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**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

RIVER VIEW AT LAS PALMAS LLC (PLN150372)

RESOLUTION NO. 20 -006

Resolution by the Monterey County Planning Commission recommending that the Board of Supervisors:

- 1) Approve a Combined Development Permit consisting of:
 - a) A Use Permit and Design Approval to allow construction and operation of an approximately 90,000 square foot assisted living facility including: thirteen (13) casitas providing 26 separate units ranging in size from 1,513 to 3,757 square feet and totaling approximately 41,300 square feet; forty (40) assisted living units with 52 beds ranging in size from 360 to 587 square feet each and totaling approximately 27,000 square feet; a 21,600 square foot, three-story memory care facility including 39 living units ranging in size from 313 to 453 square feet and containing a total of 48 beds; and associated infrastructure including roads and grading of approximately 60,000 cubic yards; and
 - b) A Use Permit to allow development on slopes exceeding 25 percent; and
- 2) Incorporating an affordability component; and
- 3) Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

River View at Las Palmas Assisted Living Senior Facility, Toro Area Plan, (Assessor's Parcel Number: 139-211-035-000)

The RIVER VIEW AT LAS PALMAS LLC application (PLN150372) came on for a public hearing before the Monterey County Planning Commission on January 29, 2020 and February 12, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

- 1. FINDING:** **CONSISTENCY** – The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Toro Area Plan, Las Palmas Ranch Specific Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development.

EVIDENCE: a) The project (hereafter “Project”) involves a Combined Development Permit consisting of a Use Permit and Design Approval to allow construction and operation of an approximately 90,000 square foot assisted living facility including thirteen (13) “Casitas” providing 26 separate units ranging in size from 1,513 to 3,757 square feet and totaling approximately 41,300 square feet; a two-story 27,000 square foot “assisted care facility” providing forty (40) assisted living units with 52 beds ranging in size from 360 to 587 square feet each; a 21,600 square foot, three-story memory care facility including 39 living units ranging in size from 313 to 453 square feet and containing a total of 48 beds; associated infrastructure including roads and grading of approximately 60,000 cubic yards; and a Use Permit to allow development on slopes exceeding 25 percent.

The site owner, River View at Las Palmas LLC, has proposed a facility that would be licensed by the State of California as a Residential Care Facility for the Elderly, and is designed provide a continuum of care and supervision to residents, chosen voluntarily by persons at least sixty years of age and younger persons with compatible needs. The facility would be comprised of three levels of residence to accommodate the continuum of care based on individual needs: Casitas, Assisted Living Facility, and Memory Care Facility.

The 13 Casitas structures would provide 26 separate living units, designed specifically for seniors who may require varying levels of assistance in their basic living needs. The Casitas structures, providing 26 separate units with a total of 42 beds, would all be single-story, approximately 18 feet in height, range in size from 1,513 to 3,757 square feet, and would cover a total of about 41,300 square feet. One meal a day, shuttle service, maintenance and cleaning would be included in the residential agreement for each Casitas resident. Although Casitas residents may maintain some independence in their life style, including the option of fixing their own meals and keeping their vehicles, a full range of assisted living services would be available to them.

The Assisted Living Facility would include 40 living units ranging from 360 to 587 square feet each, and a total of 52 beds. The Assisted Living Facility will be contained in a single building that would be two stories and 28 feet in height, and would cover about

27,000 square feet. It would be designed specifically for seniors who may need a full range of assistance to meet their living needs, and would therefore offer a full range of services to each resident including meals, medical assistance, transportation, cleaning and laundry service.

The Memory Care Facility would be housed within a three-level structure approximately 30 feet in height, covering about 21,600 square feet. It would include 39 living units ranging from 313 to 453 square feet, and a total of 48 beds. The memory care facility is designed specifically for persons who need a full range of assistance to meet their living needs. All meals, medical assistance, transportation, cleaning and laundry service would be available for each resident.

As proposed, total structural coverage would be approximately 90,000 square feet or 13.2 percent of the site. Roads, driveways, and parking areas would cover an additional area of about 99,500 square feet. Total site coverage would be approximately 190,000 square feet or 27.8 percent of the site. Development of the project would require approximately 60,000 cubic yards of cut, most of which will be compacted and used on site, and 34,500 cubic yards of fill.

Approximately 80 non-native eucalyptus trees currently located on the project site would be removed and replaced with landscaping designed to both enhance residents' living environment and screen views of the project from neighboring properties and SR 68. See also Finding No. 5, Evidence d.

- b) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan (General Plan);
 - Toro Area Plan;
 - Las Palmas Ranch Specific Plan; and
 - Monterey County Zoning Ordinance (Title 21 - Inland).
- c) No conflicts were found to exist. The County received communications during the course of review of the project indicating inconsistencies with the text, policies, and regulations in these documents; however, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents above.
- d) Allowed Use – 2010 General Plan, Toro Area Plan, and Las Palmas Ranch Specific Plan. All policies of the 2010 General Plan, Toro Area Plan, and the Las Palmas Ranch Specific Plan have been reviewed by the County to ensure that the proposed amendment to the Las Palmas Ranch Specific Plan is consistent with the 2010 General Plan and does not create any conflict with existing zoning of the site. The County specifically finds that:

- The project site's land use designation is identified in the Toro Land Use Plan (Figure LU#10 of the 2010 General Plan) as Medium Density Residential, 2.61 units per acre;
- The project site's zoning classification is also Medium Density Residential, 2.61 units per acre;
- The County adopted the project site's current zoning classification on December 8, 1992;
- Pursuant to General Plan Policy LU-2.33, land designated for Medium Density Residential use is categorized as Urban Residential Land and appropriate for public and quasi-public uses;
- Pursuant to General Plan Policy LU-2.33, the proposed building coverage will be less than 35 percent of the site. Total structural coverage is proposed at approximately 90,000 square feet or 13.2 percent of the project site, which is also under the public and quasi-public maximum of 25 percent per General Plan Policy LU-6.1;
- Medium Density Residential zoning identifies rest homes and assisted living facilities as allowed uses pursuant to the issuance of a Use Permit; however, the Las Palmas Ranch Specific Plan does not explicitly allow nor prohibit rest homes or assisted living facilities within the plan area;
- Rest homes and assisted living facilities are similar to other uses and public quasi-public uses currently allowed in the zoning district through the approval of a conditional use permit;
- Rest homes and assisted living facilities are not considered residential uses, because they do not operate or function in a manner like independent residential units;
- Rest homes and assisted living facilities are not considered residential units, and are not subject to the current 1,031 residential unit limitation of the Las Palmas Ranch Specific Plan;
- The amendment to the text of the policies of the Las Palmas Ranch Specific Plan would facilitate the proposed project by clarifying that rest homes, assisted living and continuum of care facilities for seven or more persons, and similar uses are an allowed use within the Specific Plan area.
- Licensed residential care homes for aged persons or hospices of not more than six persons including any permitted rooming and boarding would be an allowed use within the Specific Plan area.

An amendment to Las Palmas Ranch Specific Plan is being processed concurrently with this Combined Development Permit (CDP), and CDP approval is conditioned on the Specific Plan amendment being

adopted and going into effect. The proposed amendment is hereby incorporated herein by reference.

- e) Allowed Use – Zoning. The subject property is a 15.74-acre, vacant parcel within Las Palmas Subdivision #1, south of River Road and west of Country Park Road, within the Las Palmas Ranch Specific Plan Area, approximately 1.25 miles west of Spreckels and 0.5 miles east of State Route 68 (SR 68) (Assessor's Parcel Number 139-211-035-000). No address has yet been assigned to the parcel. The zoning classification of the property is Medium Density Residential, 2.61 units per acre, with a Design Control overlay (MDR/2.61-D). The Las Palmas Ranch Specific Plan (LPRSP), Toro Area Plan, and 2010 Monterey County General Plan designate the project site as Medium Density Residential (MDR). The MDR designation is described as appropriate for a range of residential uses and housing types, recreational, public and quasi-public, and other uses that are incidental and subordinate to the residential use and character of the area (General Plan Policy LU-2.33a).

Pursuant to Monterey County Code (MCC) Section 21.12.050, the MDR district allows for a range of land uses to be approved with a conditional use permit. This range of uses includes rest homes, public and quasi-public uses, and other uses of a similar nature, density and intensity. The proposed project is consistent with these types of uses. Furthermore, the County finds that an assisted care facility is "similar in nature" to these types of uses and therefore, qualifies as a public/quasi-public use because it meets a demonstrated current and future need by offering enhanced specialty care of the elderly and is available to the public at large (Board of Supervisors Resolution No. 04-253, dated July 13, 2004). Therefore, the proposed project is an allowed use under the existing zoning classification, the general plan land use designation, and the LPRSP designation.

- f) As stated above, the proposed project is designed to provide a continuum of care and supervision to residents, chosen voluntarily by persons at least sixty years of age and younger persons with compatible needs. Although the project has been referred to as an "assisted living senior facility," the entire facility would be licensed by the State of California as a "Residential Care Facility for the Elderly" as defined by California Health and Safety Code section 1569.2, and would include assisted living as well as a main unit(s) offering higher levels of care (i.e., a continuum of care).

Furthermore, the proposed project is consistent with the description of a "rest home" use as defined in Title 21, Monterey County Code: 21.06.940 – Rest home. "Rest home" means a place used for the

rooming or boarding of any aged or convalescent persons, whether ambulatory or non-ambulatory, for which a license is required by a county or federal agency. The County has used, and is using, these terms interchangeably.

- g) Las Palmas Ranch Specific Plan Residential Build Out Maximum. Policy 5 of Section C (Housing & Residential Land Use) of Chapter II of the Las Palmas Ranch Specific Plan (LPRSP) limits the maximum number of residential units within the Specific Plan area to 1,031 residential units in accordance with Figure D and Figure E of the LPRSP. The proposed project would be a licensed Residential Care Facility for the Elderly (aka an assisted living facility), and is therefore not a residential use under the County code or the Specific Plan. Because the proposed project does not include standard single-family residences and is quasi-public in nature, the Las Palmas Ranch Specific Plan residential unit limitation of 1,031 does not apply to this project.

Additionally, because there is no residential component, the project is not required to provide inclusionary or affordable housing pursuant to 2010 General Plan Policy LU-1.19 (see also Finding No. 9 and supporting evidence). However, the Planning Commission also recommends that the applicant incorporate an affordability component into the project in order to strengthen the project's consistency with applicable Specific Plan policies.

- h) Lot Legality. The subject property, identified as Parcel Q, is shown on a final map entitled "Amended Map of Las Palmas Ranch Corey House Area/Unit 1" filed June 15, 1989 in the Office of the Recorded of Monterey County, California, in Volume 16 of Cities and Towns, Page 70. Therefore, the County recognizes the subject parcel as a legal lot of record.
- i) Review of Development Standards. See Finding No. 5 and supporting evidence.
- j) Design, Aesthetic Impacts, and Visual Resources. Pursuant to Section 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project minimizes impacts to visual resources in accordance with applicable policies of the Las Palmas Ranch Specific Plan, Toro Area Plan, and the General Plan. See Finding No. 5 and supporting evidence.
- k) Tree Removal. As proposed, the project includes removal of approximately 80 non-native eucalyptus trees. These trees would be replaced with landscaping designed to both enhance residents' living environment, and screen views of the project from neighboring

properties and State Route 68. Pursuant to MCC Chapter 21.64, 260, eucalyptus are not identified as a protected species of tree and no permit is required for removal of the identified trees. Also, pursuant to General Plan Policy OS-5.25, the applicant shall complete a pre-construction nesting survey by a qualified biologist to ensure nests of statutorily protected migratory birds and raptors are not disturbed during the breeding season (Condition No. 29/MM BIO-5). The applicant shall also be required to complete a pre-construction survey by a qualified biologist for protection of bats (Condition No. 28/MM BIO-4). Therefore, the proposed tree removal will not involve a risk of adverse environmental impacts, and implementation of the mitigation measures would ensure consistency with General Plan Policy OS-5.25. See also Finding No. 7 and supporting evidence.

- l) Development on Slope Exceeding 25 Percent. See Finding No. 6 and supporting evidence.
- m) Development Evaluation System / 2010 Monterey County General Plan Policy LU-1.19. See Finding No. 9 and supporting evidence.
- n) Long-Term Sustainable Water Supply. See Finding No. 8 and supporting evidence.
- o) Access. Access to the project would be provided from the signalized intersection of River Road and Las Palmas Road to River Run Road, then Woodridge Court, which currently terminates at the project site boundary. River Road is a public road maintained by the County of Monterey. Las Palmas Road, River Run Road, and Woodridge Court are private roads maintained by the Las Palmas Home Owners Association (LPHOA). The applicant has the necessary access rights to the site via a non-exclusive easement for ingress, egress, road and utilities. Nothing in the easement language limits use of the subject property to only residential uses. See Finding No. 1, Evidence n below regarding Proof of Access.

The project applicant, who owns the site, currently pays a monthly road maintenance fee to the LPHOA. Pursuant to a future private agreement between the applicant and the LPHOA, the applicant would pay a proportionate share for the use of the roads based on construction impacts and operation of the facility. Shuttle services would be provided to facility residents to access areas on the Monterey Peninsula and Salinas, including regular shuttle service for employees to transportation hubs nearby.

According to the traffic reports prepared for the project, a separate access would not be necessary to avoid impacts on traffic circulation within the adjacent residential subdivision because the level of service on subdivision roads providing access to the project site would be acceptable. Separate access also would not be necessary to ensure adequate emergency access (see Finding No. 7 and supporting evidence).

- p) Proof of Access. Pursuant to MCC Chapter 16.80, Regulations Relating to Applications Involving Use of Private Roads, the project involves intensification of use of a private road. The applicant is a party to a private road, and would access the project site from River Road (a County road) via the following private roads: Las Palmas Road, River Run Road, and Woodridge Court. Based on evidence submitted by the applicant in the form of a grant deed (Document No. 2013046807; recorded July 24, 2013), the attached property legal description describes an easement to the subject parcel over these private roads for ingress, egress, road and utilities. MCC Section 16.80.030.J defines an easement as a form of “private road agreement” between parties concerning the right to use private property as access to another parcel of private property. Since a legally executed document exists for the private road agreement, the County considers such documentation to be adequate evidence to demonstrate access. Hence, pursuant to MCC Section 16.80.030.M, the applicant has demonstrated proof of access to the property via a private road agreement.

Pursuant to MCC Section 16.80.040.B, the project is classified as a Tier 3 project subject to a private road agreement, but not a private road maintenance agreement. Per MCC Section 16.80.030.K, a private road maintenance agreement is an agreement between parties to a private road concerning the costs and responsibilities of those parties for upkeep and repair of the private road; however, no such agreement exists. The project applicant currently pays a monthly road maintenance fee to the LPHOA; however, the parties to the easement or private road agreement concur that this is an informal arrangement.

Pursuant to MCC Section 16.80.050.C, the County received a resolution from the LPHOA or applicable governing structure (Las Palmas Ranch Master Association Resolution No. 2019-01) asserting that the private roads within Las Palmas Ranch remain limited to residential use for the project parcel. Pursuant to MCC Section 16.80.060.B, the County finds that a substantive dispute exists regarding the costs of repairing or maintaining a private road as it relates to the project, and shall therefore apply a condition of approval (Condition No. 36) to require submittal of adequate documentation demonstrating that the dispute has been satisfactorily resolved, such as a private road maintenance agreement (i.e., an agreement between parties to a private road concerning the costs and responsibilities of those parties for upkeep and repair of the private road).

- q) The project was referred to the Toro Land Use Advisory Committee (LUAC) for review on October 26, 2015, and September 26, 2016. The project warranted referral to the LUAC because it involves

development subject to CEQA review, as well as a Design Approval subject to review by a public hearing body. On September 26, 2016, the LUAC voted 5 – 0 (with 3 members absent) to recommend approval of the project with a change. The change recommended by the LUAC involved revising the project to adhere to the Las Palmas Ranch Specific Plan regarding the allowed maximum number of housing units. The LUAC also commented that this is a commercial project that is inconsistent with the adjacent residential neighborhood. As noted above by the LUAC, the proposed development is a commercial project and not a residential project, and is therefore not subject to the build-out maximum for Las Palmas Ranch.

- r) County staff, including the environmental review consultant, conducted numerous site inspections between May 2015 and January 2019 to verify that the project on the subject parcel conforms to the plans listed above.
- s) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in RMA-Planning File No. PLN150372.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, RMA-Environmental Services, RMA-Public Works, RMA-Parks, the Environmental Health Bureau, (EHB), the Monterey County Sheriff’s Office, the Monterey County Regional Fire District (MCRFD), and the California Department of Forestry and Fire Protection (CalFire). There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. The following reports have been prepared, and were also used in the preparation of the EIR:
 - Geologic Hazards Report and Soil Engineering Feasibility Investigation (LIB150359) prepared by LandSet Engineers, Inc., Salinas, California, March 7, 2014;
 - Biological Assessment (LIB150360) prepared by Regan Biological and Horticultural Consulting LLC, Carmel Valley, California, December 15, 2011;
 - Biological Assessment Update (LIB150360) prepared by Regan Biological and Horticultural Consulting LLC, Carmel Valley, California, October 25, 2013;
 - Trip Generation Study (LIB150361) prepared by Hatch Mott MacDonald, Gilroy, California, March 12, 2014; and

- Trip Generation Study (LIB160001) prepared by Hatch Mott MacDonald, Gilroy, California, December 14, 2015.
- c) County staff independently reviewed these reports and concurs with their conclusions.
- d) As stated in Section 3.0, *Environmental Setting*, of the Draft SEIR, the project site is a knoll that rises above River Road and the existing subdivision with a flat plateau where the proposed buildings would be constructed. Proposed building foundations would be located in geologically suitable portions of the project site in accordance with findings of the geologic hazards report and soil engineering feasibility investigation, which was included as Appendix F to the Draft SEIR.
- e) County staff, including the environmental review consultant, conducted numerous site inspections between May 2015 and January 2019 to verify that the site is suitable for the proposed use.
- f) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN150372.

3. FINDING:

HEALTH AND SAFETY – The establishment, maintenance, or operation of the project will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE

- a) The project was reviewed by RMA-Planning, RMA-Environmental Services, RMA-Public Works, RMA-Parks, the Environmental Health Bureau (EHB), the Monterey County Sheriff's Office, the Monterey County Regional Fire District (MCRFD), and the California Department of Forestry and Fire Protection (CalFire). Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are either available or will be provided. The proposed development would be served by existing and new water, sewer, storm drain, and reclaimed water lines. California Water Service company would serve the proposed project with potable water. The wastewater collection and treatment system also has adequate capacity for sewage disposal, and will be serviced by California American Water company.

Potable water supply is provided to the Las Palmas Ranch Specific Plan Area by the California Water Service Company (Cal Water). The project site is located within Cal Water's Indian Springs/Salinas Hills/Buena Vista service area, and the water provided to this area

comes from the Salinas Valley Groundwater Basin. Cal Water has provided a “can and will serve” letter for the proposed project. See also Finding No. 8 and supporting evidence.

Landscape irrigation on the project site associated with the proposed project would use reclaimed water from the Las Palmas Ranch Wastewater Treatment Facility, operated by California American Water. Reclaimed water pipe connections to the treatment facility are already located on the project site.

- c) A Subsequent Environmental Impact Report (SEIR) has been prepared for the project, which identified mitigation measures to address potentially significant impacts to the extent feasible. By separate resolution considered concurrently herewith, the Planning Commission considered the Final SEIR, recommended certification of the Final SEIR, and recommended incorporation of mitigation measures as conditions of project approval.

Various mitigation measures and conditions of approval will be required of the project to ensure that it does not result in safety hazards. These include measures and conditions such as requiring that employee shift changes to the project site (once the senior living community is operational) occur outside of peak traffic hours (Condition No. 33/MM TRA-1); requiring a shuttle service plan for residents and staff of the senior living community (Condition No. 34/MM TRA-2); and requiring that employees at the senior living community display windshield tags, eliminating the need to check each employee’s vehicle, reducing the length of queues at the gate, and allowing security staff to better monitor activities.

Additionally, the applicant would be required to enter into a Maintenance Agreement that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures (Condition No. 13). The applicant would also be required to prepare an Operations and Maintenance Plan (Condition No. 14), a Stormwater Control Plan (Condition No. 15), a Final Improvement Plan (Condition No. 20/MM AES-3), as well implement Dust Control Measures (Condition No. 22/MM AQ-1) and reduce construction exhaust emissions (Condition No. 24/MM AQ-3).

- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in RMA-Planning File No. PLN150372.

4. FINDING:

NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.
- b) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150372.

5. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:** a) The applicant proposes to develop the vacant 15.74-acre lot with an approximately 90,000 square foot assisted senior living facility consisting of multiple structures and associated site improvements. See Finding No. 1, Evidence g above for a detailed description of the proposed development.
- b) Pursuant to Section 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
- c) Visual Resources and Aesthetic Impacts. State Route (SR) 68 is a designated scenic highway of the state's Scenic Highway Program from SR 1 in Monterey to the Salinas River. SR 68 provides views of open space, agricultural land, and the Santa Lucia Mountains that border the Salinas Valley. Additionally, the Toro Area Plan designates the River Road/SR 68 intersection as a scenic entrance (Policy T-3.2), designates the land surrounding River Road in the vicinity of the project site as visually sensitive (Policy T-3.1), and identifies River Road and Reservation Road as proposed scenic routes.

The project site is visible from a scenic-designated stretch of SR 68 for a distance of approximately 3,000 feet (0.57 miles). The site is also visible from portions of Reservation Road, and from within the adjacent residential subdivision. The project site is adjacent to River Road, but is minimally visible from this road due to topography and vegetation. The site is not visible from the River Road/SR 68 intersection, but is within a visually sensitive area as mapped by Figure 16 of the Toro Area Plan.

The project is similar in design and density to the Las Palmas Ranch residential neighborhood to the east and south. Applicable visual resource policies from the 2010 Monterey County General Plan, Las Palmas Ranch Specific Plan (LPRSP), and the Toro Area Plan, as well as analysis in the LPRSP EIR, anticipated that views from River

Road would become more urbanized, and that development would be visible from scenic-designated SR 68. The LPRSP EIR established mitigation measures to reduce aesthetic impacts associated with development of the Las Palmas Ranch Specific Plan Area. Those measures, such as tree planting and a River Road setback, are incorporated into the plans of the proposed project. Development of the project site, therefore, does not represent an aesthetic impact that has not previously been analyzed and found to be less than significant. However, the County has applied mitigation measures AES-1 through AES-4 to ensure that the project mitigates aesthetic impacts consistent with the LPRSP EIR. The project plans and mitigation measures also ensure compliance with the Toro Area Plan, which requires that development in visually sensitive areas is located and designed to enhance the scenic value of the area. The mitigation measures require landscape screening, earth-toned building colors, undergrounding of utility and distribution lines, and unobtrusive lighting. Also, as designed and located on the site, the structures would not be visually obtrusive, consistent with LPRSP Policy F.11.

Therefore, as proposed and mitigated, the project would not result in adverse visual impacts, and the project is consistent with the applicable visual resource policies of the 2010 General Plan, the Toro Area Plan, and the LPRSP.

- d) Review of Development Standards. The development standards for the MDR zoning district are identified in MCC Section 21.12.060. Required setbacks in the MDR district for main structures are 20 feet (front), 10 feet (rear), and 5 feet (sides). As proposed, the structures would have approximate setbacks of 220 or more feet (front), 30 to 78 feet (rear), and 40 to 90 feet (sides).

Pursuant to MCC Section 21.12.060.C, the maximum main structure height is 30 feet. The proposed height for the Memory Care facility is 30 feet, the proposed height for the Assisted Care facility is 25.00 feet, and the proposed heights for the Assisted Living Casitas is 18.25 feet. The County has applied Condition No. 7, Height Verification, to ensure the structures do not exceed the maximum height allowed.

Pursuant to MCC Section 21.12.060.C, the maximum allowed site structural coverage is 35 percent. The property is approximately 15.74 acres or 685,634 square feet, which would allow site structural coverage of 239,972 square feet. As proposed, the structures would result in site coverage of 90,006 square feet (13.2 percent).

Therefore, as proposed, the project meets all required development standards.

- e) Material and Color Finishes. The Applicant proposes exterior colors and materials that are consistent with the surrounding setting. The

primary colors and materials for the Assisted Care and Memory Care facilities include faux stone tile roofing, muted green shingle and stone veneer siding, muted green stucco, gray iron railing, and off-white or beige trim, doors, and windows. The primary colors and materials for the Assisted Living Casitas include faux stone tile roofing, muted brown shingle and stone veneer siding, muted beige stucco, and beige trim, doors, and windows. As proposed, the exterior colors and finishes would blend with the surrounding environment, are consistent with the surrounding neighborhood character, and are consistent with other structures in the neighborhood.

- f) Neighborhood Character. As proposed, the bulk and mass of the proposed structures would not contrast with the neighborhood character. As describe above, the proposed project is similar in design and density to the adjacent Las Palmas Ranch residential neighborhood, which has many two-story residences as well as a three-story commercial structure (i.e., the Corey House). The proposed site structural coverage is only 13.2 percent, and the larger structures (i.e., the three-story Memory Care and two-story Assisted Care facilities) would be located further away from the residential neighborhood (i.e., over 300 feet from the nearest residences). All structures would also use earth-toned exterior colors and landscaping to further screen the development from the view of adjacent residences.
- g) Private Views. Concerns were expressed by interested members of the public regarding the proposed structure heights and the impact on private views and privacy of surrounding residences. Private views and privacy are not protected under applicable policies or MCC. Although some homeowners may be able to see the proposed development from their private residences, views of the proposed project site from within the adjacent residential subdivision are obstructed by single-family residences and existing topography.
- h) Ridgeline Development. MCC Section 21.06.950 defines “ridgeline development” as “development on the crest of a hill which has the potential to create a silhouette or other substantially adverse impact when viewed from a common public viewing area.” The project site is a plateaued area rising above River Road and the adjacent subdivision residences. The common public viewing areas that the project would be visible from include short portions of River Road, in close proximity to the site, and a portion of State Route 68, at a distance. Although the site is naturally elevated above its immediate surroundings, the broader surroundings include a range of elevations, with nearby hills of substantially greater elevations, and the project would not result in ridgeline development. As proposed, the structures would be silhouetted against a mountainous background, not against the sky, when viewed from common public viewing areas.

Additionally, project mitigation measures will require landscape screening and earth-toned building colors to further minimize project visual impacts.

- i) The project planner reviewed the application materials, plans, and County GIS records to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character or scenic/visual resources. County staff, including the environmental review consultant, also conducted numerous site inspections between May 2015 and January 2019 to verify that the proposed project would be consistent with uses and structures in the surrounding area.
- j) The River View at Las Palmas Assisted Living Senior Facility Project Draft SEIR dated January 2018, and Final SEIR dated September 2019, incorporated herein by reference.
- k) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150372.
- l) Based on the evidence described above, the proposed structures and use are consistent with the surrounding residential, commercial, and agricultural neighborhood character (i.e., structural design features, colors, and material finishes). The proposed development would also not have a significant impact on a public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

6. FINDING:

DEVELOPMENT ON SLOPE EXCEEDING 25 PERCENT –

There is no feasible alternative which would allow development to occur on slopes of less than 25 percent.

EVIDENCE: a) Pursuant to 2010 General Plan Policy OS-3.5, development on slopes in excess of 25 percent shall be prohibited except as stated below; however, such development may be allowed pursuant to a discretionary permit if one or both of the following findings are made, based upon substantial evidence:

- 1. There is no feasible alternative which would allow development to occur on slopes of less than 25 percent; and/or
- 2. The proposed development better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

Pursuant to the policies of the Monterey County 2010 General Plan and applicable MCC, a Use Permit is required and the criteria to grant said permit have been met. No feasible alternative to access or develop the building site exists.

- b) The project includes application for 26,135 square feet of development on slopes exceeding 25 percent to allow construction of the Casitas and an access road to the building site, construction of

retaining walls, and slope stabilization. Due to the topography of the parcel, the proposed building site is not accessible from Woodridge Court without development on slopes exceeding 25 percent to allow improvements to the existing access road. The retaining walls and slope stabilization are required to ensure the development does not cause off-site impacts. Staff has reviewed the project plans and visited the site to analyze possible development alternatives. Based on existing site access and topographical limitations for the proposed project, there is no feasible alternative which would allow development to occur on slopes of less than 25 percent. All development has been sited and designed to conform to site topography and to minimize grading and other site preparation activities, consistent with applicable policies and regulations.

- c) A Geologic Hazards Report and Soil Engineering Feasibility Investigation (LIB150359) prepared for the project determined that as proposed the project would not be subject to, nor increase, any on- or off-site slope stability hazards. The building foundations would be located within the geologically suitable building envelope as described in the report, which would avoid environmental impacts related to landslides.
- d) The County reviewed the application materials, including plans, to verify the subject project minimizes development on slopes exceeding 25 percent in accordance with the applicable goals and policies of the Monterey County 2010 General Plan and applicable zoning codes. The proposed access road is the minimum necessary to accommodate access to the site as well as access by emergency response vehicles.
- e) The River View at Las Palmas Assisted Living Senior Facility Project Draft SEIR dated January 2018, and Final SEIR dated September 2019, incorporated herein by reference.
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN150372.

7. FINDING:

WILDFIRE PROTECTION STANDARDS IN STATE

RESPONSIBILITY AREAS – The subject project, as conditioned, will ensure standardized basic emergency access and fire protection pursuant to Section 4290 of the Public Resource Code.

EVIDENCE:

- a) The project site is within the Monterey County State Responsibility Area, and the project would expose people and structures to risk of wildland fire where proposed residential development is adjacent to undeveloped open space.
- b) Monterey County Code Section 18.56, Wildfire Protection Standards in State Responsibility Areas, requires that future design and construction of structures, subdivisions and developments in State Responsibility Areas shall provide for emergency access and perimeter wildfire protection measures. The proposed development,

as designed and conditioned, provides for emergency access and fire suppression.

Per the consultations with California Department of Forestry and Fire Protection (CalFire) and Monterey County Regional Fire District (MCRFD), the site's proposed emergency evacuation route is sufficient per current State regulations because the length of the site's access road does not exceed the distance that would result in a requirement for secondary ingress/egress. Due to the occupancy type, the site would be subject to Wildland Building Standards, which could allow occupants to "protect in place" in the event of a fire and as determined by the applicable Fire Department based on fire conditions. Per MCRFD and CalFire, the proposed tree removal would help reduce fuel load and the risk of wildfire. Additionally, the proposed development would not increase wildfire risk, and would likely improve the firebreak and firefighting protection for the residential area of Las Palmas.

- c) To the extent practicable, ingress and egress for the subdivision meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code and any applicable local ordinance.
- d) The project is consistent with Chapter 18.56 of the Monterey County Code, to the extent applicable. In 1992, the Monterey County Board of Supervisors adopted Ordinance No. 3600, enacting Chapter 18.56 of the Monterey County Code, to implement Public Resources Code sections 4117 and 4290. The purpose of the ordinance is to establish wildfire protection standards in conjunction with building, construction, and development in State Responsibility Areas (SRAs) within the unincorporated area of the County and within the "direct fire protection authority of the California Department of Forestry." (Chapter 18.56, sec. 18.56.010.A.) These standards require that future design and construction of development in SRAs provide for emergency access and perimeter wildfire protection measures. Chapter 18.56 was added to Title 18 of the Monterey County Code where it has remained since 1992. In 1992, the Board of Forestry and Fire Protection (the Board of Forestry) certified the Ordinance.
- e) The conceptual landscape plan submitted by the applicant and analyzed during environmental review provides for maintained and irrigated defensible space around the proposed structures.
- f) During project review, applicable agencies and departments have reviewed the proposed development to ensure the following: 1) all driveways meet minimum requirements regarding width, surface, grade, and turning radius or turnaround; 2) maintenance of adequate defensible space around all structures; and 3) all structures will have adequate fire protection equipment [sprinkler systems], fire alarms systems, and roof construction.

8. FINDING:

LONG-TERM SUSTAINABLE WATER SUPPLY AND ADEQUATE WATER SUPPLY SYSTEM

– The project has a long-term, sustainable water supply, both in quality and quantity, and an adequate water supply system to serve the development as required by General Plan Policies PS-3.1 and PS-3.2, respectively.

- EVIDENCE:**
- a) The new development will use or require the use of potable water. The existing water use is negligible and the baseline condition was considered to be zero. As proposed, the assisted living facility will use approximately 11.376 acre feet of water per year.
 - b) The project's water supply would be provided by the California Water Service company (CWS). The project site is located within CWS's Indian Springs/Salinas Hills/Buena Vista service area, and CWS would provide potable water to the site from wells located in the Salinas Valley groundwater basin. The CWS wells and the project site are located in the Monterey County Water Resources Agency benefit assessment Zone 2C, and the project applicant/owner has been paying the Zone 2C assessment. Landscape irrigation on the project site associated with the proposed project would use reclaimed water from the Las Palmas Ranch Wastewater Treatment Facility, operated by California American Water.
 - c) CWS as the water provider is a regulated public utility which is mandated to provide water that meets public health standards and thus has adequate water quality as required by PS-3.2(a).
 - d) Potable water would be provided by CWS via its entitlements detailed in the Draft SEIR, incorporated herein by reference. This satisfies the criteria in PS-3.2(b), which points to the authorized production capacity of a facility operating pursuant to a permit from a regulatory agency. CWS projected that, under all hydrologic conditions, its groundwater supply for the Salinas District will fully meet future demands through 2040. CWSC has also provided a "can and will serve" letter for the proposed project that indicates the applicable water purveyor for the site is able to provide water supply for the proposed project based on its existing facilities.
 - e) CWS has the technical, managerial, and financial capability to provide water to the subject site consistent with PS-3.2(c). CWS has a proven record and has demonstrated its technical, managerial and financial capabilities to deliver water.
 - f) PS-3.2(d) requires consideration to the rights to water from the source. In this case, CWS's Urban Water Management Plan (UWMP), which is incorporated by reference in the Draft SEIR and herein by reference, provides detailed information on the Salinas District's historical and projected water demands, water supplies, supply reliability and vulnerabilities, water shortage contingency planning, and demand management programs, including water conservation planning. The Draft SEIR sufficiently analyzed water supply availability and reliability. As stated above, CWS projected

that its groundwater supply for the Salinas District will fully meet future demands through 2040 under all hydrologic conditions.

- g) General Plan Policy PS-3.2(e) and (g) state:
 - e. *Cumulative impacts of existing and projected future demand for water from the source, and the ability to reverse trends contributing to an overdraft condition or otherwise affecting supply; and to those resources and species.*
 - g. *Completion and operation of new projects, or implementation of best practices, to renew or sustain aquifer or basin functions.*

Although the Salinas Valley Groundwater Basin is currently in overdraft, actions taken by both CWS and Monterey County Water Resources Agency (MCWRA), including conservation, system improvements, and future projects are projected to continue to provide for a reliable water supply. Relevant efforts include the Salinas Valley Water Project, Conservation Master Plan, and Greater Monterey County Integrated Regional Water Management Program. Additional detail of these efforts is provided in the Draft SEIR and Final SEIR, and is incorporated herein by reference.

- h) Substantial evidence related to proof of a sustainable water supply for the project is provided in the following documents, which are incorporated herein by reference:
 - Analysis and references in the Draft SEIR and Final SEIR, including Section 10.0, *Water Supply*;
 - California Water Service's will-serve letter included in Draft SEIR Appendix E;
 - California Water Service's *updated* will-serve letter included in Final SEIR Appendix I-2; and
 - Discussion and analysis in responses to comments and Final SEIR.
- i) The Las Palmas Ranch Specific Plan FEIR estimated total water demand for the Specific Plan area to be 922 AFY. When proposed, the specific plan included 1,578 housing units, which was evaluated in the specific plan EIR. However, the County ultimately approved only 1,031 housing units, approximately sixty-five percent of the original number. Sixty-five percent of 922 AFY would result in a corresponding water demand of approximately 599 AFY. Actual water use for the specific plan area is estimated at approximately 182 AFY. Therefore, the total water use ($182 + 11.4 = 193.4$ AFY) would be approximately 405.6 AFY less than the County approved in 1983 for the specific plan area. The 182 AFY estimate of actual water use is based on the amount of wastewater flow as described in the Draft SEIR.
- j) The proposed project is new development within benefit assessment Zone 2C of the Monterey County Water Resources Agency which provides funding for water projects that address seawater intrusion in the Salinas Valley groundwater basin. The property owners have

been paying annual assessments to receive benefits associated with water projects that improve water supply and water quality. See Section 10.0 of the Draft SEIR, pages 10-2 through 10-6 for a discussion related to Zone 2C and benefits associated with paying property assessments.

- k) Sustainable Groundwater Management Act of 2014 (SGMA). The State of California passed legislation in 2014 to provide for the sustainable management of basins at a local level by providing local agencies with the authority, and with technical and financial assistance, to sustainably manage groundwater. SGMA uses California Groundwater Bulletin 118 (2016 Update) to determine a category for each groundwater basin.

Cal Water extracts groundwater from two hydraulically connected sub-basins of the groundwater basin known as the Pressure Subarea and the East Side Subarea. The Pressure Area is a region of gradually declining groundwater elevations and is characterized by three confined aquifer systems, overlain and separated by thick clay layers that act as aquicludes. These aquifers named for their relative depths are known as the “180-foot”, the “400-foot”, and “900-foot” aquifers. The groundwater level in the East Side Area is declining more rapidly than any other area in the groundwater basin. The East Side Area is comprised of unconfined, randomly scattered water bearing strata. The State has designated the 180-foot and 400-foot aquifers as critically over-drafted.

The Act requires that aquifers identified as being in critical overdraft have Groundwater Sustainability Plans (GSPs) adopted by 2020 and that improvements/actions required by that plan be operational by 2040. The Act also requires that aquifers identified as a Medium or High Priority Basin, but not in critical overdraft, have Groundwater Sustainability Plans adopted by 2022 and that improvements/actions required by that plan be operational by 2042. The groundwater basin is identified as a High Priority Basin, and the 180-foot and 400-foot aquifers of the Pressure Subarea and the East Side Subarea sub-basins are identified as in critical overdraft. Therefore, a plan must be adopted by 2020 and actions to bring the basin into a sustainable state, as defined in the local GSP, must be operational by 2040.

A Groundwater Sustainability Agency, the Salinas Valley Basin Groundwater Sustainability Agency (SVBGSA), was formed in 2017 for the area within which the project is located. The SVBGSA is charged with achieving groundwater sustainability through the development and implementation of Groundwater Sustainability Plans (GSPs) under this Act. The SVBGSA has been preparing GSPs for this area (<https://svbgsa.org>) to meet its legislative mandate to bring the basin into balance and to have the GSP adopted for the

Pressure Subarea and the East Side Subarea sub-basin areas by 2020. In January 2020, the Salinas Valley Basin Groundwater Sustainability Agency adopted a Groundwater Sustainability Plan for the 180/400 aquifer sub-basin. See Section 10.0 of the Draft SEIR, and Section 4 of the Final SEIR, for related discussions.

- l) Regarding the General Plan requirement for MCWRA consultation to determine long-term, sustainable water supply (GP Policy PS-3.2) and the role of Monterey County Resource Management Agency (RMA), in March 2019 the MCWRA and the RMA executed a Memorandum of Understanding (MOU) for development services. Per the MOU, the performance of and responsibility for analysis of long-term, sustainable water supply pursuant to General Plan Policy PS-3.2 on discretionary projects was assumed by the RMA, which has the expertise of a Senior Hydrologist. Additionally, the RMA did consult with the MCWRA.

9. FINDING: DEVELOPMENT EVALUATION SYSTEM /MONTEREY COUNTY 2010 GENERAL PLAN POLICY LU-1.19 – The project, as proposed and conditioned, is consistent with Policy LU-1.19 of the 2010 General Plan.

- EVIDENCE:**
- a) The project is outside of a Community Area, Rural Center or official Affordable Housing Overlay and is thus subject to Policy LU-1.19. While the project is being considered in advance of adoption of the Development Evaluation System (DES), the County applies the criteria in Policy LU-1.19 to projects as applicable, pending adoption of the Development Evaluation System. Based on the specific facts associated with this application, it is determined that the project meets the evaluation criteria set forth in Policy LU-1.19 and would pass the DES. Policy LU-1.19 states: “*Community Areas, Rural Centers and Affordable Housing Overlay districts are the top priority for development in the unincorporated areas of the County. Outside of those areas, a Development Evaluation System shall be established to provide a systematic, consistent, predictable, and quantitative method for decision-makers to evaluate developments of five or more lots or units and developments of equivalent or greater traffic, water, or wastewater intensity. The system shall be a pass-fail system and shall include a mechanism to quantitatively evaluate development in light of the policies of the General Plan and the implementing regulations, resources and infrastructure, and the overall quality of the development. Evaluation criteria shall include but are not limited to:*
 - a Site Suitability*
 - b Infrastructure*
 - c Resource Management*
 - d Proximity to a City, Community Area, or Rural Center**Mix/Balance of uses including Affordable Housing consistent with*

- the County Affordable/Workforce Housing Incentive Program adopted pursuant to the Monterey County Housing Element*
- e Environmental Impacts and Potential Mitigation*
- f Proximity to multiple modes of transportation*
- g Jobs-Housing balance within the community and between the community and surrounding areas*
- h Minimum passing score*

Residential development shall incorporate the following minimum requirements for developments in Rural Centers prior to the preparation of an Infrastructure and Financing Study, or outside of a Community Area or Rural Center:

- 1) 35% affordable/Workforce housing (25% inclusionary; 10% Workforce) for projects of five or more units to be considered.*
- 2) If the project is designed with at least 15% farmworker inclusionary housing, the minimum requirement may be reduced to 30% total.*

This Development Evaluation System shall be established within 12 months of adopting this General Plan.”

Policy LU-1.19 seeks to direct development to locations designated for development (Community Areas, Rural Centers and Affordable Housing Overlay districts). The subject parcel is designated for Medium Density Residential development which is one of the higher intensity residential land uses within the County. The site is suitable for the development proposed, and the Medium Density Residential zoning district allows rest homes and other uses of a similar nature and intensity subject to a Use Permit. As noted in Finding No. 1, Evidence “b” above, the proposed development on the site is consistent with the land use and zoning. Also, the proposed use is considered compatible with residential uses.

- b) Infrastructure exists to the project site in the adjacent roadways and has the capacity to support the level of development proposed. No new infrastructure will need to be extended to the site, so the project will not encourage growth on parcels currently lacking utility connections.
- c) The site is not located in a Community area, Rural Center, or City; however, it is immediately adjacent to the largest of the Las Palmas Ranch residential areas, and is approximately 1.95 miles from the River Road Rural Center (Figure #RC5 of the 2010 General Plan). Shuttle services would be provided to facility residents to access areas on the Monterey Peninsula and Salinas, including regular shuttle service for employees to nearby transportation hubs.
- d) Public services that will be needed by residents of the proposed project are sufficient and located adequately. The project is expected to have less than significant impacts on public services such as police,

- fire, library, and medical services due to the nature of the project, and the existing services available within a serviceable distance.
- e) The project will also provide accommodations and housing for the elderly, an identified need within the greater community of Monterey County. The County's 2015 - 2023 Housing Element (adopted January 26, 2016; Board Resolution No. 16-011) states "*The number and percentage of elderly in the population is expected to increase in coming years. Further, significant increases are expected in the "older" elderly population of 85 years and up.*" Therefore, the project, as proposed and conditioned, is consistent with the 2010 General Plan Policy LU-1.19.

10. FINDING:

PROCESS – The County has processed the subject Combined Development Permit application (RMA-Planning File No. PLN150372/River View at Las Palmas LLC) ("Project") in compliance with all applicable procedural requirements.

EVIDENCE:

- a) A public hearing on the Project, including an amendment to the Las Palmas Ranch Specific Plan, was noticed at the Planning Commission for January 29, 2020. At least 10 days before the first public hearing date, notices of the hearing before the Planning Commission were published in the Monterey County Weekly, posted in at least 3 different public places on and near the subject property, mailed to residents within 300 feet of the project site, and mailed or emailed to interested parties. On January 29, 2020, at the request of staff due to information recently received, the Monterey County Planning Commission continued the public hearing to February 12, 20.
- b) On February 12, 2020, the Monterey County Planning Commission held a duly noticed public hearing to consider and make recommendations to the Board of Supervisors regarding approving the proposed Combined Development Permit.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby recommend that the Board of Supervisors:

A) Approve a Combined Development Permit consisting of:

- 1) A Use Permit and Design Approval to allow construction and operation of an approximately 90,000 square foot assisted living facility including: thirteen (13) casitas providing 26 separate units ranging in size from 1,513 to 3,757 square feet and totaling approximately 41,300 square feet; forty (40) assisted living units with 52 beds ranging in size from 360 to 587 square feet each and totaling approximately 27,000 square feet; a 21,600 square foot, three-story memory care facility including 39 living units ranging in size from 313 to 453 square feet and containing a total of 48 beds; and associated infrastructure including roads and grading of approximately 60,000 cubic yards; and
- 2) A Use Permit to allow development on slopes exceeding 25 percent;

with such Combined Development Permit being subject to the conditions of approval and in general conformance with the plans, attached hereto and incorporated herein by reference; and

B) Incorporate an affordability component; and

C) Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

PASSED AND ADOPTED this 12th day of February, 2020 upon motion of Commissioner Duflock, seconded by Commissioner Mendoza, by the following vote:

AYES: Duflock, Mendoza, Ambriz, Coffelt, Roberts, and Getzelman

NOES: Daniels, Diehl, Gonzalez, and Monsalve

ABSENT: None

ABSTAIN: None



Brandon Swanson, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 27 2020.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150372

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Amendment to the Las Palmas Ranch Specific Plan and Combined Development Permit (RMA-Planning File No. PLN150372) allows construction and operation of an approximately 90,000 square foot Residential Care Facility for the Elderly consisting of multiple structures and associated site improvements, and development on slope exceeding 25 percent. The property is located at the end of Woodridge Court, Salinas (Assessor's Parcel Number 139-211-035-000), Las Palmas #1 Subdivision, Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of RMA-Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "An Amendment to the Las Palmas Ranch Specific Plan and a Combined Development Permit (Resolution Numbers 20 - ___, 20 - ___, and 20 - ___) were approved by the Board of Supervisors for Assessor's Parcel Number 139-211-035-000 on April 21, 2020. The permit was granted subject to thirty-six conditions of approval and mitigation measures which run with the land. A copy of the permit is on file with Monterey County RMA-Planning."

Proof of recordation of this notice shall be furnished to RMA-Planning prior to issuance of grading and/or building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and/or building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to RMA-Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA-Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans.

4. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to RMA-Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to RMA-Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

5. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building and/or grading permits, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan;
- 2) Submit applicable fees at the time of submittal of the signed Agreement; and
- 3) Submit proof of recordation of the Agreement to RMA-Planning.

6. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three (3) years, to expire on March 3, 2023, unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Chief of RMA-Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to RMA-Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA-Planning and RMA-Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor to RMA-Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor to RMA-Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

8. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the RMA-Planning representative, and representatives from any other appropriate County Department(s). The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development to ensure all parties understand applicable requirements. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall contact RMA-Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities.

The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. RMA-Planning staff shall be responsible for identifying and notifying other County Department(s) that should attend the meeting (if applicable).

9. EHSP01 - ORGANIC WASTE DIVERSION AND SEPARATION OF RECYCLABLES (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The facility shall separate recyclables from other solid waste generated at their premises and shall place such recyclables into a different approved container to facilitate segregation at a solid waste facility pursuant to California Assembly Bill AB 341 and Monterey County Code, Chapter 10.41. Additionally, the facility shall implement an organic waste recycling program to divert organic waste pursuant to AB 1826 Chesbro (Chapter 727, Statutes of 2014). (Environmental Health Bureau)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the owner/applicant shall submit documentation to the Environmental Health Bureau, for review and approval, of a descriptive plan on how recyclables and organic waste will be collected and stored. Solid waste, recycling and organic waste enclosures shall be sized appropriately and located on the site plan.

10. PW0007 - PARKING STANDARD

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The parking stalls and circulation shall meet County standards, and shall be subject to the approval of RMA-Public Works. (RMA-Public Works and RMA-Development Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of building and/or grading permits, the owner/applicant/engineer/architect shall prepare and submit a parking and circulation plan to RMA-Public Works for review and approval.

11. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the owner/applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. (RMA-Public Works and RMA-Development Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of building or grading permits, the owner/applicant shall submit payment to RMA-Building Services for the traffic mitigation fee. The owner/applicant shall also submit proof of payment to RMA-Public Works.

12. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Waste Discharger Identification (WDID) number certifying the project is covered under the California Construction General Permit. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

13. MAINTENANCE AGREEMENT (PR4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to RMA-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to RMA-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to RMA-Environmental Services.

A copy of the standard Agreement can be obtained at RMA – Environmental Services.

14. OPERATION AND MAINTENANCE PLAN (PR4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Operation and Maintenance Plan prepared by a registered Professional Engineer that includes, at a minimum, the following:

- a) A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- b) O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices.
- c) The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

(RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to RMA-Environmental Services for review and approval.

15. STORMWATER CONTROL PLAN (PR4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Report and a Stormwater Control Plan, prepared by a registered professional engineer, to RMA-Environmental Services for review and approval. The report and plan shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include the location of the drainage facilities and construction details. The Stormwater Plan shall include the construction inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with the geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the stormwater control plan for conformance with the geotechnical recommendations.

16. FIELD VERIFICATION OF POST-CONSTRUCTION STORMWATER CONTROL MEASURES (PR4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a registered Professional Engineer that the stormwater control facilities have been constructed in accordance with the approved Stormwater Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit a letter to RMA-Environmental Services for review and approval.

17. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

18. MM AES-1: LANDSCAPE SCREENING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The owner/applicant shall prepare and submit a landscape plan to enhance screening from State Route 68, River Road, Reservation Road, and the adjacent neighborhood and trail. The landscaping plan shall include, but not be limited to, the following:

- a. Location, species, and size of plantings, which must be native and drought tolerant;
- b. Mounding, informal massing, or irregularly spaced trees, and plantings;
- c. Sufficient native trees and landscaping along the perimeter of the developed area to screen the buildings from State Route 68, River Road, Reservation Road, and the adjacent neighborhood; and
- d. Irrigation plan.

The landscape plans shall be subject to review and approval by the Monterey County Resource Management Agency Planning Director, prior to issuance of building permits. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the project proponent and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. This requirement will be included in permit conditions. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the owner/applicant shall submit a landscape screening plan to RMA-Planning for review and approval.

Prior to occupancy, the landscaping shall be installed and inspected.

On an ongoing basis, all landscaped areas and/or fences shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

19. MM AES-2: FINAL PLAN FOR EXTERIOR COLORS & MATERIALS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The owner/applicant shall submit a final plan for colors and materials used for the buildings, which shall be earth-toned to blend with the existing vicinity landscape, subject to the approval of the Monterey County Resource Management Agency Planning Director, prior to issuance of building permits. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the owner/applicant shall submit a final exterior color and material plan to RMA-Planning for review and approval.

20. MM AES-3: FINAL IMPROVEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant's final improvement plans shall include construction of all new utility and distribution lines on the project site underground. The improvement plans shall be subject to review and approval of the Monterey County Resource Management Agency Public Works Director, prior to issuance of a grading permit. (RMA-Public Works and RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of a grading permit for the project, the owner/applicant shall submit final improvement plans to RMA-Public Works for review and approval.

On an ongoing basis, the owner/applicant shall install and maintain utility and distribution lines underground.

21. MM AES-4: EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. Prior to the issuance of building permits, three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture shall be submitted to the Monterey County Resource Management Agency Planning Director. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Monterey County Resource Management Agency Planning Director, prior to issuance of a building permit. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of a building permit, the owner/applicant shall submit an exterior lighting plan to RMA-Planning for review and approval. The approved exterior lighting plan shall be incorporated into the final building plans.

Prior to final and/or occupancy, the owner/applicant/contractor shall submit written and photographic evidence demonstrating that the exterior lighting has been installed according to the approved plan.

On an on-going basis, the owner/applicant shall ensure that the exterior lighting is installed and maintained in accordance with the approved plan.

22. MM AQ-1: DUST CONTROL MEASURES

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of any grading or building permits, developers of the project site shall prepare a grading plan subject to review and approval by the Monterey County Resource Management Agency Planning Director. In the event that ground disturbance exceeds 2.2 acres per day for initial site preparation activities that involve extensive earth moving activities (grubbing, excavation, rough grading), and 8.1 acres per day for activities that involve minimal earth moving (e.g. finish grading) exceeding these limits, the required grading plans shall include the following dust control measures:

- a. Water all active construction sites continuously. Frequency should be based on the type of operation, soil, and wind exposure;
 - b. Prohibit all grading activities during periods of high wind (over 15 mph);
 - c. Apply chemical soil stabilizers on inactive construction areas (e.g., disturbed lands within construction projects that are unused for at least four consecutive days);
 - d. Apply non-toxic binders (e.g., latex acrylic co-polymer) to exposed areas after cut and fill operations and hydro-seed area;
 - e. Maintain at least 1'-0" of free-board on haul trucks;
 - f. Cover inactive storage piles;
 - g. Sweep streets if visible soil material is carried out from the construction site;
 - h. Limit the area under construction at any one time.
- (RMA-Planning and RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the owner/applicant/contractor shall submit a grading plan to RMA-Planning for review and approval. The dust control measures shall be included as notes on the grading plan.

23. MM AQ-2: DUST CONTROL SITE MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to commencement of construction activities, the developer and/or contractor shall appoint a construction foreman to act as site monitor to ensure that the dust control measures are implemented. Evidence of implementation shall be submitted in written form to the Monterey County Resource Management Agency Planning Director within three days of commencement of grading, and monthly thereafter as long as grading occurs. In addition, a publicly-visible sign written in English and Spanish with the telephone number and person to contact regarding dust complaints should be posted and continuously maintained at the project site during grading and construction activities. This person shall respond and take corrective action within 48 hours of receipt of any dust-related complaints. The phone number of the air district shall also be visible to ensure compliance with Rule 402 (nuisance). (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of grading and/or construction activities, the owner/applicant/contractor shall submit to RMA-Planning the name of the site monitor.

Within 3 days of commencement of grading and/or construction activities, the owner/applicant/contractor shall submit evidence to RMA-Planning that the dust control measures have been implemented, and that the required sign has been posted and is publicly visible.

Ongoing during grading and/or construction activities, the dust control measures and signage shall be implemented and/or maintained.

24. MM AQ-3: REDUCTION OF CONSTRUCTION EXHAUST EMISSIONS

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

Prior to the onset of site preparation, grading and construction activities, the project applicant(s) or developer(s) shall require in construction contracts that all off-road construction vehicles and all construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. The developer shall reduce nitrogen oxides exhaust and particulate matter emissions by implementing the following measures prior to the start of construction:

- Contractors shall install temporary electrical service whenever possible to avoid the need for independently-powered equipment (e.g. compressors);
 - Signs at the construction site shall be clearly visible to advise that diesel equipment standing idle for more than two minutes within 200 feet of sensitive receptors shall be turned off. This would include trucks waiting to deliver or receive soil, aggregate, or other bulk materials. Rotating drum concrete trucks may keep their engines running continuously if on-site and staged at least 100 feet away from residential areas;
 - Properly tune and maintain equipment for low emissions;
 - Stage large diesel powered equipment at least 200 feet from any sensitive land uses (e.g., occupied residences);
 - All equipment shall be checked by a certified visible emissions evaluator;
 - All non-road diesel construction equipment shall at a minimum meet Tier 3 emission standards listed in the Code of Federal Regulations Title 40, Part 89, Sub part B, §89.112; and
 - Whenever feasible, construction equipment shall use alternative fuels such as compressed natural gas, propane, electricity, or bio diesel.
- (RMA-Planning)

**Compliance or
Monitoring
Action to be Performed:**

Prior to the onset of site preparation, grading and/or construction activities, the owner/applicant(s) or contractor shall submit evidence demonstrating compliance with Mitigation Measure AQ-3 to RMA-Planning for review and approval.

25. MM BIO-1: PRE-CONSTRUCTION SURVEY - BADGER

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the start of construction activities, a qualified Monterey County-approved consulting biologist shall conduct pre-construction surveys of the grassland habitat on the site to identify any potential American badger burrows/dens. These surveys shall be conducted no more than 15 days prior to the start of construction. If a potential American badger burrow/den is found during the surveys, coordination with the California Department of Fish & Wildlife (CDFW) shall be undertaken in order to develop a suitable strategy to avoid impacts to American badger. After CDFW review and approval, impacts to active American badger dens shall be avoided by establishing exclusion zones around all active badger dens, within which construction related activities shall be prohibited until denning activities are complete or the den is abandoned. A qualified biologist shall monitor each den once per week in order to track the status of the den and to determine when a den area has been cleared for construction. The project proponent shall be responsible for the implementation of this mitigation measure, subject to monitoring by the Monterey County Resource Management Agency. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the start of construction activities, the owner/applicant shall submit evidence of pre-construction surveys from a qualified Monterey County-approved consulting biologist to RMA-Planning.

If a potential American badger burrow/den is found during the surveys, the owner/applicant shall then submit evidence to RMA-Planning showing coordination with and approval by the CDFW of a strategy to avoid impacts to American badger.

After CDFW review and approval, the avoidance strategies shall be implemented by the owner/applicant, and evidence of such implementation submitted to RMA-Planning.

If avoidance strategies are implemented, then a qualified biologist shall submit evidence of monitoring to RMA-Planning on a weekly basis.

26. MM BIO-2: PRE-CONSTRUCTION SURVEY - BURROWING OWL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To avoid/minimize impacts to burrowing owls potentially occurring on or adjacent to the project site, the project proponent shall retain a qualified Monterey County-approved consulting biologist to conduct a two-visit (i.e., morning and evening) presence/absence survey at areas of suitable habitat on and adjacent to the project site no less than 14 days prior to the start of construction or ground disturbance activities. Surveys shall be conducted according to methods described in the California Department of Fish & Wildlife (CDFW) Staff Report on Burrowing Owl Mitigation (CDFW 2012). If these pre-construction "take avoidance" surveys performed during the breeding season (February through August) or the non-breeding season (September through January) locate occupied burrows in or near construction areas, consultation with the CDFW shall occur to interpret survey results and develop a project-specific avoidance and minimization approach. The project proponent shall be responsible for the implementation of this mitigation measure, subject to monitoring by the Monterey County Resource Management Agency. (RMA-Planning)

Compliance or Monitoring Action to be Performed: No less than 14 days prior to the start of either ground disturbance or construction activities, the owner/applicant shall submit evidence to RMA-Planning of a two-visit pre-construction survey from a qualified Monterey County-approved consulting biologist.

If an occupied burrow is located during the survey, the owner/applicant shall then submit evidence to RMA-Planning showing coordination with and approval by the CDFW of an avoidance and minimization strategy.

After CDFW review and approval, the avoidance and minimization strategy shall be implemented by the owner/applicant, and evidence of such implementation submitted to RMA-Planning.

27. MM BIO-3: PRE-CONSTRUCTION SURVEY - DUSKY-FOOTED WOODRAT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A qualified Monterey County-approved consulting biologist shall conduct pre-construction surveys for woodrat nests within the development footprint. These surveys shall be conducted no more than 15 days prior to the start of construction. All woodrat middens shall be flagged for avoidance of direct construction impacts where feasible. If impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow the occupants to disperse. The project proponent shall be responsible for the implementation of this mitigation measure, subject to monitoring by the Monterey County Resource Management Agency. (RMA-Planning)

Compliance or Monitoring Action to be Performed: No more than 15 days prior to the start of construction activities, the owner/applicant shall submit evidence to RMA-Planning of a pre-construction survey from a qualified Monterey County-approved consulting biologist.

If an occupied midden is located during the survey, the owner/applicant shall then submit evidence to RMA-Planning demonstrating implementation of the requirements of this mitigation measure.

28. MM BIO-4: FOCUSED SURVEY - BATS

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

Prior to tree removal activities, the project proponent shall retain a qualified Monterey County-approved consulting biologist to conduct a focused survey for bats and potential roosting sites in trees to be removed and trees within 250 feet of the development footprint. These surveys shall be conducted no more than 15 days prior to the start of construction. The surveys can be conducted by visual identification and assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit.

If no roosting sites or bats are found, a letter report confirming absence shall be sent to the Monterey County Resource Management Agency and no further mitigation is required.

If bats or roosting sites are found, a letter report and supplemental documents shall be provided to the Monterey County Resource Management Agency prior to grading permit issuance and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

a. If bats are found roosting outside of the nursery season (which is May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 250-foot buffer zone (or different size if determined in consultation with the California Department of Fish & Wildlife (CDFW)) shall be established around the roosting site within which no construction activities including tree removal shall occur until after the nursery season.

b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal, the individuals will be safely evicted, under the direction of a qualified bat biologist and in consultation with the CDFW. Methods could include carefully opening the roosting area by hand to expose the cavity. Removal of the tree or snag shall be conducted no earlier than the following day (i.e., at least one night will be provided between initial disturbance and the tree removal). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

The project proponent shall be responsible for the implementation of this mitigation measure, subject to monitoring by the Monterey County Resource Management Agency. (RMA-Planning)

**Compliance or
Monitoring
Action to be Performed:**

No more than 15 days prior to tree removal activities, the owner/applicant shall submit evidence to RMA-Planning of a focused survey from a qualified Monterey County-approved consulting biologist.

If bats or roosting sites are found, the owner/applicant shall then submit evidence to RMA-Planning demonstrating implementation of the requirements of this mitigation measure.

29. MM BIO-5: PRE-CONSTRUCTION SURVEY - NESTING BIRDS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To avoid possible impacts to nesting birds on and adjacent to the project site, if noise generation, ground disturbance, vegetation and tree removal, including removal of non-native trees, or other construction activities begin during the nesting bird season (February 1 to September 15), or if construction activities are suspended for at least two weeks and recommence during the nesting bird season, then the project proponent shall retain a qualified Monterey County-approved consulting biologist to conduct a pre-construction survey for nesting birds. The survey shall be performed within suitable nesting habitat areas on and adjacent to the site to ensure that no active nests would be disturbed during project implementation. This survey shall be conducted no more than one week prior to the initiation of disturbance or construction activities.

If no active bird nests are detected during the survey, then project activities can proceed as scheduled. However, if an active bird nest of a native species is detected during the survey, then a plan for bird nest avoidance shall be prepared by the qualified biologist to determine and clearly delineate an appropriately sized, temporary protective buffer area around each active nest, depending on the nesting bird species, existing site conditions, and type of proposed disturbance or construction activities. The protective buffer area around an active bird nest is typically 75-250 feet, determined at the discretion of the qualified biologist.

To ensure that no inadvertent impacts to an active bird nest will occur, no disturbance and/or construction activities shall occur within the protective buffer area(s) until the juvenile birds have fledged (left the nest), and there is no evidence of a second attempt at nesting, as determined by the qualified biologist.

The project proponent shall be responsible for implementation of this mitigation measure with oversight by the Monterey County Resource Management Agency. Compliance with this measure shall be documented and submitted to the county. (RMA-Planning)

Compliance or Monitoring Action to be Performed: No more than one week prior to initiation of noise generation, ground disturbance, vegetation and tree removal (including removal of non-native trees), or other construction activities either during the nesting bird season (February 1 to September 15), or if construction activities are suspended for at least two weeks and recommence during the nesting bird season, the owner/applicant shall submit to RMA-Planning a nesting survey prepared by a County-approved consulting biologist to ensure that no active nests would be disturbed during project implementation.

If an active bird nest is located during the survey, the owner/applicant shall then submit evidence to RMA-Planning demonstrating implementation of the requirements of this mitigation measure.

30. MM BIO-6: PRE-CONSTRUCTION SURVEY - CTS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the start of construction, a qualified California tiger salamander (CTS) biologist shall conduct a pre-construction survey for CTS. The survey shall include a transect survey over the entire project disturbance footprint (including access and staging areas), and scoping of burrows for CTS occupancy. If CTS are documented on the surface or in burrows, no work can be conducted until the individuals leave the site of their own accord. If no CTS are found, the biologist shall collapse all small mammal burrows onsite within the disturbance footprint. After all burrows have been collapsed, a silt fence shall immediately be installed around the edges of the work area to the existing road. This fencing shall be buried to at least three inches. No equipment or disturbance shall be allowed outside of the silt fence, and fencing shall remain in place until the project is complete. If a California tiger salamander is observed at any time during burrow excavation or construction, all work shall cease, and the applicant shall contact the U.S. Fish & Wildlife Service for guidance before commencing project activities. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the start of construction, the owner/applicant shall submit evidence to RMA-Planning of a pre-construction survey for CTS completed by a qualified CTS biologist.

The owner/applicant shall also submit evidence, prepared by the biologist, to RMA-Planning demonstrating implementation of the requirements of this mitigation measure.

31. MM CTRA-1: TRAFFIC IMPACT FEES

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall pay applicable Transportation Agency for Monterey County (TAMC) and County of Monterey traffic impact fees. (RMA-Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or construction permits, the owner/applicant shall submit payment for the applicable fees to the County of Monterey Resource Management Agency.

32. MM ENG-1: ENERGY CONSERVATION POLICY CONSISTENCY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to approval of building permits for each of the project components, the owner/applicant shall submit a report to RMA-Planning demonstrating how the project is consistent with the energy conservation policies identified in the Las Palmas Ranch Specific Plan. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to final of building permits for each of the project components, the owner/applicant shall submit a report to RMA-Planning demonstrating how the project is consistent with the energy conservation policies identified in the Las Palmas Ranch Specific Plan.

33. MM TRA-1: REDUCE PEAK HOUR TRIP GENERATION

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: To reduce peak hour trip generation, specifically on SR 68, the owner/applicant will be required to schedule all morning, day, and night employee shift changes for project site operations to occur outside of morning and evening peak trip hours, from 7 am to 9 am and from 4 pm to 6 pm, respectively. (RMA-Public Works)

Compliance or Monitoring Action to be Performed: Prior to occupancy, the owner/applicant shall prepare and submit to RMA-Public Works for review and approval a schedule specifying that employee shift changes will occur outside of morning and evening peak trip hours, from 7 am to 9 am and from 4 pm to 6 pm, respectively. The approved schedule shall be adhered to on an ongoing basis.

34. MM TRA-2: REDUCE OVERALL TRIP GENERATION

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: To reduce overall trip generation to and from the project site, the owner/applicant shall prepare a detailed plan for shuttle service. Shuttle services shall be offered to residents to access areas on the Monterey Peninsula and in Salinas from the project site. Additionally, shuttle service to nearby transportation hubs for employees shall be offered in the shuttle service plan. If feasible, the shuttle fleet shall be electrically-powered, and electric vehicle (EV) infrastructure should be added to the project for both shuttle and visitor use. (RMA-Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of any building permit, the owner/applicant shall prepare a detailed plan for shuttle service and submit the plan to RMA-Public Works for review and approval.

Upon occupancy, the Owner/Applicant shall implement the approved shuttle service plan on an ongoing basis.

35. MM TRA-3: EMERGENCY ACCESS IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to occupancy of the proposed senior assisted living community, the owner/applicant shall install eight-foot turnouts on the entering and exiting lanes of the proposed extension of Woodridge Court between Country Park Road and the first internal parking lot aisle on the project site. Also, prior to occupancy, the owner/applicant shall install grass grid pavers on the section of lawn area between Woodridge Court and Country Park Road to provide an all-weather surface for secondary access. (RMA-Public Works)

Compliance or Monitoring Action to be Performed: Prior to occupancy, the owner/applicant shall install eight-foot turnouts on the entering and exiting lanes of the proposed extension of Woodridge Court between Country Park Road and the first internal parking lot aisle on the project site.

Prior to occupancy, the owner/applicant shall install grass grid pavers on the section of lawn area between Woodridge Court and Country Park Road to provide an all-weather surface for secondary access.

36. PDSP001 - PRIVATE ROAD MAINTENANCE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of grading and/or building permits for the project, the owner/applicant shall submit evidence of a properly executed private road maintenance agreement (i.e., an agreement between parties to a private road concerning the costs and responsibilities of those parties for upkeep and repair of the private road) to RMA-Planning. The private road maintenance agreement shall be between the owner/applicant for the subject project and the Las Palmas HOA (Las Palmas Ranch Master Association No. 1). Other acceptable forms of evidence are a written withdrawal of objections from the Las Palmas HOA, a final settlement or final judicial determination, or written documentation showing that a majority of the parties to a private road have agreed to repair and maintenance terms in light of the project.

The County is not a party to such private road maintenance agreement and does not interpret or enforce their terms and conditions, nor does the County have jurisdiction to adjudicate a dispute among the parties as to the maintenance of any private road. Pursuant to Monterey County Code Section 16.80.060.E, the RMA Chief of Planning shall have the authority to stay the expiration of the entitlement for the project for a period no greater than the number of days from initial filing of judicial proceedings to the final judicial determination or settlement regarding the access dispute. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the owner/applicant shall submit evidence of a properly executed private road maintenance agreement, or other acceptable form of evidence as noted above, to RMA-Planning.

PROJECT INFORMATION

APPLICANT / DEVELOPER: RIVER VIEW AT LAS PALMAS, LLC.
3771 RIO ROAD, SUITE 112
CARMEL, CA. 93924

SITE ADDRESS: PARCEL Q, AMENDED MAP OF LAS PALMAS RANCH
COREY HOUSE AREA / UNIT 1,
SALINAS, CA. 93908

LEGAL DESCRIPTION:

The land referred to herein below is situated in the unincorporated area, County of Monterey, State of California, and is described as follows:

PARCEL I:

Parcel Q, as said Parcel is shown on that certain map entitled "Amended Map of Las Palmas Ranch Corey House Area/Unit 1" filed June 15, 1989 in the Office of the Recorder of Monterey County, California in Volume 16, of Cities and Towns / Page 70. EXCEPT THEREFROM all underground water rights as described in the Deed to California Water Service Company, a California corporation recorded October 25, 1989 in Real 2427, Page 478, Official Records.

PARCEL II:

A non-exclusive easement for ingress, egress, road and utilities over that portion of River Run Road and Woodridge Court being a portion of Common Area Parcel C and Las Palmas Road being Common Area Parcel A as shown and designated on that Map entitled Amended Map of Las Palmas Ranch Corey House Area/Unit 1 Tract 1086A filed June 15, 1989, in Volume 16 of Cities and Towns at Page 70 in the Office of the County Recorder of Monterey County, California. Said easement shall be appurtenant to Parcel Q as shown and designated on the above referred to Map of Tract 1086A.

A.P.N.: 139-211-035

TOTAL SITE AREA: 15.67 ACRES (GROSS)
= ±682,585 SQ. FT.

GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL

EXISTING ZONING: MDR / 2.86 U/A

PROPOSED ZONING: MDR / 2.86 U/A

TOTAL UNITS PROPOSED: (28) - ASSISTED LIVING CASITAS UNITS
(50) - BED ASSISTED LIVING CARE FACILITY
(48) - BED MEMORY CARE FACILITY

OCCUPANCY GROUPS / CONSTRUCTION TYPES: ASSISTED LIVING CASITAS = R3 / VB
ASSISTED LIVING = R2.1 / VA
MEMORY CARE = R2.1 / VA

FIRE SPRINKLERS: YES - NFPA-13 w/ ATTIC SPRINKLERS

ALLOWED BUILDING HEIGHT: 30'-0" MEASURED FROM AVERAGE GRADE

PROPOSED BUILDING HEIGHT: 18'-3" ABOVE AVERAGE GRADE @ IND. LIVING
27'-9" ABOVE AVERAGE GRADE @ ASSIST. LIVING
41'-3" ABOVE AVERAGE GRADE @ MEMORY CARE

LOT COVERAGE: ASSISTED LIVING CASITAS = 41.341
ASSISTED LIVING = 27.052
MEMORY CARE = 21.613
PAVED DRIVEWAYS = 29.523
TOTAL COVERED AREA = 189.529
= 27.8 %

REQUIRED YARDS: FRONT = 30'-0"
REAR (SOUTH) = 20'-0"
SIDE (WEST) = 20'-0"
SIDE (EAST) = 20'-0"

FENCES: FRONT = NONE
REAR = NONE
SIDE (WEST) = NONE
SIDE (EAST) = NONE

ASSISTED LIVING CASITAS:

UNIT TYPE BREAKDOWN:

A' UNITS -1 BDRM 1 BATH @ 893 S.F. EA. x 10 = 8,930 S.F.
B' UNITS -2 BDRM 2 BATH @ 1,138 S.F. EA. x 8 = 9,104 S.F.
C' UNITS -2 BDRM 2 BATH @ 1,307 S.F. EA. x 4 = 5,228 S.F.
w/ DEN
B1' UNITS -2 BDRM 2 BATH @ 1,187 S.F. EA. x 3 = 3,561 S.F.
B2' UNITS -2 BDRM 2 BATH @ 1,179 S.F. EA. x 1 = 1,170 S.F.

TOTAL NUMBER OF UNITS: 26 UNITS
TOTAL SQ. FT. (LIVING AREA) = 27,993 S.F.

BUILDING TYPES: TYPE 1 A / A @ 2,503 S.F. EACH 2 = 5,006 S.F.
TYPE 2 A / A @ 3,757 S.F. EACH 2 = 7,514 S.F.
TYPE 3 B / B @ 3,002 S.F. EACH 3 = 9,006 S.F.
TYPE 4 C / C @ 3,595 S.F. EACH 2 = 7,190 S.F.
TYPE 5 B1 @ 1,513 S.F. EACH 3 = 4,539 S.F.
TYPE 6 B / B2 / B @ 4,535 S.F. EACH 1 = 4,535 S.F.
TOTAL SQ. FT. (GROSS) = 37,844 S.F.

ASSISTED CARE FACILITY:

BUILDING AREA: LOWER FLOOR: 16,332 S.F.
MAIN FLOOR: 27,052 S.F.
TOTAL BUILDING AREA: 43,384 S.F.

CENTRAL CORE AREAS: LOWER FLOOR: 7,838 S.F.
MAIN FLOOR: 7,317 S.F.
TOTAL COMMON AREA: 15,155 S.F.

UNIT TYPE BREAKDOWN:

A' UNITS -1 BDRM/1BATH @ 413 S.F. EA. x 17 = 7,021 S.F.
A1' UNITS -STUDIO @ 432 S.F. EA. x 4 = 1,728 S.F.
B' UNITS -STUDIO @ 360 S.F. EA. x 1 = 360 S.F.
B1' UNITS -STUDIO @ 360 S.F. EA. x 4 = 1,440 S.F.
B2' UNITS -STUDIO @ 456 S.F. EA. x 2 = 912 S.F.
C' UNITS -COMPANION SUITE @ 527 S.F. EA. x 2 = 1,054 S.F.
C1' UNITS -COMPANION SUITE @ 534 S.F. EA. x 5 = 2,670 S.F.
C' UNITS -COMPANION SUITE @ 566 S.F. EA. x 1 = 566 S.F.
E' UNITS -COMPANION SUITE @ 587 S.F. EA. x 2 = 1,174 S.F.
F' UNITS -COMPANION SUITE @ 532 S.F. EA. x 2 = 1,064 S.F.

TOTAL ROOMS = 40 = 17,989 S.F.
TOTAL - STUDIO / 1 BD = 28
TOTAL - COMPANION SUITE (2 BD) = 12
TOTAL BED COUNT = 52

MEMORY CARE FACILITY :

BUILDING AREA: MAIN FLOOR: 21,610 S.F.
LOWER FLOOR: 10,650 S.F.
UPPER FLOOR: 9,440 S.F.
TOTAL BUILDING AREA: 38,708 S.F.

CENTRAL CORE AREA: MAIN FLOOR: 5,281 S.F.
LOWER FLOOR: 543 S.F.
UPPER FLOOR: 6,440 S.F.
TOTAL COMMON AREA: 12,264 S.F.

UNIT TYPE BREAKDOWN:

A' UNITS -COMPANION SUITE @ 453 S.F. EA. x 9 = 4,077 S.F.
B' UNITS -STUDIO @ 313 S.F. EA. x 29 = 9,077 S.F.
C' UNITS -STUDIO @ 368 S.F. EA. x 1 = 368 S.F.
TOTAL ROOMS = 39
TOTAL - STUDIO = 30
TOTAL - COMPANION SUITE = 9
TOTAL BED COUNT = 48

PARKING DEVELOPMENT DATA :

ASSISTED LIVING CASITAS :

PARKING REQUIRED: (2) STALLS / UNIT = 52 STALLS
(2) STALLS x 26 UNITS
PARKING PROVIDED: (30) COVERED GARAGE STALLS
(16) OPEN STALLS

ASSISTED LIVING FACILITY :

PARKING REQUIRED: (1) STALL PER (3) BEDS = 18 STALLS
52 BEDS / 3 STALLS
PARKING PROVIDED: = 28

MEMORY CARE:

PARKING REQUIRED: (1) STALL PER (3) BEDS = 16 STALLS
48 BEDS / 3 STALLS = 32
PARKING PROVIDED: = 32

TOTAL SITE PARKING REQUIRED = 86 STALLS

TOTAL OPEN PARKING PROVIDED = 76

TOTAL GARAGE STALLS = 30

TOTAL PARKING PROVIDED (OPEN+GARAGE) = 106

PARKING STALL SIZE - MIN. REQ'D = 9'-0" x 19'-0"

MIN. 90°BACK UP REQUIRED = 24'-0"

DRIVEWAY WIDTH PROVIDED: = 24'-0"

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07.20.2015 EASEMENT REVISION

SHEET TITLE:

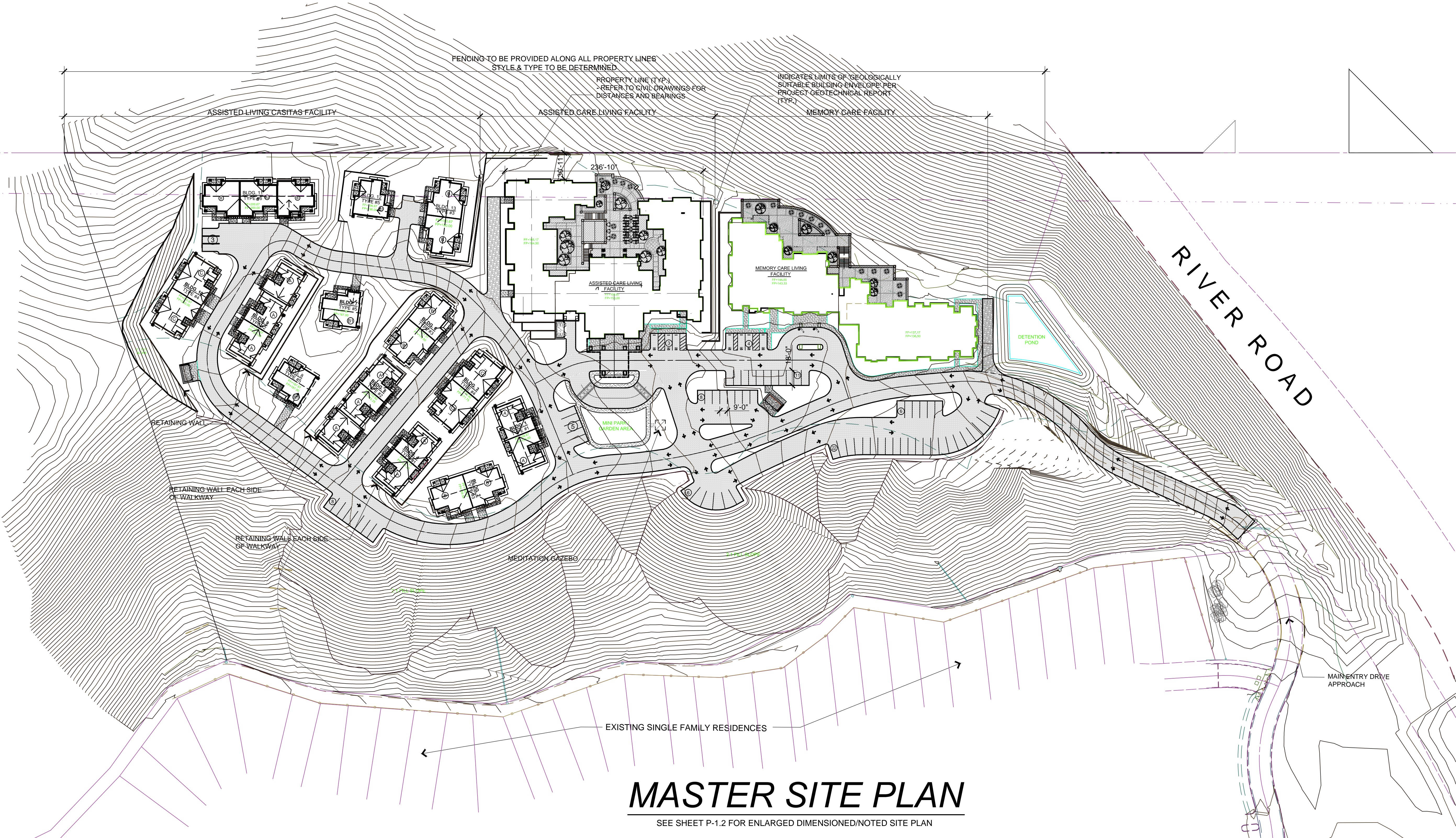
MASTER SITE PLAN

SCALE: 1" = 60'-0"

SHEET NO.

P-1.1

PROJECT NO. 1501



MASTER SITE PLAN

SEE SHEET P-1.2 FOR ENLARGED DIMENSIONED/NOTED SITE PLAN

SHEET INDEX

P-1.1 MASTER SITE PLAN
P-1.2 ENLARGED SITE PLAN
P-1.3 ARCHITECTURAL SITE DETAILS
P-1.4 ASSISTED CARE LANAI STRUCTURE

AC-0.1 ASSISTED LIVING CASITAS / UNIT FLOOR PLANS
AC-1.1 ASSISTED LIVING CASITAS. BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 1
AC-1.2 ASSISTED LIVING CASITAS. BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 2
AC-1.3 ASSISTED LIVING CASITAS. BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 3
AC-1.4 ASSISTED LIVING CASITAS. BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 4
AC-1.5 ASSISTED LIVING CASITAS. BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 5
AC-1.6 ASSISTED LIVING CASITAS BLDG. COORD. PLAN / EXT. ELEVATIONS - TYPE 6

AL-0.1 ASSISTED LIVING FACILITY - UNIT FLOOR PLANS
AL-0.2 ASSISTED LIVING FACILITY - UNIT FLOOR PLANS
AL-1.1 ASSISTED LIVING FACILITY - MAIN LEVEL BLDG. COORD. PLAN
AL-1.2 ASSISTED LIVING FACILITY - UPPER LEVEL BLDG. COORD. PLAN
AL-1.3 ASSISTED LIVING FACILITY - ROOF PLAN
AL-1.4 ASSISTED LIVING FACILITY - EXTERIOR ELEVATIONS
AL-1.5 ASSISTED LIVING FACILITY - EXTERIOR ELEVATIONS

MC-0.1 MEMORY CARE LIVING FACILITY - UNIT FLOOR PLANS
MC-1.1 MEMORY CARE LIVING FACILITY - LOWER LEVEL BLDG. COORD. PLAN
MC-1.2 MEMORY CARE LIVING FACILITY - MAIN LEVEL BLDG. COORD. PLAN
MC-1.3 MEMORY CARE LIVING FACILITY - UPPER LEVEL BLDG. COORD. PLAN
MC-1.4 MEMORY CARE LIVING FACILITY - ROOF PLAN
MC-1.5 MEMORY CARE LIVING FACILITY - EXTERIOR ELEVATIONS
MC-1.6 MEMORY CARE LIVING FACILITY - EXTERIOR ELEVATIONS

SITE LOCATION

21000 Country Park Road
Salinas, CA



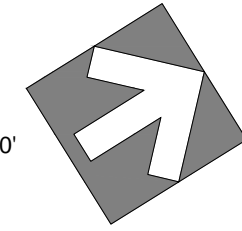
VICINITY MAP:
Salinas, CA

SCALE: N.T.S.



"RIVERVIEW AT LAS PALMAS"

SENIOR LIVING COMMUNITY
SALINAS, CA

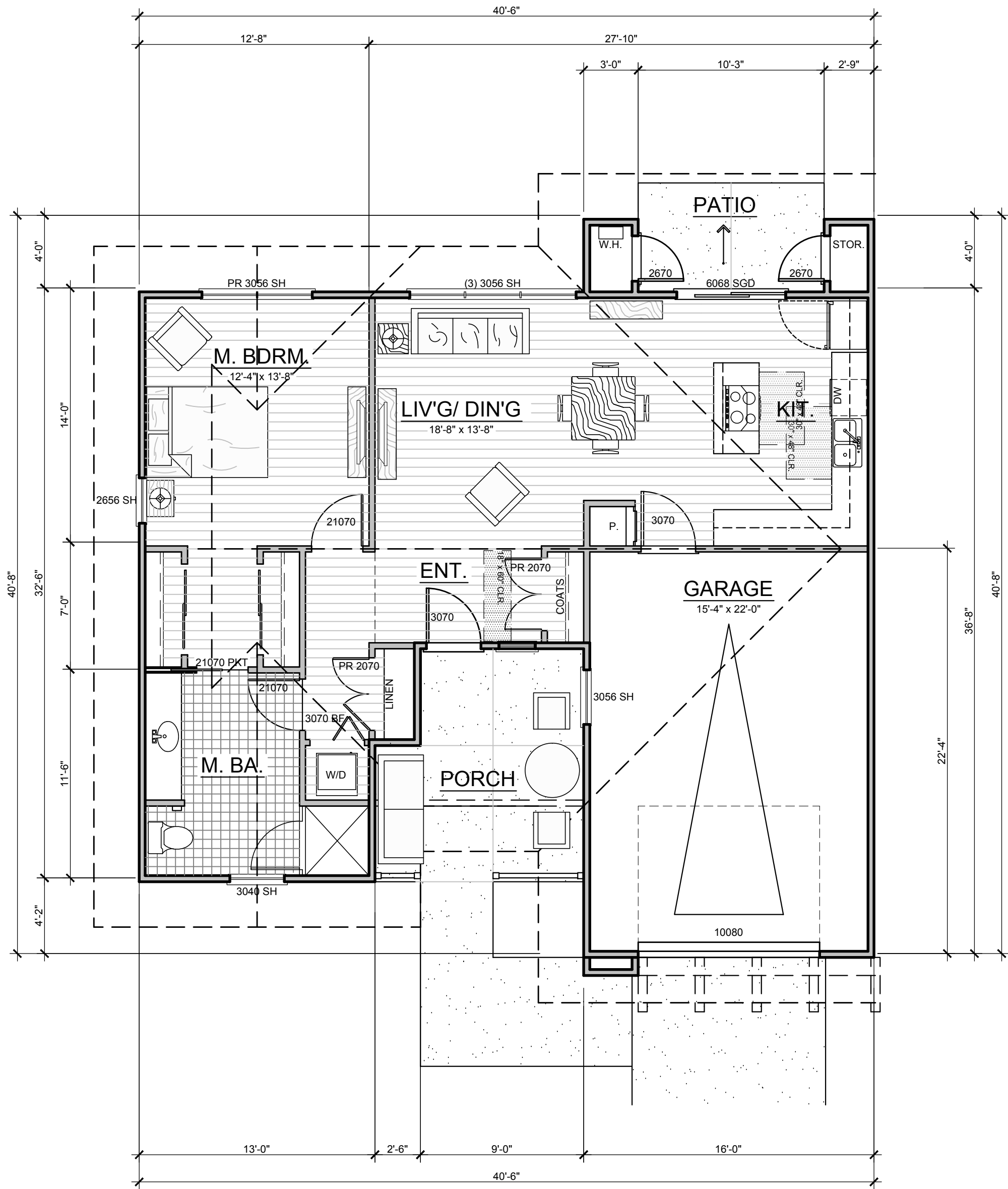


NORTH



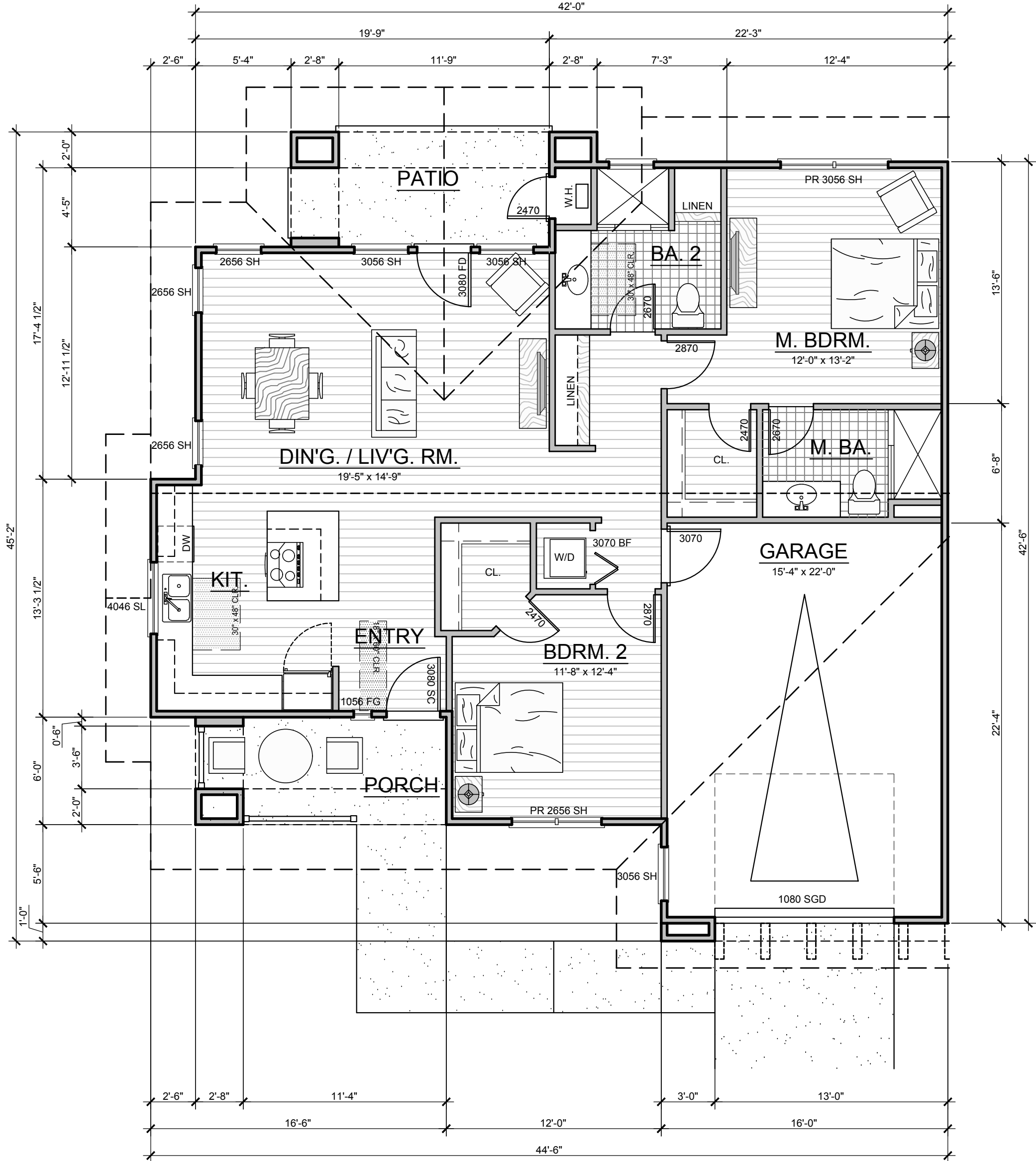
SENIOR LIVING COMMUNITY
SALINAS, CA

S:\2015 PROJECTS\1501 - COUNTRY ROADS - SALINAS\Prelim 07 02 2015\1501 PRELIM REVISION\1501_AC-0.1_ASSISTED LIVING CASITAS-UNIT FLOOR PLANS.dwg, 7/21/2015 1:58:24 PM, Fernando, 1:54



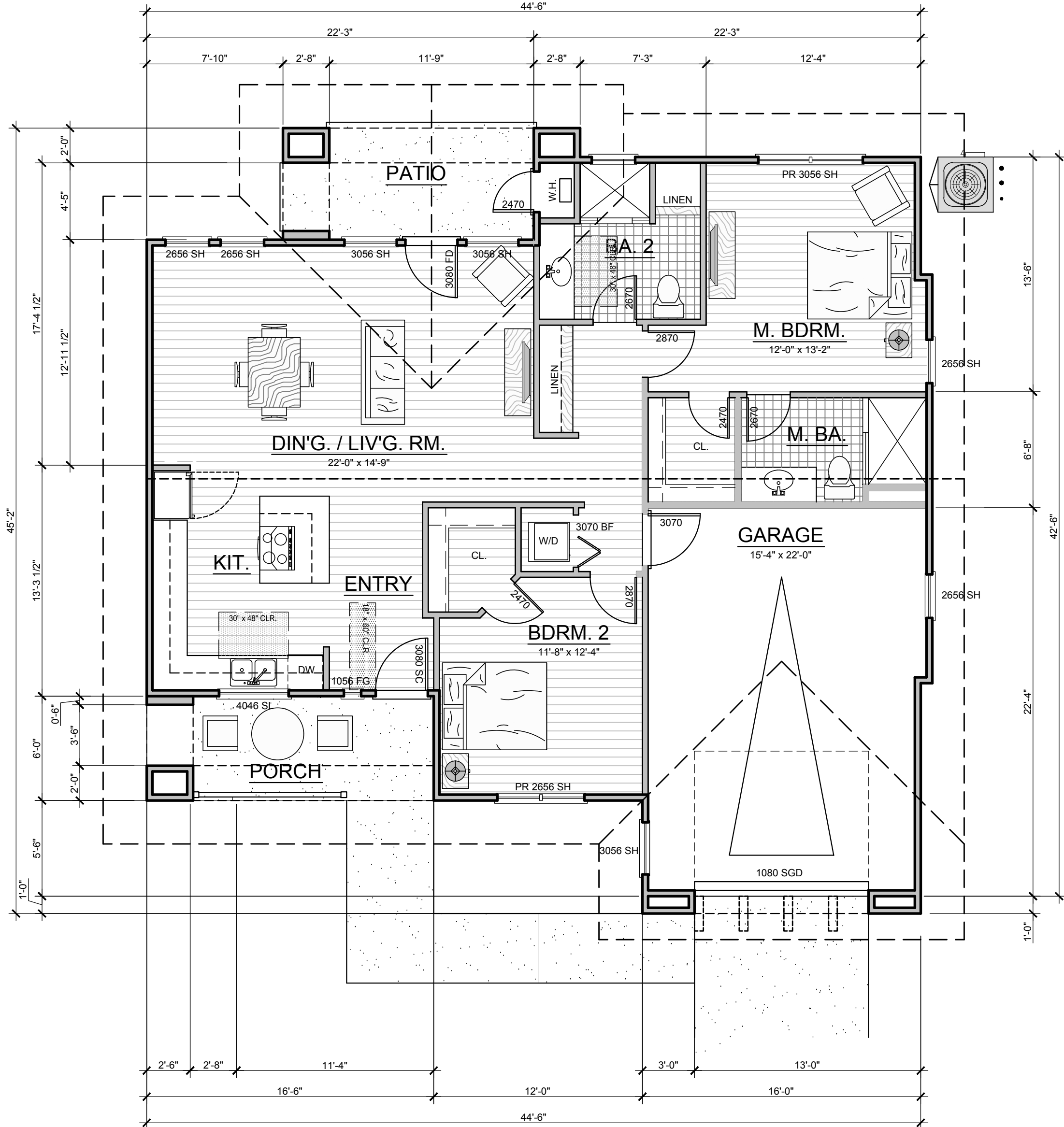
UNIT A - FLOOR PLAN

SCALE 3/16" = 1'-0" 1 BED / 1 BA 893 S.F.



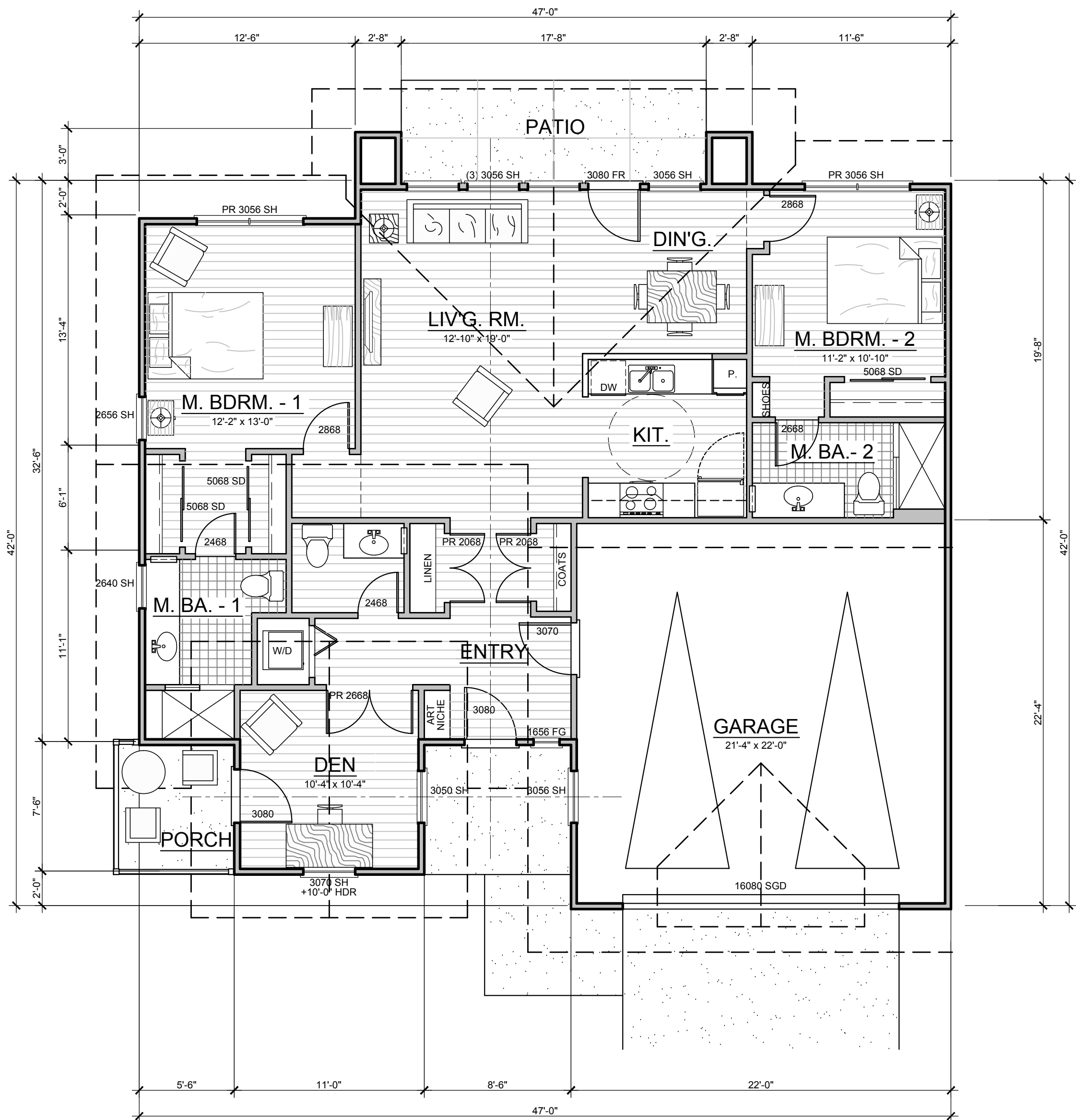
UNIT B - FLOOR PLAN

SCALE 3/16" = 1'-0" 2 BED / 2 BA 1138 S.F.



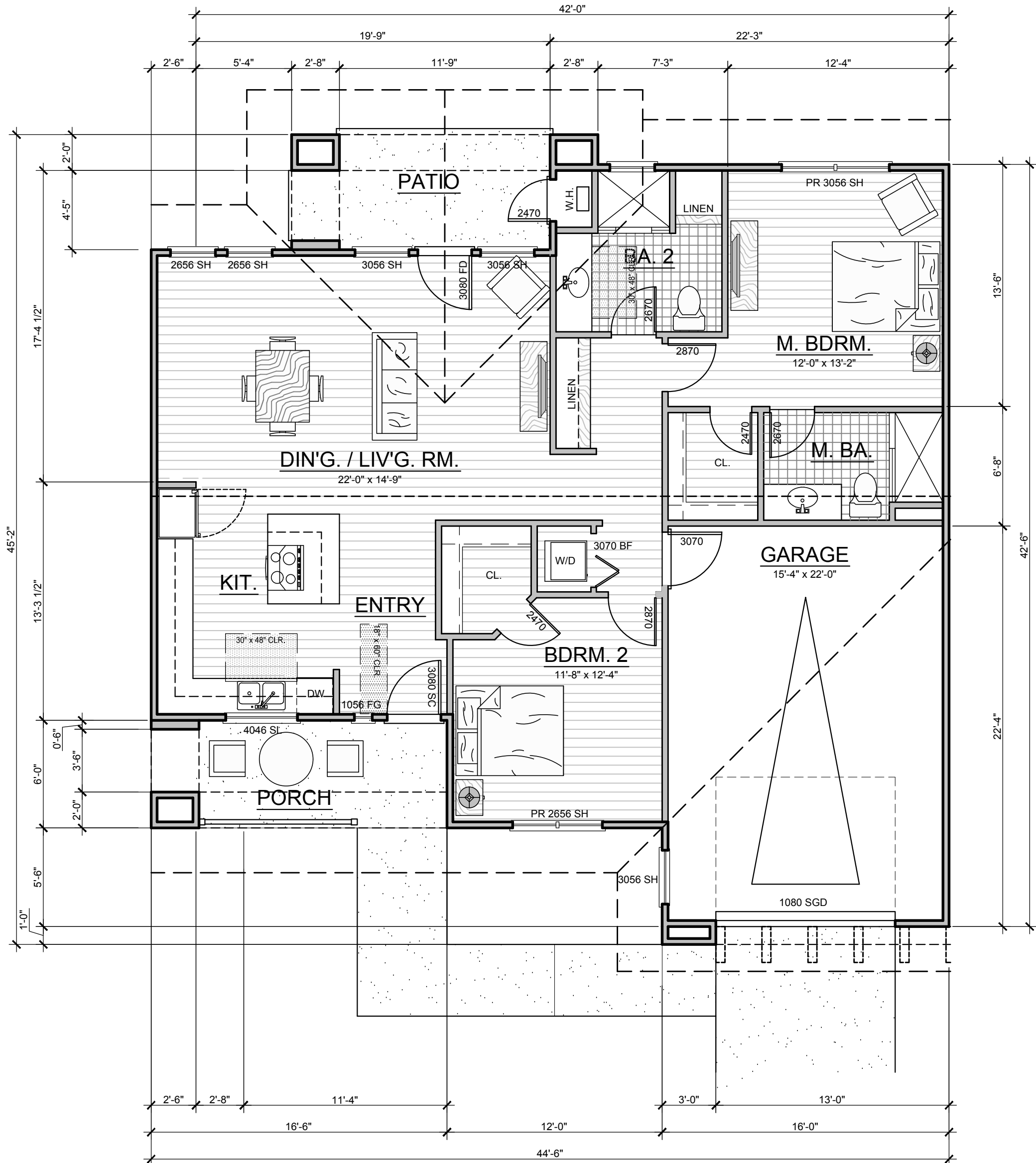
UNIT B1 - FLOOR PLAN

SCALE 3/16" = 1'-0" 2 BED / 2 BA 1187 S.F.



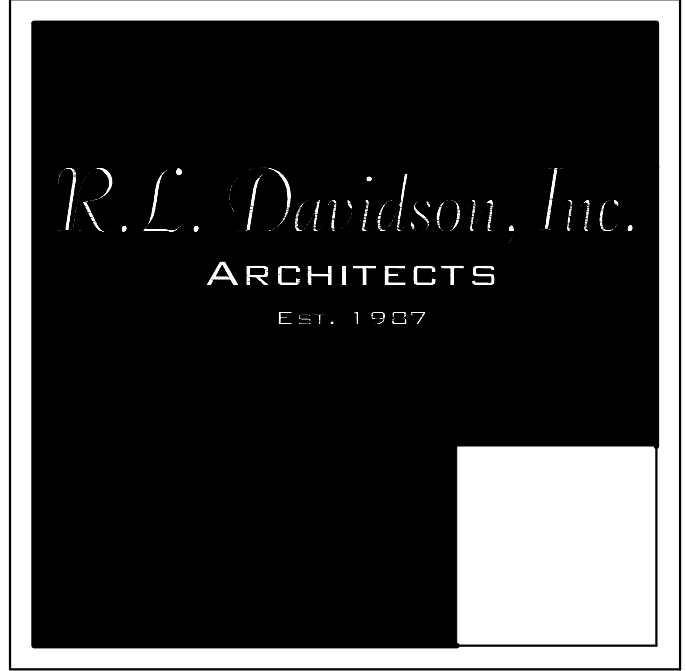
UNIT C - FLOOR PLAN

SCALE 3/16" = 1'-0" 2 BED / 2.5 BA / DEN 1307 S.F.

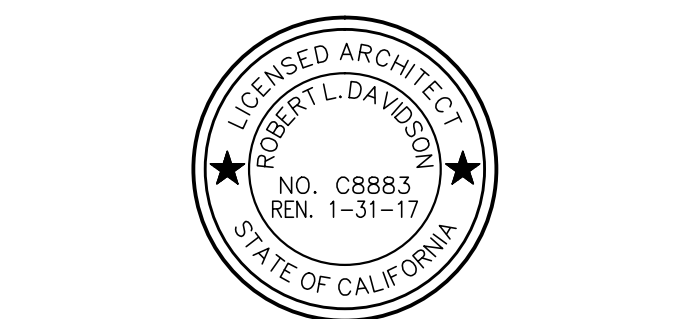


UNIT B2 - FLOOR PLAN

SCALE 3/16" = 1'-0" 2 BED / 2 BA 1170 S.F.



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07.20.2015	EASEMENT REVISION	

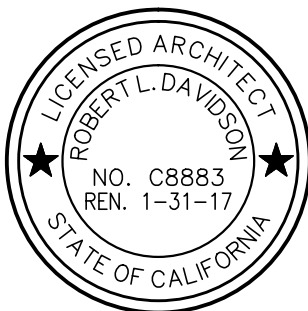
SHEET TITLE:

ASSISTED LIVING
CASITAS -
UNIT FLOOR PLANS

SCALE: 3/16" = 1'-0"
SHEET NO.

PROJECT NO. 1501

AC-0.1



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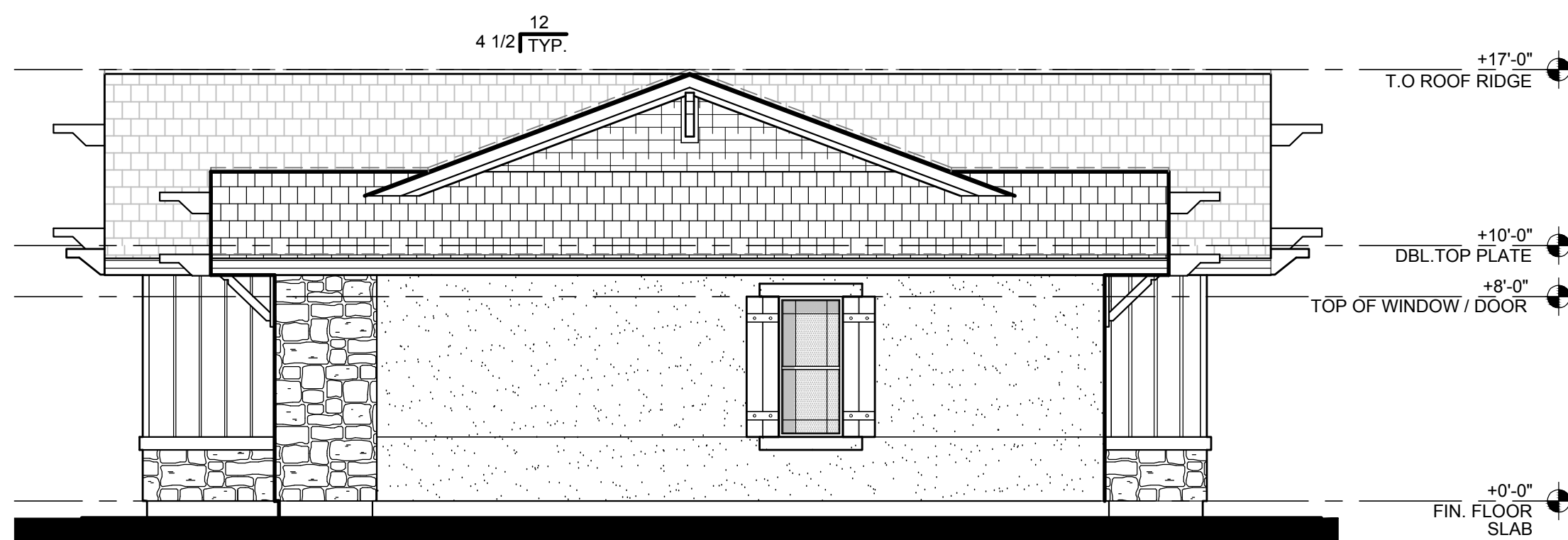
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SHEET TITLE:
ASSISTED LIVING
CASITAS-
BLDG. COORD. PLAN /
EXT. ELEVATIONS /
BLDG. TYPE 1

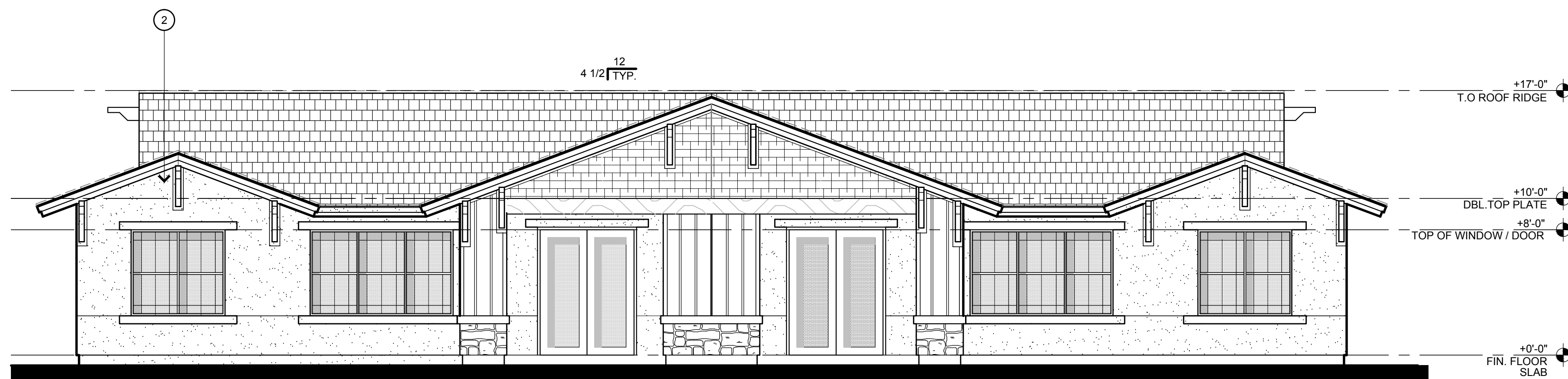
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SHEET NO.

AC-1.1

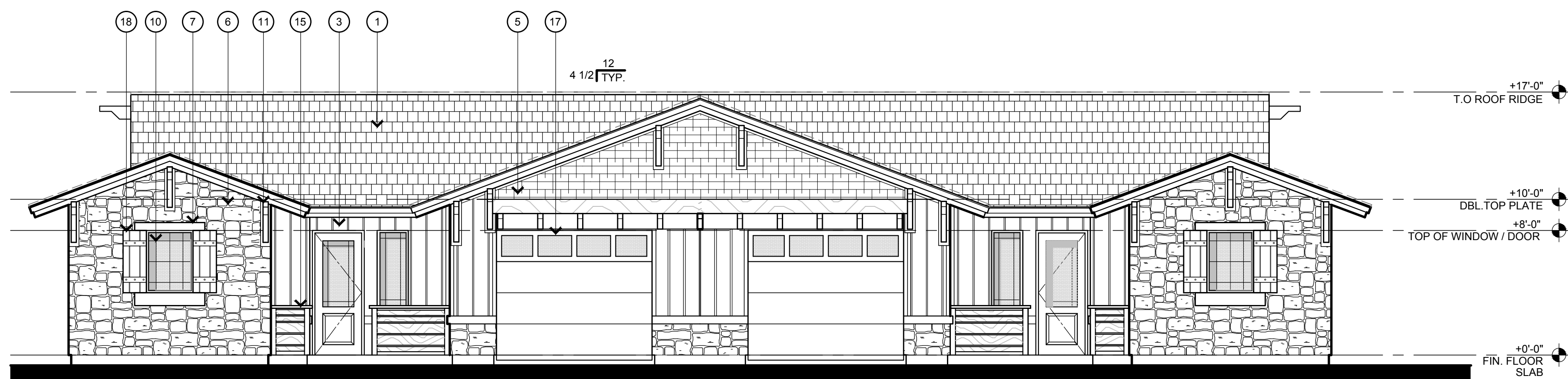
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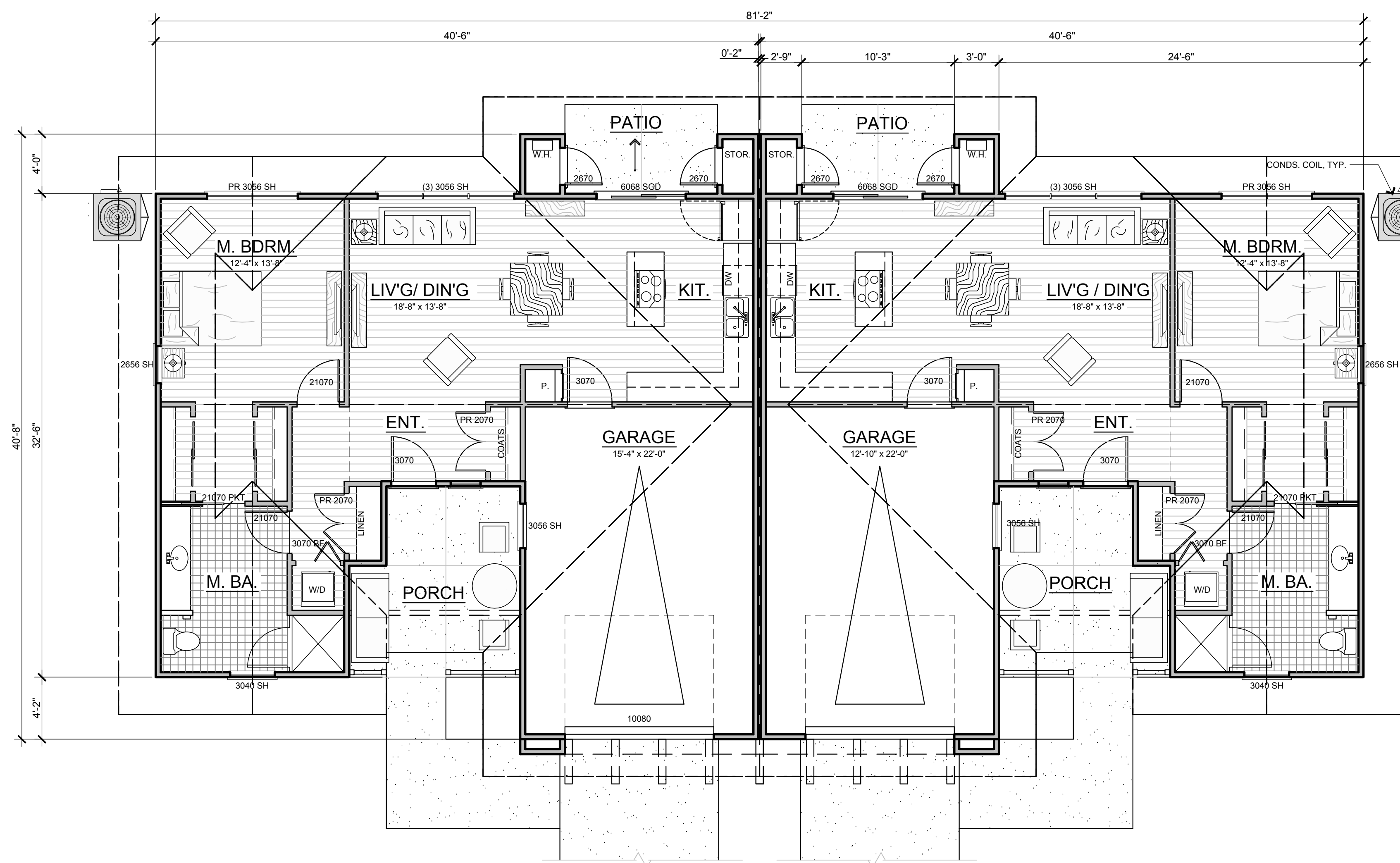
RIGHT SIDE ELEVATION - BUILDING TYPE 1 - A / A UNITS
SCALE 3/16" = 1'-0" NOTE: LEFT SIDE SIMILAR



REAR ELEVATION - BUILDING TYPE 1 - A / A UNITS
SCALE 3/16" = 1'-0" NOTE: MATERIALS ARE TYPICAL AT ALL ELEVATIONS AS SHOWN



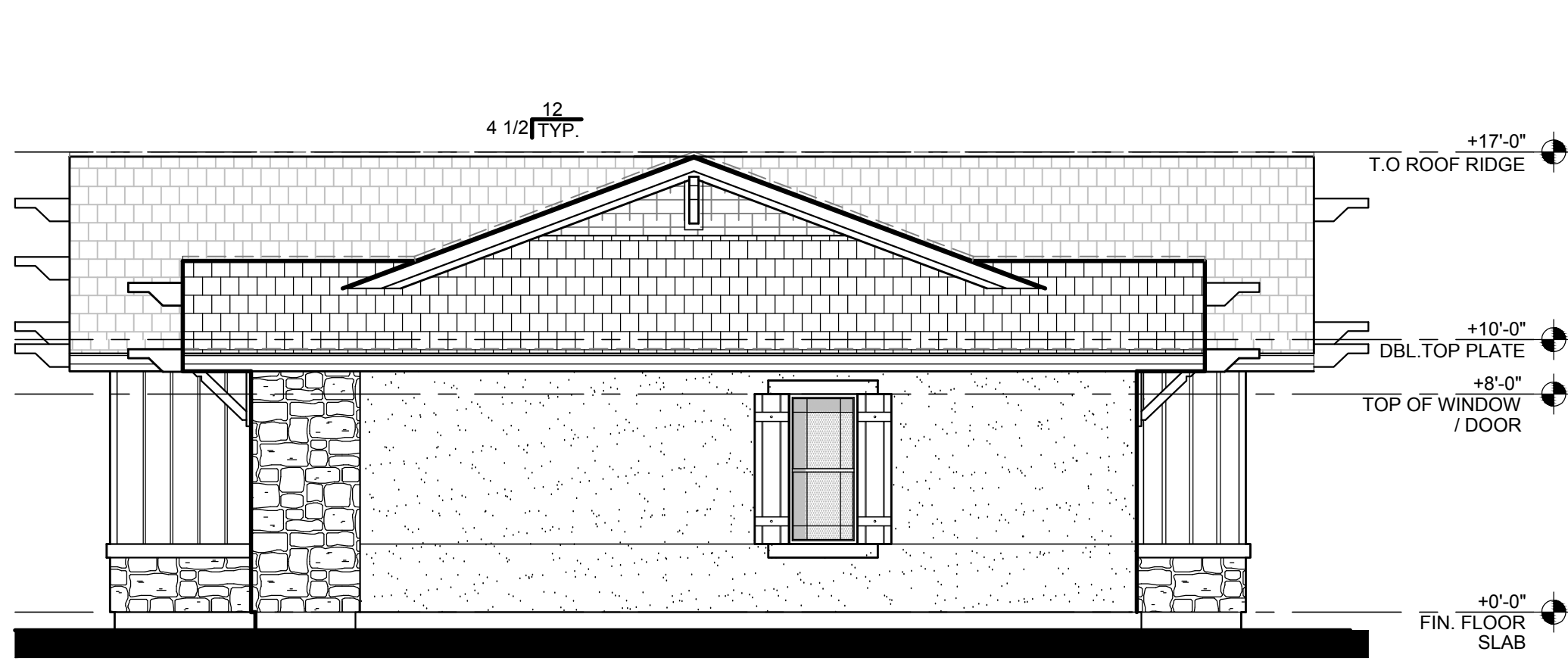
FRONT ELEVATION - BUILDING TYPE 1 - A / A UNITS
SCALE 3/16" = 1'-0" NOTE: MATERIALS ARE TYPICAL AT ALL ELEVATIONS AS SHOWN



BUILDING COORDINATION PLAN - BUILDING TYPE 1 - A / A UNITS
SCALE 3/16" = 1'-0" TOTAL GROSS BLDG. AREA: 2,503 S.F. (INCLUDES GARAGE SPACES)

EXTERIOR FINISH MATERIAL SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE ROOFING TILE | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER; SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDORADO STONE "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



RIGHT SIDE ELEVATION - BUILDING TYPE 2 - A / A / A UNITS (LEFT SIDE SIMILAR)
SCALE 3/16" = 1'-0"



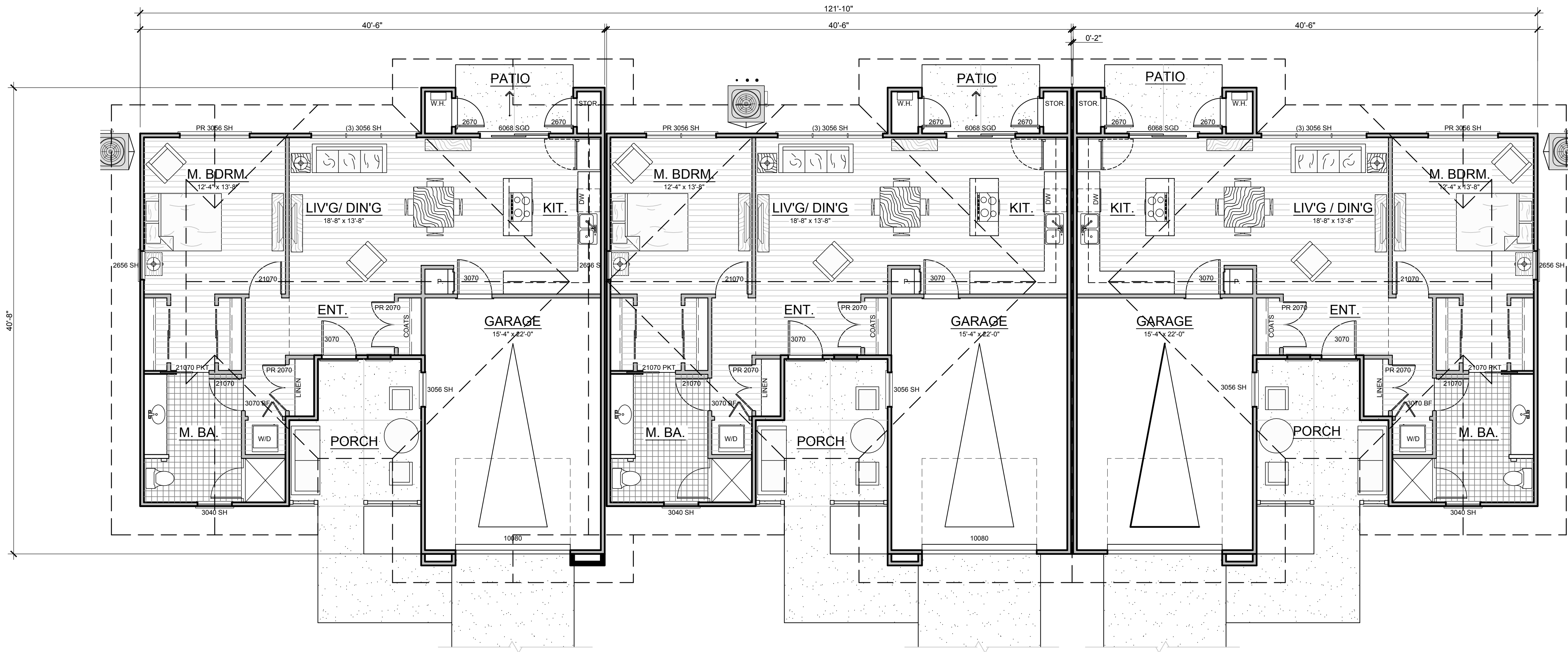
REAR ELEVATION - BUILDING TYPE 2 - A / A / A UNITS
SCALE 3/16" = 1'-0"

NOTE: MATERIALS ARE TYPICAL
AT ALL ELEVATIONS AS SHOWN



FRONT ELEVATION - BUILDING TYPE 2 - A / A / A UNITS
SCALE 3/16" = 1'-0"

NOTE: MATERIALS ARE TYPICAL
AT ALL ELEVATIONS AS SHOWN



BUILDING COORDINATION PLAN - BUILDING TYPE 2 - A / A / A UNITS
SCALE 3/16" = 1'-0"

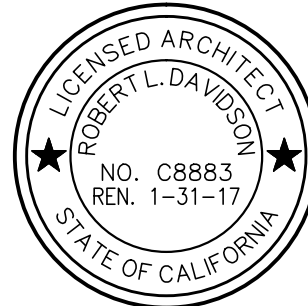
TOTAL GROSS BLDG. AREA: 3,768 S.F.
(INCLUDES GARAGE SPACES)

EXTERIOR FINISH MATERIAL SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER, SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: EL DORADO STONE "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |

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SHEET TITLE:
**ASSISTED LIVING
CASITAS -
BLDG. COORD. PLAN /
EXT. ELEVATIONS /
BLDG. TYPE 2**

SCALE: 3/16" = 1'-0"

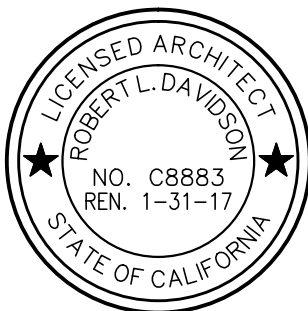
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AC-1.2

PROJECT NO. 1501



PROJECT NO. 1501



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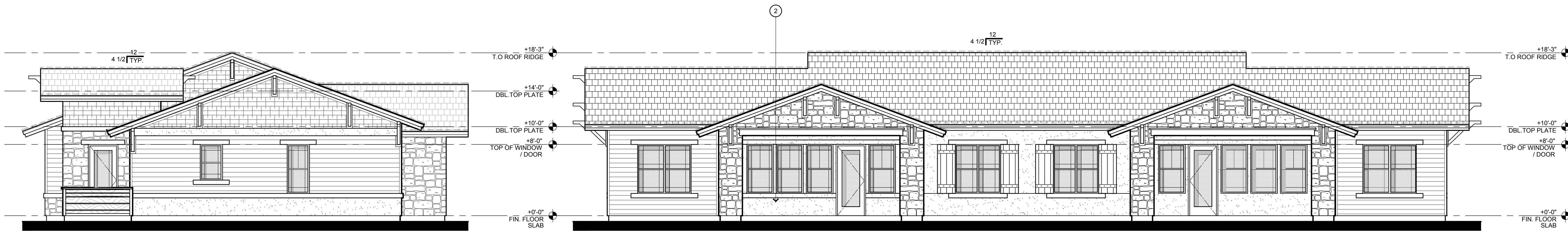
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05.02.2015	DRG MODIFICATIONS	
06.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

SHEET TITLE:
**ASSISTED LIVING
CASITAS -
BLDG. COORD. PLAN /
EXT. ELEVATIONS /
BLDG. TYPE 4**

SCALE: 3/16" = 1'-0"
SHEET NO.

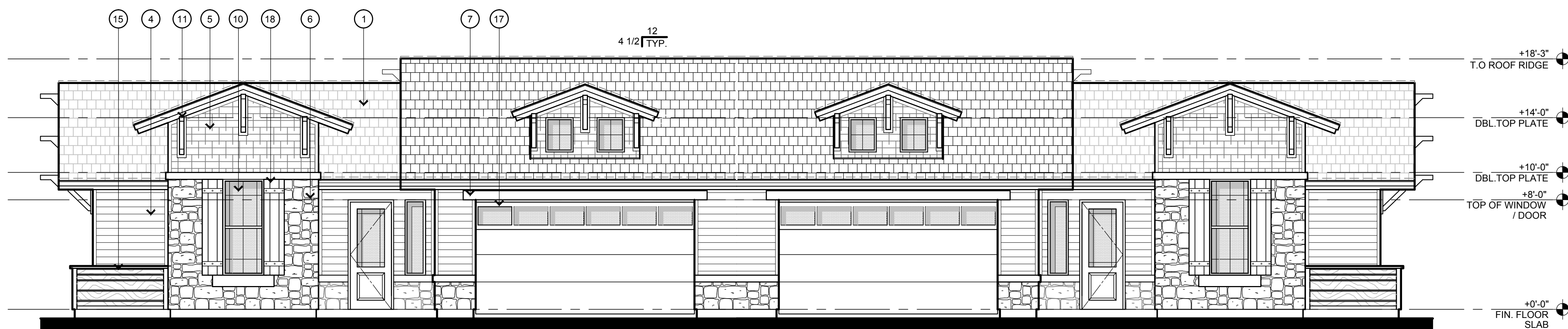
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PROJECT NO. 1501

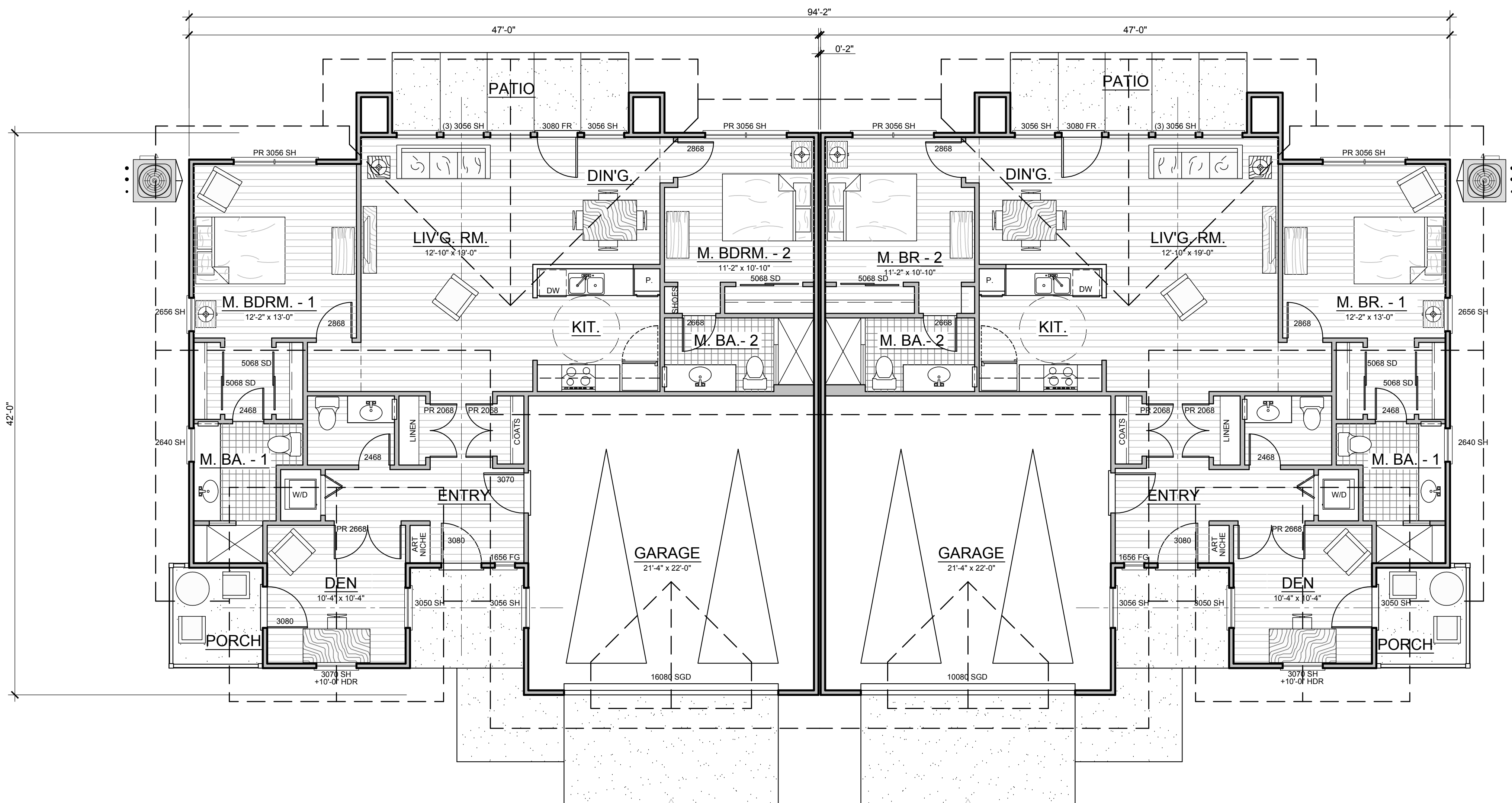


RIGHT SIDE ELEVATION - BUILDING TYPE 4 - C / C UNITS (LEFT SIDE SIMILAR)
SCALE 3/16" = 1'-0"

REAR ELEVATION - BUILDING TYPE 4 - C / C UNITS
SCALE 3/16" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 4 - C / C UNITS
SCALE 3/16" = 1'-0"



BUILDING COORDINATION PLAN - BUILDING TYPE 4 - C / C UNITS
SCALE 3/16" = 1'-0"

TOTAL GROSS BLDG. AREA: 3,595 S.F.
(INCLUDES GARAGE SPACES)



RIGHT SIDE ELEVATION - BUILDING TYPE 5 - B1 UNITS

SCALE 3/16" = 1'-0"



REAR ELEVATION - BUILDING TYPE 51 - B UNITS

SCALE 3/16" = 1'-0"

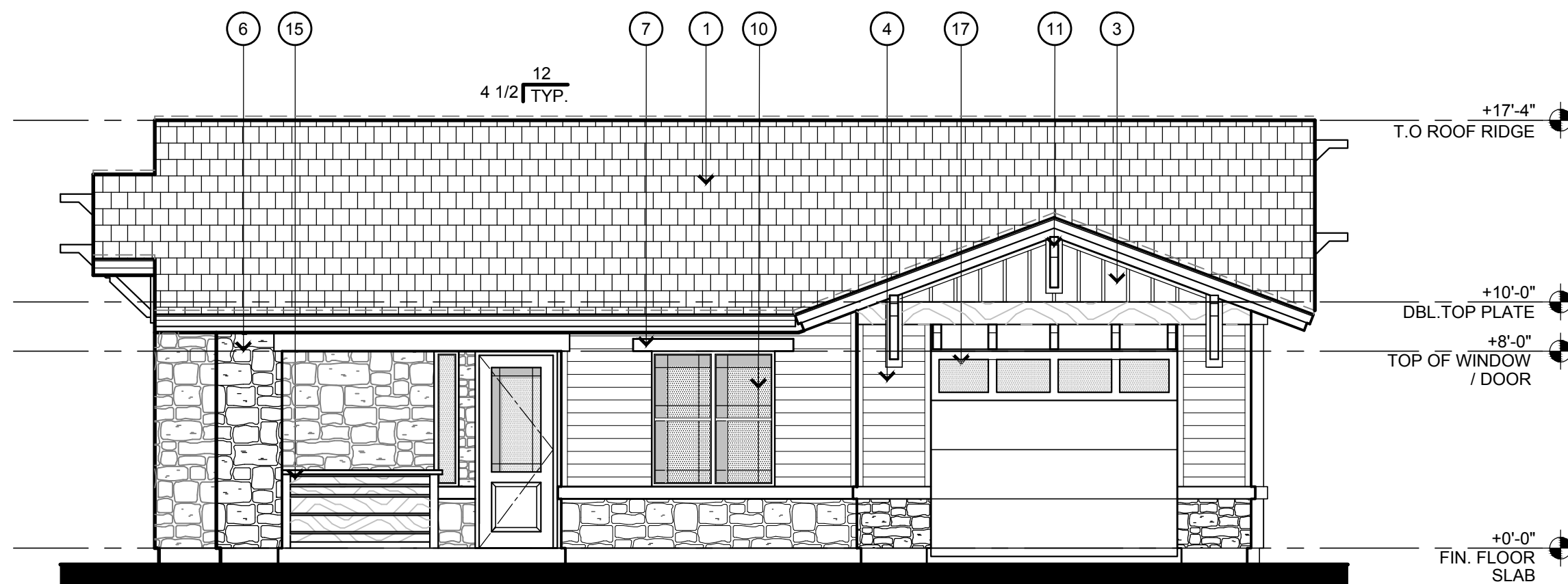
NOTE: MATERIALS ARE TYPICAL
AT ALL ELEVATIONS AS SHOWN



LEFT ELEVATION - BUILDING TYPE 51 - B1 UNITS

SCALE 3/16" = 1'-0"

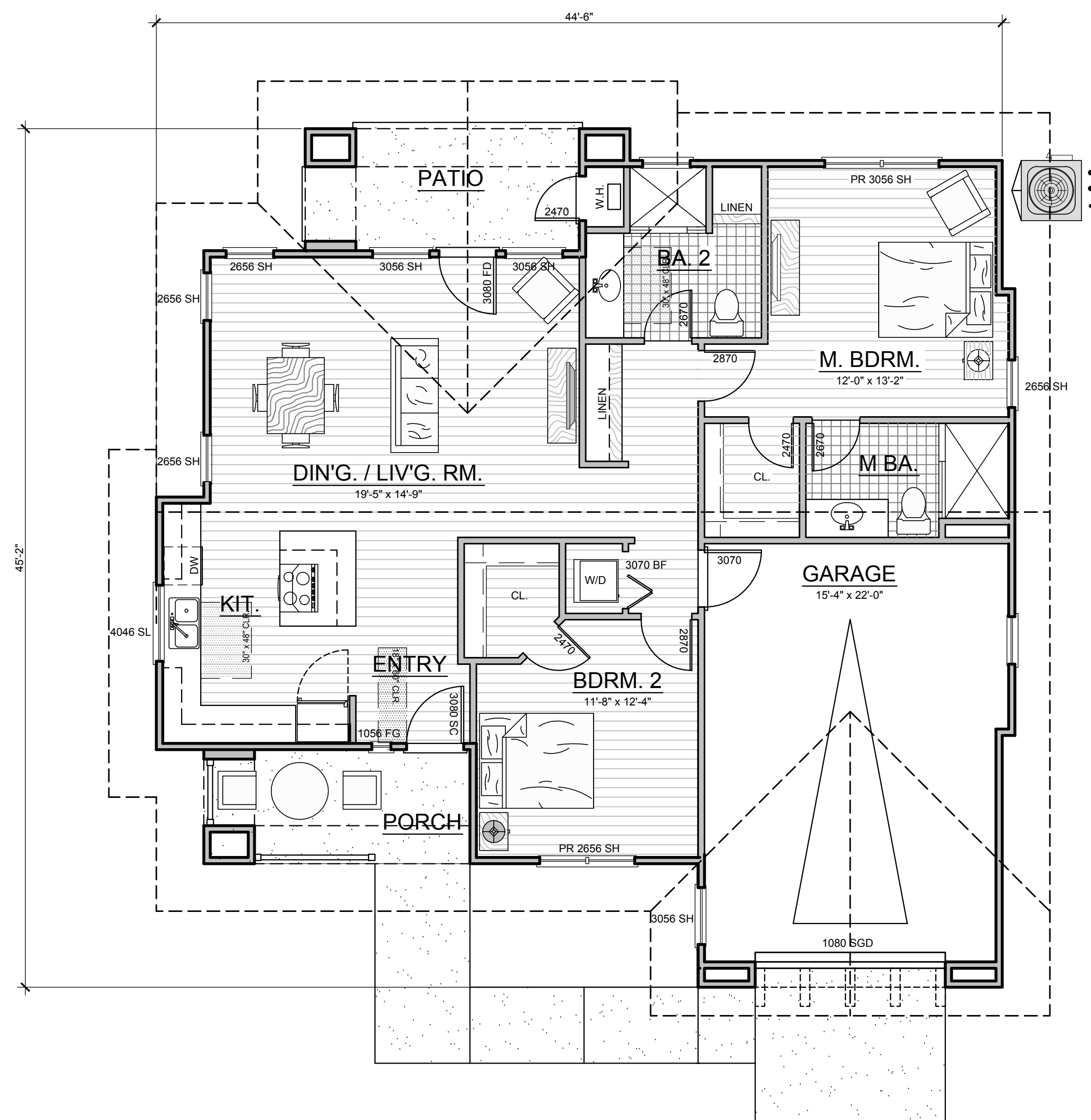
NOTE: MATERIALS ARE TYPICAL
AT ALL ELEVATIONS AS SHOWN



FRONT ELEVATION - BUILDING TYPE 51 - B1 UNITS

SCALE 3/16" = 1'-0"

NOTE: MATERIALS ARE TYPICAL
AT ALL ELEVATIONS AS SHOWN



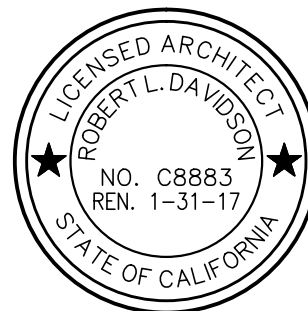
BUILDING COORDINATION PLAN - BUILDING TYPE 5 - B1 UNITS

SCALE 3/16" = 1'-0"

TOTAL GROSS BLDG. AREA: 1,513 S.F.
(INCLUDES GARAGE SPACES)

EXTERIOR FINISH MATERIAL SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE ROOFING TILE | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER; SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDORADO STONE "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



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SHEET TITLE:
**ASSISTED LIVING
CASITAS -
BLDG. COORD. PLAN /
EXT. ELEVATIONS /
BLDG. TYPE 5**

©

SCALE: 3/16" = 1'-0"

SHEET NO.

AC-1.5

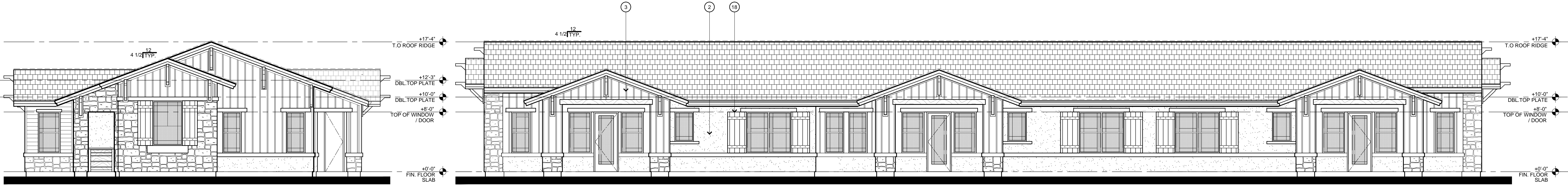
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©

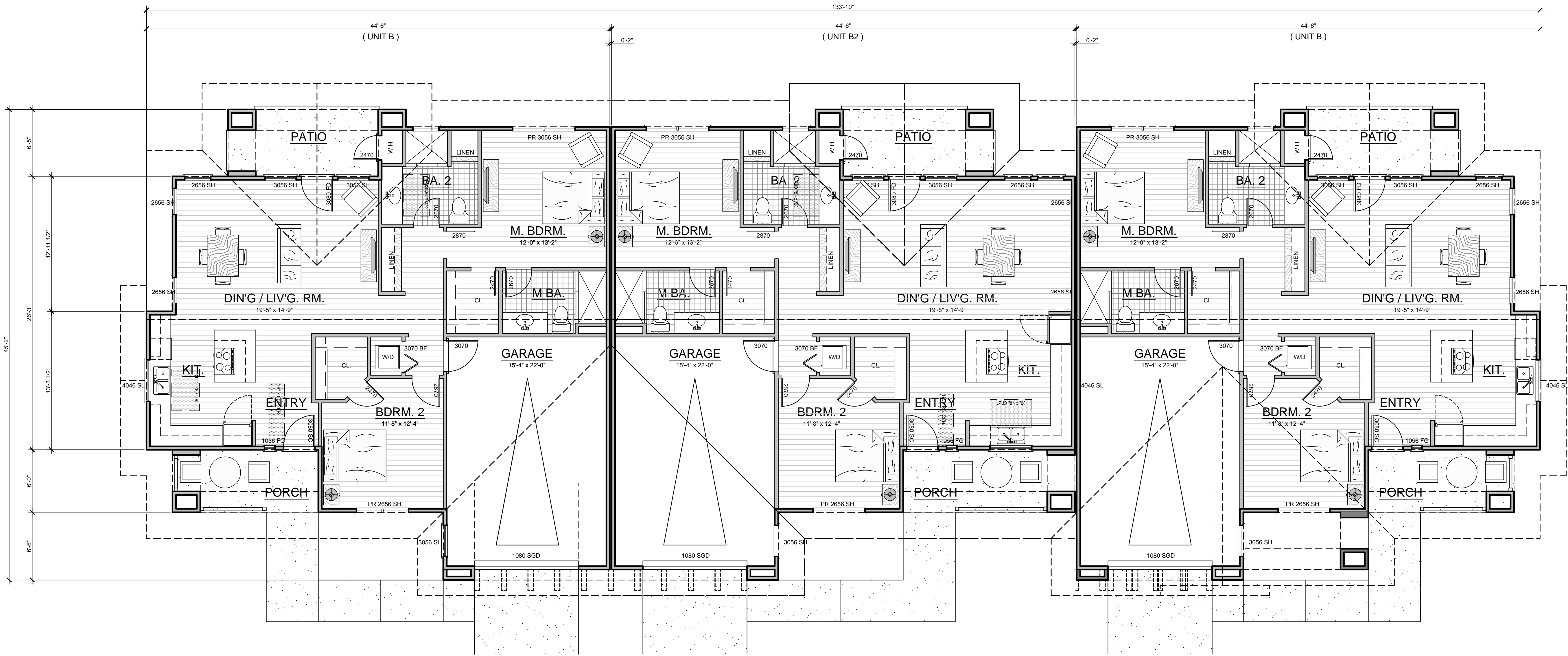


FRONT ELEVATION - BUILDING TYPE 6 - B / B2 / B UNITS
SCALE 3/16" = 1'-0"



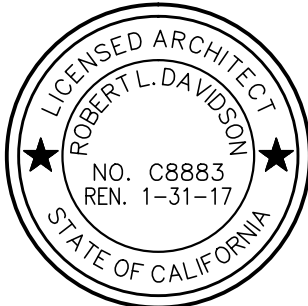
RIGHT SIDE ELEVATION - BUILDING TYPE 6 - B / B2 / B UNITS
SCALE 3/16" = 1'-0" (LEFT SIDE SIMILAR)

REAR ELEVATION - BUILDING TYPE 6 - B / B2 / B UNITS
SCALE 3/16" = 1'-0"



BUILDING COORDINATION PLAN - BUILDING TYPE 6 - B / B2 / B UNITS
SCALE 3/16" = 1'-0"

TOTAL GROSS BLDG. AREA: 4,536 S.F.
(INCLUDES GARAGE SPACES)



" RIVERVIEW AT
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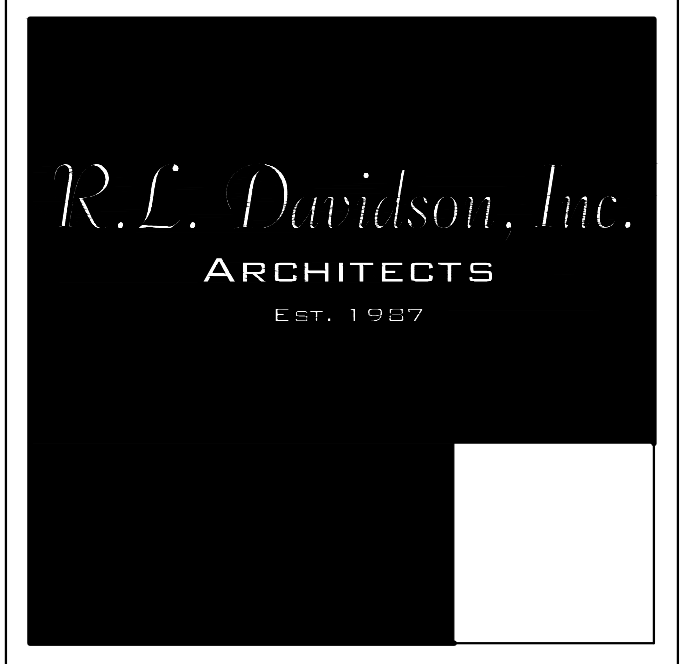
NO.	DATE:	ISSUE:
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SHEET TITLE:
ASSISTED LIVING
CASITAS -
BLDG. COORD. PLAN /
EXT. ELEVATIONS /
BLDG. TYPE 6

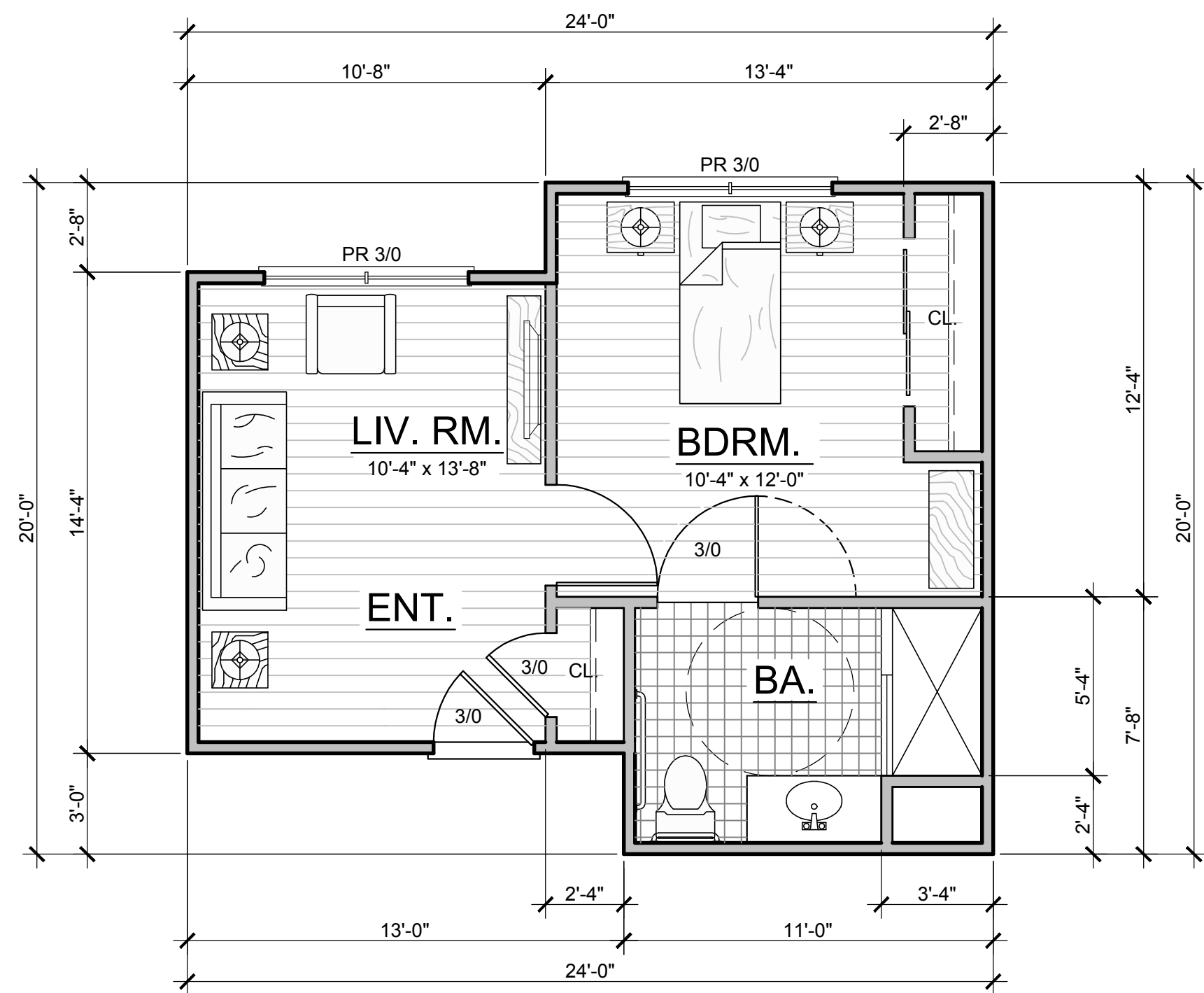
SCALE: 3/16" = 1'-0"
SHEET NO.

AC-1.6

PROJECT NO. 1501



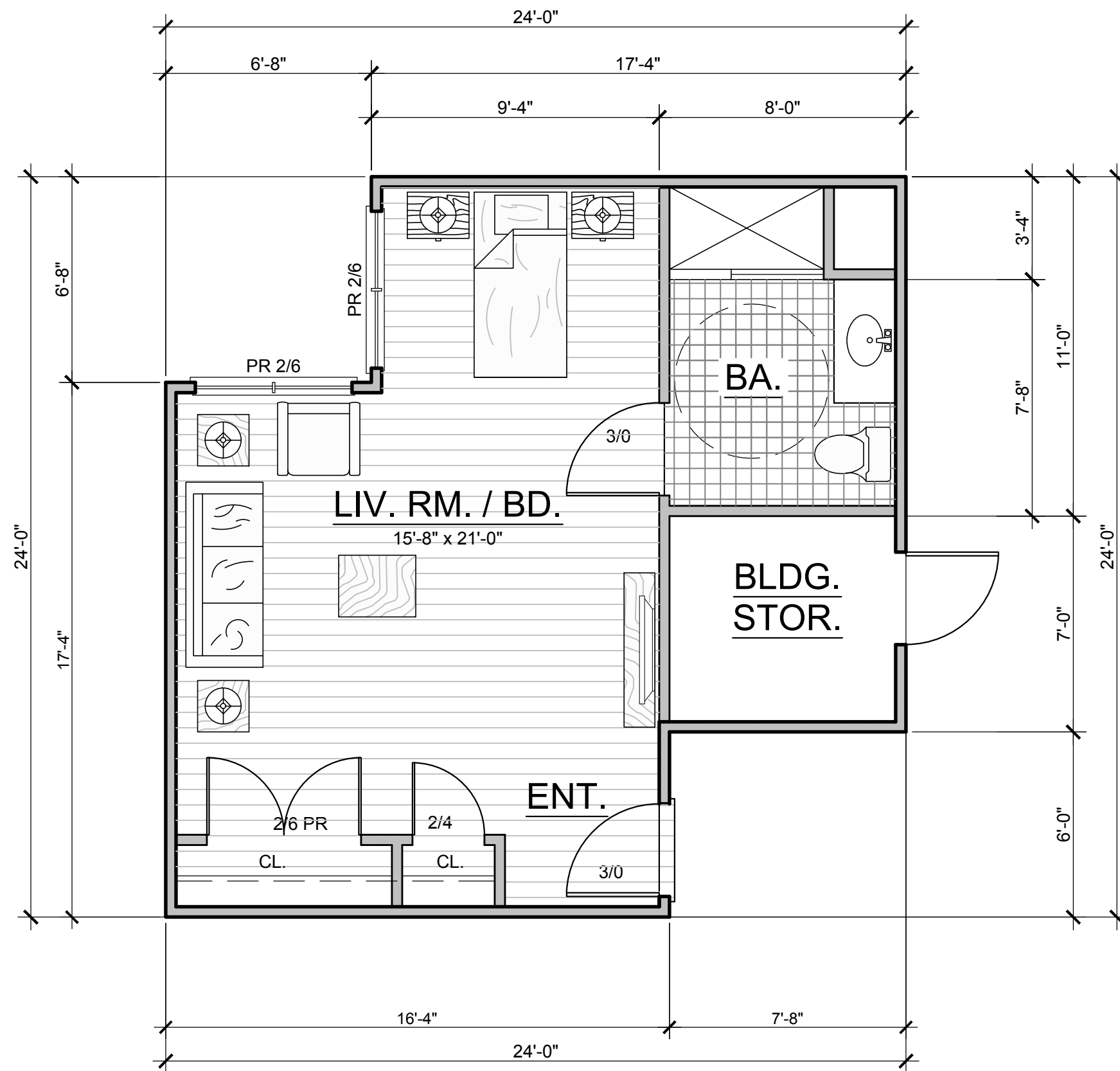
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UNIT A - FLOOR PLAN - 1 BEDROOM - 1 BATH

SCALE: 1/4" = 1'-0"

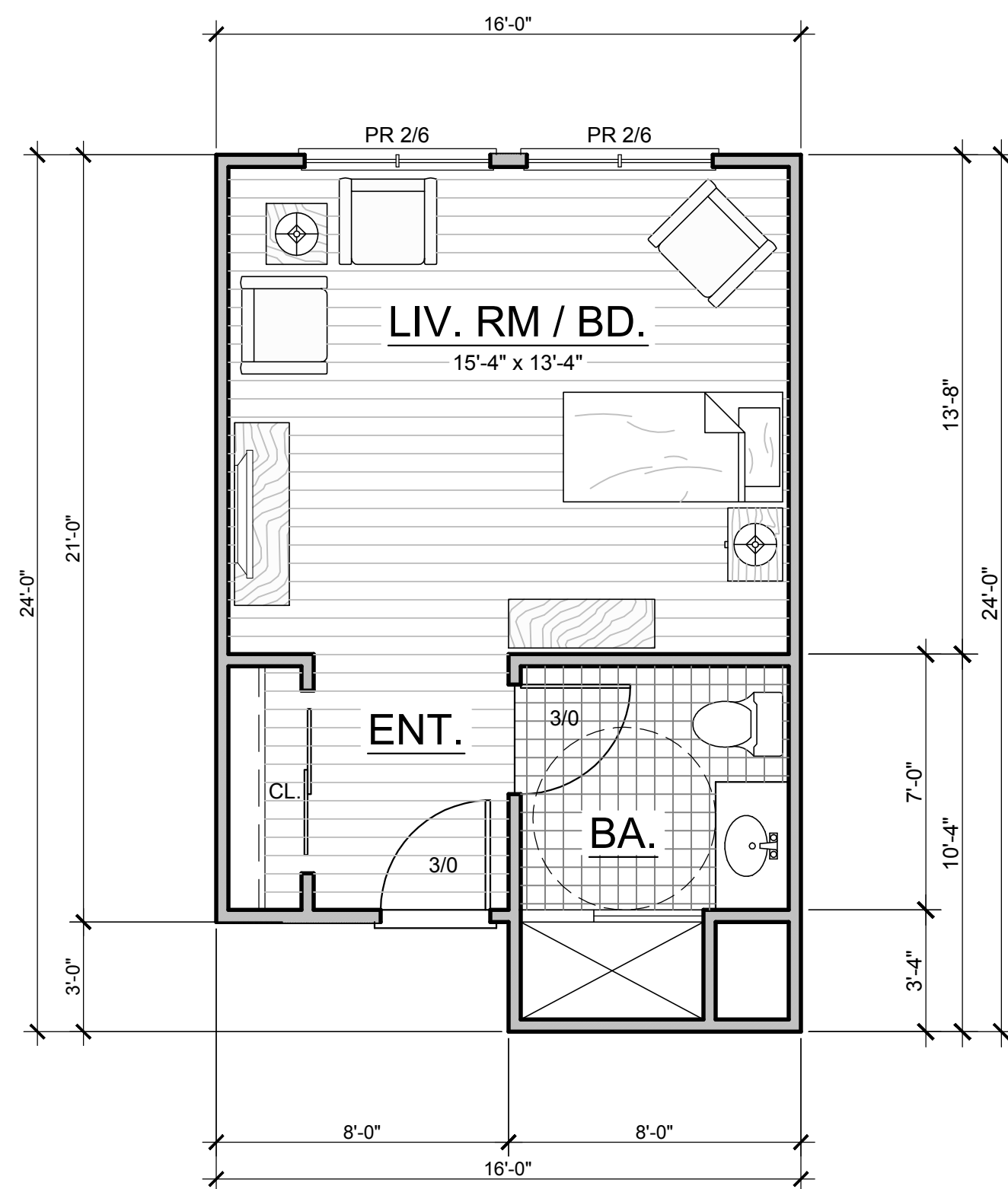
413 S.F.



UNIT A1 - FLOOR PLAN - STUDIO

SCALE: 1/4" = 1'-0"

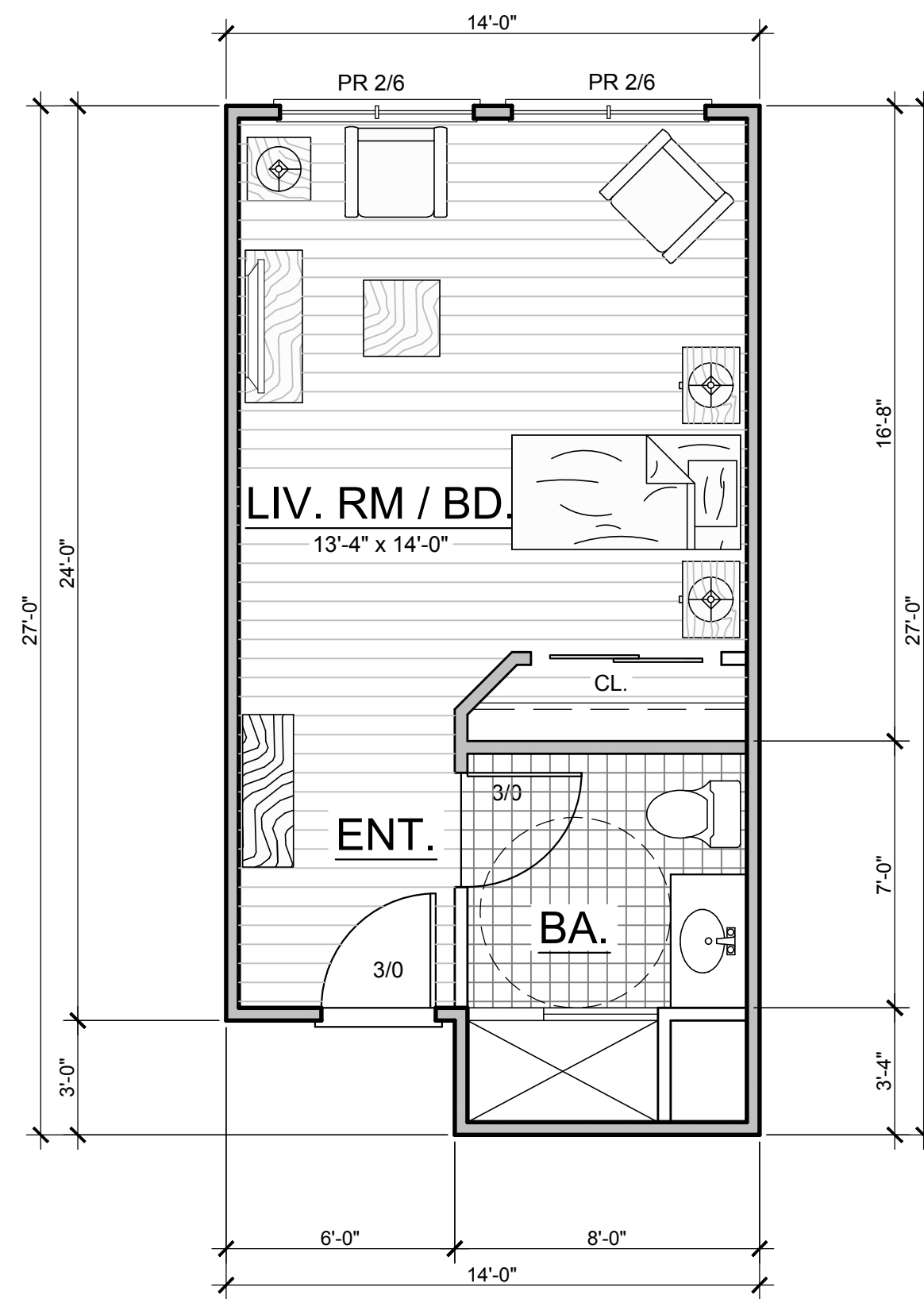
432 S.F.



UNIT B - FLOOR PLAN - STUDIO

SCALE: 1/4" = 1'-0"

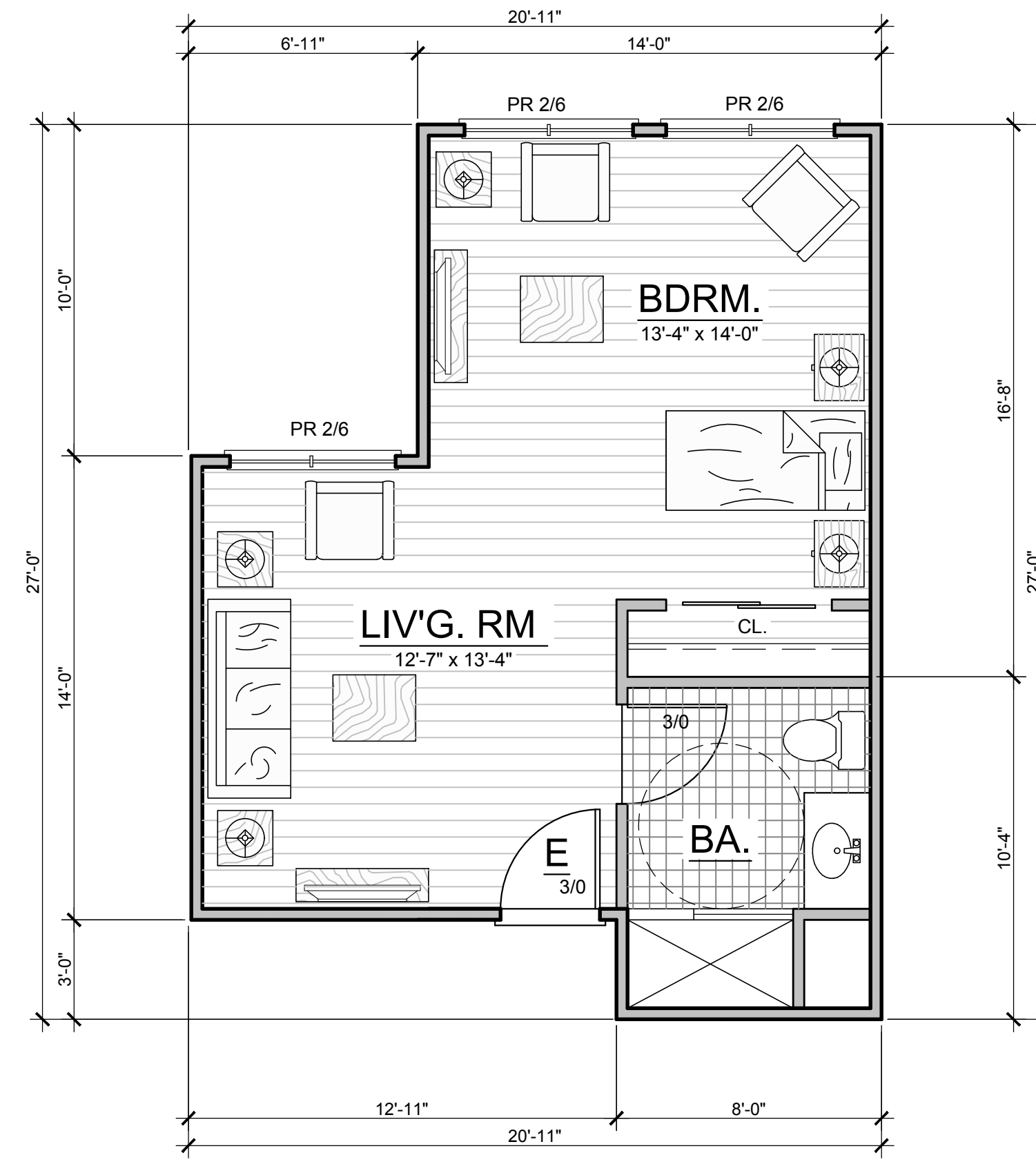
380 S.F.



UNIT B1 - FLOOR PLAN - STUDIO

SCALE: 1/4" = 1'-0"

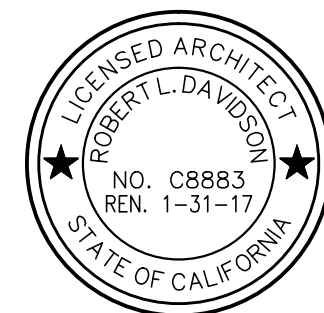
380 S.F.



UNIT B2 - FLOOR PLAN - STUDIO

SCALE: 1/4" = 1'-0"

456 S.F.



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SHEET TITLE:

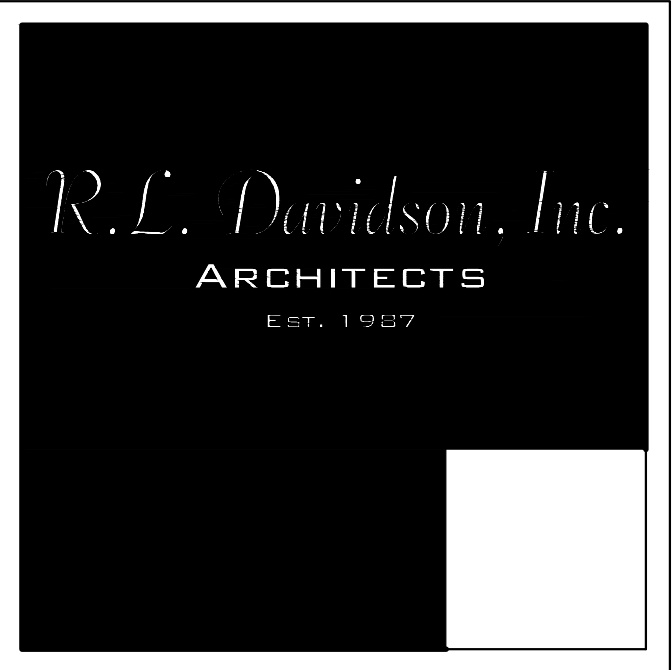
ASSISTED CARE
LIVING FACILITY:
UNIT FLOOR PLANS

©
SCALE: 1/4" = 1'-0"
SHEET NO.

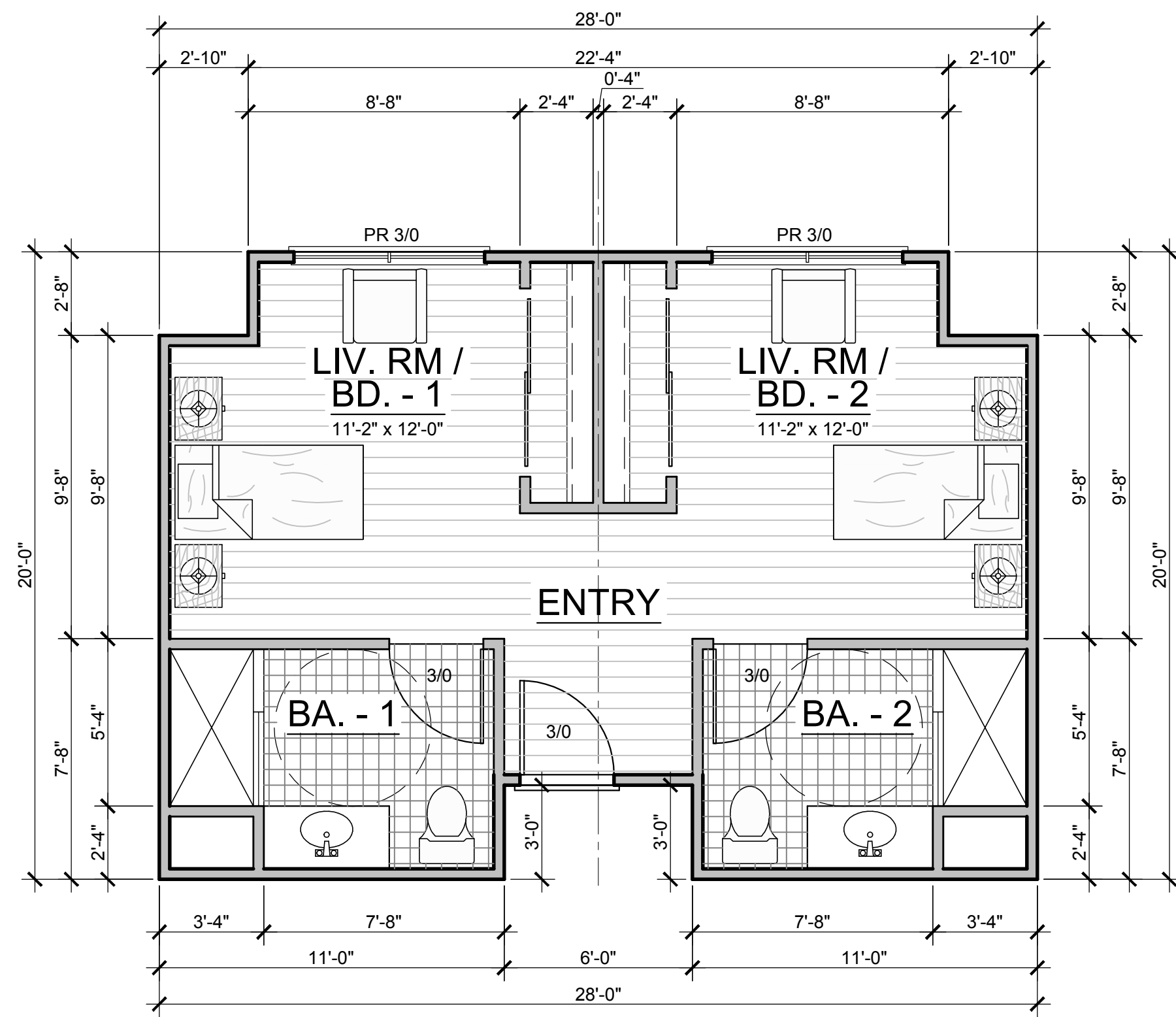
AL-0.1

PROJECT NO. 1501

ASSISTED CARE LIVING FACILITY
UNIT FLOOR PLANS



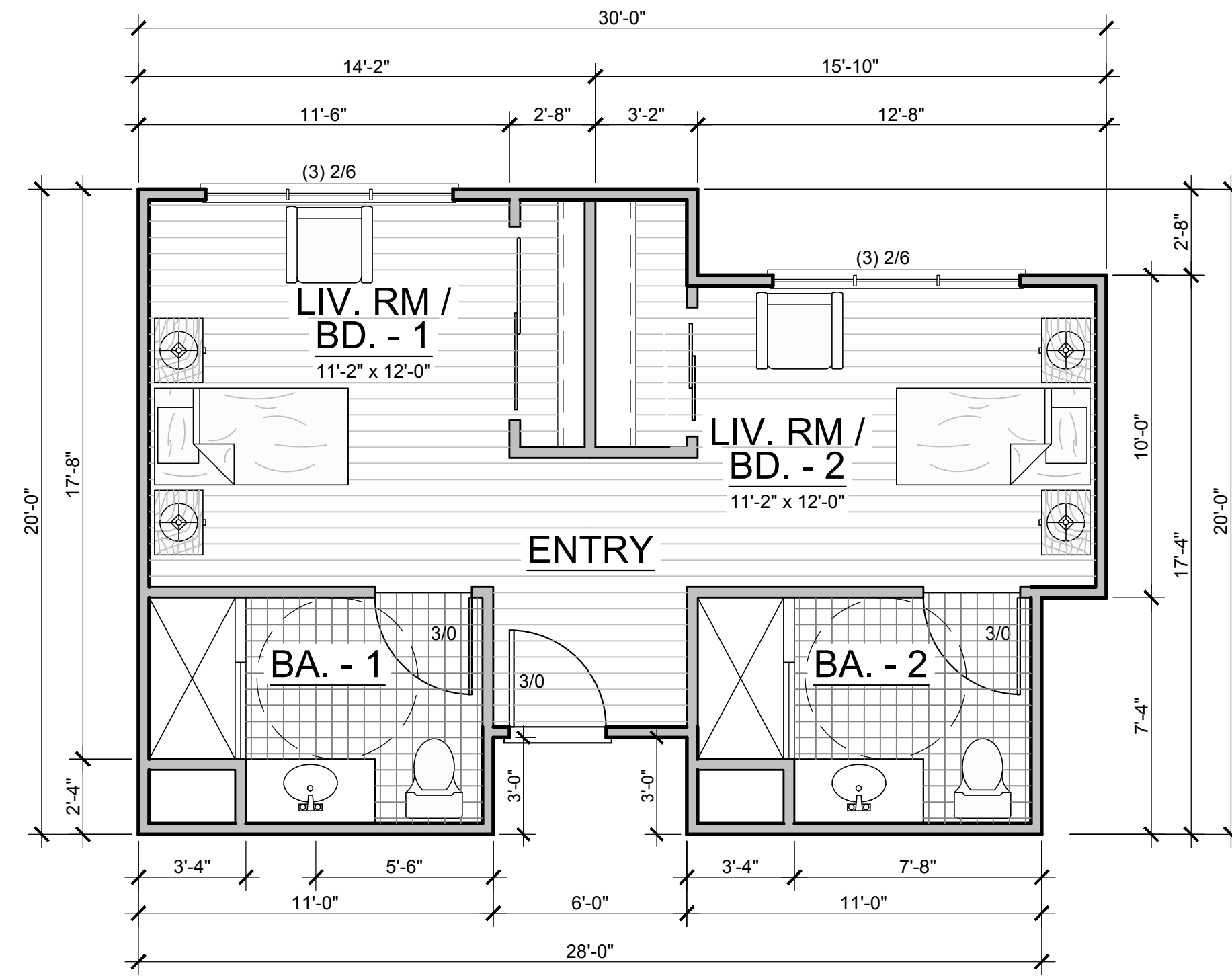
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UNIT C - FLOOR PLAN - COMPANION SUITE

SCALE: 1/4" = 1'-0"

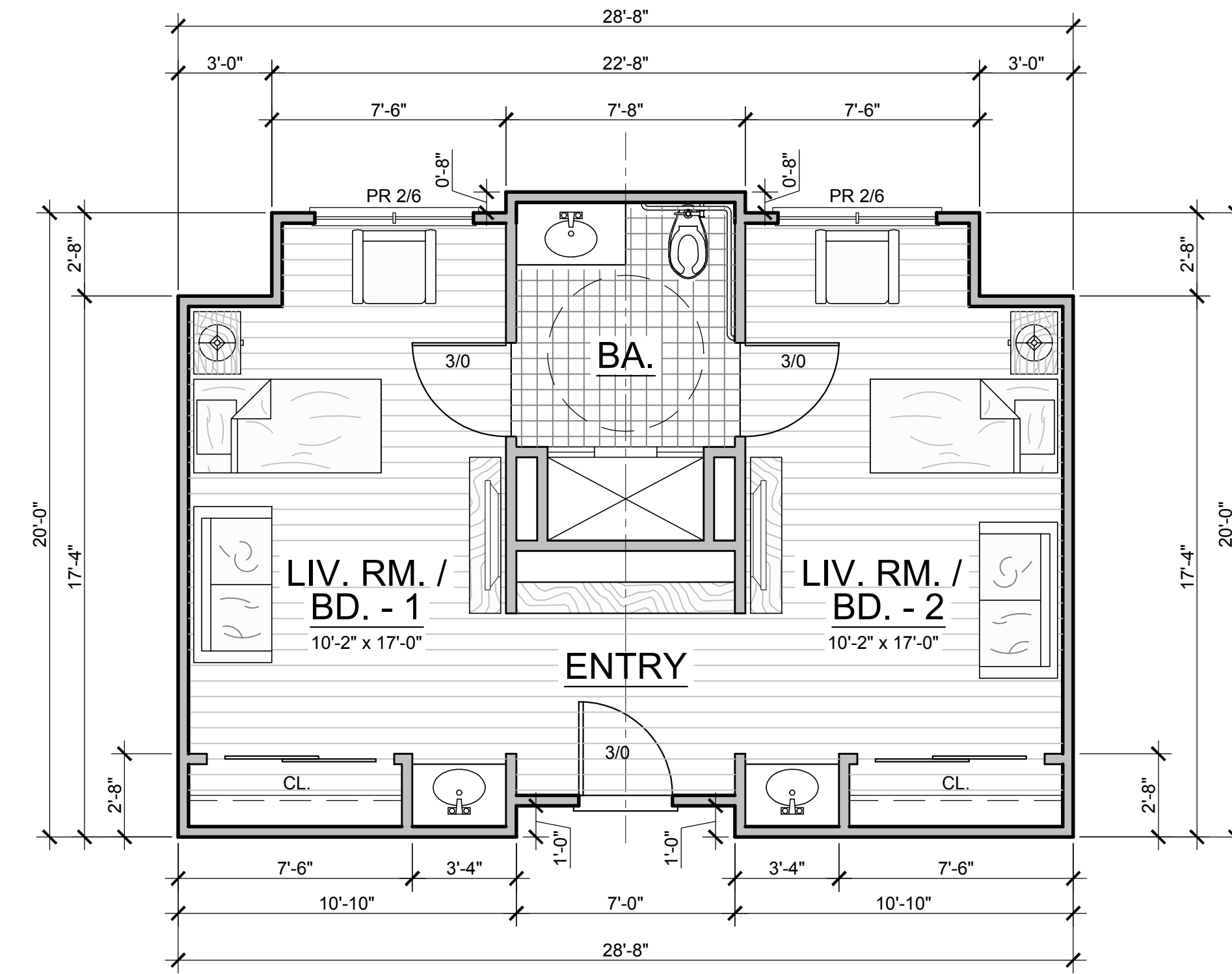
527 S.F.



UNIT C1 - FLOOR PLAN - COMPANION SUITE

SCALE 1/4" = 1'-0"

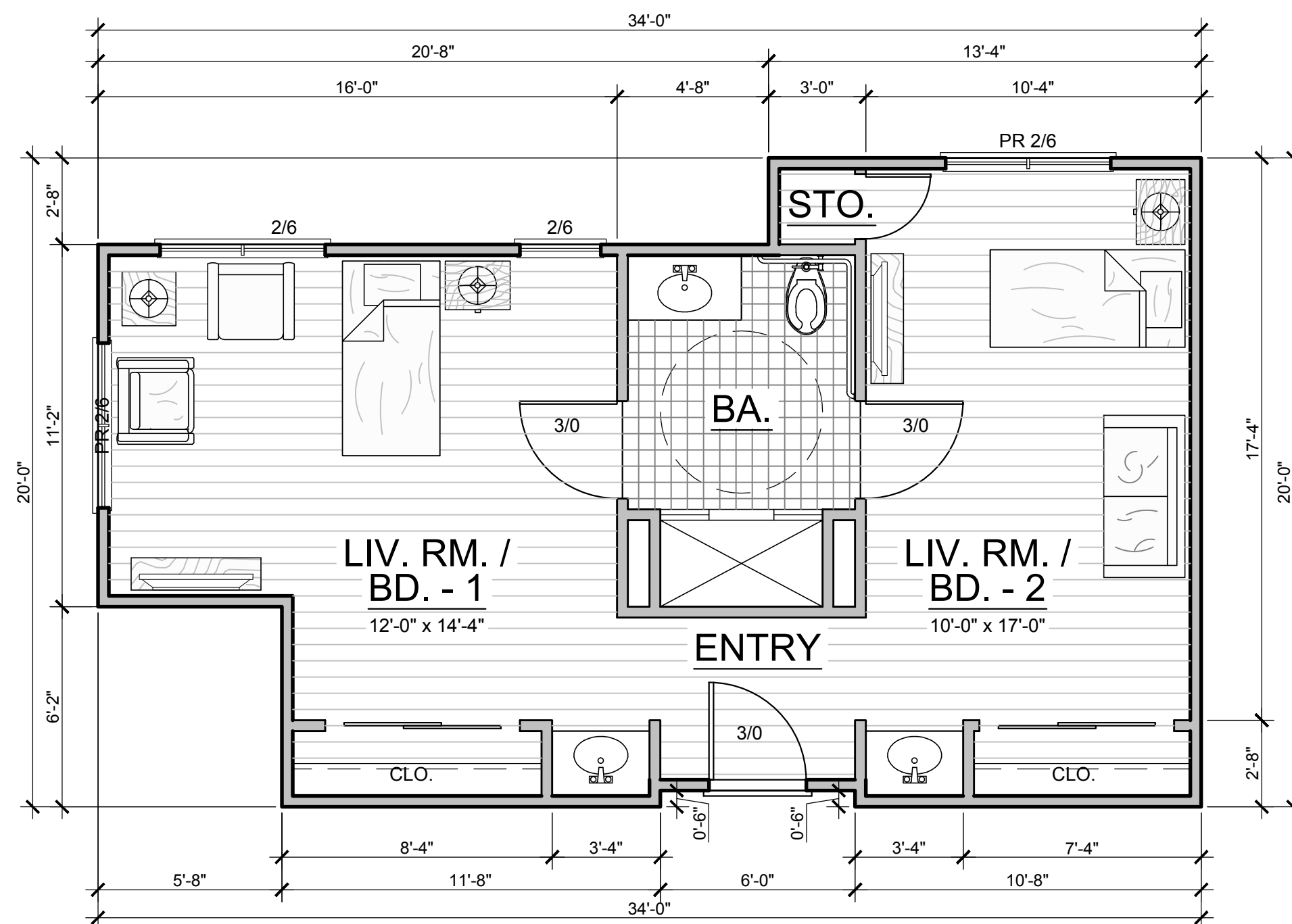
534 S.F.



UNIT D - FLOOR PLAN - COMPANION SUITE

SCALE 1/4" = 1'-0"

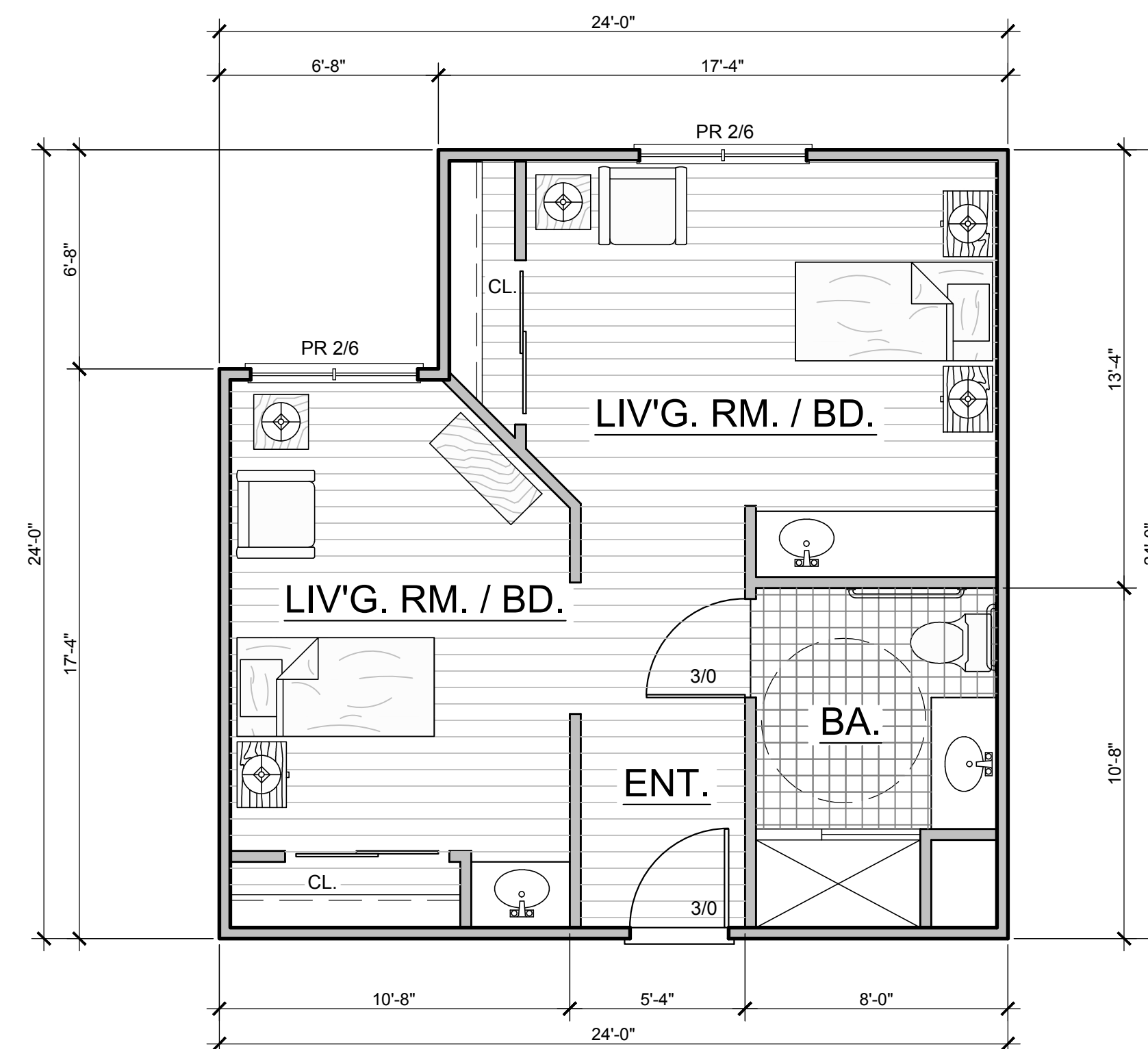
556 S.F.



UNIT E - FLOOR PLAN - COMPANION SUITE

SCALE: 1/4" = 1'-0"

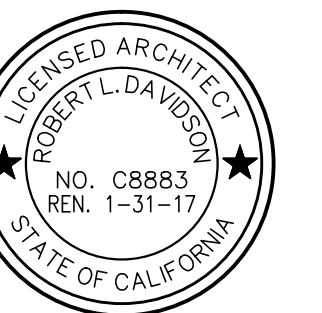
587 S.F.



UNIT F - FLOOR PLAN - COMPANION SUITE

SCALE 1/4" = 1'-0"

532 S.F.



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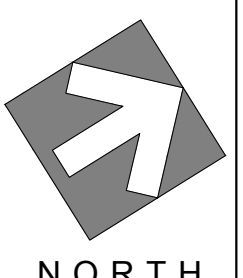
SHEET TITLE:

ASSISTED CARE
LIVING FACILITY:
UNIT FLOOR PLANS

SCALE: 1/4" = 1'-0"
SHEET NO.

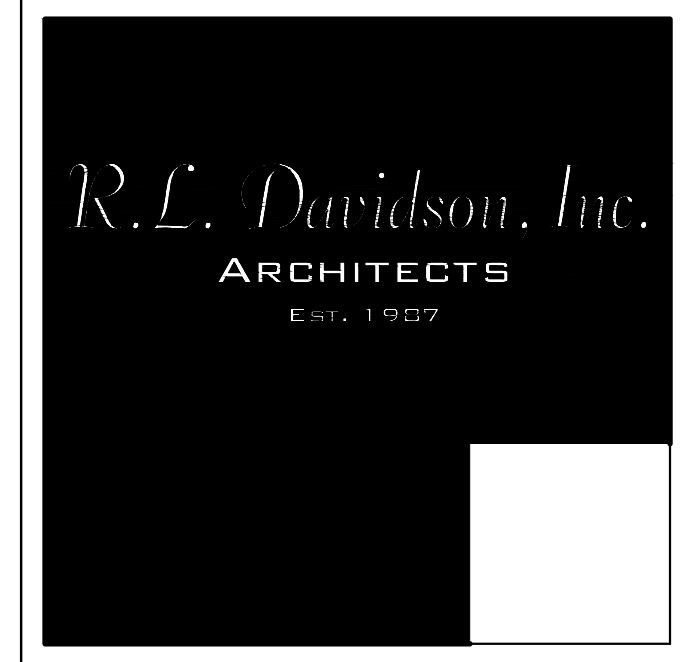
AL-0.2

PROJECT NO. 1501

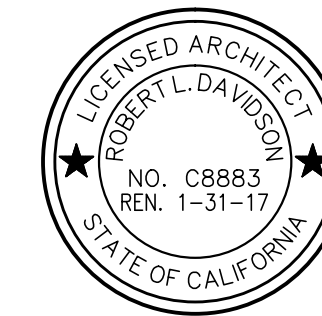


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UNIT FLOOR PLANS



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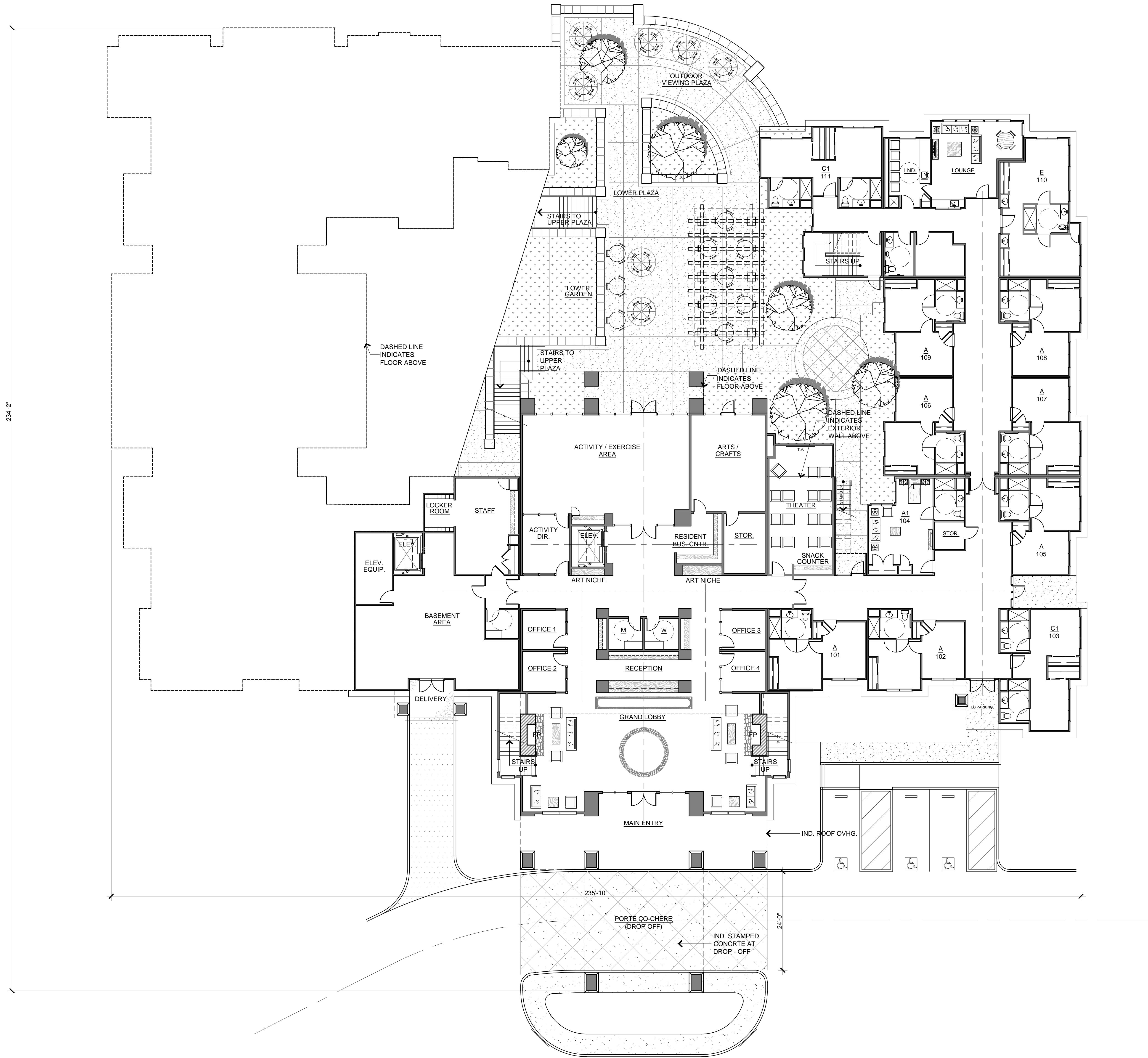
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06.16.2015	06.16.2015	OWNER REVISIONS
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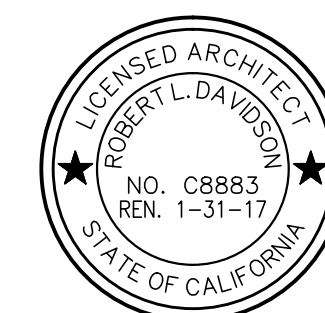
ASSISTED CARE
LIVING FACILITY -
MAIN LEVEL
BLDG. COORD. PLAN
©
SCALE: 3/32" = 1'-0"
SHEET NO.

AL-1.1
PROJECT NO. 1501



ASSISTED CARE LIVING FACILITY:
MAIN LEVEL BUILDING COORDINATION PLAN





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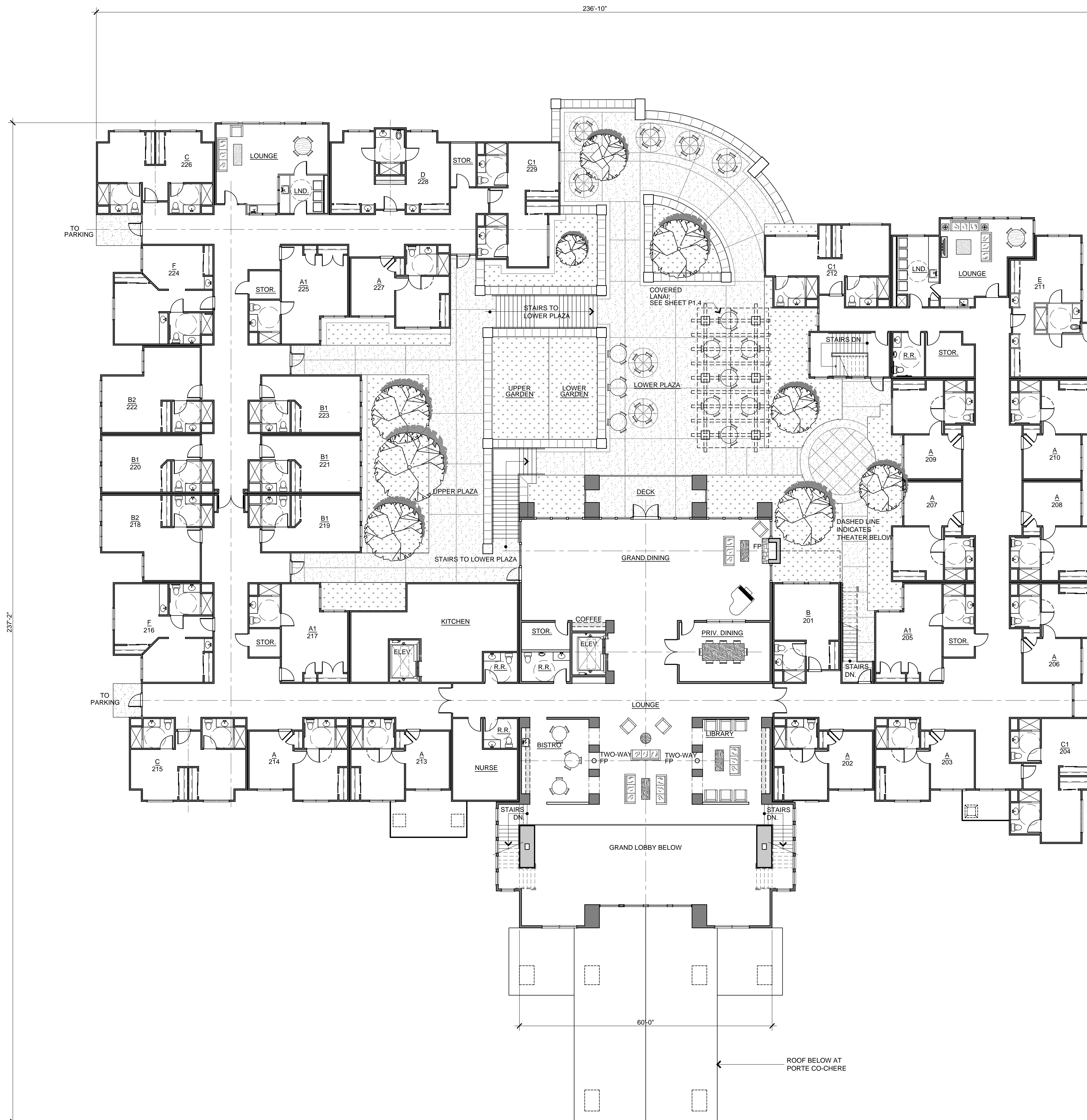
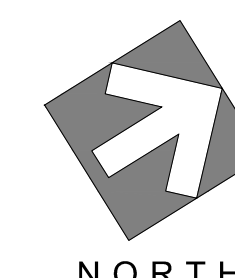
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ASSISTED CARE LIVING FACILITY -
UPPER LEVEL
BLDG COORD. PLAN

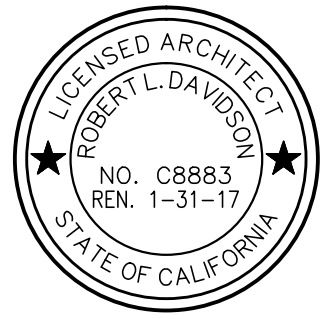
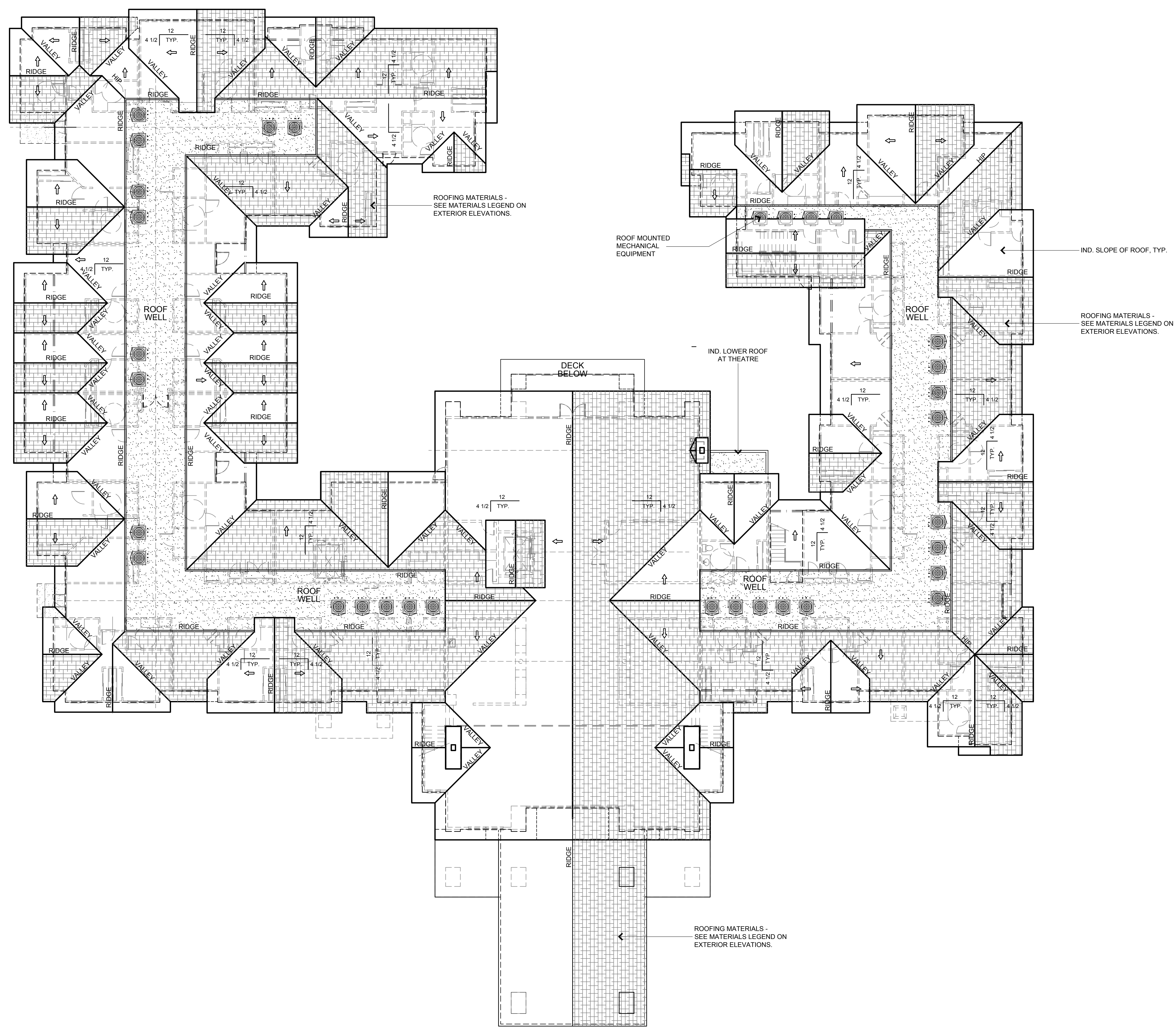
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SHEET NO.

AL-1.2

PROJECT NO. 1501



ASSISTED CARE LIVING FACILITY: UPPER LEVEL BUILDING COORDINATION PLAN



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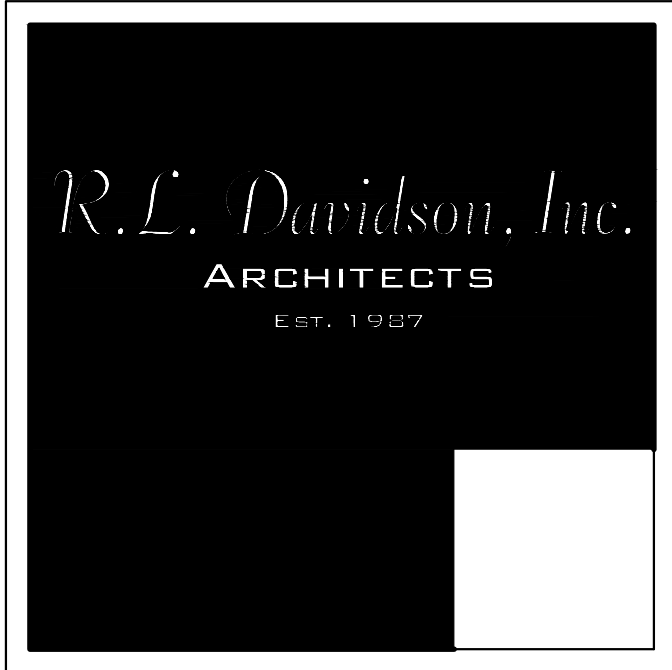
ASSISTED CARE LIVING
FACILITY:
ROOF PLAN

SCALE: 3/32" = 1'-0"
SHEET NO.

PROJECT NO. 1501

ASSISTED CARE LIVING FACILITY
ROOF PLAN



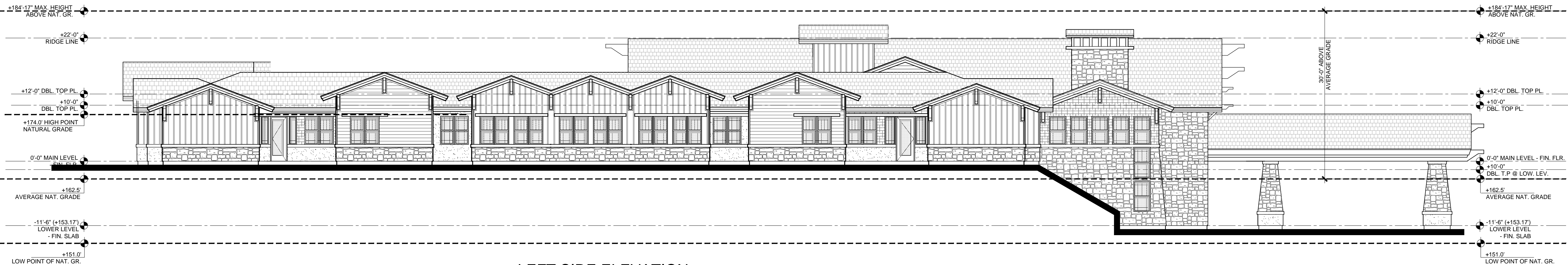


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FRONT ELEVATION

NOTE: ALL KEY NOTES ARE TYPICAL OF ALL ELEVATIONS.
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

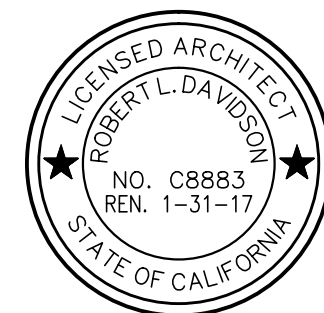


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL
SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE BLEND' SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY | BY: EAGLE ROOFING 'NANTUCKET BLEND' SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER, SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDORADO STONE 'WILLOW SHADOW ROCK' DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | 'EYEBROW TYPE' |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



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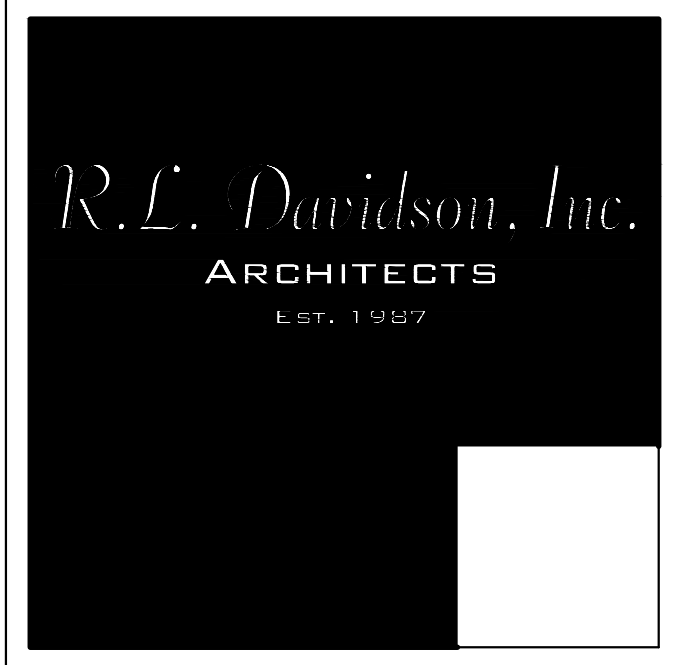
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ASSISTED CARE LIVING FACILITY:
EXTERIOR
ELEVATIONS

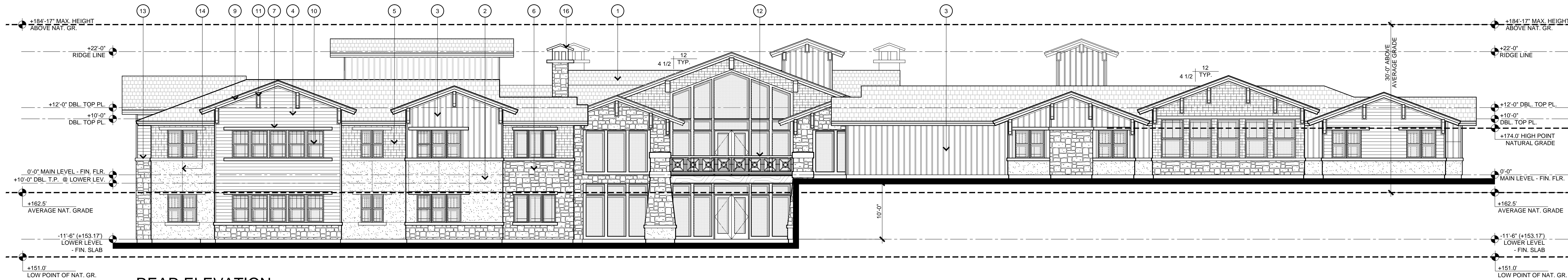
SCALE: 1/8" = 1'-0"
SHEET NO.

AL-1.4

PROJECT NO. 1501

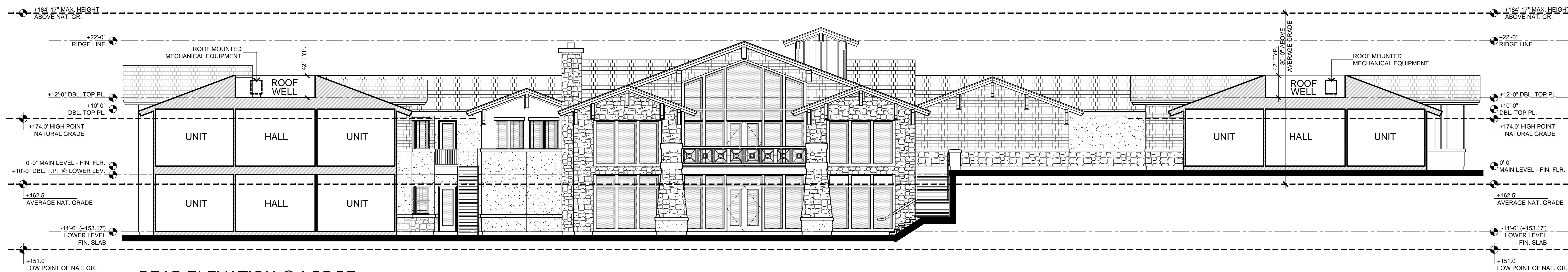


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REAR ELEVATION

NOTE: ALL KEY NOTES ARE TYPICAL OF ALL ELEVATIONS.
SCALE: 1/8" = 1'-0"

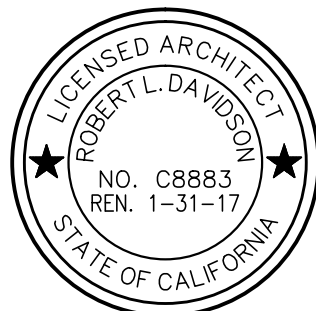


REAR ELEVATION @ LODGE

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL
SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE ROOFING TILE | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-PLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER; SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDERADO STONE "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



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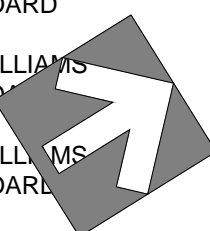
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ASSISTED CARE LIVING FACILITY:
EXTERIOR
ELEVATIONS

SCALE:
SHEET NO.

AL-1.5

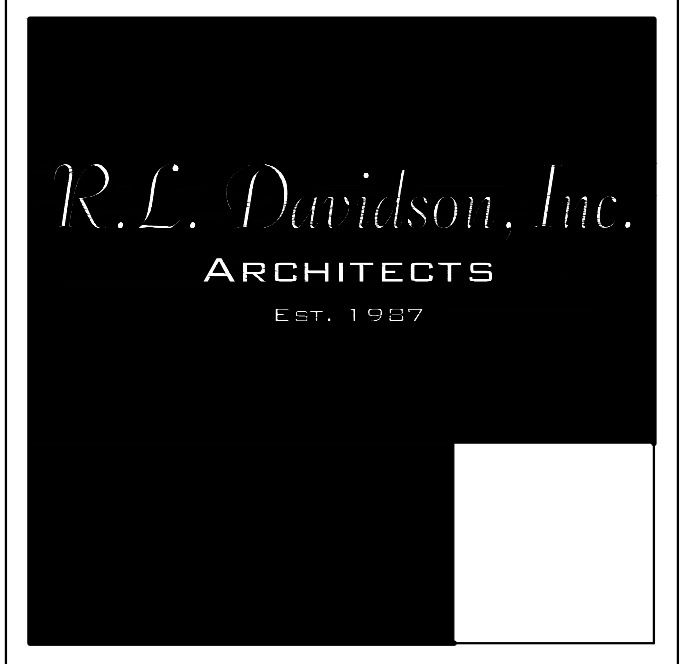
PROJECT NO. 1501

ASSISTED CARE LIVING FACILITY:
EXTERIOR ELEVATIONS

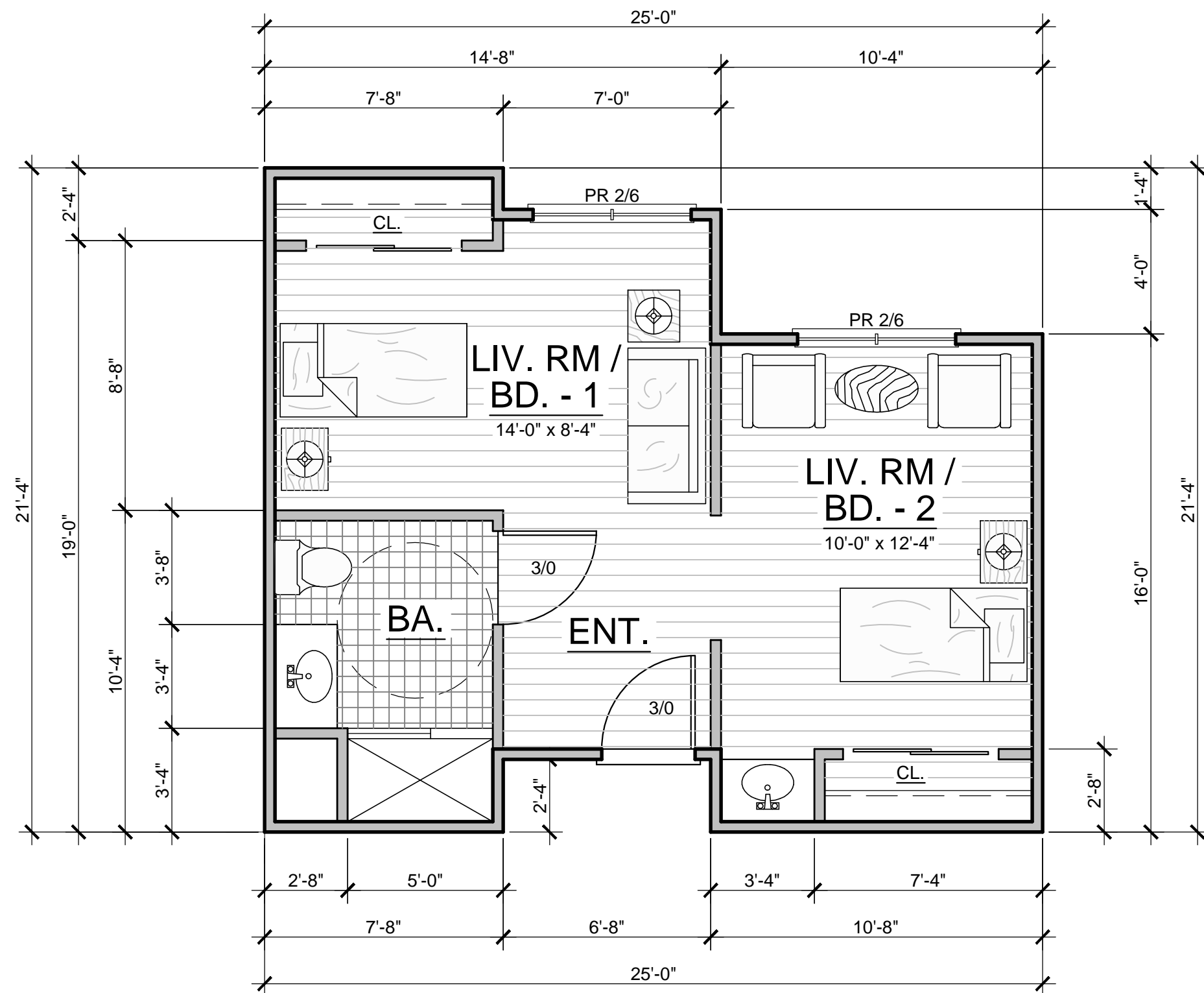


NORTH

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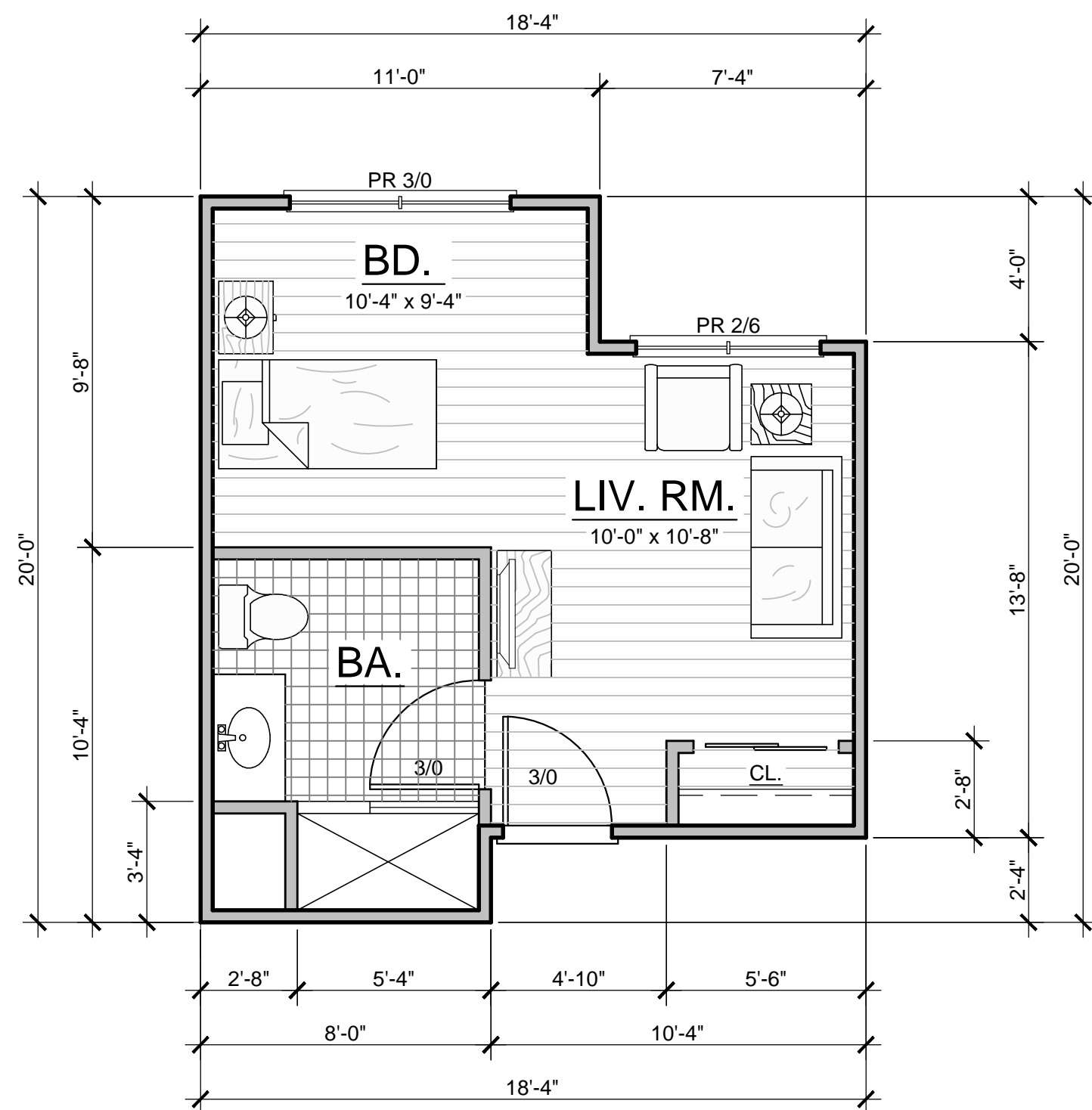
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UNIT A - FLOOR PLAN - COMPANION SUITE

SCALE 1/4" = 1'-0"

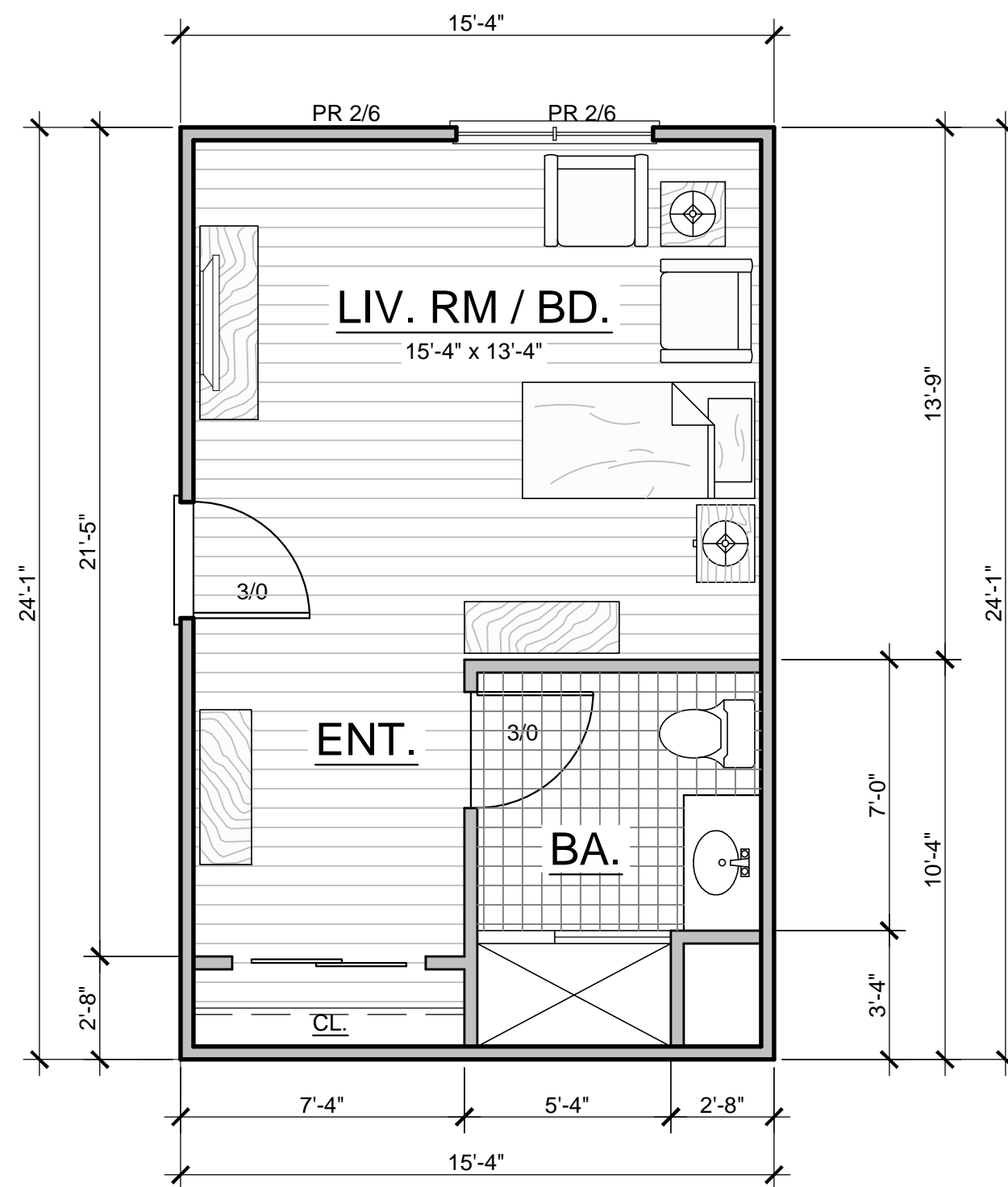
453 S.F.



UNIT B - FLOOR PLAN - STUDIO

SCALE 1/4" = 1'-0"

313 S.F.

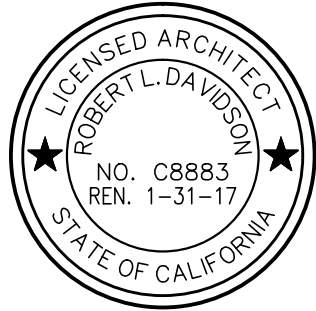


UNIT C - FLOOR PLAN - STUDIO

SCALE 1/4" = 1'-0"

368 S.F.

MEMORY CARE LIVING FACILITY:
UNIT FLOOR PLANS



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07.20.2015	EASEMENT REVISION	

SHEET TITLE:

MEMORY CARE LIVING
FACILITY:
UNIT FLOOR PLANS

SCALE: 1/4" = 1'-0"

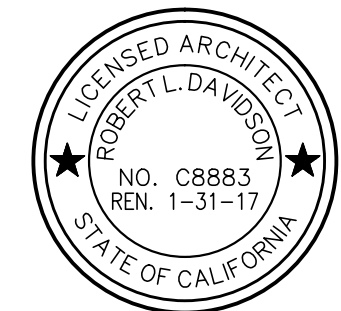
SHEET NO.

MC-0.1

PROJECT NO. 1501



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559.435.3303
WWW.RLDAVIDSON.COM



" RIVERVIEW AT
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21000 COUNTRY PARK ROAD
Salinas, CA

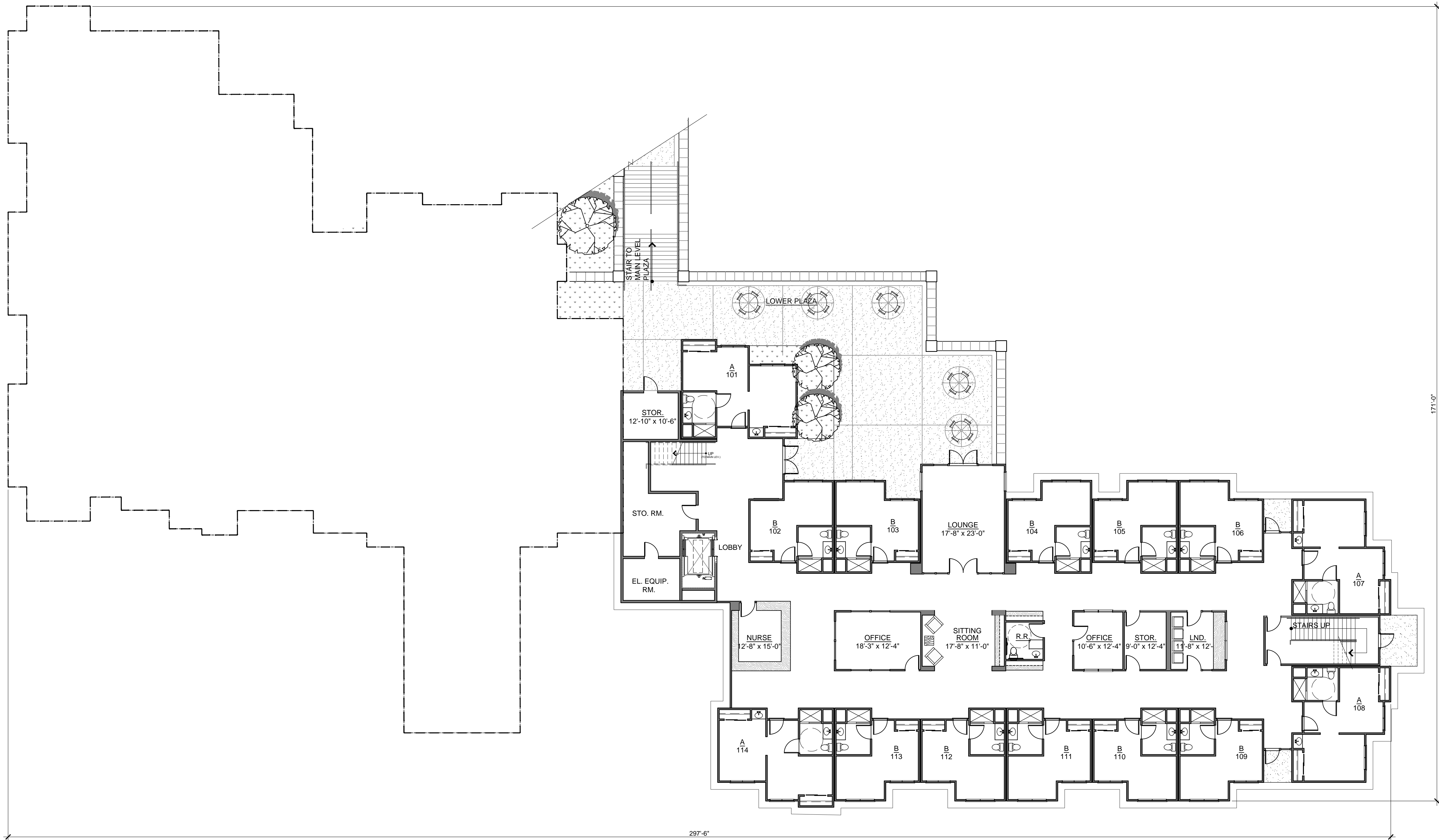
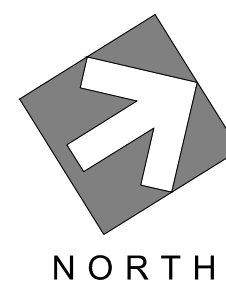
NO.	DATE	ISSUE
05.15.2015	PLANNING SUBMITTAL	
05.02.2015	DEC MODIFICATIONS	
06.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

SHEET TITLE:

MEMORY CARE LIVING FACILITY:
LOWER LEVEL BUILDING
COORDINATION PLAN

SCALE: 3/32" = 1'-0"
SHEET NO.

PROJECT NO. 1501

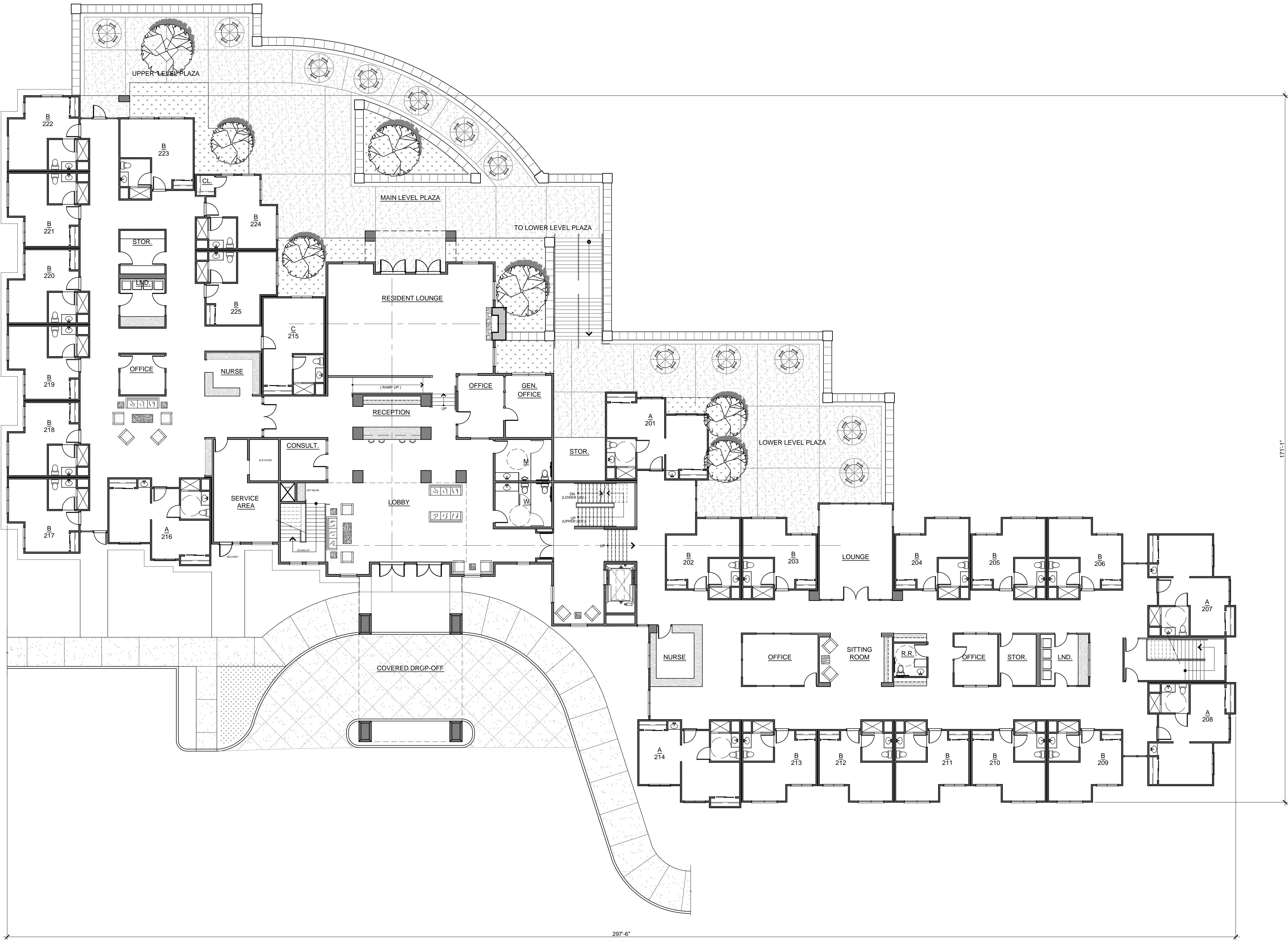


MEMORY CARE LIVING FACILITY:
LOWER LEVEL BUILDING COORDINATION PLAN

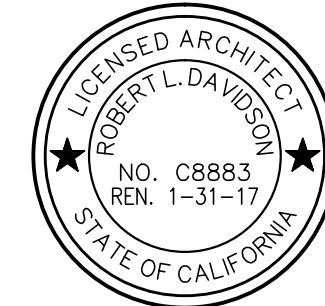
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MEMORY CARE LIVING FACILITY:
MAIN LEVEL BUILDING COORDINATION PLAN



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06.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

SHEET TITLE:

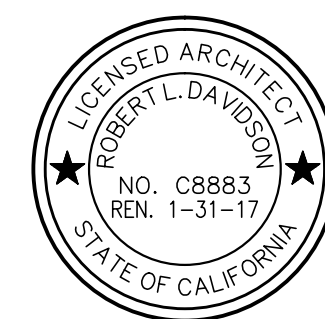
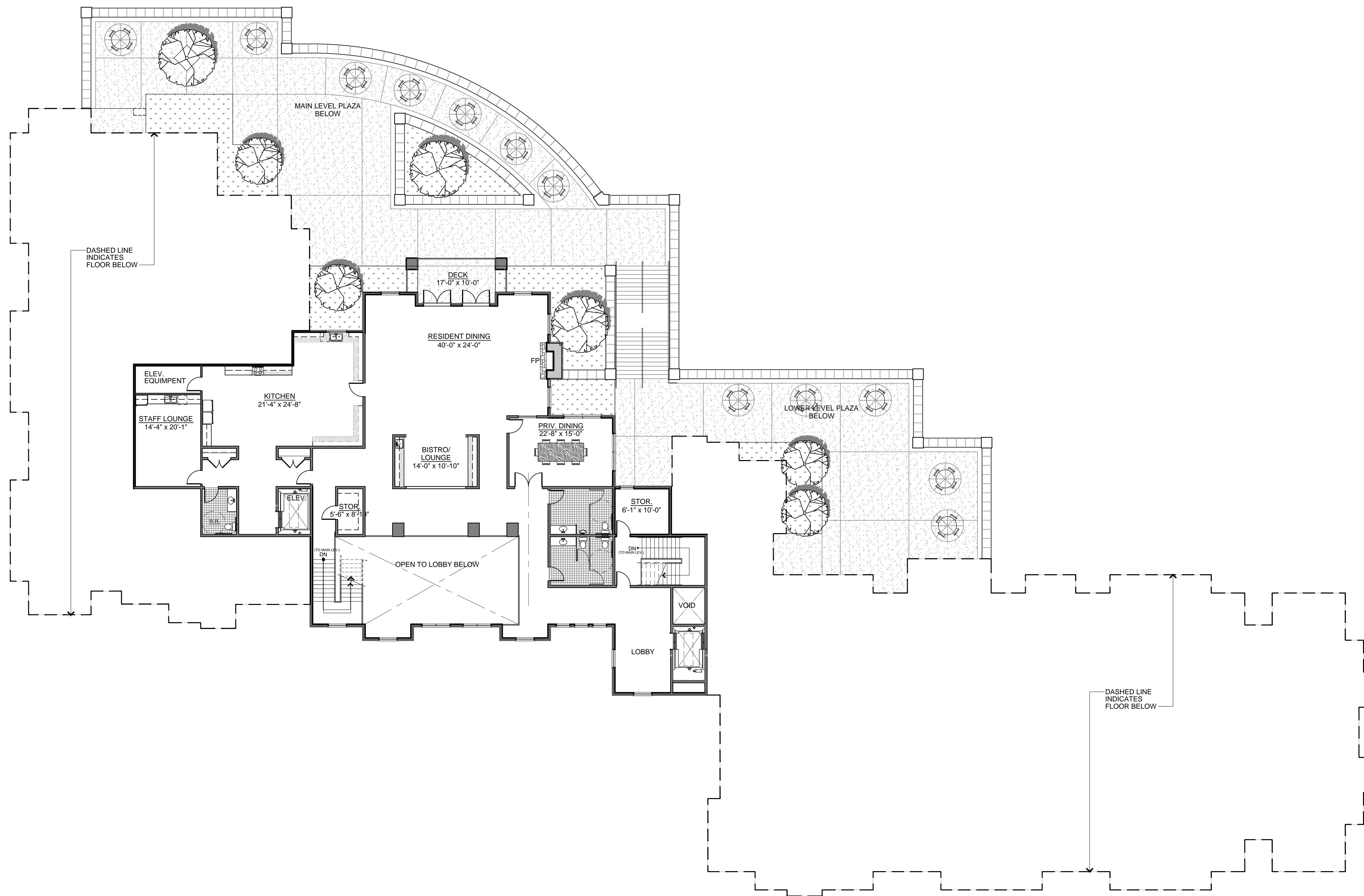
MEMORY CARE LIVING
FACILITY:
MAIN LEVEL BUILDING
COORDINATION PLAN

SCALE: 3/32" = 1'-0"
SHEET NO.

PROJECT NO. 1501



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" RIVERVIEW AT
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21000 COUNTRY PARK ROAD
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05.15.2015	PLANNING SUBMITTAL	
05.02.2015	DEC. MODIFICATIONS	
05.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

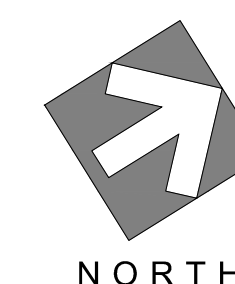
SHEET TITLE:

MEMORY CARE LIVING
FACILITY:
UPPER LEVEL BUILDING
COORDINATION PLAN

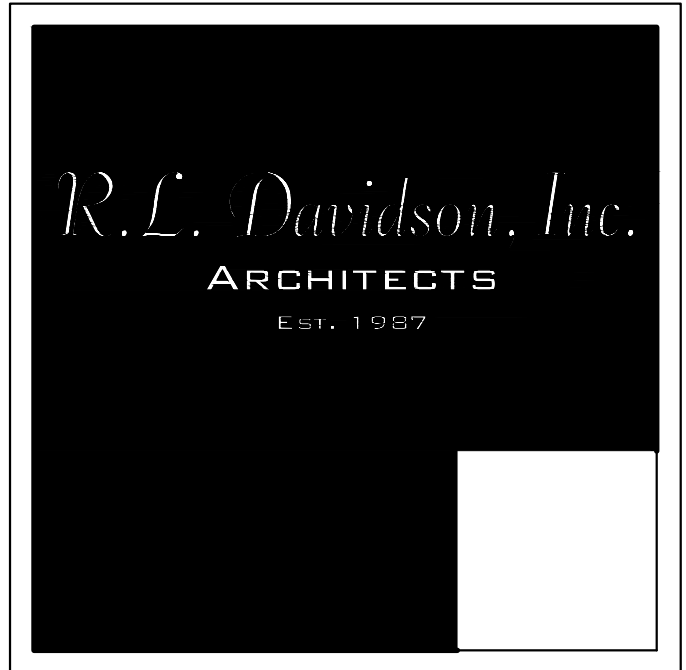
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SHEET NO.

MC-1.3

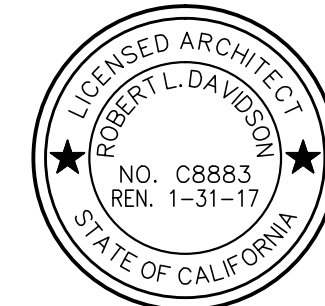
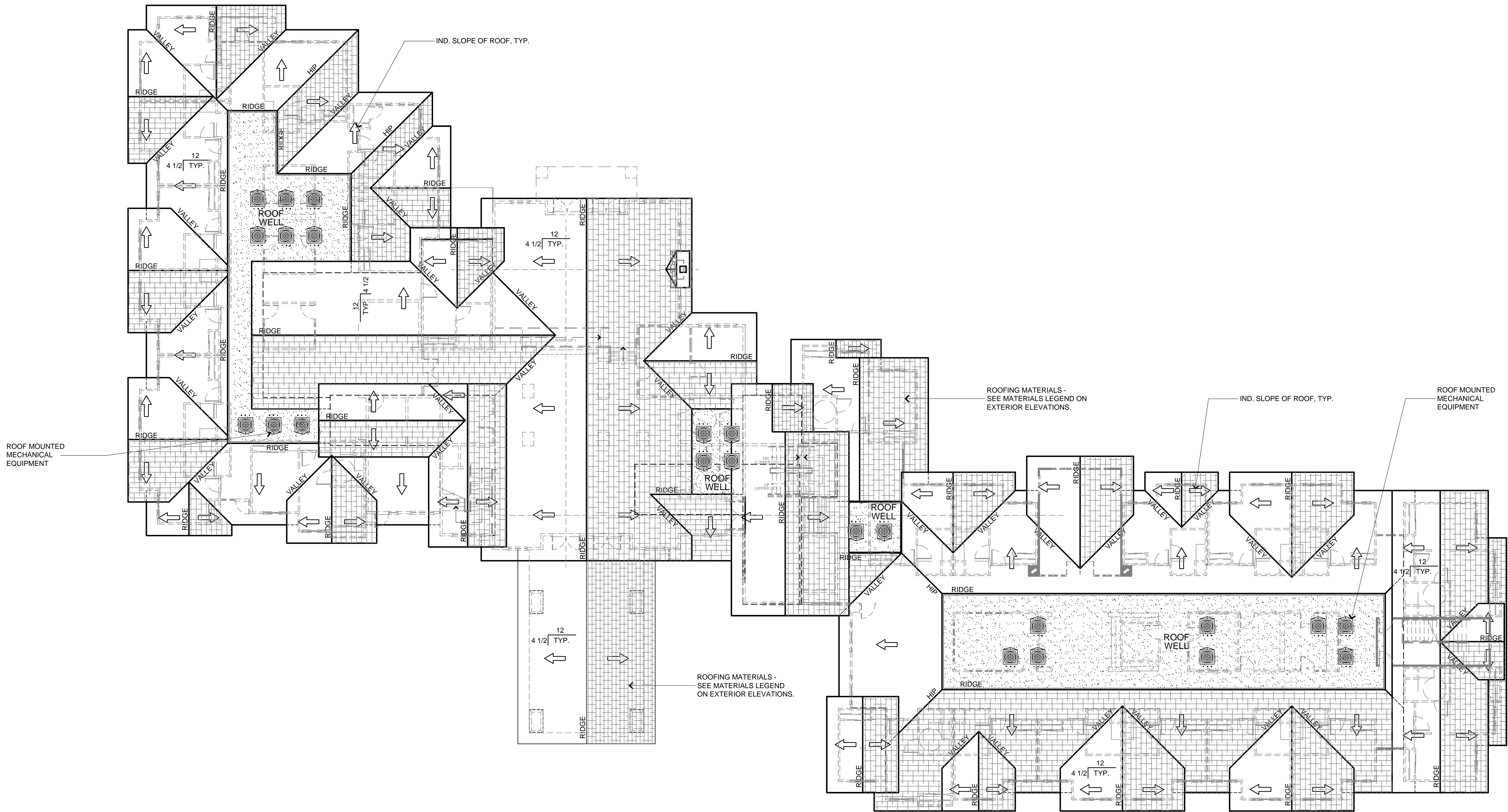
PROJECT NO. 1501



MEMORY CARE LIVING FACILITY: UPPER LEVEL BUILDING COORDINATION PLAN



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Salinas, CA

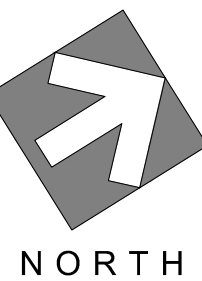
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06.03.2015	DWG MODIFICATIONS	
06.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

SHEET TITLE:

MEMORY CARE
LIVING FACILITY:
ROOF PLAN

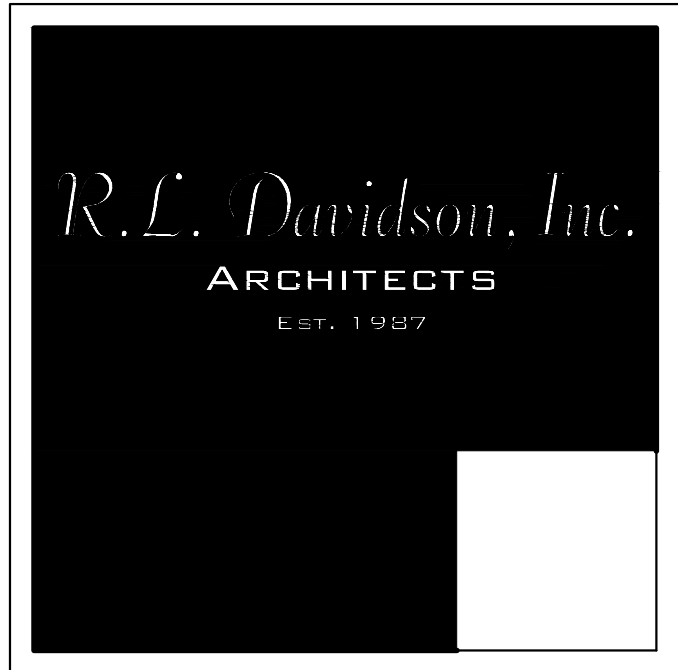
©
SCALE: 3/32" = 1'-0"
SHEET NO.

PROJECT NO. 1501

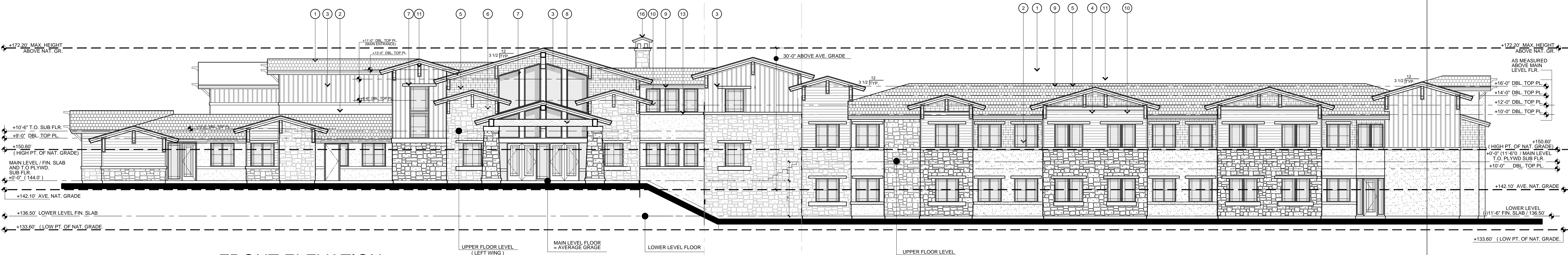


MEMORY CARE LIVING FACILITY:
ROOF PLAN

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FRONT ELEVATION

SCALE: 1/8" = 1'-0"



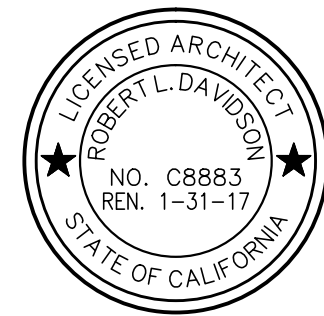
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

MEMORY CARE LIVING FACILITY:
EXTERIOR ELEVATIONS

EXTERIOR FINISH MATERIAL
SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE ROOFING TILE | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER, SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDORADO STONE "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



" RIVERVIEW AT
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Salinas, CA

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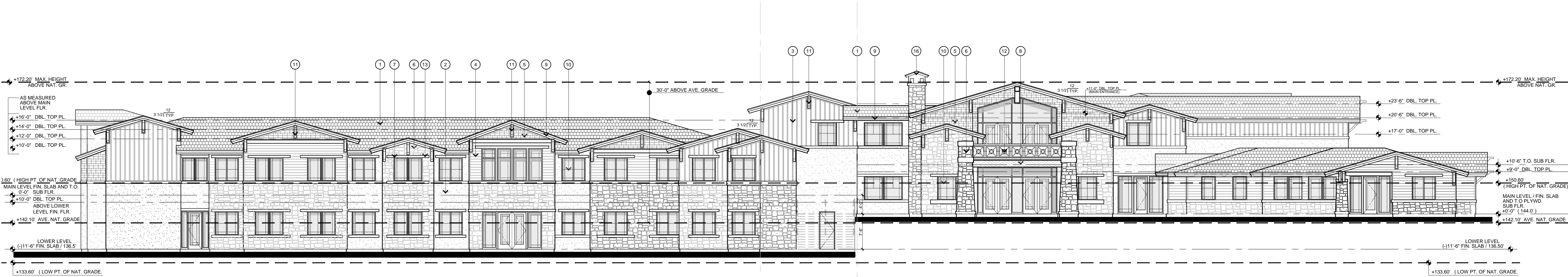
SHEET TITLE:

MEMORY CARE LIVING
FACILITY:
EXTERIOR ELEVATIONS

©
SCALE: 1/8" = 1'-0"
SHEET NO.

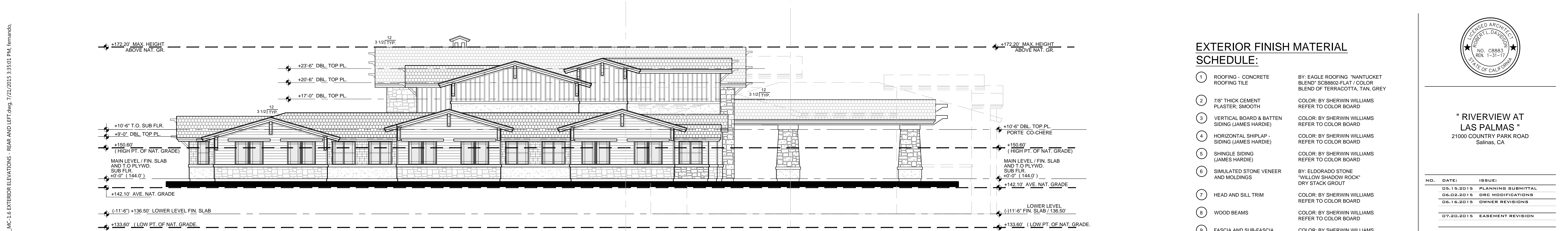
MC-1.5
PROJECT NO. 1501

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1-26



REAR ELEVATION

SCALE: 1/8" = 1'-0"

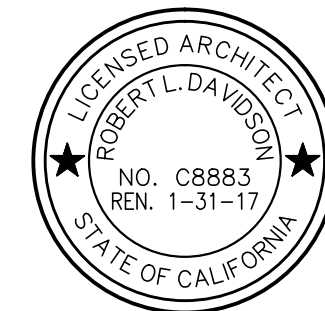


LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE:

- | | | |
|----|---|---|
| 1 | ROOFING - CONCRETE ROOFING TILE | BY: EAGLE ROOFING "NANTUCKET BLEND" SCB8802-FLAT / COLOR BLEND OF TERRACOTTA, TAN, GREY |
| 2 | 7/8" THICK CEMENT PLASTER; SMOOTH | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 3 | VERTICAL BOARD & BATTEN SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 4 | HORIZONTAL SHIPLAP - SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 5 | SHINGLE SIDING (JAMES HARDIE) | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 6 | SIMULATED STONE VENEER AND MOLDINGS | BY: ELDORADO STONE - "WILLOW SHADOW ROCK" DRY STACK GROUT |
| 7 | HEAD AND SILL TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 8 | WOOD BEAMS | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 9 | FASCIA AND SUB-FASCIA | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 10 | VINYL WINDOWS | MILGARD - SINGLE HUNG COLOR: TAN |
| 11 | OUTRIGGER / KNEE BRACES | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 12 | GUARDRAIL ASSEMBLY | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 13 | HORIZONTAL BAND / TRIM | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 14 | EXPANSION JOINTS | "EYEBROW TYPE" |
| 15 | PATIO / PORCH HALF WALL | COLOR: BY SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 16 | FIREPLACE / CHIMNEY CAP | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 17 | SECTIONAL GARAGE DOOR | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |
| 18 | SHUTTERS | COLOR: SHERWIN WILLIAMS REFER TO COLOR BOARD |



" RIVERVIEW AT LAS PALMAS "
21000 COUNTRY PARK ROAD
Salinas, CA

NO.	DATE	ISSUE
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05.16.2015	OWNER REVISIONS	
07.20.2015	EASEMENT REVISION	

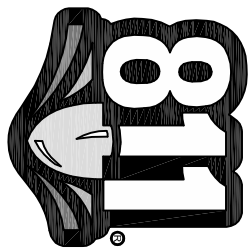
SHEET TITLE:

MEMORY CARE LIVING FACILITY:
EXTERIOR ELEVATIONS

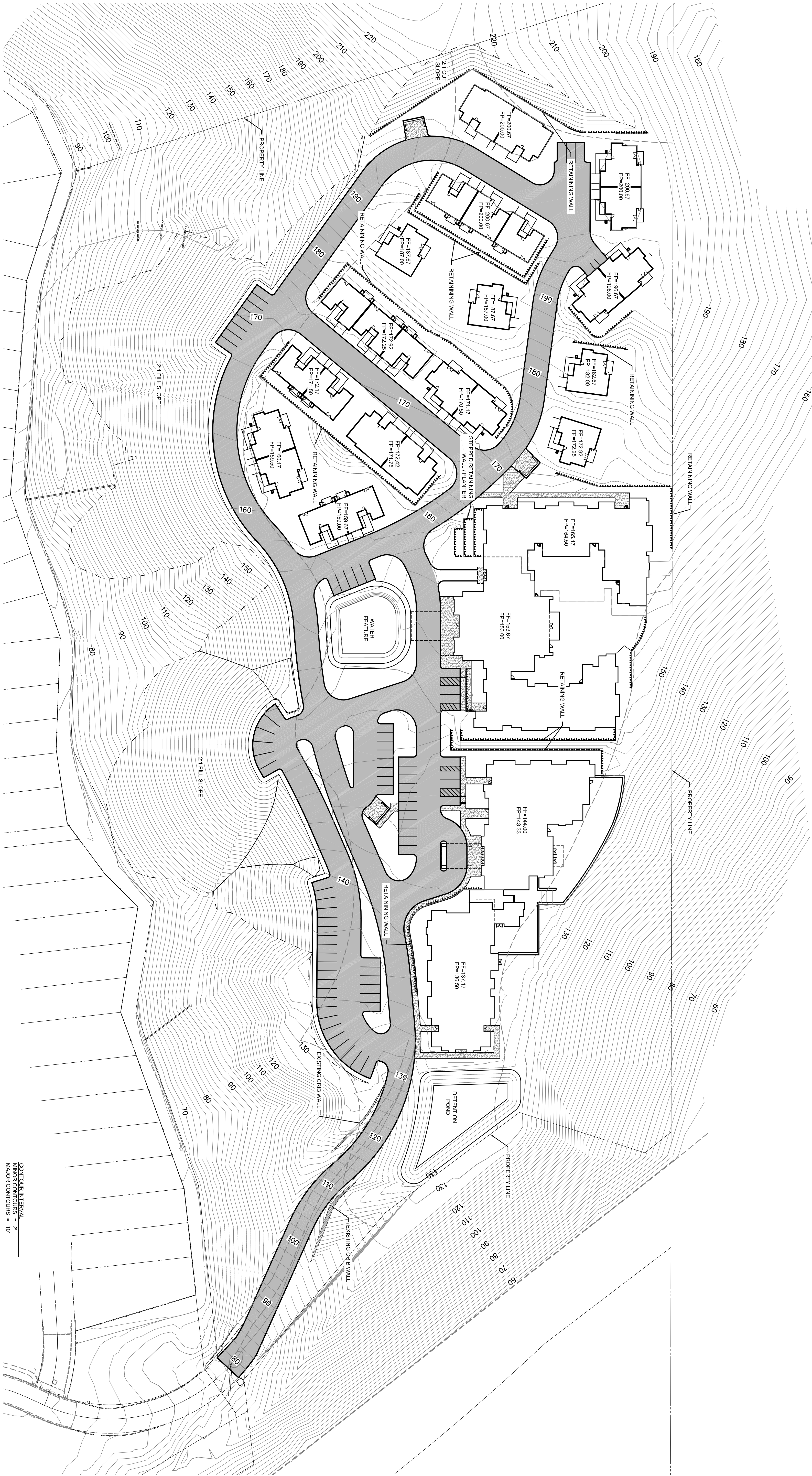
©
SCALE: 1/8" = 1'-0"
SHEET NO.

MC-1.6
PROJECT NO. 1501



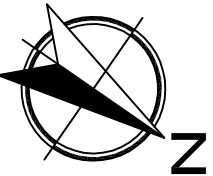


Know what's below.
Call before you dig.



CONTOUR INTERVAL
MAJOR CONTOURS = 2'
MINOR CONTOURS = 1'
EARTHWORK VOLUMES
EXCAVATION = 59,886 CY
EMBANKMENT = 34,298 CY

LEGEND
RETAINING WALL
DAYLIGHT/CATCH LINE
PROPERTY LINE



SCALE IN FEET
0 25 50 100

DATE SIGNED:##



GATEWAY
ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
P. 559-320-0344 | F. 559-320-0345 | WWW.GATEWAYENG.COM
5811 EAST PRINCETON AVENUE, FRESNO, CA 93727-1377

RIVERVIEW AT LAS PALMAS
SENIOR LIVING COMMUNITY
SALINAS, CA

SITE GRADING CONTOUR PLAN

REV No.	DESCRIPTION	DATE

ENGINEER: D. BOND

LICENSE NO: 57133

DRAWN BY: B. WARDEN

CHECKED BY: D. BOND

SCALE: AS SHOWN

PROJECT NO:

SHEET

1 1



PERSPECTIVE FROM HIGHWAY 68

1. EYE LEVEL: $\pm 72'-0"$
2. NEW LANDSCAPING AND DEVELOPMENT IN HIGHER CONTRAST



PROPOSED SITE MODEL: ISOMETRIC PROJECTIONS



TOPOGRAPHICAL VIEW

MAJOR CONTOURS: 10'-0"
MINOR CONTOURS: 2'-0"
SCALE: 1" = 200'-0"

"RIVERVIEW AT LAS PALMAS"

SENIOR LIVING COMMUNITY

21000 COUNTRY PARK ROAD SALINAS, CA

- NOTES:
1. SITE MODEL GENERATED FROM ENGINEERING SITE GRADING CONTOUR PLAN
 2. STRUCTURE FINISHED FLOORS, PLATE HEIGHTS, & RIDGE HEIGHTS CORRESPOND TO ARCHITECTURAL SPECIFICATIONS
 3. OVERLAY TEXTURE SHOWS EXISTING TERRAIN
 4. ONLY PRIMARY ROADWAY AND PERIMETER LANDSCAPING RENDERED



Riverview @ Las Palmas

Salinas, CA

Architect:

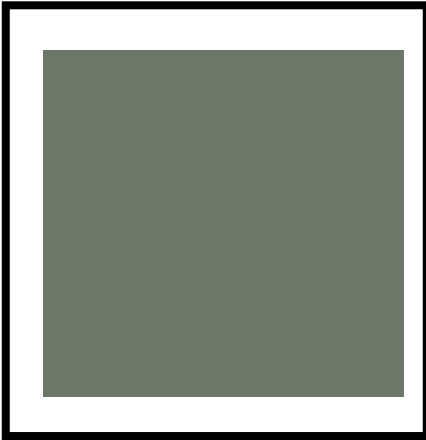
RL Davidson, Inc.
7600 N. Ingram, Suite 232
Fresno, California
Phone: (559) 435-3303

Owner:

Riverview @ Las Palmas LLC

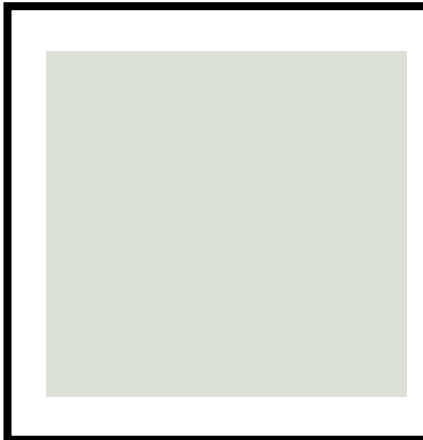
Assisted Care Facility

Cement Plaster



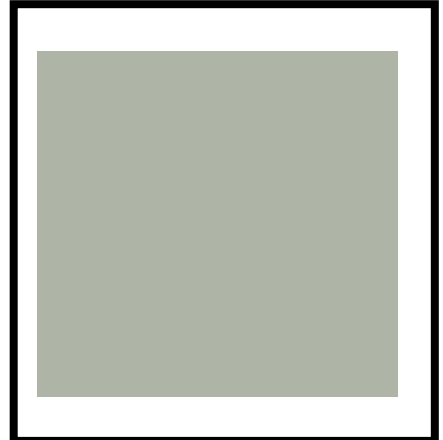
Kelly Moore
"Glen Ivy"
#KM 3887-3

Board & Batten



Board & Batten
By: James Hardie
Color By: Kelly Moore
"Ridgefield" #KM3881-1

Horiz. Shiplap Siding



Horizontal Siding
By: James Hardie
Color By: Kelley Moore
"Hidden Ravine" #3884-2

Shingle Siding



Shingle Siding
By: James Hardie
Color By: Kelly Moore
"Glen Ivy" #KM 3887-3

Roof Tile



Flat Conc. Roof Tile
By: Eagle Roofing
Bel-Aire Tacoma Blend
#SCV 8827

Rock Veneer



Stone Veneer
By: El Dorado Stone
Type: Cobble Stone
Color: Coal Canyon

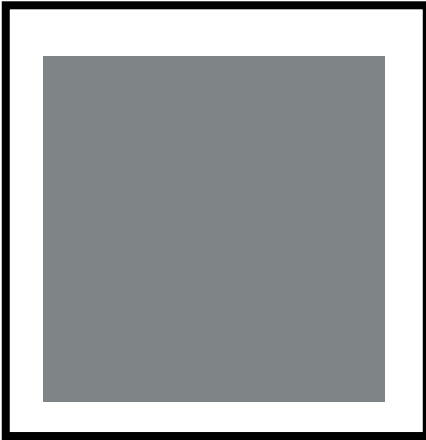
Assisted Care Facility

Page 2

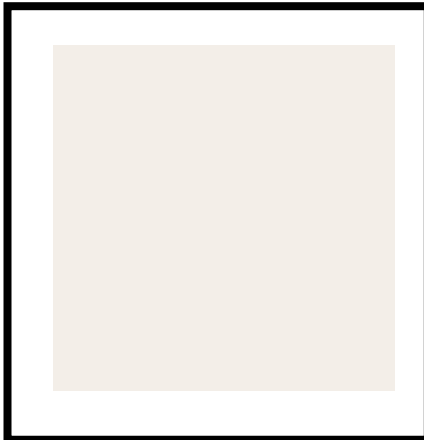
**Wrought Iron
Railing**

**Trims/Door/Window
Exp.Beams/Louvers
Trellis/Exp.Beam/
Facia**

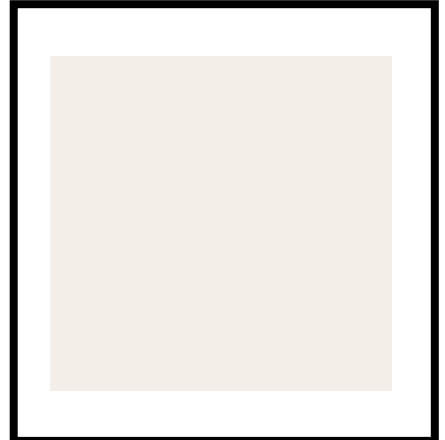
**Fireplace Chimney/
Cap**



Color By: Sherwin
Williams
"Software"
#SW 7074



Color By: Sherwin
Williams
"Arcade White"
#SW 7100



Riverview @ Las Palmas

Salinas, CA

Architect:

RL Davidson, Inc.
7600 N. Ingram, Suite 232
Fresno, California
Phone: (559) 435-3303

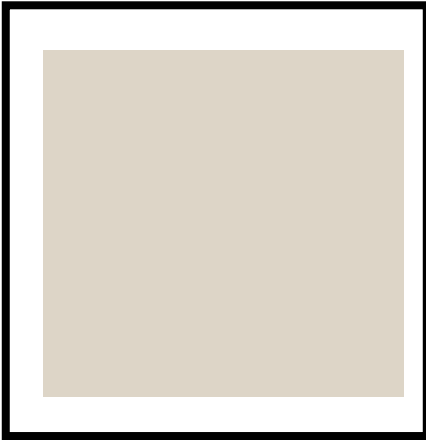
Owner:

Riverview @ Las Palmas LLC

Assisted Living Casitas

Exterior Wall Color

Cement Plaster



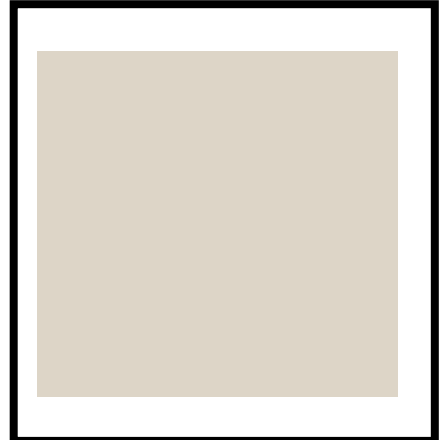
Color By: Kelly Moore
"Bleached Blur"
#KM 3971-1

Board & Batten



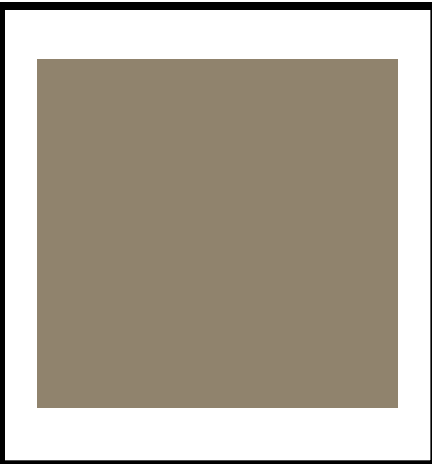
Board & Batten
By: James Hardie
Color By: Kelly Moore
"Westover Hill" #KM3973-2

Horiz. Shiplap Siding



Horizontal Siding
By: James Hardie
Color By: Kelley Moore
"Bleached Blur" #KM3971-1

Shingle Siding



Shingle Siding
By: James Hardie
Color By: Kelly Moore
"African Plain" #KM3975-3

Roof Tile



Flat Conc. Roof Tile
By: Eagle Roofing
Bel-Aire Tacoma Blend
#SCV 8827

Rock Veneer



Stone Veneer
By: El Dorado Stone
Type: Cypress Ridge
Color: "Santa Maria"

Riverview @ Las Palmas

Salinas, CA

Architect:

RL Davidson, Inc.
7600 N. Ingram, Suite 232
Fresno, California
Phone: (559) 435-3303

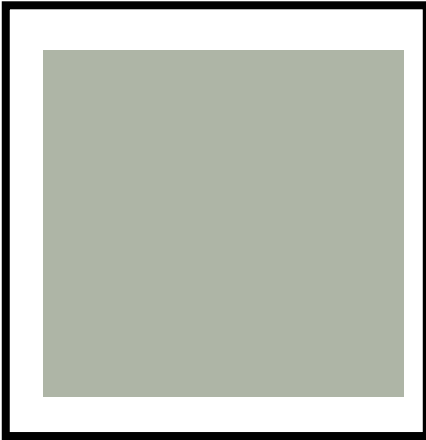
Owner:

Riverview @ Las Palmas LLC

Memory Care Facility

Exterior Wall Color

Cement Plaster



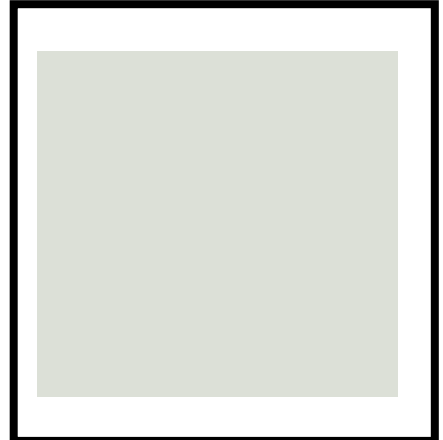
Color By: Kelly Moore
"Hidden Ravine"
#KM 3884-2

Board & Batten



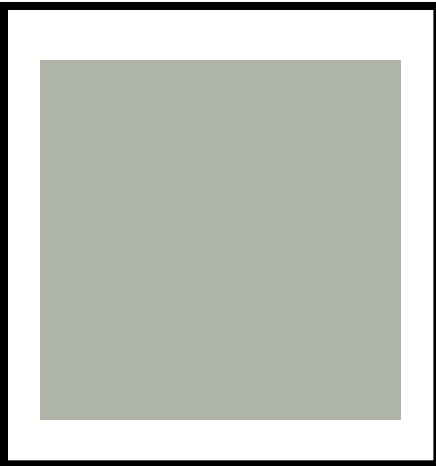
Board & Batten
By: James Hardie
Color By: Kelly Moore
"Glen Ivy" #KM3887-3

Horiz. Shiplap Siding



Horizontal Siding
By: James Hardie
Color By: Kelley Moore
"Ridgefield" #3881-1

Shingle Siding



Shingle Siding
By: James Hardie
Color By: Kelly Moore
"Hidden Ravine" #KM 3884-2

Roof Tile



Flat Conc. Roof Tile
By: Eagle Roofing
Bel-Aire Tacoma Blend
#SCV 8827

Rock Veneer

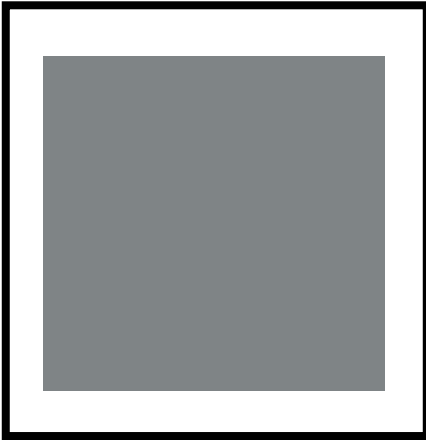


Stone Veneer
By: El Dorado Stone
Type: Cobble Stone
Color: "Coal Canyon"

Memory Care Facility

Page 2

**Wrought Iron
Railing**



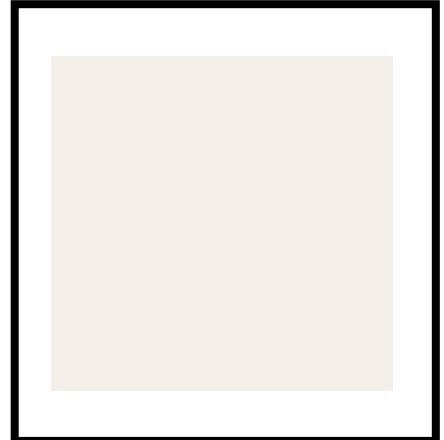
Color By: Sherwin
Williams
"Software"
#SW 7074

**Trims/Door/Window
Exp.Beams/Louvers
Trellis/Exp.Beam/
Facia**



Color By: Sherwin
Williams
"Arcade White"
#SW 7100

**Fireplace Chimney/
Cap**



Color By: Sherwin
Williams
"Arcade White"
#SW 7100

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