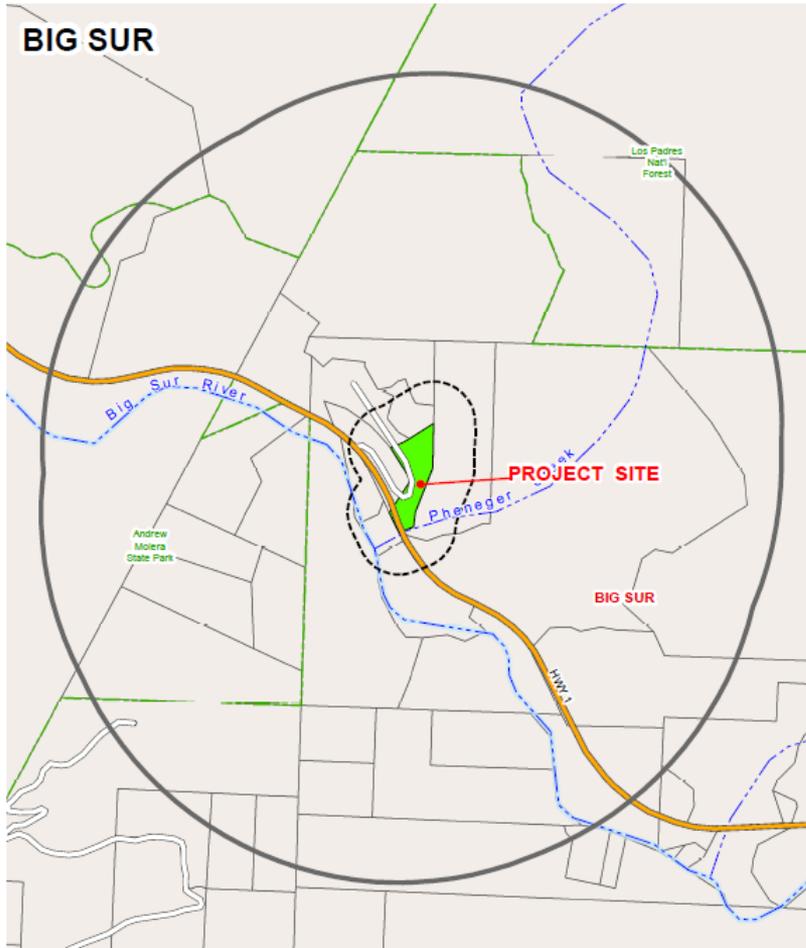




PLN160851-AMD2 Morgenrath (Blaze Engineering)

**Board of
Supervisors**
April 15, 2025
Item No. 32



Project Location:

46821 Highway 1, Big Sur

Zoning:

Visitor Serving Commercial, Design Control (CZ)

Big Sur Coast Land Use Plan within the Big Sur Valley Rural Community Center



Process

- November 14, 2018: Planning Commission approved Resolution No. 18-045.
- August 27, 2019: Board of Supervisors denied the appeal of Matt and Carol Donaldson and Paul Smith and approved Resolution No. 19-285.
 - Board of Supervisors decision appealed to the Coastal Commission.
- Applicant requested modifications to the previously approved project prior to the appeal being scheduled. County staff processed an Amendment.
- June 14, 2023: Planning Commission approved an Amendment to the previously approved project.
 - Planning Commission decision appealed to the Board of Supervisors.



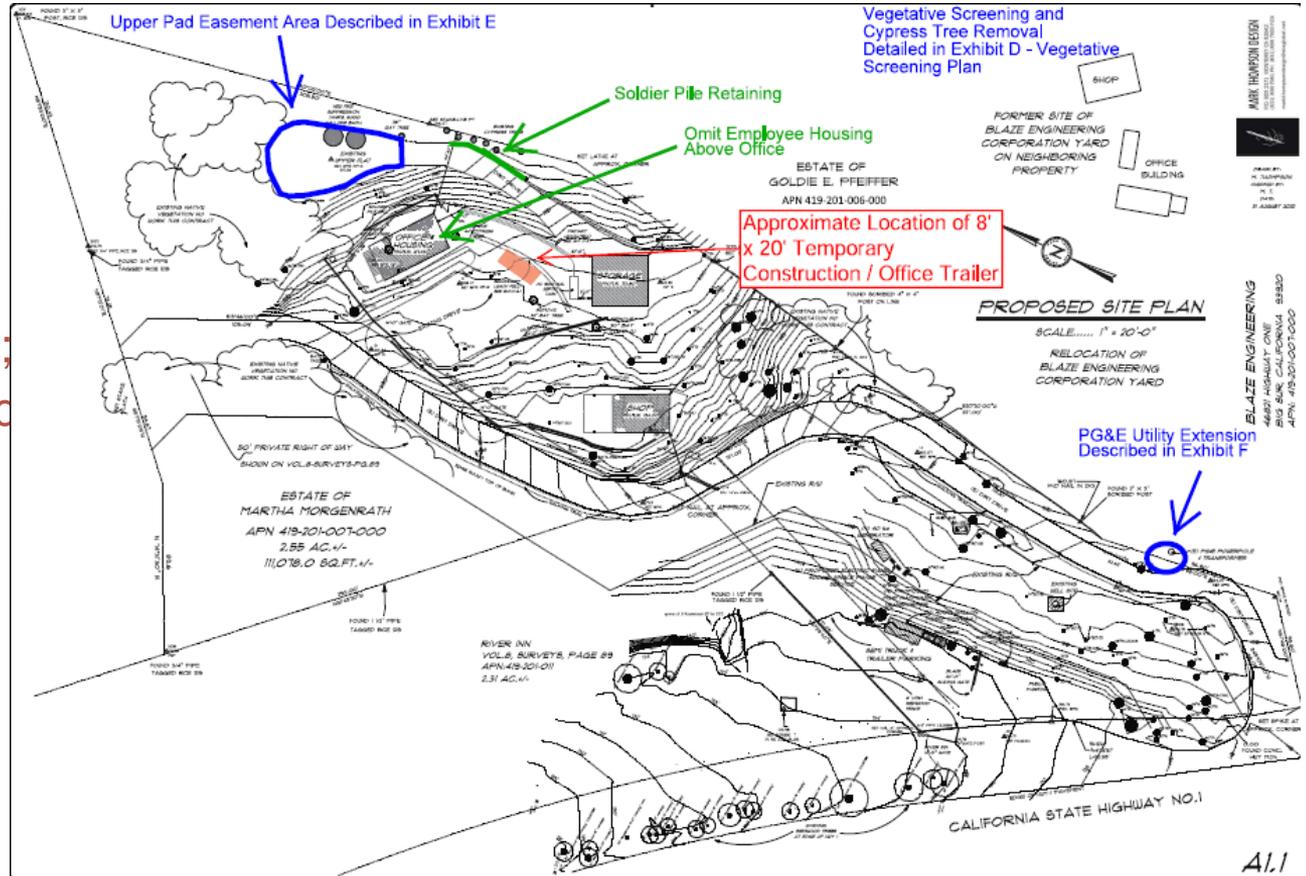
Process Continued

- September 19, 2023: Board of Supervisors approved PLN160851-AMD2
 - Board of Supervisors' decision was appealed to the Coastal Commission
- California Coastal Commission found the Board's decision was not insubstantial conflict with the LCP.
- Applicant and Neighbors have entered into a Conditional Settlement Agreement to resolve the two filed lawsuits.
- PLN160851-AMD2 would implement the Conditional Settlement Agreement

Amendment

Proposed changes:

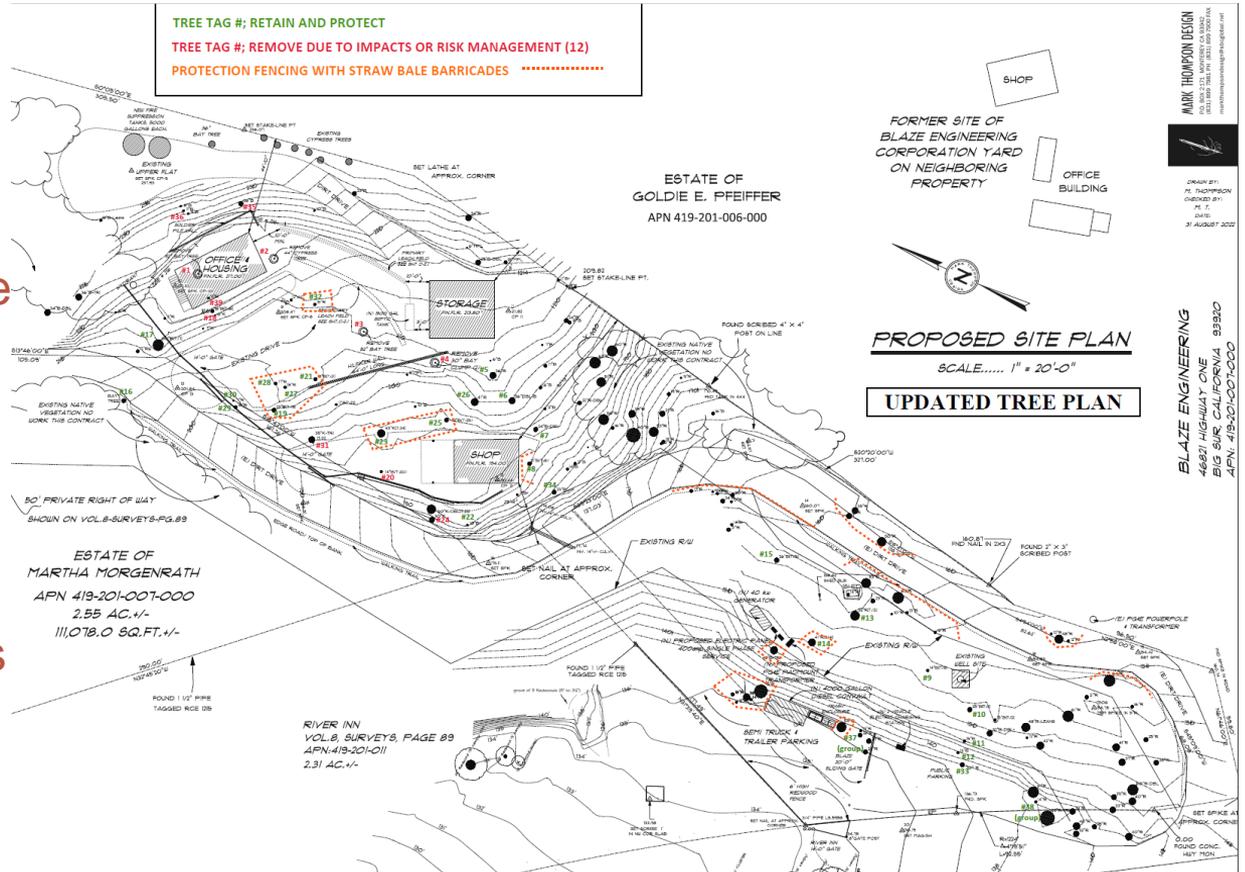
- Removes employee housing;
- 48 foot long retaining wall;
- Vegetative screening;
- Temporary office; and
- Removal of two Cypress trees.



Amendment

Remains the same:

- 760 square foot office;
- 600 square foot; workshop
- 800 square foot storage building;
- Other site improvements
- Development within 100 feet of EHSA; and
- Development on slopes in excess of 30 percent





CEQA

2019 Mitigated Negative Declaration included four biological mitigation measures and one tribal cultural resources mitigation measures.

2023: Board of Supervisors adopted a Supplemental Mitigated Negative Declaration to address the project revisions and changes in site conditions considered under PLN160851-AMD1.

PLN160851-AMD2 scope of work remains stable with 2019 MND and 2023 Supplemental MND.

No further environmental review is warranted and none of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.



Errata

Title Page:

...slopes in excess of 30 percent, and 5) development within Environmentally Sensitive Habitat Areas. This second Amendment ~~would~~ amends the previously approved Combined Development Permit and General Development Plan (PLN160851, as modified by PLN160851-AMD1) ~~and~~ by omitting the employee housing unit, removing two hazardous Cypress trees, installing vegetative screening, constructing a 48-foot-long retaining wall, and installing a 160-square-foot temporary construction trailer.

[PLN160851-AMD2, MORGENRATH MARTHA J TR

Finding No. 2, Evidence “b”

This second Amendment ~~would~~ amends the previously approved Combined Development Permit and General Development Plan (PLN160851 as modified by PLN160851-AMD1) ~~to~~ by ~~omit~~ omitting the employee housing unit, removing two hazardous Cypress trees, installing vegetative screening (Condition No. 27), constructing a 48-foot-long retaining wall, and installing a 160-square-foot temporary construction trailer. The remainder of the project scope approved under

Decision Page:

30 percent; and 5) development within Environmentally Sensitive Habitat Areas. This second Amendment would amend the previously approved Combined Development Permit and General Development Plan (PLN160851 as modified by PLN160851-ADM1) ~~and~~ by omitting the employee housing unit, removing two hazardous Cypress trees, installing vegetative screening, constructing a 48-foot-long retaining wall, and installing a 160-square-foot temporary construction trailer.



Recommendation

1. Consider the previously adopted Mitigated Negative Declaration as revised by a Supplemental Mitigated Negative Declaration pursuant to CEQA Guidelines section 15164;
2. Approve a Second Amendment to a previously approved Combined Development Permit (PLN160851), as modified by PLN160851-AMD1 to omit the employee housing unit, remove two hazardous Cypress trees, install vegetative screening, construct a 48-foot-long retaining wall, and install a 160-square-foot temporary construction trailer.