requirements of CRC, Chapter 3 Section 337. Revise plans as necessary to demonstrate compliance with the following:
- Roof coverings:** Where the roof profile allows a space between the roof covering and roof decking, the spaces shall be constructed to resist the intrusion of flames and embers, be fire stopped with approved materials or have one layer of minimum 72 pound mineral surfaced nonperforated cap sheet complying with ASTM D3909 installed over the combustible decking.
 - Where *valley flashing* is installed, the flashing shall be not less than 26 ga. Galvanized sheet corrosion-resistant metal installed over not less than one layer of minimum 72-pound mineral-surfaced nonperforated cap sheet complying with ASTM D3909, at least 36-inch wide running the full length of the valley.
 - Roof gutters** shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
 - Roof and attic vents** shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with openings a minimum of 1/16-inch and shall not exceed 1/8-inch.
 - Vents** shall not be installed on the underside of eaves and cornices, unless the vents are approved to resist the intrusion of flame and embers, the attic space is sprinklered in accordance with CBC Sec. 903.3.1.1, or if the exterior wall and underside of the eave are of ignition resistant materials and the vents are located more than 12 feet from the ground or walking surface.
 - Exterior wall covering** or wall assembly shall be approved noncombustible material, ignition-resistant material, heavy timber, log wall construction, or shall meet the performance criteria of standard SFM 12-7A-1 for 10 minute direct flame contact exposure test. [§R327.7.3] See exceptions to this section for other alternatives.
 - Exterior wall coverings** shall extend from the top of the foundation to the roof, and terminate at 2-inch nominal solid wood blocking between rafters and eaves at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure.
 - The exposed roof deck** on the underside of unenclosed eaves shall be approved noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum board, or exterior portion of an approved one hour wall assembly. [§R327.7.4] See exceptions to these sections for other alternatives.
 - Exterior windows and exterior glazed doors** shall be multi-pane glazing with a minimum of one tempered pane, glass block units, have a fire resistance rating of 20 minutes when tested in accordance with NFPA 257, or meet the requirements of SFM 12-7A-2.
 - Exterior doors** shall be of approved noncombustible construction or ignition-resistant material, solid core wood having stiles and rails not less than 1-3/8 inches thick with interior field panel thickness no less than 1- 1/4 inches thick, shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, or meet the requirements of SFM-7A-1.
 - Decking:** The walking surface material of decks, porches, balconies and stairs shall be constructed with ignition resistant or noncombustible material or exterior fire retardant treated wood.

Environmental Planning & Design, Inc.
LANDSCAPE ARCHITECTURE
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p. 831.596.6664
w. WWW.EPDLA.COM

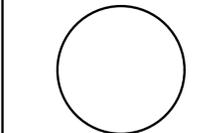
DATE: 3/8/2025
SCALE: AS NOTED
DRAWN BY: MCW



Revisions:

PROJECT TITLE:

Kantor Residence
Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017



SHEET TITLE: COVER SHEET

Project #24.001
SHEET #

A1.0

DATE:
 3/8/2025

SCALE:
 AS NOTED

DRAWN BY:
 MCW

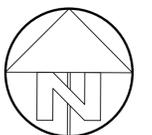


Revisions:

PROJECT TITLE:

Kantor Residence

Laureles Grade Road
 26170 Riconada Drive
 Carmel Valley, CA 93924
 APN 416-051-017



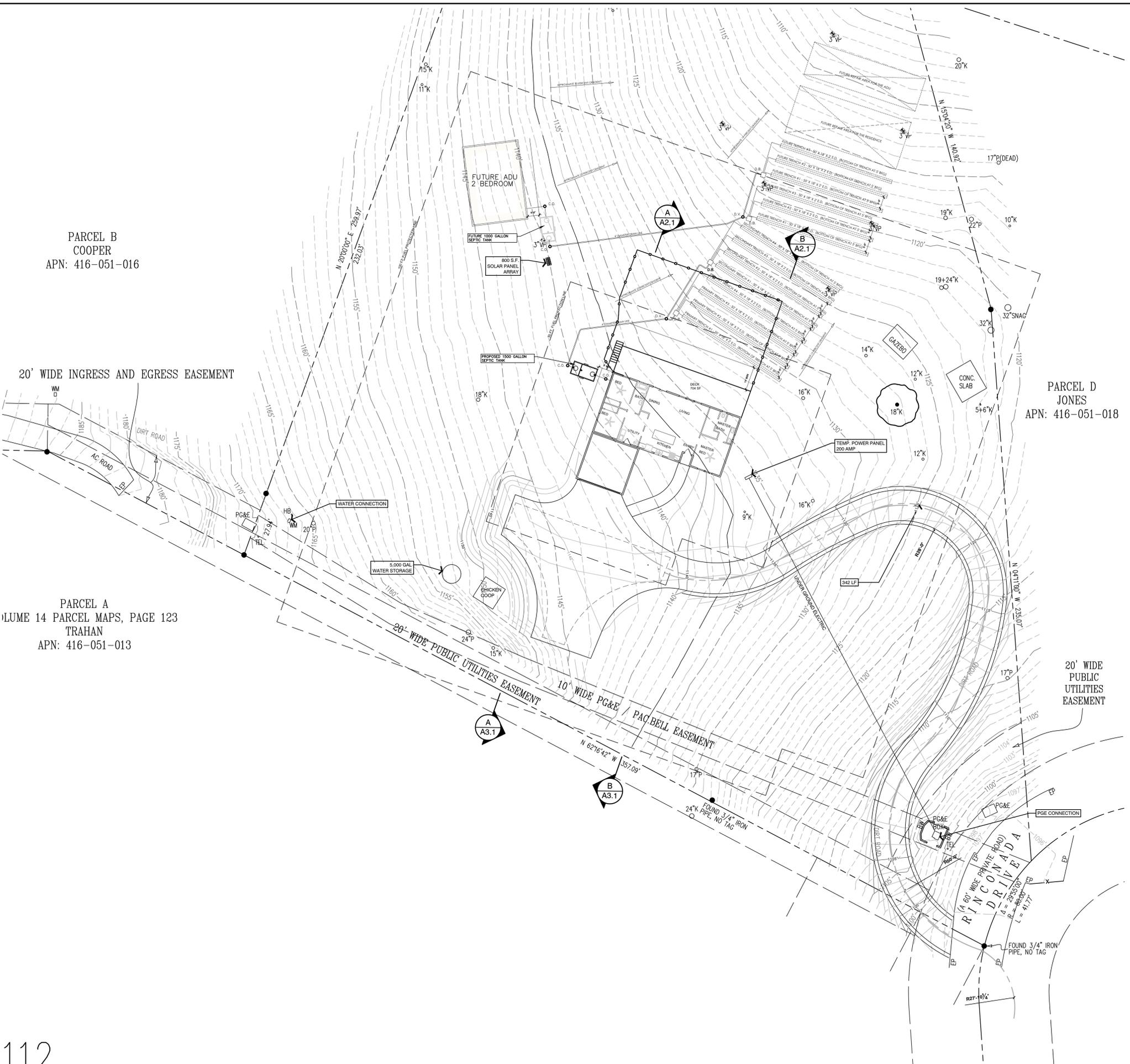
SHEET TITLE:

Site Plan

Project #24.001

SHEET #

A2.0



PARCEL B
 COOPER
 APN: 416-051-016

20' WIDE INGRESS AND EGRESS EASEMENT

PARCEL A
 LUME 14 PARCEL MAPS, PAGE 123
 TRAHAN
 APN: 416-051-013

20' WIDE PUBLIC UTILITIES EASEMENT

10' WIDE PG&E
 PAC BELL EASEMENT

20' WIDE
 PUBLIC
 UTILITIES
 EASEMENT



DATE:
3/8/2025

SCALE:
AS NOTED

DRAWN BY:
MCW

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Revisions:

PROJECT TITLE:

**Kantor
Residence**

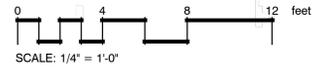
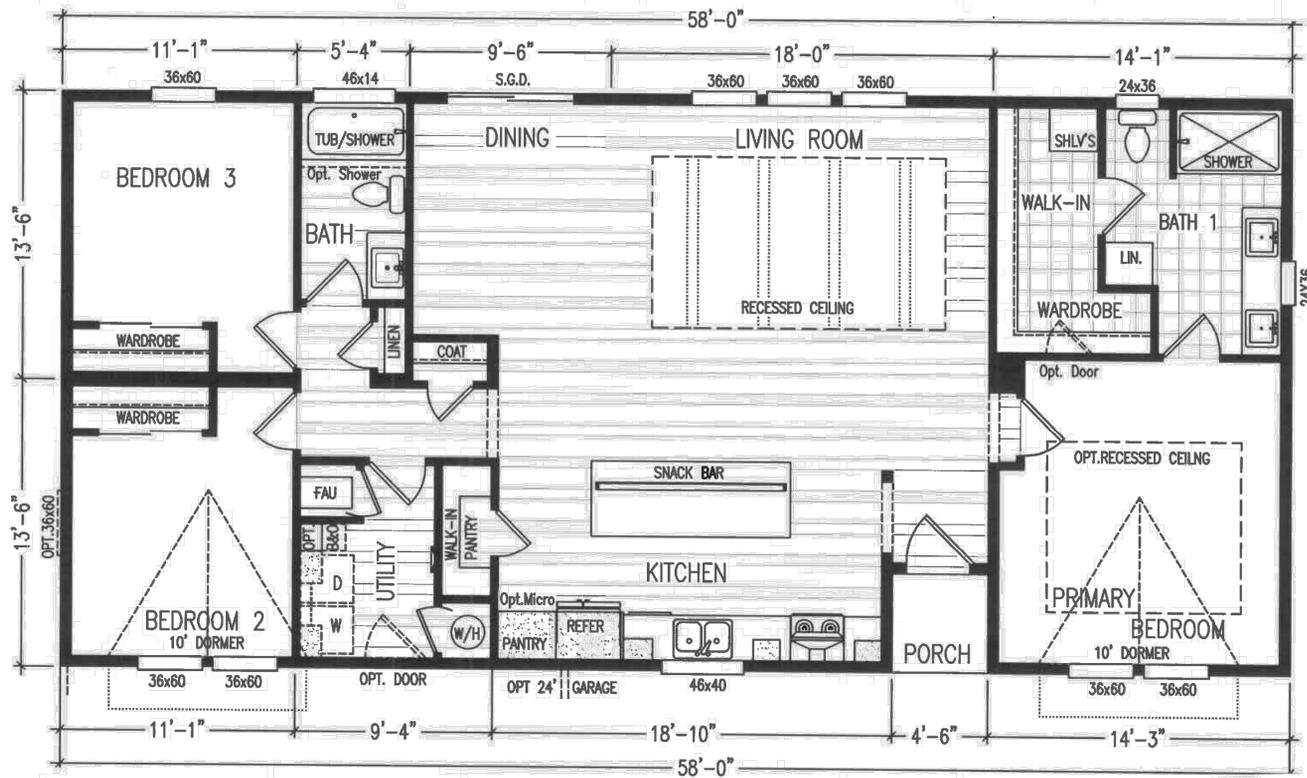
Laureles Grade Road
 26170 Riconada Drive
 Carmel Valley, CA 93924
 APN 416-051-017

SHEET TITLE:
Proposed
Floor Plan

Project #24.001

SHEET #

A3.0



CMH
 MANUFACTURING INC.
 9998 OLD PLACERVILLE ROAD
 Sacramento, CA. 95827
 Phone: (916) 363-2681; Fax: (916) 363-4537
 www.claytonhomes.com www.karstenhomes.com

DRAWING TITLE: **SALES FLOOR PLAN(ZERH)**

DRAWING FILE INFORMATION: STANDARD AS OF REVISION DATE

PRODUCT:	CORONADO SERIES	DESRIP.:	2758-A	MODEL NO.:	COR27583A
		SQUARE FT.:	1543 /1651	DATE:	04/15/19
DRAWN BY:		SHEET:		REVISED:	02-22-2023

DATE:
3/08/2025

SCALE:
AS NOTED

DRAWN BY:
MCW

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Revisions:

PROJECT TITLE:

**Kantor
Residence**

Laureles Grade Road
 26170 Riconada Drive
 Carmel Valley, CA 93924
 APN 416-051-017

SHEET TITLE:

Front Sidewall
 & Left Endwall
 Bldg. Elevations

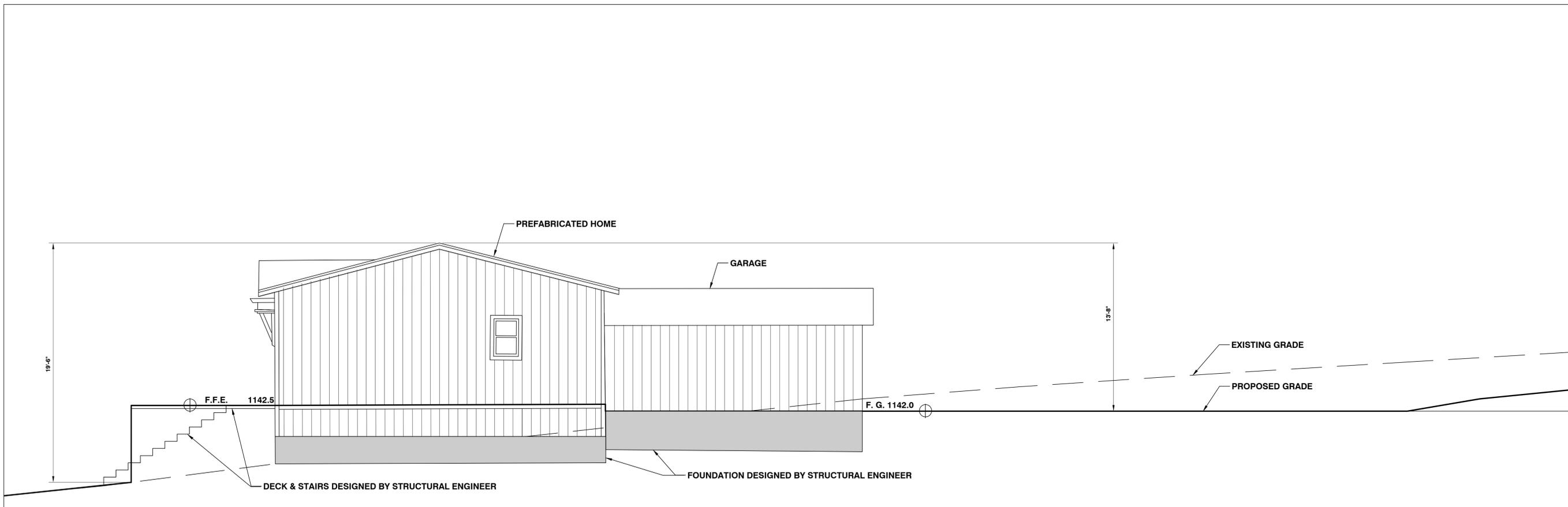
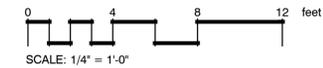
Project #24.001

SHEET #

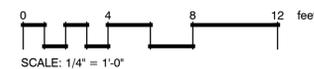
A3.1



- NOTES:**
1. 9' SIDEWALL WITH FLAT CEILING
 2. ROOF PITCH 3:12



A LEFT END WALL (WEST) ELEVATION



DATE:
 3/8/2025

SCALE:
 AS NOTED

DRAWN BY:
 MCW

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

Revisions:

PROJECT TITLE:

**Kantor
 Residence**

Laureles Grade Road
 26170 Riconada Drive
 Carmel Valley, CA 93924
 APN 416-051-017

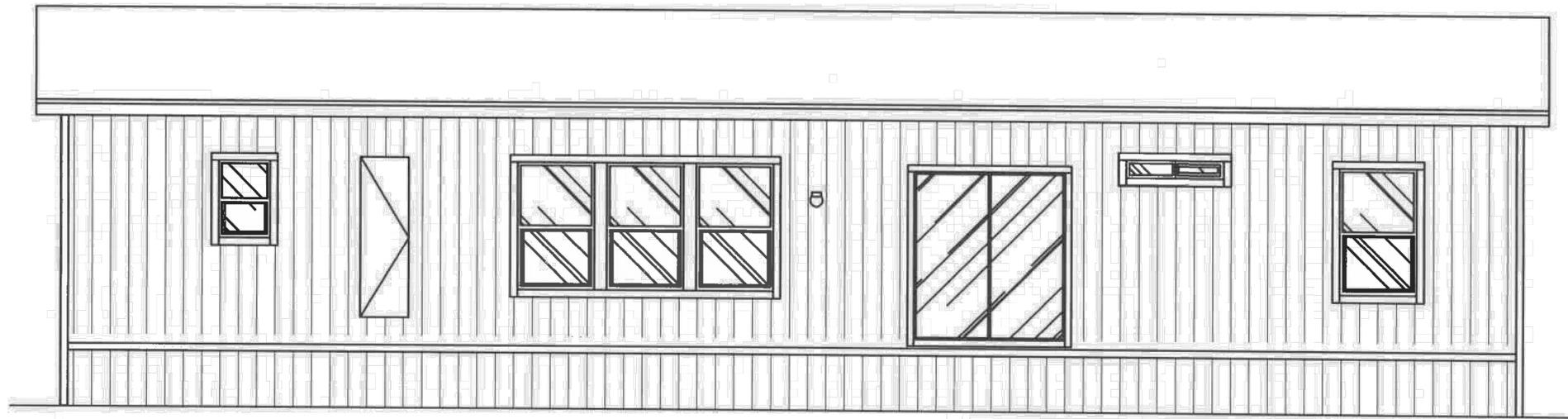
SHEET TITLE:

Rear Sidewall
 Right Endwall
 Bldg. Elevations

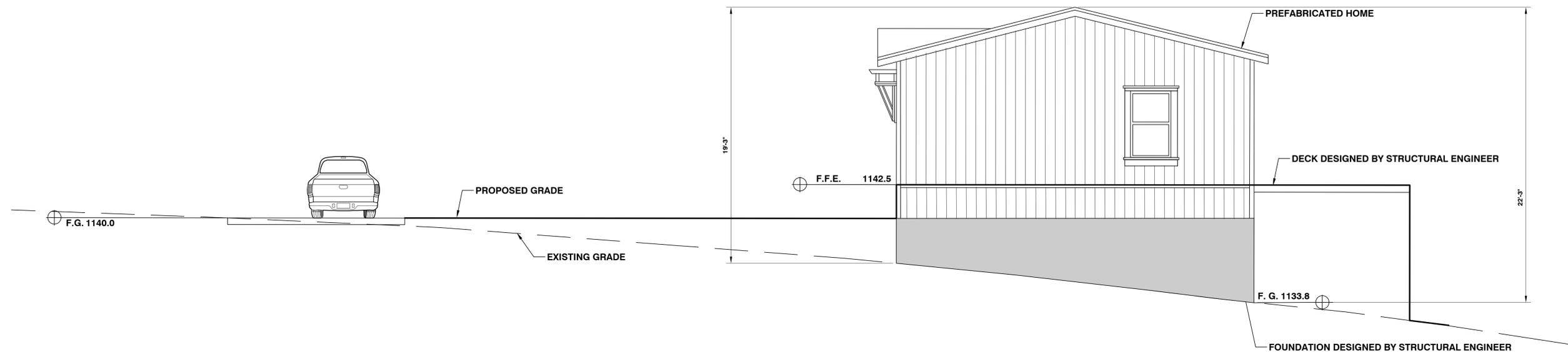
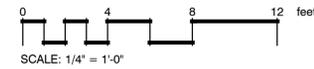
Project #24.001

SHEET #

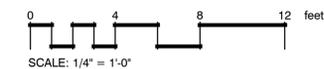
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REAR SIDEWALL ELEVATION



B RIGHT END WALL (EAST) ELEVATION



DATE:
 3/8/2025

SCALE:
 AS NOTED

DRAWN BY:
 MCW



Revisions:

PROJECT TITLE:

Kantor Residence

Laureles Grade Road
 26170 Riconada Drive
 Carmel Valley, CA 93924
 APN 416-051-017



SHEET TITLE:
 Concept Landscape Plan

Project #24.001

SHEET #

L1.0

PARCEL B
 COOPER
 APN: 416-051-016

20' WIDE INGRESS AND EGRESS EASEMENT

PARCEL A
 VOLUME 14 PARCEL MAPS, PAGE 123
 TRAHAN
 APN: 416-051-013

PLANTING NOTES:

- NO NEW PLANTING IS PROPOSED.
- AREAS OF NATIVE LANDSCAPE THAT WERE NOT DISTURBED SHALL BE LEFT UNTREATED.
- CLEAR UNDER STORY OF EXISTING TREES AND BRUSH WITHIN 100 FEET OF THE NEW BUILDING TO COMPLY WITH DEFENSIBLE SPACE REQUIREMENTS FOR FIRE PROTECTION.
- REMOVE ALL INVASIVE SPECIES: ACACIA SPECIES, PAMPAS GRASS, FRENCH BROOM (GENISTA) & ICE PLANT GROUND COVER WHERE FEASIBLE.
- 12 INCHES OF TOP SOIL & LEAF DEPOSIT SHALL BE SCRAPED OFF THE SURFACE AT START OF CONSTRUCTION AND STORED ON SITE FOR RE-USE AS NATIVE MULCH.
- AREAS THAT HAVE BEEN IMPACTED BY CONSTRUCTION SHALL RECEIVE RESTORATION OF THE TOP SOIL BY APPLYING THE SAVED NATIVE MULCH. THIS WILL ENCOURAGE THE NATIVE FAUNA TO BE RESTORED AS SOON AS POSSIBLE.

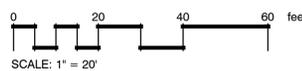
DEFENSIBLE SPACE GUIDELINES:

- MAINTAIN A FIREBREAK BY REMOVING AND CLEARING AWAY ALL FLAMMABLE VEGETATION AND OTHER COMBUSTIBLE GROWTH WITHIN 30 FEET OF EACH BUILDING OR STRUCTURE. SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL SPACED, WELL-PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
- DEAD AND DYING WOODY SURFACE FUELS AND AERIAL FUELS WITHIN THE REDUCED FUEL ZONE SHALL BE REMOVED. LOOSE SURFACE LITTER, NORMALLY CONSISTING OF FALLEN LEAVES OR NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES, SHALL BE PERMITTED TO A DEPTH OF 3 INCHES. THIS GUIDELINE IS PRIMARILY INTENDED TO ELIMINATE TREES, BUSHES, SHRUBS AND SURFACE DEBRIS THAT ARE COMPLETELY DEAD OR WITH SUBSTANTIAL AMOUNTS OF DEAD BRANCHES OR LEAVES/NEEDLES THAT WOULD READILY BURN.
- DOWN LOGS OR STUMPS ANYWHERE WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE, WHEN EMBEDDED IN THE SOIL, MAY BE RETAINED WHEN ISOLATED FROM OTHER VEGETATION. OCCASIONAL (APPROXIMATELY ONE PER STANDING DEAD TREES (SNAGS) THAT ARE WELL-SPACE FROM OTHER VEGETATION AND WHICH WILL NOT FALL ON BUILDINGS OR STRUCTURES OR ON ROADWAYS/DRIVEWAYS MAY BE RETAINED.

IRRIGATION NOTES:

THERE IS NO PERMANENT OR TEMPORARY IRRIGATION PROPOSED.

"I, MARION WEAVER, CLA #5178 CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE DROUGHT TOLERANT, NON INVASIVE SPECIES, LIMITED TURF AND LOW FLOW, WATER CONSERVING IRRIGATION FIXTURES."



PARCEL D
 JONES
 APN: 416-051-018

TREE PROTECTION NOTES:

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS INCLUDING, WITHOUT LIMITATION PAINT OIL SOLVENTS ASPHALT. PAINT OIL SOLVENTS ASPHALT, PRACTICES THE EROSION CONTROL PLAN SHEET

TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

VEHICULAR TRAFFIC: NO VEHICULAR AND OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD OR ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, ALL ROUTINE MOWING OPERATIONS.

NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM A CERTIFIED ARBORIST (CITY FORESTER).

ROOT PRUNING: ALL ROUTES 2 INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

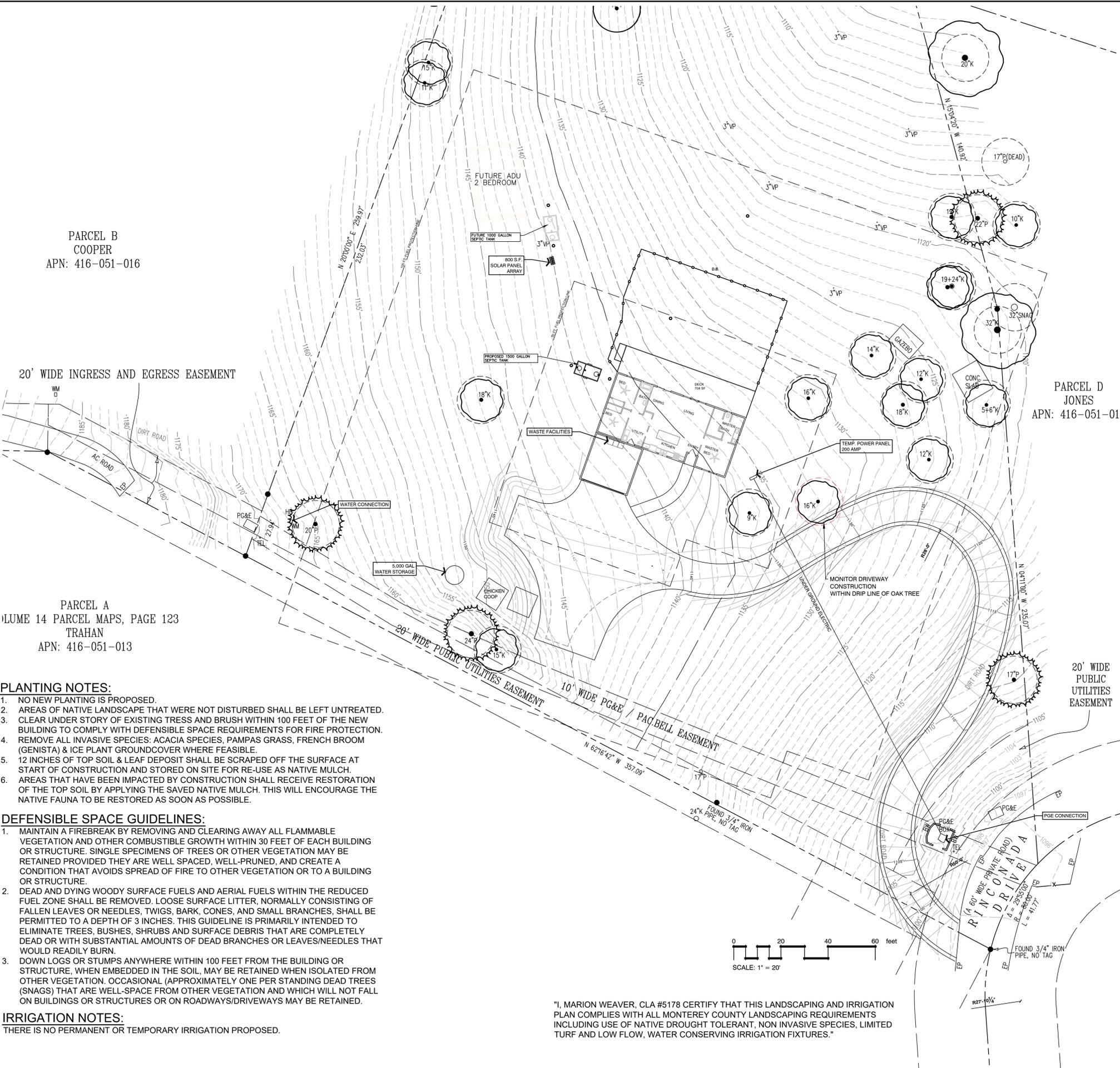
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, END MUNICIPAL/ PUBLIC DOMAIN PROJECTS.

PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY A CERTIFIED ARBORIST (I. A. CITY FORESTER), FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SIDE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

PROTECTIVE FENCING SHALL BE AT LEAST 4 FEET HIGH AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH A CERTIFIED ARBORIST (CITY FORESTER I.A.) ON BARK PROTECTION REQUIREMENTS.



GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
 - LATEST REVISION OF THE COUNTY OF MONTEREY OF DESIGN STANDARDS AND SPECIFICATIONS
 - LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).
 - THE PROJECT GEOTECHNICAL INVESTIGATION (DATED MARCH 27, 2024 BY SOIL SURVEYS GROUP INC.)
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.
- THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND/OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRIAGES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- CONTRACTOR SHALL POTHOLE AND VERIFY THAT A MINIMUM OF ONE FOOT OF VERTICAL SEPARATION CAN BE ACHIEVED AT ALL NEW SEWER CROSSINGS AND NOTIFY THE ENGINEER IF ANY EXISTING UTILITIES APPEAR TO BE IN CONFLICT.

STORM DRAIN

- ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.
- STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

SANITARY SEWER

- SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.
- PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE COUNTY.
- SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.
- SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

GRADING & DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE AND THE PROJECT SOILS REPORT.
- THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST THREE (3) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL INVESTIGATION. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL AS DIRECTED IN THE FIELD BY THE SOIL ENGINEER.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED IN WRITING BY THE SOILS ENGINEER.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT-BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- EARTHWORK QUANTITIES:
 - CUT = 650 CY
 - FILL = 105 CY
 - NET = 545 CY CUT

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.
- PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.
- BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.
- ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 1ST AND APRIL 30TH) THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)
- VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL, AS DETERMINED BY THE SOIL ENGINEER.
- FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
- THE ULTIMATE PURPOSE OF GRADING IS FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AND DRIVEWAY.

UNDERGROUND UTILITIES

- CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
- ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
- SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

BENCHMARK

ELEVATION BENCHMARK LOCATED ON MAG NAIL WITH WASHER ELEVATION = 1197.28. SEE SHEET C2 FOR LOCATION.

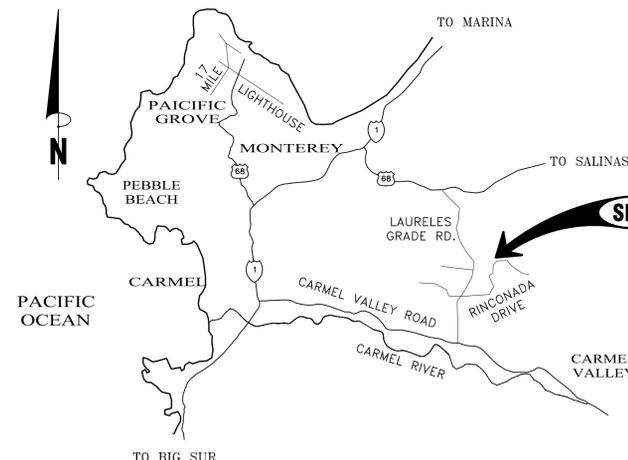
TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

- MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASQA CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET CX.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING. VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER.
- ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

- PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.
- ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.
- PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.
- THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

LEGEND

EXISTING		PROPOSED
---	BOUNDARY LINE	---
---	EASEMENT (ESMT)	---
---	CENTERLINE (CL)	---
SD	STORM DRAIN MAIN	SD
---	ROOF DRAIN LATERAL	---
SS	SANITARY SEWER MAIN	SS
W	WATER MAIN	W
---	DRAINAGE FLOW LINE	---
---	SAWCUT	---
---	GRADE BREAK	---
---	ACCESSIBLE PATH OF TRAVEL	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
X	FENCE	X
OH	OVERHEAD LINES	OH
×	SPOT ELEVATION	FG 171.13
■	DROP INLET (DI)	■
■	CURB INLET (CI)	■
■	AREA DRAIN (AD)	■
SDMH	STORM DRAIN MANHOLE (SDMH)	●
SSMH	SANITARY SEWER MANHOLE (SSMH)	●
FH	FIRE DEPARTMENT CONNECTION (FDC)	Y
FH	FIRE HYDRANT (FH)	●
PIV	POST INDICATOR VALVE (PIV)	●
WM	WATER METER (WM)	■
WV	WATER VALVE (WV)	×
CV	CHECK VALVE	▲
DCV	DOUBLE CHECK VALVE	▲
CO	CLEANOUT (CO)	●

SHEET INDEX

- C1 COVER & GENERAL NOTES
- C2 EXISTING SITE PLAN
- C3 OVERALL SITE PLAN
- C4 GRADING & DRAINAGE PLAN
- C5 UTILITY PLAN
- C5.0 PLAN & PROFILE (DRIVEWAY)
- C6 SECTIONS & DETAILS
- C7 EROSION CONTROL PLAN
- C8 EROSION CONTROL DETAILS



GEOTECHNICAL INSPECTION SCHEDULE

WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:
1) PRIOR TO BACKFILLING 2) DURING BACKFILL PLACEMENT - OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATION:		
1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:		
1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB-ON-GRADE INSTALLATION:		
1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:		
1) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:		
1) DURING FILL PLACEMENT 2) SUBGRADE, PRIOR TO BASE ROCK PLACEMENT 3) BASEROCK PRIOR TO AC, CONCRETE OR PAVEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE AND BASE ROCK PLACEMENT:		
1) AFTER PIPE PLACEMENT, PRIOR TO TO BACKFILL PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:		
1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:		

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 Drawing file: Z:\Projects\124138_Kantor Residence\Draw\124138_XBom.dwg
 Plotted: Jan 24, 2025 - 4:36pm

C3 ENGINEERING INCORPORATED
 Civil Engineering, Land Development,
 Stormwater Management



COVER SHEET
 & GENERAL NOTES
 KANTOR RESIDENCE
 APN# 416-051-017

Project Location: 26170 RICONADA DR., CARMEL VALLEY, CA 93924
 PREPARED FOR: KANTOR

SCALE: AS NOTED
 DATE: 09/30/2024
 DESIGN BY: FJC
 DRAWN BY: ECH
 CHECKED BY: FJC
 SHEET NUMBER:

C1

OF 9 SHEETS
 PROJECT# 124-138

MADE IN THE USA

REV. DATE DESCRIPTION

