

**Before the Chief of Planning in and for the
County of Monterey, State of California**

In the matter of the application of:

JOHNSON L EDWARD JR TR & MCDERMOTT KAREN TR (PLN230020)

RESOLUTION NO. 23-084

Resolution by the Monterey County Chief of
Planning:

- 1) Considering the project categorically exempt from CEQA pursuant to Section 15301, Existing Structures, and 15303, New Structures, of the CEQA Guidelines; and
- 2) Approving a:
 - a. Restoration Plan to abate unpermitted tree removal;
 - b. Coastal Administrative Permit and Design Approval to allow a 1,763 square foot addition to a single family dwelling and associated site improvements;
 - c. Coastal Administrative Permit and Design Approval to allow construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN230020, Johnson L Edward Jr Tr & Mcdermott Karen Tr, 1148 Porque Lane, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-282-004-000)]

The JOHNSON L EDWARD JR TR & MCDERMOTT KAREN TR APPLICATION (PLN230020) came on for an administrative hearing before the Monterey County Chief of Planning on December 6, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;

- Del Monte Forest Land Use Plan (DMF LUP);
- Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
- Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1148 Porque Lane, Pebble Beach, (APN: 008-282-004-000), within the Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 1 unit per 1.5 acres and Design Control overlay district in the Coastal Zone “LDR/1.5-D (CZ)”, which allows a single family dwelling and accessory dwelling unit (Title 20 section 20.14.040.A and W). The project consists of a 1,109 square foot addition to the existing single family dwelling with associated site improvements and construction of a 1,200 square foot accessory dwelling unit (ADU) with an attached 264 square foot covered porte cochere and a 391 square foot attached covered loggia and development within 750 feet of known archaeological resources. The project also includes restoration on Monterey pine trees (see subsequent Evidence “g” and Finding 4 and supporting evidence). Therefore, the project is an allowed use.
- c) Lot Legality. The property is shown in its current configuration as the lot labeled “1730 Official Records 137” on the Parcel Map of A.P. NO. 8-281-09 and 10 in Rancho El Pescadero, Pebble Beach, Monterey County, filed with the Recorder’s Office on June 7, 1974. Therefore, the County recognizes it as a legal lot of record.
- d) Site Inspection. The project planner conducted a site inspection on June 14, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations contained in Title 20 Chapter 20.44, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The proposed development will update and enhance the existing residence. Off-white exterior stucco walls are proposed for the additions to the single family dwelling and ADU to match the existing structure on the property. Charcoal grey roof shingles will replace the existing shingles of the single family dwelling and will be used for the ADU. Charcoal grey rain gutters, sills, gable ends and outriggers are also proposed for both structures. White exterior door and window frames will be installed in both structures to contribute to the consistent design of the dwellings. The proposed development will not interfere with views of the ocean from public viewing areas, and it will blend in with the existing neighborhood character.
- f) Development Standards. Development standards for Low Density Residential zoning can be found in Title 20, section 20.14.060. The proposed development is consistent with all applicable development standards. The existing site coverage is 3,208 square feet (5%), the

proposed addition and ADU will bring the total site coverage to 5,893 (9%), well below the allowed 9,886 square feet (15%). This project is not located within the Pescadero watershed and therefore is not subject to the 9,000 maximum impervious coverage regulation under section 20.147.030 of the DMF CIP. The proposed Floor Area Ratio (FAR) is 7.6% (4,982 square feet), consistent with the allowed 17.5% (11,534 square feet). The additions to the single family dwelling will not encroach into any required setbacks; the structure will remain over 20 feet away from each side of the property, over 30 feet away from the front property line and over 20 feet from the rear property line. The height of the single family dwelling will not change and will remain consistent with the required 30 foot height limit at a height of 13 feet and 10 inches from the average natural grade. The proposed ADU is consistent with the development standards within section 20.64.030 of Title 20. The proposed ADU will have a floor area of 1,200 square feet, which is the maximum allowed. It will also have a height of 14 feet and 7 inches which is below the maximum allowed 16 foot height limit. The proposed structure will exceed the minimum 4 foot side and rear setback with side setbacks of over 20 feet and a rear setback of over 75 feet. Consistent with Title 20 section 20.14.060, the ADU will be constructed over 10 feet away from the main dwelling.

- g) Tree Restoration. During review of the application, staff received correspondence from the California Coastal Commission (CCC) staff that there appeared to be, based on historical satellite imagery, a noticeable amount of tree removal on the property over the past 15 years. After some investigation into past permits, staff determined the majority of the tree removal occurred without the benefit of a permit. Although the current owners were not the owners at the time of the tree removal, and there was no open code enforcement case on the property. However, they have agreed to bring the property back into conformance, pursuant to section 20.90.130 of Title 20, and restore the property by replanting 25 Monterey pine trees as recommended by the project arborist. See finding 4 and supporting evidence and in the attached Restoration and Forest Management Plan.
- h) Cultural Resources. County Geographic Information System records identified the proposed project site is within 750 feet of known archaeological resources. Pursuant to DMF CIP section 20.147.080.B, an archaeological report was prepared for this property to assess the potential for impacts to archaeological resources due to the proposed development (LIB230129, see Finding 2, Evidence “b”). This report concluded that no indicators that define cultural resources were present on the project parcel, and therefore construction should not be delayed due to concern for cultural resources. No further investigation was recommended. A standard condition of approval has been applied required construction work be halted if cultural resources are accidentally uncovered.
- i) The application, project plans and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230020.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (PBCSD), HCD-Environmental Services and the Environmental Health Bureau (EHB). There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to potentially historical and archaeological resources. The following report was evaluated:
 - “Phase I Archaeological Assessment” (LIB230129) prepared by Susan Morely, Marina, California, April 1, 2023.
 - “Geotechnical Report” (LIB230130) prepared by Lawrence Grice, Salinas, California, March 10, 2023
 - “Forest Management Plan” (LIB230301) prepared by Frank Ono, Pacific Grove, California, October 11, 2023The above-mentioned technical report by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed this report and concurs with its conclusions.
 - c) Staff conducted a site inspection on June 14, 2023 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230020.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (PBCSD), HCD-Environmental Services and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The EHB reviewed the submitted utility bills and confirmed the property currently receives water and wastewater services from the PBCSD. The property will continue to be served by PBCSD following the proposed development. New water or wastewater systems are not proposed so “Can and Will Serve” letters were not requested.
 - c) EHB did not add any conditions of approval to the proposed development permit.

- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230020.
4. **FINDING:** **NO VIOLATIONS** – There is no open code enforcement case on the subject property. However, it appears tree removal occurred without benefit of the proper permit and therefore it is not in compliance with all rules and regulations pertaining to zoning uses and other applicable provisions of the County’s zoning ordinance. Approval and implementation of the Restoration Plan will address the violation on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services records to assess if any violation exists on the subject property, there are no open code enforcement cases for the property.
 - b) During review of the application, staff determined that unpermitted tree removal occurred on the property prior to the current owners purchasing the property. The owners have agreed to restore the property to pre-violation state.
 - c) A Restoration and Forest Management Plan was prepared by an outside consultant (see attached) to determine the appropriate amount of trees to be replanted in order to restore the forest resources on the property. Based on site surveys and review of satellite imagery, the arborist was able to estimate 25 replacement Monterey pine trees would be able to restore the forest habitat on the property.
 - d) A tree replacement condition (Condition No. 4) has been incorporated to ensure the owners will plant 25 Monterey pine trees on the property and monitor their growth over 3 years to ensure a 100% survival rate. Recommendations have been included in the Restoration and Forest Management Plan to help meet the 100% survival rate and a Notice of Report (Condition No. 5) has been incorporated to ensure all recommendations within the Restoration and Forest Management Plan are followed.
 - e) By restoring the forest habitat, the owners will address the tree removal violation and bring the property back into compliance with all applicable County policies and regulations.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230020.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15301 categorically exempts minor alterations to existing structures provided the alterations result in negligible or no expansion of the use. The current use is residential, and the proposed use is also residential, therefore, there will be no expansion. The ADU is exempt from CEQA review pursuant to Section 15303 which categorically exempts the construction of new, small structures.

- b) This project qualifies for Class 1 and Class 3 exemptions because it includes an addition to an existing single family dwelling and the construction of an ADU. The addition will not increase the floor area by 50% or 2,500 square feet and the ADU will be the second dwelling on the property and no aspects of the project will impact important environmental resources.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of the project site is not considered an environmentally sensitive area and there are no none environmentally sensitive species that occur within the site;
 - Successive projects of the same type and in the same place (additions to an existing structure) would not contribute to a significant cumulative impact;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1 and 2);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230020.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. This project is appealable to the California Coastal Commission pursuant to Title 20 section 20.86.080.A.3, as it includes development that is permitted in the underlying zone as a conditional use. The project includes development within 750 feet of known archaeological resources. This circumstance falls under conditional uses which require a coastal development permit.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Consider the project is categorically exempt pursuant to Section 15301, Existing Structures, and Section 15303, New Structures of the CEQA Guidelines; and
2. Approve a:
 - a. Restoration Plan to abate unpermitted tree removal;
 - b. Coastal Administrative Permit and Design Approval to allow a 1,763 square foot addition to a single family dwelling and associated site improvements;
 - c. Coastal Administrative Permit and Design Approval to allow construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 6th day of December, 2023:

DocuSigned by:

Melanie S Beretti

F6C3AC03D78644E...

Melanie Beretti, AICP

HCD Acting Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON **DECEMBER 8, 2023.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **DECEMBER 18, 2023.**

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230020

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN230020) allows construction of a a 1,109 square foot addition to a single family dwelling and associated site improvements including Pine forest restoration, and construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia. The property is located at 1148 Porque Lane, Pebble Beach (Assessor's Parcel Number 008-282-004-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number 23-084) was approved by the Chief of Planning for Assessor's Parcel Number 008-282-004-000 on December 6, 2023. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final, the applicant shall replace and or relocate each tree removed as follows:
- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: 1:1
- Other: 25 Monterey pines total
Replacement tree(s) shall be located in areas recommended by the project arborist.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

Three years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

5. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A Forest Management Plan (Library No. LIB230301), was prepared by Frank Ono on October 11, 2023 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

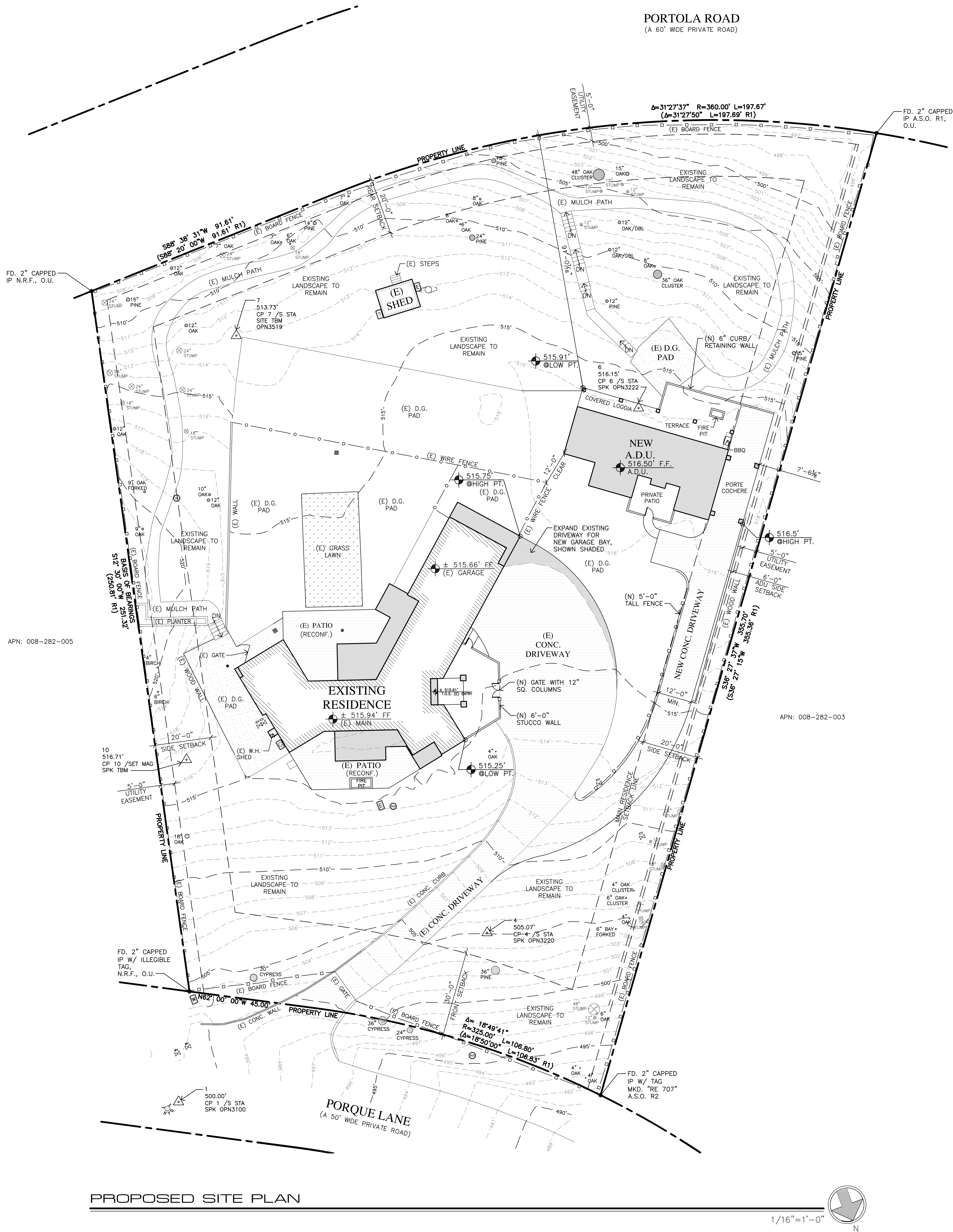
Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.



PLANNING INFO.

- PROPERTY OWNER:
KAREN McDERMOTT
PO BOX 1064
PEBBLE BEACH, CA. 93953
PH. (408) 314-2673
- PROJECT ADDRESS:
1148 PORQUE LANE
PEBBLE BEACH, CA.
- PROJECT SCOPE:
• EXISTING MAIN HOUSE:
• 514 SF INTERIOR REMODEL AND ADDITION OF 708 SF TO EXISTING SINGLE FAMILY RESIDENCE.
• ADDITION OF 309 SF TO EXISTING GARAGE.
• REBUILD AND ADDITION OF 92 SF TO EXISTING COVERED ENTRY.
• RECONFIGURE EXISTING SOUTH BRICK PATIO AND NORTH BRICK PATIO AND NEW FIREPIT.
• REPLACE ALL EXTERIOR DOORS AND WINDOWS.
• NEW 1,200 SF ACCESSORY DWELLING UNIT WITH ATTACHED 264 SF PORTE COCHERE.
• NEW 391 SF COVERED LOGGIA WITH NEW BUILT-IN BBQ AND FIREPIT.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-282-004
- LEGAL DESC.: LOT: BLOCK:
- ZONE: LDR/1.5-D(CZ)
- STORIES: ONE
- MAX BLDG. HT: 30 FT
- GRADING: 140 CY CUT/ 45 CY FILL; SEE CIVIL PLANS
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE:
2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2019 CALIFORNIA ENERGY CODE

■ LOT AREA: 65,908.84 S.F. (1.51 Ac.)

■ LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
BUILDINGS	2,765	1,017	0	3,782
COVERED ENTRY	41	92	-23	110
COVERED PATIO	140	0	-140	0
MECH./STORAGE	56	0	-49	7
SHED	139	0	0	139
DOG RUN	67	0	-67	0
A.D.U.	0	1,200	0	1,200
COVERED LOGGIA	0	391	0	391
PORTE COCHERE	0	264	0	264
TOTAL	3,208	2,964	-279	5,893

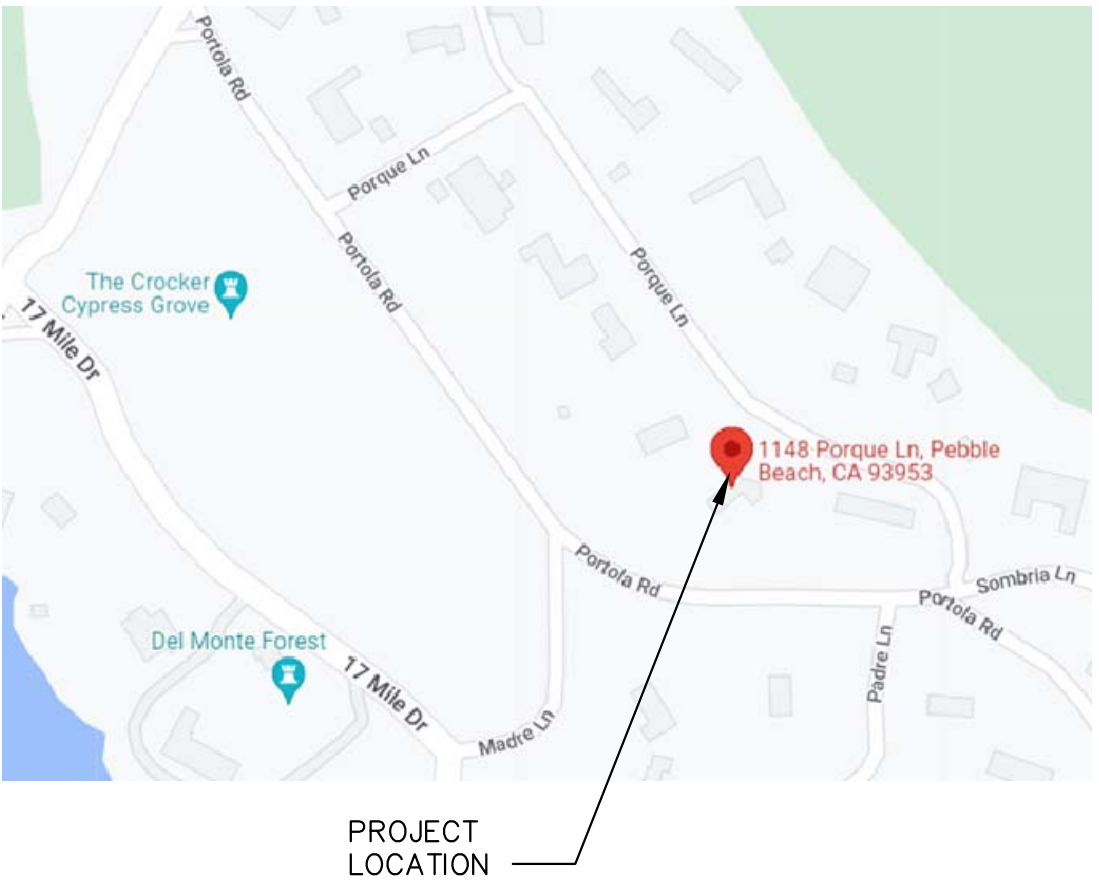
- LOT COVERAGE ALLOWED: 9,886.4 SF (15%)
- LOT COVERAGE PROPOSED: 5,893 SF (8.94%)

■ F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING				
MAIN FLOOR	2,131	708	0	2,839
GARAGE	634	309	0	943
A.D.U.	0	1,200	0	1,200
TOTAL	2,765	2,217	0	4,982

- F.A.R. ALLOWED: 11,534 SF (17.5%)
- F.A.R. PROPOSED: 4,982 SF (7.56%)

VICINITY MAP



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, DEVELOPED AND CONSIDERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE OFFICE. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ACCURATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

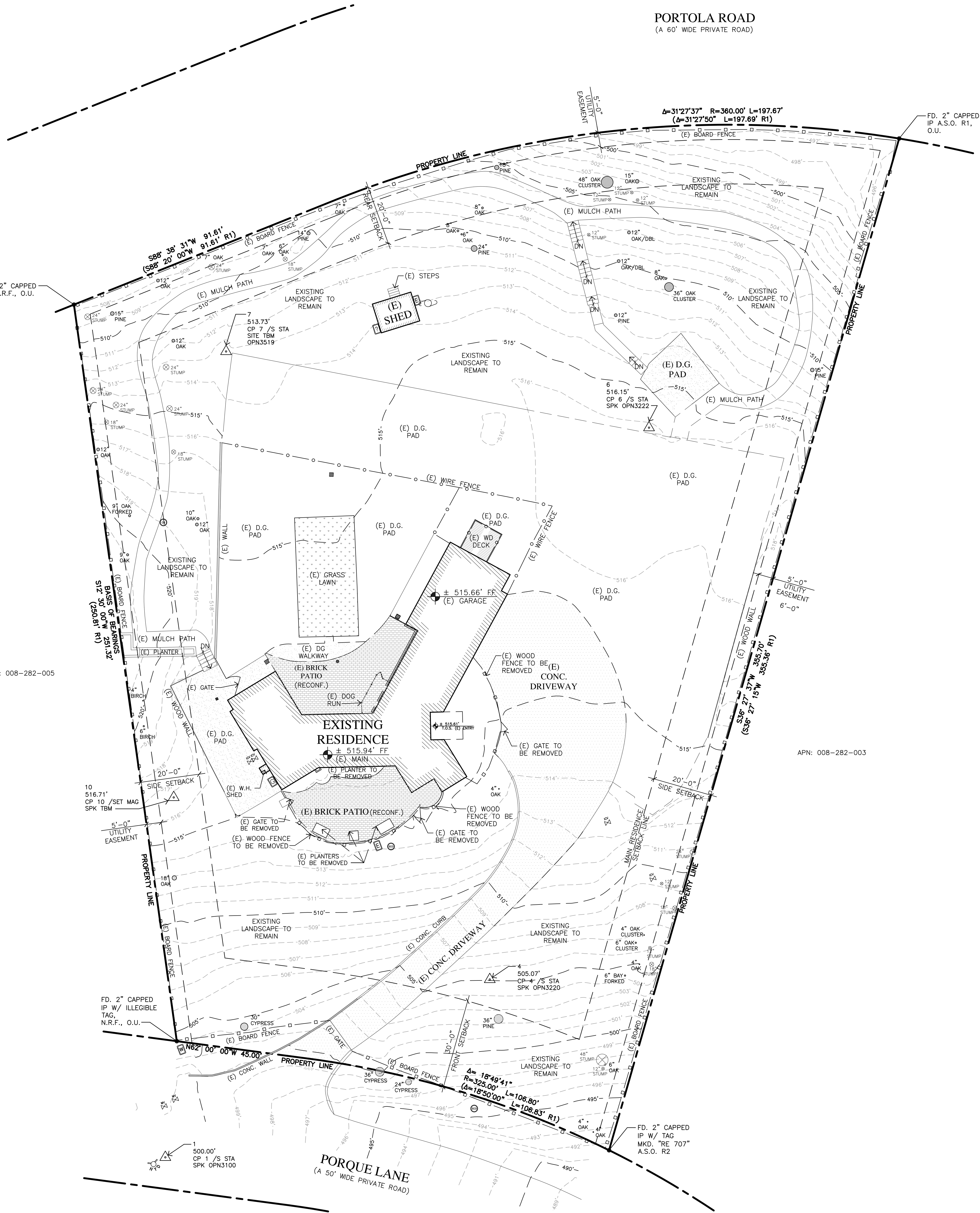
REVISIONS:

- △ FEBRUARY 14, 2023
PB ARB SUBMITTAL
△ MARCH 31, 2023
PB ARB SUBMITTAL
△ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
△
△
△

SITE
PLAN

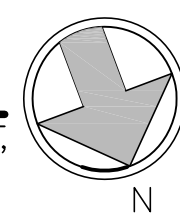
SHEET NO.

A1.0

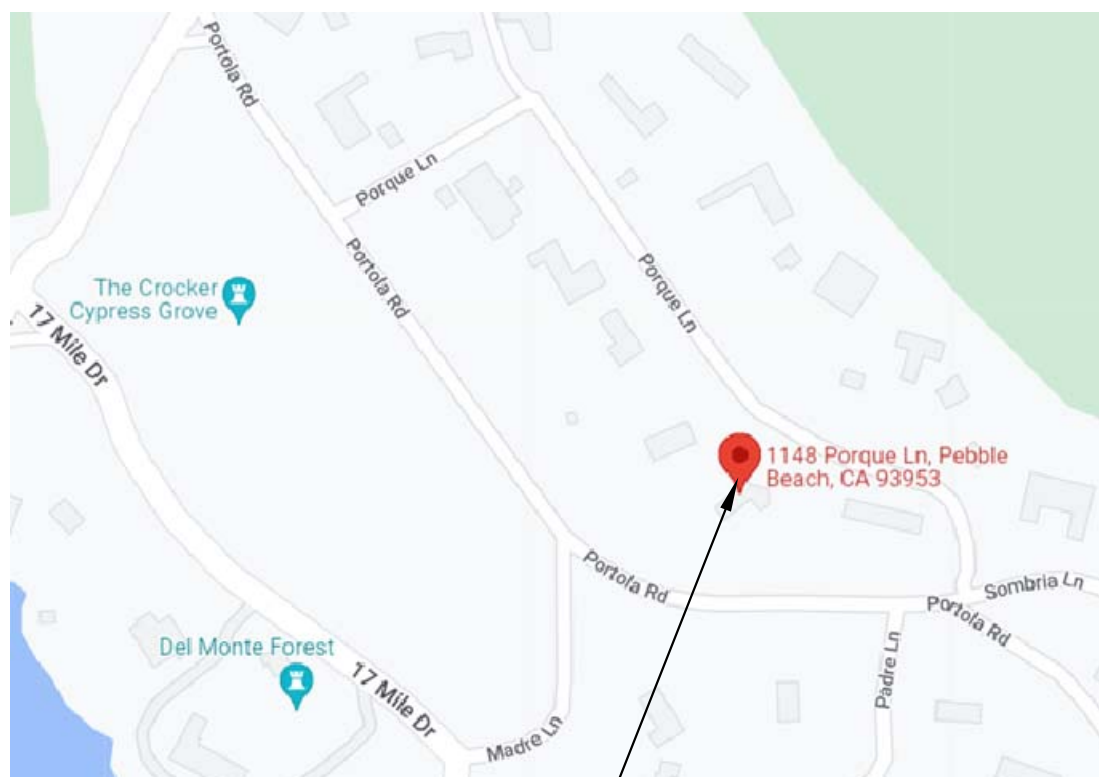


EXISTING SITE PLAN

1/16"=1'-0"



VICINITY MAP



PROJECT LOCATION

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idg.net
WEB: idg.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, INVENTED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR FOR ANY OTHER PROJECT, PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE OFFICE. THE OFFICE SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

REVISIONS:

△	FEBRUARY 14, 2023
△	PB ARB SUBMITTAL
△	MARCH 31, 2023
△	PB ARB SUBMITTAL
△	APRIL 6, 2023
△	PLANNING DEPT. SUBMITTAL
△	
△	
△	

EXISTING
SITE PLAN

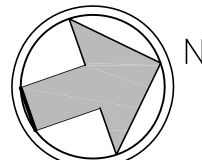
SHEET NO.

A1.1



MAIN LEVEL PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, DEVELOPED AND OBTAINED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR COPIED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS OF ANY OTHER SOURCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

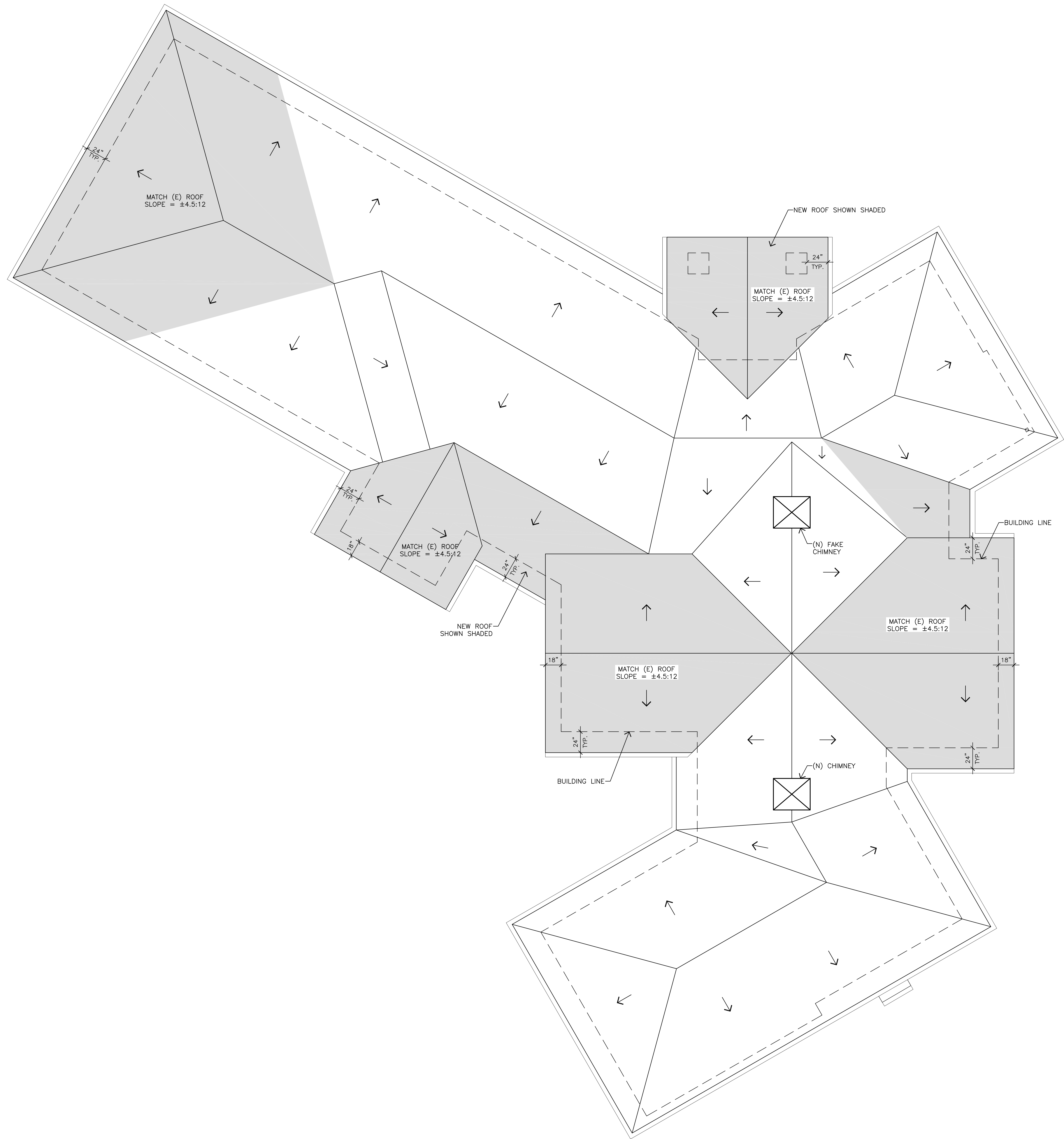
DATE: JANUARY 13, 2023
APPLICATION REQUEST SUB.

REVISIONS:
FEBRUARY 14, 2023
PB ARB SUBMITTAL
MARCH 31, 2023
PB ARB SUBMITTAL
APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
APRIL 6, 2023
PLANNING DEPT. SUBMITTAL

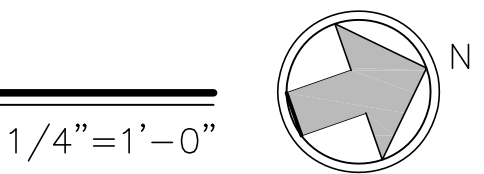
MAIN LEVEL
PLAN

SHEET NO.

A2.0



ROOF PLAN



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023
APPLICATION REQUEST SUB.

REVISIONS:	
△	FEBRUARY 14, 2023
△	PB ARB SUBMITTAL
△	MARCH 31, 2023
△	PB ARB SUBMITTAL
△	APRIL 6, 2023
△	PLANNING DEPT. SUBMITTAL
△	
△	
△	

ROOF
PLAN

SHEET NO.
A5.0

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, INVENTED, AND DEVELOPED FOR THE USE OF, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. IDG INC. SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

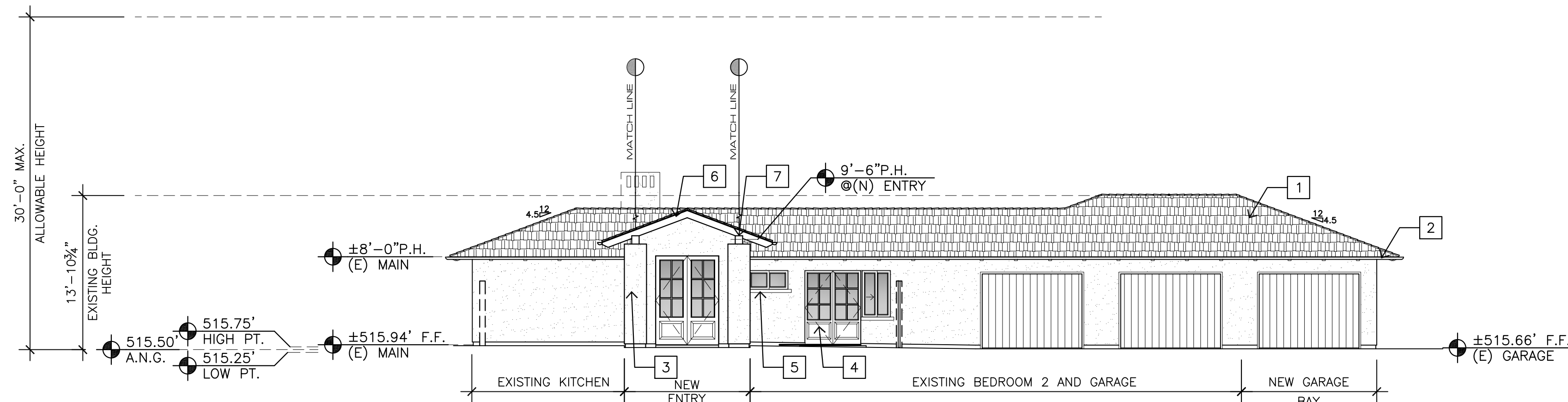
REVISIONS:

△	FEBRUARY 14, 2023
△	PB ARB SUBMITTAL
△	MARCH 31, 2023
△	PB ARB SUBMITTAL
△	APRIL 6, 2023
△	PLANNING DEPT. SUBMITTAL
△	
△	
△	

ELEVATIONS

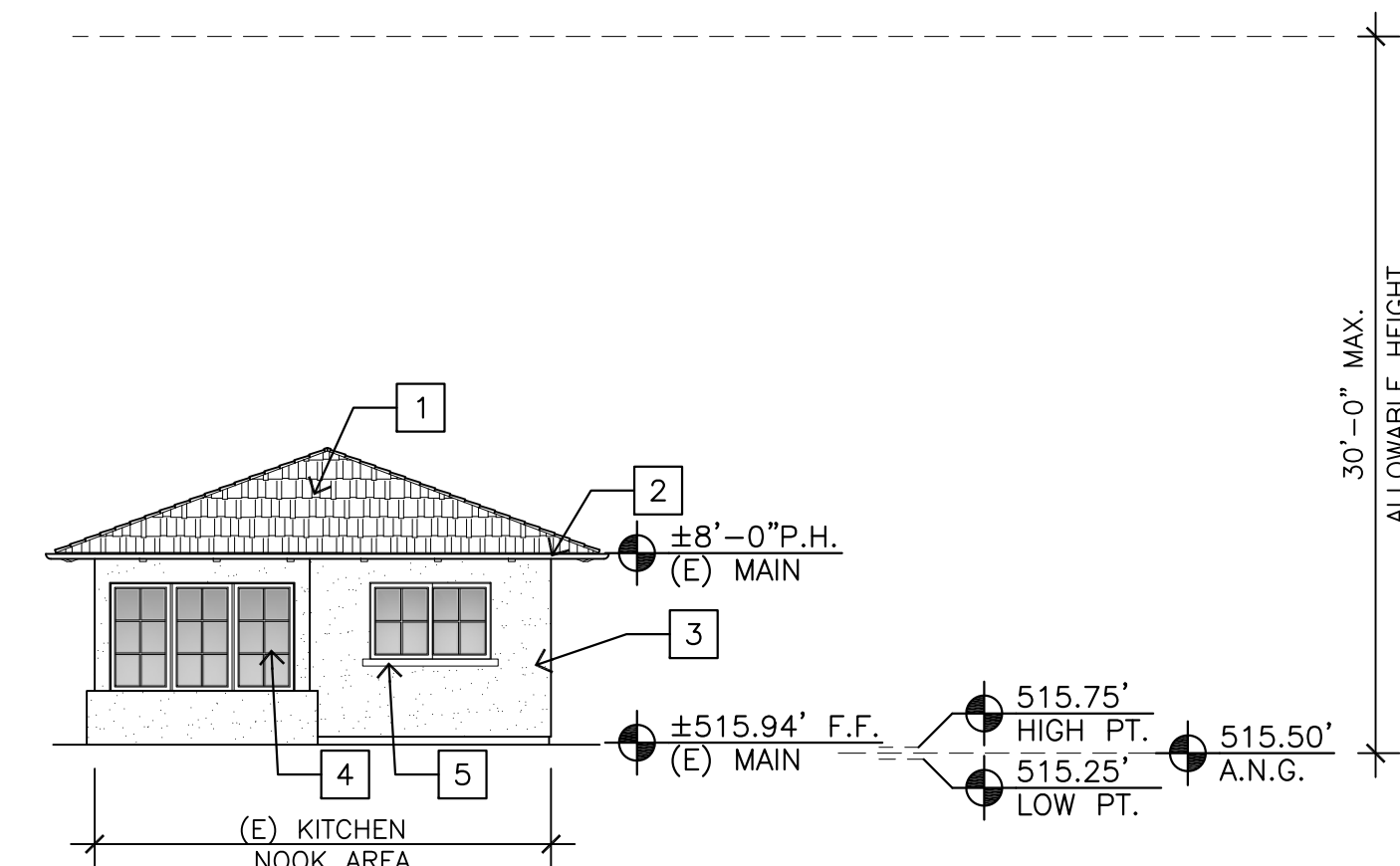
SHEET NO.

A6.0



NORTH WEST ELEVATION

1/8"=1'-0"

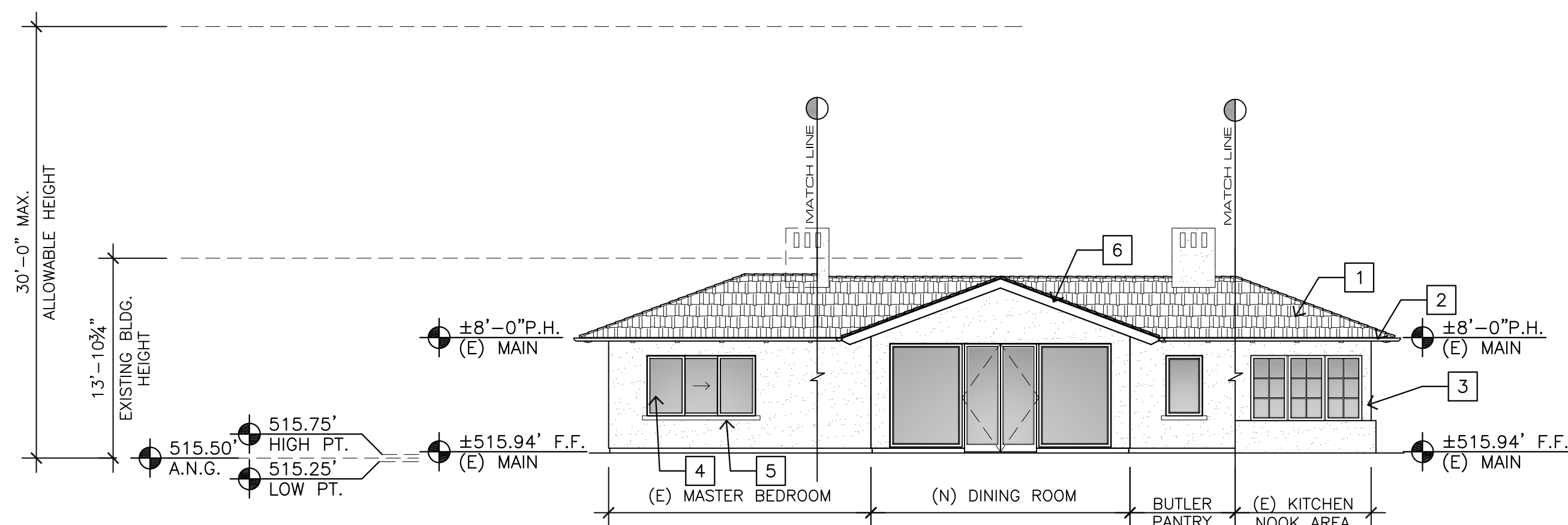


NORTH ELEVATION

1/8"=1'-0"

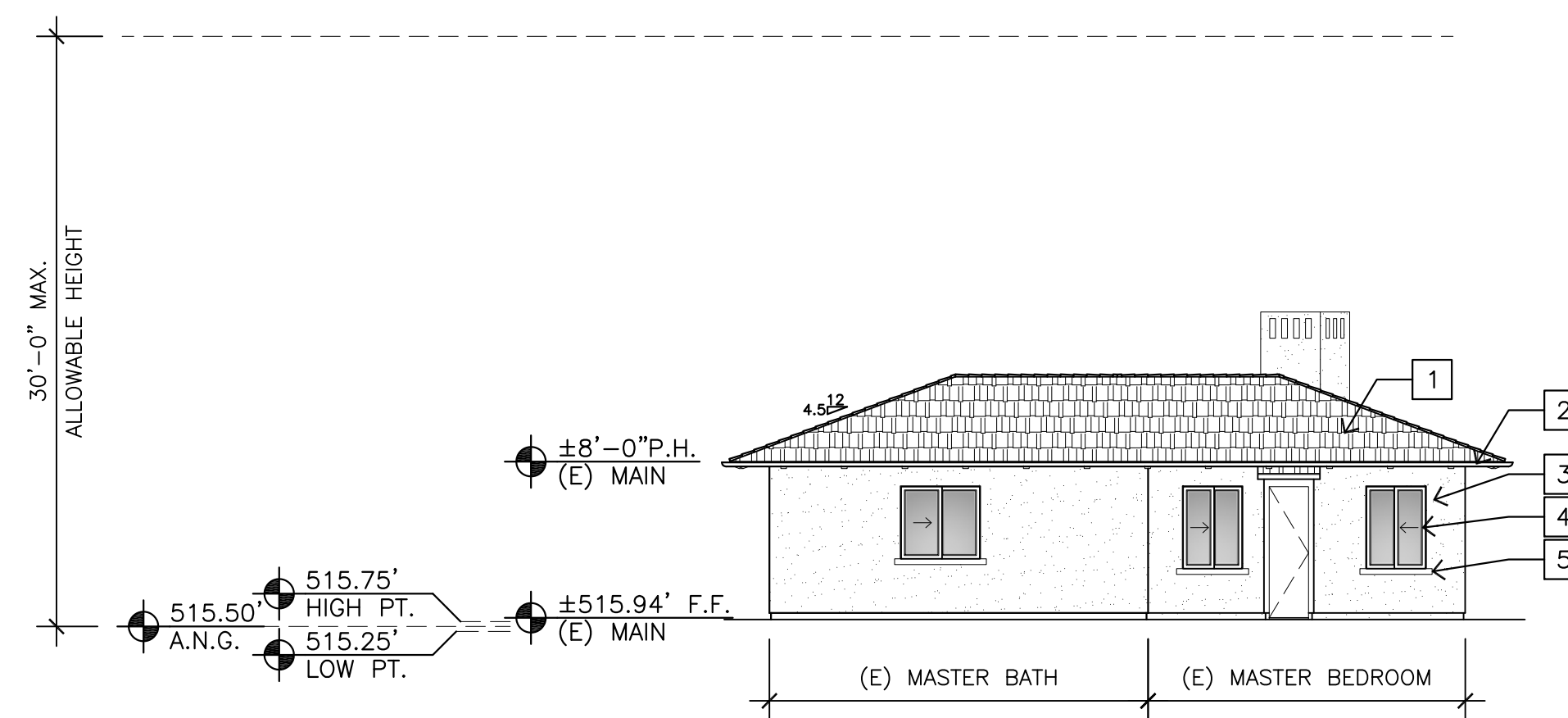
EXTERIOR FINISH LEGEND

- 1 COMPOSITE SHINGLE ROOF/CHARCOAL GREY
- 2 PAINTED GALVANIZED 5" HALF ROUND GUTTER
- 3 EXTERIOR STUCCO SMOOTH FINISH
- 4 WOOD EXTERIOR DOORS AND WINDOWS
- 5 4X4 SHAPED REDWOOD SILL
- 6 3X8 REDWOOD GABLE END
- 7 8X10 REDWOOD OUTRIGGER



NORTH EAST ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. WRITTEN PERMISSIONS SHALL BE OBTAINED FROM IDG INC. BEFORE ANY SUCH REUSE OR DISCLOSURE. IDG INC. SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR ANY DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

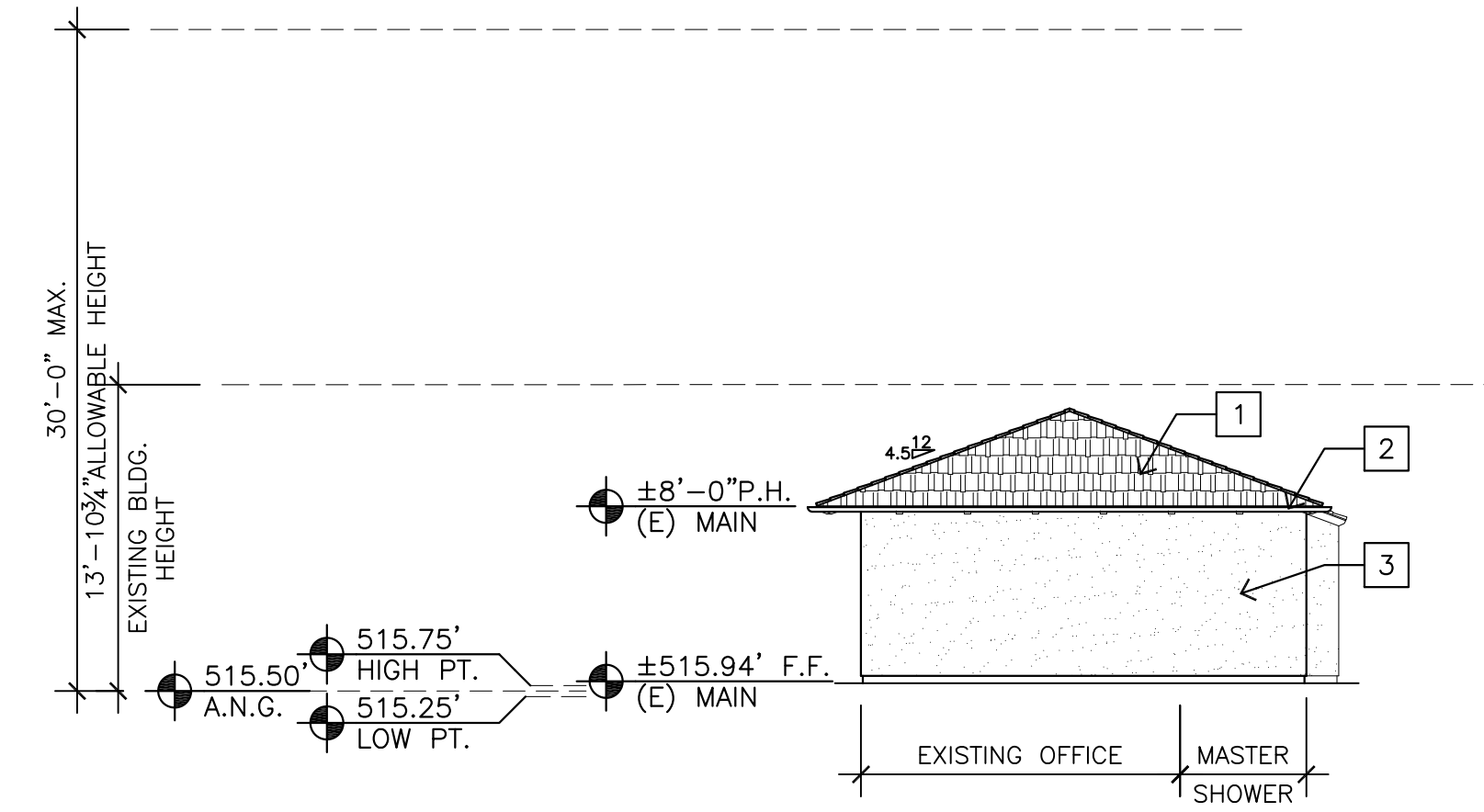
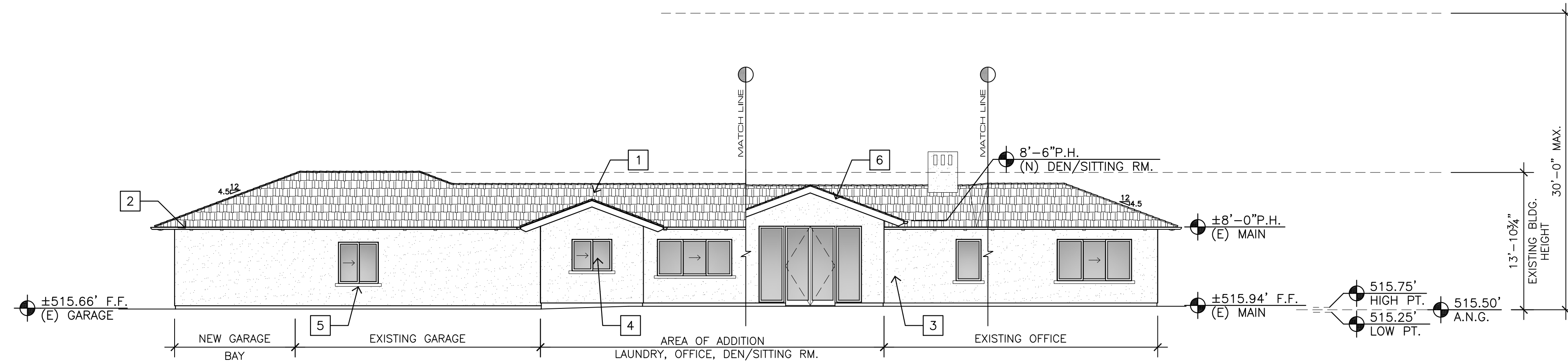
DATE: JANUARY 13, 2023
APPLICATION REQUEST SUB.

REVISIONS:
△ FEBRUARY 14, 2023
PB ARB SUBMITTAL
△ MARCH 31, 2023
PB ARB SUBMITTAL
△ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
△
△
△

ELEVATIONS

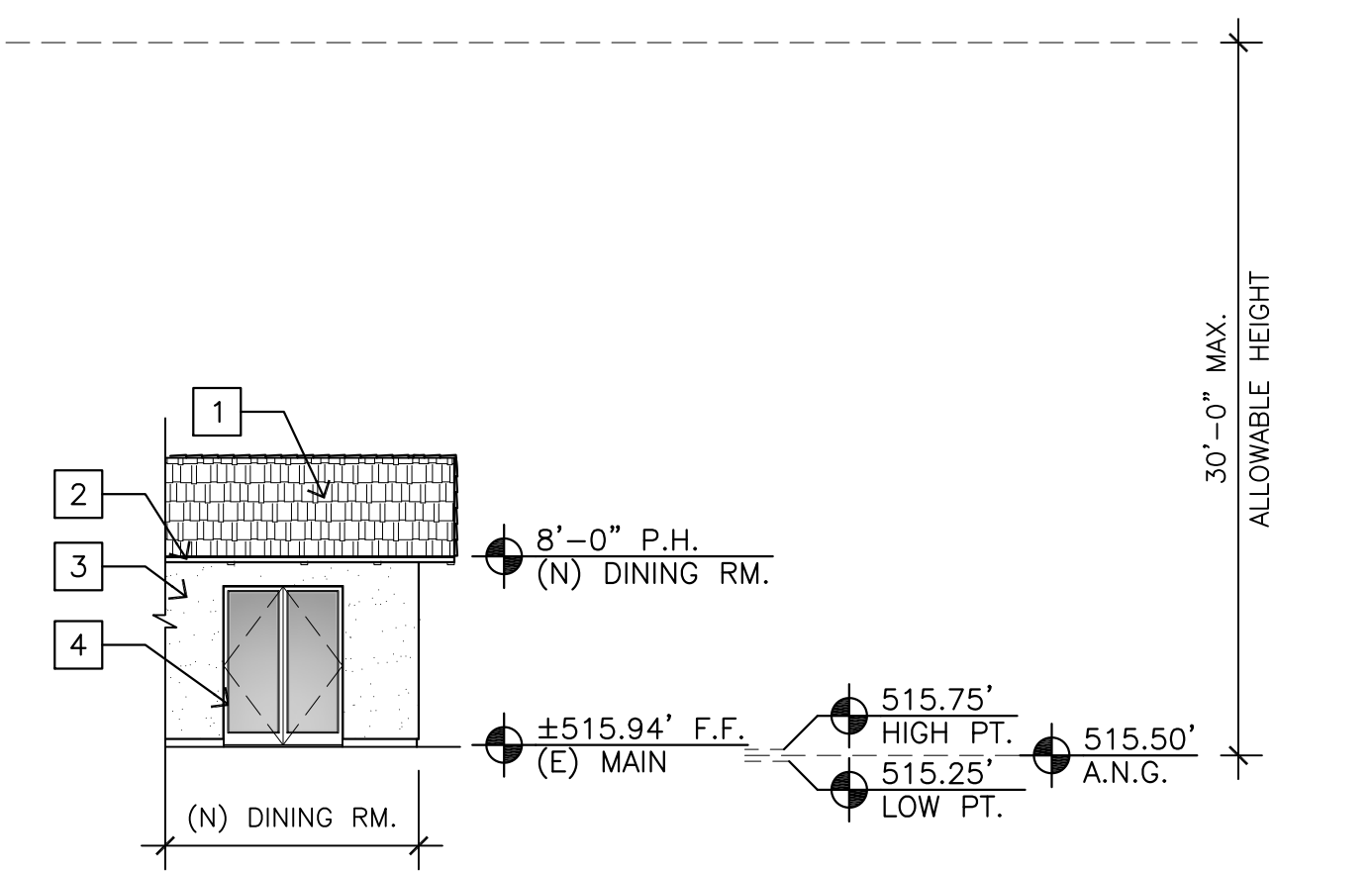
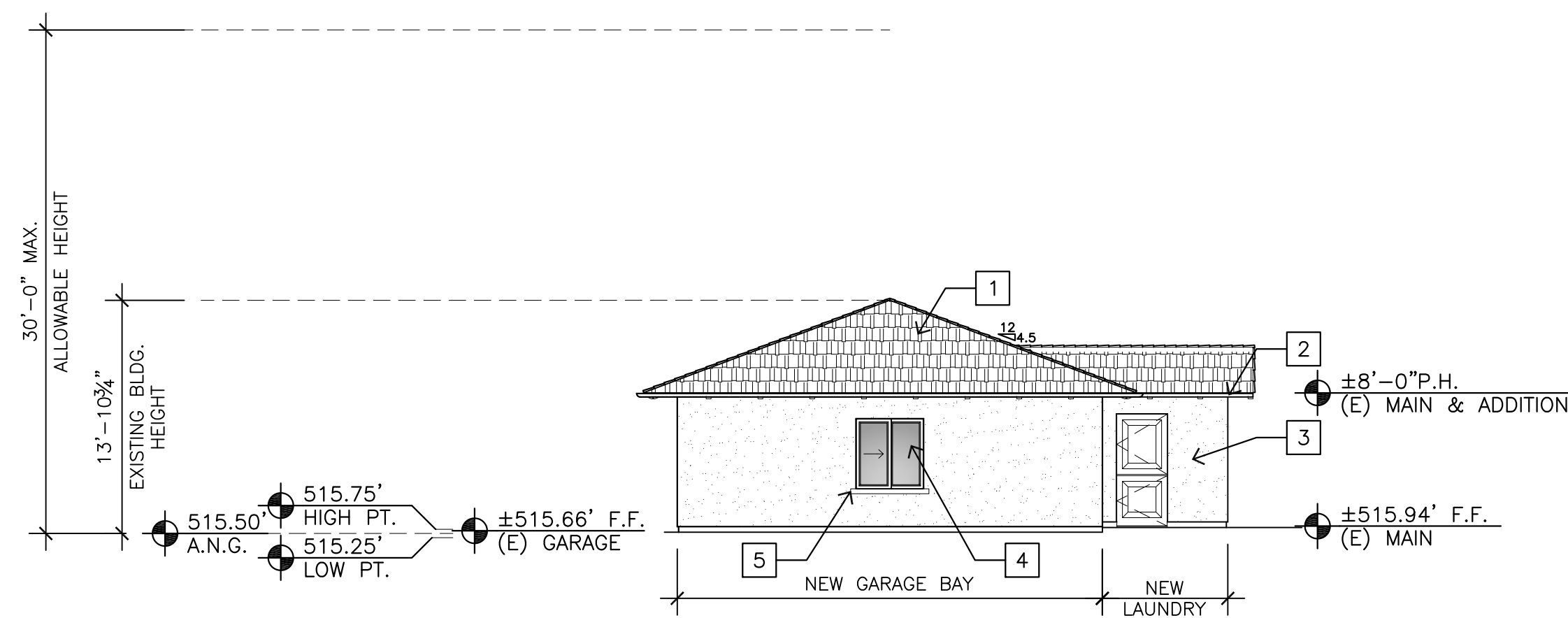
SHEET NO.

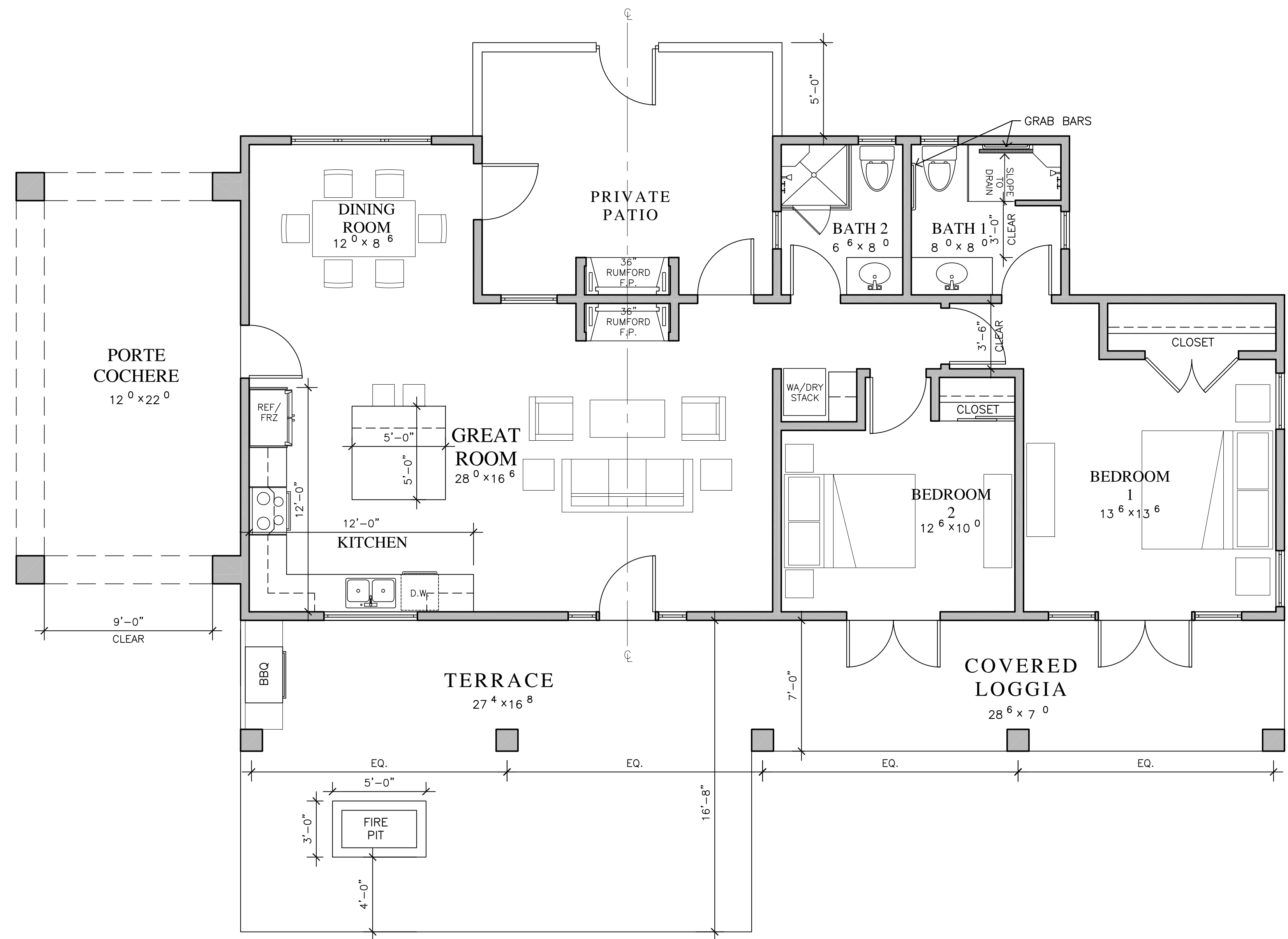
A6.1



EXTERIOR FINISH LEGEND

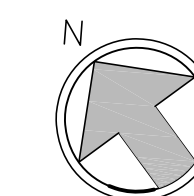
- 1 COMPOSITE SHINGLE ROOF/CHARCOAL GREY
- 2 PAINTED GALVANIZED 5" HALF ROUND GUTTER
- 3 EXTERIOR STUCCO SMOOTH FINISH
- 4 WOOD EXTERIOR DOORS AND WINDOWS
- 5 4X4 SHAPED REDWOOD SILL
- 6 3X8 REDWOOD GABLE END
- 7 8X10 REDWOOD OUTRIGGER





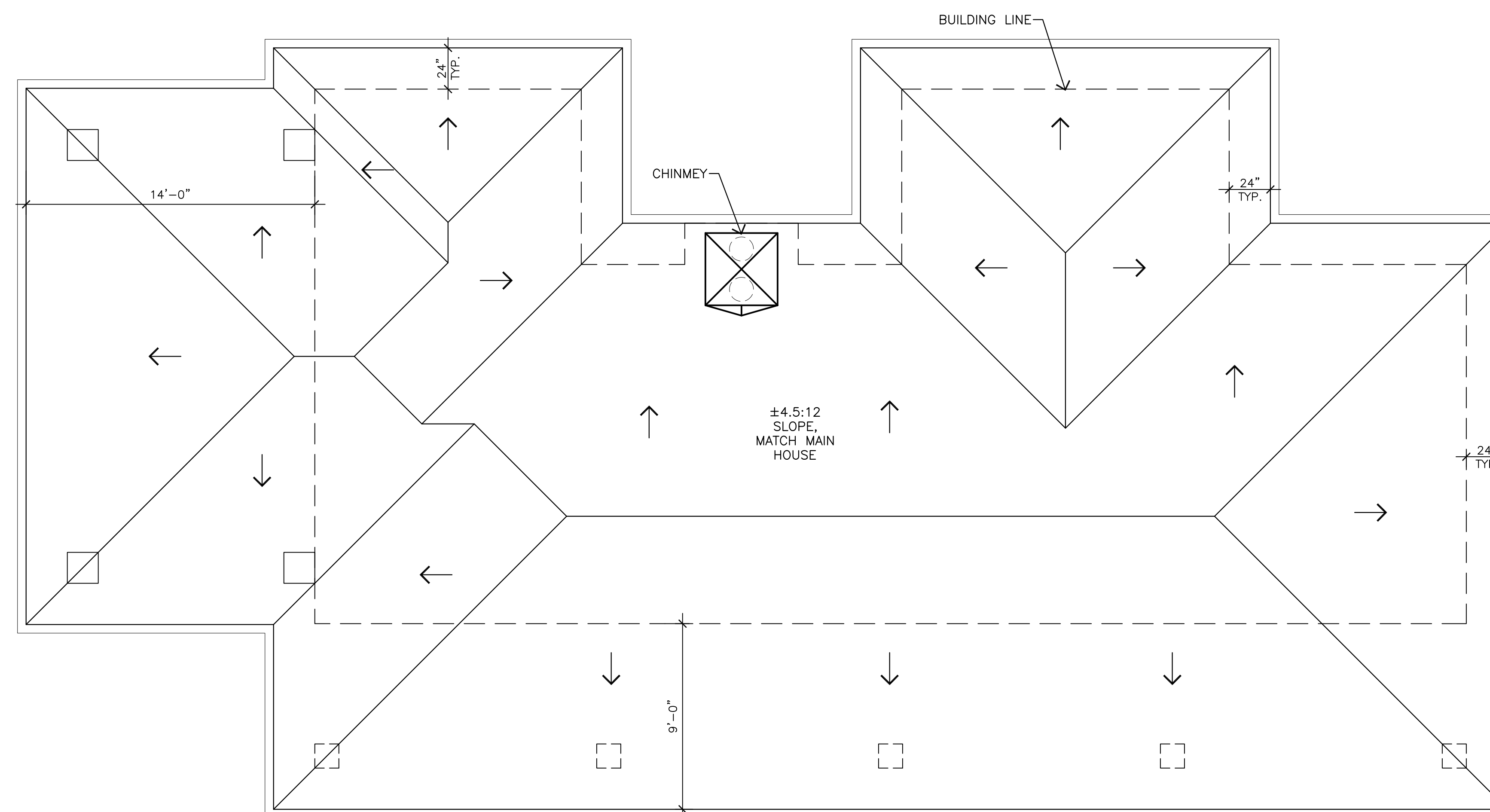
ACCESSORY DWELLING UNIT PLAN

1/4"=1'-0"



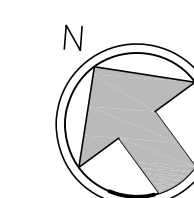
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



ACCESSORY DWELLING UNIT PLAN - ROOF PLAN

1/4"=1'-0"



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR FOR ANY OTHER PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE ARCHITECT BEFORE SUCH USE. THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY OTHER DRAWINGS, SPECIFICATIONS, CONTRACTS, ORDERS, OR CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023
APPLICATION REQUEST SUB.

REVISIONS:
△ FEBRUARY 14, 2023
PB ARB SUBMITTAL
△ MARCH 31, 2023
PB ARB SUBMITTAL
△ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
△
△
△

ACCESSORY
DWELLING UNIT

SHEET NO.

ADU2.0

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. IDG INC. SHALL HAVE PRECEDENCE OVER THESE DRAWINGS. IDG INC. SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

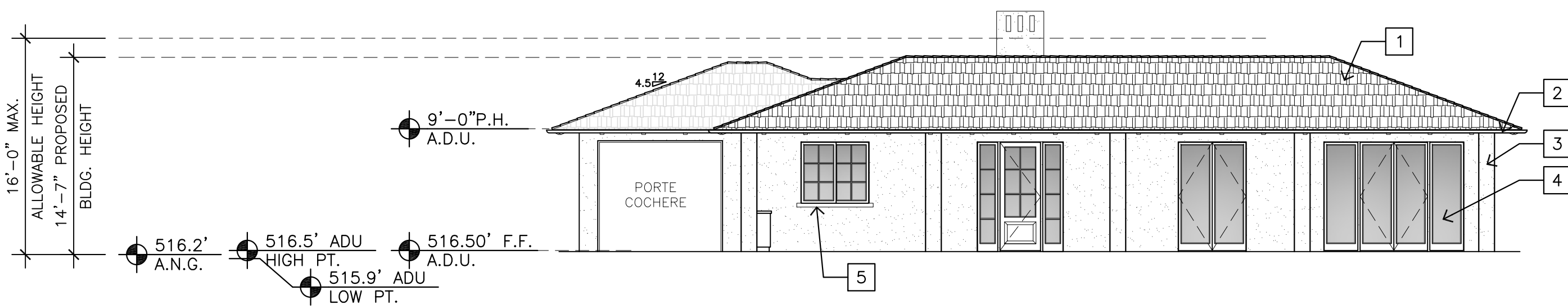
REVISIONS:

- △ FEBRUARY 14, 2023
PB ARB SUBMITTAL
△ MARCH 31, 2023
PB ARB SUBMITTAL
△ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
△
△
△

ACCESSORY
DWELLING UNIT
ELEVATION

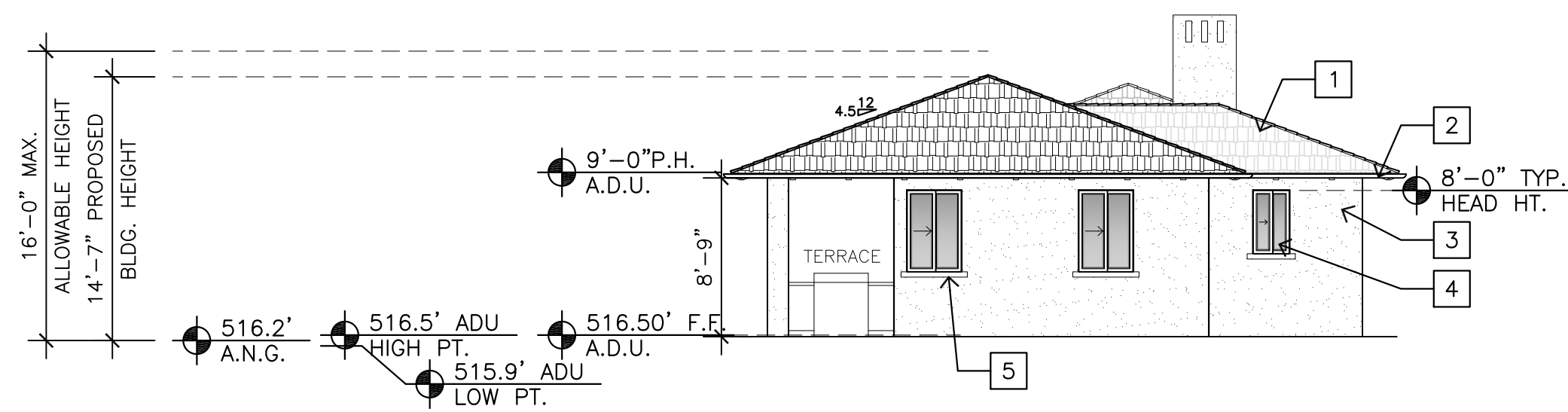
SHEET NO.

ADU6.0



SOUTH WEST ELEVATION

1/8"=1'-0"

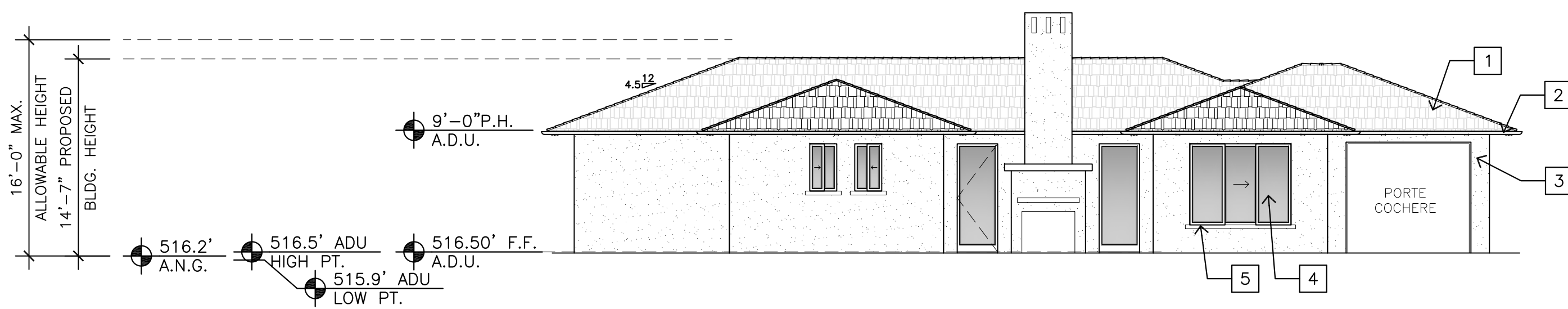


SOUTH EAST ELEVATION

1/8"=1'-0"

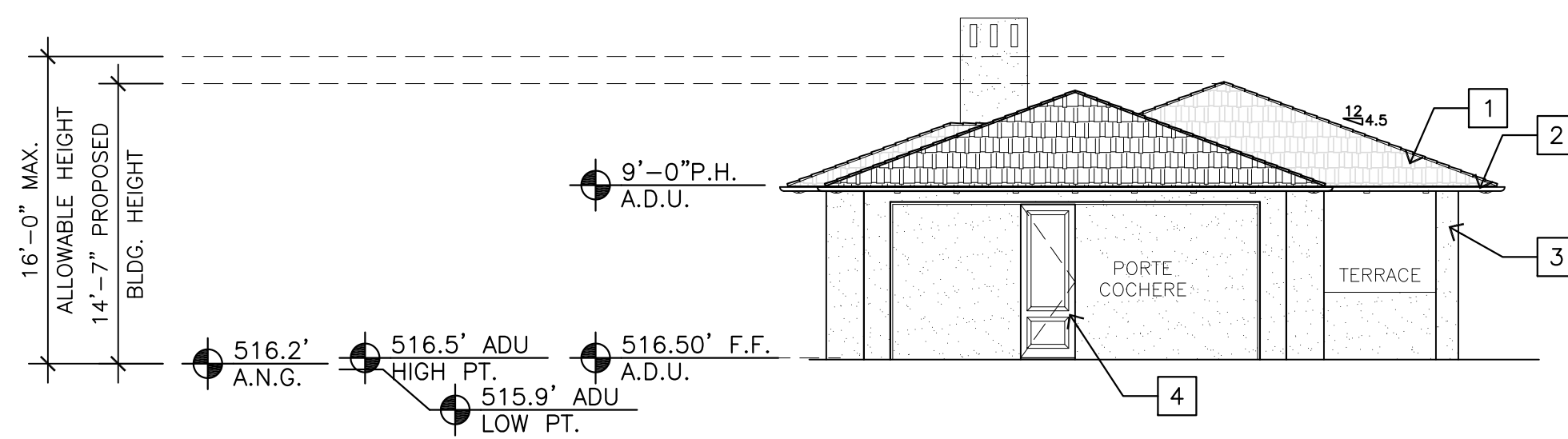
EXTERIOR FINISH LEGEND

- 1 COMPOSITE SHINGLE ROOF/CHARCOAL GREY
2 PAINTED GALVANIZED 5" HALF ROUND GUTTER
3 EXTERIOR STUCCO SMOOTH FINISH
4 WOOD EXTERIOR DOORS AND WINDOWS
5 4X4 SHAPED REDWOOD SILL
6 3X8 REDWOOD GABLE END
7 8X10 REDWOOD OUTRIGGER



NORTH EAST ELEVATION

1/8"=1'-0"



NORTH WEST ELEVATION

1/8"=1'-0"

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

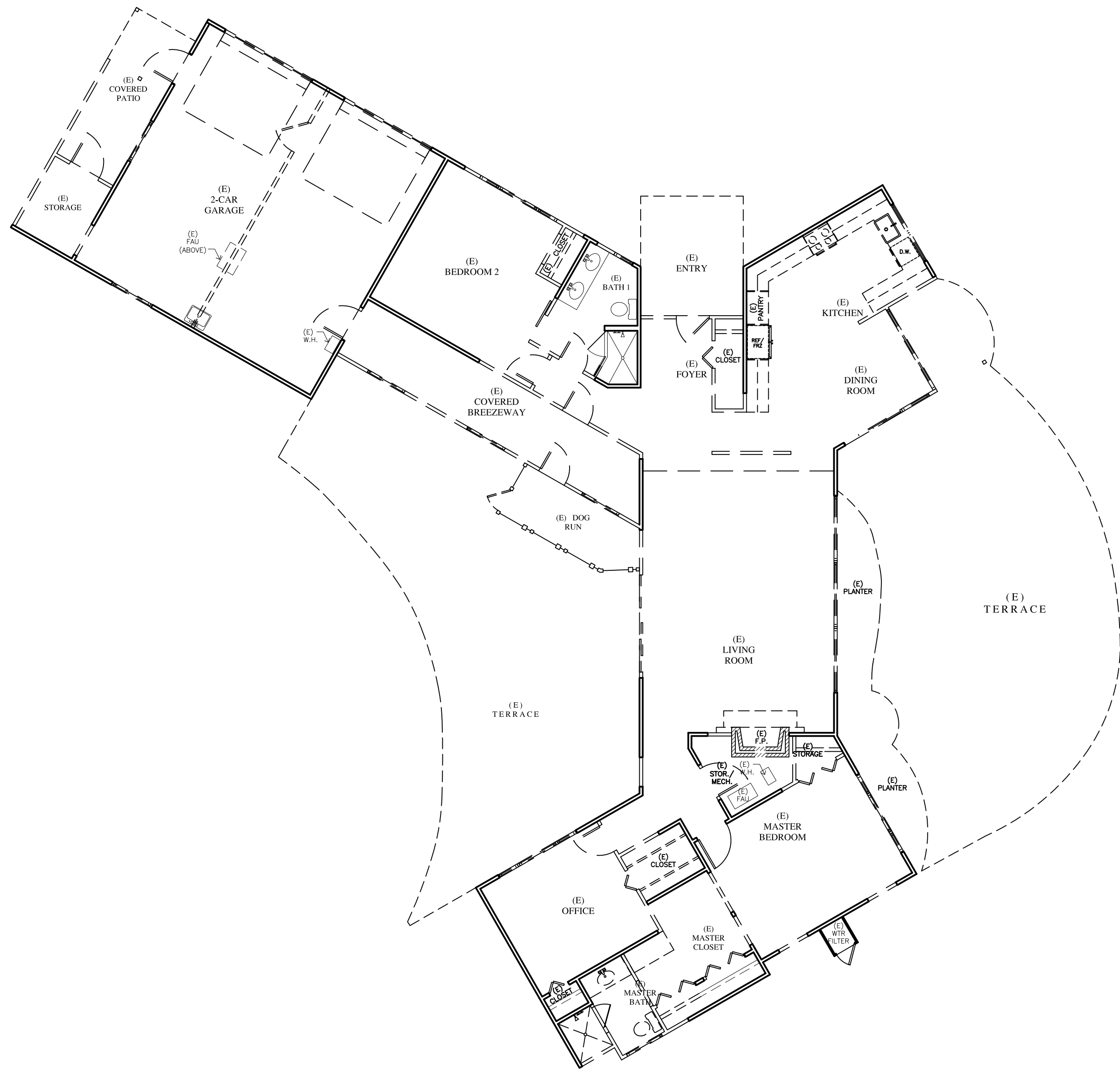
REVISIONS:

△	FEBRUARY 14, 2023
PB ARB SUBMITTAL	
△	MARCH 31, 2023
PB ARB SUBMITTAL	
△	APRIL 6, 2023
PLANNING DEPT. SUBMITTAL	
△	
△	
△	

MAIN LEVEL
EXISTING / DEMO

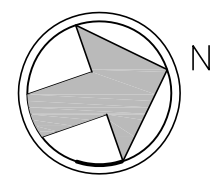
SHEET NO.

D1.0



MAIN LEVEL EXISTING-DEMOLITION PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
- - -	(E) DOOR OR WINDOW TO BE REMOVED
- - - - -	2X EXISTING WALL TO BE REMOVED

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS SHOWN BY THESE DRAWINGS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

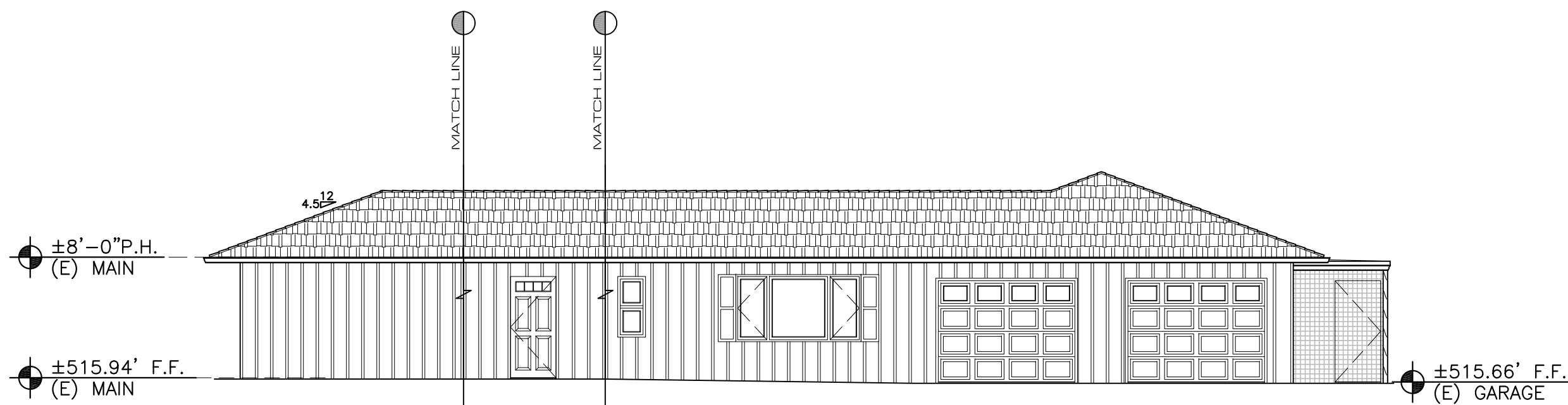
REVISIONS:

△	FEBRUARY 14, 2023
△	PB ARB SUBMITTAL
△	MARCH 31, 2023
△	PB ARB SUBMITTAL
△	APRIL 6, 2023
△	PLANNING DEPT. SUBMITTAL
△	
△	
△	

EXISTING
ELEVATIONS

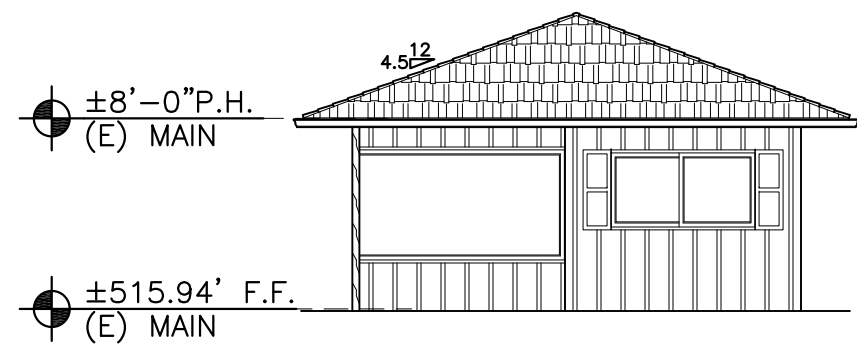
SHEET NO.

D3.0



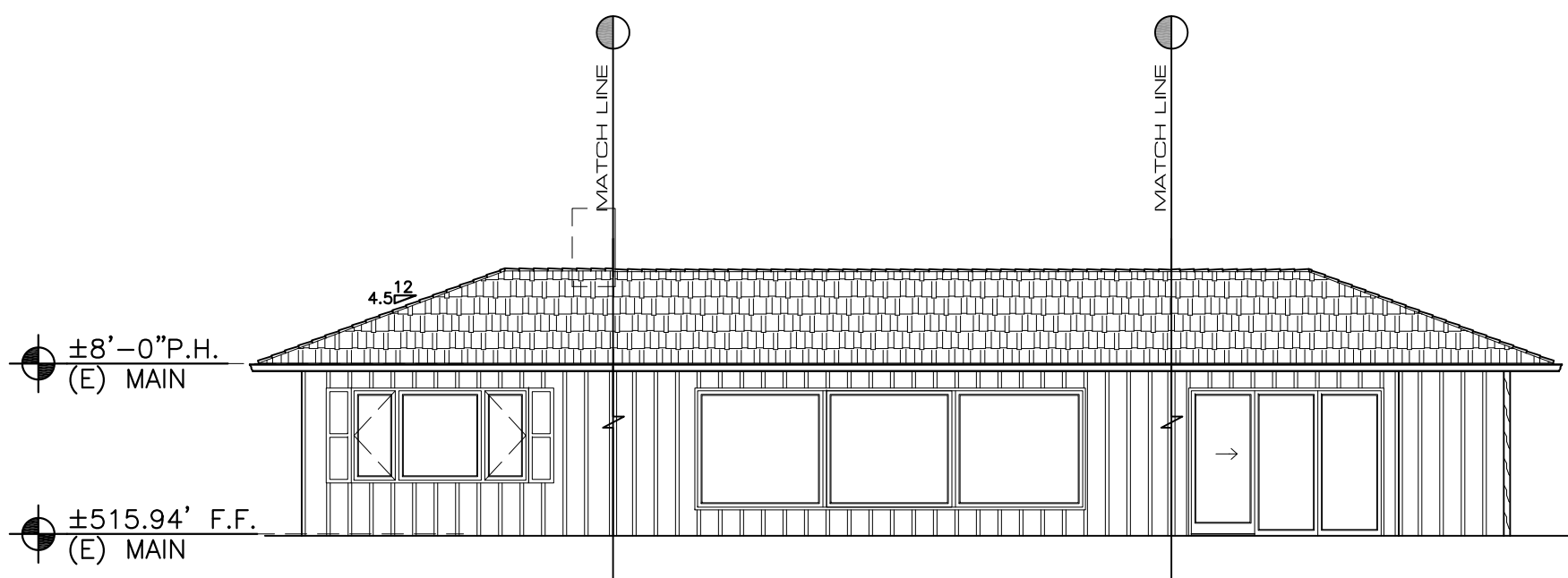
NORTH WEST ELEVATION

1/8"=1'-0"



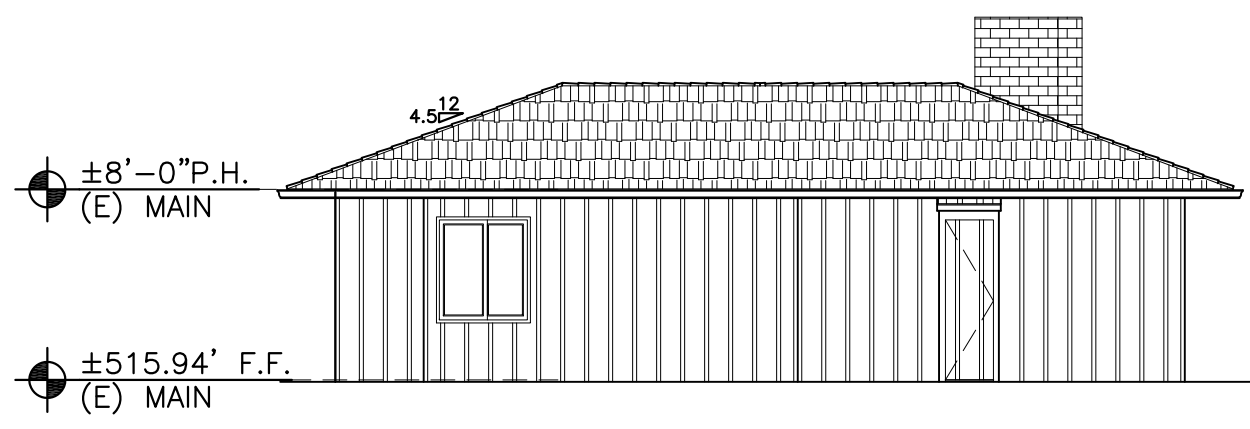
NORTH ELEVATION

1/8"=1'-0"



NORTH EAST ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

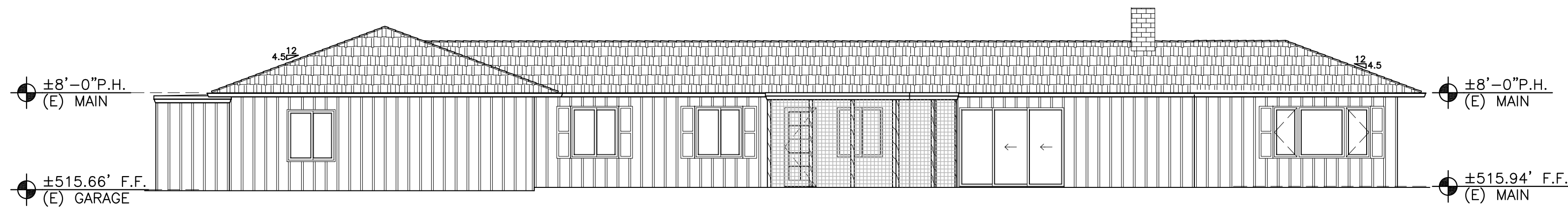
REVISIONS:

△	FEBRUARY 14, 2023	
△	PB ARB SUBMITTAL	
△	MARCH 31, 2023	
△	PB ARB SUBMITTAL	
△	APRIL 6, 2023	
△	PLANNING DEPT. SUBMITTAL	
△		
△		
△		

EXISTING
ELEVATIONS

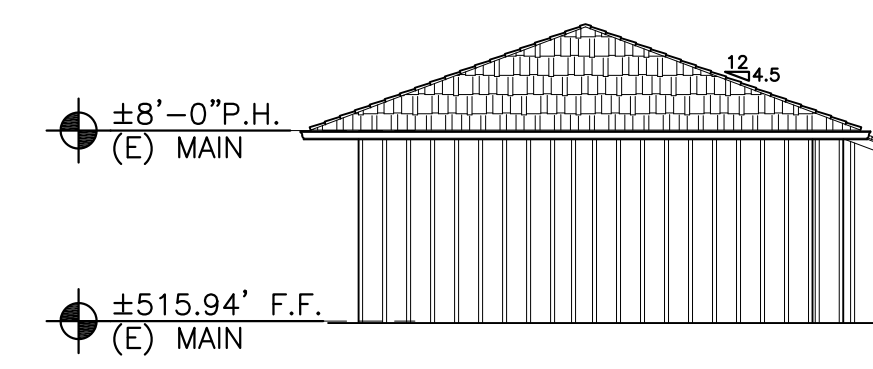
SHEET NO.

D3.1



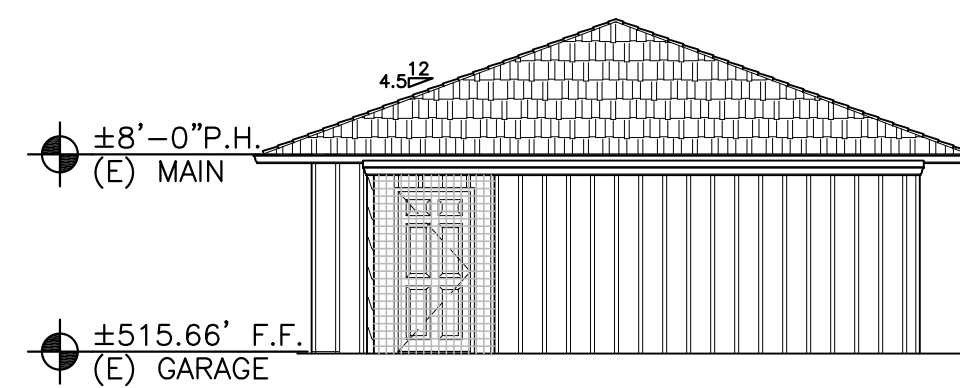
SOUTH ELEVATION

1/8"=1'-0"



SOUTH EAST ELEVATION

1/8"=1'-0"



SOUTH WEST ELEVATION

1/8"=1'-0"

COLOR AND MATERIAL SAMPLES FOR
McDERMOTT RESIDENCE
1148 PORQUE LANE, PEBBLE BEACH, CA
APN: 008-282-004

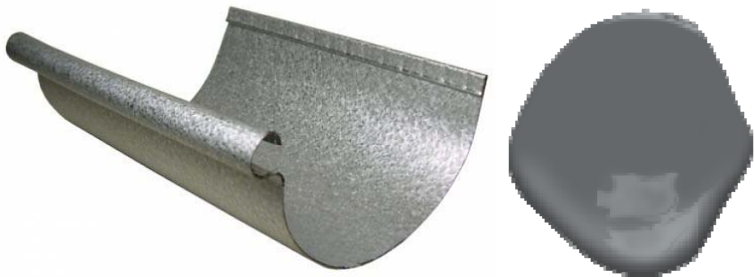


**CLASS ‘A’ COMPOSITE
SHINGLE**



CHARCOAL GREY

**PAINTED HALF-ROUND
GALVANIZED
GUTTERS & DOWNSPOUTS**



MAIN COLOR:
BENJAMIN MOORE:
CHARCOAL SLATE HC 178

**STAINED SILLS, GABLE ENDS,
AND OUTRIGGERS**



MAIN COLOR:
BEHR
SEMI-TRANSPARENT
“WEDGEWOOD” ST-107

**PAINTED EXTERIOR
STUCCO WALLS**



MAIN COLOR:
BENJAMIN MOORE:
CAMEO WHITE OC-147

**WOOD EXTERIOR
DOORS AND WINDOWS**
Kolbe Heritage Series or Equal



Color:
Ultra Pure White



GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
APN: 008-282-004
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE MCDERMOTT RESIDENCE (SHEET A1.0 PREPARED BY IDG) & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY RASMUSSEN LAND SURVEYING.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY GRICE ENGINEERING INC., DATED MARCH 2023; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 140 CUBIC YARDS OF CUT AND 45 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 95 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10" PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO ONE OF 3 DISPERSION TRENCHES AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER MITIGATION AROUND THE FOUNDATIONS SHALL BE ADDRESSED AT THE TIME OF CONSTRUCTION. IF DEEMED TO BE NECESSARY, MITIGATION MEASURES SHALL BE INSTALLED PER THE DIRECTIONS OF THE PROJECT'S SOIL ENGINEER.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 6" OF TRENCH SHALL BE CARPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

LEGEND:

	PROPERTY BOUNDARY		EXISTING RESIDENCE FOOTPRINT		CATCH BASIN
	SETBACK		PROPOSED BUILDING FOOTPRINT		AREA DRAIN
	MAJOR CONTOUR (5' INTERVAL)		ASPHALT CONCRETE		JUNCTION BOX
	MINOR CONTOUR (1' INTERVAL)		PORTLAND CEMENT CONCRETE		DISPERSION TRENCH
	RETAINING WALL		DECOMPOSED GRANITE		TREE
	SWALE FLOW LINE		IMPERVIOUS PAVERS		TREE TO BE REMOVED
	STORM DRAIN PIPE				
	RAINWATER LEADER				
	SUBDRAIN LINE				



LOT OVERVIEW
SCALE: 1" = 50'

PROJECT DATA:

GRADING VOLUMES	
CUT	= 140 CY
FILL	= 45 CY
NET	= 95 CY CUT
IMPERVIOUS AREA*	
ADU DRIVEWAY	= 2398 SF
ADU	= 1244 SF
MAIN TERRACES	= 1151 SF
MAIN ADDITIONS	= 882 SF
ADU TERRACES	= 839 SF
MAIN ENTRY	= 497 SF
MAIN DRIVEWAY	= 212 SF
WALLS	= 161 SF
TOTAL	= 9805 SF
*CREATED OR REPLACED	
PERMEABLE SURFACES	
LANDSCAPE	= 2940 SF
TOTAL	= 2940 SF
AREA OF DISTURBANCE	
TOTAL	= 12745 SF

ABBREVIATIONS:

Ø	= DIAMETER	EX	= EXISTING	PL	= PROPERTY LINE
AB	= AGGREGATE BASE	FC	= FLUSH CURB	PVC	= POLYVINYL CHLORIDE
ABAN	= ABANDON	FD	= FIRE DEPARTMENT	RC	= RELATIVE COMPACTION
AC	= ASPHALT CONCRETE	FF	= FINISHED FLOOR	RES	= RESIDENCE
AD	= AREA DRAIN	FG	= FINISHED GRADE	RM	= ROOM
ADD	= ADDITION	FL	= FLOWLINE	RND	= ROUND
ADU	= ACCESSORY DWELLING UNIT	FM	= FORCE MAIN	RWL	= RETAINING WALL
BC	= BEGINNING OF CURVE	FP	= FINISHED PAD	RWL	= RAINWATER LEADER
B.E.	= BUILDING ENVELOPE	GAR	= GARAGE	SD	= STORM DRAIN
BOT	= BOTTOM	GB	= GRADE BREAK	SF	= SQUARE FEET
BSMT	= BASEMENT	GR	= GRATE	SG	= SUBGRADE
BVC	= BEGINNING OF VERTICAL CURVE	HDPE	= HIGH-DENSITY POLYETHYLENE	SQ	= SQUARE
CB	= CATCH BASIN	HP	= HIGH POINT	SS	= SANITARY SEWER
CF	= CUBIC FEET	HT	= HEIGHT	STA	= STATION
CL	= CENTERLINE	INV	= PIPE INVERT	STN	= STONE
CO	= CLEANOUT	JB	= JUNCTION BOX	STP	= STEP
CONC	= CONCRETE	JT	= JOINT TRENCH	SUBD	= SUBDRAIN
CY	= CUBIC YARDS	LF	= LINEAR FEET	TBR	= TO BE REMOVED
DG	= DECOMPOSED GRANITE	LP	= LOW POINT	TD	= TRENCH DRAIN
DK	= DECK	MAX	= MAXIMUM	TW	= TOP OF WALL
DS	= DOWNSPOUT	MIN	= MINIMUM	TYP	= TYPICAL
DWY	= DRIVEWAY	OC	= ON-CENTER	VC	= VERTICAL CURB
EC	= END OF CURVE	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EG	= EXISTING GROUND	PCC	= PORTLAND CEMENT CONCRETE	WD	= WOOD
EVC	= END OF VERTICAL CURVE	PERF	= PERFORATED		
EW	= EACH WAY	PERM	= PERMEABLE		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SOURCE CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	GRICE ENGINEERING INC.	Beginning of Project		
Subexcavation, fill placement, and compaction	GRICE ENGINEERING INC.	Throughout grading operations		
Foundation Excavations	GRICE ENGINEERING INC.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	GRICE ENGINEERING INC.	Prior to trench backfill		
Utility trench compaction	GRICE ENGINEERING INC.	During backfill operations		
Retaining wall backfill compaction	GRICE ENGINEERING INC.	During backfill operations		
Baseroack subgrade compaction	GRICE ENGINEERING INC.	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
KAREN MCDERMOTT
P.O. BOX 1064
PEBBLE BEACH, CA 93953

ARCHITECT:
JUN SILLANO
IDG
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA 93950

SITE LOCATION:
1148 PORQUE LN
PEBBLE BEACH, CA 93953

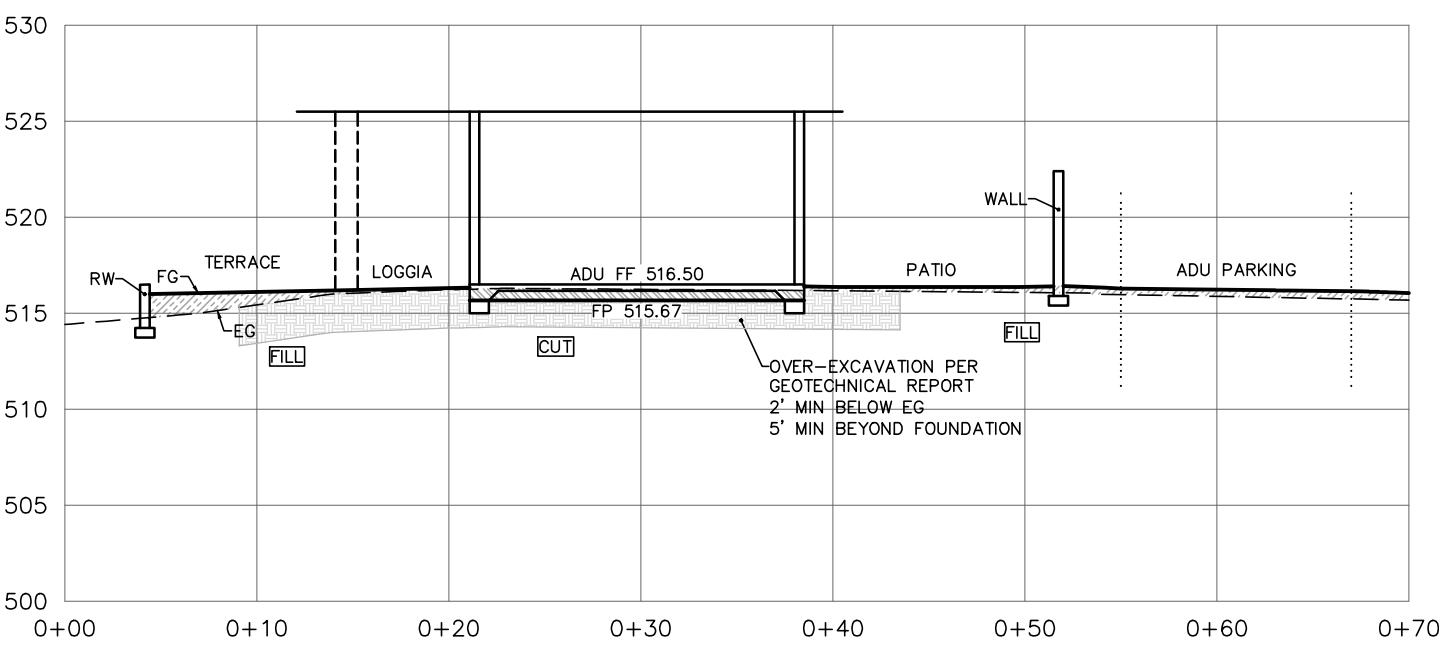
	05/01/23	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION

"COVER SHEET"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
FOR
KAREN MCDERMOTT

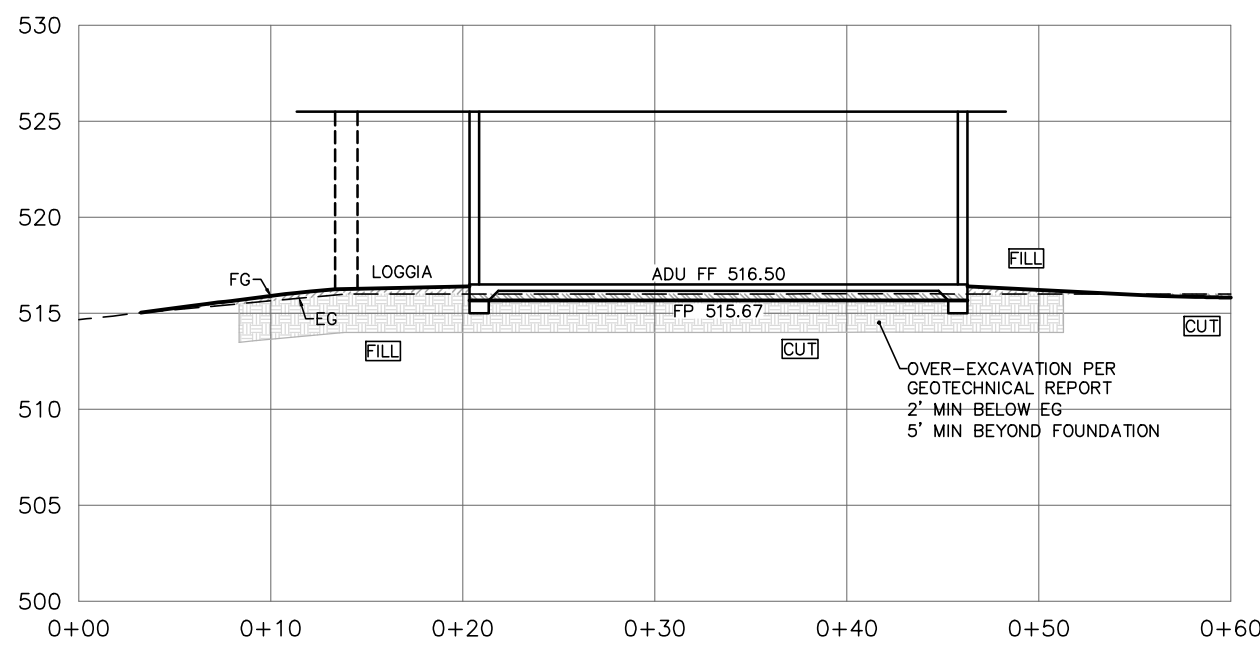
SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

SHEET **C1**

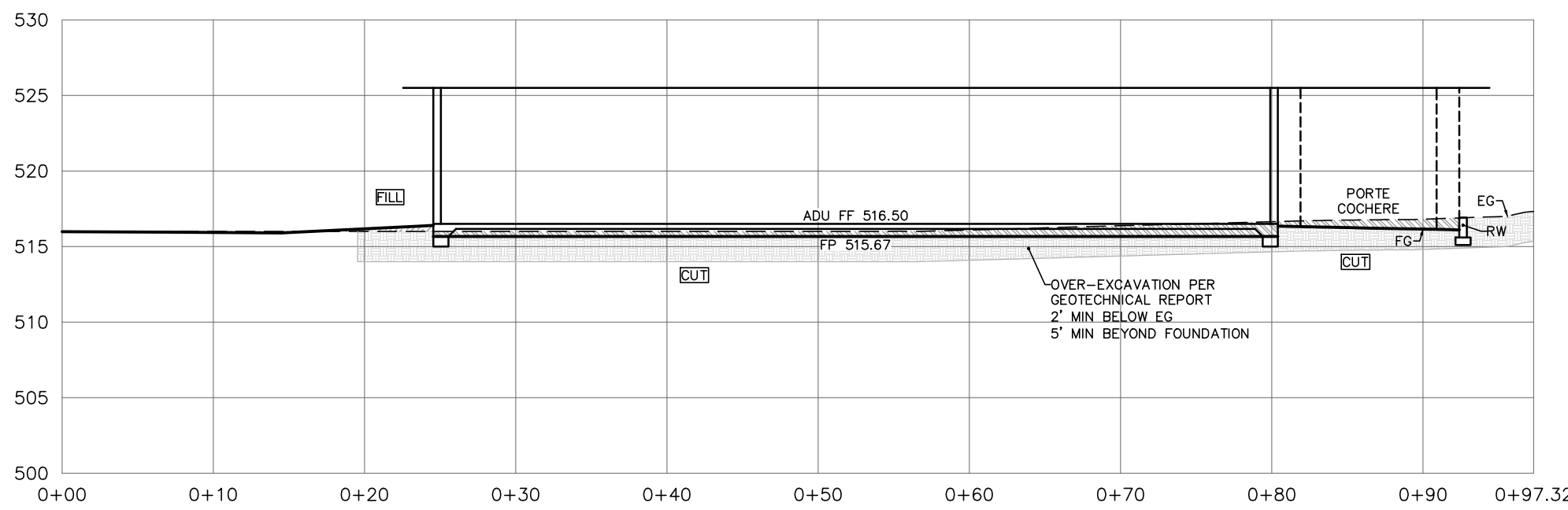
OF 7 SHEETS



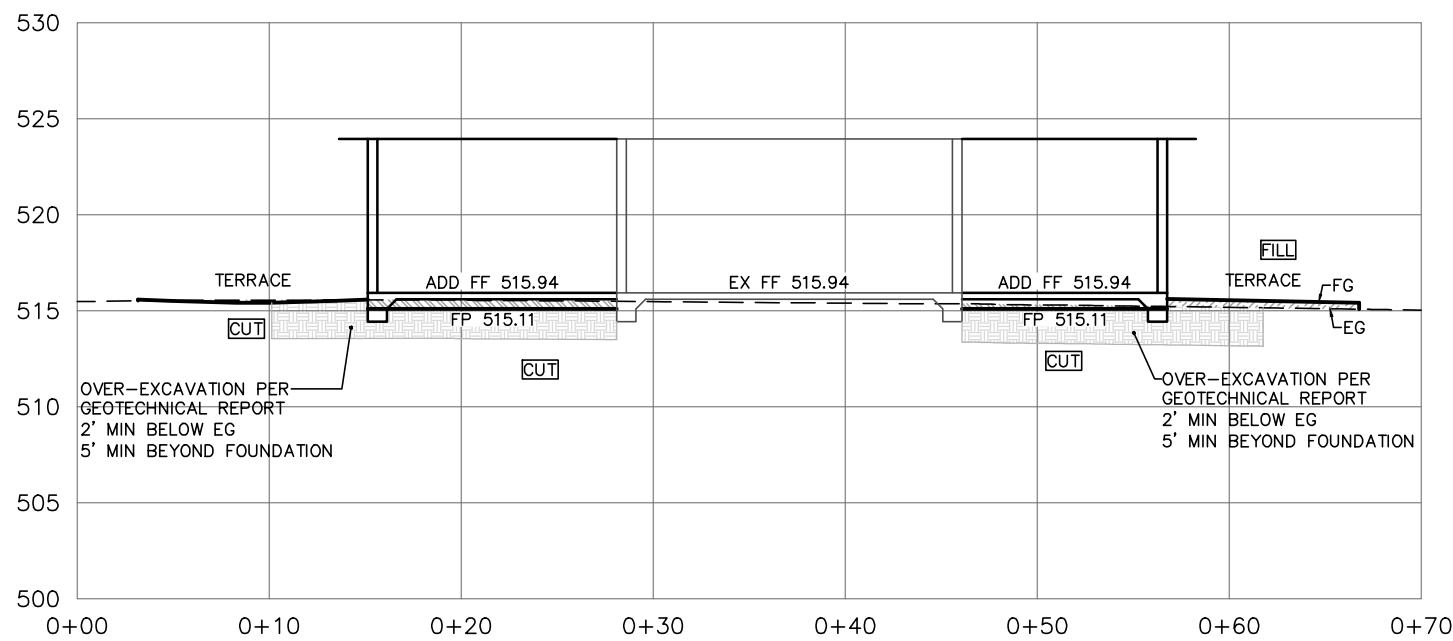
SECTION A-A
SCALE: 1"=10' H&V



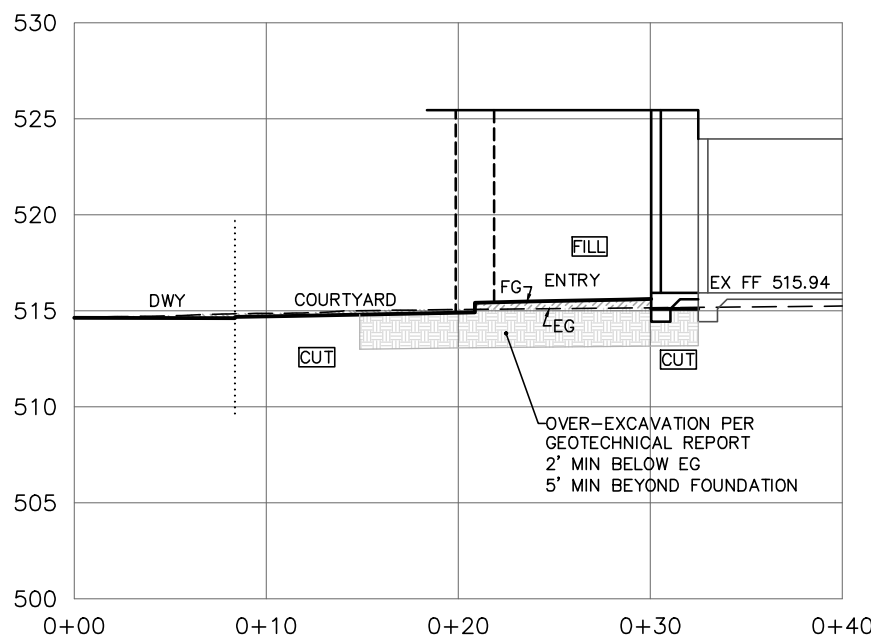
SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V



SECTION E-E
SCALE: 1"=10' H&V

"GRADING SECTIONS & DETAILS"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

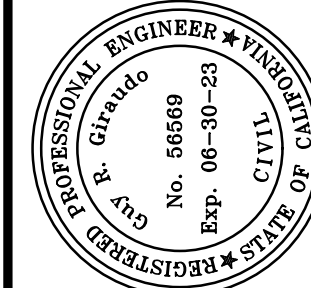
SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

	05/01/23	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION

SHEET **C3**
OF 7 SHEETS



APPROVED BY:
GUY R. GIRARDINO





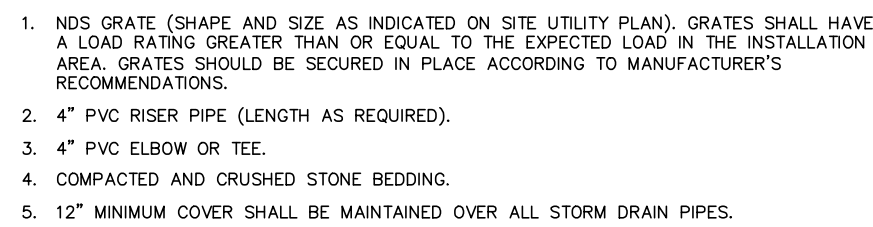
"UTILITY PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

SCALE: 1" = 10'			
DATE: MAY 2023			
JOB NO. 2614-01			
SHEET C4			
OF 7 SHEETS			
No.	DATE	BY	REVISION
05/01/23	JAN	RELEASED TO CLIENT	

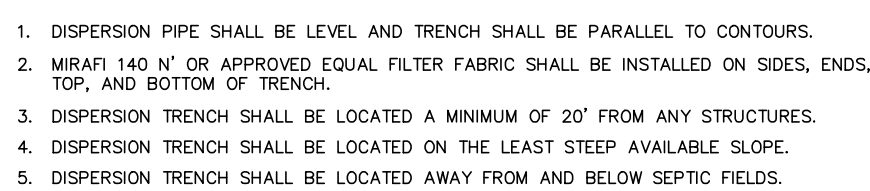
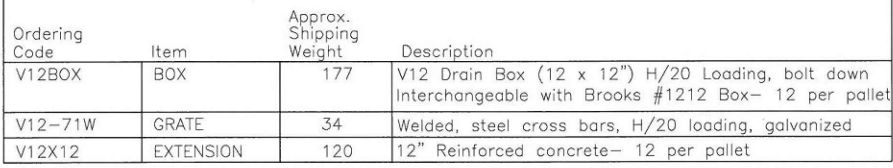
LANDSET
ENGINEERS, INC.
5308 Gray Horse Canyon Road
Salinas, California 93807
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:

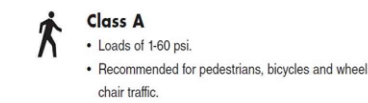
GUY R. GIRARDO
CIVIL
No. 86669
Exp. 06-30-23
PROFESSIONAL ENGINEER & ARCHITECT
STATE OF CALIFORNIA



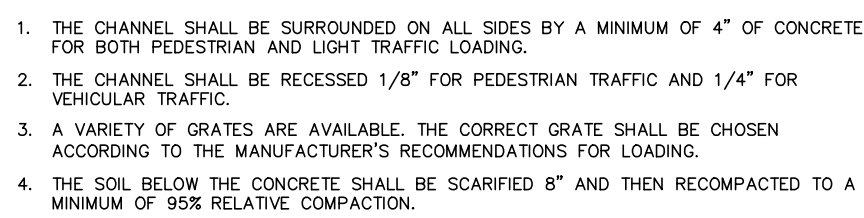
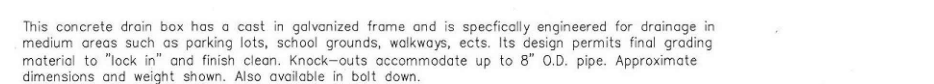
①



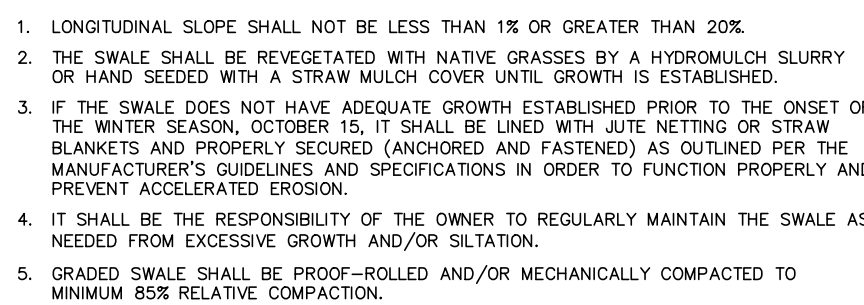
11



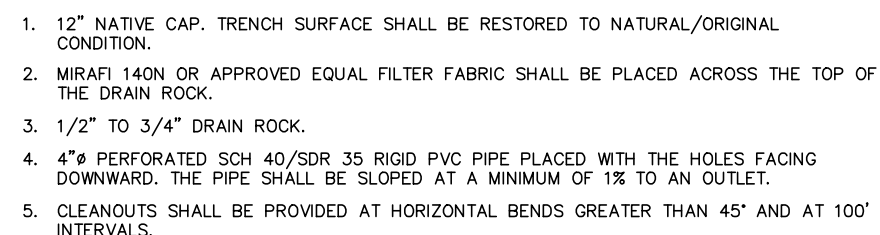
ADA Compliant/Heel-proof



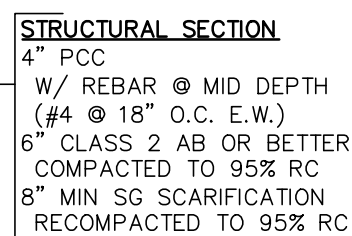
③



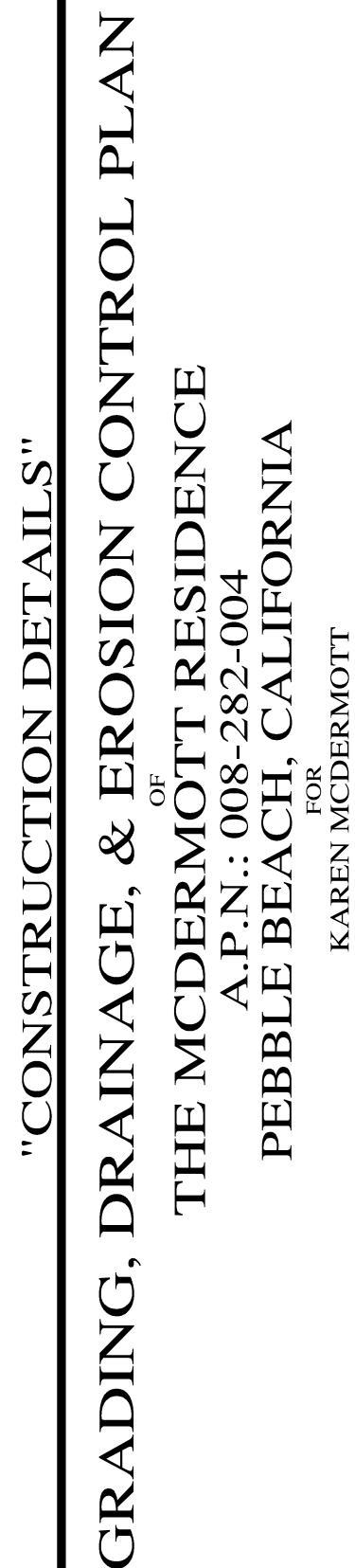
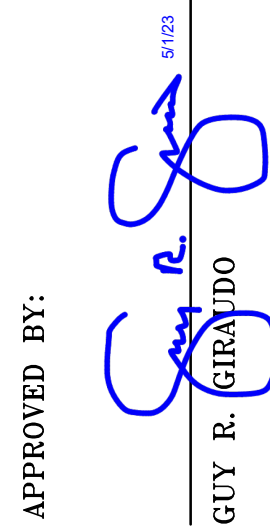
8



9



10



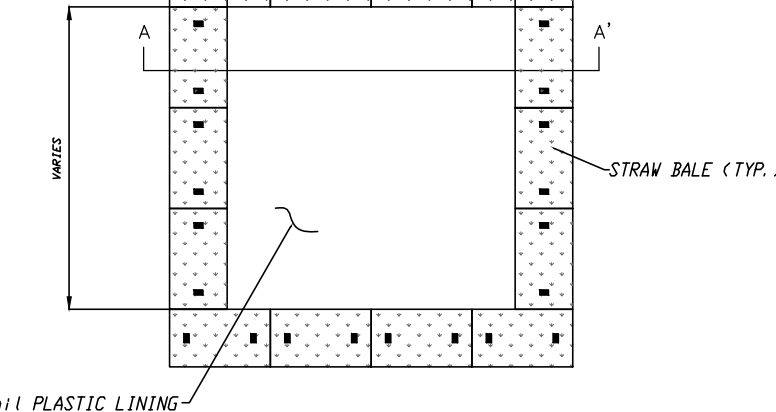
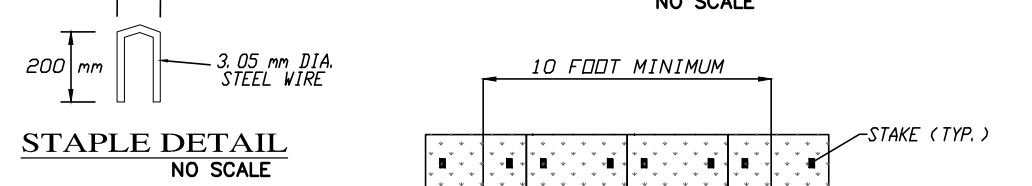
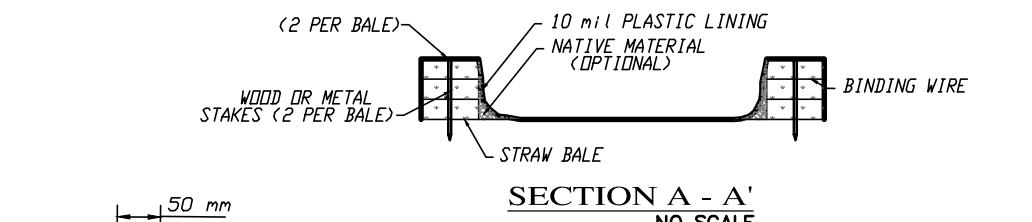
KAREN MCDERMOTT

SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

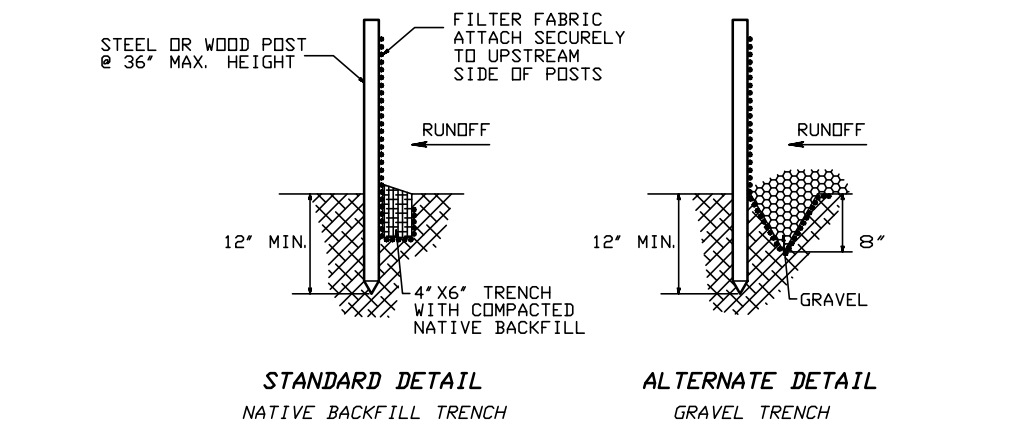
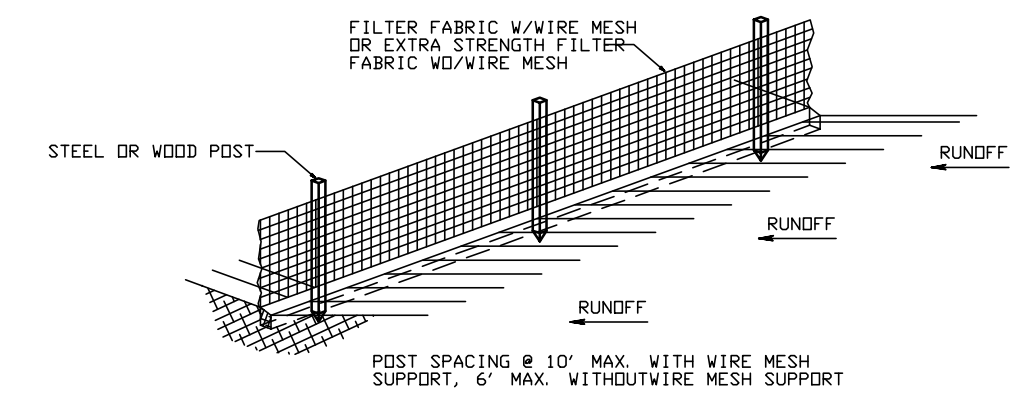
SHEET C5

OF 7 SHEET

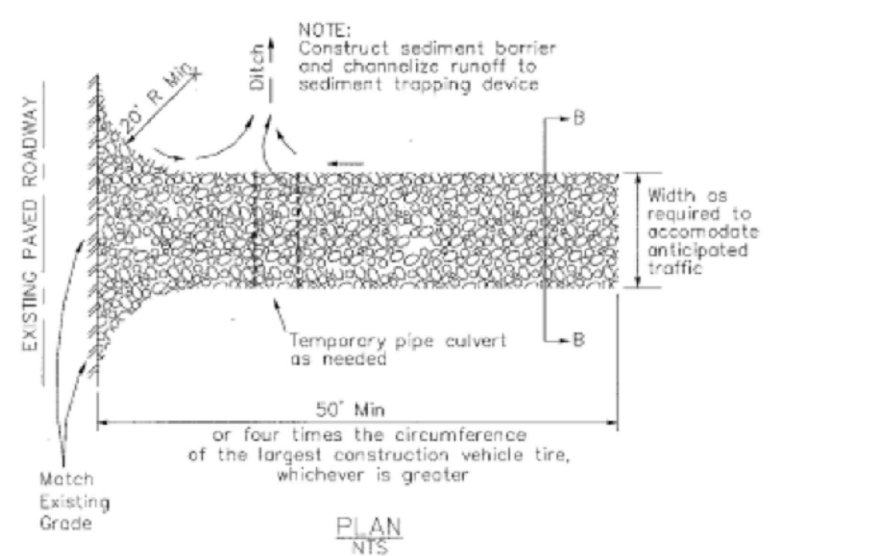
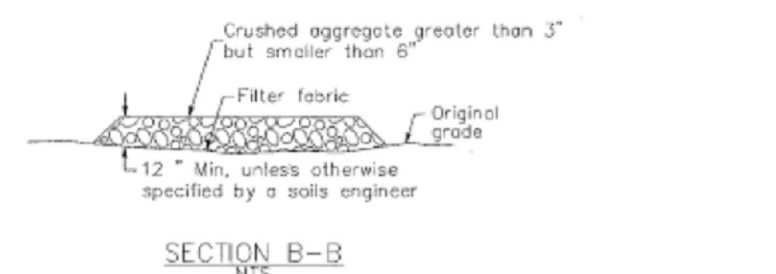
	05/01/23	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION



CONCRETE WASHOUT
NOT TO SCALE



SILT FENCE
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHIANTHERUM (MEADOW BARLEY), FESTUCA RUNRIMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE ALL EROSION DAMAGE HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

1 FR

2

3

4

5

6

7

8

9

10

11

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLIFIED SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.

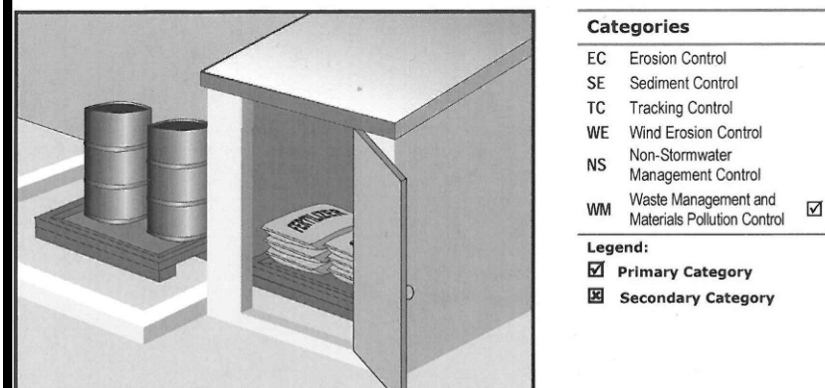
SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

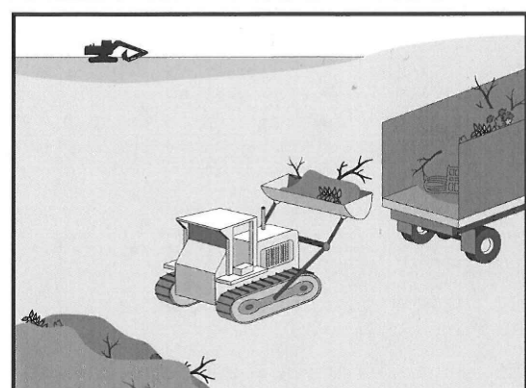
Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

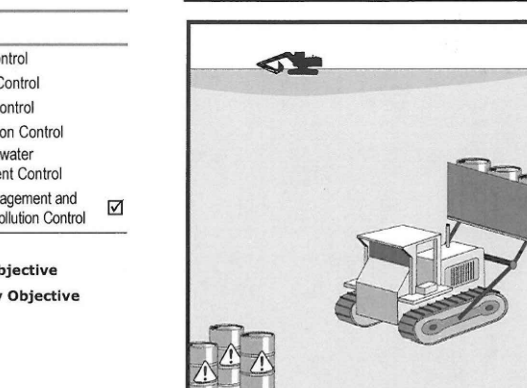
Solid Waste Management WM-2



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Potential Alternatives
None

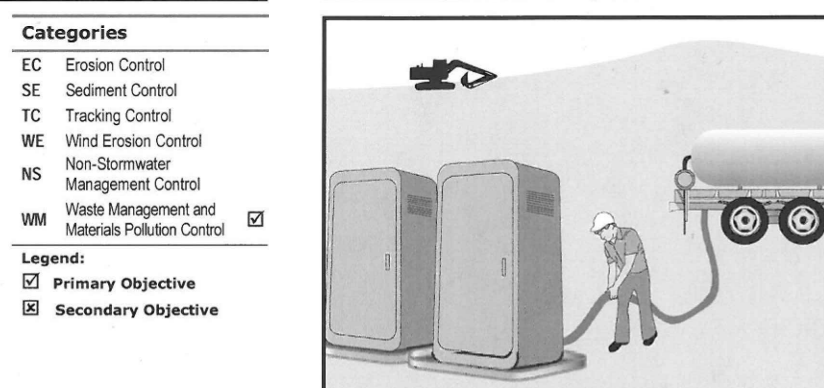
Hazardous Waste Management WM-3



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Potential Alternatives
None

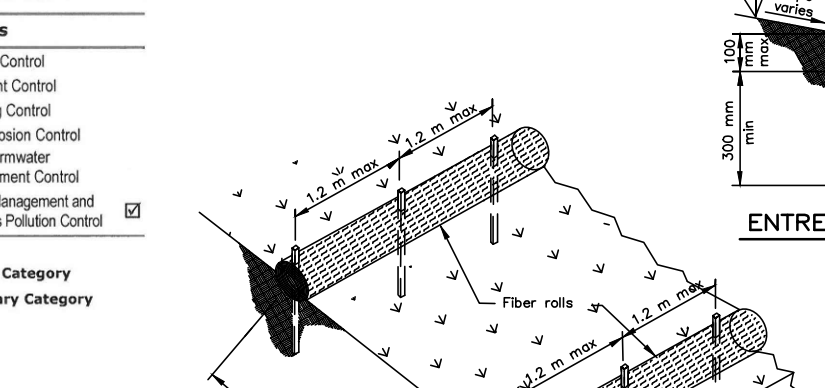
Sanitary/Septic Waste Management WM-4



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Potential Alternatives
None

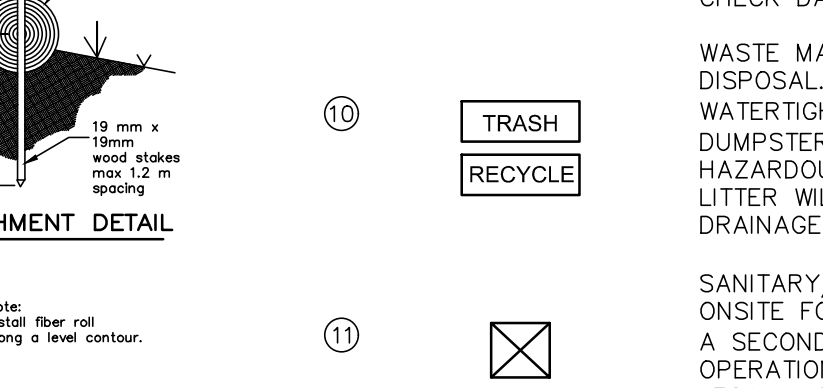
Sanitary/Septic Waste Management WM-5



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Potential Alternatives
None

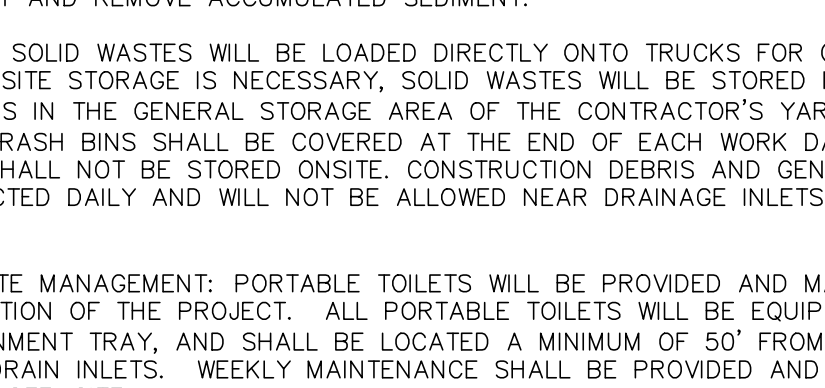
Sanitary/Septic Waste Management WM-6



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

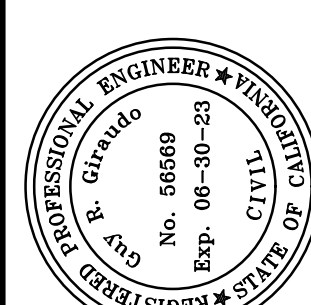
Potential Alternatives
None

Sanitary/Septic Waste Management WM-7



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Potential Alternatives
None



APPROVED BY:
GUY R. GIRAUDO



"EROSION & SOURCE CONTROL PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

SHEET **C6**

OF 7 SHEETS

No.	DATE	BY	REVISION
05/01/23	JAN	RELEASED	TO CLIENT

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 140 CY OF CUT & 45 CY OF FILL.

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR AND GRUB
B. SITE GRADING
C. UTILITY INSTALLATION
D. CONSTRUCT STRUCTURE
E. INSTALL PAVERS AND LANDSCAPING
F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:

HAUL TRUCKS SHALL BACK INTO THE SITE FROM PORQUE LN. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON PORQUE LN. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B OF THIS SHEET, FROM PORQUE LN TO SOMBRIA LN TO PORTOLA RD TO 17 MILE DR TO CA HWY 68 TO NORTHBOUND CA HWY 1. FLAGGERS SHALL BE STATIONED ON PORQUE LN AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:

VEHICLES OR TRUCKS SHALL NOT QUEUE ON PORQUE LN. TRUCKS SHALL QUEUE ON SITE (SEE DETAIL A, THIS SHEET).

EMPLOYEE PARKING:

EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG PORQUE LN AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:

ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

PROJECT SCHEDULING: PROJECTED START DATE IS JUNE 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

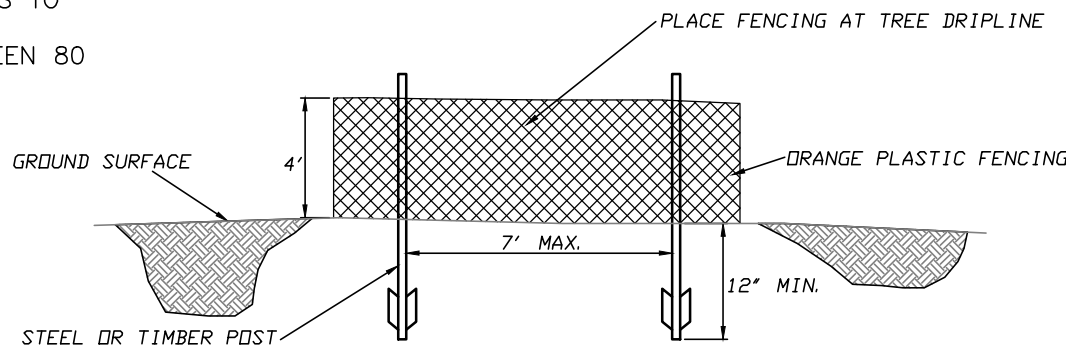
A PLAN
SCALE: 1" = 30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	8	2
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	12	10

TRUCK TRIP GENERATION NOTES:

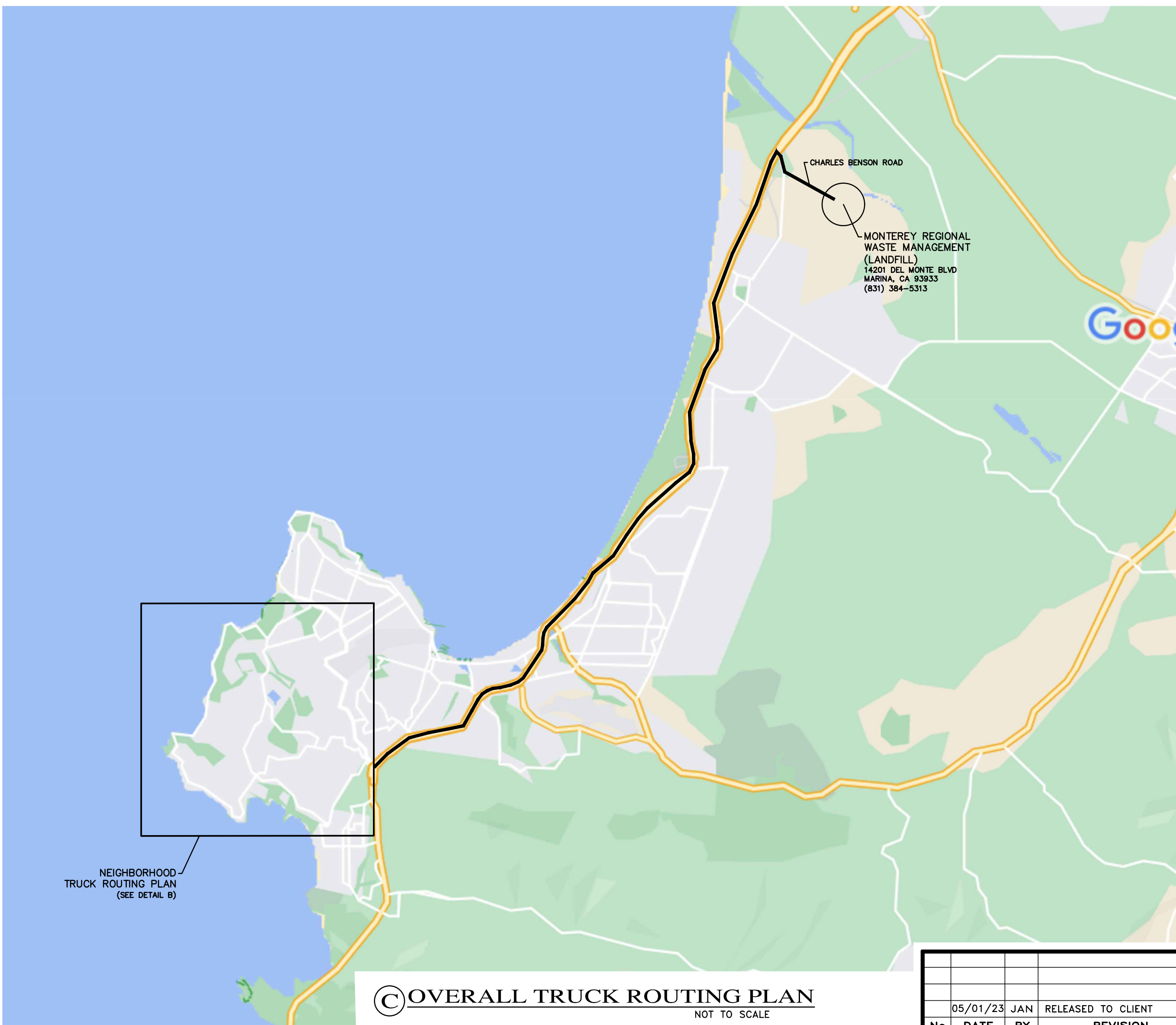
- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 95 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE



B NEIGHBORHOOD TRUCK ROUTING PLAN
NOT TO SCALE



C OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
	05/01/23	JAN	RELEASED TO CLIENT

"CONSTRUCTION MANAGEMENT PLAN"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF
THE MCDERMOTT RESIDENCE

A.P.N.: 008-282-004

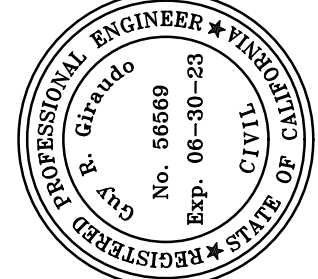
PEBBLE BEACH, CALIFORNIA

KAREN MCDERMOTT

SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

SHEET **C7**

OF 7 SHEETS



APPROVED BY:

GUY R. GIRARDO

