

County of Monterey

Monterey County Planning Commission
Monterey County Government Center - Cayenne Conference Room
1441 Schilling Place, 1st Floor



Meeting Agenda - Final

Wednesday, February 8, 2023
9:00 AM

Monterey County Planning Commission

*Etna Monsalve, Chair
Martha Diehl, Vice Chair
Craig Spencer, Secretary*

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Planning Commission's alternative actions on any matter before it.

IMPORTANT NOTICE REGARDING COVID-19 AND PARTICIPATION IN THE PLANNING COMMISSION MEETING

Monterey County Planning Commission will be held by teleconference to minimize the spread of the COVID-19 virus, in accordance with the State of Emergency proclaimed by Governor Newsom on March 4, 2020, Government Code section 54953 as amended by AB 361, and the Monterey County Health Officer recommendation of social distancing measures for meetings of legislative bodies.

To participate in this Monterey County Planning Commission meeting, the public are invited to observe and address the Commission telephonically or electronically. Instructions for public participation are below:

PARTICIPATE VIA ZOOM LINK:

<https://montereycty.zoom.us/j/97722386573>

PARTICIPATE BY PHONE: by dialing 1-669-900-6833 and then when prompted, entering the Meeting ID Access Code 977 2238 6573

Public Participation Instructions:

The meeting will be conducted via teleconference using the Zoom program, and Commissioners will attend electronically or telephonically. The meeting will have no physical location to physically attend.

The public may observe the Zoom meeting via computer by clicking on the following link:

<https://montereycty.zoom.us/j/97722386573>, or the public may listen via phone by dialing 1-669-900-6833 and then when prompted, entering the Meeting ID Access Code: 977 2238 6573

You will be asked for a "Participant ID". You do not need a Participant ID to join the meeting, press the pound key (#) again and you will be automatically connected.

1. If a member of the public wishes to comment on a particular agenda item, the public is strongly encouraged to submit their comments in writing via email to the County Housing and Community Development at pclearingcomments@co.monterey.ca.us by 2:00 p.m. on the Tuesday prior to the Commission meeting. To assist County staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line. Comments received by the 2:00 p.m. Tuesday deadline will be distributed to the Commission and will be placed in the record.

2. Applicants and members of the public wishing to comment on a specific agenda item while the matter is being heard during the meeting may participate by any of the following means:

a. When the Chair calls for public comment on an agenda item, the Secretary of the Commission or his or her designee will first ascertain who wants to testify (among those who are in the meeting electronically or telephonically) and will then call on speakers and unmute their device one at a time. Public speakers including the applicant may be broadcast in audio form only.

b. If speakers or other members of the public have documents they wish to distribute to the Commission for an agenda item, they are encouraged to submit such documents by 2:00 p.m. on Tuesday before the meeting to: pclearingcomments@co.monterey.ca.us. To assist staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line.

c. If applicants or members of the public want to present documents/Power Point presentations while speaking, they should submit the document electronically by 2:00 p.m. on Tuesday before the meeting at pclearingcomments@co.monterey.ca.us. (If submitted after that deadline, staff will make best efforts, but cannot guarantee, to make it available to present during the Commission meeting.)

d. While the matter is being heard, a member of the public may submit a comment via email, preferably limited to 250 words or less, to the Secretary of the Commission at pclearingcomments@co.monterey.ca.us. To assist staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line. If the comment is received prior to close of public comment on an agenda item, every effort will be made to read the comment into the record, but some comments may not be read out loud due to time limitations or length of the comment (if the comment exceeds 250 words). Comments received prior to the close of the public comment period on an agenda item will be made part of the record for that item.

3. Members of the public who wish to make a general public comment for items not on the day's agenda may submit their comment via email, preferably limited to 250 words or less, to the Secretary of the Commission at pclearingcomments@co.monterey.ca.us. The Planning Commission date and "general comment" should be indicated in the subject line. The comment will be placed in the record for the meeting, and every effort will be made to read the comment into the record at the appropriate time on the agenda.

4. Individuals with disabilities who desire to request a reasonable accommodation or modification to observe or participate in the meeting may make such request by sending an email to pclearingcomments@co.monterey.ca.us. The request should be made no later than noon on the Monday prior to the Commission meeting in order to provide time for County to address the request.

5. The Chair and/or Secretary may set reasonable rules as needed to conduct the meeting in an orderly manner.

BREAKS will be taken approximately at 10:15 a.m. and 3:00 p.m.

DOCUMENT DISTRIBUTION: Documents relating to agenda items that are distributed to the Planning Commission less than 72 hours prior to the meeting are available by request by sending an email to pclearingcomments@co.monterey.ca.us. Documents distributed by County staff at the meeting of the Planning Commission will be available upon request by sending an email to pclearingcomments@co.monterey.ca.us.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for

disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

The Planning Commission Clerk must receive all materials for the agenda packet by noon on the Tuesday one week prior to the Wednesday Planning Commission meeting in order for the materials to be included in the agenda packet distributed in advance to the Commission.

INTERPRETATION SERVICE POLICY: The Monterey County Planning Commission invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the Monterey County Housing and Community Development Department located in the Monterey County Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting of the Planning Commission.

AVISO IMPORTANTE SOBRE COVID-19 Y PARTICIPACIÓN EN LA REUNIÓN DE LA COMISIÓN DE PLANIFICACIÓN

La Comisión de Planificación del Condado de Monterey se llevará a cabo por teleconferencia para minimizar la propagación del virus COVID-19, de acuerdo con el Estado de Emergencia proclamado por el Gobernador Newsom el 4 de Marzo del 2020, Orden Ejecutiva N-29-20 emitida por el Gobernador Newsom el 17 de Marzo del 2020, y la Orden de Refugio en el Lugar (aka “Quedate en Casa”) emitida por el Oficial de Salud del Condado de Monterey el 17 de Marzo del 2020, según se pueda enmendar periódicamente.

Para participar en esta reunión de la Comisión de Planificación del Condado de Monterey, el público están invitados a observar y hacer frente a la Comisión telefónicamente o por vía electrónica. Las instrucciones para la participación pública están a continuación:

Instrucciones de participación pública:

La reunión se llevará a cabo por teleconferencia utilizando el programa Zoom, y los Comisionados asistirán por vía electrónica o telefónica. La reunión no tendrá un lugar físico para asistir físicamente. El público puede observar la reunión Zoom a través de computadora haciendo clic en el siguiente enlace: <https://montereycty.zoom.us/j/97722386573>, o el público puede escuchar a través del teléfono llamando al 1-669-900-6833 y cuando se le solicite el código de acceso para entrar a la reunión, presione los siguientes números: 977 2238 6573

Se le pedirá una "identificación de participante". No necesita una identificación de participante para unirse a la reunión, presione la tecla numeral (#) nuevamente y se conectará automáticamente.

1. Si un miembro del público desea comentar sobre un tema de la agenda en particular, se le es sumamente recomendable que envie sus comentarios

por escrito por correo electrónico a la Agencia de Administración de Recursos del Condado (Housing and Community Development) a pclearingcomments@co.monterey.ca.us antes de las 2:00 P. M. el Martes antes de la reunión de la Comisión. Para ayudar al personal del Condado a identificar el

numero del proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de la agenda en la línea de asunto.

Comentarios recibidos en la fecha límite del Martes a las 2 P.M, serán distribuidos a la Comisión y serán colocados en el registro.

2. Los aplicantes del proyecto y miembros del público que desean comentar en un proyecto específico, mientras que el proyecto se este presentando durante la reunión, pueden participar por cualquiera de los siguientes medios:

a. Cuando el Presidente de los Comisionarios (Chair of the Planning Commission) solicite comentarios públicos sobre un tema de la agenda, el Secretario de la Comisión o su designado, primero determinará quién quiere testificar (entre los que están en la reunión por vía electrónica o telefónica) y luego llamará a los oradores (speakers) y activará la bocina para el orador, uno a la vez. Todo orador, incluyendo el aplicante del proyecto, serán transmitidos por audio en altavoz solamente.

b. Si los oradores u otros miembros del público tienen documentos que desean distribuir a la Comisión para un tema o proyecto de la agenda, se les recomienda enviar dichos documentos antes de las 2:00 P.M. el Martes antes de la reunión a: pcheatingcomments@co.monterey.ca.us . Para ayudar al personal a identificar el numero del proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de agenda en la línea de asunto.

c. Si los aplicantes o miembros del público desean presentar documentos o presentaciones de PowerPoint mientras hablan, deben enviar el documento electrónicamente antes de las 2:00 P.M. del Martes antes de la reunión a pcheatingcomments@co.monterey.ca.us (Si se presenta después de ese plazo, el personal hará los mejores esfuerzos, pero no puede garantizar que esté disponible su PowerPoint para presentar durante la reunión de la Comisión).

d. Mientras se escucha el proyecto, un miembro del público puede enviar un comentario por correo electrónico, preferiblemente limitado a 250 palabras o menos, al Secretario de la Comisión a pcheatingcomments@co.monterey.ca.us . Para ayudar al personal a identificar el proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de agenda en la línea de asunto. Si el comentario se recibe antes del cierre del comentario público sobre un tema de la agenda, se hará todo lo posible para leer el comentario en el registro, pero algunos comentarios pueden no leerse en voz alta debido a limitaciones de tiempo o duración del comentario (si el comentario supera las 250 palabras). Los comentarios recibidos antes del cierre del período de comentarios públicos sobre un proyecto de la agenda serán parte del registro de ese proyecto.

3. Los miembros del público que deseen hacer un comentario público general para los temas que no están en la agenda del día pueden enviar su comentario por correo electrónico , preferiblemente limitado a 250 palabras o menos, al Secretario de la Comisión en pcheatingcomments@co.monterey.ca.us . La fecha de la Comisión de Planificación y el "comentario general" deben indicarse en la línea de asunto. El comentario se colocará en el registro de la reunión, y se hará un gran esfuerzo para leer el comentario en voz alta para su registro verbalmente en el momento apropiado de la agenda.

4. Las personas con discapacidades que deseen solicitar una modificación o modificación razonable para observar o participar en la reunión pueden realizar dicha solicitud enviando un correo electrónico a pcheatingcomments@co.monterey.ca.us . La solicitud debe hacerse a más tardar el mediodía del Lunes antes de a la reunión de la Comisión para dar tiempo al Condado para que

atienda la solicitud .

La Comisión de Planificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un interprete, por favor comuníquese con la Departamento de Vivienda y Desarrollo Comunitario localizada en el Centro de Gobierno del Condado de Monterey, (Monterey County Government Center), 1441 Schilling Place, 2nd Floor South, Salinas – o por teléfono al (831) 755-5025. La Asistente hará el esfuerzo para acomodar los pedidos de asistencia de un interprete. Los pedidos se deberán hacer lo mas pronto posible, y a lo mínimo 24 horas de antelación de cualquier reunión de la Comisión de Planificación.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:00 A.M. - CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Richard Coffelt	Ernesto G. Gonzalez
Amy Roberts	Francisco Javier Mendoza
Martha Diehl	Katharine Daniels
Etna Monsalve	Ben Work
Paul C. Getzelman	

PUBLIC COMMENTS

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Commission Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Planning Commission as provided in Sections 54954.2 of the California Government Code.

COMMISSIONER COMMENTS AND REQUESTS

This is a time set aside for the Commissioners to comment or request a matter that is on or not on the agenda.

REFERRAL ITEMS AND OTHER MATTERS

1. PLANNING COMMISSION REFERRALS

Attachments: [Attachment 1 - PC REFERRAL SPREADSHEET 2-8-2023](#)
[Attachment 2 - PC Referral No. 22.7 Presentation regarding 2022](#)
[California Housing Legislation](#)

2. MONTEREY COUNTY PLANNING COMMISSION

Planning Commission Nomination Committee presents nomination to elect for 2023 Chair and Vice Chair.

APPROVAL CONSENT CALENDAR

3. Consider finding, pursuant to AB 361 and in order for the Planning Commission to continue to meet remotely, that the COVID-19 pandemic state of emergency declared by Governor Newsom is still in effect; that the Planning Commission has reconsidered the circumstances of the state of emergency; and that the Monterey County Health Officer continues to recommend social distancing measures for meetings of legislative bodies.

Proposed CEQA action: Not a project pursuant to CEQA Guidelines section 15378(b)(5)

Attachments: [Staff Report](#)

9:00 A.M. – SCHEDULED MATTERS

4. **PLN220213 - BLISS BETSY W TR**

Public hearing to consider allowing the construction of a single-family dwelling (Approx. 5,876 sq. ft.), a detached Accessory Dwelling Unit (Approx. 1,200 sq. ft.) and removal of 7 protected oak trees.

Project Location: 9 Mesa Trail, Carmel Valley, Carmel Valley Master Plan, (APN: 239-101-022-000)

Proposed CEQA action: Finding the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15303

Attachments: [Staff Report](#)
[Exhibit A - Draft Resolution](#)
[Exhibit B - Arborist Report](#)
[Exhibit C - Vicinity Map](#)

DEPARTMENT REPORT**ADJOURNMENT**



County of Monterey

Board Report

Legistar File Number: PC 23-011

Item No.

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

February 08, 2023

Introduced: 2/1/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLANNING COMMISSION REFERRALS

Monterey County Planning Commission Referrals

MEETING:	2/8/23						
SUBJECT:	Planning Commission Referrals						
DEPARTMENT:	Housing & Community Development Department						
Item #	PC Ref #	Assignment Date	Referred By	Planner	Item	Report	Status
1	18.08	7/25/18	Diehl/Daniel	Marshall	Request for an update on Tiny Homes. Referral revised 09/08/2021 by Commissioner Diehl requested the matter be revisited in light of recent State and local policy direction on ADUs.	A report was provided to the Planning Commission January 11, 2022 on the Inland ADU Ordinance and EHB Policies. A report on tiny homes was presented at a meeting in April 2022. The Planning Commission requested a follow up based upon further analysis by staff. During the October 26, 2022 meeting the Planning Commission requested information on approved and pending ADU applications. Staff will present additional ADU information in conjunction with the periodic housing pipeline report on December 7, 2022.	Pending
2	18.11	10/31/18	Duflock/Diehl	Riley-Olms	Request for a report on the rebuild of properties affected by wildfires from 2015 to the current. Commissioner Diehl clarified the need for additional information specific to the number of rebuilds to determine where rebuilding hurdles may exist.	A report will be provided to the Planning Commission at meeting in the early 2023.	Pending
3	19.01	11/13/19	Diehl	Marshall	Request Staff to return with a quarterly status report regarding any workforce housing or affordable housing applications within the County.	A quarterly report will be provided to the Planning Commission on an ongoing basis.	Ongoing
4	21.1	9/8/21	Getzelman	Lundquist	Request for update to the Wireless Telecommunication Ordinance and establish objective design standards	Planning staff is currently working with the Planning Commission ad hoc committee on an update to the ordinance and the objective design criteria. An ad hoc meeting to discuss the draft ordinance was conducted on December 20, 2021. Per ad hoc direction, staff is revising certain sections of the draft ordinance for further ad hoc review.	Ongoing
5	22.2	3/9/22	Diehl	Spencer	Request for information related to the 1982 General Plan implementation and its approach to an update. Additionally, a request for a status on the required Community Plans for all Community Areas designated in the 2010 General Plan.	Planning Staff will present a report in early 2023.	Pending
6	22.3		Spencer		Request for quarterly progress on drafting a Development Evaluation System as directed by General Plan policy and bi-annual updates on land use plans, as appropriate.	Planning Staff will present a status report in early 2023.	Pending

Item #	PC Ref #	Assignment Date	Referred By	Planner	Item	Report	Status
7	22.4	3/30/22	Getzleman	Spencer	Request to revisit the Planning Commission Bylaws	Planning Staff presented a status report seeking direction July 13, 2022. Formal consideration of an update to the Planning Commission bylaws will occur in the fall. The Planning Commission considered minor amendments to the Bylaws at its October 26, 2022 meeting. More substantive revisions will be considered at a future date, likely in early 2023.	Pending Closure
8	22.5	9/14/22	Diehl	Beretti	Request status and process for updating the Housing Element including opportunities for public involvement.	Planning Staff presented a report on an update to the Housing Element on November 8, 2022 and December 7, 2022.	Ongoing
9	22.6	9/14/22	Diehl	Spencer	Request to consider a draft zoning code amendment providing flexibility for open framework structures to exceed lot coverage and revise the regulations related to structural connections between primary and accessory structures.	Planning staff will initiate work in 2023. Any interested party may request an interpretation related to these matters in the interim.	Ongoing
10	22.7	10/12/22	Daniels Cnty Cou		Request for a legislative related to recently adopted bills including but not limited to, AB 2011 and SB 6.	Planning staff will work with the County Counsel Offices to prepare and report out on the various recently adopted bills. A report will be provided to the Planning Commission on February 8, 2023.	Ongoing

2021-2022 STATE HOUSING LEGISLATION



County Planning Commission
February 8, 2023



Presentation Outline

- Legislative Themes
- Key Bills Signed Into Law
- Public Comment
- Actions

*Feel free to ask questions or provide comments anytime during the presentation

Legislative Themes



California Housing Legislation Highlights

Final - Oct 1, 2022

Blue = Signed into law

WILDFIRES

SB 1292 Limiting development in fire hazard zones & replacing the zoned capacity elsewhere.
AB 2705 Fire-hardening & retrofitting standards.

GENERAL PLAN HOUSING ELEMENTS

AB 1445 Requires fire, sea level rise, evacuation risk to be considered in determining housing goals.
AB 1976 Allows state to fine and rezone cities that don't zone enough land for apartments.

AB 2339 Unmet housing goals are carried over and added to goals of next planning cycle.
AB 2653 Allows CA to reject cities' housing element annual reports that don't meet guidelines.

PROJECT APPROVALS

AB 1952 Faster approval for state-funded infill project.
AB 2218 Must live within 20 miles to file CEQA lawsuit against infill housing.
AB 2234 Faster approval of building permits.

REDUCING COSTS

AB 1056 Modular housing program.
AB 2513 Reduce construction defect insurance costs.
AB 2063 Remove fees on density bonus units.

HOME OWNERSHIP

AB 1837 Helps occupants & nonprofits buy foreclosed homes, limits investor buying.
AB 2013 State plan to increase homeownership among people of color.
AB 2123 Housing grants for healthcare workers.
AB 2166 Sets aside 30% of federal CDBG money for helping low & moderate-income homeowners.
AB 2170 Gives current & future occupants & nonprofits priority in buying foreclosed 1-4 unit buildings.

HOMELESSNESS

SB 513 Funding for pet facilities, food, & health.
SB 914 Goal to end homelessness among domestic violence survivors, their children, & unaccompanied women.
SB 1083 Grants to prevent homelessness for families & pregnant people.
AB 1685 Waiver of parking fines for people who are homeless.
AB 2011 Funding for RV parks and subsidies for RV dwellers.
AB 2325 Interagency coordination to end homelessness.
AB 2483 Prioritizing funding for housing that contains at least 25 units for elderly people who are homeless.
AB 2547 Grants to prevent homelessness for older adults & people with a disability.
AB 2623 Allows exception to Housing First policy to allow sober housing in facilities that have children.

TENANT APPLICATIONS

SB 649 Preference for local residents in affordable housing.
SB 1026 Energy efficiency disclosure for rental housing.
SB 1335 No credit checks required for tenants receiving subsidies.

PARKING

SB 1067 No parking if >=20% low/mod income or <20 units near transit.
AB 2097 No parking needed for housing or businesses near transit.
AB 2244 Parking reduction for sites with housing & religious buildings.

ZONING

AB 2011 & SB 6 Housing in office/retail zones.
AB 682 Cohousing with shared kitchens.
SB 1369 Conversion of commercial/industrial/public bldgs to housing.
AB 1551 Density bonus for commercial projects that incl. affordable housing.
AB 2619 Makes it easier to open a residential care facility serving more than 6 people.

ACCESSORY DWELLING UNITS

SB 897 2-story ADUs & garage conversions.
AB 916 Adding bedrooms.
AB 2221 Cleanup edits of previous ADU laws.
AB 2430 Tiny houses.

BALLOT MEASURES

Will be on 2024 ballot
SCA 2 Eliminates requirement that public housing be approved by ballot measure.
SCA 9 Creates a right to housing.
ACA 14 \$10 billion/year for affordable housing and housing the homeless.
AB 411 \$600 million bond for veterans' housing.
SB 1457 \$25 billion affordable housing bond.

TAXES

AB 1771 Tax on profit from homes sold within 7 years of purchase.

PUBLIC LAND

AB 2233 Affordable housing on surplus state land.

AB 1748 Easier sales of surplus land zoned for low or middle density housing.
AB 1910 Converting golf courses to parks and housing.
AB 2357 Website listing orgs interested in public land for affordable housing.
AB 2439 Housing on DMV land.
SB 2762 Affordable housing on parking lots at parks.

DATA

AB 889 Transparency on who owns property.
AB 2094 Extremely low income housing production.
AB 2469 Rental registries.
AB 2531 Fees, zoning, and other requirements.
AB 2873 Diversity in affordable housing production.

AFFORDABLE HOUSING PRODUCTION

AB 2334 More density in areas with less driving.
AB 2445 Makes it more costly to file lawsuits opposing affordable housing.

FUNDING

SB 948 Statewide reserve fund for affordable projects.
AB 1288 Prioritizes tax credits for new construction.
SB 1466 \$200-250 million a year for affordable housing.
AB 1945 Disaster recovery & rebuilding fund.
AB 2006 Streamlined monitoring of affordable projects.
AB 2186 Grants for cities that waive fees.
AB 2305 Consolidated funding application.

CREATING AFFORDABLE HOUSING AGENCIES IN SOCAL

SB 679 Los Angeles County.
SB 1105 San Diego County.
SB 1177 Burbank, Glendale, Pasadena.
SB 1344 San Gabriel Valley.

SOCIAL HOUSING

AB 2053 Mixed income social housing.

SCHOOL EMPLOYEES

AB 1719 Community college worker housing.
AB 2295 Allows school employee housing to exceed some local zoning.

STUDENT HOUSING

SB 886 Faster approvals for housing.
AB 1602 Revolving loan fund.
AB 1764 Student housing insecurity data + community college student housing reviewed by local govt bldg dept instead of the state.
AB 2272 Loans for maintenance of private college student housing.

PRESERVING AFFORDABLE HOUSING

SB 490 Technical assistance.
AB 1850 Rent limits on market-rate buildings converted to affordable housing.
AB 1911 Tax credits for preserving affordability.

PROPERTY TAXES

AB 1206 Tax break for low-income units in limited equity co-ops.
SB 1456 Eliminate property tax on more types of affordable housing.
AB 1933 Eliminate property tax on land that will be used for building low income homes.

more details at tinyurl.com/2022housingbills

CC-BY Alfred Twu, mail@firstcultural.com @alfred_twu

Contact your representatives @ findyourrep.legislature.ca.gov

Legislative Themes

County Planning Commission
February 8, 2023

Topic	Introduced	Passed	% Passed
Housing Bills			
Tenant Protections	11	3	27%
Tenant Applications	10	2	20%
Homelessness	9	3	33%
Funding	7	2	29%
Public Land	6	1	17%
Zoning	5	3	60%
Homeownership	5	2	40%
Data Collection	5	2	40%
ADUs	4	3	75%
Housing Elements	4	3	75%
Affordable Housing Agencies in SoCal	4	2	50%
Student Housing	4	2	50%
Parking	3	2	67%
Project Approvals	3	1	33%
Reducing Costs	3	0	0%
Preserve Affordable Housing	3	0	0%
Property Taxes	3	2	67%
Wildfires	2	0	0%
Affordable Housing Production	2	1	50%
School Employees	2	2	100%
Renaming/Clarifications	1	1	100%
Green Building	1	1	100%
Taxes	1	0	0%
Social Housing	1	0	0%
Youth	1	0	0%
Total	100	38	38%
Ballot Measures for 2024 (Total)			
	5	1	20%



KEY HOUSING-RELATED BILLS SIGNED INTO LAW

County Planning Commission

February 8, 2023

Accessory Dwelling Units (ADUs)

AB 2221 (QUIRK-SILVA)

Within existing timeframes, permitting agencies must either:

- approve ADU permit applications or
- provide applicants with a list (in writing) of items that are deficient and a description of how the application can be remedied

“Permitting Agency” = planning departments, building departments, utilities, and special districts

Cannot impose front yard setbacks if it prevents development of an ADU

ADU may be attached to, or located in, a detached garage

Local ordinances do not supersede State ADU law

SB 897 (WIECKOWSKI)

Detached ADUs may be $\leq 18'$ on a lot:

- Developed with an existing or proposed multifamily dwelling unit or
- Within $\frac{1}{2}$ mile walking distance of a major transit stop or high quality transit corridor

ADUs attached to a primary dwelling may be $\leq 25'$ or max height of primary dwelling allowed by local ordinance, whichever is lower

Density Bonuses

AB 682 (BLOOM)

Must grant a density bonus for:

- Development of ≥ 5 units and either:
 - 10% of units for lower income households or
 - 5% of units for very low-income households

No minimum unit size or number of bedrooms

Shared housing buildings may include:

- Dwelling units besides shared housing units
- Commercial uses on ground-floor

“Shared housing building” = residential or mixed-use structure with:

- ≥ 5 shared housing units
- ≥ 1 common kitchens and dining areas
- Tenants must reside > 30 days

AB 1551 (SANTIAGO)

Extends State density bonus program for commercial properties to January 1, 2028:

- AB 1934 (Santiago) Chapter 747, Statutes of 2016
- Create affordable housing through commercial development projects
- 6 possible bonuses and 3 financing options for affordable housing

Housing in Commercial Zones

AB 2011 (WICKS)

AFFORDABLE HOUSING AND ROAD JOBS ACT

Ministerial, streamlined approval for:

- 100% affordable housing projects in commercial zones
- Mixed-income housing projects along commercial corridors

Exempt from CEQA

Local government must identify inconsistencies with qualifying criteria 60 (≤ 150 homes) or 90 (> 150 homes) days, otherwise development is deemed to comply with standards

Approve within 90 (≤ 150 homes) or 180 (> 150 homes) days

SB 6 (CABALLERO)

MIDDLE CLASS HOUSING ACT

Establishes housing as an allowable use on any parcel zoned for office or retail uses

No new ministerial approval process

- Projects can invoke Housing Accountability Act and SB 35 even if they don't comply with underlying zoning

Adoption of local ordinance - CEQA exempt

Housing in Commercial Zones (Cont.)

AB 2011 (WICKS)

AFFORDABLE HOUSING AND ROAD JOBS ACT

Developer must pay laborers general prevailing wage

Contractors developing ≥ 50 units must:

- Participate in an apprenticeship program or request dispatch of apprentices from a State-approved apprenticeship program and
- Make certain healthcare expenditures for construction craft employees

SB 6 (CABALLERO)

MIDDLE CLASS HOUSING ACT

Developer must pay laborers general prevailing wage

Contractors must employ a “skilled and trained workforce” unless only one prequalified contractor promises to use “skilled and train workforce” bid on the contract

Housing in Commercial Zones (Cont.)

AB 2011 (WICKS)

AFFORDABLE HOUSING AND ROAD JOBS ACT

Affordability requirements:

- 100% lower-income rental or for-sale units; or
- Mixed-income housing with at least:
 - 8% very low income and 5% extremely low income or 15% lower income rental units; or
 - 30% moderate income or 15% low-income sale units
- Deed restriction for 55 years (rental) or 45 years (for-sale)

SB 6 (CABALLERO)

MIDDLE CLASS HOUSING ACT

No new affordability requirements

Must comply with local inclusionary standards

If using SB 35, SB 35 affordability standards apply

Housing in Commercial Zones (Cont.)

AB 2011 (WICKS)

AFFORDABLE HOUSING AND ROAD JOBS ACT

Located in zone where office, retail, or parking are principally permitted uses

In a City or unincorporated urban area/urban cluster

Not adjacent to a site with > 1/3 of square footage in industrial use

Density must meet or exceed:

- Existing zoning standards or
- Zoning standards from closest parcel that allows required residential density

Specifies certain height and setback standards

SB 6 (CABALLERO)

MIDDLE CLASS HOUSING ACT

Located in a zone where office, retail, or parking are principally permitted uses

In an urbanized area or cluster

Not adjacent to a site with > 1/3 of square footage in industrial use

Density must meet or exceed:

- Existing zoning standards or
- Zoning standards from closest parcel that allows required residential density

Project site is ≤ 20 acres

Either 100% residential or mixed-use project with ≥ 50% residential

Annual Progress Report Requirements

AB 1743 (MCKINNOR)

Disclose whether each housing development application is ministerial or discretionary

AB 2011 AFFORDABLE HOUSING AND ROAD JOBS ACT

Added to list of reporting requirements

AB 2653 (SANTIAGO)

HCD may reject housing element portion of annual report if report does not substantially comply with State law; if so:

- Within 90 days of receipt, State HCD must provide reasons the report is inconsistent
- HCD must notify local agency of violations of AB 2653
- Local agency must make requested corrections within 30 days
- Attorney General can take enforcement action

Ministerial & Streamlined Approval Process

AB 2234 (RIVAS) POSTENTITLEMENT PHASE PERMITS

“Postentitlement Phase Permit:”

- Local agency nondiscretionary permits and reviews filed after the entitlement process that are required to begin construction
- Examples: building and grading permits
- Applies to projects that are \geq 2/3 residential
- Excludes permits, entitlements, and approvals subject to Permit Streamlining Act [Government Code Chapter 4.5 (Sections 65920 – 65964.5)]

AB 2234 (RIVAS) POSTENTITLEMENT PHASE PERMITS

Within 15 business days:

- Determine whether an application for a postentitlement phase permit is complete
- Provide written notice of this determination to the applicant

Within 30 business days:

- For projects with \leq 25 units, complete review and return either comments or an approval to the applicant

Within 60 business days:

- For projects with $>$ 25 units, complete review and return either comments or an approval to the applicant

Failure to meet these timeframes = “disapproval of a housing development project” and a violation of the Housing Accountability Act

Ministerial & Streamlined Approval Process (Cont.)

AB 2234 (RIVAS) POSTENTITLEMENT PHASE PERMITS

By January 1, 2024, local agencies must:

- Compile a list of information needed to approve or deny application
- Post examples of complete approved application and set of postentitlement phase permits for ≥ 5 types of projects (e.g., ADU, duplex, and/or multifamily)
- Provide option to apply by email until process is established
- Provide current processing status information via website or email

SB 886 (WIENER) CEQA EXEMPTION FOR COLLEGE HOUSING PROJECTS

Exempts, until January 1, 2030, certain faculty, staff, and housing projects from CEQA environmental review

- Applies to UC, CSU, and California community colleges
- College/university must own the property and hold a hearing to receive public comment
- Buildings must be Leadership in Energy and Environmental Design (LEED) platinum level-certified
- Must fully mitigate construction impacts
- Project cannot be located on site:
 - With prime soils, environmentally sensitive habitat, and/or habitat for listed species
 - Subject to a conservation easement
 - Subject to flood hazards, earthquake hazards, and/or very high fire hazards
 - With a hazardous waste site

Minimum Parking Requirements

AB 2097 (FRIEDMAN)

- ❑ Prohibits imposing/enforcing minimum parking requirements for certain residential, commercial, and other development located within 1/2 mile of public transit
- ❑ Exception if doing so would result in substantial adverse impact to:
 - ❑ Very low- and low-income housing to satisfy regional housing need
 - ❑ Special housing needs of elderly or people with disabilities or
 - ❑ Existing commercial or residential parking within ½ mile of project site

AB 2097 (FRIEDMAN)

- ❑ However, exception does not apply to certain housing projects:
 - ❑ 20% for very low, low-, or moderate-income households, students, the elderly, or persons with disabilities
 - ❑ < 20 units or
 - ❑ Subject to parking reductions pursuant to another law

Recommended Action

- Receive and filed this report
- Find the receipt and filing of this staff report are not a “project” and, therefore, are exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15060(C)(3) and 15378(b)(5)

Thank you

County of Monterey

Housing and Community Development Department

1441 Schilling Place, 2nd Floor

Salinas, CA 93901-4527





County of Monterey

Board Report

Legistar File Number: PC 23-010

Item No.2

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

February 08, 2023

Introduced: 2/1/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

MONTEREY COUNTY PLANNING COMMISSION

Planning Commission Nomination Committee presents nomination to elect for 2023 Chair and Vice Chair.



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 23-008

February 08, 2023

Introduced: 1/30/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

Consider finding, pursuant to AB 361 and in order for the Planning Commission to continue to meet remotely, that the COVID-19 pandemic state of emergency declared by Governor Newsom is still in effect; that the Planning Commission has reconsidered the circumstances of the state of emergency; and that the Monterey County Health Officer continues to recommend social distancing measures for meetings of legislative bodies.

Proposed CEQA action: Not a project pursuant to CEQA Guidelines section 15378(b)(5)

RECOMMENDATION:

It is recommended, pursuant to AB 361 and in order for the Planning Commission to continue to meet remotely, that the Monterey County Planning Commission find: that the COVID-19 pandemic state of emergency declared by Governor Newsom is still in effect; that the Planning Commission has reconsidered the circumstances of the state of emergency; and that the Monterey County Health Officer continues to recommend social distancing measures for meetings of legislative bodies of local agencies.

SUMMARY/DISCUSSION:

On September 16, 2021, Governor Newsom signed AB 361. This legislation amends the Brown Act to allow meeting bodies subject to the Brown Act to meet via teleconference during a proclaimed state of emergency in accordance with teleconference procedures established by AB 361 rather than under the Brown Act's more narrow standard rules for participation in a meeting by teleconference. AB 361 provides that if a state or local health official recommends social distancing, a "legislative body" - which is defined to include the Planning Commission -- may meet remotely after September 30, 2021, provided that within 30 days of the first meeting after September 30, and every 30 days thereafter, the legislative body finds: 1) the Governor's proclaimed state of emergency is still in effect; 2) the legislative body has reconsidered the circumstances of the state of emergency; and 3) the Monterey County Health Officer continues to recommend social distancing measures for meetings of legislative bodies and/or the state of emergency continues to directly impact the ability of the members to meet safely in person.

The Monterey County Health Officer has recommended and continues to recommend social distancing measures for meetings of legislative bodies, so the Planning Commission was able to meet remotely the first time after September 30, 2021 and for thirty days thereafter. The Commission made the findings at its meetings on November 10, December 1, and December 15, 2021, and January 12, February 9, March 9 and 30, April 27, May 25, June 29, July 27, August 24, September 14, October 12, and November 9, 2022, and on January 11, 2023 to continue to meet remotely.

The Commission must make the findings at least every 30 days in order to keep meeting

remotely, or hold a special meeting to make the findings before meeting remotely again. The Commission will consider the findings at its regular meeting on February 8, 2023.

AB 361 is only effective during a declared state of emergency where social distancing measures are required or recommended, such as the Governor's COVID-19 proclamation of emergency. The Governor has indicated he intends to terminate that proclamation at the end of February 2023, unless circumstances otherwise require. Accordingly, legislative bodies will no longer be able to rely on AB 361 to meet remotely. Effective January 1, 2023, however, new legislation, AB 2449, amending the Brown Act will take effect that addresses remote meetings of legislative bodies. AB 2449 is more restrictive on remote participation by legislative body members, so it is likely that a majority of the Commissioners will be back to meeting in person in March 2023.

This action is not a project under CEQA pursuant to CEQA Guidelines section 15378(b)(5) because it is an organizational activity of government that will not result in a direct or indirect physical change in the environment.

OTHER AGENCY INVOLVEMENT:

County Counsel prepared the report. HCD concurs in the recommendation to make the finding to continue to meet remotely and continue meeting via teleconference.

Prepared by: Kelly L. Donlon, Assistant County Counsel

cc: Front Counter Copy; The Open Monterey Project (Molly Erickson); LandWatch (Michael DeLapa);



County of Monterey Planning Commission

Item No.3

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No. 3

Legistar File Number: PC 23-008

February 08, 2023

Introduced: 1/30/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

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OTHER AGENCY INVOLVEMENT:

County Counsel prepared the report. HCD concurs in the recommendation to make the finding to continue to meet remotely and continue meeting via teleconference.

Prepared by: Kelly L. Donlon, Assistant County Counsel

cc: Front Counter Copy; The Open Monterey Project (Molly Erickson); LandWatch (Michael DeLapa);



County of Monterey

Board Report

Item No.4

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 23-009

February 08, 2023

Introduced: 1/31/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN220213 - BLISS BETSY W TR

Public hearing to consider allowing the construction of a single-family dwelling (Approx. 5,876 sq. ft.), a detached Accessory Dwelling Unit (Approx. 1,200 sq. ft.) and removal of 7 protected oak trees.

Project Location: 9 Mesa Trail, Carmel Valley, Carmel Valley Master Plan, (APN: 239-101-022-000)

Proposed CEQA action: Finding the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15303

RECOMMENDATION:

It is recommended that the Planning Commission adopt a Resolution:

1. Finding the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of:
 - a. An Administrative Permit and Design Approval to allow construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, a 1,200 square foot detached accessory dwelling unit & associated site improvements; and
 - b. A Use Permit to allow removal of seven (7) Oak trees.

PROJECT INFORMATION:

Agent: Andrew Matt

Property Owner: Bliss Betsy W Tr

APN: 239-101-022-000

Parcel Size: 842,015 Square Feet (19.33 Acres)

Zoning: Rural Grazing, 1 unit per 10 acres, it has overlay zones including a Design Control, a Site Plan Review and a Residential Allocation Zoning District overlay (RG/10-D-S-RAZ)

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

SUMMARY:

The project is located at 9 Mesa Trail, Carmel Valley in the Santa Lucia Preserve. This parcel is subject to the policies of the Carmel Valley Master Plan. The proposed project includes construction of a 5,876 square foot single family dwelling, a 1,200 square foot detached accessory dwelling unit (ADU) removal of seven Oak trees.

The proposed structures are one story and would be constructed with colors and materials that fit the rural and rustic character of the Santa Lucia Preserve and Carmel Valley areas. The project is consistent with applicable development standards for Rural Grazing Zoning and with the regulations and policies in the Carmel Valley Master Plan. The project will receive potable water service from the Santa Lucia Preserve Community Services District and has proposed a septic system to support the future development.

The proposed tree removal does not appear to be the minimum required for development of a home on the lot; however, there are circumstances that make the proposed location more desirable for construction despite impacts to trees. This lot has a grassy open area where trees can be avoided. It is the desire of the applicant to preserve this grassy area for its aesthetic value including the annual appearance of lupin. Additionally the home is proposed on a knoll where there is oak tree coverage but less topographic relief than the gently sloping grassy area below. The project could be located on the sloping grassy area where tree removal would be reduced or avoided. In the location where the home is proposed, the home has been designed to minimize tree removal to the extent feasible.

Staff has weighed the owners desires, the aesthetic value of the grassy area, and slope conditions and suggests that findings can be made that circumstances support the proposed structure locations. In this location, the design of the home minimizes tree removal. No landmark trees are proposed for removal and replacement oaks will be planted on the property.

Finally, this site is located within a high fire hazard area. The home will be constructed of fire resistant materials and include sprinklers. Landscape plans submitted with the application show the 30 foot green zone around the house and notes are provided that require vegetation management up to 100 feet around the proposed home.

DISCUSSION:

Land Use & Development Standards

The property is zoned Rural Grazing, 10 acres per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning Overlays (RG/10-D-S-RAZ). This zoning allows a single-family dwelling (21.32.010), and an accessory dwelling unit (21.64.030) with Design and Site Plan approvals. Removal of protected oak trees requires a Use Permit (21.64.260). Therefore, the proposed project is an allowed use with the appropriate entitlements. The development standards for the RG zoning district are identified in Title 21, Section 21.32.060, and the proposed project is consistent with the applicable development standards. The height maximum for a main structure is 30 feet, the proposed main dwelling will have a height of 21 feet. The proposed single-family dwelling is contained within the homeland boundary; therefore, it meets all the required setbacks from the property lines. The setback between the proposed main structure and the ADU far exceeds the minimum 6-foot distance. The proposed ADU has a height of 16 feet and square footage of 1,200 square feet, consistent with the development standards for ADUs described in section 21.64.030. The property is 19.33 acres (842,015 square feet), the maximum allowed site coverage for a lot zoned RG/10 is 5% (42,100 square feet). The proposed site coverage is 0.96% (8,093 square feet).

Health and Safety

The property receives water via public utilities, and has an onsite wastewater system:

- The applicant provided a can and will serve letter from the Santa Lucia Preserve Community Services District detailing their ability and willingness to provide the proposed project with potable water.
- The proposal includes a new septic system with onsite leach fields, the Environmental Health Bureau has reviewed the plans for the Onsite Wastewater Treatment System and has deemed the design adequate to support the proposed development.

Visual Resources and Design Review

The site is subject to the policies of the Design Control “D” zoning district, which establishes design review requirements to assure protection of the public viewshed and neighborhood character. Staff finds the project is consistent with the goals and policies of the Carmel Valley Master Plan, the Monterey County General Plan and the surrounding neighborhood character:

- The proposed structure is consistent with the development standards of the zoning district and is in character with the height and massing of other houses in the neighborhood.
- The colors and materials consist of Ivory Board and Batten siding, Cedar plank garage doors, Brushed Cedar window frames and Light Grey class “A” metal seam roofing. Additionally, the property has many large oak trees that will shield the majority of the development from Mesa Trail and the neighboring lots. The proposed landscaping includes California native plant species and the replacement of 7 oak trees that are proposed for removal with 21 Coast live oak trees.
- Condition No. 5 requires an exterior lighting plan be provided and approved before the issuance of building permits; this condition shall ensure compliance with Monterey County’s Design Guidelines for Exterior Lighting.
- Additionally, the Santa Lucia Preserve Design Review Board approved the design of the proposed development.

Tree Removal

Seven protected oak trees are proposed for removal; therefore, a Use Permit has been applied to this project Pursuant to 21.64.260.D.3. This lot is in Phase D of the Santa Lucia Preserve subdivision; it is considered a Historic Lot of Old Rancho San Carlos. Unlike the other Phases reviewed under the 1994 Forest Management Plan prepared by Ralph Osterling, Phase D does not have any trees allotted for removal. Phase D lots must comply with the County regulations, pursuant to Chapter 21.64.260 of the Monterey County Zoning Ordinance, Title 21 which includes finding that the tree removal is the minimum required under the circumstances and the tree removal will not result in the risk of adverse environmental impacts.

An Arborist Report (LIB220267) was prepared for this project to assess the health of the forest and any potential impacts due to the proposed development. The arborist report identifies seven trees that must be removed to allow the proposed construction, none of which are a landmark trees. These seven trees consist of a 17" DBH (diameter at breast height), a 20" DBH, a 14" DBH and four 18" DBH Coast live oak trees. The trees vary from good to poor condition. The arborist identified 13 trees that may potentially be impacted by the development, these trees vary from 9" DBH to 48" DBH; they also vary from good to poor condition. The report states the potential impacts are unlikely to be significant. The potential impacts were identified because of the trees’ proximity to proposed grading and construction operations. Along with tree removal and protection best management practices, the arborist recommended a

replacement ratio of 3:1, 21 Coast live oak trees will be planted to compensate for the 7 proposed for removal. Overall, the removal of the 7 oak trees will not have an adverse impact on the nearby environment.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines, "New Construction". This exemption applies to the construction of new structures including single family dwellings and accessory dwelling units. This project qualifies for a Class 3 exemption because it is construction of a single-family dwelling an accessory dwelling unit, this project does not pose an adverse impact to the surrounding environment or other protected resources.

None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:

- The location of a project site is not considered for Class 2 exemptions.
- Successive projects of the same type and in the same place (demolition of a single-family dwelling and construction of a new single-family dwelling in substantially the same footprint) would not contribute to a significant cumulative impact.
- There are no unusual circumstances regarding this project that would cause a significant effect to the environment (See Findings 1, 2, 5 and 6).
- The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources.
- The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
-

OTHER AGENCY INVOLVEMENT:

The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and Monterey County Regional FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

Prepared by: Zoe Zepp, Assistant Planner

Reviewed by: Anna Quenga, AICP, Principal Planner

Approved by: Craig Spencer, Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution, including:

- Recommended Conditions of Approval
- Site Plan, Floor Plans, Elevations & Colors and Materials

Exhibit B - Arborist Report

Exhibit C - Vicinity Map

cc: Front Counter Copy; Planning Commission; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Zoe Zepp, Planner, Anna Quenga, AICP, Principal Planner; Bliss Betsy W Trs Property Owner; Andrew Matt, Agent; The Open Monterey Project (Molly Erickson); LandWatch; Project File PLN220213



County of Monterey Planning Commission

Item No.4

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No. 4

Legistar File Number: PC 23-009

February 08, 2023

Introduced: 1/31/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN220213 - BLISS BETSY W TR

Public hearing to consider allowing the construction of a single-family dwelling (Approx. 5,876 sq. ft.), a detached Accessory Dwelling Unit (Approx. 1,200 sq. ft.) and removal of 7 protected oak trees.

Project Location: 9 Mesa Trail, Carmel Valley, Carmel Valley Master Plan, (APN: 239-101-022-000)

Proposed CEQA action: Finding the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15303

RECOMMENDATION:

It is recommended that the Planning Commission adopt a Resolution:

1. Finding the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of:
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PROJECT INFORMATION:

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Property Owner: Bliss Betsy W Tr

APN: 239-101-022-000

Parcel Size: 842,015 Square Feet (19.33 Acres)

Zoning: Rural Grazing, 1 unit per 10 acres, it has overlay zones including a Design Control, a Site Plan Review and a Residential Allocation Zoning District overlay (RG/10-D-S-RAZ)

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

SUMMARY:

The project is located at 9 Mesa Trail, Carmel Valley in the Santa Lucia Preserve. This parcel is subject to the policies of the Carmel Valley Master Plan. The proposed project includes construction of a 5,876 square foot single family dwelling, a 1,200 square foot detached accessory dwelling unit (ADU) removal of seven Oak trees.

The proposed structures are one story and would be constructed with colors and materials that fit the rural and rustic character of the Santa Lucia Preserve and Carmel Valley areas. The project is

consistent with applicable development standards for Rural Grazing Zoning and with the regulations and policies in the Carmel Valley Master Plan. The project will receive potable water service from the Santa Lucia Preserve Community Services District and has proposed a septic system to support the future development.

The proposed tree removal does not appear to be the minimum required for development of a home on the lot; however, there are circumstances that make the proposed location more desirable for construction despite impacts to trees. This lot has a grassy open area where trees can be avoided. It is the desire of the applicant to preserve this grassy area for its aesthetic value including the annual appearance of lupin. Additionally the home is proposed on a knoll where there is oak tree coverage but less topographic relief than the gently sloping grassy area below. The project could be located on the sloping grassy area where tree removal would be reduced or avoided. In the location where the home is proposed, the home has been designed to minimize tree removal to the extent feasible.

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Finally, this site is located within a high fire hazard area. The home will be constructed of fire resistant materials and include sprinklers. Landscape plans submitted with the application show the 30 foot green zone around the house and notes are provided that require vegetation management up to 100 feet around the proposed home.

DISCUSSION:

Land Use & Development Standards

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Removal of protected oak trees requires a Use Permit (21.64.260). Therefore, the proposed project is an allowed use with the appropriate entitlements. The development standards for the RG zoning district are identified in Title 21, Section 21.32.060, and the proposed project is consistent with the applicable development standards. The height maximum for a main structure is 30 feet, the proposed main dwelling will have a height of 21 feet. The proposed single-family dwelling is contained within the homeland boundary; therefore, it meets all the required setbacks from the property lines. The setback between the proposed main structure and the ADU far exceeds the minimum 6-foot distance. The proposed ADU has a height of 16 feet and square footage of 1,200 square feet, consistent with the development standards for ADUs described in section 21.64.030. The property is 19.33 acres (842,015 square feet), the maximum allowed site coverage for a lot zoned RG/10 is 5% (42,100 square feet). The proposed site coverage is 0.96% (8,093 square feet).

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- Condition No. 5 requires an exterior lighting plan be provided and approved before the issuance of building permits; this condition shall ensure compliance with Monterey County’s Design Guidelines for Exterior Lighting.
- Additionally, the Santa Lucia Preserve Design Review Board approved the design of the proposed development.

Tree Removal

Seven protected oak trees are proposed for removal; therefore, a Use Permit has been applied to this project Pursuant to 21.64.260.D.3. This lot is in Phase D of the Santa Lucia Preserve subdivision; it is considered a Historic Lot of Old Rancho San Carlos. Unlike the other Phases reviewed under the 1994 Forest Management Plan prepared by Ralph Osterling, Phase D does not have any trees allotted for removal. Phase D lots must comply with the County regulations, pursuant to Chapter 21.64.260 of the Monterey County Zoning Ordinance, Title 21 which includes finding that the tree removal is the minimum required under the circumstances and the tree removal will not result in the risk of adverse environmental impacts.

An Arborist Report (LIB220267) was prepared for this project to assess the health of the forest and any potential impacts due to the proposed development. The arborist report identifies seven trees that must be removed to allow the proposed construction, none of which are a landmark trees. These seven trees consist of a 17” DBH (diameter at breast height), a 20” DBH, a 14” DBH and four 18” DBH Coast live oak trees. The trees vary from good to poor condition. The arborist identified 13 trees that may potentially be impacted by the development, these trees vary from 9” DBH to 48” DBH; they also vary from good to poor condition. The report states the potential impacts are unlikely to be significant. The potential impacts were identified because of the trees’ proximity to proposed grading and construction operations. Along with tree removal and protection best management practices, the arborist recommended a replacement ratio of 3:1, 21 Coast live oak trees will be planted to compensate for the 7 proposed for removal. Overall, the removal of the 7 oak trees will not

have an adverse impact on the nearby environment.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines, "New Construction". This exemption applies to the construction of new structures including single family dwellings and accessory dwelling units. This project qualifies for a Class 3 exemption because it is construction of a single-family dwelling an accessory dwelling unit, this project does not pose an adverse impact to the surrounding environment or other protected resources.

None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:

- The location of a project site is not considered for Class 2 exemptions.
- Successive projects of the same type and in the same place (demolition of a single-family dwelling and construction of a new single-family dwelling in substantially the same footprint) would not contribute to a significant cumulative impact.
- There are no unusual circumstances regarding this project that would cause a significant effect to the environment (See Findings 1, 2, 5 and 6).
- The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources.
- The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
-

OTHER AGENCY INVOLVEMENT:

The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and Monterey County Regional FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

Prepared by: Zoe Zepp, Assistant Planner

Reviewed by: Anna Quenga, AICP, Principal Planner

Approved by: Craig Spencer, Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution, including:

- Recommended Conditions of Approval
- Site Plan, Floor Plans, Elevations & Colors and Materials

Exhibit B - Arborist Report

Exhibit C - Vicinity Map

cc: Front Counter Copy; Planning Commission; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Zoe Zepp, Planner, Anna Quenga, AICP, Principal Planner; Bliss Betsy W Trs Property Owner; Andrew Matt, Agent; The Open Monterey Project (Molly Erickson); LandWatch; Project File PLN220213

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BLISS BETSY W TRS (PLN220213)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

- 1) Finding the project categorically exempt from further CEQA review pursuant to Section 15303, New Construction; and
- 2) Approving a Combined Development Permit consisting of: 1) Administrative Permit and Design Approval to allow construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, a 1,200 square foot detached accessory dwelling unit and associated site improvements; and 2) Use Permit to allow removal of seven Oak trees. Colors and materials consist of Ivory Board and Batten siding, Cedar plank garage doors, Brushed Cedar window frames and Light Grey class "A" metal seam roofing.

[PLN220213, Bliss Betsy W TRS, 9 Mesa Trail,
Carmel, Carmel Valley Master Plan (APN: 239-101-022-000)]

The Bliss Betsy W TRS application (PLN220213) came on for hearing before the Monterey County Planning Commission on February 8, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Carmel Valley Master Plan;
- Monterey County Zoning Ordinance (Title 21);
- Resolution 96-060, Santa Lucia Preserve (SLP)
- Final Environmental Impact Report #94-005
- SLP Subdivision Forest Management Plan

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project is the construction of a single-family dwelling, accessory dwelling unit and associated site improvements on an undeveloped lot in the Santa Lucia Preserve:
 - The single-family dwelling is one story totaling 5,876 square feet.
 - The accessory dwelling unit (ADU) is 1,200 square feet, with a 98 square foot attached storage room.
 - 7 Coast live oaks are proposed for removal. These trees are in the proposed building footprint and proposed driveway area.
 - The property will receive water supply from Santa Lucia Preserve Community Services District (CSD).
 - The project includes a proposed septic system with leach fields that will support the proposed development.
 - Other site improvements consist of a brick driveway with three parking spots and a fire truck turnaround, two spas, a pool, gravel walkways, terraces off the ADU, a fire pit, a stone labyrinth, a large patio for outdoor dining, tree planting and landscaping with native plant species.
- c) Allowed Use. The property is located at 9 Mesa Trail, Carmel (APN: 239-101-022-000), in the Carmel Valley Master Plan. The parcel is zoned Rural Grazing with a density of 1 unit per 10 acres and Design Control, Site Plan Review and a Residential Allocation Zoning overlay zones or “RG/10-D-S-RAZ”. Rural Grazing zones allow the opportunity to establish support facilities for grazing uses and clustered residential uses pursuant to Monterey County Zoning Ordinance Title 21, section 21.32.010. The first single family dwelling is an allowed use on any parcels zoned to support residential uses. Accessory Dwelling Units are an allowed use pursuant to section 21.64.030.C. Therefore, the County recognizes the proposed project as an allowed use.
- d) Site Inspection. The project planner conducted a site inspection on September 30, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. The property is shown in its current configuration as lot D12 in Volume 24 of the SUR Maps, page 55 sheet 1 of 11. Therefore, the County recognizes the property as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The project has been designed to blend with the natural environment and is consistent with other homes in the Santa Lucia Preserve. Colors and materials consist of Ivory Board and Batten siding, Cedar plank garage doors, Brushed Cedar window frames and Light Grey class “A” metal seam roofing. The proposed development will be mostly screened by the existing trees and will be difficult to view from Mesa Trail and Chamisal Pass.
- g) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which provides regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A

site plan was included in the application and a discretionary permit is being processed pursuant to these regulations. The project is proposed within a designated “homeland” boundary and has been appropriately sited to minimize impact to slopes. Homeland boundaries were established in the original SLP Plan to protect resources on the property by directing development to less sensitive areas of the property. An archeological report was completed as part of the environmental impact report when the Santa Lucia Preserve subdivision was created; this parcel did not have any archeological resources identified on the property. A fuel management plan (pg L0.3 of attached plan set) was submitted with the application, this plan includes measures to maintain vegetation surrounding the development area to reduce fire hazards. A geotechnical report (See Finding 2) was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project.

- h) Development Standards. Development standards for the Rural Grazing zoning district can be found in Title 21 Section 21.32.060. The proposed development is consistent with applicable development standards. All structures are within the homeland boundary (building envelope) established by the recorded final map. The structures far exceed the setbacks between structures with over 6 feet between each structure. The maximum height allowed is 35 feet for main structures and 16 feet for ADUs. The proposed single-family dwelling is 20 feet and 8 inches above the average natural grade; and the ADU is 16 feet above the average natural grade. The maximum allowed site coverage for RG/10 zoning is 5% (42,100 square feet); the proposed site coverage is 0.96% (8,093 square feet).
- i) The project was not referred to a Land Use Advisory Committee (LUAC) for review. Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it is within the Santa Lucia Preserve which is a special treatment area that does not have a LUAC.
- j) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Monterey County Regional Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to soil/slope stability and protected trees. The following reports have been prepared:
 - “Geotechnical and Percolation Investigation” (LIB220265) prepared by Belinda Taluban, Carmel, California, August 31st,

2022.

- “Pre-construction Tree Impact Assessment” (LIB220267) prepared by Rob Thompson, Monterey, California, June 28th 2022.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. The Final EIR #94-005 and Forest Management Plan for the Santa Lucia Preserve subdivision were reviewed by staff to ensure the proposed project is suitable for this parcel and meets the goals of the original subdivision plan.

- c) Staff conducted a site inspection on September 30, 2022 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

3. FINDING: **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by HCD- Planning, HCD- Engineering Services, Monterey County Regional Fire Protection District, HCD- Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
b) Necessary public facilities will be provided, as discussed in subsequent evidences “c” through “e”
c) Domestic water service will be provided by the Santa Lucia Preserve Community Services District (CSD), who provided a can and will serve letter dated September 6th, 2022 confirming their ability to serve all proposed development.
d) A new septic system is proposed as part of this project. The septic plans and feasibility report were reviewed by the Environmental Health Bureau, they found the proposed location and design of the system are suitable to support the proposed development.
e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

4. FINDING: **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County HCD-Planning and Building Services

Department records and is not aware of any violations existing on subject property.

- b) Staff conducted a site inspection on September 30th, 2022 and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220213.

5. **FINDING:**

FINDING:

EVIDENCE:

ACCESSORY DWELLING UNIT – The project meets the established regulations and standards as identified in Title 21, Section 21.64.030.

- a. Title 21, Section 21.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 1,200 square foot Accessory Dwelling Unit that includes independent living facilities, as shown in the attached plans.
- b. The proposed ADU meets the maximum 1,200 square foot floor area standard. The ADU exceeds all minimum setback standards stated in Title 21 Section 21.36.060.4.D.
- c. The proposed ADU stands 16 feet above the average natural grade, which meets the required height limitation pursuant to Title 21 Section 21.64.030.
- d. The ADU meets the required site development standards and design criteria as defined in Title 21 Section 21.64.030 and Chapter 21.44 (See Finding 1).
- e. The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate water supply and sewage disposal are suitable to serve the ADU. EHB made the determination that the property has adequate utilities, and no further comments or conditions were provided (See Finding 3).
- f. The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220213.

6.

FINDING:

EVIDENCE: a)

TREE REMOVAL – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

- a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Zoning Ordinance (Title 21) Section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.
- b) The project includes removal of 7 protected Coast live oak trees, none of which are considered a landmark tree. Landmark trees have a diameter of 24 inches or greater. (See Tree Assessment LIB220267) One of the trees proposed for removal is in the footprint of the proposed driveway, the other six are in the proposed building site of the main structure. Tree removal was analyzed under the Santa Lucia Preserve Combined Development Permit, however, there are no trees allotted for removal for this property. Therefore, a Use Permit is required to remove

the 7 proposed trees (See Finding 7).

- c) The tree removal is the minimum required under the circumstances. The applicant wants to develop the residence on top of the hill within the forested area to preserve the sloped meadow below. Although the development could be moved to the center of the homeland boundary to remove fewer trees, that is not the desire of the applicant.
- d) The proposed area for the septic system is the most feasible location that was evaluated. The home would not be able to completely move into the meadow and maintain a suitable distance from the proposed leach fields.
- e) The applicant has proposed to utilize the flattest portion of the lot for development. Moving the development into the meadow would require more grading than if the home was built in the forested area.
- f) The tree removal will not involve risk of an adverse environmental impact. There were not any environmentally sensitive habitat areas, special status animal or plant species or actively nesting birds seen on the property during staff's site visit on September 30th, 2022, or the arborist's tree survey on June 28, 2022. (See Tree Assessment) The project has been conditioned to complete a pre-construction survey for nesting birds during the typical bird nesting season. (See Condition No. 9)
- g) Existing trees not being removed shall be protected throughout construction. The arborist report discusses the possibility of 13 Coast live oaks being impacted by the proposed grading and construction. The County's tree protection condition has been applied to the project as Condition No. 4, requiring the applicant to wrap and protect trees not being removed during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree Impact Assessment prepared for the project. The County's pre-construction meeting condition has also been applied to this project as Condition No. 9; this meeting will allow the arborist to instruct personnel about tree removal, retention, and protection.
- h) The trees will be replaced pursuant to the recommended 3:1 tree replacement ratio stated in the Arborist Report. Seven protected oak trees are being removed; therefore 21 trees will be replanted on the property.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220213.

7. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the New Construction of a Single-Family Dwelling and an ADU.
- b) The proposed development will not have an adverse impact on the surrounding environment.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of a project site is not considered for Class 2 exemptions;
 - Successive projects of the same type and in the same place

(demolition of a single-family dwelling and construction of a new single-family dwelling in substantially the same footprint) would not contribute to a significant cumulative impact;

- There are no unusual circumstances regarding this project that would cause a significant effect to the environment (See Findings 1, 2, 5 and 6);
- The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
- The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.

d) Staff conducted a site inspection on September 30, 2022 to verify that the site and proposed project meet the criteria for an exemption.

e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220213.

8. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Pursuant to Title 21 Section 21.80.040, an aggrieved party may appeal a decision of the Planning Commission to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find the project categorically exempt from further CEQA review pursuant to Section 15303, New Construction; and
2. Approve a Combined Development Permit consisting of:
 - 1) Administrative Permit and Design Approval to allow construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, 1,200 square foot detached accessory dwelling unit & associated site improvements; and
 - 2) Use Permit to allow removal of seven Oak trees.

PASSED AND ADOPTED this 8th day of February, 2023:

AYES:

NOES:

ABSENT:

ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220213

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN220213) allows construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, a 1,200 square foot detached accessory dwelling unit and associated site improvements and removal of seven (7) Oak trees. The property is located at 9 Mesa Trail, Carmel Valley (Assessor's Parcel Number 239-101-022-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit (Resolution Number _____) was approved by Planning Commission for Assessor's Parcel Number 239-101-022-000 on 02/08/2023. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

8. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to final applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: 3:1
- Replacement ratio recommended by arborist: 3:1
- Other: Pursuant to Condition 24 of PC94067, the reforestation program shall include a monitoring element that guarantees a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

Five years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

10. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

11. PW0006 - CARMEL VALLEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

GENERAL NOTES

1. THESE PLANS ARE THE PROPERTY OF TOM MEANEY ARCHITECT. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE, WHETHER IN WRITING, VERBAL, OR ELECTRONIC, IS PROHIBITED AND SHALL THEREBY ABSOLVE TOM MEANEY ARCHITECT FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTEREST PARTIES IN THE PROJECT.
2. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL WHICH APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR.
3. ALL CONSTRUCTION METHODS, MATERIALS AND TECHNIQUES SHALL COMPLY WITH THE BUILDING CODES, ORDINANCES, REGULATIONS AND STANDARDS LISTED.
4. THE CONTRACTOR SHALL PROVIDE A WRITTEN STATEMENT SIGNING ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK.
5. DO NOT SCALE DRAWINGS. APPLICABLE TRADES SHALL USE A COMMON DATUM TO BE DESIGNATED BY THE CONTRACTOR FOR ALL CRITICAL MEASUREMENTS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
6. DIMENSIONS ARE TO THE CENTERLINE OF STUDS. UNLESS NOTED OTHERWISE, AT FLOORS AND CEILINGS WITH PLYWOOD SHEATHING DIMENSIONS ARE TO EXTERIOR SIDE OF PLYWOOD.
7. REFER TO ADDITIONAL NOTES SHOWN ON THE STRUCTURAL AND/OR CIVIL ENGINEERING SHEETS CONTAINED IN THESE DRAWINGS.
8. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED.
9. WHEN CONSTRUCTION IS COMPLETE, IF ANY EXISTING MATERIAL IS DAMAGED BY ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIAL TO MATCH EXISTING AS APPROVED BY THE DESIGNER.
10. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND RUBBISH RESULTING FROM THE WORK SPECIFIED HEREIN.
11. ALL EXPOSED BOLTS, WASHERS, NAILS, OR METAL CONNECTORS SHALL BE DOUBLE HOT DIP GALVANIZED [U.N.O.]
12. SITE PREPARATION SHALL BE CONDUCTED IN ACCORDANCE WITH THE DESIGNER AND OWNER WHEN REQUESTED. NO PORTION OF SUCH WORK SHALL BE COMMENCED UNTIL SUBMITTAL HAS BEEN APPROVED BY THE DESIGNER/OWNER.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING AND FRAMING FOR WALL MOUNTED ITEMS.
14. FIRE STOPS SHALL BE LOCATED AT THE FOLLOWING LOCATIONS (PER UBC REQUIREMENTS):
A) ALL CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES - AT FLOOR AND CEILING LEVELS AND AT 10 FLOOR INTERVALS ALONG THE LENGTH OF THE WALL.
B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR A FIRE AT CEILING AND FLOOR LEVELS, WITH NON-INSULATED METAL FLASHING, EXPANSION JOINT MATERIAL SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE COMPLETELY WATERPROOFED.
15. AT EXTERIOR WALL OPENINGS: FLASHING, COUNTER FLASHING AND EXPANSION JOINT MATERIAL SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE COMPLETELY WATERPROOFED.
16. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
17. ALL UTILITY CONNECTORS, INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE UTILITY POLE TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.

PLUMBING FIXTURES

EXISTING PLUMBING FIXTURES MAY REQUIRE RETROFITTING TO CURRENT CPC REQUIREMENTS AND NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING MIN. REQUIREMENTS: WATER CLOSETS: 1.28 GALLONS MAX./FLUSH; URINALS: 0.5 GALLONS MAX./FLUSH.

HIGH FIRE NOTES

FIRE SPRINKLERS REQUIRED, UNDER SEPARATE PERMIT.

THIS PARCEL IS LOCATED WITHIN A DESIGNATED HIGH FIRE HAZARD AREA. ALL ELEMENTS OF NEW CONSTRUCTION MUST COMPLY WITH REQUIREMENTS SET FORTH IN PROVISIONS OF CRC SECTION R307.

SEE FIRE RATED CONSTRUCTION REQUIREMENTS ON A.0.3 FOR SPECIFIC INFORMATION.

SOLAR READY BUILDING REQUIREMENT

TWO MINIMUM 1" DIAMETER METALLIC CONDUITS BE PROVIDED THAT ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO A SOLAR ZONE AREA COMPLYING WITH CALIFORNIA ENERGY CODE SECTION 110.10 AND TERMINATE AT A MINIMUM 4" SQUARE APPROVED ELECTRICAL JUNCTION BOX LOCATED WITHIN 72" HORIZONTALLY AND 12" VERTICALLY OF A MAIN ELECTRICAL PANEL. THE ELECTRICAL JUNCTION BOX AND THE SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC". (SANTA BARBARA COUNTY ENERGY AND CLIMATE ACTION PLAN (ECAP) ORDINANCE 150RD-00)

GREEN BUILDING NOTES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CONSTRUCTION WASTE MGMT REQ.TS

CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS OF CRC R324.1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGBC CHAP. 4, DIVISION 4.4 (CALGREEN CODE). WASTE HANDLER TO BE MARBORG INDUSTRIES, UNLESS NOTED ELSEWHERE.

SPECIAL INSPECTIONS

1. All special inspections shall conform to section 1701 of the Uniform Building Code.
2. Structural special inspections and observations are required for this project, refer to structural plans S1.0 for more information..
3. Required for all concrete with a design ultimate 28 day compressive strength in excess of 2500 psi.
4. Required for all installation of epoxied anchors.
5. During excavation process, a thorough search shall be made under the direction of soils engineer, to locate any potential contamination.
6. Inspection of the finished building pad shall be conducted by the soils engineer.
7. Soils engineer to review foundation and grading plans prior to submittal for building permit.
8. A representative of soils engineer shall be requested to inspect all excavations prior to backfilling, steel reinforcement and concrete or soil placement.

SEPARATE PERMITS & DEFERRED SUBMITTALS

ALL SEPARATE PERMITS & DEFERRED SUBMITTALS PER CONTRACTOR U.N.O., REFER TO CONSULTANT LISTINGS FOR CONTACT.

1. Provide all new building and modifications of structures under separate permit.
2. Provide fire sprinklers under separate permit.
3. Provide alarm under separate permit.
4. Provide separate permit for all site walls above 6' if applicable.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CALIFORNIA ADMINISTRATIVE CODE

CALIFORNIA BUILDING CODE, 2019

CALIFORNIA PLUMBING CODE, 2019

CALIFORNIA MECHANICAL CODE, 2019

CALIFORNIA ELECTRICAL CODE, 2019

CALIFORNIA ENERGY CODE, 2019

CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)

COUNTY OF MONTEREY AND ADOPTING ORDINANCES

CALIFORNIA RESIDENTIAL CODE, 2019

MONTEREY COUNTY (SBCO) BUILDING ORDINANCE

MONTEREY COUNTY GRADING ORDINANCE

NOTE: THIS PROJECT TO BE REGISTERED WITH CALCERTS

HERS INSPECTIONS

PROJECT REQUIRES THIRD PARTY HERS TESTING AND/OR DUCT LEAKAGE TEST. SEE CF-1R PAGES FOR ADDITIONAL HERS INSPECTIONS IF ANY.

SUBCONTRACTORS TO PROVIDE SIGNED CF-2R FORMS THAT MATCH OR EXCEED COMPLIANCE CALCULS.

PROJECT DIRECTORY

ARCHITECT
Tom Meany
629 State Street, Suite 240
Santa Barbara, CA 93101
(805) 966-7668
Lic. No. C14606

SURVEYOR
LandSet Engineers, Inc.
520-B Crazy Horse Canyon Road
Salinas, CA 93907
(831) 443-6970

CIVIL ENGINEER
C3 Engineering, Inc.
126 Bonifacio Place, Suite C
Monterey, CA 93940
(831) 647-1192

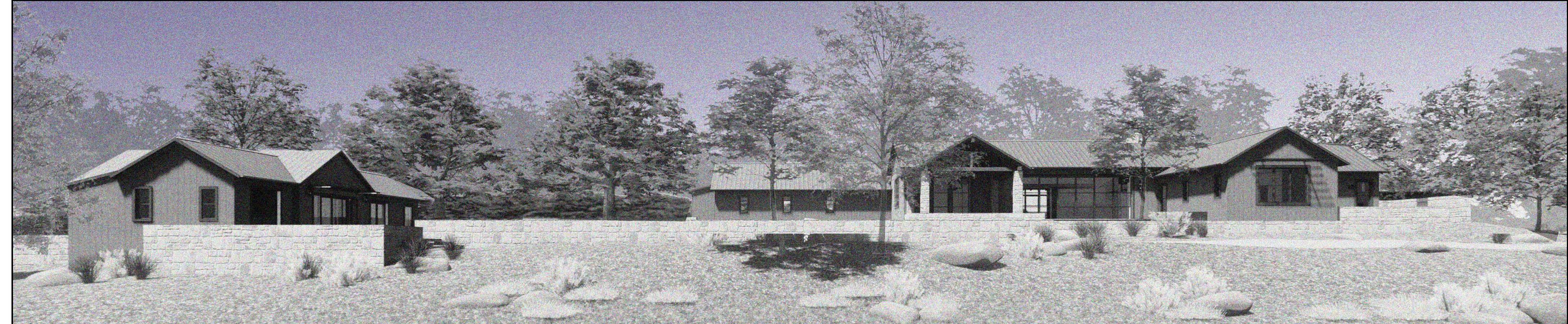
LANDSCAPE ARCHITECT
Bliss Landscape Architecture
24000 Robinson Canyon Road
Carmel, CA 93923
(831) 298-0990

STRUCTURAL ENGINEER
Ashley Vance Engineering
210 E. Cota Street
Santa Barbara, CA 93101
(805) 962-9966
Lic. No. 65701

ELECTRICAL ENGINEER
J.M.P.E.
156 West Alamar, Suite B
Santa Barbara, CA 93105
(805) 569-9216
Lic. No. 19265

MECH./PLUMB. ENGINEER

GEOTECHNICAL ENGINEER



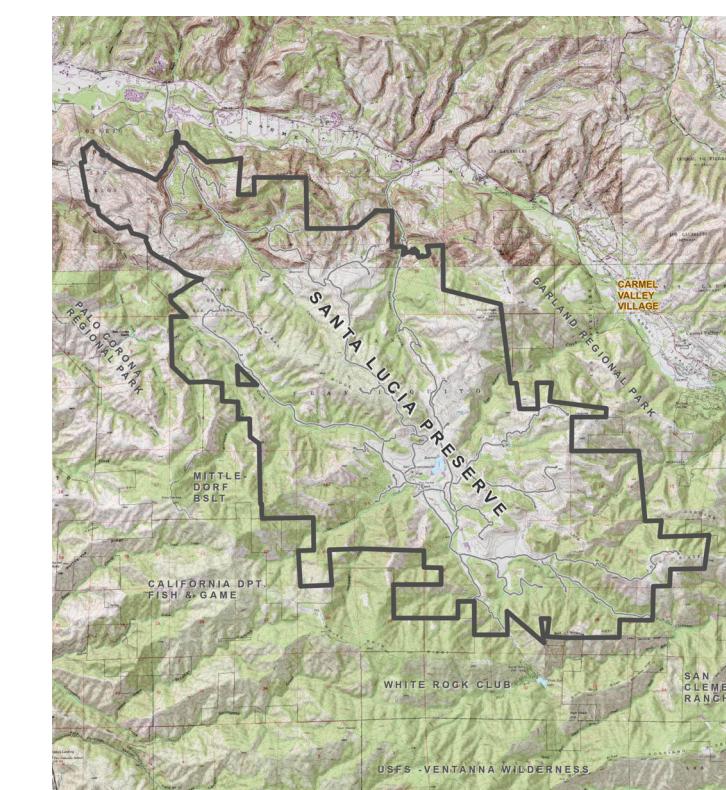
BLISS RESIDENCE

LOT D12 - 9 MESA TRAIL
SANTA LUCIA PRESERVE
CARMEL, CA

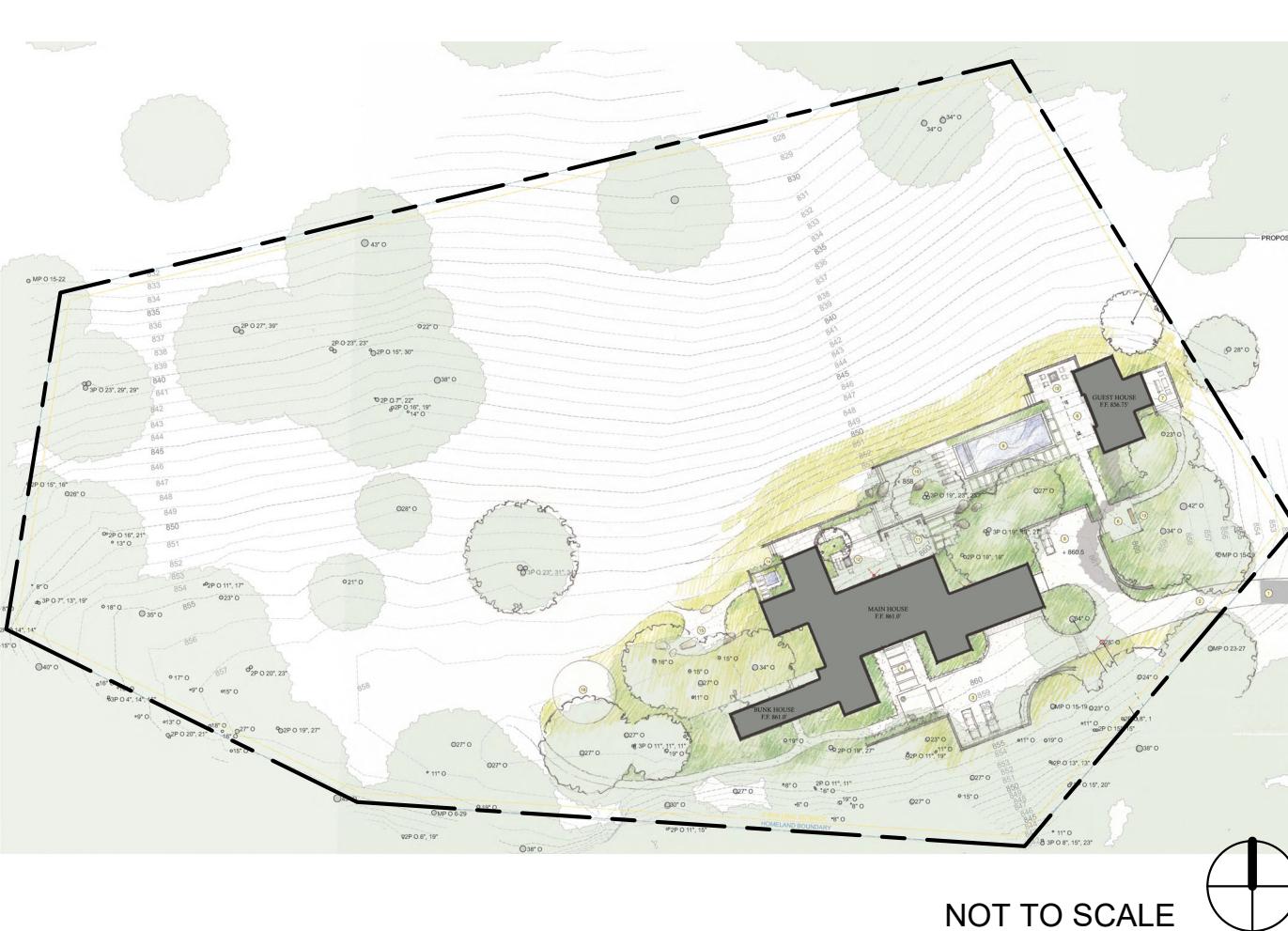
REGION MAP



VICINITY MAP



PRELIMINARY SITE PLAN



PROJECT ADDRESS

LOT D12, 9 MESA TRAIL
SANTA LUCIA PRESERVE
CARMEL, CA

OWNER

BETSY BLISS
15021 CAMINO LADERA
DEL MAR, CA 92014

ADDRESS

CONSTRUCT NEW SINGLE FAMILY RESIDENCE WITH
ATTACHED GARAGE, DETACHED 2-BEDROOM SUITE AND
DETACHED A.D.U. INCLUDES LANDSCAPE, HARDCAPE,
POOL AND GRADING.

SCOPE OF WORK

NOT TO SCALE

PROJECT DATA

APN / LOT NUMBER: 239-101-022
LOT SIZE: 19.33 ACRES
LOT COVERAGE / FLOOR AREA RATIO: .9%
LOT COVERAGE: STRUCTURES 7,172 7,833
SURFACES, TERRACES, LANDSCAPE, POOL, WALLS
AVERAGE NATURAL GRADE @ HOMELAND BOUNDARY: 11.9%
OCCUPANCY GROUP: R-3
TYPE OF CONSTRUCTION: VB
GENERAL LAND USE ZONE: RESOURCE CONSERVATION
ZONING: RG/10-D-S-RAZ
HIGH FIRE HAZARD SEVERITY AREA: YES
FLOOD PLAN: NO
AVERAGE SLOPE: 1,068 CY
GRADING: CUT: 1,302 CY
FILL: 56,955 SF
LAND DISTURBANCE
FIRE SPRINKLERS: YES, UNDER SEP. PERMIT
PARKING PROVIDED: 3 COVERED
LOT SIZE: 19.33 ACRES
SET BACKS:
FRONT RESIDENCE 30'
SIDES RESIDENCE 20'
REAR RESIDENCE 20'
HEIGHT LIMITS: 30' FROM AVE. NAT. GRADE
TREES TO BE REMOVED: YES, 7 PER L.S. PLAN
WILDLAND URBAN INTERFACE: YES
FIRE DISTRICT:
WATER DISTRICT: SLPWDS
SANITARY: SEPTIC SYSTEM
NOTICE: SEPTIC SYSTEM
BUILDING DATA

PLANNING DATA

APN / LOT NUMBER: 239-101-022
LOT SIZE: 19.33 ACRES
LOT COVERAGE / FLOOR AREA RATIO: .9%
LOT COVERAGE: STRUCTURES 7,172 7,833
SURFACES, TERRACES, LANDSCAPE, POOL, WALLS
AVERAGE NATURAL GRADE @ HOMELAND BOUNDARY: 11.9%
OCCUPANCY GROUP: R-3
TYPE OF CONSTRUCTION: VB
GENERAL LAND USE ZONE: RESOURCE CONSERVATION
ZONING: RG/10-D-S-RAZ
HIGH FIRE HAZARD SEVERITY AREA: YES
FLOOD PLAN: NO
AVERAGE SLOPE: 1,068 CY
GRADING: CUT: 1,302 CY
FILL: 56,955 SF
LAND DISTURBANCE
FIRE SPRINKLERS: YES, UNDER SEP. PERMIT
PARKING PROVIDED: 3 COVERED
LOT SIZE: 19.33 ACRES
SET BACKS:
FRONT RESIDENCE 30'
SIDES RESIDENCE 20'
REAR RESIDENCE 20'
HEIGHT LIMITS: 30' FROM AVE. NAT. GRADE
TREES TO BE REMOVED: YES, 7 PER L.S. PLAN
WILDLAND URBAN INTERFACE: YES
FIRE DISTRICT:
WATER DISTRICT: SLPWDS
SANITARY: SEPTIC SYSTEM
NOTICE: SEPTIC SYSTEM
BUILDING DATA

SHEET LIST

SHEET LIST

ARCHITECTURAL

NO.	DESCRIPTION
A0	TITLE SHEET
I.0	SURVEY
A0.1	SPECIFICATIONS
A0.2	SPECIFICATIONS
A1.1	SITE PLAN
A1.2	ROOF SITE PLAN
A2.1	FLOOR PLANS
A2.2A	FLOOR PLAN - RESIDENCE
A2.2B	FLOOR PLAN - RESIDENCE
A2.2C	FLOOR PLAN - A.D.U.
A3.1	ROOF PLAN - RESIDENCE
A3.1A	ROOF PLAN - RESIDENCE
A3.1B	ROOF PLAN - RESIDENCE
A3.2A	ROOF PLAN - A.D.U.
A4.1A	REFLECTED CEILING PLAN - RESIDENCE
A4.1B	REFLECTED CEILING PLAN - RESIDENCE
A4.2	REFLECTED CEILING PLAN - A.D.U.
A5.1	BUILDING SECTIONS
A6.1	MAIN HOUSE EXTERIOR ELEVATIONS
A6.1A	EXTERIOR ELEVATIONS - RESIDENCE
A6.1B	EXTERIOR ELEVATIONS - RESIDENCE
A6.1C	EXTERIOR ELEVATIONS - A.D.U.
A6.2	ADU EX. ELEVATIONS
A8.1	FINISH SCHEDULES
A8.2	DOOR/WINDOW SCHEDULES
A9.1	ARCHITECTURAL DETAILS
A9.2	ARCHITECTURAL DETAILS
A9.3	ARCHITECTURAL DETAILS

LANDSCAPE

NO.	DESCRIPTION
L0.1	REFERENCE SITE PLAN
L0.2	TREE PROTECTION & REMOVAL PLAN
L0.3	FUEL MANAGEMENT PLAN
L1.0	HOMELAND SITE PLAN
L1.1	MATERIALS & FINISHES
L3.0	PLANTING PLAN
L3.1	PLANTING PLAN - NORTH
L3.2	PLANTING PLAN - SOUTH
L4.0	IRRIGATION PLAN
L4.1	IRRIGATION NOTES & LEGEND
L4.2	IRRIGATION DETAILS
L4.3	IRRIGATION DETAILS
L5.0	LANDSCAPE LIGHTING PLAN

CIVIL

NO.	DESCRIPTION

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SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:

1.1.1 THESE NOTES AND DRAWINGS.

1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.

1.1.3 WORKERS' COMPENSATION, LOCAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE ARCHITECTS AND OWNERS SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.

1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.

1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL.

1.2 SITE VERIFICATION - EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES ENCOUNTERED ON THE SITE DURING THE CONSTRUCTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE CONSTRUCTION OF THE WORK, EXCEPT THOSE BEING THE FAULT OF THE OWNER OR GRADE OF WHICH THE CONTRACTOR DID NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.

1.3 CONSTRUCTION DOCUMENTS

1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.

1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS AS WELL AS FOR THE WORK ON THE PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR MATERIALS OR METHODS OF CONSTRUCTION NOT SHOWN ON THE DRAWINGS, EXCEPT FOR THE LINEAR FEET OF PERFORMANCE OF CONSTRUCTION WORK.

1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.

1.3.4 THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR, WHO IS RESPONSIBLE FOR THE DESIGNER'S DRAWINGS. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM THE DRAWINGS UNLESS THEY ARE REVISED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.

1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

1.5 EACH TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.

1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.

1.7 EACH TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH, TOOLS, SUPPLIES, AND SURPLUS MATERIALS AND LEAVE THE WORK AREA CLEAN AND NEAT. CONTRACTOR OR TRADES SHALL PERFORM FINAL CLEAN UP.

1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.

1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFETY CONSTRUCTION PRACTICES.

1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.

1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

DIVISION 2 - SITE WORK

2.1 AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, THE CONTRACTOR SHALL RECOGNIZE THAT ALL EXISTING UTILITY INSTALLATIONS AND OTHER UNDERGROUND STRUCTURES AND FACILITIES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THAT THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES, STRUCTURES, AND OTHER FACILITIES AND FOR PROTECTING SAME DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. CONTACT UTILITY PROVIDER FOR EXACT LOCATIONS OF UTILITIES.

2.2 DEMOLITION

2.2.1 REMOVE ALL PORTIONS OF BUILDING, EQUIPMENT, PAVING, FOUNDATIONS, ETC. AS SHOWN OR AS REQUIRED TO COMPLETE THE WORK.

2.2.2 DISCONNECT ALL UTILITY LINES FROM ALL EQUIPMENT, FIXTURES, AND APPLIANCES TO BE REMOVED.

2.2.3 REMOVE ALL ABANDONED ABOVE OR BELOW GROUND UTILITY LINES, PIPE, CABLE, WIRE, CONDUIT, DUCTS, ETC. TO AS CLOSE TO THE SOURCE AS POSSIBLE. ALL ABANDONED ELECTRICAL CABLE AND WIRES SHALL BE REMOVED FROM CONDUITS IF CONDUITS MUST REMAIN IN PLACE.

2.2.4 REMOVE ALL CONCEALED OUTLETS AND SWITCHES AS REQUIRED TO COMPLETE THE WORK.

2.2.5 REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE UNLESS OTHERWISE NOTED.

2.2.6 PROTECT ADJACENT PROPERTY AND STRUCTURES FROM DAMAGE DURING THE PROGRESS OF THE WORK.

2.2.7 PROVIDE CONTROL OF DUST AS REQUIRED.

2.2.8 PROVIDE PROTECTION FOR THE PORTION OF THE STRUCTURE EXPOSED DURING CONSTRUCTION FROM DAMAGE FROM THE ELEMENTS.

2.2.9 COORDINATE WITH OWNER ANY ITEMS THEY MAY WISH TO RETAIN.

2.3 DIRECT SURFACE DRAINAGE AWAY FROM THE STRUCTURE (1% MINIMUM).

2.4 IN THE EVENT UNSUITABLE SOIL IS ENCOUNTERED AT THE REQUIRED DEPTH, THE ARCHITECT AND GEOLOGIST SHALL BE NOTIFIED SO THAT THEY MAY DETERMINE HOW TO PROVIDE PROPER BEARING FOR THE STRUCTURE.

2.5 ALL STUMPS AND ROOTS ARE TO BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE.

2.6 REFER TO SOILS REPORT FOR ALL BEARING CAPACITIES AND SPECIFIC REQUIREMENTS. IN THE ABSENCE OF A SOILS REPORT VERIFY WITH THE ARCHITECT AND ENGINEER AND/OR LOCAL BUILDING AUTHORITY/INSPECTORS REGARDING SPECIFIC EARTHWORK CONSTRAINTS AND REQUIREMENTS.

2.7 EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH, LENGTH, AND DEPTH REQUIRED, FINISH WITH LEVEL BOTTOMS. ALL FOUNDATIONS TO EXTEND TO UNDISTURBED SOIL. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER. ALL CRAWL SPACES TO BE MINIMUM 18" X 30".

2.8 IN BUILDING AREA, SOFT, SPONGY OR POROUS MATERIALS SHALL BE REMOVED TO A DEPTH OF THREE FEET BELOW THE BOTTOM OF THE FOOTING AND RECOMPACTED. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CARRIED TO A DEPTH OF AT LEAST 18" BELOW THE TOP OF THE LOWEST EXISTING ADJACENT GRADE (24" IN AREAS WITH EXPANSIVE SOIL).

2.9 PROTECT ALL TREES AND LANDSCAPING NOT TO BE REMOVED.

2.10 FILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, AND OTHER FOREIGN SUBSTANCES.

2.11 BACKFILLING FOR TRENCHES SHALL BE COMPACTED TO 90 PERCENT DENSITY. BACKFILL FOR PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN SIX INCH LAYERS.

DIVISION 3 - CONCRETE

3.1 FOR STRUCTURAL CONCRETE DESIGN AND CONSTRUCTION REQUIREMENTS SEE STRUCTURAL PLANS.

3.2 CONCRETE FLATWORK SHALL BE TRUE TO WITHIN 1/8 INCH IN TEN FEET IN ALL DIRECTIONS, OR SLOPED TO DRAIN AS INDICATED ON THE DRAWINGS ALLOWING NO PUDGING TO OCCUR IN THE DIRECTION OF FLOW.

3.3 LOCATION OF CONSTRUCTION JOINTS SHALL BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO POURING IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.

3.4 INTERIOR AND GARAGE SLABS: STEEL TROWEL FINISH; SLOPE TO DRAIN WHERE INDICATED ON DRAWINGS.

3.5 INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CBC 4.505.2)

DIVISION 4 - MASONRY

4.1 FOR STRUCTURAL DESIGN AND CONSTRUCTION REQUIREMENTS FOR CONCRETE MASONRY UNITS SEE STRUCTURAL PLANS.

4.2 WHEN INCORPORATED INTO THE DESIGN OF THE PROJECT, FURNISH AND INSTALL ALL MASONRY WORK COMPLETE, INCLUDING MASONRY VENEER AND MASONRY REINFORCING AND WATERPROOFING.

4.3 MASONRY VENEER SHALL COMPLY WITH U.B.C. 2010. FIREPLACES SHALL CONFORM TO U.B.C. 2010.

4.4 FILL ALL CONCRETE MASONRY UNITS WITH SOLID GROUT.

DIVISION 5 - METALS

5.1 FOR STRUCTURAL DESIGN, FABRICATION, AND CONSTRUCTION REQUIREMENTS FOR STRUCTURAL STEEL SEE STRUCTURAL PLANS.

5.2 ALL STRUCTURAL STEEL DELIVERED ON SITE SHALL BE PRIMED WITH TWO COATS OF THE APPROPRIATE PRIMER. IF EXPOSED, PAINT AS DIRECTED.

5.3 ALL WELDS SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY". ALL WELDS SHALL BE GROUND SMOOTH AND ALL WELDING SPATTER SHALL BE REMOVED. ALL EXPOSED WELDS ARE TO BE CONTINUOUS WELDS.

5.4 FURNISH ALL METAL SUPPORTS, ANGLES, PLATES, ATTACHMENTS, BOLTS, GATES, RAILINGS, WELDING, SHOP PRIMING AND INCLUDE INSTALLATION AS REQUIRED TO COMPLETE THE WORK.

DIVISION 6 - WOOD AND PLASTIC

6.1 FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS IN ACCORDANCE WITH APPLICABLE BUILDING CODES.

6.2 DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

6.3 VERIFY ALL BUILT-IN EQUIPMENT DIMENSIONS PRIOR TO FABRICATION.

6.4 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY AND WITHIN 18" OF GRADE TO BE PRESSURE TREATED WEST COAST DOUGLAS FIR OR FOUNDATION GRADE REDWOOD.

6.5 PROVIDE DOUBLE TRIMMERS EACH SIDE OF OPENINGS 6'-0" WIDE OR GREATER AT BEARING WALLS.

6.6 PROVIDE FIRE STOPPING IN STUD SPACES AT ALL FLOOR AND CEILING LEVELS AND STUD SPACES OVER TEN FEET.

6.7 ALL BEAM, JOISTS, AND RAFTERS SHALL BE INSTALLED WITH THE CROWN SIDE UP.

6.8 CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOADING.

6.9 BLOCK ALL EDGES OF PLYWOOD FLOOR SHEATHING.

6.10 ROUGH CARPENTRY

6.10.1 FOR STRUCTURAL DESIGN REQUIREMENTS OF ROUGH CARPENTRY, SEE STRUCTURAL PLANS.

6.10.2 ALL FRAMING LUMBER SHALL BE GRADE MARKED AND CONFIRM WITH THE STANDARD GRADING AND DRESSING RULES (NO. 16) OF THE WEST COAST LUMBER INSPECTION BUREAU, DOUGLAS FIR/LARCH. GRADE FRAMING MEMBER AS FOLLOWS UNLESS OTHERWISE NOTED:

VERTICAL MEMBERS: NO. 2

POSTS: NO. 1

HORIZONTAL FRAMING 2x JOISTS: NO. 2

4x BEAMS OR LARGER: NO. 2

6.10.3 ALL WOOD STRUCTURAL IS COVERED IN USIC PS-1, CDX. EXTERIOR GLUE, OR EQUAL, UNLESS OTHERWISE NOTED. FAIR一面 TO FAIR一面 TO RUN PERPENDICULAR TO SUPPORTS WITH EDGES STACED. PROVIDE ONE PLT CLIP BETWEEN EACH SET OF RAFTERS AT UNBLOCKED EDGES UNLESS TONGUE AND GROOVE IS USED.

6.10.4 FRAMING CONTRACTOR TO PROVIDE BACKING FOR WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO POLES AND SHELVES, TOILET PAPER HOLDERS, TOWEL BARS, MEDICINE CABINET, AND DRAPERY RODS.

6.10.5 WHERE WOOD IS USED, VERTICAL GRAIN ALIGNMENT GRADE OR BETTER IS TO BE USED.

6.10.6 WHERE A PARTITION CONTAINING HEATING OR OTHER SYSTEMS RUNS PARALLEL TO FLOOR JOISTS PROVIDE DOUBLE JOISTS SPACED AND BRIDGED TO PERMIT PASSAGE OF SUCH SYSTEMS.

6.10.7 FIREBLOCK ALL SPACES GREATER THAN 10 FEET AND DRYWALL JOINTS. DRAFT STOP ALL FLOOR CONSTRUCTION WHERE POSSIBLE. USE DRYWALL JOINTS AND PAPER BACKING WHERE APPROPRIATE.

6.10.8 ALL BOLTS AND LAG SCREWS SHALL HAVE WASHERS UNDER HEADS AND NUTS. ALL NUTS AND SCREWS SHALL BE TIGHTENED WHEN INSTALLED AND RETIGHTENED BEFORE COVERING.

6.10.9 NO STRUCTURAL MEMBER SHALL BE CUT OR DRILLED THROUGH WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

6.10.10 FIRE BLOCK STUD WALLS (@ 10' INTERVALS/HORIZ. & VERT.), ENCLOSED AND CONCEALED SPACES, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, ATTIC AND CHIMNEY CHASE, STAIR STRINGERS, AND SIMILAR PLACES AT CEILING AND FLOOR LEVELS LEVELS PER (CBC 717.2)

6.11 FINISH CARPENTRY

6.11.1 ADJUST FRAMING FURR-OUTS AND SHEAR WALLS AS REQUIRED TO MAINTAIN A FLAT AND FLUSH SURFACE FOR INTERIOR OR EXTERIOR FINISHES.

6.11.2 FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE INCLUDING TRIM, DOOR FRAMES, PANELING, WEATHER-STRIPPING ETC.

6.11.3 ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY METERED, BUFFERED, AND COPED WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.

6.11.4 ALL WORK SHALL BE MACHINED OR HAND Sanded. SHARP EDGES AND SPLINTERS REMOVED. FULL LENGTH BOARDS SHALL BE USED WHENEVER APPLICABLE OR NOT.

6.11.5 ALIGN ALL PIECES AND GRAIN WHEN INSTALLING FINISH LUMBER, UNLESS OTHERWISE SHOWN.

6.12 CABINETS

6.12.1 ALL CABINETS SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORKING INSTITUTE.

6.12.2 ALL JOINTS TO BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE BUTTED, COPED, OR METERED, NAILS AND SCREWS SET AND SURFACES FREE OF TOOL MARKS.

6.12.3 CONCEALED SPACES FREE OF TOOL MARKS.

6.12.4 SHELVES TO BE 1x, UNLESS OTHERWISE NOTED. SHELVES WIDER THAN 12" SHALL BE 3/4" PLYWOOD WITH MATCHING VENEER AND EDGE BABE LET IN CATE ENDS.

6.12.5 PROVIDE VENTS AND HOLES FOR WIRING CONNECTIONS FOR ALL SHOE, ENTERTAINMENT CENTERS, FREEZER, REFRIGERATOR, AND OTHER ELECTRICAL EQUIPMENT. PROVIDE CABLE CONDUITS FOR ALL CABLES AND CABLES FOR THE OPERATION OF ALL APPLIANCES IN ADVANCE OF FABRICATION. PROVIDE ACCESS FOR APPLIANCE SERVICE AND REPLACEMENT WITHOUT DAMAGING CABINETS.

6.12.6 ALL CABINET DOORS UP TO FIVE FEET IN HEIGHT TO BE 3/4" HARDWOOD, 1 1/8" THICK IF TALLER. MAXIMUM HINGING DISTANCE TO BE 36". ADJUST DOOR FACES TO BE FLUSH. DOORS ARE TO CLOSE STRAIGHT AND FLUSH. PROVIDE STIFFENERS AS REQUIRED FOR OVERSIZED DOORS.

6.12.7 DRAWER HANDLES TO BE 18" DEEP UNLESS OTHERWISE NOTED. FRONTS TO BE 3/4" HARDWOOD. USE FULL EXTENSION DRAWER ROLLERS. DRAWER HANDLES AS SELECTED BY ARCHITECT.

6.12.8 FURNISH AND INSTALL MAGNETIC CATCHES.

6.12.9 NOTIFY DESIGNER OF ANY CHANGES REQUIRED DUE TO OPERATION OF BUILT-IN APPLIANCE, DIMENSION DISCREPANCY, OWNER ALTERATIONS, ETC.

6.12.10 SUBMIT SHOP DRAWINGS FOR ALL CABINET WORK TO BE DONE TO DESIGNER FOR APPROVAL PRIOR TO FABRICATION.

6.13 FOR CERAMIC TILE INSTALLATIONS ON COUNTERTOPS, INSTALL ALL CERAMIC TILE ON ONE INCH MORTAR BED ON SOLID PARTICLE BOARD AND MORTAR BED. ADJUST MORTAR TO BE LEVEL AND TRUE UNLESS SLOPING IS NECESSARY FOR DRAINING PURPOSES.

6.14 PROVIDE DRAFT STOP WITHIN ATTICS, MANSARD OVERHANGS AND SIMILAR CONCEALED SPACES IN EXCESS OF 1000 SF OR 60' IN LENGTH FORMED OF COMBUSTIBLE MATERIAL PER CBC 708.3.1.1.

6.15 PROVIDE SPECIAL INSPECTION OF MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING WITH MOISTURE METER BEFORE ENCLOSING (CBC 4.505.3).

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 FLASHING

7.1.1 SHEET METAL - SHEET METAL WORK SHALL CONFORM TO PUBLISHED STANDARDS OF SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.

7.1.2 INSTALL ROOFING AND WALL FLASHING PER MANUFACTURER'S RECOMMENDATIONS CAREFULLY ESTABLISHING A CONTINUOUS SEAL WITH SCUPPERS, JACKS, DRAINS, ETC.

7.1.3 FLASHING AND COUNTER FLASHING IS REQUIRED AT ROOF/WALL JUNCTIONS, AND AT ALL EXTERIOR OPENINGS.

7.1.4 FLASHING SHALL BE ACCURATELY FABRICATED TO DETAIL AND FITTED TO JOBT CONDITIONS FOLDED AND BREAK FORWARD PIECES SHALL BE FINISHED TRUE AND STRAIGHT, WITH WARP LINES AND ANGLES.

7.1.5 LOCK SEAM FLAT AND TRUE, 1/8" WIDE SWEATED FULL WITH SOLDER.

7.1.6 PROVIDE FIVE 1/8" HIGH FLASHING AND COUNTERFLASHING AT ALL ROOF TO WALL JOINTS.

7.1.7 PROVIDE AND ANCHOR ROOFING AND COUNTERFLASHING FOR DIFFERENTIAL MOVEMENT OF MATERIALS DUE TO WIND, SEISMIC, LOADING, TEMPERATURE, AND SHRINKAGE.

7.1.8 FLASHING SHALL BE 26 GAUGE G.I. MINIMUM UNLESS OTHERWISE NOTED.

7.1.9 VALLEY FLASHING SHALL NOT BE LESS THAN NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN 1/2" LAYER OF MIN. 72-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36 INCH WIDE THE LENGTH OF THE VALLEY PER CRC R3.5.

7.1.10 ALL GALVANIZED METAL TO BE PRIMED AND PAINTED.

7.2 INSULATION

7.2.1 INSULATION SHALL COMPLY WITH THE REQUIREMENTS FOR ENERGY INSULATION STANDARDS AND APPLICABLE CODES.

7.2.2 INSULATION CONTRACTOR TO BE RECOMMENDED BY ARCHITECT AND PROMINENTLY POSTED AT SITE AS REQUIRED.

7.2.3 PROVIDE A 4 MIL CONTINUOUS VAPOR BARRIER ON WARM SIDE OF ALL HEATED INSULATED SPACES.

7.2.4 ALL CAVITIES, ATTICS, AND SPACES MADE ACCESSIBLE DURING REMODEL WORK SHALL BE INSULATED TO MEET CODE ENERGY REQUIREMENTS.

7.2.5 SOUND INSULATION AT ALL INTERIOR WALLS AND FLOORS.

7.2.6 ICYNENE SPRAY FOAM INSULATION FOR ALL EXTERIOR WALLS, ROOF RAFTER BAYS, AND INTERIOR PLUMBING WALL BAYS - U.N.O.

7.3 PROVIDE DOUBLE BEAD CAULKING AT SOLEPLATES, JOINTS AROUND WINDOW AND DOOR FRAMES, AND PLUMBING AND ELECTRICAL PENETRATIONS IN EXTERIOR WALLS.

7.4 APPLY ROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES. DO NOT NAIL THROUGH WATERPROOF MEMBRANE FOR FURRING STRIPS, DO NOT PUNCTURE WATERPROOF MEMBRANE IN ANY WAY.

DIVISION 8 - DOORS AND WINDOWS

8.1 GLAZING SHALL CONFORM TO STANDARDS OF GLAZING MANUAL OF FLAT GLASS JOBBERS ASSOCIATION, AND AS RECOMMENDED BY MANUFACTURER.

8.2 PROVIDE SAFETY GLAZING AS REQUIRED. SAFETY GLASS MUST BE LABELED. DO NOT CUT SAFETY GLASS.

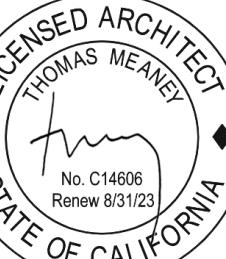
8.3 WEATHERSTRIP ALL WINDOWS AND EXTERIOR DOORS. FLASH AND CAULK PERIMETER OF ALL EXTERIOR OPENINGS.

8.4 EXTERIOR DOORS: PER SCHEDULE. PROVIDE THREE HINGES FOR ALL SOLID CORE DOORS AND DOORS CARRYING MIRRORS.

8.5 INDOOR DOORS: PER SCHEDULE. PROVIDE TWO HINGE SLAB DOORS. PAINTED DOORS TO HAVE HARDBOARD FACES.

8.6 PROVIDE 1/2" CLEAR TO FLOOR FOR RETURN AIR UNLESS A RETURN AIR DUCT OR BYPASS DUCT IS PROVIDED IN A ROOM OR IF DOORS ARE ACOUSTIC DOORS.

8.7 PROVIDE DOOR VENT SIZED AS REQUIRED FOR



SPECIFICATIONS (CONTINUED)

DIVISION 13 - SPECIAL CONSTRUCTION

13.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 14 - CONVEYING SYSTEMS

14.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 15 - MECHANICAL

15.1 FOR MECHANICAL AND PLUMBING DESIGN AND CONSTRUCTION REQUIREMENTS SEE MECHANICAL AND PLUMBING PLANS. THE FOLLOWING MECHANICAL AND PLUMBING REQUIREMENTS ARE INTENDED TO SERVE AS BASIS FOR MECHANICAL AND PLUMBING SYSTEM DESIGN IN CONJUNCTION WITH THE MECHANICAL AND PLUMBING PLANS. ANY CONFLICT IN THESE SPECIFICATIONS WITH THE MECHANICAL AND PLUMBING PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

15.2 HEATING AND AIR CONDITIONING

15.2.1 FURNISH AND INSTALL HEATING AND AIR CONDITIONING SYSTEM COMPLETE AND OPERABLE, NOT INCLUDING STRUCTURE, ELECTRIC POWER, AND PLUMBING.
15.2.2 ALL HVAC SHALL BE INSTALLED IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM MECHANICAL CODE AND ANY OTHER GOVERNING MECHANICAL CODES.

15.2.3 USE SERVICES OF THE MECHANICAL ENGINEER. CONTRACTOR SHALL PROVIDE LOAD CALCULATIONS FOR APPROVAL BY DESIGNER AND BUILDING DEPARTMENT PRIOR TO COMMENCING WORK.

15.2.4 DUCTS SHALL COMPLY WITH THE STANDARDS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION (SMACNA).

15.2.5 AIR EQUIPMENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CLEARANCE REQUIREMENTS.

15.2.6 AIR GAS THERMISTORS SHALL HAVE ELECTRICAL IGNITION AND FULL EXHAUST CAPABILITIES.

15.2.7 INTERIOR DUCTS ABOVE GRADE SHALL BE MINIMUM 24 GAUGE GALVANIZED SHEET METAL. ALL JOINTS TO BE DOUBLE SEALED WITH PRESSURE SENSITIVE TAPE OR GLUED WITH MASTIC TO PREVENT LEAKAGE. ALL DUCTS STRAPPED OR BLOCKED TO PREVENT MOVEMENT DURING OPERATION OR EARTHQUAKE. ALL RETURN DUCTS TO BE OF NON-COMBUSTIBLE MATERIALS. USE GALVANIZED METAL RETURN DUCTS WITH INSULATION FOR RECTANGULAR DUCTS AND TRANSITION W/ 1/2" INCH FIBERGLASS BLANKET INSULATION WITH FOIL SKRIM KRAFT JACKET. RETURN CONDUCTIVITY (K) SHALL BE 0.29 BTU-HR/IN-F. THE INSULATION SHALL BE FIRMLY WRAPPED AROUND DUCT WITH ALL JOINTS LAPPED A MINIMUM OF 2 INCHES. SECURELY FASTEN INSULATION IN PLACE WITH 16 GAUGE SOFT ANNEALED GALVANIZED WIRE OR STAPLES SPACED NOT MORE THAN 12 INCHES ON CENTERS FOR STRAIGHT RUNS AND 3 INCHES ON DUCTS EXPOSED TO THE ELEMENTS TO BE AUGH ALUMINUM OR 24 GAUGE GALVANIZED SHEET METAL (PRIMED AND PAINTED) WITH INSULATED T-R-5 LINING INSIDE.

15.2.8 EXCEPT AS OTHERWISE NOTED ON DRAWINGS, ALL CONCEALED SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED WITH 1/2" INCH FIBERGLASS BLANKET INSULATION WITH FOIL SKRIM KRAFT JACKET. RETURN CONDUCTIVITY (K) SHALL BE 0.29 BTU-HR/IN-F. THE INSULATION SHALL BE FIRMLY WRAPPED AROUND DUCT WITH ALL JOINTS LAPPED A MINIMUM OF 2 INCHES. SECURELY FASTEN INSULATION IN PLACE WITH 16 GAUGE SOFT ANNEALED GALVANIZED WIRE OR STAPLES SPACED NOT MORE THAN 12 INCHES ON CENTERS FOR STRAIGHT RUNS AND 3 INCHES ON DUCTS EXPOSED TO THE ELEMENTS TO BE AUGH ALUMINUM OR 24 GAUGE GALVANIZED SHEET METAL (PRIMED AND PAINTED) WITH INSULATED T-R-5 LINING INSIDE.

15.2.9 15.2.10 MEC. GRILL, REGISTER, DAMPER, AND DUCTS TO BE USED TO PROVIDE BALANCED, ADJUSTABLE, NOISE FREE, DRAFT FREE, AND VIBRATION FREE. DRAFT DUCTS AND DRAFT DRAFTS TO BE USED FOR BALANCE, DRAFT FREE, NOISE FREE, DRAFT PERFORMANCE. ALL BATHROOM AND LAUNDRY ROOM REGISTERS TO BE WALL OR CEILING MOUNTED. BY PACIFIC REGISTER (805.376.2971), CAST ALUMINUM, COLOR PER ARCHITECT, U.N.O.

15.2.11 REGISTER LOCATIONS ARE APPROXIMATE, FINAL LOCATIONS TO BE APPROVED BY THE ARCHITECT PRIOR TO DUCTING. PROVIDE DUCTS TO REGISTER DUCT TO REGISTER AND PLENUMS AS REQUIRED TO CONNECT SIZED DUCTS TO F.A.U., EACH OTHER, AND TO REGISTERS.

15.2.12 TEST, BALANCE, AND ADJUST SYSTEM PRIOR TO FINAL ACCEPTANCE.

15.2.13 IN ADDITION TO EQUIPMENT WARRANTIES, FURNISH ONE YEAR GUARANTEE FOR ALL MATERIALS, WORKMANSHIP, EQUIPMENT, AND OPERATION.

15.2.14 STAINLESS STEEL BOLT HVAC UNITS TO DECK WITH STRAPS AND BOLTS CAPABLE OF RESISTING A 1G LOAD BASED ON EQUIPMENT WEIGHT.

15.2.15 FA.U. CLOSET OR ALCOVE MUST BE A MINIMUM OF 12" WIDER THAN THE FURNACE OR FURNACES BEING INSTALLED.

15.2.16 PROVIDE AN APPROVED SPARK ARRESTER FOR CHIMNEYS OF FIREPLACE, STOVE, OR BARBECUE DEVICES WHICH USE FUEL BURNING MATERIALS.

15.2.17 PROVIDE EXHAUST AIR TO FAU COMPARTMENT: 200 SQ. IN. MIN. OR 200 SQ. IN. PER 1000 BTU, WHICHEVER IS GREATER. AIR SOURCE SHALL BE COVERED WITH CORROSION RESISTANT SCREEN OF 1/4" MESH.

15.2.18 VENT ALL FAU'S THROUGH ROOF.

15.2.19 FOR AN FAU LOCATED ATTIC, PROVIDE 2 FT. WIDE WALKWAY ACCESS TO FAU. FAU SHALL BE LOCATED WITHIN 20 FT. OF ATTIC ACCESS PANEL. PROVIDE 30"X30" WORK SPACE IN FRONT OF FAU.

15.2.20 PROVIDE 30"X30" ATTIC ORLOOR ACCESS PANELS FOR FAU, WHERE APPLICABLE.

15.2.21 PROVIDE ATTIC ORLOOR ACCESS PANELS FOR FAU, WHERE APPLICABLE.

15.2.22 PROVIDE ATTIC ORLOOR ACCESS PANELS FOR FAU, WHERE APPLICABLE.

15.2.23 PROVIDE AC UNIT WITH SFRM SC STRAPPING ON MIN. 4" CONCRETE PAD 3" MIN. ABOVE GRADE.

15.2.24 INSTALL DRYER VENT TO EXTERIOR. NOT TO EXCEED 14' VERTICAL FEET INCLUDING UP TO TWO 90-DEGREE ANGLES. ROTATE DRYER VENT TO EXTERIOR. NOT TO EXCEED 14' VERTICAL FEET INCLUDING UP TO TWO 90-DEGREE ANGLES.

15.2.25 EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS OF 1/4"-1" IN ANY DIMENSION.

15.2.26 COVER ALL DUCT OPENINGS DURING CONSTRUCTION AT THE TIME OF ROUGH INSTALLATION. DURING STORAGE ON THE CONSTRUCTION SITE, AT THE TIME OF FINAL STANUP, DUCT HEATING, COOLING AND VENTILATING EQUIPMENT ALL DUCT AND OTHER RELATED AIR DISTRIBUTION CONSTRUCTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEETMETAL TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15.2.27 CLOTHES DRYER TO BE VENTED OUTSIDE AND EQUIPPED WITH A BACK DRAFT DAMPER. VENT IS TO HAVE MAXIMUM VERTICAL AND HORIZONTAL LENGTH INCLUDING (2) 90-DEGREE ELBOWS OF 14 FEET. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.

15.3 PLUMBING

15.3.1 ALL FIXTURES, OUTLETS, EQUIPMENT, OR DEVICES OPERATING WITH GAS OR WATER OR REQUIRING SEWER CONNECTION SHALL BE SIZED, FURNISHED, AND INSTALLED COMPLETE AND OPERABLE INCLUDING TRENCHING AND BACK FILLING WHICH ARE TO BE COORDINATED WITH FOUNDATION, GRADING, AND UTILITY TRADES.

15.3.2 ALL WORK SHALL BE PERFORMED TO CURRENT CODES AND PRACTICES AND ANY APPLICABLE GOVERNING CODES.

15.3.3 FIXTURES TO BE COMPLETED AND TESTED APPROXIMATELY 10% ALONGING WITH OTHER WORK.

15.3.4 KEEP ALL PIPES, DRAINS, AND FITTINGS COVERED DURING CONSTRUCTION.

15.3.5 CONTRACTOR TO PROVIDE CONTINUOUS SOLID BRACKING FOR SECURING FIXTURES.

15.3.6 SUPPORT ALL PIPES FOR THESE MINIMUM SPACINGS: 1" DIA. AND LESS - 6 FT.; 2" DIA. - 10 FT.; 3" DIA. - 12 FT.; 4" DIA. - 14 FT.; 5" DIA. - 16 FT.

15.3.7 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND CLEARANCE.

15.3.8 PROVIDE CLEANOUTS SIZED TO PLATE AT EACH LINE END AND WHERE REQUIRED BY CODE.

15.3.9 GRADE SEWERS 1/4" PER FOOT, 1/8" PER FOOT IF 4" DIA. OR OVER. GAS LINES 1" IN 15 FEET; AREA DRAINS 1/4" PER FOOT WHERE POSSIBLE, 1/16" PER FOOT MINIMUM.

15.3.10 WATER HEATING SYSTEMS. R-12 INSULATION BLANKET - WATER HEATERS IN UNHEATED SPACES TO HAVE THE FIRST FEET OF PIPING COVERED WITH R-3 INSULATION. STRAP WATER HEATER VERTICALLY AND HORIZONTALLY TO RESIST A LOAD OF 10 LB PER GALLON OF WATER HEATER CAPACITY. PROVIDE TEMPERATURE AND PRESSURE RELIEF AND DRAIN INTO GALVANIZED BASE PAN WITH 1/2" DIA. DRAIN FROM PAN TO NON-HAZARDOUS EXTERIOR LOCATION.

15.3.11 FOR COOLING EQUIPMENT LOCATED IN ATTIC OR FURRED SPACE, AN ADDITIONAL WATER-TIGHT PAN OF CORROSION-RESISTANT METAL SHALL BE INSTALLED BEATHNE THE COOLING COIL TO CATCH THE OVERFLOW CONDENSATE DUE TO CLOGGED PRIMARY CONDENSATE DRAIN. THE ADDITIONAL PAN SHALL BE PROVIDED WITH A DRAIN PIPE, 3/4" NOMINAL PIPE SIZE, DISCHARGING AT A POINT WHICH CAN READILY OBSERVED.

15.3.12 ALL PLUMBING FITTINGS TO BE SELECTED BY DESIGNER.

15.3.13 ALL ROOF VENTS LARGER THAN 2" DIA. SHALL BE STANDARD WEIGHT CAST IRON. ALL VENT FLASHING SIZED TO FIT VENTS TO BE 20 GAUGE GI. COMBINE VENTS AND EXIT THROUGH THE LEAST VISIBLE LOCATION. AVOID ALL ROOF VALLEYS AND SCUPPER TROUGHS. NO EXPOSED ABS OR PVC VENTS ON ROOF. VERIFY VENT ROUTING OPTIONS WITH DESIGNER PRIOR TO INSTALLATION.

15.3.14 PLUMBER, FIXTURES AND PLUMBING FITTINGS WITH THE FOLLOWING MAXIMUM WATER USAGES SHALL BE INSTALLED, WHERE APPLICABLE IN BATHS, WASHROOMS, KITCHEN, LAUNDRY, ETC. PLUMBING FIXTURE SHALL MEET THE STANDARD REFERENCED PER (CGBC 4303.1-3).

A) TANKLESS THERMAL WATER HEATERS. HAVE A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE @ 60 PSI.

B) WATER-SAVING SHOWER HEADS SHALL HAVE A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE @ 60 PSI.

C) WATER-SAVING SINK AND LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE @ 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

D) WATER-SAVING KITCHEN SINK FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE @ 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI.

E) INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE SHALL BE PROVIDED.

FIXTURE CONNECTION	DESCRIPTION	MIN. BRANCH SIZE				TRAP NOTES
		W	V	CW	HW	
WATER CLOSET		3"	2"	1/2"	3"	A
KITCHEN/LNDRY. SINK	1 1/2" 1 1/2" 1/2" 1/2" 1 1/2"					D
TUB/SHOWER COMBO	2" 1 1/2" 3/4" 3/4" 1 1/2"					B/E
BATH TUB ONLY	2" 1 1/2" 3/4" 3/4" 1 1/2"					
LAVATORY	1 1/2" 1 1/2" 1/2" 1/2" 1 1/2"					C
CLOTHES WASHER	2" 1 1/2" 3/4" 3/4" 2"					
SHOWER	2" 1 1/2" 3/4" 3/4" 2"					E

15.3.19 COPPER WATER LINES SHALL BE TYPE "L". MINIMUM. DO NOT RUN UNDER SLAB.

15.3.20 SHOWERS AND SHOWER-TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. ALSO DELIVER MAXIMUM OF 120F TEMPERATURE.

15.3.21 PROVIDE WATER HEATER EXPANSION TANK IF A PRESSURE REGULATOR OR ANY DEVICE THAT PREVENTS

15.3.22 PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER.

15.3.23 PROVIDE SEISMIC STRAPPING FOR WATER HEATER AT TOP AND BOTTOM 1/3 OF TANK. IF LOCATED IN GARAGE INSTALL ON 18 INCH PLATFORM. PROVIDE MIN. 100 SQ. IN. COMBUSTION AIR FOR WATER HEATER COMPARTMENT: 50%

15.3.24 SPRINKLER UNDER SEPARATE PERMIT, IF REQUIRED.

15.3.25 HOSE BIBS SHALL HAVE NON-REMOVABLE ANTI-SIPHON / BACK-FLOW PREVENTION DEVICES.

15.3.26 WATER PRESSURE EXCEEDING 150 PSI REQUIRES PRESSURE REGULATOR.

15.3.27 PROVIDE ACCESS PANEL (12"X12") OR UTILITY SCAFFOLD FOR ALL TUBS WITH CONCEALED SLIP-JOINT FITTINGS.

15.3.28 PROVIDE ACCESS PANEL (12"X12") OR UTILITY SCAFFOLD FOR ALL TUBS WITH CONCEALED SLIP-JOINT FITTINGS.

15.3.29 QUIET WRAP PIPE INSULATION SOUND PROOFING FOR ALL WATER AND WASTE LINES.

15.3.30 THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATION SYSTEMS SHALL BE THERMALLY INSULATED WITH A 1" MIN. THICK FOR HOT AND 3/4" MIN. THICK FOR COLD WATER PIPES WITH A DIA. GREATER THAN 2".

15.3.31 PROVIDED REMOVABLE PANEL ACCESS FOR ALL WHIRLPOOL BATHTUB PUMPS. PANELS SHALL BE LARGE ENOUGH TO ACCESS AND REMOVE THE PUMP.

DIVISION 16 - ELECTRICAL

16.1 FOR ELECTRICAL DESIGN AND CONSTRUCTION REQUIREMENTS SEE ELECTRICAL PLANS. THE FOLLOWING ELECTRICAL REQUIREMENTS ARE INTENDED TO SERVE AS BASIS FOR ELECTRICAL SYSTEM DESIGN IN CONJUNCTION WITH THE ELECTRICAL PLANS. ANY CONFLICT IN THESE SPECIFICATIONS WITH THE ELECTRICAL PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

16.2 CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR ANY PRE-CONSTRUCTION MEETING.

16.3 CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.

16.4 BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING ROAD INSPECTOR SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.

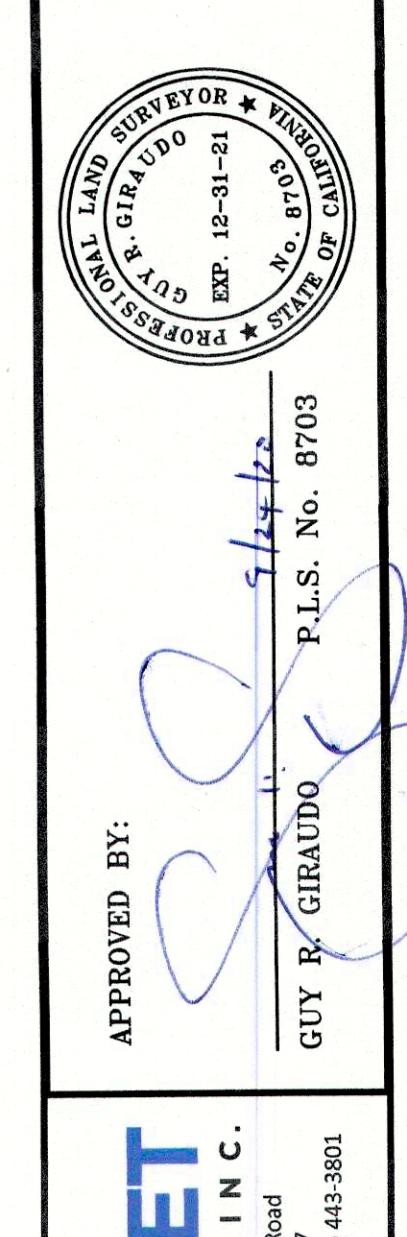
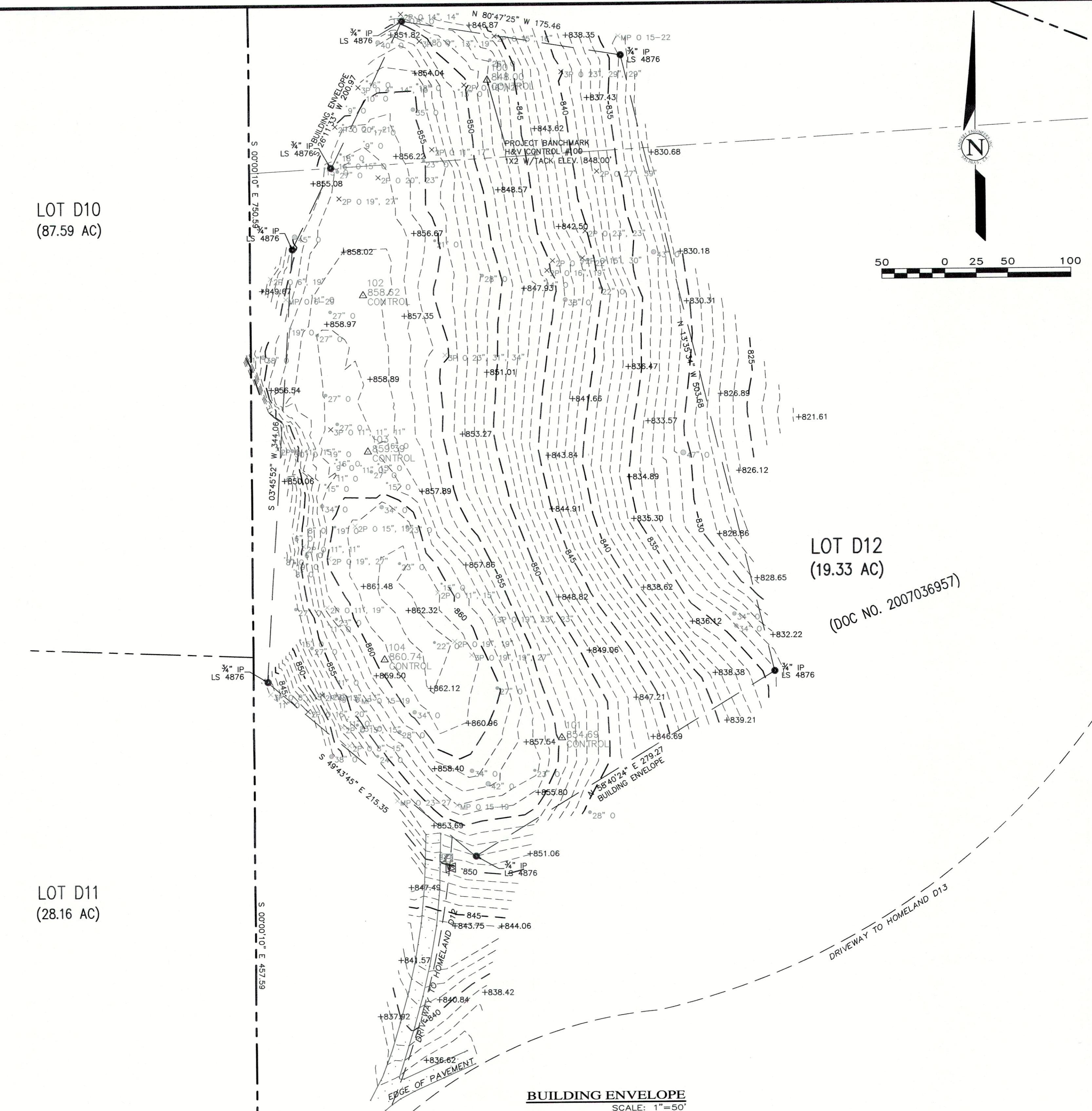
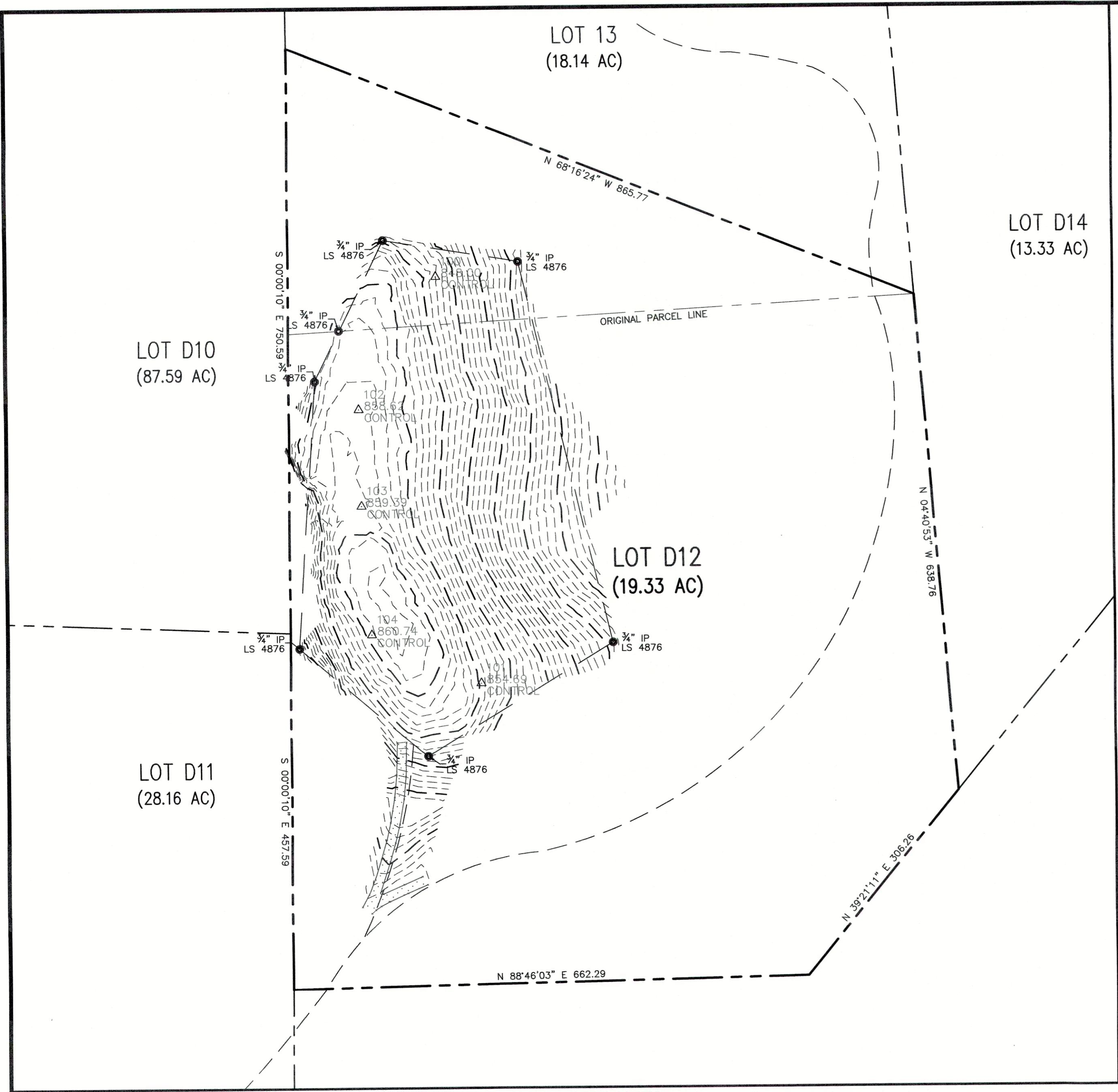
16.5 THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING REQUIREMENT.

16.6 AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, AND THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.

16.7 A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.

16.8 AREAS WITH EXISTING SLOPES THAT ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE FOR THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.

16.9 FILL MATERIAL SHALL BE SPREAD IN L



TOPOGRAPHIC MAP
A.P.N.: 239-101-022
of
HOMELAND, LOT D12, VOLUME 24 OF SURVEYS AT PAGE 55
MONTEREY COUNTY RECORDS
CARMEL VALLEY, CALIFORNIA
FOR
MS. BETSY W. BLISS

SCALE: AS SHOWN
DATE: SEPT 2020
JOB NO. 2163-01

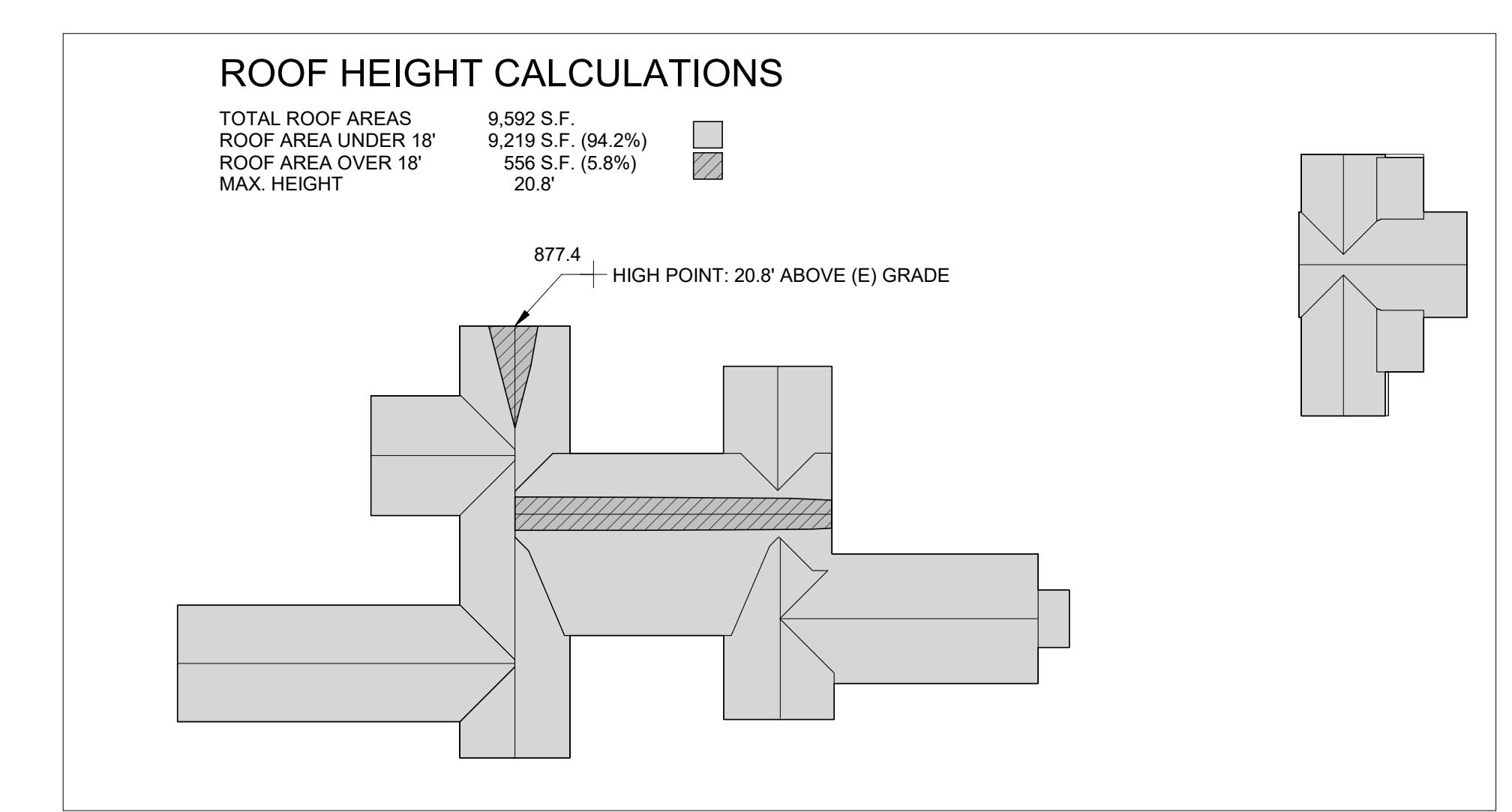
SHEET 1
OF 1 SHEETS
09/24/20 JK RELEASED TO CLIENT
No. DATE BY REVISION

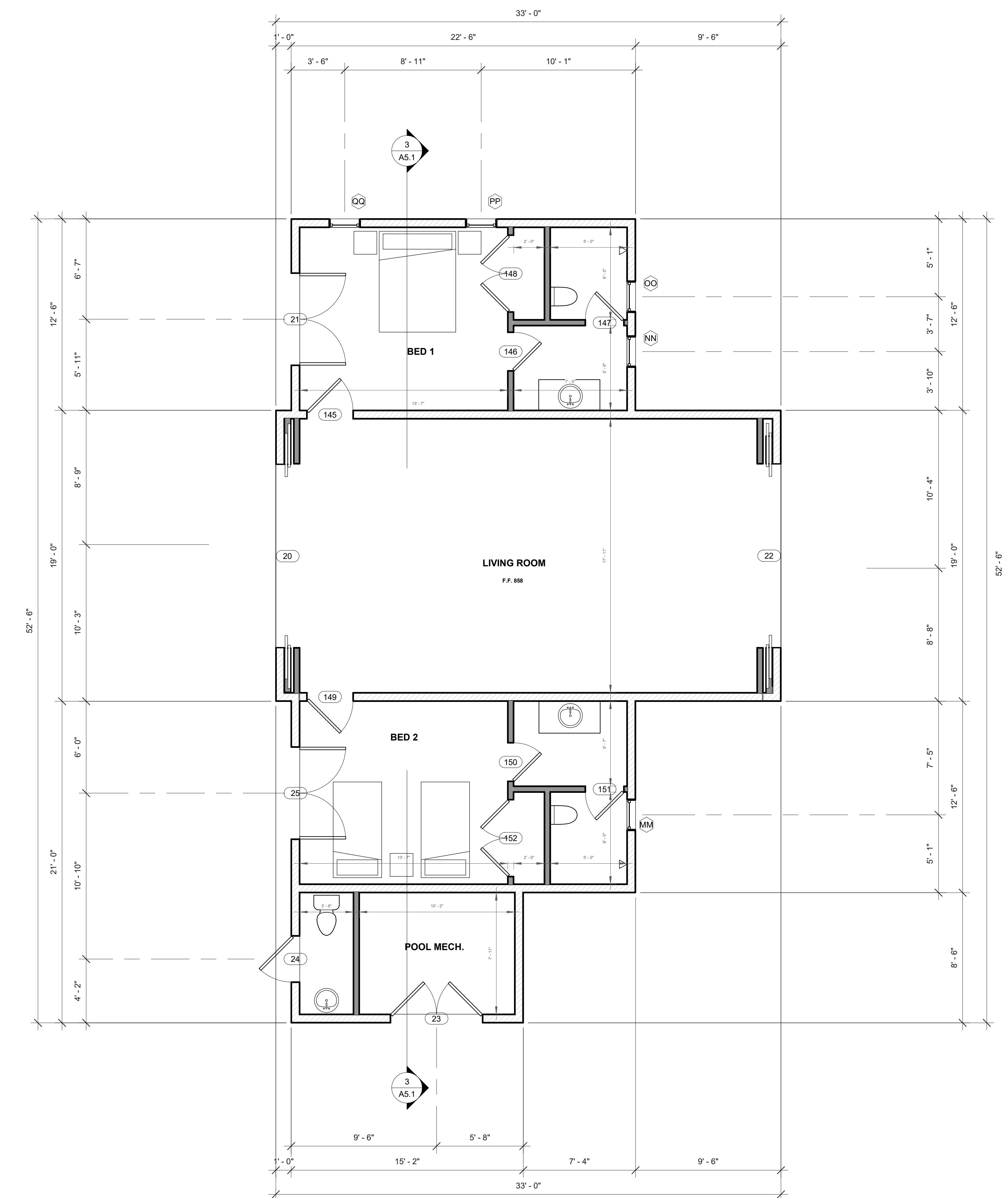
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2006 All rights reserved. Thomas Meaney Architect, Inc.

6/3/2022 5:19:44 PM

PROPOSED ROOF HEIGHTS OVER (E) GRADE

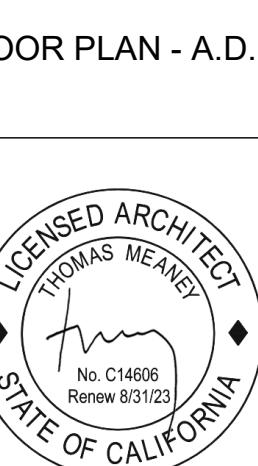
1/16" =





FLOOR PLAN - A.D.U.
1/4" = 1'-0"

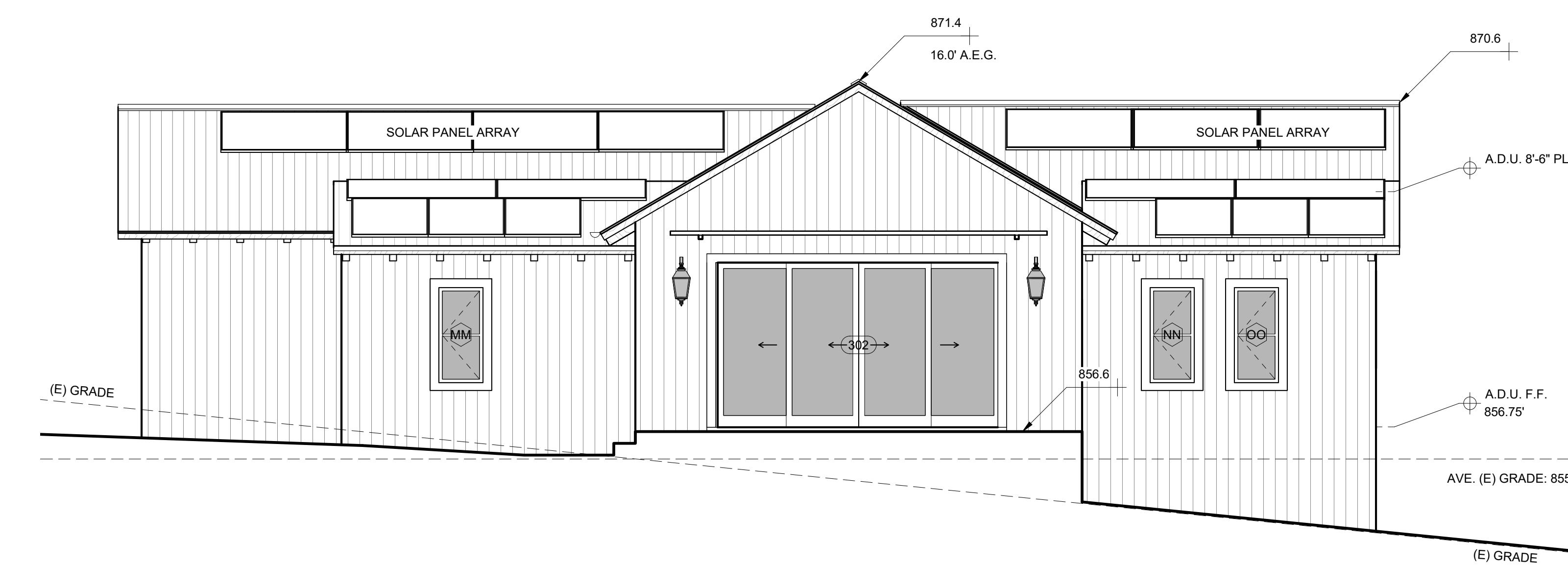
BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA



Date 2022-03-28
Scale 1/4" = 1'-0"
Drawn AW
Job # Project Number

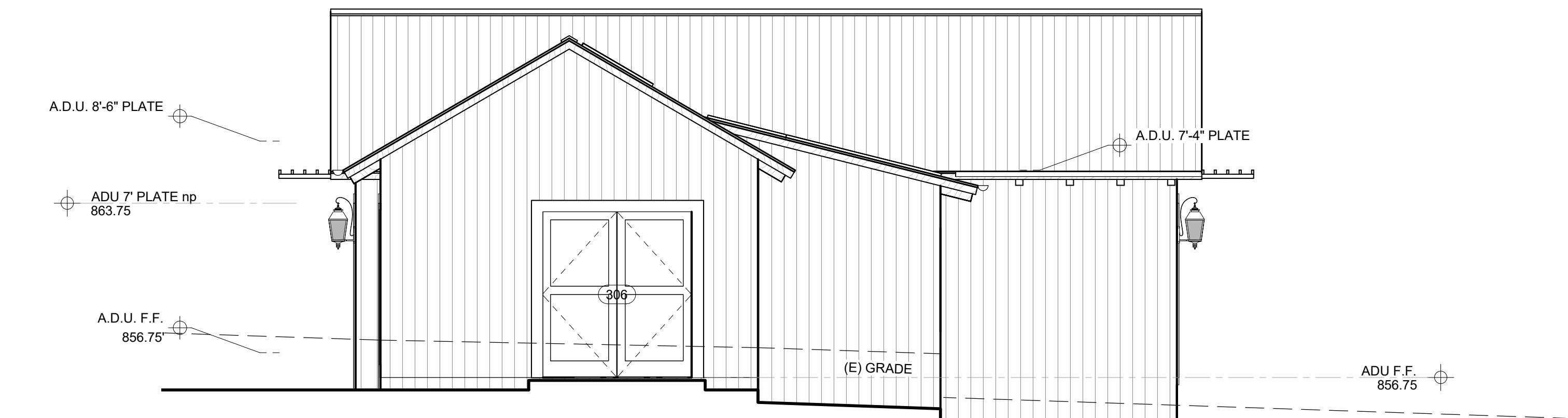
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A2.2C



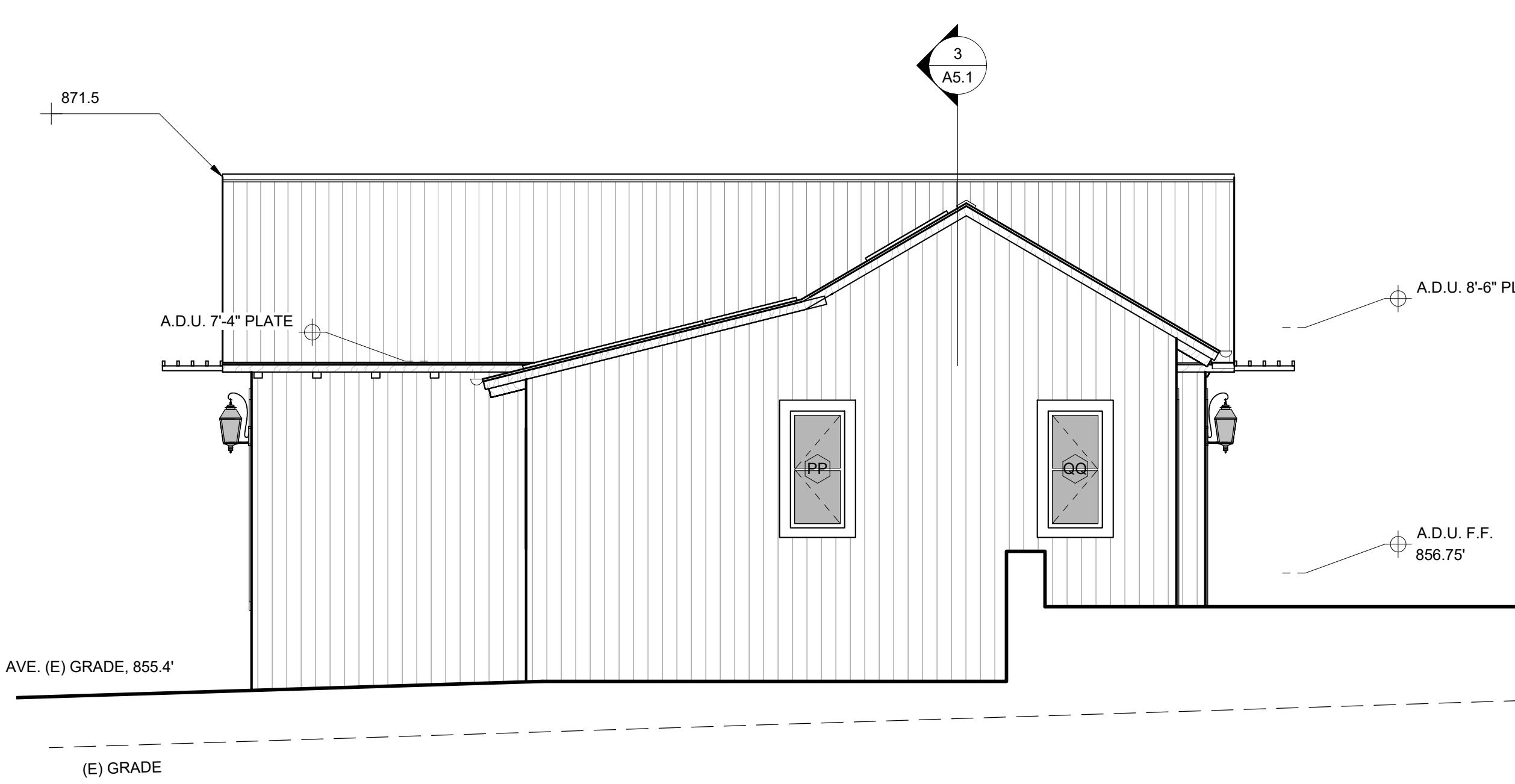
ADU SOUTH ELEVATION

1/4" = 1'-0"



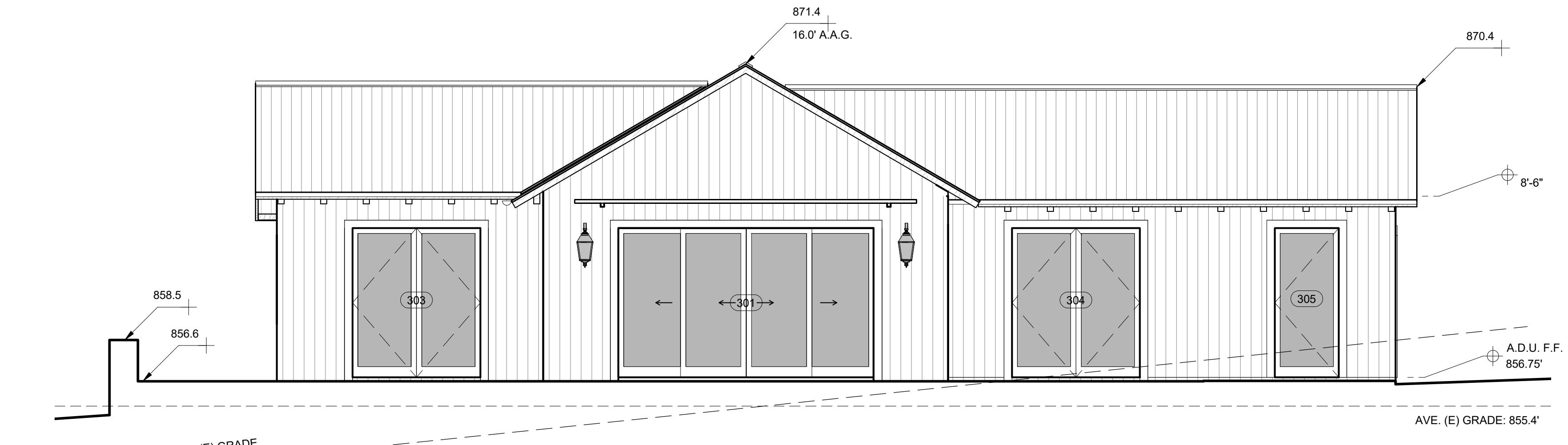
ADU WEST ELEVATION

1/4" = 1'-0"



ADU EAST ELEVATION

1/4" = 1'-0"



ADU NORTH ELEVATION

1/4" = 1'-0"

BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA

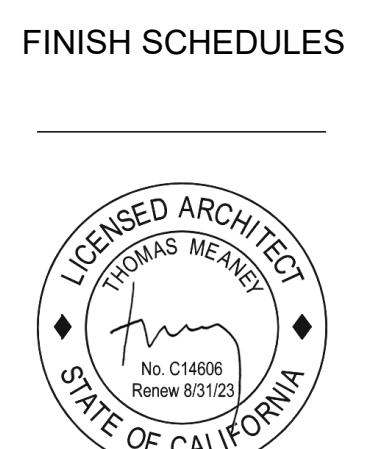
ADU EXT. ELEVATIONS



Date 2022-10-19
Scale 1/4" = 1'-0"
Drawn AW
Job #
Project Number

Sheet

A6.2



EXTERIOR FINISHES

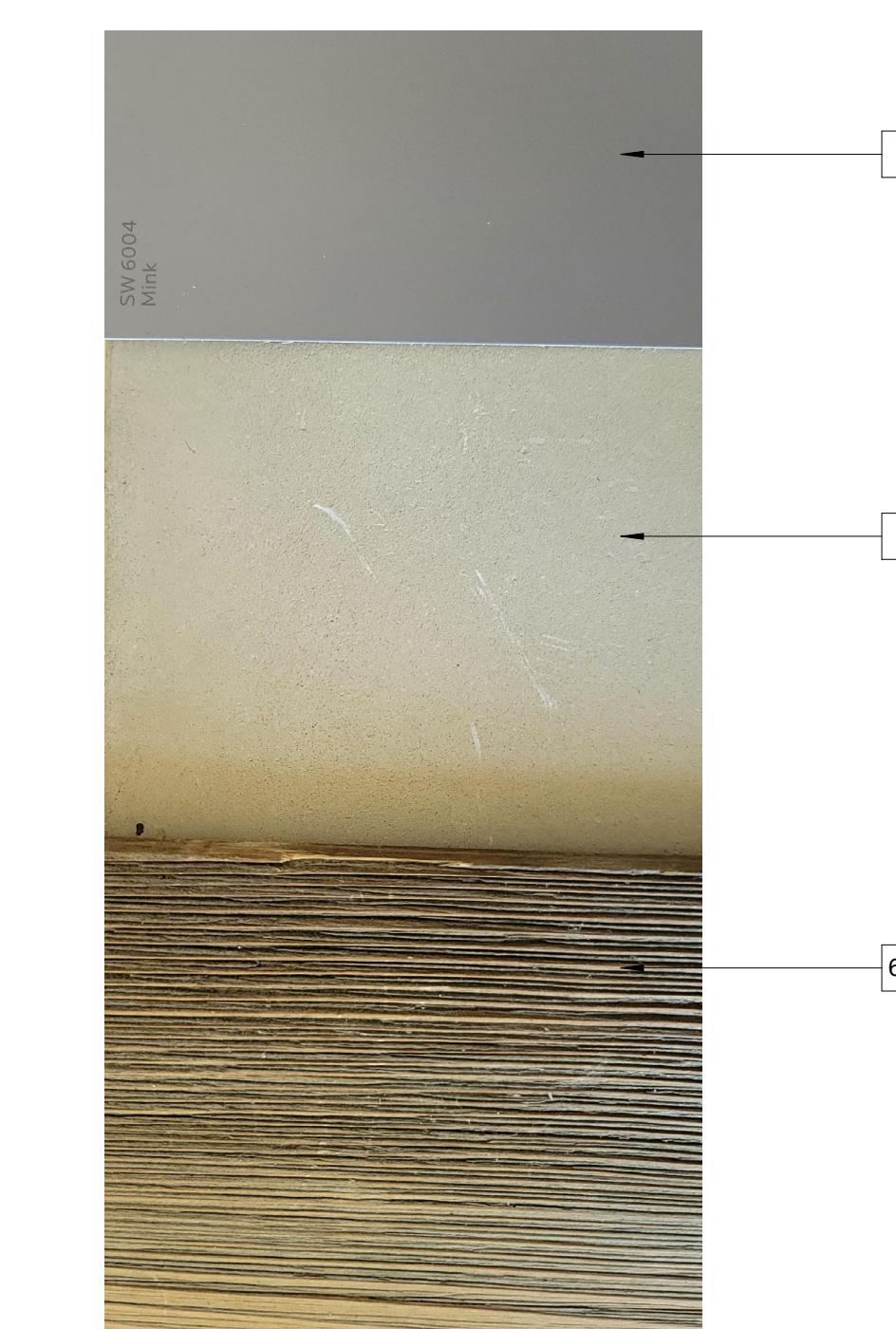
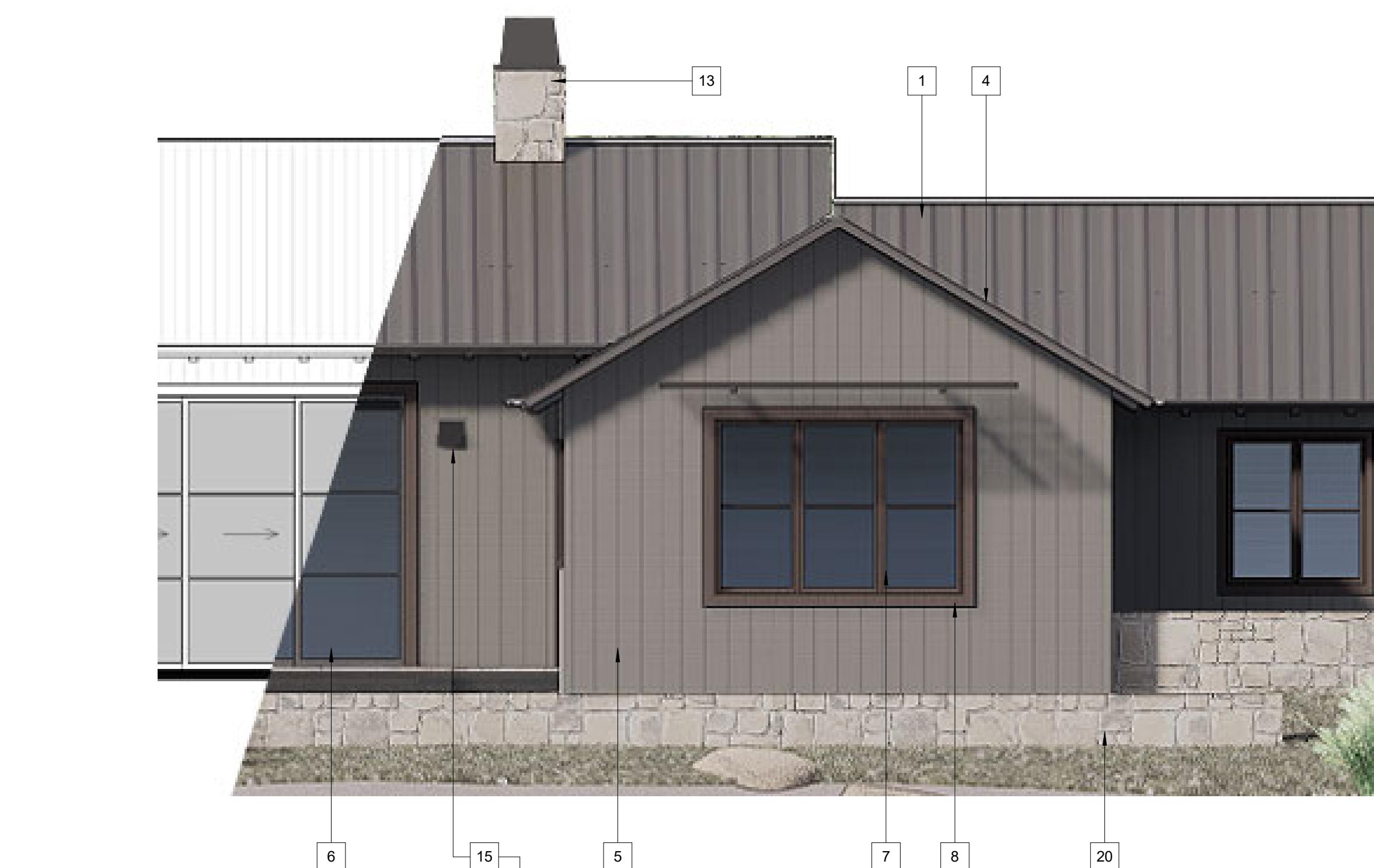
1. CLASS 'A', NON-REFLECTIVE METAL STANDING SEAM ROOF W/ 12" O.C. SEAMS, SUPPLY: CUSTOM-BILT METALS / CB-150 (CUSTOMBILTMETALS.COM), COLOR: ZINC GREY
2. 5"Ø HALF ROUND PRE-WEATHERED ZINC GUTTER W/ 4"Ø PRE-WEATHERED ZINC DOWNSPOUT, HINGED GUTTER GUARD, LOCK ON STYLE, COMPATIBLE W/ 5" GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS, CONNECT DRAINAGE TO STORM DRAIN SYSTEM. COLOR: MATCH ROOF
3. 4X6 APPLIED DOUGLAS FIR RAFTER TAILS PER DETAIL, 24" O.C. MAX., SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
4. 2X4 T&G KILN DRIED DOUGLAS FIR EAVES PER DETAIL, SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
5. 7/16"X11-1/2"X12-0" BOARD & 3/4"X2-1/2"X12-0" BATTEN SIDING, OVER TYVEK AND EXTERIOR PLY, SUPPLY: JAMES HARDIE (WWW.JAMESHARDIE.COM), TEXTURE: CEDARMILL, COLOR: FACTORY PRIMED & PAINT COLOR IVORY
6. BRUSHED CEDAR EXTERIOR DOOR, DUAL GLAZED / LOW E - PER DOOR SCHEDULE, MFR: MARVIN INTEGRITY (WWW.MARVIN.COM), COLOR: VERIFY W/ ARCHITECT
7. BRUSHED CEDAR EXTERIOR WINDOW, DUAL GLAZED / LOW E - PER WINDOW SCHEDULE, MFR: MARVIN INTEGRITY (WWW.MARVIN.COM), COLOR: FACTORY PRIMED & PAINT COLOR IVORY
8. 2X6 DOOR & WINDOW CASING PER DETAIL, SUPPLY: JAMES HARDIE 'ARTISAN' (WWW.JAMESHARDIE.COM), TEXTURE: CEDARMILL, COLOR: FACTORY PRIMED & PAINT COLOR IVORY
9. CEDAR PLANK GARAGE DOOR, WIRE BRUSHED W/ EASED EDGES, REFER TO DOOR SCHEDULE, COLOR/TEXTURE: PAINT TO MATCH SIDING
10. CUSTOM STEEL DOOR, REFER TO DOOR SCHEDULE, SUPPLY/COLOR: BLACK - VERIFY W/ ARCHITECT
11. TAPERED DOUGLAS FIR POST 8X8X12X12, PER PLAN & DETAIL, COLOR/TEXTURE: PAINT TO MATCH SIDING - VERIFY W/ ARCHITECT
12. 8X8 DOUGLAS FIR BEAM PER PLAN & DETAIL, SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
13. CHIMNEY PER PLAN & DETAIL, W/ SANTA MARINA STONE VENEER, W/ CLASS 'A' INSULATED DOUBLE WALL STAINLESS STEEL FLUE FOR ALL CHIMNEY LENGTHS AS ASSOCIATED COMPONENTS, MFR: DURAVENT - DURATECH 12" (WWW.DURAVENT.COM), PROVIDE SHROUD AND SPARK ARRESTOR TO COMPLY PER (IRC SECTION R103.9.1), CHIMNEY TO EXTEND 2' ABOVE ANY ROOF, CHIMNEY OUTLET AND 3' ABOVE THE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH ROOF, NEUTRAL AREA UNDER CHIMNEY CAP TO BE 4 TIMES GREATER THAN THE AREA OF THE CHIMNEY FLUE OUTLET
14. WOOD STAIR TREADS WITH PAINTED WOOD RISERS PER PLAN, COLOR: VERIFY W/ ARCHITECT
15. EXTERIOR WALL MOUNTED INDIRECT LIGHT FIXTURE PER PLAN, HIGH EFFICIENCY LED LAMP W/ SHIELDED GLASS, 25 WATT OR EQUIVALENT MAX., SUPPLY: VERIFY W/ ARCHITECT, COLOR: BLACK
16. STONE TERRACE & LANDINGS PAVERS, SLOPE 1/8" PER FT. TO DRAIN AWAY FROM STRUCTURES, STAIR LANDINGS 2% SLOPE MAX., PROVIDE 36" MIN. LANDING AT EACH GRADE LEVEL EXIT IN THE DIRECTION OF EGRESS, SUPPLY/COLOR: VERIFY W/ ARCHITECT
17. WEEP SCREED, PROFILE TO ALLOW SIDING BELOW SCREED PER DETAIL, PROVIDE 26 GAUGE MIN. GALVANIZED WEEP SCREED AT FOUNDATION, 4" MIN. ABOVE GRADE OR 2" MIN. ABOVE CONCRETE/PAVING WHERE OCCURS
18. STONE VENEER PER ARCHITECT
19. SOLAR PANEL ARRAY, T.B.D.
20. STONE WALL PER LANDSCAPE ARCHITECT, 'CALABASAS LEDGE STONE' U.N.O.

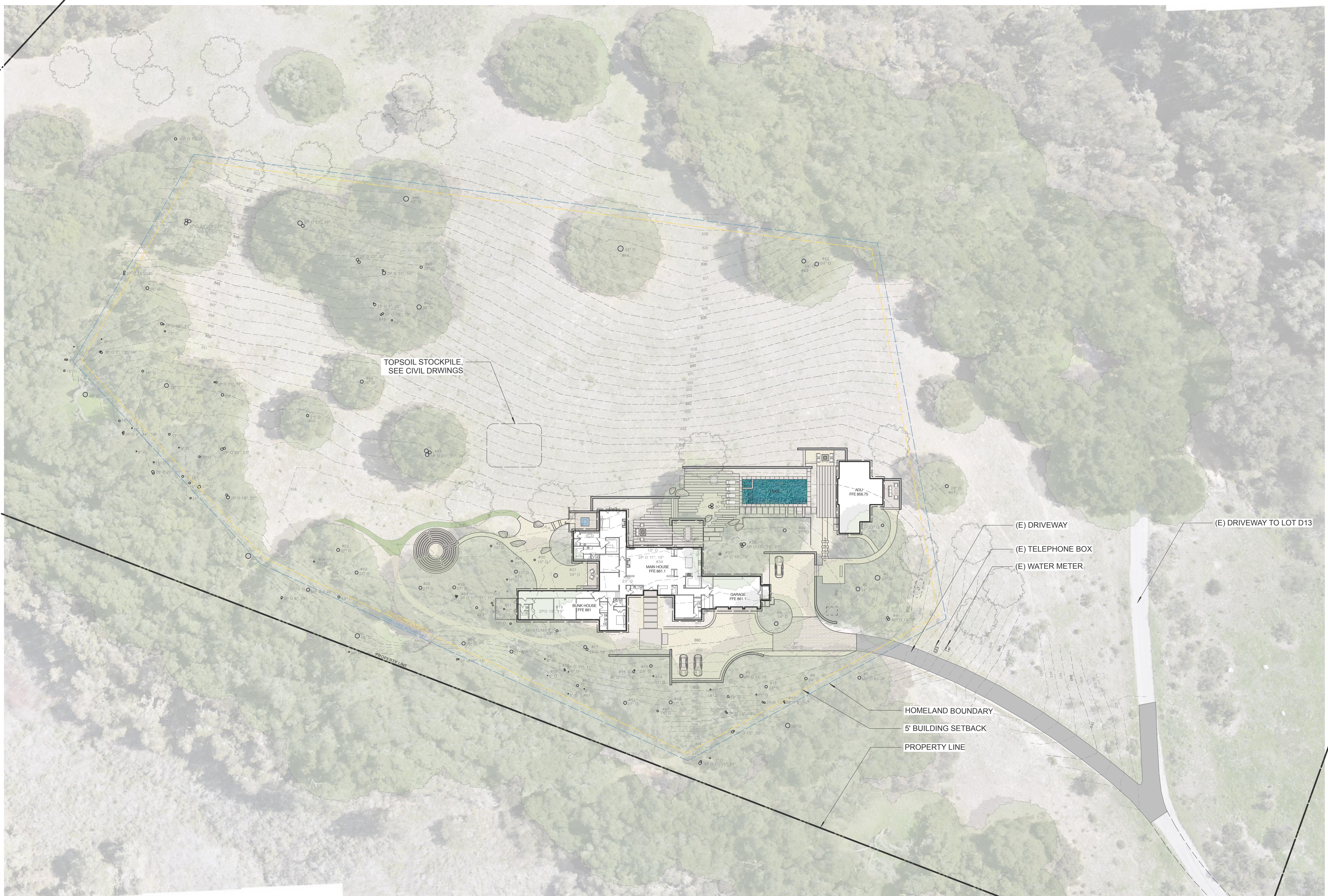
*NOTE - ALL COLORS VERIFY W/ ARCHITECT IN FIELD, ALL WOOD & HEAVY TIMBERS NON-TREATED, LIGHT SANDBLAST TEXTURE W/ EASED EDGES, U.N.O. PROVIDE SAMPLE TO ARCHITECT-TYPICAL

INTERIOR FINISHES

101. DRYWALL - 5/8", CORNER FORM & TEXTURE PER ARCHITECT, W/ HAND FORMED CORNERS, PROVIDE SAMPLES
102. DRYWALL - 5/8" TYPE X, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
103. AIR IMPERMEABLE SPRAY FOAM INSULATION AT ALL RAFTER BAYS & ATTIC EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, MFR: ICYNENE - MD-C-200 (WWW.ICYNENE.COM), INSTALLATION PER MFR SPECs, *NO ATTIC VENTILATION REQUIRED
104. BATT INSULATION AT ALL EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECs
105. BATT INSULATION AT ALL INTERIOR WALLS AND FRAMED FLOORS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECs
106. ATTIC ACCESS PER PLAN, PROVIDE 30" MIN. HEADROOM CLEARANCE ABOVE OPENINGS, FOR ACCESS ABOVE GARAGE PROVIDE SOLID WOOD DOOR NO LESS THAN 1 3/8" THICK THAT IS SELF CLOSING, LATCHING, AND TIGHT FITTING
107. WOOD FLOORING (TYP. FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
108. TILE FLOORING AT ALL BATHS & LAUNDRY, FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
109. EPOXY COATING OVER CONCRETE SLAB
110. CAST ALUMINUM REGISTERS, TYP. WHERE OCCURS PER MECHANICAL PLANS, MFR: PACIFIC REGISTER CAST (WWW.PACIFICREGISTERCO.COM)
111. FIREPLACE PER PLAN & DETAIL, ALL FIREBOXES SET FLUSH W/ TOP OF HEARTH ON NON-COMBUSTIBLE METAL FRAMING PER MFR. SPEC., 20" MIN. CLEARANCE FROM FIREPLACE OPENING TO COMBUSTIBLE FLOORING, PROVIDE COMBUSTION AIR INTAKE FROM OUTSIDE AIR DIRECTLY INTO FIREBOX MIN. 6 SQUARE INCHES AND EQUIPPED WITH A READILY ACCESSIBLE / OPERABLE / TIGHT- FITTING DAMPER, EXTERIOR AIR INTAKE BELOW FIREBOX AND SCREENED W/ 1/4" CORROSION RESISTANT WIRE MESH, PROVIDE GAS SUPPLY & KEY IN ACCORDANCE TO MFR SPECs, AND WITHIN 6' MAX. FROM THE GAS OUTLET, PROVIDE GLASS DOORS COVERING THE ENTIRE OPENING OF FIREBOX, PROVIDE APPROVED INSTALLATION INSTRUCTIONS AT JOB SITE AT TIME OF INSPECTION
112. RESIDENCE LIVING: ISOKERN 48"X48" H
B. ACCESSORY DWELLING UNIT GREAT ROOM
113. 8X8 WOOD POST TAPERED TO 6X6
114. INTERIOR PAINTED CASING & BASEBOARD PER ARCHITECT & OWNER
115. INTERIOR DOORS PAINTED OFF-WHITE
116. INSIDE SURFACES OF EXTERIOR DOORS & WINDOWS PAINTED BLACK
117. PAINTED SHIP LAP SIDING AT ALL GALLERY WALLS PER ARCHITECT & OWNER
118. SECOND LAYER DRYWALL AT CEILING PER PLAN
119. 1X6 T&G AT CEILING PER PLAN
120. 1X4 TRIM AT CEILING PER PLAN
121. CONCRETE RAT SLAB W/ MECH VENTILATION INTO ALL CRAWLSPACES

*NOTE - ALL COLORS VERIFY W/ ARCHITECT IN FIELD, ALL WOOD & HEAVY TIMBERS NON-TREATED, LIGHT SANDBLAST TEXTURE W/ EASED EDGES, U.N.O. PROVIDE SAMPLE TO ARCHITECT-TYPICAL





SAVANNA / WOODLAND ZONE

Lot D12 features a blend of landscape zones, including oak woodland habitat and savanna grassland habitat. Coast Live Oaks are scattered throughout the Homeland with the greatest density along the west ridge and below the meadow to the east. The sloping savanna includes a rich and diverse grassland sprinkled with several spectacular heritage oaks over 40 inches in diameter, with wide spreading limbs and unique character. The mixture of low lying native grasses and sky lupine spread like waves throughout the springtime, with vibrant colors of greens and purples indicating the fertile, alluvial soil below.

**BLISS
RESIDENCE**

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue

1
2
3
4
5
6
7
8
9

Issue
Planning Permit Submittal

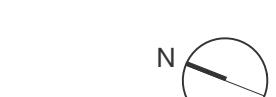
Date
13 JUL 2022

Drawn by
MT

Scale: 1=40'-0"

North

0' 20' 40'



Drawing Title

**REFERENCE SITE
PLAN**

L0.1

TREE REMOVAL + PROTECTION LEGEND

- Tree to remain / be protected
- Tree to be removed, Typ. of 7
- Critical Root Zone (See Arborist Report)
- Tree Protection Fencing

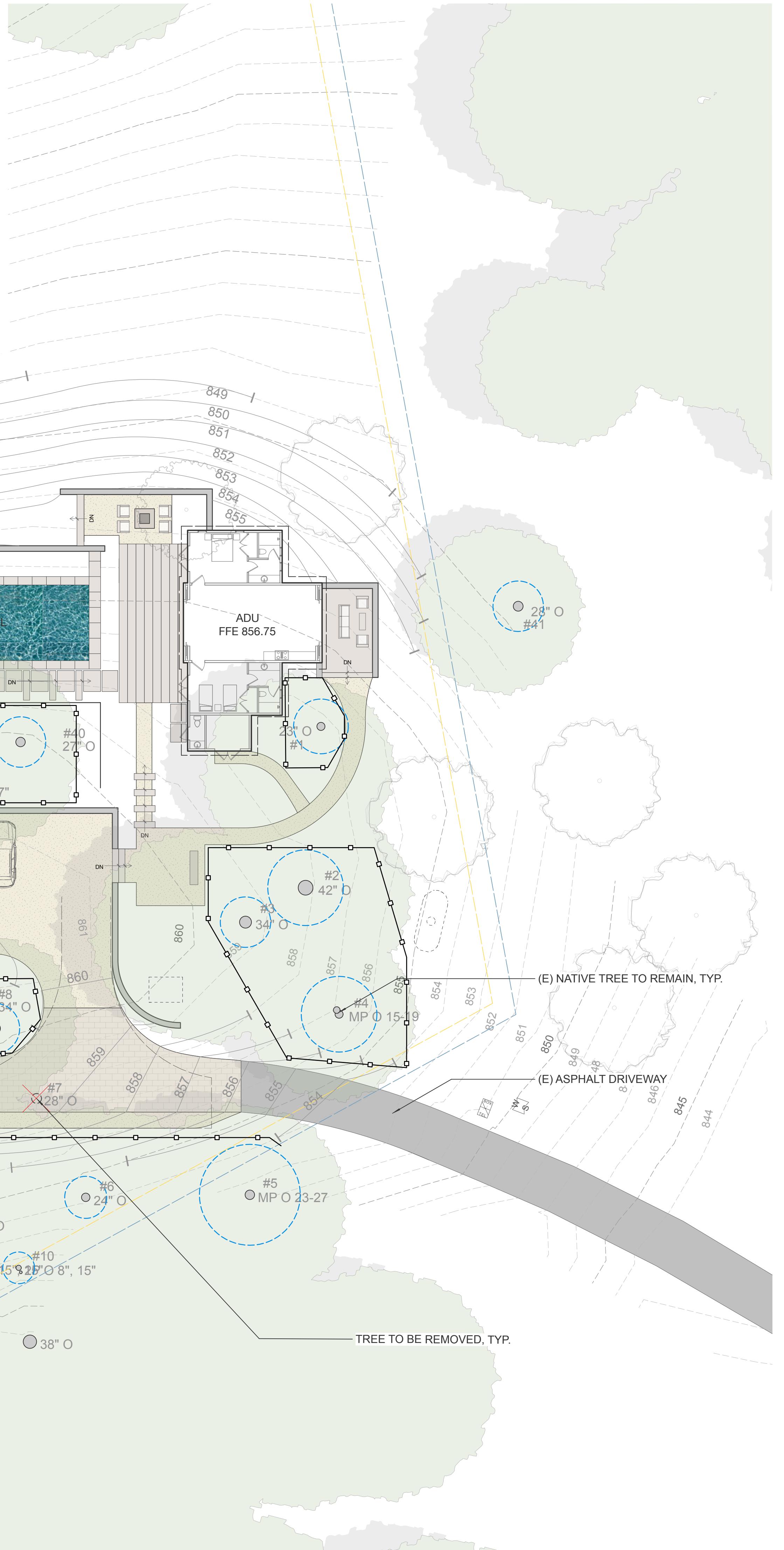
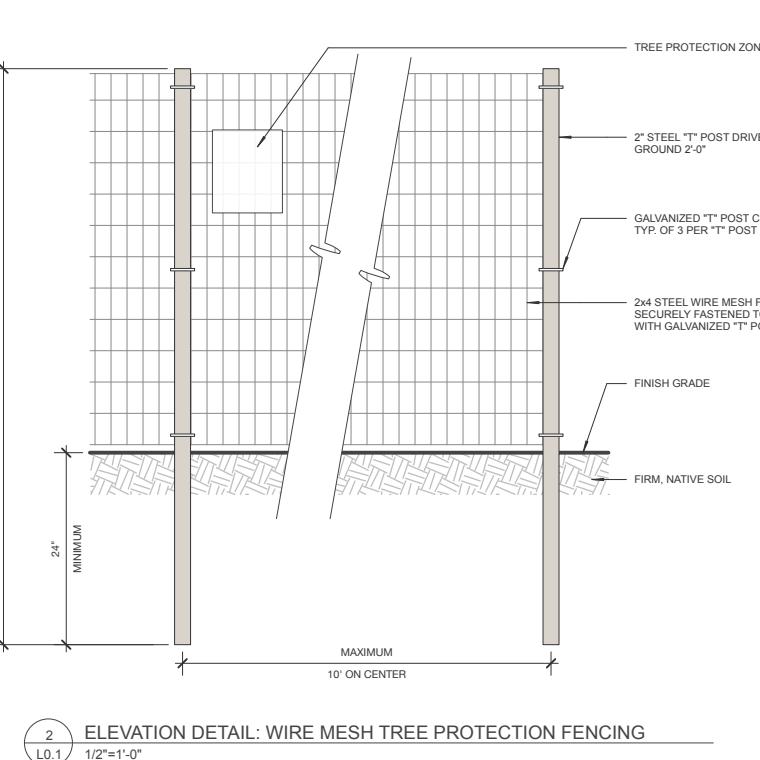
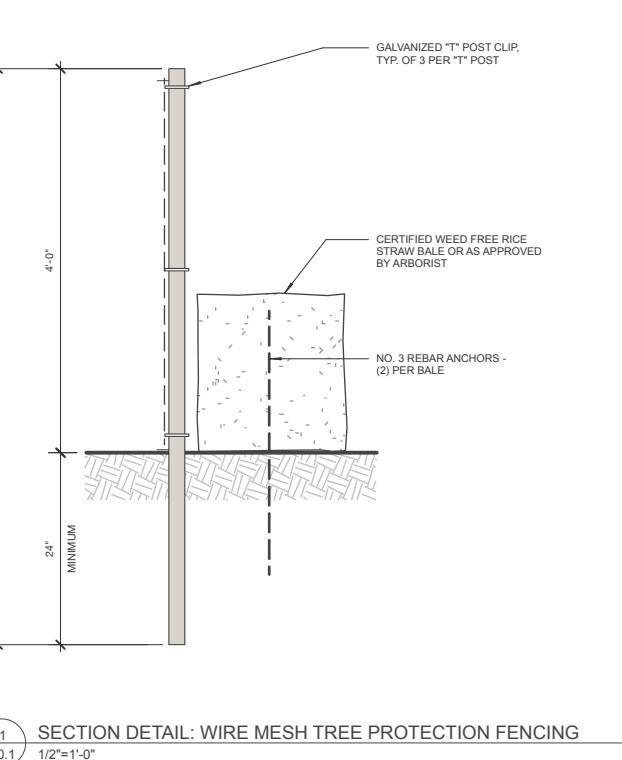
Notes:
 1. All existing trees not shown for removal are to remain and be protected throughout construction.
 2. Refer to lot specific Arborist Report prepared by Thomson Wildland Management.

By tree number:
 #7: 28" Coast Live Oak = Remove
 #19: 15"+19" Coast Live Oak = Remove
 #32: 23" Coast Live Oak = Remove
 #33: 23" Coast Live Oak = Remove

Total Tree Removals: 7
 Total mitigation trees required: 23

TREE PROTECTION NOTES

Refer to the 9 Mesa Trail Pre-Construction Tree Impact Assessment, Item IV. B., dated 06/28/22, as prepared by Thompson Wildland Management, for all notes and information related to the Construction Tree Protection Measures.



BLISS LANDSCAPE ARCHITECTURE

24000 Robinson Canyon Road
 Carmel CA 93923
 831-298-0990
 blisslandarch.com

BLISS RESIDENCE

9 MESA TRAIL, LOT D12
 SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
 239-101-022

Phase
 FINAL DESIGN

Previous Issue

1
 2
 3
 4
 5
 6
 7
 8
 9

Issue
 Planning Permit Submittal

Date
 13 JUL 2022

Drawn by
 MT

Scale: 1/16"=1'-0" North



Drawing Title

TREE PROTECTION + REMOVAL PLAN

L0.2

LEGEND

- 1 EXISTING DRIVEWAY
- 2 DRIVEWAY + FIRE TRUCK TURNAROUND
- 3 GUEST PARKING
- 4 ENTRY GARDEN
- 5 GRAVEL PATH
- 6 SOUTH VIEW TERRACE
- 7 GUEST HOUSE TERRACE
- 8 POOL
- 9 POOL TERRACE
- 10 OUTDOOR DINING + ENTERTAINING
- 11 FIRE PIT
- 12 TIMBER BENCH
- 13 PRIMARY BEDROOM SPA COURT
- 14 GRAVEL GARDEN
- 15 STONE LABYRINTH
- 16 SITE WALLS (NOT TO EXCEED 4' IN HEIGHT)
- 17 MOWN PATH
- 18 BOULDER, TYP.
- 19 TRASH STORAGE
- 20 NATIVE SCREEN PLANTINGS
- 21 POOL EQUIPMENT

BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831-298-0990
blisslandarch.com

DRAFT
FOR COORDINATION AND
REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION

BLISS
RESIDENCE

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue

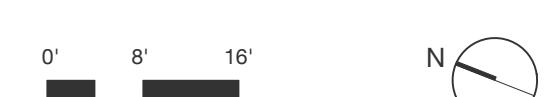
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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: 1/16"=1'-0" North



Drawing Title

HOMELAND SITE
PLAN

L1.0



LANDSCAPE MATERIALS + FINISHES

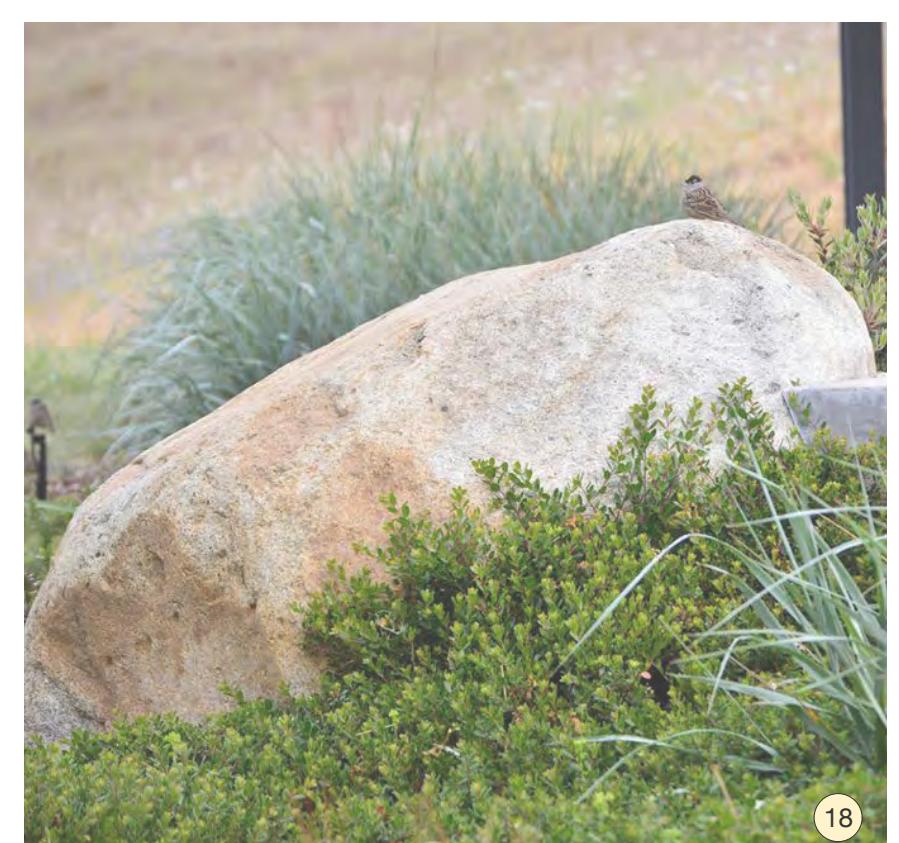
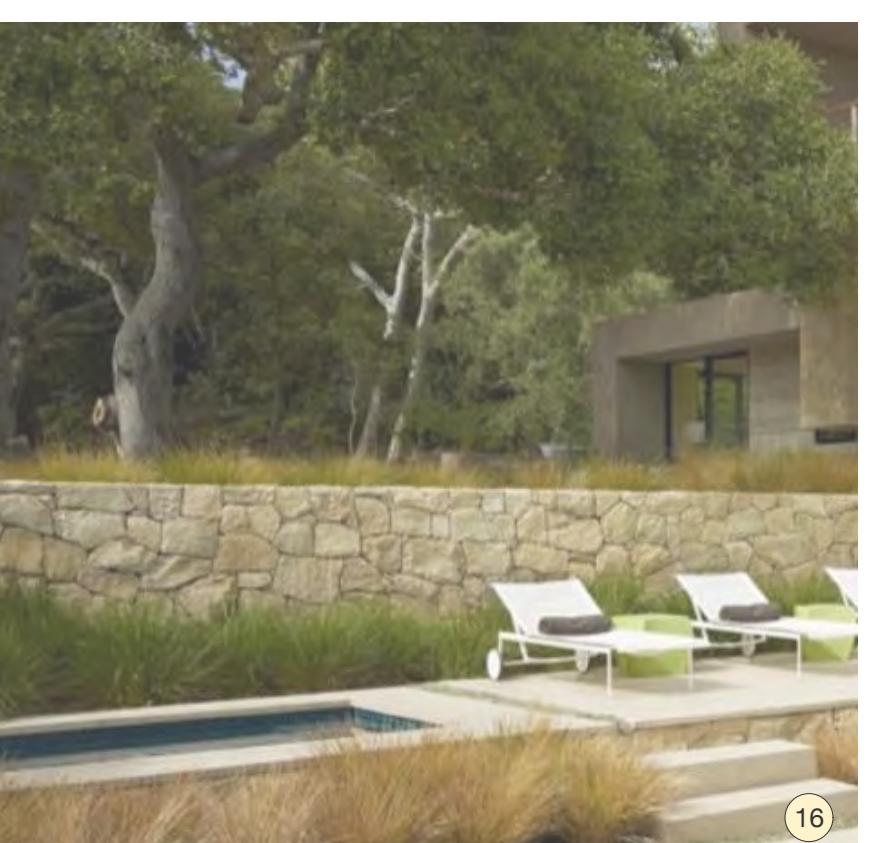
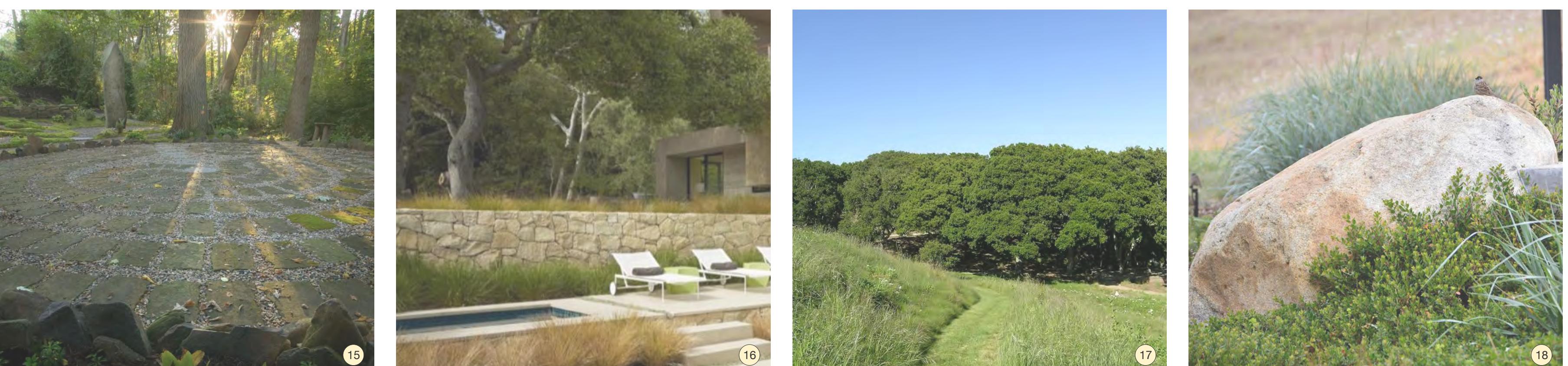
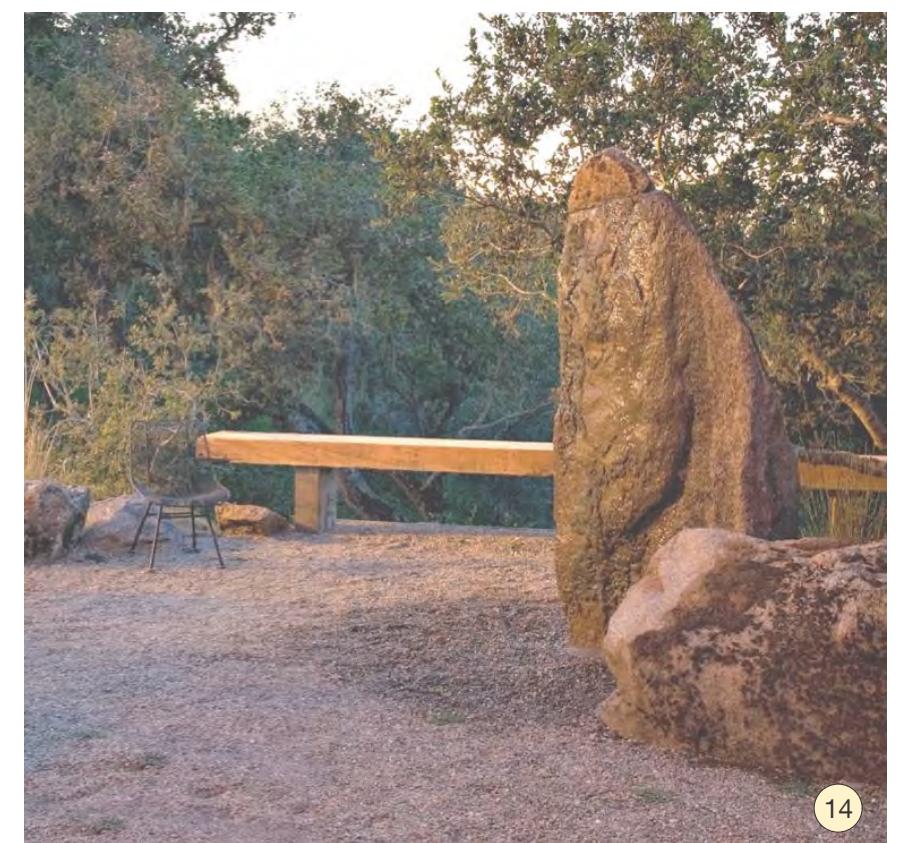
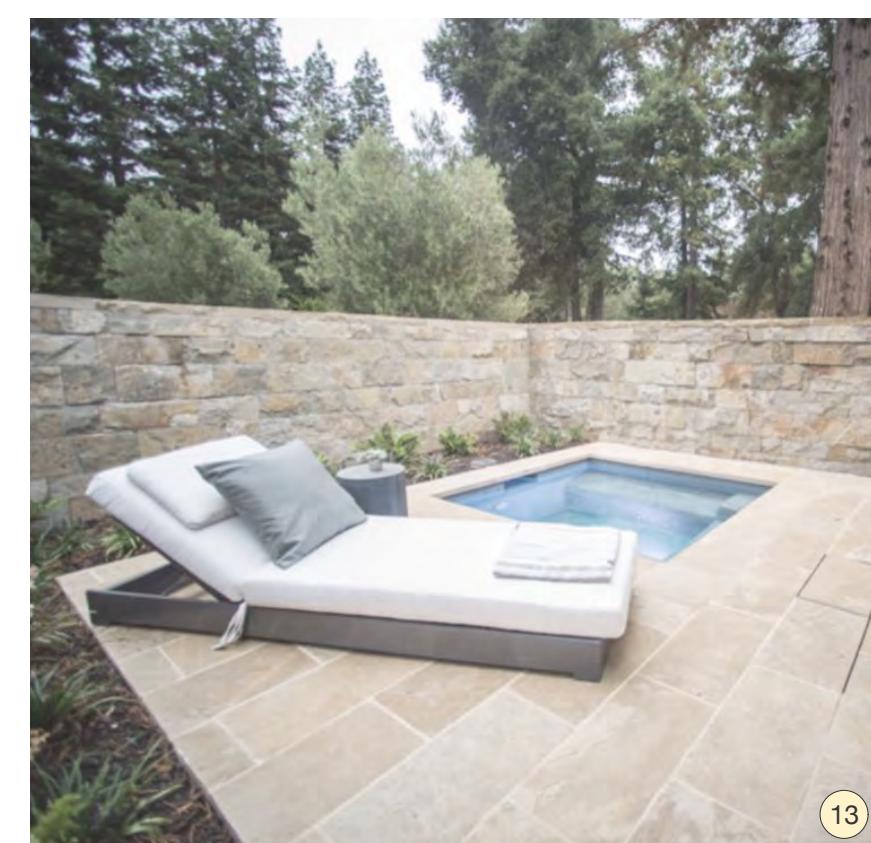
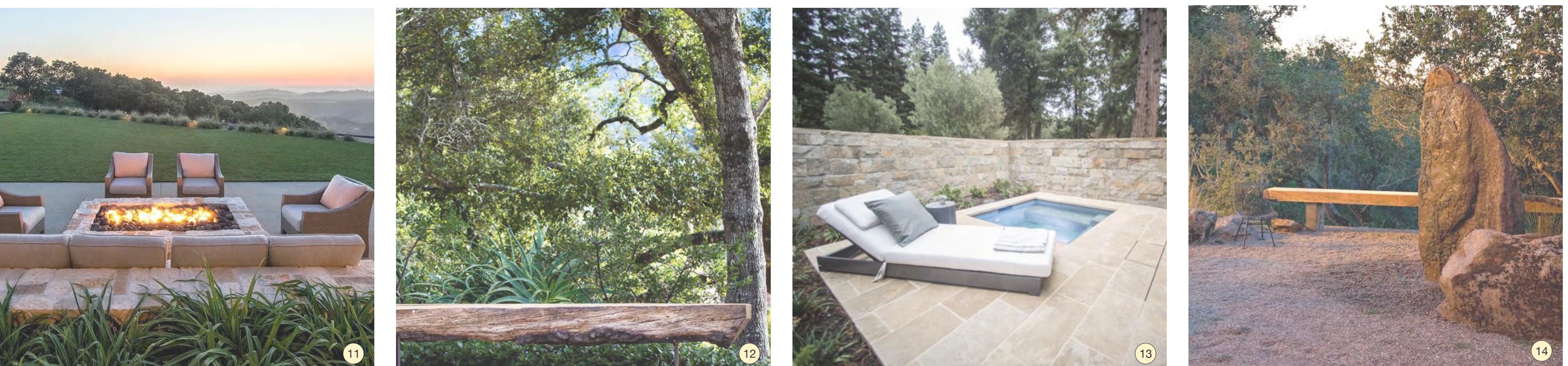
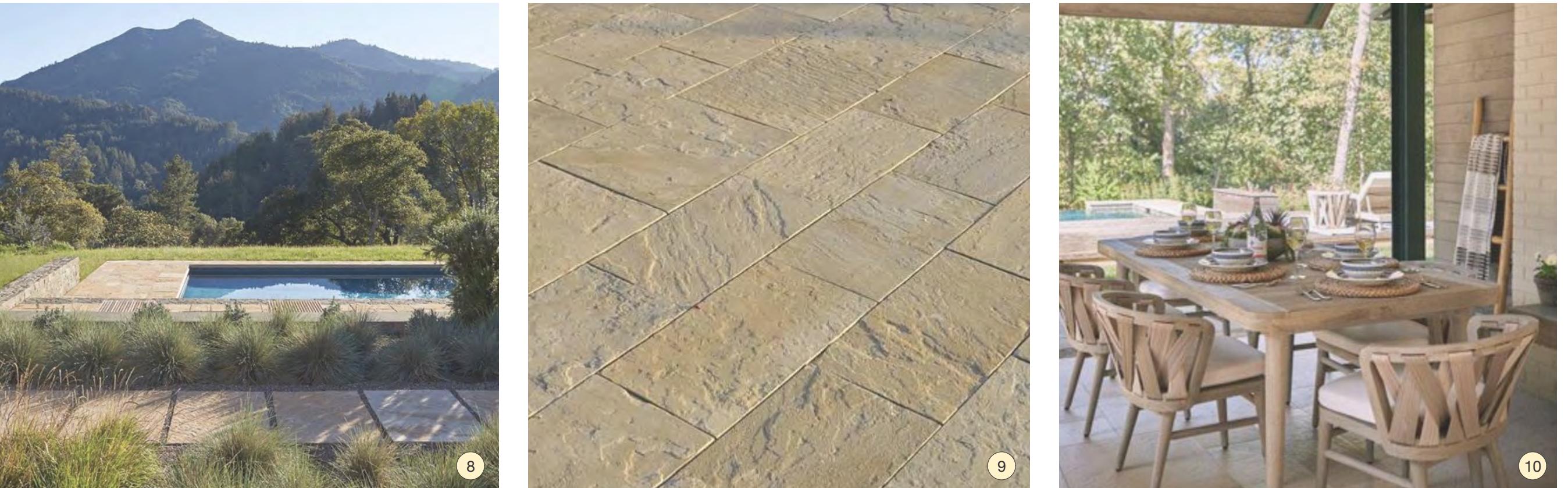
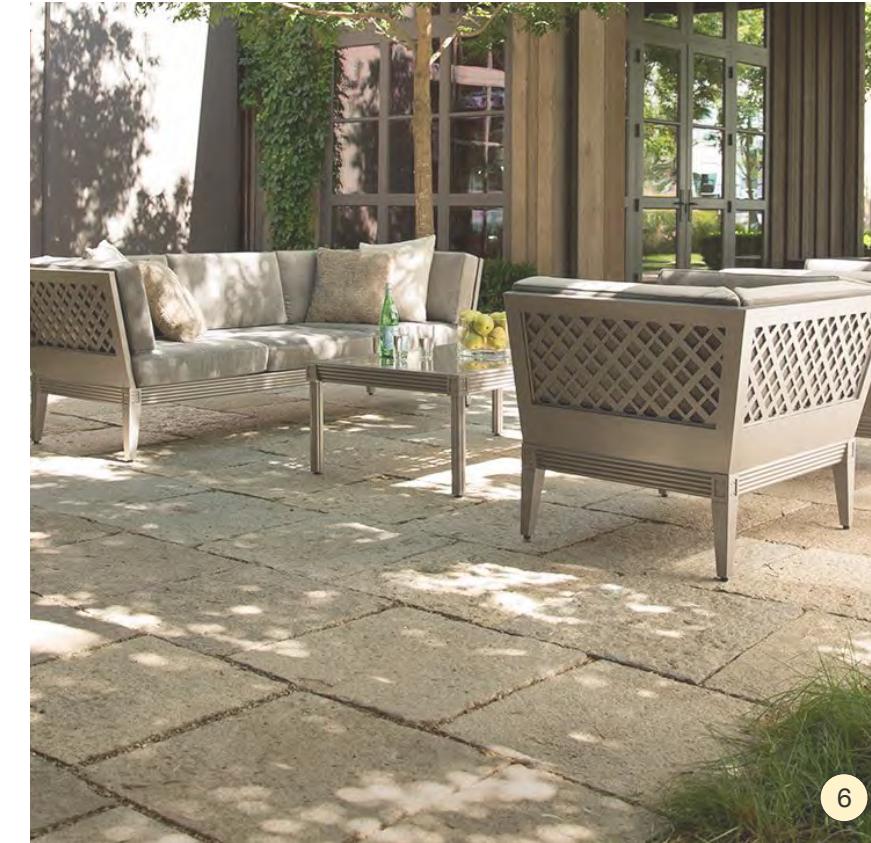
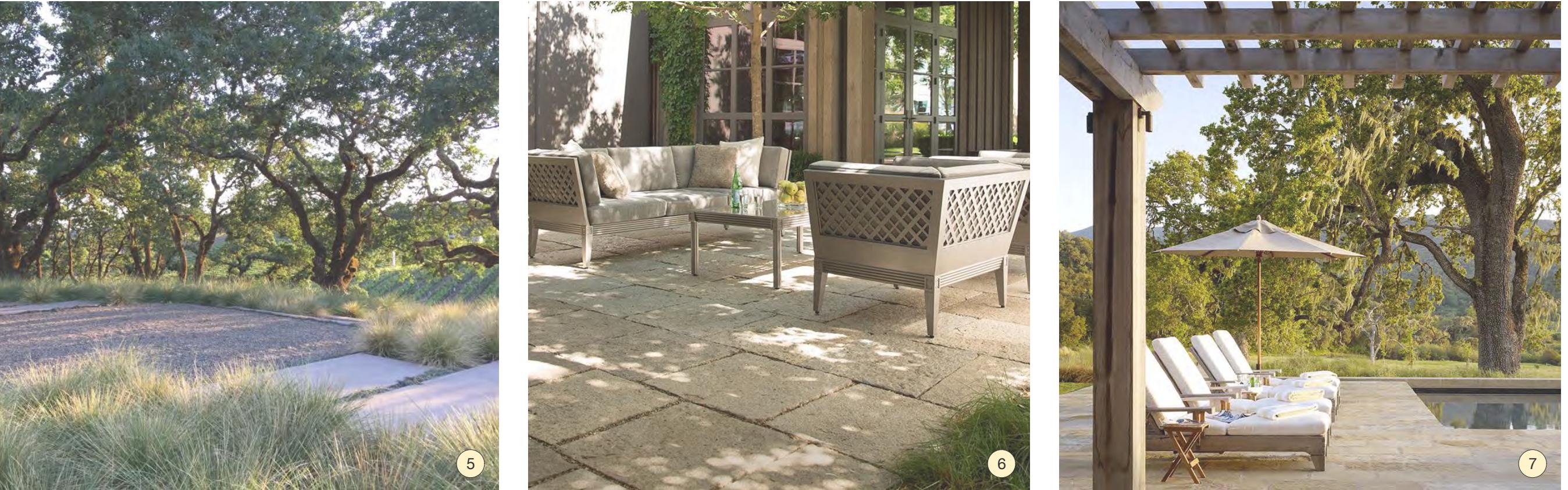
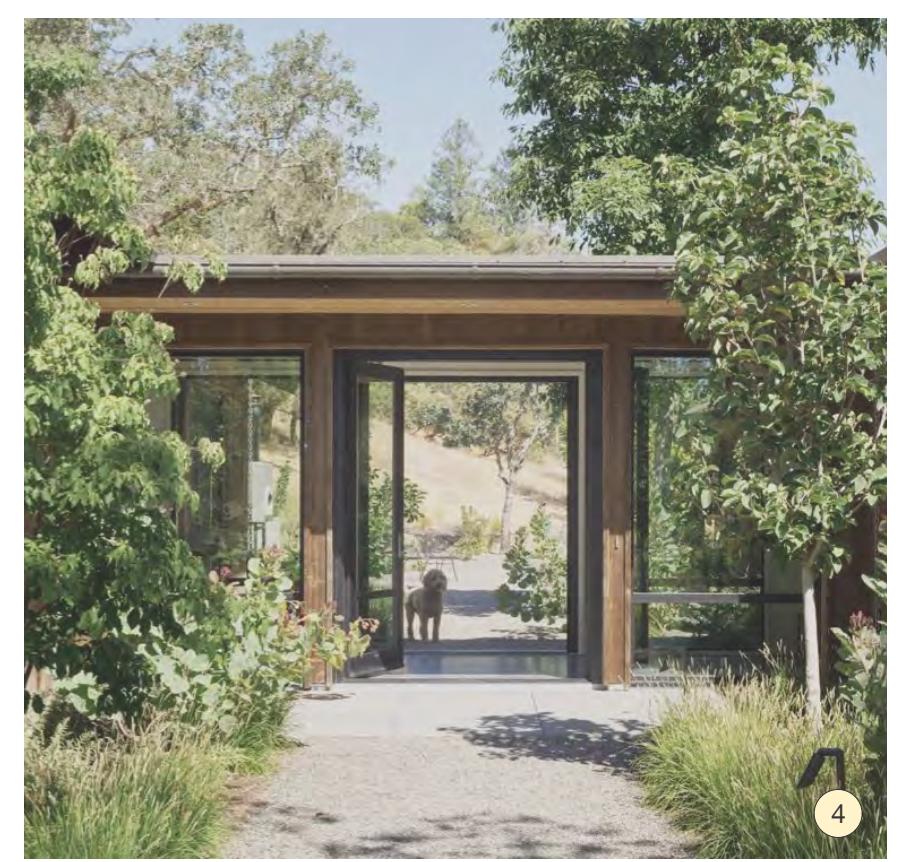
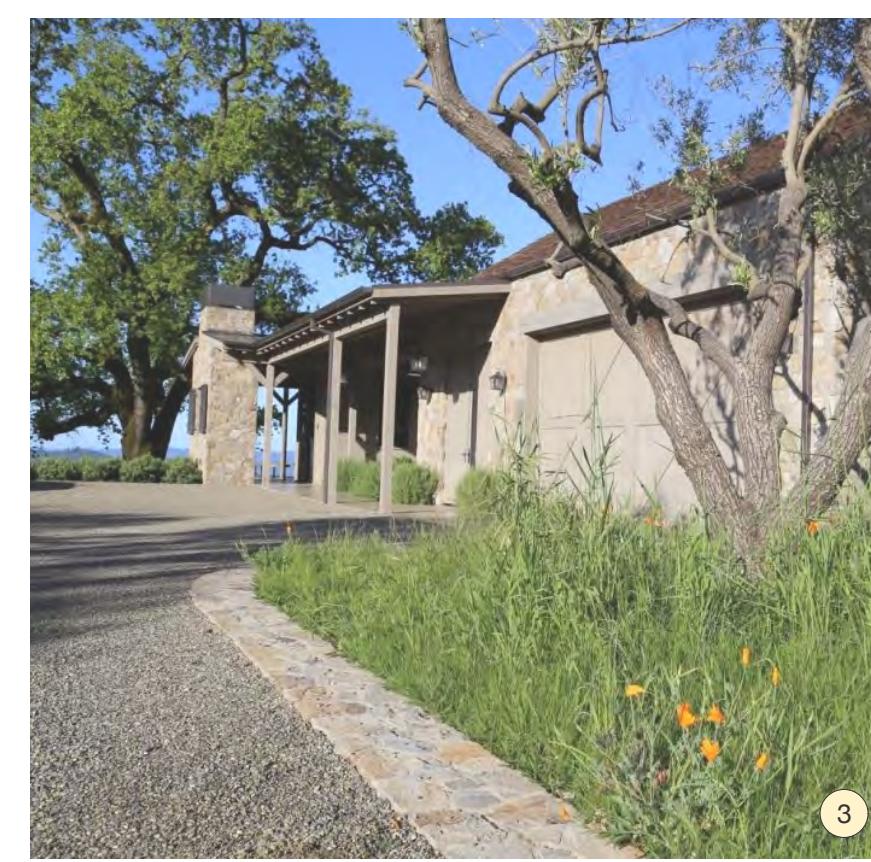
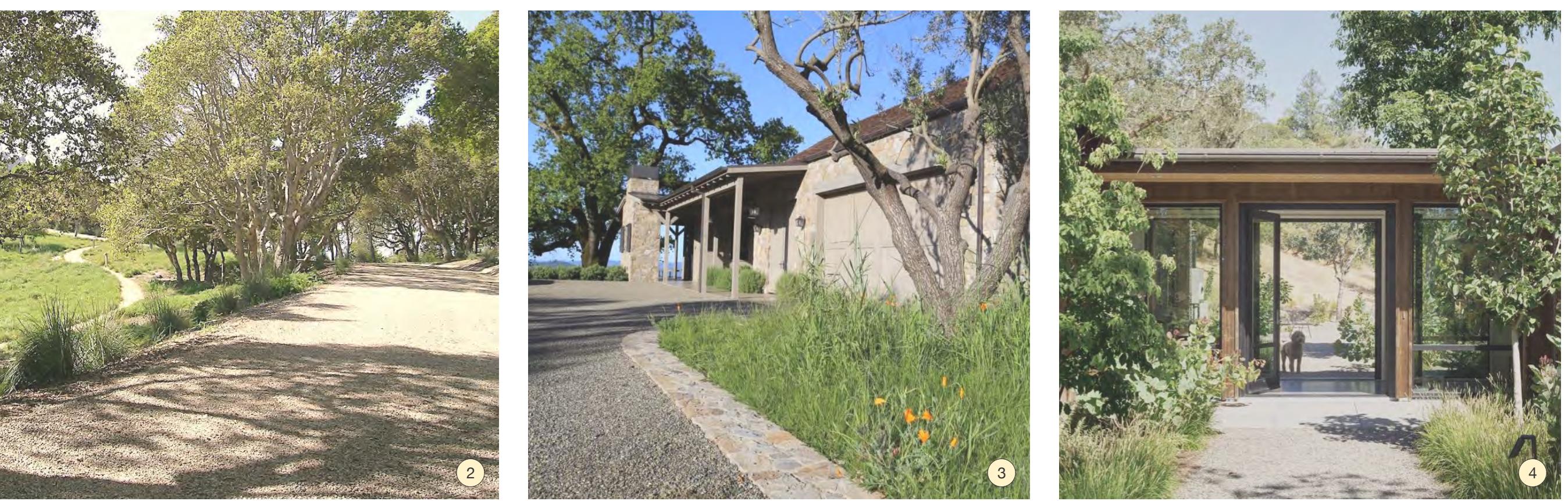
NOTES

1 ALL ITEMS BELOW CORRESPOND TO NUMBERED ITEMS ON L1.0 SITE PLAN
2 FOR PHOTO REFERENCES, REFER TO THIS SHEET

DESIGNER/CONTRACTOR LEGEND

LA	Landscape Architect	Bliss Landscape Architecture	SE	Structural Engineer
ARCH	Architect	Tom Meaney Architect	GC	General Contractor
CE	Civil Engineer	C3 Engineering	LC	Landscape Contractor

LANDSCAPE ITEM	MATERIALS	DESIGNER RESPONSIBLE
2 DRIVEWAY	3/8" Yuma Trinity Chip Seal Paving Paving: Sonoma Buff Cobblestone	LA
3 GUEST PARKING	3/8" Yuma Trinity Chip Seal Paving	LA
4 ENTRY GARDEN	3/8" Yuma Trinity Chip Seal Paving Paving Stone: Sonoma Buff Natural Stone	LA
5 GRAVEL PATH/ COURT	3/8" Yuma Trinity Gravel Paving	LA
6 SOUTH VIEW TERRACE	Paving: Sonoma Buff Natural Stone	LA
7 GUEST HOUSE POOL TERRACE	Paving: Sonoma Buff Natural Stone	LA
8 POOL	Coping: Sonoma Buff Natural Stone Plaster: Wet Edge Primera Stone Midnight Waterline Tile: Ceramic tile, TBD	LA
9 POOL TERRACE	Paving: Sonoma Buff Natural Stone	LA
10 OUTDOOR DINING TERRACE	Arbor: Resawn Cedar Paving: Sonoma Buff Natural Stone	LA + ARCH
11 FIRE PIT	Natural Stone, TBD	LA
12 BENCH	Reclaimed Redwood Bench	LA
13 PRIMARY BEDROOM SPA COURT	Coping: Sonoma Buff Natural Stone Plaster: Wet Edge Primera Stone Grey Waterline Tile: Ceramic Tile, TBD	LA
14 GRAVEL GARDEN	Gravel: 3/8" Yuma Trinity Gravel Paving Boulder: Natural Stone Boulder, TBD	LA
15 LABYRINTH	Gravel: 3/8" Yuma Trinity Gravel Paving Stone: Iron Mountain	LA
16 SITE WALLS	Calabasas Ledge Stone, tight, dry joints, random shapes, with cut edges and split face	LA
17 MOWN PATH	Native Grasses	LA
18 BOULDER	Natural Stone, TBD	LA



BLISS LANDSCAPE ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831-298-0990
blisslandarch.com

BLISS RESIDENCE

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN
Previous Issue

1
2
3
4
5
6
7
8
9

Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: AS SHOWN North

Drawing Title

MATERIALS + FINISHES

L1.1

**BLISS
RESIDENCE**

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue

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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: 1"=10'-0" North
0' 5' 10'
N

Drawing Title

**PLANTING
PLAN-NORTH**

L3.1



BLISS
RESIDENCE

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue

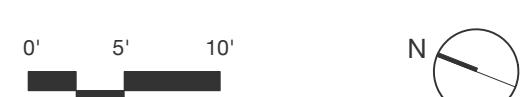
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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

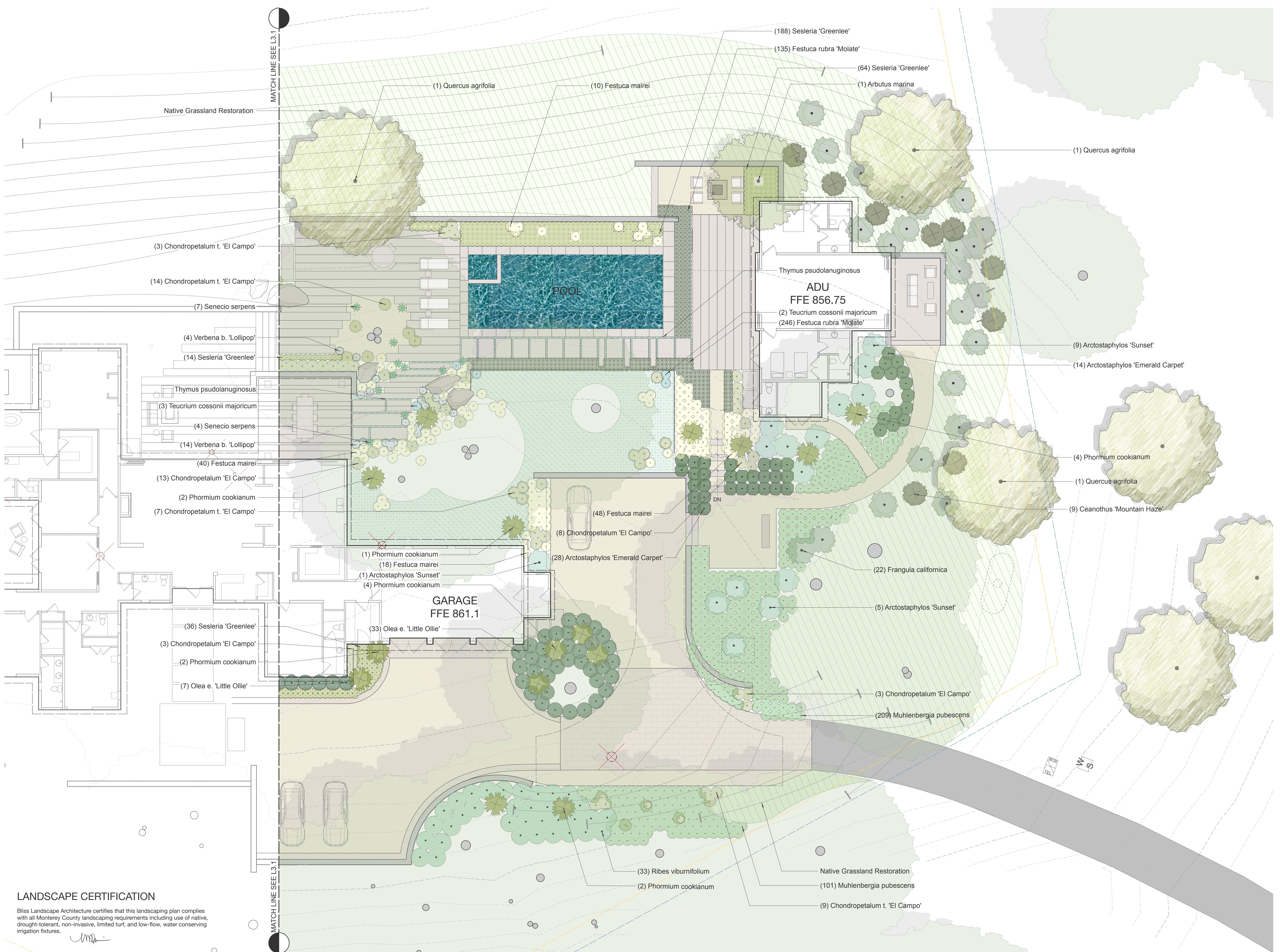
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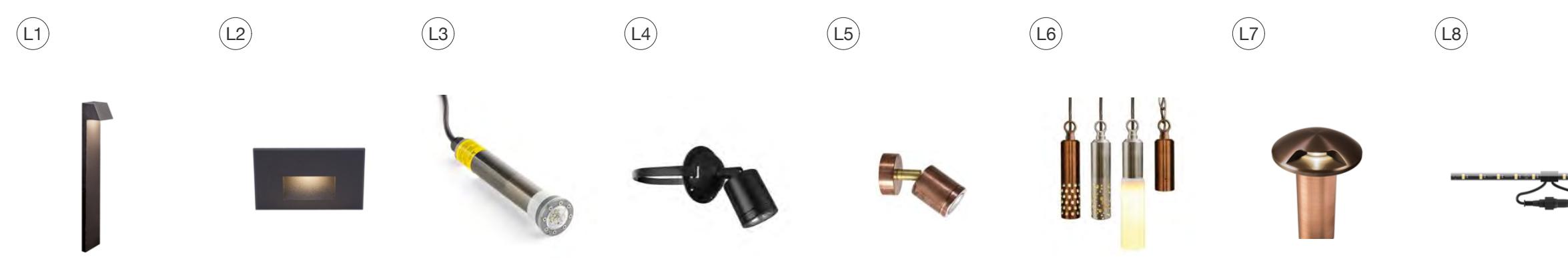
PLANTING
PLAN-SOUTH

L3.2



LIGHTING LEGEND & SPECIFICATIONS

Symbol	Quantity	Description	Brand/Model	Wattage
L1	17	PATH LIGHT	WAC QUAD PATH LIGHT	3 W LED
L2	30	RECESSED WALL LIGHT	WAC RECESSED, RECTANGLE STEP LIGHT	2 W LED
L3	6	POOL/SPA LIGHT	JANDY NICHELESS LED UNDERWATER LIGHT	6 W LED
L4	21	TREE DOWN LIGHT	HUNZA TREE MOUNT LIGHT	2 W LED
L5	4	DOWN LIGHT	HUNZA EURO SPOT	2 W LED
L6	3	HANGING LIGHT	AURORALIGHT HANGING LIGHT	2 W LED
L7	13	IN GROUND LIGHT	AURORALIGHT LDM250 SONOMA LIGHT	3 W LED
L8	37 LF	LED STRIP LIGHT	WAC INVISIBLE OUTDOOR PRO LIGHT	3.5 W LED



EXTERIOR LIGHTING NOTES

1. The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
2. Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
3. All fixtures to be installed per manufacturer's specifications.
4. All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.
5. All exterior fixtures shall be LED modules with maximum wattage of 3.5.

BLISS LANDSCAPE ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831-298-0990
blisslandarch.com

BLISS RESIDENCE

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue
1
2
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Issue
Planning Permit Submittal

Date
13 JUL 2022

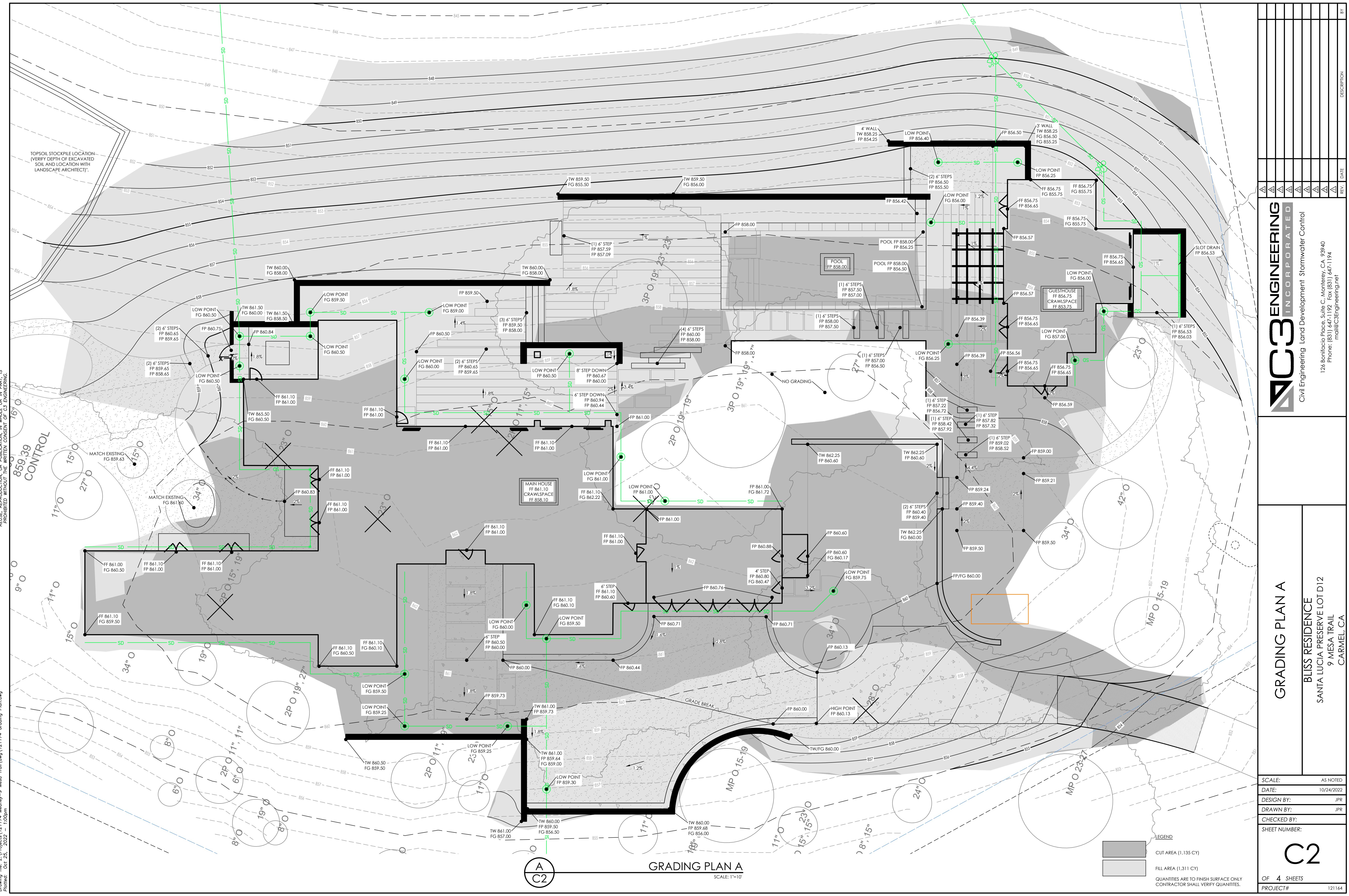
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MT

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Drawing Title
LANDSCAPE
LIGHTING PLAN

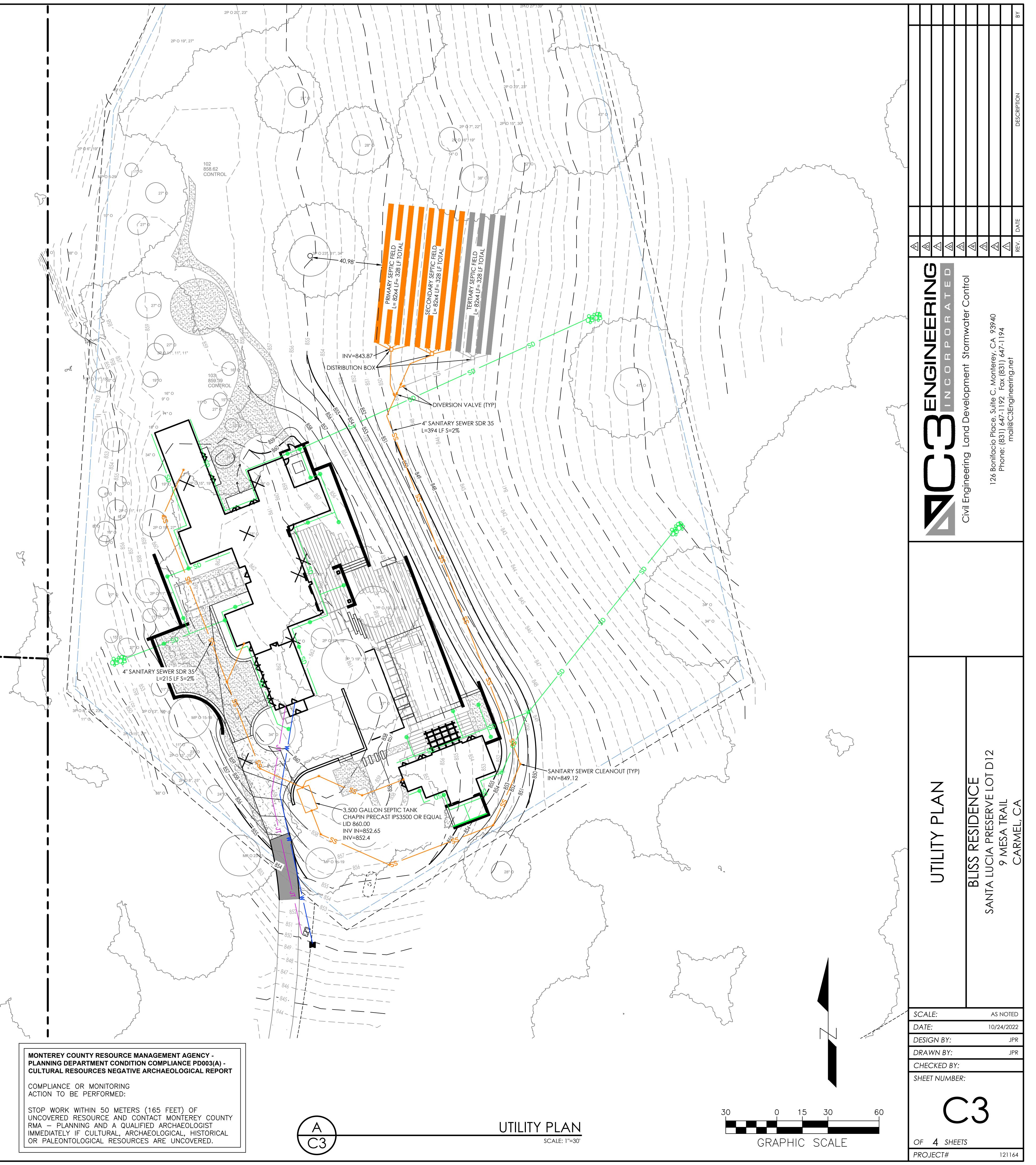
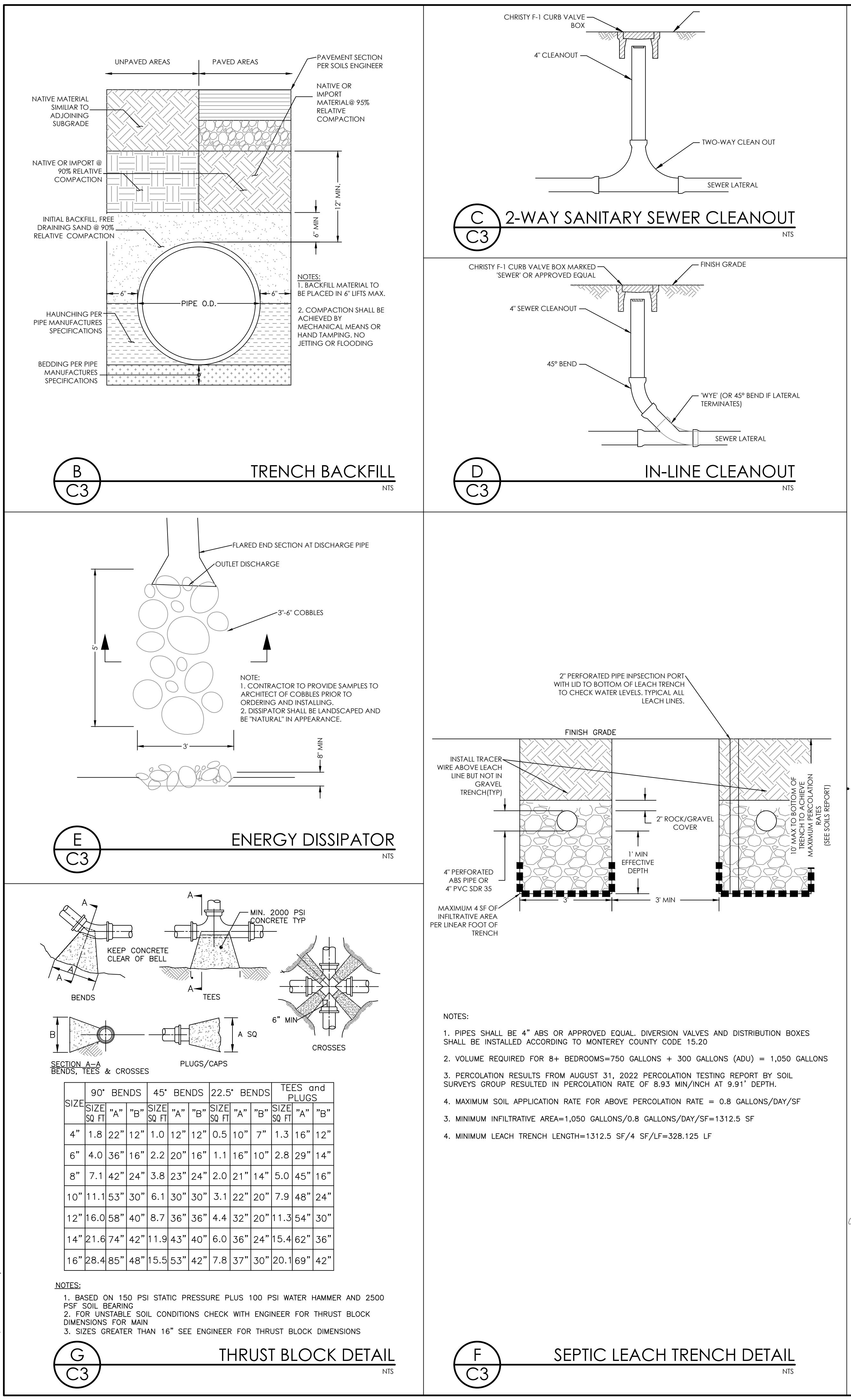
L5.0





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Drawing file: Z:\Projects\121174_Meaney-9_Mesa_Trail\dwg\121174_Grading_Plan.dwg



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Exhibit B

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THOMPSON

WILDLAND MANAGEMENT

Environmental Management & Conservation Services

International Society of Arboriculture Certified Arborist # WE-7468A

Department of Pesticide Regulation Qualified Applicator Lic. #QL50949 B

Environmental & Arborist Assessments, Protection, Restoration, Monitoring & Reporting

Wildland Fire Property Protection, Fuel Reduction & Vegetation Management

Invasive Weed Control, and Habitat Restoration & Management

Soil Erosion & Sedimentation Control

Resource Ecologist

June 28, 2022

Bliss Residence

9 Mesa Trail

Carmel, CA. 93923

APN: 239-101-022-000

Subject: 9 Mesa Trail Pre-construction Tree Impact Assessment

An arborist-conducted tree evaluation and pre-construction tree impact assessment was recently performed for the undeveloped lot located at 9 Mesa Trail (Lot D12, APN: 239-101-022) on the *Santa Lucia Preserve* in Carmel. More specifically, this assessment involved performing a ground level visual inspection of trees located on the subject property to assess general physiological health and structural condition, determine suitability for incorporating specific trees into the developed landscape, and provide recommendations for retaining, protecting and removing trees based on tree health, condition, location and construction related impacts. This assessment will assist in identifying tree characteristics and conditions, determine which trees are candidates for removal, and provide tree protection guidelines, and replacement recommendations to assist in sustaining and supporting woodland health and character.

The location of trees proposed for removal, as well as trees to be retained and protected are identified in the *Exhibit A: Tree Location Map* and project plans, and trees assessed and recorded during the field assessment are identified in the corresponding *Exhibit B: Tree Impact Assessment Spreadsheet*. Photographs depicting property features and trees addressed in this document are located at the end of the report (refer to attached photos, *Figures 1-24*). Findings and recommendations are provided herein.

I. PROPERTY DESCRIPTION & CHARACTERISTICS

This undeveloped lot located at 9 Mesa Trail (Lot D12) is a total of 19.33 acres in size with the Homeland being 4.31 acres. The Homeland area is a previously disturbed and relatively flat to moderately sloped site consisting of oak woodland and savanna habitat that is dominated by mature coast live oak (*Quercus agrifolia*) trees and grasslands that are primarily composed of

non-native annual grasses (refer to attached photos, *Figures 1-24*). Understory vegetation in the Homeland is dominated by exotic annual grasses, native poison oak (*Toxicodendron diversilobum*) and exotic invasive broadleaf weeds, among other native and introduced species. It should be noted there are several stands of native perennial grasses occurring in some of the Homeland and Openland areas.

Dense understory vegetation is not occurring in most of the Homeland area due to past mowing activities and understory vegetation primarily consisting of annual grasses, but dense understory vegetation is occurring in the surrounding Openlands, which in some areas is overgrown with a variety of native (e.g., poison oak and coyote brush, among other species) and exotic (e.g., French broom, thistles, poison hemlock and annual grasses) understory grasses, forbs, herbaceous annuals & perennials, and woody perennial scrub type vegetation. Similar to the Homeland, coast live oak is the dominant tree species inhabiting the surrounding Openlands, along with steep and densely vegetated coastal scrub type habitat that is also occurring in some of the nearby Openland areas.

In regards to proposed property development, construction activities do not appear to be occurring on slopes greater than 30% grade. As already indicated, a majority of the proposed building footprint is located in a few previously disturbed and impacted grassland areas and oak woodland clearings that are dominated by non-native annual grasses. The primary vegetation type that will be removed and disturbed during grading operations are non-native annual grasses, exotic broadleaf plants and common native flora, such as poison oak.

The crown class of trees on the lot ranges from suppressed to dominant, with a majority of oak trees having a co-dominant crown class. Mature and overly mature or senescing oak trees are the most common age class of trees located on this woodland parcel. Younger and immature trees are also occurring in various areas of the lot. It should be noted, that the property owner has expressed interest in saving and relocating some healthy young seedlings or saplings that are located in Homeland areas that could be affected by construction activities. In regards to woodland health, harmful biotic disorders (e.g., pathogens, disease and/or insect pests) appear to be absent in levels that are detrimental to the health and viability of trees and woodland habitat.

In the Homeland area tree density and canopy cover ranges from low to high. As previously noted, most of the proposed building footprint and homesite is occurring in natural woodland clearings and grassland areas with few or well spaced trees and low to moderate canopy cover (refer to *Figures 1-8*). The proposed driveway and turn around point for the driveway is located in a more densely wooded area of the Homeland with higher tree density and canopy cover (refer to *Figures 1, 2 and 9-11*). Oaks located in fairly close proximity to the proposed driveway route primarily consist of mature, but smaller coast live oak trees (e.g., smaller stem diameter, stature and more compact growth forms) and are expected to tolerate relatively minor impacts associated with driveway construction activities. Given the proper implementation of tree protection and preservation BMP's (best management practices) impacts to trees from home and

driveway construction activities is expected to be insignificant and not detrimental to the health and welfare of nearby oak trees.

As stated earlier in the report, coast live oak (*Quercus agrifolia*) is the dominant tree species occurring on the lot. Common native plant species observed in the woodland understory or along woodland edges include poison oak (*Toxicodendron diversilobum*), coyote brush (*Baccharis pilularis*), sticky monkey flower (*Mimulus aurantiacus*), toyon (*Heteromeles arbutifolia*), Pacific blackberry (*Rubus ursinus*), California honeysuckle (*Lonicera hispida*), gooseberry (*Ribes californicum*), hedge nettle/wood mint (*Stachys bullata*), yerba buena (*Clinopodium douglasii*) and some native perennial grasses, among others. Non-native annual grasses (e.g., wild oat grass, ripgut brome and Italian ryegrass, among others) and habitat degrading invasive broadleaf weeds (e.g., Italian thistle, milk thistle, bull thistle and French broom) are also common and widespread in the Homeland and surrounding Openland areas. Italian thistle (*Carduus pycnocephalus*) and French broom (*Genista monspessulana*) appear to be the most abundant and pervasive exotic invasive plant species occurring on the subject lot (refer to *Figure 12*). Non-native invasive weeds are problematic in that they degrade habitat, decrease native plant diversity and increase combustible fuel loads, and should be controlled, reduced and managed to improve habitat and mitigate wildland fire hazards.

As previously indicated, woodland understory vegetation and grassland areas in the Homeland primarily consists of non-native annual grasses, exotic broadleaf weeds and some native plant species. Native perennial grasses, forbs and shrub species have a notable presence in some areas of the Homeland, but generally appear to be less common and widespread compared to the ubiquitous non-native annual grasses and broadleaf weed species.

Lot D12 appears to have sufficient natural recruitment and regeneration of oak trees; however, additional planting is advised to assist in sustaining the health and character of this oak woodland environment and will be required to comply with *Monterey County Resource Management Agency (RMA)-Planning Department* tree removal permit conditions. At the time of the property visit and assessment, special status plant and animal species, sensitive habitat, and actively nesting birds that have protection status were not observed in or around the Homeland site. In regards to nesting birds, an additional nesting bird assessment should be conducted if any tree work (e.g., removal and/or pruning operations) occurs during the nesting season, which in Monterey County may begin as early as February and continue through August.

In regards to tree removal, a total of seven (7) of the 63 coast live oak trees assessed and documented (referred to in the report as *Tree#s 7, 19 & 32-36* and identified in the field by *tag#s 407, 419 & 432-436*) are proposed for removal in preparation for home construction activities (refer to attached photos, *Figures 3, 4, 9, 13-15 & 18-23*, the corresponding *Exhibit A: Tree Location Map*, and the *Exhibit B: Tree Impact Assessment Spreadsheet*). The remaining oaks on the property will be retained and protected with the necessary tree preservation measures for the duration of the property development project (refer to tree protection measures provided in this report).

II. METHODOLOGY

For this report, a ground level visual assessment was recently conducted for several coast live oak (*Quercus agrifolia*) trees located within or in close proximity to the proposed building footprint. In regards to inspecting trees, no aerial (climbing) inspections, woody tissue testing and/or root excavations were performed or requested as part of this evaluation.

Per Monterey County Resource Management Agency (RMA)-Planning Department tree removal permit requirements, native species trees 6 inches DBH (diameter at breast height) or larger at 48 inches above grade are required to be recorded for removal and will need to be replaced if tree removal is approved. 6 to 23 inch DBH trees are replaced at a 3:1 replacement ratio and 24 inch DBH or larger trees (i.e., landmark status trees) are replaced at a 5:1 ratio.

Trees proposed for removal or that have the potential of being impacted by construction activities were documented and recorded during a pre-construction tree assessment (refer to the *Exhibit B: Tree Impact Assessment Spreadsheet*). During the Lot D12 tree assessment 63 oak trees were documented recorded and assigned numbered metal tags (tag #s 401-463). These trees are referred to and identified as *Tree#s 1-63* in the report, as well as in the *Exhibit A: Tree Location Map* and *Exhibit B: Tree Impact Assessment Spreadsheet*. Seven (7) of these oaks are proposed for removal (i.e., *Tree#s 7, 19 & 32-36* and identified in field by tag#s 407, 419 & 432-436) in preparation for home construction operations. The remaining 56 oaks are not expected to be significantly affected by property development activities and will be retained and protected during project operations.

Recommendations are based on the overall general health, vigor and condition of trees and habitat; the impact that property development activities may have on trees and natural resources; the hazard level trees present to proposed occupied structures and/or areas with human traffic; and the impacts that tree management and/or removal activities may have on natural resources, habitat and nearby healthy trees.

In regards to exhibits and attachments included in this report, *Exhibit A* is a property map and project site plan that shows the location of trees on the property in relation to proposed structures and other property features, and the *Exhibit B: Tree Impact Assessment Spreadsheet* identifies proposed tree removals as well as trees that have the potential of being affected by property development activities. Photographs depicting property features and trees addressed in this document are located at the end of the report (refer to attached photos, *Figures 1-24*).

III. TREES PROPOSED FOR REMOVAL & CONSTRUCTION IMPACTS

Sixty-three (63) coast live oak (*Quercus agrifolia*) trees were recorded (i.e., assigned tag numbers 401-463 [referred to in the report as *Tree#s 1-63*]) and evaluated as part of a pre-construction tree impact assessment. Seven (7) of these oaks are proposed for removal (i.e.,

Tree#s 7, 19 & 32-36) and fifty-six (56) will be retained and protected (refer to the Exhibit A: Tree Location Map and Exhibit B: Tree Impact Assessment Spreadsheet). Additionally, it should be noted there are several additional coast live oak trees occurring in the surrounding Homeland areas that are located a safe distance away from proposed construction activities. These trees will be protected and will not be impacted by property development operations.

Per the construction design plans, a majority of the 63 oaks evaluated for this report will not likely to be significantly impacted or adversely affected by proposed property development operations due to limited or partial root zone disturbance and/or construction activities occurring outside of the most critical portion of the primary root zone area of most of the retained trees. The exception being the 7 oaks that are proposed for removal in preparation for home construction activities (identified as *Tree#s 7, 19 & 32-36*; refer to attached photos, *Figures 3, 4, 9, 13-15 & 18-23*). It should be noted that 13 oaks that will be retained and protected (identified as *Tree#s 8, 9, 12, 14-18, 20-22, 37 & 39*) have the potential of being impacted and affected by property development activities due to their proximity to proposed grading and construction operations; however, these impacts are generally expected to be insignificant and are not likely to be detrimental to the health and viability of the subject trees. In regards to the remaining oaks that will be retained and protected, given the proper implementation of tree protection and preservation BMP's, construction related impacts and disturbance is expected to be negligible and not harmful to tree health.

These 63 oaks that were documented and recorded range from being in poor to good overall health and condition, with a majority of these mature and aging oaks being in fair physiological health and structural condition. As previously noted, 7 of the 63 six inch DBH or larger oaks are proposed for removal in preparation for property development activities due to their location within or in close proximity to the proposed construction footprint. Trees located directly adjacent to construction and grading operations are often recommended for removal due to significant and unavoidable root system impacts that will compromise the health and structural integrity of trees.

The corresponding *Exhibit A: Tree Location Map* identifies the location of the 7 oak trees proposed for removal (also refer to attached photos, *Figures 3, 4, 9, 13-15 & 18-23*). These 7 oaks are identified as *Tree#s 7, 19 & 32-36* (for more specific information and details regarding the general health, size and characteristics of these 7 oaks proposed for removal, refer to the *Exhibit B: Tree Impact Assessment Spreadsheet*).

As previously indicated and per the project design plans, grading activities associated with property development operations are going to be occurring outside of the critical root zone area of a majority of the oak trees located around the proposed construction site, which should have minimal and insignificant impacts to the health and welfare of nearby trees. As noted earlier, the retained trees that have the greatest potential of being affected by construction related activities due to their proximity to grading operations are the 13 oaks identified as *Tree#s 8, 9, 12, 14-18, 20-22, 37 & 39* (refer to *Exhibit A: Tree Location Map* and the *Exhibit B: Tree Impact*

Assessment Spreadsheet); however, overall concerns related to root system impacts are relatively insignificant since only partial encroachment and limited disturbance within the canopy dripline of most of these trees is anticipated.

Grading and construction related disturbance will be avoided within a radius that is a minimum of three times (3X) the diameter (DBH) of the subject trees, which is the most sensitive portion of a tree's critical root zone (CRZ) area. The CRZ is generally defined as the area within the canopy dripline (i.e., the outer most portion of the canopy dripline 360 degrees around the tree) that contains the most sensitive and important roots for supporting and sustaining the health and structural integrity of trees. Trees with a DBH of approximately 12 inches should have a minimum protective radius of 4 feet, but preferably a greater area within the CRZ should be protected with limited soil disturbance. It should be noted that 3X the trunk diameter is the minimum CRZ area that must be protected and, where possible, root zone disturbance should be avoided within the entire canopy dripline and even expanded to the area beyond the canopy dripline. Consequently, significant root system impacts or root loss will be avoided and is not anticipated to occur in levels that is detrimental to the health and welfare of retained trees.

It should be noted that coast live oaks can be fairly tolerant of low to moderate levels of root pruning and root loss; however they are generally less tolerant to increases (i.e., introduction of fill material) or decreases (i.e., cut slopes) in natural grade. Obviously, where possible, root loss and root system impacts should be avoided and minimized to the greatest extent possible and this important consideration should be factored in when developing a construction design plan. Per the site assessment and analysis of the current development design plan, it appears that retained trees in the vicinity of home and driveway construction activities will likely tolerate construction impacts with minimal or insignificant adverse affects and are suitable for being retained, protected and preserved.

During project operations the trees on the lot will be routinely monitored and adequately protected, and in the event that large primary roots are encountered the project arborist will be notified and consulted to assist in providing guidance and recommendations to minimize impacts to protected trees. If trees exhibit any signs or symptoms of stress and decline due to possible construction related impacts or any other factors (e.g., biotic and/or abiotic disorders) specific treatments can be performed (e.g., supplemental deep watering, radial or vertical mulching, growth regulator treatments, among others) to assist in mitigating adverse impacts and to aid in the recovery of impacted trees, but none of these treatments are anticipated to be necessary.

Landscaping activities associated with property development will be designed and implemented in manner that will avoid or minimize impacts to nearby oaks. For example, landscaping should be avoided or limited within the critical root zone area (i.e., canopy dripline) of oak trees, with minimal soil disturbance, irrigation, planting and introduction of soil or other landscaping materials.

The ecological impacts of proposed tree removal will be insignificant and will be mitigated by planting a minimum of twenty-one (21) 1 to 15-gallon oak replacement trees on the subject parcel (planting larger container size oaks is also permitted). Also, per *Monterey County RMA-Planning Department* tree preservation ordinances and resource protection best management practices (BMP's), the remaining trees on the property will be retained and protected from construction activities for the duration of the property development project (refer to tree protection BMP's provided in this report). Tree and resource protection measures will assist in preserving and protecting ecological resources and minimizing impacts to trees and woodland habitat.

Additionally, several oak trees that are located in relatively close proximity to the proposed project site will be pruned to maintain and preserve tree health, improve aesthetics, provide adequate clearance around structures, reduce combustible fuel loads (i.e., ladder fuels) and improve defensible space for wildland fire protection. Pruning operations should occur during the proper time of year (preferably fall through early winter) and will utilize proper pruning best management practices (BMP's) to minimize impacts to retained trees.

IV. RECOMMENDATIONS

A. Tree Removal & Replacement:

For the reasons provided in this report, permission is being requested to remove a total of seven (7) oak trees (identified as *Tree#s 7, 19 & 32-36*) in preparation for proposed property development activities (refer to *Figures 3, 4, 9, 13-15 & 18-23* and the corresponding *Exhibit A: Tree Location Map* and *Exhibit B: Tree Impact Assessment Spreadsheet*).

As previously stated, per *Monterey County RMA-Planning Department* tree preservation ordinances and resource protection BMP's, the remaining trees on the lot will be retained and protected from construction activities for the duration of the property development project (refer to tree protection BMP's provided in this report). Tree and resource protection measures will assist in protecting trees and minimizing harmful impacts to trees, habitat and other ecological resources.

As noted in the previous section, several oak trees located in the Homeland that are in relatively close proximity to the proposed project site will be pruned to maintain and preserve tree health, improve aesthetics, provide adequate clearance around proposed structures, reduce combustible fuel loads (i.e., ladder fuels) and improve defensible space for wildland fire protection. Pruning operations should occur during the proper time of year (preferably fall through early winter) and will utilize proper pruning BMP's to minimize impacts to trees.

Tree removal and/or pruning operations should be avoided during the bird nesting season, which in Monterey County may begin as early as February and continue through August. If tree work is necessary during this time period a nesting assessment is advised to determine if any nesting

birds are present. A recent tree assessment and site inspection determined that actively nesting birds are presently not occurring within or directly adjacent to the property development site; however depending on when construction activities begin (i.e., February-August) it may be necessary to perform an additional assessment.

When tree removal operations commence, removal should be performed by licensed and insured tree workers trained in accordance with ANSI Z133.1 safety regulations, as required by OSHA. If necessary, tree protection measures should be installed to nearby trees that could potentially be damaged during removal operations. Additionally, if substantial soil disturbance occurs at the removal site it may be necessary to install erosion and sedimentation control measures to effectively stabilize exposed soil surfaces and contain sediment runoff. Furthermore, BMP's involved with tree removal, disposal, and the cleaning and sterilization of tools and equipment should be implemented to minimize the chance of biotic disorders (that may be present) spreading to other areas.

In regards to tree replacement, twenty-one (21) 1 to 15-gallon oak seedlings or saplings (container size depends on availability and quality of nursery stock, and planting larger sized oaks [e.g., boxed oaks] is also an option) of good physiological and structural health shall be planted on the subject lot to replace the 10 removed oaks and to help sustain the long-term health, viability and character of this oak woodland environment. Replacement trees should be acquired from a local native plant nursery that has healthy specimens that are free from physiological and structural disorders. Furthermore, replacement trees should be planted during the appropriate time of year using proper tree planting techniques and best management practices, and should be planted in suitable locations that will support healthy establishment and maturation. Successful completion of this compliance action shall be achieved when the 21 replacement plantings survive a five-year monitoring period.

It should be noted there are naturally occurring oak seedlings and saplings located in the Homeland. Where possible, these seedlings or saplings should be protected from construction activities or, alternatively, saved and transplanted to a safe and suitable area on the lot and cared for until they are properly established.

B. Construction Tree Protection Measures:

Per *Monterey County RMA-Planning Department* requirements and resource preservation BMP's, the following tree and resource protection measures shall be implemented for this home development project located at 9 Mesa Trail (Lot D12). Proper implementation of tree and resource preservation BMP's and regular construction site monitoring will assist in protecting and preserving the health and welfare of trees, habitat and surrounding resources. The location of tree protection measures will be determined on-site by the project arborist and project design team, and tree and resource preservation measures will be regularly inspected and properly maintained for the duration of the project to ensure they are functioning effectively:

- 1) Prior to commencing with grading and construction activities install high visibility exclusionary fencing that clearly defines the work area, limits unnecessary disturbance to surrounding areas, and protects the critical root zone (i.e., area defined by the outermost portion of the canopy dripline, 360 degrees around the tree) of individual trees and tree groupings. Perform necessary repairs, modifications and maintenance on a as needed basis.
- 2) Install appropriate sedimentation control measures (e.g., silt fence) along downslope perimeter of construction site, and if necessary apply soil stabilization and source control measures (e.g., rice straw mulch, erosion control blankets, all-weather surfaces) to exposed soil surfaces to prevent erosion problems and sediment runoff during rain events. Perform routine monitoring as well as necessary maintenance and improvements to ensure that erosion & sedimentation control measures are functioning effectively. It should be noted, that erosion problems and sediment deposition around trees can adversely affect tree health and stability.
- 3) Where grading and construction activities are occurring within 3 feet of trees install trunk and stem protection measures (e.g., 2x4 lumber forming protective barrier around circumference of lower stem of tree). Tree protection measures should be securely installed to trees with rope and high visibility exclusionary fencing. If it is necessary to perform any pruning use proper tree pruning practices to minimize stress and maximize wound healing.
- 4) If it is necessary to temporarily store construction materials or equipment within the canopy dripline of nearby oak trees (which will be avoided and should not be necessary), apply 2 to 5 inches of clean and properly sourced woodchip mulch to limit soil disturbance and prevent soil compaction within the critical root zone area.
- 5) Where possible, avoid damaging or cutting roots located within the critical root zone (i.e., canopy dripline) of trees, especially roots that are 2 inches diameter or larger, and avoid grading or significant soil disturbance within a radius that is a minimum three times (3X) the diameter (DBH) of a subject tree, which is the most sensitive portion of a tree's critical root zone (CRZ) area. Trees with a DBH of approximately 12 inches should have a minimum protective radius of 4 feet, but preferably a greater area within the CRZ should be protected with limited soil disturbance. It should be noted that 3X the trunk diameter is the minimum CRZ area that must be protected and, where possible, ideally root zone disturbance should be avoided within the entire canopy dripline (i.e., the outer most portion of the canopy dripline 360 degrees around the tree) and even expanded to the area beyond the canopy dripline and primary root zone. Construction footings should be designed and excavation activities performed in a manner to minimize impacts to primary roots, or alternative foundation designs (e.g., pier and grade beam) that are less impactful to critical root systems should be considered. If significant roots are encountered efforts should be made to carefully excavate (e.g., tunnel or dig) under or around primary lateral roots. Grading or trenching operations that may occur within the critical root zone of retained trees should be performed under the guidance and monitoring of the project arborist; however, no such activities are planned or anticipated for this project. Tree roots severed or significantly damaged during grading and excavating operations should be cleanly cut

and promptly covered with moist burlap fabric or equivalent until roots are permanently covered with backfill material or until the exposed grading cut and soil profile is permanently stabilized and protected. If burlap covered cut roots are exposed to the outside environment for an extended period of time a project attendant shall be assigned the task of regularly wetting burlap covered roots to prevent root desiccation. Additionally, it may be necessary to perform supplemental irrigating (i.e., regular deep watering throughout the remaining portions of the critical root zone) to construction impacted trees. Frequency, quantity and duration of supplemental watering should be determined by the project arborist.

6) As previously stated, coast live oaks can be fairly tolerant of low to moderate levels of root pruning and root loss; however, they are generally less tolerant to increases (i.e., introduction of fill material) or decreases (i.e., cut slopes) in natural grade. Obviously, where possible, root loss and root system impacts should be avoided and minimized to the greatest extent possible and this important consideration should be factored in when developing a construction design plan. Per the site assessment and analysis of the current development design plan, it appears that retained trees in the vicinity of home and driveway construction activities will likely tolerate construction impacts with minimal or insignificant adverse affects and are suitable for being retained, protected and preserved.

7) Avoid storing construction tools, materials and equipment within the critical root zone (i.e., canopy dripline) of trees, and do not wash out or dispose of excess materials (e.g., paint, plaster, concrete, or other potentially harmful substances) within critical root zone areas. As previously noted, if it is unavoidable and necessary to temporarily store or stockpile materials and equipment within the dripline of trees, apply 2 to 5 inches of clean and properly sourced woodchip mulch to prevent significant soil compaction and root zone disturbance.

8) Where possible, avoid altering the natural grade within the critical root zone of trees to reduce the likelihood of causing stress, decline or mortality. Lowering natural grade can result in significant root damage and raising the grade (i.e., introducing fill material, particularly around the lower trunk and root crown) can lead to trunk and root decay disorders that are detrimental to the health and structural integrity of trees.

9) If tree pruning is necessary it is important to utilize proper pruning BMP's that will assist in minimizing harmful impacts to trees. In most cases, tree pruning should ideally be performed during the fall through early winter months. A general principle to follow is that it is important to make proper pruning cuts, keeping them as small as possible while removing as few living branches as necessary to achieve the objective. Large pruning wounds often do not completely heal over with wound wood callus tissue, which creates a permanently exposed entry point for decay, disease and insect pests. Excessive pruning can stress, injure and harm trees by depleting energy reserves and reducing food making processes (i.e., photosynthesis), which can compromise a trees ability to perform essential physiological functions and to recover and replenish essential reserves during periods of stress (e.g. root disturbance and drought conditions). Additionally, it creates an abundance of exposed wounds providing entry points for

potentially harmful biotic disorders (e.g., disease, decay and/or insect pests) that can adversely affect the health and structural integrity of trees. It should be noted that pruning involving the removal of 30% or more living canopy material requires a County permit. Additional pruning BMP's and guidelines are available upon request.

- 10) The primary objective of pruning operations should be as follows: To remove dead and unhealthy limbs and branches (i.e., deadwood removal); improve canopy balance and symmetry and maintain natural form; thin out overly dense and heavy portions of the canopy; and, if necessary, perform targeted and selective weight reduction pruning of the canopy and large limbs (i.e., end weight reduction pruning) to assist in preventing significant structural failures that can be detrimental to tree health and potentially hazardous to areas with human activity. As suggested in the previous sentence, perform necessary pruning to reduce and mitigate hazard concerns to occupied structures and areas with human activity; and perform necessary pruning to reduce wildland fire hazards and combustible fuel loads, and improve property protection and defensible space around structures.
- 11) Perform regular construction site inspections for the duration of the project to monitor the condition of tree and resource protection measures, and to determine if any repairs, adjustments or modifications are necessary. Additionally, trees impacted by site development should be periodically monitored and assessed during and following the project to determine if any tree care and management actions are necessary, and to make certain trees do not present a hazard to property and/or nearby structures.

C. Tree Repair & Replacement:

Per tree care and preservation BMP's, if any trees are damaged during construction operations they should be promptly repaired and/or treated per arborist specifications. Remedial or mitigation treatments may vary and will depend largely on the damage or injury sustained, as well as the condition of a specific tree at the time of injury. As previously noted, trees impacted by project operations should be periodically monitored and assessed by the project arborist during and following the project to determine if any tree care and management actions are necessary that will assist in preserving and improving tree health and preventing tree hazards.

V. CONCLUSION

In conclusion, for the reasons provided in this report a total of 7 coast live oak trees (identified as *Tree#s 7, 19 & 32-36*) located on the property at 9 Mesa Trail (Lot D12) on the *Santa Lucia Preserve* are proposed for removal in preparation for planned home construction activities. Additionally, tree and resource protection measures shall be installed prior to construction activities commencing and properly monitored and maintained for the duration of the project. Given the proper implementation of tree and resource protection measures provided in this report, construction related impacts are expected to be minimal and insignificant to tree health.

Additionally, in the interest of complying with *Monterey County RMA-Planning Department* tree removal permit conditions and preserving and sustaining the health and character of oak woodland habitat, 21 replacement oak trees shall be planted on the subject lot and survive a five-year monitoring period.

Best regards,

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ISA Certified Arborist # WE-7468A
Resource Ecologist

June 28, 2022
Date

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Figure 1. Driveway entrance to proposed main house construction site.



Figure 2. Another view of driveway entrance. Oaks visible in photo will be retained and protected.

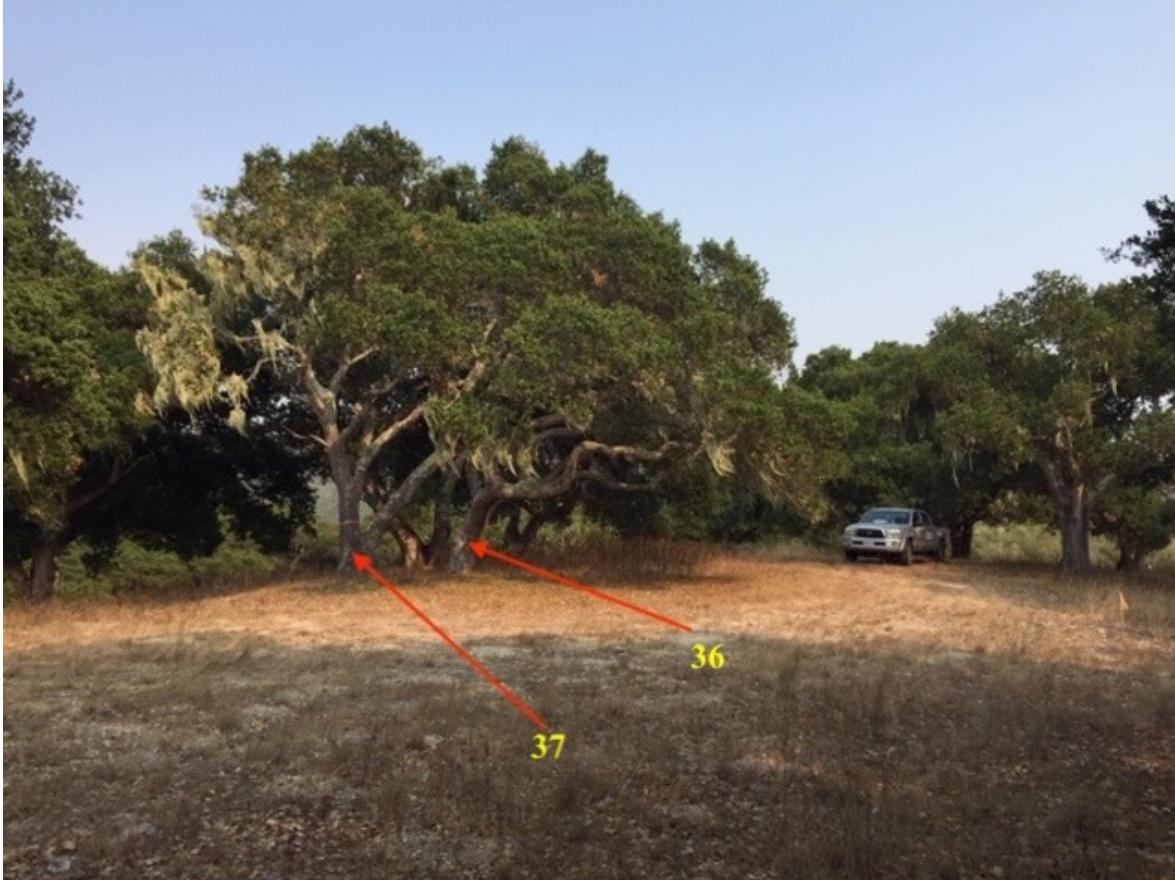


Figure 3. Another view of proposed main house construction site. *Tree#36* seen in photo is proposed for removal and *Tree#37* will now be retained and protected.



Figure 4. Another view of proposed main house construction site. *Tree#33* is proposed for removal due to location within construction footprint.



Figure 5. Grassland area of Homeland looking towards proposed pool location in foreground area and possible barn location in background area.



Figure 6. Another view of grassland dominated area of Homeland looking towards possible barn location.



Figure 7. Another view of grassland dominated area of Homeland.



Figure 8. Looking towards another possible barn location in the clearing left of center. Trees will be retained and protected.



Figure 9. Proposed driveway route. *Tree#7* in center of photo is proposed for removal due to location in driveway.



Figure 10. Proposed driveway route along edge of grassland clearing.



Figure 11. Proposed driveway route through oak woodland. Dead snag in center of photo will need to be removed.



Figure 12. Large population of non-native invasive French broom in adjacent Openlands. Several stands are occurring on lot.



Figure 13. *Tree#7* in center foreground is proposed for removal due to driveway location.



Figure 14. Closer view of *Tree#7*.



Figure 15. *Tree#19* (right of center in foreground) is recommended for removal due to close proximity to proposed bunk house.



Figure 16. *Tree#s 20* (background left) & *21* (center foreground) are no longer proposed for removal and will be retained and protected.



Figure 17. *Tree# 22* is no longer proposed for removal and will be retained and protected.



Figure 18. *Tree#s 32* (center foreground) & *33* (right background) are recommended for removal due to location within proposed homesite.



Figure 19. *Tree#s 32* (background left of center) & *33* (center foreground) are proposed for removal due to location within building footprint of main house.



Figure 20. Closer view of *Tree#33*.
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Figure 21. *Tree#s 34* (left of center) & *35* (right of center) are proposed for removal due to location within building footprint of main house.



Figure 22. *Tree#36* (right of center) is proposed for removal due to location within building footprint of main house and *Tree#37* (left of center) will be retained and protected.



Figure 23. Closer view of *Tree#36* that is proposed for removal.

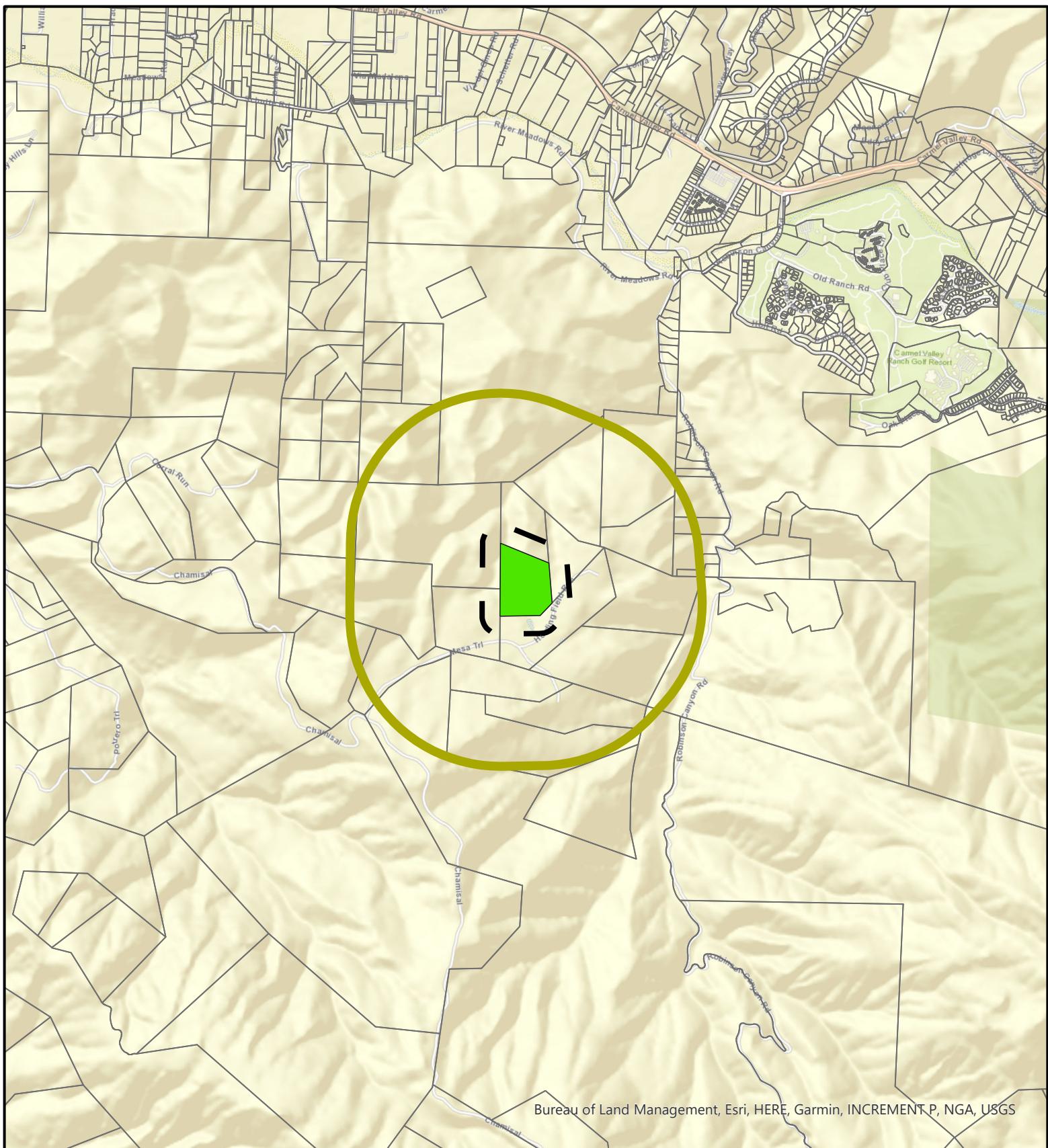


Figure 24. Closer view of *Tree#37* that will now be retained and protected.

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Exhibit C

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APPLICANT: BLISS BETSY W TR

APN: 239-101-022-000

FILE# PLN20213



0 0.05 0.1 0.2
Miles

— 2500' Buffer

Selected Parcel □ 300' Buffer



PLANNER: ZEPP

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