

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

SOUTH COUNTY HOUSING CORPORATION (PLN100446)

RESOLUTION NO. 12-029

Resolution by the Monterey County Planning Commission to:

- 1) Recommend that the Board of Supervisors adopt a Negative Declaration;
- 2) Recommend that the Board of Supervisors adopt an ordinance amending Title 21 (Zoning Ordinance) Section 21-26 to add an Affordable Housing Overlay (AHO) District to the existing F/40 Farmland zoning designation on the subject parcel; and
- 3) Recommend that the Board of Supervisors approve a Use Permit to allow for the demolition of 44 substandard farmworker housing units and the construction of 44 new farmworker housing units.

[PLN100446, South County Housing Corporation, 32101 McCoy Road, Soledad, Central Salinas Valley Area Plan (APN: 257-031-005-000)]

The Camphora Apartment Replacement Project application (PLN100446) came for public hearing before the Monterey County Planning Commission on July 25, 2012. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

- 1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
 - EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Central Salinas Valley Area Plan; and
 - Monterey County Zoning Ordinance (Title 21);
 No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 32101 McCoy Road, Soledad (Assessor’s Parcel Number 257-031-005-000), Central Salinas Valley Area Plan. The parcel is zoned F/40 which allows farm employee housing for more than five families or more than twelve single persons, subject to a Use Permit (Section 21.20.050 AA).
 - c) A Use Permit was issued for the property on September 30, 1958 allowing the establishment of a labor camp with a maximum of 1,000 men (Planning Commission Resolution No. 3352.). Forty-four units were constructed on the site in the 1960s consisting of seven buildings

ranging from 8-10 units per building, and all still remain without any notable modifications for 50 years. Approximately 185 persons reside on the property today.

d) Additionally, the applicant has proposed to add an Affordable Housing Overlay Zone (AHO) designation to the property to bring it into conformance with the 2010 General Plan. (See separate Finding #7 for adding the AHO below). Without the AHO, the project proposal would be non-conforming to the development standards of the F/40 district. Lot size would remain non-conforming at 4.6 acres in a district intended for 40 acre minimum parcel sizes and lot coverage would exceed 5%. For an AHO district, the 2010 Monterey County General Plan does not specify development standards such as minimum lot size, setbacks, height and coverage; it mainly specifies the affordability range of units to be offered and a range of preferred development density. Similar to the latitude offered in General Development Plans, the County has great discretion in how such an Affordable Housing Project can be developed. In this manner, a project meeting the Affordability Criteria for an Affordable Housing Project and a project that meets the Development Standards for Agricultural Employees Housing, the County is given leeway through a Use Permit review in approving an appropriate site design for the subject property. With County approval under these circumstances, the site will become legal and conforming to Code.

e) The Camphora Apartment Replacement proposal consists of the following County of Monterey entitlements:

1) A rezoning request to Section 21-26 of the Sectional District Maps of Section 21.08.060 of Title 21(non-coastal zoning) of the Monterey County Code to rezone a 4.6 acre parcel to add an Affordable Housing Overlay zone. The ordinance rezones the parcel from "F/40" [Farmland, 40 acres per unit] zoning to "F/40-AHO" [Farmland, 40 acres per unit-Affordable Housing Overlay] zoning; and

2) A Use Permit to allow for the demolition of 44 substandard farm worker housing units and the construction of a 44-unit Agricultural Employee Housing Facility consisting of:

a. 22 two-bedroom (880 square foot) and 22 three-bedroom (1,138 square foot) garden apartments;

b. A 4,300 square foot community building with a meeting room, office, storage, laundry room and computer lab;

c. A half court basketball area, two turf covered play areas, a tot lot, barbecue patio and seating area, and extensive landscaping;

d. Solar panels placed on the covered parking areas;

e. Grading of approximately 5,000 cubic yards of cut and 4,500 cubic yards of fill; and

f. Connection to the City of Soledad sewer infrastructure.

Subject to the County approving the AHO and the applicant constructing and operating the project site to meet the standards of an Affordable Housing Project, the project will be an allowed use for this site.

f) Policy LU 1.7. "Clustering of residential development to those portions of the property which are most suitable for development and where appropriate infrastructure to support that development exists or can be

provided shall be strongly encouraged.”

- *The project is the redevelopment of an existing 44 residential units on a parcel less than 5 acres in area. While the site has been used for concentrated residential living for decades, this housing replacement project will make the site and living conditions more “suitable.” Water and transportation infrastructure are present and sewer service will be provided by a connection to the City of Soledad sewer service. To formalize sewer service, the applicant has approached the City of Soledad and LAFCO and has requested an “extra-territorial provision of services.” A “can-and-will serve” letter has already been issued by the City of Soledad.*
- g) LU-1.11 “Development proposals shall be consistent with the General Plan Land Use Map designation of the subject property and the policies of this plan.”
- *The 2010 General Plan designates the property as Farmland. The General Plan also provides that Affordable Housing Overlays (AHO) may be proposed by an applicant.*
 - *If a property meets all of the suitability criteria, the property owner may develop an Affordable Housing Overlay project rather than a use otherwise allowed by the underlying land use designation (See separate Finding #7 for adding the AHO below). With an AHO designation applied to the property and development according to the proposal provided by the applicant, the project will be consistent with the policies of the Plan.*
- h) LU-1.12 “Structures in electrical transmission corridors or rights-of-way shall be prohibited.”
- *An electrical transmission line presently runs through the property in a northwest to southeast direction. New structures have been sited to not be directly under these transmission lines and to meet the setback needs of the utility.*
- i) LU-1.18 “If the standards in this General Plan render a legal lot of record substandard in size, the substandard size of the parcel shall not by itself render the parcel a legal nonconforming use. Any proposed expansion, enlargement, extension, or intensification of uses on such a lot shall not be prohibited due to its substandard size unless there are overriding public health impacts. Development of the lot shall comply with all other policies, standards, and designated land use requirements of this Plan.”
- *The 4.6 acre parcel is zoned F/40 and maintains the legal, but non-conforming Camphora Housing Development. Standards for this F/40 district most appropriately provide for farming operations and large parcels and become complicated for smaller parcels that have relatively greater lot coverage needs. While this policy would not necessarily prohibit the “extension” of non-conforming uses on such a small lot, the applicant’s proposal to develop consistent with the parameters of the AHO designations described in the General Plan will allow the redevelopment of the lot to become a legal and conforming development.*
- j) LU-1.19 “Community Areas, Rural Centers and Affordable Housing Overlay districts are the top priority for development in the

unincorporated areas of the County. Outside of those areas, a Development Evaluation System shall be established to..."

- *The Applicant has proposed that an Affordable Housing Overlay (AHO) district be applied to this property and has proposed a development consistent with and exceeding the affordability and suitability criteria for such developments. In Policy LU-1.19, the General Plan treats AHOs equally to Community Areas and Rural Centers as being a priority for development in unincorporated areas. Therefore, the subject property is not subject to the Development Evaluation System; the county has already established Affordable Housing as a priority.*

k) LU-1.20 "Residential development within unincorporated Monterey County shall be limited to area build-out. Area build-out means specific land use/density designations as mapped in the area plans and adopted as part of this General Plan."

- *The term "build-out" is relatively incongruous with a discussion of agricultural and farmland uses. As F/40, it is not a district targeted for general residential development; only those residential units that would support and enhance the use of prime, productive and unique farmlands are allowed. F/40 allows: single family dwellings, not exceeding four accessory units to the agricultural use; licensed residential care homes; and farm worker/employee housing facilities. Parcel sizes can range from less than one acre to thousands of acres. The redevelopment of 44 residential units on this less than a 5 acre site will not contribute additional residential density as at least 44 units have existed on this site for decades.*

l) LU-2.2 "Residential development shall be limited in areas that are unsuited for more intensive development due to physical hazards and development constraints, the need to protect natural resources, or the lack of public services and facilities."

- *Reuse and redevelopment of the present site should not be limited here for need of protecting natural resources, avoiding physical hazards and constraints, or for lack of public services. Having been intensely used for decades for farmworker housing at this same density, the site is suited for this "intensive development." The provision of additional public services, such as the connection to the Soledad sewage treatment system, and the removal of aged and failing onsite septic systems will further protect the residents as well as adjacent farmland and agricultural resources.*

m) LU-2.4 "Areas designated for residential use shall be located with convenient access to employment, shopping, recreation, and transportation. Higher density residential areas should be located with convenient access to public transit."

- *The site is not presently designated for residential use but will be with the addition of the AHO. The site will continue to serve agricultural employees with convenient access to employment via Highway 101. The site has been designed in consideration of buses being able to easily enter and drive through and pick up employees. The nearest shopping opportunity will remain the City of Soledad.*

n) AG-1.2 "The County shall require that well-defined buffer areas be

provided as partial mitigation for new non-agricultural development proposals that are located adjacent to agricultural land uses on farm lands designated as Prime, of Statewide Importance, Unique, or Local Importance.”

- *The site presently has relatively no agriculture buffer and does not maintain a conservation easement for this purpose. The 4.6 acre residentially-developed site is not considered Prime Farmland, of Statewide Importance, Unique, or of Local Importance although neighboring vineyard properties to the northeast and southeast are considered Prime Farmland.*
 - *The new project sets residential structures and the community building 75-90 feet from property lines. Within this 75-90 foot wide area is a circular drive path through the site, pedestrian pathways, landscaping and tree plantings, water storage tanks, carports with solar arrays, and new perimeter fencing.*
 - *The Camphora Apartment Replacement project has been designed to assure that drainage, shading, vegetation/landscaping, and erosion control will not impact or compromise adjacent agricultural uses.*
 - *The Monterey County Agricultural Commissioner’s Office found the 75-90 foot wide agricultural buffer proposal to be an improvement over the present Camphora Apartment configuration which has structures 15 to 22 feet from property lines. The Agricultural Commissioner’s Office indicated that the proposal was in keeping with the intent and purposes of agricultural buffers as provided for in the Plan.*
- o) LU-2.12. “Monterey County shall establish a program for retaining affordable housing units. For-sale housing units with affordability restrictions developed within redevelopment project areas (Boronda, Castroville, Fort Ord, and Pajaro), Community Areas and Rural Centers prior to the adoption of their Plans, as well as any project developed under the Affordable Housing Overlay Program shall be consistent with term of affordability provisions in State Redevelopment law. Rental units shall be deed restricted in perpetuity countywide.”
- *The project does not develop for-sale units, but it is a proposed project which would utilize the Affordable Housing Overlay.*
 - *The affordability provisions in State Redevelopment law have gone away with dissolution of Redevelopment Agencies as of February 1, 2012.*
 - *According to Jane Barr of the Monterey County Economic Development Department, “the Project is in conformance with the Affordable Housing Overlay. Specifically, it conforms to Section LU-2.12 regarding the County’s program for retaining affordable housing units. It is expected that the Project will be 100% affordable. The rental units will be deed-restricted for a term that is consistent with other affordable housing funding sources. It is expected that the term will be for a minimum of 55 years.”*
- p) LU-2.13 “The County shall assure consistent application of an Affordable Housing Ordinance that requires 25% of new housing units be affordable to very low, low, moderate, and workforce income households....”

- *Whereas the County must act evenhandedly in requiring new housing units created under an Affordable Housing Ordinance to have 25% of the units affordable according to the 6%, 6%, 8% and 5% figures, the applicant has proposed a project where all of the 44 units will be affordable to very low and low-income farm workers. This greatly exceeds the targeted minimums.*
- q) LU-2.19 “The County shall refer amendments to the General Plan and zoning changes that would result in the creation of new residential, industrial, or commercial areas to the nearest cities for review and comment.”
- *While the project was referred to the City of Soledad for their review, the project does not represent an increase in new housing units, merely the replacement of 44 existing legal but non-conforming units. The addition of the Affordable Housing Overlay district (zone change) has been referred to Soledad for review and comment and will serve to have the resulting development be in conformance with the Monterey County General Plan and codes.*
- r) C-4.2. “All new road and interior circulation systems shall be designed, developed, and maintained according to adopted County standards or allowed through specific agreements and plans.”
- *The project site proposes two driveways for access to the parking areas. Review of the plan proposed by the applicant shows conformance to the County’s parking standards. Adoption of the development plan proposed and supplemented by a condition of approval applied to the project for conformance to standards will assure that this Policy is met.*
- s) OS-1.8. “Programs to encourage clustering development in rural and agricultural areas to maximize access to infrastructure, protect prime agricultural land, and reduce impacts to designated visually sensitive and critical habitat areas shall be established.”
- *While specific programs to encourage clustering development in rural and agricultural areas have not yet been developed, the redevelopment of the 44 units on this 4.6 acre site does serve to protect prime agricultural lands in that no new impacts to exiting agricultural areas are anticipated. At a density exceeding 9 units per acre, this project may be considered to be a clustered development.*
- t) Standards For Agricultural Employee Housing. The Camphora Apartment Replacement project meets the standards for the development of agricultural employee housing. (Section 21.66.060 of Title 21 Zoning Code)
1. There must be adequate water and sewer available to service the development, as determined by the Director of Environmental Health.
- *Compliance with conditions received from the Environmental Health Bureau will assure that there is adequate water and sewer available to service the development:*
 - i. *Condition 15 (ESP01) - Design the water system improvements to meet the standards as found in Titles 17 and 22 of the California Code of Regulations and as found in the Residential Water Supply Standards.*

- ii. *Condition 16 (ESP02) - Design the water system improvements to meet fire flow standards as required and approved by the local fire protection agency.*
 - iii. *Condition 17 (ESP03) - The existing onsite wastewater treatment system (OWTS) currently serving 32101 McCoy Rd, Soledad shall be demolished or abandoned pursuant to the standards found in Monterey County Code (MCC), Chapter 15.20.090.*
 - iv. *Condition 18 (ESP04) - Engineered plans for the sewer system including all necessary redundancies shall be submitted to and approved by the City of Soledad. Plans shall be in conformance with Monterey County Code, Chapter 19.13 and the California Plumbing Code, Title 24 part 5 of the California Code of Regulations.*
2. The housing must be located off prime and productive agricultural land or on the parcel where no other alternatives exist on site, on the least viable portion of the parcel.
- *While zoned Farmland 40, the site has been developed with agricultural employee housing for 50 years and is not prime or productive agricultural land. This heavily impacted project site is ideally suited for redevelopment of the residential units so that no other or adjacent agricultural lands would potentially be impacted.*
3. The development shall incorporate proper erosion and drainage controls.
- *Preliminary Site Grading and Drainage Civil Engineered plans have been submitted by the applicant (Sheet C4) and reviewed by County Land Use Agencies, including the Water Resource Agency.*
 - *Compliance with conditions received from the Water Resources Agency will assure that the project incorporates proper erosion and drainage controls:*
 - i. *Condition 26 (WRSP2) - The applicant shall provide a drainage plan, prepared by a registered civil engineer, addressing on-site and off-site impacts. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. The plan shall also include oil/grit separators for paved parking areas. Supporting calculations and construction details shall also be provided. Pond(s) shall be fenced for public safety. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency*
 - ii. *Condition 27 (WRSP2) - The applicant shall provide certification from a registered civil engineer or licensed contractor that stormwater detention facilities have been constructed in accordance with the approved drainage plan.*
4. Enclosed storage facilities shall be provided for each housing or dwelling unit.

- *Each of the two- and three-bedroom floor plan designs includes customary bedroom closets, linen closets, coat closets and kitchen cabinet storage spaces customary with a modern apartment design. Parking areas do not include enclosed garage spaces.*

5. Laundry facilities, including washers and dryers, shall be provided on-site.

- *Laundry facilities will be provided on-site in the Community Building.*

6. The site design of the facilities shall be subject to the approval of the Director of Planning.

- *As the Project includes a Use Permit and a Zone Change, the project design will be reviewed by the Planning Commission and decided upon by the Board of Supervisors.*

7. The development of more than twelve (12) dwelling units shall require inclusion of recreation facilities and open space, proportional to the amount and type of facilities to be provided. The facilities shall require children's play equipment. Adult housing shall require the inclusion of appropriate recreational areas, such as for baseball, basketball, soccer or horseshoe pitching.

- *Recreational facilities will be provided for residents including a basketball half-court, two turf-covered play areas, a tot lot, and a picnic and barbecue area adjacent to the community building.*

8. The development shall be landscaped pursuant to a landscaping plan approved by the Director of Planning prior to issuance of building permits for the facility.

- *The property will be extensively landscaped (See Plan Sheets L1-L6). (See Condition 9)*

9. All recreational areas and landscaping shall be installed prior to occupancy of the facilities. Landscaped areas shall be maintained.

- *These items are handled through Conditions of Approval and are standard County practice. (See Conditions 1, 9)*

- u) The project was not referred to a Land Use Advisory Committee (LUAC) for review as no LUAC is assembled for the Central Salinas Valley Area Plan.
- v) The project planner conducted a site inspection on September 27, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- w) The application, project plans, and related support materials were submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development and are found in Project File PLN100446.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following

departments and agencies: Planning Department, Public Works Department, California Department of Transportation, Water Resources Agency, Mission Soledad Fire Protection District, Parks Department, Economic Development Department and Sheriff's Office. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to: Aesthetics, Agriculture and Forest Resources, Biological Resources, Cultural Resources, Greenhouse Gas Emissions, Hazards/Hazardous Materials, Land Use/Planning, Population/Housing, Public Services, Transportation/Traffic and Utilities/Service Systems. The following reports have been prepared:
- "Geotechnical Engineering Report, South County Housing, Camphora Apartments", (LIB120132) Prepared by Earth Systems Pacific, dated January 25, 2011.
 - "Phase I Environmental Site Assessment, Camphora Labor Camp", (LIB120133) Prepared by Earth Systems Pacific, dated July 10, 2009.
 - "Additional Phase II Pesticide Testing, Camphora Apartments", (LIB120135) Prepared by Earth Systems Pacific, dated May 16, 2011.
 - "Phase II Addendum – Arsenic" (LIB120136) Prepared by Earth Systems Pacific, dated August 16, 2011.
 - "Trip Generation and Traffic Operations Study for the Proposed Camphora Residential Development", (LIB120137) Prepared by Hexagon Transportation Consultants, Inc., dated March 1, 2011.
 - "Phase I Archaeological Study for the Camphora Apartments", Project, (LIB120138) Prepared by Doane and Breschini, December 2010.
 - "Acoustical Analysis, Camphora Apartments", (LIB120139) Prepared by Brown-Buntin Associates, Inc., dated July 28, 2011.
 - "Preliminary Sewer Demand Calculations for Camphora Housing Redevelopment Project (Revised)". (LIB120140) Prepared by Ifland Engineers, dated November 17, 2011.
 - "Relocation Plan, Camphora Apartments" (LIB120143) Prepared by Autotemp, dated August 2010.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) See the Finding #5 below for the California Environmental Quality Act (CEQA) and associated evidence.
- d) The project planner conducted a site inspection on September 27, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- e) The application, project plans, and related support materials were submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development and are found in Project File PLN100446.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, RMA - Public Works Department, California Department of Transportation, Water Resources Agency, Mission Soledad Fire Protection District, Parks Department, Economic Development Department and Sheriff's Office. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The Camphora Apartment Replacement Project is intended to alleviate overcrowded conditions for residents, alleviate specific environmental concerns (see following Findings and Evidence) and to bring the property up to current health, safety and building codes.
 - c) *Alleviate Overcrowding.* The existing 44 residential units in six buildings and the one community structure on the property cover approximately 29,586 square feet according to plans submitted by the applicant. These 44 units house approximately 185 persons and at least 13 of these units are considered overcrowded with more than 2 persons per room. Approval of the proposal would result in providing nearly 45,000 square feet of living space for the same 44 "households," including 22 three-bedroom units where no three-bedroom units previously existed. The project also includes a 4,301 square foot common use community center.
 - d) *Connection to a formal Sewage Treatment System.* Septic systems on this less than 5-acre parcel have continually failed and have needed servicing over the decades. The on-site septic system will be abandoned and a sewer force main will be installed to connect the Project to the City of Soledad sewer system. It will be necessary for the Local Agency Formation Commission (LAFCO) of Monterey County to grant an "extra-territorial provision of services" to formalize the sewer service being provided by the City of Soledad. A can-and-will serve letter has been issued by the City of Soledad.
 - e) *Recreational facilities* will be provided for residents including a basketball half-court, two turf-covered play areas, a tot lot, and a picnic and barbecue area adjacent to the community building.
 - f) The property will be extensively landscaped. A landscaped earthen berm will be constructed along the McCoy Road frontage of the site to provide for visual separation and noise attenuation from nearby Highway 101.
 - g) The existing well on the property will continue to serve the residents. The well was drilled in 1996 to a depth of 690 feet, yields an estimated 500 gallons per minute and meets current drinking water standards. Additional water storage will be incorporated into the project to assure fire flow requirements are met.
 - h) The new Project will meet "green" building performance standards with

the goal of achieving net zero energy use by off-setting projected energy consumption with a large photovoltaic system (solar panels) mounted on the roofs of carports. Upon completion, the construction of the Camphora Apartment Project is intended to meet a LEED Gold level or higher.

- i) The project planner conducted a site inspection on September 27, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials were submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development and are found in Project File PLN100446.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on the subject property.
 - b) A Use Permit was issued for the property on September 30, 1958 allowing the establishment of a labor camp with a maximum of 1,000 men (Planning Commission Resolution No. 3352). Forty-four units were constructed on the site in the 1960s consisting of seven buildings ranging from 8-10 units per building and all remain without any notable modifications for 50 years.
 - c) The existing development is legal as it was permitted by the County through the use permit process in 1958, yet the site does not meet current development standards for lot coverage in the F/40 Zoning District. The present proposal would correct this by allowing an Affordable Housing Overlay zone to be applied to the site to enable an Affordable Housing Project. The resulting zoning designation would be "F/40-AHO". For an AHO district, the 2010 Monterey County General Plan does not specify development standards such as minimum lot size, setbacks, height and coverage; it mainly specifies the affordability range of units to be offered and a range of preferred development density. Similar to the latitude offered in General Development Plans, the County has great discretion in how such an Affordable Housing Project can be developed. In this manner, a project meeting the Affordability Criteria for an Affordable Housing Project and a project that meets the Development Standards for Agricultural Employees Housing, the County is given leeway through a Use Permit review in approving an appropriate site design for the subject property. With County approval under these circumstances, the site will become legal and conforming to Code.
 - d) The project planner conducted a site inspection on September 27, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
 - e) The application, plans and supporting materials were submitted by the project applicant to the Monterey County Planning Department for the proposed development and are found in Project File PLN100446.

5. **FINDING:** **CEQA (Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project, as designed and conditioned, will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) The Monterey County Planning Department prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of the Planning Department and is hereby incorporated by reference (PLN100446).
 - c) Issues that were analyzed in the Negative Declaration include: aesthetics, agriculture and forest resources, air quality, biological resources, cultural resources, geology/soils, greenhouse gas emissions, hazards/hazardous materials, hydrology/water quality, land use/planning, mineral resources, noise, population/housing, public services, recreation, transportation/traffic, and utility/service systems.
 - d) There is no significant wildlife habitat or natural features present on the site, nor examples of the major periods of California history or prehistory. Redevelopment of the project site will not conflict with any applicable habitat conservation plan or natural community conservation plans, as there are no adopted habitat conservation plans or natural community conservation plans along this portion of the Salinas Valley. The project will not have the potential to degrade the environment in this regard and is considered to be less than significant.
 - e) The redevelopment of the subject property and the replacement of 44 existing residential units with 44 new residential units does not introduce new impacts that are cumulatively considerable. In the project description and analysis of the environmental criteria contained in the Initial Study checklist, the project has been designed to meet or exceed a LEED Gold Level standard. No thresholds of the air management district will be exceeded or require mitigation. The project has been determined to have a less than significant effect on Greenhouse Gasses through the use of the CalEEMod air quality model prepared by County staff and included in the environmental analysis. Furthermore, staff recommends that a Negative Declaration is the appropriate environmental determination for the project as no mitigation measures have been determined necessary. Beyond the temporary less than significant impacts of noise and effects related to construction vehicles, the project is considered to have a less than significant impact on cumulative resources.
 - f) The project is intended to improve and correct existing adverse living conditions for the residents of the Camphora Apartment Complex. The project has been designed to alleviate overcrowding and to remove failing septic treatment systems and to connect to public sewer infrastructure. Furthermore, the project site will be built to modern building code standards and will include outdoor and recreational

amenities for the residents. No significant (negative) environmental impacts have been identified for the project. The project will be a direct improvement in the quality of life for the residents. In this manner the project is considered to be less than significant in that it will not have an adverse affect on human beings.

- g) The Initial Study provides substantial evidence, based upon the record as a whole, that the project would not have a significant effect on the environment. Staff accordingly prepared a Negative Declaration.
- h) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance Plan has been prepared in accordance with Monterey County regulations and has been designed to ensure compliance during project implementation and is hereby incorporated herein by reference.
- i) The Draft Negative Declaration (“ND”) for PLN100446 was prepared in accordance with CEQA and circulated for public review from June 25, 2012 through July 24, 2012 (SCH#: 2012061079).
- j) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2/Site Suitability), staff reports that reflect the County’s independent judgment, and information and testimony presented during public hearings. These documents are on file in the RMA-Planning Department (PLN100446) and are hereby incorporated herein by reference.
- k) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Game (CDFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources. For purposes of the Fish and Game Code, the project may have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. The Initial Study was sent to the California Department of Fish and Game for review, comment, and to recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- l) The County has considered the comments received during the public review period and they do not alter the conclusions in the Initial Study and Negative Declaration.
- m) The Monterey County Planning Department, located at 168 W. Alisal, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

6. **FINDING:** **LONG-TERM WATER SUPPLY (PS-3.1)** “Ensure that new development is assured a long-term sustainable water supply.”

EVIDENCE: a) The project is not necessarily “new” development in that the existing condition of the property includes 44 residential units and the completed project will have an equivalent 44 units. “Redevelopment” would be a

- more appropriate term.
- b) The existing well on the property will continue to serve the residents. The well was drilled in 1996 to a depth of 690 feet, yields an estimated 500 gallons per minute, and meets current drinking water standards.
 - c) This agricultural employee (farm worker) housing project is development related to agricultural land uses within Zone 2C.
 - d) Policy PS-3.1 does not apply to the Camphora Apartment Replacement Project as the project meets exemption criteria (c) of Policy PS-3.1: (c) development related to agricultural land uses within Zone 2C of the Salinas Valley Groundwater Basin.
 - e) "Agricultural Employee Housing" is defined in Section 21.06.014 of the Monterey County Zoning Code Title 21 as, "any living quarters or accommodations of any type, including mobile homes, which comply with the building standards in the State Building Standards Code or an adopted local ordinance with equivalent minimum standards for building(s) used for human habitation, and buildings accessory thereto, where accommodations are provided by any person for individuals employed in farming or other agricultural activities, including such individuals' families. The agricultural employee housing is not required to be located on the same property where the agricultural employee is employed."
 - f) The project is within Zone 2C of the Salinas Valley groundwater basin.
 - g) Therefore, the reuse of this site to redevelop 44 agricultural employee housing units with an existing and proven water supply is an agricultural land use and is within Zone 2C of the Salinas Valley groundwater basin. This policy does not apply to the Camphora Apartment Replacement Project.

7. **FINDING:**

AFFORDABLE HOUSING OVERLAY (AHO) District Zoning Designation. LU-2.11 "The County shall encourage the development of affordable and workforce housing projects through the establishment of an Affordable Housing Overlay Program, based on the following parameters:

- a. The following areas shall be designated as Affordable Housing Overlay (AHO) Districts:
 - (1) Mid-Carmel Valley
 - (2) Monterey Airport and Vicinity
 - (3) Highway 68 and Reservation Road.
 - (4) Community Areas prior to the adoption of a Community Plan.
 - (5) Rural Centers prior to the adoption of a Capital Improvement and Financing Plan."
- *This is not applicable as the legal but non-conforming agricultural employees (farmworker) housing complex already exists outside of one of the five districts indicated in the General Plan. The applicant is requesting to newly place an AHO zoning district over the Camphora Apartment site to make it legal and conforming to code.*
- b. "Properties shall meet the following suitability criteria in order to be eligible for the Affordable Housing Overlay Program:
 - (1) The property is located within an Affordable Housing Overlay (AHO) District;"
 - *The applicant is requesting to newly place an AHO district over the*

Camphora Apartment site.

(2) "Development within the Affordable Housing Overlay District shall be approved on a project-by-project basis and achieve the following levels of affordability (plus or minus 1%):

- 10% Very Low
- 15% Low
- 15% Moderate
- 20% Workforce I, and
- 40% Workforce II.

Individual projects may increase the percentage of Very Low, Low and Moderate income categories by reducing the percentage of Workforce I or Workforce II income levels. A project may be allowed to replace up to 25% of the Workforce II housing allocation with market-rate units if one or more of the following criteria are met:

- i) the County has identified a different mix of levels needed for affordable housing in the local area;
 - ii) special economic factors, such as land cost or infrastructure upgrades, affect the cost of development within the local area;
 - iii) the applicant proposes to accommodate at least 15% farm worker housing."
- *The Camphora Apartment Replacement Project will provide 100% Farm worker (and related family) housing.*
 - *The project exceeds the minimum percentages listed as developers are allowed to increase the percentage of Very Low, Low and Moderate income categories by reducing the percentage of Workforce I or Workforce II income levels. Increasing the very low and low income levels best serves the housing needs of farm workers.*
- c. "If a property meets all of the suitability criteria in "b" above, the property owner may voluntarily choose to develop an Affordable Housing Overlay project rather than a use otherwise allowed by the underlying land use designation."
 - *The Applicant's project meets and exceeds the (income) suitability criteria in (b) above and has proposed to develop a voluntary AHO project.*
 - *By meeting the criteria and requesting the AHO designation, this will allow the applicant to supplement the underlying allowances of the F/40 District with an Affordable Housing Overlay Project. In this manner, the resulting 44 unit Farmworker Housing project will be legal and conforming to the new F/40-AHO district to be applied to this 4.6 acre parcel (See Findings 1 and 4).*
- d. "The minimum density for an Affordable Housing Overlay project shall be 6 units per acre up to a maximum of 30 units per acre. An average density of 10 units per acre or higher shall be provided. The maximum lot size for detached single-family affordable units shall be 5,000 square feet."
 - *The property exceeds the minimum density requirements for an AHO, and is within the maximum density allowed. (44 units/4.6 acres = 9.56 units per acre.)*
- e. "To encourage voluntary participation in the Affordable Housing Overlay process, the County shall provide incentives for Affordable

Housing Overlay projects.....”

- *The applicant’s project meets the criteria for a waiver of land use and development fees under the existing fee ordinance for the Monterey County RMA Planning Department. Fees to conduct environmental review are not subject to the fee waiver allowance.*


DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 1) Recommend that the Board of Supervisors adopt a Negative Declaration;
- 2) Recommend that the Board of Supervisors adopt an ordinance amending Title 21 (Zoning Ordinance) Section 21-26 to add an Affordable Housing Overlay (AHO) District to the existing F/40 Farmland zoning designation on the subject parcel attached hereto as Attachment 1; and
- 3) Recommend that the Board of Supervisors approve a Use Permit to allow for the demolition of 44 substandard farmworker housing units and the construction of 44 new farmworker housing units in general conformance with the plans attached hereto as Attachment 2, subject to the Conditions of Approval attached hereto as Attachment 3.

PASSED AND ADOPTED this 25th day of July, 2012 upon motion of Commissioner Brown seconded by Commissioner Getzelman, by the following vote:

AYES: Brown, Vandevere, Getzelman, Rochester, Salazar, Roberts, Mendez, Diehl, Hert
NOES: None
ABSENT: Padilla
ABSTAIN: None


Mike Novo, Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON JUL 26 2012

This project involves a Planning Commission recommendation to the Board of Supervisors for final action.

ATTACHMENT 1

**SOUTH COUNTY HOUSING
CORPORATION**

PLN100446

ORDINANCE AMENDING

TITLE 21

(ZONING ORDINANCE)

SECTION 21-26

ORDINANCE NO. _____

AN ORDINANCE OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA, AMENDING SECTION 21.08.060 OF TITLE 21 (MONTEREY COUNTY ZONING ORDINANCE) OF THE MONTEREY COUNTY CODE TO REZONE CERTAIN PROPERTY IN THE COUNTY OF MONTEREY

County Counsel Summary

This ordinance amends Section 21-26 of the Sectional District Maps of Section 21.08.060 of Title 21 (non-coastal zoning) of the Monterey County Code to rezone a 4.6 acre parcel to add an "Affordable Housing Overlay" zone. The ordinance rezones the parcel from "F/40" [Farmland, 40 acres per unit] zoning to "F/40"- "AHO" [Farmland, 40 acres per unit- Affordable Housing Overlay] zoning. The parcel (Assessor's Parcel Number: 257-031-005-000) is located at the near terminus of McCoy Road, south of the Soledad area correctional facilities, Central Salinas Valley Planning Area of the unincorporated area of the County of Monterey.

The Board of Supervisors of the County of Monterey ordains as follows:

SECTION 1. ZONING DISTRICT MAP. Section 21-26 of the Sectional District Maps of Section 21.08.060 of the Monterey County Code is hereby amended to rezone a 4.6 acre parcel located at the near terminus of McCoy Road, south of the Soledad area correctional facilities (Assessor's Parcel Number: 257-031-005-000) from "F/40" to "F/40"- "AHO," as shown on the map attached hereto as Exhibit 1 and incorporated herein by reference.

SECTION 2. FINDINGS. The parcel currently contains legal non-conforming residential uses and structural development. Policy LU-2.11 (relating to Affordable / Workforce Housing Program) of the 2010 Monterey County General Plan provides that if a project proposal meets all of the affordability criteria, the property owner may voluntarily choose to develop an Affordable Housing Overlay project, rather than a use otherwise allowed by the underlying land use designation. The proposed Camphora Apartment Replacement Project will qualify as 100% affordable under County standards. The Affordable Housing Overlay will enable the proposed Camphora Apartment Replacement Project for farmworkers (agricultural employees) and their families to be consistent with the General Plan and zoning, and the use would be legal and conforming to the new F/40-AHO district.

SECTION 3. SEVERABILITY. If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this Ordinance. The Board of Supervisors hereby declares that it has passed this Ordinance and each section, subsection, sentence, clause and phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases be declared invalid.

SECTION 4. EFFECTIVE DATE. This Ordinance shall become effective on the thirty-first day following its adoption.

PASSED AND ADOPTED on this 31st day of July, 2012, by the following vote:

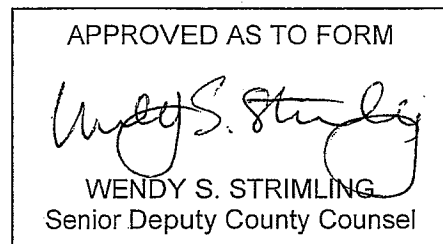
AYES: Supervisors
NOES:
ABSENT:
ABSTAIN:

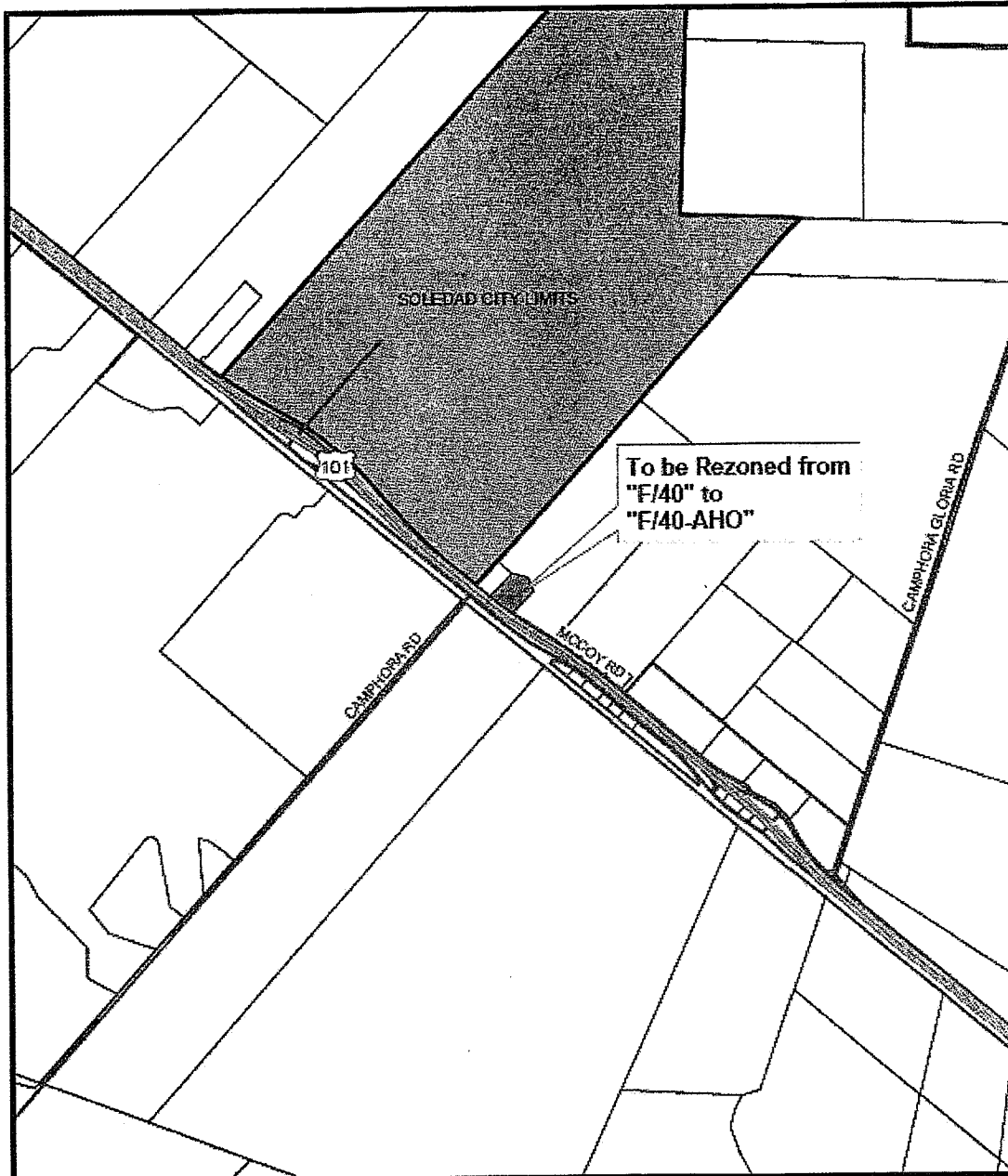
Chair,
Monterey County Board of Supervisors


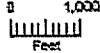

A T T E S T:

GAIL T. BORKOWSKI,
Clerk of the Board of Supervisors

By: _____
Deputy





PROPOSED REZONING OF SECTION 21-28		  Feet	
APN: 257-031-005-000			
FILE # PLN100448, SOUTH COUNTY HOUSING CORP (CAMPHORA APTS)			

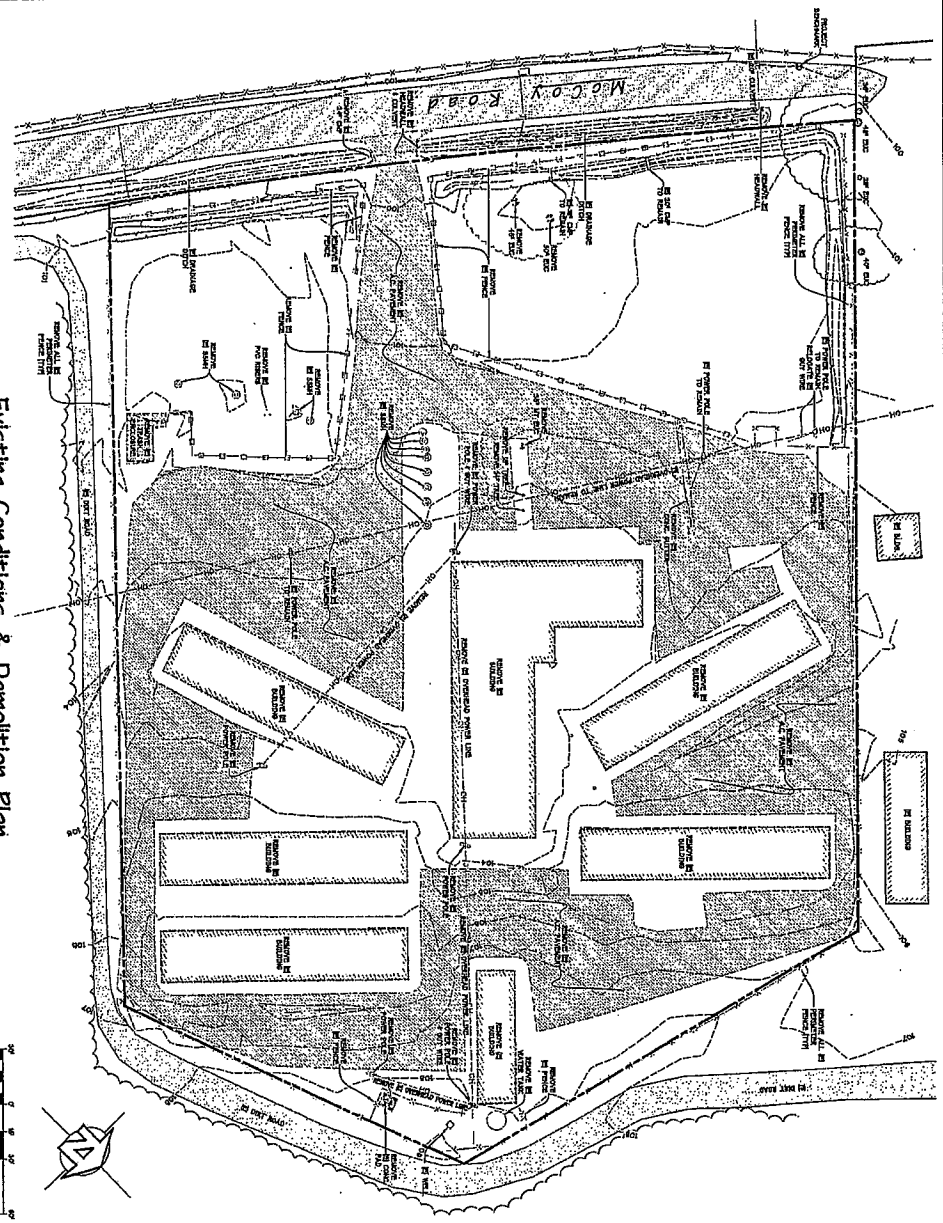
ATTACHMENT 2
SOUTH COUNTY HOUSING
CORPORATION
PLN100446

CONSTRUCTION PLANS

Existing Conditions & Demolition Plan

SCALE: 1" = 30'

TOTAL AREA OF THE SITE = 208,414 SQ. FT.
 AREA OF EXISTING BUILDINGS = 138,916 SQ. FT.
 AREA OF EXISTING PAVEMENT = 17,974 SQ. FT.
 AREA OF EXISTING CONCRETE = 412 SQ. FT.
 TOTAL AREA OF EXISTING IMPERVIOUS SURFACES = 157,302 SQ. FT.



Demolition Notes

1. ALL BUILDINGS AND SITE RELATED TO BE DEMOLISHED PER PERMITTED DEMOLITION PLAN.
2. EXISTING CONCRETE SHALL BE REMOVED TO THE FINISH SURFACE OF THE EXISTING CONCRETE. ALL CONCRETE SHALL BE RECYCLED OR REUSED.
3. EXISTING ASPHALT SHALL BE RECYCLED OR REUSED.
4. EXISTING PAVEMENT SHALL BE RECYCLED OR REUSED.
5. ALL EXISTING UTILITIES SHALL BE REMOVED FROM THE SITE. ALL UTILITIES SHALL BE RECYCLED OR REUSED.
6. ALL EXISTING UTILITIES SHALL BE REMOVED FROM THE SITE. ALL UTILITIES SHALL BE RECYCLED OR REUSED.
7. THE EXISTING SITE SHALL BE RESTORED TO ORIGINAL GRADE AND ALL EXISTING UTILITIES SHALL BE REMOVED FROM THE SITE.
8. ALL EXISTING UTILITIES SHALL BE REMOVED FROM THE SITE. ALL UTILITIES SHALL BE RECYCLED OR REUSED.

Boundary Notes

THE BOUNDARY BETWEEN THE PROPERTY AND THE ADJACENT PROPERTY IS SHOWN AS SHOWN AT THE WESTERN CORNER OF THE PROPERTY. THE BOUNDARY BETWEEN THE PROPERTY AND THE ADJACENT PROPERTY IS SHOWN AS SHOWN AT THE WESTERN CORNER OF THE PROPERTY. THE BOUNDARY BETWEEN THE PROPERTY AND THE ADJACENT PROPERTY IS SHOWN AS SHOWN AT THE WESTERN CORNER OF THE PROPERTY.

Basis of Bearings

ALL BEARINGS ARE GIVEN AS BEARINGS AT THE WESTERN CORNER OF THE PROPERTY. THE BOUNDARY BETWEEN THE PROPERTY AND THE ADJACENT PROPERTY IS SHOWN AS SHOWN AT THE WESTERN CORNER OF THE PROPERTY. THE BOUNDARY BETWEEN THE PROPERTY AND THE ADJACENT PROPERTY IS SHOWN AS SHOWN AT THE WESTERN CORNER OF THE PROPERTY.

Benchmark

THE ELEVATION SURVEY ON THIS SITE WAS MADE ON AN ASSUMED BENCHMARK. THE BENCHMARK IS ASSUMED TO BE AT THE WESTERN CORNER OF THE PROPERTY. THE BENCHMARK IS ASSUMED TO BE AT THE WESTERN CORNER OF THE PROPERTY. THE BENCHMARK IS ASSUMED TO BE AT THE WESTERN CORNER OF THE PROPERTY.

NOTE	
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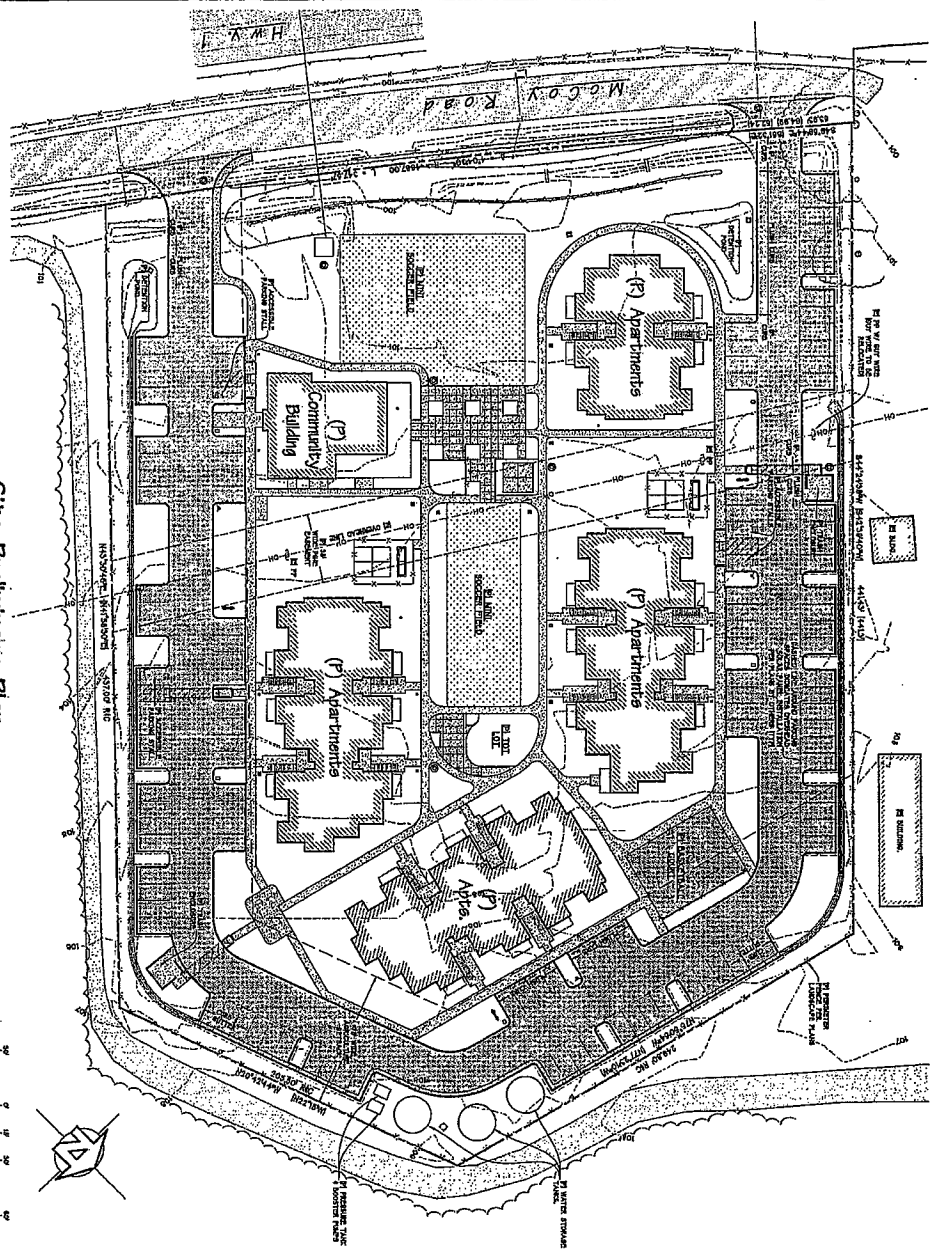
<p>APN: 257-031-005 For South County Housing</p>	<p>EXISTING CONDITIONS & DEMOLITION PLAN Campophora Apartments 32101 McCoy Road, Soledad, California</p>	<p>IFLAND ENGINEERS CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN</p>	<p>DATE: 12/14/11</p>	<p>DESIGN: RYAN/RYAN</p>	<p>DATE: 12/14/11</p>	<p>DESIGN: RYAN/RYAN</p>
			<p>DATE: 12/14/11</p>	<p>DESIGN: RYAN/RYAN</p>	<p>DATE: 12/14/11</p>	<p>DESIGN: RYAN/RYAN</p>



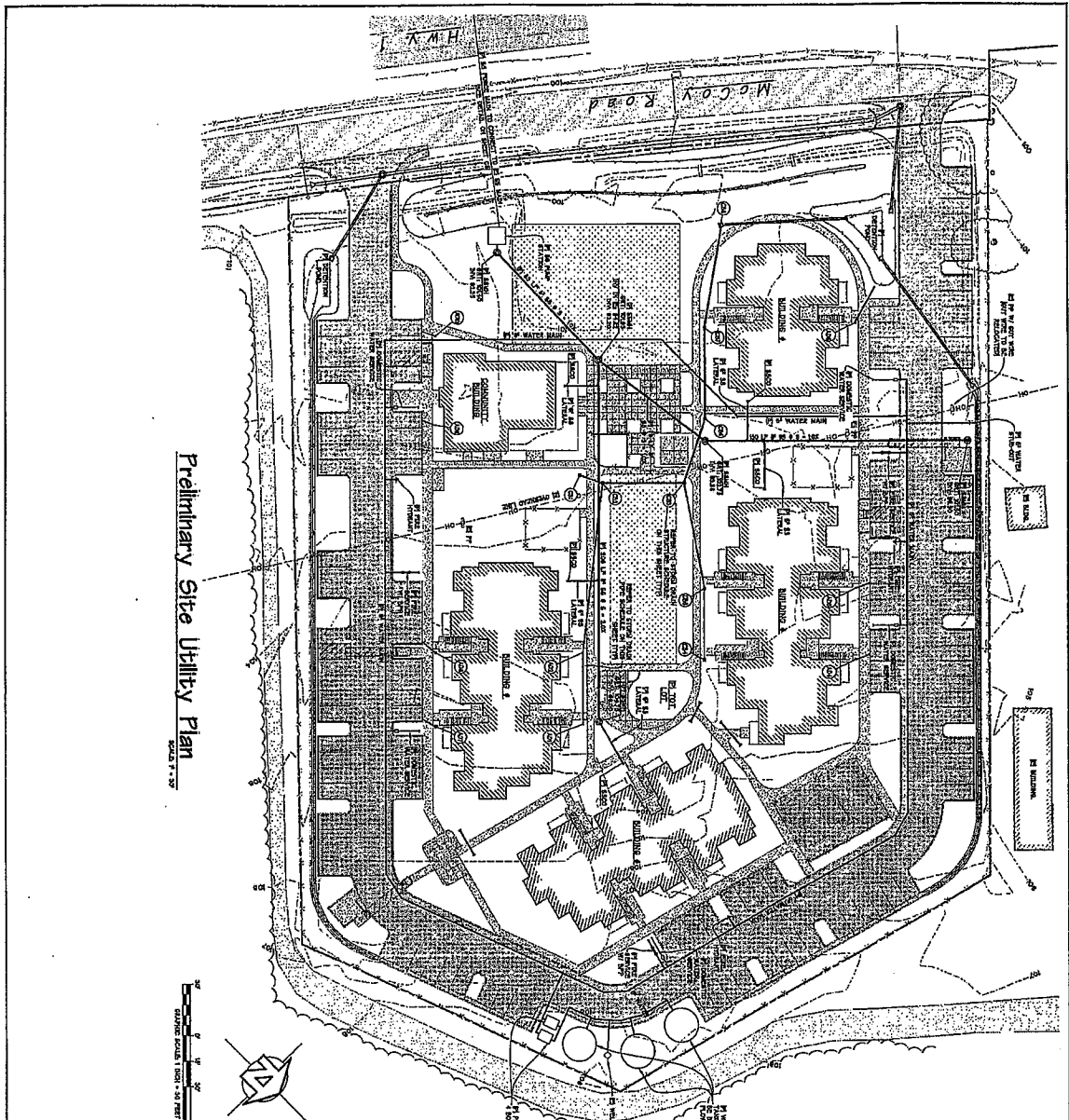
For Plan Check Only
 CHECK NO. 4712

Site Preliminary Plan

SCALE: 1" = 20'



DATE 12/14/11 RYAN/DAVE	DESIGN RYAN/DAVE	DRAWN RYAN	APN: 257-091-005 For South County Housing	Preliminary Site Plan Camphora Apartments 32101 McCoy Road, Soledad, California	IFLAND ENGINEERS CIVIL ENGINEERS • LANDSCAPING • ELECTRICAL DESIGN 6300 JACOBS AVE, SUITE 100 SAN JOSE, CA 95131 TEL (408) 438-5113 FAX (408) 428-1713 www.iflandengineers.com	EC PLAN CHECK PROVISION APPROVED DATE	
			C2	For Plan Check Only REC NO. 012 DATE			



Preliminary Site Utility Plan
SCALE 1/8" = 1'-0"



- ### Utility Notes
1. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.
 2. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.
 3. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.
 4. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.

NO.	TYPE	START POINT	END POINT	DEPTH	REMARKS
001	WATER	10+00	10+50	36"	
002	SEWER	10+00	10+50	36"	
003	GAS	10+00	10+50	36"	
004	ELECTRICAL	10+00	10+50	36"	
005	WATER	10+50	11+00	36"	
006	SEWER	10+50	11+00	36"	
007	GAS	10+50	11+00	36"	
008	ELECTRICAL	10+50	11+00	36"	
009	WATER	11+00	11+50	36"	
010	SEWER	11+00	11+50	36"	
011	GAS	11+00	11+50	36"	
012	ELECTRICAL	11+00	11+50	36"	
013	WATER	11+50	12+00	36"	
014	SEWER	11+50	12+00	36"	
015	GAS	11+50	12+00	36"	
016	ELECTRICAL	11+50	12+00	36"	
017	WATER	12+00	12+50	36"	
018	SEWER	12+00	12+50	36"	
019	GAS	12+00	12+50	36"	
020	ELECTRICAL	12+00	12+50	36"	

LOCATION	NO.	TYPE	DEPTH	REMARKS
10+00	001	WATER	36"	
10+00	002	SEWER	36"	
10+00	003	GAS	36"	
10+00	004	ELECTRICAL	36"	
10+50	005	WATER	36"	
10+50	006	SEWER	36"	
10+50	007	GAS	36"	
10+50	008	ELECTRICAL	36"	
11+00	009	WATER	36"	
11+00	010	SEWER	36"	
11+00	011	GAS	36"	
11+00	012	ELECTRICAL	36"	
11+50	013	WATER	36"	
11+50	014	SEWER	36"	
11+50	015	GAS	36"	
11+50	016	ELECTRICAL	36"	
12+00	017	WATER	36"	
12+00	018	SEWER	36"	
12+00	019	GAS	36"	
12+00	020	ELECTRICAL	36"	

Fire Department Notes

THE FIRE DEPARTMENT HAS REVIEWED THIS PLAN AND HAS NOTED THE FOLLOWING:

1. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.

2. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.

3. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.

4. ALL UTILITY DEPT. TO BE 18" DIA. UNLESS OTHERWISE NOTED.

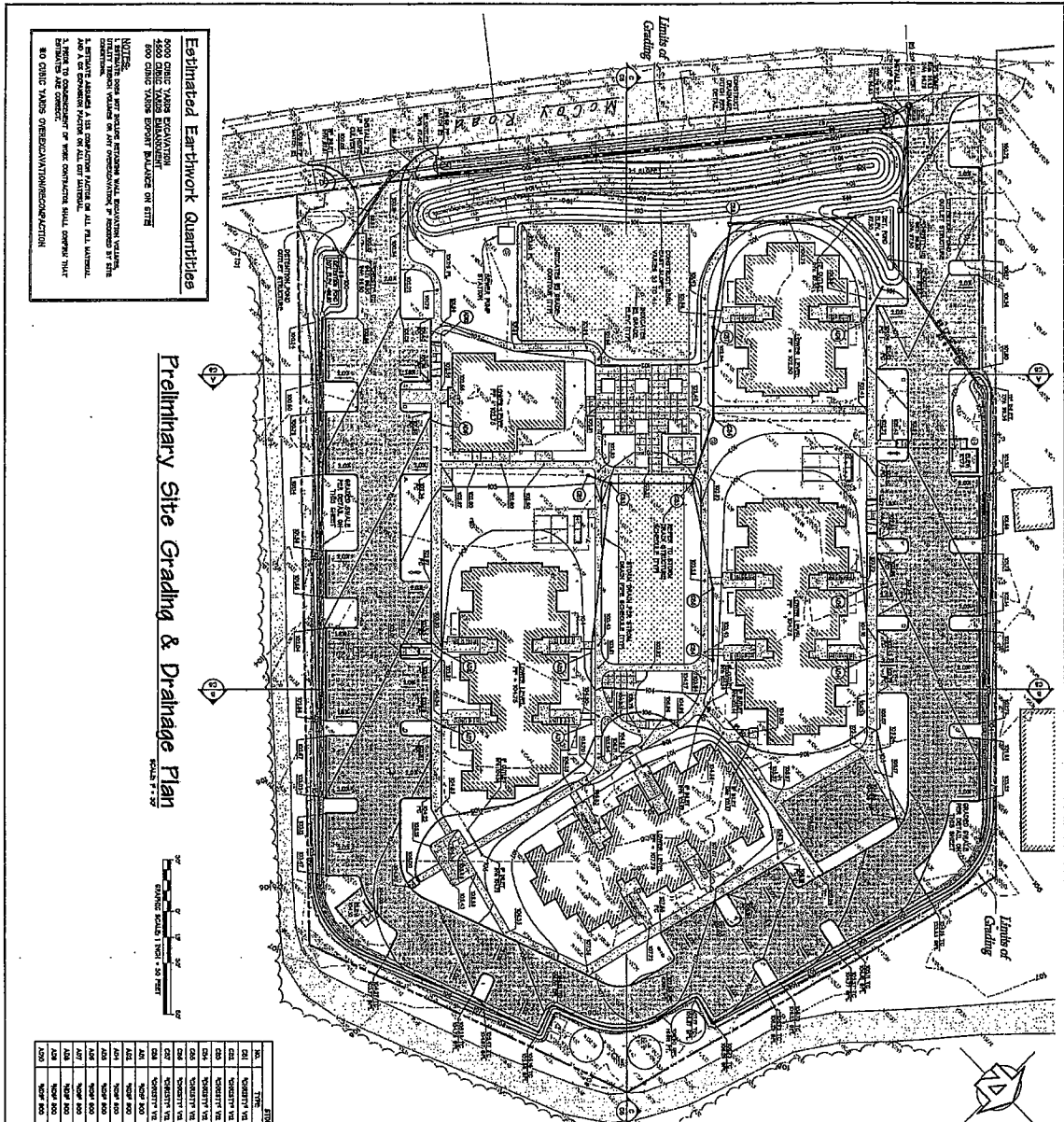
APN: 257-031-005
Fors South County Housing

Preliminary Site Utility Plan
Camphora Apartments
32101 McCoy Road, Soledad, California

IFLAND ENGINEERS
4220 BUCKINGHAM AVE, SUITE 102
SANTA CRUZ, CA 95062
TEL: (831) 426-8822
FAX: (831) 426-8822
WWW.IFLANDENGINEERS.COM

DATE: 12/14/18
OFFICE: RYAN/DAVE
DRAWN: RYAN

FOR PLAN CHECK ONLY



Preliminary Site Grading & Drainage Plan
SCALE: 1" = 20'

Estimated Earthwork Quantities

2000 CUBIC YARDS EXCAVATION
2000 CUBIC YARDS FILL
2000 CUBIC YARDS EXCAVATION
2000 CUBIC YARDS FILL

NO OTHER YARDS OVEREXCAVATION/UNDEREXCAVATION

NOTES:
1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH ALL COUNTY OF MONTEREY ORDINANCES.
2. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
3. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
4. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
5. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.

NO.	TYPE	AREA (SQ. FT.)	DEPTH (FEET)	VOLUME (CU. YD.)
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002	EXCAVATION	1000	2.0	2000
003	EXCAVATION	1000	2.0	2000
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100	EXCAVATION	1000	2.0	2000

NO.	TYPE	AREA (SQ. FT.)	DEPTH (FEET)	VOLUME (CU. YD.)
101	EXCAVATION	1000	2.0	2000
102	EXCAVATION	1000	2.0	2000
103	EXCAVATION	1000	2.0	2000
104	EXCAVATION	1000	2.0	2000
105	EXCAVATION	1000	2.0	2000
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144	EXCAVATION	1000	2.0	2000
145	EXCAVATION	1000	2.0	2000
146	EXCAVATION	1000	2.0	2000
147	EXCAVATION	1000	2.0	2000
148	EXCAVATION	1000	2.0	2000
149	EXCAVATION	1000	2.0	2000
150	EXCAVATION	1000	2.0	2000

- Grading Notes**
1. ALL PROPOSED WORK SHALL BE DONE IN ACCORDANCE WITH ALL COUNTY OF MONTEREY ORDINANCES.
 2. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 3. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 4. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 5. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 6. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 7. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 8. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 9. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 10. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 11. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 12. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 13. ALL GRADING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER.

APN: 257-031-005
Port South County Housing

DATE: 12/14/11
BY: RYAN/DAVE
CHECKED: RTAN

Preliminary Site Grading & Drainage Plan
Camphora Apartments
32101 McCoy Road, Soledad, California

INLAND ENGINEERS
1200 JOURNAL AVENUE, SUITE 102
SANTA CRUZ, CA 95062
TEL: (831) 426-4313
FAX: (831) 426-4314
WWW.INLANDENGINEERS.COM

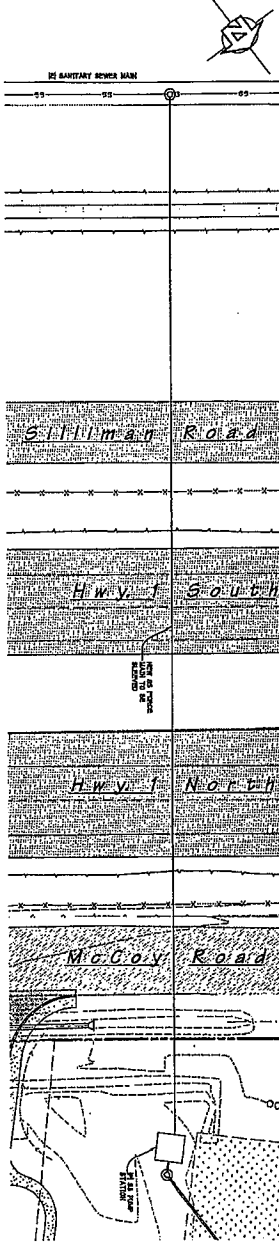
PLANNING & ENGINEERING

DATE: 12/14/11

BY: RYAN/DAVE

CHECKED: RTAN

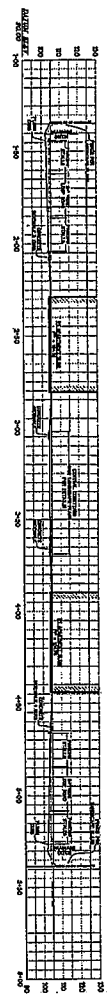
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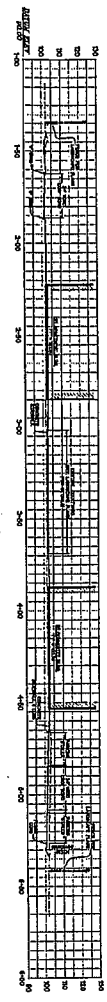
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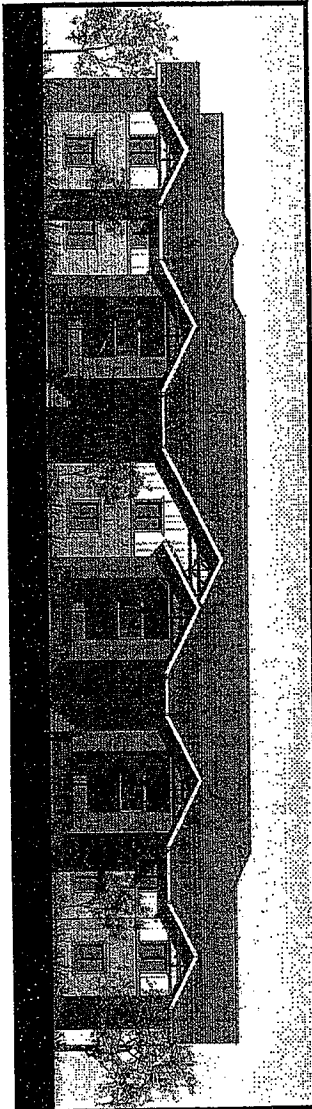
Section B-B
Scale: 1/8" = 1'-0"



Section A-A
Scale: 1/8" = 1'-0"



C5 03/03/25	APN: 257-031-005 Port South County Housing	Details & Sections Camphora Apartments 32101 McCoy Road, Soledad, California	IFLAND ENGINEERS CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN	3203 BORDERS AVE, SUITE 102 SANTA CRUZ, CA 95062 TEL (531) 424-5210 FAX (531) 424-7143 WWW.IFLANDENGINEERS.COM	<table border="1"> <tr> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>APPD</td> </tr> <tr> <td>02/14/11</td> <td>RYAN/DAVE</td> <td>RYAN</td> <td></td> </tr> </table>	DATE	BY	CHKD	APPD	02/14/11	RYAN/DAVE	RYAN		<table border="1"> <tr> <td>NO. 1</td> <td>PLAN CHECK REVISIONS</td> <td>DATE</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </table> <p>For Plan Check Only</p> <p>REG. NO. 2117</p>	NO. 1	PLAN CHECK REVISIONS	DATE				
	DATE	BY	CHKD	APPD																	
02/14/11	RYAN/DAVE	RYAN																			
NO. 1	PLAN CHECK REVISIONS	DATE																			
1:\PROJECTS\2025\03\257-031-005\CampPhora\Drawings\Plan\Section\Section C-C.dwg 11/01/25 11:53 AM 1:25 PM © IFLAND ENGINEERS, INC.																					



Camphora Apartments

Table of Contents

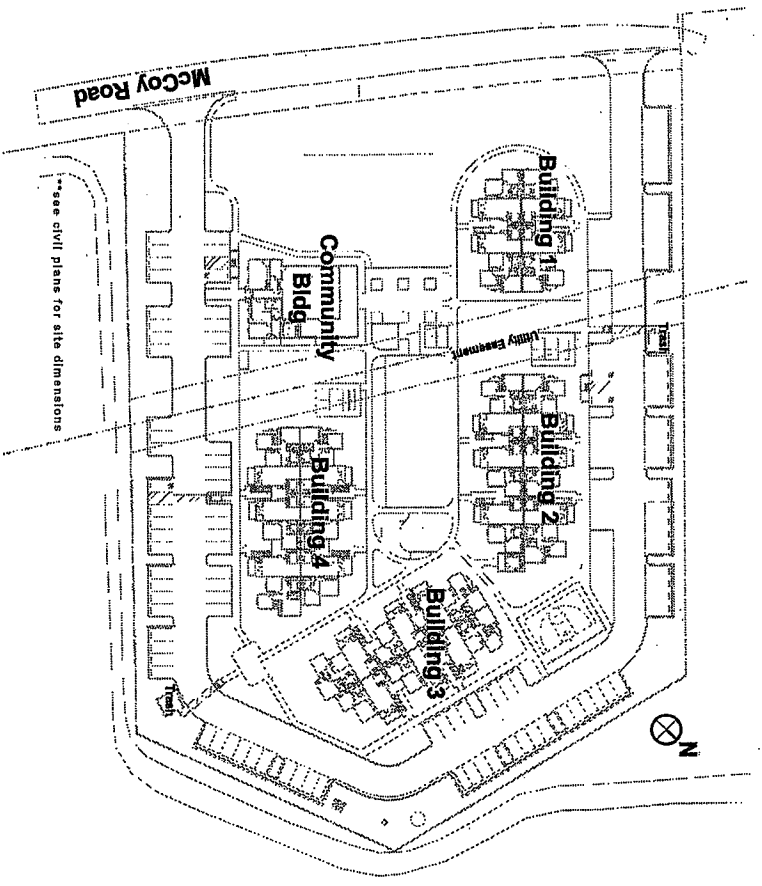
SP.01	Architectural Site Plan
SP.02	Existing Site Photos
A.01	Typical Colored Elevations
A.02	Building 1 Elevations
A.03	Building 1 Plans
A.04	Building 1 Roof Plan
A.05	Building 2 Elevations
A.06	Building 2 Plans
A.07	Building 2 Roof Plans
A.08	Buildings 3&4 Elevations
A.09	Buildings 3&4 Plans
A.10	Buildings 3&4 Roof Plans
A.11	Unit Plans
A.12	Community Building Elevations
A.13	Community Building Plan
A.14	Trash Enclosure

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 7455 Carmel St.
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Solaceda, California
 [20090043]
 June 16, 2011

Architecture + Planning
 17922 Filsh
 Irvine, California 92614
 Ktyv@aom
 949 851 2133 Main
 949 474 8489 Fax





Site Summary
 Lot Size: 200,457.81 SF (4.6 Acres)
 Total Units: 44 Units
 Proposed Density: 9.6 du/ac
 Proposed Lot Coverage: 31,930 SF
 Proposed FAR: 29

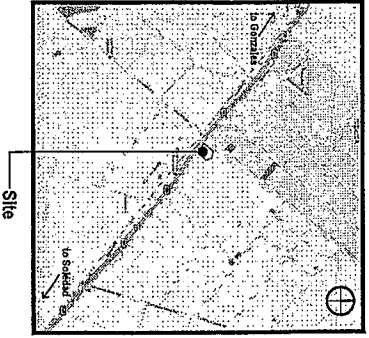
Unit Summary
 Plan 1 (ZBR / 880 NSF): 22
 Plan 2 (ZBR / 1138 NSF): 22
 Total Units: 44

Area Summary
 Building 1: 9,633 GSF
 Building 2: 14,982 GSF
 Building 3: 14,687 GSF
 Building 4: 14,687 GSF
 Community Bldg: 4,301 GSF
 Total Building Area: 58,270 GSF

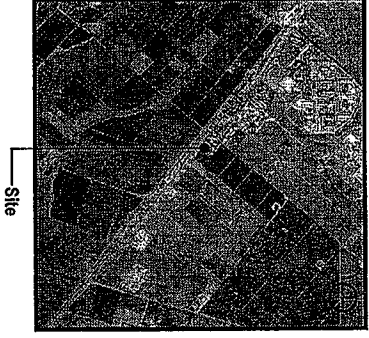
Parking Summary
 Covered Resident Parking: 65 spaces
 Open Resident Parking: 23 spaces
 Total Resident Parking: 88 spaces (2 spd/du)
 Parking Required (per SB(818)): 66 spaces

Guest Parking: 18 spaces
 Community Building Parking: 15 spaces
 Total Parking Provided: 121 spaces

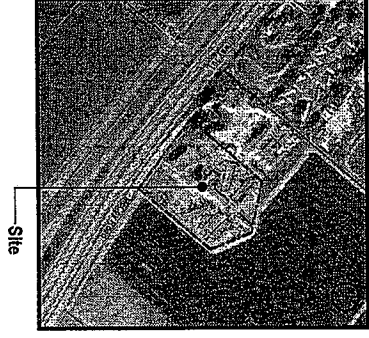
Vicinity Map



Aerial



Enlargement



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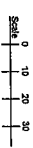
Camphora Apartments

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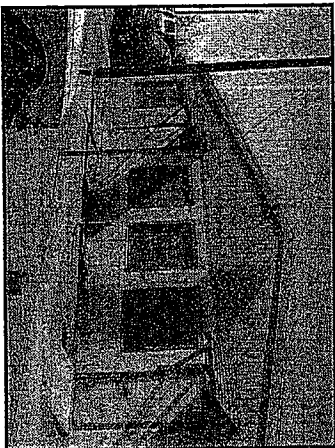
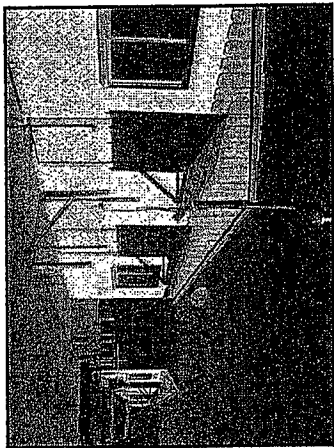
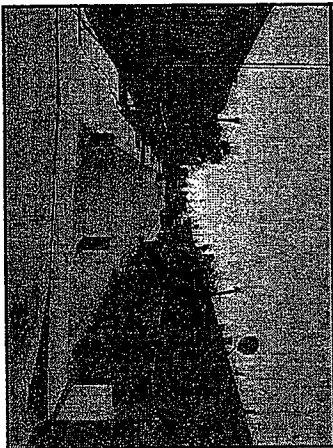
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Architectural Site Plan SP.01



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**Existing Site
Photos**

SP.02

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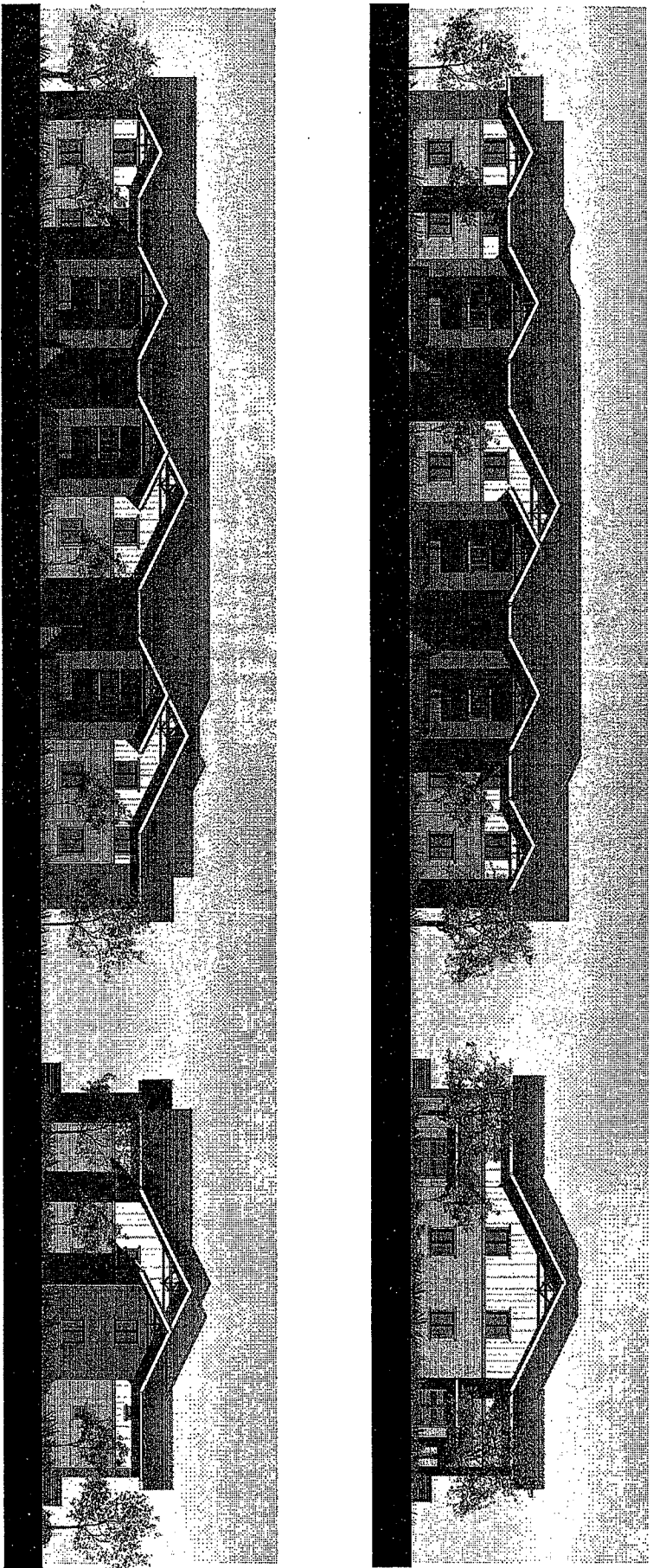
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Building 3
**Typical Colored
 Elevations**
A.01

Scale 1" = 12'

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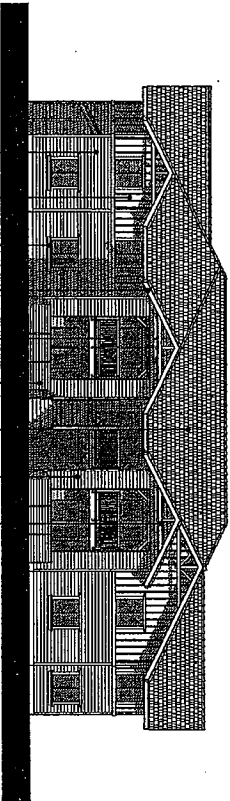


8-Plex
Building 1
Elevations
A.02

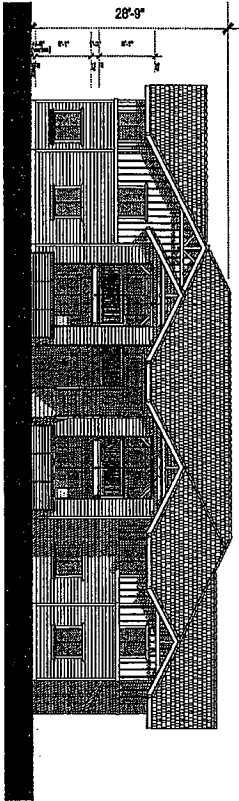
Scale: 0 1 2

- Horizontal Siding
Shaker's Soft (Shoreline Williams 701)
- Vertical Board & Batten Siding
Down/Woods (Shoreline Williams 702)
- Wood Trim
Shaker's Soft (Shoreline Williams 701)
- Wood Fascia
Down/Woods (Shoreline Williams 702)
- Vertical Wood Railing
Horizontal Brown (Shoreline Williams 703)
- Horizontal Wood Railing
Horizontal Brown (Shoreline Williams 703)
- Composite Roof Tile
Imperial Cedar (Cedar/Crest Lookout TL)
- Horizontal Siding
Shaker's Soft (Shoreline Williams 701)
- Wood Gable End Detail
Horizontal Brown (Shoreline Williams 703)

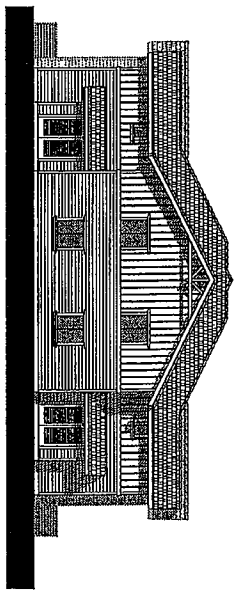
Rear



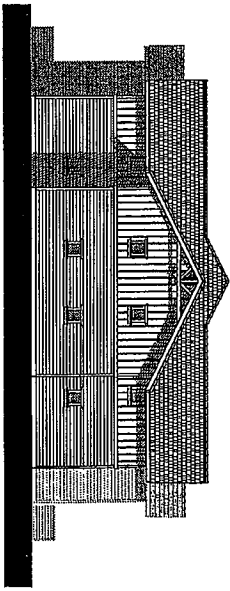
Front



Right



Left



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 Gilroy, California 95020
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Camphora Apartments

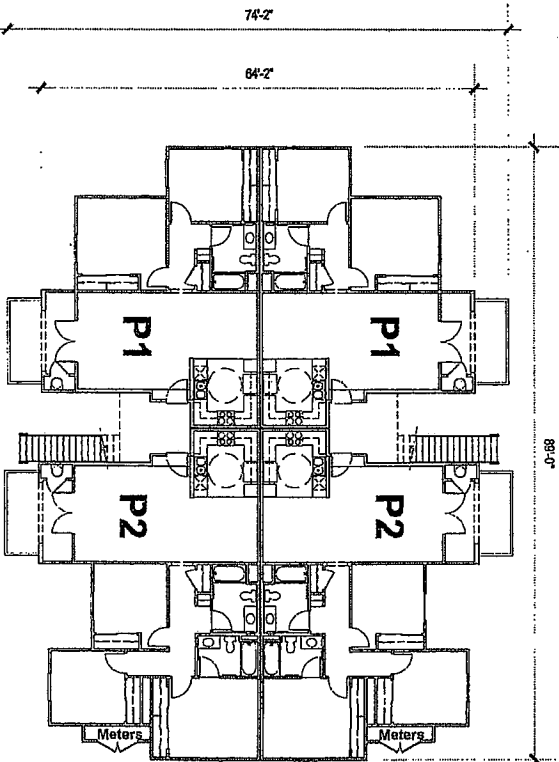
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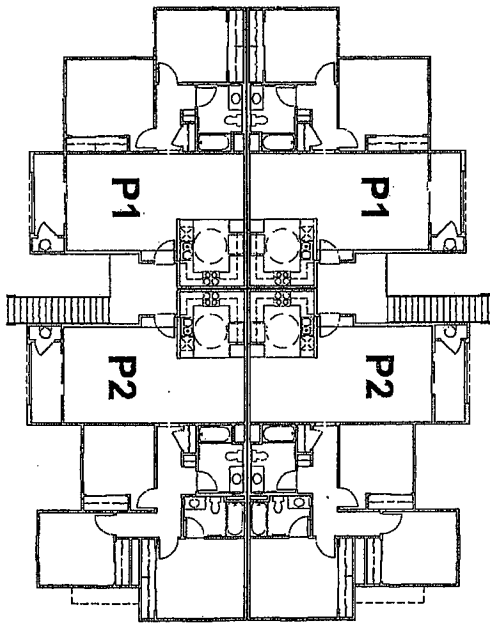
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A.03

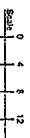


First Floor



Second Floor

8-Plex
 Building 1
 Plans



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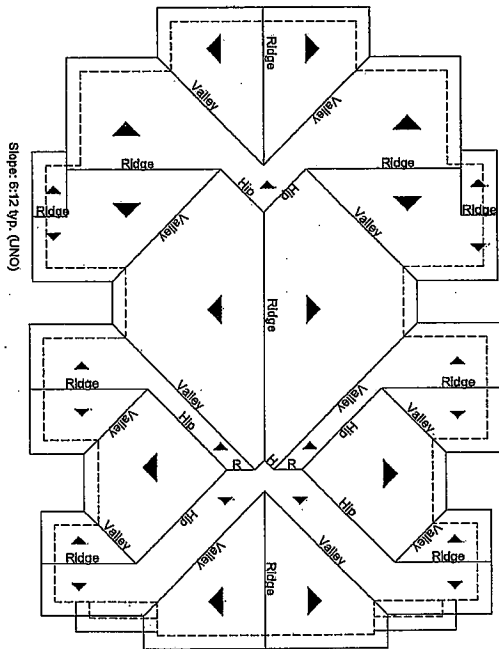
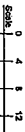
Camphora Apartments

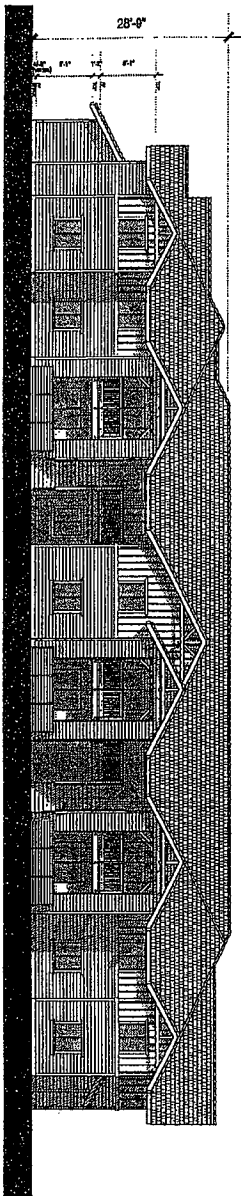
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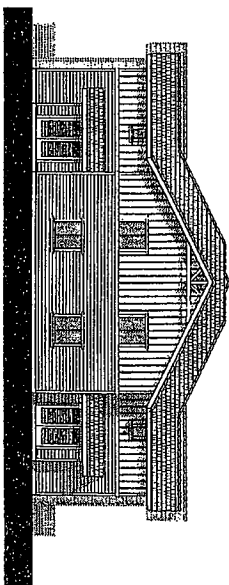
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KDJ/asm
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Building 1 Roof Plan A.04

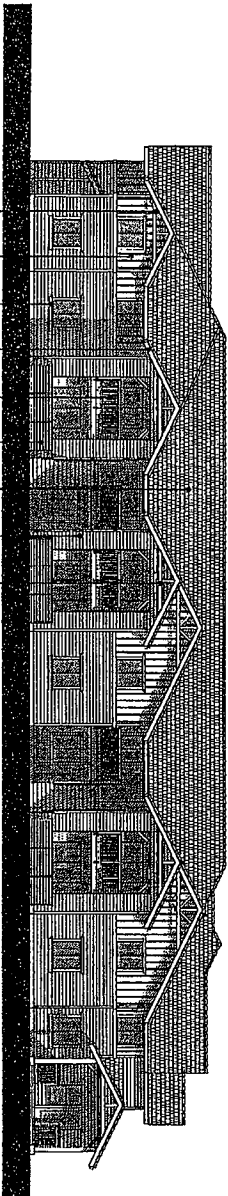




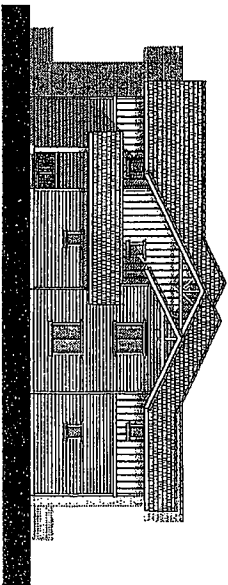
Front



Right



Rear



Left

- Horizontal Siding
Shaver Bud (Sherwin Williams 711)
- Vertical Board & Batten Siding
Cover White (Sherwin Williams 924)
- Wood Trim
Stainless (Sherwin Williams 711)
- Wood Fascia
Cover White (Sherwin Williams 924)
- Vertical Wood Railing
Horizontal Drive (Sherwin Williams 711)
- Horizontal Wood Railing
Horizontal Drive (Sherwin Williams 711)
- Composite Roof Tile
Real Color (Cerulac of Loudmark TX)
- Horizontal Siding
Stainless (Sherwin Williams 711)
- Wood Gable End Detail
Horizontal Drive (Sherwin Williams 711)

12-Plex
Building 2
Elevations
A.05

Scale: 1/8" = 1'-0"

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409 849 9263 Main
409 842 0277 Fax

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949 474 8489 Fax



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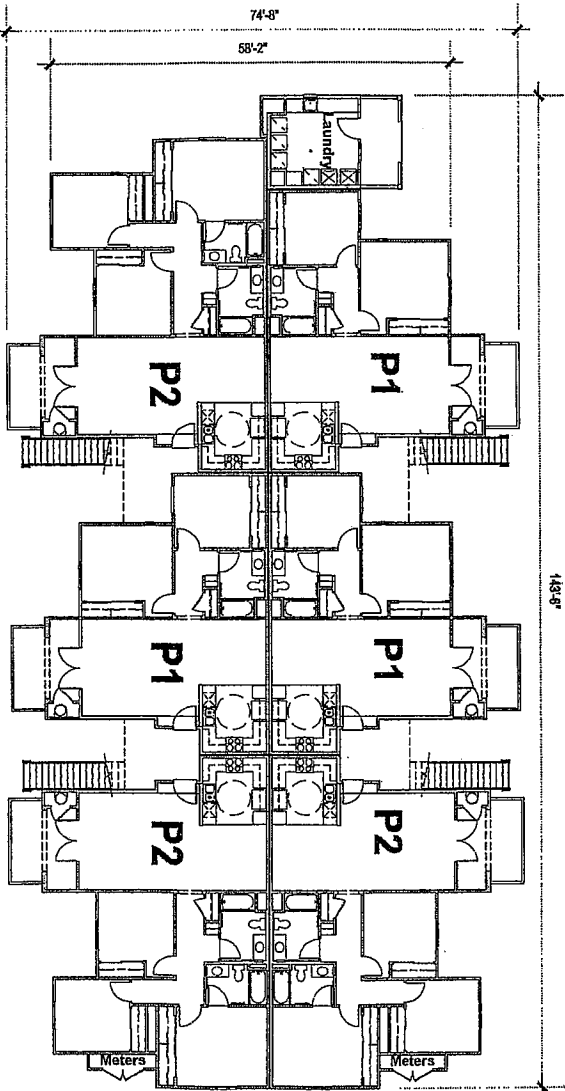
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 klp@kwp.com
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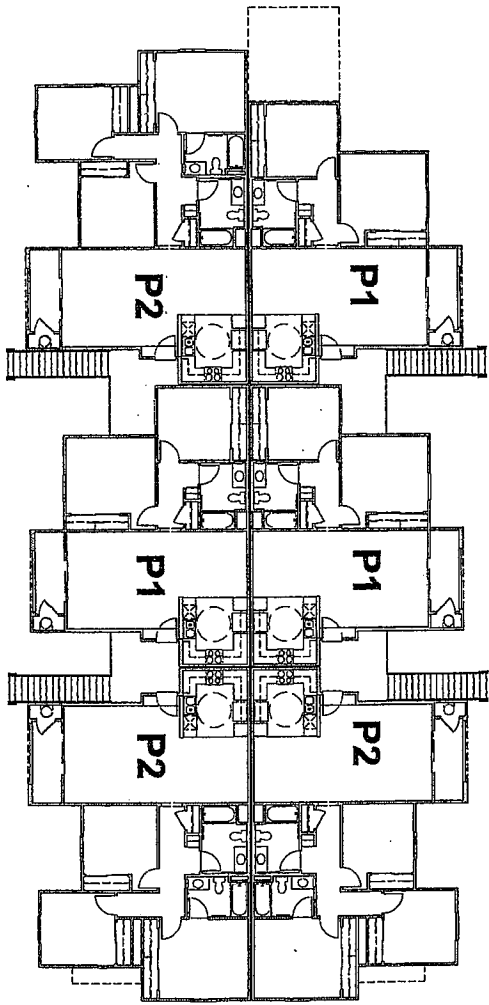


A.06



First Floor

12-Plex
Building 2
Plans



Second Floor

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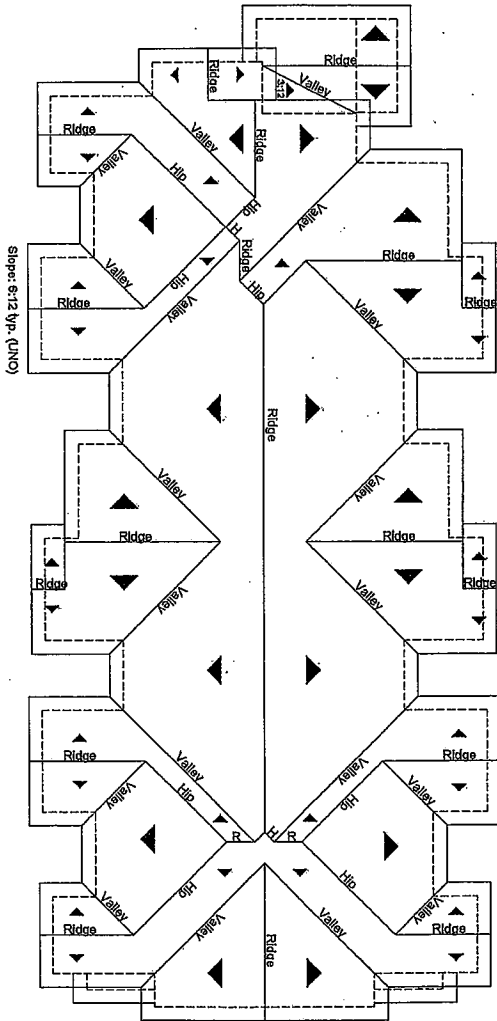
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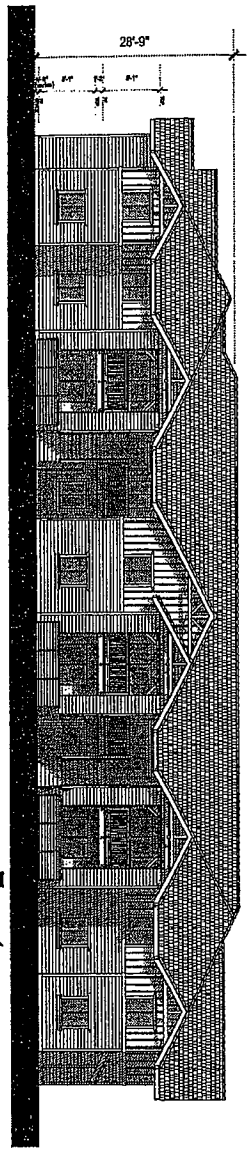
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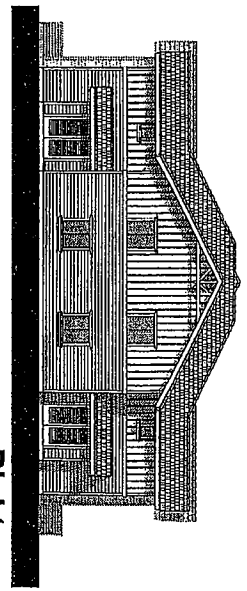
Building 2 Roof Plan A.07

Scale: 0 1 2 4 8 12

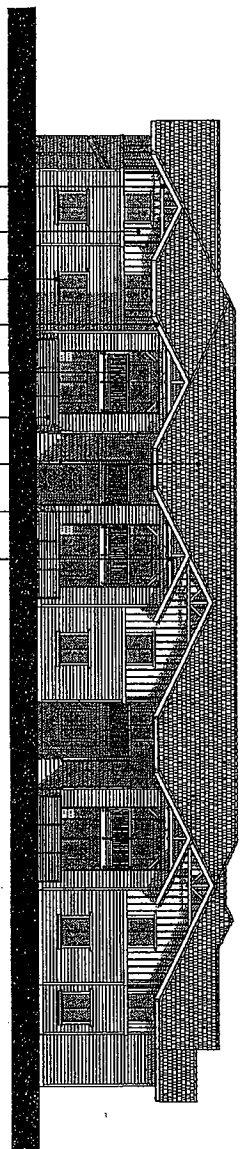




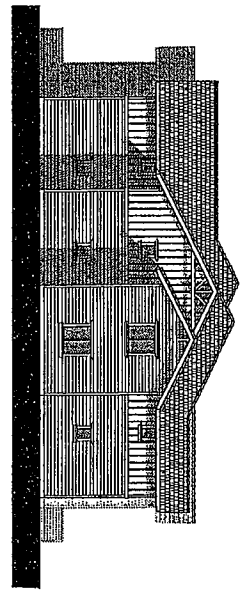
Front



Right



Rear



Left

- Horizontal Siding
Shoreline Siding (Shoreline Williams 1114)
- Vertical Board & Batten Siding
Down White (Shoreline Williams 1114)
- Wood Trim
Shoreline (Shoreline Williams 1114)
- Wood Fascia
Down White (Shoreline Williams 1114)
- Vertical Wood Railing
Horizontal Brown (Shoreline Williams 1114)
- Horizontal Wood Railing
Horizontal Brown (Shoreline Williams 1114)
- Composite Roof Tile
South-Cedar (Crestline Trail Landscape TL)
- Horizontal Siding
Shoreline (Shoreline Williams 1114)
- Wood Gable End Detail
Horizontal Brown (Shoreline Williams 1114)

12-Plex
Buildings 3 & 4
Elevations
A.08

Scale: 1/8" = 1'-0"

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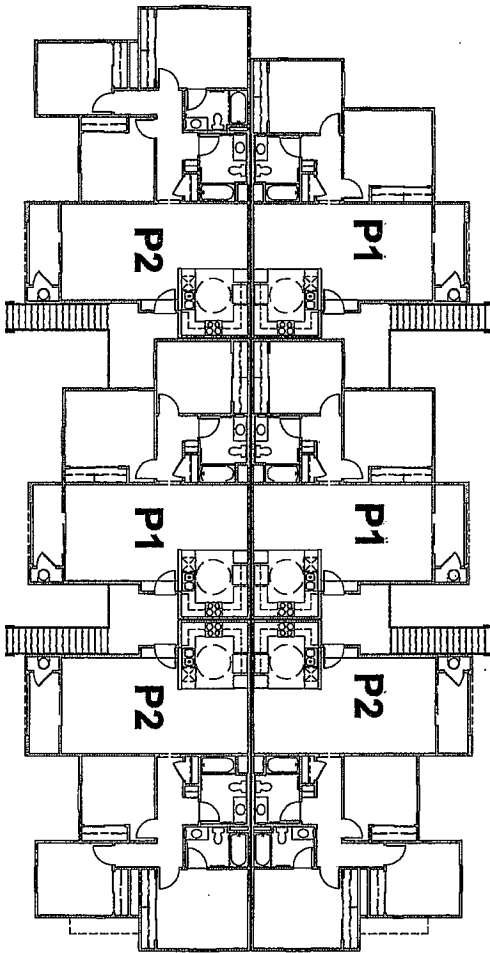
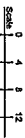
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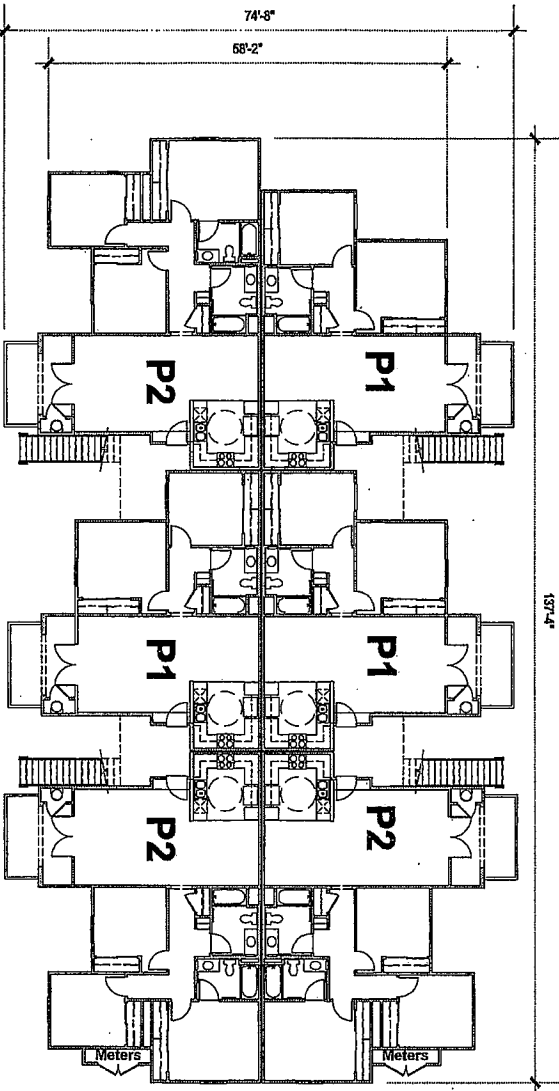


A.09

12-Plex Buildings 3 & 4 Plans



Second Floor



First Floor

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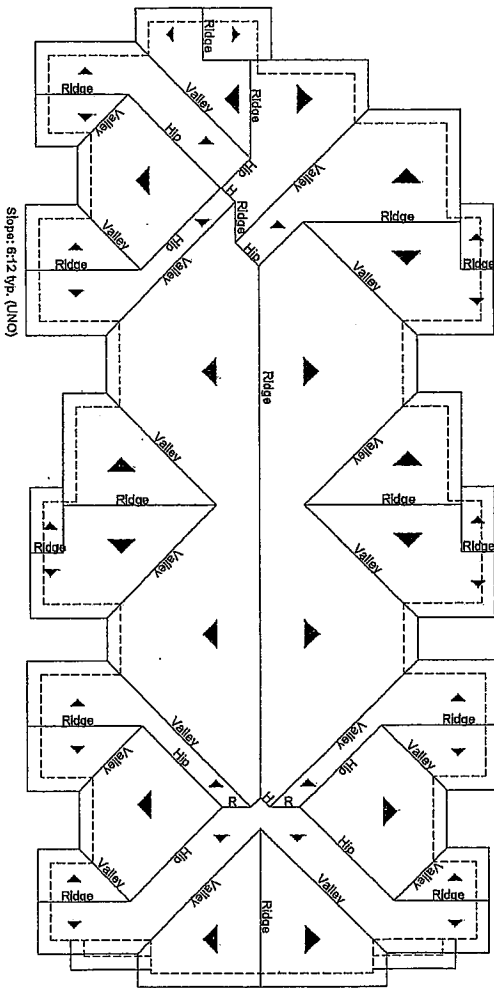
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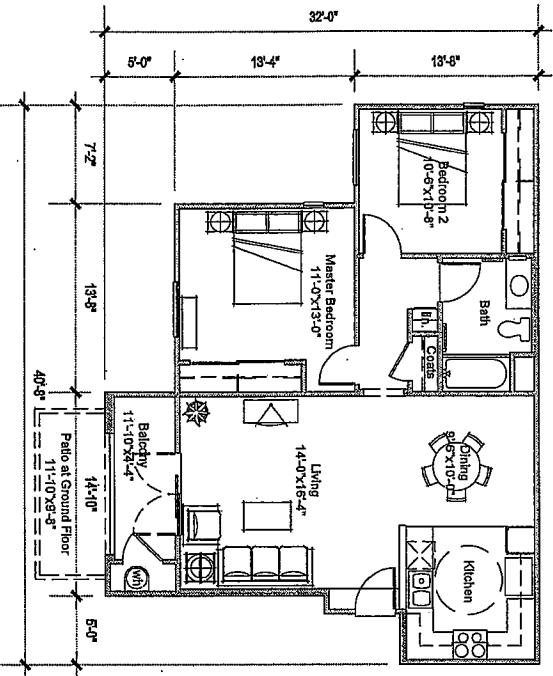
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kigv.com 949 851 2133 Main
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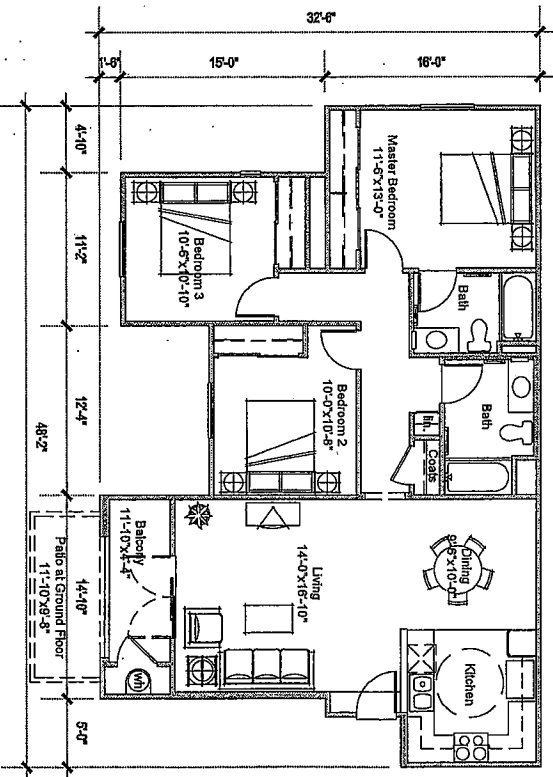
Buildings 3 & 4 Roof Plan A.10

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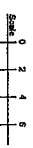


Plan 1
2 Bedroom / 1 Bath / 880 NSF



Plan 2
3 Bedroom / 2 Bath / 1138 NSF

Unit Plans A.11



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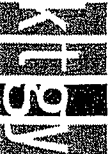


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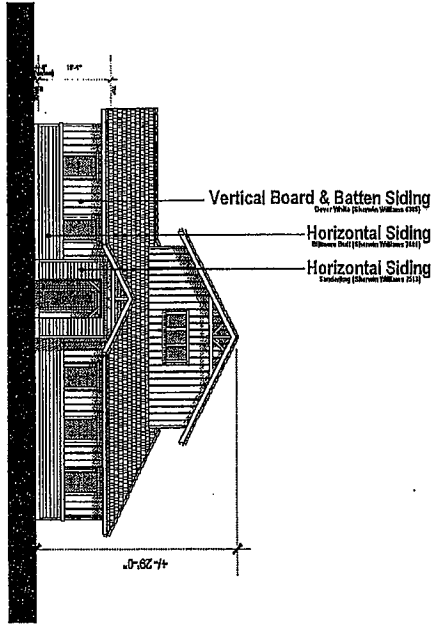
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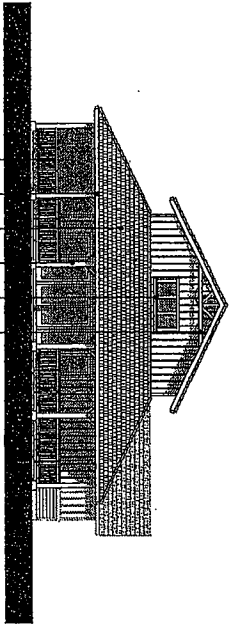


Community Building Elevations A.12

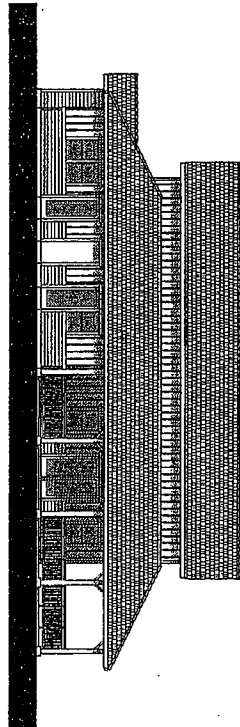
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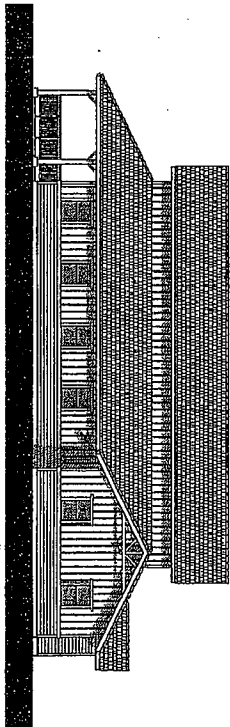
Front



Rear



Right



Left

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Solstead, California
 [20090043]

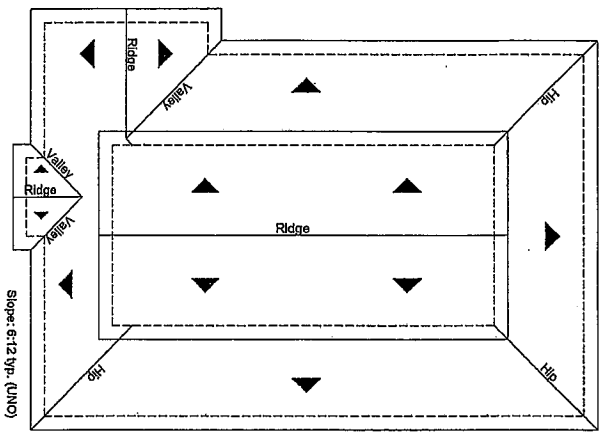
Architecture + Planning
 17922 Fitch
 Irvine, California 92614
 949 691 2133 Main
 949 474 8469 Fax



A.13

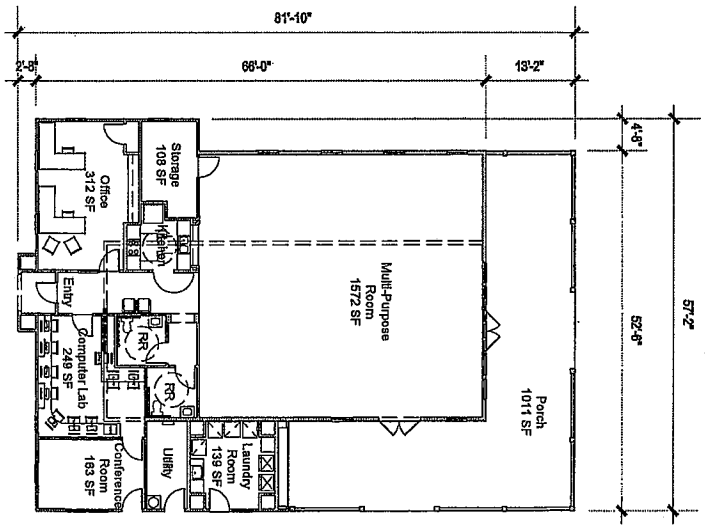
Community Building Plan

Roof Plan



Floor Plan

3084 NSF



Scale: 0 1 2

June 16, 2011

South County Housing
 7455 Carmel St. 95020
 Gilroy, California
 408 845 9283 Main
 408 842 0277 Fax

Camphora Apartments

Soledad, California
 [20090043]

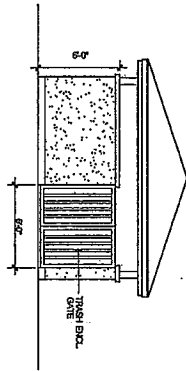
June 16, 2011

Architecture + Planning
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 Irvine, California 92614
 KJP.com 2133 Main
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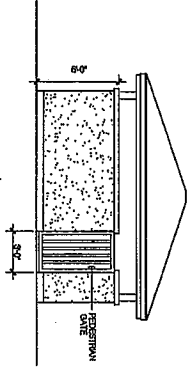


Trash Enclosure A.14

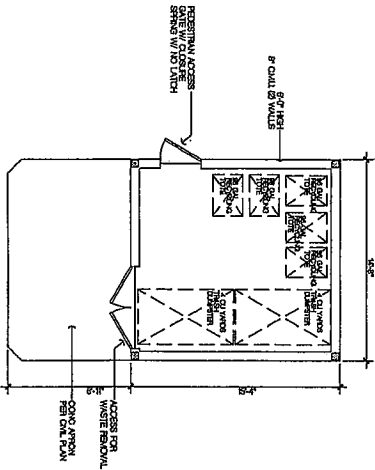
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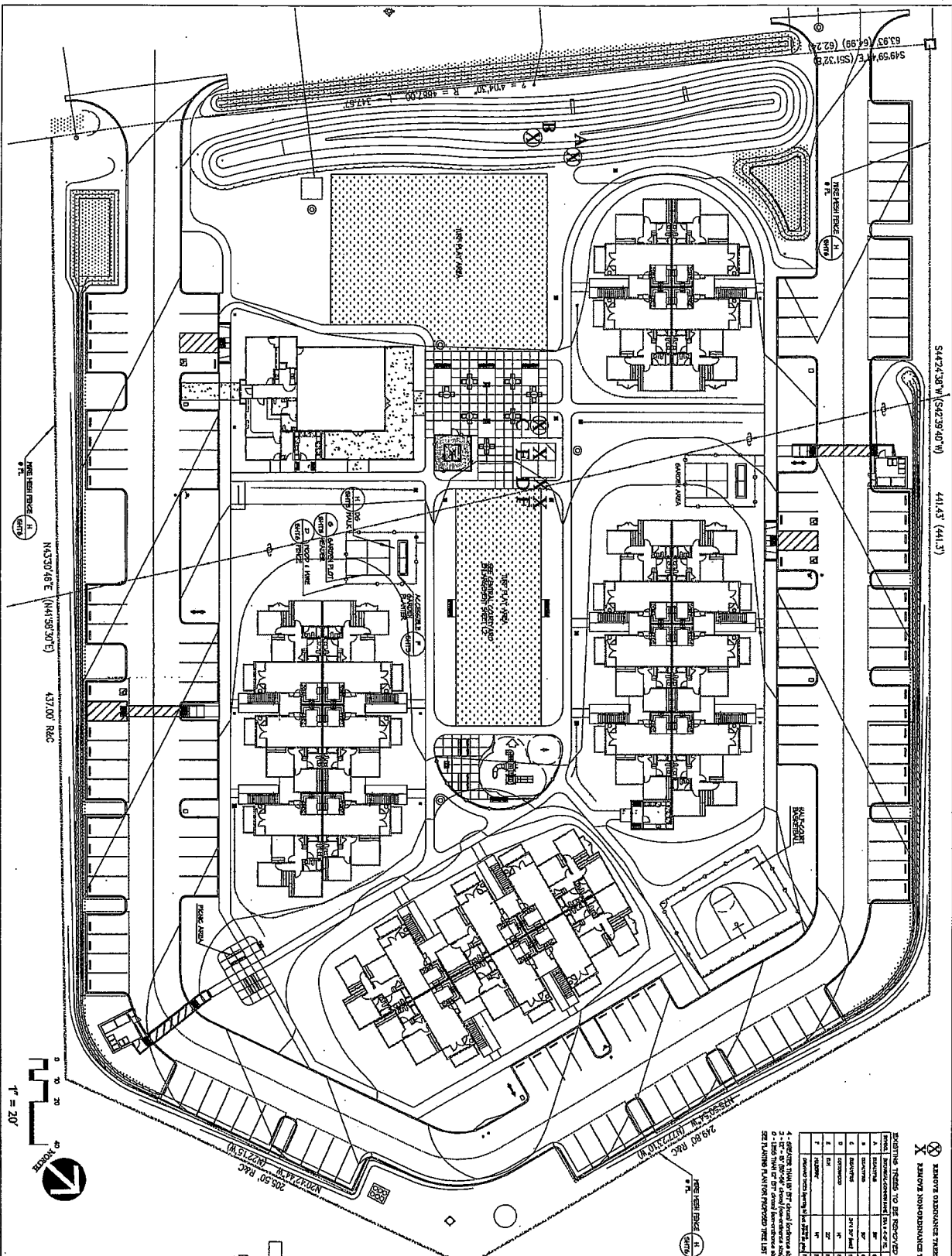
Front



Side



Plan



- TYPICAL SYMBOLS LEGEND**
- 1. BUILDING FOOTPRINT
 - 2. PARKING SPACE
 - 3. DRIVEWAY
 - 4. WALKWAY
 - 5. PLANTING AREA
 - 6. TREE
 - 7. SHRUB
 - 8. FLOWER BED
 - 9. WATER FEATURE
 - 10. BIOMECHANICAL SYSTEM
 - 11. BIOMECHANICAL SYSTEM
 - 12. BIOMECHANICAL SYSTEM
 - 13. BIOMECHANICAL SYSTEM
 - 14. BIOMECHANICAL SYSTEM
 - 15. BIOMECHANICAL SYSTEM
 - 16. BIOMECHANICAL SYSTEM
 - 17. BIOMECHANICAL SYSTEM
 - 18. BIOMECHANICAL SYSTEM
 - 19. BIOMECHANICAL SYSTEM
 - 20. BIOMECHANICAL SYSTEM

EXHIBITING ITEMS TO BE REVIEWED

NO.	DESCRIPTION	DATE
1	CONTRACT	10/27/11
2	PERMITS	11/15/11
3	CONTRACT	11/15/11
4	CONTRACT	11/15/11
5	CONTRACT	11/15/11
6	CONTRACT	11/15/11
7	CONTRACT	11/15/11
8	CONTRACT	11/15/11
9	CONTRACT	11/15/11
10	CONTRACT	11/15/11
11	CONTRACT	11/15/11
12	CONTRACT	11/15/11
13	CONTRACT	11/15/11
14	CONTRACT	11/15/11
15	CONTRACT	11/15/11
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19	CONTRACT	11/15/11
20	CONTRACT	11/15/11

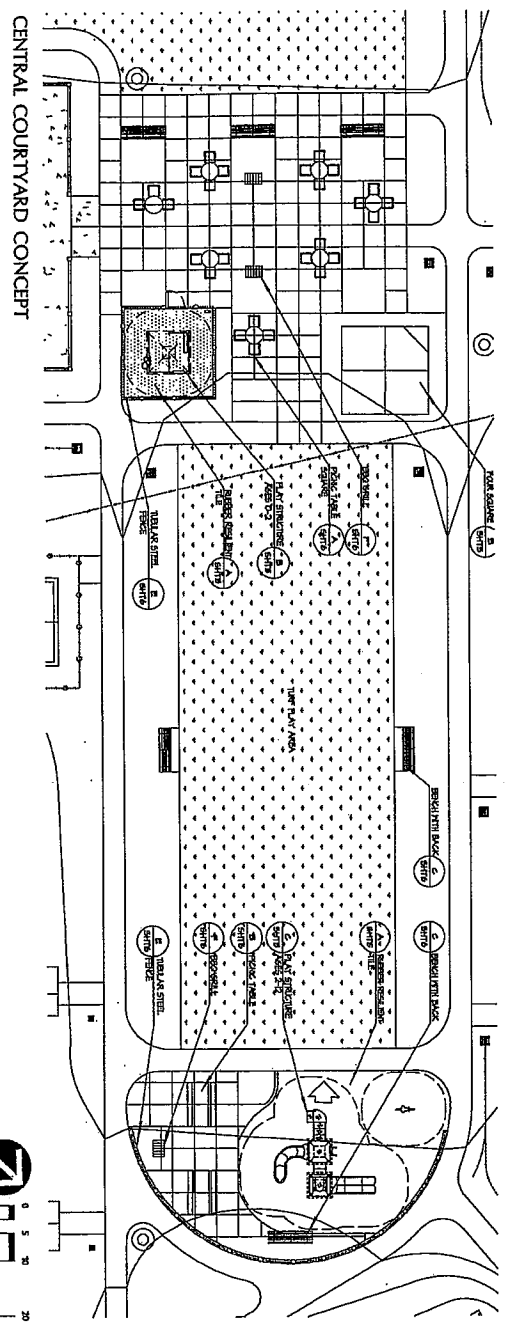
REQUIRE CORRECTED ITEMS

REQUIRE NON-CORRECTED ITEMS

APPROVED

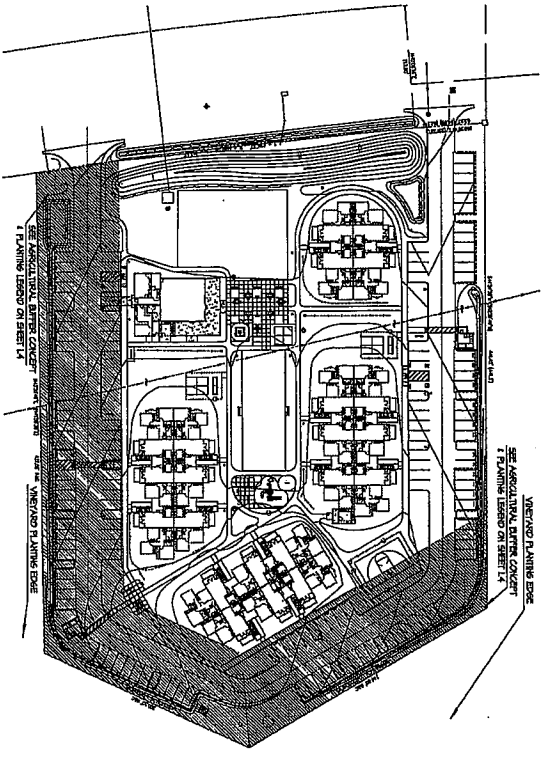
FOR PLAN CHECK ONLY

	DILLON DESIGN ASSOCIATES LANDSCAPE ARCHITECTURE 30 CAROL AVENUE SANTA CRUZ, CA 95061 TEL: (408) 298-1111 WWW.DILLONDESIGN.COM OPEN HOUSES		DATE: 10/27/11 DRAWN BY: [Signature] CHECKED BY: [Signature]
	Camphora Apartments 32097 McCoy Road, Soledad, California For: South County Housing APN: 257-031-005		APPROVED: [Signature] DATE: 11/15/11



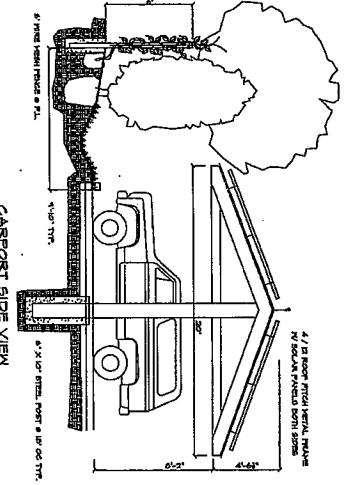
CENTRAL COURTYARD CONCEPT

1" = 10'



AGRICULTURAL BUFFER (73) VINAYARD & PL BOUNDARY

1" = 50'



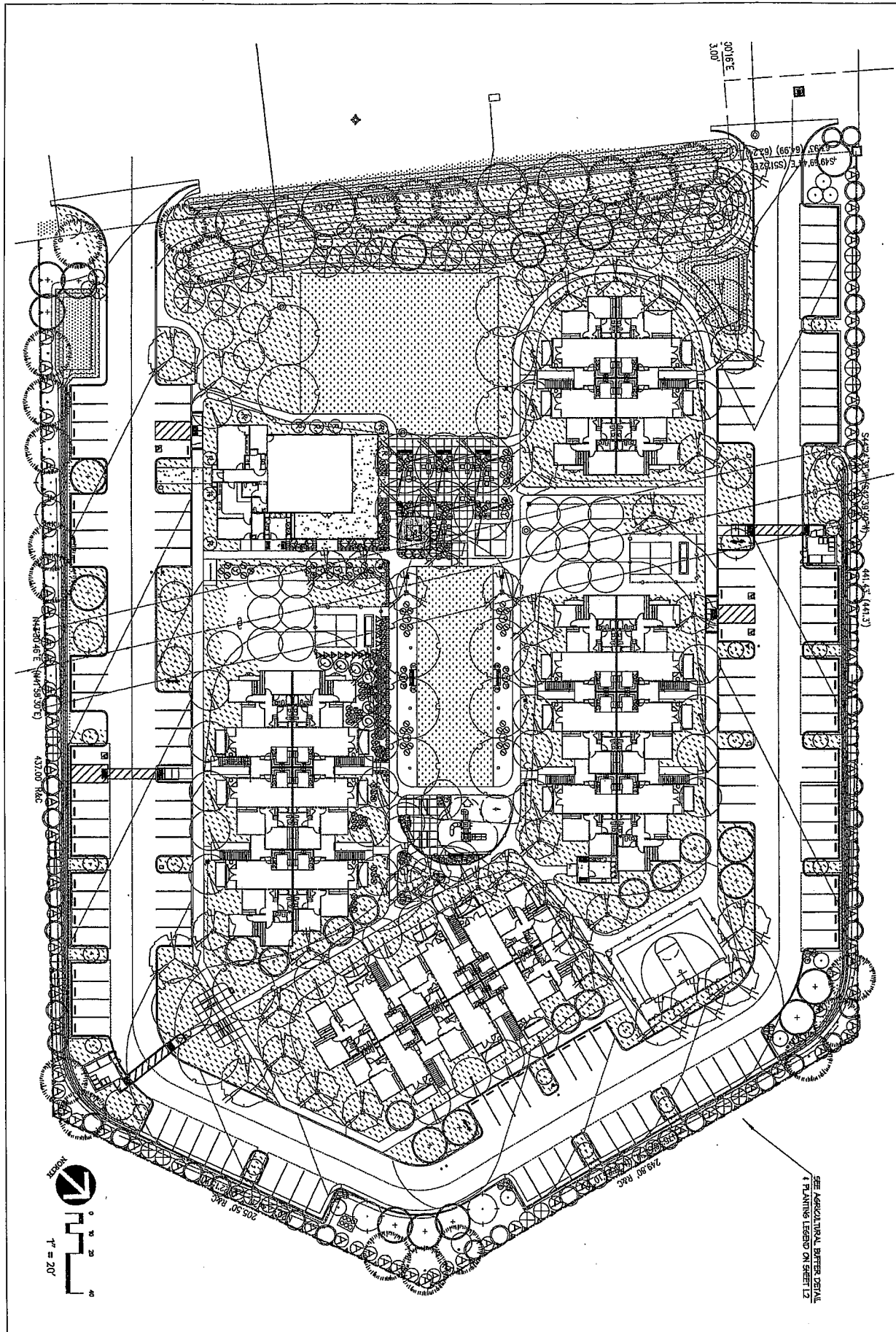
AGRICULTURAL BUFFER PL EDGE CONCEPT



These shrubs, vines and grasses are used to provide a buffer between the adjacent right-of-way and the building project. Plant material for this purpose has been selected which have screening and wind resistance characteristics (see Planting Legend).

CARPORIT SIDE VIEW

1" = 50'

- TYPICAL SYMBOL LEGEND
1. 1/2" RADIUS CIRCLES FOR VIEWS
2. 1/4" RADIUS CIRCLES FOR VIEWS
3. 1/8" RADIUS CIRCLES FOR VIEWS
4. 1/16" RADIUS CIRCLES FOR VIEWS
5. 1/32" RADIUS CIRCLES FOR VIEWS
6. 1/64" RADIUS CIRCLES FOR VIEWS
7. 1/128" RADIUS CIRCLES FOR VIEWS
8. 1/256" RADIUS CIRCLES FOR VIEWS
9. 1/512" RADIUS CIRCLES FOR VIEWS
10. 1/1024" RADIUS CIRCLES FOR VIEWS
11. 1/2048" RADIUS CIRCLES FOR VIEWS
12. 1/4096" RADIUS CIRCLES FOR VIEWS
13. 1/8192" RADIUS CIRCLES FOR VIEWS
14. 1/16384" RADIUS CIRCLES FOR VIEWS
15. 1/32768" RADIUS CIRCLES FOR VIEWS
16. 1/65536" RADIUS CIRCLES FOR VIEWS
17. 1/131072" RADIUS CIRCLES FOR VIEWS
18. 1/262144" RADIUS CIRCLES FOR VIEWS
19. 1/524288" RADIUS CIRCLES FOR VIEWS
20. 1/1048576" RADIUS CIRCLES FOR VIEWS



 1" = 20' 0' 20' 40'	L3	PLANTING PLAN	Camphora Apartments		 DILLON DESIGN ASSOCIATES LANDSCAPE ARCHITECTURE 25 CERRITOS AVENUE, SOLEDAD, CA 95068 (408) 688-1111 WWW.DILLONDESIGNASSOCIATES.COM	MR. CHRISTOPHER D. BISHOP, AIA, LSC 1207711 MR. BENJAMIN A. PEAR, LSC 1207711 DATE: 8/20/11 APPROVED: [Signature] L.E.
	DATE: 8/9/2011 DESIGN: MD DRAWN: MD/DB	32097 McCoy Road, Soledad, California For: South County Housing APN: 257-031-005		APPROVED: For Plan Check Only CLX 95		

IRRIGATION CONCEPT

NOTE: LAYOUT INDICATES PIPE LOCATION OF IRRIGATION SYSTEM AND TRENCHES IN PLANNING PLAN. SEE NOTES SHEET FOR CONDUIT SIZES AND BRIDGES AND SCHEDULING VALVES

SYMBOL	MANUFACT.	MODEL NO.	DESCRIPTION	PRI. RAO/SPEC.	QTY.
1	METER	8001-1000	8" DIAMETER	1	1
2	VALVE	8002-1000	8" DIAMETER	1	1
3	CONDUIT	8003-1000	8" DIAMETER	1	1
4	PIPE	8004-1000	8" DIAMETER	1	1
5	CONDUIT	8005-1000	8" DIAMETER	1	1
6	PIPE	8006-1000	8" DIAMETER	1	1
7	CONDUIT	8007-1000	8" DIAMETER	1	1
8	PIPE	8008-1000	8" DIAMETER	1	1
9	CONDUIT	8009-1000	8" DIAMETER	1	1
10	PIPE	8010-1000	8" DIAMETER	1	1

DESIGNED BY: [Signature]

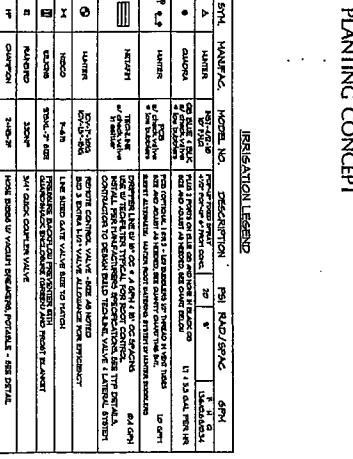
DATE: 10/12/10

PROJECT: Camphora Apartments

CLIENT: [Name]

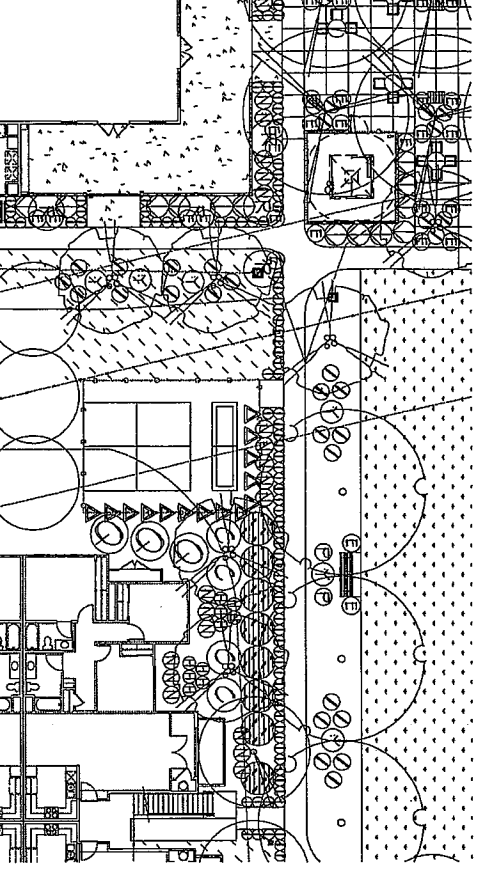
LOCATION: [Address]

SCALE: 1" = 10'



SYMBOL	MANUFACT.	MODEL NO.	DESCRIPTION	PRI. RAO/SPEC.	QTY.
1	METER	8001-1000	8" DIAMETER	1	1
2	VALVE	8002-1000	8" DIAMETER	1	1
3	CONDUIT	8003-1000	8" DIAMETER	1	1
4	PIPE	8004-1000	8" DIAMETER	1	1
5	CONDUIT	8005-1000	8" DIAMETER	1	1
6	PIPE	8006-1000	8" DIAMETER	1	1
7	CONDUIT	8007-1000	8" DIAMETER	1	1
8	PIPE	8008-1000	8" DIAMETER	1	1
9	CONDUIT	8009-1000	8" DIAMETER	1	1
10	PIPE	8010-1000	8" DIAMETER	1	1

PLANTING CONCEPT



PLANTING CONCEPT

SCALE: 1" = 10'

PLANTING SYMBOL	PLANT NAME	PLANT CODE	PLANT SIZE	PLANT QUANTITY	PLANT COMMENTS
1
2
3
4
5
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Camphora Apartments

32097 McCoy Road, Soledad, California

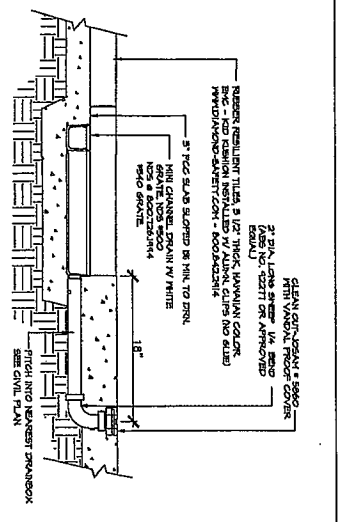
For: South County Housing APN: 257-031-005

D DILLON DESIGN ASSOCIATES
LANDSCAPE ARCHITECTURE

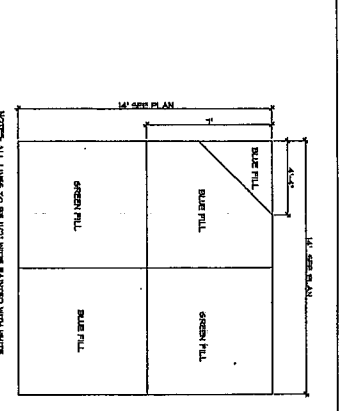
14 IRRIGATION CONCEPT

DATE: 10/12/10

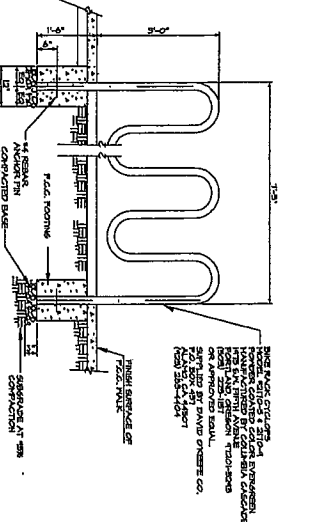
For Plan Check Only



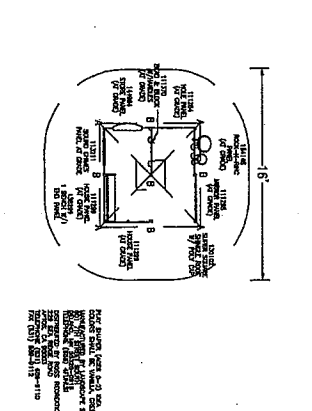
A PLAY AREA RUBBER RESILIENT TILES



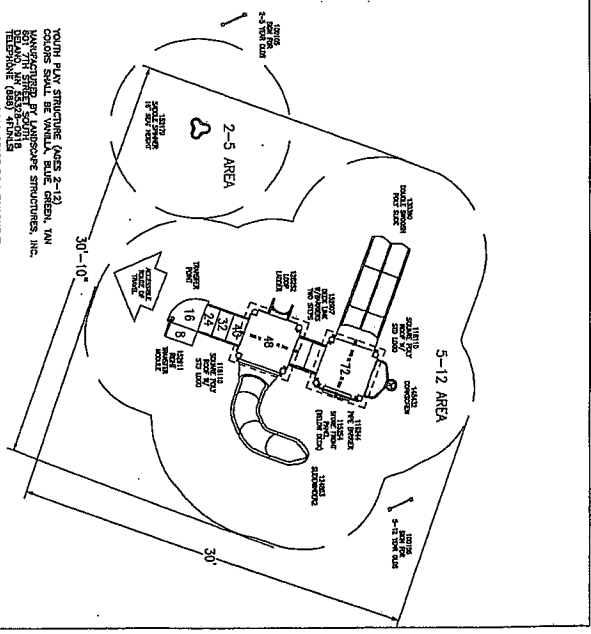
B 4 SQUARE LINES



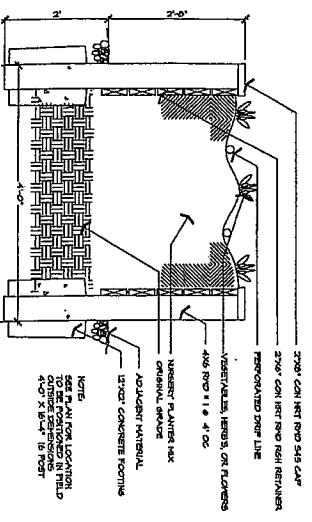
D BIKE RACK



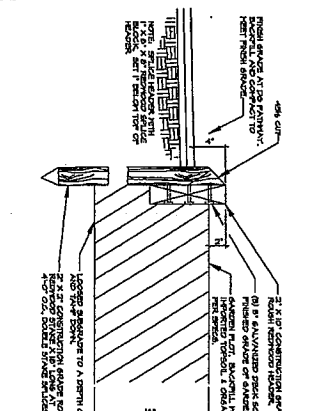
E PLAY STRUCTURE, AGES 0-2 YEARS



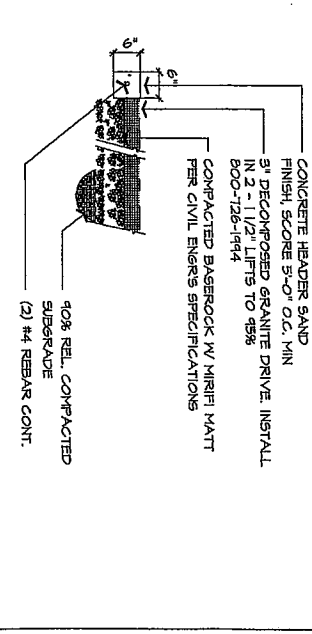
C PLAY STRUCTURE, AGES 2-12 YEARS



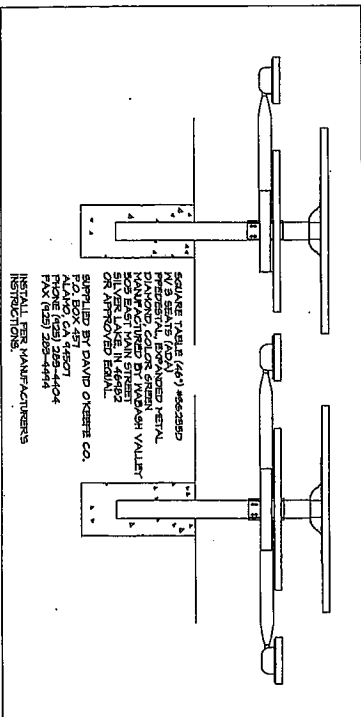
F ACCESSIBLE PLANTER



G GARDEN PLOT HEADER & SOIL



H DOG WALKWAY



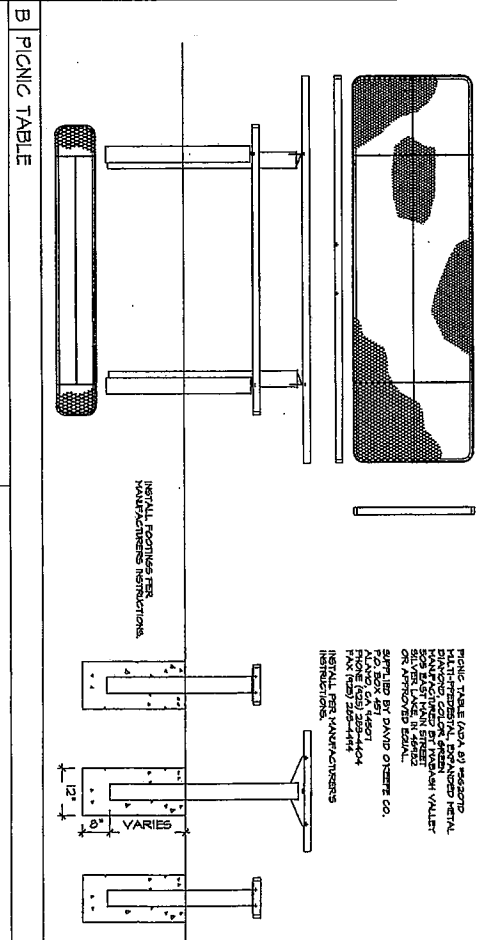
SQUARE TABLE (48") SEATERS
 IV 8 SEATS (FROM MANUFACTURER)
 DIAMOND COLOR GREEN METAL
 MANUFACTURED BY KAWASHI VALLEY
 SILVER LAKE, IN 46822
 OR APPROVED EQUAL

SHIPPED BY DAVID O'NEBRE CO.
 P.O. BOX 487
 ALAMO, CA 94501
 PHONE (925) 255-4404
 FAX (925) 255-4444
 INSTALL PER MANUFACTURER'S
 INSTRUCTIONS.

BENCH (V. ASB) (6) SPRING
 METAL
 MANUFACTURED BY KAWASHI VALLEY
 SILVER LAKE, IN 46822
 OR APPROVED EQUAL

SHIPPED BY DAVID O'NEBRE CO.
 P.O. BOX 487
 ALAMO, CA 94501
 PHONE (925) 255-4404
 FAX (925) 255-4444
 INSTALL PER MANUFACTURER'S
 INSTRUCTIONS.

A PICNIC TABLE, SQUARE



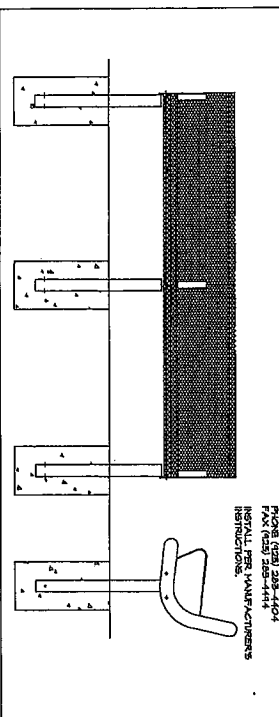
PICNIC TABLE (72" x 30") SEATERS
 DIAMOND COLOR GREEN METAL
 MANUFACTURED BY KAWASHI VALLEY
 SILVER LAKE, IN 46822
 OR APPROVED EQUAL

SHIPPED BY DAVID O'NEBRE CO.
 P.O. BOX 487
 ALAMO, CA 94501
 PHONE (925) 255-4404
 FAX (925) 255-4444
 INSTALL PER MANUFACTURER'S
 INSTRUCTIONS.

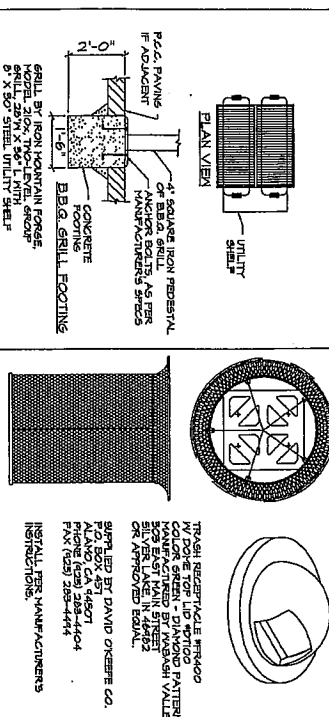
BENCH (V. ASB) (6) SPRING
 METAL
 MANUFACTURED BY KAWASHI VALLEY
 SILVER LAKE, IN 46822
 OR APPROVED EQUAL

SHIPPED BY DAVID O'NEBRE CO.
 P.O. BOX 487
 ALAMO, CA 94501
 PHONE (925) 255-4404
 FAX (925) 255-4444
 INSTALL PER MANUFACTURER'S
 INSTRUCTIONS.

B PICNIC TABLE



C BENCH WITH BACK

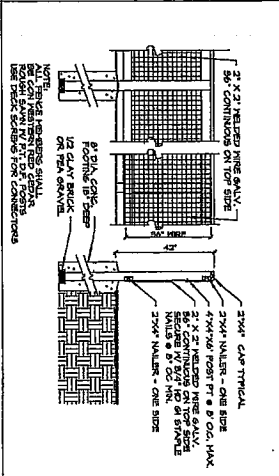


F BARGE DUAL GRILL PEDESTAL

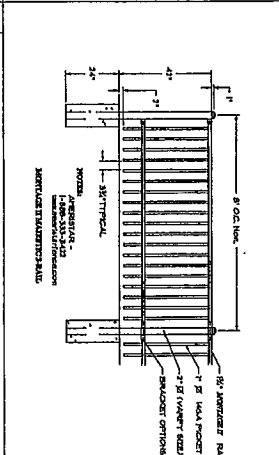
G TRASH & RECYCLE RECEPTACLE

H WIRE MESH FENCE @ PL

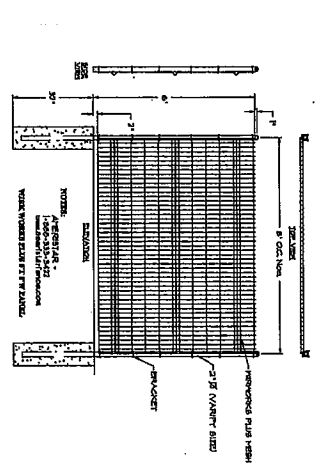
I X



D WOOD & WIRE FENCE @ GARDEN



E TUBULAR STEEL PLAY AREA FENCE



I X

ATTACHMENT 3
SOUTH COUNTY HOUSING
CORPORATION
PLN100446

CONDITIONS OF
APPROVAL

Monterey County Planning Department
Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN100446

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This Use Permit (The Camphora Apartment Replacement Project) allows for the demolition of 44 substandard agricultural employee (farm worker) housing units; and the construction of 44 new agricultural employee (farm worker) housing units consisting of:

- a. 22 two-bedroom (880 square foot) and 22 three-bedroom (1,138 square foot) garden apartments;
- b. A 4,300 square foot community building with a meeting room, office, storage, laundry room and computer lab;
- c. A half-court basketball area, two turf-covered play areas, a tot lot, barbecue patio and seating area, and extensive landscaping;
- d. Solar panels placed on the covered parking areas;
- e. Grading of approximately 5,000 cubic yards of cut and 4,500 cubic yards of fill; and
- f. Connection to the City of Soledad sewer infrastructure.

The property is located at 32101 McCoy Road, Soledad (Assessor's Parcel Number 257-031-005-000), Central Salinas Valley Area Plan.

This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. The use permit does not go into effect unless and until the rezoning of the property goes into effect. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a notice which states: "A Zone Change and Use Permit (Resolution _____) was approved by the Board of Supervisors for Assessor's Parcel Number 257-031-005-000 on July 31, 2012. The permit was granted subject to 30 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:**

The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless.
(RMA - Planning Department)

**Compliance or
Monitoring
Action to be Performed:**

Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning Department for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.

5. PD005 - FISH AND GAME FEE NEG DEC

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:**

Pursuant to the State Public Resources Code § 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning Department)

**Compliance or
Monitoring
Action to be Performed:**

Within 5 working days of project approval, the applicant shall submit a check, payable to the County of Monterey, to the Director of the RMA - Planning Department.

6. PD007- GRADING WINTER RESTRICTION

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:**

No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department.
(RMA - Planning Department and Building Services Department)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

7. PD009 - GEOTECHNICAL CERTIFICATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to the RMA-Building Services Department showing the project's compliance with the geotechnical report.

8. PD010 - EROSION CONTROL PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to the RMA - Planning Department and the RMA - Building Services Department for review and approval.

The Owner/Applicant, on an on-going basis, shall comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.

9. PD012(G) - LANDSCAPE PLAN & MAINTENANCE (OTHER)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Landscape Plans as submitted, reviewed and approved by the County of Monterey, partially satisfy this condition. Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(A) & LIGHTING & EXTERIOR LIGHTING PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA & Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PD016 - NOTICE OF REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states that the following reports are on file with the Monterey County RMA - Planning Department:

- Geotechnical Engineering Report, South County Housing, Camphora Apartments, (LIB120132) Prepared by Earth Systems Pacific, dated January 25, 2011.
- Phase I Environmental Site Assessment, Camphora Labor Camp, (LIB120133) Prepared by Earth Systems Pacific, dated July 10, 2009.
- Additional Phase II Pesticide Testing, Camphora Apartments, (LIB120135) Prepared by Earth Systems Pacific, dated May 16, 2011.
- Phase II Addendum Arsenic (LIB120136) Prepared by Earth Systems Pacific, dated August 16, 2011.
- Trip Generation and Traffic Operations Study for the Proposed Camphora Residential Development, (LIB120137) Prepared by Hexagon Transportation Consultants, Inc., dated March 1, 2011.
- Phase I Archaeological Study for the Camphora Apartments, Project, (LIB120138) Prepared by Doane and Breschini, December 2010.
- Acoustical Analysis, Camphora Apartments, (LIB120139) Prepared by Brown-Buntin Associates, Inc., dated July 28, 2011.
- Preliminary Sewer Demand Calculations for Camphora Housing Redevelopment Project (Revised). (LIB120140) Prepared by Ifland Engineers, dated November 17, 2011.
- Relocation Plan, Camphora Apartments (LIB120143) Prepared by Autotemp, dated August 2010.

All development shall be in accordance with these reports. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

12. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three years, to expire on July 31, 2015 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

13. PD035 - UTILITIES UNDERGROUND

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.

14. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: In accordance with Monterey Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition activities as required by the Air District.

15. EHSP01 - WATER SYSTEM IMPROVEMENTS (STATE PERMITTED SYSTEM)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Design the water system improvements to meet the standards as found in Titles 17 and 22 of the California Code of Regulations and as found in the Residential Water Supply Standards. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to installing system improvements submit engineered plans for the water system improvements to EHB for review and approval.

16. EHSP02 - FIRE FLOW STANDARDS

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Design the water system improvements to meet fire flow standards as required and approved by the local fire protection agency. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to installing system improvements submit plans for the proposed water system improvements to the local fire protection agency for review and approval.

Submit a set of signed or wet-stamped water system plans approved by the local fire protection agency to EHB for review and approval.

17. EHSP03 - ABANDON EXISTING ONSITE WASTEWATER TREATMENT SYSTEM(S)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The existing onsite wastewater treatment system (OWTS) currently serving 32101 McCoy Rd, Soledad shall be demolished or abandoned pursuant to the standards found in Monterey County Code (MCC), Chapter 15.20.090. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits apply for and obtain an OWTS Demolition permit for each existing system from the Environmental Health Bureau.

Demolish or abandon the existing OWTS according to the standards found in MCC 15.20.090.

18. EHSP04 - SEWER SYSTEM IMPROVEMENT DESIGN

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Engineered plans for the sewer system including all necessary redundancies shall be submitted to and approved by the City of Soledad. Plans shall be in conformance with Monterey County Code, Chapter 19.13 and the California Plumbing Code, Title 24 part 5 of the California Code of Regulations. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits submit plans to the City of Soledad for review and approval.

Submit written verification from the City of Soledad to the Environmental Health Bureau that plans have been reviewed and approved.

19. PW0001 - ENCROACHMENT (COM)

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Obtain an encroachment permit from the Department of Public Works and construct a commercial driveway connection to McCoy Road and all necessary improvement along the entire frontage of property. The design and construction is subject to the approval of the Public Works Director. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permit Issuance Owner/Applicant shall obtain an encroachment permit from DPW.

Improvements are to be completed prior to final of Building permit. Applicant is responsible to obtain all permits and environmental clearances.

20. PW0007 - PARKING STD

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits Issuance the Applicant's engineer or architect shall prepare a parking plan, Owner/Applicant/Engineer to submit plans for review and approval.

21. PW0008 - DEDICATION

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Dedicate to the County of Monterey, additional 10 feet along the entire frontage of the property on McCoy Road for street and right-of-way purposes. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits issuance the Applicant's surveyor shall prepare description of area to be dedicated. DPW can prepare deed.

22. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the Department of Public Works.

23. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

24. PWSP01 - NON-STANDARD (IMPROVEMENTS)

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Construct McCoy Road to cul-de-sac street standards along the property frontage. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Owner/Applicant/Engineer shall submit improvement plan prepared by a Register Civil Engineer to construct improvements along property frontage prior to Building permit for review and approval by the Department of Public Works.
2. Owner/Applicant shall construct improvements prior to final of Building permit.

25. PWSP02 - NON-STANDARD (SIGNAGE)

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Install W70 CA signage upstream of the intersection along Gloria-Camphora Road and cross-traffic does not stop W4-wp signage at the McCoy Road approach and as directed by the Department of Public Works. (Public Works)

Compliance or Monitoring Action to be Performed: Owner/Applicant shall install all signage prior to final of Building permit.

26. WRSP1 - STORMWATER DETENTION (NON-STANDARD CONDITION)

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer, addressing on-site and off-site impacts. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. The plan shall also include oil/grit separators for paved parking areas. Supporting calculations and construction details shall also be provided. Pond(s) shall be fenced for public safety. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

27. WRSP2 - COMPLETION CERTIFICATION (NON-STANDARD CONDITION)

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a registered civil engineer or licensed contractor that stormwater detention facilities have been constructed in accordance with the approved drainage plan. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit a letter to the Water Resources Agency prepared by a registered civil engineer or licensed contractor.

28. RHO001 - Affordable Housing Agreement

Responsible Department: Redevelopment

Condition/Mitigation Monitoring Measure: (Non-Standard Condition) Prior to issuance of the Use Permit, the applicant shall execute an Affordable Housing Agreement with the County, in a form acceptable to the Economic Development Director, that restricts the rents charged for the housing units to be affordable to very low- and low-income households earning not more than 60% of the County's Area Median Income (AMI). The term of affordability will be fifty five (55) years, consistent with the various state funding sources that are anticipated. Other provisions such as income qualification of the tenants and monitoring shall be as consistent with the County's Inclusionary Housing Program as possible, dependent on the ultimate funding sources. (Economic Development Dept.)

Compliance or Monitoring Action to be Performed: The applicant shall execute an Affordable Housing Agreement with the County, in a form acceptable to the Economic Development Director, that restricts the rents charged for the housing units to be affordable to very low- and low-income households earning not more than 60% of the County's Area Median Income (AMI).

29. FIRE012 - EMERGENCY WATER STANDARDS - WATER SYSTEMS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The emergency water system shall be available on-site prior to the completion of road construction, where a community water system is approved, or prior to the completion of building construction, where an individual system is approved. Approved water systems shall be installed and made serviceable prior to the time of construction. Water systems constructed, extended or modified to serve a new development, a change of use, or an intensification of use, shall be designed to meet, in addition to average daily demand, the standards shown in Table 2 of the Monterey County General Plan, NFPA Standard 1142, or other adopted standards. The quantity of water required pursuant to this chapter shall be in addition to the domestic demand and shall be permanently and immediately available Responsible Land Use Department: Mission Soledad Fire District.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule a fire dept. clearance inspection for each phase of development.

30. PDSP01 - OBTAIN ALL NECESSARY APPROVALS

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to issuance of demolition or building permits, the applicant must obtain all necessary approvals to enable the City of Soledad to provide sewer service to the project. The Applicant shall submit evidence of such approvals to the County of Monterey.

Compliance or Monitoring Action to be Performed: Prior to issuance of demolition or building permits, the applicant shall submit to the County of Monterey evidence of approval from the City of Soledad and LAFCO that extraterritorial sewer service can and will be provided to the subject property.