

Exhibit B

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**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

1536 VENADERO LLC - PENN (PLN170198)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- 1) Adopting a Mitigated Negative Declaration;
- 2) Approving a Combined Development Permit consisting of 1) a Coastal Development Permit to allow landscaping improvements including replacement and reconfiguration of driveway, patios, walkways, fountains, and plants within a positive archaeological site; and 2) a Variance to exceed the 9,000 square feet impervious surface limit by 533 square feet; and
- 3) Adopting a Mitigation Monitoring and Reporting Plan

[PLN170198, 1536 Venadero LLC, 1536 Venadero Road, Del Monte Forest Land Use Plan (APNs: 008-422-012-000 and 008-422-013-000)]

The 1536 Venadero LLC Combined Development Permit application (PLN170198) came on for public hearing before the Monterey County Zoning Administrator on February 22, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned and mitigated, is, under the circumstances of this case, consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) Plan Conformance: During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Monterey County Coastal Implementation Plan Part 5;
 - Monterey County Zoning Ordinance (Title 20);Potential conflicts with cultural resource policies, due to the historic nature of the existing structures and the potential for impacts to archaeological resources have been identified. In addition, potential conflicts with land use development policy 77 of the Del Monte Forest Land Use Plan which limits impervious surfaces to 9,000 square feet

have been identified during review of the project; However, changes to the plan have been incorporated and based on the circumstances of the case, the project is designed appropriately to balance reasonable residential development with resource protection policies of the applicable regulations. Findings to support a Variance to the 9,000-square foot impervious surface area can be made in this case (see Findings 4-6) and conditions and mitigations are proposed to minimize impacts to cultural resources consistent with the applicable text, policies, and regulations.

- b) Allowed Use: The property is located at 1536 Venadero Road, Pebble Beach (Assessor's Parcel Numbers 008-422-012-000 and 008-422-013-000), Del Monte Forest Land Use Plan area. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control Overlay, in the Coastal Zone [LDR/1.5-D (CZ)], which allows residential uses and development as a principally permitted use. The project involves landscape improvements associated with an existing residential use of the property. Therefore, the project is an allowed land use for this site.
- c) Design Review: The project site is subject to the design criteria contained in the Chapter 20.44 of the Coastal Implementation Plan, Part 1 (the Design Control "D" Zoning District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project involves minor changes to the existing gate and fencing surrounding the site and changes to flat surfaces such as driveway materials, patios, and walkways. The landscape improvements are appropriately sited in locations that already contain similar improvements and by their nature require location near the existing residential structures. Proposed colors and materials are consistent with the area and with the historic integrity of the existing structures and include stone pavers and gravel. The project is not in the public viewshed and will be consistent with the character of the site and surrounding neighborhood.
- d) Cultural Resources: The project site contains an existing residence, garage/guesthouse, and greenhouse that have been determined to be historic structures that qualify for listing on the Monterey County register of Historic Resources and has been identified as containing potentially significant archaeological resources.
Historic Structure: A phase II historic analysis was prepared for the project (LIB170280), by Kent Seavey. The Phase II report determined that the proposed landscape improvements are consistent with the historic setting of the site, are consistent with the Secretary of the Interior Standards for the Rehabilitation of historic resources, and the project will not adversely impact the historic resources.
Archaeological and Tribal Cultural Resources: A Phase I archaeological survey and a Phase II archaeological investigation were conducted for the project. In addition, the tribal chairperson of the Ohlone, Coastanoan, Esselen Nation was consulted to review potential impacts to tribal cultural resources. Consistent with Policy 60 of the Del Monte Forest Land Use Plan, revisions to the project were required to minimize potential impacts to resources including modification of the

locations of the proposed patios and walkways and the proposed depths of the footings for new landscape improvements. In addition, conditions and mitigations have been incorporated that require monitors and appropriate treatment of resources if discovered (Conditions Numbers: 13, 14, and 15)

- e) Variance: The site is located within the “Pescadero Watershed” area of the Del Monte Forest which is an area that drains to the Carmel Bay Area of Special Biological Significance (ASBS). The Del Monte Forest Land Use Plan calls for heightened concern of non-point sources of pollutants to the Carmel Bay ASBS. Specific policies to protect freshwater and marine resources are provided that require erosion control measures and stormwater runoff best management practices for all development projects in the watershed. This Penn project is required to implement erosion control measures during construction (Condition 6) and will provide on-site retention of stormwater. Policy 77 of the Del Monte Forest Land Use Plan limits impervious surfaces in the Pescadero watershed to 9,000 square feet per parcel. Assessor’s Parcel Number 008-422-012-000 is currently considered legal non-conforming and contains 15,666 square feet of impervious area. The project would substantially reduce impervious surface area by 6,113 square feet but would still exceed the 9,000 square foot limit (9,553 square feet proposed). Overall, with adequate protections for erosion and stormwater runoff, the balance of the project design with respect to cultural resources, and the significant reduction in impervious area, staff believes that the project has been sited and designed in such a manner consistent with LUP policies. Findings for a Variance to exceed the Pescadero Watershed impervious surface area by 533 square feet can be made in the case (See Findings 4-6 below). Improvements located on Assessor’s Parcel Number 008-422-013-000 would conform to the impervious surface area policies as proposed (2,093 square feet existing, 2,033 square feet proposed).
- f) Advisory Committee: The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. There were no public comments or concerns with approval of the project expressed by the LUAC at the meeting and the LUAC unanimously recommended approval of the project.
- g) Public Access: The subject property is not described as an area where the Local Coastal Program requires access and is not indicated as part of any designated trails or shoreline access as shown in Figure 8 of the Del Monte Forest Area Land Use Plan.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170198.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Pebble Beach Community Services District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has

been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to Archaeological Resources and Historic Resources. The following reports have been prepared: - -
 - "Archaeological Subsurface Testing" (LIB170279) prepared by John Schlagheck of Holman & Associates Archeological Consultants, San Francisco, CA, July 2016 and revised June 2017.
 - "Phase II Historic Report" (LIB170280) prepared by Kent Seavey, Pacific Grove, CA, July 8, 2017.

Conditions and Mitigations suggesting in these reports have been incorporated and the project, as conditions and mitigated the above-mentioned technical report prepared by an outside consultant concluded that the site is suitable for the proposed project. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Necessary public facilities are available to serve the development. Water for landscape irrigation will be provided by Cal-Am.
- d) The project involves revisions to an existing landscape surrounding and existing residential structure/use and is located within a residential zone.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170198.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by the RMA - Planning, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Water for landscape irrigation will be provided by Cal-Am.
- c) The project involves revisions to an existing landscape surrounding and existing residential structure/use and is located within a residential zone.
- d) Staff conducted a site inspection on August 31, 2017 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170198.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff conducted a site inspection on August 31, 2017 and researched County records to assess if any violation exists on the subject property.
 - b) There are no known violations on the subject parcel.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170198.

5. **FINDING:** **CEQA (Mitigated Negative Declaration)** - On the basis of the whole record before the Monterey County Zoning Administrator, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) Monterey County RMA-Planning prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of RMA-Planning and is hereby incorporated by reference (PLN170198).
 - c) The Initial Study identified several potentially significant effects, but revisions have been made to the project and the applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.
 - d) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during project implementation, and is hereby incorporated herein by reference. The applicant must enter into an "Agreement to Implement a Mitigation Monitoring and/or Reporting Plan as a condition of project approval.
 - e) The Draft Mitigated Negative Declaration ("MND")/Negative Declaration ("ND") for PLN170198 was prepared in accordance with CEQA and circulated for public review from November 7, 2017 through December 8, 2017 (SCH#: 2017111023).
 - f) Issues that were analyzed in the Mitigated Negative Declaration include: cultural resources, land use/planning, and tribal cultural resources.
 - g) Potential impacts to archaeological resources and tribal cultural resources were identified in the MND. Mitigations were applied (Conditions 13, 14, and 15) that require an onsite archaeological monitor and on-site tribal monitor during construction and direct appropriate treatment and analysis of resource if discovered. With the mitigations applied, the project will have a less than significant impact on the environments.
 - h) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2/Site Suitability), staff reports that reflect the County's independent judgment, and information and testimony presented during public hearings. These

documents are on file in RMA-Planning (PLN170198) and are hereby incorporated herein by reference.

- i) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Wildlife (CDFW) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Wildlife determines that the project will have no effect on fish and wildlife resources. The Initial Study was sent to the California Department of Fish and Wildlife for review, comment, and to recommend necessary conditions to protect biological resources in this area. No comments were received however, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- j) The County has considered the comment received by the California Coastal Commission staff during the public review period. The project has been modified by the applicant to address the comments received. Modification include a additional reductions in the proposed impervious surface area by replacing the entire driveway with pervious surface and reducing the side of the proposed patios and walkway along the side and rear of the home. In addition, the MND was modified to provide clarification and amplification of the analysis in support of the conclusion that the project is consistent with the intent of the Pescadero Watershed coverage limitation. Revisions made to the project plans in response to the Coastal Commission comments on the MND do not create new effects or change the information or determinations made in the MND. The revisions to the MND clarify and amplify the analysis contained in the MND and no new impacts or mitigations are required for the project. Therefore, pursuant to Section 15073.5 of the CEQA guidelines, recirculation of the MND is not required.
- k) Proposed mitigation measures are incorporated into the conditions of approval and as proposed and conditioned, the project will not have a significant adverse effect on the environment.
- l) Monterey County RMA-Planning, located at 1441 Shilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

6. **FINDING:** **VARIANCE (SPECIAL CIRCUMSTANCE)** – There are special circumstances applicable to Assessor’s Parcel Number 008-422-012-000, including size, shape, topography, location or surroundings. As a result, the strict application of Title 20 and Policy 77 of the Del Monte Forest Land Use Plan would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification. Although it was determined that special, circumstances exist, Variances are granted on a case-by-case basis and the findings and evidence for this project do not necessarily apply to other parcels

EVIDENCE: a) Assessor’s Parcel Number 008-422-012-000 was developed in the 1920’s and 1930’s and contains an historically significant Spanish

eclectic style residence with surrounding driveway, patios and walkways. Together the structures and landscape surfaces total 15,666 square feet of impervious surface area which does not conform to the 9,000 square foot impervious surface limitations that currently are applicable to the site.

- b) Due to the historic nature of the site, particular attention must be made to avoid significantly altering the landscaping and areas surrounding the home to avoid adverse effects on the historic setting.
- c) Strict interpretation of the 9,000 square foot impervious surface limitations could adversely impact the historic setting and would deprive the property of reasonable exterior living spaces such as walkways and patios.

7. **FINDING:** **VARIANCE (SPECIAL PRIVILEGE)** – The Variance does not constitute a grant of special privileges inconsistent with the limitation upon other properties in the vicinity and identical zoning classification in which such property is situated
- a) Other property owners in the vicinity and under identical zoning classification have been afforded the same privilege sought by the property owner of this application. The Steakley project (PC93167) established the precedence to allow a Variance for a developed parcel to exceed the 9,000 square foot combined coverage limitation where a net reduction in the existing combined coverage will occur. Within the general vicinity, several residential projects have been granted similar variances. For PLN980384 (Rachleff), PLN020361 (Griggs), PLN980540 (Schwab), PLN090061 (Rachleff), PLN120663 (Bardis) and PLN170535 (Heverdejs) the Zoning Administrator approved Variances to exceed the structural and impervious coverage limitations, and allowed an increase to structural coverage, based on a reduction of impervious surface coverage, and an overall net reduction in total coverage.
 - b) The subject project would reduce the impervious surfaces on the lot from 15,666 square feet to 9,533 square feet.
8. **FINDING:** **VARIANCE (AUTHORIZED USE)** – This project will not constitute a grant for an activity or use otherwise not expressly authorized by the zone regulations governing the parcel.
- a) Single Family residential uses, inclusive of patios, driveways, walkways, and landscaping improvements are listed as principally permitted uses in the LDR zoning district.
9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission/Board of Supervisors and the California Coastal Commission
- EVIDENCE:** a) Board of Supervisors: Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) California Coastal Commission: Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (State Route 1), and development that is permitted in the underlying zone as a conditional use (i.e.; development within an area of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Adopt a Mitigated Negative Declaration;
2. Approve a Combined Development Permit consisting of 1) a Coastal Development Permit to allow landscaping improvements including replacement and reconfiguration of driveway, patios, walkways, fountains, and plants within a positive archaeological site; and 2) a Variance to exceed the 9,000 square feet impervious surface limit by 533 square feet, in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference; and
3. Adopt the attached Mitigation Monitoring and Reporting Program.

PASSED AND ADOPTED this 22nd day of February, 2018

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170198

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit and Variance (PLN170198) allows Landscaping improvements including replacement and reconfiguration of driveway, patios, walkways, fountains, and plants. The property is located at 1536 Venadero Road, Pebble Beach (Assessor's Parcel Number's 008-422-012-000 and 008-422-013-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit and Variance (Resolution Number ***) was approved by the Zoning Administrator for Assessor's Parcel Number's 008-422-012-000 and 008-422-013-000 on February 22, 2018. The permit was granted subject to *** conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

4. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to RMA-Planning.

5. PDSP001 - HISTORIC RESOURCES ZONING OVERLAY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall formally request to re-zone the property adding a "HR" zoning district overlay to assure adequate review and long-term protection of archaeological resources and the house. (RMA – Planning Department)

Compliance or Monitoring Action to be Performed: Prior to final building inspection, the applicant/owner shall request that the RMA – Planning Department to amend the zoning map to include a "HR" zoning overlay

6. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

7. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

8. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

9. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

10. WRSP1 - STORMWATER MANAGEMENT PLAN - DEL MONTE FOREST

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall incorporate measures to ensure runoff is minimized and stormwater infiltration is maximized. New development including replaced impervious surfaces shall comply with the freshwater and marine resource policies of the Del Monte Forest Area Land Use Plan. Provisions shall be made to collect and conduct runoff to drainage areas/devices capable of polluted runoff filtration/treatment (e.g., vegetated filtration strips, detention/retention basins, storm drains, etc.). A registered civil engineer or other qualified professional shall design a stormwater management plan to the satisfaction of the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the Owner/Applicant shall submit a stormwater management plan to the Water Resources Agency for review and approval.

11. WRSP2 - DRIVEWAY RUNOFF - DEL MONTE FOREST

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall incorporate permeable materials or surfaces into the project design. The new or replaced driveway surface shall comply with the freshwater and marine resource policies of the Del Monte Forest Area Land Use Plan. The driveway surface shall be designed to minimize runoff through the use of permeable materials, filtration strips, engineered collection/treatment units, or similar. A registered civil engineer or other qualified professional shall design the driveway runoff measures to the satisfaction of the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the Owner/Applicant shall submit details for the pervious driveway design to the Water Resources Agency for review and approval.

12. WRSP3 - WRA INSPECTION - PRIOR TO FINAL

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall schedule an inspection with the Water Resources Agency to ensure all necessary drainage and stormwater controls are in place and the project is compliant with respective water resources policies. This inspection requirement shall be noted on the stormwater management plan. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant shall schedule an inspection with the Water Resources Agency.

13. MM1 - ARCHAEOLOGY MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The contractor shall sign and record an agreement created by an Archaeologist informing them of the potential for incidental impacts and requirements to contract the archaeologist for monitoring during earth disturbing activities associated with new construction on the parcel, such as grading, foundation excavations, etc. An archaeological monitor shall be on-site during all earth disturbing activities. The monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features.

Compliance or Monitoring Action to be Performed: Prior to issuance of a permits, the applicant shall provide the Chief of Planning with a copy of a written agreement demonstrating that an Archaeological monitor will be on-site during earth disturbing activities. The archaeological monitor shall be authorized to halt excavation activities until finds are properly evaluated. Prior to final building inspection, the applicant shall provide evidence of the presence of the Archaeologist on-site during demolition of existing structures and earth disturbing activities. Such evidence shall include measures taken for protection or analysis of resources during construction. The report shall be certified by the Archaeologist.

14. MM2 - DATA RECOVERY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to footing excavation, archaeological data recovery, consistent with contemporary archaeological practices, shall be conducted within the areas of intact deposits that will be impacted by the Project. At a minimum, the data recovery should include the following:

1. One 1x1 meter test unit to be excavated in 10 centimeter levels from the surface to 20 centimeters below the cultural deposit and recovered material passed through a 1/8 – inch screen with any materials remaining in the screen transported to a laboratory for fine sorting. Professional analysis of specific categories of artifacts and ecofactual materials will be conducted as warranted by the type and amount of material recovered. Following testing, all items recovered shall be returned to the site and offered to the Native American tribal monitor for treatment and ultimate disposition.
2. At least two radiocarbon dates from single-specimens of mussel shell or other appropriate material shall be obtained with at least one specimen taken from the intact portion of the deposit.

Compliance or Monitoring Action to be Performed: Prior to issuance of permits, the applicant shall provide the Chief of Planning with a copy of a written agreement that includes data recovery functions meeting the standards described in Mitigation Measure #2 above. Prior to final building inspection, the applicant shall provide evidence that the data recovery has been implemented and carried out in accordance with the required mitigation. The evidence shall also include a summary of the findings from the data recovery efforts.

15. MM3 - TRIBAL MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A tribal monitor from the Ohlone-Coastanon, Esselen Nation shall be present during all earth disturbing activities on the site including any pre-construction data recovery activities conducted by the archaeologist. The tribal monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, and following any carbon dating or analysis by the archaeologist, the property owner shall provide an area for reburial of resources on-site or provide an adequate off-site location for reburial. The tribal monitor shall be given the authority to determine the ultimate disposition of any artifacts or remains on site. This mitigation is not intended to alleviate the property owner or applicant from contacting the coroner and complying with state law if human remains are discovered.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the applicant shall provide the Chief of Planning with photographs during construction and a written statement from the designated tribal monitor that the mitigation has been complied with.

PENN RESIDENCE

PEBBLE BEACH, CALIFORNIA

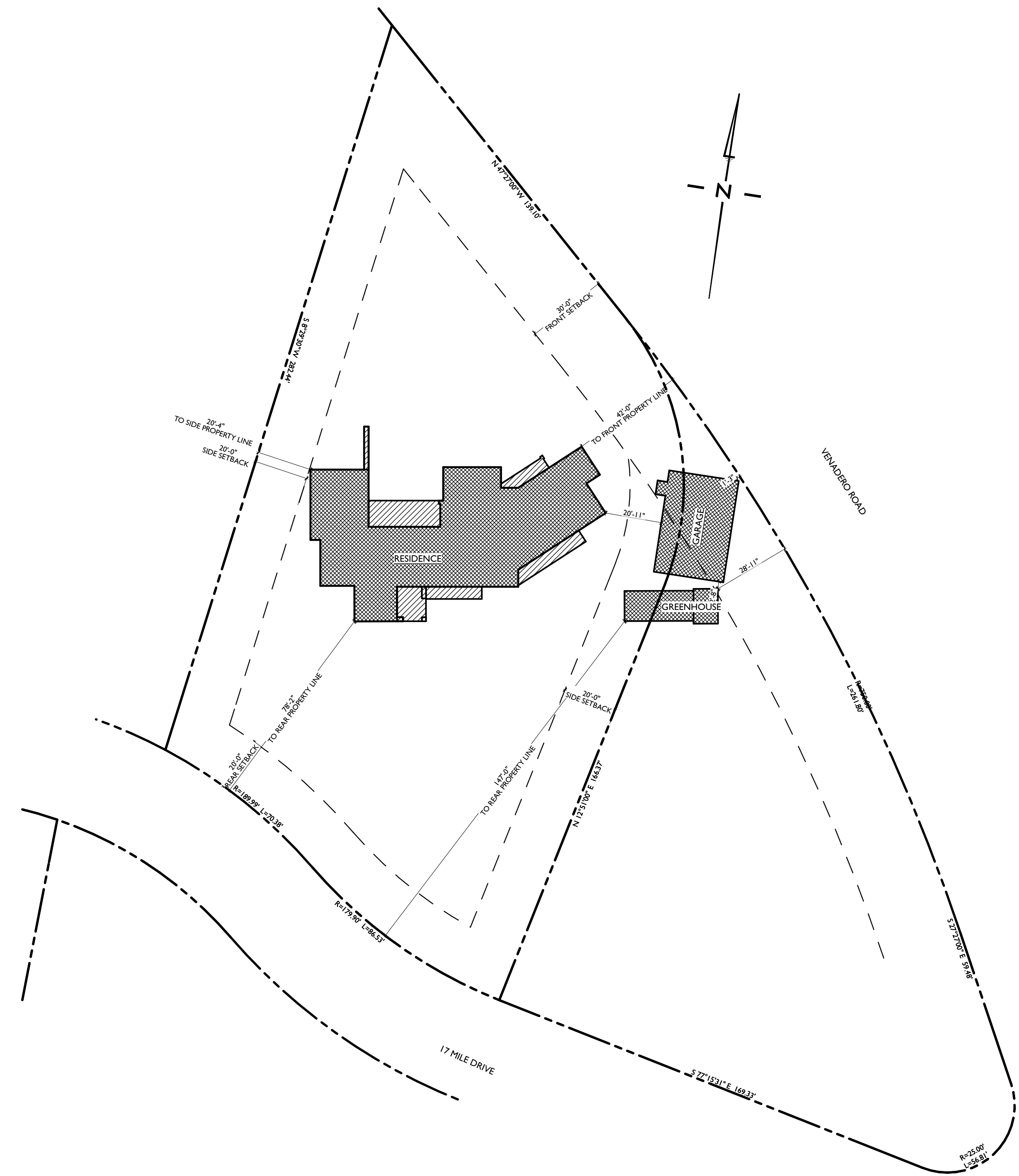
issued: 09/11/17

revised: 2/9/18

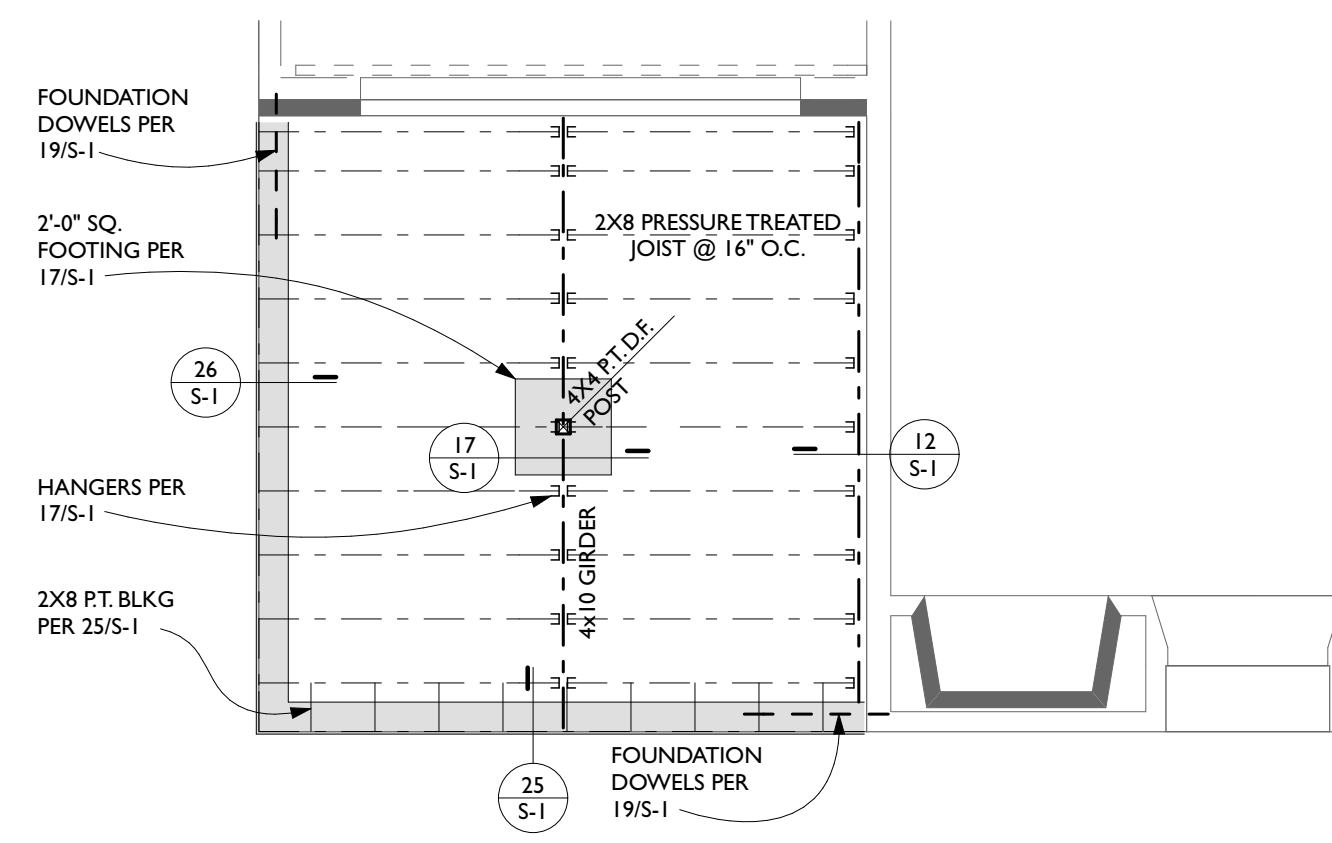
drawn by:

JUSTIN PAULY ARCHITECTS
 550 North Hill St., Suite 104
 Monterey, CA 93940
 P 831.926.1045
 F 831.886.3660
 jpa@justinpaulyarchitects.com

PLOT PLAN



DECK FRAMING PLAN



(SEE SHEET S-1 FOR STRUCTURAL DETAILS AND NOTES)

PROJECT DATA

OWNER: SALLY PENN
 1536 VENADERO
 PEBBLE BEACH, CA 93953

SITE ADDRESS: 1536 VENADERO
 PEBBLE BEACH, CA 93953

A.P.N.: 008.422.012.000 & 008.422.013.000

LOT AND TRACK: EL PESCADERO RHO, LOTS 9 & 10 (SEE EXHIBIT)

GENERAL PLAN / LAND USE DESIGNATION: DEL MONTE FOREST LUP, COASTAL ZONE

ZONING: LDR/1.5-D(CZ)

OCCUPANCY: R-3 (RESIDENCE) U (GARAGE)

CONSTRUCTION TYPE: V-B

SITE AREA: PARCEL 1 : 0.910 ACRES (39,646 SQ FT)
 PARCEL 2 : 0.621 ACRES (27,070 SQ FT)
 TOTAL : 1.53 ACRES (66,716 SQ FT)

LOT COVERAGE:

APN	EXISTING (1A)	PROPOSED (1B)
APN 008.422.012.000	3,749 SQ. FT.	3,749 SQ. FT.
RESIDENCE	866 SQ. FT.	1,038 SQ. FT.
BALCONIES & PATIOS	277 SQ. FT.	277 SQ. FT.
GARAGE/GUEST	133 SQ. FT.	133 SQ. FT.
GREENHOUSE	5,025 SQ. FT.	5,197 SQ. FT.
TOTAL	12.7%	13.3%

APN	EXISTING (2A)	PROPOSED (2B)
APN 008.422.013.000	740 SQ. FT.	740 SQ. FT.
GARAGE/GUEST	273 SQ. FT.	273 SQ. FT.
GREENHOUSE	1,013 SQ. FT.	1,013 SQ. FT.
TOTAL	3.74%	3.74%

TOTAL LOT COVERAGE:

APNS	EXISTING (1A & 2A)	PROPOSED (1B & 2B)
APNS 008.422.012.000 & 008.422.013.000	3,749 SQ. FT.	3,749 SQ. FT.
RESIDENCE	866 SQ. FT.	1,038 SQ. FT.
BALCONIES & PATIOS	1,017 SQ. FT.	1,017 SQ. FT.
GARAGE/GUEST	406 SQ. FT.	406 SQ. FT.
GREENHOUSE	6,038 SQ. FT.	6,210 SQ. FT.
TOTAL	9.05%	9.31%

FLOOR AREA RATIO (FAR):

APN	EXISTING (1A)	PROPOSED (1B)
APN 008.422.012.000	871 SQ. FT.	871 SQ. FT.
BASEMENT	3,749 SQ. FT.	3,749 SQ. FT.
1ST FLOOR	2,438 SQ. FT.	2,438 SQ. FT.
2ND FLOOR	277 SQ. FT.	277 SQ. FT.
GARAGE/GUEST	133 SQ. FT.	133 SQ. FT.
GREENHOUSE	7,468 SQ. FT.	7,468 SQ. FT.
TOTAL	18.8%	18.8%

APN	EXISTING (2A)	PROPOSED (2B)
APN 008.422.013.000	740 SQ. FT.	740 SQ. FT.
GARAGE/GUEST	273 SQ. FT.	273 SQ. FT.
GREENHOUSE	1,013 SQ. FT.	1,013 SQ. FT.
TOTAL	3.74%	3.74%

TOTAL FLOOR AREA RATIO:

APNS	EXISTING (1A & 2A)	PROPOSED (1B & 2B)
APNS 008.422.012.000 & 008.422.013.000	871 SQ. FT.	871 SQ. FT.
BASEMENT	3,749 SQ. FT.	3,749 SQ. FT.
1ST FLOOR	2,438 SQ. FT.	2,438 SQ. FT.
2ND FLOOR	1,017 SQ. FT.	1,017 SQ. FT.
GARAGE/GUEST	406 SQ. FT.	406 SQ. FT.
GREENHOUSE	8,481 SQ. FT.	8,481 SQ. FT.
TOTAL	12.7%	12.7%

IMPERVIOUS SURFACES:

APN	EXISTING (1A)	PROPOSED (1B)
APN 008.422.012.000	5,025 SQ. FT.	5,197 SQ. FT.
IMPERVIOUS SURFACES	10,641 SQ. FT.	4,356 SQ. FT.
TOTAL	39.5%	24.1%

APN	EXISTING (2A)	PROPOSED (2B)
APN 008.422.013.000	1,013 SQ. FT.	1,013 SQ. FT.
IMPERVIOUS SURFACES	1,077 SQ. FT.	1,020 SQ. FT.
TOTAL	7.72%	7.51%

TOTAL IMPERVIOUS SURFACES:

APNS	EXISTING (1A & 2A)	PROPOSED (1B & 2B)
APNS 008.422.012.000 & 008.422.013.000	6,038 SQ. FT.	6,210 SQ. FT.
IMPERVIOUS SURFACES	11,718 SQ. FT.	5,376 SQ. FT.
TOTAL	17,756 SQ. FT.	11,586 SQ. FT.
TOTAL % IMPERVIOUS	26.6%	17.4%

WATER SUPPLY: CALAM

SEWER: PEBBLE BEACH COMMUNITY SERVICES DISTRICT

BUILDING HEIGHT: 28'-5 1/2" (EXISTING HEIGHT - NO CHANGE)

GRADING: NONE

TREE REMOVAL: NONE

PARKING: (5) UNCOVERED PARKING SPACES
 (4) COVERED PARKING SPACES

DEFERRED SUBMITTALS

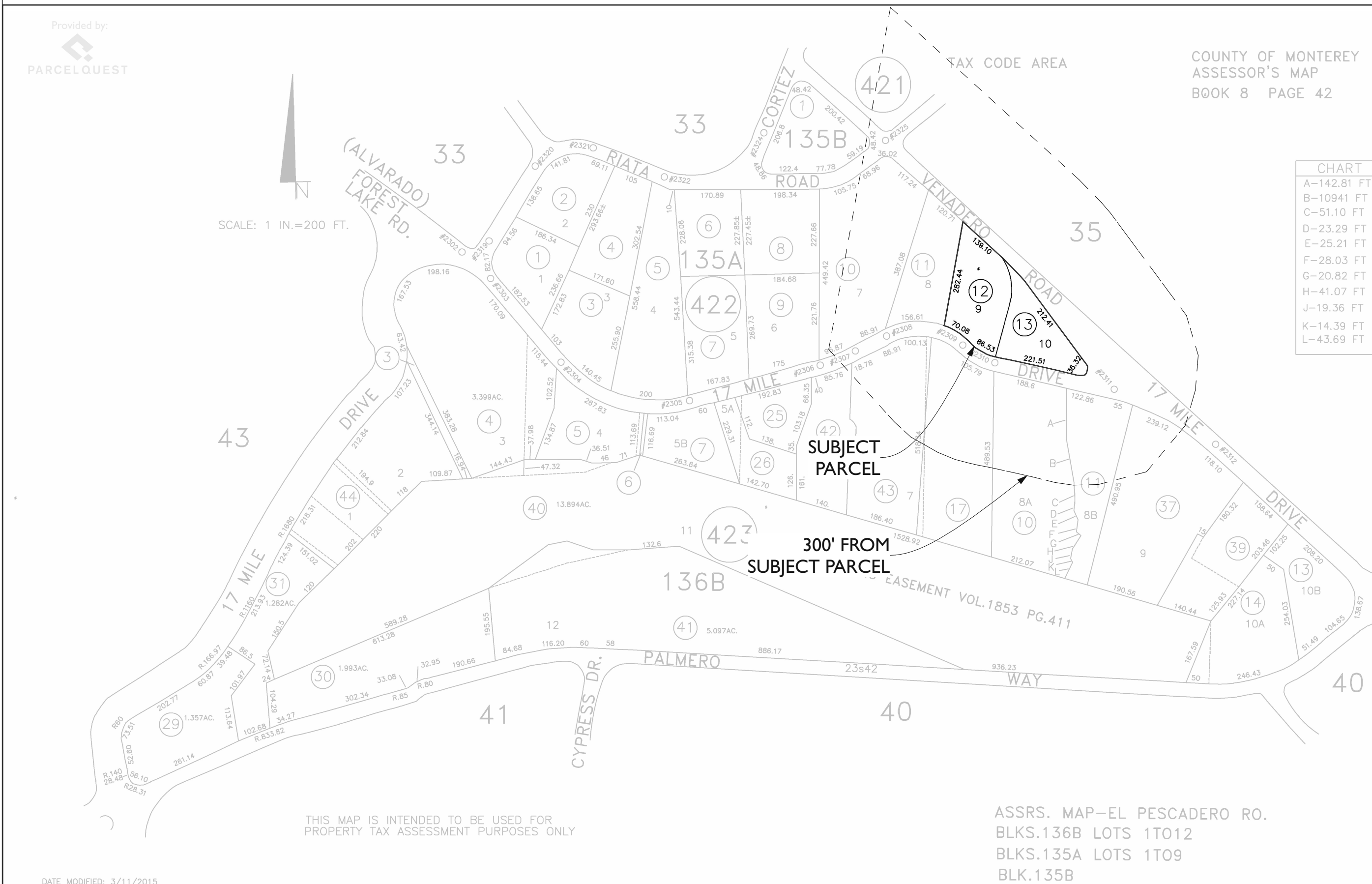
NONE

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES AS FOLLOWS:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE

PARCEL MAP



PROJECT TEAM

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 40 VIA BUENA VISTA
 MONTEREY, CA 93940
 P 831.240.7765
 jpa@justinpaulyarchitects.com
 CA LICENSE #C32962

SURVEYOR/CIVIL ENGINEER: WHITSON ENGINEERS
 9699 BLUE LARKSPUR LANE
 MONTEREY, CA 93940
 P 831.648.5225
 P 831.373.5065

LANDSCAPE ARCHITECT: VIRIDIAN LANDSCAPE ARCHITECTURE
 591 LIGHTHOUSE AVENUE #15
 PACIFIC GROVE, CA 93950
 P 831.648.1900
 rosemaryv@vlastudio.com

STRUCTURAL ENGINEER: DUCKBREW INC.
 PO BOX 831
 CARMEL VALLEY, CA 93924
 P 831.659.3825
 duckcf@yahoo.com

ID	NAME
A0.0	COVER SHEET
A0.1	SURVEY
A0.2	SURVEY
A0.3	COVERAGE DIAGRAMS
A0.4	EROSION CONTROL PLAN
L0.1	FUEL MANAGEMENT PLAN
L1	LAYOUT PLAN
L2	GRADING & DRAINAGE
L3	PLANTING PLAN
L3.a	PLANTING PLAN
L3.b	PLANTING HYDROZONES
L4	LIGHTING PLAN
L5	DETAILS
L6	DETAILS
L7	DETAILS
L8	FENCING LAYOUT
IR.1	IRRIGATION PLAN
IR.2	IRRIGATION LEGEND & NOTES
IR.3	IRRIGATION DETAILS
S-5	STRUCTURAL DETAILS

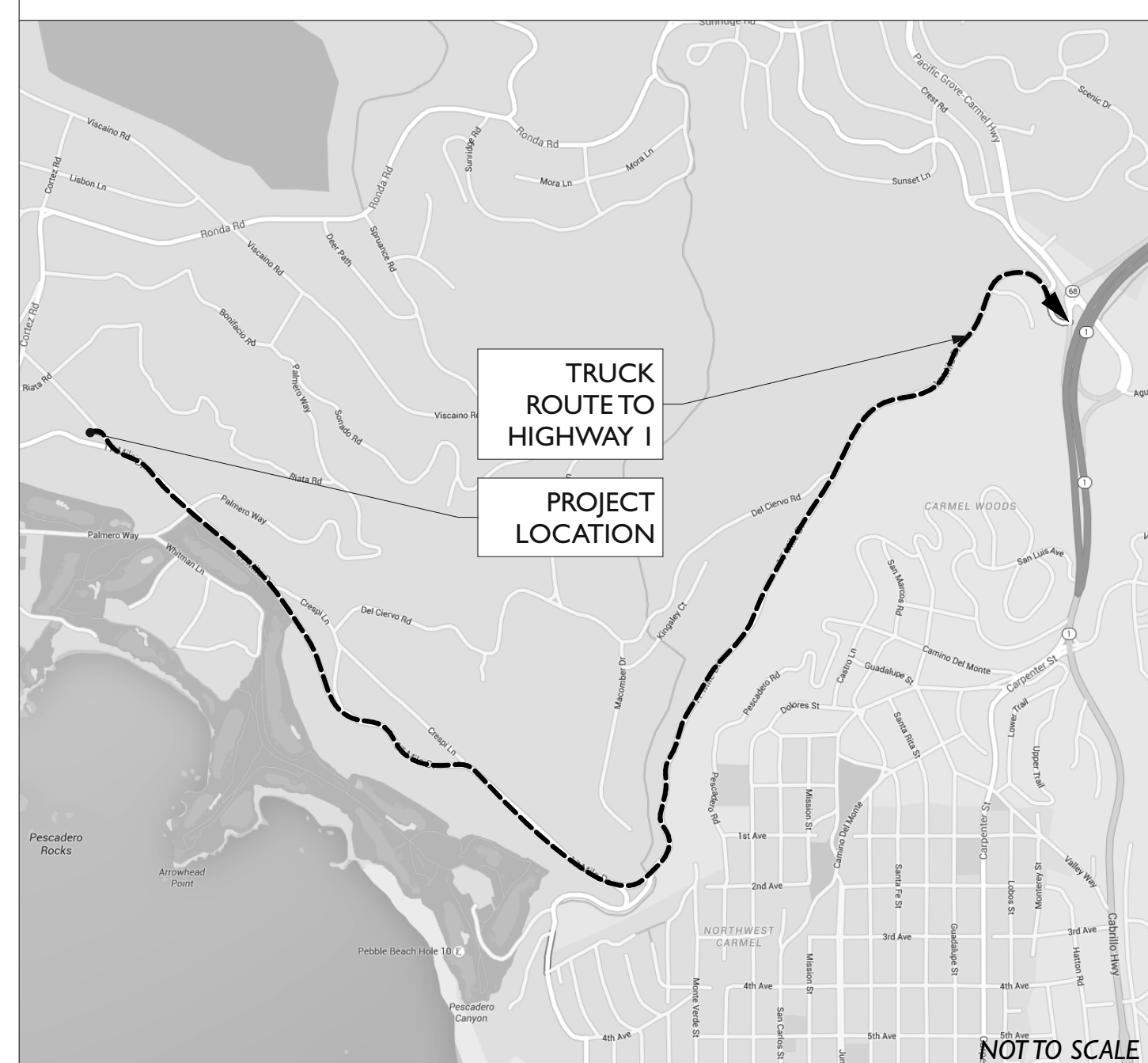
GENERAL CONDITIONS

- TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CALIFORNIA STANDARDS CODE SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
- SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONTRACTOR DOCUMENTS, HE IS TO NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS ALSO RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH THE GEOTECHNICAL REPORT AND ALL RECOMMENDATION MADE THEREIN.
- UNSATISFACTORY CONDITIONS: THE CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT IN WRITING OF ANY UNSAFE OR UNSATISFACTORY CONDITIONS IN THE EXISTING OR PROPOSED CONSTRUCTION WHICH ARE DISCOVERED DURING THE COURSE OF THE WORK.
- CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.
- DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.
- NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT OFF NOZZLE. WHEN AN AUTOMATIC SHUT OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT OFF NOZZLE.

SCOPE OF WORK

NEW LANDSCAPE PLAN, REDUCE OVERALL IMPERVIOUS SURFACES, REDUCE OVERALL WATER CONSUMPTION WITH NATIVE PLANTING, RECONFIGURE EXISTING DRIVEWAY, ADD NEW WHEELCHAIR ACCESSIBLE PATIO @ ACCESSIBLE BEDROOM, ADD NEW 14 SQ. FT. WATER FEATURE IN FRONT, NEW 11 SQ. FT. WATER FEATURE IN BACK & ADD 49 SQ. FT. SPA, ADD NEW RETAINING WALLS & IRRIGATION SYSTEM

VICINITY MAP / TRUCK HAUL ROUTE



a residential landscape renovation for:

PENN RESIDENCE
 PEBBLE BEACH, CALIFORNIA
 1536 VENADERO RD.

COVER SHEET

sheet 01

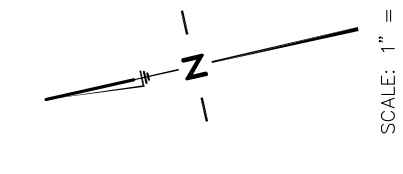
A0.0
 of - 20
 sheets



BUILDING PERMIT SUBMITTAL

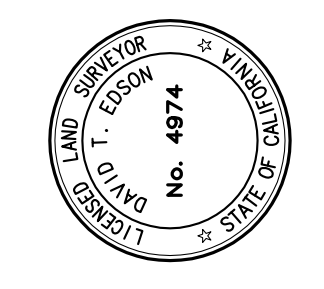
apn: 008-422-012

NOT TO SCALE



LEGEND:

- B IRON BAR
- CB CATCH BASIN
- HP HOLE PUNCH
- HS HUB
- ICV IRRIGATION CONTROL VALVE
- UP UTILITY PIPES
- 12"Ø IDENTIFIES A 12" DIA. PIPE TREE (TYP.)
- 12"Ø IDENTIFIES A 12" DIA. QUAK TREE (TYP.)
- 12"Ø IDENTIFIES A 12" DIA. TREE (TYP.)
- 12"Ø IDENTIFIES A WOOD FENCE EXCEPT AS SHOWN
- IDENTIFIES A STEP
- IDENTIFIES A CONC. RETAINING WALL EXCEPT AS SHOWN
- ~~~~~ IDENTIFIES AN AREA OF FENCE BRUSH, CONTOURS ARE APPROXIMATE



TOPOGRAPHIC MAP
 OF
PARCELS ONE AND TWO AS DESCRIBED IN
 BEING A PORTION OF EL PEÑASCO RANCHO SHOWN ON THE
 MAP FILED IN VOL. 3, "CITIES & TOWNS", PAGE 3
 OFFICIAL RECORDS OF MONTEREY COUNTY

PREPARED FOR
1536 Venadero LLC
 BY
CENTRAL COAST SURVEYORS
 5 HARBOR COURT, SUITE 14-11
 MONTEREY, CALIFORNIA 93940
 PHONE: (433) 394-4930
 FAX: (433) 155-2737
 REGISTRATION NO. 4432

SCALE: _____
 DATE: _____
 SHEET 1 OF 2

NOTES:

1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
2. FIELDWORK WAS COMPLETED ON JUNE 9, 2015.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE OBTAINED WITH THE BENEFIT OF A FIELD SURVEY COMPLETED IN FEBRUARY OF 2015. ALL BOUNDARY DATA SHOWN ARE BASED ON THE 2015 SURVEY DATA.
4. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZONTAL DISTANCES ARE BASED ON THE HORIZONTAL DATUM OF 1983. ALL DISTANCES ARE SHOWN AS HORIZONTAL UNLESS INDICATED OTHERWISE.
5. ELEVATION = 165.00 FEET (APPROX. NAVD83)
6. CONTOUR INTERVAL = ONE FOOT.
7. TREE TYPES ARE INDICATED WHEN NORMAL DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.

PARCEL TWO
 DOCUMENT #2015008300
 APN 008-422-013

PARCEL ONE
 DOCUMENT #2015008300
 APN 008-422-012

VENADERO ROAD
 (A COUNTY ROAD)

17 MILE DRIVE
 (A COUNTY ROAD)

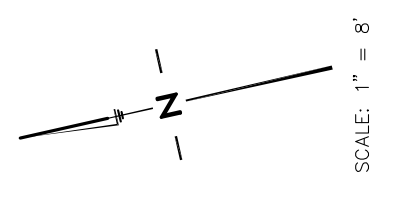
S 87°29'30" W 282.44'

N 12°51'00" E 166.37'

R=189.99' L=70.36'

R=100.00' L=105.24'

R=77.90' L=86.53'



- NOTES:**
1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 2. FIELDWORK WAS COMPLETED ON JUNE 9, 2015.
 3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A TOTAL STATION. BOUNDARY DATA SHOWN ARE FROM THE RECORDS AND IS NOT A GUARANTEED SURVEY.
 4. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE MEAN SEA LEVEL DATUM. ELEVATIONS SHOWN ARE APPROXIMATE. THE MAKE UP OF STAINLESS STEEL WALKER SURVEYING INSTRUMENTS, SET SHOWN, A.C. PAVEMENT OF VENADERO ROAD NEAR THE NORTHERLY VEHICLE GATE, AS SHOWN.
 5. CONTOUR INTERVAL = ONE FOOT.
 6. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.

- LEGEND:**
- B BOLLARD
 - CB CATCH BASIN
 - HB HOSEBOX
 - ICV IRRIGATION CONTROL VALVE
 - ICVB IRRIGATION CONTROL VALVE BOX
 - UR UTILITY REEF
 - 17P ENDOES A 17" DIA. PINE TREE (17P)
 - 17O ENDOES A 17" DIA. OAK TREE (17O)
 - 17T ENDOES A 17" DIA. TREE (17T)
 - ENDOES A STEP
 - ENDOES A CONC. RETAINING WALL EXCEPT AS SHOWN
 - ENDOES AN AREA OF DENSE BRUSH. CONTOURS ARE APPROXIMATE

TOPOGRAPHIC MAP
OF
PARCELS ONE AND TWO AS DESCRIBED IN
MAP FILED IN VOL. 3, "CITIES & TOWNS", PAGE 3
OFFICIAL RECORDS OF MONTEREY COUNTY
 PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
1536 Venadero LLC

BY
CENTRAL COAST SURVEYORS
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 MONTEREY, CALIFORNIA 93940
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 Fax: (831) 394-1333
 www.centralcoastsurveyors.com
 JUNE 2015

APN 008-422-012 & -013
 SHEET 2 OF 2

17 MILE DRIVE
 (A COUNTY ROAD)

VENADERO ROAD
 (A COUNTY ROAD)

PARCEL TWO
 DOCUMENT #2015008300
 APN 008-422-013

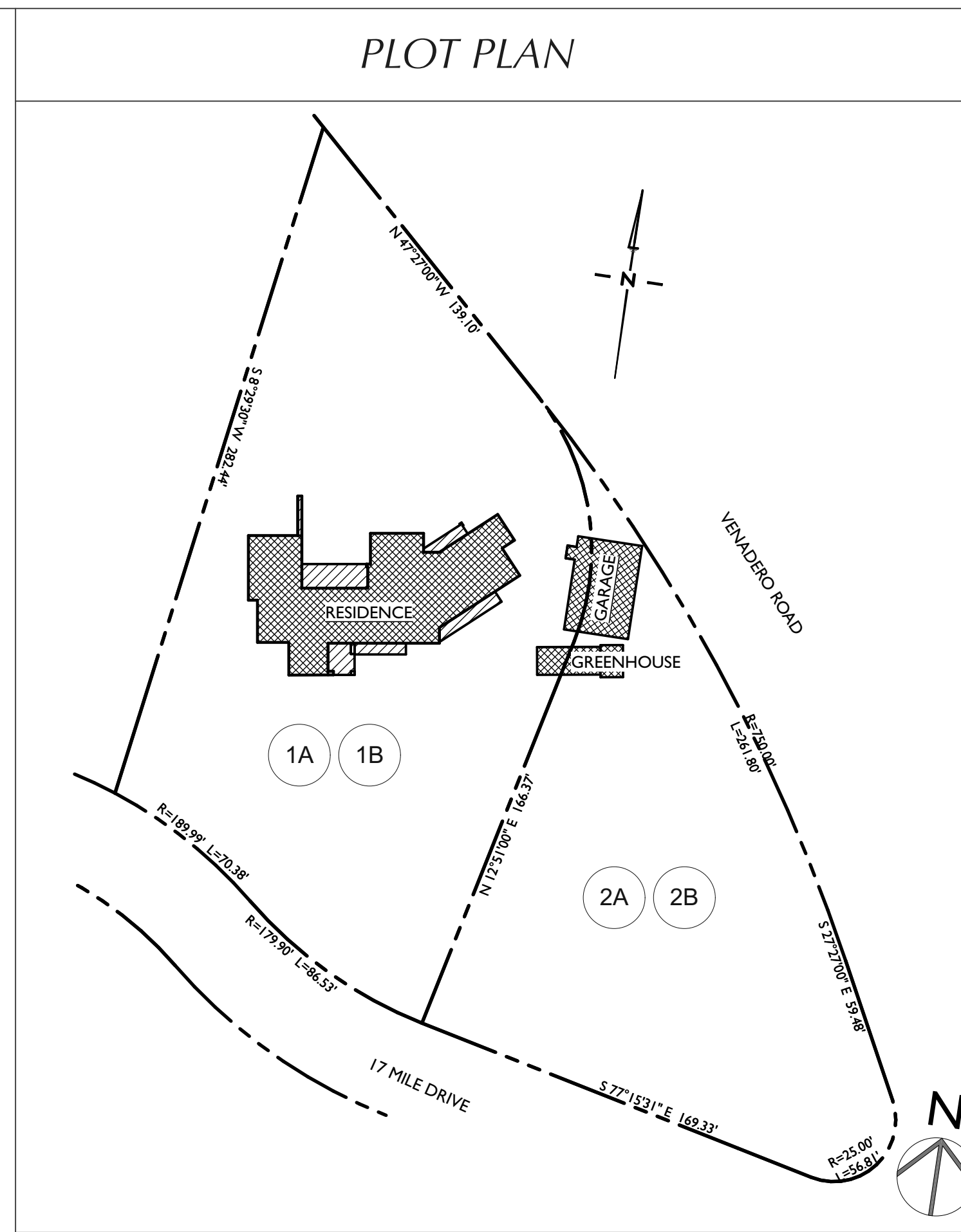
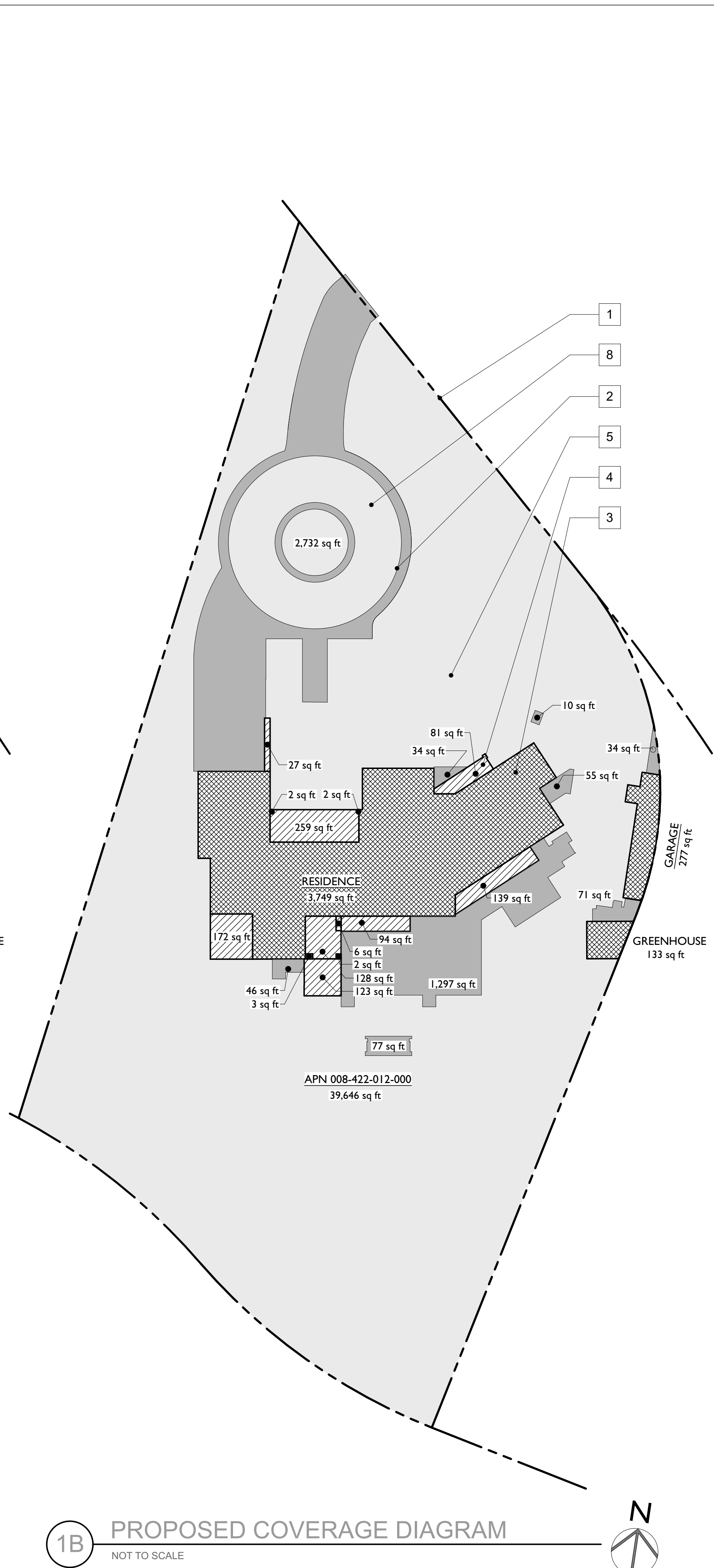
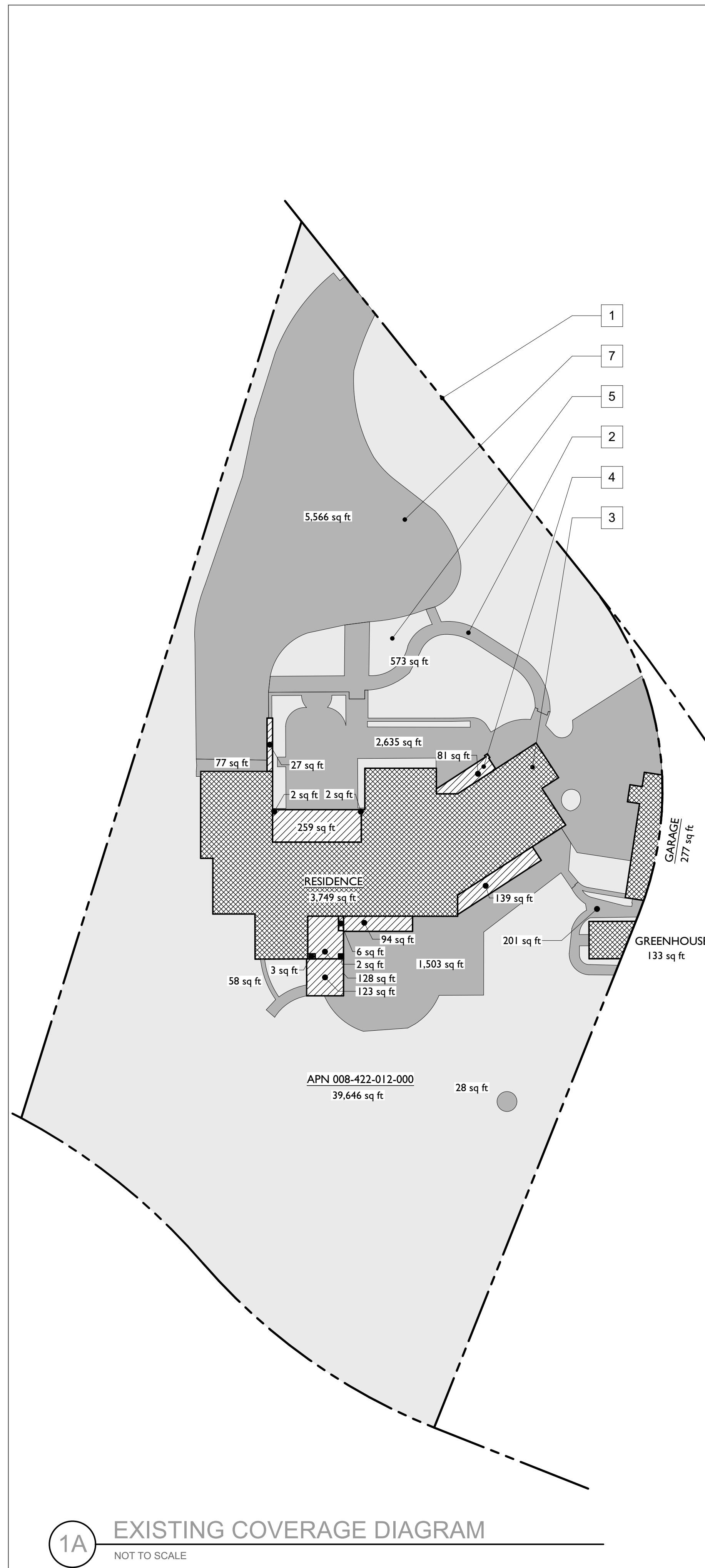
R=750.00'
 L=261.80'

R=230.00'
 L=59.48'

R=7715.33'
 L=169.33'

SEE SHEET 1

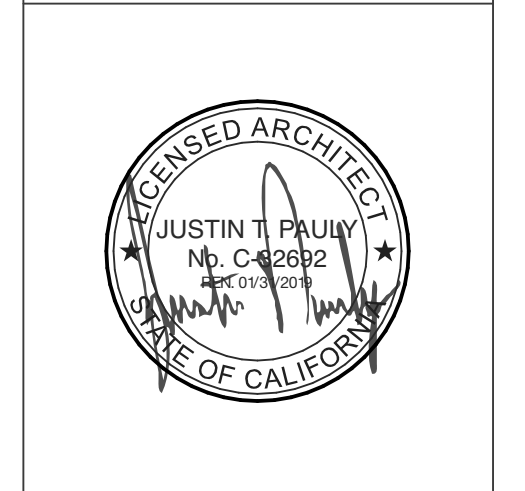
SEE SHEET 1



- ### REFERENCE NOTES
- 1 PROPERTY LINE
 - 2 SHADED AREA INDICATES IMPERVIOUS COVERAGE
 - 3 INDICATES BUILDING COVERAGE
 - 4 INDICATES BALCONIES, PATIOS, OVERHANGS & DECKS OVER 24" COUNTED AS BUILDING COVERAGE
 - 5 PERMEABLE PATHS, PLANTERS ETC. NOT COUNTED AS COVERAGE
 - 6 PAVED AREAS SHOWN IN GREY HATCH
 - 7 ASPHALT COVERED WITH GRAVEL
 - 8 PERVIOUS GRAVEL DRIVEWAY

- ### LEGEND
- BUILDING COVERAGE
 - BUILDING COVERAGE - OVERHANGS OVER 30", BALCONIES, DECKS & PATIOS OVER 24"
 - IMPERVIOUS COVERAGE
 - SITE AREA

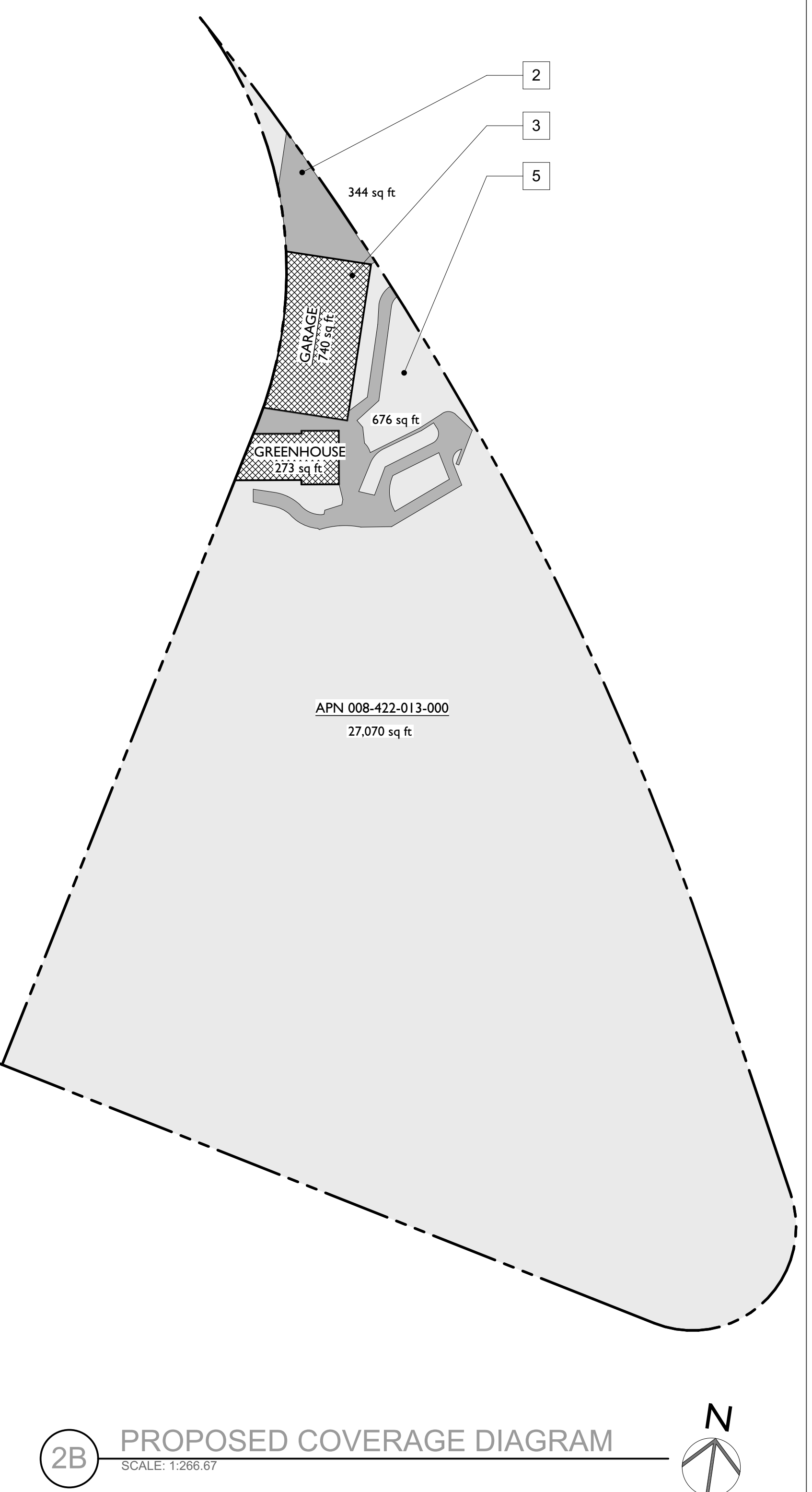
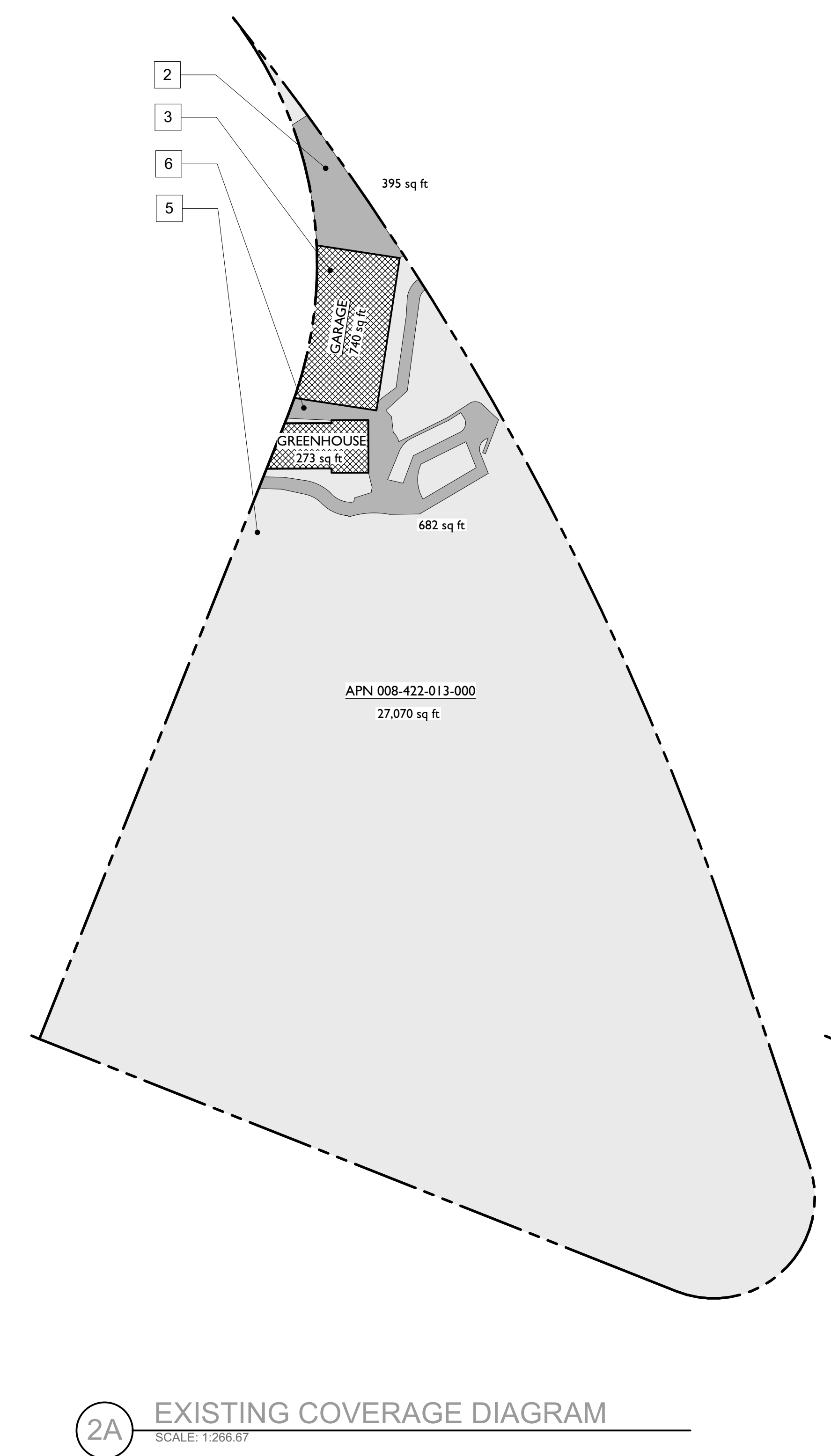
issued: 09/11/17
 revised: 2/9/18
 drawn by:



BUILDING PERMIT SUBMITTAL

COVERAGE CALCULATIONS

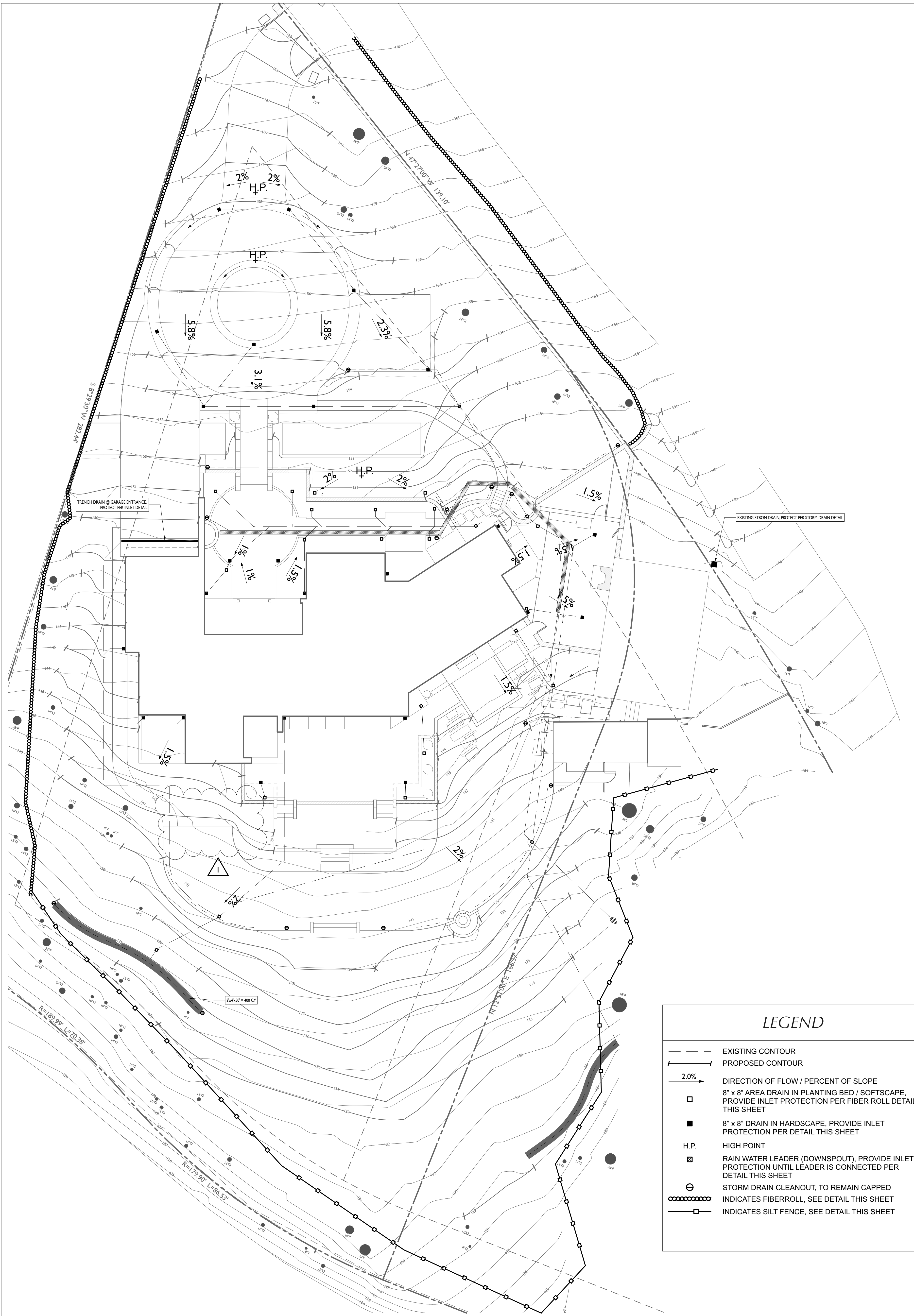
	1A	1B	2A	2B
LOT COVERAGE:				
BUILDING COVERAGE:				
RESIDENCE	3,749 SQ. FT.	3,749 SQ. FT.	3,749 SQ. FT.	3,749 SQ. FT.
BALCONIES & PATIOS	866 SQ. FT.	1,038 SQ. FT.	740 SQ. FT.	740 SQ. FT.
GARAGE/GUEST	277 SQ. FT.	277 SQ. FT.	273 SQ. FT.	273 SQ. FT.
GREENHOUSE	133 SQ. FT.	133 SQ. FT.	273 SQ. FT.	273 SQ. FT.
TOTAL COVERAGE	5,025 SQ. FT.	5,197 SQ. FT.	5,035 SQ. FT.	5,035 SQ. FT.
TOTAL % COVERAGE	12.7%	13.1%	12.7%	12.7%
IMPERVIOUS COVERAGE:				
COVERAGE	5,025 SQ. FT.	5,197 SQ. FT.	1,013 SQ. FT.	1,013 SQ. FT.
PAVED AREAS	10,641 SQ. FT.	4,358 SQ. FT.	1,077 SQ. FT.	1,020 SQ. FT.
TOTAL	15,666 SQ. FT.	9,555 SQ. FT. (NET REDUCTION)	2,090 SQ. FT.	2,033 SQ. FT. (NET REDUCTION)
TOTAL % IMPERVIOUS	39.5%	24.1% (NET REDUCTION)	7.72%	7.51% (NET REDUCTION)



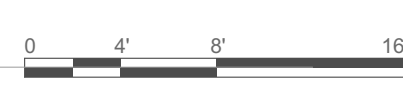
a residential landscape renovation for:
PENN RESIDENCE
 1536 VENADERO RD., PEBBLE BEACH, CALIFORNIA
 apn: 008-422-012

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COVERAGE DIAGRAMS



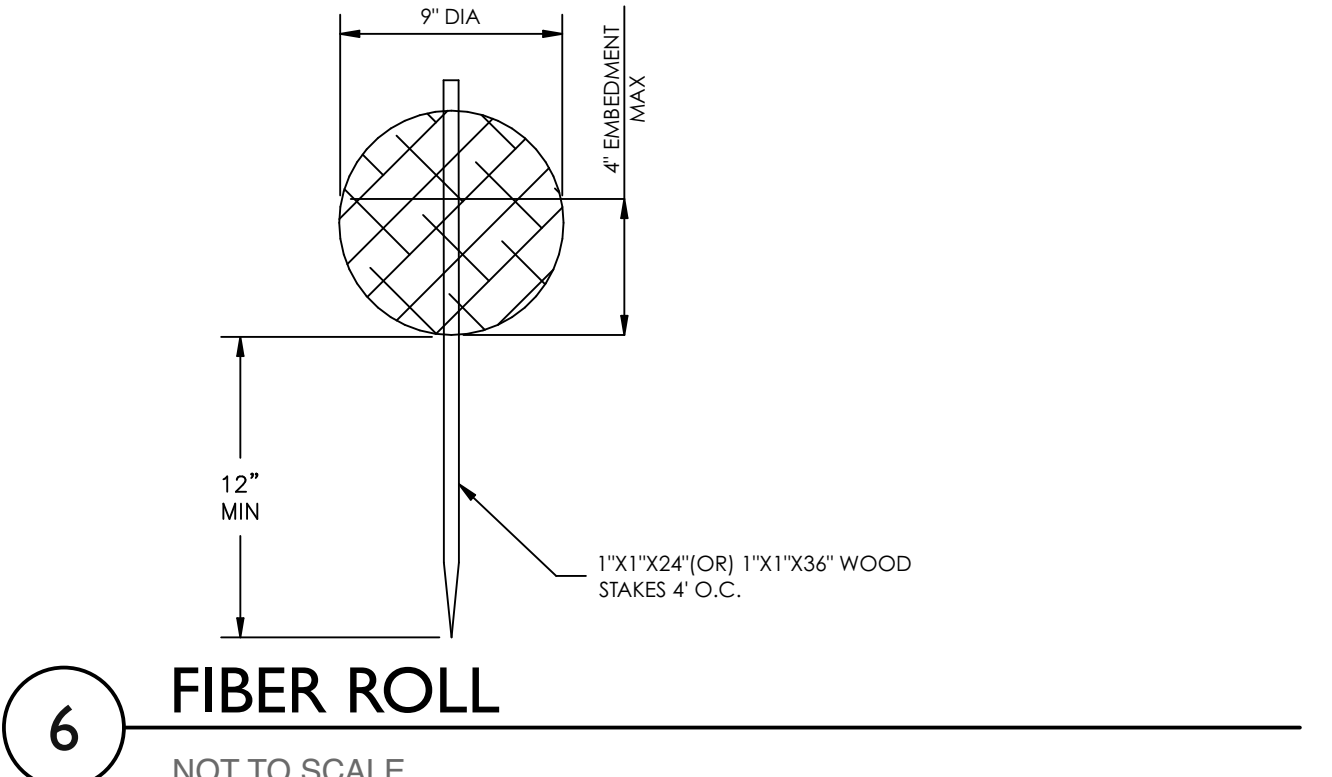
1 EROSION CONTROL PLAN
SCALE: 1/8" = 1'-0"



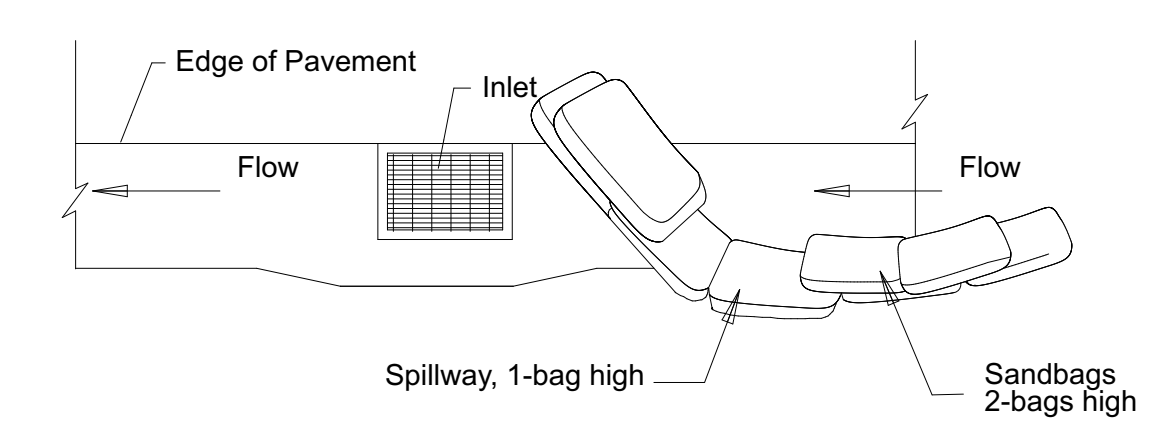
GRADING & DRAINAGE NOTES

- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH WITH BEST MANAGEMENT PRACTICES (BMP) CONFORMING TO CALTRANS STORM WATER QUALITY HANDBOOK AND/OR CALIFORNIA STORMWATER BMP HANDBOOK (CASQA)
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE AND THE EROSION CONTROL ORDINANCE.
- BMP(S) ON THIS PLAN MAY BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AS DIRECTED BY CIVIL ENGINEER OR JURISDICTIONAL AUTHORITY
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING, RIGHT-OF-ENTRY, PERMISSIONS TO GRADE, AND ANY ENCROACHMENT PERMIT(S) PRIOR TO GRADING. CONTRACTOR SHALL NOTIFY THE COUNTY AT LEAST TWO DAYS BEFORE STARTING ANY GRADING OPERATIONS.
- THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL PER SOILS ENGINEER RECOMMENDATIONS
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ALL FILL SLOPES SHALL BE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT. THE TOE OF ALL SLOPES SHOULD BE SUPPORTED BY A KEY CUT A MINIMUM OF 3 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL TOE. THIS KEY SHOULD BE A MINIMUM OF 8 FEET IN WIDTH AND SLOPE AT NO LESS THAN 10% INTO THE SLOPE. IN ADDITION AS THE FILL ADVANCES UP THE SLOPE, BENCHES 3 FEET ACROSS SHOULD BE SCARIFIED INTO THE FILL/UNDISTURBED SOIL INTERFACE. (SEE SOILS REPORT)
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
- PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED TO CONTROL EROSION.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15TH AND APRIL 15TH) THE FOLLOWING MEASURES MUST BE TAKEN:
 - GRADING SHALL BEGIN WITHIN 15 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED TO CONTROL EROSION.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED FROM EROSION BY APPLYING STRAW MULCH AT AN EQUIVALENT TO 2000 LBS / AC AND SECURED VIA TRACK WALKING OR EQUIVALENT EFFECTIVE MEANS OF SOIL PROTECTION
 - RUN-OFF FROM THE SITE, ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO DETAIN OR FILTER BY SILT FENCES, BERMS, VEGETATED FILTER STRIPS, CATCHMENT BASINS OR SIMILAR TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. THE BUILDING INSPECTOR MAY STOP OPERATIONS DURING EVENTS IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY
 - DURING CONSTRUCTION, THE OWNER / APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA - ENVIRONMENTAL SERVICES
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA - ENVIRONMENTAL SERVICES TO INSPECT EROSION CONTROL MEASURES TO REVIEW INSTALLATION AND EFFECTIVENESS OF BMPS INSTALLED AND VERIFY POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOLOGICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- PRIOR TO FINAL INSPECTION, APPLICANT SHALL SCHEDULE AND INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED

- INSTALLATION:**
- USE 1"x1 1/2" OR 1"x1"x3" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
 - CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. IF CONTRACTOR DESIRES TO POSITION FIBER ROLLS END-TO-END, THEY SHALL TIE THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
 - PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.
 - CONTRACTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE. (S-5)
 - CASQA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP-SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.

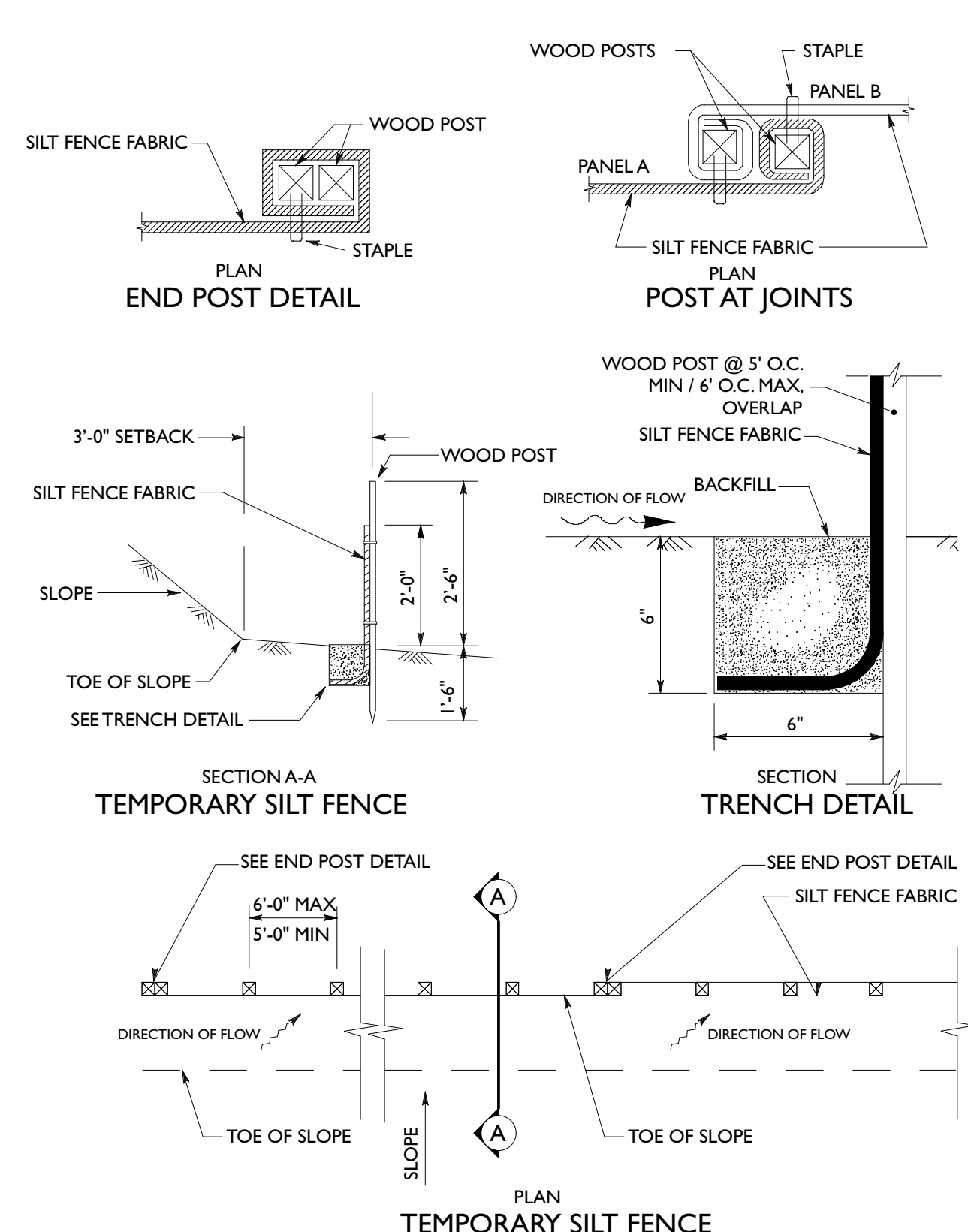


6 FIBER ROLL
NOT TO SCALE

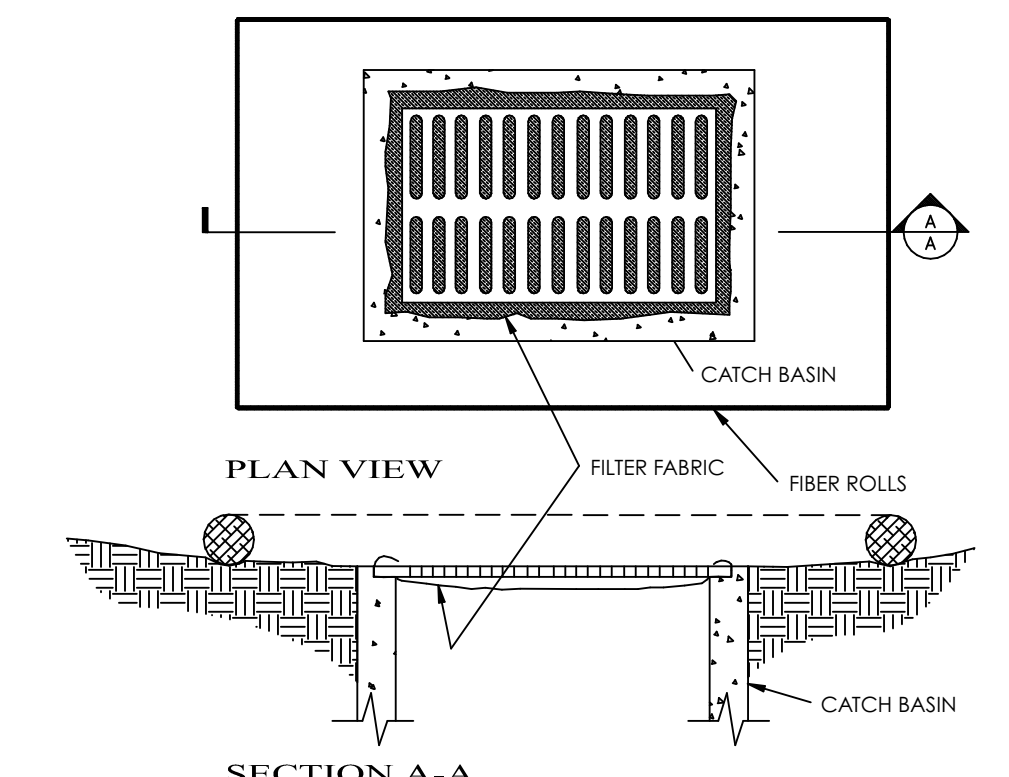


TYPICAL PROTECTION FOR INLET ON GRADE
NOTES: Not applicable in areas with high silts and clays without filter fabric.

7 STORM DRAIN PROTECTION
NOT TO SCALE



3 SILT FENCE DETAIL
NOT TO SCALE



2 INLET PROTECTION
NOT TO SCALE

LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 2.0% → DIRECTION OF FLOW / PERCENT OF SLOPE
- 8" x 8" AREA DRAIN IN PLANTING BED / SOFTSCAPE, PROVIDE INLET PROTECTION PER FIBER ROLL DETAIL THIS SHEET
- 8" x 8" DRAIN IN HARDSCAPE, PROVIDE INLET PROTECTION PER DETAIL THIS SHEET
- H.P. HIGH POINT
- ☒ RAIN WATER LEADER (DOWNSPOUT), PROVIDE INLET PROTECTION UNTIL LEADER IS CONNECTED PER DETAIL THIS SHEET
- ⊕ STORM DRAIN CLEANOUT, TO REMAIN CAPPED
- INDICATES FIBERROLL, SEE DETAIL THIS SHEET
- INDICATES SILT FENCE, SEE DETAIL THIS SHEET

issued: 09/11/17
revised: 2/9/18
drawn by:

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jpa@justinpaulyarchitects.com



BUILDING PERMIT SUBMITTAL

a residential landscape renovation for:
PENN RESIDENCE
1536 VENADERO RD., PEBBLE BEACH, CALIFORNIA
apn: 008-422-012

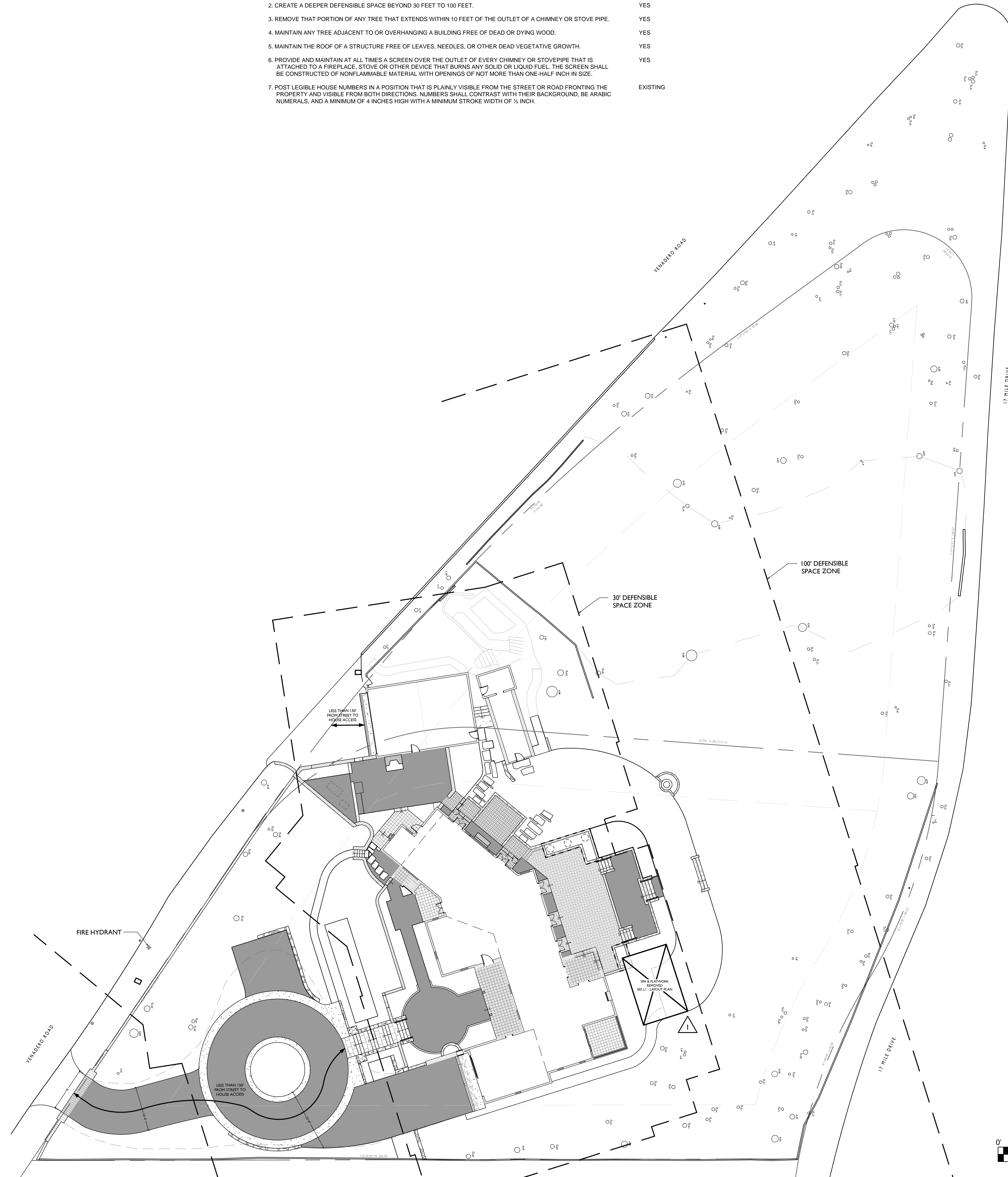
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EROSION CONTROL PLAN

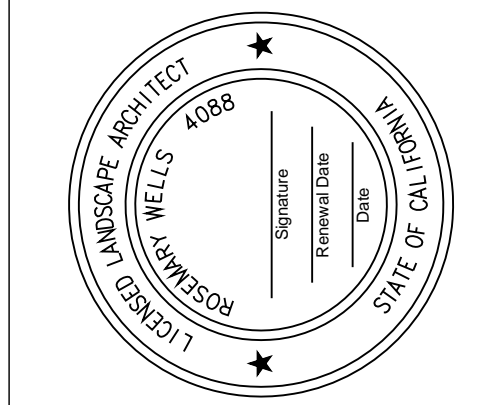
sheet 05
A0.4
of - 20 sheets

DEFENSIBLE SPACE CHECKLIST

- | | |
|--|----------|
| 1. CLEAR ALL FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM OF 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS NEARER. | YES |
| 2. CREATE A DEEPER DEFENSIBLE SPACE BEYOND 30 FEET TO 100 FEET. | YES |
| 3. REMOVE THAT PORTION OF ANY TREE THAT EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. | YES |
| 4. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD. | YES |
| 5. MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH. | YES |
| 6. PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL WITH OPENINGS OF NOT MORE THAN ONE-HALF INCH IN SIZE. | YES |
| 7. POST LEGIBLE HOUSE NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY AND VISIBLE FROM BOTH DIRECTIONS. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS, AND A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/4 INCH. | EXISTING |



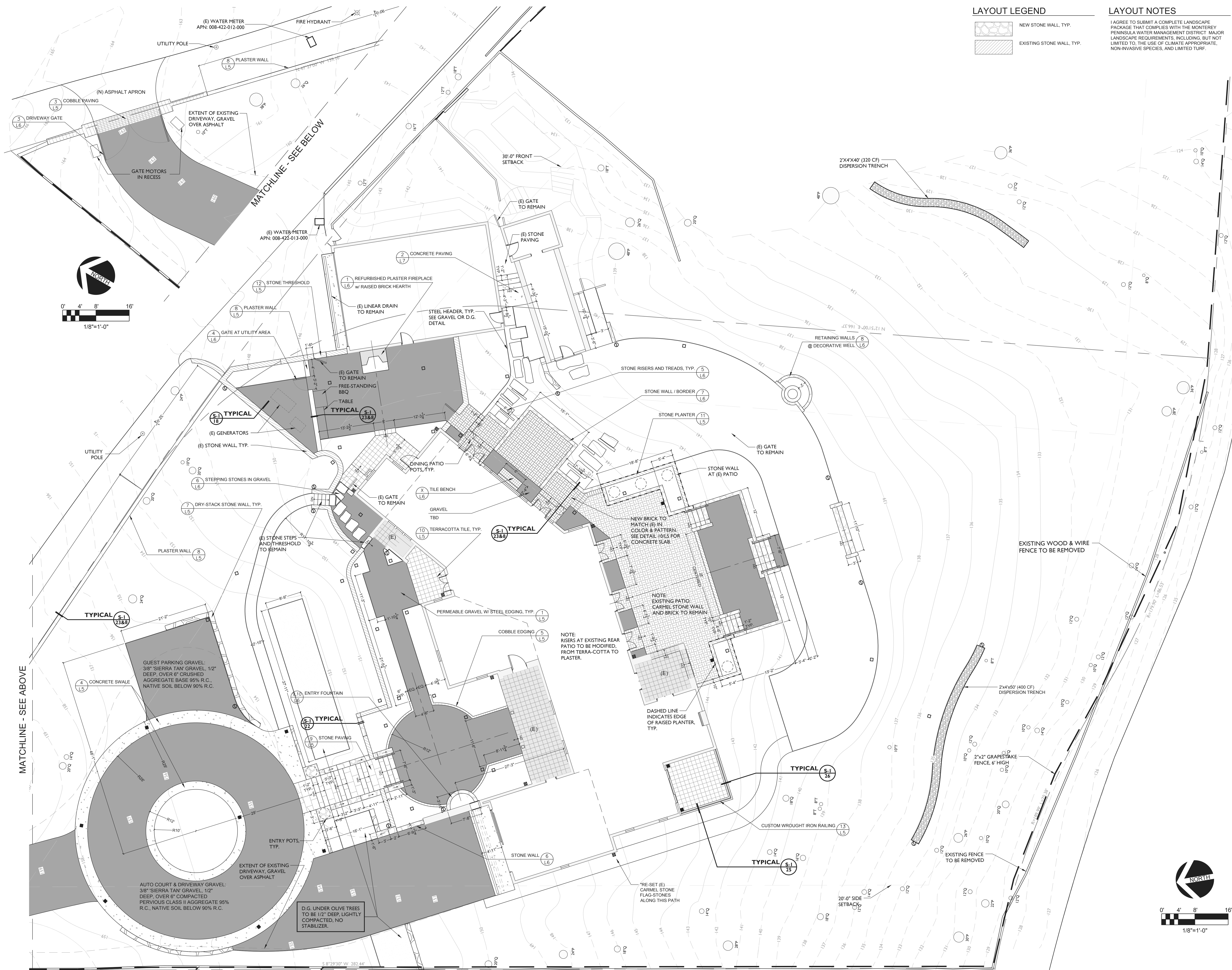
Viridian Landscape Architecture
 591 Lighthouse Avenue, Ste 15
 Pacific Grove, CA 93950
 Phone: 831.521.6692 - rosemaryw@vlstudio.com
 www.vlstudio.com



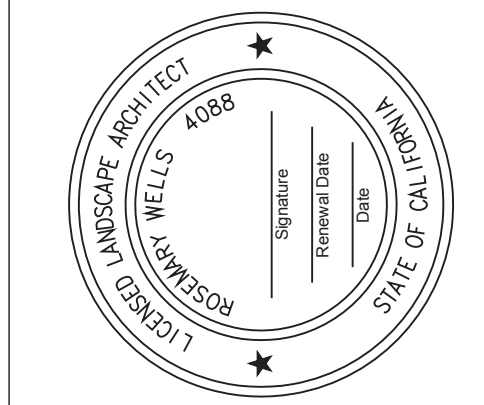
FUEL MANAGEMENT PLAN
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE:	06-30-2017
SCALE:	1/16"=1'-0"
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

L0.1



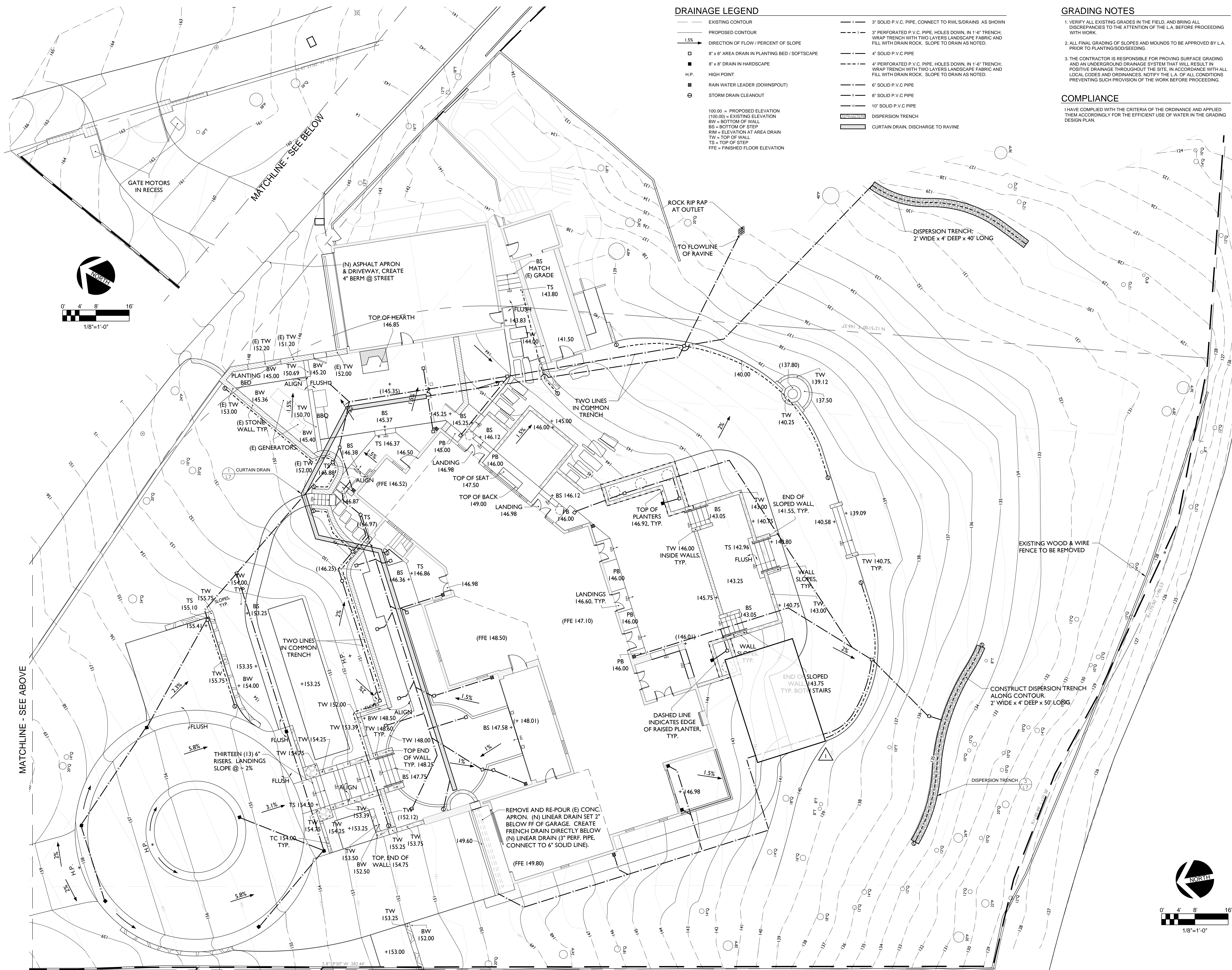
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LAYOUT PLAN
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE:	06-30-2017
SCALE:	1/8"=1'-0"
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

L1



DRAINAGE LEGEND

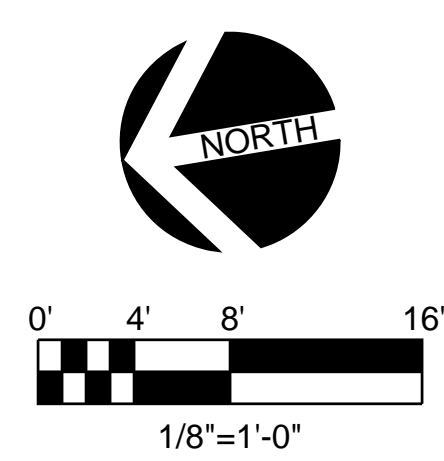
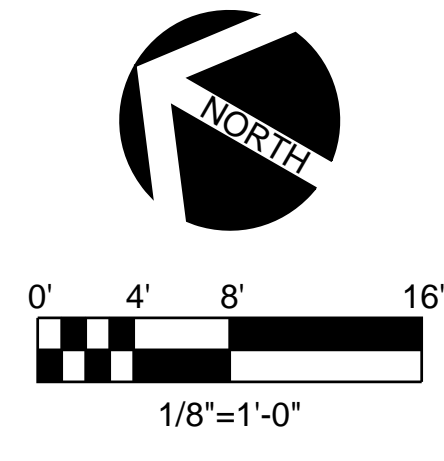
- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 1.5% → DIRECTION OF FLOW / PERCENT OF SLOPE
- 8" x 8" AREA DRAIN IN PLANTING BED / SOFTSCAPE
- 8" x 8" DRAIN IN HARDSCAPE
- H.P. HIGH POINT
- ⊕ RAIN WATER LEADER (DOWNSPOUT)
- ⊕ STORM DRAIN CLEANOUT
- 100.00 = PROPOSED ELEVATION
100.00 = EXISTING ELEVATION
BW = BOTTOM OF WALL
BS = BOTTOM OF STEP
RIM = ELEVATION AT AREA DRAIN
TW = TOP OF WALL
TS = TOP OF STEP
FFE = FINISHED FLOOR ELEVATION
- 3" SOLID P.V.C. PIPE, CONNECT TO RWL'S/DRAINS AS SHOWN
- - - 3" PERFORATED P.V.C. PIPE, HOLES DOWN, IN 1'-6" TRENCH; WRAP TRENCH WITH TWO LAYERS LANDSCAPE FABRIC AND FILL WITH DRAIN ROCK. SLOPE TO DRAIN AS NOTED.
- 4" SOLID P.V.C. PIPE
- - - 4" PERFORATED P.V.C. PIPE, HOLES DOWN, IN 1'-6" TRENCH; WRAP TRENCH WITH TWO LAYERS LANDSCAPE FABRIC AND FILL WITH DRAIN ROCK. SLOPE TO DRAIN AS NOTED.
- 6" SOLID P.V.C. PIPE
- 8" SOLID P.V.C. PIPE
- 10" SOLID P.V.C. PIPE
- DISPERSION TRENCH
- CURTAIN DRAIN, DISCHARGE TO RAVINE

GRADING NOTES

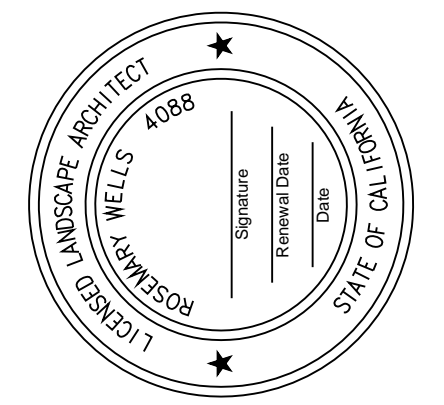
1. VERIFY ALL EXISTING GRADES IN THE FIELD, AND BRING ALL DISCREPANCIES TO THE ATTENTION OF THE L.A. BEFORE PROCEEDING WITH WORK.
2. ALL FINAL GRADING OF SLOPES AND MOUNDS TO BE APPROVED BY L.A. PRIOR TO PLANTING/SOD/SEEDING.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVING SURFACE GRADING AND AN UNDERGROUND DRAINAGE SYSTEM THAT WILL RESULT IN POSITIVE DRAINAGE THROUGHOUT THE SITE, IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. NOTIFY THE L.A. OF ALL CONDITIONS PREVENTING SUCH PROVISION OF THE WORK BEFORE PROCEEDING.

COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.



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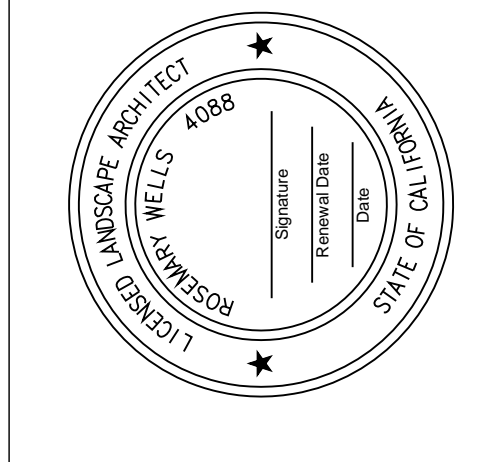
GRADING & DRAINAGE
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE: 06-30-2017
 SCALE: 1/8"=1'-0"
 DESIGNED: RW
 DRAWN: SB
 REVISION: 02-01-2018

L2



Viridian Landscape Architecture
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 Pacific Grove, CA 93950
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 www.vlastudio.com



PLANTING PLAN
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE:	06-30-2017
SCALE:	1/8"=1'-0"
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

L3

BOTANICAL	COMMON	AMOUNT	SIZE	REMARKS
TREES				
CEANOTHUS 'RAY HARTMAN'	CA LILAC 'RAY HARTMAN'	7	15 GAL	STANDARD
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	1	24" BOX	MULTI-STEM
CITRUS LIMON 'EUREKA'	LEMON TREE	1	20 GAL	STANDARD
CITRUS LIME, 'BEARSS', ESPALIERED	ESPALIERED LIME	1	20 GAL	ESPALIER
CITRUS ORANGE, 'DWF. VALENCIA'	DWARF ORANGE TREES (POTS)	4	20 GAL	BUSH FORM
CUPRESSUS SEMPERVIRENS 'TINY TOWERS'	DWARF ITALIAN CYPRESS	7	24" BOX	
CUPRESSUS MACROCARPA	MONTEREY CYPRESS	24	15 GAL	
DICKSONIA ANTARCTICA	TASMANIAN TREE FERN	N/A	TRANS.	
OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	5	36" BOX	
WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	1	20 GAL	
SHRUBS				
ASTELIA NERVOOSA CHATHAMICA	SILVER SPEAR	3	5 GAL	
BUXUM MIC. VAR. KOREN. 'GRN. BEAUTY'	BOXWOOD	38	5 GAL	
CAMELLIA SASANQUA, WHITE, STANDARD	CAMELLIA 'SETSUGEKKA' STD.	2	15 GAL	
CARRYA ELIPTICA	SILK TASSEL	9	5 GAL	CA NATIVE
CEANOTHUS 'DARK STAR'	CA LILAC 'DARK STAR'	8	5 GAL	CA NATIVE
CEANOTHUS 'SNOWBALL'	CA LILAC 'SNOWBALL'	4	5 GAL	CA NATIVE
CISTUS 'BENNETT'S WHITE'	ROCKROSE 'BENNETT'S WHITE'	7	5 GAL	
HELLEBORUS LIVIDUS CORSICUS	CORSICAN LENTEN ROSE	12	5 GAL	
HETEROMELES ARBUTIFOLIA	TOYON	6	5 GAL	CA NATIVE
MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	4	15 GAL	CA NATIVE
PHORMIUM 'TRI-COLOR'	N.Z. FLAX 'TRI-COLOR'	6	15 GAL	
PLECOSTACHYS SERPYLLIFOLIA	DWF. LICORICE PLANT	8	1 GAL	
PODOCARPUS GRACILIOR	YEW PINE, ESPALIERED	2	15 GAL	
PODOCARPUS HENKLI	YEW PINE	25	15 GAL	
PODOCARPUS 'MAKI'	DWF. YEW PINE	1	15 GAL	
PSORALEA PINNATA	KOOL-AID DUSH	1	15 GAL	
RHAMNUS CALIFORNICA	COFFEEBERRY	17	5 GAL	CA NATIVE
ROMNEYA COULTERI	MATAJILA POPPY	2	5 GAL	CA NATIVE
ROSA 'ICEBERG'	ROSE 'ICEBERG'	4	BAREROOT	
ROSMARINUS 'TUSCAN BLUE'	ROSEMARY 'TUSCAN BLUE'	8	5 GAL	
SARCOCCOA RUSCIFOLIA	FRAGRANT BOX	7	5 GAL	
SOLLIA HETEROMALLA	AUSTRALIAN BLUEBELL	33	5 GAL	
TIBOUCHINA URVILLEANA	PRINCESS FLOWER	2	15 GAL	
WESTRINGIA 'SMOKEY'	COASTAL ROSEMARY 'SMOKEY'	14	5 GAL	
WESTRINGIA 'WYNABBIE GEM'	COAST ROSEMARY 'BLUE GEM'	25	5 GAL	
GROUNDCOVERS				
CEANOTHUS 'YANKEE POINT'	CA WILD LILAC 'YANKEE POINT'	42	1 GAL	CA NATIVE
LITHODORA DIFUSA 'GRACE WARD'	LITHODORA 'GRACE WARD'	43	1 GAL	
MYOPORUM PARVIFOLIUM	MYOPORUM	64	1 GAL	
SARCOCCOA HOOKERIANA	DWARF FRAGRANT BOX	31	1 GAL	
SCAEVOLA 'ALBA'	FAN FLOWER, 'WHITE CARPET'	26	1 GAL	
SCAEVOLA 'MAUVE CLUSTERS'	FAN FLOWER, PURPLE	23	1 GAL	
DYMONDIA MARG.	SILVER CARPET	204	6" POT	
VINES				
BOUGAINVILLEA 'SAN DIEGO RED'	BOUGAINVILLEA 'SAN DIEGO RED'	4	15 GAL	
CLYTOSTOMA CALLISTEGIOIDES	LAVENDER TRUMPET VINE	2	15 GAL	
FICUS PUMILA	CREEPING FIG	8	5 GAL	
ROSA BANKSIAE 'ALBA PLENA'	ROSE 'LADY BANKS' WHITE	3	15 GAL	
WISTERIA SINENSIS	WISTERIA	1	5 GAL	
VITIS CA.	ROGER'S RED	4	5 GAL	CA NATIVE
PERENNIALS				
ARMERIA MARITIMA 'ALBA'	SEA THRIFT, WHITE	12	1 GAL	CA NATIVE
AGAPANTHUS AFRICANUS 'BRILLIANT BLUE'	LILY OF THE NILE 'BRILLIANT BLUE'	53	TRANS.	
ALSTROMERIA 'CASABLANCA'	WHITE PERUVIAN LILY	2	1 GAL	
CLIVIA MINIATA, YELLOW	CLIVIA	7	5 GAL	
DIANELLA 'BABY BLISS'	FLAX LILY 'BABY BLISS'	36	1 GAL	
ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	9	1 GAL	
EUPHORBIA CHARAC. WULF.	EVERGREEN SPURGE	1	5 GAL	
FRANCOA RAMOSA	BRIDAL WREATH	2	1 GAL	
HEUCHERA 'LIME RICKEY'	CORAL BELLS 'LIME RICKEY'	8	1 GAL	
IRIS SP.	BEARDED IRIS	28	RHIZOMES	
LAVANDULA ANGUSTIFOLIA 'ALBA'	ENGLISH LAVENDER, WHITE	13	1 GAL	
LAVANDULA A. 'PROVENCE'	LAVENDER 'PROVENCE'	26	1 GAL	
LIMONIUM PEREZII	SEA LAVENDER	6	1 GAL	
FERNS				
POLYSTICHUM MUNIUM	WESTERN SWORD FERN	101	5 GAL	CA NATIVE
WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5	5 GAL	CA NATIVE
GRASSES				
FESTUCA GLAUCA	BLUE FESCUE	1	1 GAL	
LOMANDRA LONGIFOLIA 'BREEZE'	DWF. MAT RUSH 'BREEZE'	118	1 GAL	
LOMANDRA LONGIFOLIA 'FINESCAPE'	DWF. MAT RUSH 'FINESCAPE'	227	1 GAL	
LOMANDRA LONGIFOLIA 'LIME TUFF'	DWF. MAT RUSH 'LIME TUFF'	4	1 GAL	
STIPA GIGANTEA	GIANT FEATHER GRASS	26	1 GAL	
SUCCULENTS				
AEONIUM ARBOREUM 'KIWI'	AEONIUM 'KIWI'	4	5 GAL	
AEONIUM ARBOREUM 'ZWARTZKOPF'	AEONIUM 'ZWARTZKOPF'	5	5 GAL	
AGAVE AMERICANA	CENTURY PLANT	4	15 GAL	
AGAVE ATTENUATA 'NOVA'	NOVA AGAVE	15	5 GAL	
ALOE STRIATA	CORAL ALOE	3	1 GAL	
COTYLEDON ORBICULATA	PIG'S EARS	8	1 GAL	
DUDLEYA BRITTONII	CHALK DUDLEYA	11	1 GAL	CA NATIVE
ECHVEVERIA 'AFTERGLOW'	ECHVEVERIA 'AFTERGLOW'	14	1 GAL	
ECHVEVERIA ELEGANS	MEXICAN SNOWBALL	6	1 GAL	
ECHVEVERIA 'BLACK PRINCE'	HENS & CHICKS 'BLACK PRINCE'	6	6" POT	
SENECIO MANDRALISCAE	BLUE FINGERS	95	1 GAL	

MAIN PLANT LIST

BOTANICAL	COMMON	AMOUNT	SIZE
AGAVE ATTEN. 'RAY OF LIGHT'	FOXTAIL AGAVE	1	1 GAL
ALOE 'CORAL FIRE'	ALOE	1	1 GAL
ARTEMESIA SCHMID.	ARTEMESIA 'SILVER MOUND'	1	1 GAL
BACOPA, BLUE	BACOPA	1	1 GAL
BLECHNUM OCCIDENTALE	HAMMOCK FERN	1	1 GAL
CAMPANULA PORTENSCHLAGIANA	SERBIAN BELLFLOWER	1	6" POT
CRASSULA OVATA	JADE PLANT	1	1 GAL
HELLEBORUS LIVIDUS C.	CORSICAN LENTEN ROSE	1	1 GAL
PHORMIUM 'JACK SPRATT'	N.Z. FLAX	1	1 GAL
PHORMIUM 'TOM THUMB'	N.Z. FLAX	1	1 GAL
SEDUM MORGANIANUM	DONKEYS' TAIL	1	6" POT
SUPERBELLS' CALIBROEHOA 'CORALINA'	CALIBROCHOA	1	8" POT

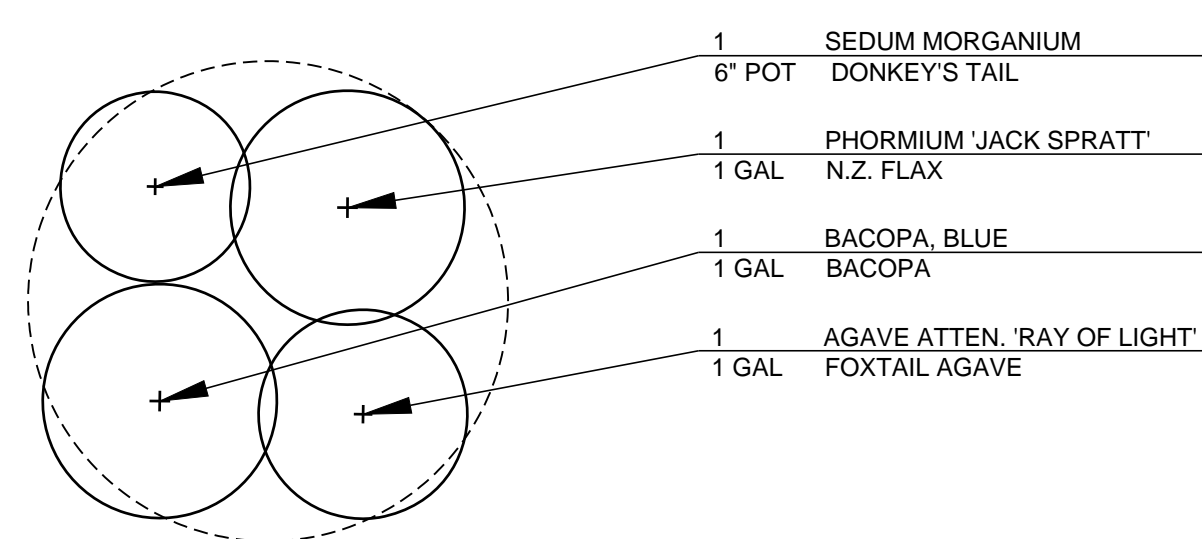
POTS: PLANT LIST

PLANTING NOTES

- CONTRACTOR TO PLACE PLANTS ON SITE, ACCORDING TO THE PLANTING PLAN, FOR APPROVAL BY L.A. BEFORE PLANTING.
- SEE THE BID SHEET FOR MULCH SPECIFICATIONS.

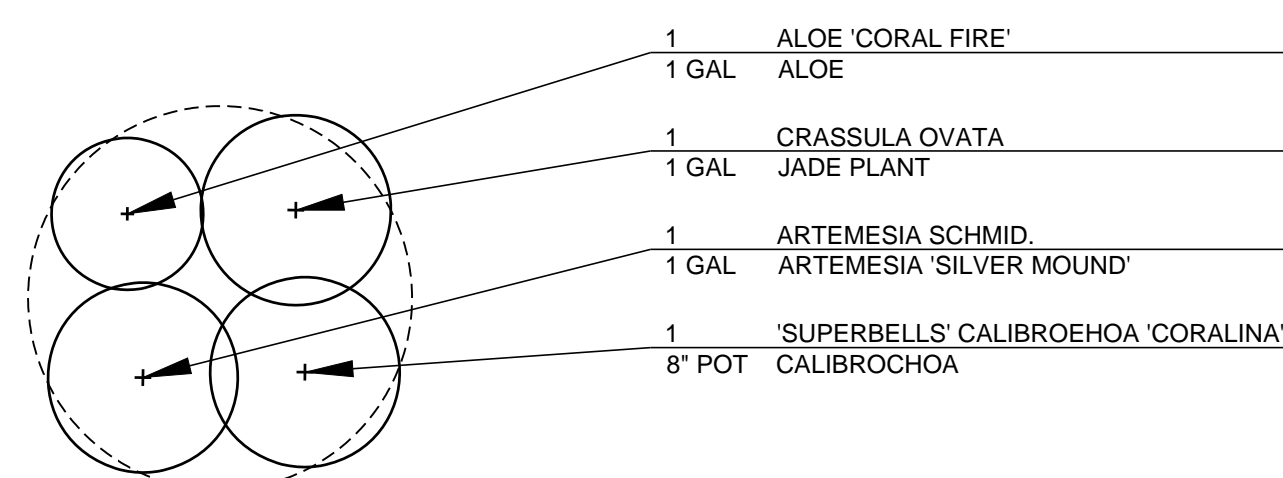
CERTIFICATION

I, ROSEMARY WELLS, CERTIFY THAT THIS LANDSCAPING PLAN COMPLIES WITH ALL MONTEREY COUNTY REQUIREMENTS INCLUDING THE USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER-CONSERVING IRRIGATION FIXTURES.



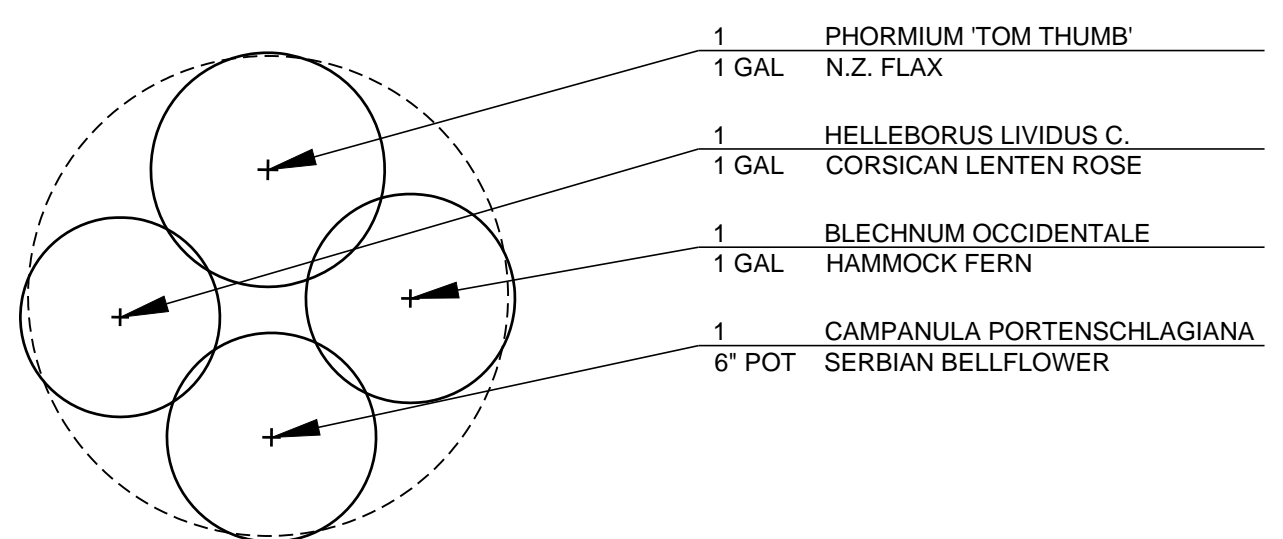
ENTRY POTS (2)

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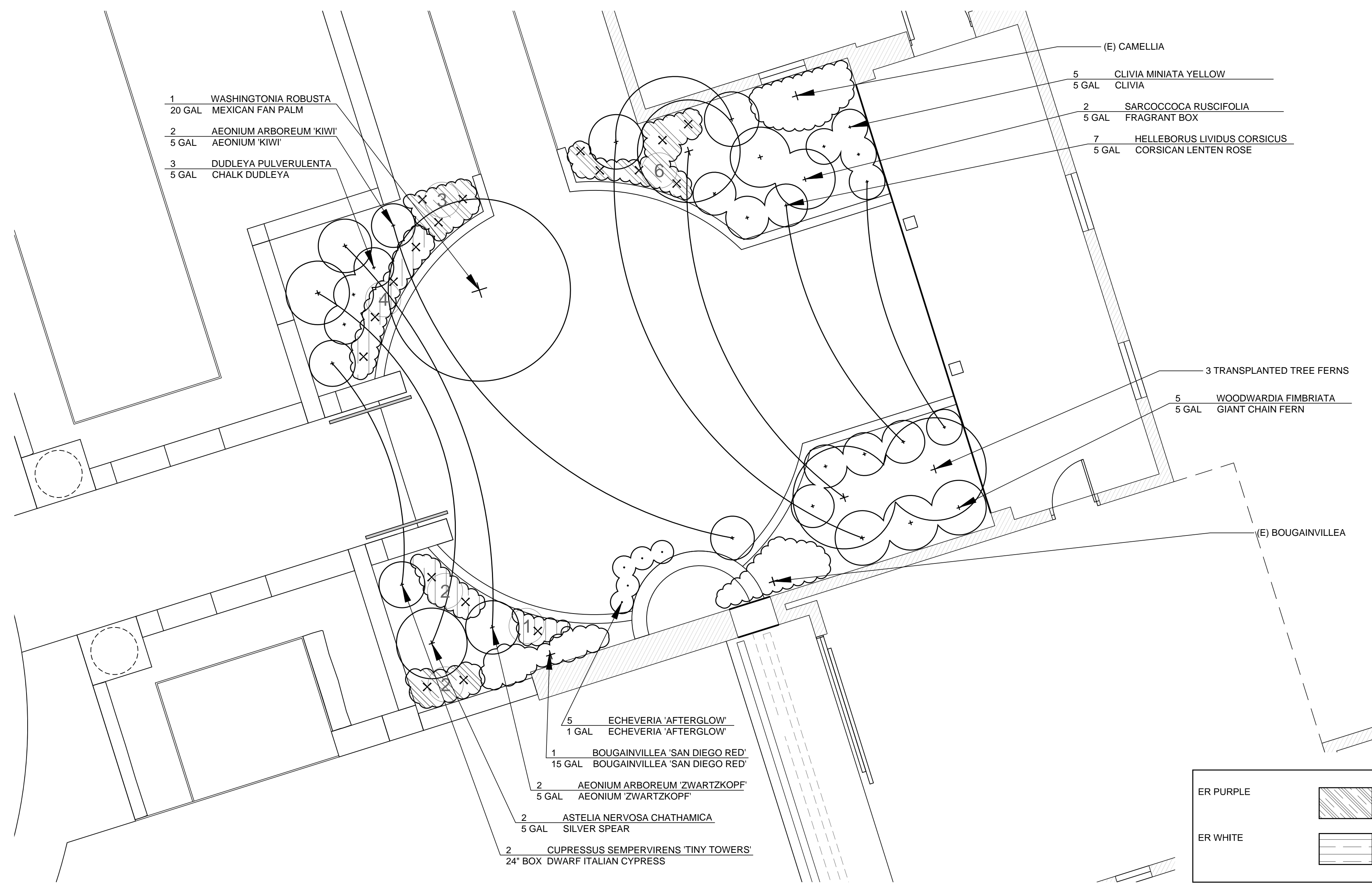
DINING PATIO POTS (2)

SCALE: 1"= 1'-0"



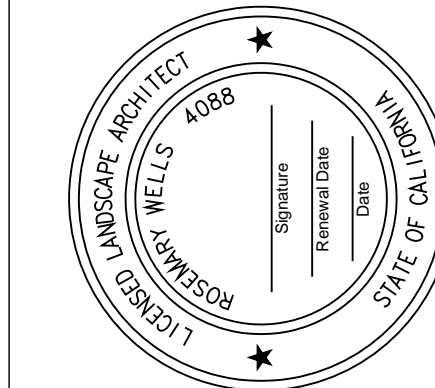
WEST PATIO POTS (3)

SCALE: 1"= 1'-0"



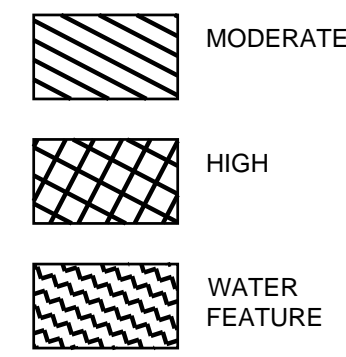
FRONT COURTYARD PLANTING

SCALE: 1/4"= 1'-0"



HYDROZONE NOTES

1. ALL PLANTS NOT NOTED OTHERWISE ARE ZONED 'LOW WATER'
2. NO TREES REMOVED. ALL TREES NOTED ON THIS DRAWING ARE EXISTING AND WILL REMAIN.



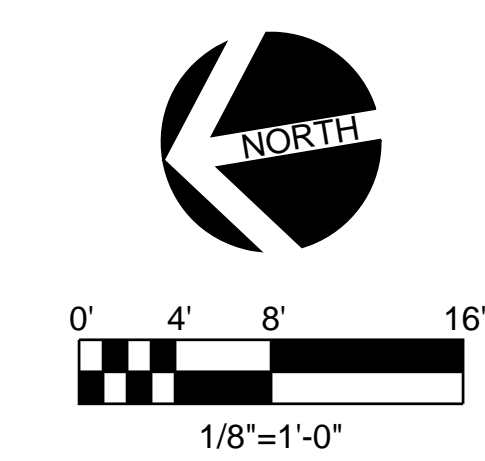
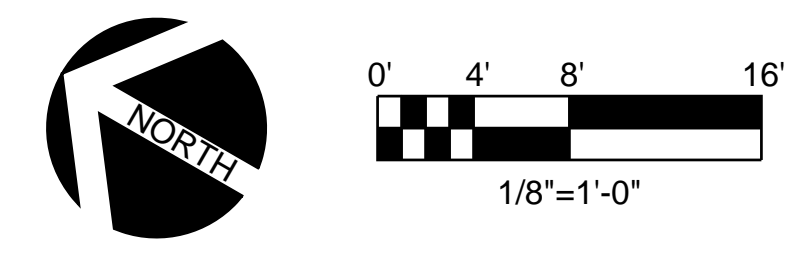
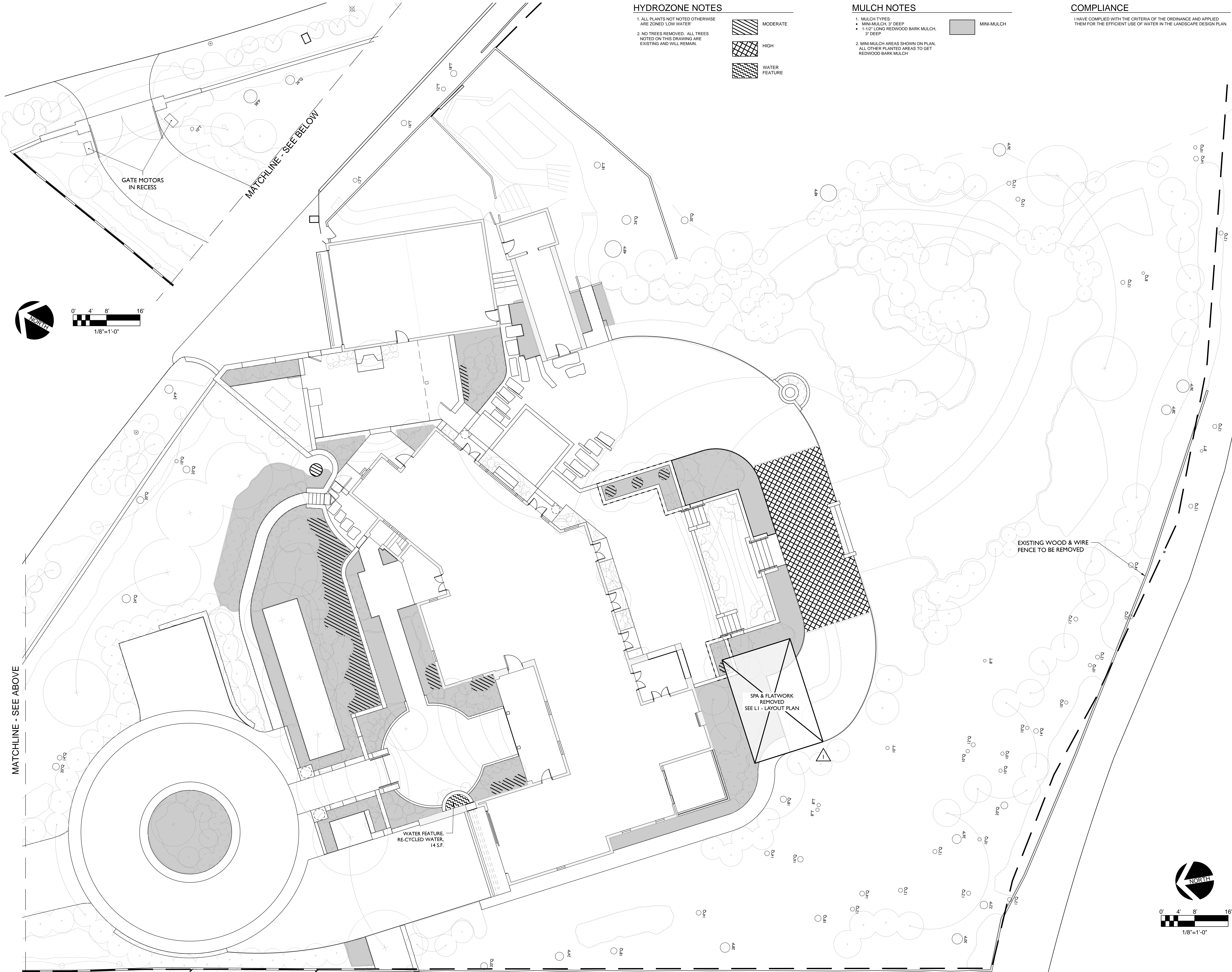
MULCH NOTES

1. MULCH TYPES:
 - MINI-MULCH, 3" DEEP
 - 1-1/2" LONG REDWOOD BARK MULCH, 3" DEEP
2. MINI-MULCH AREAS SHOWN ON PLAN. ALL OTHER PLANTED AREAS TO GET REDWOOD BARK MULCH

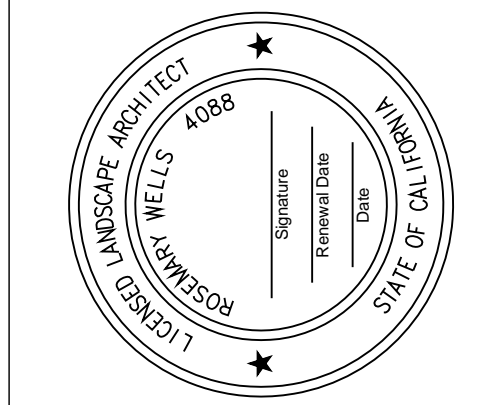


COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



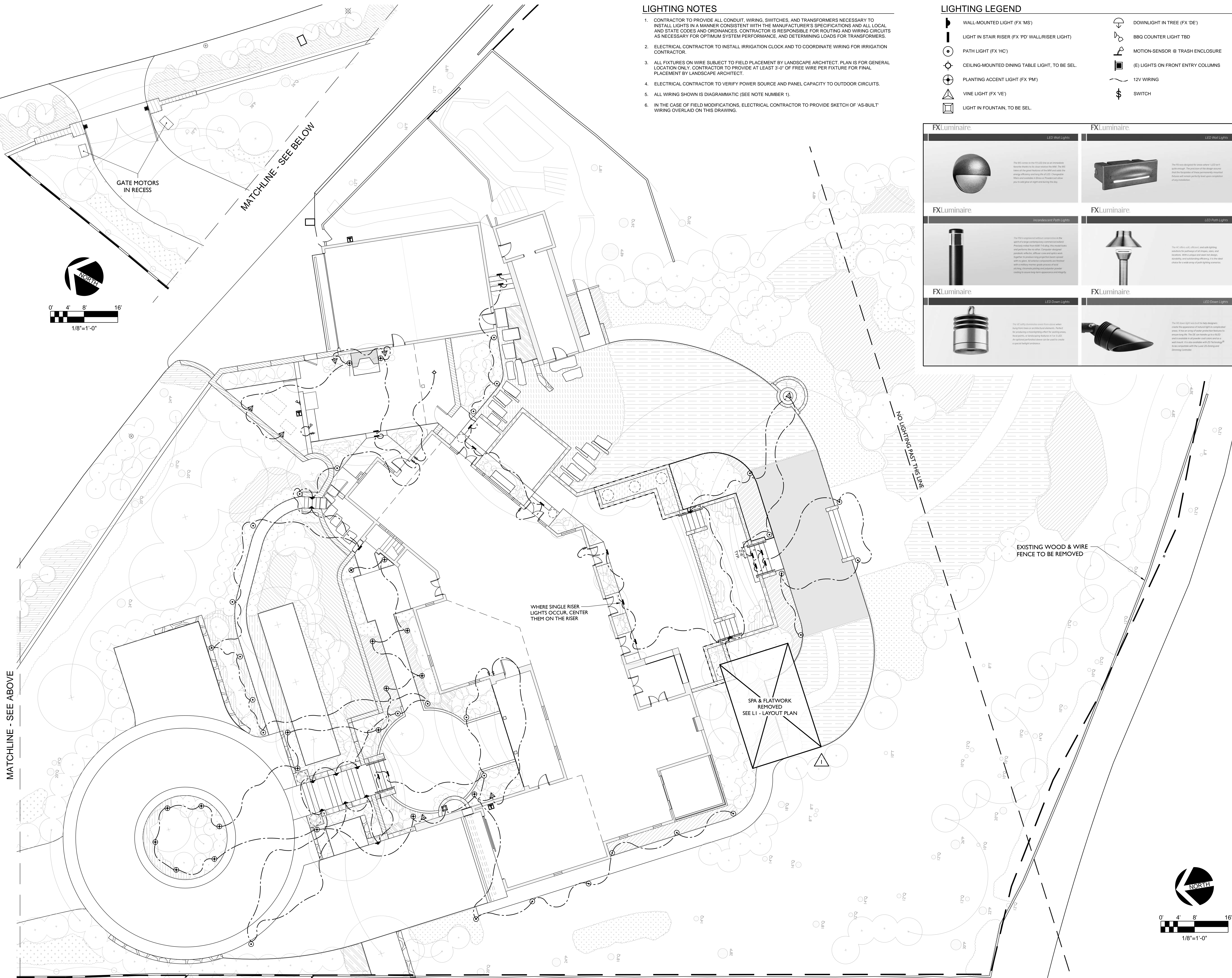
Viridian Landscape Architecture
 591 Lighthouse Avenue, Ste 15
 Pacific Grove, CA 93950
 Phone: 831.521.6692 - rosemaryw@vlastudio.com
 www.vlastudio.com



PLANTING HYDROZONES
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE:	06-30-2017
SCALE:	1/8"=1'-0"
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

L3.b



LIGHTING NOTES

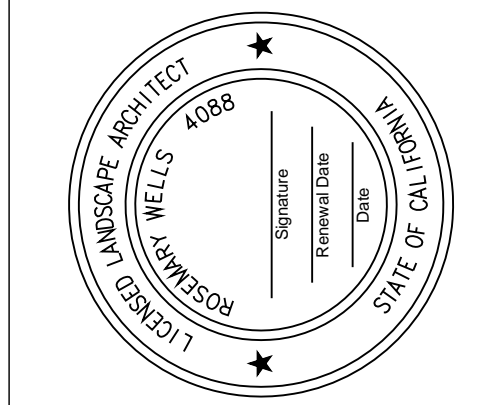
1. CONTRACTOR TO PROVIDE ALL CONDUIT, WIRING, SWITCHES, AND TRANSFORMERS NECESSARY TO INSTALL LIGHTS IN A MANNER CONSISTENT WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL LOCAL AND STATE CODES AND ORDINANCES. CONTRACTOR IS RESPONSIBLE FOR ROUTING AND WIRING CIRCUITS AS NECESSARY FOR OPTIMUM SYSTEM PERFORMANCE, AND DETERMINING LOADS FOR TRANSFORMERS.
2. ELECTRICAL CONTRACTOR TO INSTALL IRRIGATION CLOCK AND TO COORDINATE WIRING FOR IRRIGATION CONTRACTOR.
3. ALL FIXTURES ON WIRE SUBJECT TO FIELD PLACEMENT BY LANDSCAPE ARCHITECT. PLAN IS FOR GENERAL LOCATION ONLY. CONTRACTOR TO PROVIDE AT LEAST 3'-0" OF FREE WIRE PER FIXTURE FOR FINAL PLACEMENT BY LANDSCAPE ARCHITECT.
4. ELECTRICAL CONTRACTOR TO VERIFY POWER SOURCE AND PANEL CAPACITY TO OUTDOOR CIRCUITS.
5. ALL WIRING SHOWN IS DIAGRAMMATIC (SEE NOTE NUMBER 1).
6. IN THE CASE OF FIELD MODIFICATIONS, ELECTRICAL CONTRACTOR TO PROVIDE SKETCH OF 'AS-BUILT' WIRING OVERLAID ON THIS DRAWING.

LIGHTING LEGEND

- WALL-MOUNTED LIGHT (FX 'MS')
- LIGHT IN STAIR RISER (FX 'PD' WALLRISER LIGHT)
- PATH LIGHT (FX 'HC')
- CEILING-MOUNTED DINING TABLE LIGHT, TO BE SEL.
- PLANTING ACCENT LIGHT (FX 'PM')
- VINE LIGHT (FX 'VE')
- LIGHT IN FOUNTAIN, TO BE SEL.
- DOWNLIGHT IN TREE (FX 'DE')
- BBQ COUNTER LIGHT TBD
- MOTION-SENSOR @ TRASH ENCLOSURE
- (E) LIGHTS ON FRONT ENTRY COLUMNS
- 12V WIRING
- SWITCH

<p>FXLuminaire</p> <p>The FXLuminaire LED Wall Light is an innovative fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including walls, ceilings, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>	<p>FXLuminaire</p> <p>The FXLuminaire LED Wall Light is an innovative fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including walls, ceilings, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>
<p>FXLuminaire</p> <p>The FXLuminaire Incandescent Path Light is a classic fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including paths, walkways, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>	<p>FXLuminaire</p> <p>The FXLuminaire LED Path Light is a classic fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including paths, walkways, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>
<p>FXLuminaire</p> <p>The FXLuminaire LED Down Light is a classic fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including ceilings, walls, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>	<p>FXLuminaire</p> <p>The FXLuminaire LED Down Light is a classic fixture that is both functional and decorative. It is designed to be installed in a variety of locations, including ceilings, walls, and outdoors. The fixture is made of high-quality materials and is built to last. It is available in a variety of finishes and colors to match your design scheme.</p>

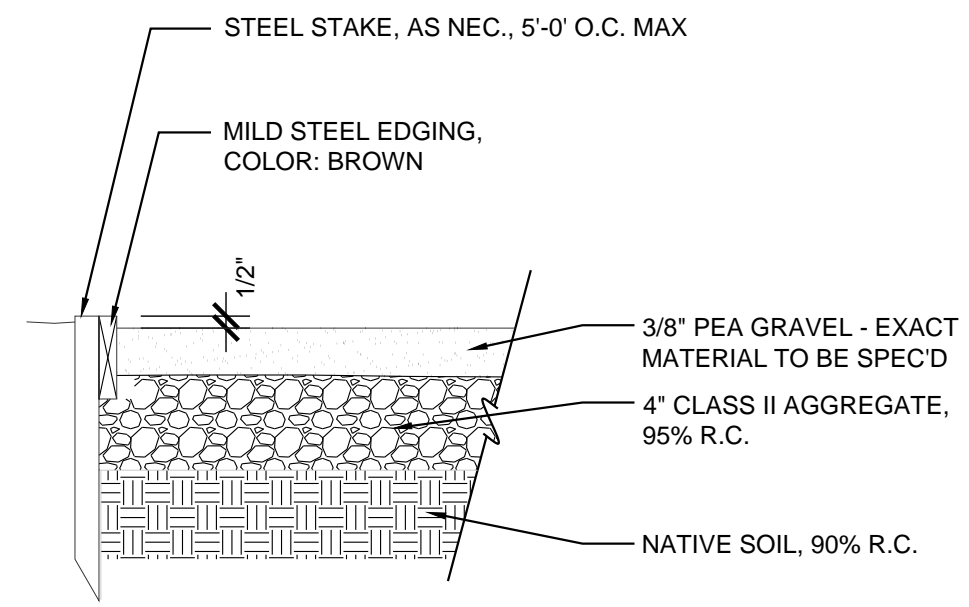
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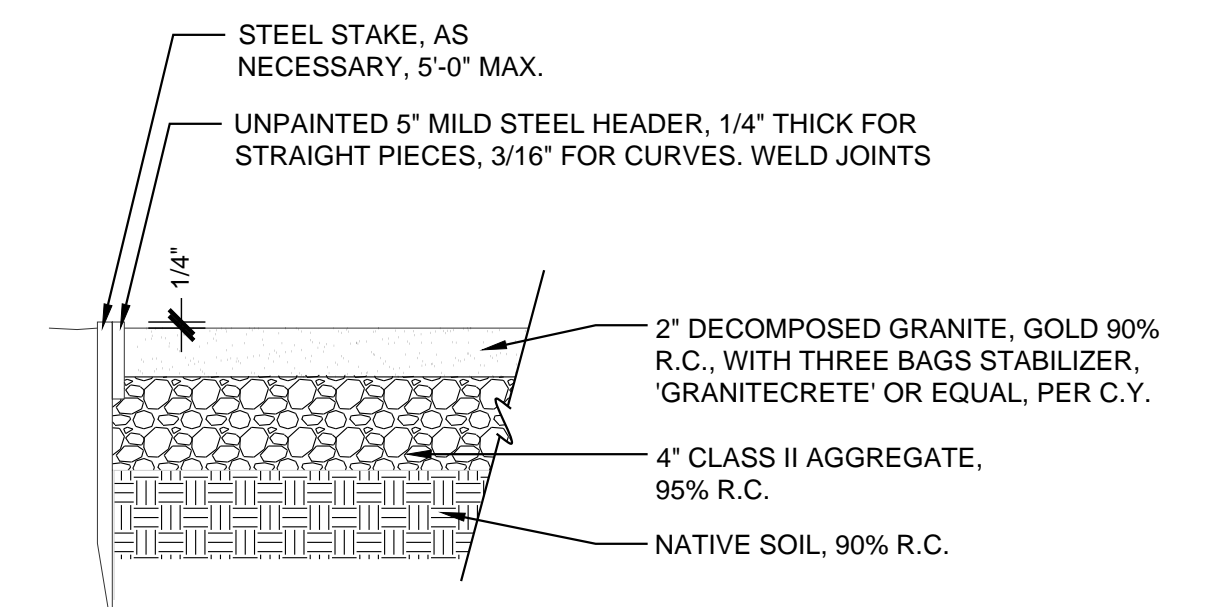
LIGHTING PLAN
PENN RESIDENCE
 1536 VENADERO RD.
 PEBBLE BEACH, CA
 APN: 008-422-012-000

DATE: 06-30-2017
 SCALE: 1/8"=1'-0"
 DESIGNED: RW
 DRAWN: SB
 REVISION: 02-01-2018

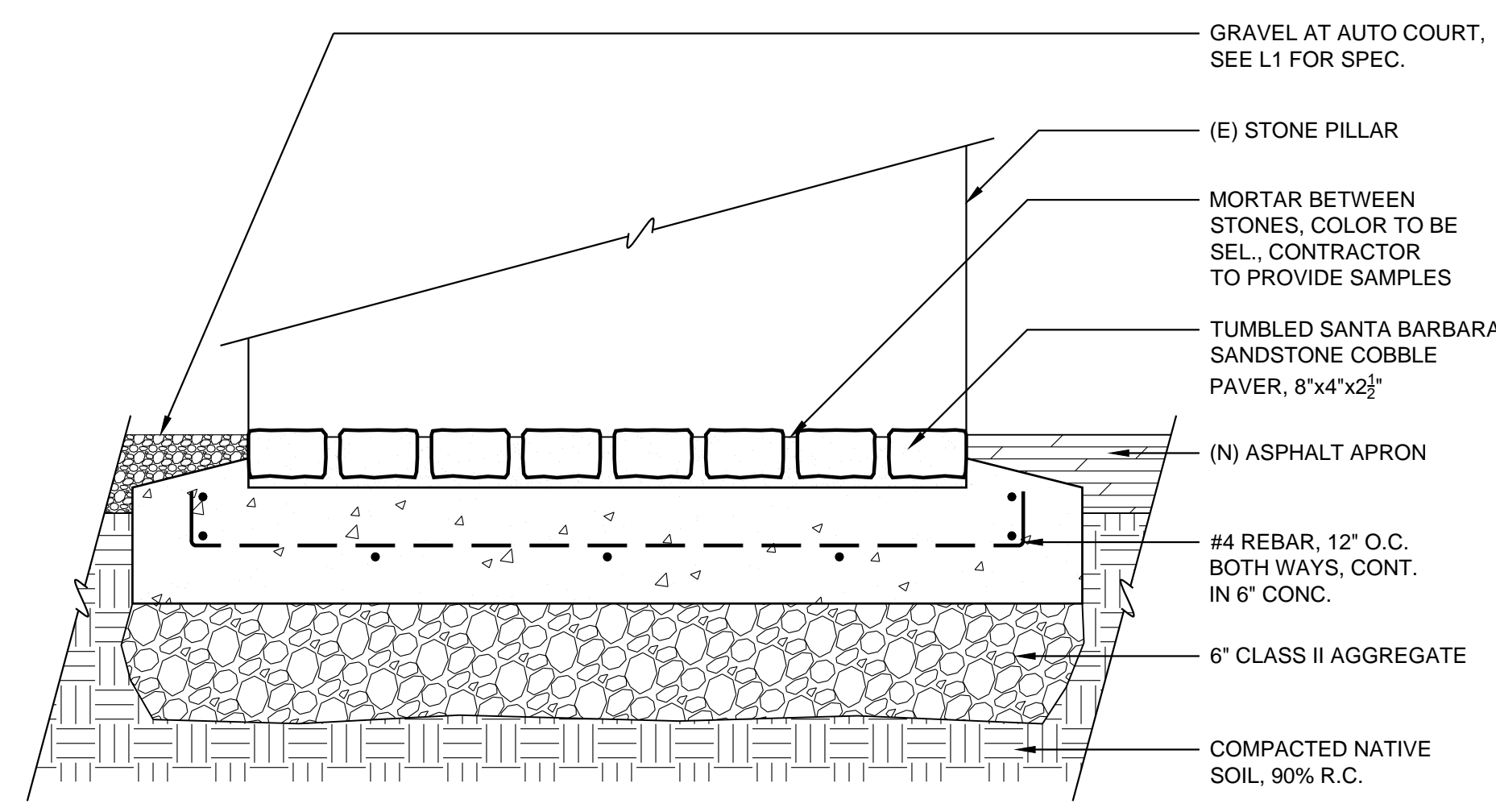
L4



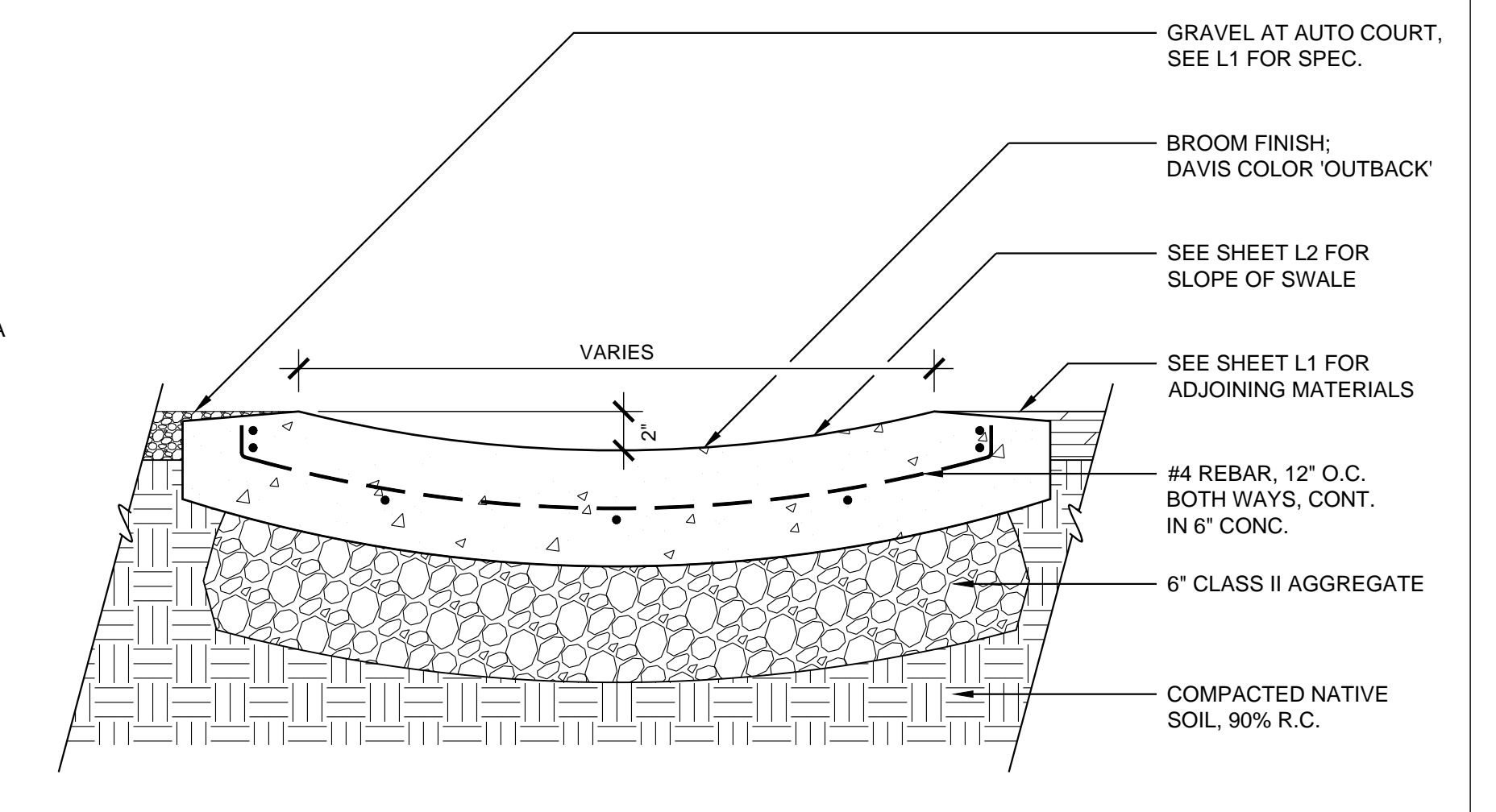
1 GRAVEL W/ STEEL EDGING - SECTION
SCALE: 1-1/2" = 1'-0"



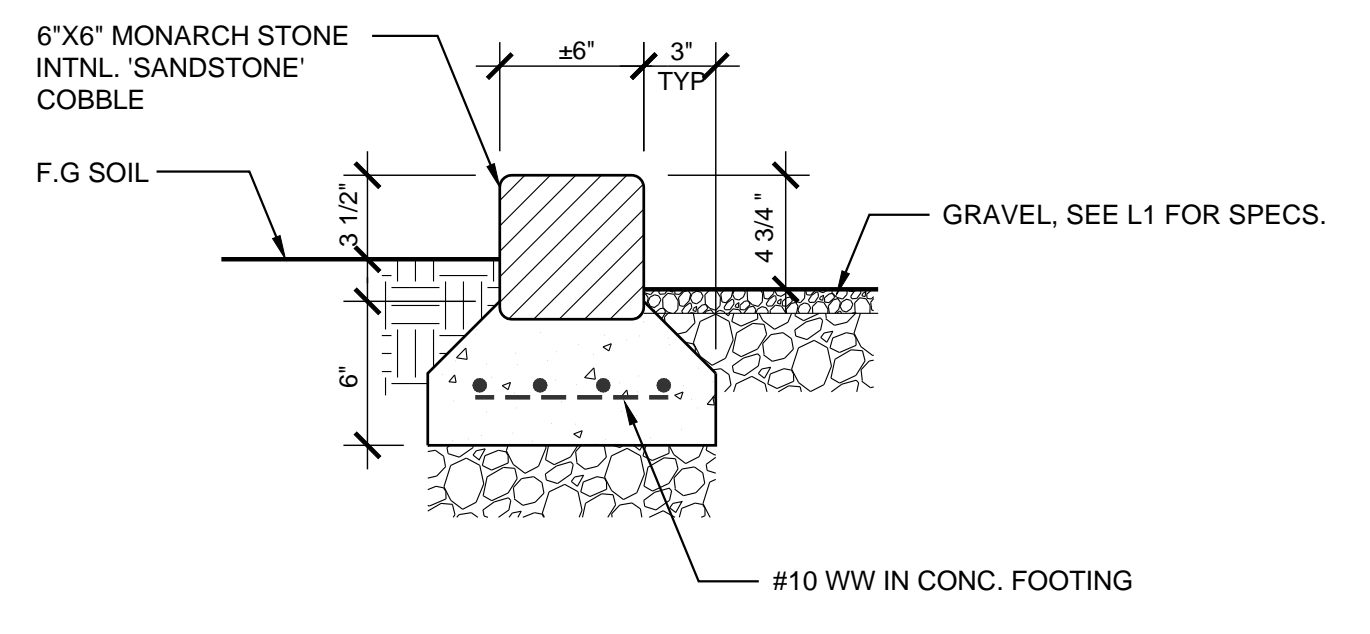
2 D.G. WITH STEEL EDGING - SECTION
SCALE: 1-1/2" = 1'-0"



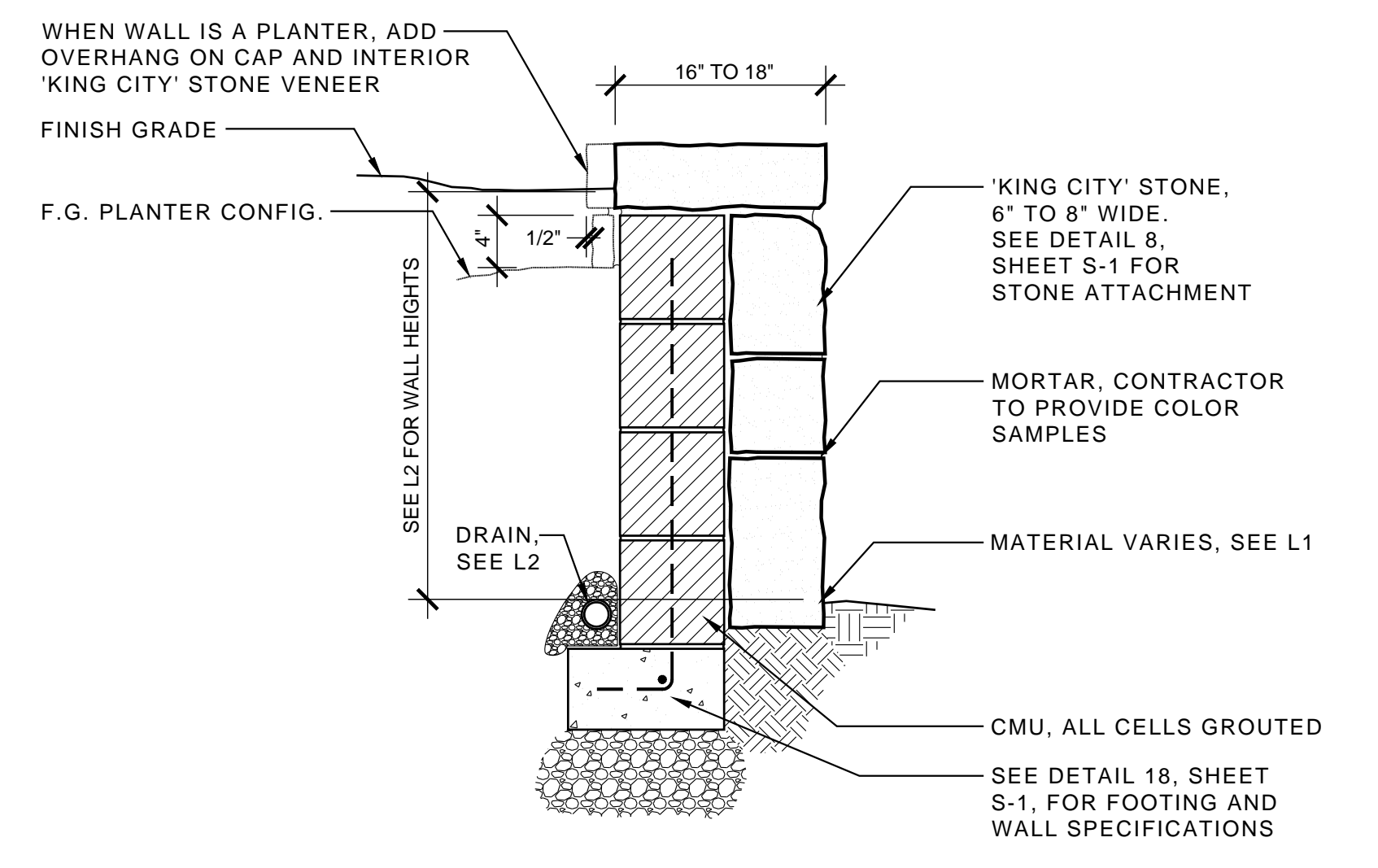
3 COBBLE PAVING - SECTION
SCALE: 1-1/2" = 1'-0"



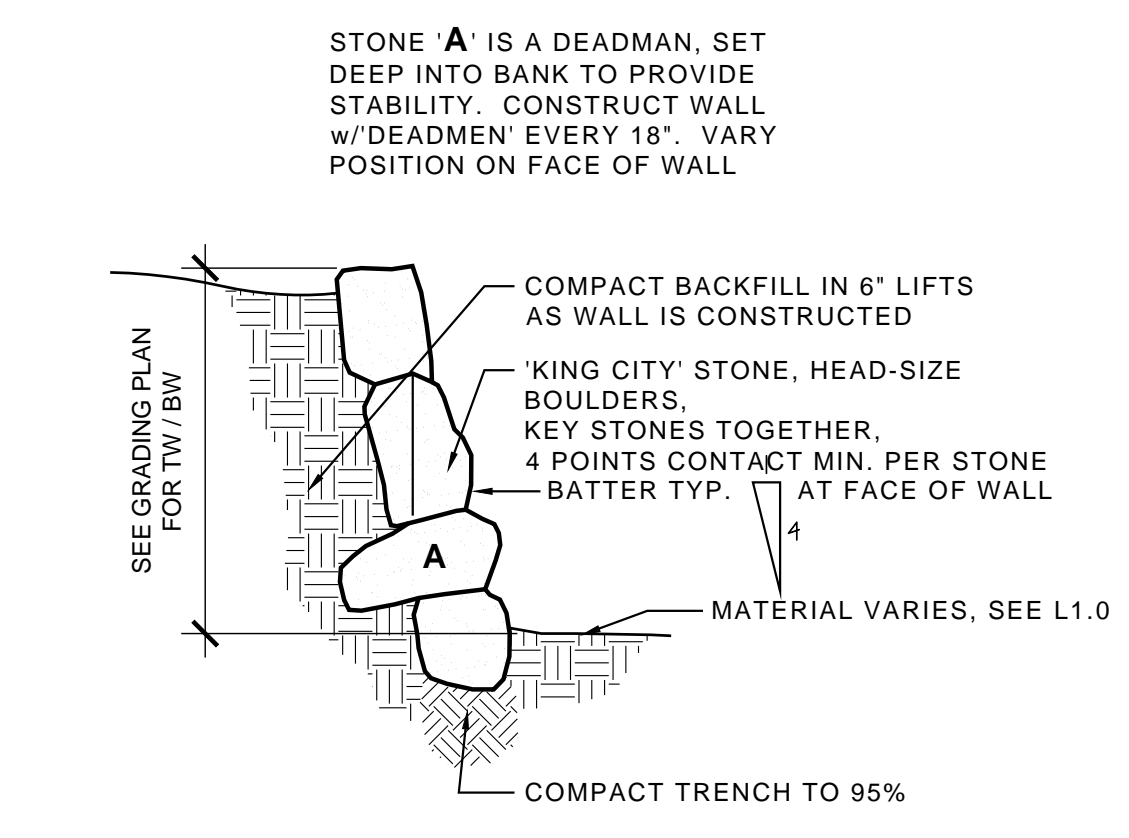
4 CONCRETE SWALE - SECTION
SCALE: 1-1/2" = 1'-0"



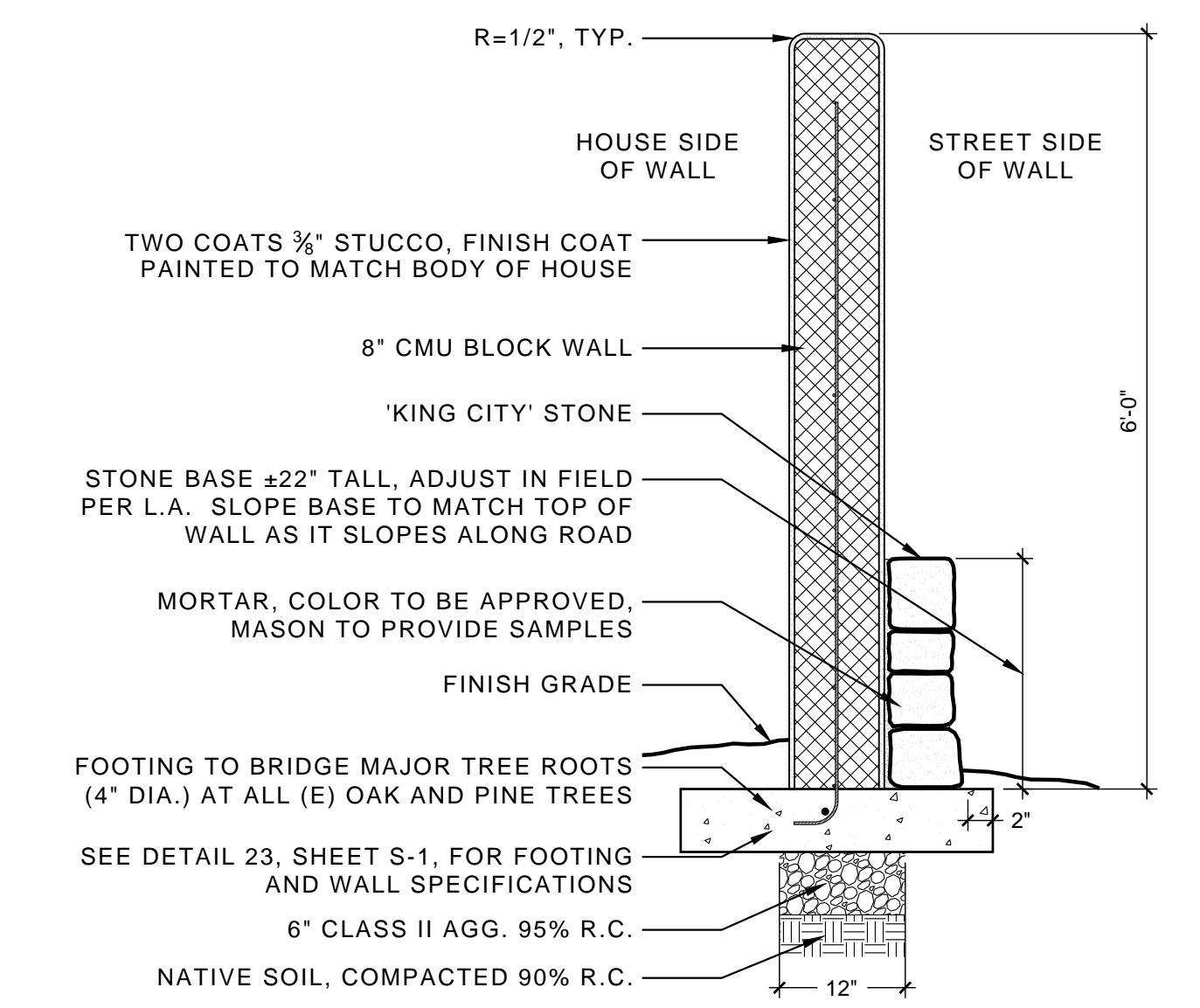
5 COBBLE EDGING - SECTION
SCALE: 1 1/2" = 1'-0"



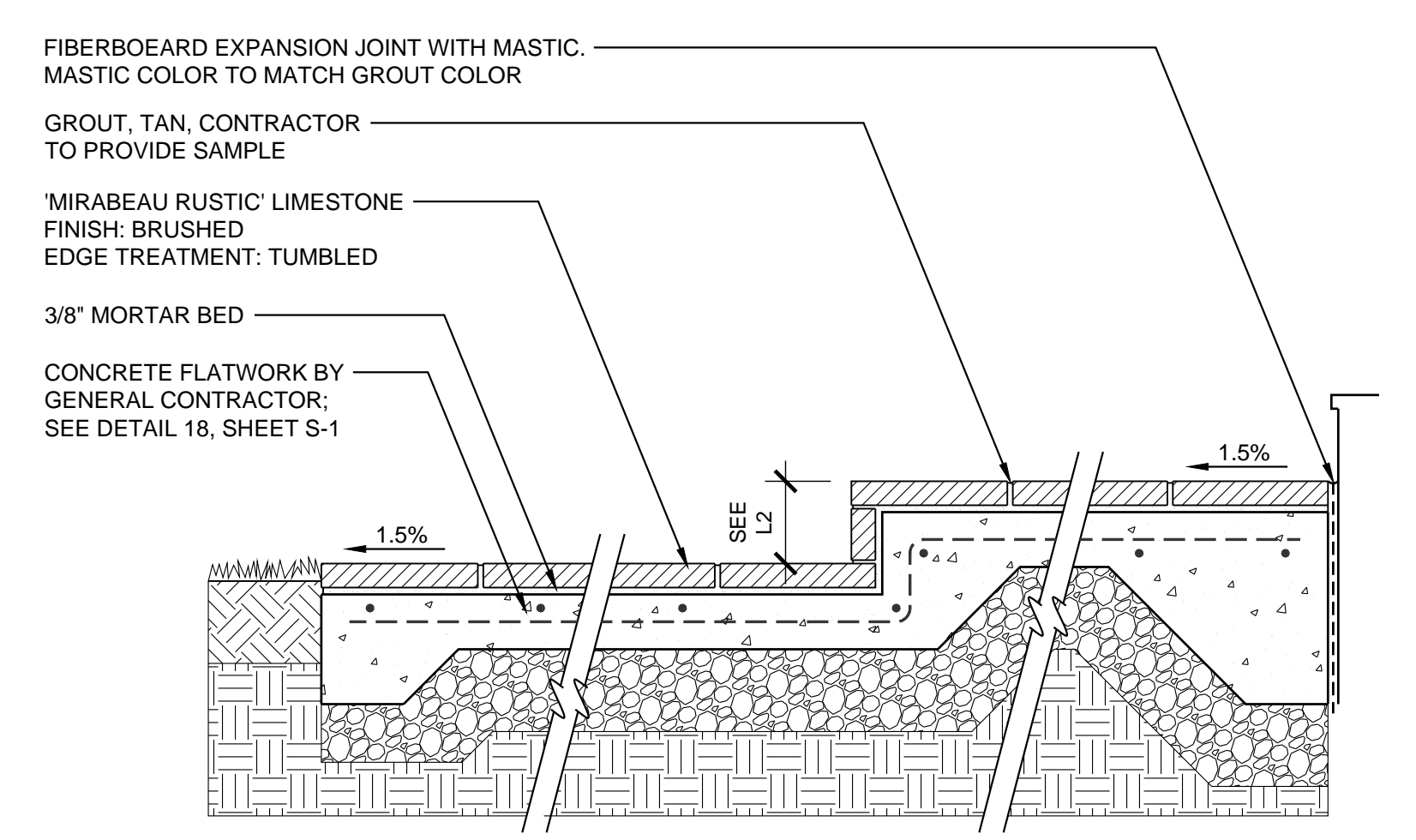
6 REINFORCED STONE WALL - SECTION
SCALE: 1" = 1'-0"



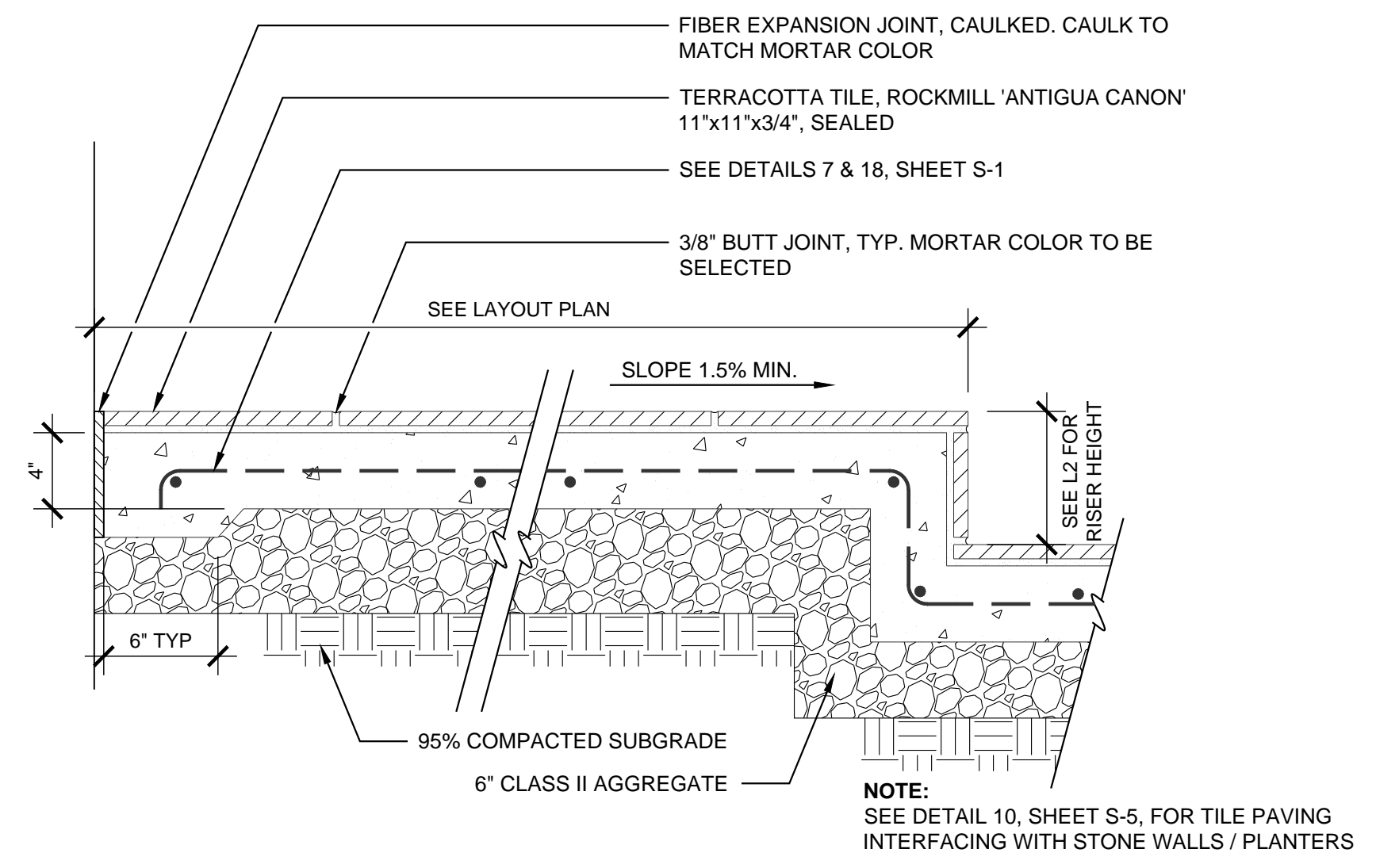
7 DRY-STACK STONE WALL - SECTION
SCALE: 1-1/2" = 1'-0"



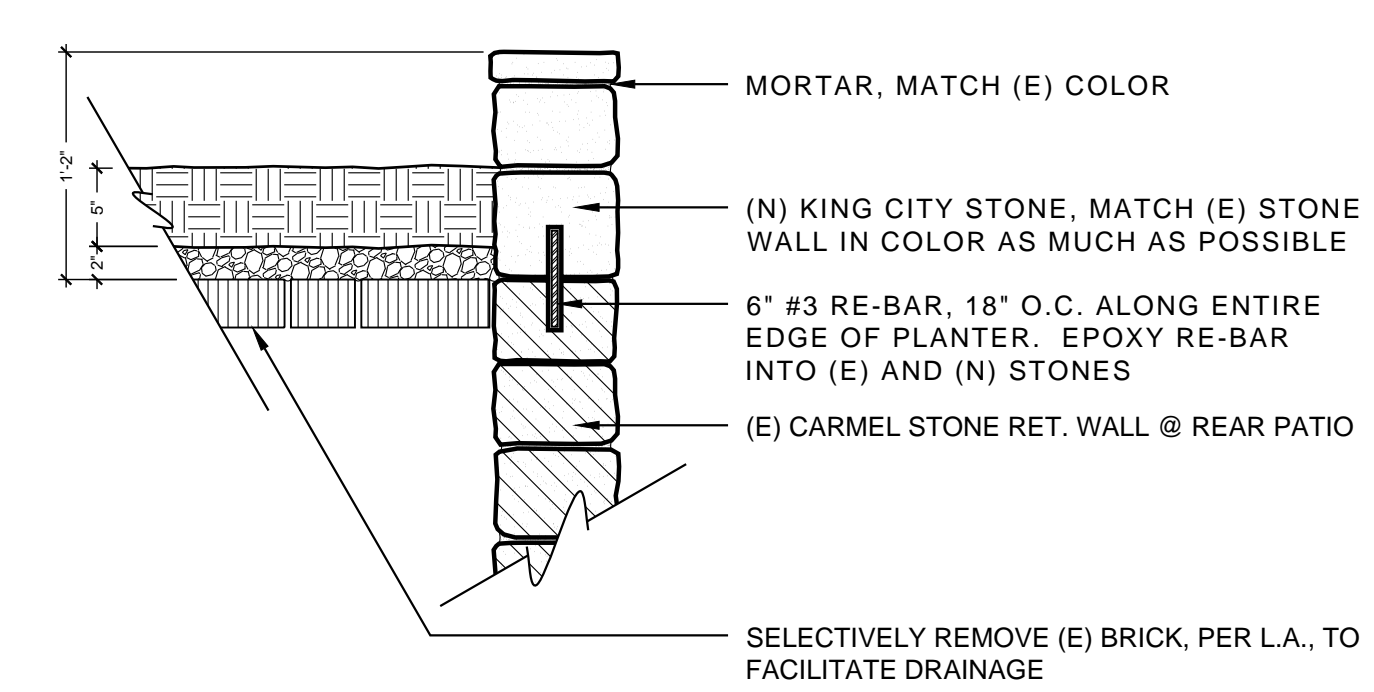
8 PLASTER WALL - SECTION
SCALE: 3/4" = 1'-0"



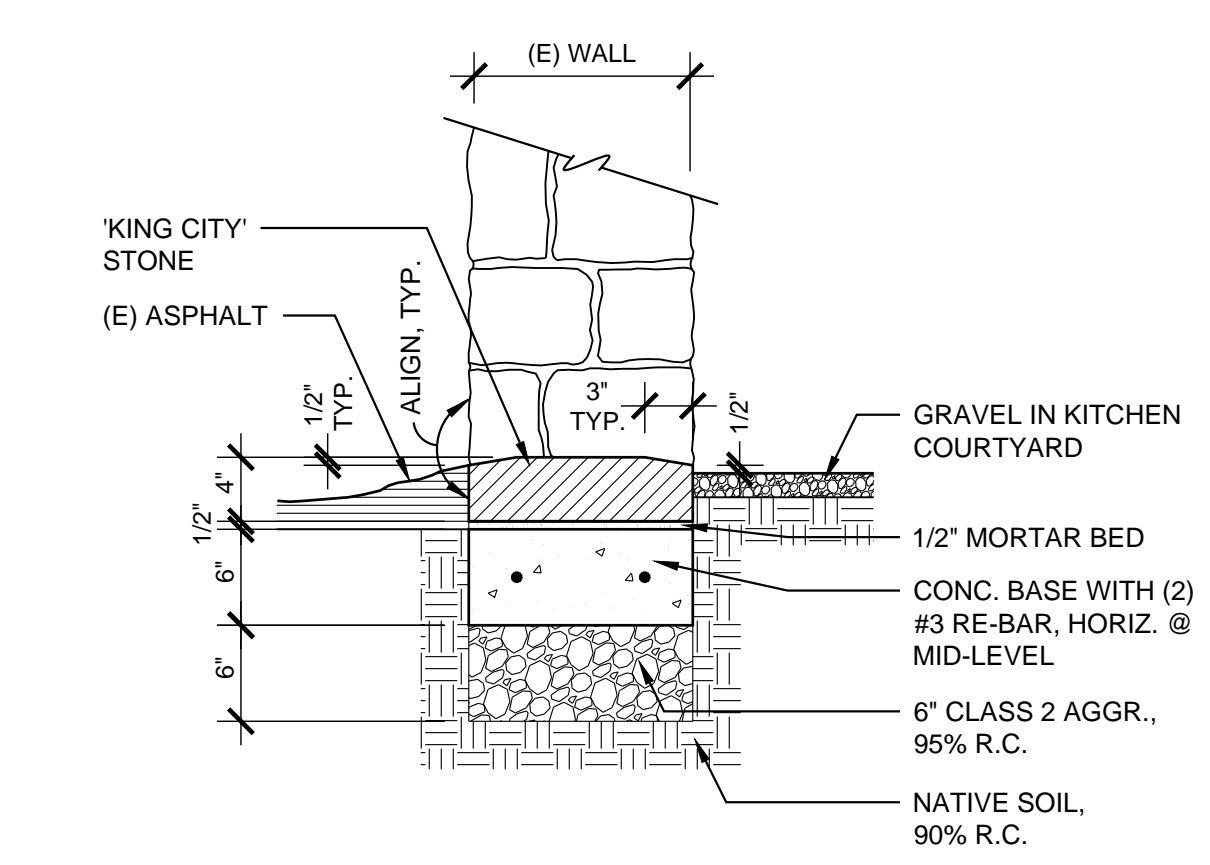
9 STONE PAVING & STEPS - SECTION
SCALE: 1" = 1'-0"



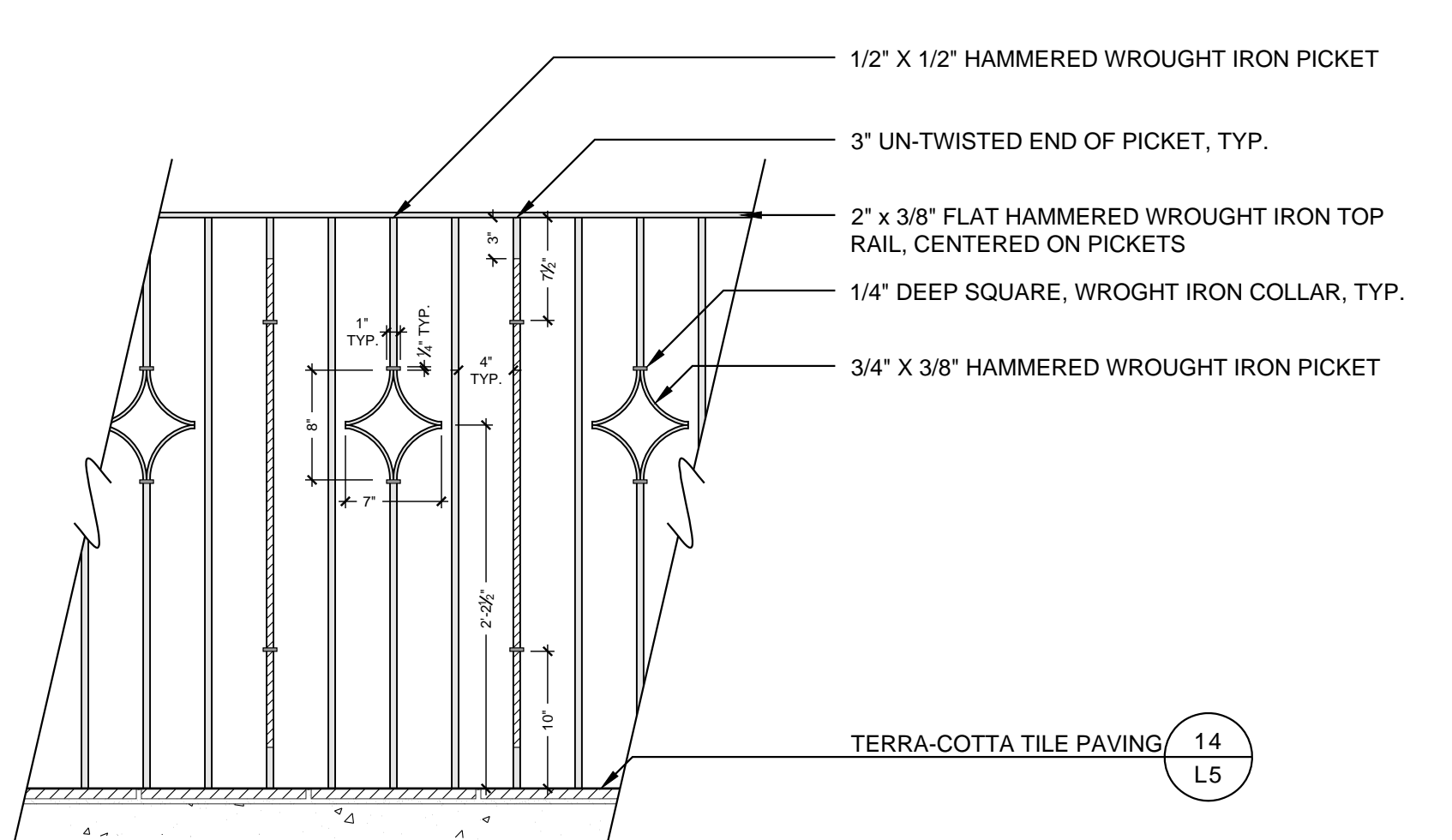
10 TERRA-COTTA TILE PAVING - SECTION
SCALE: 1-1/2" = 1'-0"



11 RAISED STONE PLANTER - SECTION
SCALE: 1" = 1'-0"

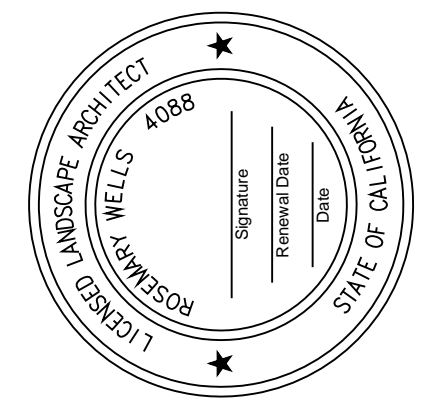


12 STONE THRESHOLD - SECTION
SCALE: 1" = 1'-0"



13 WROUGHT IRON RAILING
SCALE: 1" = 1'-0"

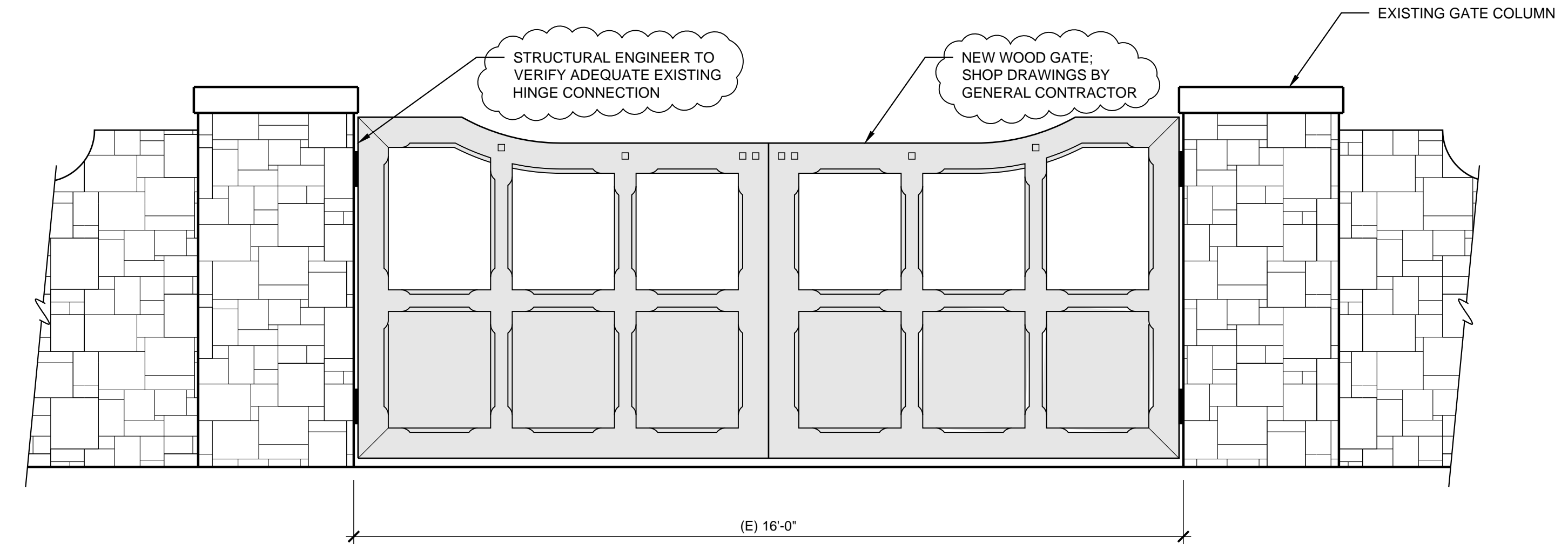
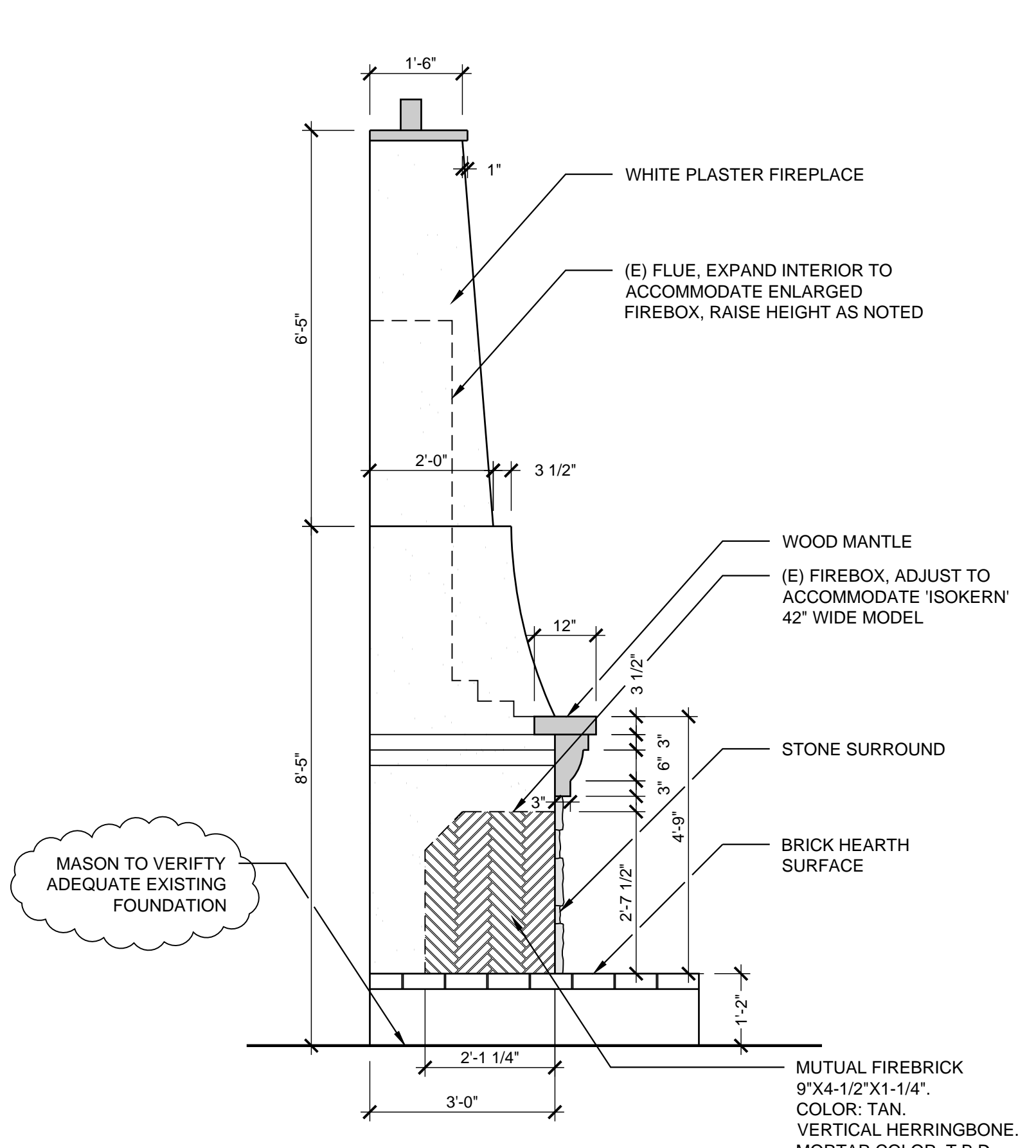
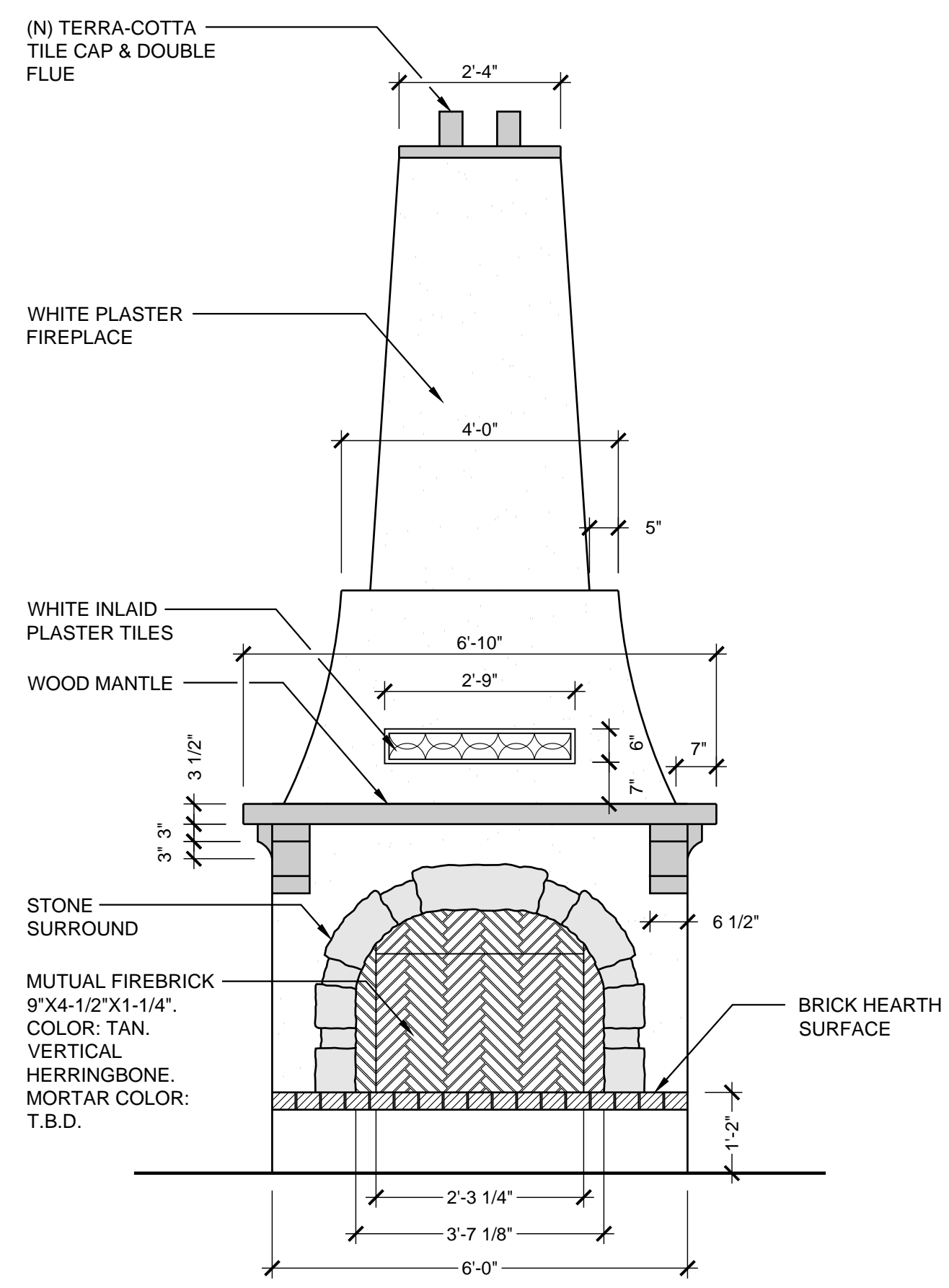
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DETAILS
PENN RESIDENCE
1536 VENADERO RD.
PEBBLE BEACH, CA
APN: 008-422-012-000

DATE:	06-30-2017
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DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

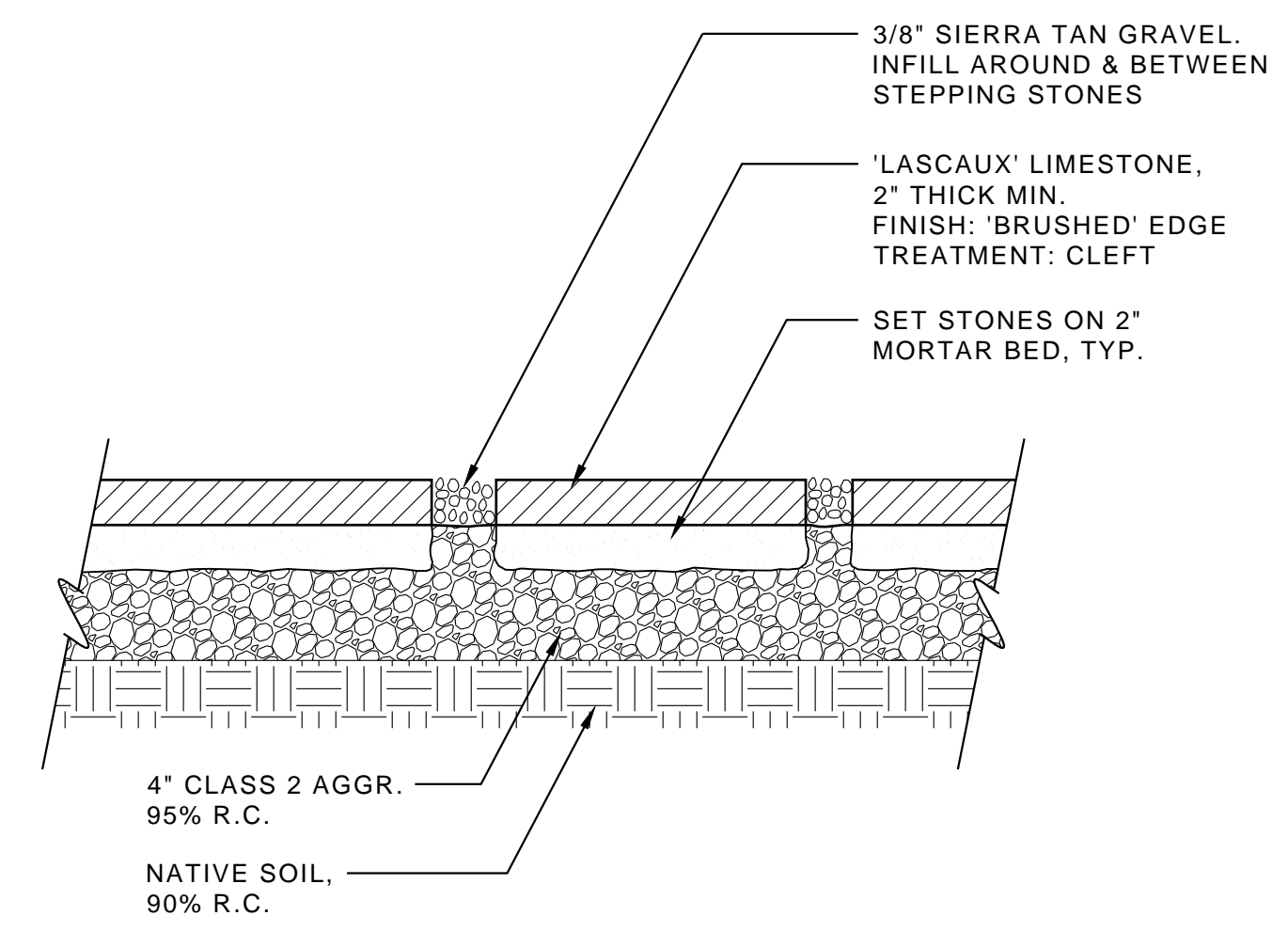
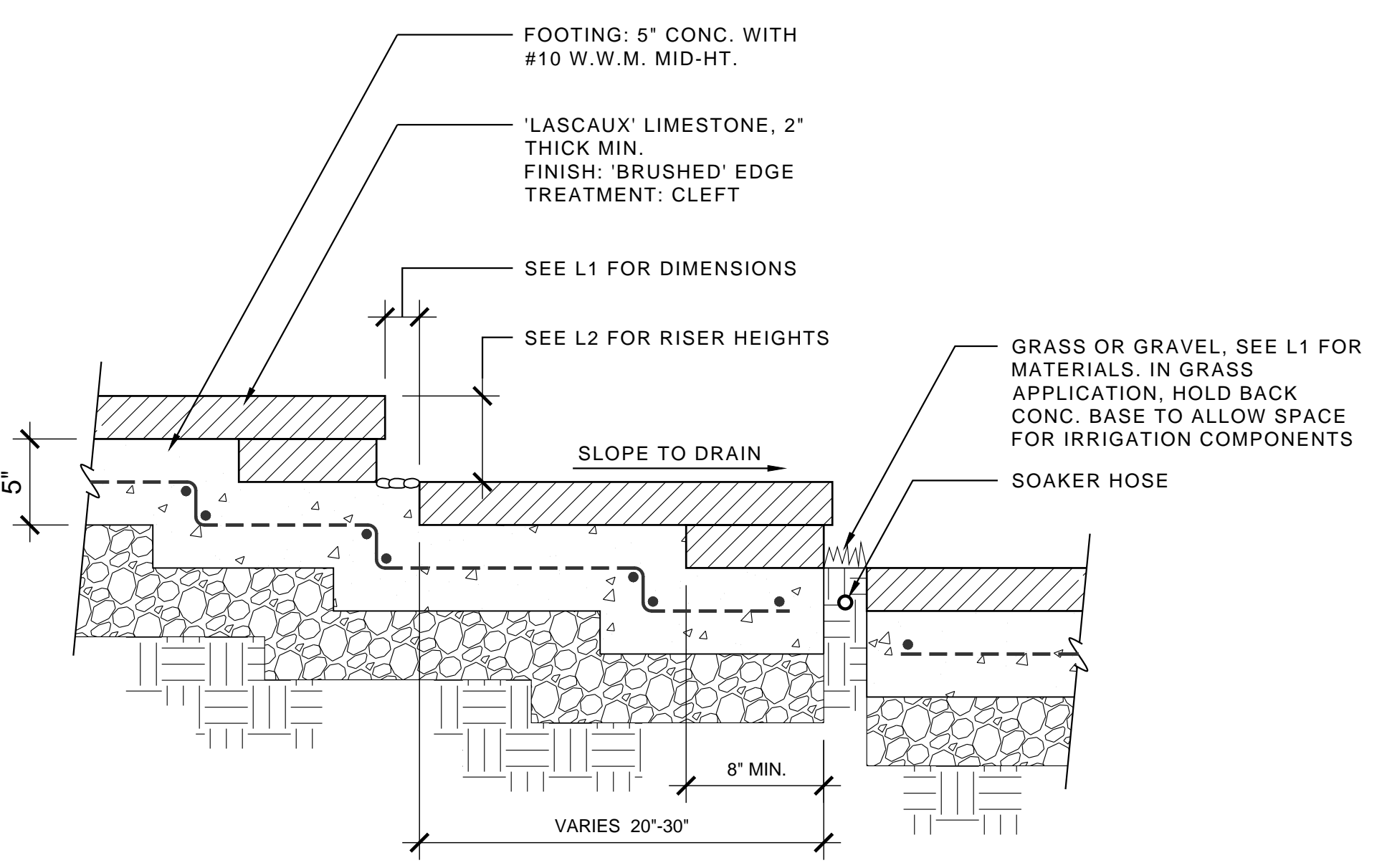
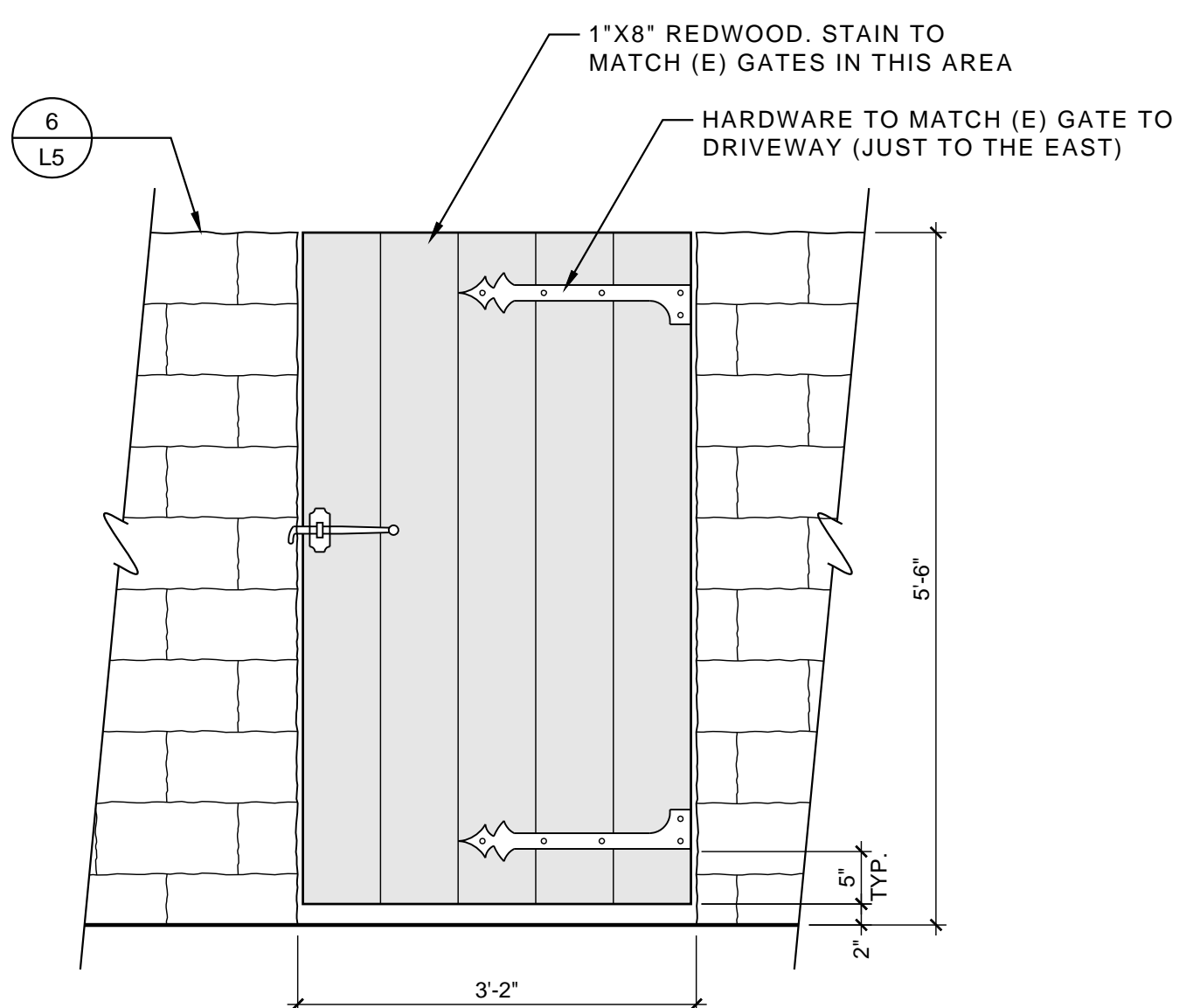
L5



1 RENOVATED OUTDOOR FIREPLACE - ELEVATION
SCALE: 1/2"= 1'-0"

2 RENOVATED OUTDOOR FIREPLACE - SECTION
SCALE: 1/2"= 1'-0"

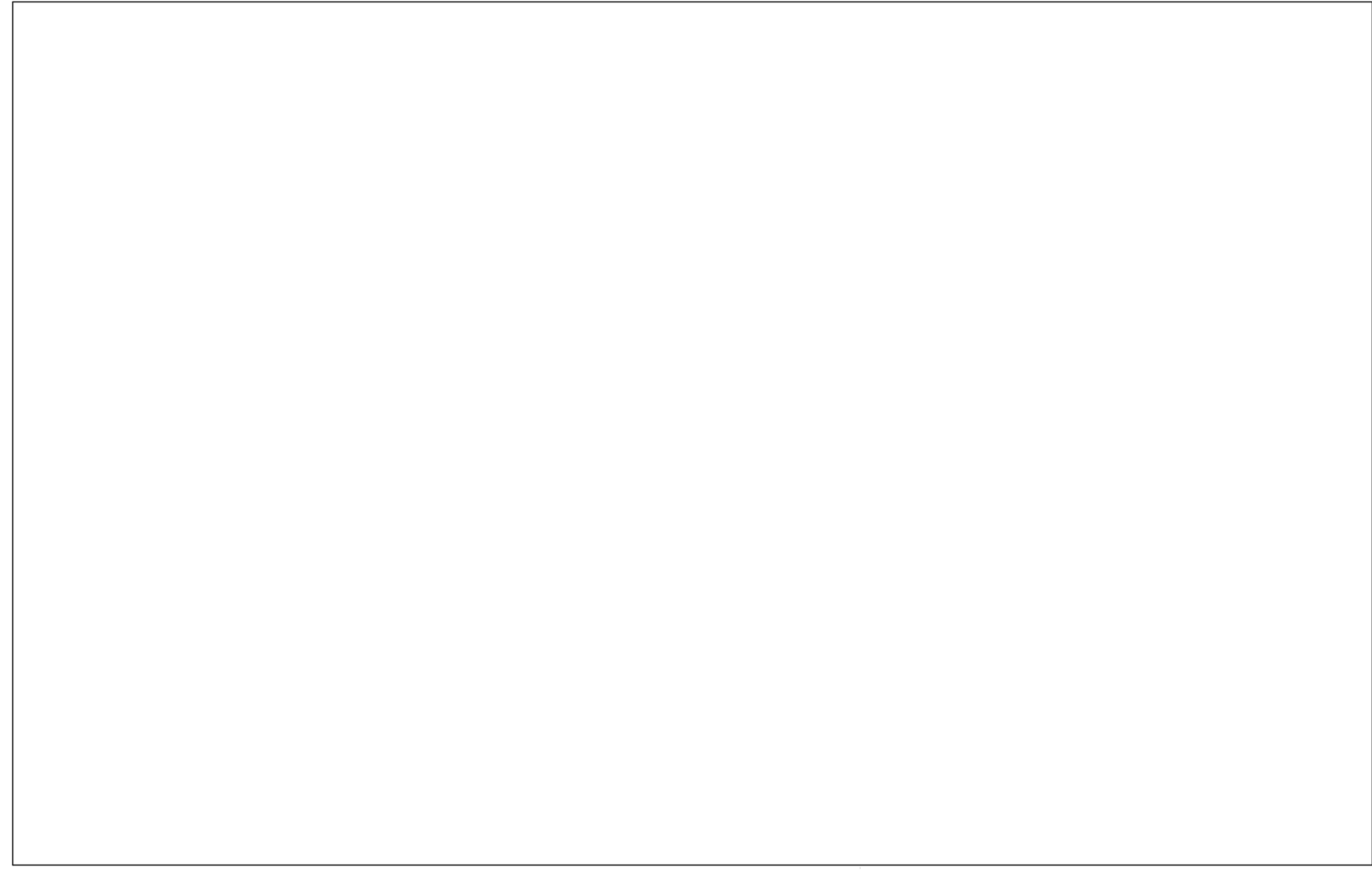
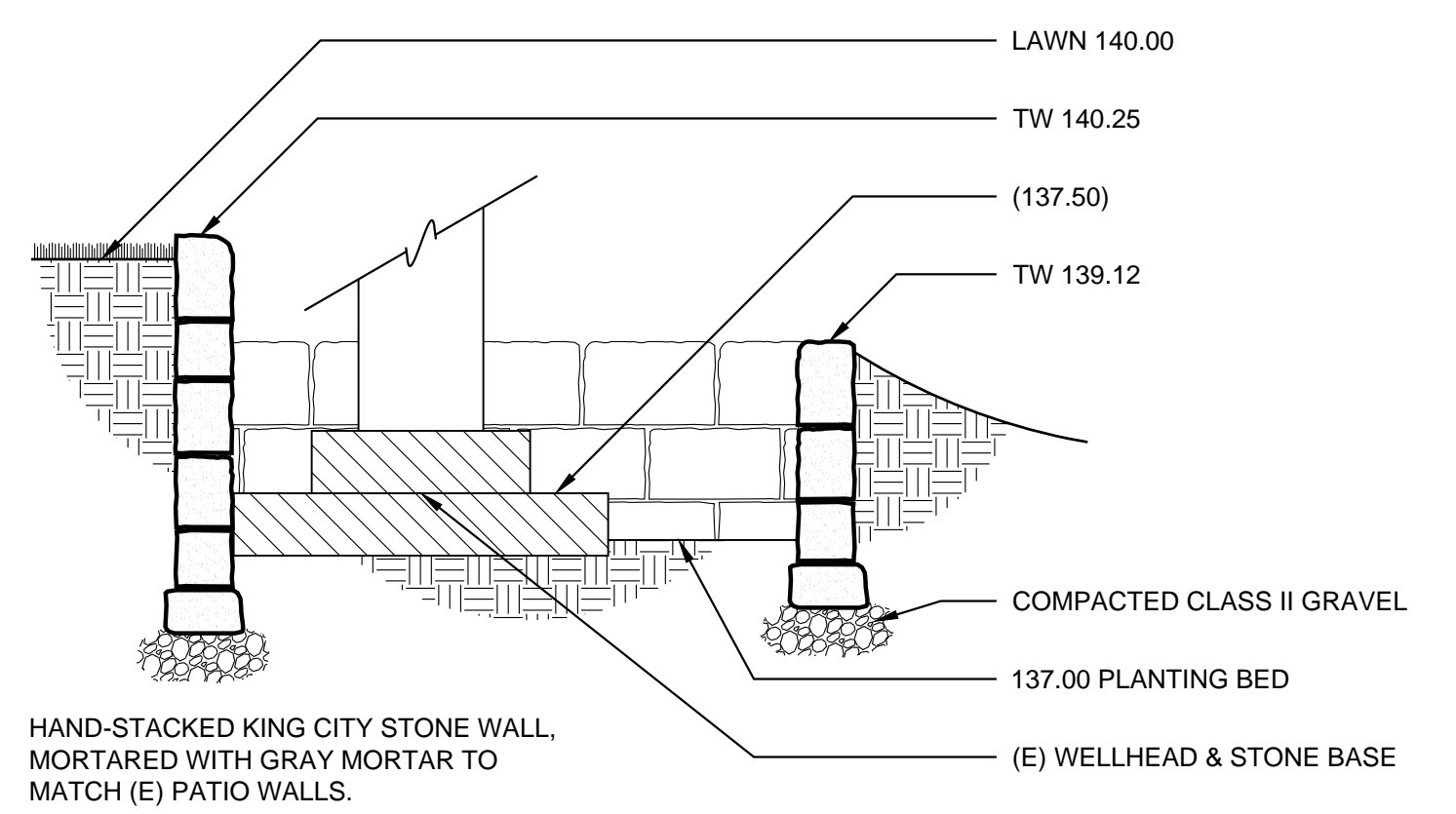
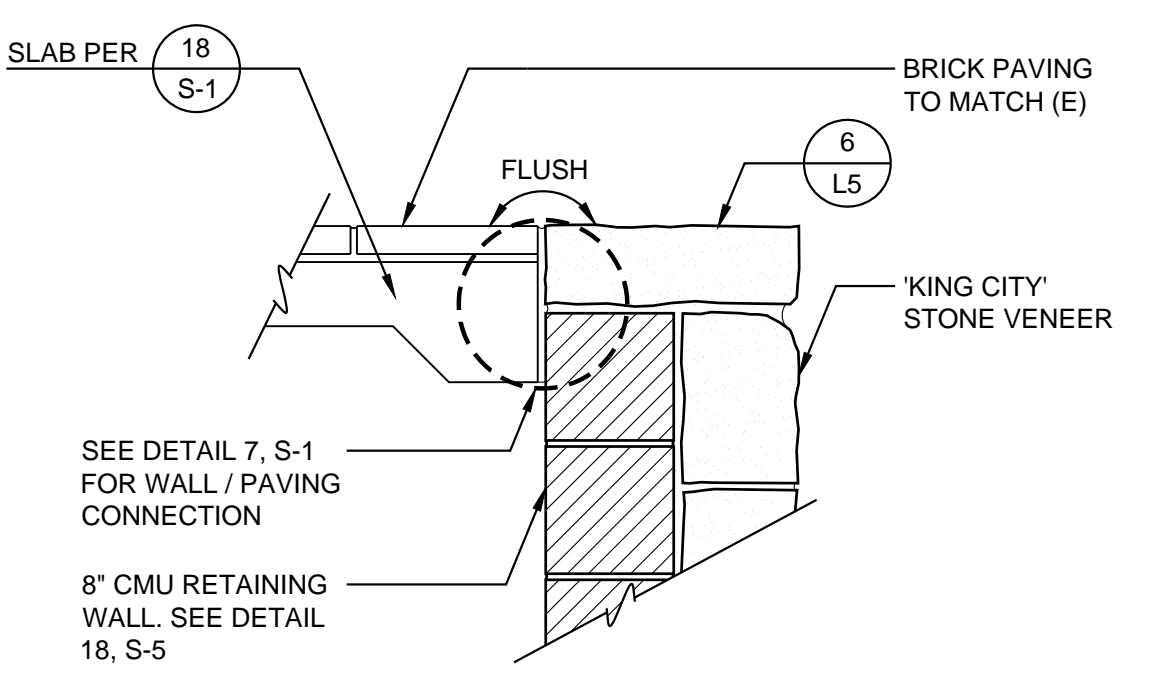
3 DRIVEWAY GATE - ELEVATION
SCALE: 1/2"= 1'-0"



4 GATE @ UTILITY AREA - ELEVATION
SCALE: 3/4"= 1'-0"

5 STONE RISERS & TREADS - SECTION
SCALE: 1-1/2"= 1'-0"

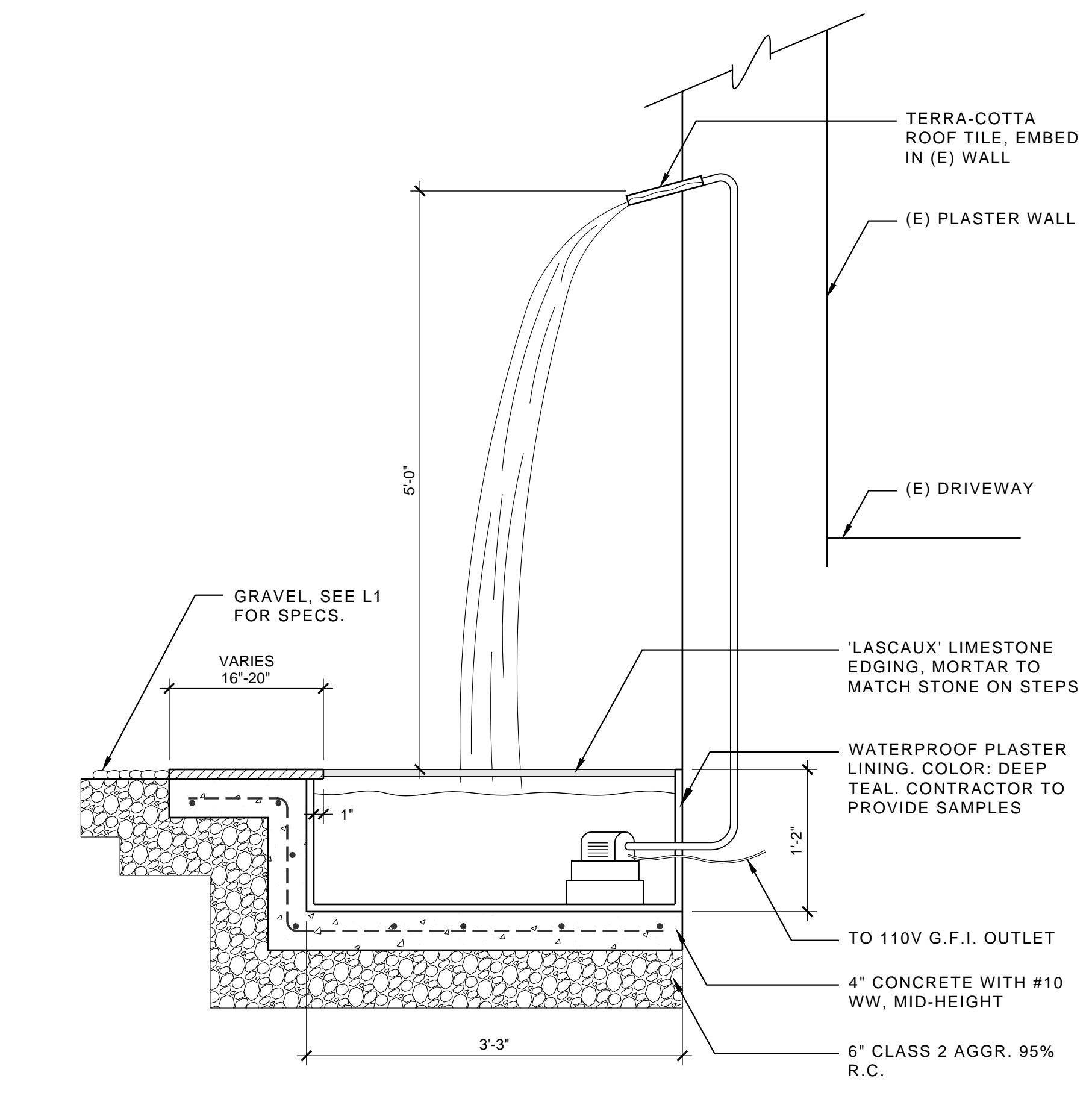
6 STEPPING STONE IN GRAVEL - SECTION
SCALE: 1-1/2"= 1'-0"



7 'KING CITY' BORDER @ DINING ROOM PATIO - SECTION
SCALE: 1"= 1'-0"

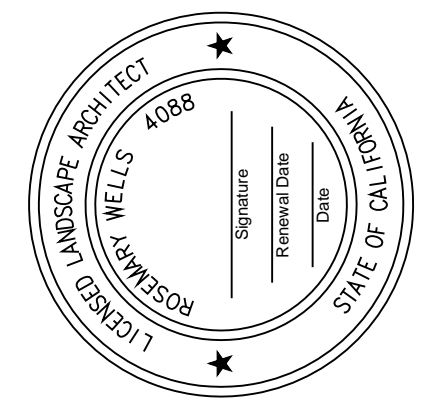
8 RETAINING WALLS @ DECORATIVE WELL
SCALE: 1/2"= 1'-0"

9 ENTRY FOUNTAIN - PLAN
SCALE: 3/4"= 1'-0"



10 ENTRY FOUNTAIN - SECTION
SCALE: 1"= 1'-0"

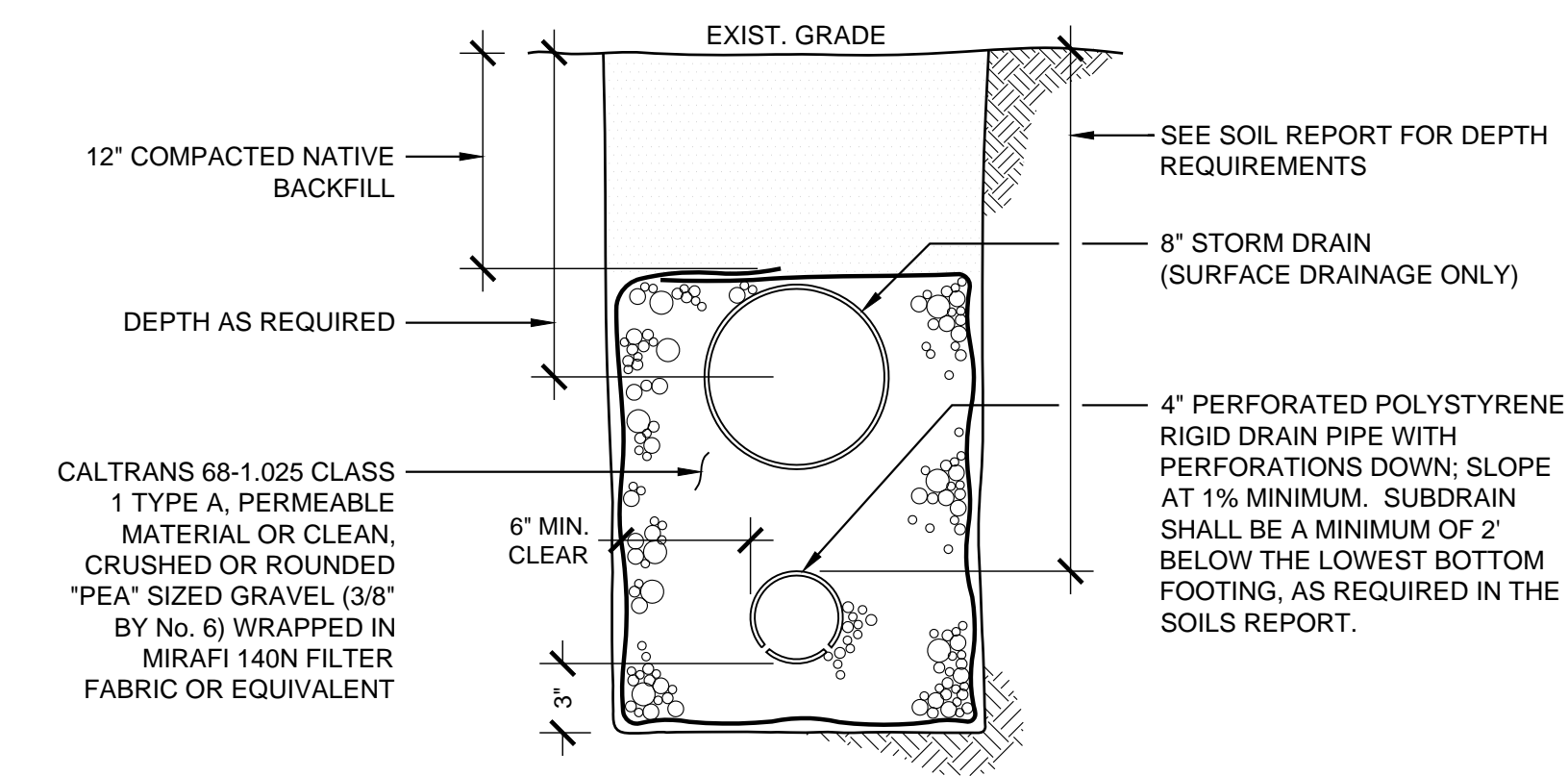
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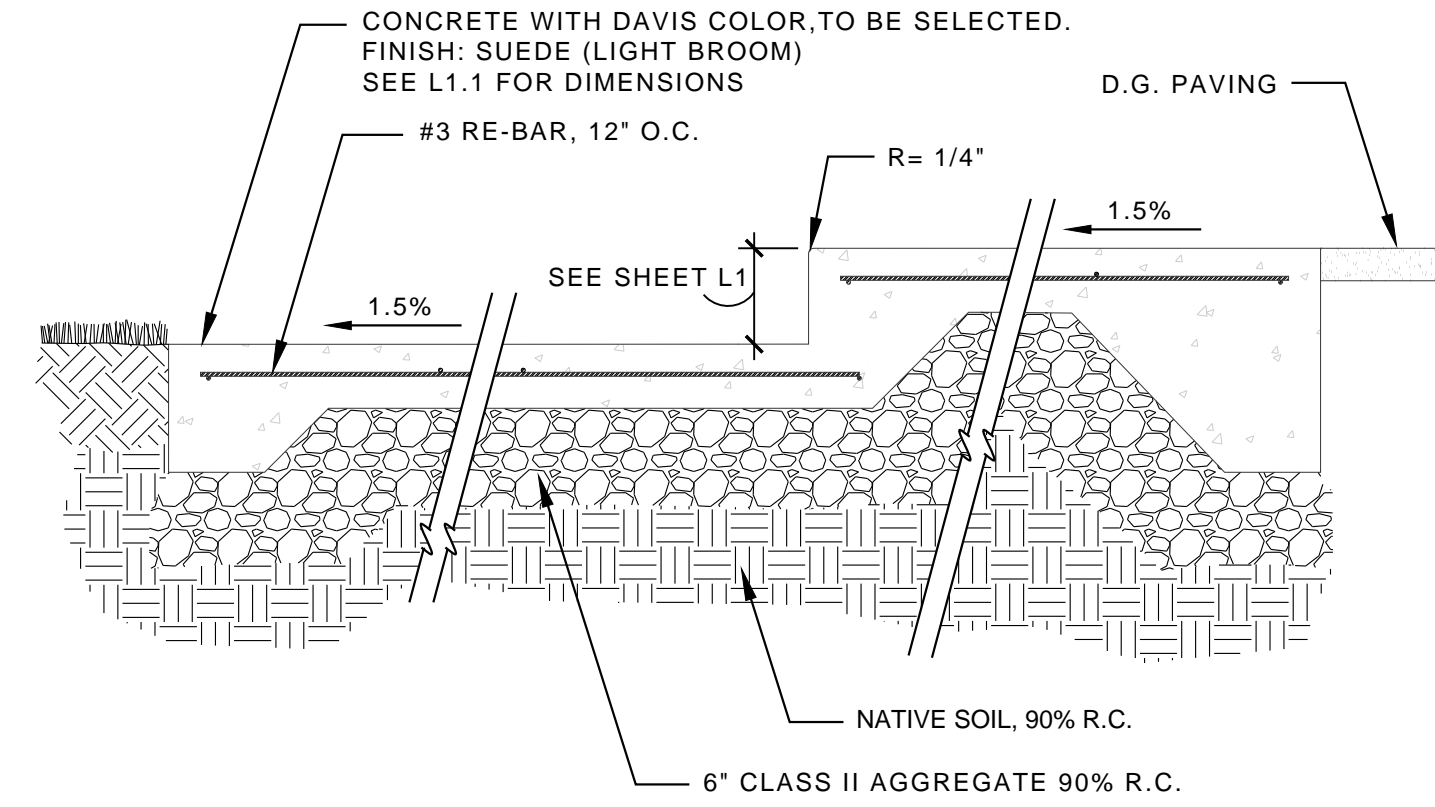
DETAILS
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1536 VENADERO RD.
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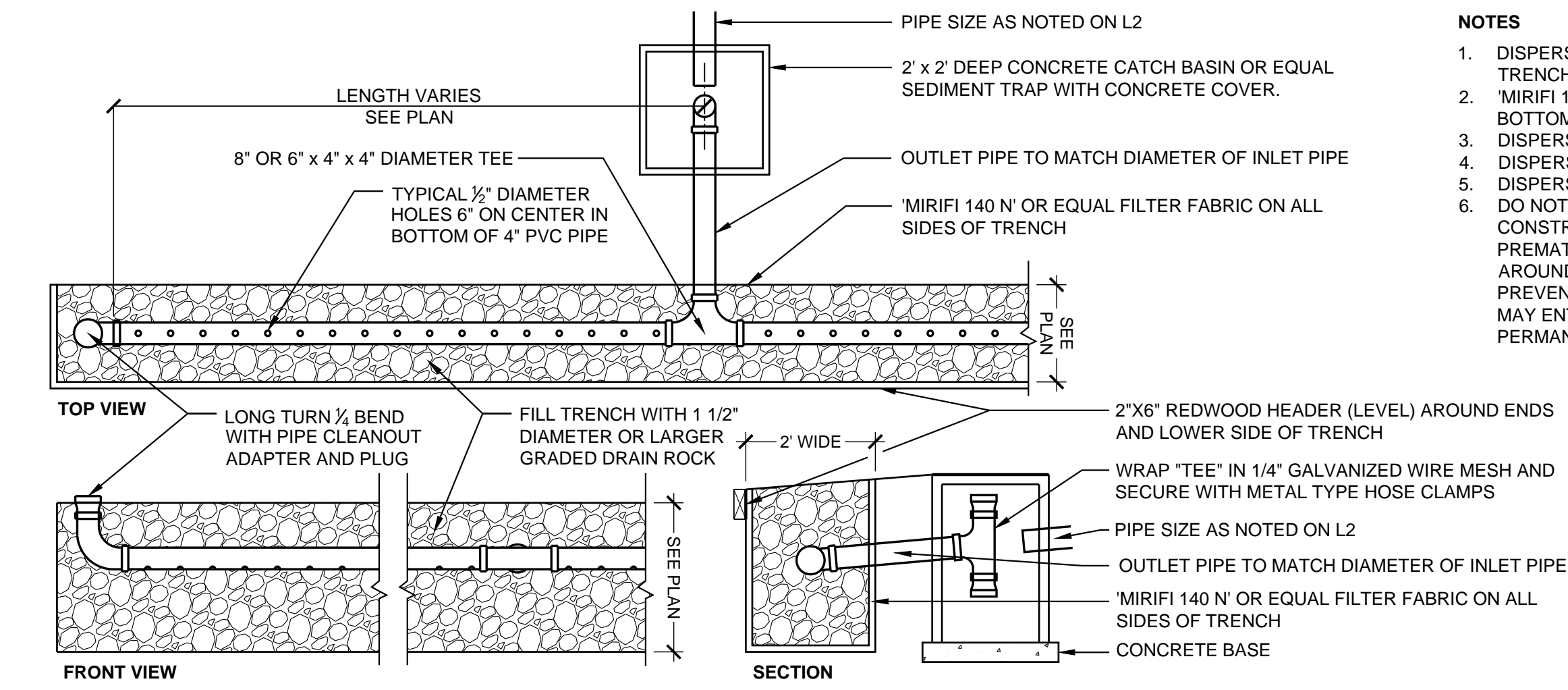
L6



1 CURTAIN DRAIN - SECTION
SCALE: 1-1/2"= 1'-0"

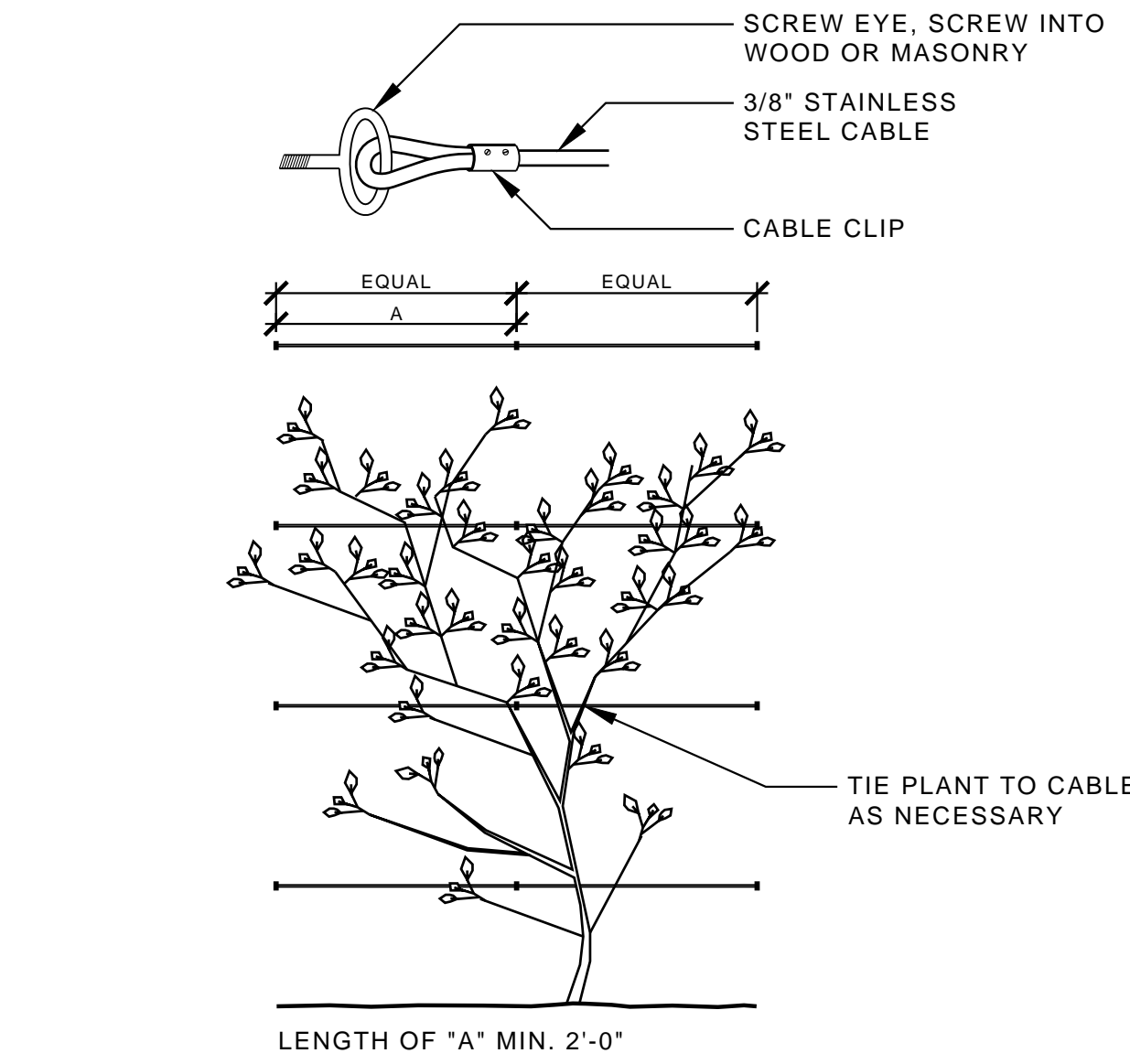


2 CONCRETE PAVING - SECTION
SCALE: 1"= 1'-0"

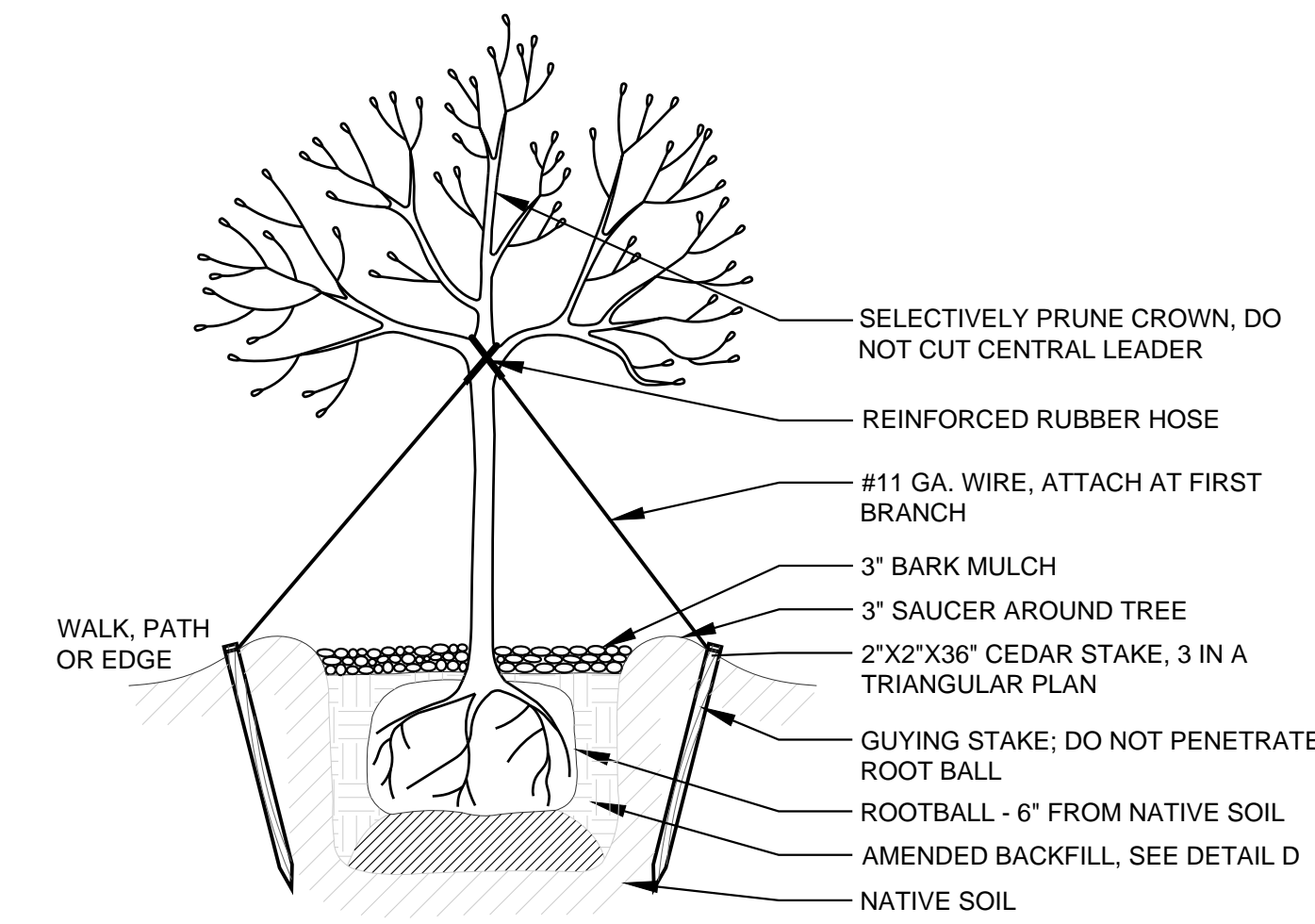


3 DISPERSION TRENCH - SECTION
SCALE: 1/2"= 1'-0"

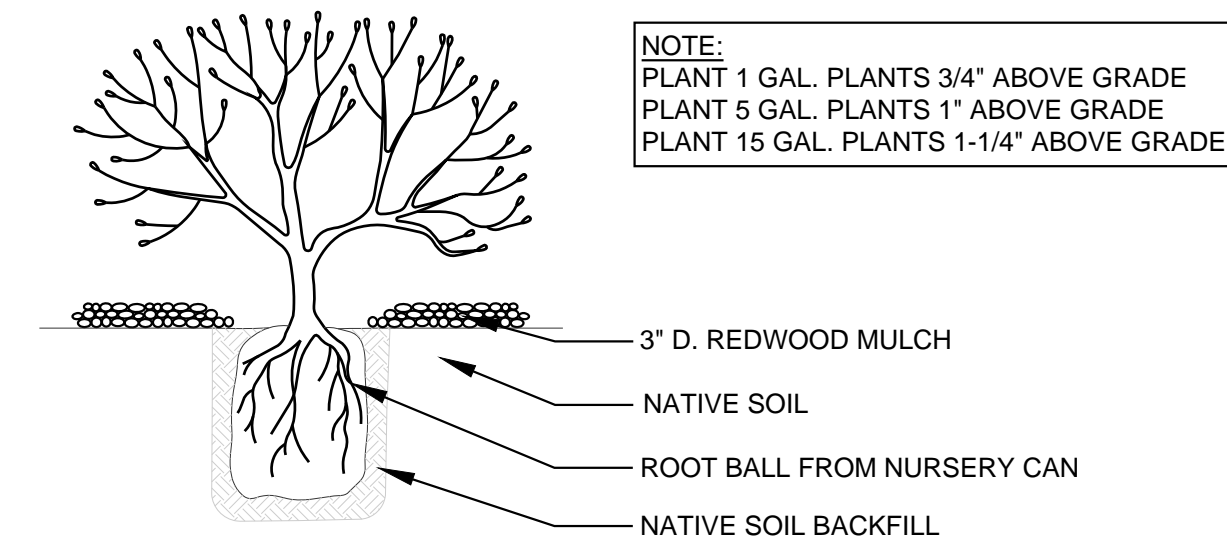
- NOTES**
1. DISPERSION PIPE SHALL BE LEVEL W/ REDWOOD HEADER AROUND THE PERIMETER AND TRENCH SHALL BE PARALLEL TO CONTOURS.
 2. 'MIRIFI 140 N OR EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP AND BOTTOM OF TRENCH.
 3. DISPERSION TRENCH SHALL BE LOCATED 20', AT A MINIMUM, FROM ANY STRUCTURES.
 4. DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.
 5. DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.
 6. DO NOT ALLOW STORMWATER RUNOFF TO ENTER THE DISPERSION TRENCH DURING CONSTRUCTION. THE SEDIMENT IN CONSTRUCTION RUNOFF MAY CAUSE SILTATION AND PREMATURE FAILURE OF THE DISPERSION TRENCH. PROVIDE TEMPORARY BYPASS AROUND THE DISPERSION TRENCH, OR PLUG THE UPSTREAM ENDS OF STORM DRAIN TO PREVENT STORM WATER FROM FLOWING TO THE DISPERSION TRENCH. STORMWATER MAY ENTER THE DISPERSION TRENCH ONLY AFTER CONSTRUCTION IS COMPLETE AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs ARE IN PLACE.



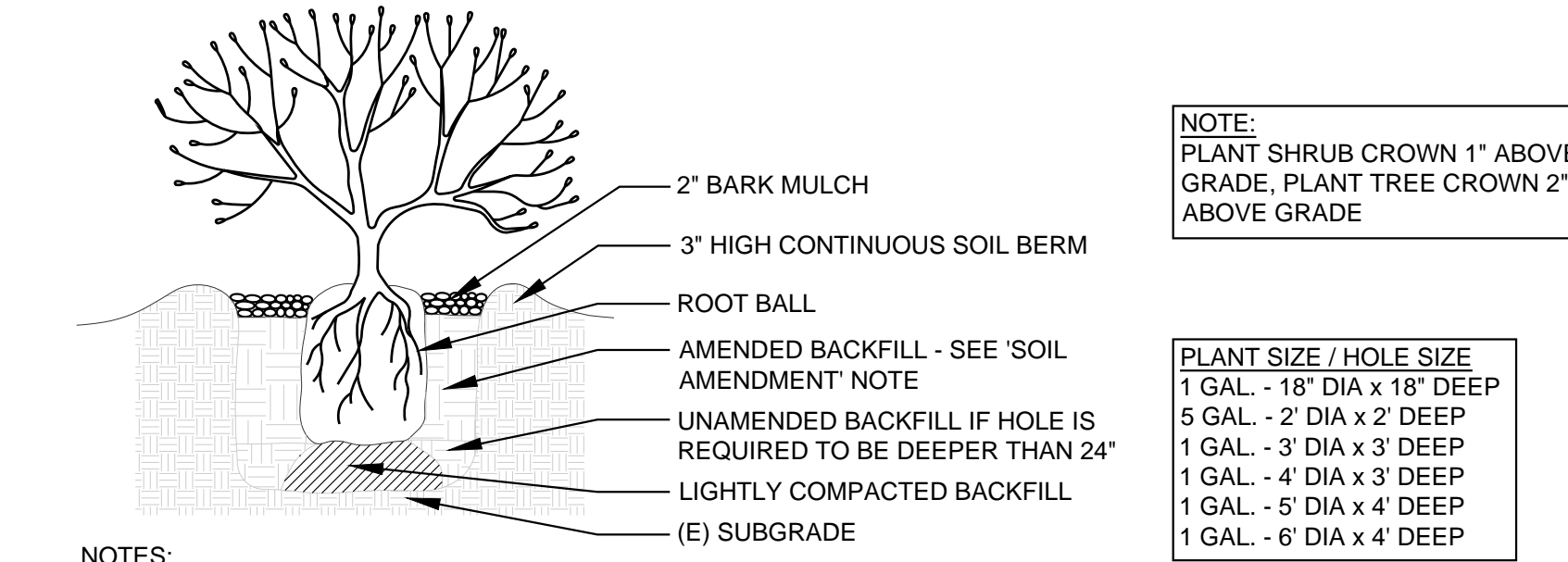
A SUPPORT FOR ESPALIERED PLANT
SCALE: NONE



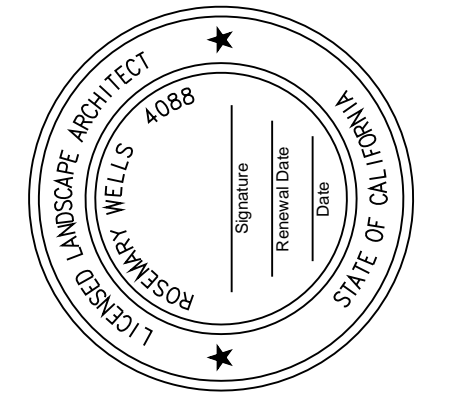
B TREE STAKING
SCALE: NONE



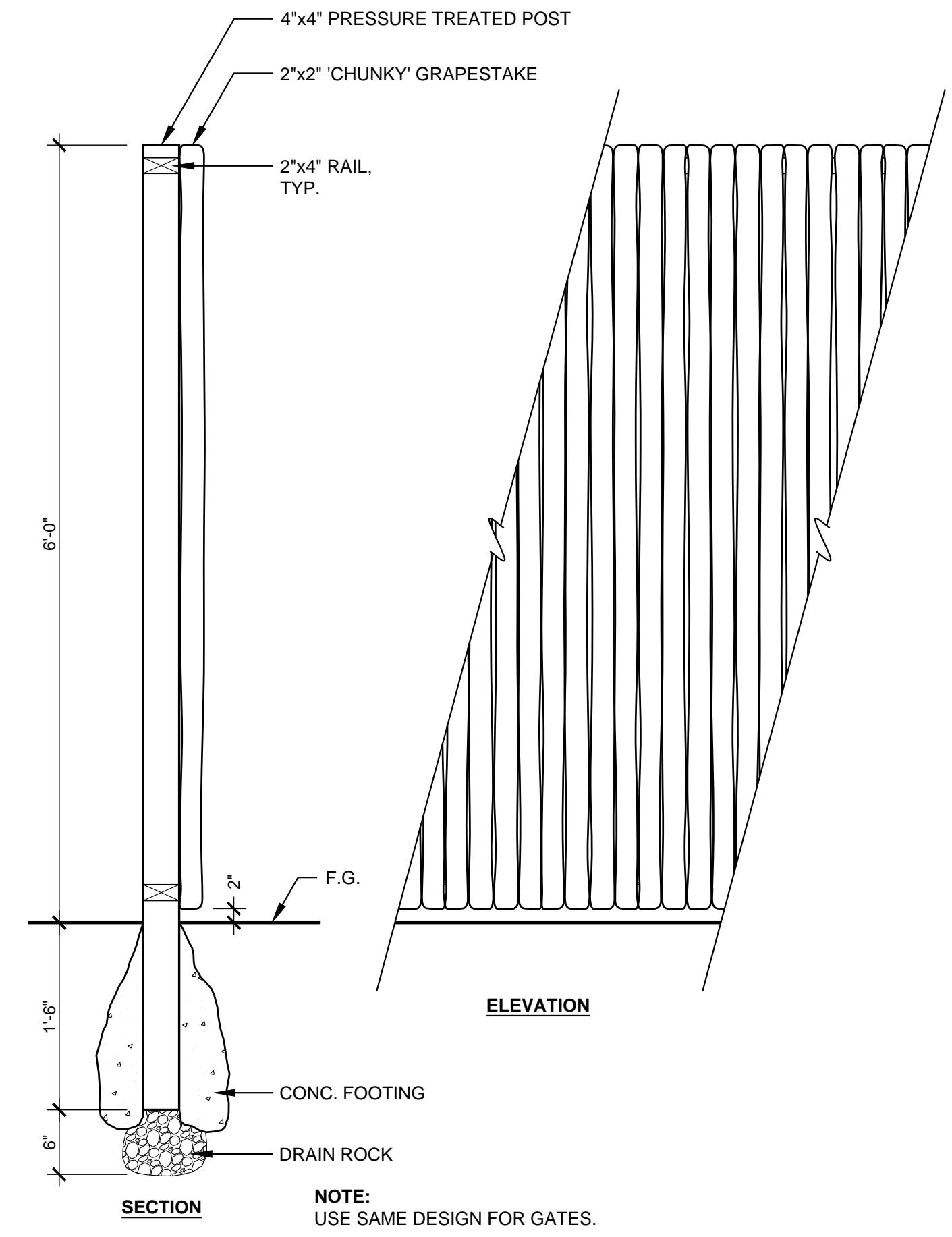
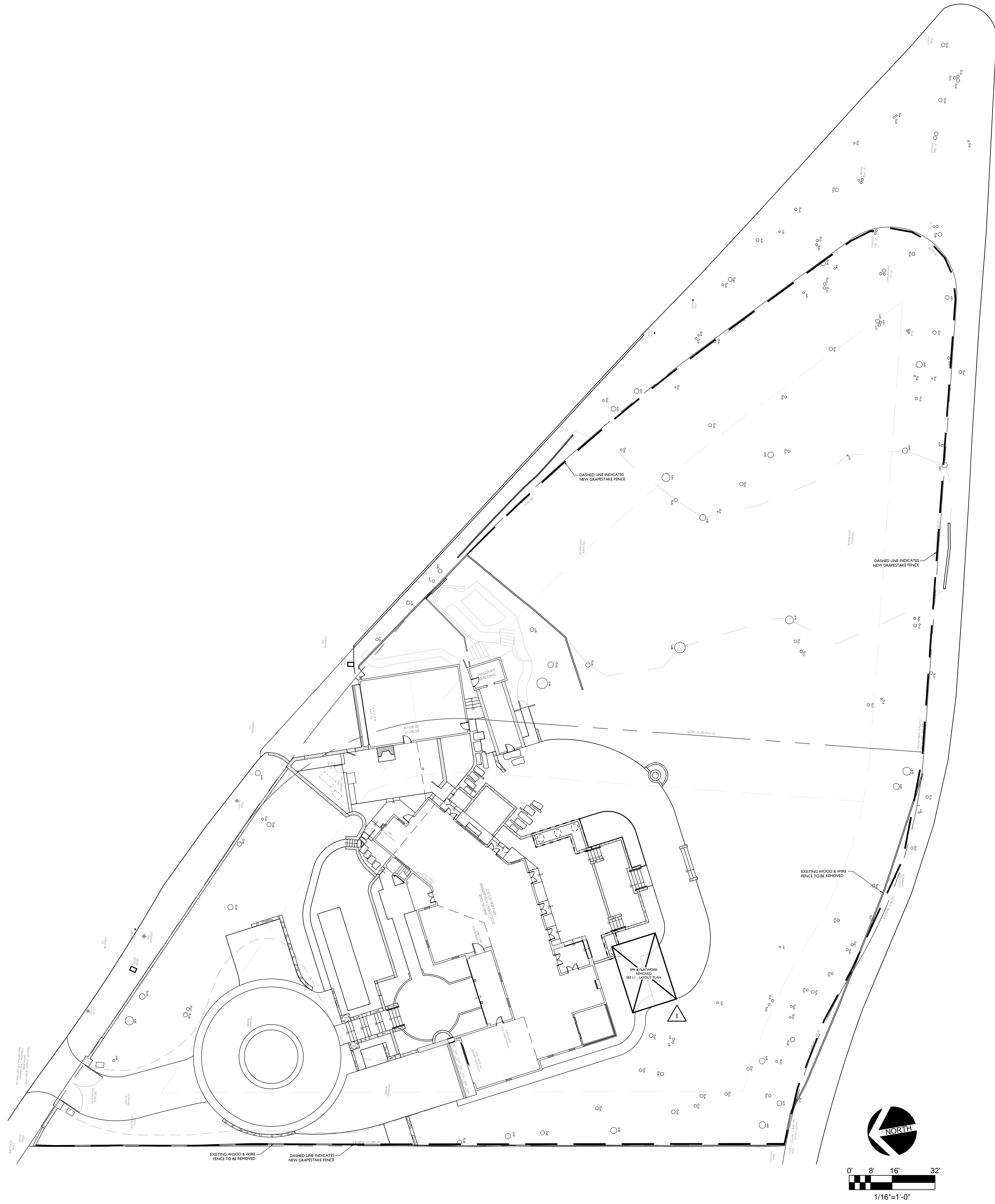
C NATIVE SPECIES PLANTING INSTRUCTIONS
SCALE: NONE



D NON-NATIVE SPECIES PLANTING INSTRUCTIONS
SCALE: NONE



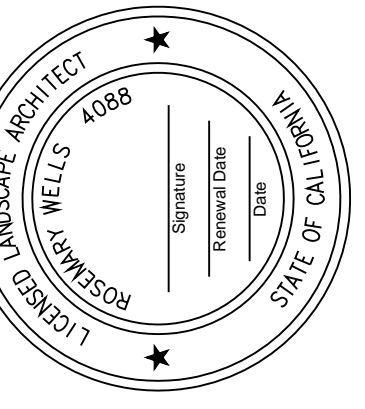
DATE:	06-30-2017
SCALE:	AS NOTED
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018



1 GRAPESTAKE FENCE
SCALE: 1"= 1'-0"

Viridian Landscape Architecture

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FENCING LAYOUT
PENN RESIDENCE

1536 VENADERO RD.
PEBBLE BEACH, CA
APN: 008-422-012-000

DATE:	06-30-2017
SCALE:	1/16"=1'-0"
DESIGNED:	RW
DRAWN:	SB
REVISION:	02-01-2018

L8

