

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, November 1, 2023

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on November 1, 2023 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, October 31, 2023. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN230185 - PELOSI JOHN J & JANINE A TRS**

Hearing to consider Administrative Permit and Design Approval to allow the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray).

Project Location: 11 Wild Boar Run, Greater Monterey Peninsula Area Plan

Proposed CEQA action: Categorically Exempt pursuant to CEQA Guidelines Section 15303

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)

2. PLN230078 - COPPERHEAD CREEK LLC

Administrative hearing to consider Lot Line Adjustment between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B), respectfully.

Project Location: 73550, 73552, 73554, & 73556 Pleyto Cemetery Road, Bradley 93426

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - AAC Meeting Minutes](#)
 [Exhibit C - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 23-084

November 01, 2023

Introduced: 10/13/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230185 - PELOSI JOHN J & JANINE A TRS

Hearing to consider Administrative Permit and Design Approval to allow the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray).

Project Location: 11 Wild Boar Run, Greater Monterey Peninsula Area Plan

Proposed CEQA action: Categorically Exempt pursuant to CEQA Guidelines Section 15303

RECOMMENDATIONS:

It is recommended that the HCD Chief of Planning adopt a resolution to:

- 1) Find that the construction of the new single family dwelling qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to Section 15300.2 ; and
- 2) Approve Administrative Permit and Design Approval to allow the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 2 conditions.

PROJECT INFORMATION:

Agent: Lisa Nichols

Property Owner: Pelosi, John and Janine

APN: 239-102-009-000

Parcel Size: 34 acres

Zoning: RG/10-D-S-RAZ or "Rural Grazing, 10 acres per unit; Design Control District Overlay, Site Plan Review, and Residential Allocation Zoning"

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

SUMMARY:

Staff is recommending approval of a Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On November 1, 2023, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, October 31, 2023. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

THIS ADMINISTRATIVE PERMIT IS COMBINED WITH A CONSTRUCTION PERMIT AS A COMBO PERMIT: A PREVIOUSLY CERTIFIED EIR FOR THE SUBDIVISION ANALYZED RESOURCES AND ESTABLISHED BUILDING ENVELOPES ON EACH LOT. THERE IS NO TREE REMOVAL THAT IS DISCRETIONARY, NO ADDITIONAL IMPACTS TO ENVIRONMENTALLY SENSITIVE HABITAT OR DEVELOPMENT ON SLOPES IN EXCESS OF 25% ASSOCIATED WITH THIS PERMIT.

A notice of pending decision on an Administrative Permit and Design Approval for the Pelosi application (PLN230185) was distributed by the County with an intended decision date of November 1, 2023.

Note: This project will be referred to the Planning Commission if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

Prepared by: Arlen Blanca, Permit Technician II

Reviewed and Approved by: Elizabeth Gonzales, Permit Center Manager

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Arlen Blanca, Permit Technician II; Elizabeth Gonzales, Permit Center Manager; Pelosi, owner; Lisa Nichols, agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Planning File PLN230185.



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The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 2 conditions.

PROJECT INFORMATION:

Agent: Lisa Nichols

Property Owner: Pelosi, John and Janine

APN: 239-102-009-000

Parcel Size: 34 acres

Zoning: RG/10-D-S-RAZ or "Rural Grazing, 10 acres per unit; Design Control District Overlay, Site Plan Review, and Residential Allocation Zoning"

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

SUMMARY:

Staff is recommending approval of a Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

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Note: This project will be referred to the Planning Commission if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

Prepared by: Arlen Blanca, Permit Technician II

Reviewed and Approved by: Elizabeth Gonzales, Permit Center Manager

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

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- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Arlen Blanca, Permit Technician II; Elizabeth Gonzales, Permit Center Manager; Pelosi, owner; Lisa Nichols, agent; Interested Parties; The Open Monterey Project; LandWatch (Executive Director); Planning File PLN230185.

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

PELOSI JOHN J & JANINE A TRS (PLN230185)

RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that Administrative Permit and Design Approval qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and there are no exceptions pursuant to Section 15300.2
- 2) Approving an Administrative Permit and Design Approval to allow the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray).

[PLN230185 PELOSI, 11 Wild Boar Run, Carmel Valley Master Plan (APN: 239-102-009-000)]

The PELOSI JOHN J & JANINE A TRS application (PLN230185) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on November 1, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval (Attachment 1) and project plans (Attachment 2), the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Project: The project proposes to construct a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet.
 - c) Allowed Use: The property is located at 11 Wild Boar Run, (APN: 239-102-009), Carmel Valley Master Plan. The parcel is zoned “RG/10-D-S-RAZ” or Rural Grazing, 10 acres per unit; Design Control District Overlay, Site Plan Review, and Residential Allocation, which allows residential development as a principal use, subject to granting of an Administrative Permit. Therefore, the project is an allowed land use for the site.
 - d) Lot Legality: The subject 34-acre parcel (1,481,040 square feet), Assessors Parcel Number 239-102-009-000, is identified in its current configuration in (Volume 23C&T PG 7 Lot 6). Additionally, within the Santa Lucia Preserve Subdivision – Phase E Tract 1443. Therefore, the county recognizes the subject property as a legal lot of record.
 - e) Design/Neighborhood and Community Character: The zoning of the subject property includes a Design Control overlay “D” which is intended to regulate the location, size, configuration, materials, and colors of structures to ensure the protection of public viewshed, neighborhood character and the visual integrity of certain developments without imposing undue restrictions on private property. Colors and materials consist of stone veneer, metal roofing, metal steel windows and doors, vertical and horizontal wood siding. The project, as designed, assures the protection of the public viewshed, is consistent with the neighborhood character, and blends in with the surrounding areas. The project, as designed and sited, assures protection of the public viewshed is consistent with the neighborhood and ensures visual integrity.
 - f) Development Standards: As proposed, the project meets all required development standards. The development standards for the Rural Grazing are identified in the MCC Section 21.32.010. The minimum setbacks for the main structure in the RG district

are 30 feet (front), 20 feet (side), and 20 feet (rear). The maximum height allowed is 35 feet. The proposed project has a maximum height of 19 feet and the proposed site is within an established building envelope. Therefore, setbacks are consistent with the minimum required and meet the height requirement for the zoning district in which it is located. The allowable maximum site coverage is five percent. The subject property is 35 acres, which would allow more than what is proposed for, therefore meeting the coverage standard.

- g) The project also includes the development of a 594 square foot detached Guesthouse, a 1,200 square foot detached Accessory Dwelling Unit. The proposed accessory structures meet the development standards for Rural Grazing zoning. The minimum setbacks for a habitable accessory structure in the RG District are 50 feet (front), 6 feet (side), 6 feet (rear) with a maximum building height of 35 feet. The proposed project is within an established building envelope. Therefore, the setbacks meet the minimum required in the district which it is located.
- h) The project planner verified that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230185.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development.
 - b) Staff did not identify any potential impacts. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. An EIR was prepared for the original Santa Lucia Preserve subdivision. All development shall be in accordance with these reports.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230185.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of

this case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. There are no project conditions as the staff has ensured that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Domestic water and an engineered OWTS design will be provided by Santa Lucia Community Service District.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230185.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230185.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the development of a new single-family dwelling and accessory structures within residentially zoned areas.
 - b) The project consists of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; Therefore, the proposed development qualifies as a Class 1 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would

result in significant effect, or development, that would result in a cumulatively significant impact.

- d) No adverse environmental effects were identified during staff review of the development application.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230185.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Pursuant to Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Finds the Administrative permit and Design Approval qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and;
2. Approves the Administrative Permit and Design Approval allow the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray), all of which are in general conformance with the attached sketch (Attachment 2) and subject to the attached conditions (Attachment 1), all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of November, 2023.

Anna Quenga on behalf of
Melanie Beretti, AICP, HCD Acting Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230185

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Administrative Permit and Design Approval (PLN230185) allow² the construction of a 5,667 square foot single family dwelling, 850 square foot detached garage, 594 square foot guest house, 1,162 square foot Accessory Dwelling Unit, swimming pool with spa and a detached spa near the bedroom wing; approximately eight garden retaining walls of 1,156 linear feet with an average height of two to six feet. Colors and materials to include irregular rubble dry stack stone veneer (multi-colored tan), exterior horizontal and vertical wood siding (brown), exterior metal and steel doors and windows (dark brown), and Class A metal roofing materials (gray). The property is located at 11 Wild Boar Run, Carmel (Assessor's Parcel Number 239-102-009-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 239-102-009-000) on November 1, 2023. The permit was granted subject to 2 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

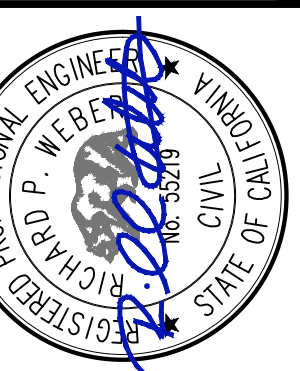
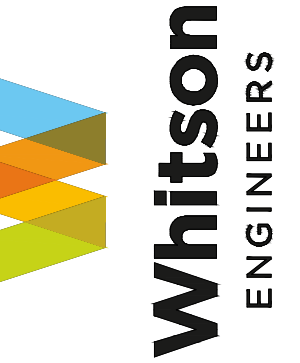


SEE SHEET C1.1 FOR CONT.

KEY NOTES

- CHIPSEAL DRIVEWAY; SEE DETAIL 1(CO.2
- GRAVEL MOTORCOURT
- STONE PAVEMENT; S.L.D.
- GRAVEL PATH / SURFACE; S.L.D.
- CONCRETE BAND; SEE DETAIL 5(CO.2
- CLEANOUT; SEE DETAIL 2(CO.2
- ROOF OVERHANG
- RETAINING WALL; S.S.D.
- SUBSURFACE DRAIN APRON; SEE DETAIL 8(CO.2
- JACUZZI; S.L.D.
- 4" WIDE TRENCH DRAIN; SEE SPECIFICATIONS
- VEGETABLE GARDEN
- WATER FEATURE; S.L.D.
- DOWNSPOUT TO CONNECT TO STORM DRAIN SYSTEM
- RAIN CHAIN; S.A.D.
- FIRE PIT; S.L.D.
- UNDERGROUND PROPANE TANK TO BE SPECIFIED AND INSTALLED BY CONTRACTOR
- BROW DITCH AT TOP OF CUT SLOPE; SEE DETAIL 6(CO.2
- FIRE TRUCK TURNAROUND; 60 FT WIDE

Civil Engineering
Land Surveying
6 Horn Court
Monterey, California
831.449.5225
whitsonengineer.com



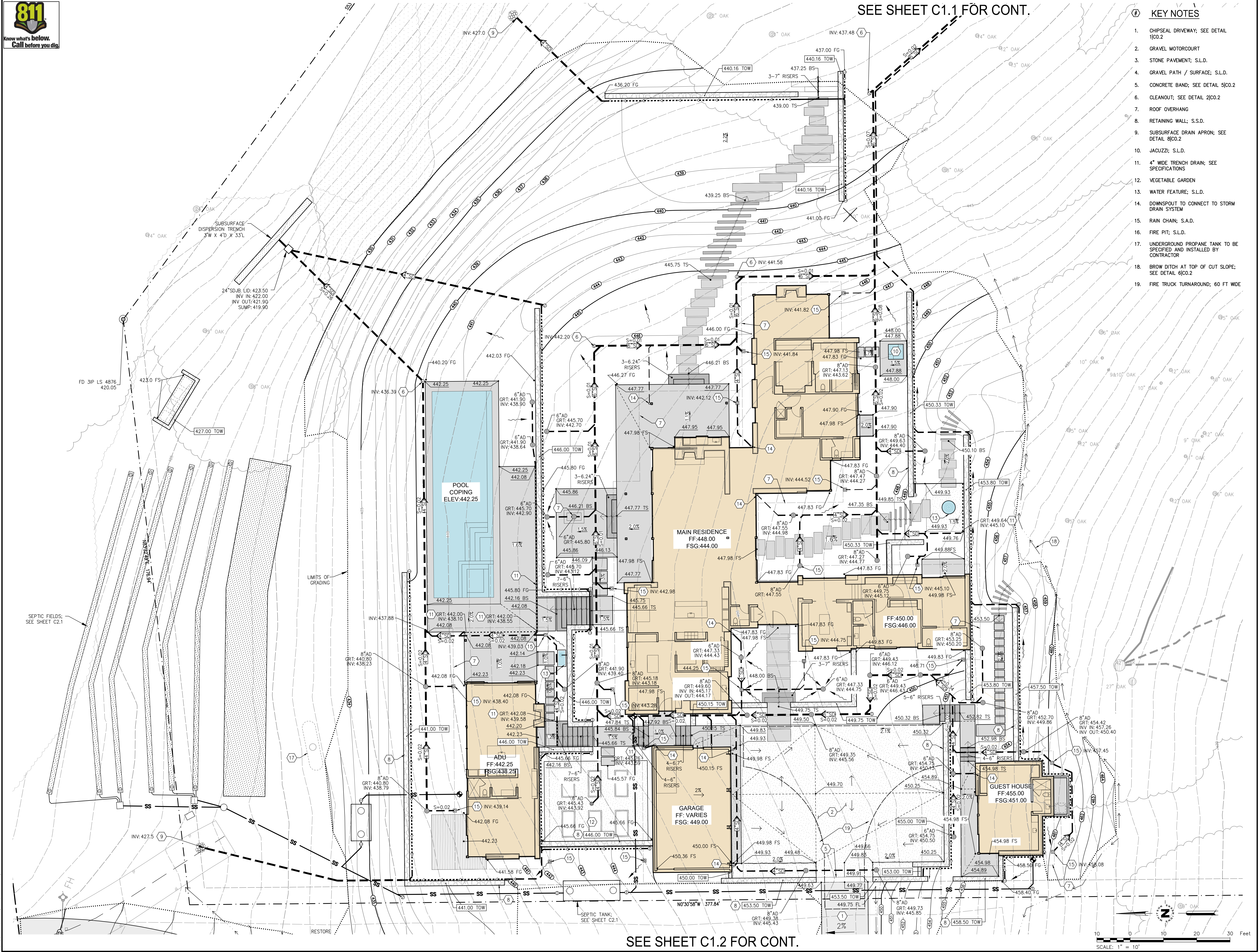
SUBMITTAL / REVISION		PERMIT SET
7/16/23	RA	

Carmel, California

APN 239-102-009

PELOSI RESIDENCE - LOT E6
11 WILD BOAR RUN
MAIN RESIDENCE GRADING AND DRAINAGE PLAN
BUILDING PERMIT SUBMITTAL

SCALE:
DRAWN: RA
JOB No.: 3270.02
SHEET
C1.3
OF



SEE SHEET C1.2 FOR CONT.

SCALE: 1" = 10'

C:\Users\jacob\OneDrive\Documents\24680\24680_01.dwg 8/8/2023 1:16 PM



PROJECT NO.	22004
DATE	7.6.23
ISSUE	PERMIT SET

MAIN HOUSE
FLOOR PLAN

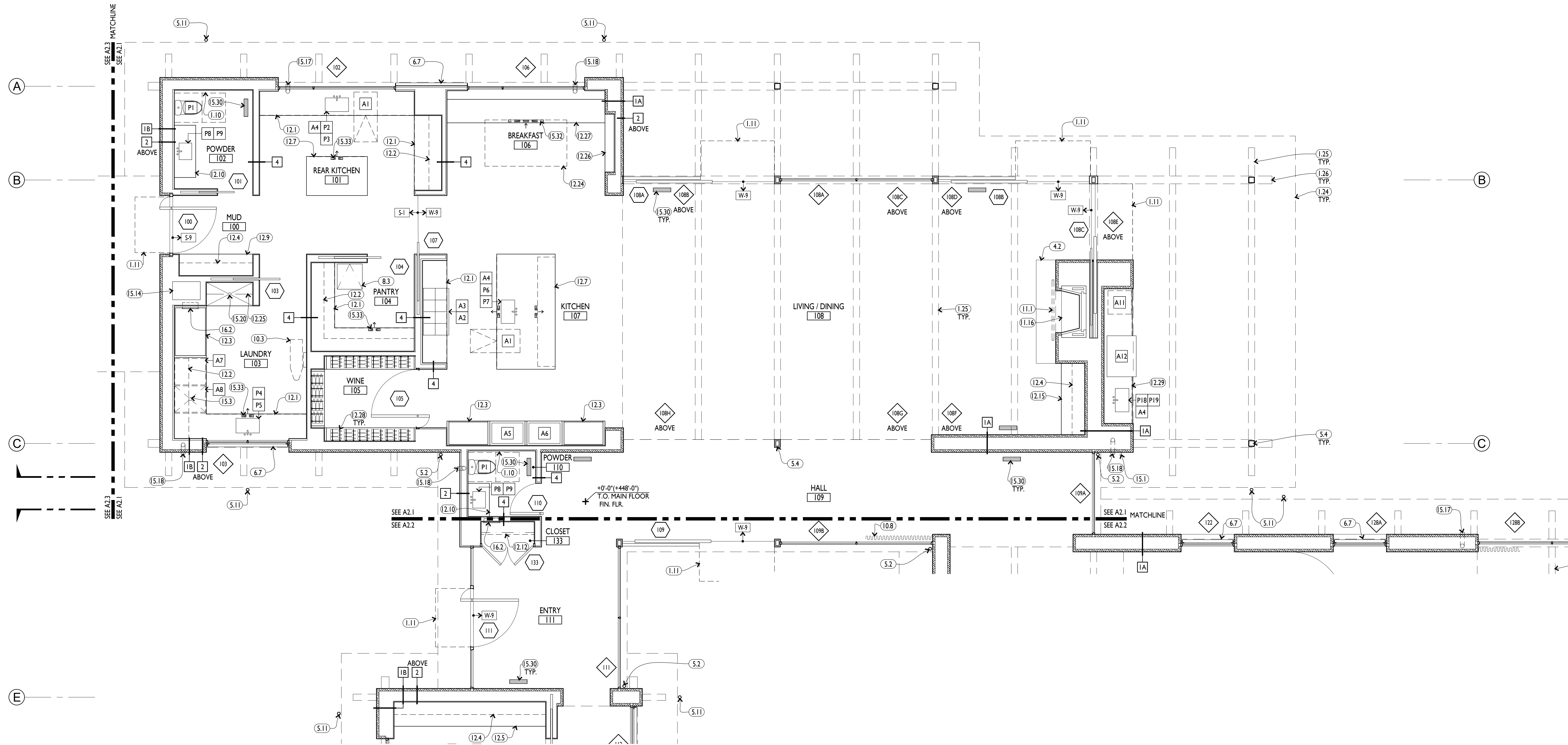
SCALE: 1/4" = 1'-0"

A2.1

FLOOR PLAN LEGEND

WOOD FRAMING, S.S.D.	PARTITION TYPE, SEE A0.2
STONE VENEER	FLOOR SUPPLY DIFFUSER
CONCRETE WALL, S.S.D.	TOE KICK RETURN DIFFUSER
CONCRETE CURB, S.S.D.	TOE KICK SUPPLY DIFFUSER
SLOPED CONCRETE WALL, S.S.D.	WALL RETURN AIR GRILL
APPLIANCES, SEE A0.4	WALL SUPPLY DIFFUSER
PLUMBING FIXTURES, SEE A0.4	WALL VENT WITH IN LINE
KEYNOTE, SEE A0.3	REMOTE EXHAUST FAN
FINISH NOTE, SEE A0.2	

SEE A0.3 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.



MAIN HOUSE FLOOR PLAN





11 WILD BOAR RUN
CARMEL, CA 93923
239-102-009

PROJECT NO.	22004
DATE	7.6.23
ISSUE	PERMIT SET

MAIN HOUSE
FLOOR PLAN

SCALE: 1/4" = 1'-0"

A2.2

FLOOR PLAN LEGEND

WOOD FRAMING, S.S.D.

STONE VENEER

CONCRETE WALL, S.S.D.

CONCRETE CURB, S.S.D.

SLOPED CONCRETE WALL, S.S.D.

APPLIANCES, SEE A0.4

PLUMBING FIXTURES, SEE A0.4

KEYNOTE, SEE A0.3

FINISH NOTE, SEE A0.2

PARTITION TYPE, SEE A0.2

FLOOR SUPPLY DIFFUSER

TOE KICK RETURN DIFFUSER

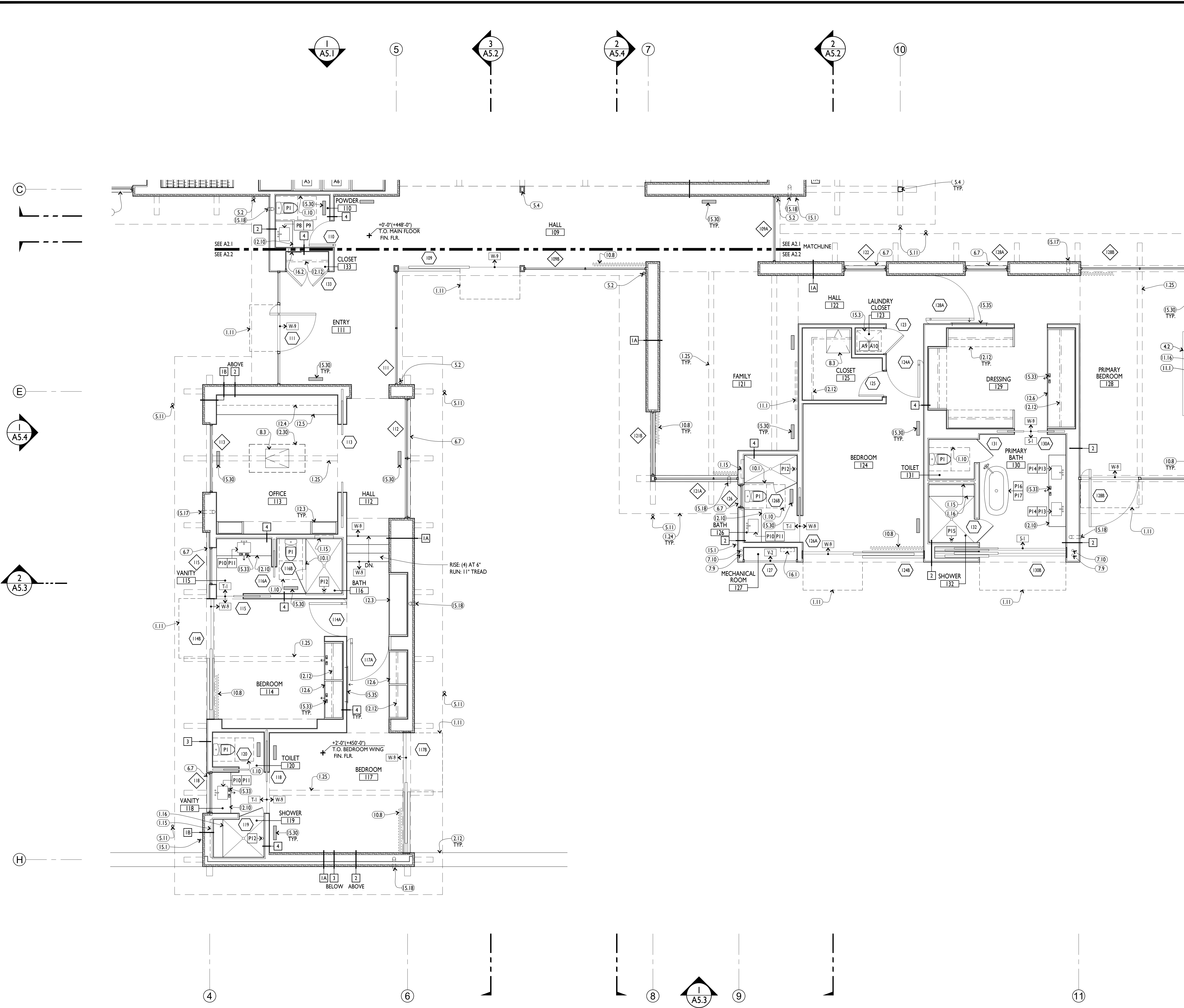
TOE KICK SUPPLY DIFFUSER

WALL RETURN AIR GRILL

WALL SUPPLY DIFFUSER

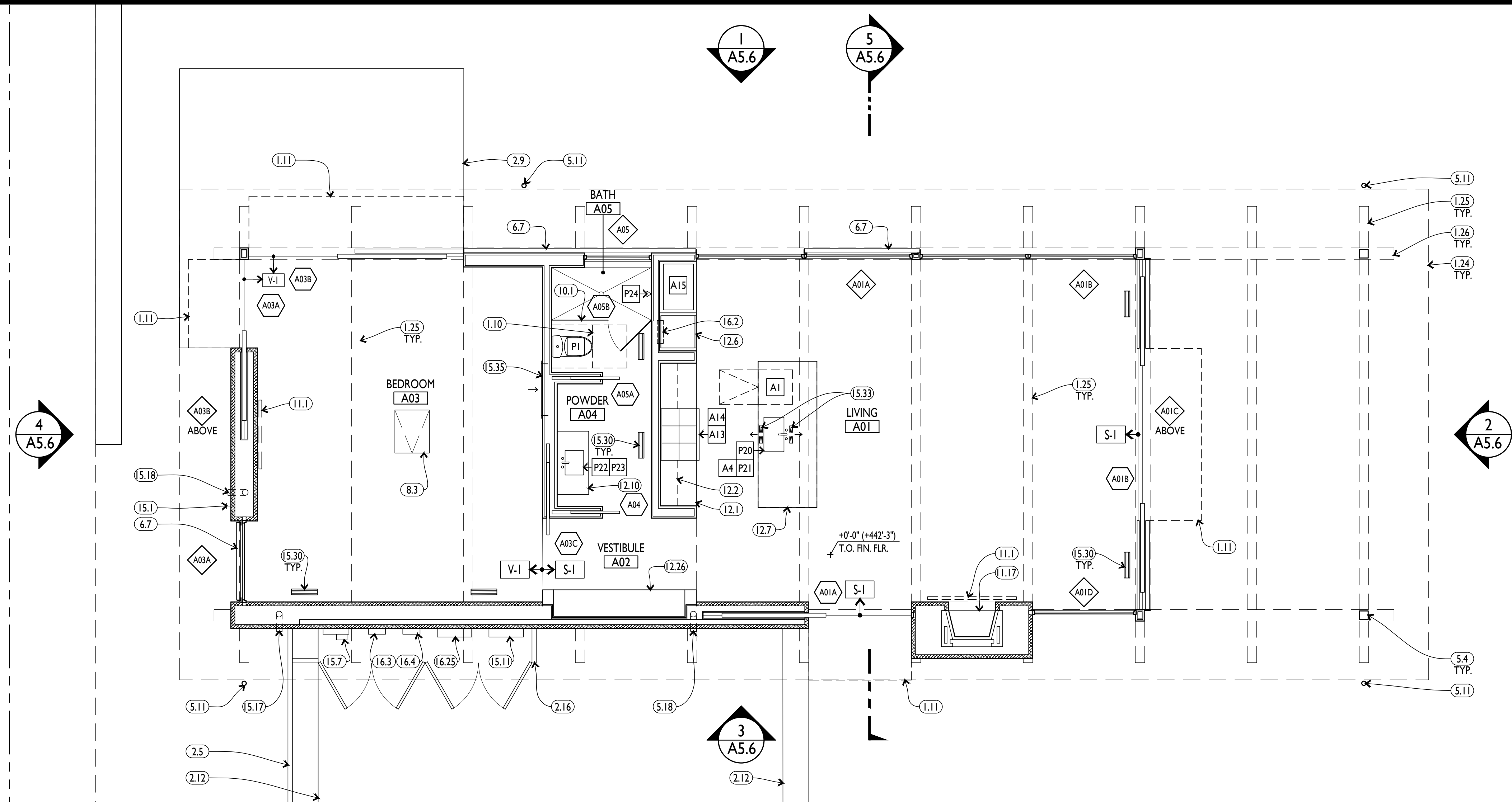
WALL VENT WITH IN LINE REMOTE EXHAUST FAN

SEE A0.3 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.

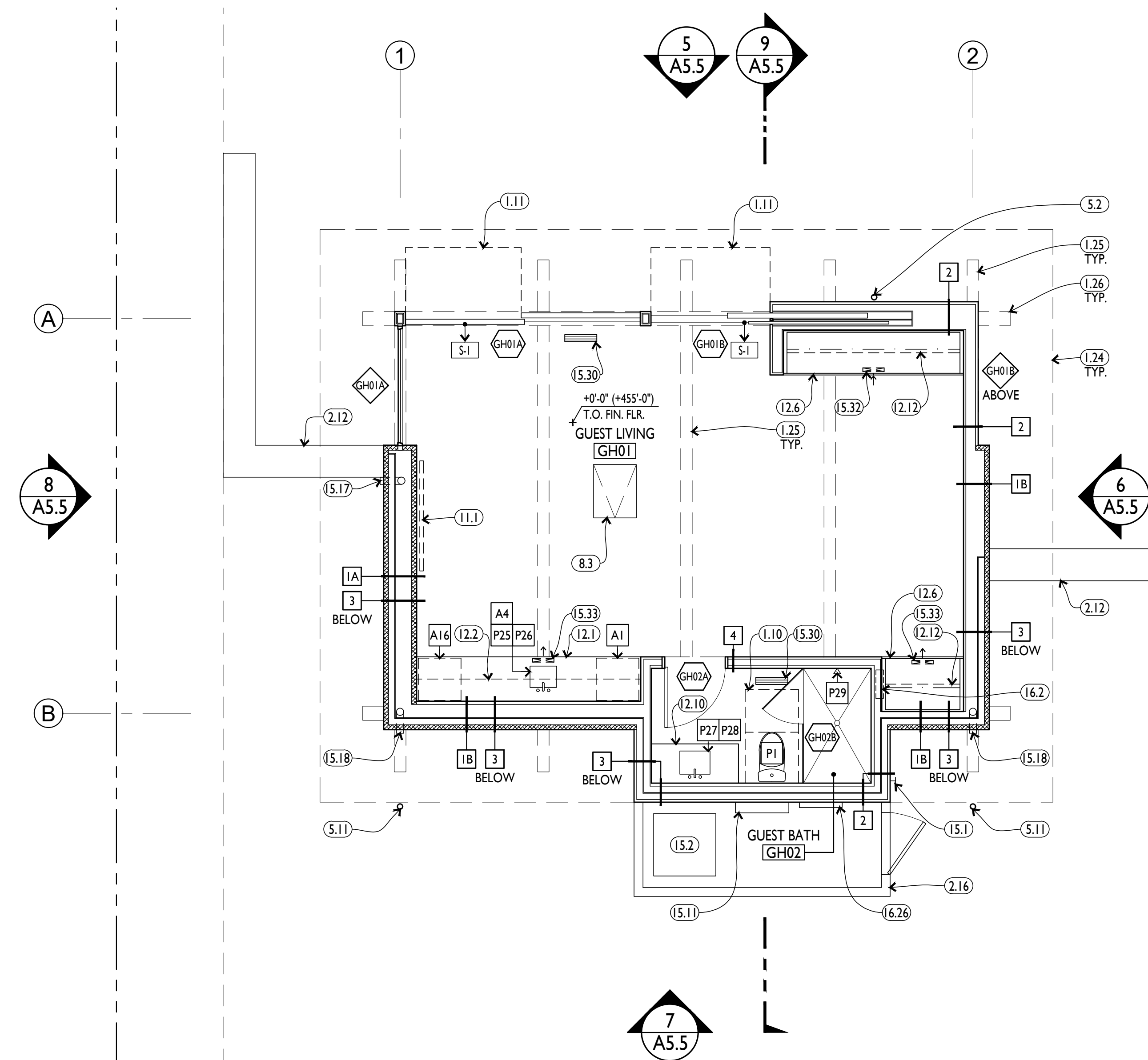


MAIN HOUSE FLOOR PLAN

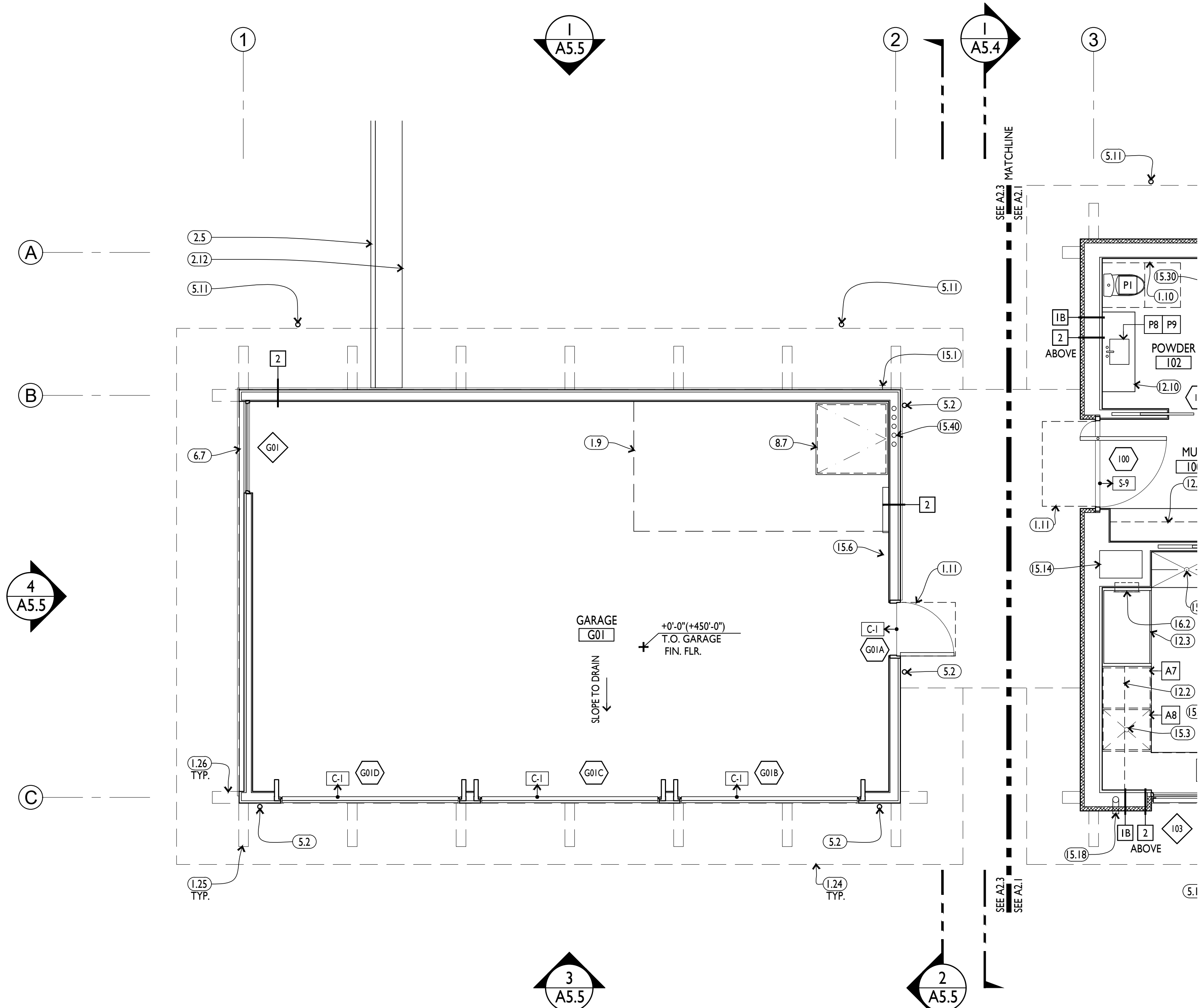




3 A2.3



2 A2.3



1 A2.3

FLOOR PLAN LEGEND	
WOOD FRAMING, S.S.D.	PARTITION TYPE, SEE A0.2
STONE VENEER	FLOOR SUPPLY DIFFUSER
CONCRETE WALL, S.S.D.	TOE KICK RETURN DIFFUSER
CONCRETE CURB, S.S.D.	TOE KICK SUPPLY DIFFUSER
SLOPED CONCRETE WALL, S.S.D.	WALL RETURN AIR GRILL
AI	APPLIANCES, SEE A0.4
PI	PLUMBING FIXTURES, SEE A0.4
2.1	KEYNOTE, SEE A0.3
C-1	FINISH NOTE, SEE A0.2
	WALL SUPPLY DIFFUSER
	WALL VENT WITH IN LINE REMOTE EXHAUST FAN

SEE A0.5 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.

Arcanum Architecture

11 WILD BOAR RUN
CARMEL, CA 93923
239-102-009

PROJECT NO. 22004
DATE 7.6.23
ISSUE PERMIT SET

GARAGE, GUEST HOUSE, AND ADU FLOOR PLANS

SCALE: 1/4" = 1'-0"

A2.3

arcnum architecture, inc.
328 Bryant Street, Suite 300
San Francisco, CA 94107
415.357.4400
arcnumarchitecture.com

24

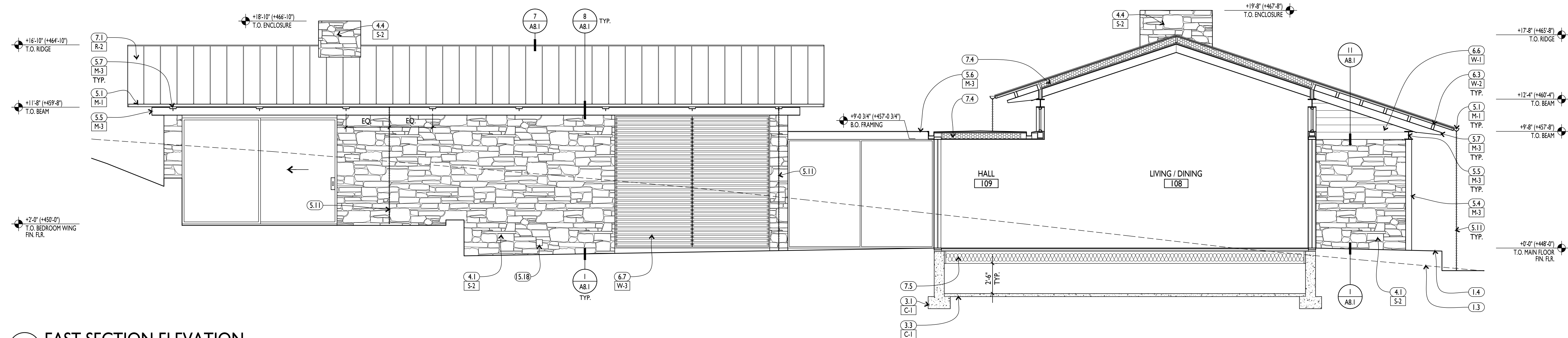
CARMEL, CA 93923

239-102-009

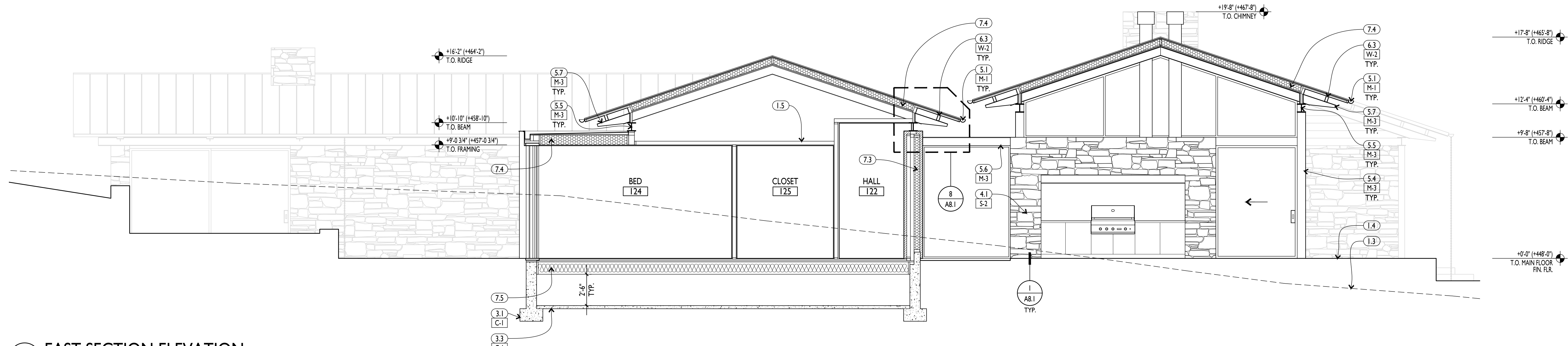
EXTERIOR
ELEVATIONS /
SECTIONS -
MAIN HOUSE

SCALE: 1/4" = 1'-0"

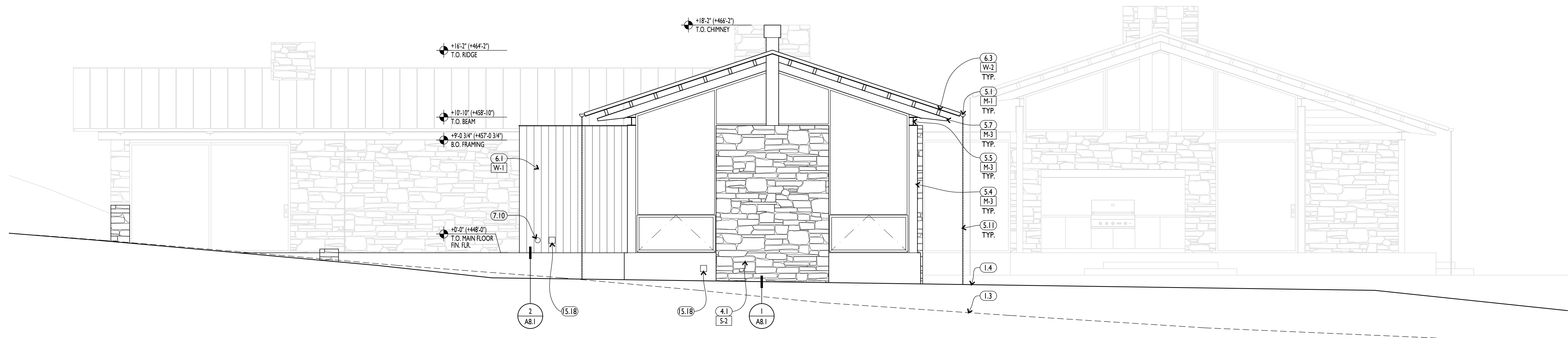




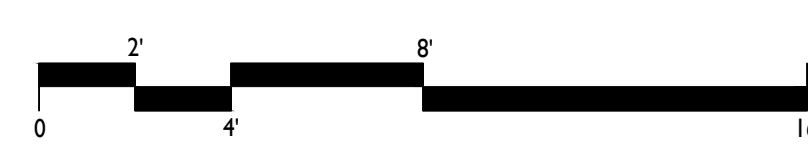
3 EAST SECTION ELEVATION
A5.2

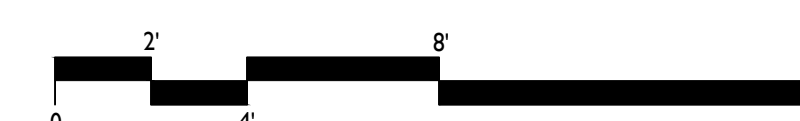


2 EAST SECTION ELEVATION
A5.2



1 EAST ELEVATION
A5.2

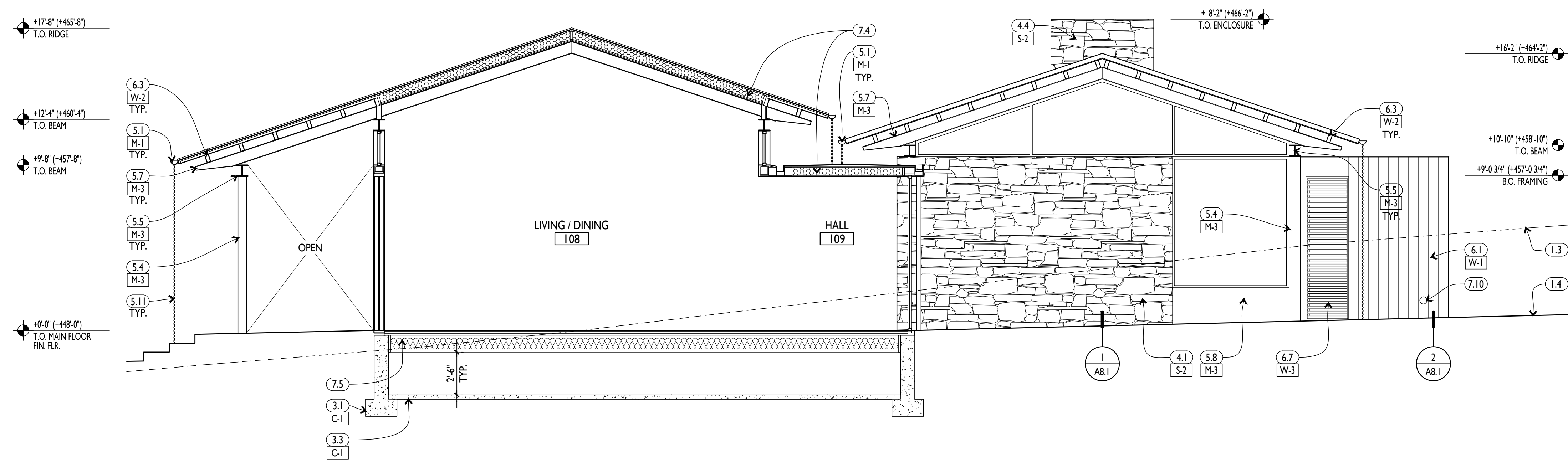


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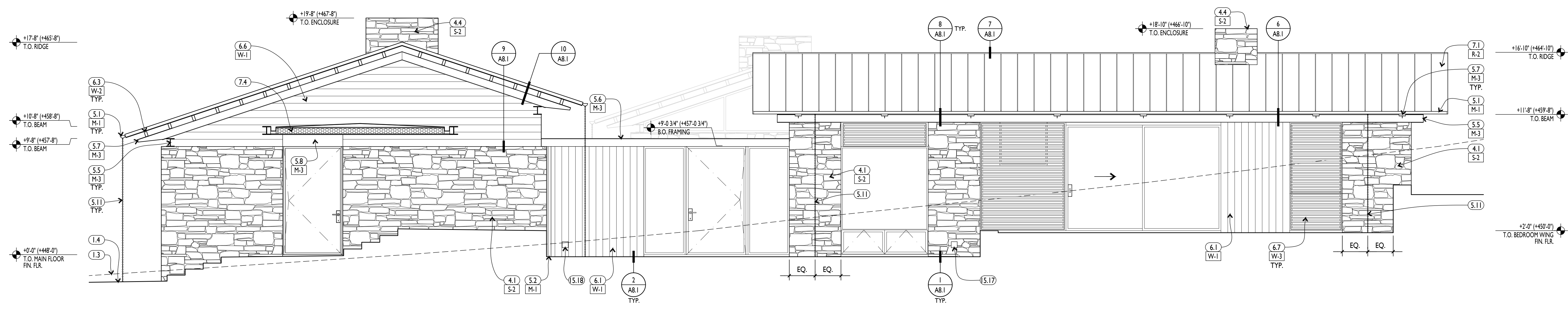
EXTERIOR
ELEVATIONS /
SECTIONS -
MAIN HOUSE

SCALE: 1/4" = 1'-0"

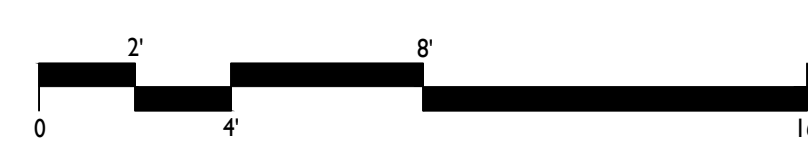
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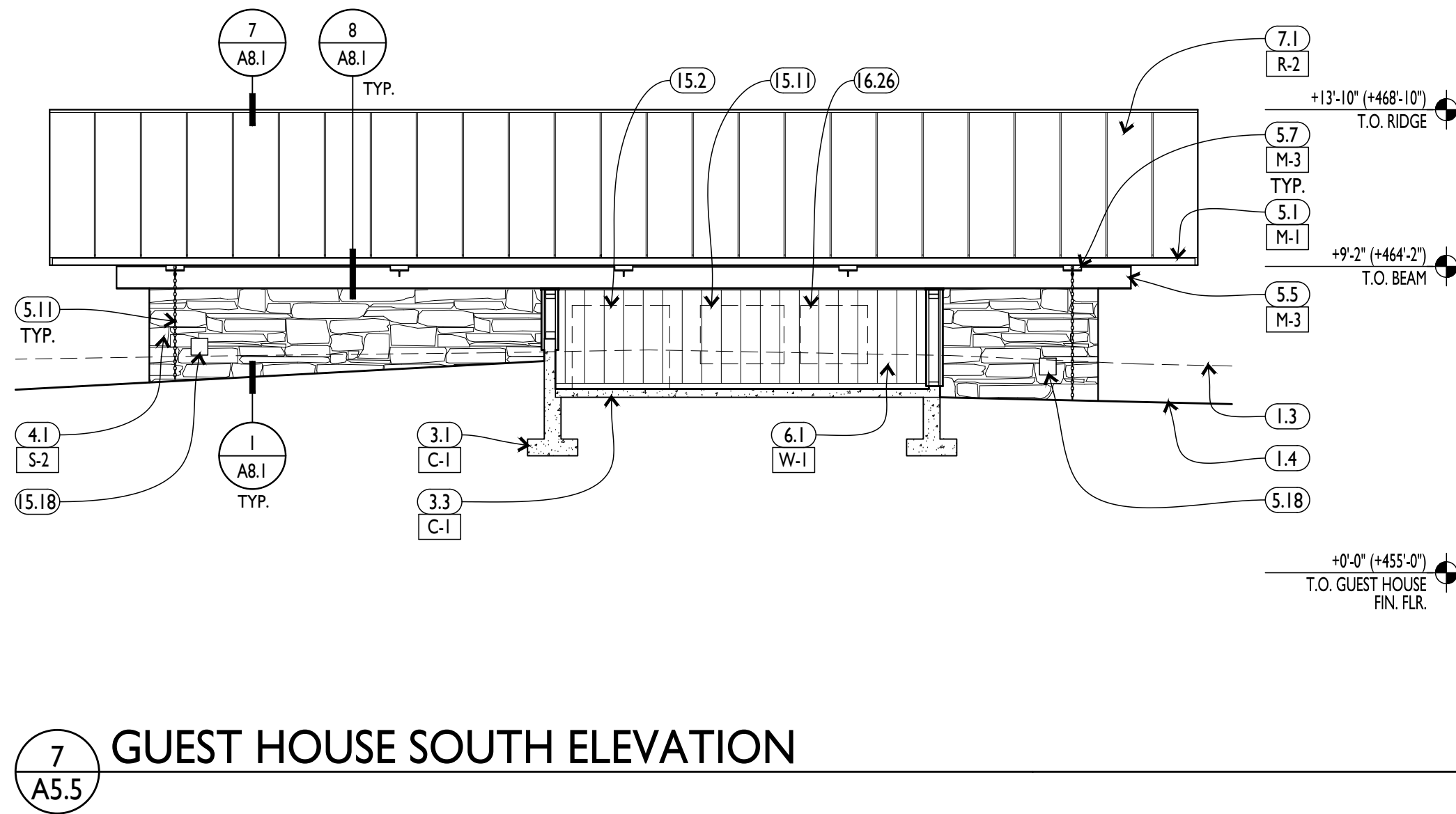


2 WEST SECTION ELEVATION
A5.4

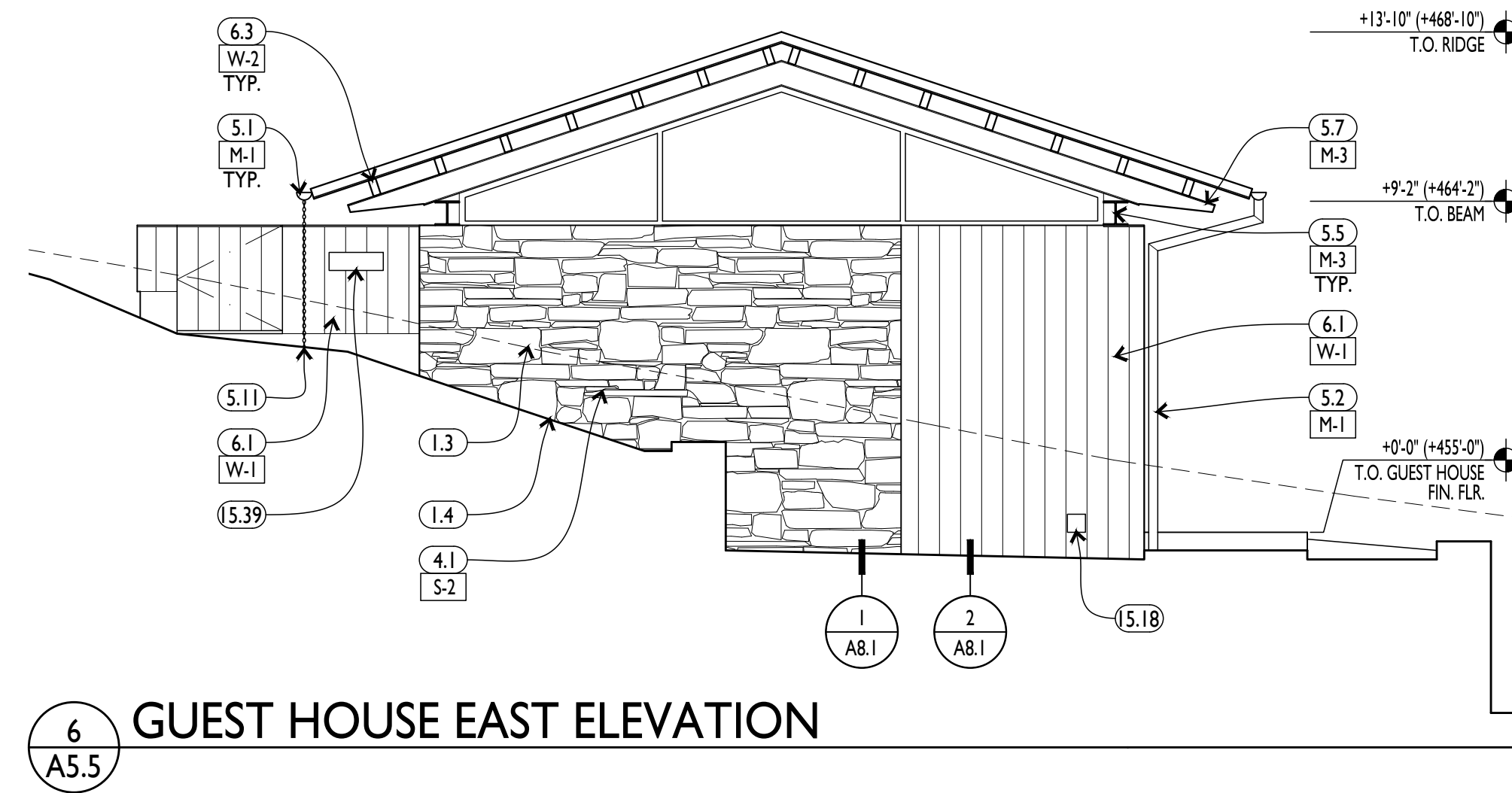


1 WEST SECTION ELEVATION
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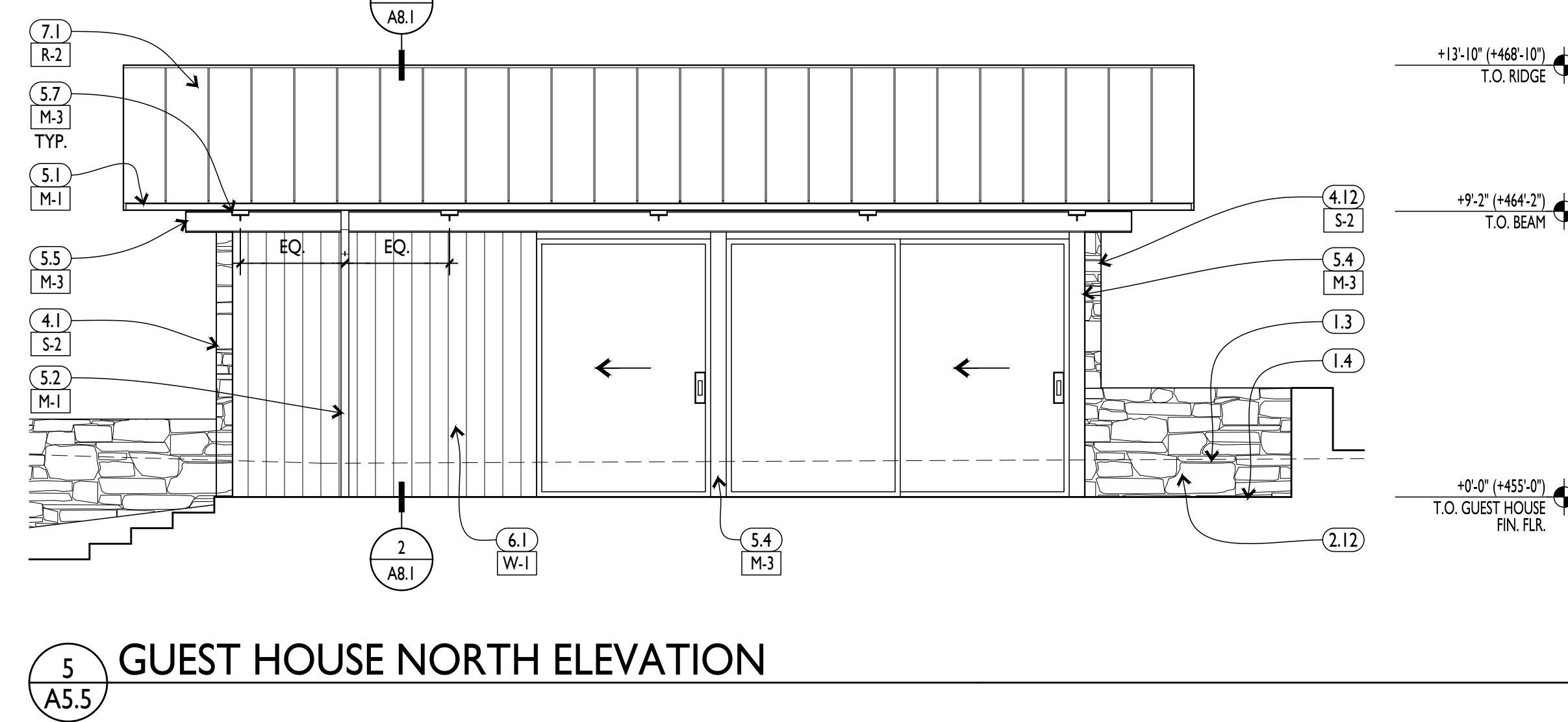




7 GUEST HOUSE SOUTH ELEVATION
A5.5

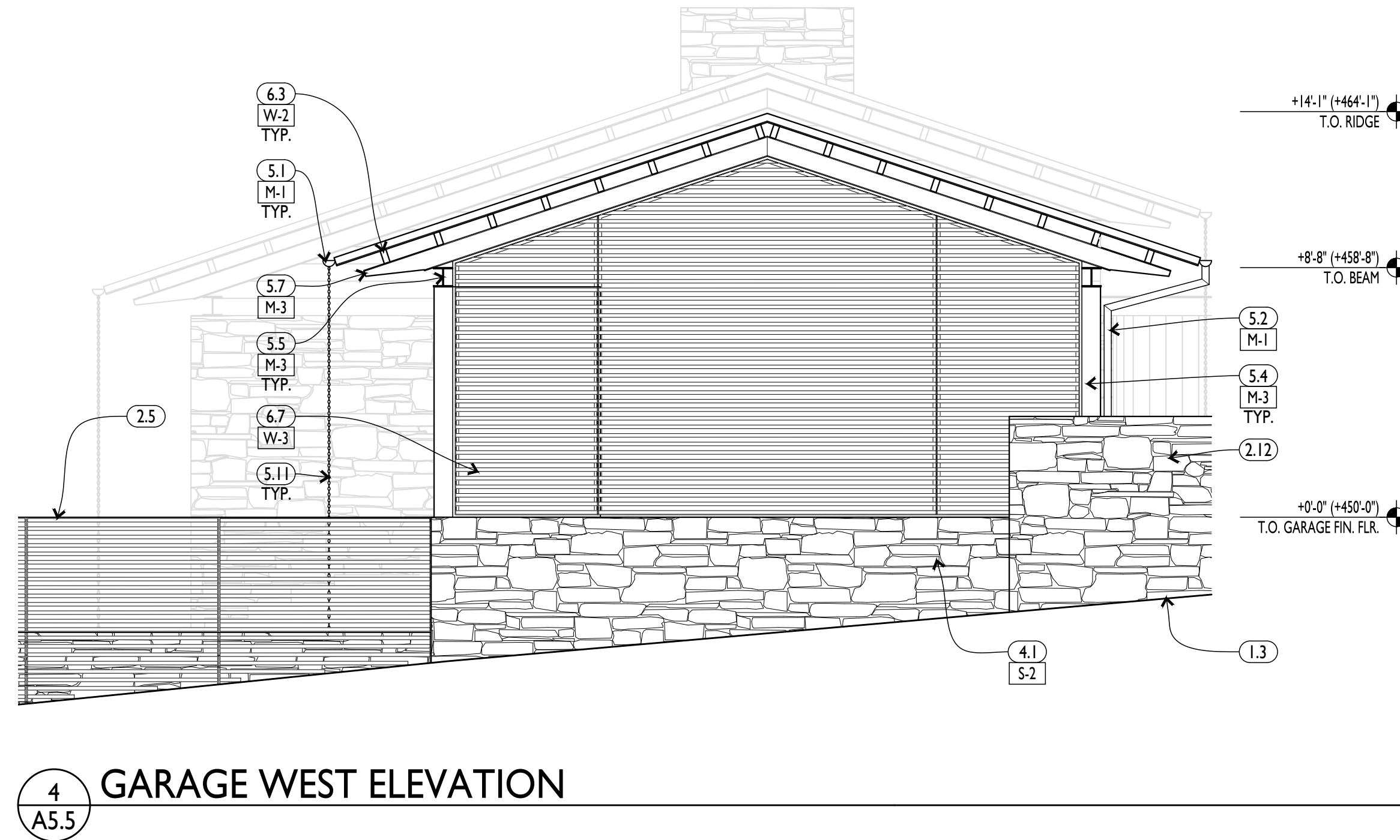


6 GUEST HOUSE EAST ELEVATION
A5.5

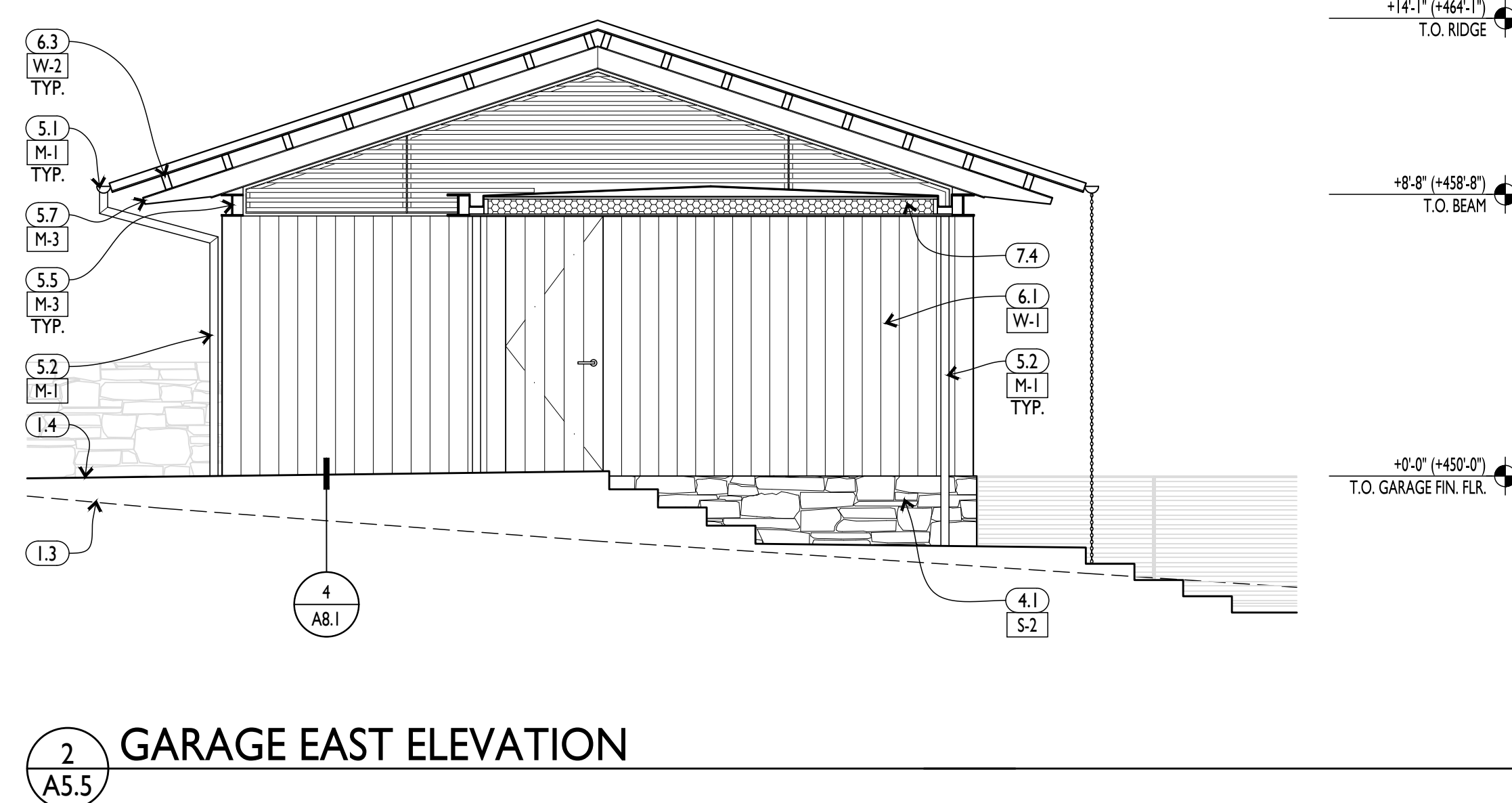


8 GUEST HOUSE WEST ELEVATION
A5.5

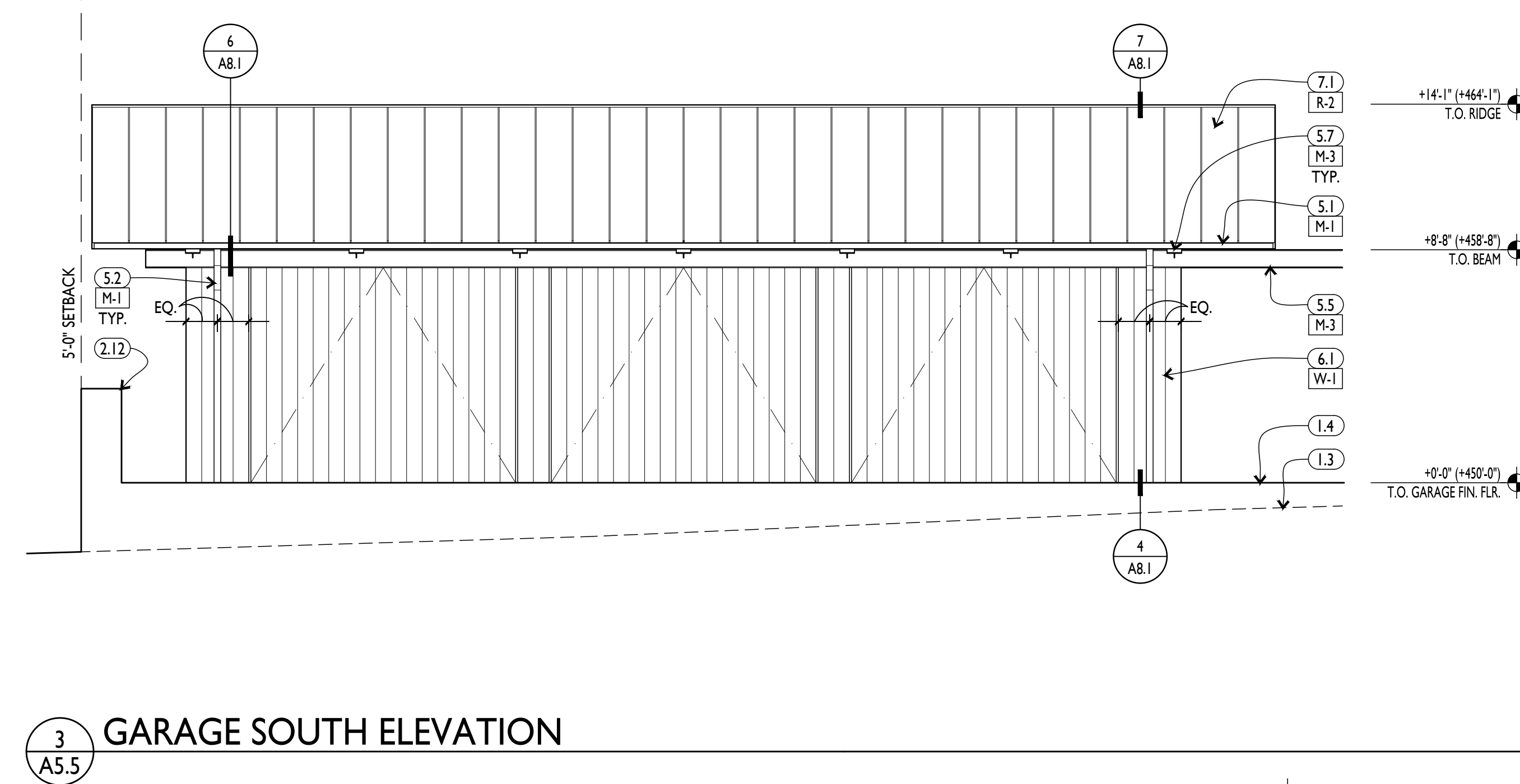
5 GUEST HOUSE NORTH ELEVATION
A5.5



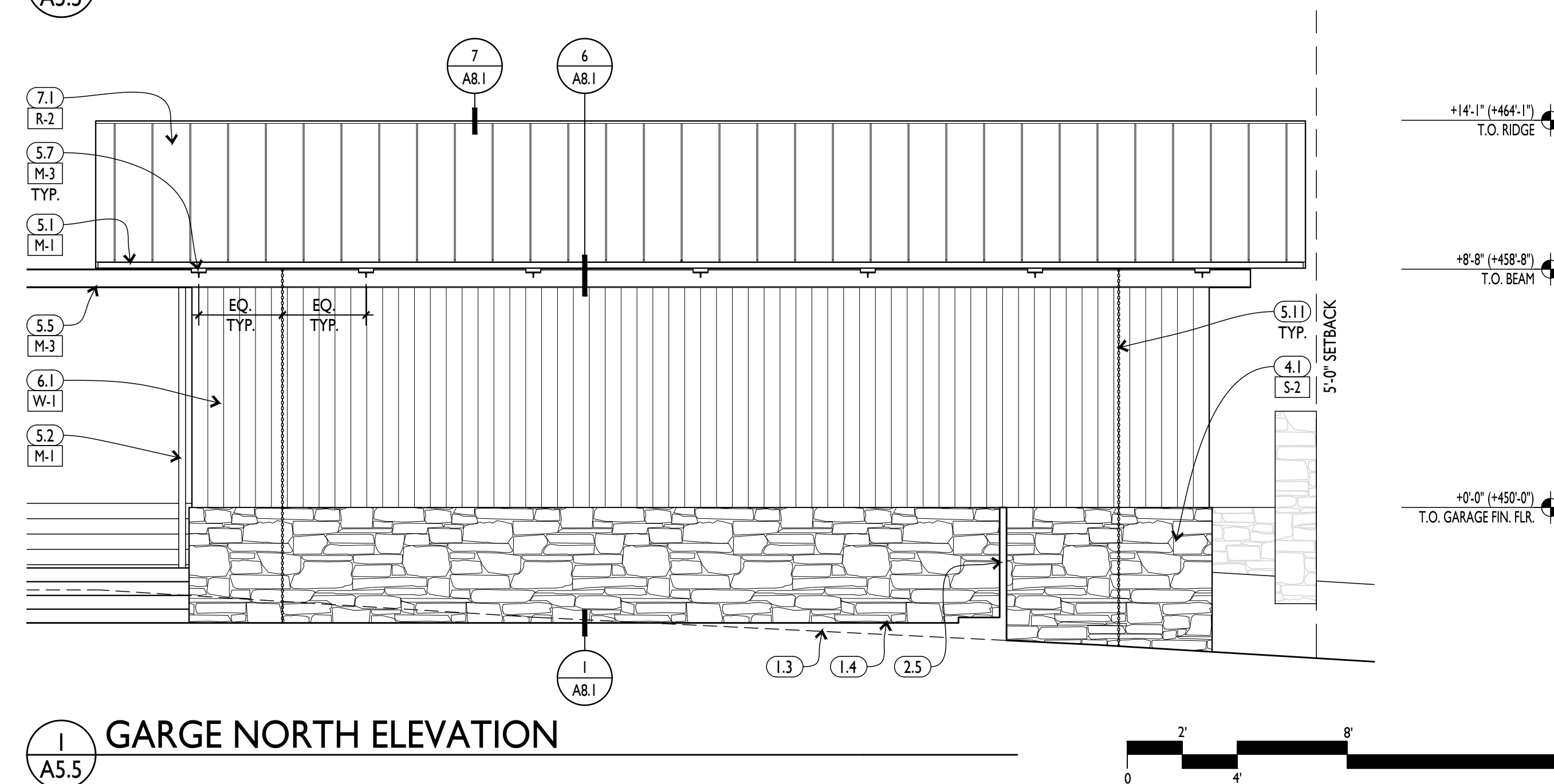
4 GARAGE WEST ELEVATION
A5.5



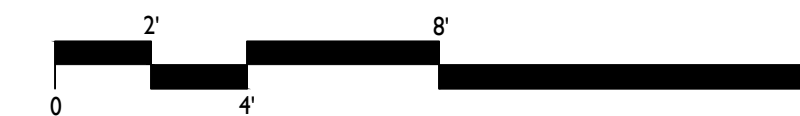
2 GARAGE EAST ELEVATION
A5.5



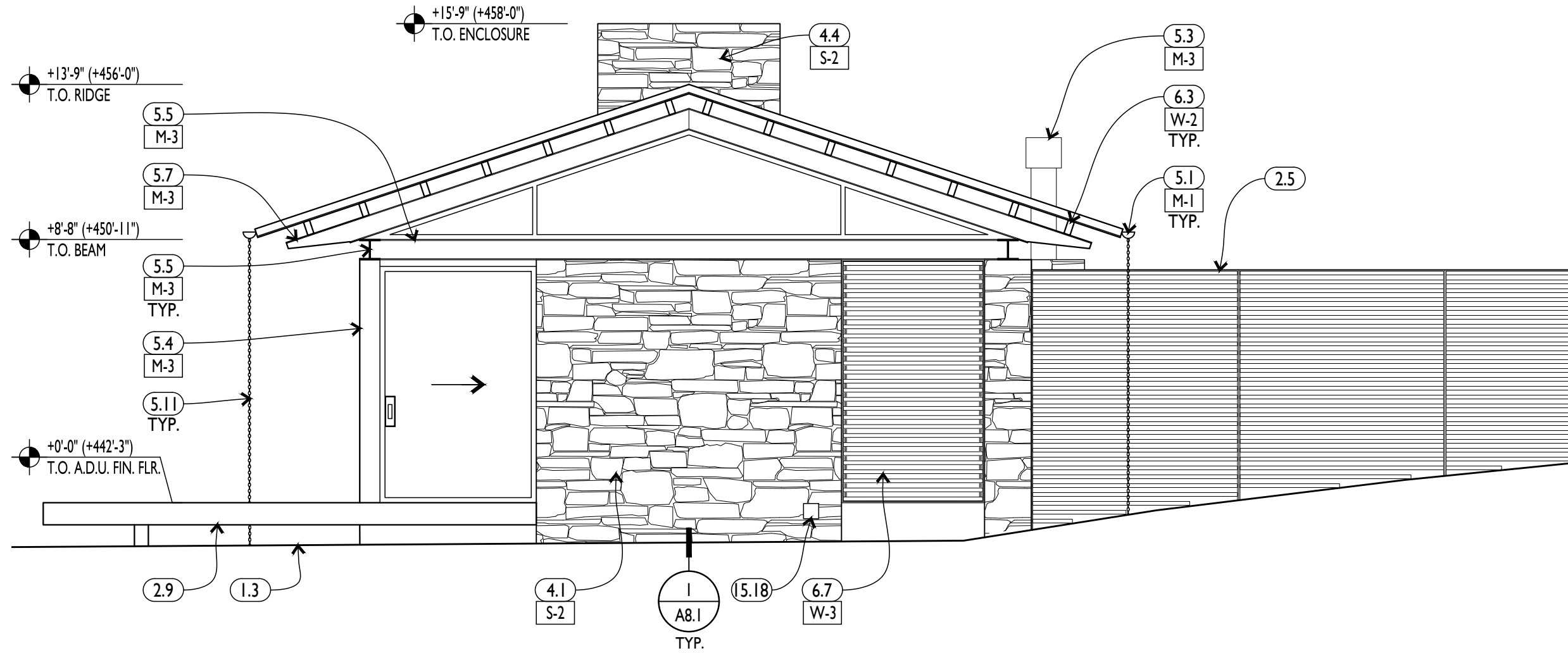
3 GARAGE SOUTH ELEVATION
A5.5



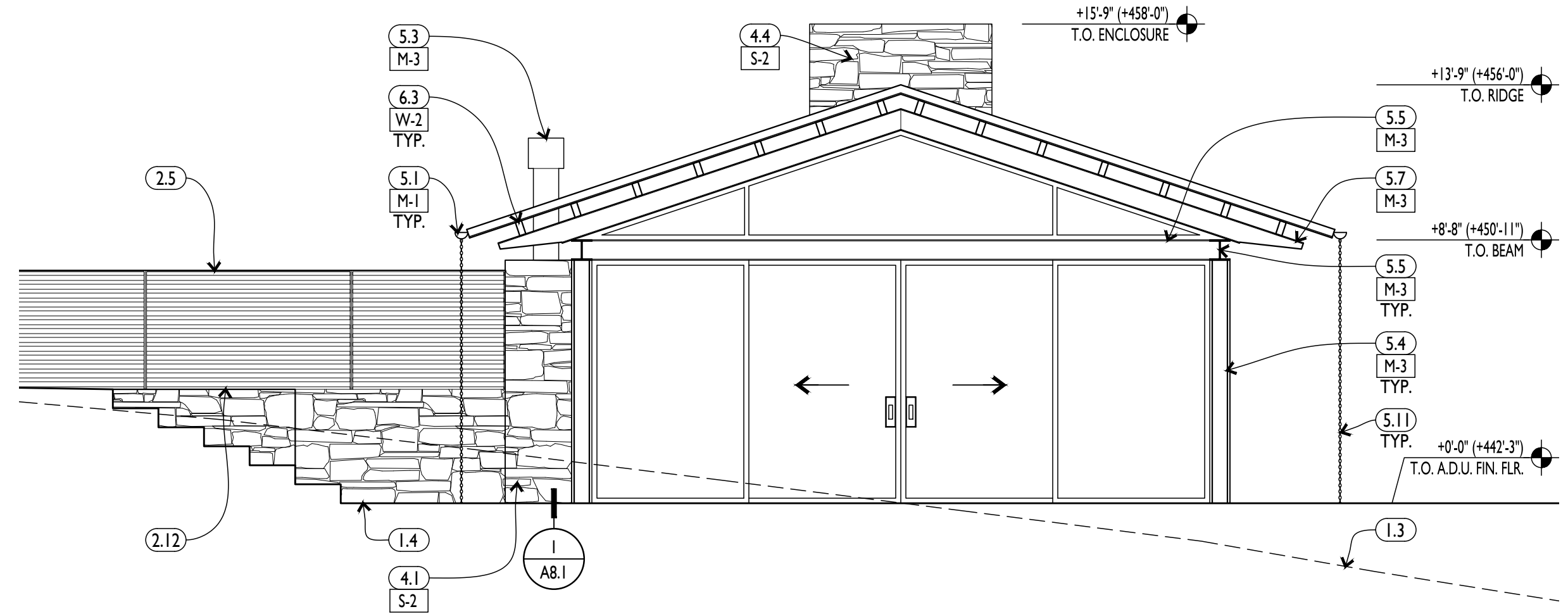
1 GARGE NORTH ELEVATION
A5.5



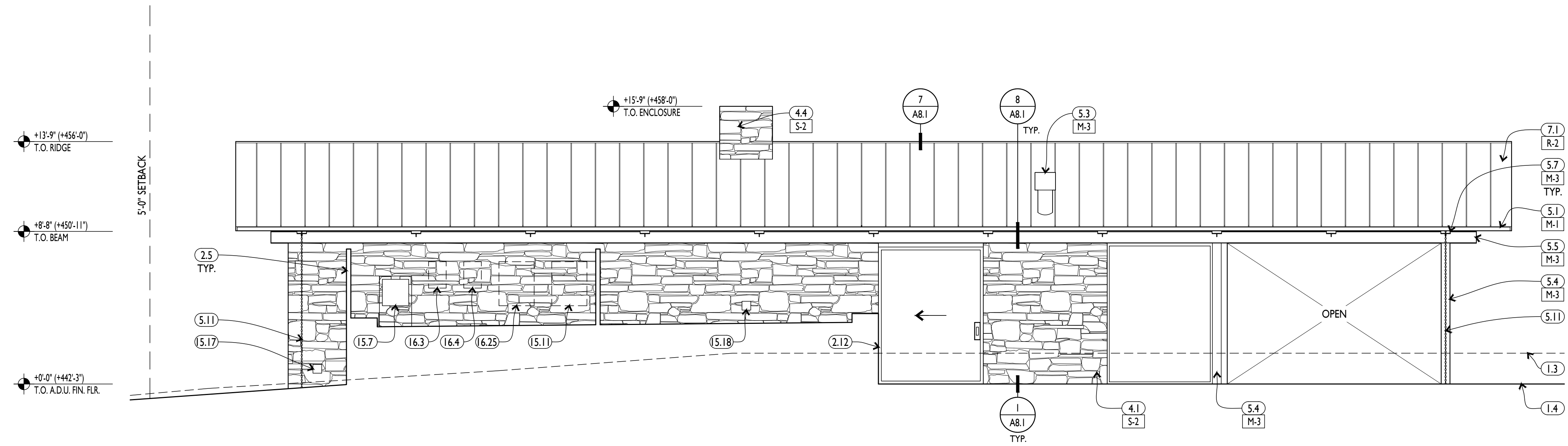
PROJECT NO.	22004
DATE	7.6.23
ISSUE	PERMIT SET



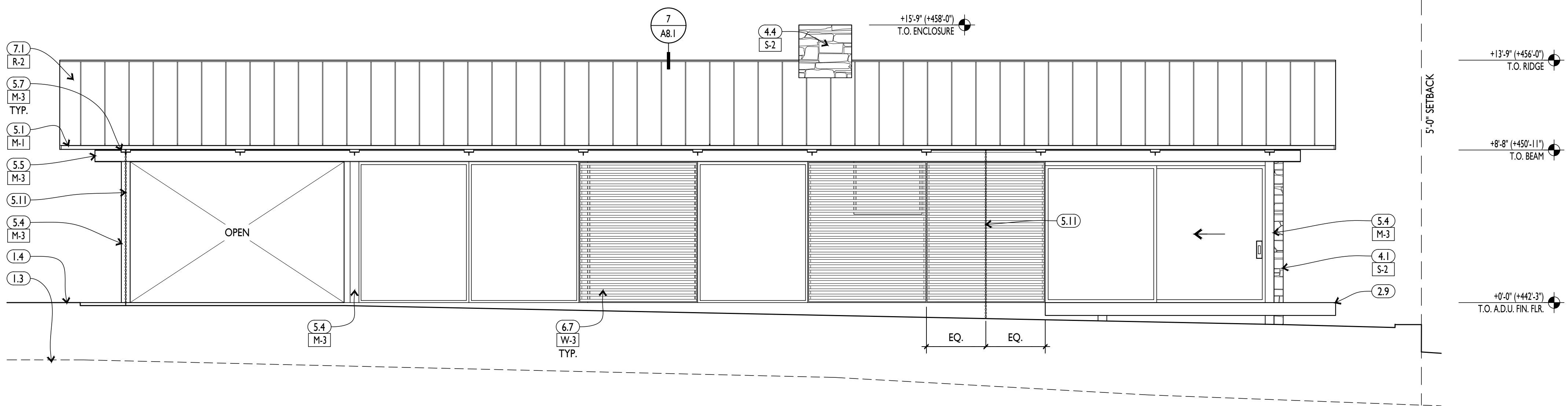
4 WEST ELEVATION
A5.6



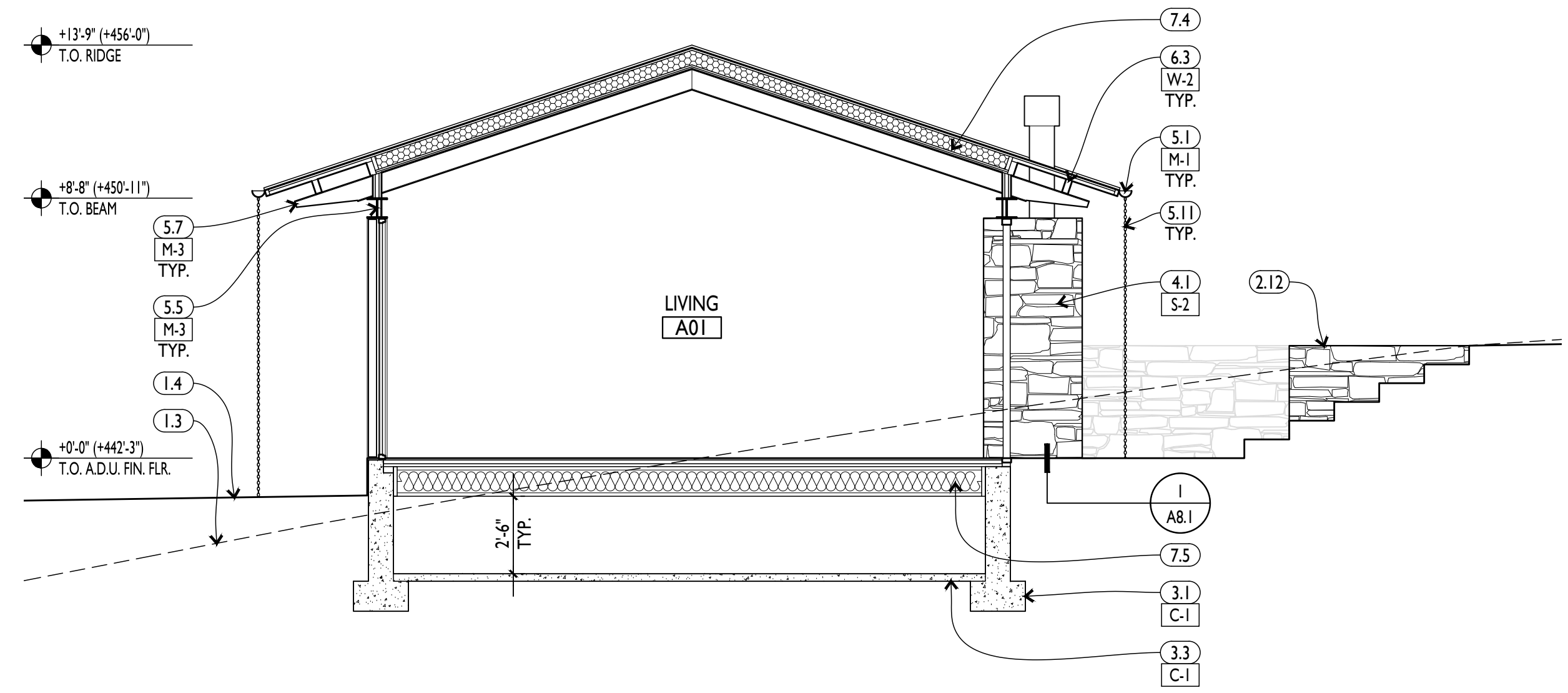
2 EAST ELEVATION
A5.6



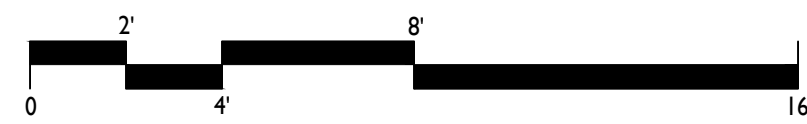
3 SOUTH ELEVATION
A5.6



1 NORTH ELEVATION
A5.6



5 WEST SECTION
A5.6



11 WILD BOAR RUN
CARMEL, CA 93923
239-102-009

PROJECT NO.	22004
DATE	7.6.23
ISSUE	PERMIT SET

EXTERIOR
ELEVATIONS -
ADU

SCALE: 1/4" = 1'-0"

A5.6



Arcanum Architecture

arcanum architecture, inc.
229 Bryant Street, Suite 30
Carmel, CA 93923
415.357.4400
arcanumarchitecture.com



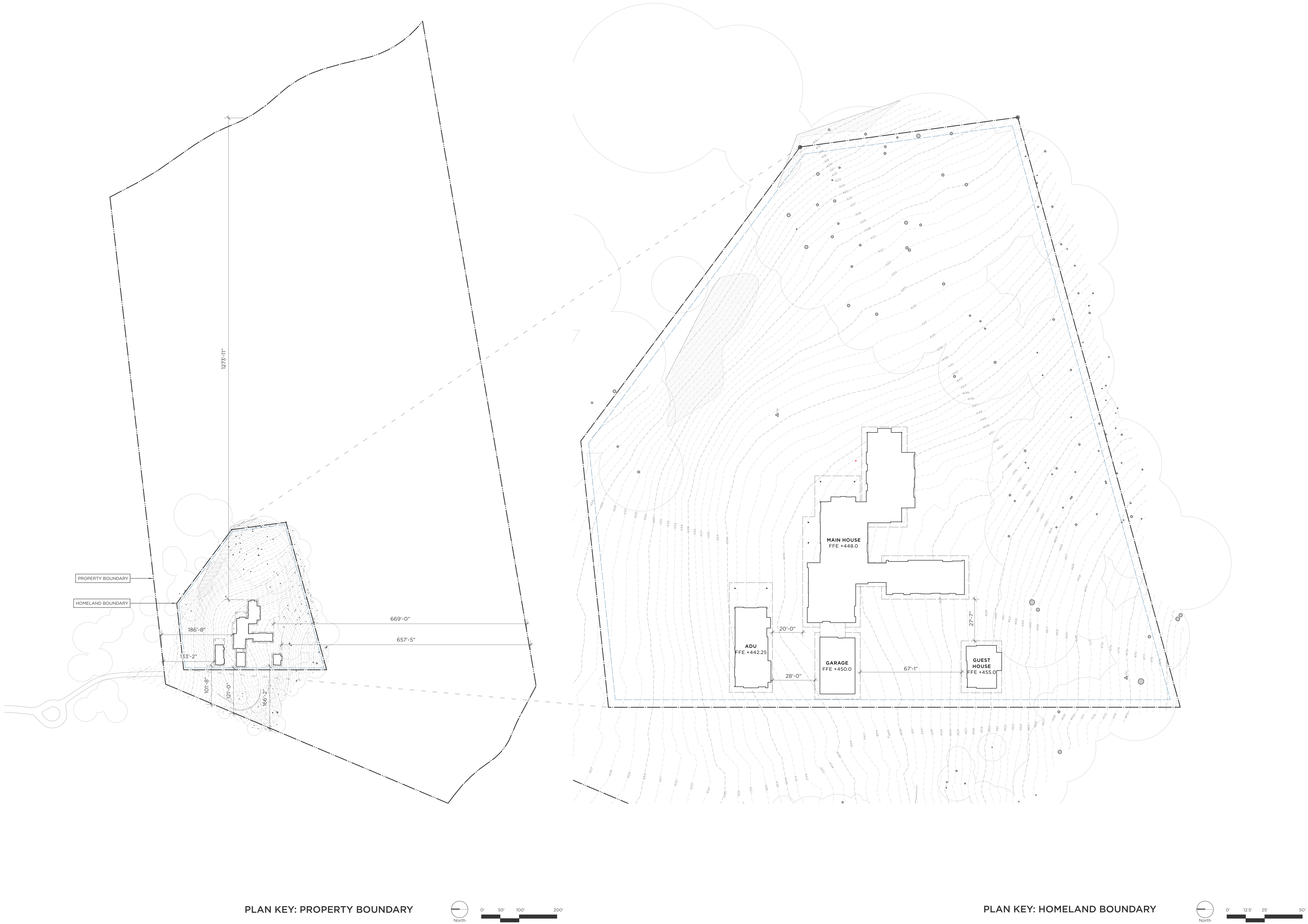
APN #: 239-102-009

Previous Issues

REV.	DESCRIPTION	DATE
------	-------------	------

Scale: N/A
Drawn by: AG

L0.03





(S-2) EXTERIOR AND INTERIOR STONE VENEER



(R-2) METAL ROOFING - CLASS 'A' FIRE RATED



(M-3) EXTERIOR METAL
(M-5) STEEL WINDOWS AND DOORS



(W-1) EXTERIOR VERTICAL AND HORIZONTAL WOOD SIDING



PROJECT NO.	22004
DATE	ISSUE
7.6.23	PERMIT SET



CHIP SEAL DRIVEWAY



SEEDD AGGREGATE CONCRETE DRIVEWAY



GRAVEL PAVING



CONCRETE PAVING



STONE PAVING



CONCRETE STEPS



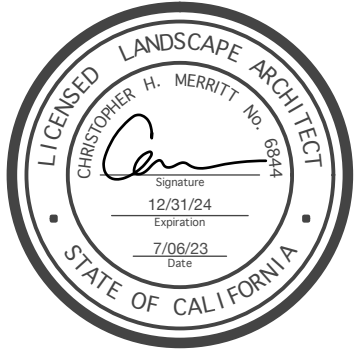
STONE STEPS



STONE WALLS



TIMBER DECKING



PELOSI RESIDENCE

11 Wild Boar Run
Carmel, CA

APN #: 239-102-009

Issue Set: Permit Set
Issue Date: July 6, 2023

Previous Issues

REV.	DESCRIPTION	DATE
------	-------------	------

Landscape Material Imagery

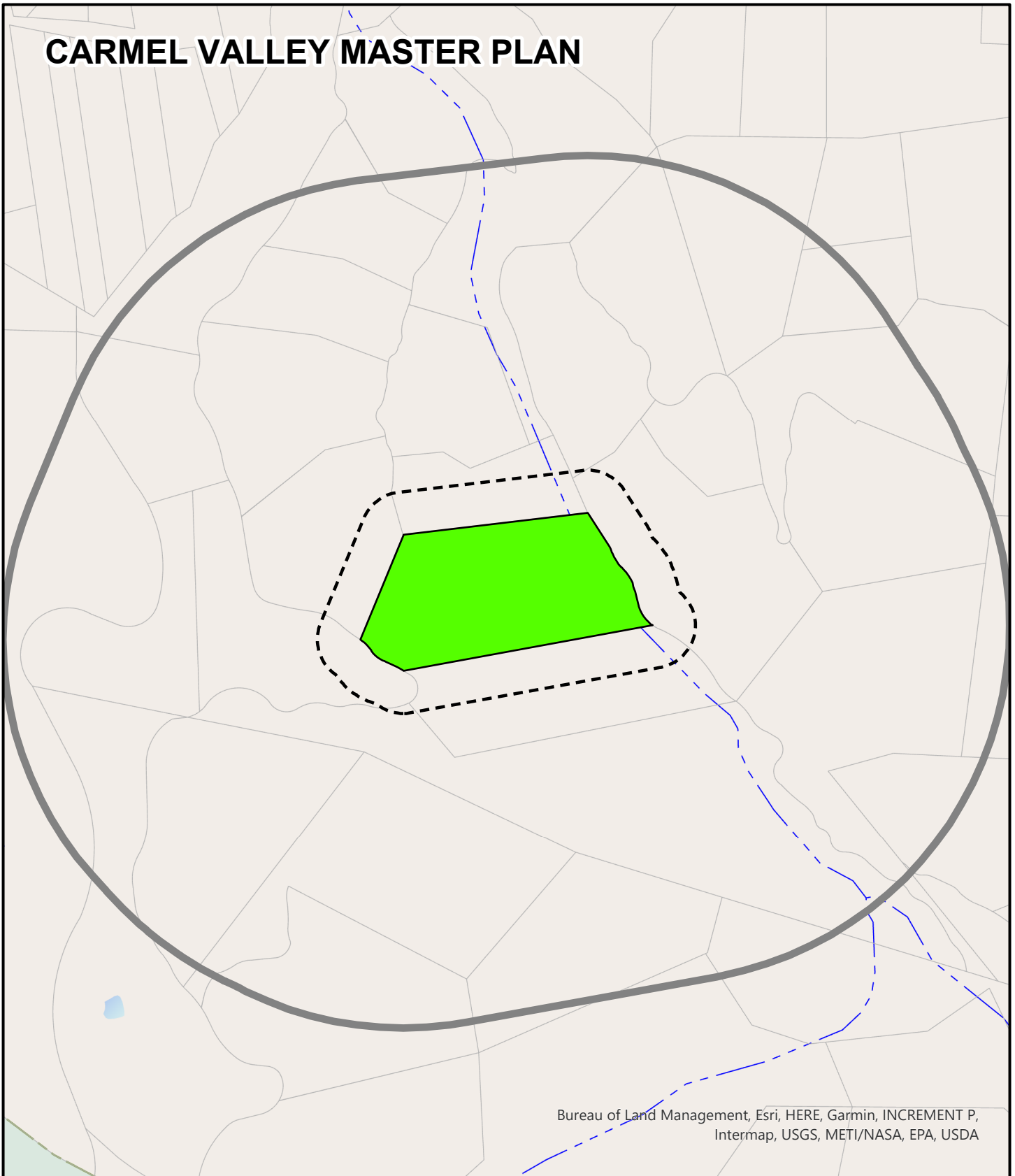
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Drawn by: AG

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Exhibit B

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CARMEL VALLEY MASTER PLAN




Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P,
Intermap, USGS, METI/NASA, EPA, USDA


APPLICANT: NICHOLS

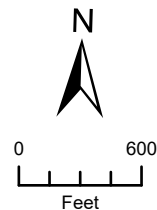
APN: 239102009000

FILE # PLN230185

 Project Site

 300 FT Buffer

 2500 FT Buffer



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County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 23-085

November 01, 2023

Introduced: 10/24/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230078 - COPPERHEAD CREEK LLC

Administrative hearing to consider Lot Line Adjustment between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B), respectfully.

Project Location: 73550, 73552, 73554, & 73556 Pleyto Cemetery Road, Bradley 93426

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305.

RECOMMENDATIONS:

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and none of the exceptions under Section 15300.2 apply; and
- b. Approve a Lot Line Adjustment between two legal lots of record consisting of Parcel A (188.9 acres, Assessor's Parcel Numbers 424-061-002-000 & 424-061-041-000) and Parcel B (67.5 acres, Assessor's Parcel Number 424-061-040-000), resulting in two lots consisting of Adjusted Parcel A (183.1 acres) and Adjusted Parcel B (73.3 acres), respectively.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

Agent: Anthony Nicola

Property Owner: Copperhead Creek LLC

APN: 424-061-040-000, 424-061-041-000, & 424-061-002-000

Parcel Size: 188.9 acres & 67.5 acres

Zoning: Permanent Grazing, 40 acres minimum or "PG/40"

Plan Area: South County Area Plan

Flagged and Staked: No

SUMMARY:

Staff is recommending approval of a Lot Line Adjustment Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On November 1, 2023, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, October 31, 2023. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
South County Fire Protection District

Prepared by: Christina Vu, Assistant Planner, x5139

Reviewed and Approved by: Son Pham-Gallardo, Senior Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - AAC Meeting Minutes

Exhibit C - Vicinity Map

cc: Front Counter Copy; South County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Christina Vu, Planner; Anna Ginette Quenga, AICP, Principal Planner; Copperhead Creek LLC, Property Owners; Anthony Nicola, Agent; The Open Monterey Project; LandWatch (Executive Director); Laborers International Union of North America (Lozeau Drury LLP); Planning File PLN230078.



County of Monterey

Item No.2

Administrative Permit

Legistar File Number: AP 23-085

Introduced: 10/24/2023

Version: 1

Current Status: Agenda Ready

Matter Type: Administrative Permit

PLN230078 - COPPERHEAD CREEK LLC

Administrative hearing to consider Lot Line Adjustment between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B), respectfully.

Project Location: 73550, 73552, 73554, & 73556 Pleyto Cemetery Road, Bradley 93426

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305.

RECOMMENDATIONS:

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and none of the exceptions under Section 15300.2 apply; and
- b. Approve a Lot Line Adjustment between two legal lots of record consisting of Parcel A (188.9 acres, Assessor's Parcel Numbers 424-061-002-000 & 424-061-041-000) and Parcel B (67.5 acres, Assessor's Parcel Number 424-061-040-000), resulting in two lots consisting of Adjusted Parcel A (183.1 acres) and Adjusted Parcel B (73.3 acres), respectively.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**).

Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

Agent: Anthony Nicola

Property Owner: Copperhead Creek LLC

APN: 424-061-040-000, 424-061-041-000, & 424-061-002-000

Parcel Size: 188.9 acres & 67.5 acres

Zoning: Permanent Grazing, 40 acres minimum or "PG/40"

Plan Area: South County Area Plan

Flagged and Staked: No

SUMMARY:

Staff is recommending approval of a Lot Line Adjustment Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On November 1, 2023, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, October 31, 2023. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
South County Fire Protection District

Prepared by: Christina Vu, Assistant Planner, x5139

Reviewed and Approved by: Son Pham-Gallardo, Senior Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - AAC Meeting Minutes

Exhibit C - Vicinity Map

cc: Front Counter Copy; South County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Christina Vu, Planner; Anna Ginette Quenga, AICP, Principal Planner; Copperhead Creek LLC, Property Owners; Anthony Nicola, Agent; The Open Monterey Project; LandWatch (Executive Director); Laborers International Union of North America (Lozeau Drury LLP); Planning File PLN230078.

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

COPPERHEAD CREEK LLC (PLN230078)

RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project is a minor lot line adjustment, which qualifies as a Class 5 Categorical Exemption pursuant to Section 15305(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Lot Line Adjustment between two legal lots of record consisting of Parcel A (188.9 acres, Assessor's Parcel Numbers 424-061-002-000 & 424-061-041-000) and Parcel B (67.5 acres, Assessor's Parcel Number 424-061-040-000), resulting in two lots consisting of Adjusted Parcel A (183.1 acres) and Adjusted Parcel B (73.3 acres), respectively [PLN230078 COPPERHEAD CREEK LLC, 73550, 73552, 73554, & 73556 PLEYTO CEMETERY ROAD, BRADLEY, SOUTH COUNTY AREA PLAN (APNs: 424-061-040-000, 424-061-041-000, & 424-061-002-000)]

The COPPERHEAD CREEK LLC application (PLN230078) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on November 1, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - South County Area Plan;
 - Monterey County Subdivision Ordinance (Title 19); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies

with the text, policies, and regulations in these documents.

- b) The project involves a Lot Line Adjustment (LLA) between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B). The purpose of the LLA is to reconfigure the parcel lines to allow for future development at the desired location that is in proximity to the existing structures.
- c) The properties are located at 73550, 73552, 73554, & 73556 Pleyto Cemetery Road, Bradley, and the adjacent parcel to the west [No address assigned], South County Area Plan (Assessor's Parcel Numbers [APNs] 424-061-040-000, 424-061-041-000, & 424-061-002-000). The parcels are zoned Permanent Grazing with a 40-acre minimum or "PG/40." The project complies with all regulations within section 19.09 "Lot Line Adjustments" of the Monterey County Code. No additional development is proposed with this Lot Line Adjustment. The reconfiguration of the parcels will not otherwise intensify water use, create new building or potential development beyond what currently exists. Therefore, the project is an allowed land use for this site.
- d) The subject parcels are zoned for Permanent Grazing and are used for cattle grazing. Additionally, Parcel B consists of three single family dwellings and an accessory dwelling unit (Building Permits Nos. 20CP02691, 20CP02693, 20CP02694, and 20CP02695) to support the agricultural use of the property for the owner, operator, and employees employed on-site, that is situated within a fully fenced area of approximately 2 acres of the 67.5-acre lot. Neither of the subject parcels is under Williamson Act contract.
- e) Lot Legality. The subject properties (188.9 acres and 67.5 acres in size), APNs: 424-061-040-000, 424-061-041-000, & and 424-061-002-000, are identified as the southeast quarter of the southwest quarter, and the southwest quarter of the southeast quarter of section 6; the north half of the northeast quarter and the northeast quarter of the northwest quarter of section 7 in Township 24 South, Range 9 East, and Parcel 4 of Lot Line Adjustment in Sections 7 and 8, in Township 24 South, Range 9 East, Mount Diablo Meridian, Monterey County, California as shown on Record of Survey, Volume 22, Page 66, recorded April 13, 1999. Therefore, the County recognizes the subject properties as legal lots.
- f) At this time, County is only authorizing and granting a permit for a LLA. For any future structural development on the adjusted parcels, the applicants must obtain the proper permits from the County and comply with the development standards, other policies, and regulations at the time.
- g) Development Standards. The development standard for minimum lot size in the PG/40 zoning district is identified in Title 21 section 21.34.060.A, which identifies a minimum building site as forty (40) acres. Parcel A contains 188.9 acres and Parcel B contains 67.5 acres. As proposed, adjusted Parcel A contains 183.1 acres and adjusted Parcel B contains 73.3 acres. Both parcels will be in conformance with the minimum building site requirement of PG/40. The granting of this Discretionary Permit will not affect the minimum lot size requirements for parcels within the PG district. Pursuant to Title 21 section

21.34.060.D, the maximum building site coverage PG district is five (5) percent, except for commercial greenhouse operations which are permitted a coverage of fifty (50) percent. The current site coverage of Parcel A is zero and Parcel B is approximately 0.52 percent. Parcel A will be transferring 5.8 acres to Parcel B, slightly decreasing site coverage. The Adjusted Parcel B will have a total site coverage of approximately 0.48 percent, which will conform to zoning district standards.

- h) Land Use Advisory Committee (LUAC) Review. The project was not referred to the South County Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it does not involve a lot line adjustment in the coastal zone, does not require review by the Zoning Administrator or Planning Commission, and is exempt from environmental review (see Finding 6).
- i) Agricultural Advisory Committee (AAC) Review. The project was referred to the Agricultural Advisory Committee (AAC) for review on September 28, 2023. The 2010 General Plan Policy AG-1.8 requires that all discretionary applications in lands designated for agricultural use be referred to the County's Agricultural Advisory Committee (AAC) for their review and recommendation to the decision-making body. This application warrants referral to the AAC because the project involves agricultural lands. The AAC recommended approval of the project by a vote of 7-0.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230078.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and South County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended by HCD Planning have been incorporated.
 - b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230078.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general

welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and South County Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Water for the project will be provided by a private well and sewage disposal will be provided through an existing on-site septic system.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230078.

- 4. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) There are no known violations on the subject parcels.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230078.

- 5. FINDING:** **LOT LINE ADJUSTMENT** - Section 66412 of the California Government Code (Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code states that lot line adjustments may be granted based upon the following findings:
- 1. The lot line adjustment is between four (or fewer) existing adjoining parcels;
 - 2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment;
 - 3. The parcels resulting from the lot line adjustment conforms to the County’s general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

- EVIDENCE:**
- a) The parcels are zoned Permanent Grazing 40-acre minimum “PG/40.” As discussed in Finding 1, development on the resulting parcel will continue to be consistent with the zoning.
 - b) The LLA is between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B). The lot line adjustment will not create a greater number of parcels than originally existed. Two contiguous separate legal parcels of record will be adjusted and two contiguous separate legal parcels of record will result from the adjustment. Parcel A is directly connected to Parcel B, sharing an access road. No new parcels will be created.
 - c) The lot line adjustment is between four (or fewer) existing adjoining parcels that the County recognizes as legal lots of record (See Finding 1 Evidence e).

- d) The proposed lot line adjustment is consistent with Monterey County Ordinance (Title 21). (See Finding Nos. 1, 2, and 3; and supporting evidence)
- e) As an exclusion to the Subdivision Map Act, the Lot Line Adjustment does not require the recordation of a map. To appropriately document the boundary changes, the Owner/Applicant shall record a deed for the respective parcels to reflect the adjustment (Condition No. 3) and a Certificate of Compliance for each new lot shall be filed per a standard condition of approval (Condition No. 4).
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230078.

6. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15305 categorically exempts minor lot line adjustments that do not result in the creation of any new parcel.
 - b) The project involves a Lot Line Adjustment (LLA) between two legal lots of record, Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B). No new lots will be created by the lot line adjustment. No demolition, construction, or other type of development is proposed under this entitlement.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230078.

7. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Section 19.16.020.A of the Monterey County Zoning Ordinance.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and none of the exceptions under Section 15300.2 apply; and
2. Approve a Lot Line Adjustment between two legal lots of record consisting of Parcel A (188.9 acres, Assessor's Parcel Numbers 424-061-002-000 & 424-061-041-000) and Parcel B (67.5 acres, Assessor's Parcel Number 424-061-040-000), resulting in two lots consisting of Adjusted Parcel A (183.1 acres) and Adjusted Parcel B (73.3 acres), respectively.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of November, 2023.

Anna Quenga on behalf of
Melanie Beretti, AICP, HCD Acting Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230078

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This permit (PLN230078) allows a Lot Line Adjustment between two legal lots of record consisting of Parcel A (188.9 acres) and Parcel B (67.5 acres), resulting in two parcels containing 183.1 acres (adjusted Parcel A) and 73.3 acres (adjusted Parcel B), respectively. The property is located at 73550, 73552, 73554 & 73556 Pleyto Cemetery Road, Bradley (Assessor's Parcel Numbers 424-061-040-000, 424-061-041-000, & 424-061-002-000), South County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Lot Line Adjustment Permit (Resolution Number _____) was approved by HCD Chief of Planning for Assessor's Parcel Numbers 424-061-040-000, 424-061-041-000, & 424-061-002-000 on November 1, 2023. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. LOT LINE ADJUSTMENT DEED (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Owner(s)/Applicant(s) shall prepare, execute and record deeds that reflect the lot line adjustment as required by California Government Code §66412(d) and request an unconditional Certificate of Compliance for each of the adjusted parcels. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

1. An updated title report (current within 30 days) for each subject parcel of the lot line adjustment.
2. Draft legal descriptions, plats and closure calculations for each newly adjusted parcel of the lot line adjustment for which a Certificate of Compliance will be issued. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN230078) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B."
3. Draft deeds for all adjustment parcels, being all areas being conveyed by Owners in conformance to the approved lot line adjustment. The deeds shall contain a legal description and plat of the areas to be conveyed in conformance to the approved lot line adjustment. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN230078) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B." The deed shall comply with the Monterey County Recorder's guidelines as to form and content.
 - a. The Owner(s)/Applicant(s) shall be responsible for ensuring the accuracy and completeness of all parties listed as Grantor and Grantee on the deeds.
 - b. Each deed shall state in the upper left corner of the document the party requesting the recording and to whom the recorded document shall be returned.
 - c. The purpose of the deed shall be stated on the first page of the deed, as follows:

"The purpose of this deed is to adjust the parcel boundaries in conformance to the lot line adjustment approved by the County of Monterey, PLN230078. This deed is being recorded pursuant to §66412(d) of the California Government Code and shall reconfigure the subject parcels in conformance to said approved lot line adjustment."

PLEASE NOTE: Owner(s) is/are responsible for securing any reconveyance, partial reconveyance and/or subordination in connection with any loan, mortgage, lien or other financial obligation on all property being transferred between parties.

4. Following review and any corrections of the legal descriptions and plats by County Surveyor:
 - a. Owner/Applicant submit copies of the fully executed and acknowledged deed(s) for the adjustment parcels to the project planner for review & approval by County Surveyor
 - b. Owner/Applicant shall submit the legal description and plat for each Certificate of Compliance to HCD-Planning for final processing.
 - c. Using a title company, execute the deeds before a notary public, and have the deeds recorded.
 - d. Owner/Applicant shall submit copies of all recorded deeds to the project planner.

4. PD045 - COC (LOT LINE ADJUSTMENTS)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to HCD -Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

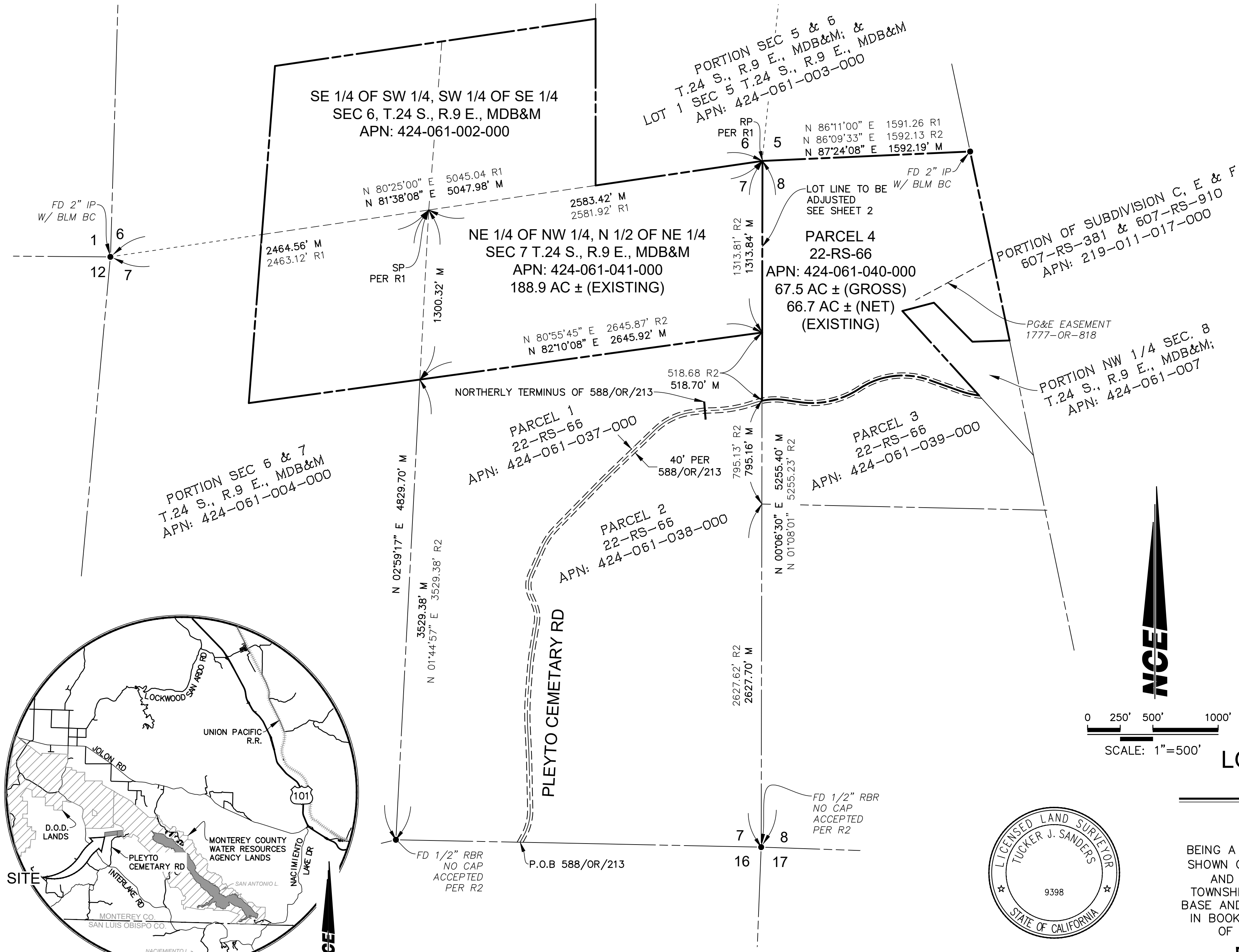
Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.



UNPLOTTABLE EASEMENTS

C-PATENTS-177
1984-G-47065 "OVER EXISTING POLES"

REFERENCES

R1 GLO RESURVEY T24S R9E MDB&M (1961)
R2 22-RS-66

LEGEND

--- EXISTING LOT LINE TO BE ADJUSTED
--- PROPERTY LINE
--- EASEMENTS
---x--- FENCE LINE

NOTE:

BOUNDARY INFORMATION SHOWN HEREON IS
BASED ON A SURVEY IN PROGRESS BY NORTH
COAST ENGINEERING, INC.

NOTES

APPLICANT: COPPERHEAD CREEK LLC
73550 PLEYTO CEMETARY RD
BRADLEY, CALIFORNIA 93426

SURVEYOR: TUCKER J. SANDERS LS 9398
NORTH COAST ENGINEERING
725 CRESTON ROAD, SUITE C
PASO ROBLES, CALIFORNIA
93446

SITE STATISTICS

PARCEL 1
EXISTING AREA: 67.5 AC±(GROSS)
66.7 AC±(NET)

PROPOSED AREA: 73.3 AC±(GROSS)
72.5 AC±(NET)

APN: 424-061-040-000
ZONING: PG/40/PQP
OWNER: COPPERHEAD CREEK LLC

PARCEL 2
EXISTING AREA: 188.9 AC±
PROPOSED AREA: 183.1 AC±

APN: 424-061-041-000, 424-061-002-000
ZONING: PG/40/PQP
OWNER: COPPERHEAD CREEK LLC

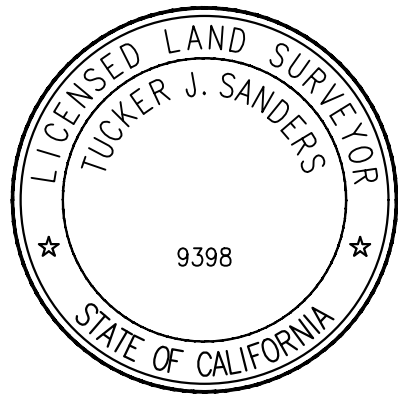
LOT LINE ADJUSTMENT
MAP COAL 23-XXXX

IN THE COUNTY OF MONTEREY,
STATE OF CALIFORNIA

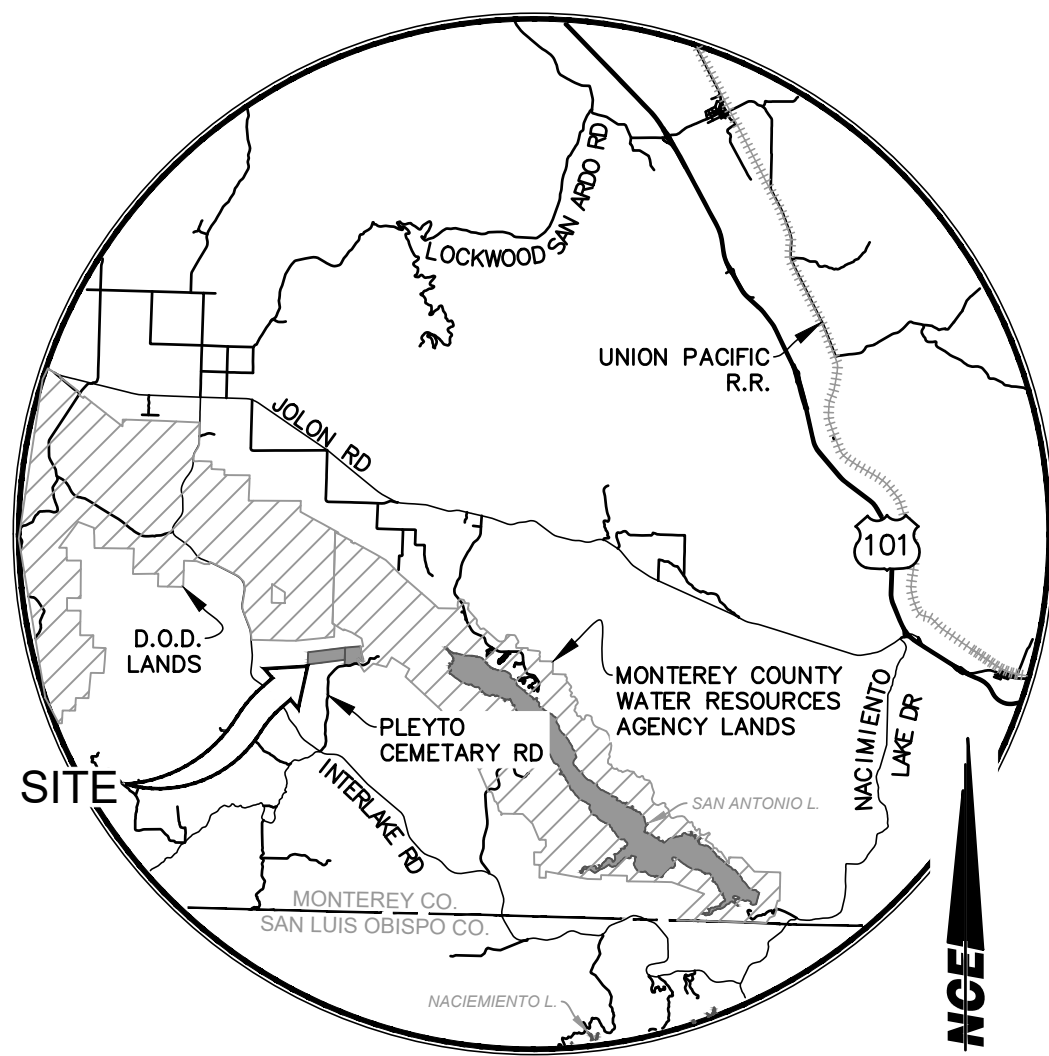
BEING A LOT LINE ADJUSTMENT BETWEEN PARCEL 4 AS
SHOWN ON 22 SURV. 66 AND NE 1/4 OF THE NW 1/4,
AND THE N 1/2 OF THE NE 1/4 OF SECTION 7,
TOWNSHIP 24, SOUTH, RANGE 9, EAST, MOUNT DIABLO
BASE AND MERIDIAN, ACCORDING TO THE MAP RECORDED
IN BOOK 22 OF SURVEYS, AT PAGE 66 IN THE OFFICE
OF THE COUNTY RECORDER OF SAID COUNTY.

725 CRESTON ROAD, SUITE C
PASO ROBLES, CA
805.239.3127

NCE
NORTH COAST
ENGINEERING

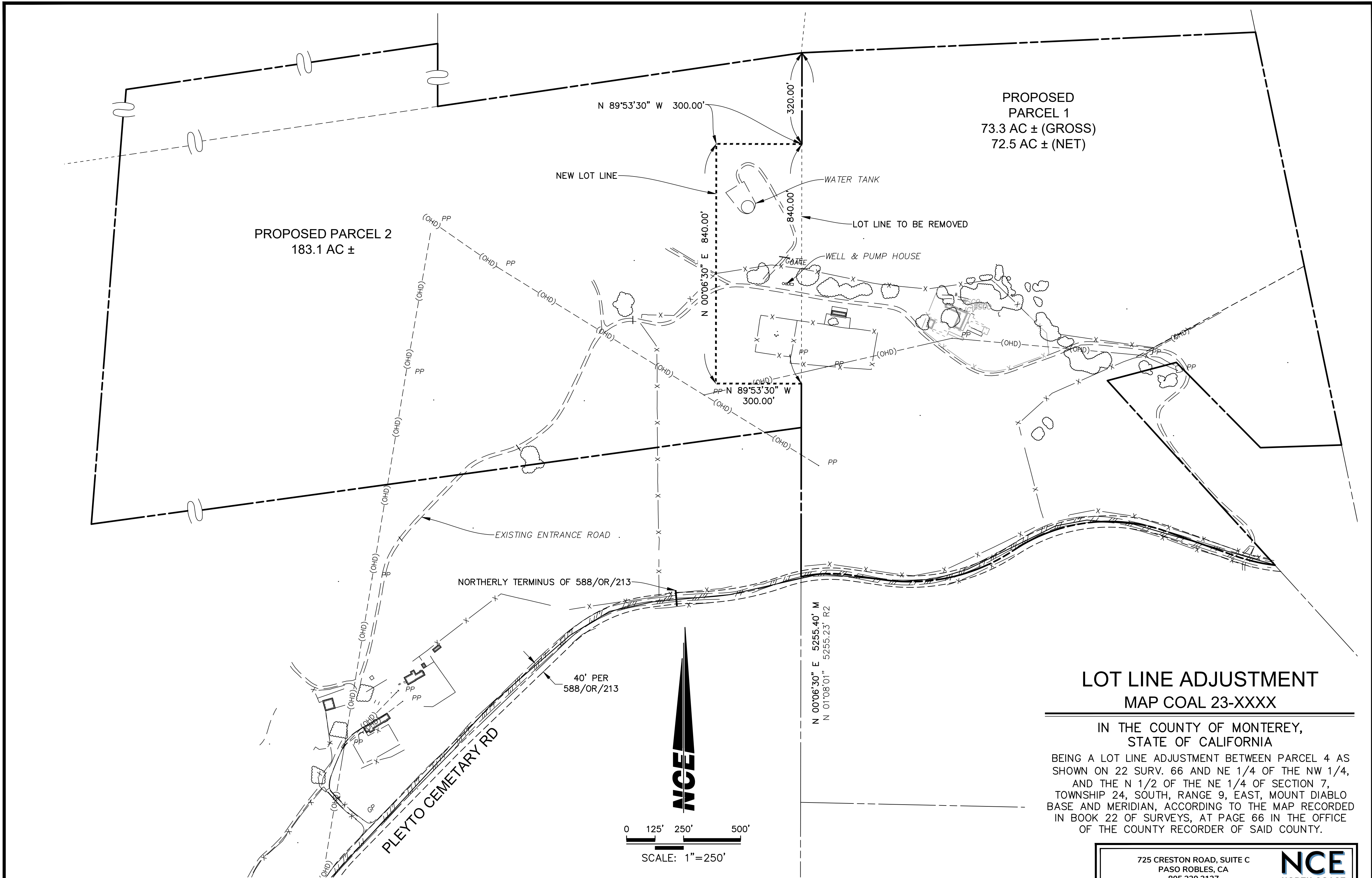


Tucker J. Sanders
TUCKER J. SANDERS
L.S. 9398
9-6-23
DATE



LOCATION MAP

JOB NUMBER: 20131
NO SCALE
NORTH COAST ENGINEERING INC. copyright©2023



LOT LINE ADJUSTMENT MAP COAL 23-XXXX

IN THE COUNTY OF MONTEREY,
STATE OF CALIFORNIA

BEING A LOT LINE ADJUSTMENT BETWEEN PARCEL 4 AS
SHOWN ON 22 SURV. 66 AND NE 1/4 OF THE NW 1/4,
AND THE N 1/2 OF THE NE 1/4 OF SECTION 7,
TOWNSHIP 24, SOUTH, RANGE 9, EAST, MOUNT DIABLO
BASE AND MERIDIAN, ACCORDING TO THE MAP RECORDED
IN BOOK 22 OF SURVEYS, AT PAGE 66 IN THE OFFICE
OF THE COUNTY RECORDER OF SAID COUNTY.

725 CRESTON ROAD, SUITE C
PASO ROBLES, CA
805.239.3127

Exhibit B

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Agricultural Advisory Committee (AAC)

ACTION MINUTES

Location:	<i>Ag Conference Center, 1428 Abbott Street, Salinas, CA. 93901</i>	
Date:	September 28, 2023	
Time:	2:30 p.m. to 4:30 p.m.	
Present:	<i>Committee Members</i>	<i>Staff and Guests</i>
	Sherwood Darington Alex Eastman- <i>Vice Chair</i> ** Mike Ferguson CJ Miller Kevin Piearcy Scott Storm Scott Violini- <i>Acting Chair</i> *	Juan Hidalgo, Ag Commissioner, <i>ACO</i> Nadia Garcia, Ag Programs Manager, <i>ACO</i> Rich Ordonez, Deputy Ag Commissioner, <i>ACO</i> Mary Grace Perry, Deputy County Counsel Kayla Nelson, <i>HCD Planning</i> Taylor Price, <i>HCD Planning</i> Melanie Beretti, <i>HCD Planning</i> Norm Groot, <i>Monterey County Farm Bureau</i> Mike Novo, <i>Ag Land Trust</i> Taven Kinison-Brown, <i>City of Gonzales</i> Kathryn Avila, <i>Avila Construction</i> Mr. Alderete, <i>Alderete Ranch LLC</i>
Absent:	Kurt Gollnick, Erik Heacox, Nick Huntington, Matt Shea	

*Scott Violini acting Chair for this meeting

** Alex Eastman arrived at 2:39pm during Item No. V- *Agricultural Commissioner's Update*

I. Call to Order

The meeting was called to order by Acting Chair Scott Violini at 2:36 pm.

II. Additions and Corrections

- None

III. Consent- Committee Business

A. Approval of Minutes from August 24, 2023

MOTION: Approval of minutes were moved and seconded by Committee Members CJ Miller and Mike Ferguson and **failed** by the following vote:

AYES: Ferguson, Miller, Piearcy, Storm, Violini

NOES: None

ABSENT: Eastman, Gollnick, Heacox, Huntington, Shea

ABSTAIN: Darington

IV. Public Comment- On items not on the agenda.

- None

V. Agricultural Commissioner's Update

Juan Hidalgo, Agricultural Commissioner

- FIRA USA Event update – new technology in agriculture.

PUBLIC COMMENT:

- Norm Groot, *Monterey County Farm Bureau*- Comment on CAL-OSHA regulations prohibiting autonomous machines and this poses a problem for ag technological advancements.

VI. Monterey County Housing and Community Development - Planning Department

A. ALDERETE RANCH LLC

Project Planner: Christina Vu, Assistant Planner

Project Title: Alderete Ranch LLC

Planning File No.: PLN230032

APN(s): 145-072-008-000 & 145-072-009-000

Project Location: 29580 Chualar Canyon Road, Chualar

Zoning/Area Plan: Farmland, 40 acres, Design Control (F/40-D); Central Salinas Valley Area

Project Description: Design Approval to allow construction of a new 7,777 square foot two-story single-family dwelling with a 1,621 square foot attached garage, 1,972 square foot covered patio & entry and associated site improvements on Williamson Act contracted property (Ag Preserve Contract No. 68-094).

ACTION REQUESTED/CEQA ACTION: Recommend support approval to the Zoning Administrator to allow the construction of a new 7,777 square foot two-story single-family dwelling with an attached garage, 1,972 square foot covered patio & entry, and associated site improvements. Grading of approximately 3,900 cu. yds. of cut and 1,205 cu. yds. of fill on an existing Williamson Act property with an established grazing operation/ **CEQA Action:** Support finding that the project is Categorically Exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Code of Civil Regulations (CCR) Section 15304- *Minor Alterations to Land* and there are no exceptions pursuant to Section 15300.2.

PUBLIC COMMENT:

- None

MOTION: Item A was moved and seconded by Committee Members Kevin Piearcy and Alex Eastman and passed by the following vote to recommend support approval of the project:

AYES:	Darington, Eastman, Ferguson, Miller, Piearcy, Storm, Violini
NOES:	None
ABSENT:	Gollnick, Heacox, Huntington, Shea
ABSTAIN:	None

B. COPPERHEAD CREEK LLC

Project Planner: Christina Vu, Assistant Planner

Project Title: Copperhead Creek LLC

Planning File No.: PLN230078

APN(s): 424-061-002-000, 424-061-040-000, & 424-061-041-000

Project Location: 73550, 73552, 73554 & 73556 Pleyto Cemetery Road, Bradley

Zoning/Area Plan: Permanent Grazing, 40 acres (PG/40); South County Area Plan

Project Description: Lot Line Adjustment between two (2) legal lots of record consisting of: Parcel 1 with 66.7 acres and Parcel 2 with 188.9 acres, resulting in two legal lots of record consisting of *reconfigured Parcel 1* with 183.1 acres and *reconfigured Parcel 2* with 72.5 acres. Properties is not under Williamson Act.

ACTION REQUESTED/CEQA ACTION: Recommend support approval of the Lot Line Adjustment between two legal lots of record by the HCD Chief of Planning/ **CEQA Action:** Support finding that the project is Categorically Exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Code of Civil Regulations (CCR) Section 15305- *Minor Alterations to Land Use Limitations* and there are no exceptions pursuant to Section 15300.2.

PUBLIC COMMENT:

- None

MOTION: Item B was moved and seconded by Committee Members Alex Eastman and Mike Ferguson and passed by the following vote to recommend support approval of the project:

AYES: Darington, Eastman, Ferguson, Miller, Piearcy, Storm, Violini

NOES: None

ABSENT: Gollnick, Heacox, Huntington, Shea

ABSTAIN: None

C. AGRICULTURAL LAND CONSERVATION MITIGATION PROGRAM – FARMLAND MITIGATION ORDINANCE

Project Planner: Taylor Price, Associate Planner

Project Title: Agricultural Land Conservation Mitigation Program – Farmland Mitigation Ordinance

Planning File No.: REF220044

APN(s): Not Applicable

Project Location: Inland areas of the unincorporated Monterey County

Project Description: Draft ordinance adding Chapter 21.92 to the Monterey County Code related to mitigation requirements for development on farmland.

ACTION REQUESTED/CEQA ACTION: Consider the draft ordinance adding Chapter 21.92 to the Monterey County Code related to mitigation requirements for development on farmland. Consider making a motion to recommend that staff bring the revised draft ordinance to the Planning Commission (Commission), including the Agricultural Advisory Committee's (AAC) recommendation on the proposed Chapter 21.92 and provide input to staff/ **CEQA Action:** The proposed program and draft ordinance are exempt from CEQA pursuant to CEQA Guidelines Section 15308, which exempts actions taken by regulatory agencies, as authorized by state or

local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for the protection of the environment. In addition, as the proposed program and draft ordinance implement the 2010 Monterey County General Plan, pursuant to Section 15162 of the CEQA Guidelines, no subsequent environmental review is required for this ordinance because the effects of establishing the Farmland Conservation Mitigation Program were analyzed in the General Plan EIR and no substantial changes in project description, substantial changes in circumstances, or new information of substantial importance leading to new significant effects or a substantial increase in the severity of previously identified effects has been identified.

PUBLIC COMMENT:

- Taven Kinison-Brown, *City of Gonzales*
 - Supports the Agricultural and Winery Corridor Plan (AWCP) exemption.
- Mike Novo, *Ag Land Trust*
 - Supports the Agricultural and Winery Corridor Plan (AWCP) exemption.
 - Supports requiring the receiver site have water supply availability.
 - Supports adding the County as a “qualifying entity” for administering of mitigation bank monies/sites in the event no “Qualifying Conservation Entity” is secured.
- Norm Groot, *Monterey County Farm Bureau*
 - Supports the Agricultural and Winery Corridor Plan (AWCP) exemption.
 - Attend Planning Commission hearing to educate the Planning Commissioners on the work that went into the Ag Land Mitigation Draft Ordinance.

MOTION 1: Add the Monterey County General Plan *Agricultural and Winery Corridor Plan (AWCP)* and those uses allowed and permitted under the AWCP to the list of exemptions in the Farmland Mitigation Ordinance (proposed Chapter 21.92 of the County’s Zoning Code); this motion was moved and seconded by Committee Members Scott Storm and Alex Eastman and passed by the following vote:

AYES: Darington, Eastman, Ferguson, Miller, Pearcy, Storm, Violini
NOES: None
ABSENT: Gollnick, Heacox, Huntington, Shea
ABSTAIN: None

MOTION 2: Recommend approval of the draft Farmland Mitigation Ordinance as presented by HCD staff, subject to incorporating the added AWCP exemption Motion 1 above, and adding wording for the appraisal of land to have a timed term and also adding the County as a “qualifying entity” for administering of mitigation bank monies/sites in the event no “Qualifying Conservation Entity” is secured; this motion was moved and seconded by Committee Members Alex Eastman and Scott Storm and passed by the following vote:

AYES: Darington, Eastman, Ferguson, Miller, Pearcy, Storm, Violini
NOES: None
ABSENT: Gollnick, Heacox, Huntington, Shea
ABSTAIN: None

VII. Administrative Matters

- Nadia Garcia reminded the AAC of the 2023 AAC dates: October 26 and November 16; no meeting in December.
 - At the October 26 meeting, the AAC will consider the 2024 Williamson Act Applications- very important meeting and a quorum would be much appreciated.

VIII. Agricultural Advisory Committee Comments

None

IX. Adjournment

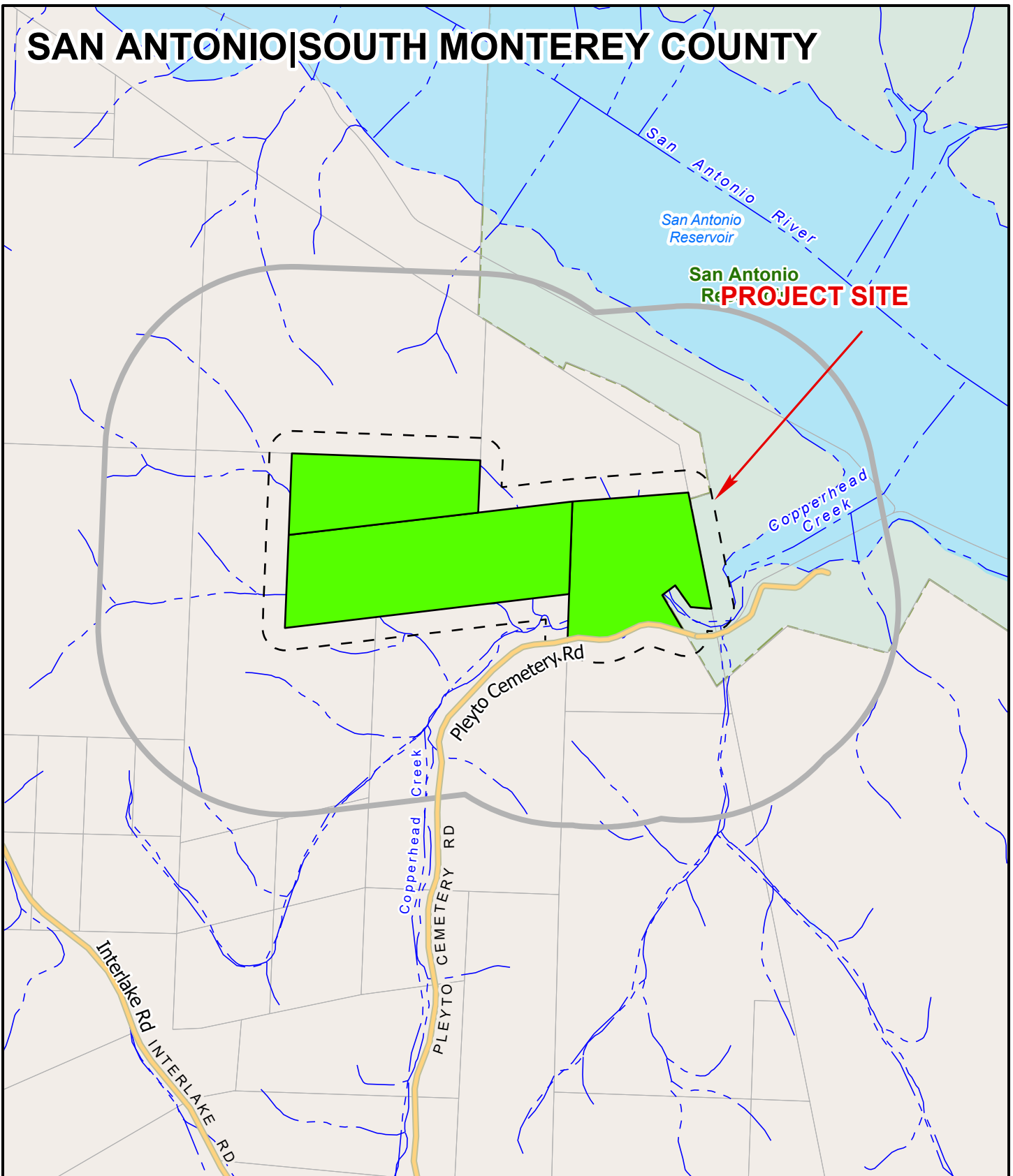
There being no further business before the Committee, the meeting was adjourned at 4:35 p.m.

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Exhibit C

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SAN ANTONIO|SOUTH MONTEREY COUNTY



APPLICANT: COPPERHEAD CREEK LLC

APN: 424-061-002-000, 424-061-041-000, 424-061-040-000 **FILE #** PLN230078



ProjectSite



2500Buffer



300Buffer



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