

**Before the Chief of Planning in and for the
County of Monterey, State of California**

In the matter of the application of:

SPEDDING RANDI M OSNAS ET AL (PLOG) (PLN230306)

RESOLUTION NO. 24 - 026

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15303, Construction of New Facilities, and no exceptions pursuant to section 15300.2 can be made; and
- 2) Approving an Administrative Permit and Design Approval to allow construction of a 1,920 square foot pre-manufactured single family dwelling on a permanent foundation with a 770 square foot uncovered deck, a 960 square foot pre-manufactured accessory dwelling unit on a permanent foundation with a 152 square foot uncovered deck, and a 727 square foot detached garage. Site improvements include the creation of a driveway and approximately 42 cubic yards of cut and 36 cubic yards of fill.

[PLN230306, Spedding Randi M Osnas Et Al (Plog), 270 W Carmel Valley Rd, Carmel Valley, Carmel Valley Master Plan, (APN: 189-151-012-000)]

The SPEDDING RANDI M OSNAS ET AL (Plog) application (PLN230306) came on for an administrative hearing before the Monterey County HCD Chief of Planning on June 26, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and the
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Description. The proposed project includes construction of a 1,920 square foot pre-manufactured single family dwelling, a 960 square foot pre-manufactured accessory dwelling unit on a permanent foundation, a 727 square foot detached garage and workshop, a new access driveway and associated site improvements including approximately 900 square feet of decking and approximately 42 cubic yards of cut and 36 cubic yards of fill.
- c) Allowed Use. The property is located at 270 W Carmel Valley Road, Carmel Valley (Assessor's Parcel Number 189-151-012-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential with a density of one unit per acre with Design Control, Site Plan Review and Residential Allocation Zoning overlay districts or "LDR/1-D-S-RAZ". This property abuts Carmel Valley Road and is subject to a 100 foot setback from the scenic road for all proposed structures. Zoning allows for the first single family dwelling, an accessory dwelling unit (ADU), and non-habitable accessory structures pursuant to Title 21 sections 21.14.030.A, Q and F, respectively. A Design Approval is required pursuant to Title 21 section 21.44.030, as the project is located within a Design Control district. Additionally, because the project site is located within a Site Plan Review district, an Administrative Permit must be obtained pursuant to Title 21 section 21.45.040. As all necessary entitlements have been applied to this application; therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property, APN: 189-151-012-000, was created through a Minor Subdivision (MS-500), approved on April 16, 1968 by the County of Monterey Subdivision Committee. The subject parcel is shown in its current configuration on the Record of Survey titled "Division of A.P. 189-151-04 for Jeanette Ayres, in Parcel No. 3, Rancho Los Laureles". This Record of Survey was approved with the Minor Subdivision in April of 1968 and was filed with the recorder's office on October 30, 1968 in book 8 of surveys, page 140. Therefore, the County recognizes the subject lot as a legal lot of record. Under the current grant deed, there are four owners who all own a portion of interest of the property. One of the owners is the applicant, Renee Plog, all other owners have submitted letters stating their acknowledgement of the proposed project on their parcel.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control "D" overlay zoning district regulations contained in Title 21 Chapter 21.44, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The Carmel Valley Master Plan Policy CV-1.20 requires colors and materials of new structures to be compatible with structural system of the building and with the appearance of the building's natural and man-made surroundings. The proposed colors and materials include dark bronze metal siding, medium brown, natural wood siding and matte black accents around the doors and windows. Staff conducted a site visit to the property and surrounding area and

found the proposed colors and materials in other residential structures nearby. Therefore, the proposed colors and materials are compatible with the neighborhood character. Also consistent with Policy CV-1.20, the height and bulk of the three proposed structures are an appropriate scale for the area. Each structure is a single story and the ADU and garage/workshop are both located in front of the single family dwelling to shield the single family dwelling from Carmel Valley Road and give the illusion of less development. There are existing oak trees that line the property's edge along Carmel Valley Road, over 100 feet from the development area. These trees will remain following construction and will further shield the development.

- f) Development Standards. Development standards for the Low Density Residential Zoning District can be found in Title 21 section 21.14.060. The property is approximately 1.4 acres (62,197 square feet). The applicants are proposing one single family dwelling, consistent with the allowed density of 1 residential unit per acre. Lots zoned LDR that exceed 20,000 square feet are allowed a 25% lot coverage. The applicants are proposing a lot coverage of 4,529 square feet, or 13.7%. The proposed ADU is 960 square feet with a height of approximately 12 feet, consistent with the development standards for ADUs pursuant to Title 21 section 21.64.030, which allows a maximum size of 1,200 square feet and height of 16 feet. The allowed maximum height for main structures in LDR zoning districts is 30 feet and the proposed single family dwelling is well under the maximum with a proposed height of 12 feet and 5 inches. The proposed garage is also under the allowed a maximum height of 15 feet with a height of 13 feet and 5 inches. As the property front Carmel Valley Road, all structures are subject to a 100 foot front setback from the scenic road. The structure nearest the road is the ADU which is setback 104 feet, the garage/workshop and single family dwelling are behind the ADU and further exceed the 100 foot setback. The required rear setback for main structures is 20 feet, ADUs is 4 feet and accessory structures is 1 foot. The main dwelling is the closest structure to the rear property line and has a proposed rear setback of approximately 180 feet. All the proposed structures well exceed the required rear setback requirements. The required side setback for main structures is 10% of the average width of the lot, 17 feet in this case. The single family dwelling has proposed side setbacks of 36 and a half feet from the private road and utilities easement to the south and 23 and a half feet from the northern property line. The proposed non-habitable accessory structure also exceeds the required 6 foot side set back with side setbacks of over 30 feet in each direction. The ADU is required to have a 4 foot side setback, the proposed setbacks are 11 feet and 110 feet. Each structure is over 10 feet away from each other to satisfy the required minimum distance between structures. Therefore, the proposed project is consistent with all applicable site development standards.
- g) Manufactured Dwelling. The proposed single family dwelling and ADU are prefabricated structures that will be installed on permanent foundations. Per the County's definition in Title section 21.06.380, a manufactured dwelling unit is a dwelling structure, constructed in part

or in whole off the building site, including a mobile home meeting the standards of the National Manufactured Housing and Construction Safety Act of 1976, and subsequently transported to the site and installed on a permanent foundation. The proposed dwelling will be built to order and delivered to subject property once they have been completed in the factory. Therefore, they qualify as manufactured dwellings. Title 21 section 21.14.070.A states that manufactured dwellings meeting the standards of Title 21 section 21.64.040 are permitted subject to the requirements of any conventional dwelling unit in the LDR district. Title 21 section 21.64.040 requires the manufacture date of the manufactured dwellings be no more than 10 years from the date of the application for a permit to install the manufactured dwelling unit. As the proposed dwellings are built to order, they have not yet been built and will be constructed following the issuance of construction permits from the County. Manufactures homes are also required to use siding and roofing materials that are similar to other residences in the immediate area. As demonstrated above under Evidence “e”, the proposed materials are compatible with the neighborhood character and surrounding man-made structures. Therefore, the proposed manufactured dwellings are consistent with all applicable regulations and policies.

- h) Biological Resources. County GIS data identified potential habitat for Carmel Valley malacothrix on the subject parcel. Additionally, the construction site is approximately a quarter of a mile from the Camel River which is a known habitat for multiple special status species, including California Red Legged Frogs, which are known to travel up to two miles. Pursuant to Title 21 section 21.66.020, a Biological Report (LIB240085) was prepared for the project to evaluate potential impacts to nearby resources. The biologist conducted a pedestrian survey and did not identify any special status species or potential habitats onsite. The biologist stated their confidence that the proposed project will not have a significant impact on any special status species; they did not recommend further investigation or mitigation.
- i) Archaeological Resources. The project site is located in an area of high archaeological sensitivity; therefore, pursuant to Title 21 section 21.66.050, an Archaeological Assessment (LIB240084) was prepared to address potential impacts to culturally significant resources. No culturally sensitive materials were observed during the pedestrian survey and NWIC Records Search did not produce evidence for significant archaeological resources within the parcel either. The archaeologist recommended that the contractor be allowed to proceed with construction-related excavation proposed with the project with no archaeological conditions of approval or mitigation. However, due to the high archaeological sensitivity of the site, a standard condition of approval has been incorporated require work be halted if unidentified resources are accidentally uncovered.
- j) The project planner conducted a site visit on April 24, 2024 and reviewed aerial satellite imagery to verify that the project on the subject parcel conforms to the plans listed above.

- k) The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because the project does not include a Design Approval subject to a public hearing.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN230306.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Monterey County Regional Fire Protection District, HCD-Environmental Services, Environmental Health Bureau, and HCD-Engineering Services. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to biological resources, soil/slope stability and archaeological resources. The following reports have been prepared:
 - “Phase 1 Inventory of Archaeological Resources” (LIB240084) prepared by Ruben G. Mendoza, Salinas, CA, April 1, 2023.
 - “Biological Report” (LIB240085) prepared by Pat Regan, Carmel Valley, CA, February 1, 2024.
 - “Geotechnical Investigation” (LIB240086) prepared by Greg Bloom, Watsonville, CA, May 18, 2023.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) The project planner conducted a site visit on April 24, 2024 and reviewed aerial satellite imagery to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN230306.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed HCD-Planning, Monterey County Regional Fire Protection District, HCD-Environmental Services, Environmental Health Bureau, and HCD-Engineering Services. The respective agencies have recommended conditions, where appropriate, to ensure that the

project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) The applicants submitted a letter from California American Water dated March 6, 2023, verifying that the property maintains an existing connection to California American Water (CalAM) public domestic water utilities and that CalAM will service the proposed development.
- c) The applicants are proposing a new septic system with leach fields. The Environmental Health Bureau reviewed the Onsite Wastewater Treatment System (OWTS) Plan and Feasibility report and confirmed that as proposed, the OWTS will meet all required setbacks and is in a feasible location.
- d) The project planner conducted a site visit on April 24, 2024 and reviewed aerial satellite imagery to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN230306.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County HCD- Planning and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site visit on April 24, 2024, reviewed satellite aerial imagery and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230306.
-
5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts construction of small structures including single family dwellings and accessory structures.
- b) The proposed project qualifies for a Class 3 exemption because it is the construction of a 1,920 square foot manufactured dwelling, a 960 square foot manufactured accessory dwelling unit, a 727 square foot detached garage and associated site improvements. This small development project is consistent with the exemption parameters of CEQA Guidelines Section 15303 and therefore qualifies for a Class 3 exception.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:

- The location of a project site is not considered an environmentally sensitive area, the biological report concluded there were no environmentally sensitive species observed on or near the property during the site survey. Additionally, there were no potential habitat areas for special status species on the property;
 - Successive projects of the same type and in the same place (additions to a single-family dwelling on this lot) would not contribute to a significant cumulative impact. The property is currently vacant and does not contain any sensitive habitat areas, any future development would be constructed on an occupied parcel that has undergone human disturbance. At that point, the property would be even less likely to contain sensitive habitat that could be impacted by additional development;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1 and 2);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- d) Staff conducted a site visit on April 24, 2024 and reviewed satellite aerial imagery to verify that the site and proposed project meet the criteria for an exemption.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN230306.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Pursuant to Title 21 Section 21.80.040.A, an aggrieved party may appeal a decision of the Chief of Planning to the Planning Commission. The decision of the Planning Commission shall be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

- 1) Find the project Categorically Exempt pursuant to CEQA Guidelines section 15303 and no exceptions pursuant to section 15300.2 can be made; and
- 2) Approve an Administrative Permit and Design Approval to allow construction of a 1,920 square foot pre-manufactured single family dwelling on a permanent foundation with a 770 square foot uncovered deck, a 960 square foot pre-manufactured accessory dwelling unit on a permanent foundation with a 152 square foot uncovered deck, and a 727 square foot detached garage. Site improvements include the creation of a driveway and approximately 42 cubic yards of cut and 36 cubic yards of fill.

PASSED AND ADOPTED this 26th day of June, 2024.

DocuSigned by:

Melanie Beretti

F6C3AC03D7864E...

Melanie Beretti, AICP
Acting, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON **JULY 1, 2024**.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **JULY 11, 2024**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230306

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Administrative Permit and Design Approval (PLN230306) allows construction of a 1,920 square foot pre-manufactured single family dwelling on a permanent foundation with a 770 square foot uncovered deck, a 960 square foot pre-manufactured accessory dwelling unit on a permanent foundation with a 152 square foot uncovered deck, and a 727 square foot detached garage. Site improvements include the creation of a driveway and approximately 42 cubic yards of cut and 36 cubic yards of fill. The property is located at 270 W Carmel Valley Rd, Carmel Valley, (Assessor's Parcel Number 189-151-012-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit and Design Approval (Resolution Number 24-026) was approved by the Chief of Planning for Assessor's Parcel Number 189-151-012-000 on June 26, 2024. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection(s) to Carmel Valley Road. The design and construction is subject to the approval of the HCD-PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD-PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

7. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

<div>DIMENSIONING NOTES</div> <div>1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.) UNLESS OTHERWISE NOTED. SHEATHING IS NOT INCLUDED AS STRUCTURE IN DIMENSIONING. DIMENSIONS ARE TO FRAMING.</div> <div>2. DO NOT SCALE FROM DRAWINGS.</div> <div>3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY HOME EC PRIOR TO PROCEEDING WITH CONSTRUCTION.</div> <div>4. ALL NON-DIMENSIONED EXTERIOR DOORS AND WINDOWS SHALL BE OFFSET FROM WALLS TO ALLOW FOR (3) 2X4 STUDS AT THE JAMBS UNLESS OTHERWISE NOTED.</div> <div>5. ALL NON-DIMENSIONED INTERIOR DOORS SHALL BE OFFSET FROM THE HINGE-SIDE WALL TO ALLOW FOR (2) 2X4 STUDS AT THE JAMB. (U.O.N.)</div> <div>6. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div> <div>MISCELLANEOUS NOTES</div> <div>7. SOUND INSULATION REQUIRED IN ALL INTERIOR WALLS.</div> <div>8. PROVIDE 1.28 GALLONS OF WATER PER FLUSH TOILETS.</div> <div>9. WATER HEATERS SHALL BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL.</div> <div>10. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE REQUIRED QUALITY STANDARDS FOR INSULATION MATERIAL.</div> <div>11. EXTERIOR DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2' BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING THE LANDING SHALL NOT BE MORE THAN 8" BELOW THE THRESHOLD.</div> <div>12. AS REQUIRED BY AGENCY, AN APPROVED SEISMIC SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR GAS OR STRUCTURE CONTAINING THE FUEL GAS PIPING.</div> <div>13. FOR TYPICAL MOUNTING HEIGHTS OF DOOR HARDWARE, ELECTRICAL DEVICES AND MECHANICAL CONTROLS SEE DETAIL 7M-7.3 REFER TO DETAIL WHEN DIMENSIONS OF STATED ITEMS ARE NOT SHOWN IN ELEVATION.</div> <div>14. PROVIDE R-12 EXTERIOR BLANKET INSULATION FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS, AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RE-CIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.</div> <div>15. INSULATION VALUES SHALL BE AS FOLLOWS: ALL EXTERIOR WALLS = R-11 ROOF INSULATION = MINIMUM R-38 HIGH DENSITY BATT INSULATION IN FLOORS = R-30 INTERIOR BATH AND BEDROOM WALLS BATT INSULATION = R-13</div> <div>16. HANDRAILS AT STAIRS SHALL BE REQUIRED WHERE THERE ARE 4 OR MORE RISERS, AND NOT BE LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND NOSINGS OF TREADS.</div> <div>17. GRIPS ON RAILS SHALL HAVE A 1 1/2" MINIMUM AND 2" MAXIMUM DIAMETER OR OFFER EQUIVALENT GRIPPING SURFACE.</div> <div>18. GUARDRAILS AND HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 POUND POINT LOAD IN ANY DIRECTION.</div> <div>19. A COMPREHENSIVE REVIEW OF THE ENERGY COMPLIANCE CALCULATION AND DETAILS BASED ON CLIMATE ZONE AND BUILDING ORIENTATION WILL BE CONDUCTED BY THE LOCAL ENFORCEMENT AGENCY.</div> <div>20. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER</div> <div>21. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING: - COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR - A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2, OR - A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3, OR - THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4</div> <div>22. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</div> <div>23. EACH BATHROOM (WITH TUB OR SHOWER) SHALL INCLUDE FOLLOWING: - ENERGY STAR FANS DUCTED TO THE OUTSIDE OF THE BUILDING AND - FANS MUST BE CONTROLLED BY A HUMIDITY CONTROLLER OR FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM AND - HUMIDITY CONTROLS MUST HAVE A MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT, CAPABLE OF ADJUSTING BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN OR EQUAL TO 50% UP TO A MAXIMUM OF 80%.</div> <div>24. DUCT SYSTEMS ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 OR EQUIVALENT - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 OR EQUIVALENT - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT</div> <div>25. INSTALL A CONDUIT SIZED FOR A DEDICATED 208/240 VOLT BRANCH CIRCUIT FOR A FUTURE EV CHARGING STATION OR OUTLET. THE BREAKER AT THE ELECTRICAL PANEL SHALL HAVE A LABEL "EV CHARGER" AND THE STATION OR OUTLET SHALL ALSO BE LABELED WITH "EV"</div> <div>NOTES NO SCALE</div> <div>11</div> <div>ADVISORY:</div> <div>The proposed residence is a Factory Built Home and is regulated under the California Health and Safety Codes, Division 1, Part 6. Please note that the following stamp is affixed to all sheets except the "Local" requirements sheets.</div> <div>Twining Consulting Inc. dba. RADCO APPROVED FACTORY-BUILT HOUSING These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 6 and the regulations adopted pursuant thereto. Approvals herein does not authorize or approve any omission of deviation from State laws or valid local ordinances nor it is applicable to movement of units over highways, county roads or city streets. Foundation Design is Not Approved Occupancy RS 20 psf 91 mph C By: <i>Yafef Shaul</i> Approval Date: 6/30/2023 Expiration Date: 6/30/2026 Plan Approval No. RAD-59-1159</div> <div>Twining Consulting Inc. dba. RADCO APPROVED FACTORY-BUILT HOUSING These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 6 and the regulations adopted pursuant thereto. Approvals herein does not authorize or approve any omission of deviation from State laws or valid local ordinances nor it is applicable to movement of units over highways, county roads or city streets. Foundation Design is Not Approved Occupancy RS 20 psf 91 mph C By: <i>Yafef Shaul</i> Approval Date: 6/30/2023 Expiration Date: 6/30/2026 Plan Approval No. RAD-59-1159</div> <div>RESUME OF WORK: ON SITE (POST-DELIVERY) NO SCALE</div> <div>7</div> <div>RADCO APPROVAL NO SCALE</div> <div>10</div> <div>REGULATING CODES: 2023 CBCS</div> <div>- CA RESIDENTIAL CODE - CA ELECTRICAL CODE - CA MECHANICAL CODE - CA PLUMBING CODE - CA ENERGY CODE - CALGREEN CODE</div> <div>APPLICABLE CODES NO SCALE</div> <div>9</div> <div>21. EROSION AND SEDIMENTATION CONTROL NOTES A) FOLLOW ALL DIRECTIONS OF EROSION CONTROL PLAN PER BMPs AND ALL RELATED COUNTY REQUIRED MEASURES</div> <div>22. GRADING A) REVIEW SOILS REPORT AND GRADING RECOMMENDATIONS (IF APPLICABLE) B) GRADING/ EXCAVATION FOR FOOTINGS, CRAWLSPACE, TRENCHING, DRIVEWAY C) BACKFILL AND COMPACT ALL SOIL REMOVED FOR UTILITY TRENCHING AND FOOTINGS</div> <div>23. FOUNDATIONS A) CONCRETE FOUNDATION FOOTINGS FOR HOUSE B) STEM WALLS AND PIERS PER PLAN C) FOUNDATION VENTS D) CRAWLSPACE ACCESS DOOR E) INSTALL CLASS I VAPOR RETARDER AT CRAWLSPACE AND DRAINS AS REQUIRED F) CONCRETE PAD FOR CONDENSER(S)</div> <div>24. STEEL A) SUPPLY AND INSTALL WELD PLATES AT TOP OF STEM WALLS AND PIERS</div> <div>25. UTILITY INFRASTRUCTURE A) SEWER: - RUN SANITARY SEWER LINE FROM PROPERTY LINE TO STUB UP/POINT OF CONNECTION(S) IN CRAWLSPACE - COORDINATE WITH LOCAL RESPONSIBLE AGENCY IF NEW SEWER LATERAL WILL BE REQUIRED - INSTALL SEPTIC SYSTEM (IF APPLICABLE) B) WATER: - RUN WATER MAIN SERVICE LINE FROM WATER METER TO MANIFOLD/ SHUT OFF VALVE OUTSIDE CRAWLSPACE AND SUPPLY STUB UPS/ POINTS OF CONNECTION FOR DOMESTIC SERVICES AND FIRE SPRINKLER SERVICE - COORDINATE METER SIZE AND MAIN LINE SIZE REQUIREMENTS WITH LOCAL UTILITY COMPANY AND FIRE SPRINKLER REQUIREMENTS - COORDINATE LOCATION OF EXTERIOR HOSE BIBS - IF PROPERTY IS ON WATER WELL, INSTALL WATER WELL, TANKS, PUMPS, (IF APPLICABLE) C) ELECTRICAL: - INSTALL PIPE SLEEVE AND STUB UP/ POINT OF CONNECTION IN CRAWLSPACE TO PULL FUTURE ELECTRICAL SERVICE INTO CRAWLSPACE - COORDINATE SERVICE REQUIREMENTS AND SERVICES SIZE WITH LOCAL POWER COMPANY - IF ADDITIONAL STRUCTURES ON SITE (GARAGE, CARPORT), RUN UNDERGROUND CONDUIT FROM CRAWLSPACE OR MAIN SERVICE PANEL TO THOSE LOCATIONS - INSTALL TEMPORARY POWER, COORDINATE WITH LOCAL POWER COMPANY D) FIRE: - COORDINATE FIRE SAFETY REQUIREMENTS (DRIVEWAYS, TURNOUTS, HYDRANTS, WATER SUPPLY WITH LOCAL FIRE DEPARTMENT)</div> <div>26. SITE DRAINAGE A) INSTALL SUBSURFACE DRAINAGE AND/OR WATER CATCHMENT SYSTEMS PER PLANS AND/OR LOCAL REQUIREMENTS B) SUPPLY AND INSTALL ALL SITE DRAINAGE AS REQUIRED, INCLUDING DRAINAGE OUTLET FOR CRAWLSPACE AND SUBDRAIN AS RECOMMENDED BY GEOTECHNICAL REPORT</div> <div>BEFORE CONNECT HOMES CAN SCHEDULE THE DELIVERY OF THE HOME THE FOLLOWING REQUIREMENTS MUST BE MET: - FOUNDATIONS COMPLETE - STAGING AREA FOR CRANE AND TRUCKS CLEAR OF ALL DEBRIS - NO OPEN TRENCHES - TEMPORARY POWER - TEMPORARY TOILET - ANY DISTURBED OR EXCAVATED AREAS ON SITE WITHIN THE CONNECT HOMES WORK ZONE (FOR CRANE, TRUCKS AND ALL AROUND THE FOUNDATION) TO BE BACKFILLED AND COMPACTED BEFORE DELIVERY.</div> <div>NOTE: CONNECT HOMES STRONGLY ADVISES NOT COMPLETING DRIVEWAYS WITH FINISH MATERIALS PRIOR TO MODULE DELIVERY TO AVOID POTENTIAL ROAD WEAR</div> <div>RESUME OF WORK : ON SITE (PRE-DELIVERY) NO SCALE</div> <div>8</div> <div>LOCAL GC OR OWNER POST-DELIVERY SCOPE OF WORK:</div> <div>1. FOUNDATIONS A) CONCRETE PADS FOR SITE-BUILT STAIRS, DECKS B) FINISH SLAB FOR CARPORT/ GARAGE (IF APPLICABLE) C) CRAWLSPACE WELL ACCESS COVER (IF APPLICABLE)</div> <div>2. UTILITY INFRASTRUCTURE A) SEWER: - INSTALL SANITARY DRAINAGE BRANCH IN CRAWLSPACE CONNECTING SANITARY DRAIN/WASTE/VENT STUB DOWNS UNDER HOUSE AND CONNECT TO SANITARY DRAINAGE STUB UP IN CRAWLSPACE. - PROVIDE ACCESSIBLE END OF LINE CLEAN OUTS PER CODE REQUIREMENTS. B) WATER: - CONNECT WATER SERVICE LINE TO STUB DOWN IN CRAWLSPACE AND CONNECT FIRE SPRINKLER RISER STUB DOWNS UNDER HOUSE TO STUB UP IN CRAWLSPACE, INSTALL HOSE BIBS C) ELECTRICAL: - COORDINATE ELECTRIC METER LOCATION AND SIZE OF SERVICE WITH LOCAL UTILITY COMPANY - SUPPLY AND INSTALL MAIN ELECTRICAL PANEL AND RUN OVERHEAD OR UNDERGROUND SERVICE TO METER - CONNECT ELECTRIC SERVICE FROM MAIN SERVICE PANEL TO SUB PANELS - RUN SERVICE TO CONDENSER (IF APPLICABLE) - IF ADDITIONAL STRUCTURES ON SITE (GARAGE/ CARPORT), RUN ELECTRIC SERVICE TO THEM D) COORDINATE DIRECTLY WITH THE LOCAL TELEPHONE AND CABLE PROVIDERS SERVICING THE AREA TO PROVIDE SERVICE FOR THE HOME, INCLUDING THE INSTALLATION OF TELEPHONE AND CABLE PANELS AND THE PULLING OF LOW VOLTAGE WIRES CONNECTING THE DEVICES INSIDE THE HOUSE TO THE PANELS (IF APPLICABLE) E) COORDINATE INSTALL OF SOLAR PANELS WITH SOLAR PANEL SUB CONTRACTOR, COORDINATE WITH LOCAL UTILITY COMPANY (IF APPLICABLE)</div> <div>3. GRADING A) COMPLETE BACKFILL AND FINISH GRADING</div> <div>4. SITE FEATURES (CHECK PLANS TO SEE IF APPLICABLE) A) GARAGE SLAB B) SITE DECKS AND STAIRS C) LID/ WATER CATCHMENT SYSTEMS D) HARDSCAPES E) GATES, FENCING F) DRIVEWAY</div> <div>5. SITE DRAINAGE A) CONNECT DOWNSPOUTS TO SUBSURFACE DRAINS, RAIN BARRELS, OR SUPPLY AND INSTALL SPLASH BLOCKS (IF APPLICABLE)</div> <div>ADDITIONAL NOTES: - LOCAL GC OR OWNER WILL MAINTAIN A TEMPORARY TOILET, TEMPORARY POWER, JOBSITE FENCING AND SECURITY AND WILL BE RESPONSIBLE FOR HAULING ANY TRASH AND CONSTRUCTION DEBRIS DURING THE COURSE OF ON-SITE WORK AS WELL AS DURING CONNECT HOMES' INSTALLATION SERVICES ON SITE. - LOCAL GC OR OWNER WILL BE RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF ALL LOCAL JURISDICTION INSPECTIONS, PUBLIC INSPECTIONS, DEPUTY INSPECTIONS AND STRUCTURAL OBSERVATIONS AT THE SITE THAT ARE REQUIRED BY THE LOCAL JURISDICTION BUILDING DEPARTMENT OR AGENCY FOR THE WORK THEY PERFORM.</div> <div>RESUME OF WORK: ON SITE (PRE-DELIVERY) NO SCALE</div> <div>5</div> <div>PROJECT DESCRIPTION</div> <div><ul style="list-style-type: none">1,920 SF FACTORY BUILT HCD APPROVED SINGLE FAMILY DWELLING, SITE BUILT FOUNDATION, AND SITE BUILT DECK960 SF FACTORY BUILT HCD APPROVED ADU W/ SITE BUILT FOUNDATION AND SITE BUILT DECK</div> <div>PARCEL INFORMATION</div> <div>SITE ADDRESS: 270 W. CARMEL VALLEY RD, CARMEL VALLEY, CA 93924 APN: 189-151-012 ZONING: LDR/1-D-S-RAZ LOT SIZE: 1.4 ACRE (62,197 SF) CONSTRUCTION TYPE: V-B SRA/WUI ZONE: NO / YES FLOOD PRONE URBAN AREA: NO CLIMATE ZONE: 3 OCCUPANCY: GROUP R3</div> <div>PROPOSED: SFD (CONNECT 6L - M) AREA 1,920 SF REMARK CONDITIONED SPACE FACTORY BUILT 1-STORY SFD 770 SF SITE BUILT UNCOVERED DECKS 2,690 SF TOTAL</div> <div>ADU (CONNECT 3) FACTORY BUILT 1-STORY ADU 960 SF REMARK CONDITIONED SPACE SITE BUILT UNCOVERED DECKS 152 SF TOTAL 1,112 SF</div> <div>LOT COVERAGE:</div> <div>BUILDING SITE COVERAGE, MAXIMUM: TWENTY-FIVE (25) PERCENT ON LOTS OF TWENTY THOUSAND (20,000) SQUARE FEET OR MORE.</div> <div>PROPOSED LOT COVERAGE: 62,197 SF / 4,529 SF = 13.7% a) FACTORY BUILT SINGLE STORY HOUSE: 1,920 SF b) FACTORY BUILT SINGLE STORY ADU: 960 SF c) SITE BUILT GARAGE: 727 SF d) SITE BUILT DECKS: 922 SF (770 SF FOR HOUSE + 152 SF FOR ADU)</div> <div>TOTAL (a+b+c+d) 4,529 SF</div> <div>FAR: NOT APPLICABLE</div> <div>HEIGHT:</div> <div>HEIGHT LIMIT, HOUSE / ADU: 30' / 15' PROPOSED HEIGHT, HOUSE / ADU: 12'-5" / 12' - 1"</div> <div>SETBACKS:</div> <div>REQUIRED SETBACKS, HOUSE / ADU: CARMEL VALLEY ROAD SETBACK: 100' FRONT YARD SETBACK: 30' / 50' SIDE YARD SETBACK: TEN (10) PERCENT OF THE AVERAGE LOT WIDTH, TO A MAXIMUM REQUIRED OF TWENTY (20) FEET / 6' 20' / 6' REAR YARD SETBACK:</div> <div>PROPOSED SETBACKS, HOUSE / ADU: FRONT YARD: APPROX. 156' - 3/4" / 104' - 11" SIDE YARD: APPROX. 23 - 6 1/4" & 56' - 6 3/4" / 10' - 7 3/4" & 109' - 6 3/4" REAR YARD: APPROX. 179' - 1 1/4" / 263' - 4 3/4"</div> <div>PARKING REQUIREMENTS, HOUSE / ADU: REQUIRED: 2 SPACES/UNIT / NOT REQUIRED PROVIDED: 2 COVERED, BY OTHERS / 1 UNCOVERED</div> <div>NOTE: FOR DESIGN LOADS, WIND CRITERIA AND SEISMIC CRITERIA SEE SHEET S-10</div> <div>RESUME OF WORK: ON SITE (PRE-DELIVERY) NO SCALE</div> <div>8</div> <div>RESUME OF WORK: IN FACTORY NO SCALE</div> <div>5</div> <div>RESUME OF WORK: FINAL INSTALLATION NO SCALE</div> <div>3</div> <div>ARCHITECT: Jared Levy (Home Ec, Inc.) 706 S. Hill St. #706 Los Angeles, CA 90014 323 697 2386 TEL info@connect-homes.com</div> <div>GENERAL CONTRACTOR: TBD</div> <div>OWNER: Brook & Renee Plog 274 W. Carmel Valley Rd. Carmel Valley, CA 93924 925 890 8176 TEL brookplog@gmail.com</div> <div>STRUCTURAL ENGINEER: Reza Shabani, M.Eng., M.Sc., P.E. 8th ST. CONSTRUCTION & CONSULTING 619 906 0202 TEL reza@8thstreets.com</div> <div>SURVEYOR: Landset Engineers, Inc. 520-B Crazy Horse Canyon Road, Salinas, CA 93907 831 443 6970 TEL www.landseteng.com</div> <div>GEOTECH: Butano Geotechnical Engineers, Inc. 404 Westridge Drive, Watsonville, CA 95076 831 724 2612 TEL www.butanogeotech.com</div> <div>CIVIL: TBD</div> <div>ARCHITECTURAL SET - LOCAL</div> <div>Sheet Number Sheet Name</div> <div>L-0.1 TITLESHEET</div> <div>L-0.2 LOCAL SET - FINISH + MATERIAL SCHEDULE</div> <div>L-1.0 SITE SURVEY</div> <div>L-1.1 SITE PLAN</div> <div>L-1.2 ROOF AND DRAINAGE PLAN</div> <div>L-1.3 EROSION CONTROL PLAN & NOTES</div> <div>L-1.4 GRADING PLAN</div> <div>L-2.0 ARCHITECTURAL FOUNDATION PLAN C6L SFD</div> <div>L-2.1 ARCHITECTURAL FOUNDATION PLAN C3 ADU</div> <div>L-2.3 UTILITY PLAN C6L SFD</div> <div>L-2.4 UTILITY PLANS C3 ADU</div> <div>L-3.0 FINISH FLOOR PLAN C6L SFD</div> <div>L-3.1 FINISH FLOOR PLAN C3 ADU</div> <div>L-4.0 EXTERIOR BUILDING ELEVATIONS C6L SFD</div> <div>L-4.1 EXTERIOR BUILDING ELEVATIONS</div> <div>L-4.2 BUILDING SECTIONS C6L SFD</div> <div>L-4.3 BUILDING SECTIONS C3 ADU</div> <div>L-5.0 TITLE 24 DOCUMENTATION C6L SFD</div> <div>L-5.1 TITLE 24 DOCUMENTATION C6L SFD</div> <div>L-5.2 TITLE 24 DOCUMENTATION C3 ADU</div> <div>L-5.3 TITLE 24 DOCUMENTATION C3 ADU</div> <div>ATTACHED DOCUMENTATION FOR LOCAL SUBMITTAL: - STRUCTURAL CALCULATIONS FOR SITE WORK - BPC-059-RESIDENTIAL-NEW-CONSTRUCTION-2016-CALGREEN-CHECKLIST - GEOTECHNICAL EXPLORATION SOILS REPORT - PLAN REVIEW LETTER FROM THE GEOTECHNICAL ENGINEER - SPECIAL INSPECTION FORM - STRUCTURAL CALCULATIONS FOR FACTORY BUILT DWELLING (HCD APPROVED) - CALGREEN MANDATORY FORMS AND CUTSHEETS (HCD APPROVED) - TITLE 24 FORMS (HCD APPROVED)</div> <div>HCD APPROVED SHEETS FOR REFERENCE</div> <div>HCD APPROVED - FACTORY BUILT HOUSING SET C6L(M)</div> <div>Sheet Number Sheet Name</div> <div>M-0.1 TITLE SHEET (STATE APPROVAL)</div> <div>M-0.2 SCHEDULES - MATERIALS AND FINISHES</div> <div>M-0.3 SCHEDULES - DOOR AND WINDOW</div> <div>M-2.0 FLOOR PLAN</div> <div>M-3.0 EXTERIOR ELEVATIONS</div> <div>M-3.1 SECTIONS</div> <div>M-4.0 INTERIOR ELEVATIONS</div> <div>M-4.1 INTERIOR ELEVATIONS</div> <div>M-4.2 INTERIOR ELEVATIONS</div> <div>M-5.1 MANUFACTURE DETAILS - SECTIONS AND PLANS</div> <div>M-7.1 PLUMBING PLANS</div> <div>M-7.2 MECHANICAL PLANS AND SCHEDULES</div> <div>M-7.3 ARCHITECTURAL LIGHTING, POWER, AND RCPS</div> <div>M-7.4 ARCHITECTURAL FIRESPRINKLER PLAN</div> <div>F-5.1 FINISH DETAILS - SECTIONS AND PLANS</div> <div>S-1.0 STRUCTURAL NOTES</div> <div>S-2.0 STRUCTURAL PLANS - FLOOR AND ROOF PLANS</div> <div>S-2.1 STRUCTURAL PLANS - MODULES 01 - 04</div> <div>S-2.2 STRUCTURAL PLANS - MODULES 05 - 07</div> <div>S-2.3 STRUCTURAL PLANS - OVERALL ROOF</div> <div>S-3.0 STRUCTURAL STEEL DETAILS</div> <div>S-4.0A STRUCTURAL FRAMING DETAILS</div> <div>S-4.0B STRUCTURAL FRAMING DETAILS</div> <div>S-5.0 SYSTEM FOUNDATION DETAILS (GENERAL SITE)</div> <div>HCD APPROVED - FACTORY BUILT HOUSING SET C3 ADU</div> <div>Sheet Number Sheet Name</div> <div>M-0.1 TITLE SHEET (STATE APPROVAL)</div> <div>M-0.2 MATERIALS AND FINISHES - MANUFACTURE SET</div> <div>M-0.3 SCHEDULES - DOOR AND WINDOW</div> <div>M-2.0 FLOOR AND ROOF PLANS</div> <div>M-3.0 EXTERIOR ELEVATIONS</div> <div>M-3.1 BUILDING SECTIONS</div> <div>M-4.0 INTERIOR ELEVATIONS</div> <div>M-4.1 INTERIOR ELEVATIONS</div> <div>M-5.1 MANUFACTURE DETAILS - SECTIONS AND PLANS</div> <div>M-7.0 PLUMBING SCHEDULES AND NOTES</div> <div>M-7.1 MECHANICAL PLANS AND SCHEDULES</div> <div>M-7.2 ARCHITECTURAL ELECTRICAL PLANS AND SCHEDULES</div> <div>M-7.3 ARCHITECTURAL FIRESPRINKLER PLAN</div> <div>F-5.1 FINISH DETAILS - SECTIONS AND PLANS</div> <div>S-2.0 STRUCTURAL PLANS - FLOOR, ROOF AND MOD PLANS</div> <div>S-2.1 STRUCTURAL PLANS - FLOOR, ROOF AND MOD PLANS</div> <div>S-2.2 STRUCTURAL ROOF FRAMING - PLANS AND SECTIONS</div> <div>S-3.0 STRUCTURAL STEEL DETAILS</div> <div>S-4.0A STRUCTURAL FRAMING DETAILS</div> <div>S-4.0B STRUCTURAL FRAMING DETAILS</div> <div>DATE ISSUED</div> <div>MODEL HOME CONNECT 6L+ CONNECT 3</div> <div>SHEET SET LOCAL</div> <div>SHEET TITLE TITLESHEET</div> <div>SHEET, SHEET / MODEL SET, NUMBER / HOME</div> <div>L-0.1</div>

CONNECT HOMES[®]

304 S BROADWAY # 320
LOS ANGELES, CA 90013
t: 310.622.9271
e: info@connect-homes.com

CONNECT 6L(M) + CONNECT 3: PLOG
RESIDENCE
270 W. CARMEL VALLEY RD, CARMEL VALLEY, CA 93924

DATE ISSUED

LEGAL DISCLOSURE
The house design, drawings and specifications contained herein are provided herewith as the exclusive property of Home EC, Inc., Copyright 2019. The use of these drawings and specifications shall be restricted to the creation of a Home EC product and shall not be used in any part for any purposes for which they were not intended without the express written consent of Home EC, Inc. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these designs, drawings and specifications shall remain with Home EC, Inc. without prejudice. Visual conflict with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

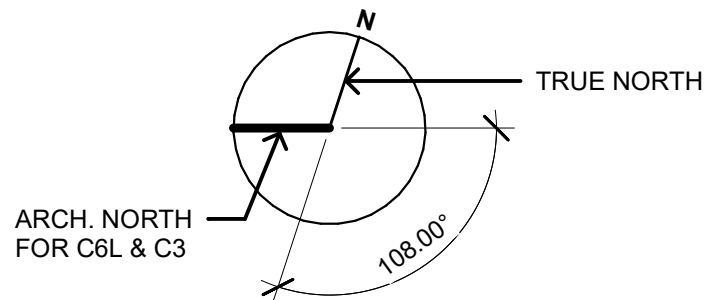
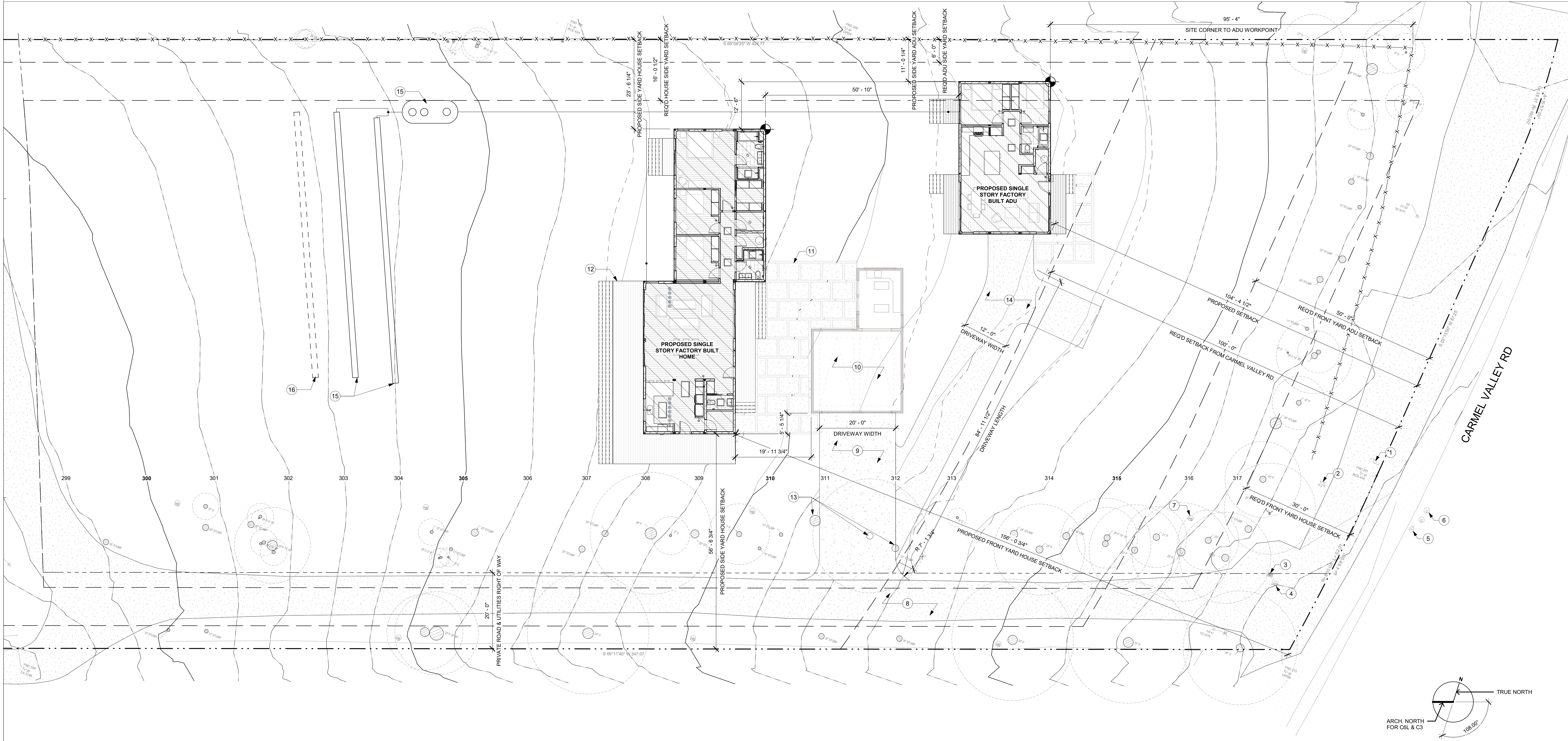
MODEL HOME
CONNECT 6L+
CONNECT 3

SHEET SET
LOCAL

SHEET TITLE
TITLESHEET

SHEET, SHEET / MODEL
SET, NUMBER / HOME

L-0.1



SITE PLAN
3/32" = 1'-0"

2

NOTE #	NOTE TEXT
1	(E) UTILITY POLE
2	(E) FIRE HYDRANT
3	(E) WATER METER
4	(E) WATER SERVICE
5	(E) WATER VALVE
6	(E) UNKNOWN UTILITY, TYP.
7	(E) HOSE BIB
8	(E) DRIVEWAY
9	(N) PROPOSED CONCRETE DRIVEWAY
10	(N) SITE BUILT GARAGE
11	(N) SITE BUILT PAVERS
12	(N) SITE BUILT UNCOVERED DECK, TYP. TO BE REMOVED
13	(N) PROPOSED COMPRESSED GRAVEL DRIVEWAY
14	(N) OWTS. SEE WASTEWATER SYSTEM SHEETS
15	(N) TERTIARY LEACHFIELD. SEE WASTEWATER SYSTEM SHEETS
15	(N) PRIMARY AND SECONDARY LEACHFIELD TRENCHES. SEE WASTEWATER SYSTEM SHEETS
16	(N) PRIMARY AND SECONDARY LEACHFIELD TRENCHES. SEE WASTEWATER SYSTEM SHEETS

LEGEND

- FACTORY BUILT SCOPE. REFER TO HCD APPROVED SET (M-SHEETS) FOR MORE INFO.
- (E) TREE OR STUMP. DIAMETER AND SPECIES AS NOTED
- FOUNDATION WORKPOINT
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- (E) FENCE
- PROPOSED CONTOURS
- (E) HOSE BIB

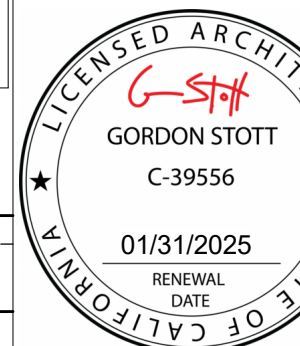
SHEET NOTES
NO SCALE

3

SITE PLAN LEGEND
NO SCALE

1

DATE ISSUED



Legal Disclaimer:
The house design, drawings and specifications contained herein and provided herewith are the exclusive property of Home EC, Inc. Copyright 2018. The use of these drawings and specifications shall be restricted to the creation of a Home EC product and shall not be used, in whole or in part, for any purpose for which they were not intended without the express written consent of Home EC, Inc. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these designs, drawings and specifications shall remain with Home EC, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

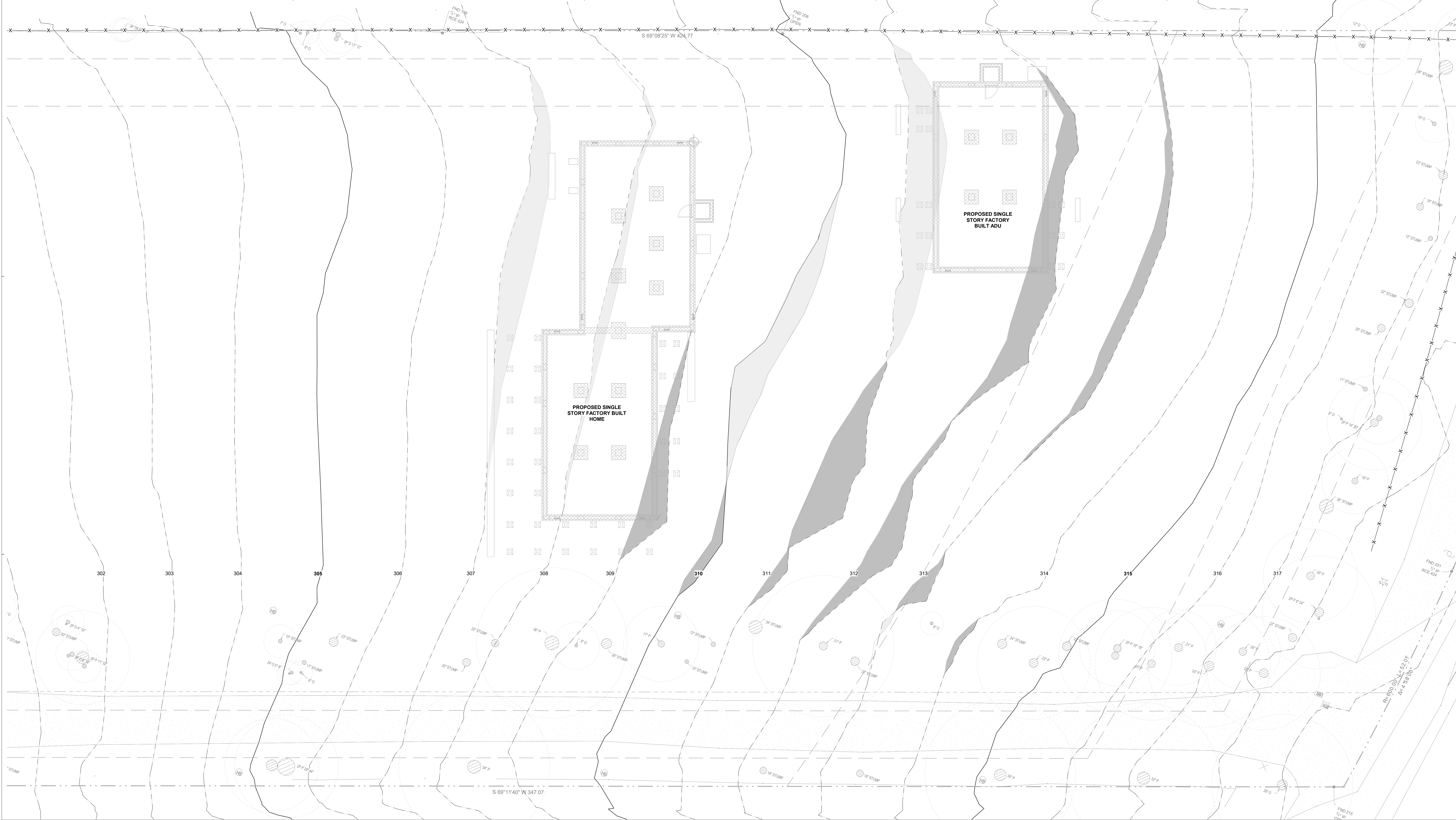
MODEL HOME
CONNECT 6L+
CONNECT 3

SHEET SET
LOCAL

SHEET TITLE
SITE PLAN

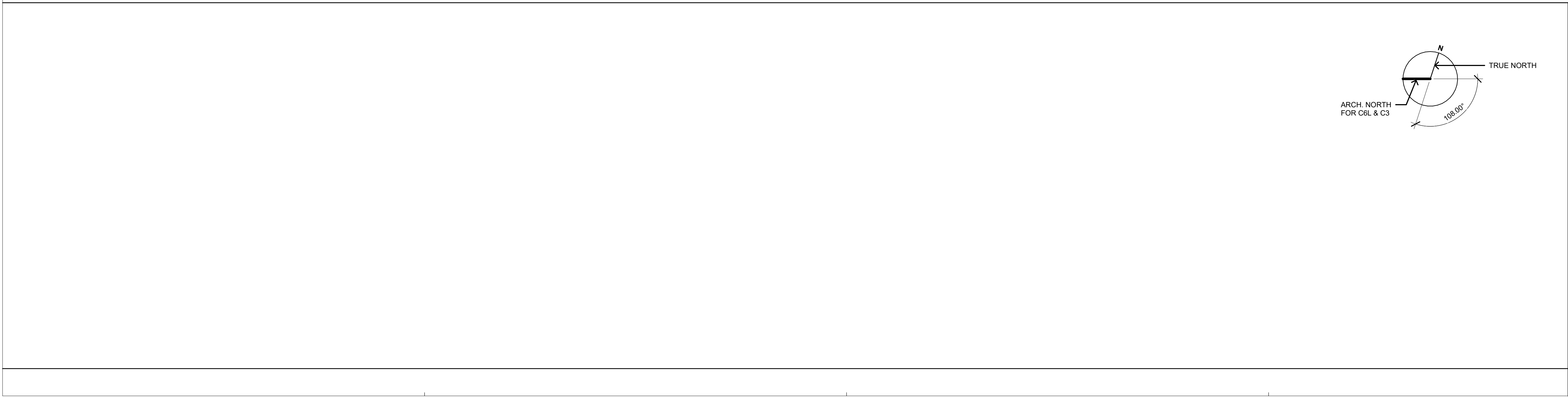
SHEET SET SHEET / MODEL
SET NUMBER HOME

L-1.1



GRADING PLAN
1/8" = 1'-0"

2



GRADING SCHEDULE		
Cut	Fill	Net cut/fill
42.39 CY	35.78 CY	-6.60 CY

LEGEND

▨ SITE BUILT SCOPE

○ (E) TREE OR STUMP
DIAMETER AND SPECIES AS NOTED

⊕ FOUNDATION WORKPOINT

— — — — — PROPERTY LINE

— — — — — SETBACK LINE

— — — — — EASEMENT LINE

— X — X — (E) FENCE

— — — — — PROPOSED CONTOURS

⊕ (E) HOSE BIB

■ SITE CUT

■ SITE FILL

CUT/FILL SCHEDULE
NO SCALE

SITE PLAN LEGEND
NO SCALE

3

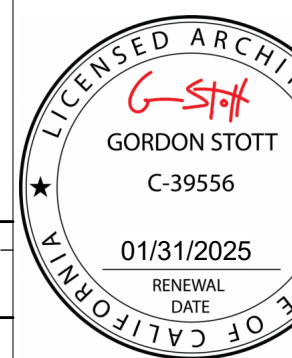
1



304 S BROADWAY, #320
LOS ANGELES, CA 90013
t: 310.623.271
e: info@connect-homes.com

**CONNECT 6L(W) + CONNECT 3: PLOG
RESIDENCE**
270 W. CARMEL VALLEY RD. CARMEL VALLEY, CA 93924

DATE ISSUED



Legal Disclaimer:
The house design, drawings and specifications contained herein and provided hereunder are the exclusive property of Home EC, Inc. Copyright 2018. The use of these drawings and specifications shall be restricted to the creation of a Home EC project and shall not be used, in whole or in part, for any purposes for which they were not intended without the express written consent of Home EC, Inc. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these designs, drawings and specifications shall remain with Home EC, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

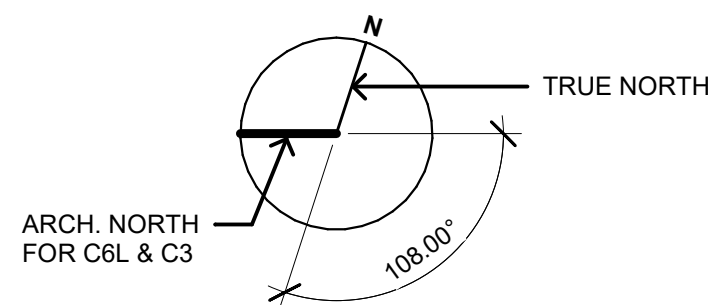
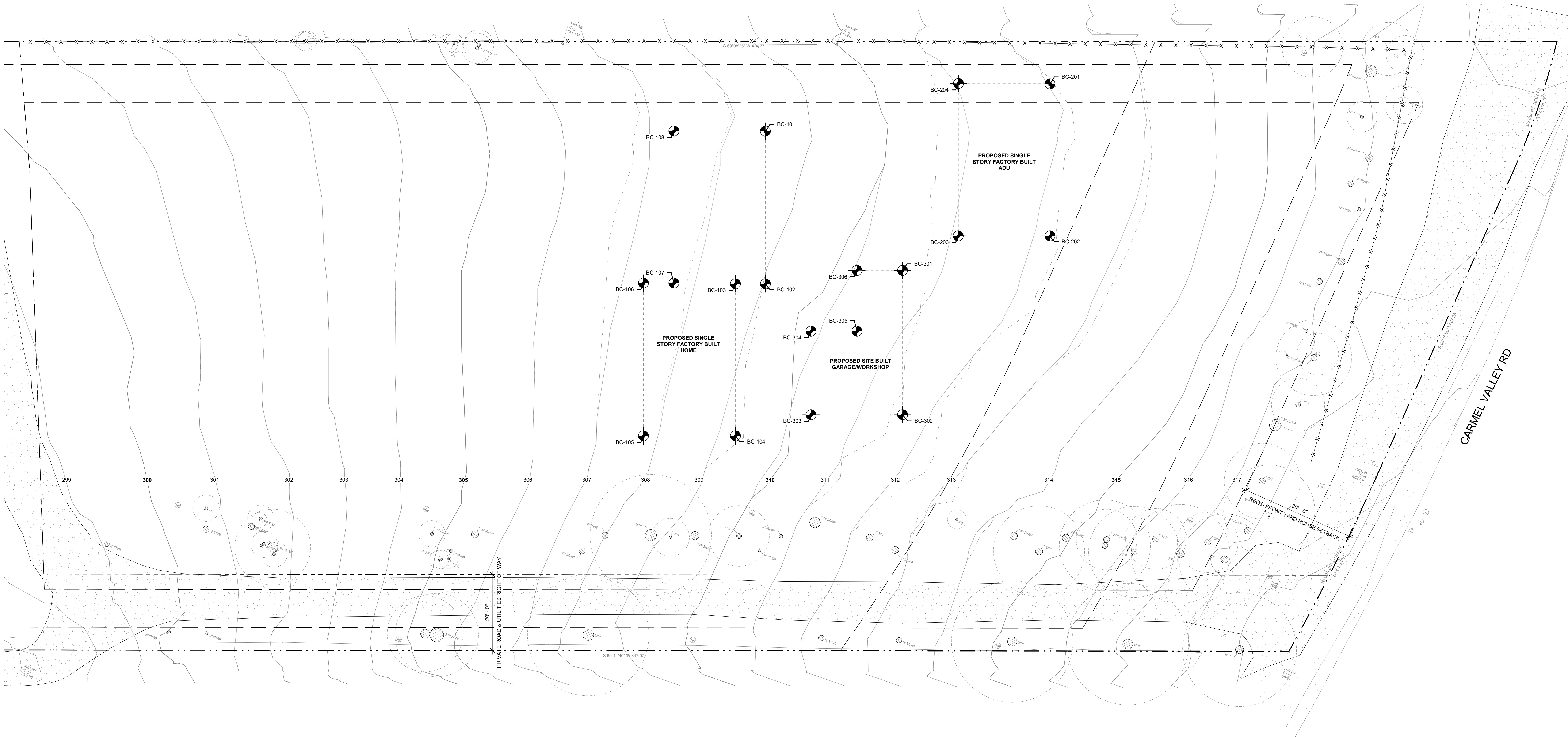
MODEL HOME
CONNECT 6L+
CONNECT 3

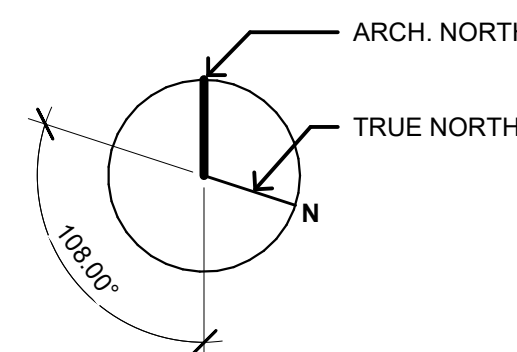
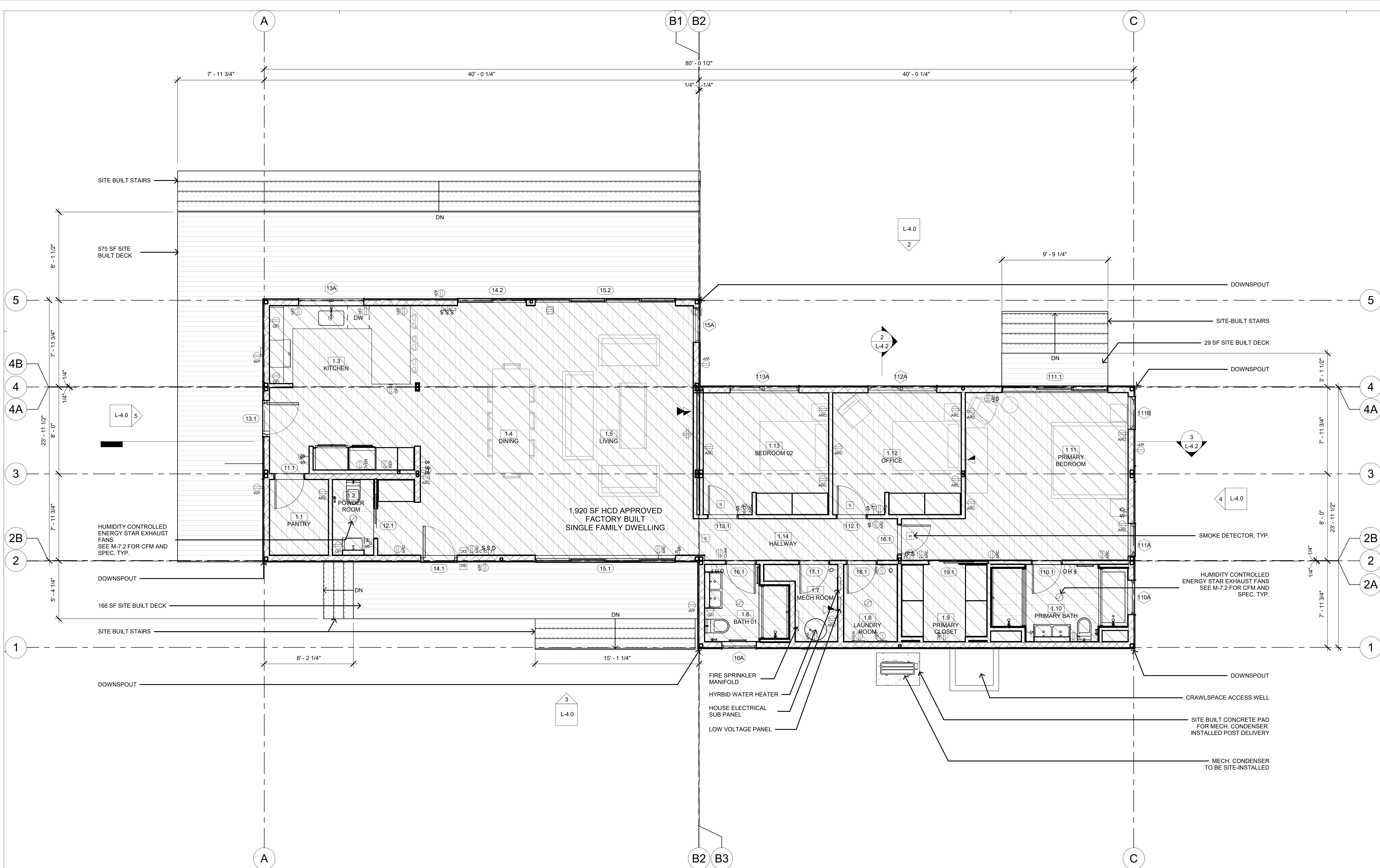
SHEET SET
LOCAL

SHEET TITLE
GRADING PLAN

SHEET SET / MODEL
NUMBER / HOME

L-1.4





NOTE:

- GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
- ALL DOORS EXIT OUT ONTO SITE-BUILT LANDINGS
- ALL DIMENSIONS TO FACE OF STRUCTURE

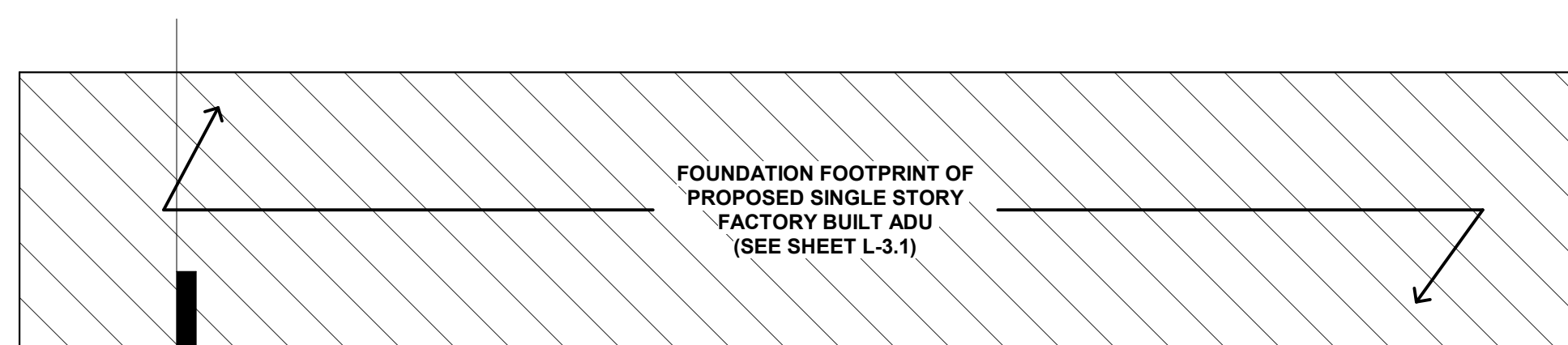
WALL LEGEND

- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- FACTORY BUILT SCOPE, REFER TO HCD APPROVED SET (M-SHEETS) FOR MORE INFO.

- S SMOKE/ CARBON MONOXIDE DETECTOR COMBO DEVICE
- SMOKE/ CO DEVICES SMOKE ARE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

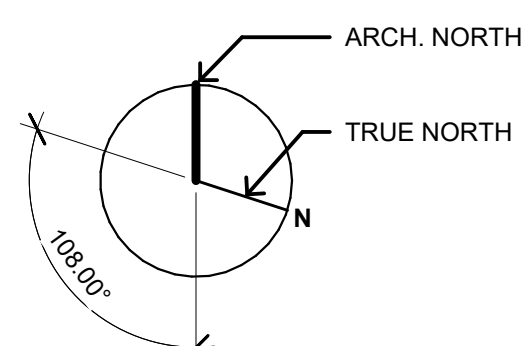
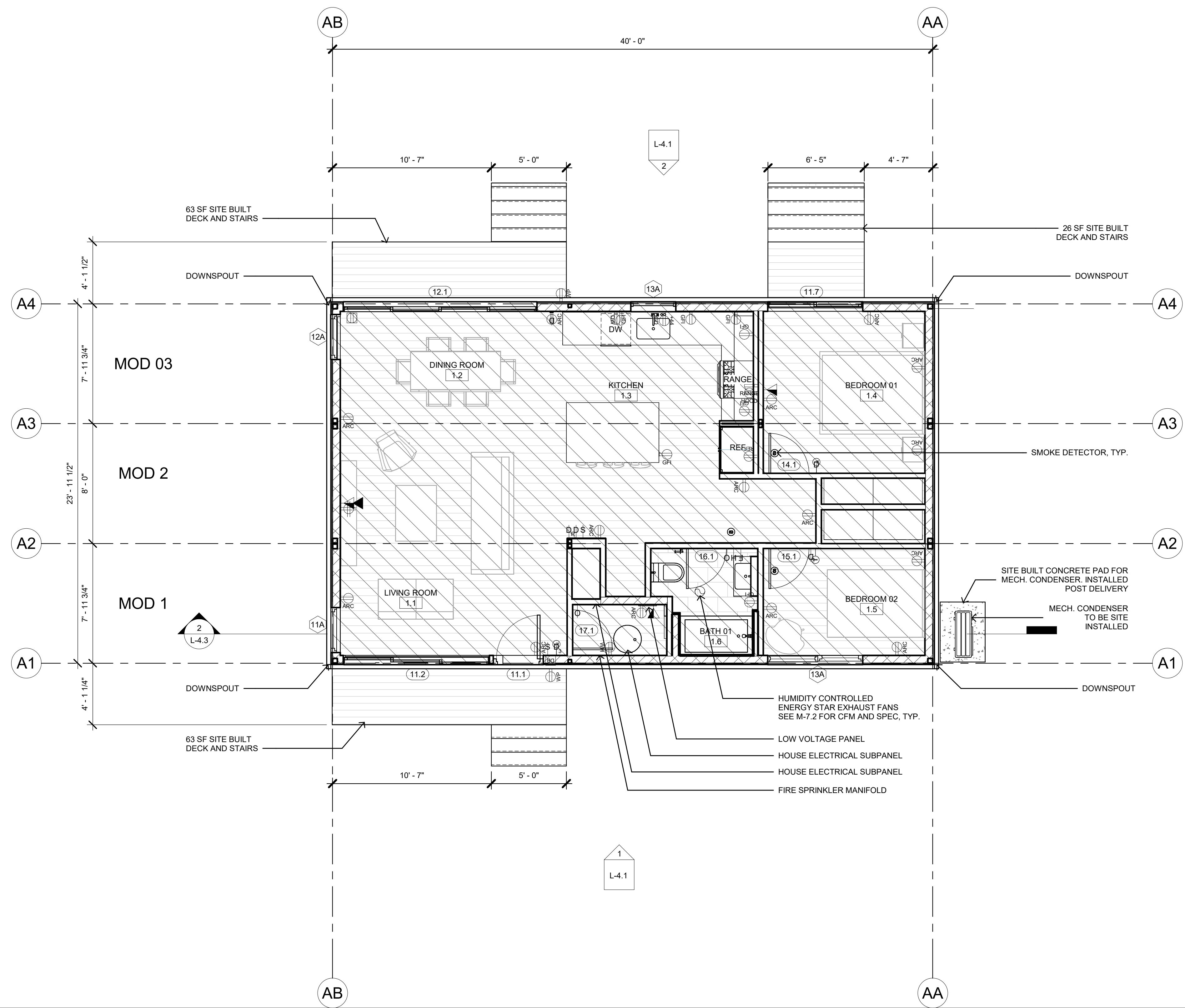
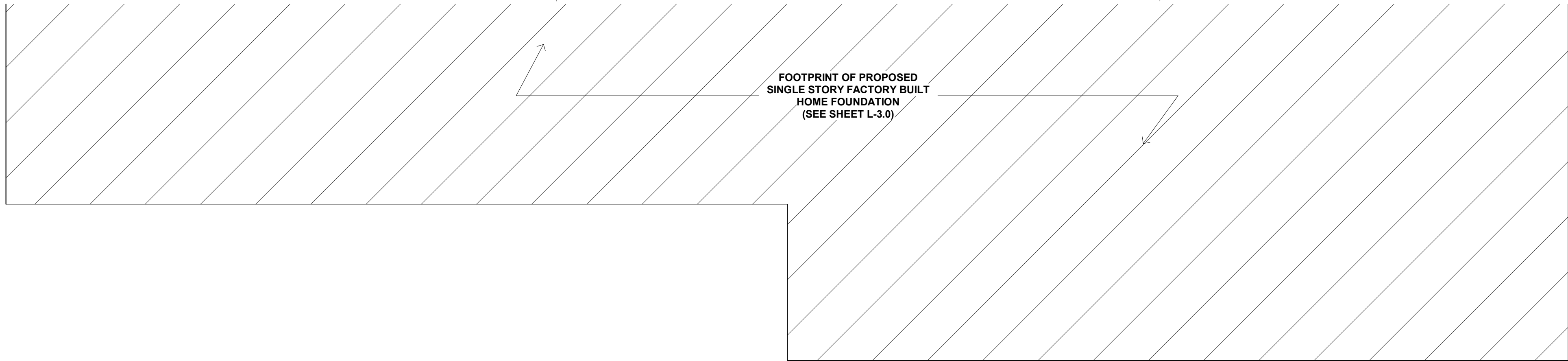
- E EXHAUST FAN

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.



FINISH FLOOR PLAN
1/4" = 1'-0" 2

FLOOR PLAN LEGEND
NO SCALE 1



NOTE:

- GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
- ALL DOORS EXIT OUT ONTO SITE-BUILT LANDINGS
- ALL DIMENSIONS TO FACE OF STRUCTURE

WALL LEGEND

- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- HCD APPROVED SET (M-SHEETS) FOR MORE INFO.

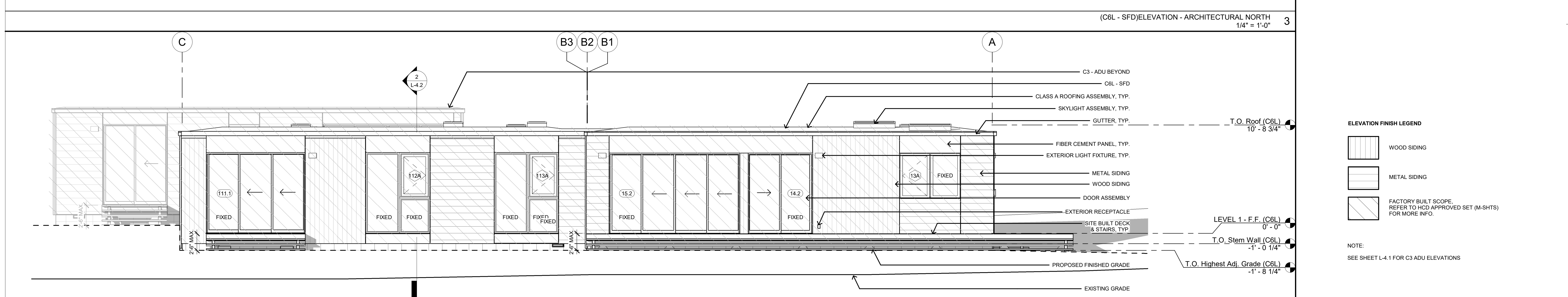
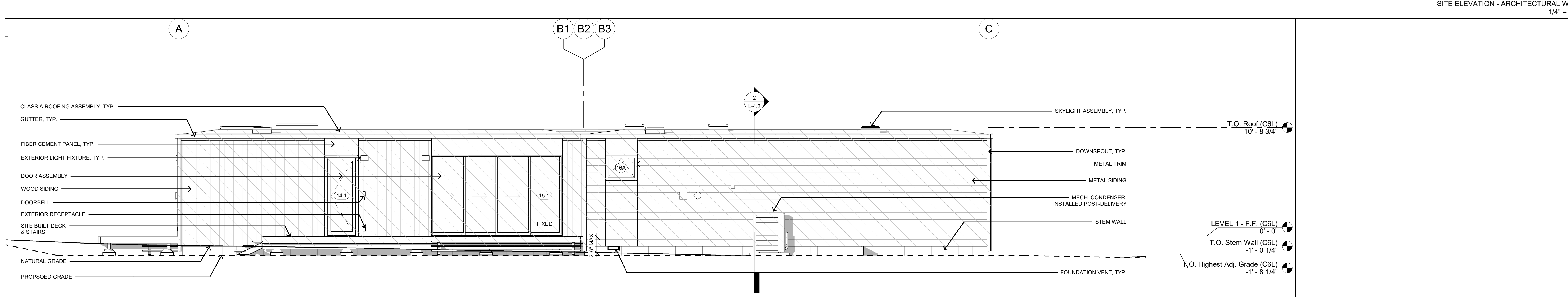
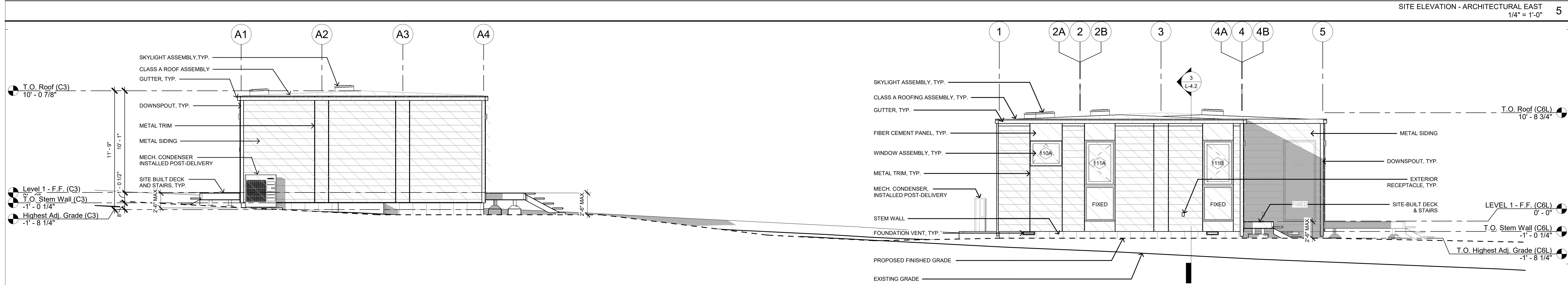
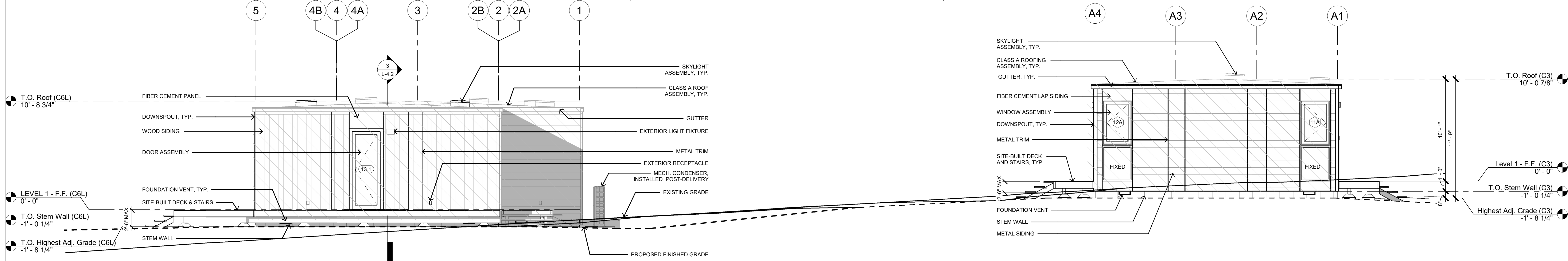
S SMOKE/ CARBON MONOXIDE DETECTOR COMBO DEVICE

- SMOKE/ CO DEVICES SMOKE ARE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

EXHAUST FAN

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.



CONNECT HOMES®

304 S BROADWAY, #320
LOS ANGELES, CA 90013
t: 310.623.9271
e: info@connect-homes.com

CONNECT 6L(M) + CONNECT 3 PLOG
RESIDENCE

270 W. CARMEL VALLEY RD. CARMEL VALLEY, CA 93924

DATE ISSUED

01/31/2025

RENEWAL DATE

Licensed Architect

GORDON STOTT
C-39556

STATE OF CALIFORNIA

Legal Disclaimer

The house design, drawings and specifications contained herein and provided hereunder are the exclusive property of Home EC, Inc. Copyright 2018. The use of these drawings and specifications shall be restricted to the creation of a Home EC product and shall not be used, in whole or in part, for any purposes for which they were not intended without the express written consent of Home EC, Inc. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these designs, drawings and specifications shall remain with Home EC, Inc. without prejudice. Visual conflict with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

MODEL HOME

CONNECT 6L+
CONNECT 3

SHEET SET

LOCAL

SHEET TITLE

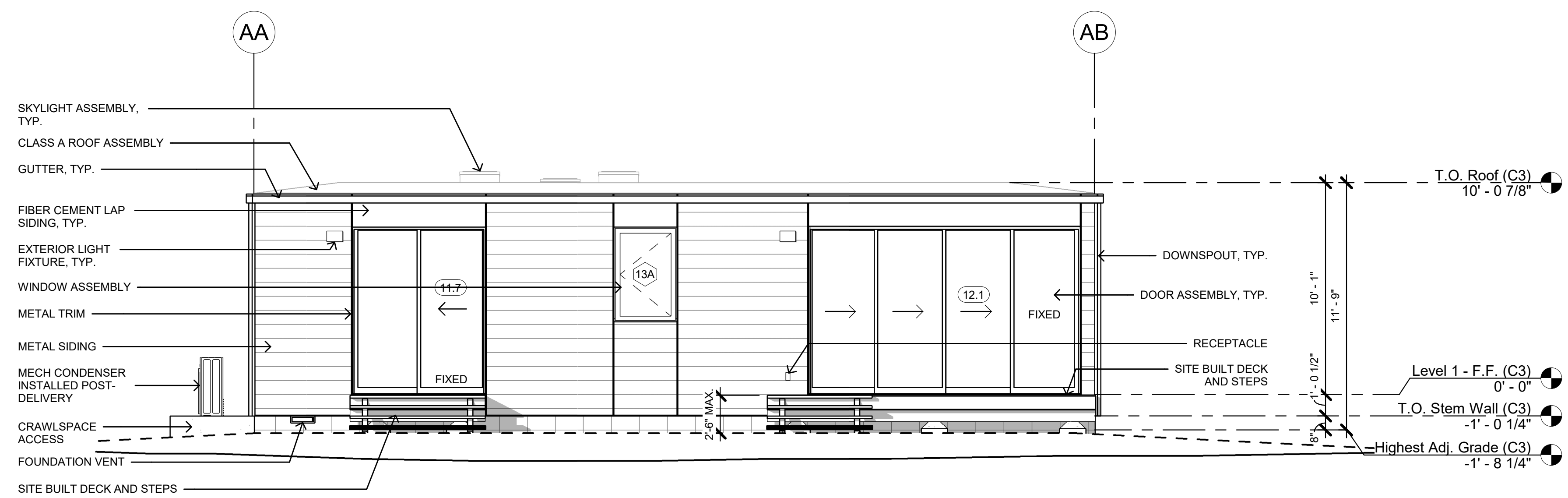
EXTERIOR BUILDING
ELEVATIONS C6L
SFD

SHEET SET NUMBER HOME

L-4.0

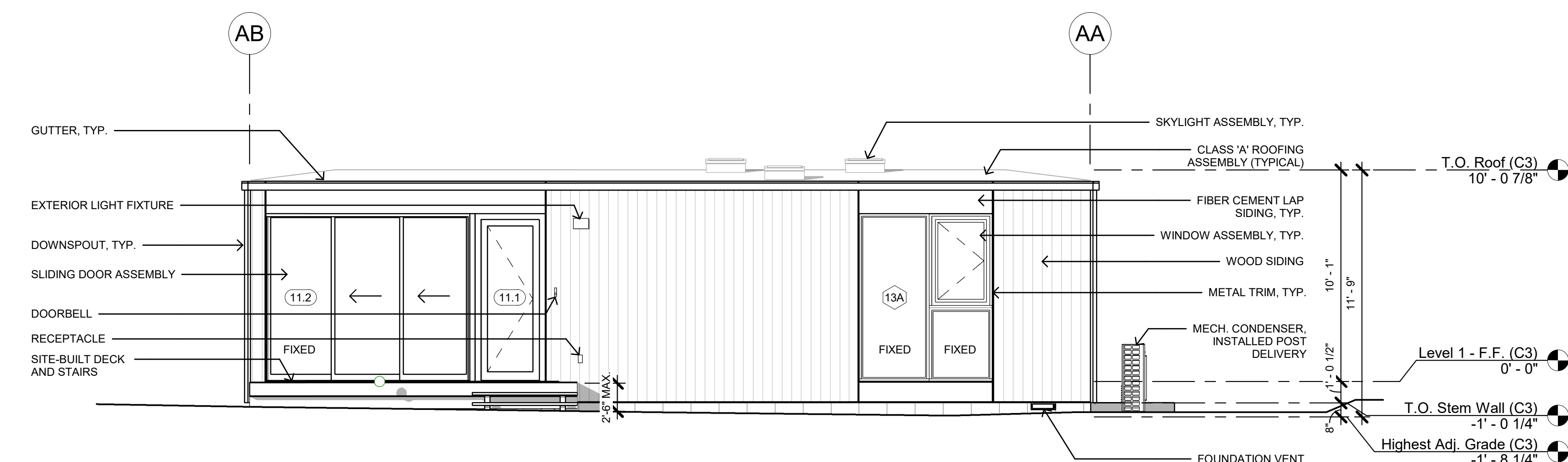
ELEVATION LEGEND

NO SCALE



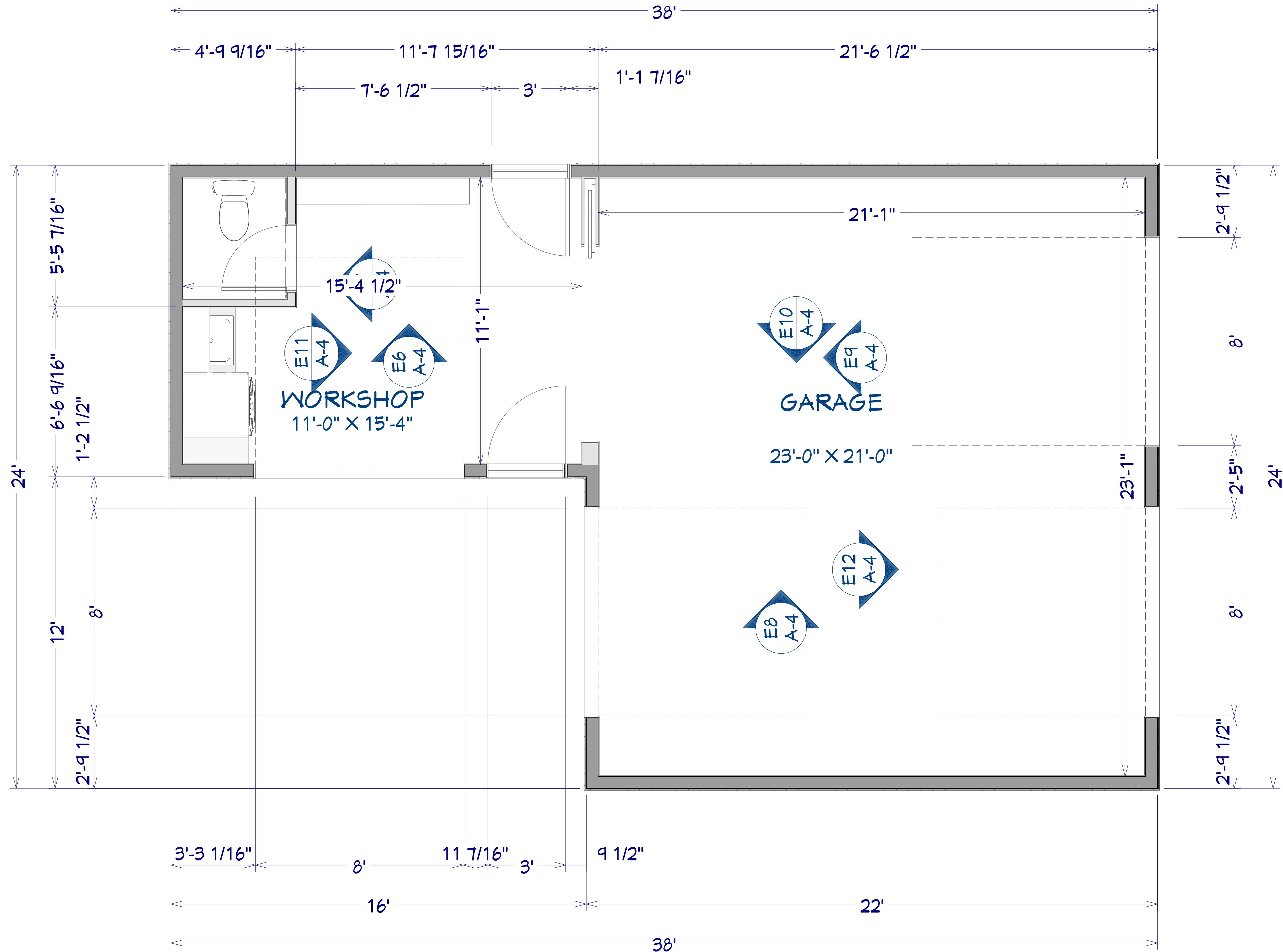
NORTH ELEVATION
1/4" = 1'-0"

2



SOUTH ELEVATION
1/4" = 1'-0"

1



REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

Floorplan

Garage
270 West Carmel Valley Rd.
Carmel Valley, CA 93924

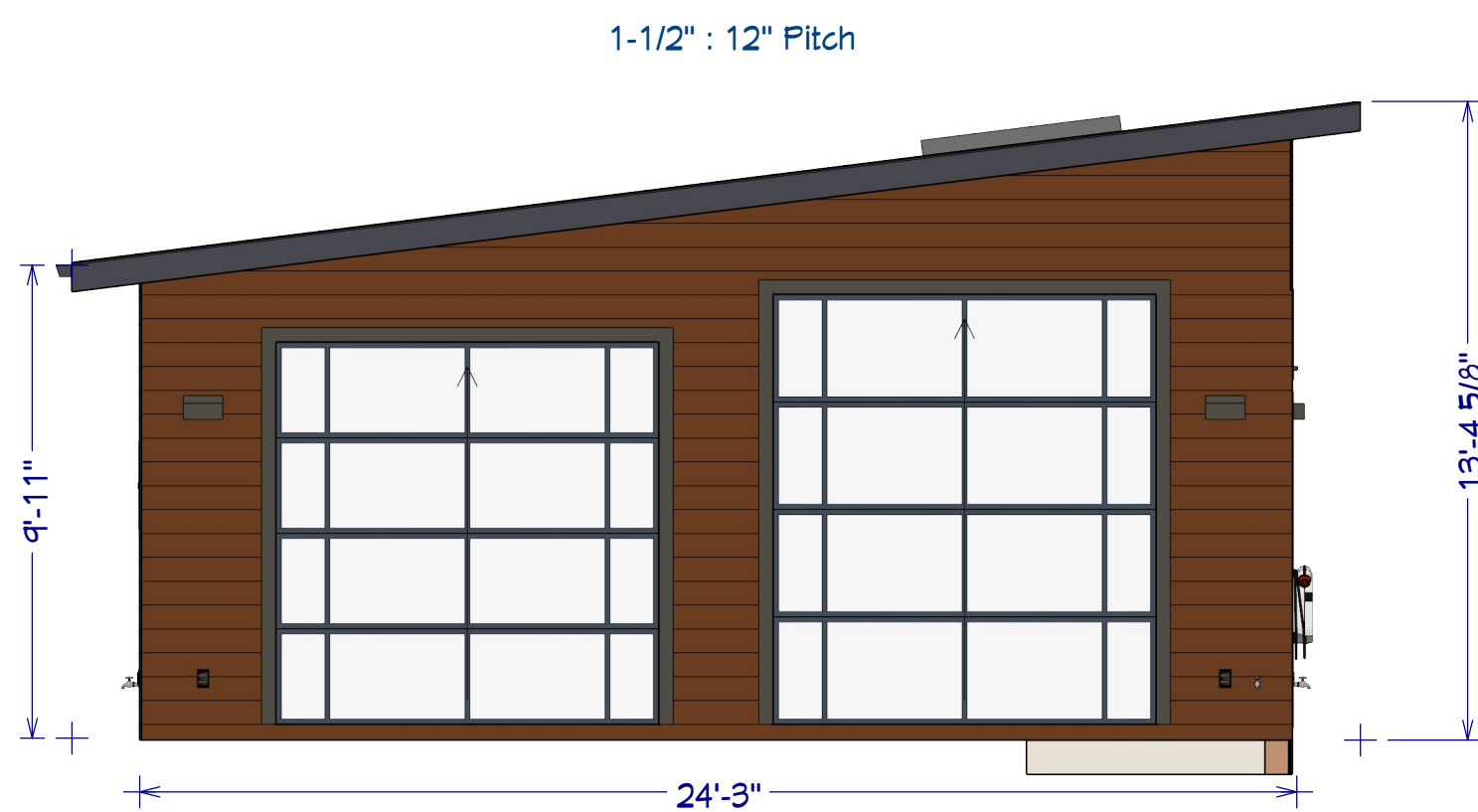
DATE:
9/17/23

SCALE:
1/2" = 1'

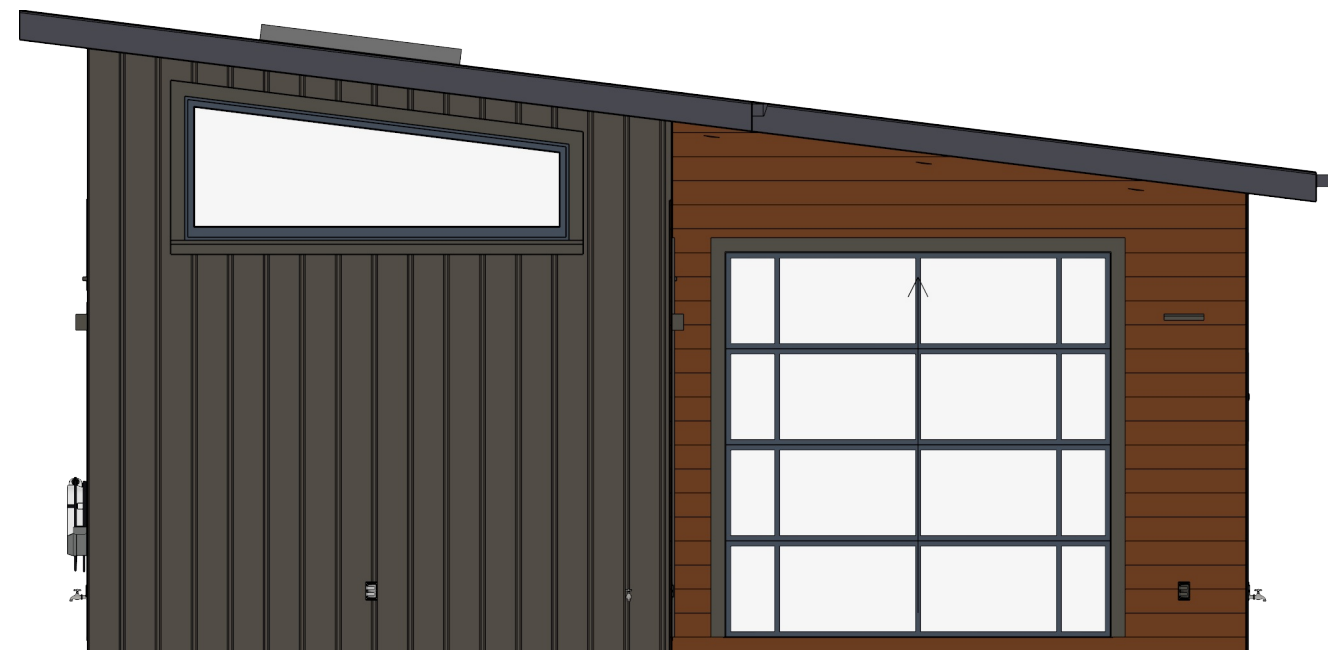
SHEET:
A-2



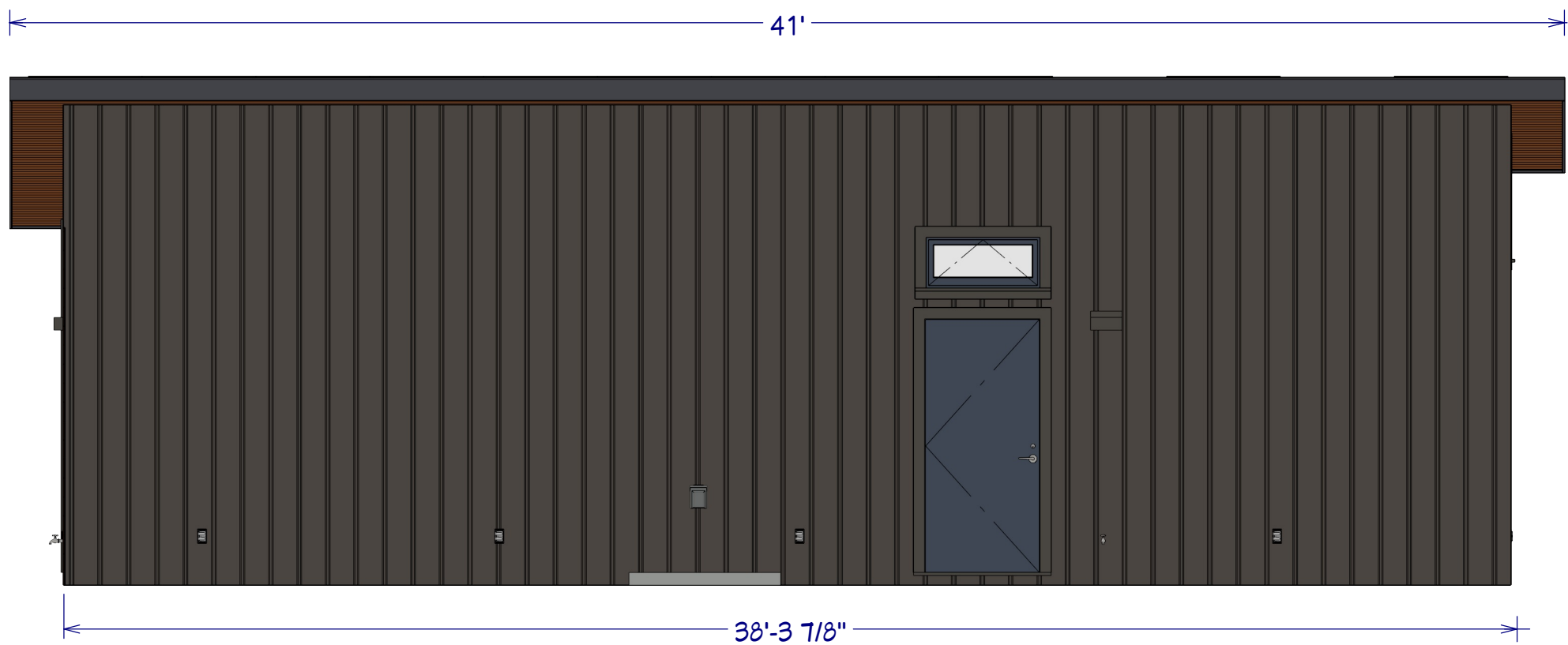
Garage Southwest View



South Elevation



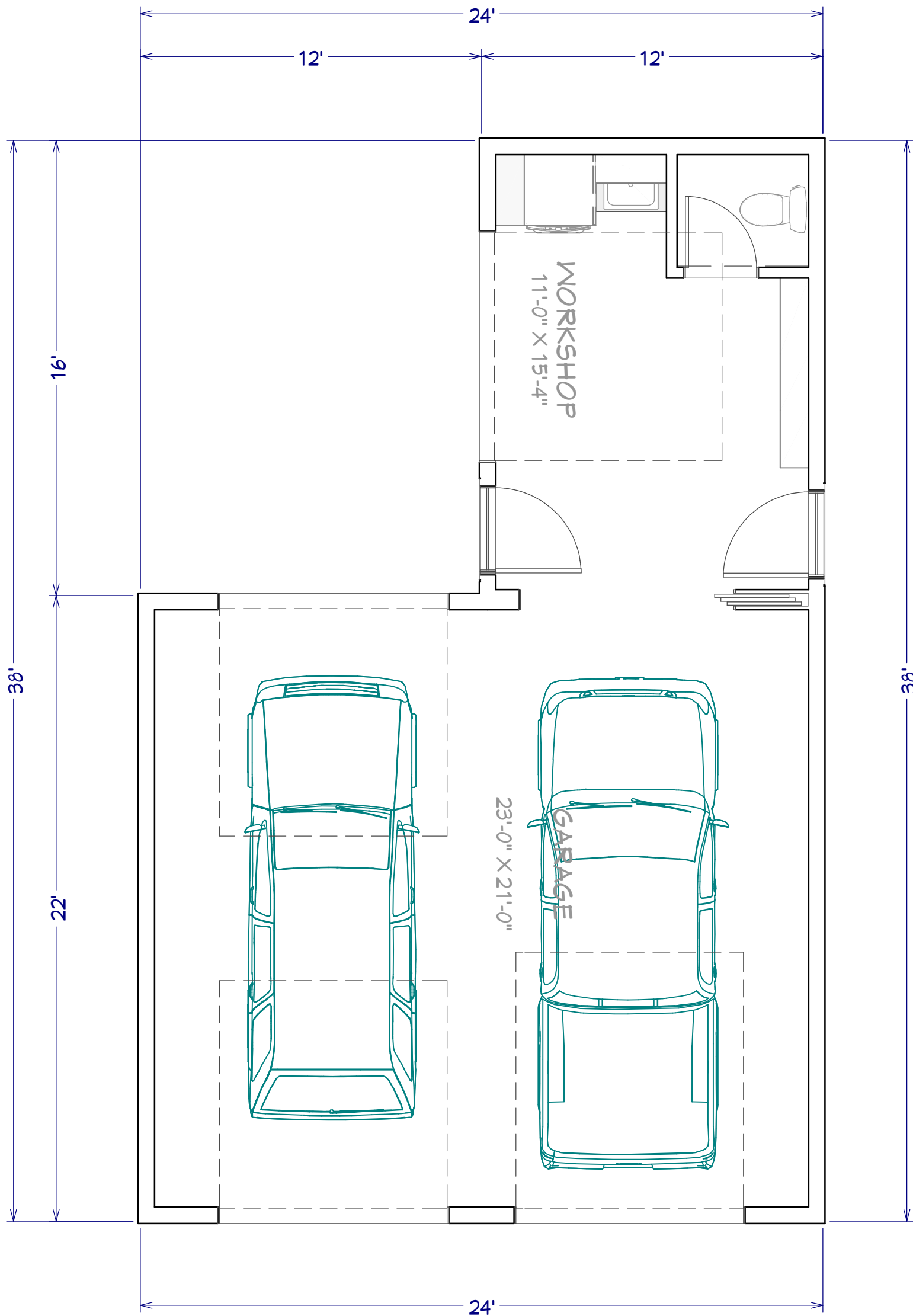
North Elevation



East Elevation



West Elevation



Floor Plan View Shell

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

Exterior Elevations

Garage
270 West Carmel Valley Rd.
Carmel Valley, CA 93924

DATE:
9/17/23

SCALE:
1/4" = 1'

SHEET:
A-3