

County of Monterey

Thyme Conference Room
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Meeting Agenda - Final

Thursday, June 26, 2025

9:30 AM

County of Monterey Zoning Administrator

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Zoning Administrator alternative actions on any matter before it.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

PLEASE NOTE: IF THE ZONING ADMINISTRATOR IS PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE ZONING ADMINISTRATOR.

You may participate through ZOOM. For ZOOM participation please join by computer audio at:

<https://montereycty.zoom.us/j/92771458150?from=addon>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Enter this Meeting ID number 927 7145 8150 when prompted.

PUBLIC COMMENT: Please submit your comment (limited to 250 or less) to the Clerk at zahearingcomments@countyofmonterey.gov. In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Zoning Administrator Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.

Public Comment Prior to Wednesday at 5:00 PM will be distributed to the Zoning Administrator via email.

Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate

alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

INTERPRETATION SERVICE POLICY: The County of Monterey Zoning Administrator invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the County of Monterey Housing and Community Development Department located in the County of Monterey Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Administrador de Zonificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

TENGA EN CUENTA: SI EL ADMINISTRADOR DE ZONIFICACIÓN ESTÁ PRESENTE EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL ADMINISTRADOR DE ZONIFICACIÓN.

Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en:

[https://montereycty.zoom.us/j/927 7145 8150](https://montereycty.zoom.us/j/92771458150)

O para participar por teléfono, llame a cualquiera de estos números a continuación:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Presione el código de acceso de reunión: 927 7145 8150 cuando se le solicite.

COMENTARIO PÚBLICO: Por favor envíe su comentario (limitado a 250 palabras o menos) al personal de la reunión del Administrador de Zonificación al correo electrónico:

zahearingcomments@co.monterey.ca.us. En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, Administrador de Zonificación) y el número de la agenda (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la reunión del Administrador de Zonificación.

Los comentarios públicos recibidos antes de las 5:00 p.m. el miércoles antes de la reunión del Administrador de Zonificación del Condado de Monterey se distribuirán por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

POLÍZA DE SERVICIO DE INTERPRETACIÓN: El Administrador de Zonificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:30 A.M - Call to Order**ROLL CALL**

Mike Novo, Zoning Administrator
Representative from Environmental Health
Representative from Public Works
Representative from Environmental Services

PUBLIC COMMENT

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Zoning Administrator Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Zoning Administrator as provided in Sections 54954.2 of the California Government Code.

ACCEPTANCE OF MINUTES

- A. Acceptance of the May 08, 2025 and May 29, 2025, County of Monterey Zoning Administrator Meeting minutes.

Attachments: [Draft ZA Minutes 05-08-25](#)
 [Draft ZA Minutes 05-29-25](#)

9:30 A.M. - SCHEDULED ITEMS

1. PLN230008 - LAZARO ALBERTO & RIVERA HECTOR MONTEJANO
Public hearing to consider construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop.
Project Location: 774 Old Stage Road, Salinas, Greater Salinas Area Plan.
Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Project Data Sheet](#)
 [Exhibit B - Draft Resolution](#)
 [Exhibit C - Vicinity Map](#)

2. PLN230244 - CRANE JOHN R & GENEVA P TRS

Public hearing to consider construction of an approximately 610 square foot addition to an existing 1,880 square foot single-family dwelling, conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot square Accessory Dwelling Unit over a 254 square foot garage, associated site improvements; the removal of two Monterey pine trees; less than 120 square feet of development on slopes in excess of 30%; and Variances to reduce the required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches, and the side setback from 5 feet to 4 feet.

Project Location: 240820 Torres St, Carmel

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 of the, and there are no exceptions pursuant to Section 15300.2.

Attachments:

[Staff Report](#)

[Exhibit A - Draft Resolution.pdf](#)

[Exhibit B - Arborist Report \(LIB240207\)](#)

[Exhibit C - Vicinity Map](#)

[Exhibit D - Variance Letter](#)

[Exhibit E - Carmel Highlands LUAC 02/03/25](#)

3. PLN230197 - CELLARIUS LIMITED

Public hearing to consider replacement of an existing water tank and development of a 96 square foot retaining wall within 750 feet of known archaeological resources.

Project Location: 48700 Highway 1, Big Sur, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

Attachments:

[Staff Report](#)

[Exhibit A - Draft Resolution](#)

[Exhibit B - Vicinity Map](#)

OTHER MATTERS

ADJOURNMENT



County of Monterey

Item No.A

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: MIN 25-041

June 26, 2025

Introduced: 6/17/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Minutes

Acceptance of the May 08, 2025 and May 29, 2025, County of Monterey Zoning Administrator Meeting minutes.

County of Monterey

Thyme Conference Room
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Meeting Minutes - Draft

Thursday, May 8, 2025

9:30 AM

County of Monterey Zoning Administrator

9:30 A.M - Call to Order

Mike Novo, Zoning Administrator, called the meeting to order at 9:30 a.m.

Zoning Administrator announced that Agenda Item #1 and #2 will be switched.

ROLL CALL

**Mike Novo, Zoning Administrator
Kyler Asato, Environmental Health
Arlen Blanca and Bora Akkaya Public Works
Jess Barreras, Environmental Services**

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

Clerk Armida Estrada stated correspondence was distributed for Item #1 PLN240238 to the Zoning Administrator and all interested parties via e-mail.

ACCEPTANCE OF MINUTES

- A.** Acceptance of the February 27, 2025, March 13, 2025, March 27, 2025, and April 10, 2025, County of Monterey Zoning Administrator Meeting minutes.

The Zoning Administrator accepted the February 27, 2025, March 13, 2025, March 27, 2025, and April 10, 2025, County of Monterey Zoning Administrator meeting minutes.

9:30 A.M. - SCHEDULED ITEMS

- 2. PLN240072 - CAPPO REAL ESTATE HOLDINGS LLC**
Public hearing to consider construction of a 173 square foot deck, reconstruction of a retaining wall, and installation of site improvements, including landscaping and a walkway within 750 feet of known archaeological resources.
Project Location: 26357 Scenic Road, Carmel, Carmel Area Land Use Plan
Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.
- 1. PLN240238 - CALIFORNIA DEPARTMENT OF TRANSPORTATION (Coastlands II Retaining Wall)**
Consider demolition of a failed retaining wall, construction of a replacement retaining wall and new guard rail barrier system, restoration of the roadway, development within the Critical Viewshed, and development on slopes in excess of 30%.
Project Location: State Route Highway 1, Post Mile Marker (PM) 44.34, Big Sur
Proposed CEQA action: Consider a previously adopted Mitigated Negative Declaration pursuant to CEQA Guidelines section 15162 and find that no additional environmental review is required.

Hya Honorato, Project Planner, presented the item.

Public Comment: Geramaldi, Cal-Trans D5; Dianna Beck, Cal-Trans D5; Tobin Hook, Landscape Architect, Cody Parrott, Design Engineer

The Zoning Administrator found that the project is exempt pursuant to CEQA Guidelines section 15162 and found that no additional environmental review is required, and approved a Combined Development Permit consisting of a Coastal Development Permit for the demolition of a failed retaining wall, construction of a 185 linear foot retaining wall and a 360 linear foot guardrail, restoration of the roadway, and associated site improvements; a Coastal Development Permit to allow development within the Critical Viewshed; and a Coastal Development Permit to allow development on slopes in excess of 30%. The Zoning Administrator made a change to finding 7 evidence i, custodian documents for Caltrans initial study and added a condition that the County review the landscape or revegetation plan that's being put together for the project, providing success criteria for the revegetation, and some non-substantive changes to the resolution.

OTHER MATTERS

None

ADJOURNMENT

The meeting was adjourned at 10:16 am

County of Monterey

Thyme Conference Room
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Meeting Minutes - Draft

Thursday, May 29, 2025

9:30 AM

County of Monterey Zoning Administrator

9:30 A.M - Call to Order

Mike Novo called the meeting to order 9:30 am

ROLL CALL

**Mike Novo, Zoning Administrator
Kyler Asato, Environmental Health
Bora Akkaya, and Arlen Blanca, Public Works
Jess Barreras, Environmental Services**

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

Clerk Armida Estrada stated correspondence was distributed for Item #1 PLN240107 to the Zoning Administrator and all interested parties via e-mail.

ACCEPTANCE OF MINUTES

None

9:30 A.M. - SCHEDULED ITEMS

1. PLN240107 - CHAMISAL FAMILY PARTNERSHIP LTD ET AL (CONTINUED FROM APRIL 10, 2025)

Public hearing to consider a Minor Amendment to a previously approved Use Permit (PC1584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two existing tennis courts into eight pickleball courts, the addition of three new pickleball courts, and the future conversion of one existing tennis court into four pickleball courts.

Project Location: 185 Robley Rd, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that no exceptions pursuant to section 15300.2 apply.

Joseph Alameda, Project Planner, presented a request for a continuance to allow staff time to review additional project information.

Public Comment: None

The Zoning Administrator continued the hearing for this project to a date uncertain.

OTHER MATTERS

None

ADJOURNMENT

The meeting was adjourned at 9:33 am



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-033

June 26, 2025

Introduced: 6/10/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230008 - LAZARO ALBERTO & RIVERA HECTOR MONTEJANO

Public hearing to consider construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop.

Project Location: 774 Old Stage Road, Salinas, Greater Salinas Area Plan.

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Design Approval to allow construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval/denial subject to 8 conditions of approval.

PROJECT INFORMATION:

Agent: Hector Montejano

Property Owner: Hector Montejano

APN: 211-051-023-000

Parcel Size: 9.9 acres

Zoning: RDR/10-D or Rural Density Residential with 10 acres per unit density, and Design Control overlay

Plan Area: Greater Salinas

Flagged and Staked: No?

Project Planner: McKenna Bowling, Assistant Planner

(831) 755-5298, bowlingmr@countyofmonterey.gov

SUMMARY:

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

Environmental Health Bureau
HCD- Engineering Services
HCD-Environmental Services
Monterey County Regional Fire Protection District

Prepared by: McKenna Bowling, Assistant Planner, x 5298

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit C - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; McKenna Bowling, Planner; Jacquelyn M. Nickerson, Principal Planner; Hector Montejano, Property Owners; Hector Montejano, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN230008.



County of Monterey

Item No.1

Zoning Administrator

Legistar File Number: ZA 25-033

June 26, 2025

Introduced: 6/10/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230008 - LAZARO ALBERTO & RIVERA HECTOR MONTEJANO

Public hearing to consider construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop.

Project Location: 774 Old Stage Road, Salinas, Greater Salinas Area Plan.

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Design Approval to allow construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval/denial subject to 8 conditions of approval.

PROJECT INFORMATION:

Agent: Hector Montejano

Property Owner: Hector Montejano

APN: 211-051-023-000

Parcel Size: 9.9 acres

Zoning: RDR/10-D or Rural Density Residential with 10 acres per unit density, and Design Control overlay

Plan Area: Greater Salinas

Flagged and Staked: No?

Project Planner: McKenna Bowling, Assistant Planner

(831) 755-5298, bowlingmr@countyofmonterey.gov

SUMMARY:

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD- Engineering Services
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: McKenna Bowling, Assistant Planner, x 5298

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit C - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; McKenna Bowling, Planner; Jacquelyn M. Nickerson, Principal Planner; Hector Montejano, Property Owners; Hector Montejano, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN230008.

Exhibit A

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EXHIBIT A

Project Information for PLN230008

Application Name: Lazaro Alberto & Rivera Hector Montejano
Location: 774 Old Stage Rd, Salinas
Applicable Plan: Greater Salinas
Advisory Committee: None
Permit Type: Design Approval
Environmental Status: To Be Determined
Zoning: RDR/10-D

Primary APN: 211-051-023-000
Coastal Zone: No
Final Action Deadline (884): 12/30/1899
Land Use Designation: Residential - Rural Density
5 Acres+/Unit

Project Site Data:

Lot Size: 430808
Existing Structures (sf):
Proposed Structures (sf):
Total Sq. Ft.:

Coverage Allowed:
Coverage Proposed:
Height Allowed:
Height Proposed:
FAR Allowed:
FAR Proposed:

Special Setbacks on Parcel:

Resource Zones and Reports:

Seismic Hazard Zone: II
Erosion Hazard Zone: Moderate|Variable|Low
Fire Hazard Zone: None
Flood Hazard Zone: X (unshaded)|A
Archaeological Sensitivity: high
Visual Sensitivity: None

Soils Report #: LIB240296
Biological Report #:
Forest Management Rpt. #:
Geologic Report #:
Archaeological Report #: LIB250126
Traffic Report #:
Historic Report #:

Other Information:

Water Source: Well
Water Purveyor:
Fire District: Monterey County Regional FPD
Tree Removal:

Grading (cubic yds.):
Sewage Disposal (method): Septic
Sewer District Name:

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Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

LAZARO ALBERTO & RIVERA HECTOR (PLN230008)

RESOLUTION NO. 25_

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm employee housing unit with 780 square foot covered porch, 1,280 square foot barn, and a 2,400 square foot workshop.

[PLN230008 [LAZARO ALBERTO & RIVERA HECTOR],
[774 Old Stage Road, Salinas], [Greater Salinas Area Plan]
(Assessor's Parcel Number 211-051-023-000)]

The LAZARO ALBERTO & RIVERA HECTOR application (PLN230008) came on for a public hearing before the County of Monterey Zoning Administrator on June 26, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

WHEREAS, the project PLN230008, located at 774 Old Stage Road, Salinas, Great Salinas Area Plan (APN: 211-051-023-000), is consistent with the policies of the Monterey County 2010 General Plan, Greater Salinas Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Rural Density Residential, 10 acres per unit density, and Design Control overlay or "RDR/10-D" which allows for construction of a single family dwelling and accessory structures, subject to the granting of a Design Approval pursuant to Title 21 section 21.16.030;

WHEREAS, the project consists of construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm employee housing unit with 780 square foot covered porch, 1,280 square foot barn, and a 2,400 square foot workshop;

WHEREAS, as detailed in the attached plans, the project meets all required development standards established in Monterey County Code (MCC) section 21.14.060 and 2010 General Plan Policy LU-2.2.

WHEREAS, the colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Salinas Area Plan;

WHEREAS, the project does not include the removal of trees;

WHEREAS, in accordance with 2010 General Plan Policy and MCC Section 21.66.050, a Phase 1 Archaeological Report was prepared. The report concluded there were no cultural or archaeological resources present during the pedestrian survey of the property, and that there were no conditions that would preclude development from taking place;

WHEREAS, the subject property (9.9 acres) is identified as Parcel B as seen on Parcel Map, Volume 14 Page 32, recorded in January 1980, and is therefore recognized by the County as legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property;

WHEREAS, the project was not referred to a Land Use Advisory Committee, due to the subject parcel not having an applicable Land Use Advisory Committee this project would be heard at;

WHEREAS, California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts new construction of residences and accessory structures. Therefore, the development is consistent with CEQA Guidelines section 15303 and none of the exceptions under CEQA Guidelines section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow the construction of a 1,760 square foot manufactured home with a 1,056 square foot detached garage, 2,600 square foot farm employee housing unit with 780 square foot covered porch, 1,280 square foot barn, and a 2,400 square foot workshop.

PASSED AND ADOPTED this 26th day of June, 2025.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230008

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN230008) allows construction of a 1,760 square foot manufactured home, with an 1,056 square foot garage, 2,600 square foot farm worker employee housing unit with 780 square foot back porch, 1,280 square foot barn, and a 2,400 square foot workshop. The property is located at 774 Old Stage Road (Assessor's Parcel Number 211-051-023-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 211-051-023-000 on June 26, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. EHSP02 – EMPLOYEE HOUSING (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The operational plan states six (6) total employees will be housed on subject property (APN 211-051- 023-000) in the proposed 3-bedroom single-family dwelling. The property owner shall comply with Employee Housing Regulations found in the California Health and Safety Code Section 17000-17062.5 and the California Code of Regulations Title 25, Division 1, Chapter 1, Subchapter 3 Sections 600-940. (Environmental Health)

Compliance or Monitoring Action to be Performed: Obtain a health permit for the Employee Housing from the Environmental Health Bureau.

8. EHSP01 – NEW WATER SYSTEM PERMIT (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Pursuant to Monterey County Code Chapter 15.04, Domestic Water Systems, obtain a new water system permit from the Environmental Health Bureau. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading/construction permits, submit necessary water system application, reports and testing results to Environmental Health Bureau for review and approval.

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NEW FARMING UNITS: MONTEJANO DEVELOPMENT

774 OLD STAGE RD.
SALINAS, CA. 93908
A.P.N.: 211-051-023-000

VICINITY MAP N.T.S.



SHEET INDEX

- A0. GENERAL NOTES
- A1. SITE PLAN
- A2.0 MANUFACTURED HOME FLOOR PLAN
- A2.1 MANUFACTURED HOME ELEVATIONS
- A2.2 GARAGE FLOOR PLAN & ELEVATIONS
- A2.3 FARMHOUSE FLOOR PLAN
- A2.4 FARMHOUSE ELEVATIONS
- A2.5 ADU FLOOR PLAN & ELEVATIONS
- A2.6 WORKSHOP FLOOR PLAN & ELEVATIONS

E & L
BUILDING
DESIGN STUDIO
150 CAYUGA ST.
SUITE 1
SALINAS, CA. 93901
O: (831) 250-8069
E.L.
e_l_designs@hotmail.com

REVISION
DATE: 0
BY:

PROJECT TEAM

OWNER:
HECTOR MONTEJANO
774 OLD STAGE RD.
SALINAS, CA. 95012
(831) 262-6735

DESIGNER:
E & L BUILDING
DESIGN STUDIO
150 CAYUGA STREET SUITE 1
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O: (831) 250-8069
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CONSULTANT:
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ENERGY GROUP, INC.
26465 CARMEL RANCH BLVRD.
CARMEL, CA 93923
O: (831) 372-8328

CONSULTANT:
PACIFIC CONTINENTAL
TRUSS
8 HANGER WAY
WATSONVILLE, CA 95076
O: (831) 728-9313

CONSULTANT:
GMD
ENGINEERS & DESIGNS
11 W LAUREL DR. STE. 225
SALINAS, CA. 93906
(831) 840-4284
gmdalivaengineers@gmail.com

SCOPE OF WORK

774 OLD STAGE RD
NEW MANUFACTURED HOME 1760 SQ. FT.
NEW GARAGE 1056 SQ. FT.
NEW FARM EMPLOYEE HOUSING 2600 SQ. FT.
NEW BACK PORCH 780 SQ. FT.
NEW FRONT PORCH 616 SQ. FT.
NEW MANUFACTURED BARN 1280 SQ. FT.
NEW ADU 749 SQ. FT.
NEW WORKSHOP 2400 SQ. FT.

DATA

JURISDICTION: MONTEREY COUNTY
BUILDING CODE(S):
RESIDENTIAL :2022 C.R.C.
ELECTRICAL :2022 C.E.C.
MECHANICAL :2022 C.M.C.
PLUMBING :2022 C.P.C.

ZONING: MDR-C
ASSESSORS PARCEL NO: 211-051-023-000
CURRENT USE: AGRICULTURAL
PROPOSED USE: AGRICULTURAL
OCCUPANCY GROUP: RESIDENCE R-3/U
NUMBER OF STORY: 1 STORY BUILDING
CONSTRUCTION TYPE: V-B
AUTOMATIC FIRE SPRINKLERS SYSTEMS: NO

LOT SIZE: 430,808 S.F. 100%

PROPOSED FLOOR AREA	
MANUFACTURED HOME	1,760 S.F.
TOTAL	1,760 S.F.

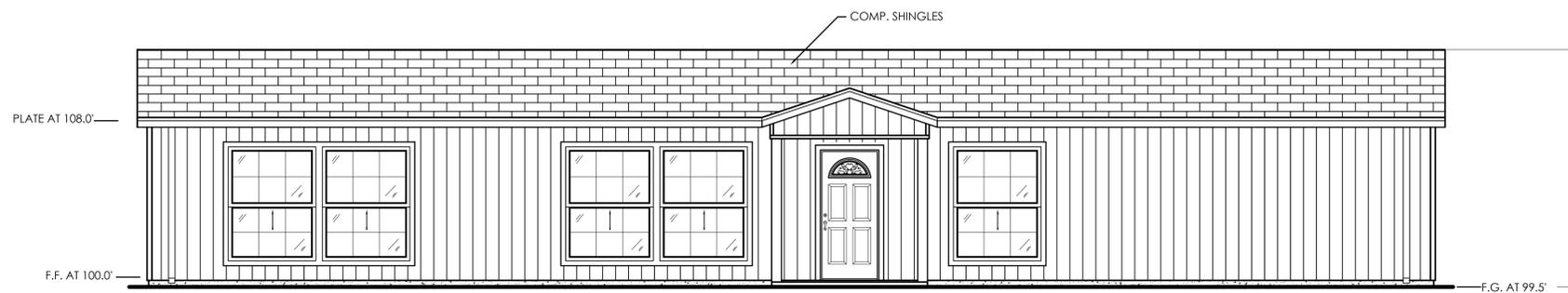
ACCESSORY STRUCTURES	
GARAGE	1056 S.F.
FARM EMPLOYEE HOUSING	2600 S.F.
BACK PORCH	780 S.F.
FRONT PORCH	616 S.F.
MANUFACTURED BARN	1280 S.F.
WORKSHOP	2400 S.F.
ADU	749 S.F.
TOTAL	9,481 S.F.

DEFERRED SUBMITTAL

- CONSTRUCTION WASTE MANAGEMENT PLAN TO BE SUBMITTED WHEN CONTRACTOR IS CHOSEN SUBMITTED TO: MONTEREY COUNTY
- FIRE SPRINKLER DESIGN

SYMBOLS

SECTION REFERENCE		SECTION NUMBER
DETAIL REFERENCE		SHEET NUMBER
REVISION REFERENCE		REVISION NUMBER
		CLEAR DIM.



1 FRONT M.H. ELEVATION
SCALE: N.T.S.

ABBREVIATIONS

1. NOT ALL ABBREVIATIONS WILL APPLY TO THIS PROJECT.			
# AT	DBL	DOUBLE	HORIZ HORIZONTAL
# NUMBER	DEPR	DEPRESSED	HSB HIGH STRENGTH BOLT
AB ANCHOR BOLTS	DF	DOUGLAS FIR	ID INSIDE DIAMETER
AC ASPHALTIC CONCRETE	DIA. (Ø)	DIAMETER	IN (") INCH
ADDNL ADDITIONAL	DIAG	DIAGONAL	INT INTERIOR
AFF ABOVE FINISH FLOOR	DM	DIMENSION	JST JOIST
AGG AGGREGATE	DN	DOWN	JT JOINT
ALT ALTERNATE	DWG	DRAWING	JH JOIST HANGER
ALUM ALUMINUM	(E)	EXISTING	LLH LONG LEG HORIZONTAL
APPROX APPROXIMATE	EA	EACH	LLV LONG LEG VERTICAL
ARCH ARCHITECTURAL	EF	EACH FACE	LS LAG SCREW
BLDG BUILDING	EN	EDGE NAILING	LT WT LIGHT WEIGHT
BLK BLOCK	EW	EACH WAY	LWG LONG
BLKG BLOCKING	EJ	EXPANSION JOINT	LWC LIGHT WEIGHT CONCRETE
BM BEAM	EL	ELEVATION	LWX MAXIMUM
BN BOUNDARY NAILING	EOS	EDGE OF SLAB	MB MACHINE BOLT
BOC BOTTOM OF CONCRETE	EQ	EQUAL	MCS MASONRY CONTROL JOINT
BOF BOTTOM OF FOOTING	EXP B	EXPANSION BOLT	MECH MECHANICAL
BOT BOTTOM	EXT	EXTERIOR	MEZZ MEZZANINE
BP BUTTON PUNCH	F.E.	FIRE EXTINGUISHER	MIN MINIMUM
BRG BEARING	F.E.C	FIRE EXTINGUISHER CABINET	MISC MISCELLANEOUS
BRG PL BEARING PLATE	FF	FINISH FLOOR	MW MALLEABLE IRON WASHER
BTW BETWEEN	FG	FINISH GRADE	MTL METAL
CCJ CRACK CONTROL JOINT	FHWS	FLAT HEAD WOOD SCREW	NIC NOT IN CONTRACT
CC CENTER TO CENTER	FN	FIELD NAILING	NOM NOMINAL
CIP CAST IN PLACE	FND	FOUNDATION	NIS NOT TO SCALE
CJ CONSTRUCTION JOINT	FOC	FACE OF CONCRETE	(N) NEW
CIR CENTER	FOM	FACE OF MASONRY	OC ON CENTER
CL CENTER LINE	FOS	FACE OF STUD	OD OUTSIDE DIAMETER
CLG CEILING	FT (')	FOOT/FEET	OPG OPENING
CLR CLEAR	FIG	FOOTING	OPH OPPOSITE HAND
CMU CONCRETE MASONRY UNIT	GA	GAUGE	PCC PRECAST CONCRETE
COL COLUMN	GALV	GALVANIZED	PERP PERPENDICULAR
CONC CONCRETE	GL	GLUE LAMINATED LUMBER	PL PLATE
			REIN REINFORCING
			REQ'D REQUIRED
			SAD SEE ARCHITECTURAL DRAWINGS
			SIM SIMILAR
			SJ SHRINKAGE JOINT
			SLH SHORT LEG HORIZONTAL
			SLV SHORT LEG VERTICAL
			SM SHEET METAL
			SOG SLAB ON GRADE
			SS SQUARE
			SS STAINLESS STEEL
			STD STANDARD
			STL STEEL
			SWS SHEAR WALL SCHEDULE
			SYM SYMMETRICAL
			T24 TITLE 24 CALIFORNIA CODE
			TEN TYPICAL EDGE NAILING
			THK THICK
			TOC TOP OF CONCRETE
			TOF TOP OF FOOTING
			TOS TOP OF SLAB
			TOS TOP OF STEEL
			TOW TOP OF WALL
			TS TUBE STEEL
			TYP TYPICAL
			T&B TOP AND BOTTOM
			UN UNDISTURBED NATURAL GRADE
			UN UNLESS OTHERWISE NOTED
			WVF WELDED WIRE FABRIC
			WJ WITH

GENERAL NOTES

- ALL CONSTRUCTION, DESIGN, WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE: 2022 . CRC, CEC, CMC, CPC, CFC, CGC, CGBC; MONTEREY COUNTY MUNICIPAL CODE, AND 2019 CALIFORNIA ENERGY CODE, AND MOST CURRENT NFPA STANDARDS REQUIRED BY CURRENTLY ADOPTED CODES AND LATEST EDITIONS OF THE UMC, UPC, & NEC.
- GUARANTEE: ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FOR COMPLETION DATE.
- JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE SITE OF DEBRIS AND MATERIALS DEMOLISHED AND CLEANUP BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS AND SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- THE PROJECT DESIGNER SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWING AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED.
- PLANS FOR ANY (N) GAS LINE SIZING AND APPLICABLE BTU INPUTS WILL BE PROVIDED TO THE BUILDING INSPECTION OFFICE BY THE CONTRACTOR BEFORE INSPECTION.
- ALL SITE INSPECTIONS REQUIRE A MINIMUM 24 HOURS NOTICE. FIRE DEPARTMENT INSPECTIONS ARE TO BE REQUESTED THROUGH THE BUILDING DIVISION. PLEASE BE SPECIFIC AS TO THE TYPE OF INSPECTION.
- NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- THE USE OF FIRE HYDRANTS FOR OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIRONMENTAL HEALTH DEPARTMENT.)
- THE GRADE ADJACENT TO ALL STRUCTURES SHALL SLOPE A MINIMUM OF 2 PERCENT AWAY FROM THE AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIRONMENTAL HEALTH DEPARTMENT.)
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE.
- CONTRACTOR TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES AND SERVICES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO SUCH.
- EXCAVATION: EXCAVATE FOR UTILITY TRENCHES, SEWER, DRAIN LINES AND FOOTINGS. SLOPE UTILITY TRENCHES UNIFORMLY. BACK FILL OF FOOTING AND UTILITY TRENCHES SHALL BE COMPROMISED OF CLEAN SAND, MECHANICALLY COMPACTED IN 6" LIFTS TO A MINIMUM OF 95 REST ON FIRM, UNDISTURBED SOIL OR COMPACTED FILL.
- SURFACE WATER SHALL BE DRAINED TO AN APPROVED POINT OF COLLECTION THAT DOES NOT CEATE A HAZARD. INDICATE THAT GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (EXCEPTION: WHERE LOT LINES AND/OR PHYSICAL BARRIERS PROHIBIT THE FALL, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE). IMPERVIOUS SURFACES WITHIN 10' SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- EXTRA EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATION OF EXIT SIGNS MAY BE ALTERED DURING FINAL INSPECTION
- APPROVED ADDRESS NUMBERS AND/OR LETTERS, WITH CONTRASTING BACKGROUND, SHALL BE PLACED ON BUILDING(S) TO BE VISIBLE FROM THE STREET. APPROVED ADDRESSES MUST BE CLEARLY IDENTIFIED WITH REFLECTIVE AND/OR ILLUMINATED NUMBERS AND/OR LETTERS A MINIMUM OF 3 1/2" HIGH AND 1/2" STROKE
- DISPOSAL, WASHOFF, OR WASHDOWN OF ANY AND ALL MATERIALS SUCH AS MORTAR, CONCRETE, PAINT, GREASE, GLUE, ETC. ON PROPERTY, INCLUDING THE STORM DRAIN SYSTEM, IS STRICTLY PROHIBITED UNLESS SPECIFICALLY AND INDIVIDUALLY APPROVED BY PUBLIC WORKS DIRECTOR. VIOLATORS WILL BE CITED AND ASSESSED OF ALL CLEANING COSTS.
- CONTRACTOR MUST ENSURE THAT ALL VENTING BE DONE IN ACCORDANCE WITH CURRENT BUILDING CODES. (RANGE HOOD VENT, BATHROOM VENTS ETC.)
- THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
- CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- BUILDINGS THAT UNDERGO CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 33- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

774 OLD STAGE RD
SALINAS, CA. 93908
A.P.N.: 021-051-023-000

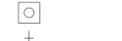
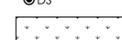
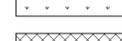
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GENERAL NOTES

DATE:
7/21/23

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A0

LEGEND

	MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARDOUS SITUATION. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' CRC 2022 SECTION R401.3 DRAIN SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING.		PROPERTY LINE
			(E) TREES
			(E) WATER
			(N) DOWNSPOUT
			(E) CONCRETE AREA
			(E) LANDSCAPE AREA

BEST MANAGEMENT PRACTICE NOTES

- PLACE GRAVEL BAGS AROUND NEARBY, DOWNSTREAM STORM INLET(S) DURING CONSTRUCTION. PER CITY STANDARD PLAN #59A.
- CONCRETE/ STUCCO WASHOUT AREA MUST BE PROVIDED PER CITY STANDARD PLAN #59B.
- ALL DAMAGED/ EXISTING STREET FRONTAGE IMPROVEMENTS TO BE REPAIRED/ REPLACED/ BROUGHT UP TO CURRENT CODE.
- DURING CONSTRUCTION THE OWNER/CONTRACTOR SHALL MAINTAIN THE CITY'S RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT.

DRAINAGE NOTES

- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
- THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.

SCOPE OF WORK: 

774 OLD STAGE RD
 NEW MANUFACTURED HOME 1760 SQ. FT.
 NEW GARAGE 1056 SQ. FT.
 NEW WORKSHOP 2400 SQ. FT.
 NEW FARM EMPLOYEE HOUSING 2600 SQ. FT.
 NEW BACK PORCH 780 SQ. FT.
 NEW SIDE PORCH 595 SQ. FT.
 NEW FRONT PORCH 616 SQ. FT.
 NEW ADU 749 SQ. FT.
 NEW MANUFACTURED BARN 1280 SQ. FT.

EROSION & SEDIMENT CONTROL NOTES:

- CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELINGS AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- WASTE MANAGEMENT: SOLID WASTE WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY E BERN.
- SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. All portable toilets will be equipped with a secondary containment tray, and shall be located a minimum of 50' from all operational storm drain inlets. Weekly maintenance shall be provided and wastes legally disposed of off-site.
- DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC FOR PROTECTION PER CITY STANDARD PLAN 59A
- ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.

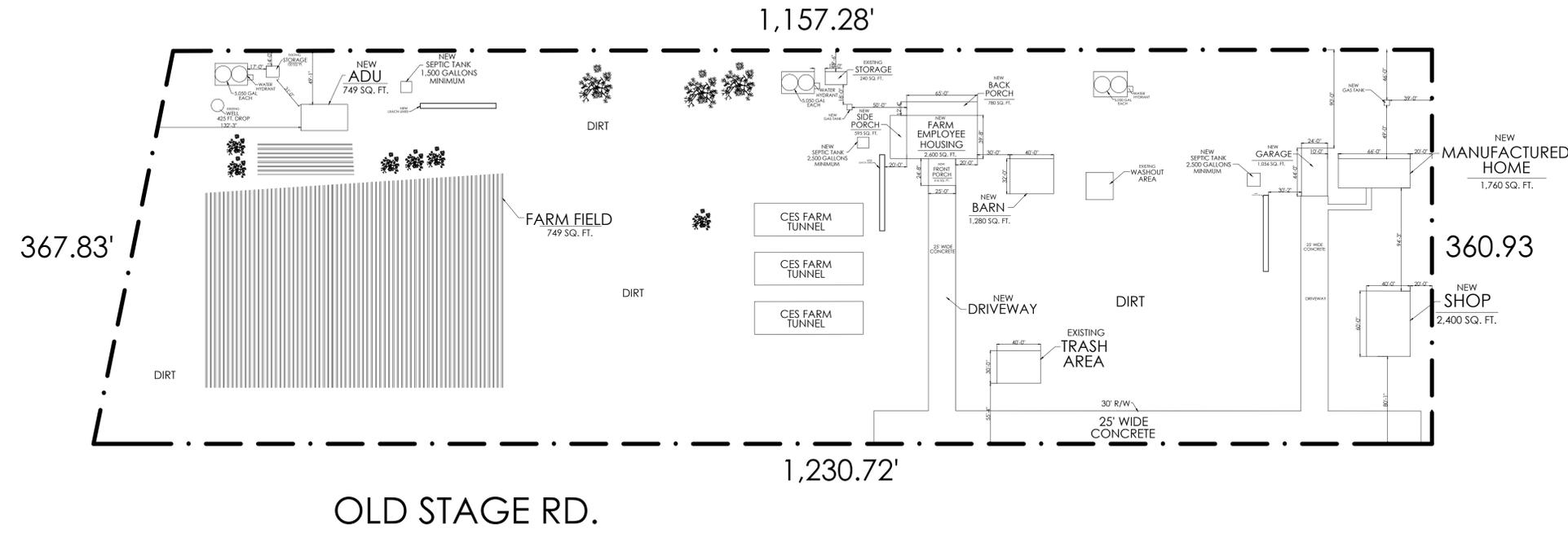
SOURCE CONTROL NOTES

- SHOW LOCATION OF WASTE MATERIAL DUMPSTER. REQUIRE DUMPSTER BE COVERED NIGHTLY AND PROTECTED FROM RAIN, HAS SECONDARY CONTAINMENT.
- PROVIDE LOCATIONS OF STORAGE AREAS FOR WASTE, VEHICLES, SERVICE, LOADING/UNLOADING OF MATERIALS, FUELING, AND WATER STORAGE.
- PROVIDE LOCATIONS FOR SOIL STOCKPILES AREAS (IF APPLICABLE) AND SHOW HOW THEY WILL BE PROTECTED AGAINST EROSION. REQUIRE THAT CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED BE COVERED AND BERMED.
- SHOW LOCATIONS OF PORTA-POTTIES WITH SECONDARY CONTAINMENT.
- SHOW LOCATION OF AND DETAIL WASHOUT AREA/WASTE PIT FOR DISPOSAL OF "WET" CONSTRUCTION MATERIALS SUCH AS CONCRETE, STUCCO AND PAINT.

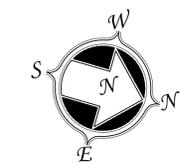
MONTEREY COUNTY NPDES NOTES:
 LOW PRIORITY CONSTRUCTION SITE

- DURING THE RAINY SEASON (OCTOBER 1ST TO APRIL 30TH): GRADING ACTIVITIES MUST BE SCHEDULED TO MINIMIZE BARE GRADED AREAS. SUFFICIENT QUANTITIES OF EROSION CONTROL MATERIALS SHALL BE KEPT ON SITE AT ALL TIMES TO BE INSTALLED AS SOON AS POSSIBLE AND PRIOR TO ANY PRECIPITATION EVENTS.
- WORK IS TO COMMENCE ON THE FRONT/NORTH SIDE OF THE PROPERTY AND ALL MATERIALS SHALL BE STORED & COVERED ON-SITE PER EROSION CONTROL NOTE #1.
- ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED BE COVERED AND BERMED.
- STOCKPILES ARE TO BE PLACED AS FAR AWAY FROM CONSTRUCTION BOUNDARY LINES AS POSSIBLE AND ARE TO BE PROTECTED AGAINST EROSION PER EROSION CONTROL NOTE #3.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/CONTRACTOR SHALL ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND IN COMPLIANCE WITH BMP FACT SHEETS ON CD1.
- DURING CONSTRUCTION, INSPECTIONS BY THE COUNTY OF MONTEREY WILL BE CONDUCTED TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/CONTRACTOR SHALL ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

LOW PRIORITY CONSTRUCTION SITE

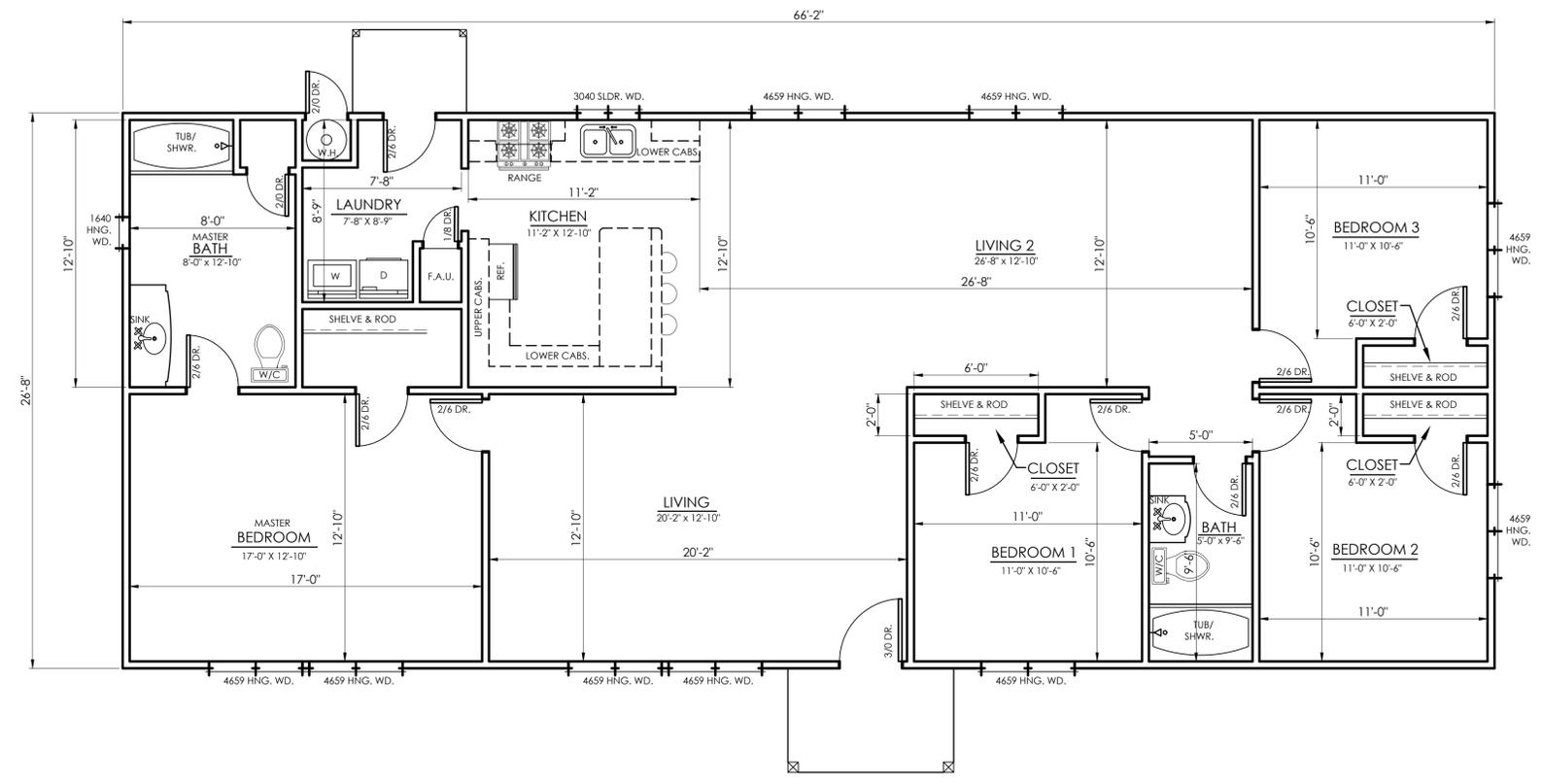


1 SITE PLAN
 SCALE: 1/64" = 1'-0"



OLD STAGE RD.

LEGEND	
—	2X4 WALLS D.F. #2 @ 16" O.C. STUDS



1 MANUFACTURED HOME FLOOR PLAN
 SCALE: 1/4" = 1'-0"

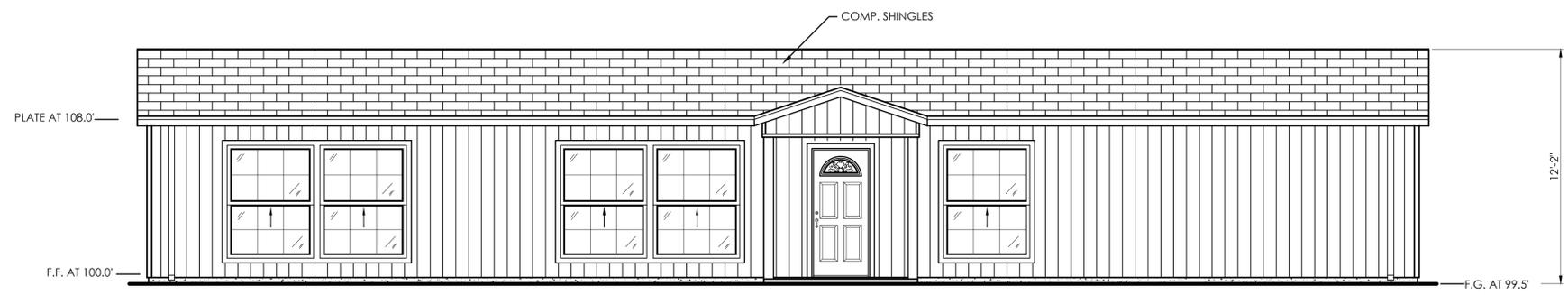
774 OLD STAGE RD
 774 OLD STAGE RD
 SALINAS, CA. 93908
 A.P.N.: 021-051-023-000

TITLE:
**MANUFACTURED
 HOME FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

DATE:
7/21/23

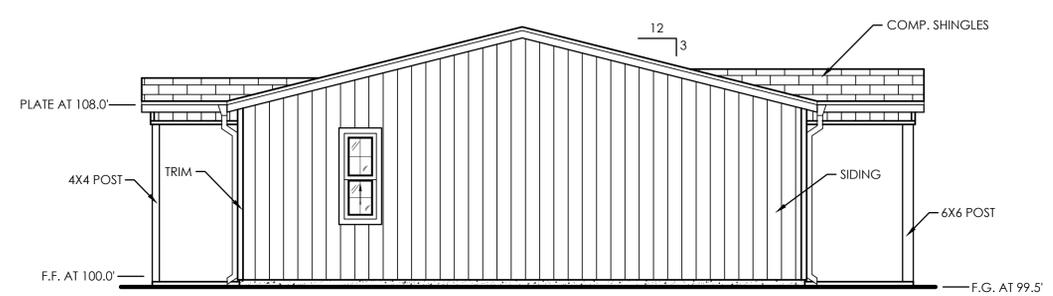
JOB NUMBER:
22-84

PAGE:
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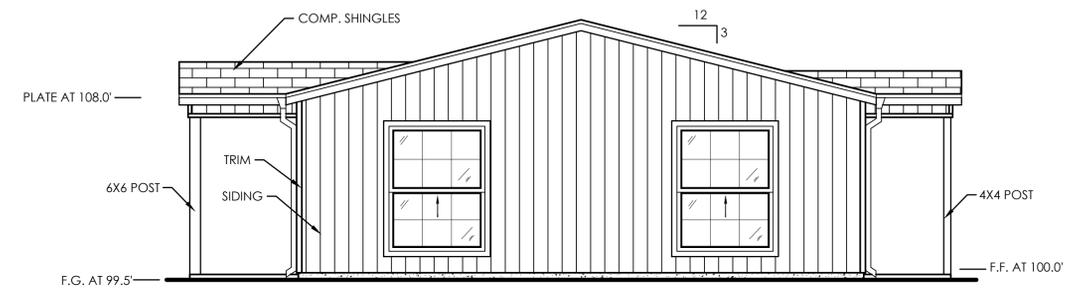


EXTERIOR FINISHES	
ROOF:	COMPOSITE SHINGLE
ROOF PITCH:	3:12 GABLE ROOF
FASCIA/RAKE:	2X6 PRIMED SPRUCE
OVERHANG:	0'-6" GABLE, 0'-6" EAVE
GUTTER/ DOWNSPOUTS	4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS @ 3'-0" O.C. MAX W/ SPLASH BLOCKS
WALL:	3 COATS OF STUCCO
WINDOWS:	WHITE VINYL DOUBLE PANE
EXTERIOR COLORS:	
STUCCO:	BROWN
ROOF:	BROWN
WINDOW:	WHITE
STONE VENEER:	TAN BROWN

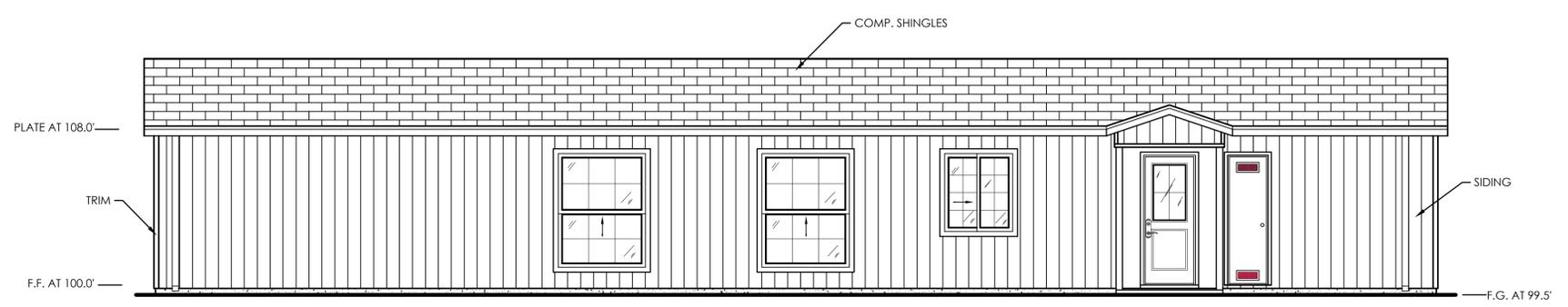
1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



4 SIDE ELEVATION
 SCALE: 1/4"=1'-0"



2 SIDE ELEVATION
 SCALE: 1/4"=1'-0"



3 REAR ELEVATION
 SCALE: 1/4"=1'-0"

774 OLD STAGE RD
 774 OLD STAGE RD
 SALINAS, CA. 93908
 A.P.N.: 021-051-023-000

TITLE:
**MANUFACTURED
 HOME ELEVATIONS**
 SCALE: 1/4" = 1'-0"

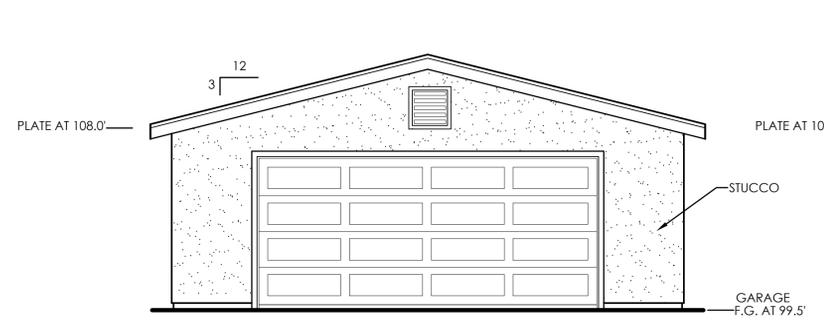
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7/21/23

JOB NUMBER:
22-84

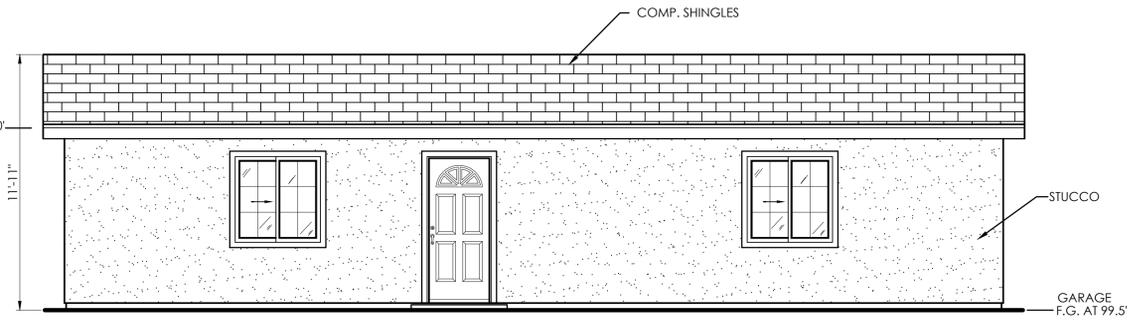
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EXTERIOR FINISHES	
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ROOF PITCH:	3:12 GABLE ROOF
FASCIA/RAKE:	2X6 PRIMED SPRUCE
OVERHANG:	1'-0" GABLE, 1'-0" EAVE
GUTTER/	4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS
DOWNSPOUTS	@ 3'-0" O.C. MAX W/ SPLASH BLOCKS
WALL:	3 COATS OF STUCCO
WINDOWS:	WHITE VINYL DOUBLE PANE
EXTERIOR COLORS:	
STUCCO:	BROWN
ROOF:	BROWN
WINDOW:	WHITE
STONE VENEER:	TAN BROWN

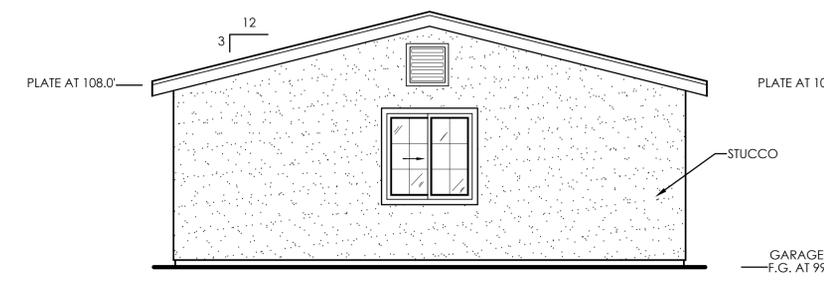
LEGEND	
	2X4 WALLS D.F. #2 @ 16" O.C. STUDS



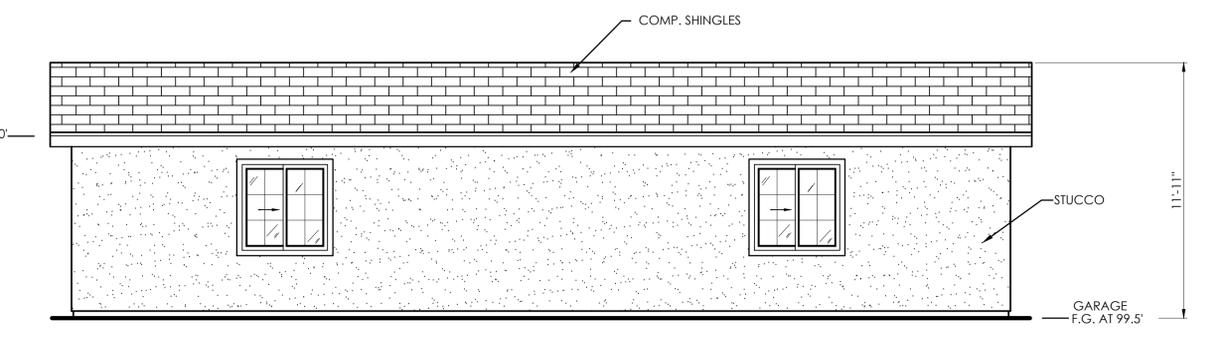
4 SOUTH ELEVATION (FRONT ELEVATION)
 SCALE: 1/4"=1'-0"



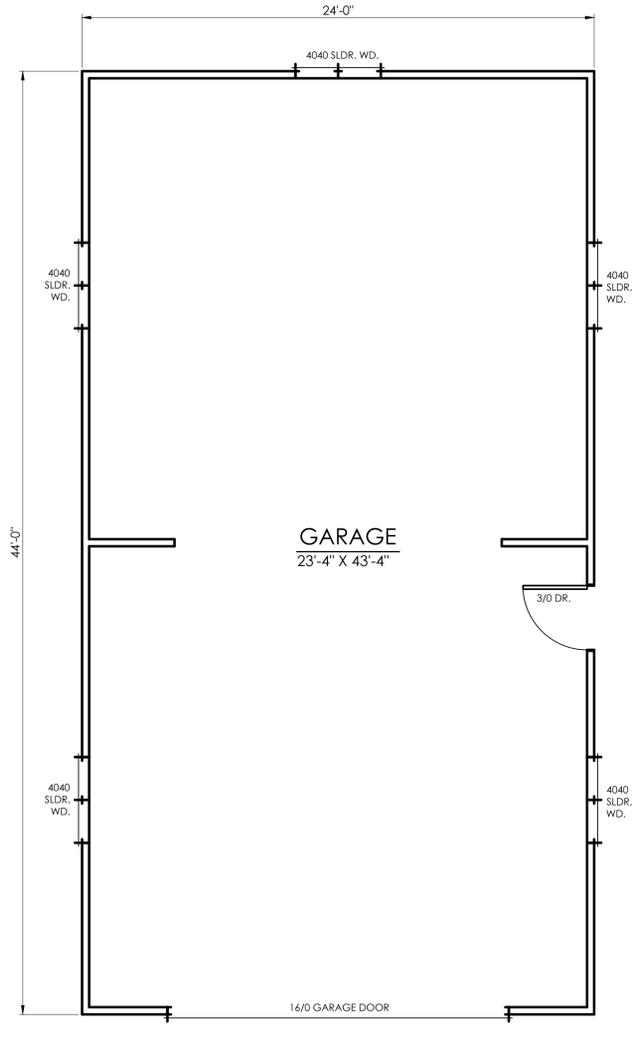
2 EAST ELEVATION (LEFT ELEVATION)
 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION (REAR ELEVATION)
 SCALE: 1/4"=1'-0"



3 WEST ELEVATION (RIGHT ELEVATION)
 SCALE: 1/4"=1'-0"



5 GARAGE FLOOR PLAN
 SCALE: 1/4"=1'-0"

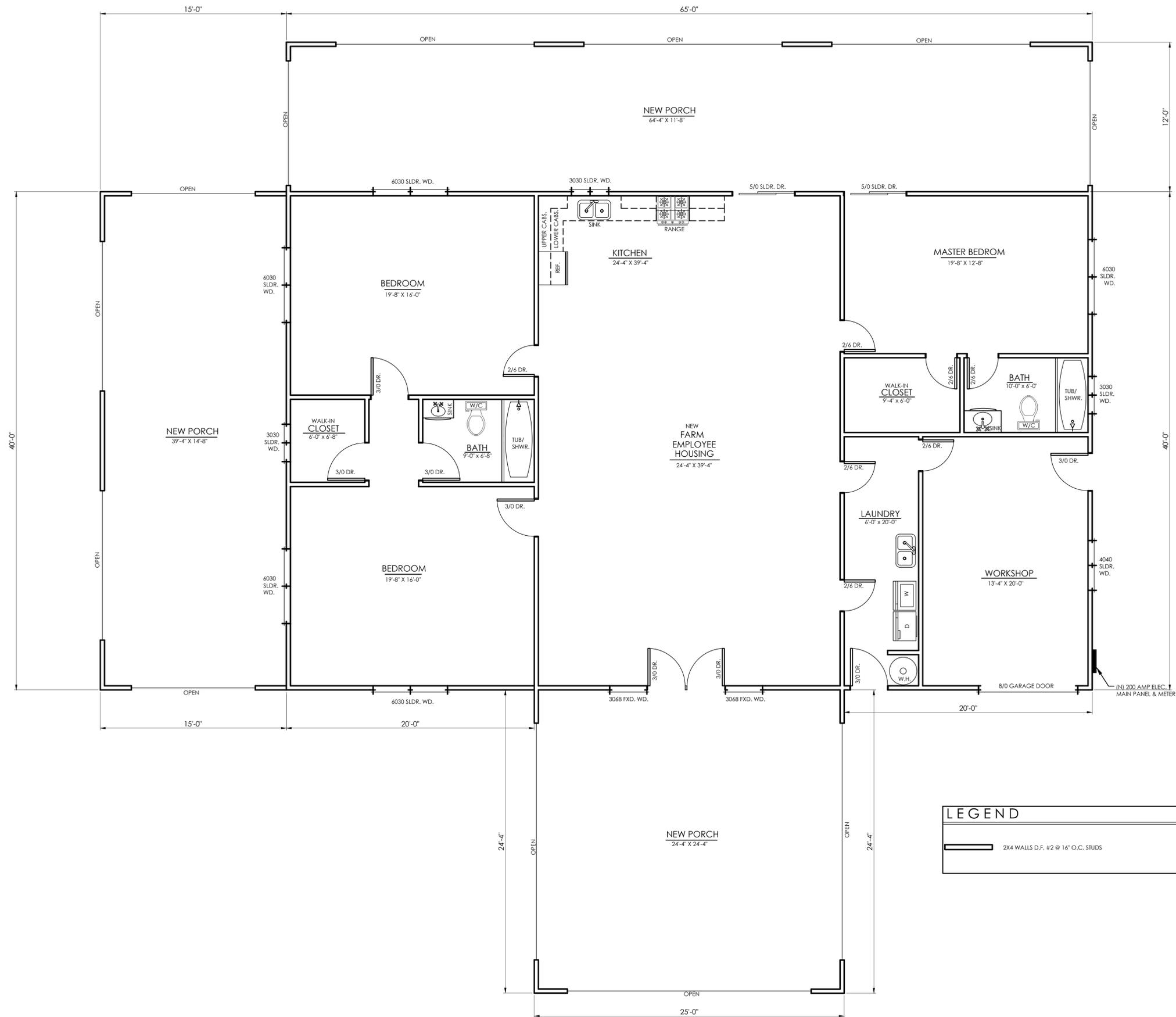
774 OLD STAGE RD
 774 OLD STAGE RD
 SALINAS, CA. 93908
 A.P.N.: 021-051-023-000

TITLE:
**GARAGE FLOOR PLAN
 & ELEVATIONS**
 SCALE: 1/4" = 1'-0"

DATE:
7/21/23

JOB NUMBER:
22- 84

PAGE:
A2.2

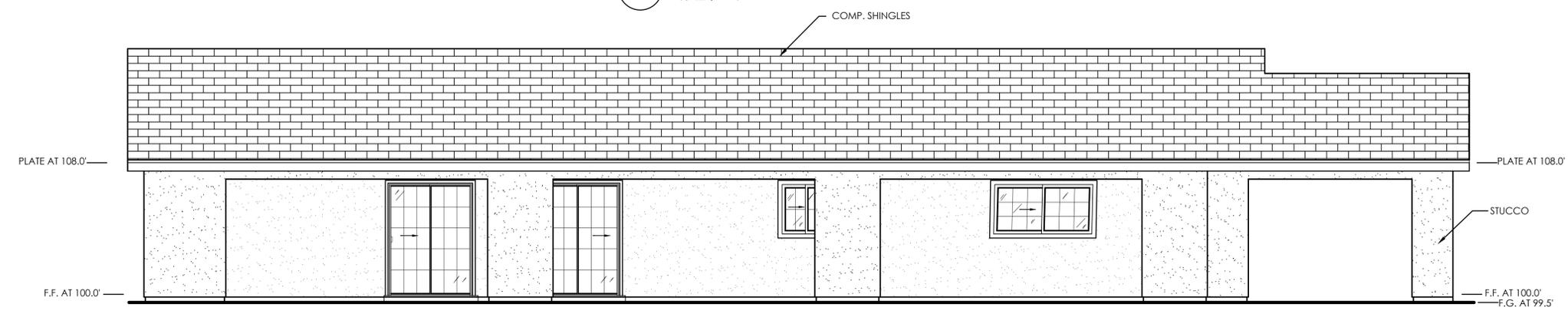


LEGEND	
	2x4 WALLS D.F. #2 @ 16" O.C. STUDS



EXTERIOR FINISHES	
ROOF:	COMPOSITE SHINGLE
ROOF PITCH:	3:12 GABLE ROOF
FASCIA/RAKE:	2X6 PRIMED SPRUCE
OVERHANG:	1'-0" GABLE, 1'-0" EAVE
GUTTER/ DOWNSPOUTS	4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS @ 3'-0" O.C. MAX W/ SPLASH BLOCKS
WALL:	3 COATS OF STUCCO
WINDOWS:	WHITE VINYL DOUBLE PANE
EXTERIOR COLORS:	
STUCCO:	BROWN
ROOF:	BROWN
WINDOW:	WHITE
STONE VENEER:	TAN BROWN

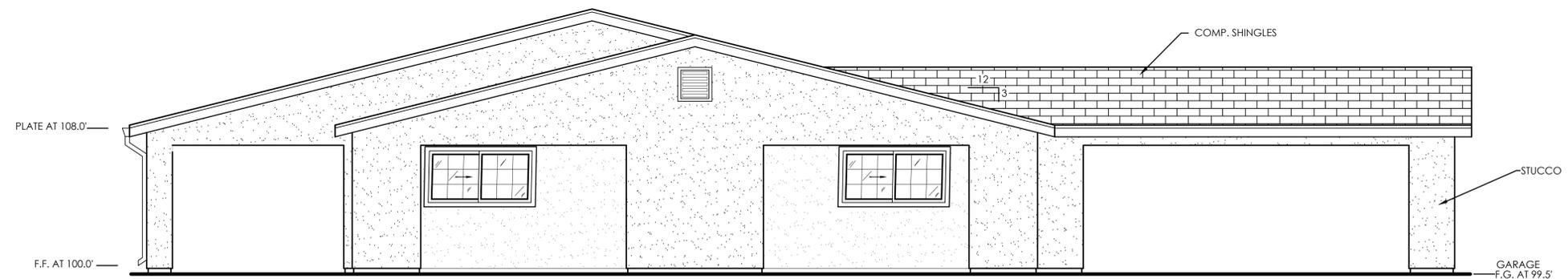
4 SOUTH ELEVATION (FRONT ELEVATION)
 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION (REAR ELEVATION)
 SCALE: 1/4"=1'-0"



3 WEST ELEVATION (RIGHT ELEVATION)
 SCALE: 1/4"=1'-0"



2 EAST ELEVATION (LEFT ELEVATION)
 SCALE: 1/4"=1'-0"

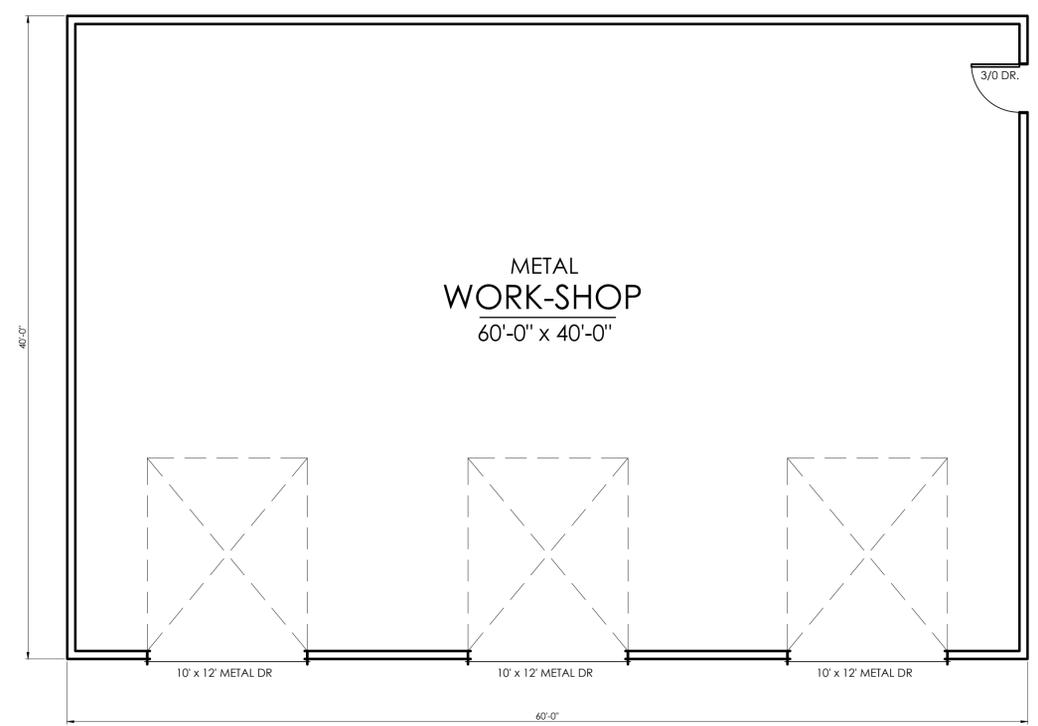
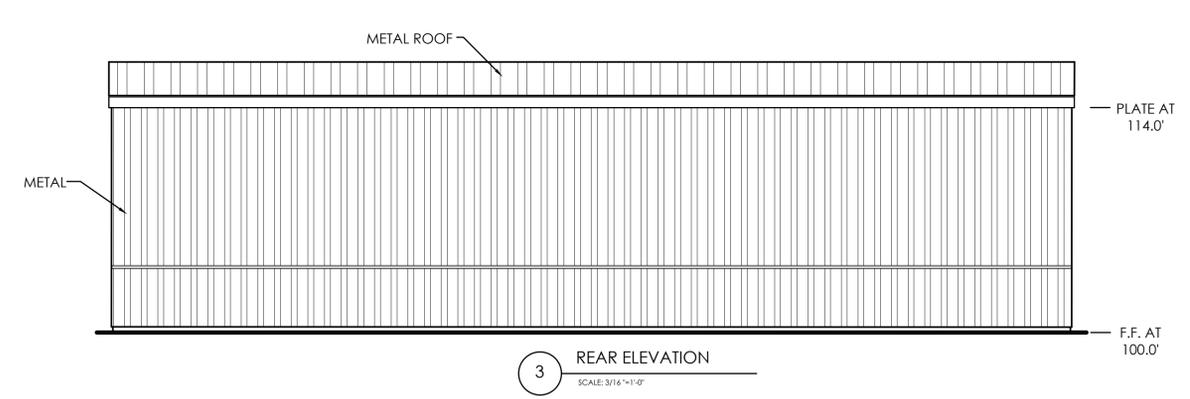
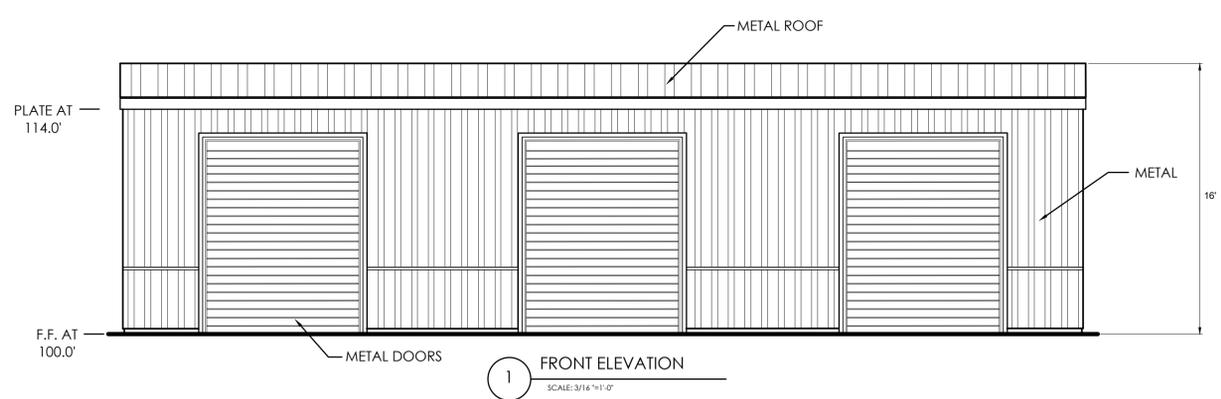
774 OLD STAGE RD
 774 OLD STAGE RD
 SALINAS, CA. 93908
 A.P.N.: 021-051-023-000

TITLE:
**FARM EMPLOYEE
 HOUSING ELEVATIONS**
 SCALE: 1/4" = 1'-0"

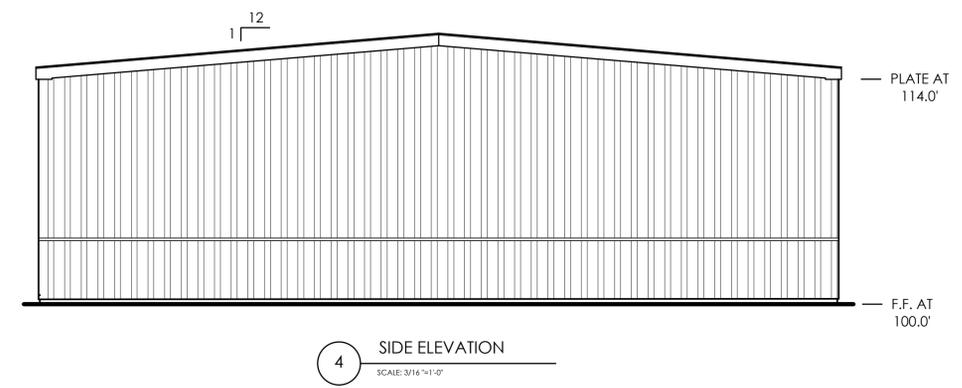
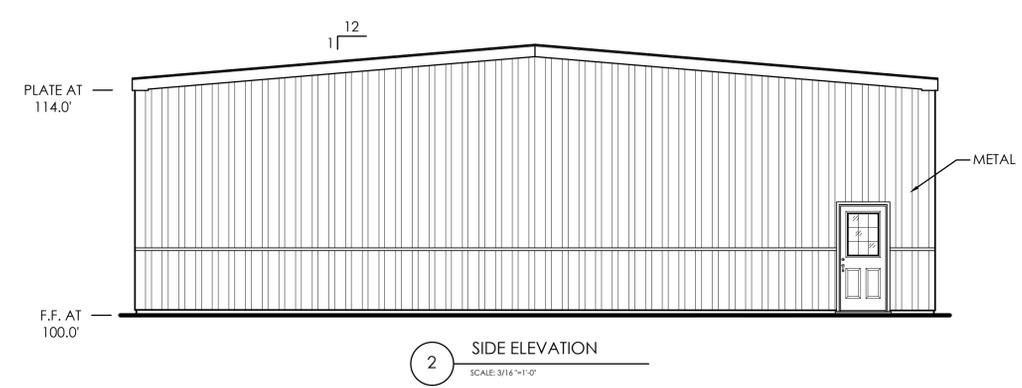
DATE:
7/21/23

JOB NUMBER:
22-84

PAGE:
A2.4



EXTERIOR FINISHES	
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ROOF PITCH:	1:12 METAL ROOF
OVERHANG:	0'-2" GABLE, 0'-2" EAVE
GUTTER/ DOWNSPOUTS	4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS @ 3'-0" O.C. MAX W/ SPLASH BLOCKS
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WINDOWS:	WHITE VINYL DOUBLE PANE
EXTERIOR COLORS:	
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ROOF:	BROWN
WINDOW:	WHITE



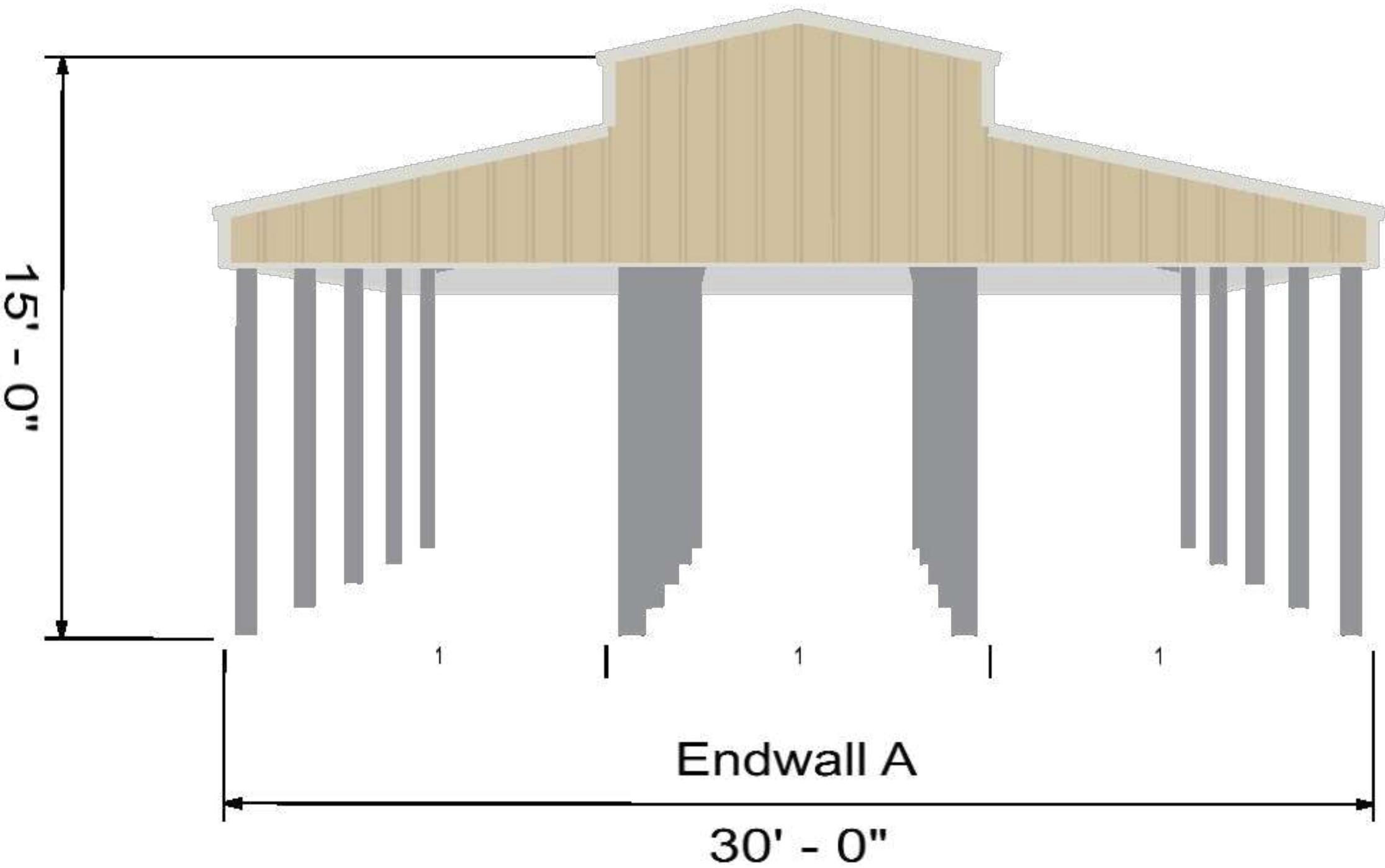
774 OLD STAGE RD
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 SALINAS, CA. 93908
 A.P.N.: 021-051-023-000

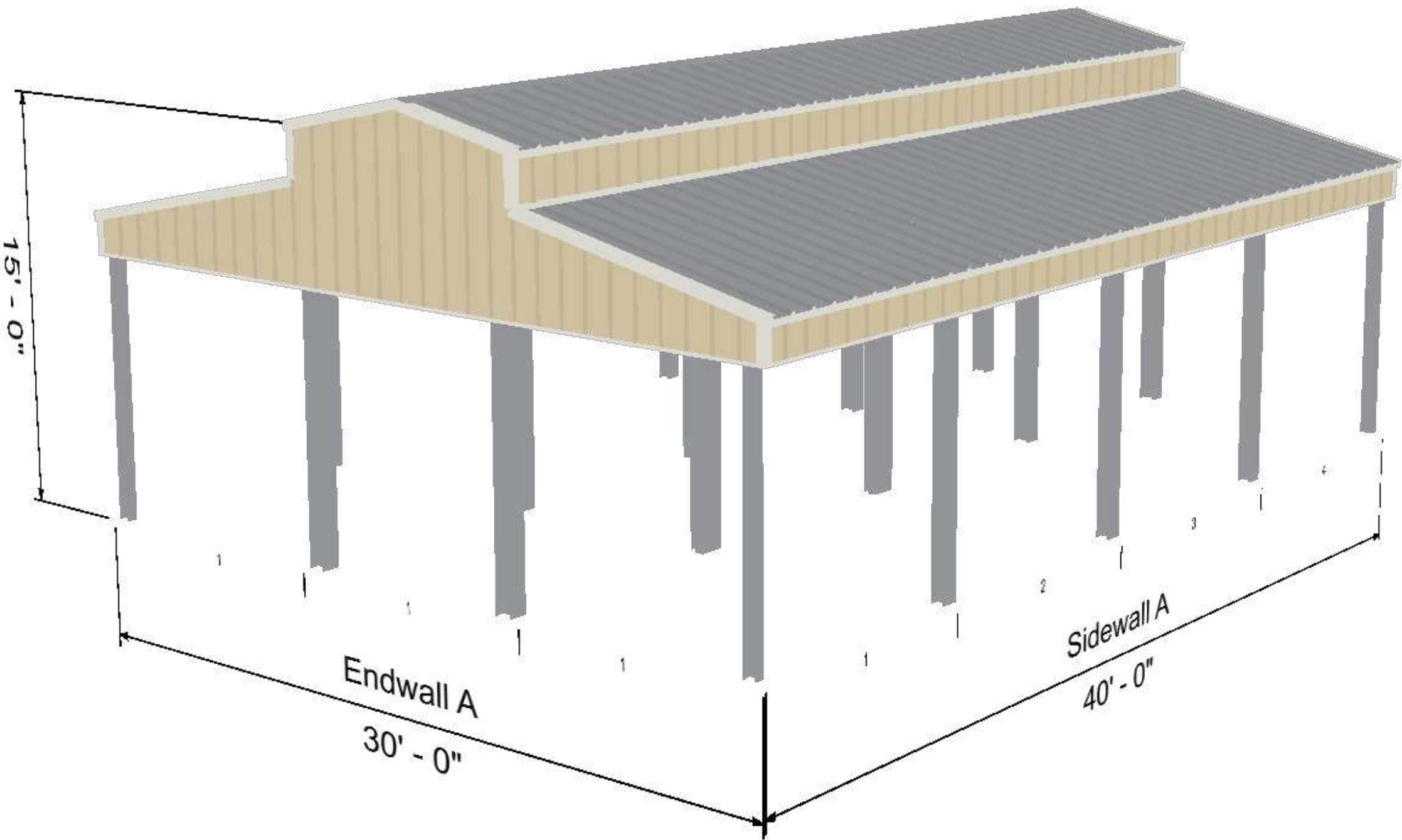
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WORKSHOP FLOOR PLAN & ELEVATIONS
 SCALE: 1/4" = 1'-0"

DATE:
7/21/23

JOB NUMBER:
22-84

PAGE:
A2.6





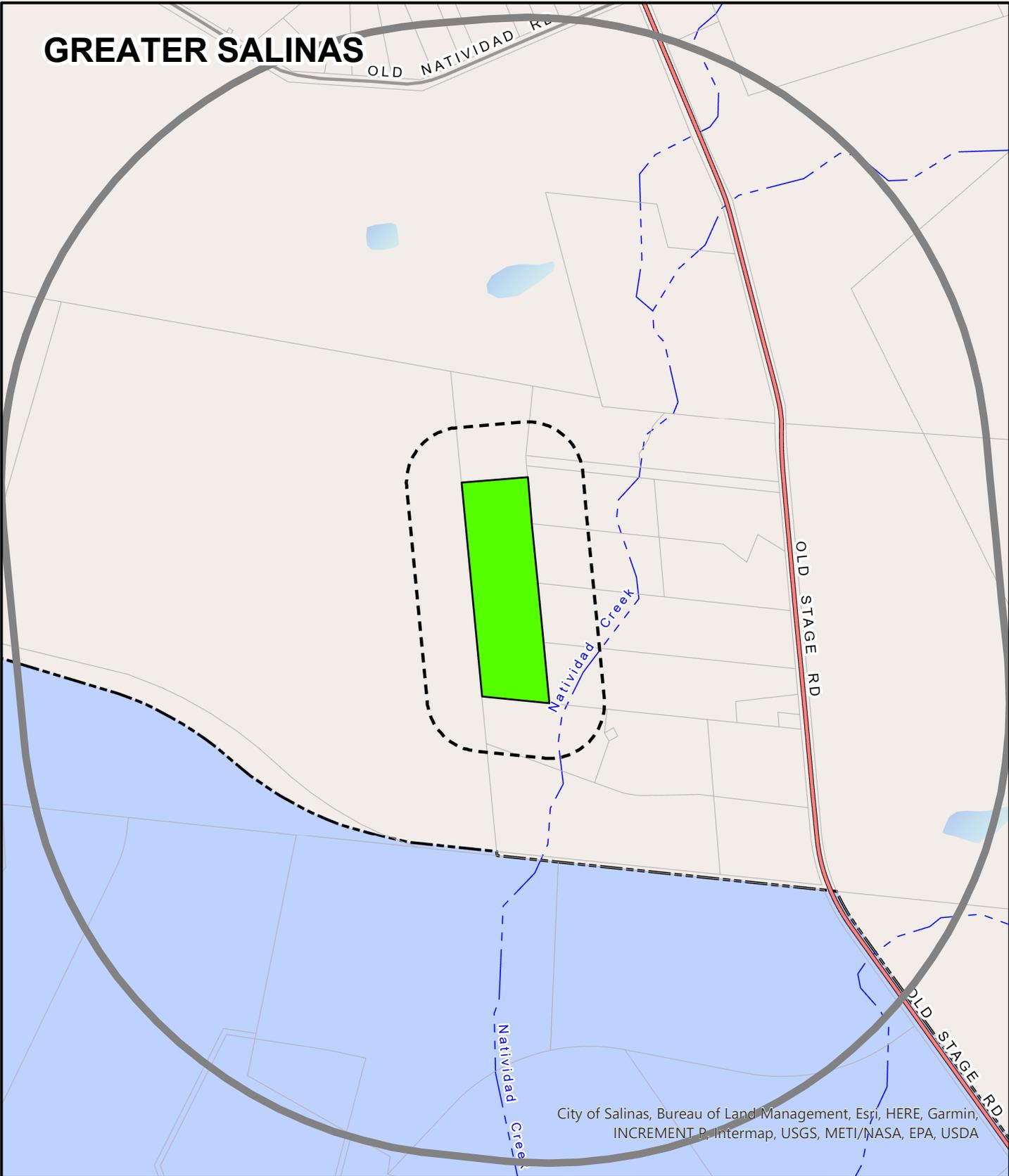
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Exhibit C

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GREATER SALINAS

OLD NATIVIDAD RD



City of Salinas, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: HECTOR MONTEJANO

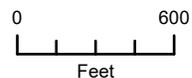
APN: 211051023000

FILE # PLN230008

 Project Site

 300 FT Buffer

 2500 FT Buffer



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County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-034

June 26, 2025

Introduced: 6/17/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230244 - CRANE JOHN R & GENEVA P TRS

Public hearing to consider construction of an approximately 610 square foot addition to an existing 1,880 square foot single-family dwelling, conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot square Accessory Dwelling Unit over a 254 square foot garage, associated site improvements; the removal of two Monterey pine trees; less than 120 square feet of development on slopes in excess of 30%; and Variances to reduce the required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches, and the side setback from 5 feet to 4 feet.

Project Location: 240820 Torres St, Carmel

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301 of the, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

1. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that none of the exceptions to these exemptions set forth in CEQA Guidelines section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of:
 - a. Design Approval to allow construction of a 608 square foot addition to an existing 1,880 square foot single-family dwelling;
 - b. Coastal Administrative Permit and Design Approval to allow the conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot Accessory Dwelling Unit over a 254 square foot garage and associated site improvements;
 - c. Coastal Development Permit to allow the removal of two (2) Monterey Pine trees;
 - d. Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%; and
 - e. Three Variances to allow the reduction of required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches, and required side setback from 5 feet to 4 feet.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Bill Medford, Architect

Property Owners: John and Geneva Crane

APN: 009-132-001-000

Parcel Size: 0.17 acres (7,509 square feet)

Zoning: Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)]

Plan Area: Carmel Area Land Use Plan

Flagged and Staked: Yes

SUMMARY/DISCUSSION

The Crane property sits within the Carmel Woods subdivision. The property is 0.17 acres with the rear of the property facing another street (Camino Del Monte Street) and is considered a through lot with two front setbacks. The existing single family dwelling is 1,880 square feet with an attached 459 square foot studio. The proposed project involves an exterior and interior remodel to the main residence, including an addition of 608 square feet. The existing family dwelling has an attached 459 square foot two-story studio in which the applicant proposes to convert the first floor into a 254 square foot garage and remaining 205 square foot second floor into an Accessory Dwelling Unit (ADU). Additionally, the proposed ADU includes an addition of 384 square feet, resulting in a 589 square foot ADU. The project includes associated site improvements such as a 56 square foot deck attached to the proposed ADU and reconstruction of an existing 465 square foot deck resulting in a 409 square foot deck. As discussed below and in the attached draft resolution (**Exhibit A**), the removal of two Monterey Pine trees, less than 120 square feet of development on slopes in excess of 30% and three Variances are proposed to construct the development. The applicant provided a can and will serve letter by California American Water (Cal-Am) outlining the ability to provide water service. As proposed, the project will continue to be served by the Carmel Area Wastewater District.

Based on staff analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan (General Plan), Carmel Area Land Use Plan, Monterey County Coastal Implementation Plan, Part 4 (CIP), and Monterey County Zoning Ordinance (Title 20).

Land Use & Site Development Standards

The property is zoned as Medium Density Residential, two acres per unit, with Design Control overlay zoning district within the Coastal Zone or “MDR/2-D(CZ)”. Pursuant to Title 20 section 20.12.040, the MDR zoning allows a single family dwelling and ADU as a principally allowed use subject to Coastal Administrative Permit in each case. The 608 square foot addition to an existing single family dwelling qualifies for an exemption from a Coastal Development Permit as outlined in Title 20 section 20.70.120.A and therefore only subject to a Design Approval as outlined in Title 20 section 20.44.030. The property is consistent with the applicable MDR development standards, which in the Carmel Area Land Use plan, are subject to a 35% maximum lot coverage and 45% maximum allowable Floor Area Ratio (FAR). The proposed lot coverage is 2,352 square feet (31%), within the requirement. The proposed FAR is 3.379 square feet 3,331 square feet, or 44.36%, also within the requirement. The maximum allowed height for main structures is 30 feet above average natural grade.

The proposed residence is 22 feet above average natural grade and the ADU is attached to the main structure, pursuant to Title 20 section 20.62.040.K, accessory structures attached to the main structure are subject to the same height requirement as the main structure. As such, the proposed development is consistent with the applicable requirements outlined above in the MDR zoning district for coverage, FAR and height.

Design

The parcel is designated within the Design Control overlay zoning district. Pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the neighborhood character. The neighborhood of Carmel Woods is a mixture of various massing and architectural styles, most homes are older in style with one-story and two-story homes found throughout. In accordance with the Carmel Area CIP section 20.146.030.C.1.c, the colors and materials give the general appearance of natural materials and include white windows and doors, a matte gray/brown standing seam metal roof and dark gray composition shingles, and off-white siding for the exterior walls. Due to the distance, topography, vegetation, and intervening development, the project would not be visible from the scenic highway.

Tree Removal and Protection

The proposed project includes the removal of two Monterey pine trees. An Arborist Report (see **Exhibit B**) identified both trees as being 28 inches and 29 inches in diameter when measured at breast height and are defined as Landmark trees. Pursuant to the CIP Policy 20.146.060, the removal of native trees requires a Coastal Development Permit, and also states that an exception for the removal of landmark trees can be granted by the decision-making body if no other alternatives exist whereby tree removal can be avoided. The project site is a constrained triangular lot with two front setbacks and slopes in excess of 30%. Pursuant to Title 20 section 20.64.030.E, an ADU must provide complete independent living facilities and have no internal circulation if attached to the main residence. The proposed ADU is sited in the most feasible location to lessen the impact to other resources such as slopes; however, to ensure consistency with the applicable ADU regulations, egress/ingress into the ADU is proposed to be located on the side of the property through its own entrance with the construction a proposed deck. Two Monterey Pine trees are located within this development area with potential impacts to critical root zones. Although the deck is proposed to be constructed on posts, the impact is still high as outlined in the Arborist Report and therefore, removal of these trees are proposed. Staff finds that these are the minimum trees necessary and no alternative site locations exists. Therefore, the removal of two landmark Monterey pine trees is subject to the granting of a Coastal Development Permit. Per the Arborist Report, a replanting of 2:1 for landmark trees is recommended and incorporated as a condition of approval, resulting in four Monterey Pine trees will be required to be replanted on the subject parcel. The County of Monterey's standard condition for the Notice of Report and the Migratory Bird Treaty Act requirement for a pre-construction nesting survey will be applied to the project.

Development on Slopes

The proposed development includes a 200 square foot deck structurally attached to the rear side of the main structure and the structural posts and footings needed to support the deck would impact slopes in excess of 30%. Pursuant to Title 20 section 20.64.230.C.2.d, additions to existing structures on slopes in excess of 30% that does not exceed 120 square feet within the sloped area requires a Coastal Administrative Permit. Since the deck is an addition to an existing structure and the proposed

impacts to slopes in excess of 30% is less than 120 square feet, the project meets the requirements for development on slopes in excess of 30%.

Legal Nonconforming & Variance

The single family dwelling was constructed within the 1930s, prior to the establishment of Monterey County Code. The construction of the single family dwelling is considered legal nonconforming as to setbacks when reviewed against our current regulations for MDR zoning per Title 20 section 20.12.060, which outlines required setbacks for main structures as 20 feet (front), 5 feet (side), and 10 feet (rear). The rear side of the lot faces another road (Camino Del Monte Street) and is considered a through lot, and therefore the property has two front setbacks at 20 feet. The existing dwelling's current legal nonconforming setback is 13 feet and 10 inches (front setback at Camino Del Monte Street), feet 8 inches (front setback at Torres Street) and 4 feet (side/rear). As proposed, the main structure, additions and the ADU will remain within these existing setbacks through the granting of a variance. Although, the project includes an interior remodel and exterior updates to the single family dwelling, it will not expand further into the required front setback off of Torres street or side setback. The addition to the rear of the dwelling that fronts along Camino Del Monte Street are minor modifications that do not result any additional encroachment into the existing setback of 13 feet and 10 inches. The proposed project meets the special circumstances necessary for a variance. There are no other alternatives and due to the special circumstance of the subject property including triangular shape, two front setbacks and existing topography. Further, the variances do not constitute a grant of privilege to this project only, and the granting of the variance is consistent with the zoning regulation of the parcel as a principal use.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Cypress Fire Protection District

LAND USE ADVISORY COMMITTEE

The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) at a duly noticed meeting on February 3, 2025. The LUAC unanimously voted to support the project as proposed.

CEQA

California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts additions to existing structures provided that the addition will not result in a increase of 2,500 square feet. The proposed project consists of a remodel, addition and conversion of portions of a single-family residence on an existing residentially zoned property, inclusive of an ADU and garage. Therefore, the project qualifies for a Class 1 categorical exemption. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, developemtnn located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would

result in a cumulative significant impact.

Prepared by: Hya Honorato, Assistant Planner, x5173

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Attachments

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations, Colors and Materials

Exhibit B - Arborist Report (LIB240207)

Exhibit C - Vicinity Map

Exhibit D - Variance Letter

Exhibit E - Carmel Highlands LUAC Minutes 02/03/25

cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Hya Honorato, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; John and Geneva Crane, Property Owners; Bill Medford, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN230244



Zoning Administrator

Legistar File Number: ZA 25-034

June 26, 2025

Introduced: 6/17/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230244 - CRANE JOHN R & GENEVA P TRS

Public hearing to consider construction of an approximately 610 square foot addition to an existing 1,880 square foot single-family dwelling, conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot square Accessory Dwelling Unit over a 254 square foot garage, associated site improvements; the removal of two Monterey pine trees; less than 120 square feet of development on slopes in excess of 30%; and Variances to reduce the required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches, and the side setback from 5 feet to 4 feet.

Project Location: 240820 Torres St, Carmel

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301 of the, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

1. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that none of the exceptions to these exemptions set forth in CEQA Guidelines section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of:
 - a. Design Approval to allow construction of a 608 square foot addition to an existing 1,880 square foot single-family dwelling;
 - b. Coastal Administrative Permit and Design Approval to allow the conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot Accessory Dwelling Unit over a 254 square foot garage and associated site improvements;
 - c. Coastal Development Permit to allow the removal of two (2) Monterey Pine trees;
 - d. Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%; and
 - e. Three Variances to allow the reduction of required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches, and required side setback from 5 feet to 4 feet.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Bill Medford, Architect

Property Owners: John and Geneva Crane

APN: 009-132-001-000

Parcel Size: 0.17 acres (7,509 square feet)

Zoning: Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)]

Plan Area: Carmel Area Land Use Plan

Flagged and Staked: Yes

SUMMARY/DISCUSSION

The Crane property sits within the Carmel Woods subdivision. The property is 0.17 acres with the rear of the property facing another street (Camino Del Monte Street) and is considered a through lot with two front setbacks. The existing single family dwelling is 1,880 square feet with an attached 459 square foot studio. The proposed project involves an exterior and interior remodel to the main residence, including an addition of 608 square feet. The existing family dwelling has an attached 459 square foot two-story studio in which the applicant proposes to convert the first floor into a 254 square foot garage and remaining 205 square foot second floor into an Accessory Dwelling Unit (ADU). Additionally, the proposed ADU includes an addition of 384 square feet, resulting in a 589 square foot ADU. The project includes associated site improvements such as a 56 square foot deck attached to the proposed ADU and reconstruction of an existing 465 square foot deck resulting in a 409 square foot deck. As discussed below and in the attached draft resolution (**Exhibit A**), the removal of two Monterey Pine trees, less than 120 square feet of development on slopes in excess of 30% and three Variances are proposed to construct the development. The applicant provided a can and will serve letter by California American Water (Cal-Am) outlining the ability to provide water service. As proposed, the project will continue to be served by the Carmel Area Wastewater District.

Based on staff analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan (General Plan), Carmel Area Land Use Plan, Monterey County Coastal Implementation Plan, Part 4 (CIP), and Monterey County Zoning Ordinance (Title 20).

Land Use & Site Development Standards

The property is zoned as Medium Density Residential, two acres per unit, with Design Control overlay zoning district within the Coastal Zone or “MDR/2-D(CZ)”. Pursuant to Title 20 section 20.12.040, the MDR zoning allows a single family dwelling and ADU as a principally allowed use subject to Coastal Administrative Permit in each case. The 608 square foot addition to an existing single family dwelling qualifies for an exemption from a Coastal Development Permit as outlined in Title 20 section 20.70.120.A and therefore only subject to a Design Approval as outlined in Title 20 section 20.44.030. The property is consistent with the applicable MDR development standards, which in the Carmel Area Land Use plan, are subject to a 35% maximum lot coverage and 45% maximum allowable Floor Area Ratio (FAR). The proposed lot coverage is 2,352 square feet (31%), within the requirement. The proposed FAR is 3.379 square feet 3,331 square feet, or 44.36%, also within the requirement. The maximum allowed height for main structures is 30 feet above average natural grade.

The proposed residence is 22 feet above average natural grade and the ADU is attached to the main structure, pursuant to Title 20 section 20.62.040.K, accessory structures attached to the main structure are subject to the same height requirement as the main structure. As such, the proposed development is consistent with the applicable requirements outlined above in the MDR zoning district for coverage, FAR and height.

Design

The parcel is designated within the Design Control overlay zoning district. Pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the neighborhood character. The neighborhood of Carmel Woods is a mixture of various massing and architectural styles, most homes are older in style with one-story and two-story homes found throughout. In accordance with the Carmel Area CIP section 20.146.030.C.1.c, the colors and materials give the general appearance of natural materials and include white windows and doors, a matte gray/brown standing seam metal roof and dark gray composition shingles, and off-white siding for the exterior walls. Due to the distance, topography, vegetation, and intervening development, the project would not be visible from the scenic highway.

Tree Removal and Protection

The proposed project includes the removal of two Monterey pine trees. An Arborist Report (see **Exhibit B**) identified both trees as being 28 inches and 29 inches in diameter when measured at breast height and are defined as Landmark trees. Pursuant to the CIP Policy 20.146.060, the removal of native trees requires a Coastal Development Permit, and also states that an exception for the removal of landmark trees can be granted by the decision-making body if no other alternatives exist whereby tree removal can be avoided. The project site is a constrained triangular lot with two front setbacks and slopes in excess of 30%. Pursuant to Title 20 section 20.64.030.E, an ADU must provide complete independent living facilities and have no internal circulation if attached to the main residence. The proposed ADU is sited in the most feasible location to lessen the impact to other resources such as slopes; however, to ensure consistency with the applicable ADU regulations, egress/ingress into the ADU is proposed to be located on the side of the property through its own entrance with the construction a proposed deck. Two Monterey Pine trees are located within this development area with potential impacts to critical root zones. Although the deck is proposed to be constructed on posts, the impact is still high as outlined in the Arborist Report and therefore, removal of these trees are proposed. Staff finds that these are the minimum trees necessary and no alternative site locations exists. Therefore, the removal of two landmark Monterey pine trees is subject to the granting of a Coastal Development Permit. Per the Arborist Report, a replanting of 2:1 for landmark trees is recommended and incorporated as a condition of approval, resulting in four Monterey Pine trees will be required to be replanted on the subject parcel. The County of Monterey's standard condition for the Notice of Report and the Migratory Bird Treaty Act requirement for a pre-construction nesting survey will be applied to the project.

Development on Slopes

The proposed development includes a 200 square foot deck structurally attached to the rear side of the main structure and the structural posts and footings needed to support the deck would impact slopes in excess of 30%. Pursuant to Title 20 section 20.64.230.C.2.d, additions to existing structures on slopes in excess of 30% that does not exceed 120 square feet within the sloped area requires a Coastal Administrative Permit. Since the deck is an addition to an existing structure and the proposed

impacts to slopes in excess of 30% is less than 120 square feet, the project meets the requirements for development on slopes in excess of 30%.

Legal Nonconforming & Variance

The single family dwelling was constructed within the 1930s, prior to the establishment of Monterey County Code. The construction of the single family dwelling is considered legal nonconforming as to setbacks when reviewed against our current regulations for MDR zoning per Title 20 section 20.12.060, which outlines required setbacks for main structures as 20 feet (front), 5 feet (side), and 10 feet (rear). The rear side of the lot faces another road (Camino Del Monte Street) and is considered a through lot, and therefore the property has two front setbacks at 20 feet. The existing dwelling's current legal nonconforming setback is 13 feet and 10 inches (front setback at Camino Del Monte Street), feet 8 inches (front setback at Torres Street) and 4 feet (side/rear). As proposed, the main structure, additions and the ADU will remain within these existing setbacks through the granting of a variance. Although, the project includes an interior remodel and exterior updates to the single family dwelling, it will not expand further into the required front setback off of Torres street or side setback. The addition to the rear of the dwelling that fronts along Camino Del Monte Street are minor modifications that do not result any additional encroachment into the existing setback of 13 feet and 10 inches. The proposed project meets the special circumstances necessary for a variance. There are no other alternatives and due to the special circumstance of the subject property including triangular shape, two front setbacks and existing topography. Further, the variances do not constitute a grant of privilege to this project only, and the granting of the variance is consistent with the zoning regulation of the parcel as a principal use.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Cypress Fire Protection District

LAND USE ADVISORY COMMITTEE

The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) at a duly noticed meeting on February 3, 2025. The LUAC unanimously voted to support the project as proposed.

CEQA

California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts additions to existing structures provided that the addition will not result in a increase of 2,500 square feet. The proposed project consists of a remodel, addition and conversion of portions of a single-family residence on an existing residentially zoned property, inclusive of an ADU and garage. Therefore, the project qualifies for a Class 1 categorical exemption. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, developemtnn located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would

result in a cumulative significant impact.

Prepared by: Hya Honorato, Assistant Planner, x5173

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Attachments

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations, Colors and Materials

Exhibit B - Arborist Report (LIB240207)

Exhibit C - Vicinity Map

Exhibit D - Variance Letter

Exhibit E - Carmel Highlands LUAC Minutes 02/03/25

cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Hya Honorato, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; John and Geneva Crane, Property Owners; Bill Medford, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN230244

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

CRANE JOHN R & GENEVA P TRS (PLN230244)

RESOLUTION NO. 25--

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and that none of the exceptions set forth in CEQA Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Design Approval to allow construction of a 608 square foot addition to an existing 1,880 square foot single-family dwelling;
 - b. Coastal Administrative Permit and Design Approval to allow the conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot Accessory Dwelling Unit over a 254 square foot garage and associated site improvements;
 - c. Coastal Development Permit to allow the removal of two Monterey Pine trees;
 - d. Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%; and
 - e. Three Variance to allow the reduction of required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet 8 inches, and required side setback from 5 feet to 4 feet.

[PLN230244 CRANE JOHN R & GENEVA P TRS, 24820 TORRES ST, CARMEL, CARMEL LAND USE PLAN (APN: 009-132-001-000)]

The CRANE JOHN R & GENEVA P TRS application (PLN230244) came on for a public hearing before the County of Monterey Zoning Administrator on June 26, 2025. Having considered all the written and documentary evidence, the administrative record, the staff

report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (LUP);
 - Monterey County Coastal Implementation Plan (CIP), Part 4; and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Project. The subject property is developed with an 1,880 square foot two-story single-family dwelling with an attached 459 square foot studio. The proposed project includes exterior and interior remodels and an addition of 608 square feet to the existing residence. The existing 459 square foot studio will be converted into a 589 square foot two-story attached accessory dwelling unit (ADU) over a 254 square foot garage see Finding 10 and supporting evidence). Associated site improvements includes new roofing, replacement of all windows, and the removal of two Monterey pine trees. The project also includes three variances to reduce the front setback from 20 feet to 13 feet 10 inches (along Camino Del Monte Street), reduce the front setback to 5 feet 8 inches (along Torres Street), and reduction of the side setback from 5 feet to 4 feet (see evidence “i”).
 - c) Allowed Use. The property is located at 24820 Torres St, Carmel, (Assessor’s Parcel Number [APN]: 009-132-001-000), within the Carmel Area Land Use Plan. The parcel is zoned as Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)], which allows a single-family dwelling and ADU as a principally allowed use subject to Coastal Administrative Permit in each case. The 608 square foot addition to an existing single-family dwelling qualifies for an exemption from a Coastal Development Permit as outlined in Title 20 section 20.70.120.A and therefore only subject to a Design Approval as outlined in Title 20 section 20.44.030. Therefore, the project is an allowed land use for this site.
 - d) Lot Legality. The property is shown in its present size and configuration as Lot 11 in Block 7 within the Carmel Wood Subdivision as the Ninth Addition to Carmel-by-the-Sea in Volume 3 page 21 Cities and Towns Map and is shown as separate ownership from adjacent lots under Windhurst Elmer J and Hilda in the 1972 Assessor Ownership Books. Therefore, the County recognizes it as a legal lot of record.

- e) Design. The subject parcel and surrounding area are designated as a Design Control overlay zoning district (“D” zoning overlay) and pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the neighborhood character. The neighborhood of Carmel Woods is a mixture of various massing and architectural styles, most homes are older in style with one-story and two-story homes found throughout. In accordance with the Carmel Area CIP section 20.146.030.C.1.c, the colors and materials give the general appearance of natural materials and include white windows and doors, a matte gray/brown standing seam metal roof and dark gray composition shingles, and off-white siding for the exterior walls. Due to the distance, topography, vegetation, and intervening development, the project would not be visible from the scenic highway. The tree removal will not negatively impact visual resources (see Finding 9).
- f) Development Standards. The development standards for the MDR zoning are codified in Title 20 section 20.12.060. For main structures the required setbacks are 20 feet (front), 5 feet (side), and 10 feet (rear). The rear lot of the parcel faces another road (Camino Del Monte Street) and is considered a through lot, and therefore has two front setbacks at 20 feet. The existing dwelling’s current setbacks are 13 feet 10 inches (front setback at Camino Del Monte Street), 5 feet 8 inches (front setback at Torres Street) and 4 feet (side/rear) and is not in conformance with current setbacks. The current ADU is attached to the main dwelling and pursuant to Title 20 section 20.62.040.K and 20.64.030.E.8, accessory structures that are structurally attached to the main structure are subject to the same setback requirements and the same structure and is not in conformance with current setbacks. As proposed, the main structure and ADU will remain within the current setbacks (see Findings 5, 6, 7 and supporting evidence) through the granting of a variance. The maximum allowed height for main structures is 30 feet above average natural grade. The proposed residence is 22 feet above average natural grade. The property is 0.17 acres (7,509 square feet), and the maximum allowable building site coverage is 35% (2,628 feet) while the proposed coverage is 31% (2,352 square feet). The maximum allowable Floor Area Ratio (FAR) is 3,379 square feet (45%) while the proposed FAR is 3,331 square feet.
- g) Tree Removal. The proposed project includes the removal of two Monterey pine trees. An Arborist Report (LIB240207 – see Finding 2, Evidence “b”) identified both trees as being 28 inches and 29 inches in diameter when measured at breast height and are defined as Landmark trees. Pursuant to the Carmel Area CIP Policy 20.146.060.A.1, the removal of native trees requires a Coastal Development Permit. Furthermore, CIP Policy 20.146.060.D.1 states that an exception for the removal of landmark trees can be granted by the decision-making body if no other alternatives exist whereby tree removal can be avoided. Therefore, the removal of two landmark Monterey pine trees is subject to the granting of a Coastal Development Permit. The project meets the required findings to allow the removal of trees as demonstrated in Finding No. 9 and supporting evidence.

- h) Development on Slopes. Pursuant to Title 20 section 20.64.230.C.2.d, additions to existing structures where the addition does not exceed 120 square feet within slopes in excess of 30% requires a Coastal Administrative Permit. The proposed development includes a 200 square foot deck extending from the rear side of the main structure and the structural posts necessary to support the deck would impact slopes in excess of 30%. Therefore, the proposed development of less than 120 square feet on slopes in excess of 30% is subject to the granting of a Coastal Administrative Permit. The project meets the required findings to allow development on slopes in excess of 30% as demonstrated in Finding No. 8 and supporting evidence.
- i) Legal Nonconforming/Variance. The single-family dwelling was constructed within the 1930s, prior to the establishment of Monterey County Code. The construction of the single-family dwelling is considered legal nonconforming as to setbacks when reviewed against our current regulations for MDR zoning per Title 20 section 20.12.060, which outlines required setbacks for main structures as 20 feet (front), 5 feet (side), and 10 feet (rear). The rear side of the lot faces another road (Camino Del Monte Street) and is considered a through lot, and therefore the property has two front setbacks at 20 feet. The existing dwelling's current legal nonconforming setback is 13 feet and 10 inches (front setback at Camino Del Monte Street), feet 8 inches (front setback at Torres Street) and 4 feet (side/rear). As proposed, the main structure, additions and the ADU will remain within these existing setbacks through the granting of a variance as demonstrated in Findings Nos. 5, 6, and 7, and supporting evidence.
- j) Land Use Advisory Committee (LUAC) Review. County staff referred the project to the Carmel Highlands Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on February 3, 2025 and voted 6-0 to support the project as proposed.
- k) The project planner conducted a site inspection on May 29, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Cypress Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to protected trees. The following report has been prepared:
 - “Arborist Report” (LIB240207) prepared by Albert Weisfuss, Carmel, CA, June 9, 2024.
 County staff independently reviewed this report and concurs with its conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
- c) Staff conducted a site inspection on May 29, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Potable water will continue to be provided through Cal Am and managed through the Monterey Peninsula Water Management District. The fixture count has been reduced from the existing single-family dwelling. EHB has reviewed the application and confirmed that this service is suitable for the project development.
 - c) Sewer service will continue to be provided by the Carmel Area Wastewater District. EHB has reviewed the application and confirmed that this service is suitable for the project development
 - d) The project is located in a neighborhood where parking is limited. To minimize the overall construction impact to the neighborhood, a Construction Management Plan is required (Condition No. 7).
 - e) Staff conducted a site inspection on May 29,2025 to verify that the site is suitable for this use.
 - f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 29, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

5. FINDING: VARIANCE (SPECIAL CIRCUMSTANCES) – The variance shall be granted because of special circumstances applicable to the subject property, including the size, shape, topography, location or surroundings. The strict application of development standards in the Monterey County Code (Title 20) is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under and under identical zoning classification.

- EVIDENCE:**
- a) The project site is a constrained triangular lot with two front setbacks and slopes in excess of 30%. The property has a zoning designation of Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)].
 - b) A single-family dwelling and an accessory dwelling unit are allowed pursuant to Title 20 section 20.12.040. Development standards for the MDR zoning district are identified in Title 20 section 20.12.060. The required setbacks for main structures are as follows: 20 feet (front), 5 feet (side), and 10 feet (rear). The property is oriented where the rear of the lot faces another street (Camino Del Monte and is considered a through lot (see Finding 1, Evidence “P”), therefore the parcel has two front setbacks at 20 feet. The ADU is attached to the main dwelling and pursuant to Title 20 section 20.62.040.K the ADU shall be subject to the same setback requirements as the main dwelling.
 - c) The single-family dwelling is oriented with a front setback of 13 feet and 10 inches at the northwest end of the property (adjacent to Camino Del Monte Street) and a front setback of the 5 feet and 8 inches at the east end of the property (adjacent to Torres Street), and a rear setback of 4 feet, all current setbacks are legal nonconforming (see Finding 1, evidence “P”).
 - d) Requiring the full setbacks of the parcel would restrict the lot significantly in comparison to other parcels within the area. Many of the houses are two story and are similar in size and massing. The rear portion of the parcel is sloped from 18% to 29%, so the current location of the main dwelling is the most ideal location. The subdivision was created in 1922, which predates the current zoning. The project structure is not considered a historic resource and failure to grant the variance would potentially result in exceptional hardship, and the granting of the variance will not result in a nuisance or threat to public safety, or conflict with existing law or ordinances.
 - e) The project planner conducted a site inspection on May 29, 2025 to verify the circumstances related to the property.

- f) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN200212.

6. FINDING: VARIANCE (SPECIAL PRIVILEGES) – The variance shall not constitute a grant of privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) The property has a zoning designation of Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)].
 - b) The main dwelling is considered legal non-conforming with existing front setbacks at 5 feet 8 inches and 13 feet and 10 inches. There are many houses in similar size and massing found throughout the neighborhood. The granting of this variance would allow the main dwelling to remain as is and would not grant a special privilege that would restrict other homes of the same privilege.
 - c) The project planner conducted a site inspection on May 29, 2025 to verify the circumstances related to the property.
 - d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN200212.

7. FINDING: VARIANCE (AUTHORIZED USE) – The variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

- EVIDENCE:**
- a) The property has a zoning designation of Medium Density Residential, two units per acre, with a Design Control overlay zoning district within the Coastal Zone [MDR/2-D(CZ)].
 - b) A single-family dwelling is an allowed use pursuant to Title 20 section 20.12.040.A, subject to applicable coastal administrative permits. Therefore, the main dwelling is a use expressly authorized within the project site's residential zoning district.
 - c) An accessory dwelling unit (ADU) is an allowed use pursuant to Title 20 section 20.12.040.S, subject to applicable coastal administrative permits. Therefore, the ADU is a use expressly authorized within the project site's residential zoning district.
 - d) The project planner conducted a site inspection on May 29, 2025 to verify the circumstances related to the property.
 - e) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN200212.

8. FINDING: DEVELOPMENT ON SLOPES EXCEEDING 30 PERCENT – There is no feasible alternative that would allow development to occur on slopes of less than 30 percent, and the project better meets the goals and policies of the Big Sur Coast LUP and 1982 General Plan.

- EVIDENCE:**
- a) Pursuant to Title 20 section 20.64.230.C.2.d, additions to existing structures on slopes in excess of 30% that does not exceed 120 square feet within the sloped area requires a Coastal Administrative Permit. The project includes the construction of a 200 square foot deck that is

structurally attached to the rear side of the main structure. The structural posts and footings that are needed to support the deck will impact slopes in excess of 30%. However, the posts and footings will be impacting less than 120 square feet. Therefore, less than 120 square feet of development on slopes in excess of 30% shall be subject to the granting of a Coastal Administrative Permit.

- b) Staff conducted a site inspection on May 29, 2025 and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

9. FINDING: **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and in accordance with the applicable goals and policies of the Carmel Area Land Use Plan (LUP) and the associated Coastal Implementation Plan (CIP), Part 4.

EVIDENCE:

- a) The project includes the removal of two Monterey pine trees. Pursuant to the Carmel Area CIP Policy 20.146.060.A.1, the removal of native trees requires a Coastal Development Permit.
- b) Further, CIP Policy 20.146.D.1 states that Landmark trees (trees defined as being 24” or greater in diameter when measured at breast height, is visually significant, historically significant, exemplary of its species, or more than 1000 years old) shall not be permitted to be removed with the exception that removal may be granted by the decision-making body for removal of a tree provided that no alternatives for development can be made whereby tree removal can be avoided. The project site is a constrained triangular lot with two front setbacks and slopes in excess of 30%. Pursuant to Title 20 section 20.64.030.E, an ADU must provide complete independent living facilities and have no internal circulation if attached to the main residence (see Finding 1, Evidence “f”). The proposed ADU is sited in the most feasible location and the entrance is proposed to be located on the side of the property through its own entrance with the construction a proposed deck, which would require for the removal of two Monterey Pine trees. An Arborist Report (LIB240207 – see Finding 2, Evidence “b”) identified both trees as being 28 inches and 29 inches in diameter when measured at breast height, and are therefore considered landmark trees. Both landmark trees are in fair condition and are senescing with decline in their canopies and a restricted root zone that has not allowed for proper root expansion. Structures are located on either side of the trees, and failure would potentially cause a hazardous or dangerous condition towards safety of life or property. Although the deck is proposed to be constructed on posts, the impact is still high as outlined in the Arborist Report and therefore, removal of these trees are proposed. Staff finds that these are the minimum trees necessary and no alternative site locations exists. Therefore, the removal of two landmark Monterey pine trees is subject to the granting of a Coastal Development Permit. The Arborist report recommends a two-to-one replacement for landmark trees, and recommends for the trees to be located in the far north-east

portion of the lot. Implementation of the Arborist Report recommendations shall be implemented through the County's standard condition for Notice of Report. In accordance with the Migratory Bird Treaty Act, a pre-construction nesting survey will be required through implementation of the County's standard condition.

- c) Staff conducted a site inspection on May 29, 2025 and researched County records to assess if any violation exists on the subject property.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

10. FINDING: **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.

- EVIDENCE:**
- a) Title 20, Section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the conversion of an existing attached 459 square foot two-story including the conversion of the first floor into a 254 square foot garage and remaining 205 square foot second floor into an Accessory Dwelling Unit (ADU). Additionally, the proposed ADU includes an addition of 384 square feet, resulting in a 589 square foot ADU. (See attached plans and Finding 1, Evidence “b”, “e” and “f”).
 - b) As proposed, the ADU is well below the maximum 1,200 square foot floor area. The proposed ADU is attached to the main dwelling and pursuant to Title 20 section 20.62.040.K and 20.64.030.E.8, accessory structures that are structurally attached to the main structure are subject to the same setback requirements and the same structure and is not in conformance with current setbacks (see Finding 1, Evidence “f”). However, as proposed, the main structure and ADU will remain within the current setbacks (see Findings 5, 6, 7 and supporting evidence) through the granting of a variance. The maximum allowed height for main structures is 30 feet above average natural grade. The residence and attached ADU will be 22 feet above average natural grade.
 - c) The ADU meets the required site development standards and design criteria as defined in Title 20 Section 20.14.060 and Chapter 20.44 (see Finding 1, Evidence “e” and “f”).
 - d) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities and no further comments or conditions were provided (See Finding 3 and supporting evidence).
 - e) Staff conducted a site inspection on May 29, 2025 and researched County records to assess if any violation exists on the subject property.
 - f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.

- 11. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- f) California Environmental Quality Act (CEQA) Guidelines section 15301.e categorically exempts additions to existing structures provided that the addition will not result in an increase of 2,500 square feet or 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development and the area in which the project is located is not environmentally sensitive.
 - g) The project consists of the remodel, addition and conversion of portions of a single-family residence on an existing residentially zoned property, inclusive of an ADU with an attached garage, fitting with the intent of this exemption.
 - h) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place over time, and no new land use is proposed. Removal of 2 protected trees will not result in an adverse environmental impact or significant long-term impacts (see Finding No. 8). The proposed project will also not be visible from any scenic vista or corridor (see Finding No.1, Evidence “e”). The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. The project does not have the potential to affect any historical resources.
 - i) No adverse environmental effects were identified during staff review of the development application during a site visit on May 29, 2025.
 - j) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230244.
- 12. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Pursuant to Title 20 section 20.86.030, the project is subject to appeal to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that none of the exceptions to these exemptions set forth in CEQA Guidelines section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of:
 - a. Design Approval to allow construction of a 608 square foot addition to an existing 1,880 square foot single-family dwelling;
 - b. Coastal Administrative Permit and Design Approval to allow the conversion and expansion of a 459 square foot attached two-story structure into a 589 square foot Accessory Dwelling Unit over a 254 square foot garage and associated site improvements; and
 - c. Coastal Development Permit to allow the removal of two Monterey Pine trees;
 - d. Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%; and
 - e. Three Variance to allow the reduction of required front setbacks from 20 feet to 13 feet 10 inches and 20 feet to 5 feet and 8 inches and required side setback from 5 feet to 4 feet.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 26th day of June, 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230244

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN230244) allows the remodel and addition of an existing 1,800 square foot single-family dwelling with an attached 459 square foot accessory dwelling unit. The project includes construction of an addition of 608 square feet to the main dwelling resulting in a 2,488 square foot two story single family dwelling; addition of 130 square feet and conversion to a detached accessory dwelling unit with an attached 254 square foot garage, associated site improvements including 200 square foot deck, replacement of the roof, the removal of two landmark Monterey Pine trees, and a variance to allow development within the 20-foot setback.. The property is located at 24820 Torres St, Carmel, (Assessor's Parcel Number 009-132-001-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 25 --____) was approved by the Zoning Administrator for Assessor's Parcel Number 009-132-001-000 on June 26, 2025. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (Library No. LIB240207), was prepared by Albert Weisfuss on June 9, 2024 (amended on May 25, 2025) and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

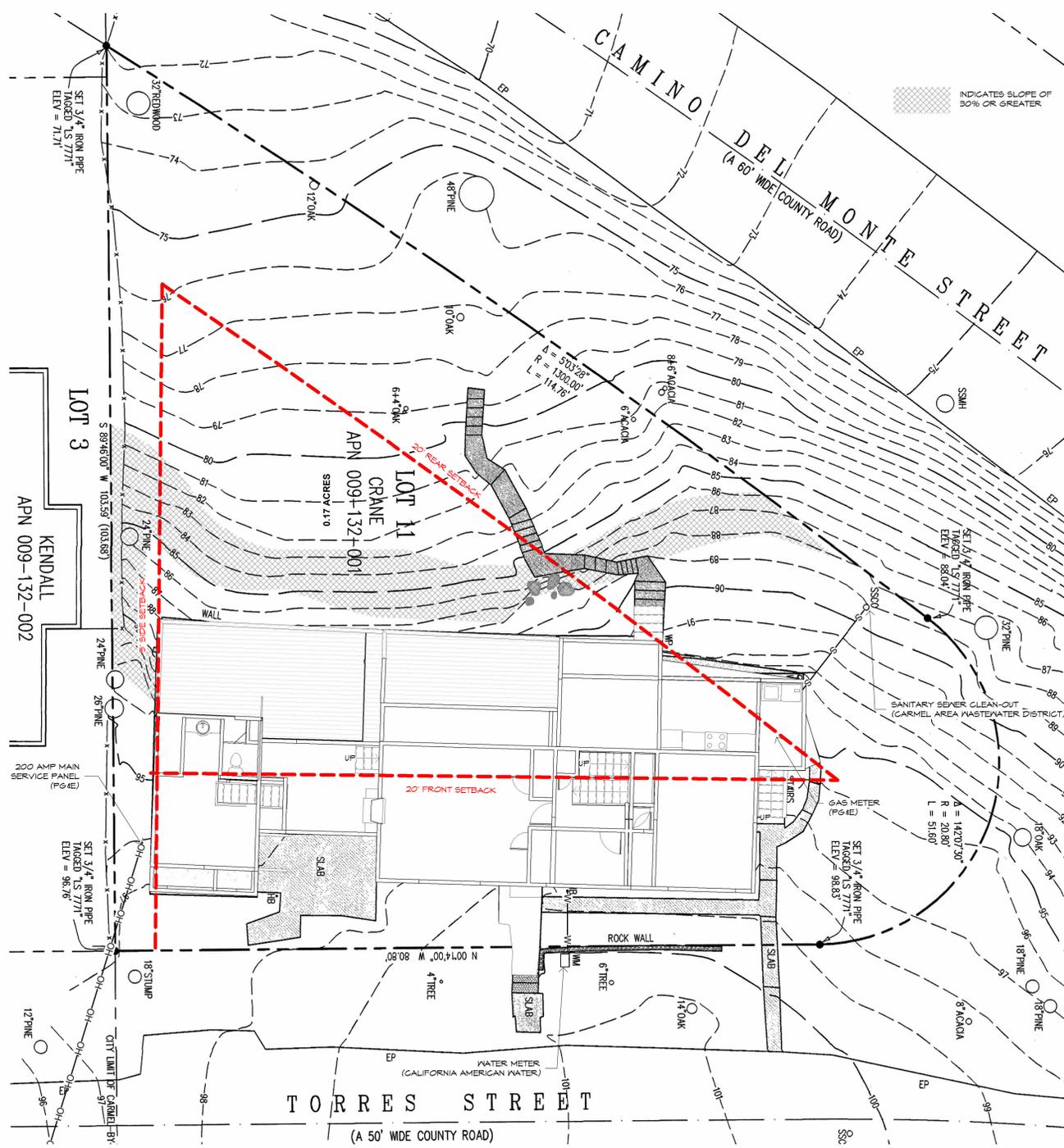
Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.
CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

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EXISTING SITE PLAN

PROJECT DATA

OWNER: JOHN AND GENEVA CRANE
POST OFFICE BOX 1614
TWIN HARTS, CALIFORNIA 93303
209.952.1466
jcrane@earthlink.net

SITE ADDRESS: 24520 TORRES STREET
CARMEL, CALIFORNIA 93923

AP #: 004-132-001

SITE AREA: 7504 FEET

ZONING: MDR/2-D(CZ)

CONSTRUCTION TYPE: TYPE V - B

SPRINKLERS: NO

STORIES: 2

PROJECT SCOPE: ADD 608 SF TO EXISTING RESIDENCE. ADD 192 SF TO EXISTING ADU. REMOVE 475 SF OF WOOD DECK AND BUILD NEW 456 SF LOWER WOOD DECK AND 199 SF OF UPPER DECK AND, RESLOPE EXISTING ROOF AND CHANGE DORMERS, REPLACE ALL WINDOWS, REMOVAL OF TWO (2) MONTEREY PINE TREES

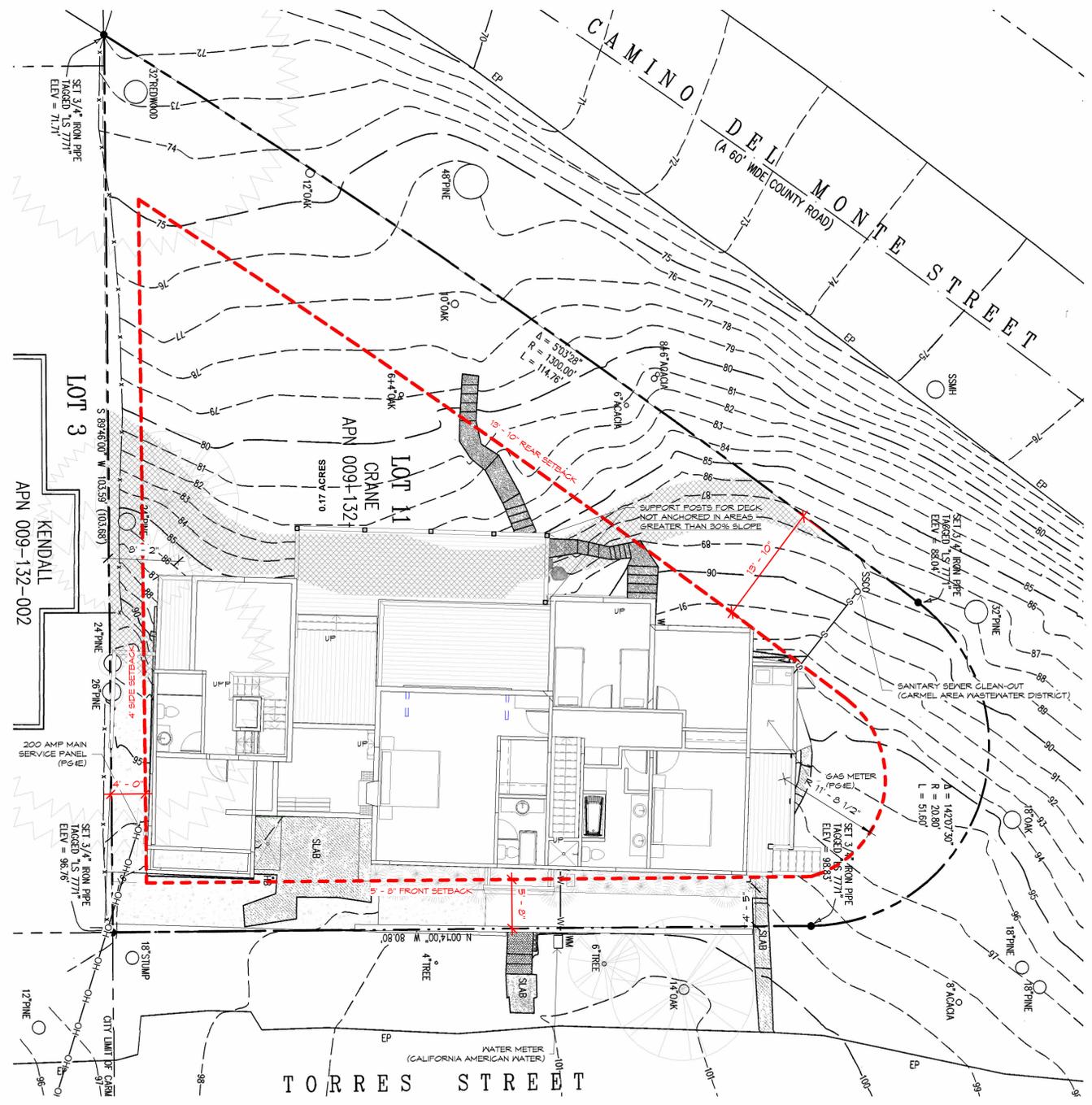
GRADING: CUT 0 CYD
FILL 0 CYD

DRAWING INDEX

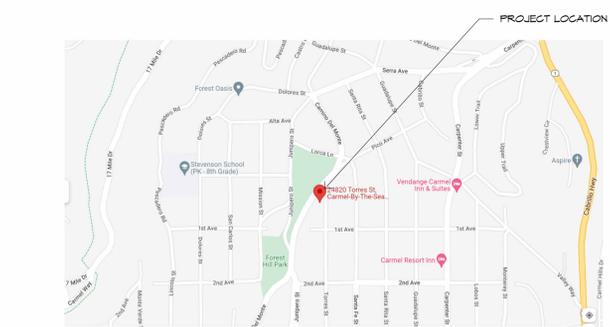
SHT NO	SHEET NAME
A-1	SITE PLANS
A-2	EXISTING/DEMO PLANS
A-3	PROPOSED FLOOR PLANS
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATIONS
A-7	BUILDING SECTIONS
A-8	PROPOSED 3D VIEWS
A-9	EXISTING PHOTOS
A-10	EXTERIOR LIGHTING PLAN
A-11	LANDSCAPE PLAN
CMP-1	CONSTRUCTION MANAGEMENT PLAN
FMP-1	FUEL MANAGEMENT PLAN

REVISIONS

NO.	DATE



PROPOSED SITE PLAN



VICINITY MAP

PROJECT CRITERIA

LOT SIZE:	0.12349 615 ACRES -		7504.00 SQFT			
FLOOR AREA	EXISTING	%	ADD	REMOVE	PROPOSED	%
1ST FLOOR	1239 SF		191 SF		1426 SF	
2ND FLOOR	645 SF		417 SF		1062 SF	
GARAGE	0 SF		254 SF		254 SF	
1ST FLOOR ADU	294 SF			254 SF	145 SF	
2ND FLOOR ADU	205 SF			124 SF	344 SF	
TOTAL FLOOR AREA	2337 SF	31.1	1246 SF	254 SF	3931 SF	44.3
F.A.R. ALLOWED					3374 SF	45.0
BUILDING SITE COVERAGE						
BUILDING FOOTPRINT	1437 SF		308 SF		1875 SF	
WOOD DECK	465 SF		88 SF		409 SF	
WOOD STAIRS	12 SF		17 SF		12 SF	
ADU DECK	0 SF		56 SF		56 SF	
TOTAL BLD SITE COVERAGE	1914 SF	26.2	524 SF	56 SF	2544 SF	33.4
BLD SIT COVERAGE ALLOWED					2629 SF	35.0

PROJECT CRITERIA

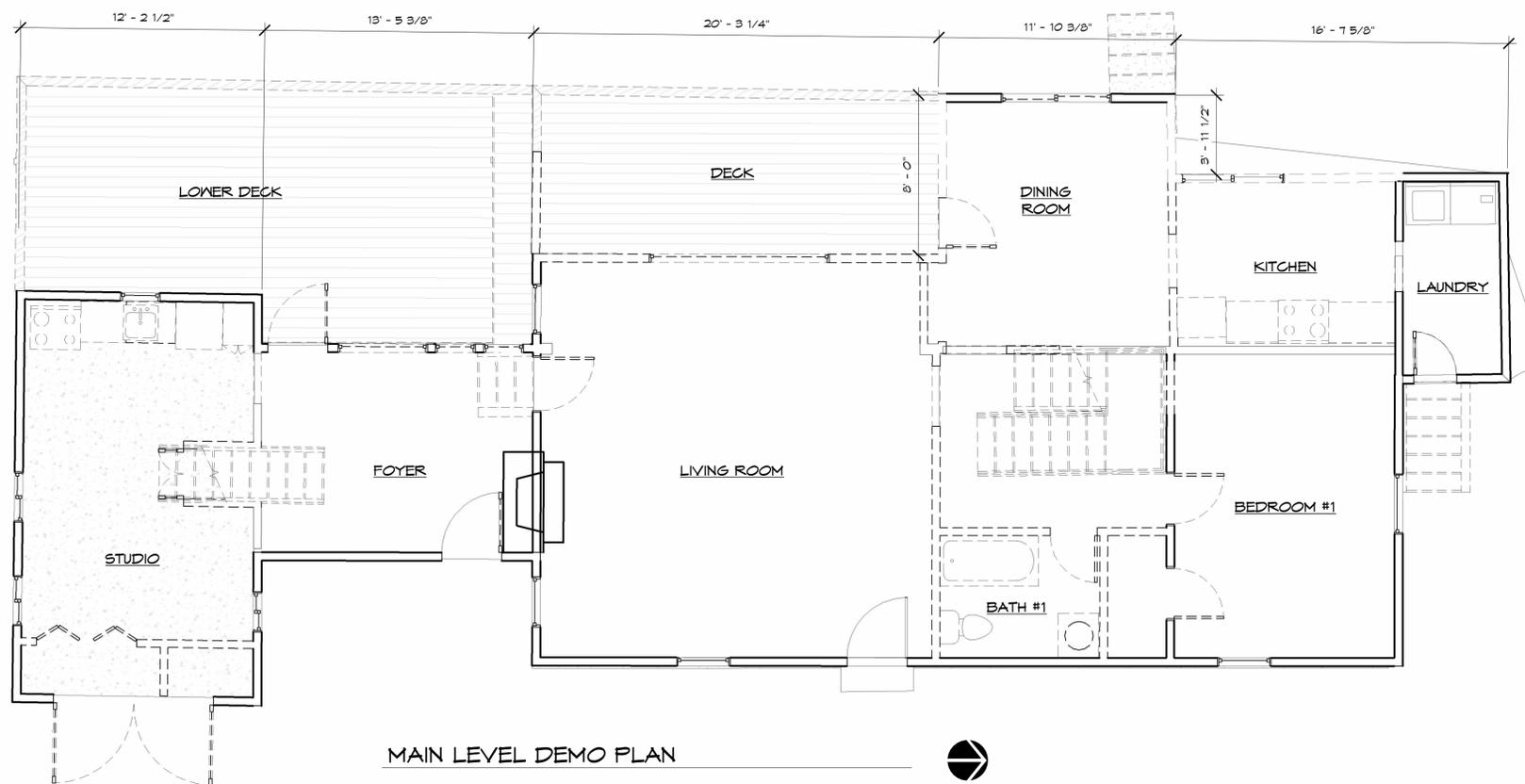
WILLIAM C McFORD
ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567
LICENSE # C-22883

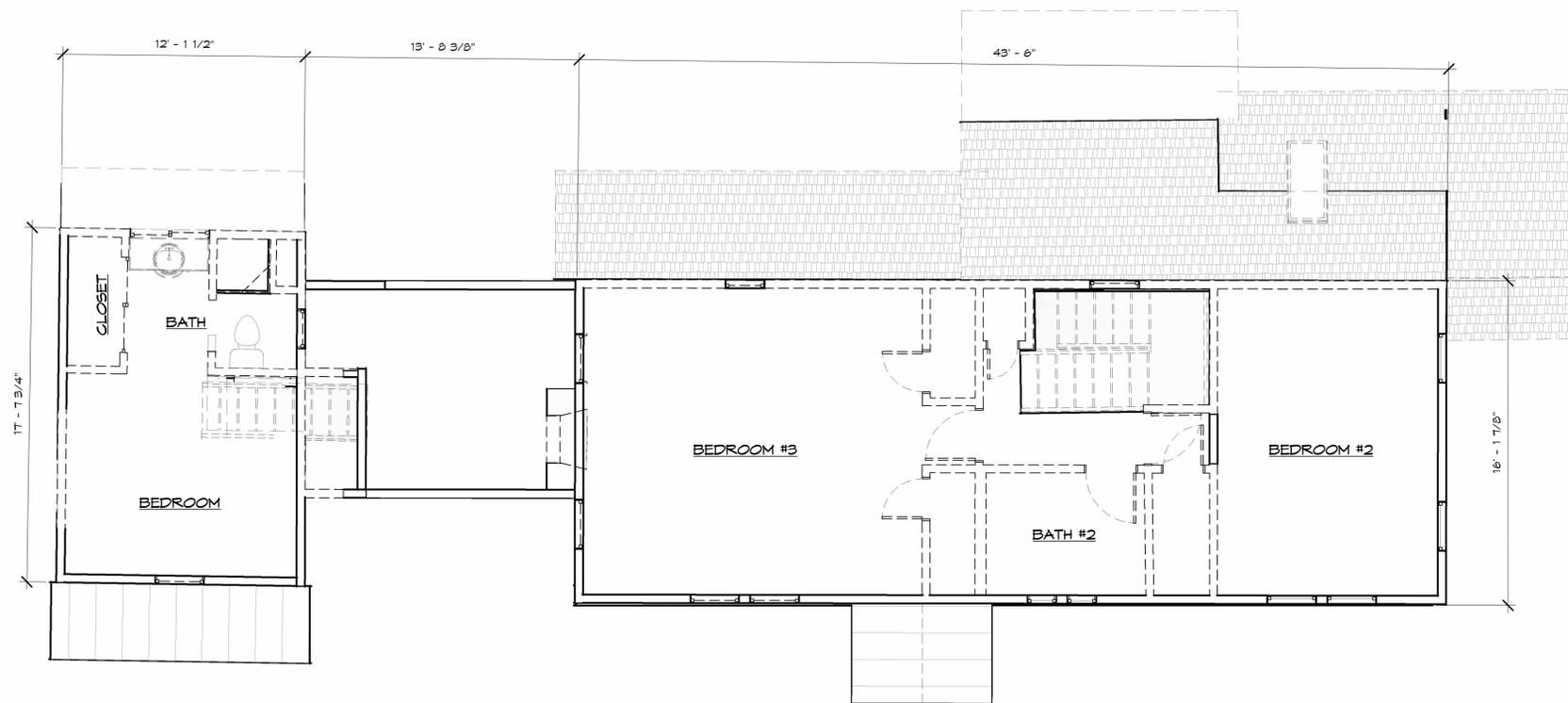
WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24520 TORRES STREET
CARMEL, CALIFORNIA 93923
APN: 004-132-001

DATE: 21 JANUARY 2025
PROJECT NO. 23032
DRAWN BY:
CHECKED BY:
SHEET TITLE: **SITE PLANS**

SHEET NO. **A-1**
OF NINE SHEETS



MAIN LEVEL DEMO PLAN



UPPER LEVEL DEMO PLAN

REVISIONS	
NO.	DATE

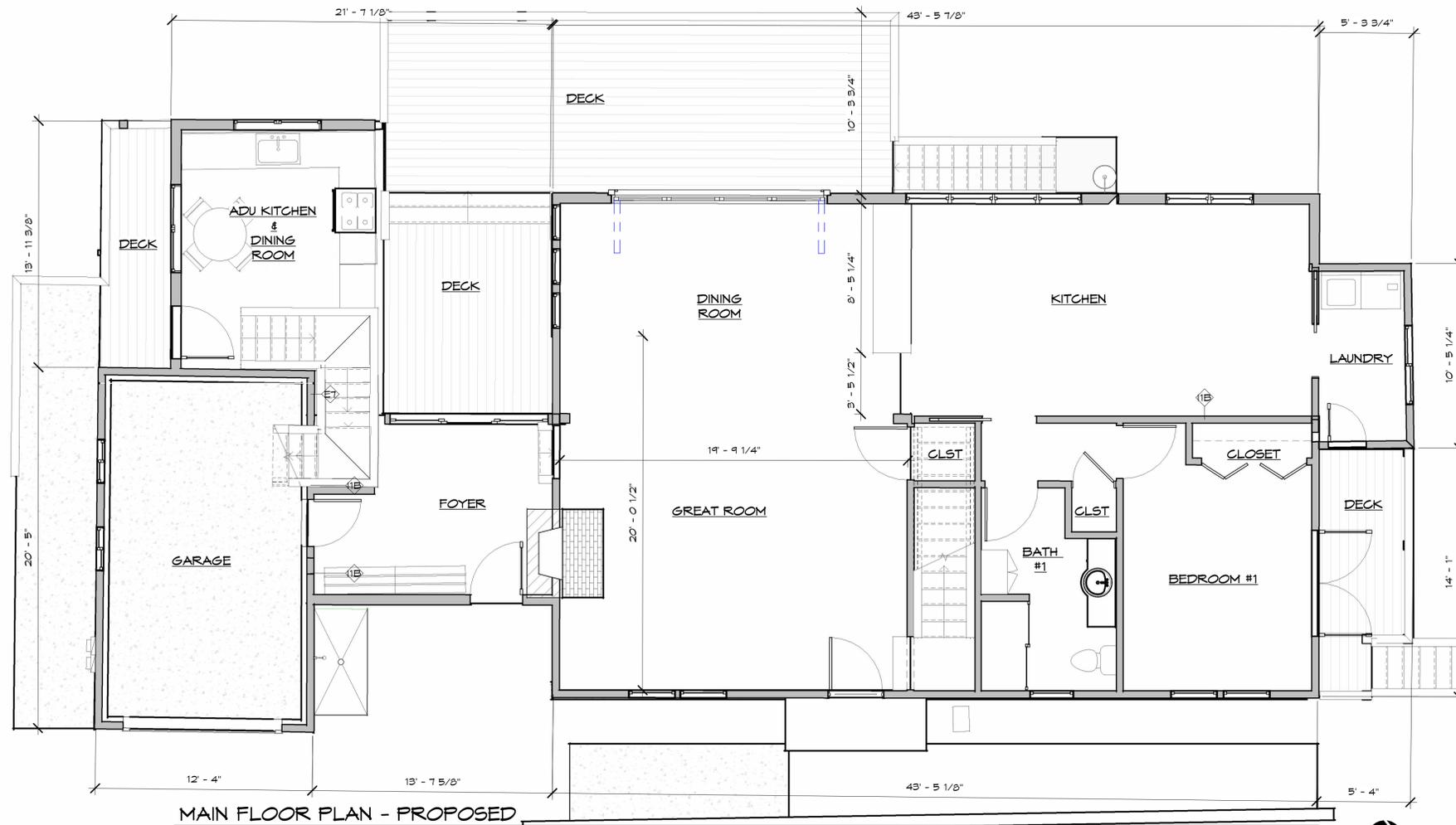
WILLIAM C. MEEFORD
 ARCHITECT
 P.O. BOX 1072 PACIFIC GROVE, CA 93950
 (831) 373-4567 LICENSE # C-22853

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
 24920 TORRES STREET CARMEL, CALIFORNIA 95023
 APN: 004-132-001

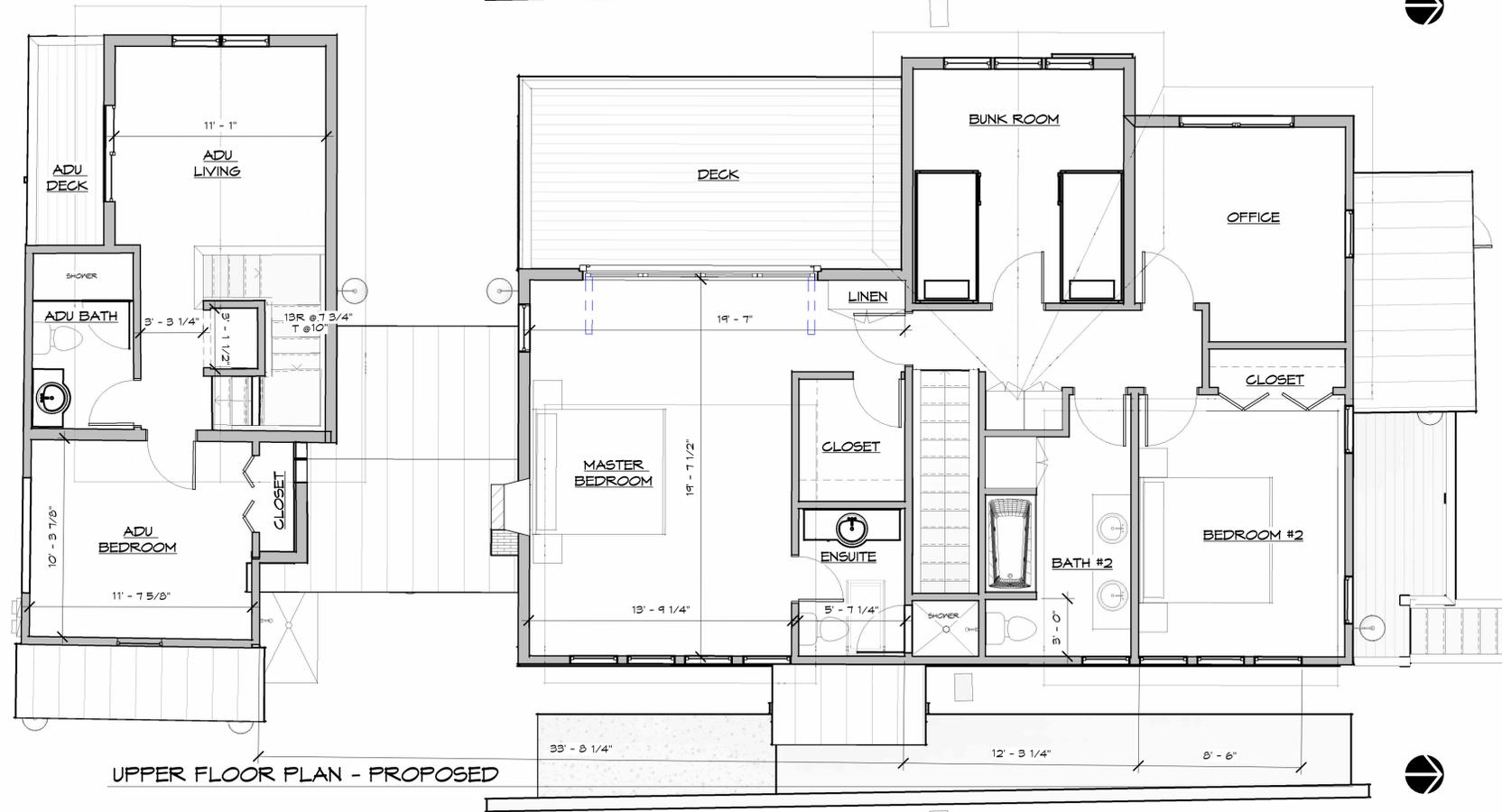
DATE: 21 JANUARY 2025
 PROJECT NO: 23032
 DRAWN BY:
 CHECKED BY:

SHEET TITLE:
EXISTING/DEMO PLANS

SHEET NO.
A-2
 OF NINE SHEETS



MAIN FLOOR PLAN - PROPOSED



UPPER FLOOR PLAN - PROPOSED

REVISIONS	
NO.	DATE

WILLIAM C. McFFORD
ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567
LICENSE # C-22893

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24920 TORRES STREET CARMEL, CALIFORNIA 95023
AFN: 004-132-001

DATE: 21 JANUARY 2025
PROJECT NO: 23032
DRAWN BY:
CHECKED BY:
SHEET TITLE:
PROPOSED FLOOR PLANS
SHEET NO:
A-3
OF NINE SHEETS

REVISIONS

NO. DATE



EXISTING EAST (FRONT)



PROPOSED EAST (FRONT)

WILLIAM C. McFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22883

79

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24920 TORRES STREET CARMEL, CALIFORNIA 95023
APN: 004-132-001

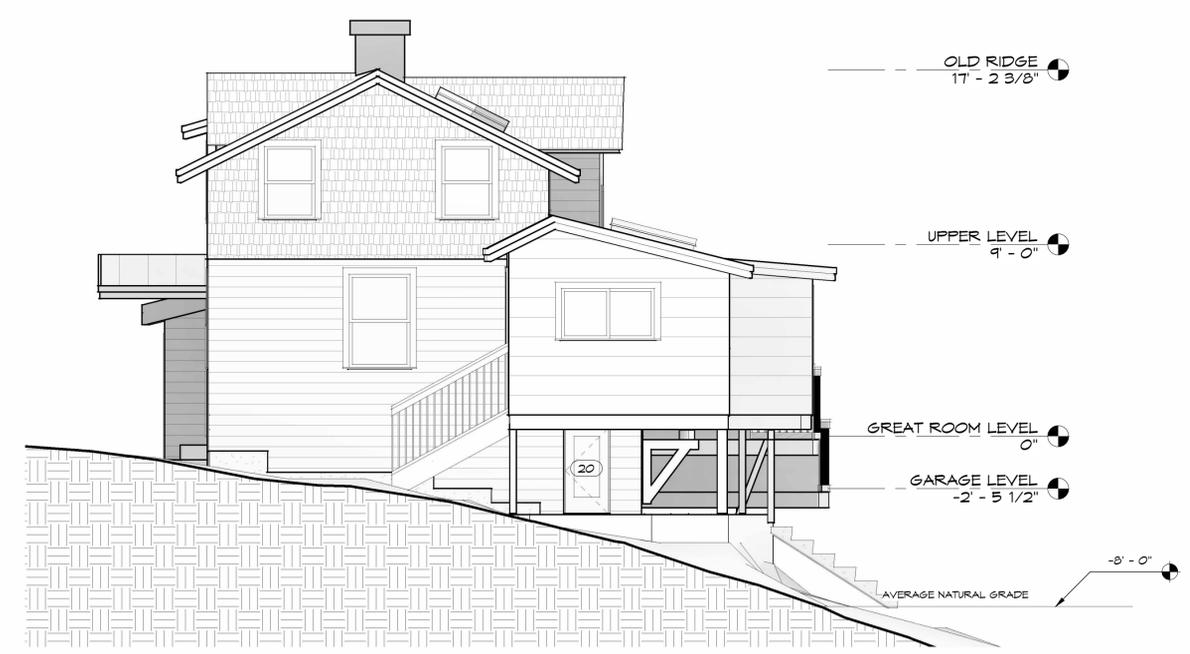
DATE: 21 JANUARY 2025
PROJECT NO. 23032
DRAWN BY:
CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATIONS

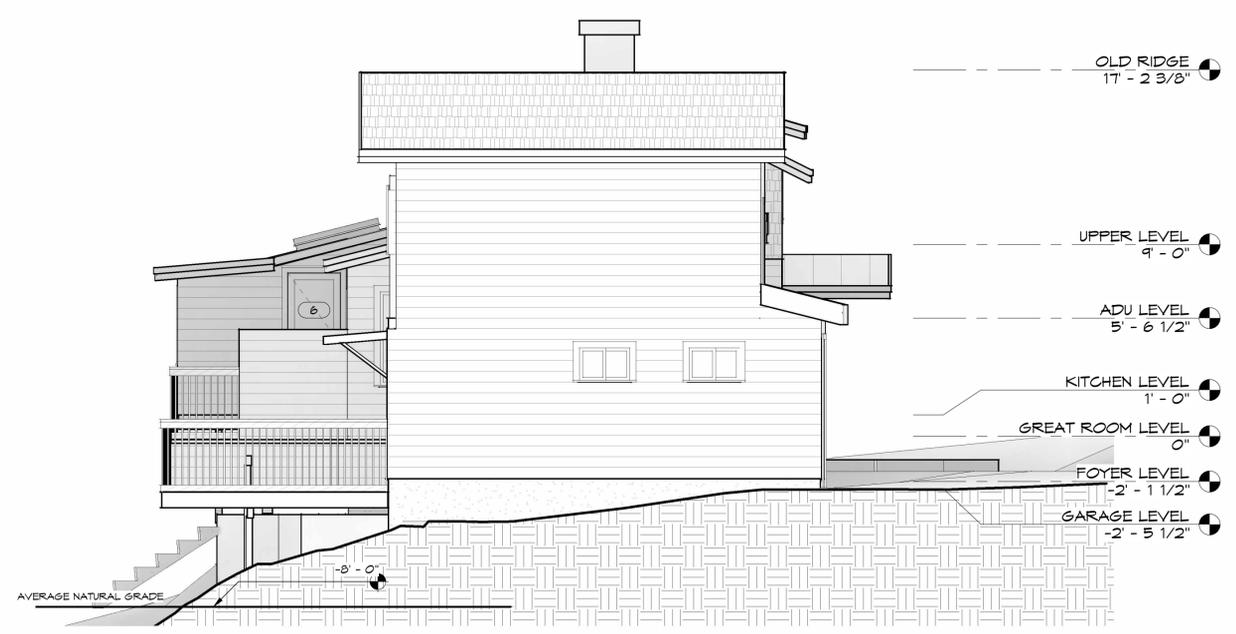
SHEET NO.
A-4
OF NINE SHEETS

REVISIONS

NO.	DATE



EXISTING NORTH



EXISTING SOUTH



PROPOSED NORTH



PROPOSED SOUTH

WILLIAM C. MEEFFORD
ARCHITECT

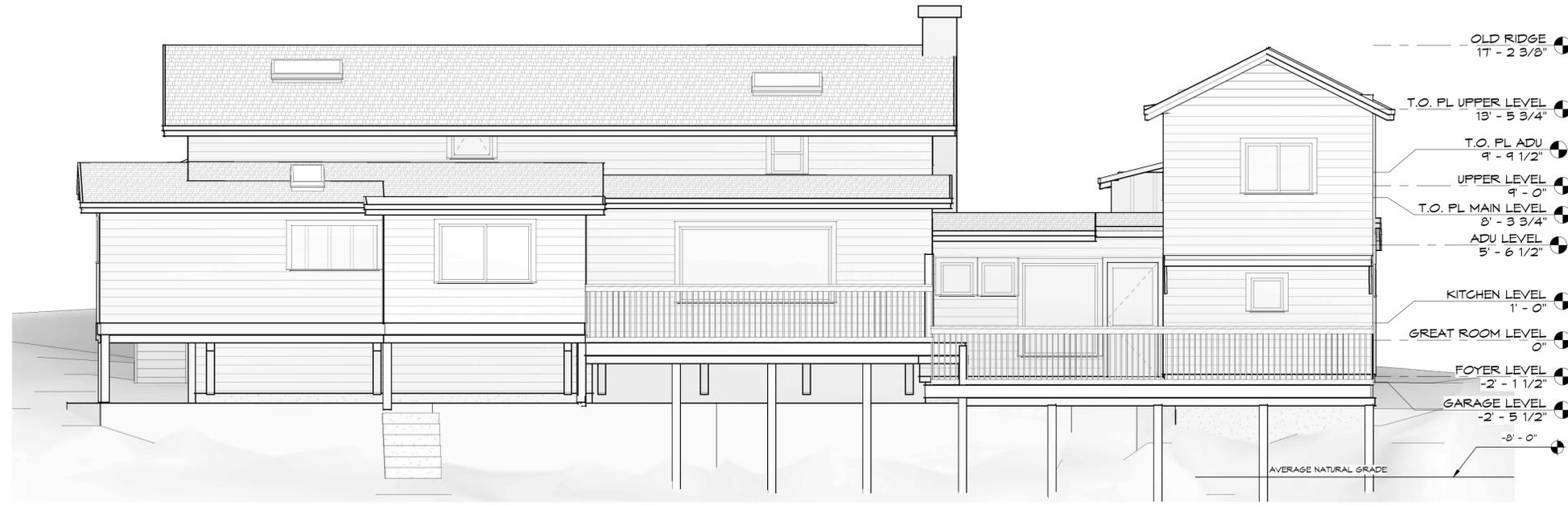
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567
LICENSE # C-22883

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24950 TORRES STREET CARMEL, CALIFORNIA 95023
APN: 009-132-001

DATE: 21 JANUARY 2025
PROJECT NO: 23032
DRAWN BY: Author
CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.
A-5
OF NINE SHEETS



WE EXISTING WEST (REAR)
1/4" = 1'-0"



WP PROPOSED WEST (REAR)
1/4" = 1'-0"

REVISIONS

NO.	DATE

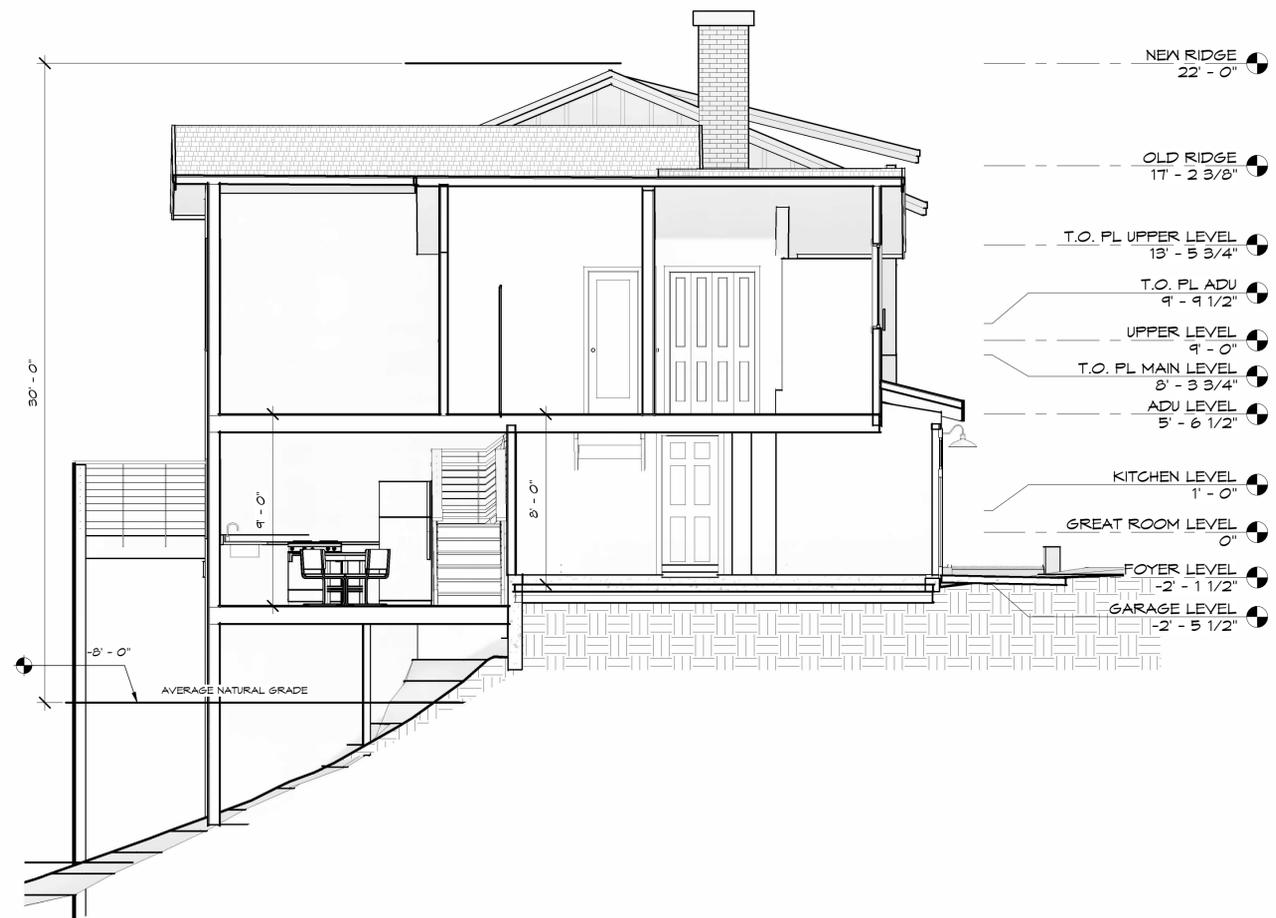
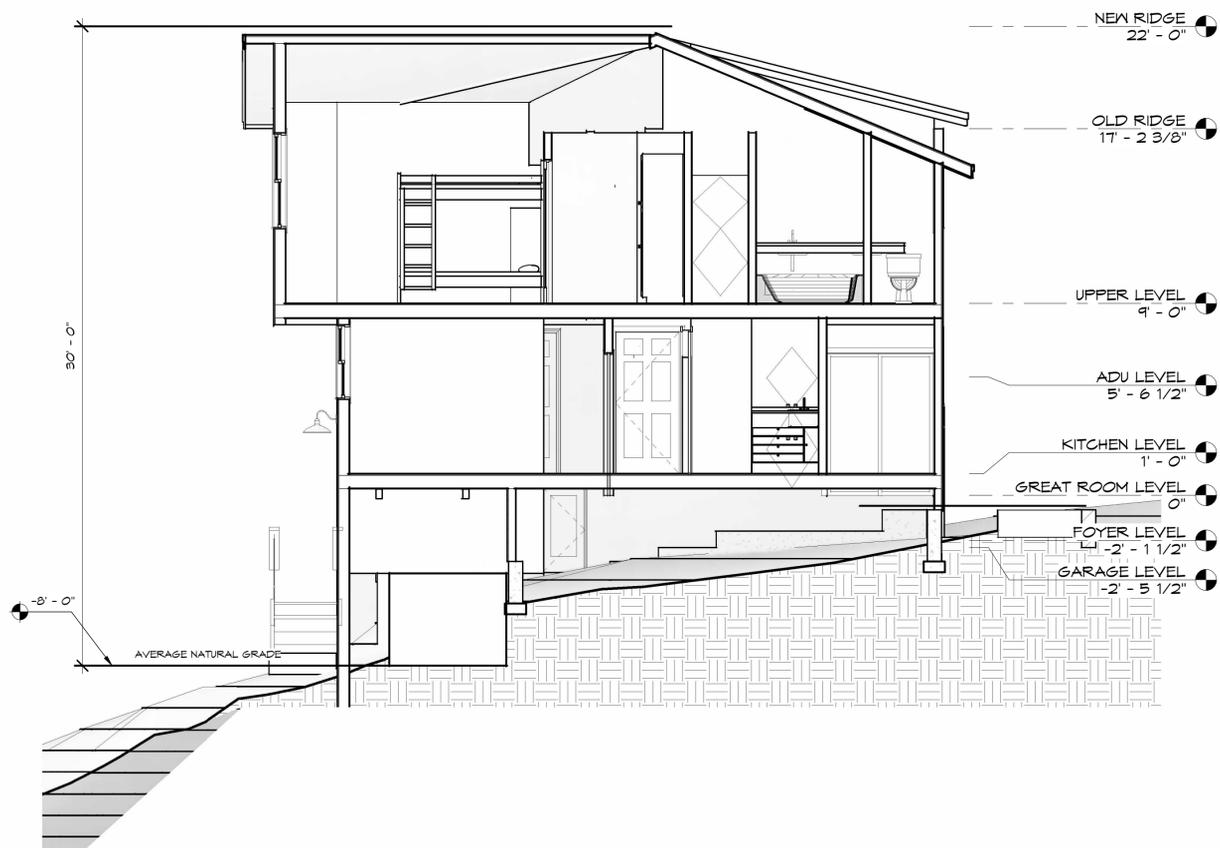
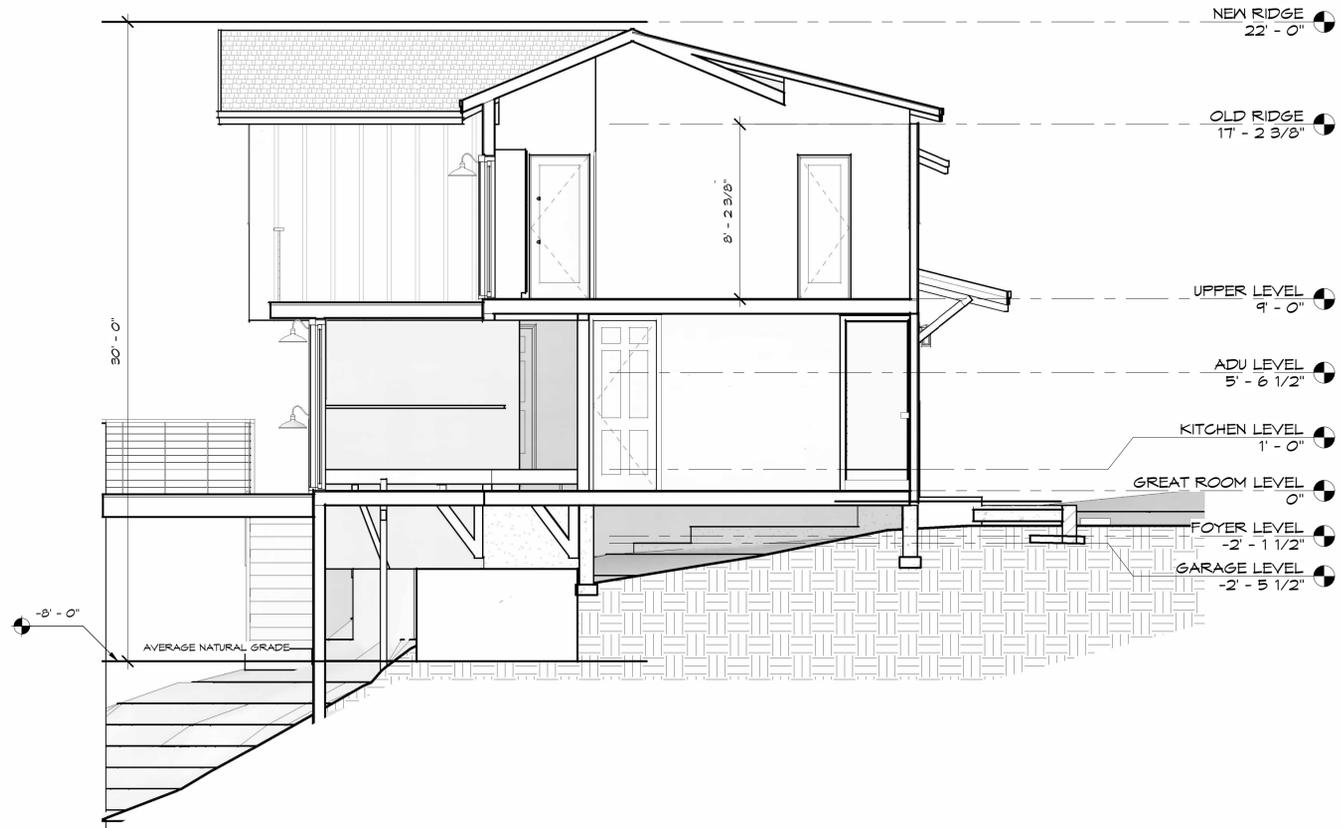
WILLIAM C. McFORD
 ARCHITECT
 P.O. BOX 1072 PACIFIC GROVE, CA 93950
 (831) 373-4567 LICENSE # C-22883

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
 24920 TORRES STREET CARMEL, CALIFORNIA 95023
 APN: 004-132-001

DATE: 21 JANUARY 2025
 PROJECT NO. 23032
 DRAWN BY:
 CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.
A-6
 OF NINE SHEETS



REVISIONS

NO. DATE

WILLIAM C MEEFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567
LICENSE # C-22883

82

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:

MR. & MRS. JOHN CRANE

CARMEL, CALIFORNIA 95023

24950 TORRES STREET
AFN: 004-132-001

DATE: 21 JANUARY 2025

PROJECT NO. 23032

DRAWN BY:

CHECKED BY:

SHEET TITLE:

BUILDING SECTIONS

SHEET NO.

A-7

OF NINE SHEETS



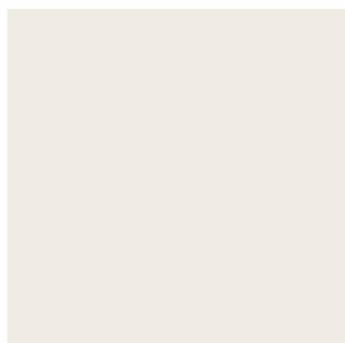
ROOF SHINGLE

GAF - 50 YEAR - COLOR: WEATHERWOOD



METAL ROOFING

ASC BUILDING COMPONENTS - STANDING SEAM METAL PANEL
COLOR: VINTAGE



HOME COLOR

BENJAMIN MOORE - WHITE DOVE - OC-17



FRONT DOOR COLOR

BENJAMIN MOORE - GREENHOW BLUE - CW-655



REVISIONS

NO. DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22883

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:

MR. & MRS. JOHN CRANE

24950 TORRES STREET CARMEL, CALIFORNIA 95023
APN: 009-132-001

DATE: 21 JANUARY 2025

PROJECT NO. 23032

DRAWN BY:

CHECKED BY:

SHEET TITLE:
PROPOSED 3D
VIEWS

SHEET NO.

A-8
OF NINE SHEETS



REVISIONS

NO. DATE

NO.	DATE

WILLIAM C. MEFFORD

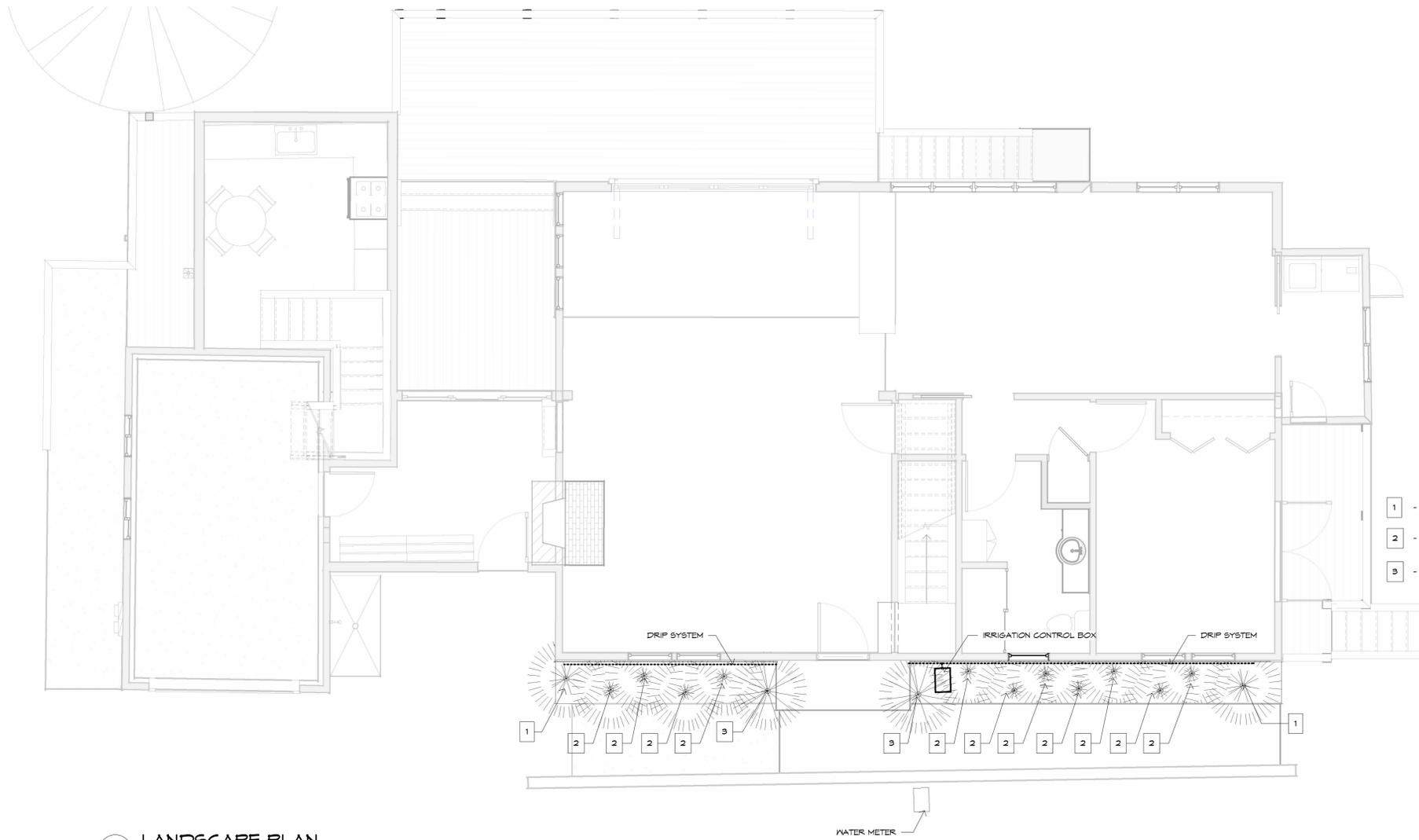
ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22883

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24950 TORRES STREET CARMEL, CALIFORNIA 95023
APN: 009-132-001

DATE: 21 JANUARY 2025
PROJECT NO. 23032
DRAWN BY:
CHECKED BY:
SHEET TITLE:
EXISTING PHOTOS

SHEET NO.
A-9
OF NINE SHEETS



- 1 - 1 GAL - AFRICAN BOXWOOD (MYRTAFINE AFRICANA)
- 2 - 1 GAL - FRENCH LAVENDER (LAVENDULA DENTATA)
- 3 - 1 GAL - WINTER DAPHNE (DAPHNE ODORATA)

1 LANDSCAPE PLAN
1/4" = 1'-0"

REVISIONS	
NO.	DATE

WILLIAM C. McFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22883

86

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:
MR. & MRS. JOHN CRANE
24920 TORRES STREET CARMEL, CALIFORNIA 95023
AFN: 004-132-001

DATE: 21 JANUARY 2025
PROJECT NO. 23032
DRAWN BY:
CHECKED BY:

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.
A-11
OF NINE SHEETS



AFRICAN BOXWOOD - (MYRTAFINE AFRICANA)



FRENCH LAVENDER - (LAVENDULA DENTATA)



WINTER DAPHNE - (DAPHNE ODORATA)

REVISIONS

NO. DATE

WILLIAM C MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

CONSTRUCTION MANAGEMENT PLAN

CONSTRUCTION COORDINATION

- Contractor shall provide a construction coordinator that can be contacted during construction should questions arise during construction (in case of both regular inquiries and in emergencies). Their contact information (including their address and 24 hour phone number) shall be conspicuously posted at the job site in a manner that the contact information is readily visible from public viewing areas. The posting shall indicate that the construction coordinator should be contacted to answer any questions that arise during construction (in case of both regular inquiries and emergencies). The construction coordinator shall record the name, number and nature of all complaints and take remedial actions if necessary, within 24 hours of receipt of the complaint or inquiry.

CONSTRUCTION ACTIVITY

CONSTRUCTION DURATION	4 MONTHS, BEGINNING UPON PERMIT ISSUANCE
CONSTRUCTION HOURS	Monday-Friday / 8 am - 5 PM
CONSTRUCTION WORKERS	5
CONSTRUCTION VEHICLES	3 Regular pickup trucks
ESTIMATED NUMBER OF TRUCK TRIPS THAT WILL BE GENERATED	41 Total
STAGING AREA FOR TRUCKS	See plan
PARKING AREA FOR TRUCKS AND WORKERS	See plan
CONSTRUCTION GRADING	CUT: 5 cyds FILL: 5 cyds

CONSTRUCTION ACTIVITY

↑ Head toward Torres St on Camino del Monte. Go for 0.2 mi.
Then 0.2 miles

↘ Turn right onto Serra Ave. Go for 0.3 mi.
Then 0.3 miles

↑ Continue on Carpenter St. Go for 0.1 mi.
Then 0.1 miles

↙ Turn left onto Cabrillo Hwy (CA-1). Go for 3.3 mi.
Then 3.3 miles

↑ Continue on CA-1 N (Cabrillo Hwy) toward CA-1/Santa Cruz/San Francisco. Go for 10.5 mi.
Then 10.5 miles

↘ Take exit 412 toward Del Monte Blvd. Go for 0.3 mi.
Then 0.3 miles

↘ Turn right onto Neponset Rd. Go for 489 ft.
Then 0.09 miles

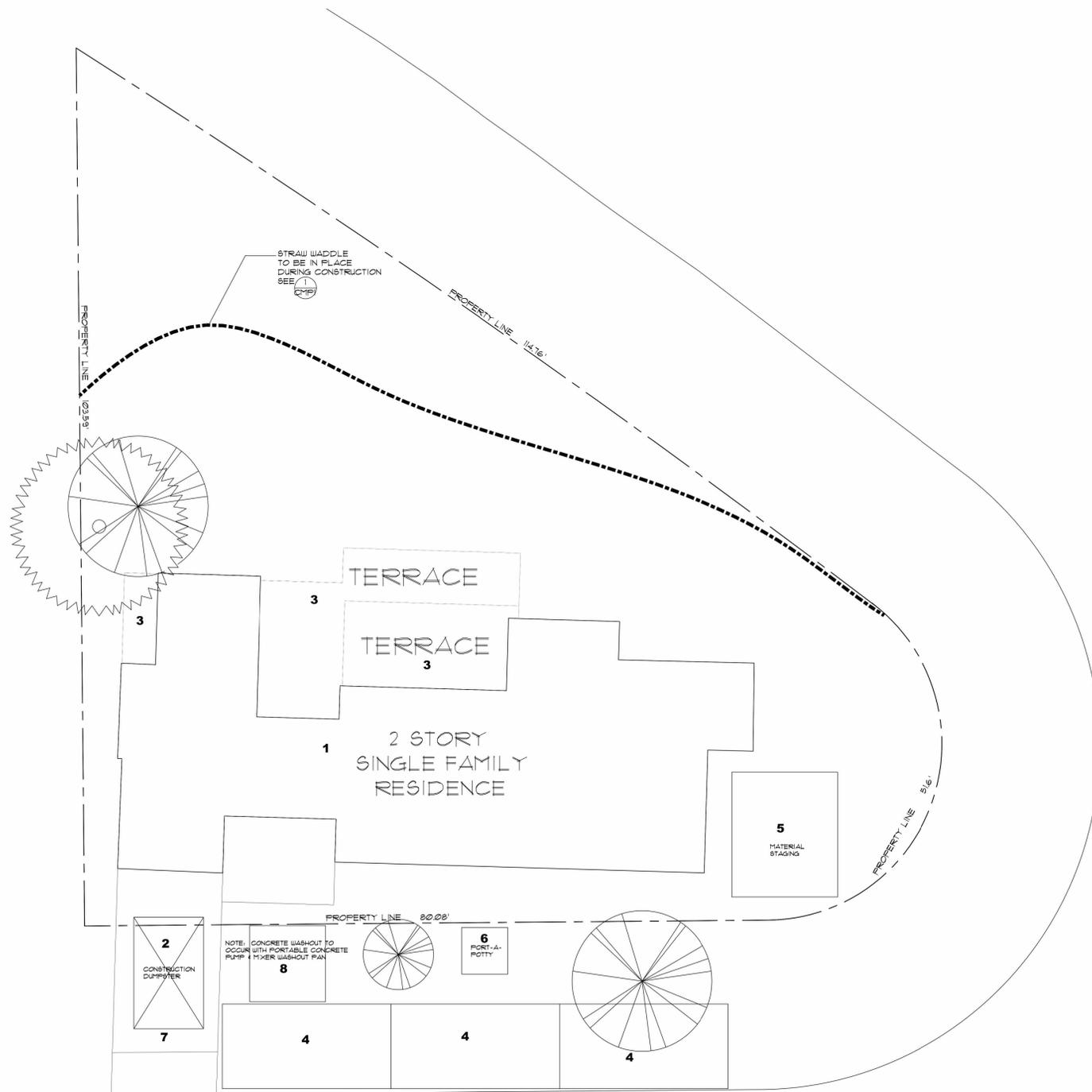
↑ Continue on Del Monte Blvd. Go for 0.1 mi.
Then 0.1 miles

↙ Turn left onto Charlie Benson Ln. Go for 1.2 mi.
Then 1.2 miles

📍 Monterey Regional Waste Management District
Charlie Benson Ln, Salinas, CA 93908

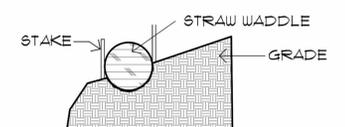
PROJECT DATA

PROJECT ADDRESS:	24820 TORRES ST, CARMEL
PRIMARY CONTRACTOR:	JOHN CRANE 24820 TORRES ST CARMEL, CA 93923 (209) 352-1466
OWNER:	JOHN CRANE 24820 TORRES ST CARMEL, CA 93923 (209) 352-1466
AP NUMBER:	009-132-001

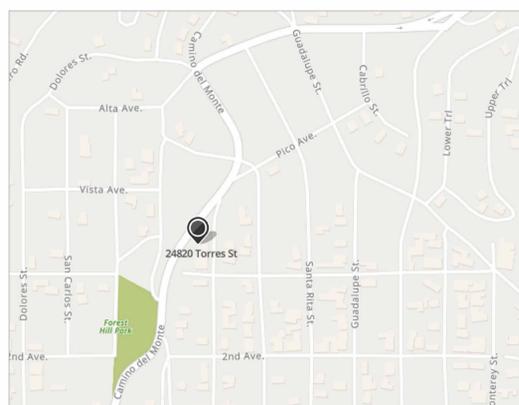


CONSTRUCTION SITE PLAN

- Existing 2 story residence
- Proposed construction dumpster
- Proposed decks
- Temporary vehicular parking
- Temporary construction materials staging area in existing garage
- Temporary porta potty
- Proposed driveway
- Concrete washout area



1 STRAW WADDLE DETAIL N.T.S.



VICINITY MAP

NTS

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:

Mr. & Mrs. John Crane
24820 TORRES ST
CARMEL, CA
APN 009-132-001

DATE: 5/28/2024

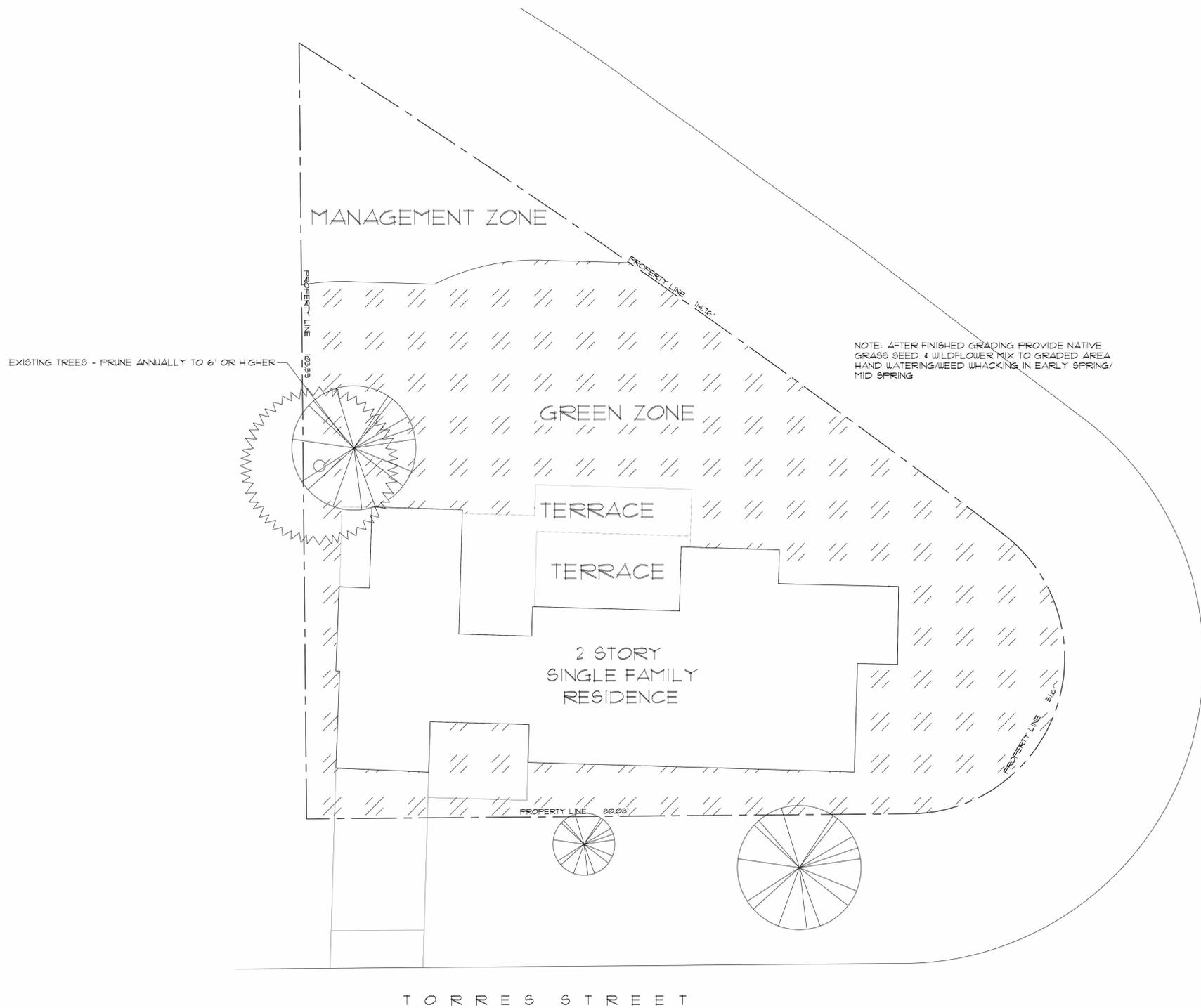
PROJECT NO. 23032

DRAWN BY:

CHECKED BY:

SHEET TITLE: CONSTRUCTION

SHEET NO. OF ONE SHEETS
CMP-1



DEFENSIBLE SPACE REQUIREMENTS:

WITHIN 30 FEET OF STRUCTURE

1. CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM OF 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER, EXCEPT FOR LANDSCAPING, AS FOLLOWS:

- A. CUT DRY AND DEAD GRASS TO A MINIMUM HEIGHT OF 4 INCHES.
- B. MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
- C. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
- D. TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE.
- E. TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.
- F. REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.
- G. REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
- H. REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
- J. PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN ONE-HALF INCH SIZE.

K. POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS

BETWEEN 30 FEET AND 100 FEET OF STRUCTURE

- 1. CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE "TOPPED OFF" LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
- 2. DO NOT USE HERBICIDE OR OTHER CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT PLAN

1"=20'



REVISIONS

NO. DATE

WILLIAM C MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

WATER DAMAGE REPAIR, ADDITIONS AND REMODEL FOR:

Mr. & Mrs. John Crane

24820 TORRES ST
CARMEL, CA
APN 009-132-001

DATE: 5/28/2024

PROJECT NO. 23032

DRAWN BY:

CHECKED BY:

SHEET TITLE:
FIRE MGT
PLAN

SHEET NO.
FMP-1
OF ONE SHEETS

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Exhibit B

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ALBERT WEISFUSS
ISA CERTIFIED ARBORIST #1388
ISA TREE RISK ASSESSOR QUALIFIED
(831) 869-2767
albertweisfuss@gmail.com
montereybaytreeworks.com

6/9/24

ASSESSOR'S PARCEL #: 009-132-001-000
PROPERTY OWNER: Crane
PROJECT DESCRIPTION: 24820 TORRES ST CARMEL CA 93923-8201
Add to existing residence and ADU
TYPE OF CONSTRUCTION: TYPE V-B
Architect: William C. Mefford - License # C-228893
Po Box 1072 Pacific Grove, CA 93950

SUMMARY

Monterey Bay Treeworks was requested to complete a walkthrough and review of site plans provided by William Mefford that proposes development of the site. One site visit was completed that consisted of determining the location of the proposed project, documenting and recording trees that may be impacted by development.

Because the site is forested with protected trees that may or may not require removal, my services were requested to review the provided site plans and make available an objective assessment to monitor development of the property and minimize impacts during construction while securing the necessity of the flora and fauna habitat.

Two trees will be impacted by the proposed project or at a level of risk that require removal based on the current site plans and site visit. Both subject trees are mature senescing *Pinus radiata* that develop in a limited space for proper root development. Both subject trees have had past root pruning and the current proposed footprint will have a high impact to the remaining root system.

The proposed site is within the County of Monterey, located at 24820 Torres street.
This project falls under Monterey County Title 21 Ordinance

21.64.260 PRESERVATION OF OAK AND OTHER PROTECTED TREES guidelines,

The following was completed as requested.

- Site visit and field survey of two trees located within the boundary of the project.
- Inventory of both trees located within the boundary of the project that are protected or considered significant and 6" greater in diameter.
- Photo documentation, spreadsheets and preparation of site maps showing existing trees on proposed site map.
- Indication of trees for removal, if any, and mitigation purposes to allow for construction activities.
- Prepare a formal protected tree report as required for city submittal purposes.

Arborists Disclosure:

1. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure to a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees.
2. Where the treatment, pruning and/or removal of trees are involved, it is the Client's responsibility to advise Consultant of any issues regarding property boundaries, property ownership, site lines, disputes between neighbors and other related issues.
3. Consultant shall invoice Client periodically for the services rendered. Client shall pay such invoices upon receipt. If invoices are not paid within 30 days, a late payment shall be charged of 1 ½ percent per month.
4. Consultant shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. No warranty, representation or guarantee, express or implied, is intended by this agreement.
5. Services provided under this agreement, including all reports, information or recommendations prepared or issued by Consultant, are for the exclusive use of the Client for the project specified herein. No other use is authorized under this agreement. Client will not distribute or convey Consultant's reports or recommendations to any other person or organization other than those identified in the project description without Consultant's written authorization. Client releases Consultant from liability and agrees to defend, indemnify and hold harmless Consultant from any and all claims, liabilities, damages or expenses arising, in whole or in part, from such distribution.
6. Consultant is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of the Consultant, nor responsible for their acts or omissions or for any damages resulting there from.
7. Client and Consultant agree to mediate any claims or disputes arising out of this agreement, before initiating any litigation. The mediation shall be conducted by a mediation service acceptable to the parties. The parties shall make a demand for mediation within a reasonable time after a claim or dispute arises and the parties agree to mediate in good faith. In no event shall any demand for mediation be made after such claim or dispute would be barred by applicable law. Mediation fees would be shared equally. In the event that mediation does not resolve the issue, the parties agree to proceed through binding arbitration. The prevailing party in such proceeding shall be entitled to a reasonable sum for attorney's fees and expert witness fees.
8. Client agrees to indemnify, defend and hold harmless Consultant from and against any and all claims, liabilities, suits, demands, losses, costs and expenses, including, but not limited to, reasonable attorneys' fees and all legal expenses and fees incurred through appeal, and all interest thereon, accruing or resulting to any and all persons, firms or any other legal entities on account of any damages or losses to property or persons, including injuries or death, or economic losses, arising out of the project and/or this agreement, except to the extent that said damages or losses are caused by Consultant's sold negligence or willful misconduct.
9. If, during the course of performance of this agreement, conditions or circumstances are discovered which were not contemplated by Consultant at the commencement of this agreement, Consultant shall notify Client in writing of the newly discovered conditions or circumstances, and Client and Consultant shall renegotiate, in good faith, the terms and conditions of this agreement. If amended terms and conditions cannot be agreed upon within 30 days after notice, Consultant may terminate this agreement and be compensated under paragraph 4 in this agreement.
10. This agreement may be terminated by either party upon 10 days' notice sent first class mail. In the event of a termination, Client shall pay for all reasonable charges for work performed by Consultant through the 10th day after mailing the notice of termination. The limitation of liability and indemnity obligations of this agreement shall be binding notwithstanding any termination of this agreement.
11. This agreement is the entire and integrated agreement between Client and Consultant and supersedes all prior negotiations, statements or agreements, either written or oral. Writing signed by both parties may only amend this agreement.
12. In the event that any term or provision in this agreement is found to be unenforceable or invalid for any reason, the remainder of this agreement shall continue in full force and effect, and the parties agree that any unenforceable or invalid term or provision shall be amended to the minimum extent required to make such term or provision enforceable and valid.
13. Neither Client nor Consultant shall assign this agreement without the written consent of the other.
14. Nothing in this agreement shall create a contractual relationship for the benefit of any third party.

Introduction and Overview

I, Albert Weisfuss conducted an assessment of regulated trees and prepared the following arborist's report for Mr. William Mefford, while meeting the requirements of Monterey County Resource Management Agency, and for use in preparation of development. Forest management is the application of appropriate technical forestry principles, practices, and techniques. The management of an urban forest is to achieve the owner's objectives. Monterey County's primary management objective is to balance wildlife habitat protection and enhancement. A tree on streets and on other publicly owned properties provides a multitude of aesthetic and environmental benefits. Beyond shade and beauty, trees also have practical benefits and a real monetary value that property owners sometimes are unaware of. Unlike other public infrastructure components, properly planted and maintained trees increase in value over time, which in turn increases the value of your property.

Methods / Limitations

The trunks of the trees are measured using an arborist's diameter tape at 48" above soil grade. In cases where the main trunk divides below 48", the tree is measured at the point where the trunks divide. Where multiple trunks arise the trunks are measured and divided by the number of trunks to determine the trunk diameter.

The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection.

- **Inventory Methods**

The site visit conducted, consisted of a general walkthrough with the architect and a review of site plans, tagging trees for inventory mapping. The usage of Lufkin diameter tape, iPhone camera for recording condition of subject trees was completed. Using the above criteria all trees requested within the scope of work were inventoried and numbered with aluminum tags. Information recorded for each of these trees included tree number, species, and DBH. Tree condition was rated good, fair, poor or dead with "poor" meaning that that tree was failing due to a variety of conditions.

Limitations

This report may only be used for the purpose of making decisions regarding development involving the subject tree(s).

The information provided in this report is based on the conditions identified at the time of inspection and site plans provided to MBT by Mr. Mefford. Tree conditions do change over time so reassessment is recommended annually and after development if tree retention is recommended.

Bird nesting is not visible on site within 300 feet.

- Assessment Methods

Subject tree(s) were assessed on 6/3/24. The data collection consisted of the following steps:

1. Identify the subject tree(s) as requested .
2. Tagging of subject tree(s) with an identifying number and recording findings of diameter and condition of subject tree(s).
3. Determine if the tree was within the footprint or impacted by development
4. iPhone documentation
5. Evaluating the health and structural condition using a scale of 0 – 5.
 - 5** A healthy, vigorous tree, reasonably free of signs and symptoms of disease, with good structure and form typical of the species.
 - 4** Tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
 - 3** Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
 - 2** Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
 - 1** Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be abated.
 - 0** Dead with no living foliage.

Suitability for Preservation

As a qualified professional, it is important that I consider the quality of the subject tree(s) resource and viability itself. The purpose of this report will look at the issues of the trees condition and the association with the interaction of the surrounding residential dwellings and usage of the property. This report will seek to provide an integrated approach to assess the level of risk posed by the tree and make recommendations for its future care to you, the tree owner and manager. The report is intended to notify you about any risk that might be associated with the subject tree(s).

Field reconnaissance and inventory efforts found 2 regulated trees measuring six inches in diameter and larger measured at breast height on the property near the proposed project. Composition of the two inventoried trees includes the following species and accompanying aggregate diameter inches:

At this time, two *Pinus radiata* (Monterey pine) trees have been identified

Both trees are recommended for removal due to the condition of the tree or nature of the proposed project noted at the time of field inventory efforts.

The following trees have been recorded in the field and listed on table 1:1. Trees were rated as good, fair, poor and dead with poor and dead being recommended for removal. Trees rated fair may have some degree of health conditions or structural integrity limiting their development. Trees rated as good would be considered the best candidates on site for the age and condition of the stand.

Tree Species	ID #	Diameter In Inches	Comments	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Impacts	Suitable for Preservation
Pinus radiata	167	29	Senescing with decline in canopy, past root pruning	3	Yes	No
Pinus radiata	168	28	Senescing with decline in the canopy, restricted root plate	3	Yes	No

Table 1:1

TREE REMOVAL & TREE RETENTION PLANS

Removal is based on condition or impacts from development of trees at the time of this assessment.

Zero trees assessed in the excellent category.

Two tree assessed in the fair category

Zero tree assessed in there poor category

Zero trees assessed in the dead category

Two trees are requested for removal

Retention is based on condition of trees at the time of the assessment. Future maintenance of the trees is recommended.

Trees retained within the scope of work and will require tree protection prior to any work.

Subject trees requested for removal will not involve a risk of adverse environmental impacts such as:

1. Soil erosion.
2. Water Quality: The removal of the trees will not substantially lessen the ability for the natural assimilation of nutrients, chemical pollutants, heavy metals, silt and other noxious substances from ground and surface waters;
3. Ecological Impacts: The removal will not have a substantial adverse impact upon existing biological and ecological systems, climatic conditions which affect these systems, or such removal will not create conditions which may adversely affect the dynamic equilibrium of associated systems;
4. Noise Pollution: The removal will not significantly increase ambient noise levels to the degree that a nuisance is anticipated to occur;
5. Air Movement: The removal will not significantly reduce the ability of the existing vegetation to reduce wind velocities to the degree that a nuisance is anticipated to occur;
6. Wildlife Habitat: The removal will not significantly reduce available habitat for wildlife existence and reproduction or result in the immigration of wildlife from adjacent or associated ecosystems. The tree is diseased, injured, in danger of falling too close to existing or proposed structures, creates unsafe vision clearance, or is likely to promote the spread of insects of disease.

Conditions of Approval:

In granting any permit as provided herein, the appropriate authority may attach reasonable conditions to mitigate environmental impacts and ensure compliance with the provisions of this Section, including but not limited to replacement of trees removed. It is recommended to replant with (4) Monterey pine seedlings on site near removals.

Summary and Conclusion

Both subject trees are mature with senescing canopies. Both trees develop within a restricted root zone that has not allowed for proper root expansion. Observations of both root plates has indications of pruning to the south side of larger supporting buttress roots. Structures are located on both the north and south sides along with a 4 ft. retaining wall to the west side all contributing to poor root development. Any additional root displacement from the proposed project will affect the stability and health by decreasing the stability and increasing the loss of life for both trees.

It is recommended to remove both subject trees based on condition and interaction of the proposed project.

Tree protection

Planning Phase

1. Before assessing trees and other site structures and conditions, mark the site boundaries on plans and in the field to delineate which trees and stands of trees will be inventoried.
2. Perform a tree inventory that includes at minimum the location, size, and health of each tree and delineates quality stands of trees. Scope of the inventory should be based on communication and needs of the project team (developer, planner, engineer, architect, landscape architect, and other professionals involved), as well as county ordinances. This is the time to confer with the project team on conceptualizations for site design, so that way long-term tree protection and health gets integrated into the design.

Design Phase

3. Communicate with the project team to accurately site structures and utilities and determine the trees to remain on site. Conserve and protect trees in stands or groups where possible. Make sure the trees and stands of trees selected to be saved go into plans and construction documents. Include in all plans the Tree Protection Zone (TPZ) for all saved trees to avoid conflict with the protected area and placement of structures and utilities during construction.

Pre-construction Phase

4. Prior to pre-construction activities, including tree removal, access roads, construction staging areas, and building layout, erect tree protection barriers to visually indicate TPZs. Be sure to:
 - ⇒ Use tree protection barriers that are highly visible, sturdy, and restrict entry into the TPZ.
 - ⇒ Install or erect signs along the tree protection barrier stating that no one is allowed to disturb this area.
 - ⇒ Remove any branches or trees that pose an immediate risk to structures or people prior to any construction activities.

Construction Phase

5. Communicate the intent of the tree protection barriers to the construction manager and workers to ensure that TPZs are not disturbed during construction activities. Have the construction manager sign a contract of compliance.

Prohibit these activities in the TPZ:

- ⇒ Stockpiling of any type, including construction material, debris, soil, and mulch
 - ⇒ Altering soils, including grade changes, surface treatment, and compaction due to vehicle, equipment, and foot traffic
 - ⇒ Trenching for utility installation or repair and irrigation system installation
 - ⇒ Attaching anything to trunks or use of equipment that causes injury to the tree
7. Schedule site visits to ensure the contract is being met by the construction manager and that tree health is not being compromised by construction activity. Inspect and monitor trees for any decline or damages.
 8. Keep in place all tree protection barriers until the project is completed.

Post-construction Phase

9. Perform a final inspection and continue monitoring after construction. Monitoring includes maintaining mulch, managing soil moisture, assessing tree damage, inspecting for insects and pests, and fertilization if needed.

Grading Limitations within the Tree Protection Zone

1. Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
2. Grade changes within the TPZ are not permitted.
3. Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated
4. Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.
5. Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.

Trenching, Excavation and Equipment Use

Notification. Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.

1. **Root Severance.** Roots that are encountered shall be cut to sound wood and repaired. Roots 2-inches and greater must remain injury free.
2. **Excavation.** Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1-foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
3. **Heavy Equipment.** Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the project arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
 - **Structural design.** If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to project arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Tree Removal

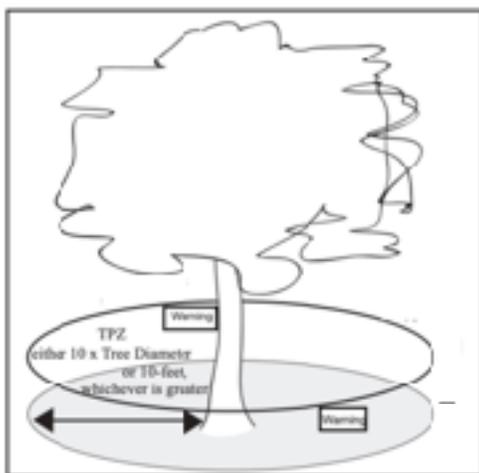
- Removal of regulated trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that are retained.

INSPECTION SCHEDULE

The project arborist or landscape architect retained by the applicant shall conduct inspections of proposed construction site containing protected and designated trees. Inspections shall verify that the type of tree protection and/or plantings are consistent with the standards outlined within this arborist assessment.

Tree Protection Zone (TPZ) shown in grey

(radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).



Tree protection has three primary functions,

- Keep the foliage canopy and branching structure clear from contact by equipment, materials and activities.
- Preserve roots and soil conditions in an intact and non-compacted state.
- Identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.



subject trees.



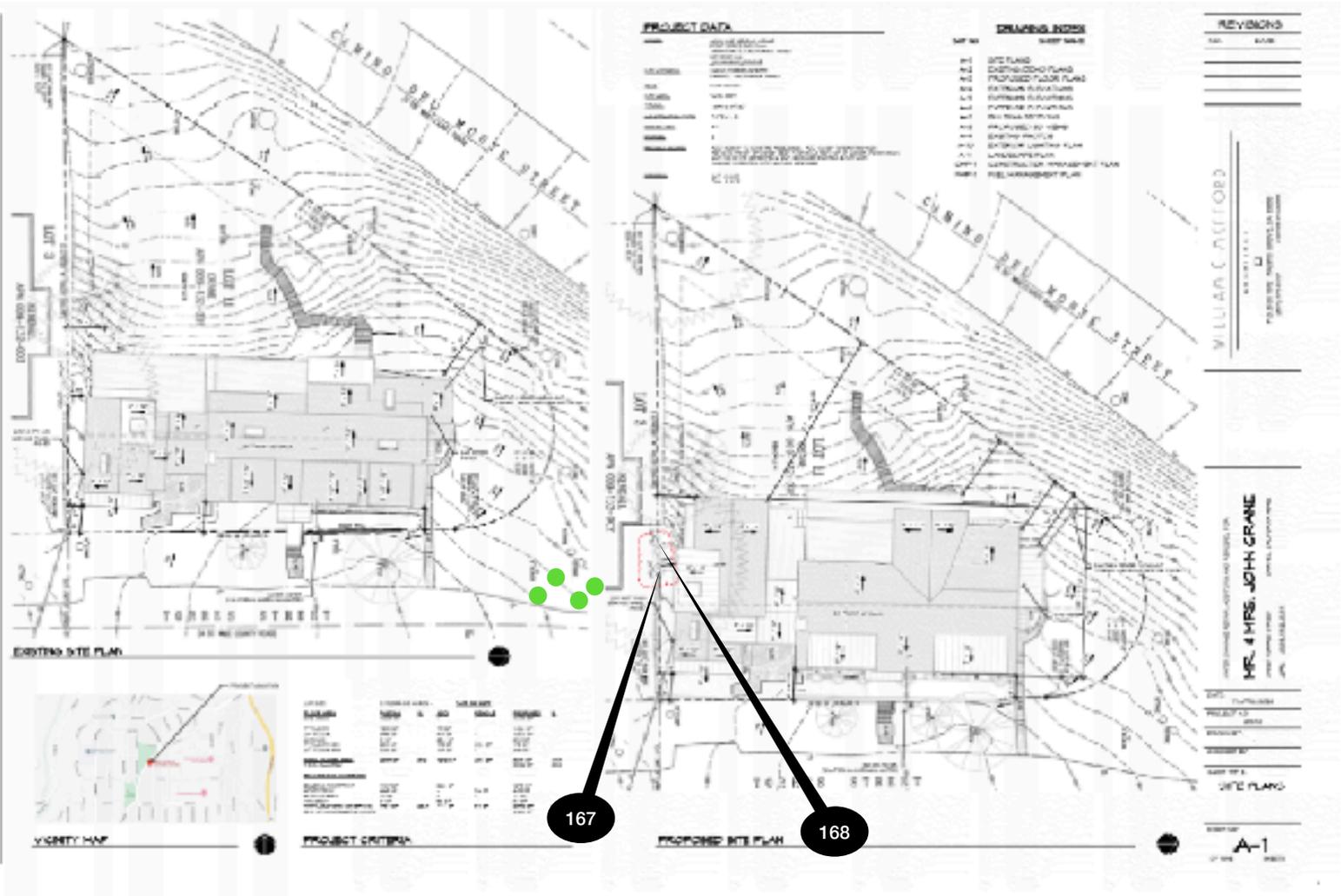


Restricted root space with pruned roots



Both subject trees are above canopy and exposed to onshore winds

Tree locations.



● - Recommended replant locations

Because the trees are considered landmark trees due to size, 4 replacement trees of the same species are required for replanting.

Certifying Statement

I, Albert Weisfuss, certify that:

- I have personally overseen the inspection of this tree and property referred to in this report, and have stated my findings accurately.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The opinions and conclusions stated herein are my own.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

Albert Weisfuss

Albert Weisfuss

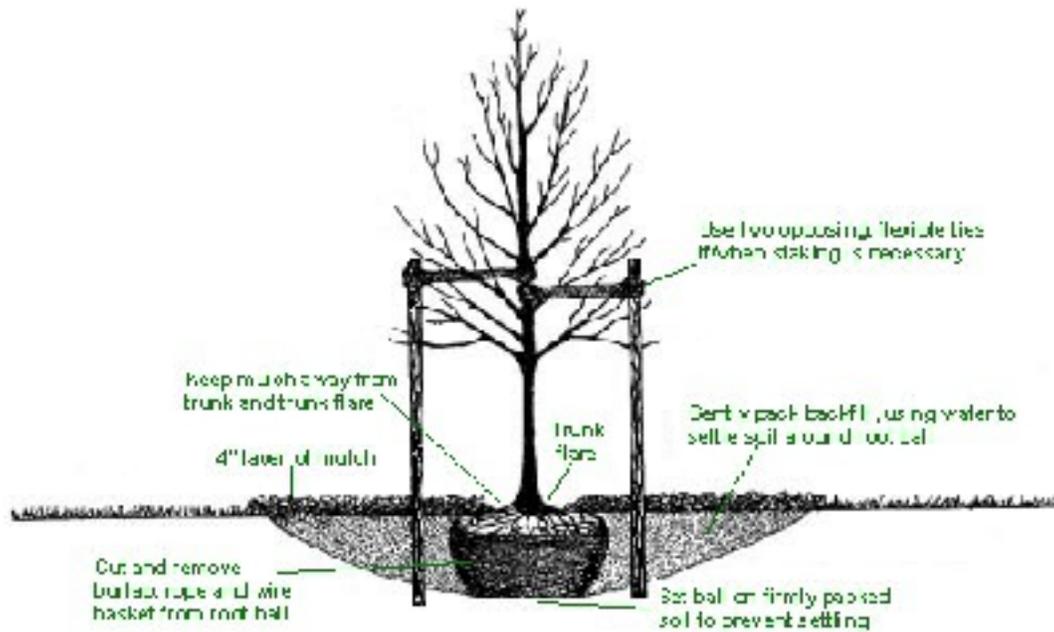
June 9, 2024

Date

Amended 5-25-25

Albert Weisfuss

Planting / Watering



If trees must be staked, place stakes as low as possible but no higher than $\frac{2}{3}$ the height of the tree. Materials used to tie the tree to the stake should be flexible and allow for movement all the way down to the ground so that trunk taper develops correctly. Remove all staking material after roots have established. This can be as early as a few months, but should be no longer than one growing season. Materials used for permanent tree protection should never be attached to the tree.

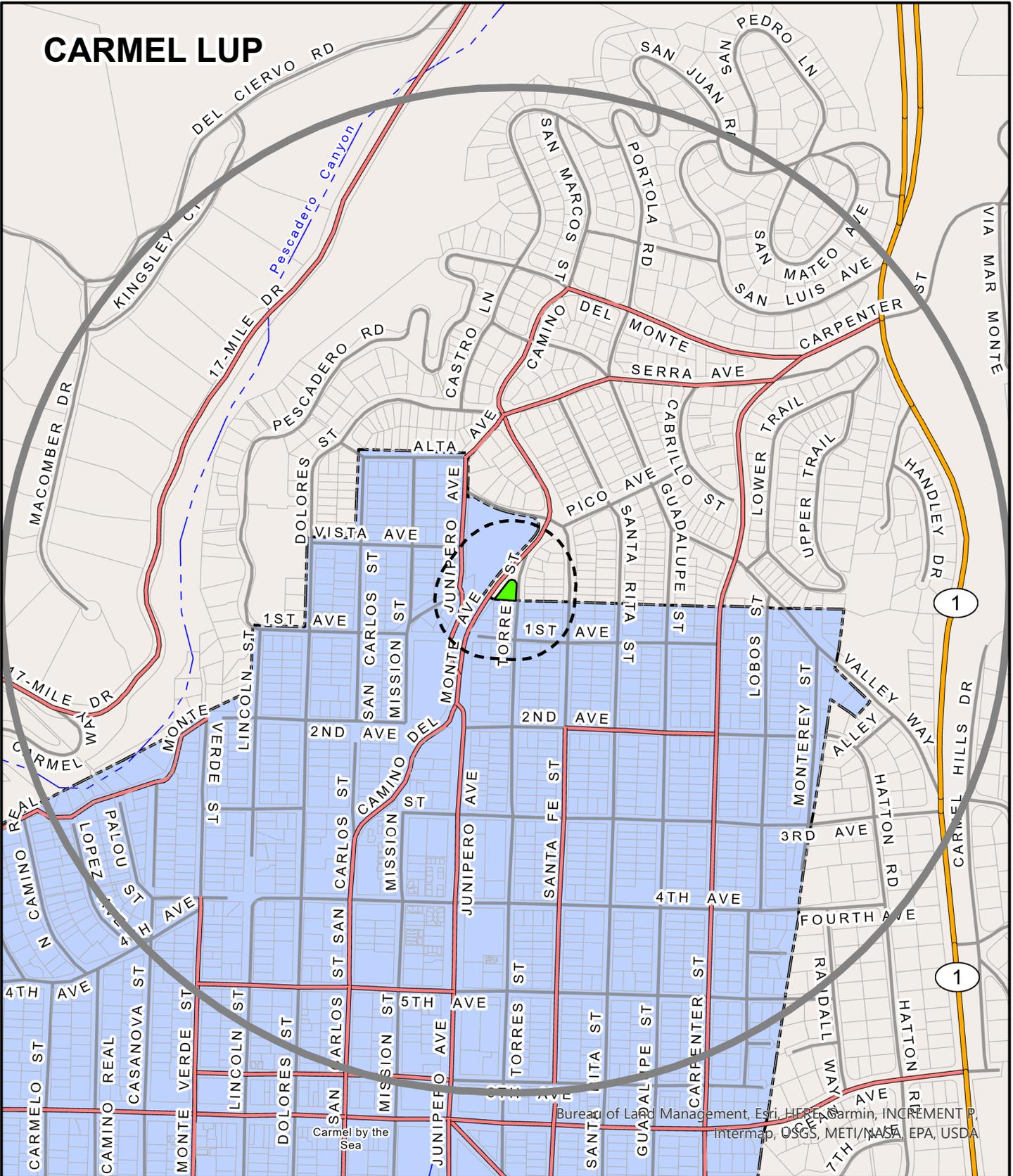
Tree Age	Frequency	Quantity	Drip* & Sprinkler*** Run Time
Three days after planted	Fill the watering basin 3 times, using a total of 15-20 gallons	15-20 gallons	Hand watering best at this stage
First three weeks after planting	Fill the watering basin once a week	5-10 gallons	Drip & Bubblers run time: Depends on flow rate
Two - Six months following planting	Fill the watering basin every week or every other week	10-15 gallons	Drip & Bubblers run time: Depends on flow rate
Remainder of first year	Water every other week in absence of soaking rain	10-15 gallons	Drip & Bubblers run time: Depends on flow rate
Year Two	Every two to four weeks when rain is scarce	15-20 gallons	Drip & Bubblers run time: Depends on flow rate
Year Three-Five	Once a month	20-30 gallons	Drip & Bubblers run time: Depends on flow rate

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Exhibit C

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CARMEL LUP



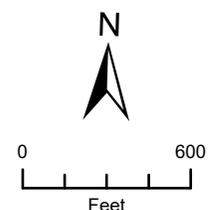
Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: CRANE

APN: 009132001000

FILE # PLN230244

- Project Site
- 300 FT Buffer
- 2500 FT Buffer



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Exhibit D

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W I L L I A M C M E F F O R D

A R C H I T E C T



December 9, 2024

Monterey County
Planning Department
1441 Schilling Place, South 2nd Floor
Salinas, CA 93901

Re: 24820 Torres St, Carmel, APN 009-132-001

This letter is to serve as the justification for requesting a variance for front yard, side and rear yard setbacks. The existing house was built in 1931 in its current location. This would have been built prior to the current zoning standards and setbacks. The existing residence incurred extensive water damage due to a pipe leaking requiring all of the interior drywall be removed due to mold. The removal of this much drywall requires the installation of a fire sprinkler system.

The required front yard setback due to the MDR/2-D(CZ) zoning is 20 feet. Since rear of the lot faces another street it is considered a through lot so the rear setback is also 20 feet. The side yard setback is 5 feet. The existing residence is 5-8" from the front property line at its closest point, 13'-10" to the rear property line and 4' to the side property line at its closest point. The rear yard at the back side of the residence starts sloping anywhere from 18% to 29%. It is clear that the house was built in the location where the site was the least steep and prior to the current zoning standards therefore it is considered legal non-conforming.

Though the existing house is a 2 story structure the 2nd floor, which contains 2 bedrooms and a bathroom, is substandard in height in that the highest point of the ceiling (it slopes with the roof) is only 7'-6" above the floor and quickly slopes down to the eaves at only 3'-6" above the floor. Per the current building code any room other than kitchens, bathrooms, laundry rooms, garages or storage is required to have a minimum ceiling height of 7'-6" in at least 50% of the room. Also, the existing 2nd floor roof structure is undersized per today's requirements and needs to be replaced which will allow for the installation of insulation required by the Energy code as well as a fire sprinkler system which will also be required. Since over half of the house sits within the required setback area a variance is required to make the 2nd floor compliant with today's building standards. Because the site has such an extreme slope behind the current structure and also because the site is essentially a triangle and the corner of the house is already within the required 20' setback it would be impossible to expand the house toward the rear without great expense and impeding on the setback even further.

The current garage sits only 4' from the side property line and had been converted some time ago to a living unit. The proposed project will return that current space to a garage use and then the space above would be expanded to an ADU. Current ADU regulations allow an ADU to be only 4' from a property line so the ADU addition and space above would the garage would be compliant but the existing garage would still be only 4' from the property line.

Many houses in this neighborhood are 2 story with ceiling heights that meet current code requirements. Granting of this variance will allow this residence to enjoy the ceiling heights that other houses in this

neighborhood enjoy. It will also allow the existing residence to be more structurally sound and meet today's energy code requirements.

Because of the terrain of this property and the required setback limitations due to where the existing house was built on the site, this property is deprived of the privileges that other properties in the neighborhood enjoy. Granting of this variance would allow this property to maintain the current location of both the house and garage while bringing the 2nd floor up to current height requirements.

Sincerely,

A handwritten signature in black ink, appearing to read "William Mefford". The signature is fluid and cursive, with the first name "William" and last name "Mefford" clearly distinguishable.

William Mefford, Architect

Exhibit E

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MINUTES
Carmel Unincorporated/Highlands Land Use Advisory Committee
Monday, February 3, 2025

1. Meeting called to order by Donna Kostigen at 4:02 pm

2. Roll Call

Members Present:

John Borelli, Clyde Freedman, Donna Kostigen, Dan Keig, Chip Moreland, Doug Paul (6)

Members Absent:

Norm Leve (1)

3. Approval of Minutes:

A. January 21, 2025 minutes

Motion: Chip Moreland (LUAC Member's Name)

Second: Dan Keig (LUAC Member's Name)

Ayes: All

Noes: _____

Absent: _____

Abstain: _____

4. Public Comments: The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

N/A

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

N/A

B) Announcements

John Borelli & Donna Kostigen presented findings from the Special Joint Meeting of the Planning Commission and Land Use Advisory Committees

7. Meeting Adjourned: 5:08 pm

Minutes taken by: Donna Kostigen

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Carmel Unincorporated/Highlands

1. Project Name: CRANE JOHN R & GENEVA P TRS
File Number: PLN230244
Project Location: 24820 TORRES ST, CARMEL, CA 93923
Assessor's Parcel Number(s): 009-132-001-000
Project Planner: Marlene Garcia
Area Plan: Carmel Land Use Plan, Coastal Zone
Project Description: A Combined Development Permit consisting of a Coastal Administrative Permit and Design Approval to allow for demolition and remodel of existing single family home; a Coastal Administrative Permit and Design Approval to allow for remodel of existing accessory dwelling unit; and a Coastal Development Permit to allow removal of two (2) Monterey Pine trees.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of those present)

Bill Mefford (Architect), John & Geneva Crane

Was a County Staff/Representative present at meeting? Zoe Zepp (Name)

PUBLIC COMMENT:

	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
None			

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc.)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
N/A		

ADDITIONAL LUAC COMMENTS

The owners architect reviewed the project and indicated that the home was originally built prior to the establishment of current set-back rules and is therefore requesting to be “grandfathered” with a variance request as the demolition of the existing property is less than 50 percent. LUAC had concerns that the property did not appear to provide for 2 parking spots as designed for the primary residence and did not allow for additional parking for the ADU. LUAC is concerned with the lack of parking created by the set-back variance as parking around the area is further congested by multi-family residences (multiple duplexes) across the street. On-street parking is common in this area, often creating one-way passage. LUAC reviewed proposed architectural modifications and design materials and no concerns were noted.

RECOMMENDATION:

Motion by: Chip Moreland (LUAC Member's Name)

Second by: Clyde Freedman (LUAC Member's Name)

X Support Project as proposed

 Support Project with changes

 Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: John Borelli, Clyde Freedman, Donna Kostigen, Dan Keig, Chip Moreland, Doug Paul (6)

Noes: none

Absent: Norm Leve (1)

Abstain: none



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-035

June 26, 2025

Introduced: 6/17/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230197 - CELLARIUS LIMITED

Public hearing to consider replacement of an existing water tank and development of a 96 square foot retaining wall within 750 feet of known archaeological resources.

Project Location: 48700 Highway 1, Big Sur, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA guidelines section 15302, and that there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow the replacement of an existing 4,999 -gallon water tank with a 4,775-gallon water tank and development of a 96 square foot retaining wall; and 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

Agent: Michael Linder

Property Owner: Robert Hall

APN: 420-171-027-000

Parcel Size: .30 acres

Zoning: Rural Density Residential with a density of 40 acres per unit and a Design Control overlay in the Coastal Zone or "RDR/40-D(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: No

Planner: Joseph Alameda, Assistant Planner

alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY/DISCUSSION:

The subject property is located at 48700 Highway 1, Big Sur , within the Big Sur Coast Land Use Plan. The property is currently developed and used for residential purposes (existing single-family dwelling) and is surrounded by residences on all sides. The applicant proposes replacement of an existing 4,999-gallon water tank with a 4,775-gallon water tank and a 96 square foot addition to a retaining wall within 750 feet of a positive archaeological site. Pursuant to Title 20 section 20.16.040.F, replacement of a water tank is a principally allowed use for this zoning district, subject to Coastal Administrative Permit in each case.

Based on staff analysis, the proposed project is consistent with all rules and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan, Big Sur Coast Land Use Plan (BSCLUP), Monterey County Coastal Implementation Plan (CIP; Part 3), and Zoning Ordinance (Title 20).

Design Review & Site Development Standards

The proposed development is subject to the regulations of the Design Control “D” zoning district outlined in Title 20 section 20.44.060, which establishes design review requirements to assure protection of the public viewshed and neighborhood character. The exterior colors and materials are compatible with the surrounding environment and are consistent with the surrounding residential neighborhood character which will not be changed. The proposed development will not be visible from a scenic corridor or major common public viewing area due to location, topography, and intervening development and vegetation. Therefore, the project, as designed and sited, is consistent with neighborhood character, and assures visual integrity.

The proposed development includes the replacement of an existing 4,999-gallon water tank, which was previously approved by the Monterey County Zoning Administrator on August 12, 1999 (Resolution No. 980674). The installation of the water tank had a previously approved front setback of 17’ feet from the edge of Coastlands Road. Site development standards for the RDR zoning district identifies non-habitable accessory structures to have a minimum 50 foot front setback; however, Title 20 section 20.62.040.F, allows for an exception to this requirement should 50% or more of the building sites on any one block or portion thereof in the same district have been improved with structures, the required front setback shall be of a depth equal to the average of the front setbacks of the improved building sites, to a maximum of that specified for the district in which such building site is located. The approval of the water tank applied this exception with review of application materials submitted by the applicant that identified photographic evidence that was submitted and reviewed that illustrated other structures also encroaching into the front yard setback areas as outlined in the staff report prepared by County staff for PLN980674.

The existing water tank has been damaged and requires replacement. The proposed development is replacement of this existing water with an approximately 12 foot high, 4,775-gallon water tank within the same location previously approved under Resolution No. 980674, with the addition of an 8-foot-high retaining wall. The structures meet the maximum height out as outlined in Title 20 section 20.16.060 site development standards. Additionally, staff reviewed the parcels within one block of the proposed development and found a portion thereof the block with parcels of the same district to have

been improved with structures. Four out of the nine parcels located within the same street have been improved with structures of similar types. Two of these parcels are water tanks that have been placed within the front setback of the applicable properties. Further, parcels located towards the end of Coastlands Road, near HWY 1, also includes accessory structure such as water tanks within the front setback of the property. Therefore, staff finds that replacement of the existing water tank within the same location, with a front setback of 17 feet, meets the criteria outline in Title 20 section 20.62.040.F.

Cultural Resources

According to county GIS records, the subject property is within 750 feet of a known archaeological resource. In conjunction with the development of the original water tank and retaining wall (PLN980674), an initial study/mitigated negative declaration (IS/MND) was prepared for the subject property and development site. The IS/MND identified the presence of archaeological resources within a small portion of the subject property but not within the proposed development site. The project involves minimal ground disturbance, limited to the drilling of piers for the retaining wall. Although the development site is negative for archaeological resources and the project involves minimal ground disturbance, the subject property does contain positive resources and therefore requires granting of a Coastal Development Permit pursuant to Big Sur Coast LUP section 20.145.120.A.1.

CEQA:

California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity. As proposed, the project involves the replacement of a 4,999-gallon water tank with a 4,775-gallon water tank and construction of a 96 square foot retaining wall. While there are known historical/cultural resources (archaeological) on-site, no structural development is proposed within these areas.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Big Sur Volunteer Fire Brigade

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

Attachments:

Exhibit A - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Big Sur Volunteer Fire Brigade; HCD-Environmental Services; HCD - Engineering Services; Environmental Health Bureau; Joseph Alameda, Project Planner; Jacquelyn M. Nickerson, Principal Planner; Robert Hall, Property Owner; Michael Linder, Agent/Architect; The Open Monterey Project (Molly Erickson); Laborers International Union of North America (Lozeau Drury LLP); Christina McGinnis, Keep Big Sur Wild; LandWatch; Project File PLN230197



Zoning Administrator

Legistar File Number: ZA 25-035

June 26, 2025

Introduced: 6/17/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN230197 - CELLARIUS LIMITED

Public hearing to consider replacement of an existing water tank and development of a 96 square foot retaining wall within 750 feet of known archaeological resources.

Project Location: 48700 Highway 1, Big Sur, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA guidelines section 15302, and that there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow the replacement of an existing 4,999 -gallon water tank with a 4,775-gallon water tank and development of a 96 square foot retaining wall; and 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

Agent: Michael Linder

Property Owner: Robert Hall

APN: 420-171-027-000

Parcel Size: .30 acres

Zoning: Rural Density Residential with a density of 40 acres per unit and a Design Control overlay in the Coastal Zone or "RDR/40-D(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: No

Planner: Joseph Alameda, Assistant Planner

alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY/DISCUSSION:

The subject property is located at 48700 Highway 1, Big Sur , within the Big Sur Coast Land Use Plan. The property is currently developed and used for residential purposes (existing single-family dwelling) and is surrounded by residences on all sides. The applicant proposes replacement of an existing 4,999-gallon water tank with a 4,775-gallon water tank and a 96 square foot addition to a retaining wall within 750 feet of a positive archaeological site. Pursuant to Title 20 section 20.16.040.F, replacement of a water tank is a principally allowed use for this zoning district, subject to Coastal Administrative Permit in each case.

Based on staff analysis, the proposed project is consistent with all rules and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan, Big Sur Coast Land Use Plan (BSCLUP), Monterey County Coastal Implementation Plan (CIP; Part 3), and Zoning Ordinance (Title 20).

Design Review & Site Development Standards

The proposed development is subject to the regulations of the Design Control “D” zoning district outlined in Title 20 section 20.44.060, which establishes design review requirements to assure protection of the public viewshed and neighborhood character. The exterior colors and materials are compatible with the surrounding environment and are consistent with the surrounding residential neighborhood character which will not be changed. The proposed development will not be visible from a scenic corridor or major common public viewing area due to location, topography, and intervening development and vegetation. Therefore, the project, as designed and sited, is consistent with neighborhood character, and assures visual integrity.

The proposed development includes the replacement of an existing 4,999-gallon water tank, which was previously approved by the Monterey County Zoning Administrator on August 12, 1999 (Resolution No. 980674). The installation of the water tank had a previously approved front setback of 17’ feet from the edge of Coastlands Road. Site development standards for the RDR zoning district identifies non-habitable accessory structures to have a minimum 50 foot front setback; however, Title 20 section 20.62.040.F, allows for an exception to this requirement should 50% or more of the building sites on any one block or portion thereof in the same district have been improved with structures, the required front setback shall be of a depth equal to the average of the front setbacks of the improved building sites, to a maximum of that specified for the district in which such building site is located. The approval of the water tank applied this exception with review of application materials submitted by the applicant that identified photographic evidence that was submitted and reviewed that illustrated other structures also encroaching into the front yard setback areas as outlined in the staff report prepared by County staff for PLN980674.

The existing water tank has been damaged and requires replacement. The proposed development is replacement of this existing water with an approximately 12 foot high, 4,775-gallon water tank within the same location previously approved under Resolution No. 980674, with the addition of an 8-foot-high retaining wall. The structures meet the maximum height out as outlined in Title 20 section 20.16.060 site development standards. Additionally, staff reviewed the parcels within one block of the proposed development and found a portion thereof the block with parcels of the same district to have

been improved with structures. Four out of the nine parcels located within the same street have been improved with structures of similar types. Two of these parcels are water tanks that have been placed within the front setback of the applicable properties. Further, parcels located towards the end of Coastlands Road, near HWY 1, also includes accessory structure such as water tanks within the front setback of the property. Therefore, staff finds that replacement of the existing water tank within the same location, with a front setback of 17 feet, meets the criteria outline in Title 20 section 20.62.040.F.

Cultural Resources

According to county GIS records, the subject property is within 750 feet of a known archaeological resource. In conjunction with the development of the original water tank and retaining wall (PLN980674), an initial study/mitigated negative declaration (IS/MND) was prepared for the subject property and development site. The IS/MND identified the presence of archaeological resources within a small portion of the subject property but not within the proposed development site. The project involves minimal ground disturbance, limited to the drilling of piers for the retaining wall. Although the development site is negative for archaeological resources and the project involves minimal ground disturbance, the subject property does contain positive resources and therefore requires granting of a Coastal Development Permit pursuant to Big Sur Coast LUP section 20.145.120.A.1.

CEQA:

California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity. As proposed, the project involves the replacement of a 4,999-gallon water tank with a 4,775-gallon water tank and construction of a 96 square foot retaining wall. While there are known historical/cultural resources (archaeological) on-site, no structural development is proposed within these areas.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Big Sur Volunteer Fire Brigade

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

Attachments:

Exhibit A - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Big Sur Volunteer Fire Brigade; HCD-Environmental Services; HCD - Engineering Services; Environmental Health Bureau; Joseph Alameda, Project Planner; Jacquelyn M. Nickerson, Principal Planner; Robert Hall, Property Owner; Michael Linder, Agent/Architect; The Open Monterey Project (Molly Erickson); Laborers International Union of North America (Lozeau Drury LLP); Christina McGinnis, Keep Big Sur Wild; LandWatch; Project File PLN230197

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CELLARIUS LIMITED (PLN230197)

RESOLUTION NO. 25-

Resolution by the County of Monterey Planning
Commission:

- 1) Finding the project qualifies as a Class 2
Categorical Exemption pursuant to CEQA
Guidelines section 15302, and there are no
exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit
consisting of a:
 - a. Coastal Administrative Permit and
Design Approval to allow the
replacement of an existing water tank
with a 4,775-gallon water tank and
development of a 96 square foot
retaining wall; and
 - b. Coastal Development Permit to allow
development within 750 feet of known
archaeological resources.

[PLN230197, Cellarius Limited, 48700 Highway 1,
Big Sur, Big Sur Coast Land Use Plan (APN: (420-
171-027-000)]

The Cellarius Limited application (PLN230197) came on for public hearing before the County of Monterey Zoning Administrator on June 26, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan;
 - Big Sur Coastal Implementation Plan (Part 3);
 - Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 48700 Highway 1 in Big Sur (Assessor's Parcel Number 420-171-027-000), Big Sur Coast Land Use Plan. The parcel is zoned Rural Density Residential with a density of 40 acres per unit and a Design Control overlay in the Coastal Zone. The rural Density Residential zoning district allows the replacement of water tanks where no increase in service connections is proposed. The Design Control overlay requires the granting of a Design Approval for all structures. The proposed project involves the replacement of an existing 4,999-gallon water tank with a 4,775-gallon water tank and development of a 96 square foot retaining wall. The project also involves development within 750 feet of known archaeological resources, which is an allowed use subject to the granting of a Coastal Development Permit. Pursuant to Title 20 section 20.16.040.F, replacement of a water tank is a principally allowed use for this zoning district, subject to Coastal Administrative Permit in each case. Therefore, the project is an allowed land use for this site.
- c) HCD-Planning staff conducted a site inspection on March 11th, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- d) Review of Development Standards. The project meets all required development standards for the Rural Density Residential zoning district for non-habitable accessory structures as identified in Title 20 section 20.16.060.C.3, except as to the required front setback and to height. The required setbacks for non-habitable accessory structures include a 50-foot front setback, a six-foot side setback, a one-foot rear setback and a maximum height of 15 feet. The project will have a front setback of 17 feet, a side setback of over 12 feet, a rear setback of over 50 feet, and a height of 18 feet. The proposed development includes the replacement of an existing 4,999-gallon water tank, which was previously approved by the Monterey County Zoning Administrator on August 12, 1999 (Resolution No. 980674). The installation of the water tank had a previously approved front setback of 17' feet from the edge of Coastlands Road. Site development standards for the RDR zoning district identifies non-habitable accessory structures to have a minimum 50 foot front setback; however, Title 20 section 20.62.040.F, allows for an exception to this requirement should 50% or more of the building sites on any one block or portion thereof in the same district have been improved with structures, the required front setback shall be of a depth equal to the average of the front setbacks of the improved building sites, to a maximum of that specified for the district in which such building site is located. The approval of the water tank applied this exception with review of application materials submitted by the applicant that identified photographic evidence that was submitted and reviewed that illustrated other structures also encroaching into the front yard setback areas as outlined in the staff report prepared by County staff for PLN980674. The existing water tank has been damaged and requires

replacement. The proposed development is replacement of this existing water with an approximately 12 foot high, 4,775-gallon water tank within the same location previously approved under Resolution No. 980674, with the addition of an 8-foot-high retaining wall. The structures meet the maximum height out as outlined in Title 20 section 20.16.060 site development standards. Additionally, staff reviewed the parcels within one block of the proposed development and found a portion thereof the block with parcels of the same district to have been improved with structures. Four out of the nine parcels located within the same street have been improved with structures of similar types. Two of these parcels are water tanks that have been placed within the front setback of the applicable properties. Further, parcels located towards the end of Coastlands Road, near HWY 1, also includes accessory structure such as water tanks within the front setback of the property. Therefore, staff finds that replacement of the existing water tank within the same location, with a front setback of 17 feet, meets the criteria outline in Title 20 section 20.62.040.F. Therefore, the project meets all required development standards.

- e) Design and Visual Resources. Pursuant to Title 20 Chapter 20.44, the project parcels and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project colors and materials consist of corrugated steel, and a light brown wood retaining wall. The Big Sur Coast Land Use Plan identifies those developments which are visible from Highway 1 and major public viewing areas as being within the Critical Viewshed. Due to existing vegetation and topography the proposed development is not visible from Highway 1 nor any other public viewing areas, and as sited and designed is consistent with the Big Sur Coast Land Use Plan.
- f) Development on Slopes. Title 20 section 20.64.230.C.1 requires a Coastal Development Permit for development on slopes in excess of 30%. However, Title 20 section 20.64.230.C.2.d exempts additions to existing structures on slopes in excess of 30% provided the addition does not exceed 120 square feet. In this case, the addition to the existing retaining wall will require 24 square feet of development on slope in excess of 30%. Therefore, no Coastal Development Permit is required for development on slopes.
- g) Cultural Resources. According to county GIS records, the subject property is within 750 feet of a known archaeological resource. In conjunction with the development of the original water tank and retaining wall (PLN980674), an initial study/mitigated negative declaration (IS/MND) was prepared for the subject property and development site. The IS/MND identified the presence of archaeological resources within a small portion of the subject property but not within the proposed development site. The project involves minimal ground disturbance, limited to the drilling of piers for the retaining wall. Although the development site is negative for archaeological resources and the project involves minimal ground disturbance, the subject

property does contain positive resources and therefore requires granting of a Coastal Development Permit pursuant to Big Sur Coast LUP section 20.145.120.A.1.

- h) Lot Legality. The subject property is shown in its current configuration on a Final Map entitled “Coast Lands Tract No.1” as Parcel 32, recorded on October 3rd, 1927 (Volume 3, Cities and Towns, Page 46). Therefore, the County recognizes the subject properties as legal lots of record.
- i) Public Access. As outlined in Finding 5, the development is consistent with applicable public access policies of the Big Sur Coast LUP. See Finding No. 5 and supporting evidence.
- j) Land Use Advisory Committee. The project was referred to the Big Sur Land Use Advisory Committee (LUAC) for review, on March 11th, 2025. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project involves a Design Approval subject to review by the Zoning Administrator. The LUAC voted 5-0 to support the project as proposed.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN230197.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Big Sur Volunteer Fire Brigade, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geological Resources (slopes). The following reports have been prepared:
 - “Geotechnical Investigation(LIB250019), prepared by Belinda Taluban, Salinas, CA, March 1st, 2024The above-mentioned technical report by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
 - c) Staff conducted a site inspection on March 11th, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN230197.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, Big Sur Volunteer Fire Brigade, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Environmental Health Bureau reviewed the replacement water tank and required the addition of Conditions No. 4 and 5. Condition No.4 requires that prior to construction permit hold final clearance, the applicant shall demonstrate adequate backflow protection (to the connection or dedicated line to storage tank) has been properly Installed. Condition No.5 requires that Prior to construction permit hold final clearance, the applicant shall submit water quality analysis results for a coliform sample downstream of the new storage tank to the Environmental Health Bureau (EHB) for review. If EHB determines that the water quality is adequate, no further action is required.
 - c) Staff conducted a site inspection on March 11th, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN230197.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on March 11th, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230197.

5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts the replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity.

- b) The proposed project involves the replacement of a 4,999-gallon water tank with a 4,775 gallon water tank and addition to an existing retaining wall. The replacement water tank will be similar, but smaller, in capacity to the existing and will be located on the existing foundation. Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15302.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on March 11th, 2025.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No trees are proposed for removal. The proposed project will also not be visible from any scenic vista or corridor (see Finding No.1, Evidence “e”). No known historical resources are found in the geotechnical report which may cause a substantial adverse change in the significance of a historical resource.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN230197.

6. **FINDING:** **PUBLIC ACCESS** - The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and the Local Coastal Program (LCP), and does not interfere with any form of historic public use or trust rights.
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan (Part 3) can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Trails Plan, in the Big Sur Coast Land Use Plan).
 - c) As illustrated on Assessors Map Book 420, Page 17-1, multiple trails traverse through the Coastlands Tract 1 Subdivision. A portion of “Ridge Trail No. 5” runs through the subject property along the top of slope. The Coastlands Mutual Water Company (CMWC), a non-profit organization, manages all roads, easements, and the local water system of the Coastlands Subdivision. The President of the Coastlands Mutual Water Company confirms that these trails are private easements that have never been or ever will be considered public access easement.
 - d) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - e) The project planner conducted a site visit on March 11, 2025, to verify that the project, as proposed and conditioned, would not impact public access. Based on this site inspection, the proposed development would

not obstruct public views of the shoreline from surrounding roadways, would not obstruct public visual access to the shoreline from major public viewing corridors, and would not be visible from Highway 1 nor any area designated as within the Big Sur Critical Viewshed. As proposed, the project will not result in adverse impacts to the public viewshed or scenic character in the project vicinity and is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan.

- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN230197.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.020, an aggrieved party may appeal a decision of the Zoning Administrator to the Board of Supervisors.
 - b) California Coastal Commission. This project is not appealable to the California Coastal Commission as it is not located between the sea and the first through public road, or within 300 feet of the beach, mean high tide line or coastal bluff. It is not within 100 feet of any wetland and does not include a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Zoning Administrator does hereby:

1. Find the project for replacement of an existing water tank qualifies for a Class 2 Categorically Exempt pursuant to CEQA Guidelines section 15302, and no exceptions pursuant to section 15300.2 can be made; and
2. Approving a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow the replacement of an existing water tank with a 4,775-gallon water tank and replacement of a 96 square foot retaining wall; and 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources.

PASSED AND ADOPTED this 26th day of June, 2025:

Mike Novo AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230197

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN230197) allows the replacement of a 4,999-gallon water tank with a 4,775-gallon water tank and development of a 96 square foot addition to a retaining wall within 750 feet of known archaeological resources. The property is located at 48700 Highway 1 (Assessor's Parcel Number 420-171-027-000), Big Sur Coast Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 420-171-027-000 on June 26th, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. EHSP01 – CROSS-CONNECTION CONTROL (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Adequate backflow protection to ensure that the water system will not be subject to backflow or back-siphonage under normal operating conditions. (Monterey County Code 15.04085)

Compliance or Monitoring Action to be Performed: Prior to construction permit hold final clearance, the applicant shall demonstrate adequate backflow protection (to the connection or dedicated line to storage tank) has been properly installed.

5. EHSP02- NEW STORAGE TANK: WATER QUALITY (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: A residential building shall be provided with an adequate supply of potable water pursuant to Section 601.1 of the Uniform Plumbing Code. In order to demonstrate a potable supply, quality testing shall be completed. Sample collection shall be done after the installation of the new storage tank. Quality analysis shall include coliform bacteria. Sample collection shall be done by a person approved by EHB and shall be analyzed by a laboratory certified by the Environmental Laboratory Accreditation Program (ELAP).

Compliance or Monitoring Action to be Performed: Prior to construction permit hold final clearance, the applicant shall submit water quality analysis results for a coliform sample downstream of the new storage tank to the Environmental Health Bureau (EHB) for review. If EHB determines that the water quality is adequate, no further action is required.

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TERRA MAR COTTAGE

48700 HWY 1 , BIG SUR , CALIFORNIA 93920

COASTAL DEVELOPMENT PERMIT

ABBREVIATIONS:

ADJ. ADJUSTABLE	MTD. MOUNTED	MUL. MULLION	N. NEW
A.F.F. ABOVE FINISH FLOOR	AGGR. AGGREGATE	ALUM. ALUMINUM	APPROX. APPROXIMATE
ARCH. ARCHITECTURAL	BD. BOARD	BITUM. BITUMINOUS	BLDG. BUILDING
BLK. BLOCK	BLKG. BLOCKING	BM. BEAM	B.O. BOTTOM OF
C.L. CENTERLINE	CAB. CABINET	CEM. CEMENT	CHIM. CHIMNEY
CLG. CEILING	CLR. CLEAR	C.M.U. CONCRETE MASONRY UNIT	COL. COLUMN
CONC. CONCRETE	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CTR. CENTER
C.W. COLD WATER	D. DRYER	DBL. DOUBLE	DET. DETAIL
DIA. DIAMETER	DIM. DIMENSION	DN. DOWN	DR. DOOR
D.S.P. DRY STANDPIPE	D.W. DISHWASHER	DWG. DRAWING	DWR. DRAWER
(E) EXISTING	EA. EACH	ELEV. ELEVATION	ELEC. ELECTRICAL
ENCL. ENCLOSURE	E.O. EDGE OF	EQL. EQUAL	EQUIP. EQUIPMENT
EXIST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.A. FIRE ALARM
F.A.U. FORCED AIR UNIT	F.D. FLOOR DRAIN	FIN. FINISH	FKT. FIXTURE
FL. FLOOR	FLASH. FLASHING	FLUOR. FLUORESCENT	F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH	F.O.M. FACE OF MASONRY	F.O.PLY. FACE OF PLYWOOD	F.O.S. FACE OF STUDS
F.P. FIREPROOF	FR. FRAME	FT. FOOT OR FEET	FURR. FURRING
FUT. FUT.	G. GAS	GA. GAUGE	G.C. GALVANIZED
GEN. GENERAL	G.D. GARBAGE DISPOSAL	GL. GRIDLINE	GND. GROUND
G.O. GAS OUTLET	GR. GRADE	G.S.M. GALVANIZED SHEET METAL	GYP. GYPSUM
H.B. HOSE BIBB	HD. HEAD	HDR. HEADER	HGR. HANGER
HORIZ. HORIZONTAL	H.R. HANDRAIL	HT. HEIGHT	H.W.H. HOT WATER HEATER
IN. INCH	INSUL. INSULATION	INT. INTERIOR	JT. JOIST
JT. JOINT	LAM. LAMINATE	LAV. LAVATORY	LT.FIXT. LIGHT FIXTURE
LN. LINE	LT. LIGHT	MACH. MACHINE	MAINT. MAINTENANCE
MAT. MATERIAL	MAX. MAXIMUM	MECH. MECHANICAL	MEMB. MEMBRANE
MFL. METAL	MFR. MANUFACTURER	MIN. MINIMUM	MIR. MIRROR
MISC. MISCELLANEOUS	MSRY. MASONRY		

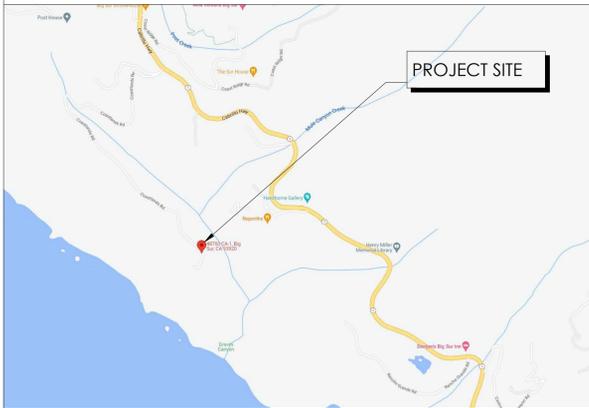
PROJECT DIRECTORY:

OWNER'S REPRESENTATIVE (PRIMARY CONTACT):	CONTACT: TELEPHONE: EMAIL:	MICHAEL LINDER 661.301.7213 bigstulaw@gmail.com
OWNER: CELLARIUS LTD. 108 SONDGROTH WAY MOUNTAIN VIEW, CA 94040	CONTACT: TELEPHONE: EMAIL:	ROBERT HALL, PRESIDENT rdhall108@gmail.com
ARCHITECT: SUTRO ARCHITECTS 135 MATHESON STREET HEALDSBURG, CA 95448 www.sutroarchitects.com	CONTACT: TELEPHONE: EMAIL:	ELIOT SUTRO 707.395.4480 esutro@sutroarchitects.com
CONTRACTOR: PINNEY CONSTRUCTION 26607 CARMEL CENTER PLACE #203 CARMEL, CA 93923	CONTACT: TELEPHONE: EMAIL:	FORREST CASEY 415.314.3615 forest@pinneyconstruction.com

SYMBOL LEGEND:

KEY NOTE	99	PLAN DETAIL	XX AX.X
ROOM TAG	STUDIO 100 100 SF	ELEVATION	XX AX.X
WALL TYPE	99	SECTION	XX AX.X
DOOR TAG	999	INTERIOR ELEVATION	4 AX.X 2 3
WINDOW TAG	99	REGION	XX AX.X
CEILING HEIGHT	X'-XX"	REVISION	
SPOT ELEVATION		FINISH TAG	XX 01
ELEVATION DATUM	FINISHED CEILING X'-XX"	BREAKLINE	
COLUMN GRIDLINE	XX	NORTH ARROW	PROJECT TRUE
DRAWING TITLE	1 TITLE 1/1" = 1'-0"		

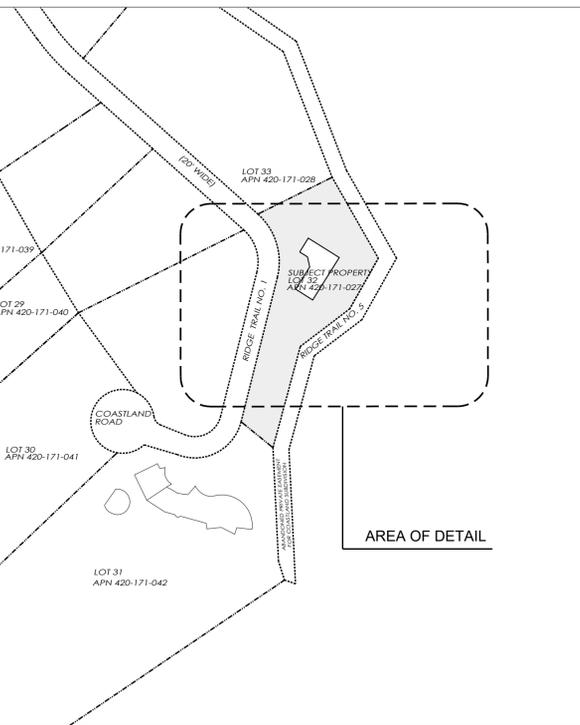
VICINITY MAP:



PROJECT DATA:

SITE DATA	TERRA MAR COTTAGE
PROJECT NAME:	TERRA MAR COTTAGE
PROJECT TYPE:	WATER TANK REPLACEMENT AND LANDSCAPE RETAINING WALL
PROJECT ADDRESS:	48700 HWY 1 , BIG SUR , CA 93920
DESCRIPTION OF WORK:	REPLACEMENT OF EXISTING AND FAILING (1) 4999 GAL PLASTIC WATER STORAGE TANK WITH (1) 4775 GAL CORRUGATED STEEL WATER STORAGE TANK WITHIN EXISTING LOCATION. NEW SOLDIER PILE LANDSCAPE RETAINING WALL AT WATER TANK. APPROX 12 LINEAR FEET, 8'-0" MAX. HEIGHT.
GRADING:	ON SITE BALANCED AREA OF DISTURBANCE - APPROX. 140 SQ FT
BUILDING DATA	
APPLICABLE BUILDING CODES:	2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE
TYPE OF CONSTRUCTION:	TYPE VB
SPRINKLER PROTECTION:	FULLY SPRINKLERED - SYSTEM DESIGN UNDER DEFERRED SUBMITTAL
OCCUPANCY TYPE / USE:	R-3 / SINGLE FAMILY RESIDENCE
ACCESSOR'S PARCEL NUMBER:	420-171-027-000
ZONING DISTRICT:	RDR/40-D(CZ)
PARCEL SIZE:	.30 ACRES / 13068 SQ. FT.
LOT COVERAGE:	EXISTING: (850/13068)X100 = 6.5% PROPOSED: (874/13068)X100 = 6.68%
NO. OF STORIES:	2 STORIES - NO PROPOSED CHANGES

PLOT MAP:



SHEET INDEX:

12.19.2024 - COASTAL DEVELOPMENT PERMIT	
ARCHITECTURAL DRAWINGS	
■ A0.0 COVER SHEET / PROJECT INFO	
■ A1.0 EXISTING SITE PLAN	
■ A1.1 PROPOSED SITE PLAN	
■ A1.2 PROPOSED SITE SECTION & TANK ELEVATION	
■ C0.1 CIVIL COVER SHEET	
■ C1.0 GRADING PLAN	
■ A1.1 TEMPORARY EROSION AND SEDIMENT CONTROL PLAN	
TOTAL SHEET COUNT : 7 PAGES	

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1018 E Post Street, San Francisco CA 94109

TERRA MAR COTTAGE
48700 HWY 1
BIG SUR, CA 93920
PARCEL 420-171-027-000 | PROJECT NO. 2022.046



CDP APPLICATION
12.19.2024

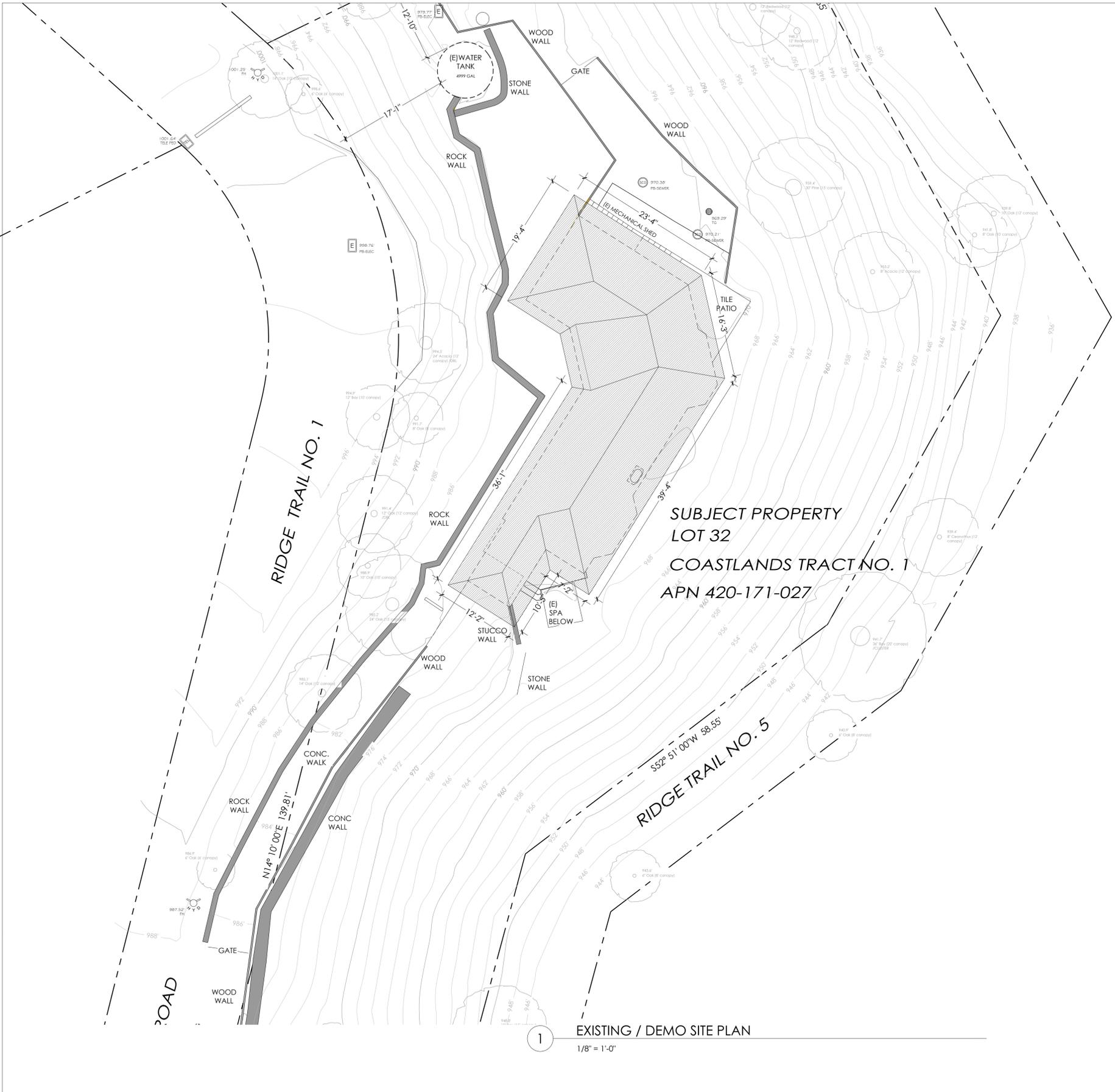
COVER SHEET

NO SCALE

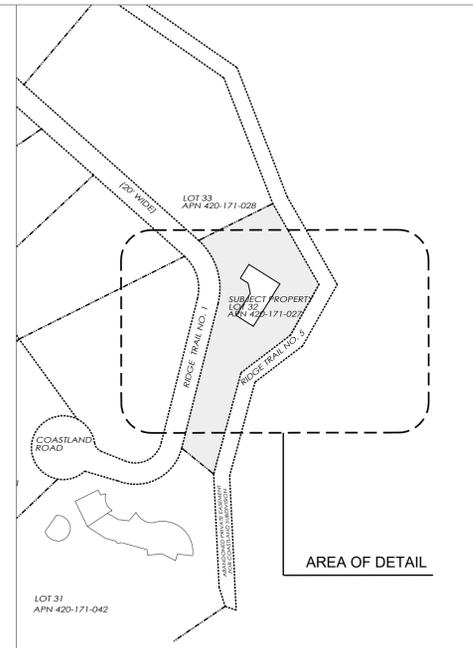
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1 EXISTING / DEMO SITE PLAN
1/8" = 1'-0"



MATERIAL PALETTE:

(E) PLASTIC WATER TANK



SITE PLAN/ DEMO LEGEND:

- PROPERTY LINE
- - - - - AREA OF DEMOLITION



CDP APPLICATION
12.19.2024

EXISTING & DEMO
SITE PLAN

1/8" = 1'-0"

A1.0

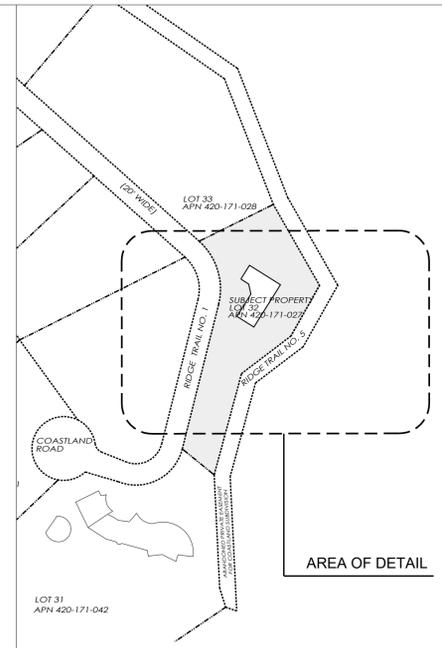
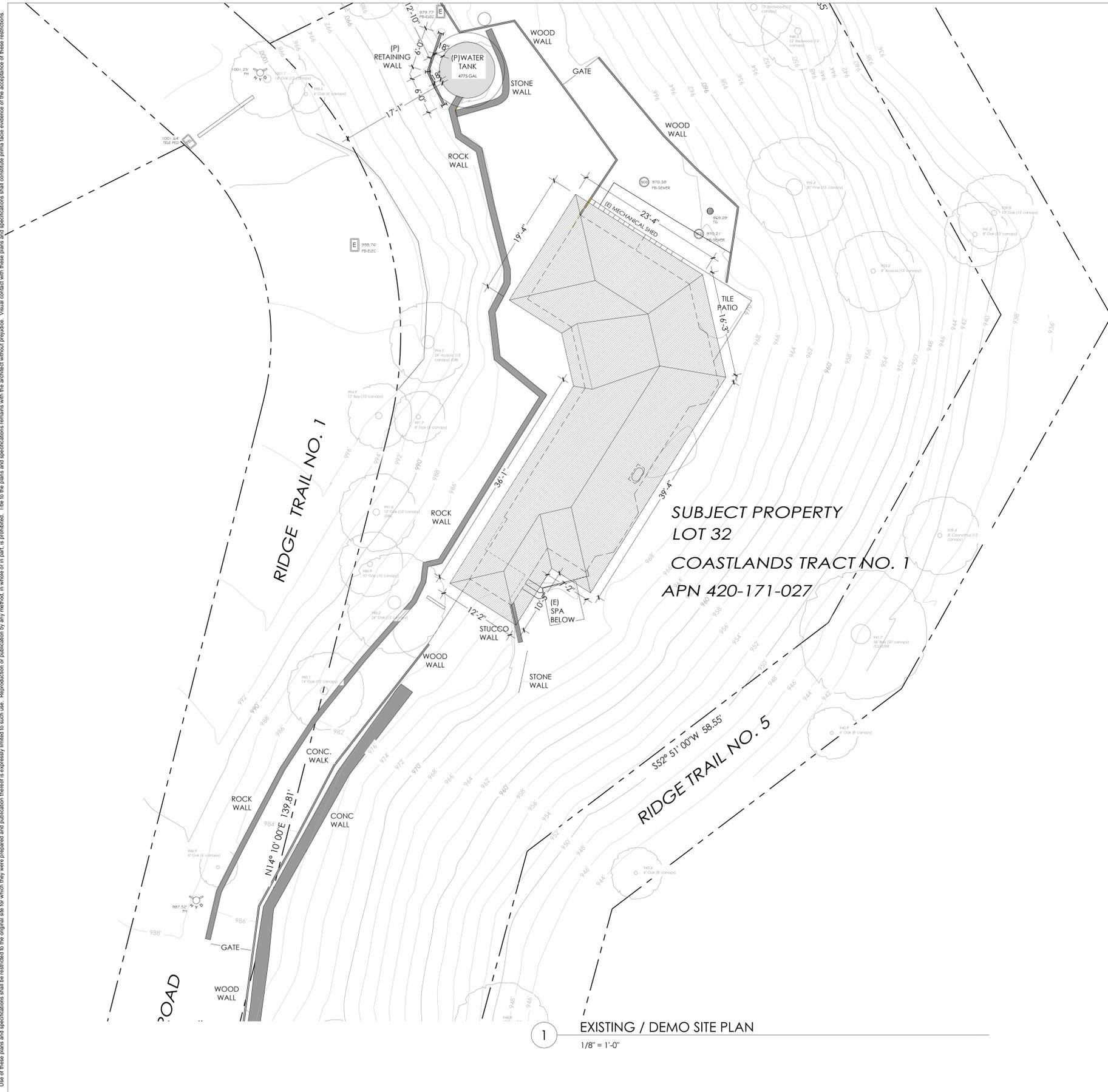
SUTRO ARCHITECTS
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109.5 Post Street, San Francisco CA
94109

TERRA MAR COTTAGE
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BIG SUR, CA 93920

PARCEL 420-171-027-000 | PROJECT NO. 2022.046

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MATERIAL PALETTE:

(P) CORRUGATED STEEL WATER TANK



(P) SOLDIER PILE RETAINING WALL



SITE PLAN LEGEND:

----- PROPERTY LINE



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BIG SUR, CA 93920

PARCEL 420-171-027-000 | PROJECT NO. 2022.046



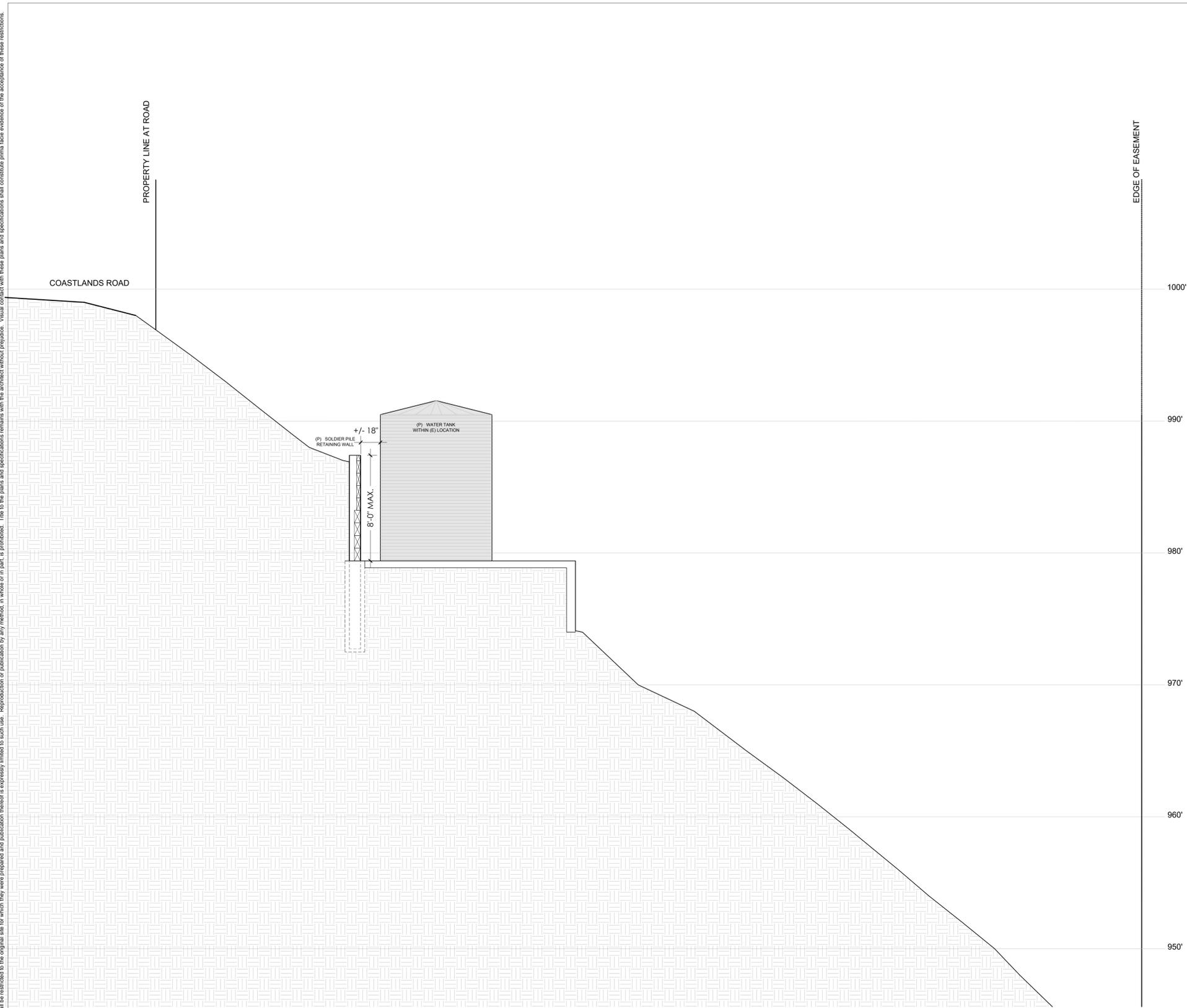
CDP APPLICATION
12.19.2024

PROPOSED SITE PLAN

1/8" = 1'-0"

A1.1

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1

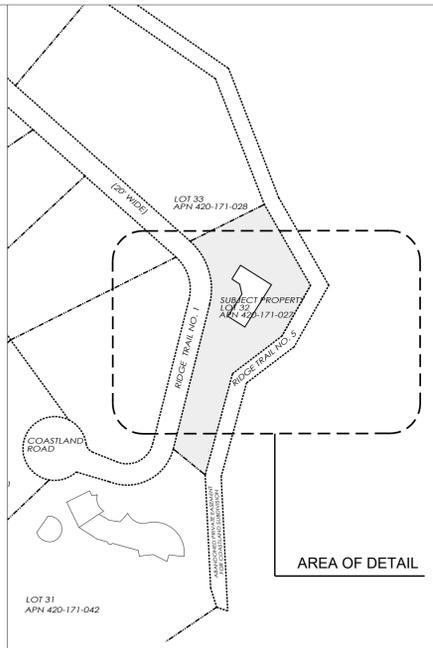
SITE SECTION AND TANK ELEVATION

1/4" = 1'-0"



EDGE OF EASEMENT

1000'
990'
980'
970'
960'
950'



SITE PLAN LEGEND:

----- PROPERTY LINE



CDP APPLICATION
12.19.2024

PROPOSED
SITE SECTION
TANK ELEVATION

1/4" = 1'-0"

A1.2

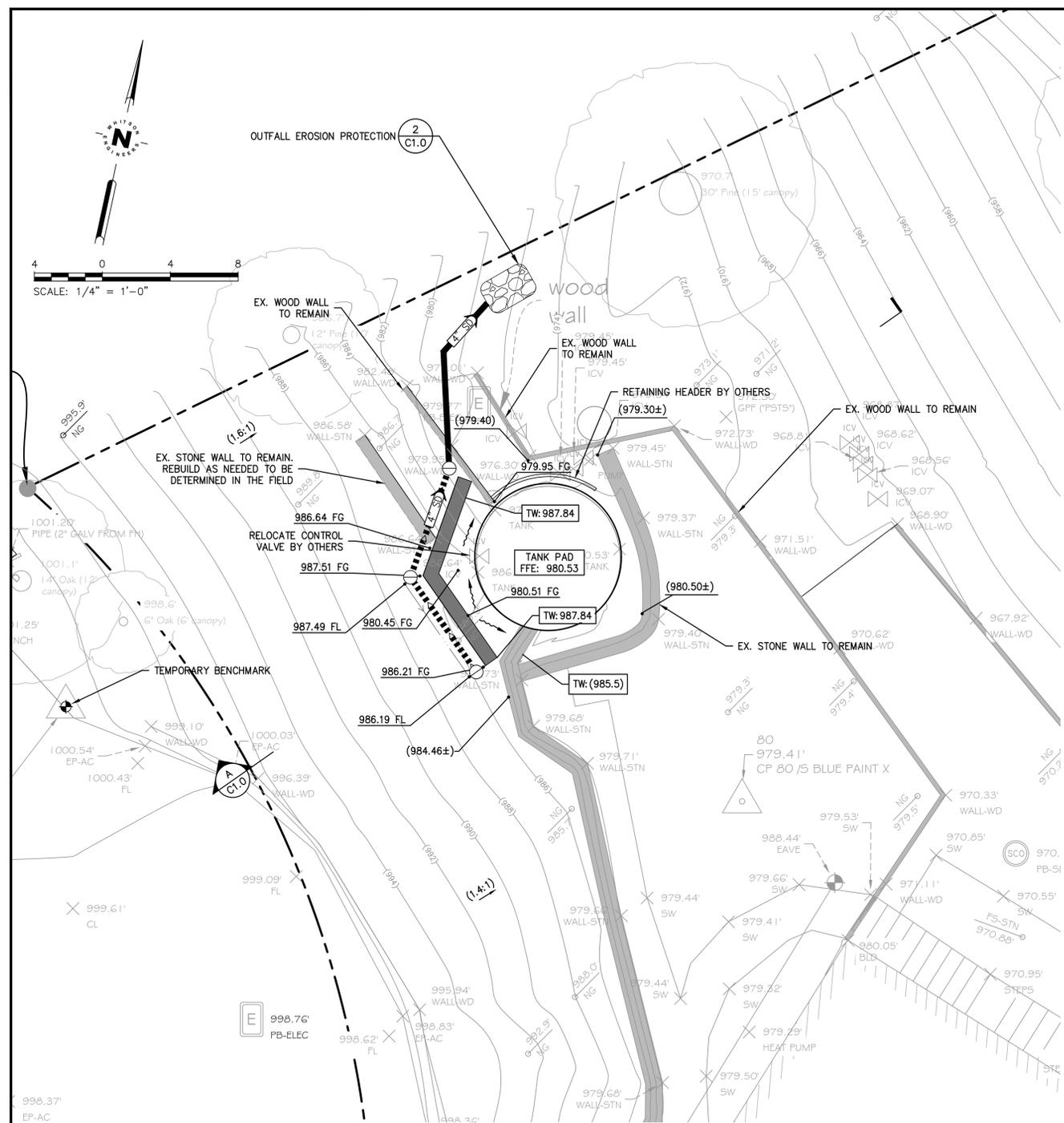
TERRA MAR COTTAGE

415.956.3445
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48700 HWY 1
BIG SUR, CA 93920

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SUTRO ARCHITECTS

1085 Post Street, San Francisco CA
94109



A SECTION A
SCALE: 1"=4'

STORM DRAINAGE

STORM DRAIN PIPE

4" AND 6" PIPE: RUBBER GASKETED PVC GRAVITY SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 OR SDR 26. ALTERNATE, 4" AND 6" RAIN WATER LEADERS: SOLVENT WELD ABS SEWER PIPE CONFORMING TO ASTM D-2661, SCH 40.

8" AND LARGER PIPE: HDPE TYPE "S" (SMOOTH INTERIOR, CORRUGATED EXTERIOR) PIPE WITH WATER TIGHT JOINTS CONFORMING TO AASHTO DESIGNATION M 294. ALTERNATE: RUBBER GASKETED PVC GRAVITY SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 OR SDR 26.

PERFORATED PIPE

SOLVENT WELD PERFORATED PVC PIPE CONFORMING TO ONE OF THE FOLLOWING: ASTM D-1785, SCH 40; ASTM D-3034, SDR 35 OR SDR 26; OR ASTM D-2729; OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40.

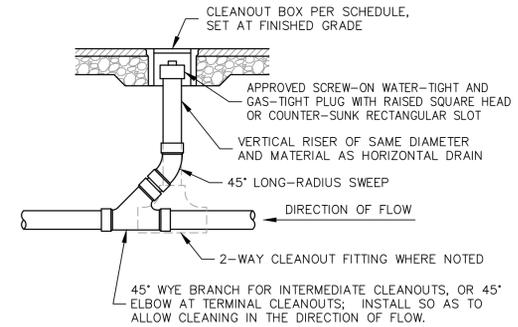
PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729.

PERMEABLE MATERIAL

PERMEABLE MATERIAL (DRAIN ROCK) SHALL CONFORM TO THE PROVISIONS IN SECTION 68, "SUBSURFACE DRAINS," OF THE STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.

FILTER FABRIC

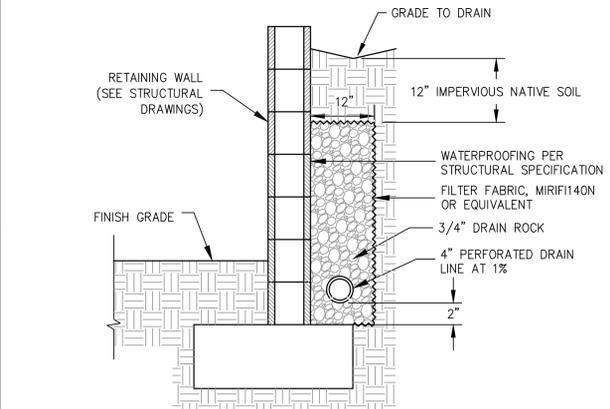
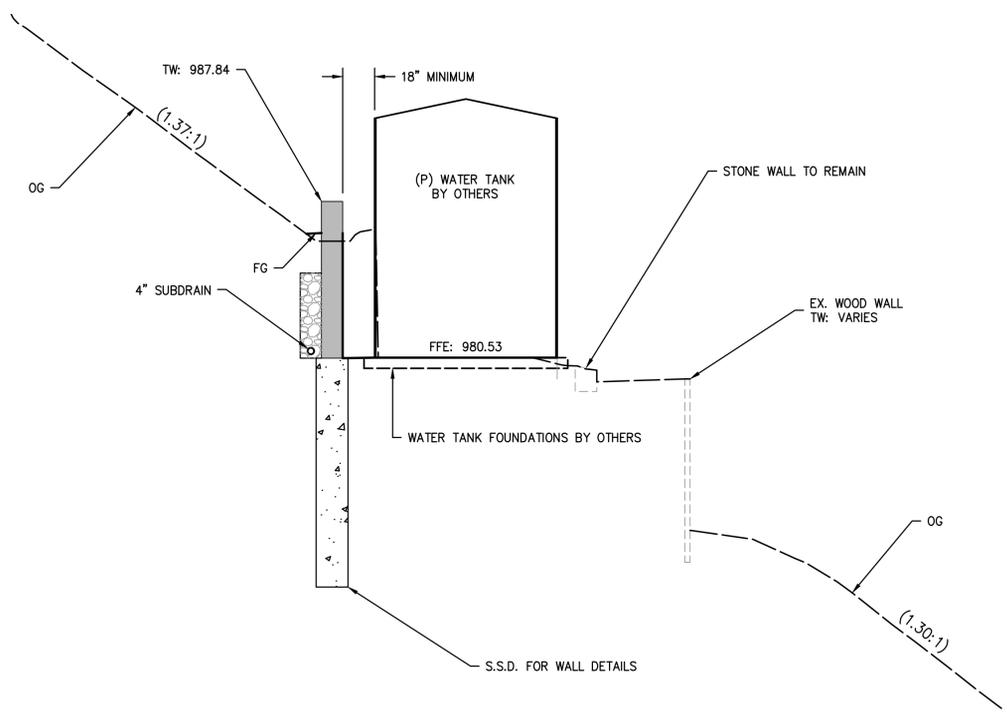
FILTER FABRIC SHALL CONFORM TO AASHTO M288 CLASS 2 (MIRAFI 160N OR APPROVED EQUAL) OR CLASS 3 (MIRAFI 140N OR APPROVED EQUAL). IF NOT OTHERWISE NOTED, USE CLASS 3 FILTER FABRIC.



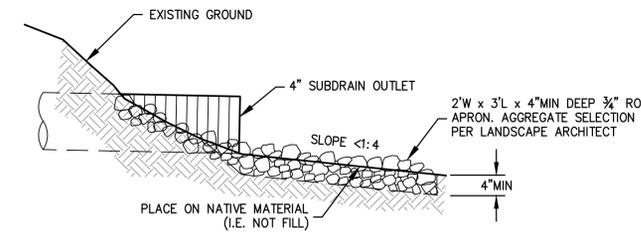
CLEANOUT BOX SCHEDULE

PLANTER AREAS
CHRISTY FOB BOX WITH REINFORCED CONCRETE LID, OR APPROVED EQUAL. LID MARKED "SEWER" OR "STORM", AS APPROPRIATE.

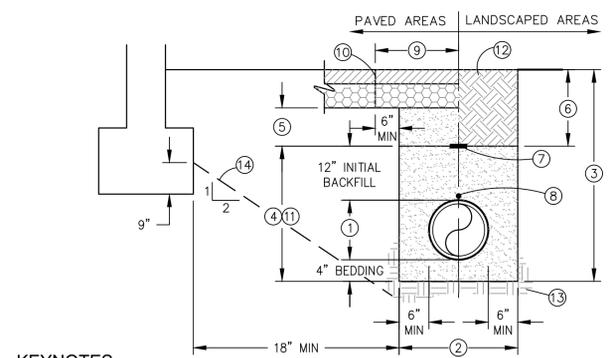
3 CLEANOUT
SCALE: NONE



1 WALL DRAIN
SCALE: NONE



2 SUBDRAIN OUTLET EROSION PROTECTION
SCALE: NONE



KEYNOTES

- PROPOSED PRIVATE UTILITY; PIPE ZONE
- MINIMUM TRENCH WIDTH = PIPE O.D. + 12" MIN. PROVIDE MIN 6" CLR EITHER SIDE OF PIPE. TRENCH WIDTH MAY VARY FROM ACTUAL WIDTH REQUIRED TO PERFORM THE WORK DEPENDING UPON METHOD OF COMPACTION AND FOR TRENCH SHORING/PROTECTION USED BY CONTRACTOR.
- TRENCH DEPTH AS SHOWN ON PLANS. IF NOT SHOWN OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MAINS 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
- PIPE BEDDING AND INITIAL BACKFILL: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
- FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS: CLEAN SAND AS DEFINED IN ASTM D2487-17, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
- FINAL BACKFILL IN LANDSCAPE AREAS: NATIVE MATERIAL COMPACTED IN MAX 8" LIFTS TO MIN. 90% R.C.
- PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
- PROVIDE INSULATED 12 AWG TRACER WIRE FOR ALL EXTERIOR NON-METALLIC WATER AND GAS PIPES 4"-DIA AND LARGER. TAPE TO TOP OF PIPE AT 10' INTERVALS. EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC., SO LOCATOR EQUIPMENT CAN BE CONNECTED.
- PIPE TRENCHING WORK IN EXISTING IMPROVED STREETS SHALL INCLUDE REPLACEMENT OF EXISTING PAVEMENT. THE THICKNESS OF THE NEW AC AND AB SHALL BE EQUIVALENT TO THE EXISTING AC AND AB THICKNESS, OR 2.5" AC ON 8" AB, WHICHEVER IS GREATER. TRENCH PATCH SHALL EXTEND MIN 6" BEYOND TRENCH WALL.
- ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF TRENCH WALL.
- IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE WITH 5-SACK CONCRETE.
- ALL SOILS PROPOSED TO BE UTILIZED FOR TRENCH BEDDING AND BACKFILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE USE. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- UNDISTURBED SUBGRADE SOIL. THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING BEDDING.
- UTILITY TRENCHES THAT ARE PARALLEL WITH FOOTINGS SHALL NOT BE BELOW A PLANE HAVING A DOWNWARD SLOPE OF 2:1 (H:V) FROM A LINE 9" ABOVE THE BOTTOM OUTSIDE EDGE OF THE FOOTING, AND NOT CLOSER THAN 18" FROM THE FACE OF THE FOOTING.
- WHERE UTILITY TRENCHES CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED

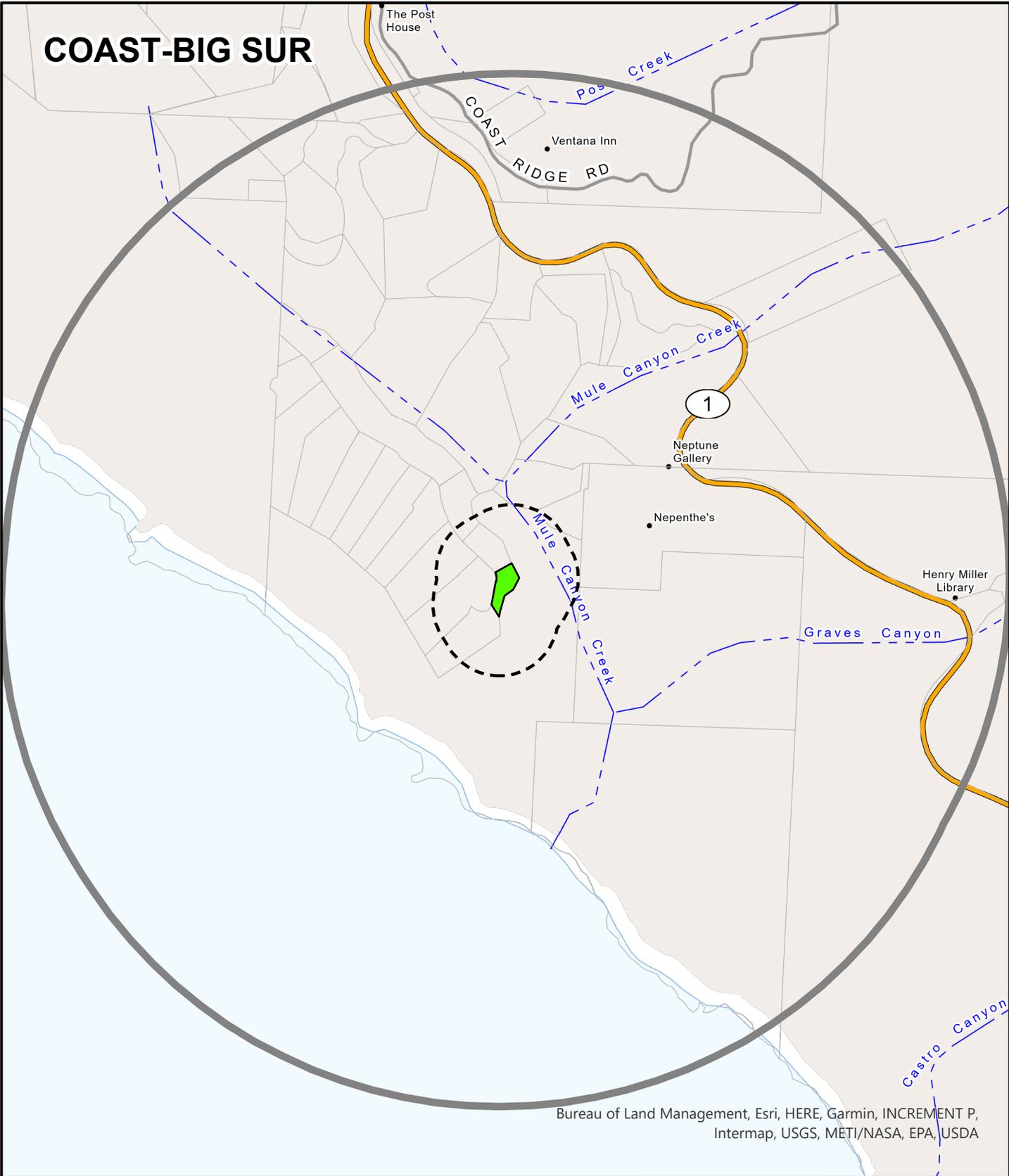
4 PRIVATE UTILITY TRENCHING
SCALE: NONE

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Exhibit B

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COAST-BIG SUR



APPLICANT: CELLARIUS

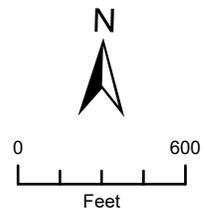
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FILE # PLN230197

 Project Site

 300 FT Buffer

 2500 FT Buffer



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