

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

BTL LLL INVESTMENTS LIMITED PARTNERSHIP (PLN230157)

RESOLUTION NO. 24-007

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding the project Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, existing structures, and no exceptions to the exemptions pursuant to section 15300.2 can be made; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow demolition of a 1,582 square foot portion of an existing single family dwelling, 559 square feet of existing decks and a 163 square foot porch; and construction of a 2,664 square foot single family dwelling addition, 279 square foot entry porch, 367 square foot terrace and associated site improvements, including interior and exterior modifications, all within 750 feet of a known archaeological resource.

Corrected on February 23, 2024. (This resolution corrects the previous resolution mailed out on February 21, 2024.)

[PLN230157, BTL LLL Investments Limited Partnership, 3194 Del Ciervo Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number: 008-361-015-000)]

The BTL LLL INVESTMENTS LIMITED PARTERSHIP (aka FPB Holdings LLC) application (PLN230157) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on February 21, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);

- Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Uses. The property is located at 3194 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-361-015-000), Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control Overlay, Coastal Zone or "LDR/1.5-D (CZ)". The LDR(CZ) zoning allows the development of single family dwellings and accessory structures as a principally allowed use, subject to the granting of a Coastal Administrative Permit and consistency with development standards that are outlined in Title 20 Section 20.14.040. The property is also located within a Design Control zoning district and is therefore subject to the provisions outlined in Chapter 20.44 which requires the granting of a Design Approval for exterior modifications to structures. This project involves the demolition of a 1,582 square foot portion of an existing single family dwelling, demolition of 559 square feet of existing decks and demolition of 163 square foot porch; and construction of a 2,664 square foot single family dwelling addition, a 279 square foot entry porch, a 367 square foot terrace and associated site improvements, including interior and exterior modifications. The amount of work will result in rebuilding more than 50% of the exterior walls which is considered a demolition/rebuild of a structure. Pursuant to CIP Section 20.147.080.A.1, a coastal development permit to allow development within 750 feet of a known archaeological resource. As demonstrated in subsequent Evidence "g", the requirement for such a permit is necessary in this case. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The property is shown in its current size and configuration as lot 15 in Assessors Map – El Pescadero Rd Book 8, Page 36 of the Monterey County Assessor's Maps. The current configuration and size of the subject property matches what is shown on the 1964 County's Assessor's Parcel Map. Therefore, the County recognizes the property as a legal lot of record.
- d) Design. The project site is located within a Design Control zoning overlay district. Pursuant to Title 20 Chapter 20.44, the Design Control overlay is intended to ensure the review of projects for location, size, configuration, materials and colors, and to protect public views and neighborhood character. This project will not have a detrimental effect on the existing neighborhood character nor an effect on the public viewshed. The existing single-family dwelling's massing will be altered slightly, while the architectural style will remain largely the same. The resulting massing will be consistent with the surrounding residential development. The colors and materials include a gray simulated slate roof for main house, standing seam copper roof for cupola, gray color shingle siding at walls, natural colors (mix of light gray, beige and sand)

stone veneer to accent walls and metal clad doors and windows (white and tan). The design, colors, and materials are visually consistent and compatible with the surrounding development and residential neighborhood. An exterior lighting plan has been made a condition of approval to ensure compliance with Monterey County Code (Condition No. 5). The proposed exterior finishes described above are designed to be fire resistant to ensure building safety, are consistent with the surrounding residential neighborhood character, and other accessory structures in the neighborhood.

- e) Development Standards. The project meets all required development standards for the LDR zoning district, including height, setback, coverage, and floor area ratio as outlined in Title 20 Section 20.14.060. Required setbacks in the LDR district for main structures not be less than 30 feet from the front of the property and 20 feet from the side and rear property lines. The maximum height shall be 30 feet. The proposed main residence addition is approximately 60 feet from the front property line, approximately 110 feet from the western side property line and approximately 30 feet from the eastern side property line. The height is proposed to be approximately 24 feet from average natural grade. The allowed maximum site coverage is 15% and floor area ratio (FAR) in the LDR/1.5(CZ) zoning district is 17.5%. The lot size is 1.558 acres, or approximately 67,866 square feet, which would allow site coverage of 10,180 square feet and FAR of 11,877 square feet. Proposed lot coverage is approximately 6,250 square feet, or 9.2% and FAR is 6,178 square feet or 9.1%. Therefore, the subject project conforms and complies with all site development requirements pursuant of the Monterey County Code.
- f) Pescadero Watershed. DMF LUP Policy 77 and CIP Section 20.147.030.A.1 requires new residential development located within the Pescadero Watershed which drain into the Carmel Bay Area of Special Biological Significance be limited to a maximum of 9,000 square feet of site coverage, for both structural and other impervious surfaces. The subject property is located within the Pescadero Watershed as illustrated in DMF LUP Figure 2b. The existing total impervious surface coverage on the site is 12,408 square feet and although the project includes a structural addition, it includes the conversion of asphalt driveway areas to permeable pavers resulting in a total impervious coverage of 9,000 square feet.
- g) Cultural Resources. Staff found, by utilizing County Geographic Informational System (GIS), that the project site is located in an area of high archaeological sensitivity and within 750 feet of known archaeological resources. Pursuant to CIP section 20.147.080.B.1, the applicant caused a Preliminary Archaeological Assessment to be prepared by Gary S. Breschini in February 2018 (Monterey County Document No. LIB180171). Based on the background research and the field reconnaissance, the Archaeologist concluded there was no surface evidence of potentially significant archaeological resources on the examined areas of the parcel. The report recommended that the proposed project should not be delayed for archaeological reasons. The

potential for inadvertent impacts to cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction and thus, as proposed, designed, and conditioned, the proposed project minimizes and avoids potential impacts to archaeological resources.

- h) Public Access. The project will not conflict with an existing access point to the coastline and does not require new access pursuant to standards in the DMF LUP and CIP. See Finding No. 5.
- i) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the current LUAC Guidelines, this project did not warrant referral because it does not involve a Design Approval requiring approval at a public hearing, preparation of an environmental document, a lot line adjustment, or a variance.
- j) The project planner conducted a site inspection on December 13, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project Files PLN230157.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Pebble Beach Community Services District and the Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - c) Staff conducted a site inspection on December 13, 2023 to verify that the site is suitable for this use, and researched County records to assess if any violation exists on the subject property.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project Files PLN230157.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau, and Pebble Beach Community Services District and conditions were recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. For potable water, the parcel will continue to be served by the Cal-AM. For wastewater and collection/treatment the property is served by the Pebble Beach Community Services District and the Carmel Area Wastewater District.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed amendment found in Project Files PLN230157.

4. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts existing structures.
 - b) This project involves construction of a 2,664 square foot single family dwelling addition, 279 square foot entry porch, 367 square foot terrace and associated site improvements, including interior and exterior modifications. Therefore, the proposed development qualifies as Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, existing structures.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development that will adversely impact views from a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Additionally, there are no unusual circumstances because there is no feature or condition of the project that distinguishes the project from the exempt class.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on December 13, 2023.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed amendment found in Project Files PLN230157.

5. **FINDING:** **PUBLIC ACCESS** – The proposed project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in CIP Section 20.147.130 can be demonstrated.

- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (DMF LUP Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities).
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230157.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Pursuant to Section 20.86.080.A.1 and 3 of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because the project is located between the sea and the first through public road paralleling the sea and it involves development that is permitted in the underlying zone as a conditional use.


DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, existing structures, and no exceptions to the exemptions pursuant to section 15300.2 can be made; and
2. Approve a Coastal Administrative Permit and Design Approval to allow demolition of a 1,582 square foot portion of an existing single family dwelling, 559 square feet of existing decks and a 163 square foot porch; and construction of a 2,664 square foot single family dwelling addition, 279 square foot entry porch, 367 square foot terrace and associated site improvements, including interior and exterior modifications, all within 750 feet of a known archaeological resource.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of February 2024.

DocuSigned by:

9A435825BB24#EC...

Craig Spencer
Acting, HCD Director

COPY OF THIS DECISION MAILED TO APPLICANT ON **FEBRUARY 21, 2024.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **MARCH 4, 2024.**

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a construction permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no construction permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230157

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Coastal Administrative Permit and Design Approval (PLN230157) allow the demolition of a 1,582 square foot portion of an existing single family dwelling, 559 square feet of existing decks and a 163 square foot porch; and construction of a 2,664 square foot single family dwelling addition, 279 square foot entry porch, 367 square foot terrace and associated site improvements, including interior and exterior modifications, all within 750 feet of a known archaeological resource. The property is located at 3194 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-361-015-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Coastal Administrative Permit and Design Approval (Resolution Number 24-007) was approved by HCD Director or Designee for Assessor's Parcel Number 008-361-015-000 on February 21, 2024. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring The Owner/Applicant shall adhere to this condition on an on-going basis.

Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

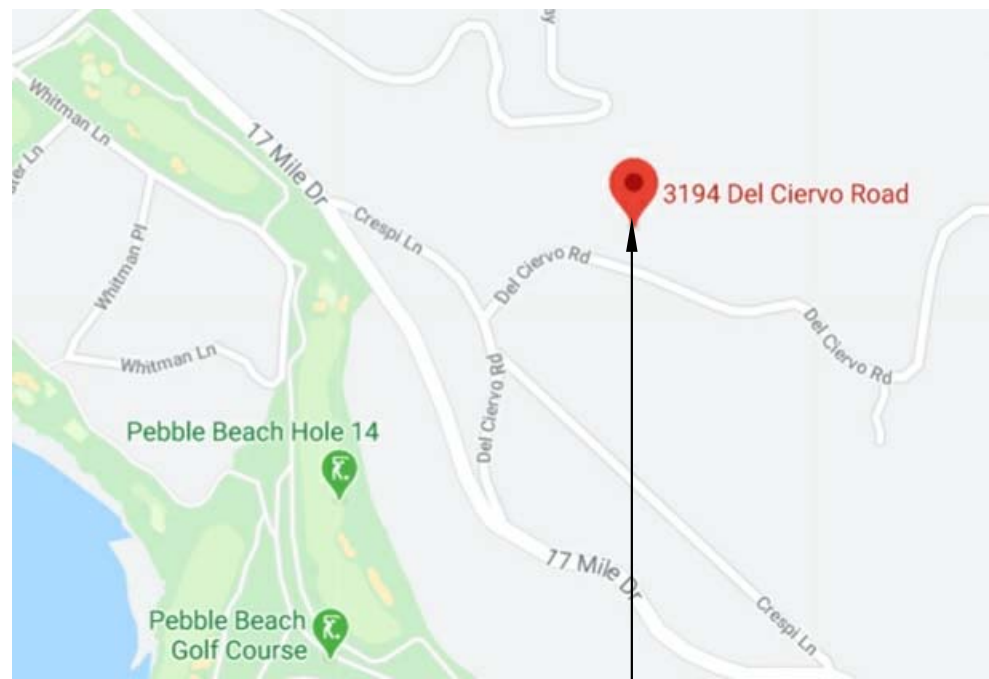
Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

EXTERIOR LIGHTING LEGEND



VICINITY MAP



PROJECT LOCATION

PROPERTY OWNER:

BLAKE AND LAURIE LIEDTKE
808 TRAVIS STREET
HOUSTON, TX. 77002
PH. (713) 528-3833

PROJECT ADDRESS:

3194 DEL CIERVO ROAD
PEBBLE BEACH, CA.

PROJECT SCOPE:

- 2,182 SF INTERIOR REMODEL, 1,582 SF DEMOLITION, AND 2,664 SF ADDITION TO EXISTING SINGLE FAMILY RESIDENCE MAIN LEVEL
- REPLACE ALL EXTERIOR DOORS AND WINDOWS
- REMOVE 163 SF EXISTING ENTRY PORCH AND STAIR AND REPLACE WITH NEW 279 SF ENTRY PORCH AND STAIR
- NEW 367 SF TERRACE WITH STORAGE BELOW
- REMOVE 559 SF EXISTING DECKS
- NEW 42 SF STEPS AT NEW DINING ROOM
- ADDITION OF 15 SF TO EXISTING BALCONY
- NEW PERMEABLE KITCHEN PATIO WITH 39 SF ROCK WALL AND BUILT IN BBQ
- NEW EXTERIOR FINISHES, SEE COLOR AND MATERIAL SAMPLE

OCCUPANCY:

R-3, U

CONST. TYPE:

V-B

A.P.N.

008-361-015

LEGAL DESC.:

LOT: BLOCK:

ZONE:

LDR 1.5-D(CZ)

STORIES:

TWO

MAX BLDG. HT:

30 FT

GRADING:

SEE CIVIL DRAWINGS

TREE REMOVAL:

NONE

TOPOGRAPHY:

SLOPING

PROJECT CODE COMPLIANCE:

2022 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2022 CALIFORNIA ENERGY CODE

LOT AREA:

69,718.3 S.F. (1.6 Ac.)

LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
BUILDINGS	4,426	2,664	-1,582	5,508
DECKS/STAIRS	722	336	-722	336
TERRACE	0	367	0	367
DRIVEWAY/WALKWAY	7,260	0	-4,510	2,750
ROCK WALL/BBQ	0	39	0	39
TOTAL	12,408	3,406	-6,814	9,000

LOT COVERAGE ALLOWED:

12,200.7 SF (17.5%)

LOT COVERAGE EXISTING:

12,408 SF (17.8%)

LOT COVERAGE PROPOSED:

9,000 SF (12.9%)

PESCADERO COVERAGE ALLOWED:

9,000 SF

PESCADERO COVERAGE PROPOSED:

9,000 SF

F.A.R. CALCULATIONS

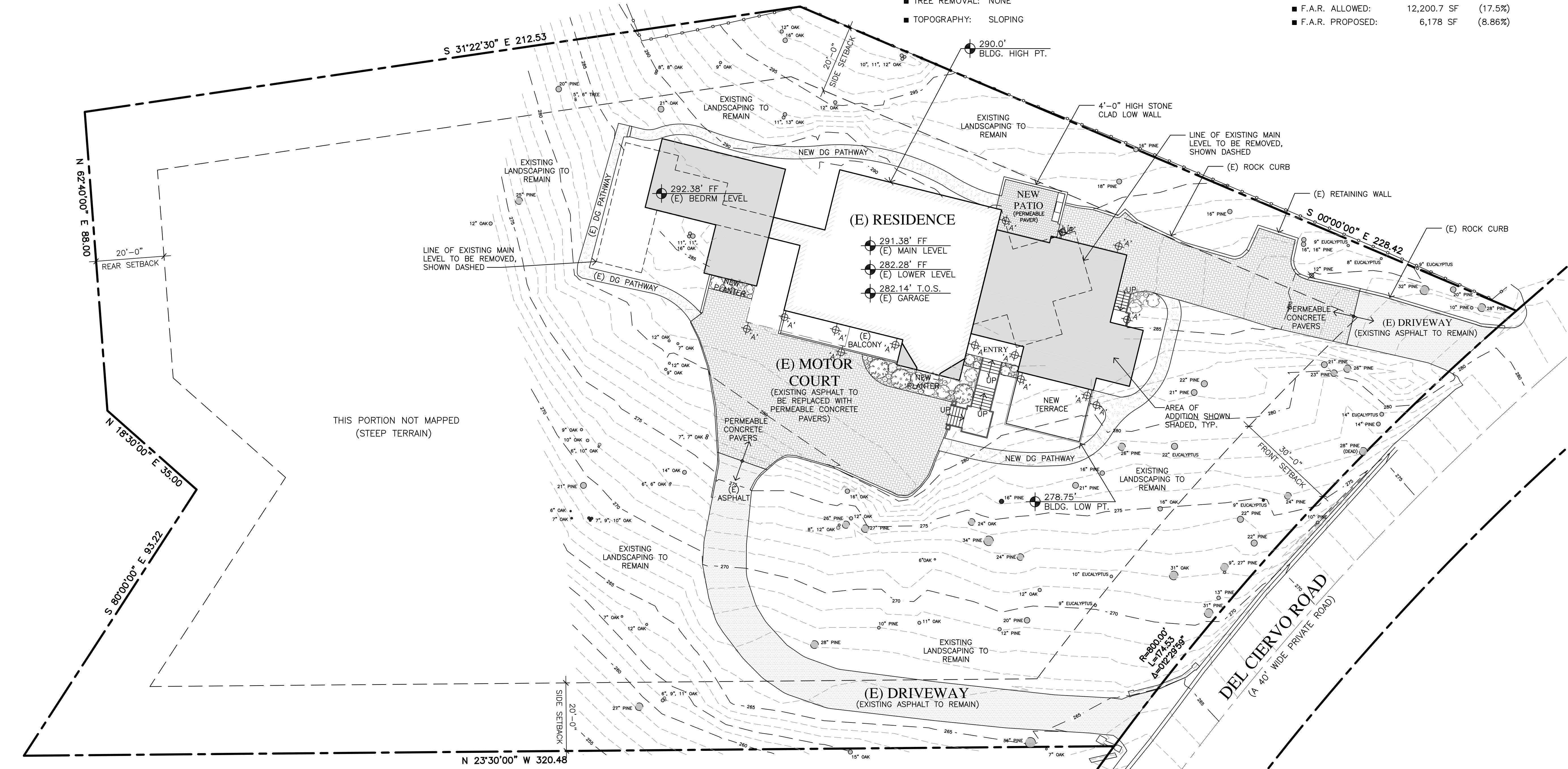
	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING				
MAIN FLOOR	4,052	2,664	-1,582	5,134
LOWER FLOOR	295	0	0	295
GARAGE	749	0	0	749
TOTAL	5,096	2,664	-1,582	6,178

F.A.R. ALLOWED:

12,200.7 SF (17.5%)

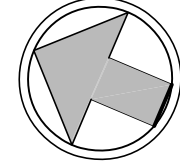
F.A.R. PROPOSED:

6,178 SF (8.86%)



SITE PLAN

1/16"=1'-0"



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

DISCLAIMER:

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STAMPS:

PROJECT/CLIENT:

LIEDTKE
RESIDENCE

PROJECT ADDRESS:

3194 DEL CIERVO
RD.
PEBBLE BEACH, CA
93953

APN: 008-361-015

DATE: JUNE 1, 2023

APPLICATION REQUEST SUBMITTAL

REVISIONS:

- JULY 28, 2023
P.B. ARB. SUBMITTAL
- AUGUST 25, 2023
PLANNING DEPT. SUBMITTAL

SITE
PLAN

SHEET NO.

A1.0

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STAMPS:

PROJECT/CLIENT:

LIEDTKE
RESIDENCE

PROJECT ADDRESS:

3194 DEL CIERVO
RD.
PEBBLE BEACH, CA
93953

APN: 008-361-015

DATE: JUNE 1, 2023

APPLICATION REQUEST SUBMITTAL

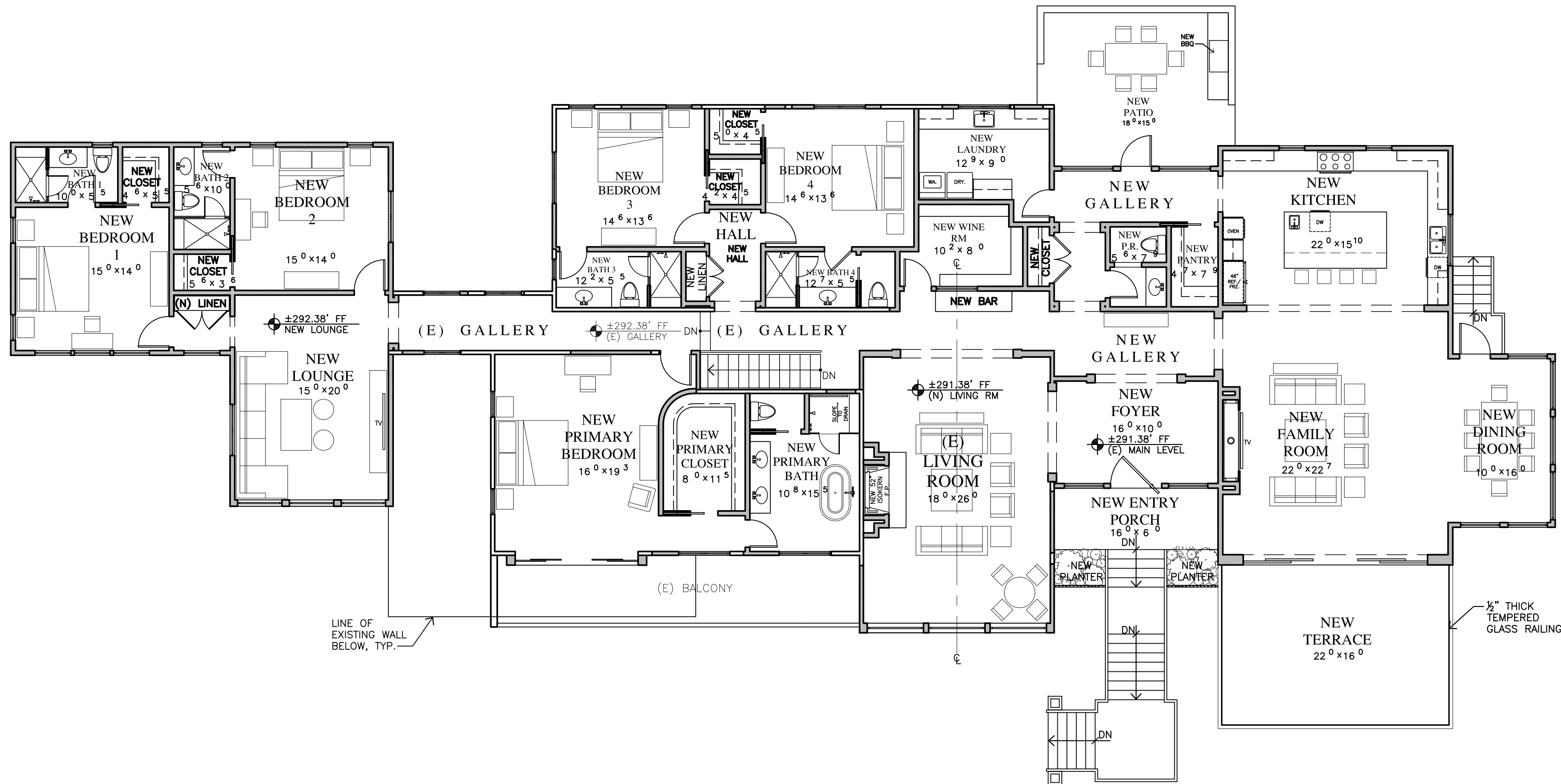
REVISIONS:

△	JULY 28, 2023
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△	AUGUST 25, 2023
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MAIN LEVEL
PLAN

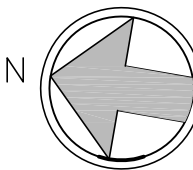
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A2.0



MAIN LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

LIEDTKE
RESIDENCE

PROJECT ADDRESS:

3194 DEL CIERVO
RD.
PEBBLE BEACH, CA
93953

APN: 008-361-015

DATE: JUNE 1, 2023

APPLICATION REQUEST SUBMITTAL

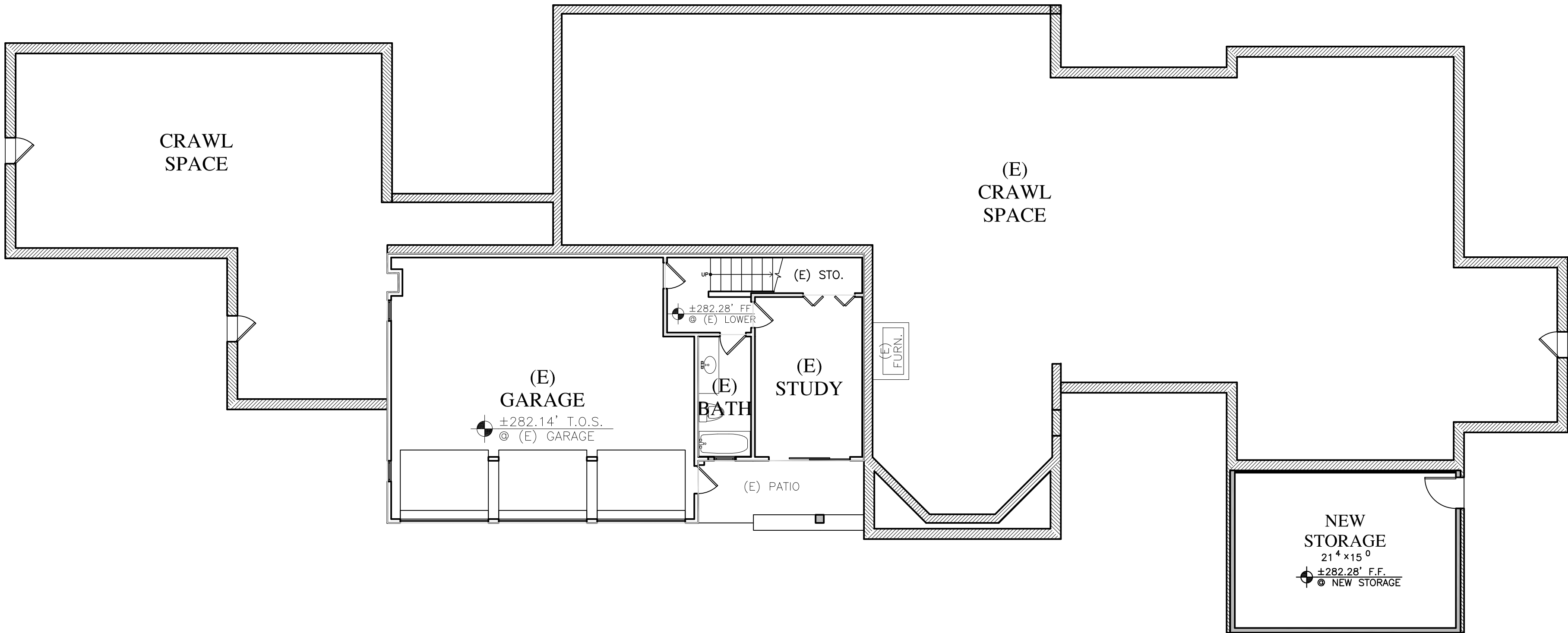
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LOWER LEVEL
PLAN

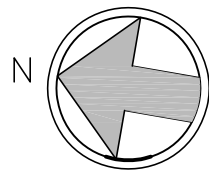
SHEET NO.

A4.0



LOWER LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

2X EXISTING WALL TO REMAIN
2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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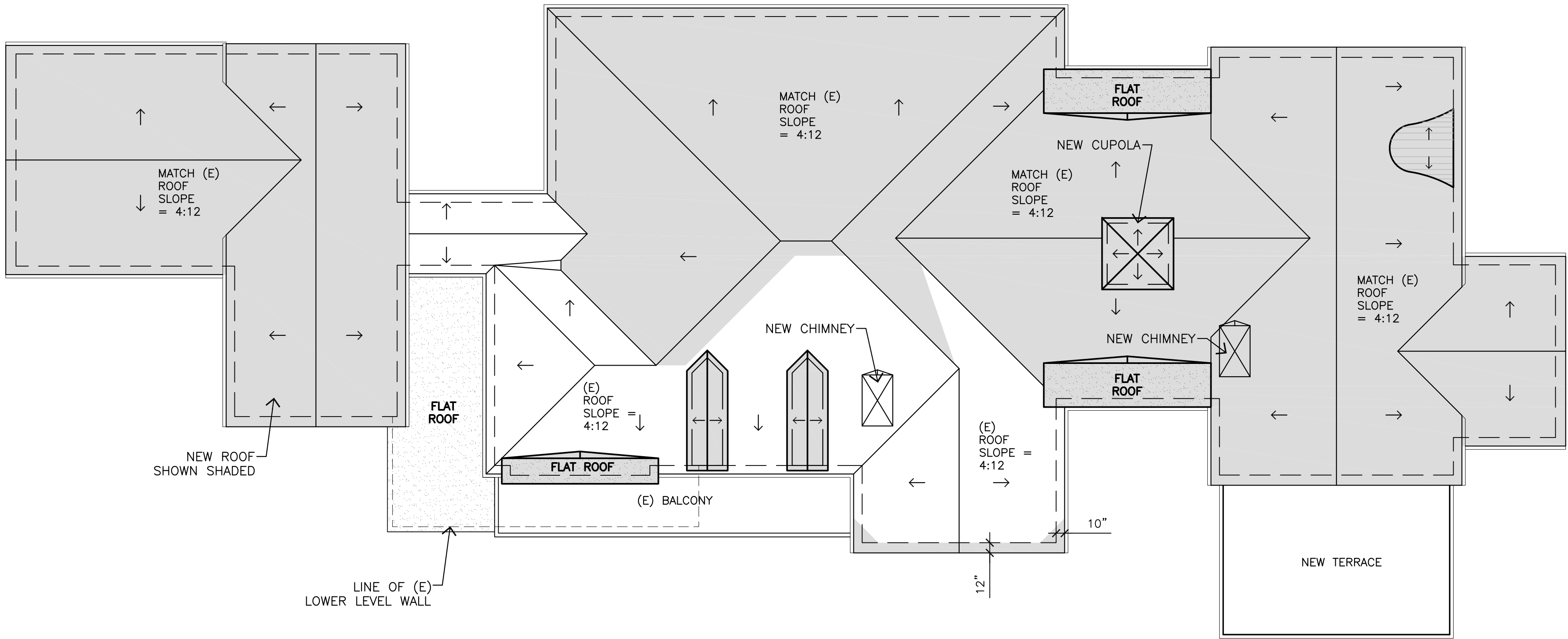
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**ROOF
PLAN**

SHEET NO.

A5.0



ROOF PLAN

1/8"=1'-0" N

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PACIFIC GROVE CA,
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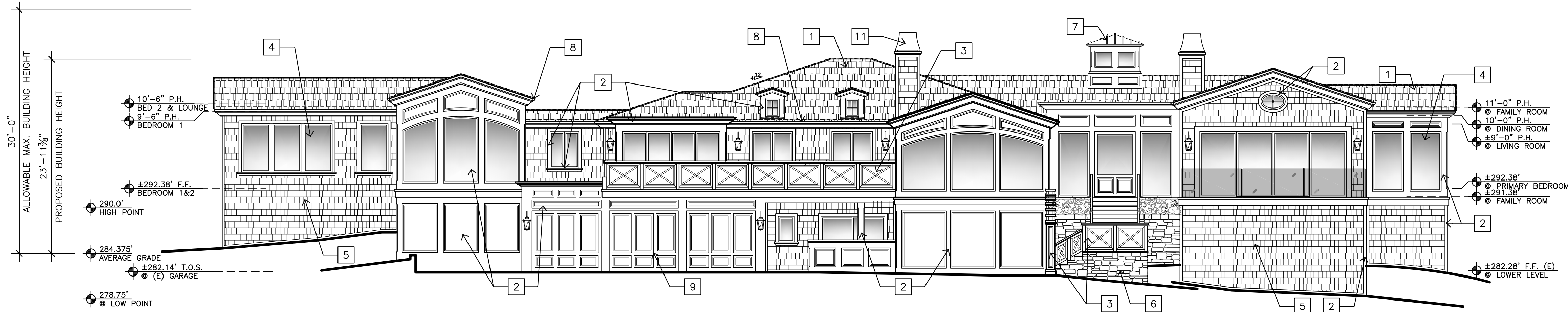
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ELEVATIONS

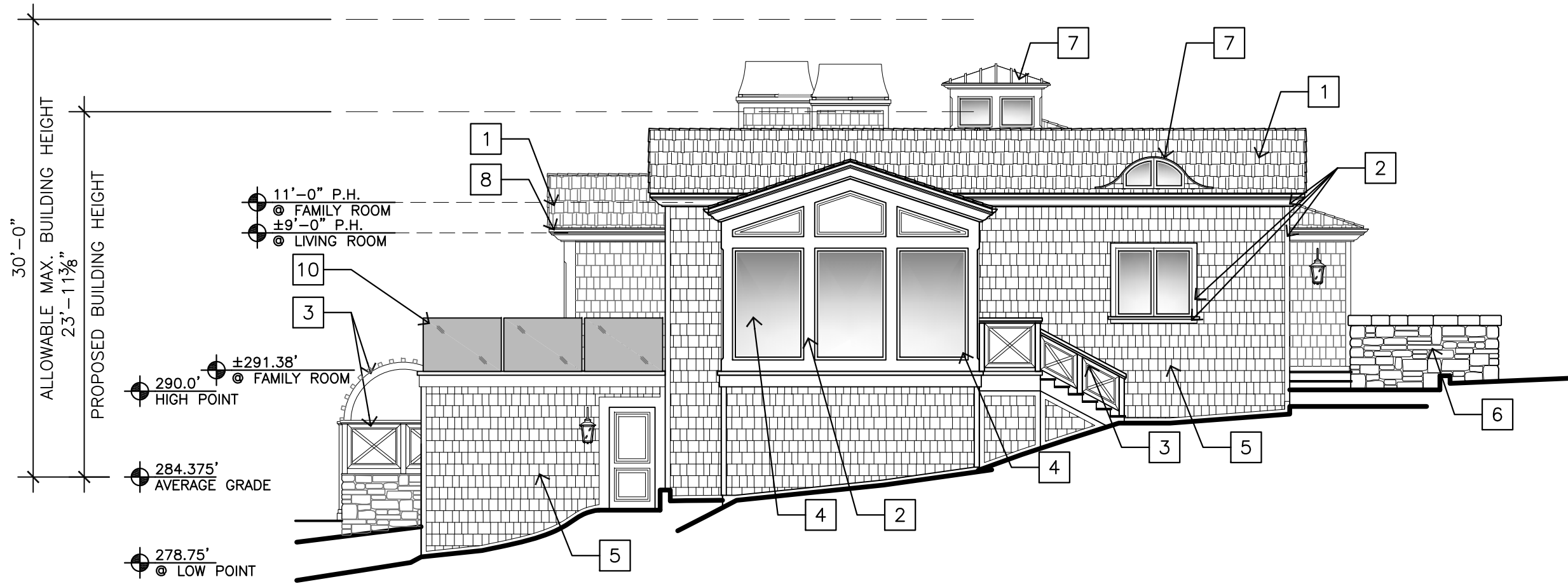
SHEET NO.

A6.0



WEST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 SIMULATED SLATE ROOF, DA VINCI OR EQUAL
- 2 PAINTED CEDAR TRIM, PANELS, MOLDINGS, SURROUNDS, AND SILLS
- 3 PAINTED CEDAR ARBOR, PILASTERS, AND STAIR RAILING
- 4 METAL CLAD EXTERIOR DOORS AND WINDOWS - JELD-WEN HERITAGE SERIES OR EQUAL
- 5 HARDIE SHINGLE SIDING, JAMES HARDIE
- 6 EXTERIOR RANDOM STONE VENEER
- 7 STANDING SEAM COPPER ROOF
- 8 5" O'GEE COPPER GUTTER AND DOWNSPOUTS
- 9 PAINTED WOOD ROLL-UP OVERHEAD GARAGE DOOR
- 10 1/2" THICK TEMPERED GLASS RAILING
- 11 PRE-MANUFACTURED COPPER CHIMNEY SHROUD

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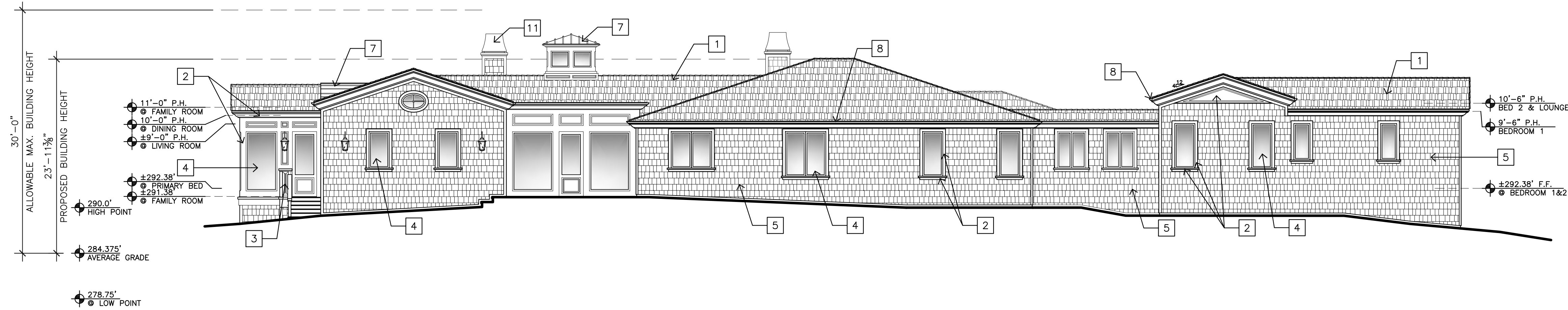
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ELEVATIONS

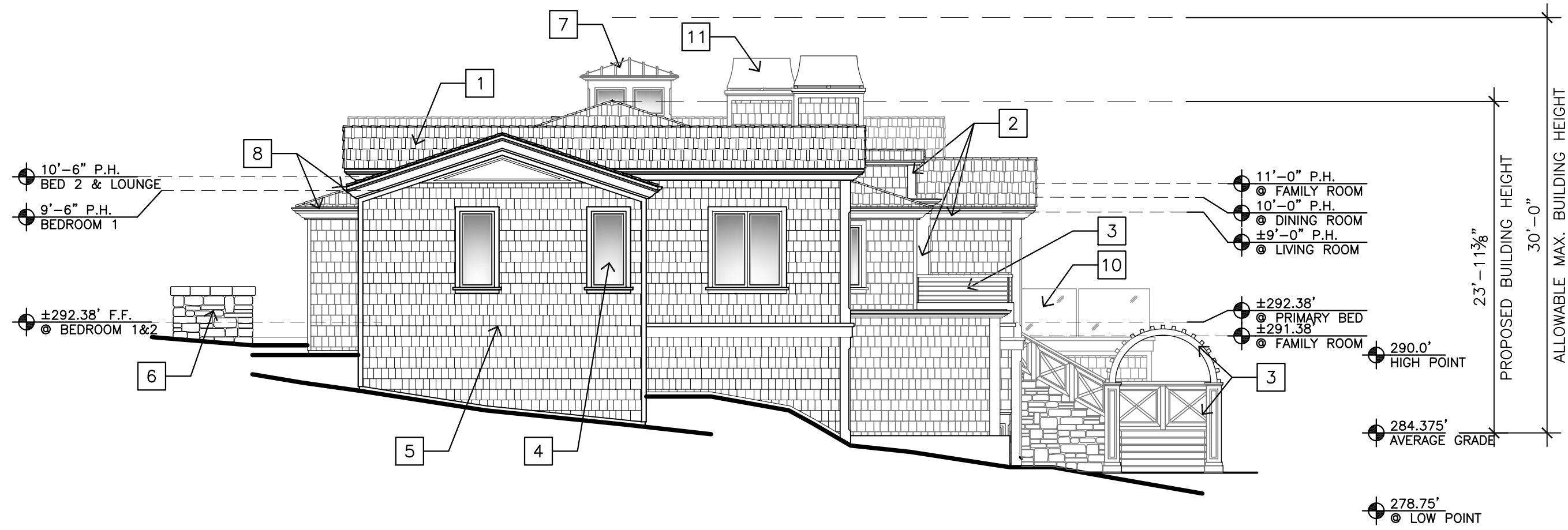
SHEET NO.

A6.1



EAST ELEVATION

1/8"=1'-0"

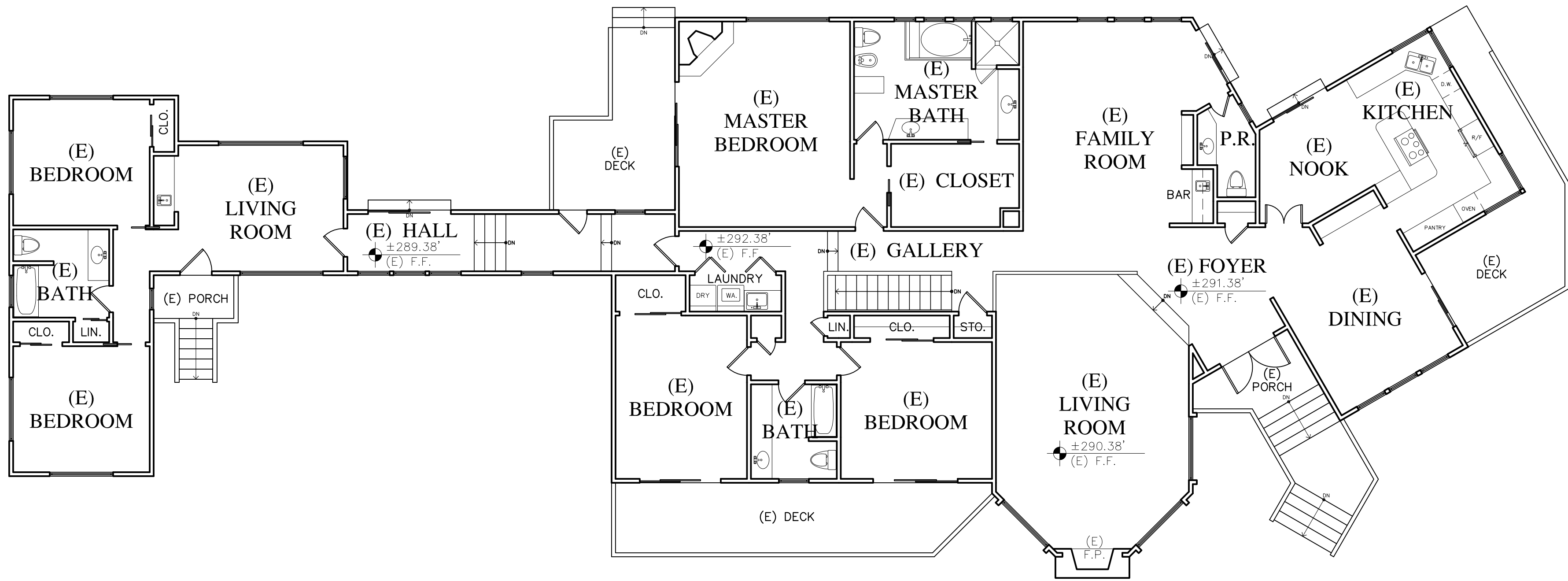


NORTH ELEVATION

1/8"=1'-0"

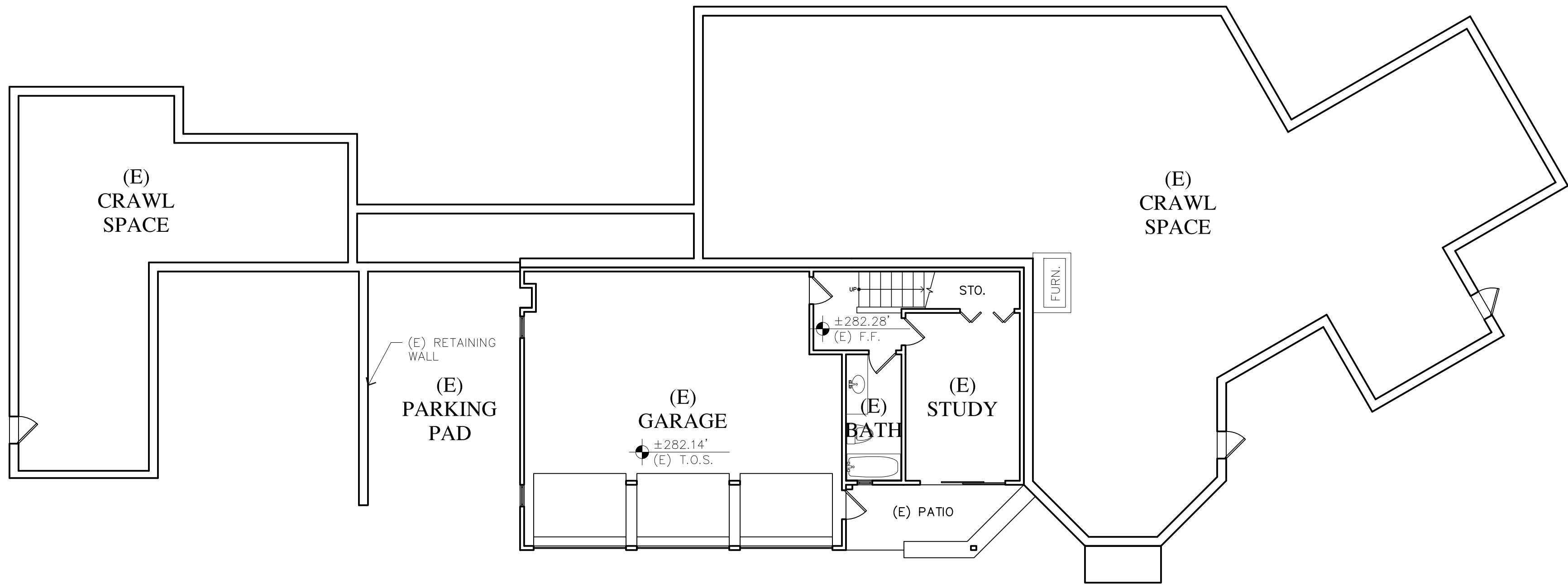
EXTERIOR FINISH LEGEND

- 1 SIMULATED SLATE ROOF, DA VINCI OR EQUAL
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- 10 1/2" THICK TEMPERED GLASS RAILING
- 11 PRE-MANUFACTURED COPPER CHIMNEY SHROUD



MAIN LEVEL AS-BUILT PLAN

1/8"=1'-0"



LOWER LEVEL AS-BUILT PLAN

1/8"=1'-0"

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
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PROJECT ADDRESS:

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MAIN & LOWER
AS-BUILT

SHEET NO.

D1.0

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ELEVATIONS
AS-BUILT

SHEET NO.

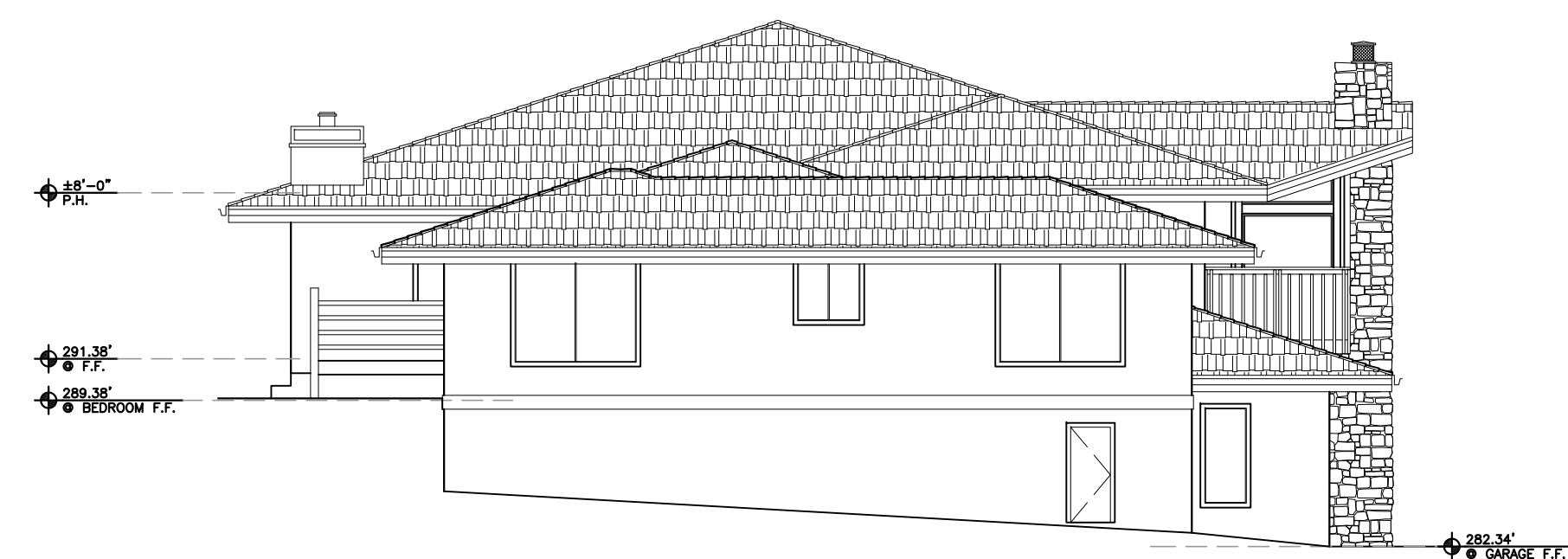
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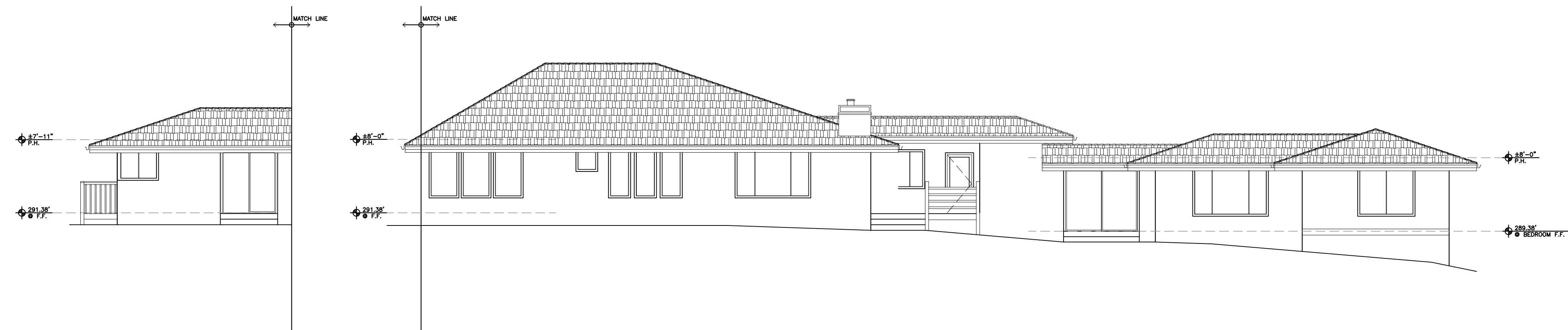
WEST ELEVATION AS-BUILT

$$1/8'' = 1' - 0''$$


SOUTH ELEVATION AS-BUILT

$$1/8'' = 1' - 0''$$


NORTH ELEVATION AS-BUILT

$$1/8'' = 1' - 0''$$


EAST ELEVATION AS-BUILT

$$1/8'' = 1' - 0''$$

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANT	SIZE	WUCOLS
ARC HOW	<i>Arctostaphylos</i> 'Howard McMinn'	Howard McMinn's Manzanita	8	5 gal	Low
CEA HEA	<i>Ceanothus</i> 'Hearstorum'	Hearstorum Creeper Ceanothus	16	5 gal	Low
CEA GLO	<i>Ceanothus gloriosus</i> 'Pt Reyes'	Pt Reyes Ceanothus	33	5 gal	Low
HEU OLD	<i>Heuchera</i> 'Old la Rochette;	Coral Bells	10	1 gal	Low
LOM BRE	<i>Lomandra longifolia</i> 'Breeze'	Dwarf Mat Rush	18	5 gal	Low
OLE EUR	<i>Olea europea</i> 'Montra'	Dwarf Olive	9	15 gal	Low
RHA CAL	<i>Rhamnus californica</i> 'Mound San Bruno'	Mound San Bruno Coffeeberry	12	5 gal	Low
ROS OFF	<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	14	5 gal	Low
SAL CLE	<i>Salvia clevelandii</i> 'Pozo Blue'	Grey Musk Sage	16	5 gal	Low
SAL LEU	<i>Salvia leucantha</i> 'Santa Barbara'	Santa Barbara Sage	20	5 gal	Low
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	14	5 gal	Med

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.
GUIDLINES AS FOLLOWS:
-ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
-MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
-MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
-TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
-TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
-REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
-REMOVE ALL CUT MATERIAL FROM THE AREA
-MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.
GUIDLINES AS FOLLOWS:
KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:
VEHICLE ACCESS FROM DEL CIERVO ROAD.

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

SCOPE OF WORK:

THIS IS EXISTING LANDSCAPE WITH NEW LANDSCAPING CLOSE TO THE HOUSE AND REMODELING A DRIP IRRIGATION SYSTEM RUN BY A SMART CONTROLLER.

PROJECT INFORMATION:

OWNER
BLAKE AND LAURIE LIEDTKE
SITE
3194 DEL CIERVO DR.
PEBBLE BEACH, CA 93953.
APN
008-361-015
TOPOGRAPHY
SLOPING
TREE REMOVAL
NONE
GRADING
SEE GRADING PLAN

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

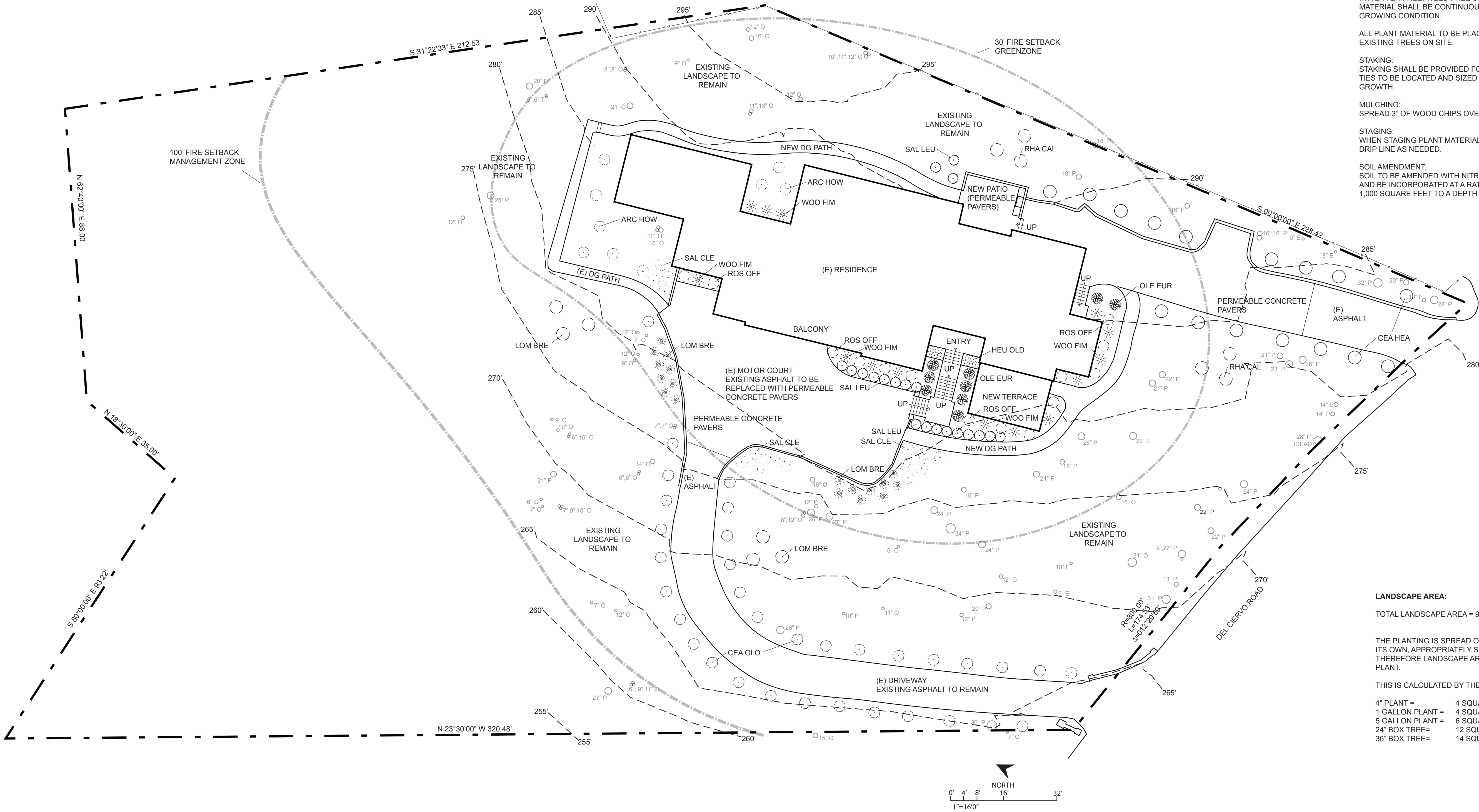
ALL PLANT MATERIAL TO BE PLACED TO MAINTAIN THE HEALTH OF EXISTING TREES ON SITE.

STAKING:
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:
SPREAD 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING:
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT:
SOIL TO BE AMENDED WITH NITRIFIED REDWOOD SAWDUST COMPOST AND BE INCORPORATED AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF 6" INTO THE LANDSCAPE AREA.



LANDSCAPE AREA:

TOTAL LANDSCAPE AREA = 970 SF OF LOW WATER USE
84 SF OF MED WATER USE

THE PLANTING IS SPREAD OUT AND EACH PLANT HAS ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND THEREFORE LANDSCAPE AREA IS CALCULATED PER PLANT.

THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

4" PLANT = 4 SQUARE FOOT
1 GALLON PLANT = 4 SQUARE FEET
5 GALLON PLANT = 6 SQUARE FEET
24" BOX TREE = 12 SQUARE FEET
36" BOX TREE = 14 SQUARE FEET



MISSION
LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Liedtke Residence
3194 Del Ciervo Rd.
Pebble Beach, CA 93953.

A.P.N.: 008-361-015
Revisions:



Drawing Title:

Landscape Plan

Date: 08/24/23

Scale: 1"=16'0"

Drawn By: pW

Page Number:

L1.0

IRRIGATION SCHEDULE:
FOR ESTABLISHMENT PERIOD - ONE YEAR
1 AND 2 GALLON PLANTS 15 MINS X 2 TIMES PER WEEK
5 AND 15 GALLON PLANTS 20 MINS X 2 TIMES PER WEEK
24" BOX TREES 30 MINS X 2 TIMES PER WEEK

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS
1 AND 2 GALLON PLANTS 15 MINS X 1 TIMES PER WEEK
5 AND 15 GALLON PLANTS 20 MINS X 1 TIMES PER WEEK
24" BOX TREES 30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.

IRRIGATION NOTES:

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

LANDSCAPING STATEMENT:

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I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Patrick Wilson

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL
4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.
5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BEOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS:
ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

IRRIGATION NOTES:

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

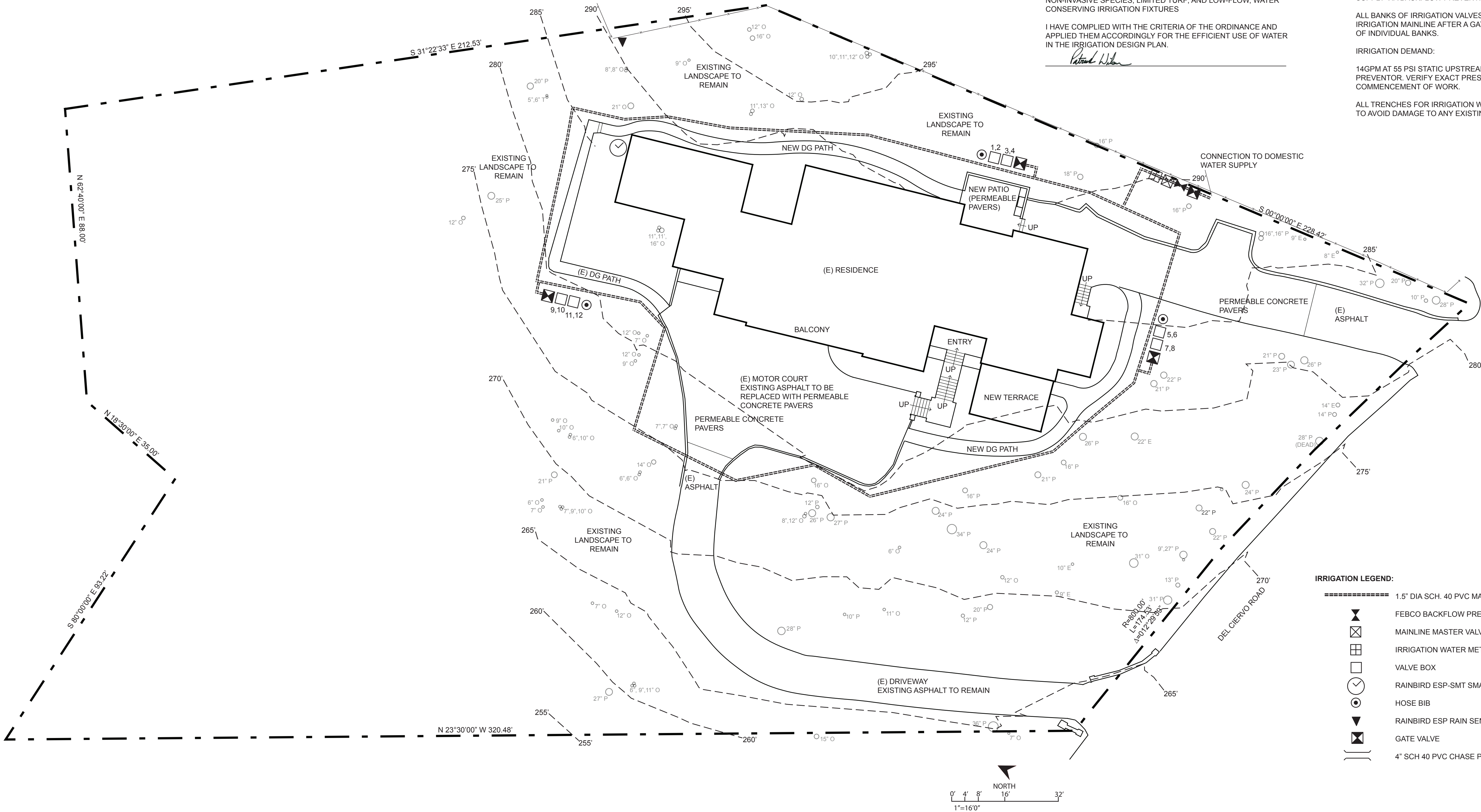
CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS



**MISSION
LANDSCAPING**

**P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950**

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F 831 373 2283**
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

**Liedtke Residence
3194 Del Ciervo Rd.
Pebble Beach, CA 93953.**

A.P.N.: 008-361-015
Revisions:



Drawing Title:

Irrigation Plan

Date: 08/24/23

Scale: 1"=16'0"

Drawn By: pW

Page Number:

L2.0



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Irrigation Details

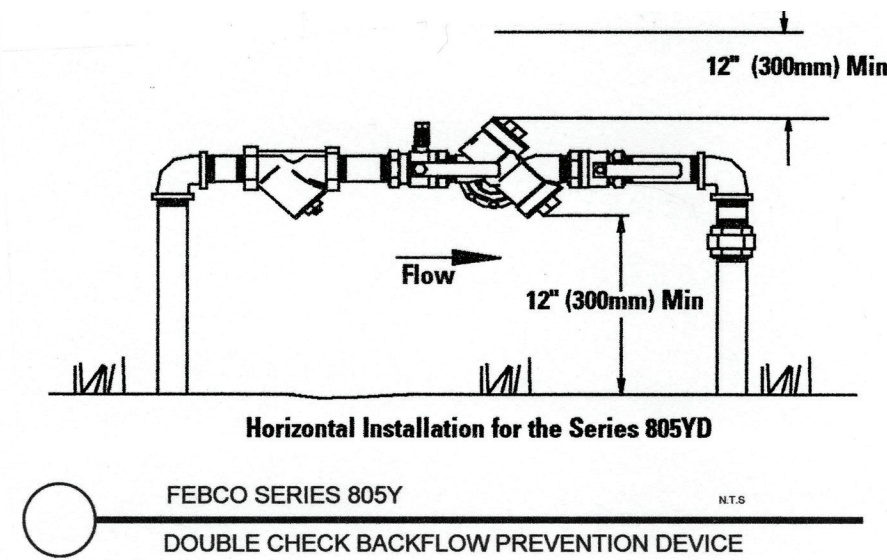
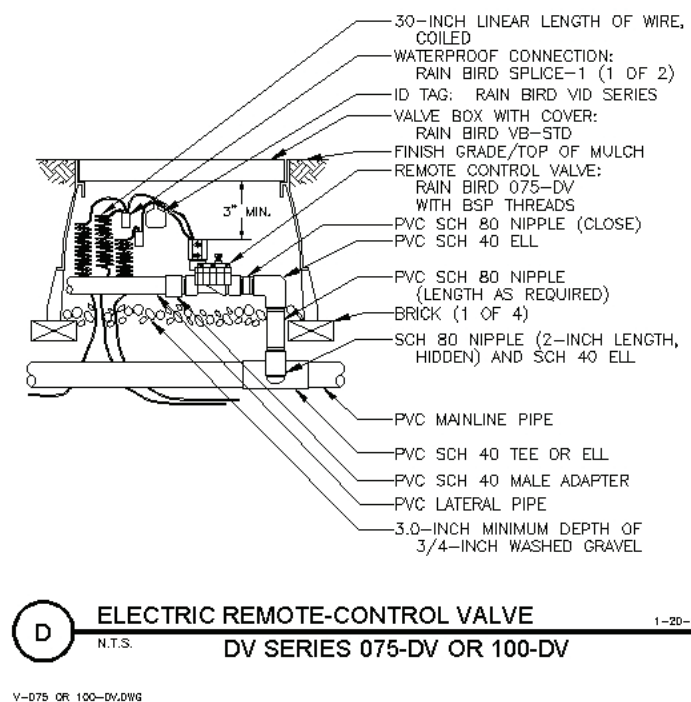
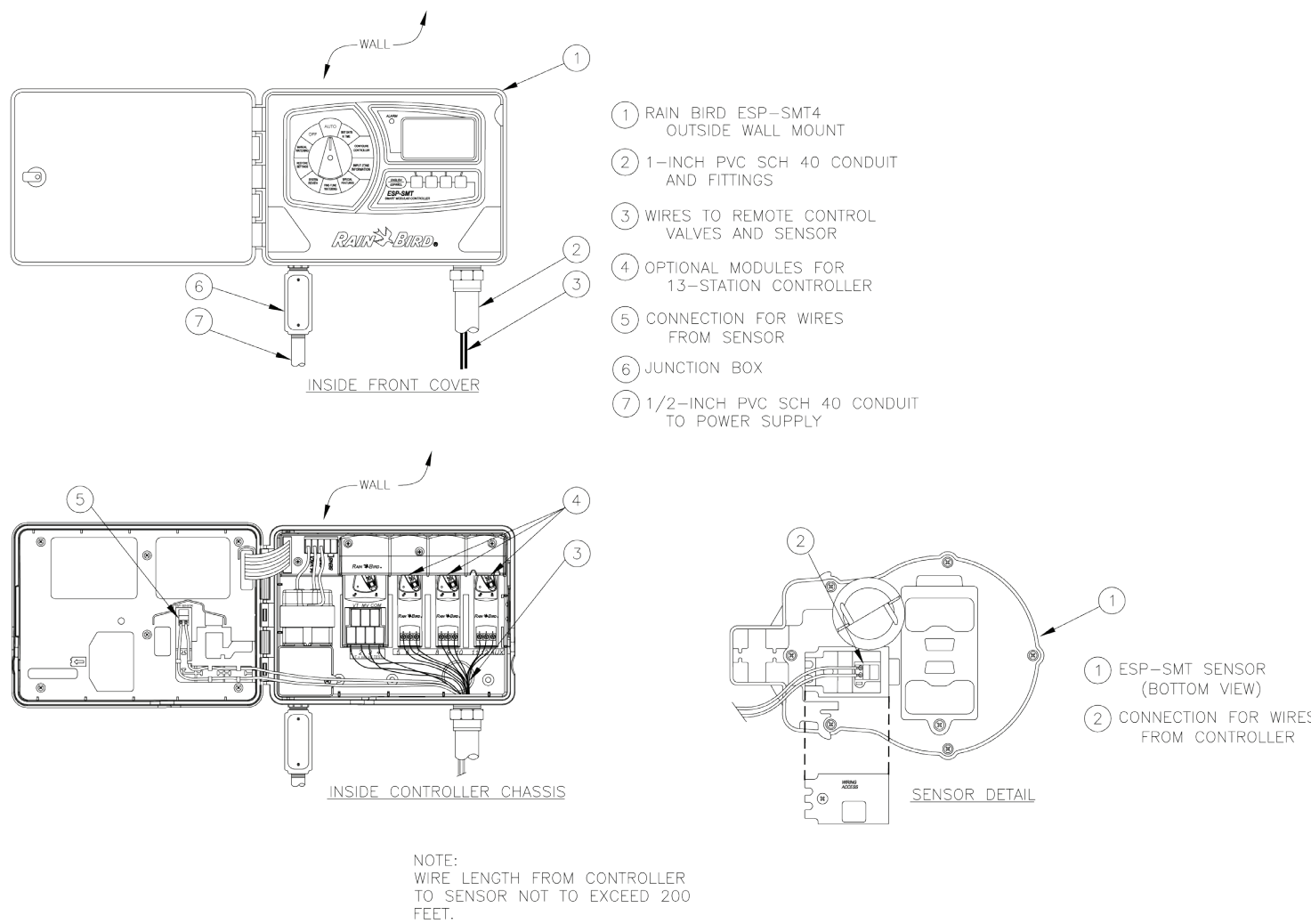
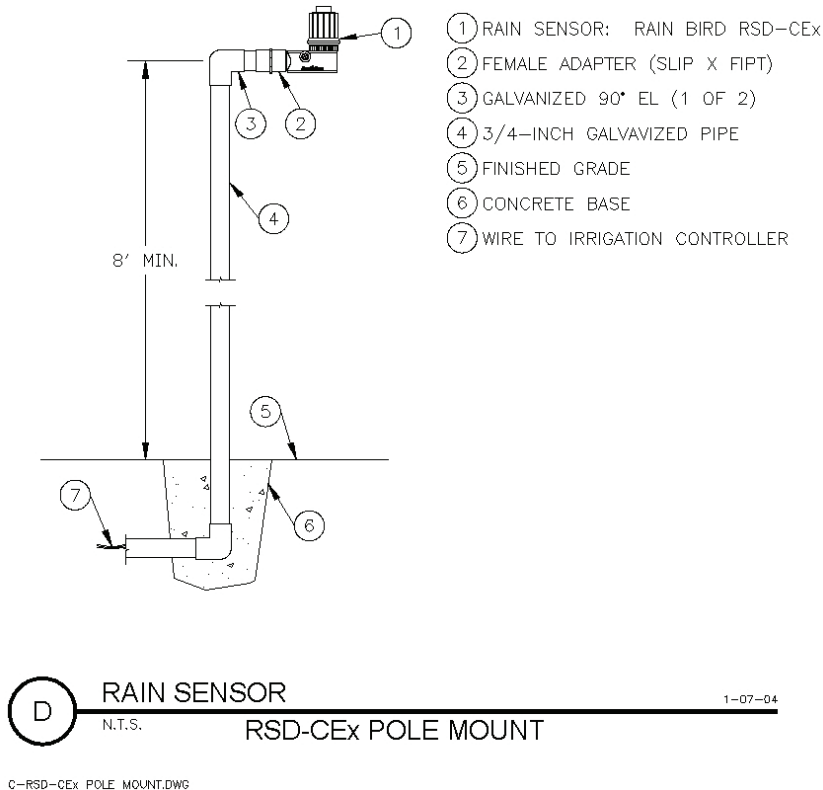
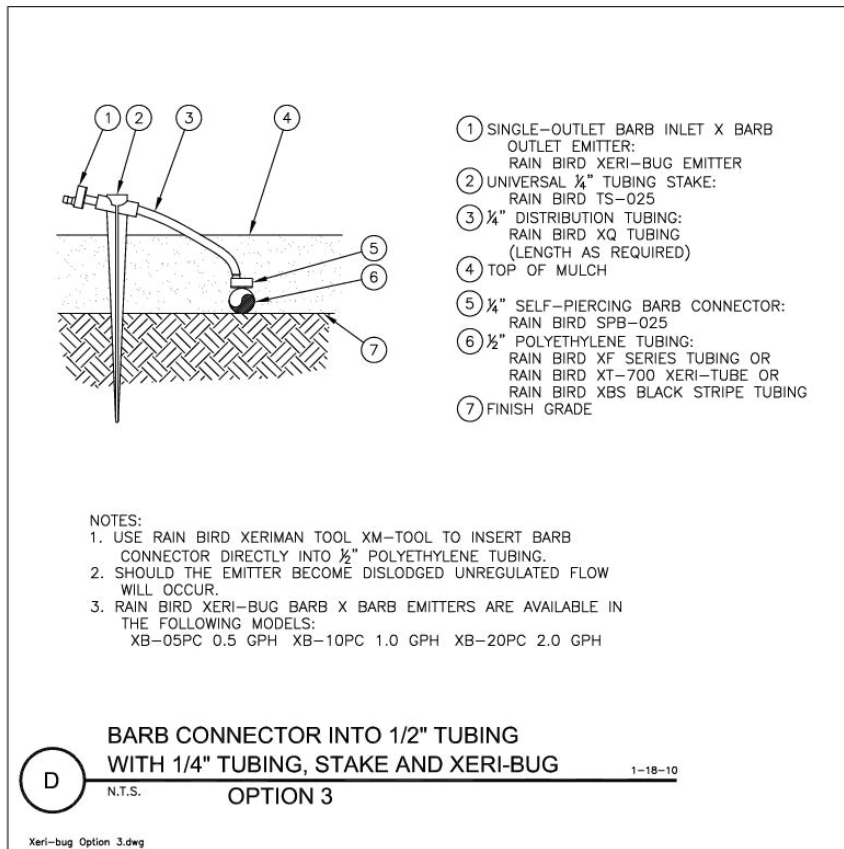
Date: 08/24/23

Scale:

Drawn By: pw

Page Number:

L2.1



Water Efficient Landscape Worksheet						
Instructions:						
Fill in all items in this color						
Answer is shown in this color						
Reference Evapotranspiration (ETo)						
36 Pebble Beach						
Hydrozone#/Planting Description	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement
	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area
Regular Landscape Areas						
1) low water use plants	0.2	Drip	0.81	0.247	970	239.51
2) medium water use plants	0.4	Drip	0.494	0	0.00	0
3) high water use (pool & spa)	0.7	Drip	1	0.700	84	58.80
						0
					1,054	298.31
						6,658
Special Landscape Areas (SLA): Recycled Water						
1) low water use plants				1	0	0
2) medium water use plants				1	0	0
3) medium water use plants				1	0	0
					0	0
					0	0
						6,658
						10,586
Maximum Allowed Water Allowance (MAWA)						
ETAF Calculations						
Regular Landscape Areas						
Total ETAF x Area	298					
Total Area	1,054					
Average ETAF	0.28					
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.						
All Landscape Areas						
Total ETAF x Area	298					
Total Area	1,054					
Sitewide ETAF	0.28					

ESTIMATED TOTAL WATER USE (ETWU) =
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)=
ETWU IS LESS THAN MAWA

6,658 GALLONS PER YEAR
10,586 GALLONS PER YEAR

LANDSCAPE AREA:

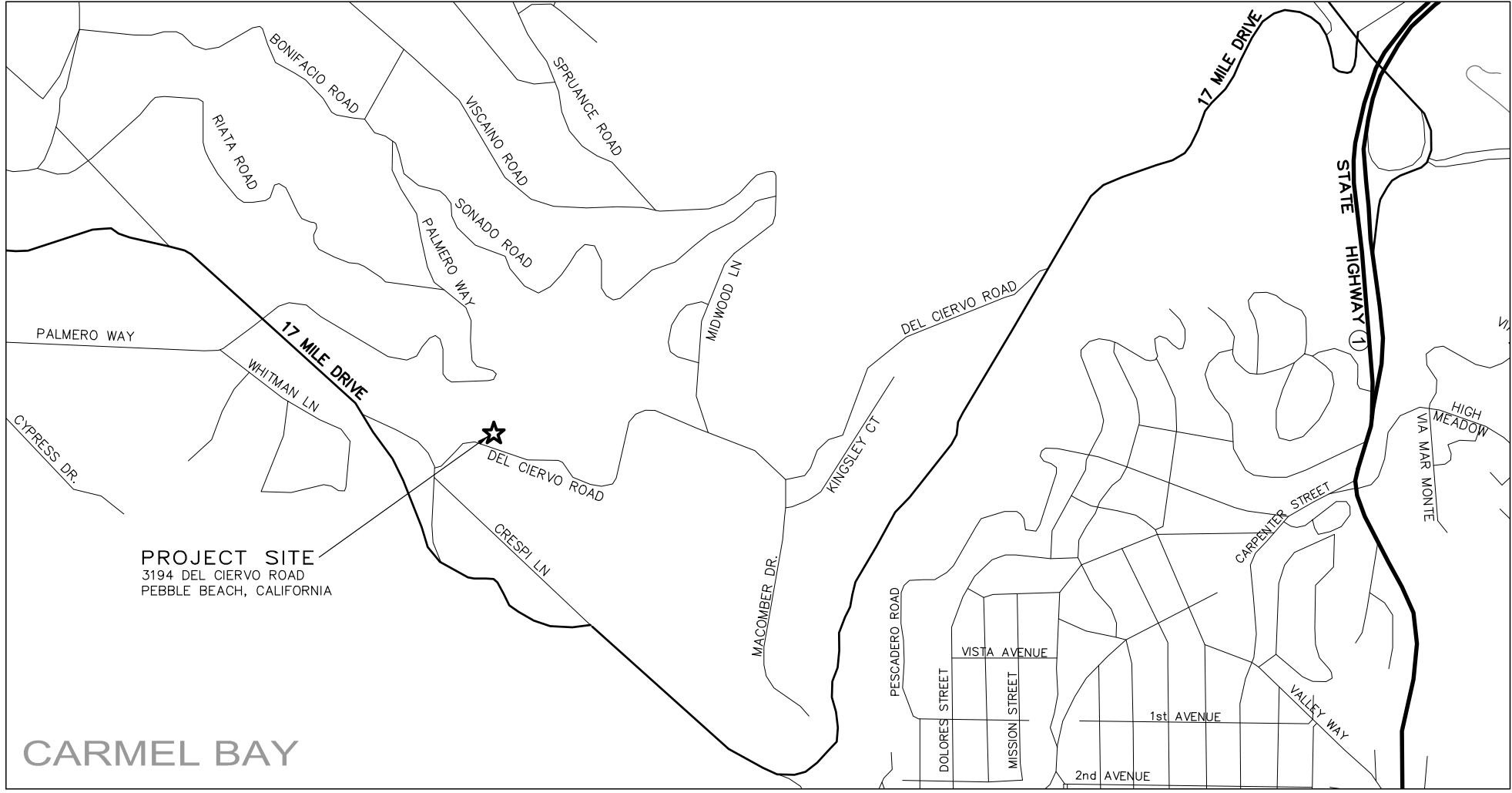
TOTAL LANDSCAPE AREA = 970 SF LOW WATER USE
84 SF OF MED WATER USE

THE PLANTING IS SPREAD OUT AND EACH PLANT HAS
ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND
THEREFORE LANDSCAPE AREA IS CALCULATED PER
PLANT.

THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

4" PLANT = 4 SQUARE FOOT
1 GALLON PLANT = 4 SQUARE FEET
5 GALLON PLANT = 6 SQUARE FEET
24" BOX TREE = 12 SQUARE FEET
36" BOX TREE = 14 SQUARE FEET

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
LIEDTKE RESIDENCE
APN: 008-361-015
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



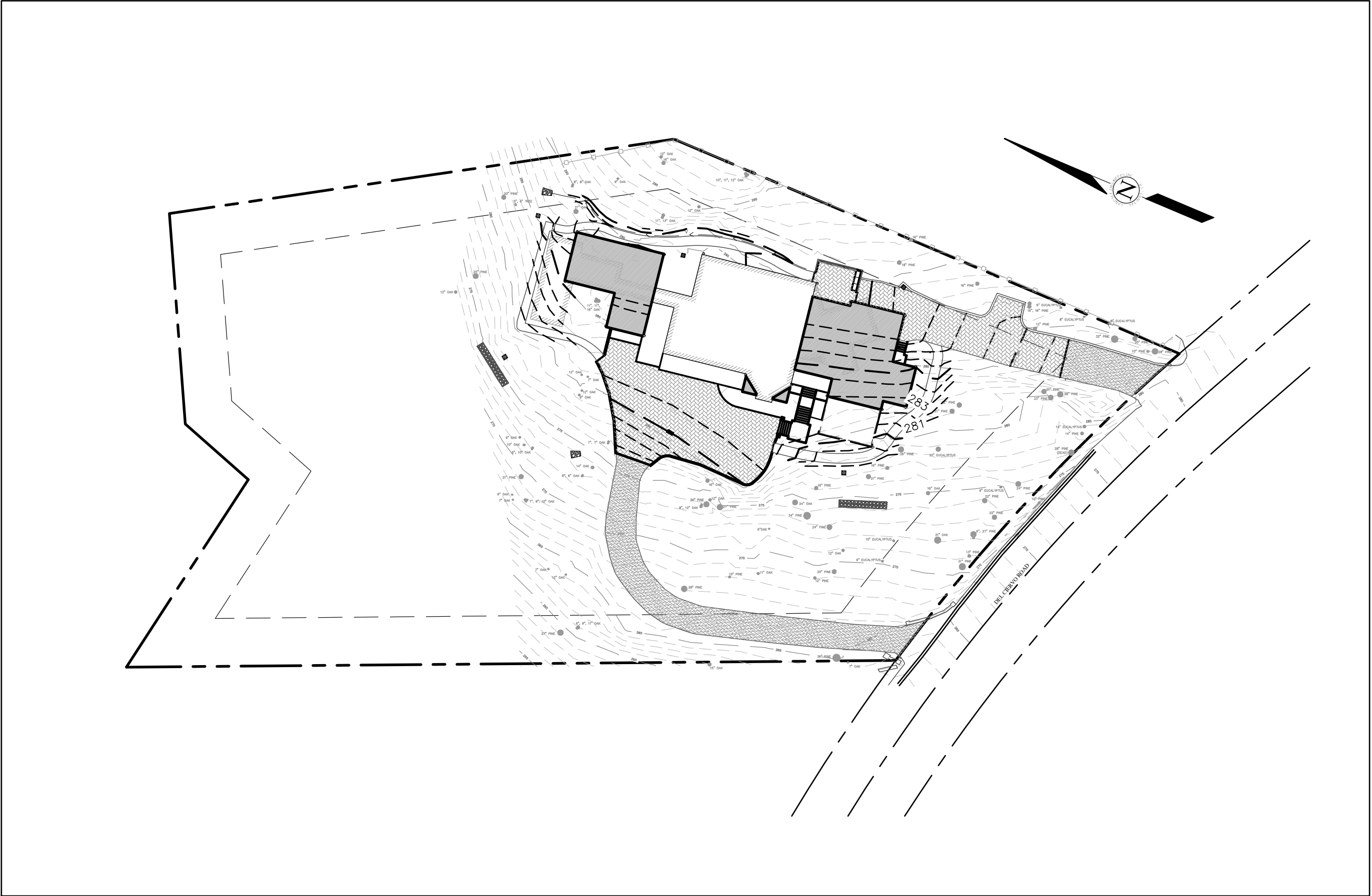
VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE FRONTERHOUSE RESIDENCE A1.0 PREPARED INTERNATIONAL DESIGN GROUP, DATED 12/14/20, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON SEPTEMBER 28, 2017.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEMAED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (09/27/2017) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY OTHERS, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2019 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 70 C.Y. OF CUT AND 125 C.Y. OF FILL WITH AN IMPORT OF 55 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO UNDERGROUND DISPERSION TRENCHES. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS, SLOT DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING/STEM WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.



LOT OVERVIEW
SCALE: 1"=40'

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS AND JUNCTION BOXES 1 & 3 SHALL BE CHRISTY PRODUCTS V12 WITH CAST IRON GRATES AND/OR SOLID LIDS. JUNCTION BOXES 2 AND 4 SHALL BE CHRISTY PRODUCTS V64 WITH SOLID LIDS. SLOT DRAINS 1 & 2 SHALL BE NDS PRODUCTS 2" SLIM CHANNEL OR APPROVED EQUAL. TRENCH DRAIN SHALL BE NDS PRODUCTS DURA SLOPE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

EXISTING IMPERVIOUS AREA = 12,408 SQ.FT.
REMOVED IMPERVIOUS AREA = 6,814 SQ.FT.
ADDITION IMPERVIOUS AREA = 3,406 SQ.FT.
TOTAL NEW/REPLACED IMPERVIOUS AREA = 9,000 SQ.FT.
TOTAL AREA OF DISTURBANCE = 9,000 SQ.FT.

GRADING QUANTITIES:
CUT = 70 C.Y.
FILL = 125 C.Y.
NET = 55 C.Y. IMPORT

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS-STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C5	EROSION & SEDIMENT CONTROL PLAN
SHEET C6	CONSTRUCTION MANAGEMENT PLAN

LEGEND:

NEW:	
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	DRAINAGE SWALE FLOW LINE
	STORM DRAIN PIPE
	RAIN-WATER LEADER
	DISPERSION TRENCH SUBDRAIN
	SPOT ELEVATION
	ROOF DOWNSPOUT
	BASE ROCK SURFACE
	DECOMPOSED GRANITE SURFACE
	MAIN FLOOR HOUSE FOOTPRINT ADDITION

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

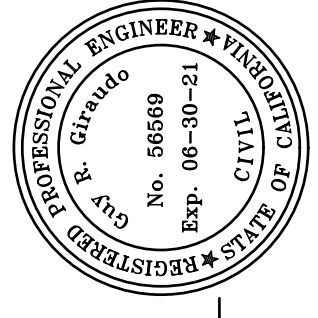
Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baseroack subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

CONTACT INFORMATION:

PRIMARY: OWNER
BLAKE & LAURIE LIEDTKE
808 TRAVIS STREET
HOUSTON, TX 77002

SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MS. AMY DENNEY
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH (831)646-1261

SITE LOCATION:
3194 DEL CIERVO ROAD
PEBBLE BEACH, CA 93953



APPROVED BY:

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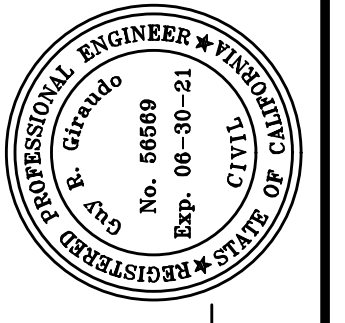
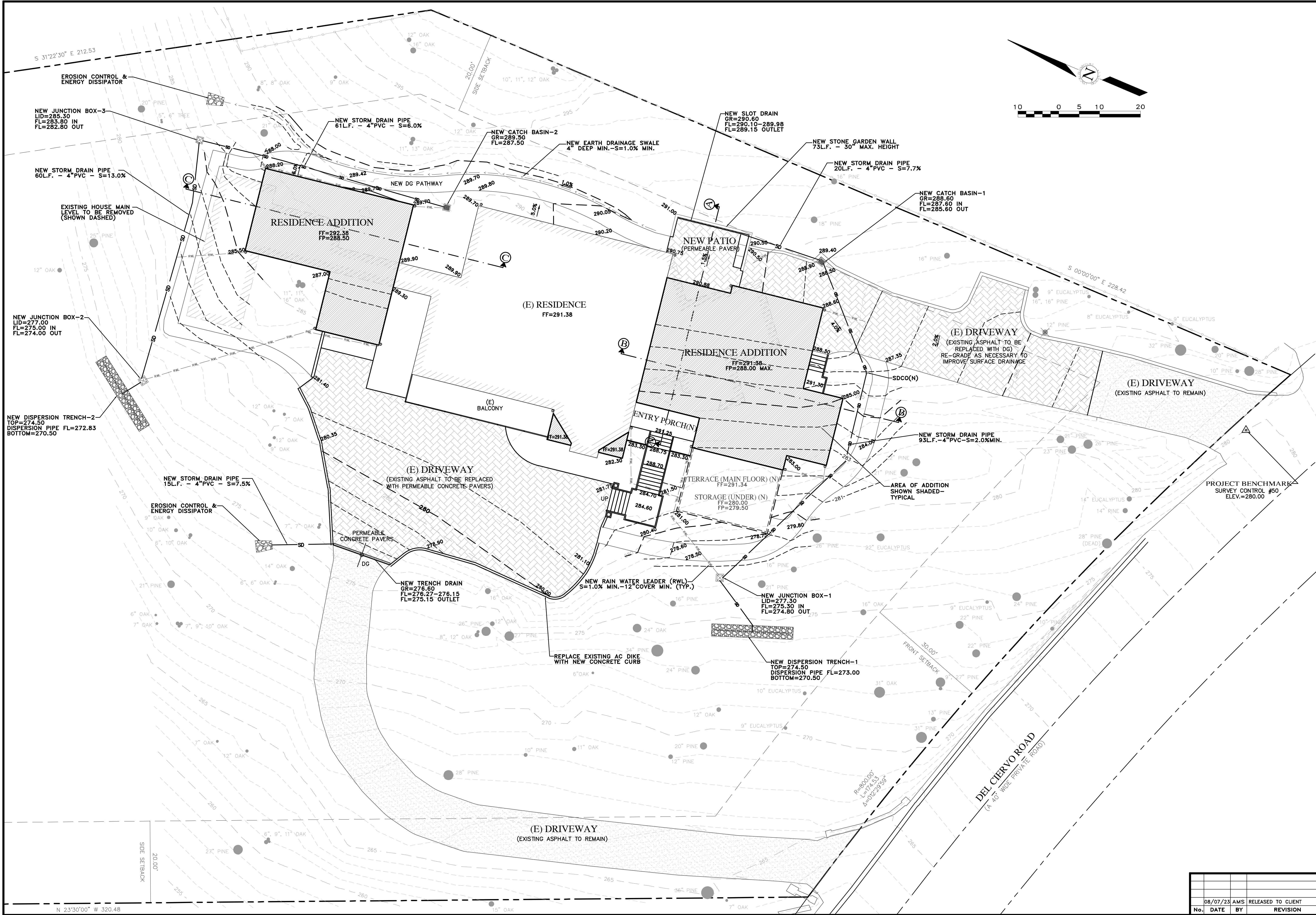
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
LIEDTKE RESIDENCE
A.P.N.: 008-361-015
FOR
MR. & MRS. BLAKE & LAURIE LIEDTKE
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

SCALE: AS SHOWN
DATE: AUGUST 2023
JOB NO. 2657-01

SHEET
C1
OF 6 SHEETS

No.	DATE	BY	REVISION
	08/07/23	AMS	RELEASED TO CLIENT



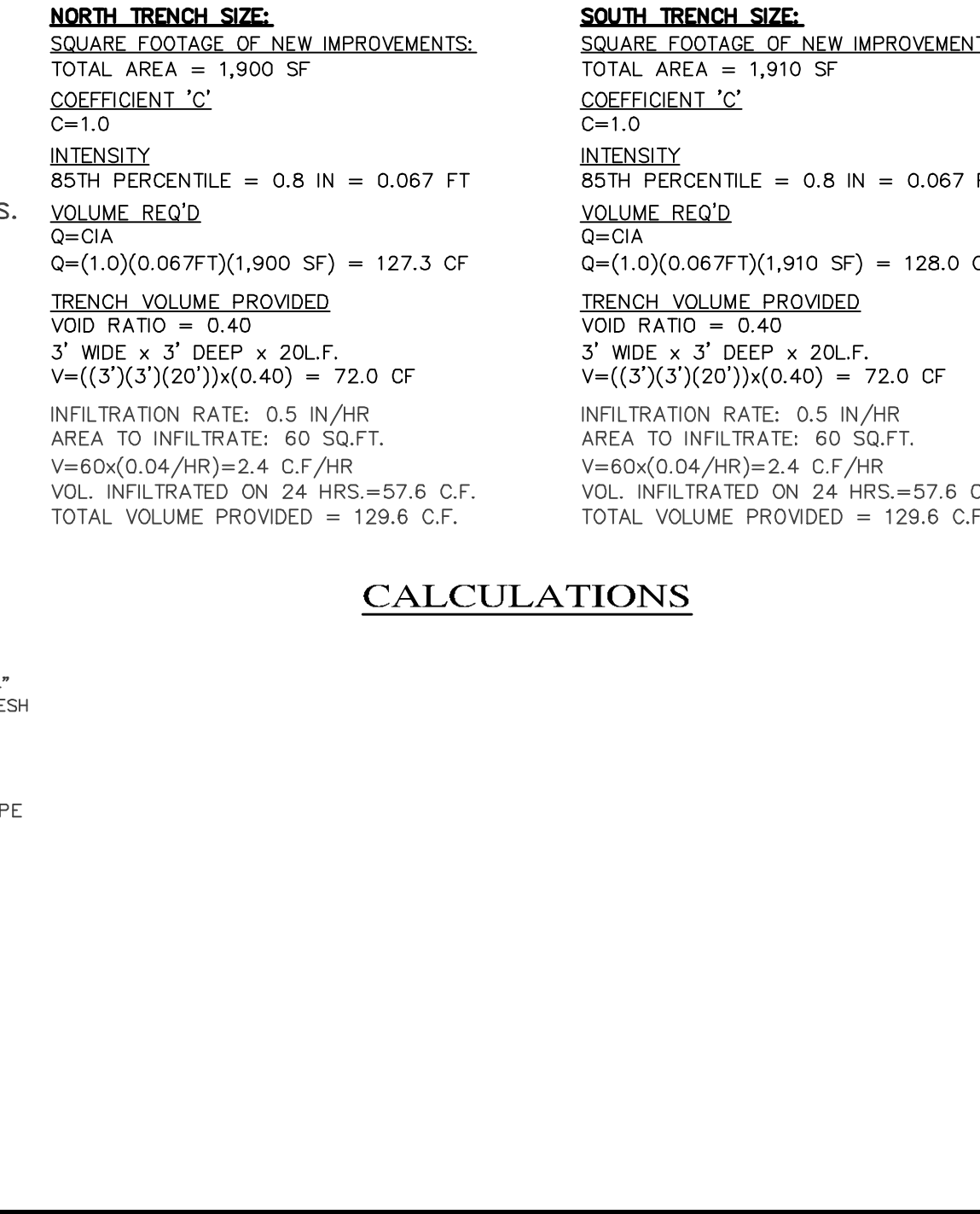
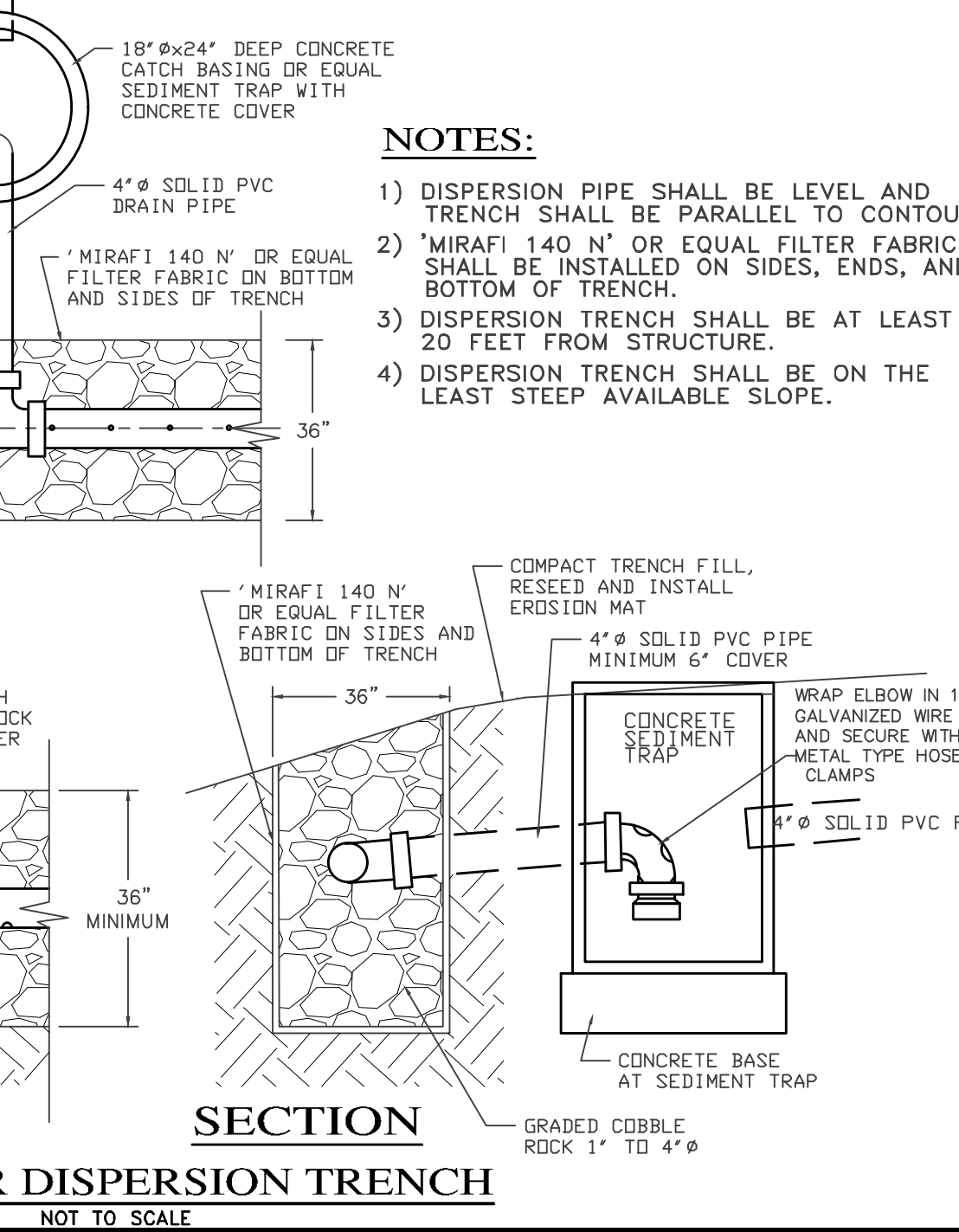
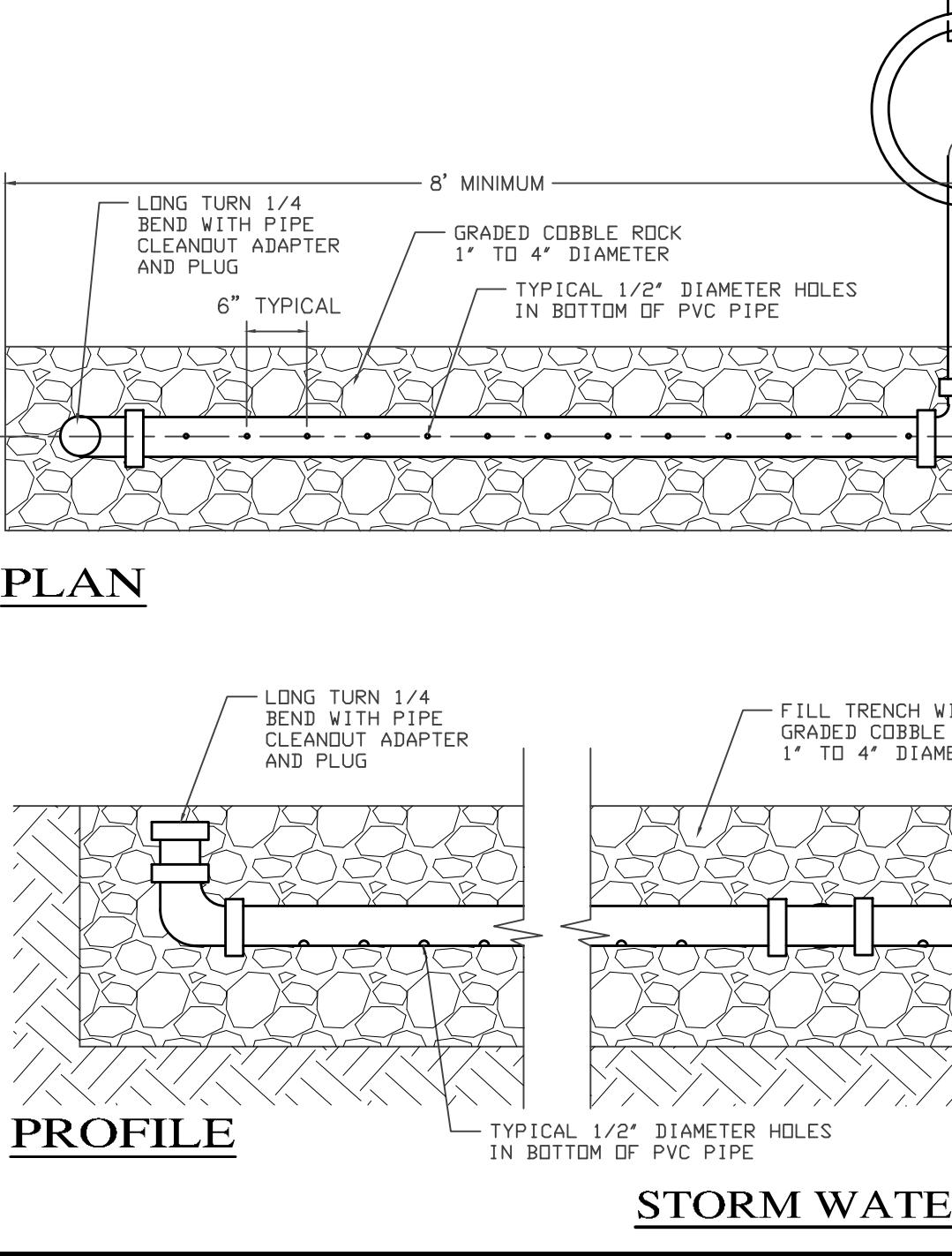
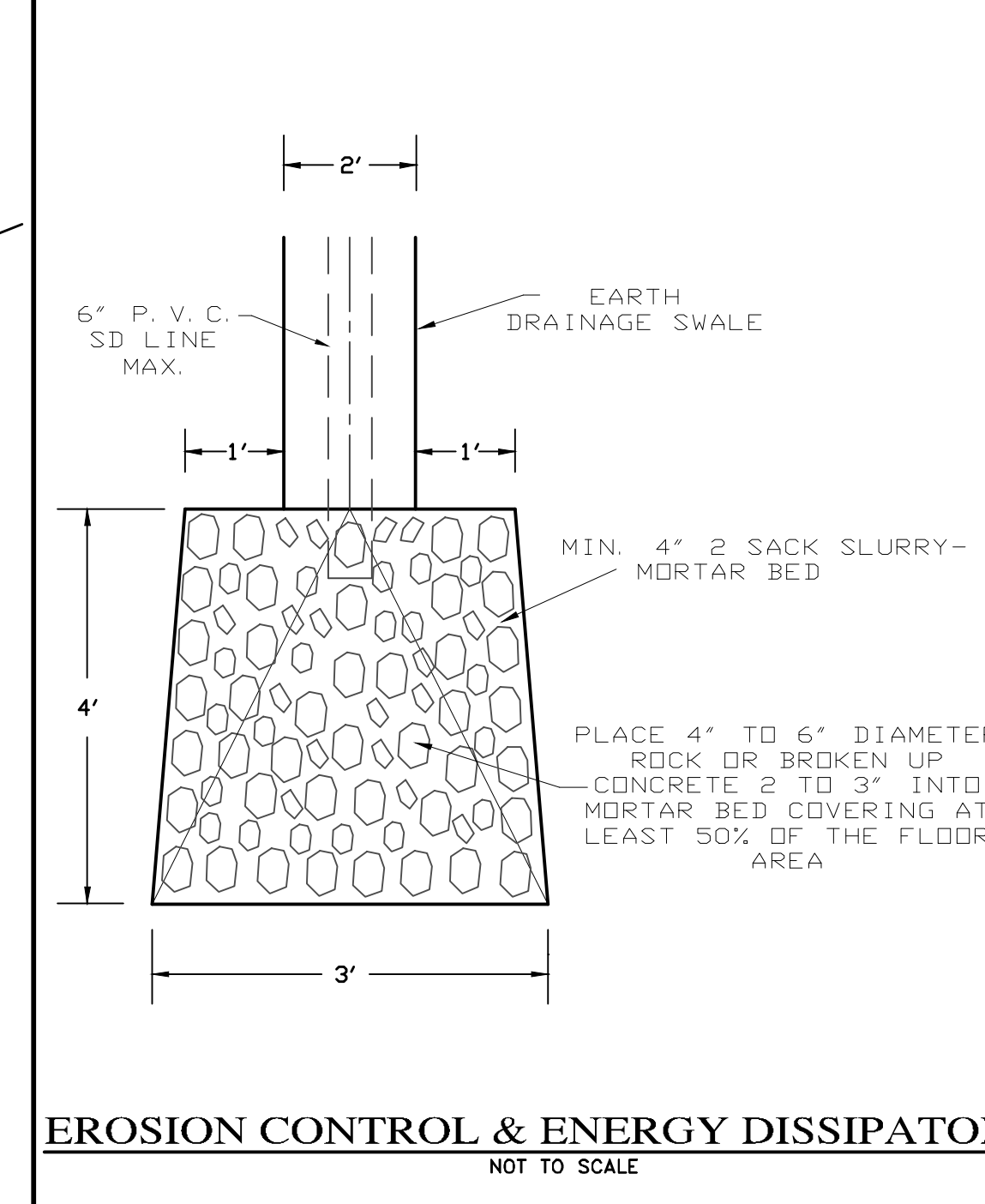
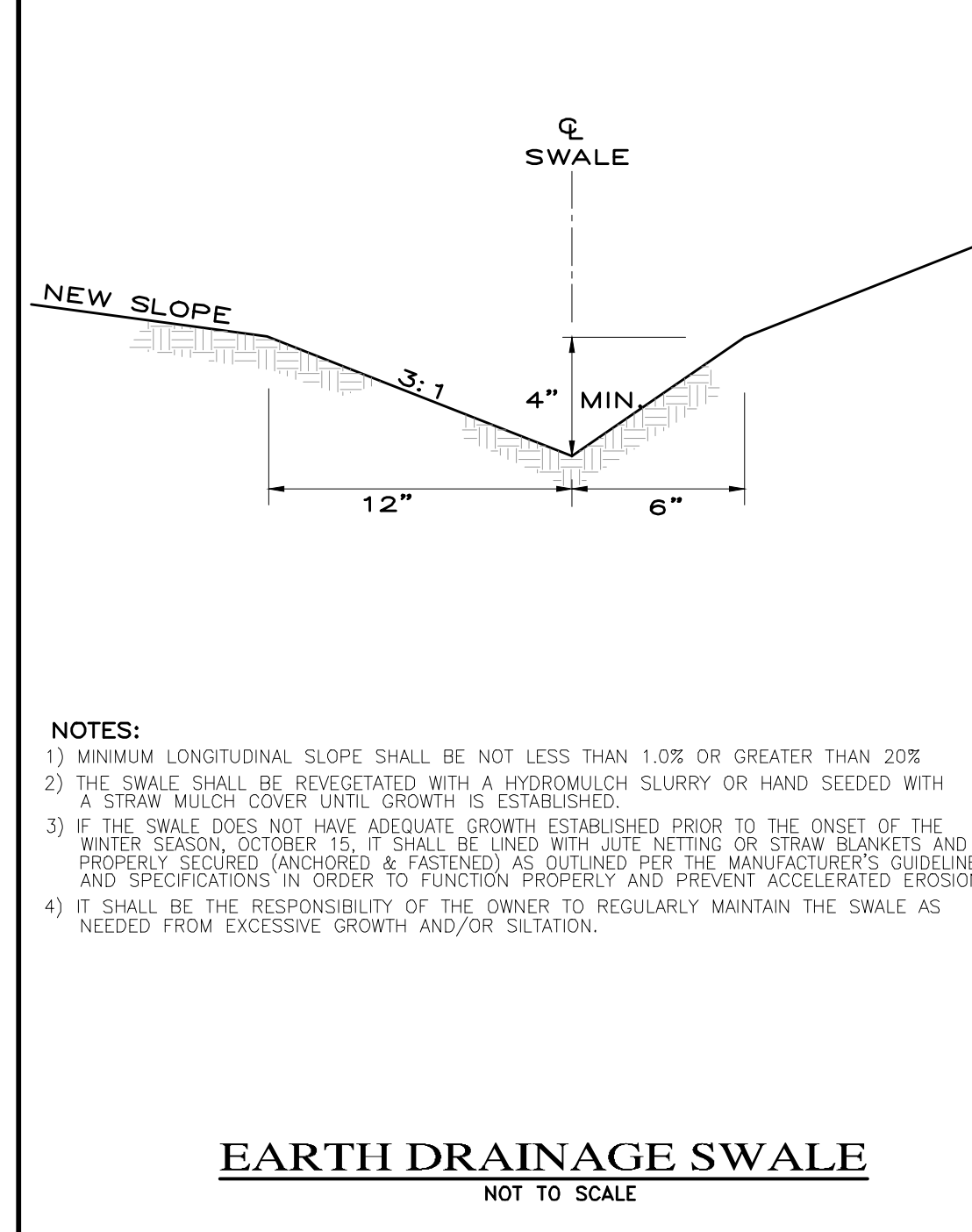
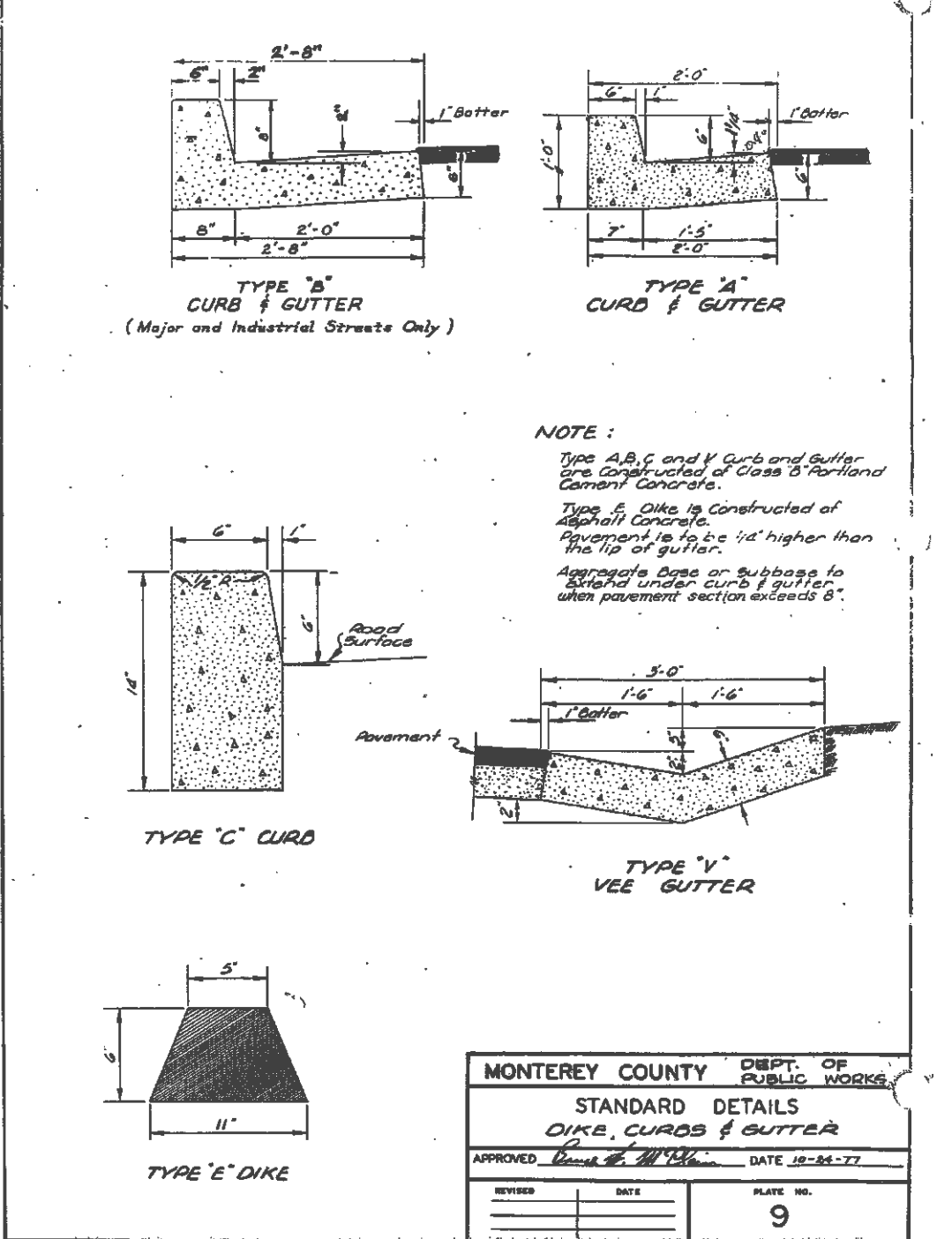
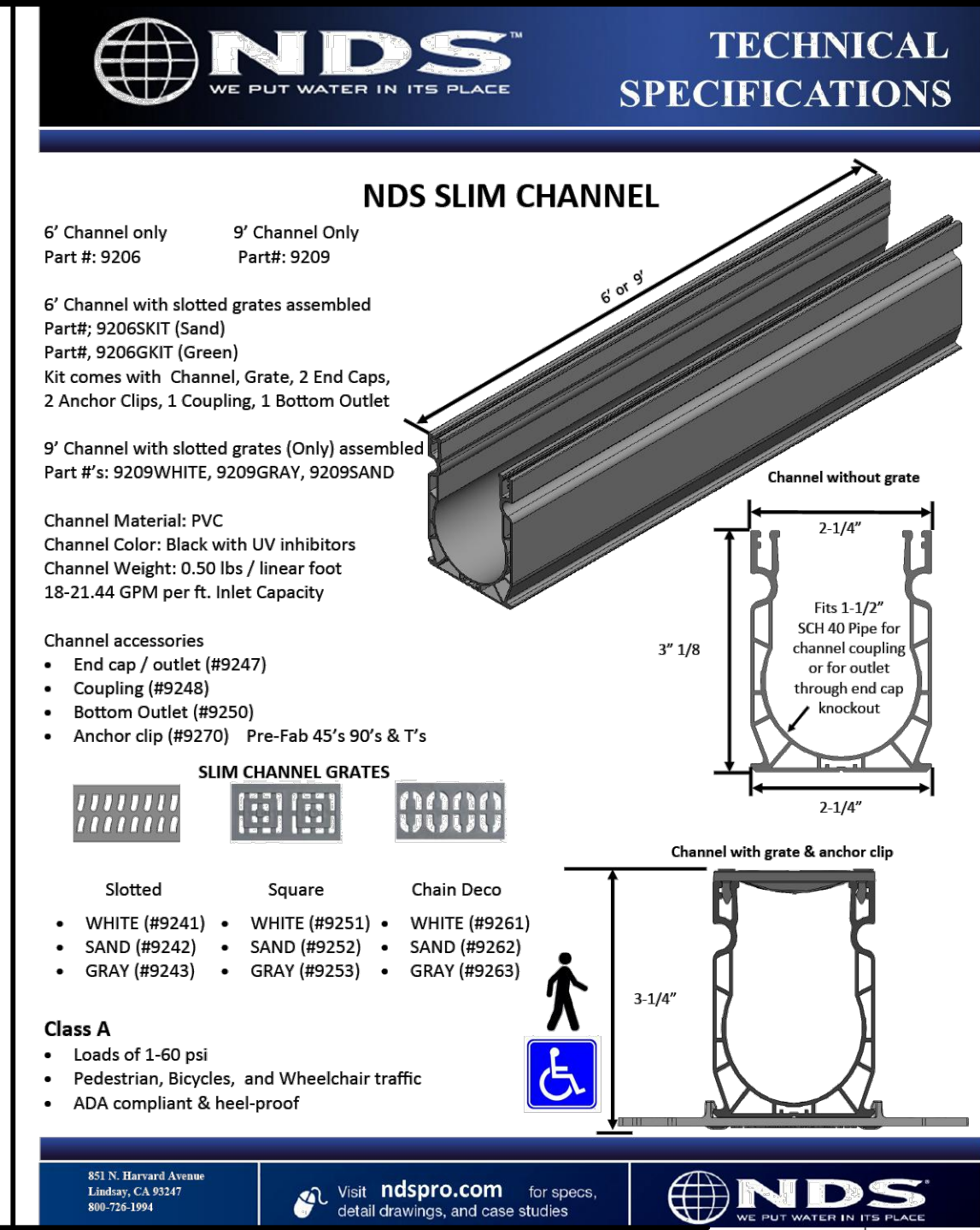
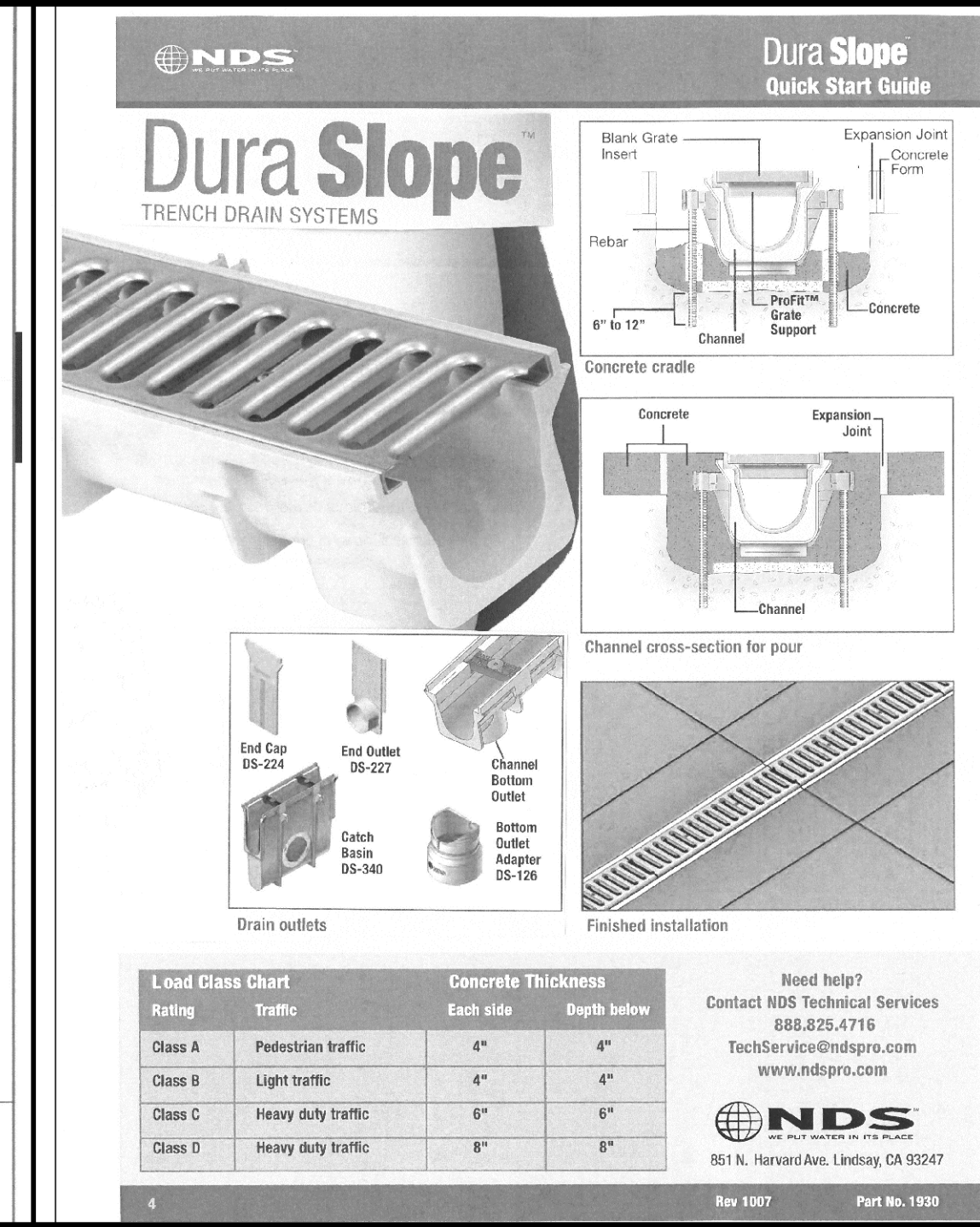
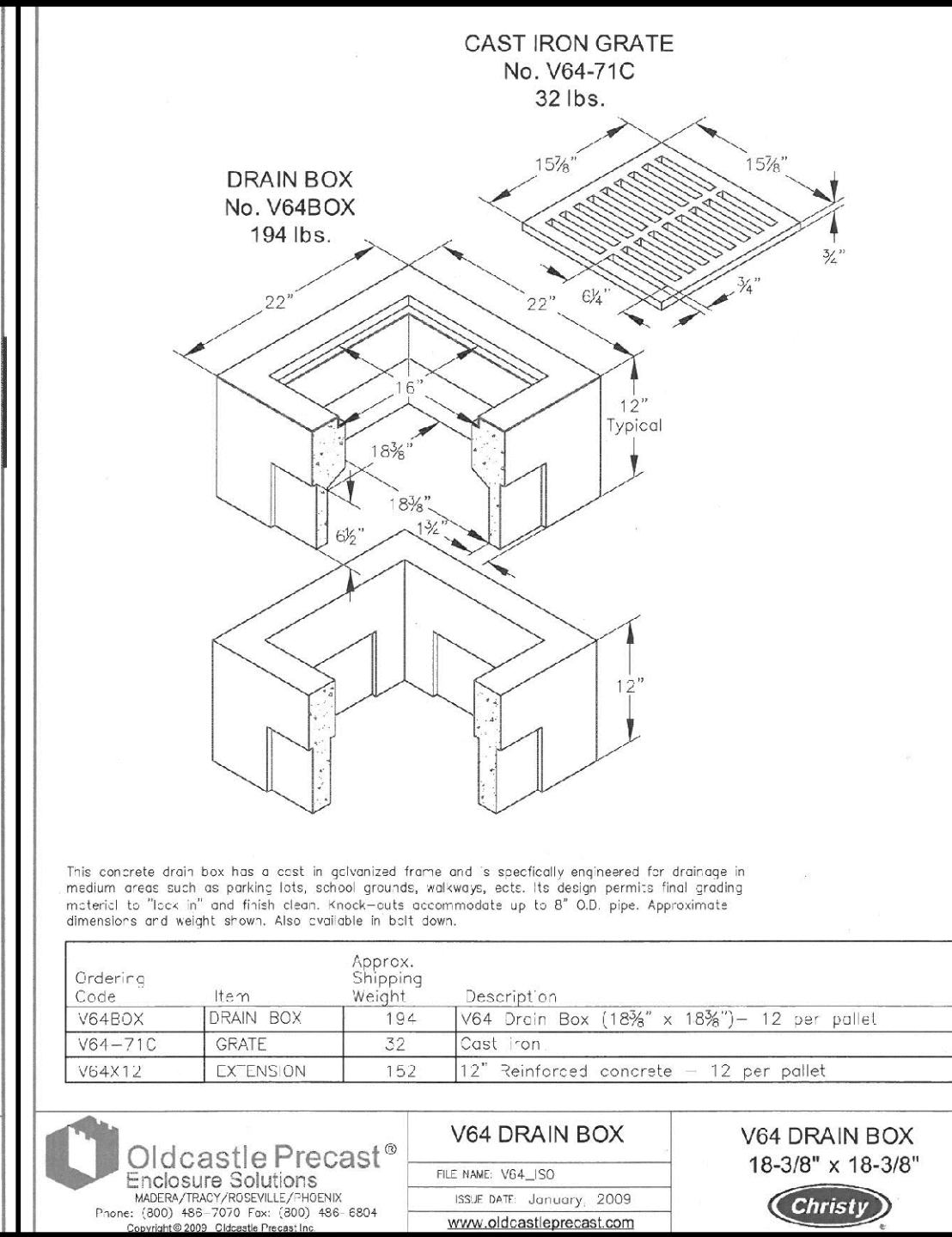
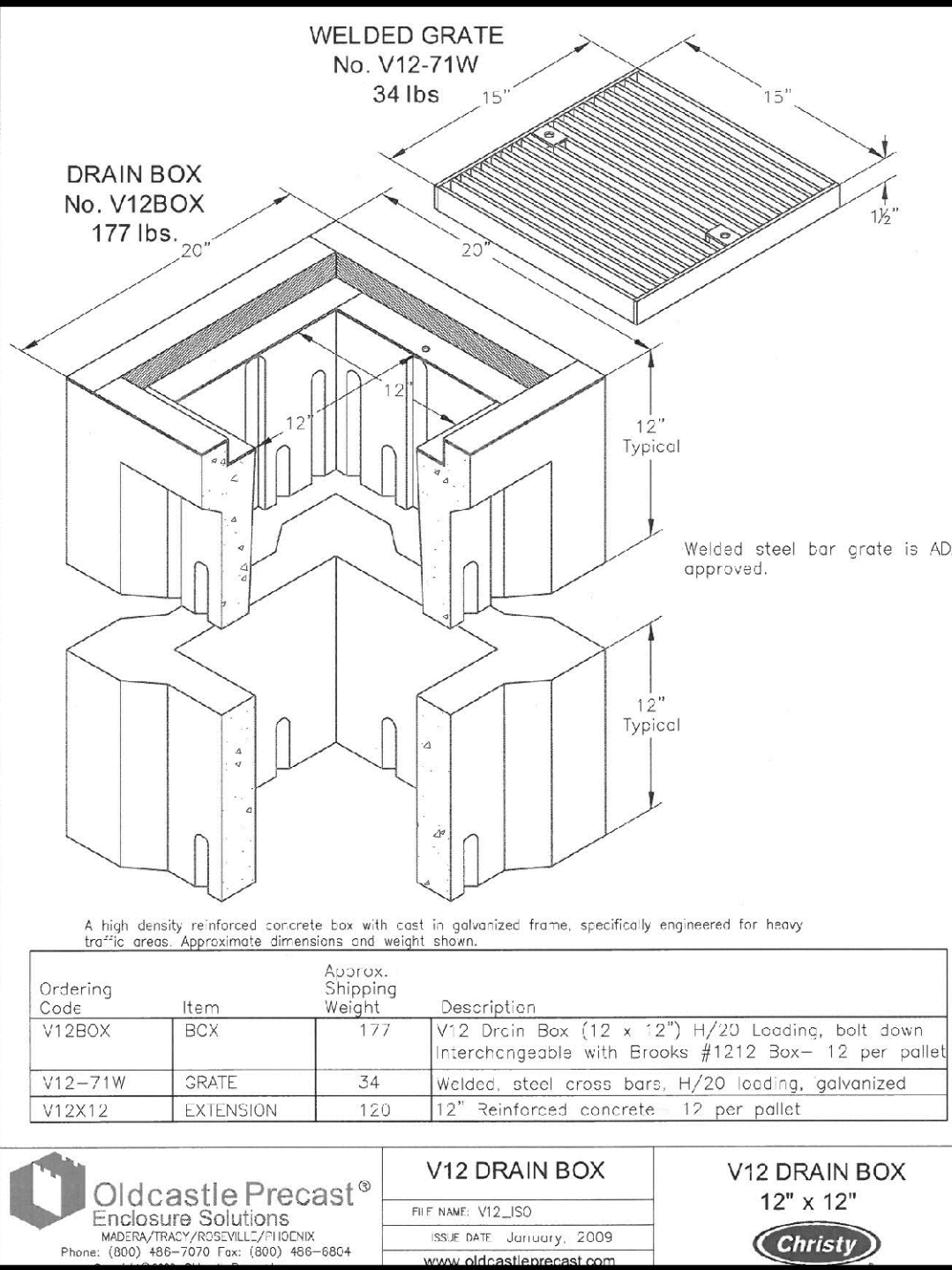
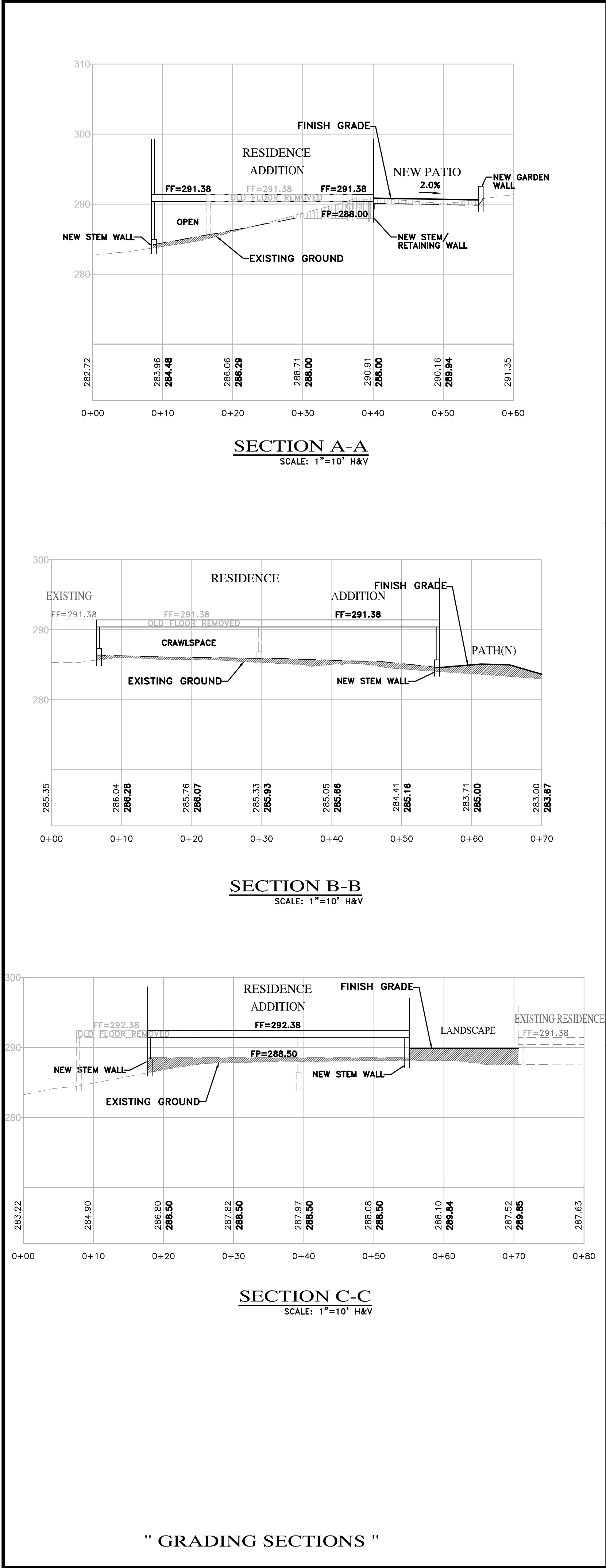
APPROVED BY:

GUY R. GIRARDO



GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
LIEDTKE RESIDENCE
A.P.N.: 008-361-015
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. BLAKE & LAURIE LIEDTKE

SCALE: 1"=10'			
DATE: AUGUST 2023			
JOB NO. 2657-01			
SHEET C3			
OF 6 SHEETS			
No.	DATE	BY	REVISION
	08/07/23	AMS	RELEASED TO CLIENT



" GRADING SECTIONS - STANDARD PLANS & CONSTRUCTION DETAILS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
LIEDTKE RESIDENCE
A.P.N.: 008-361-015
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
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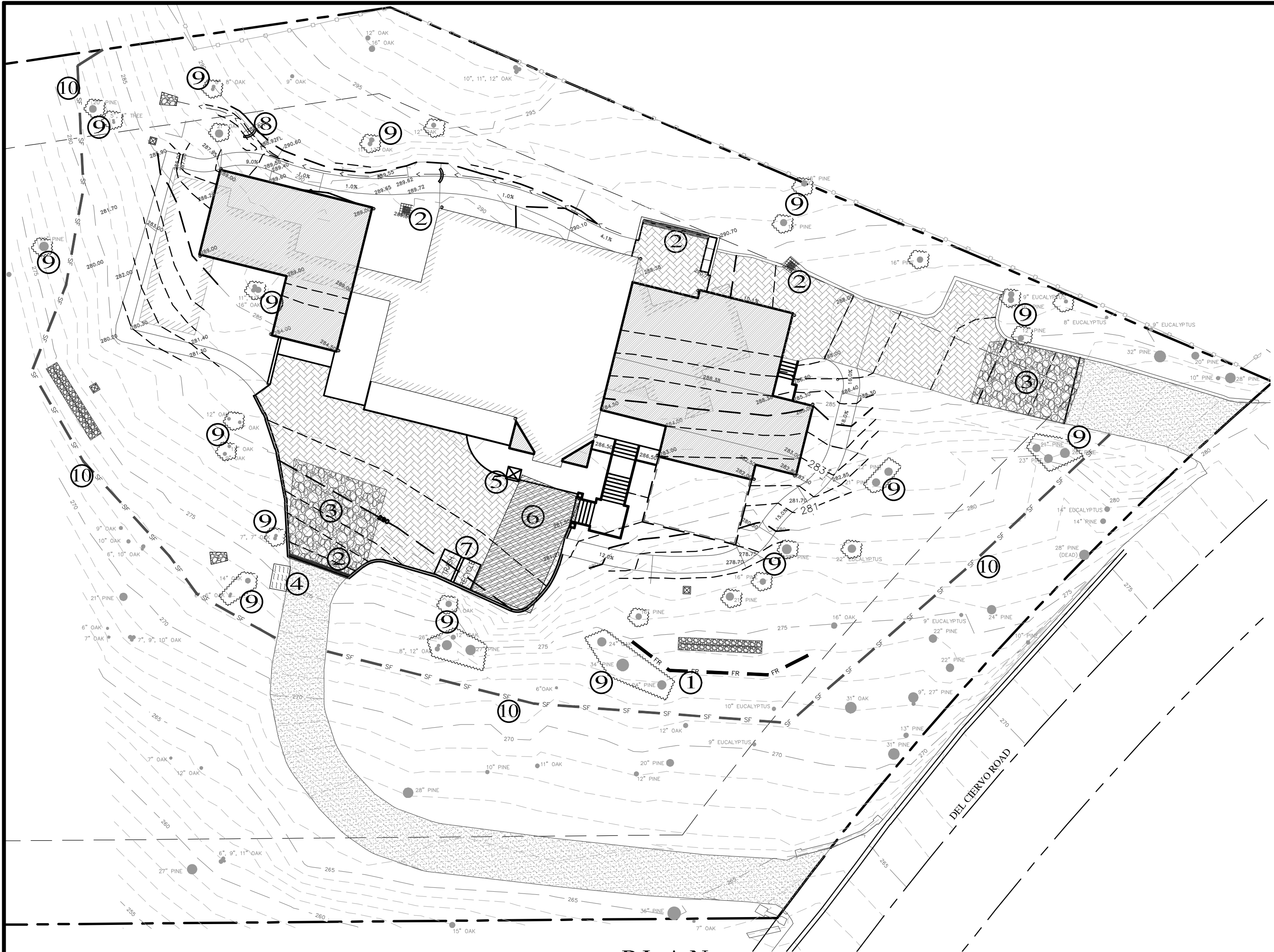
PROFESSIONAL ENGINEER

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APPROVED BY:

GUY R. GIRA'DO



LEGEND:

1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
7. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
8. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
9. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
10. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

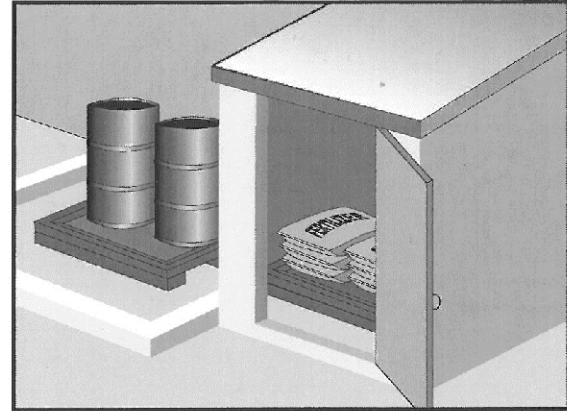
TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1



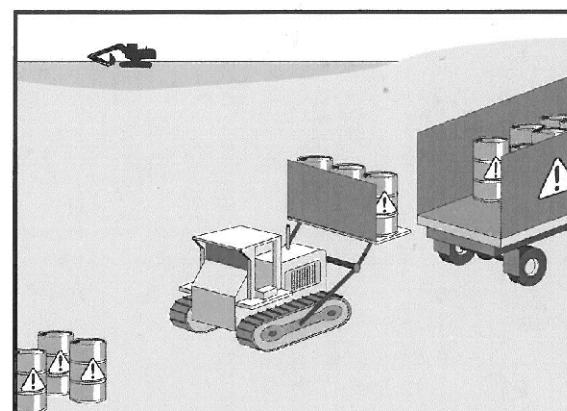
Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input checked="" type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Hazardous Waste Management WM-6

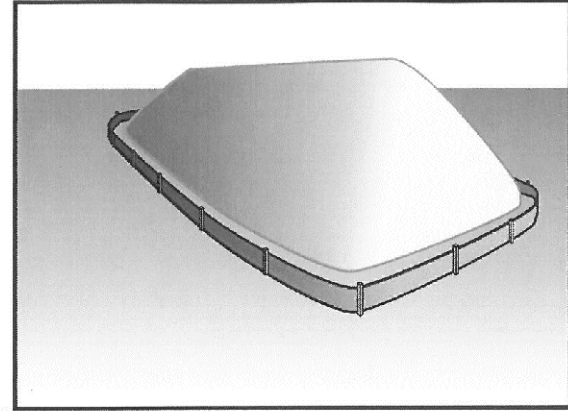


Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Stockpile Management WM-3

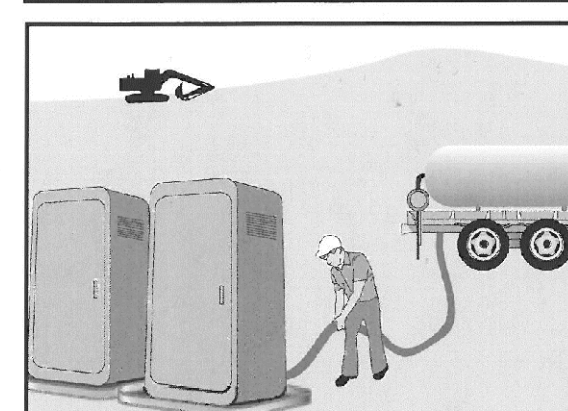


Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt miller (so called "cold mix" asphalt), and pressure treated wood.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input checked="" type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Sanitary/Septic Waste Management WM-9

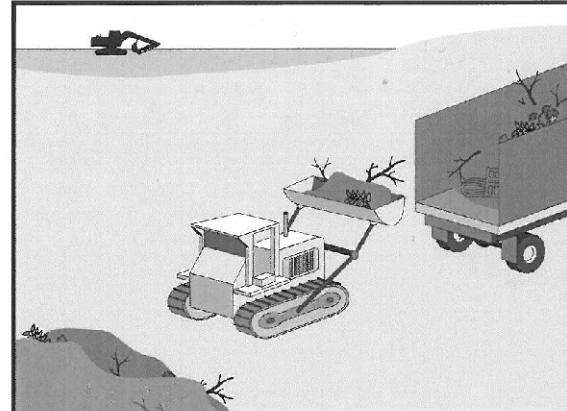


Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input checked="" type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Solid Waste Management WM-5

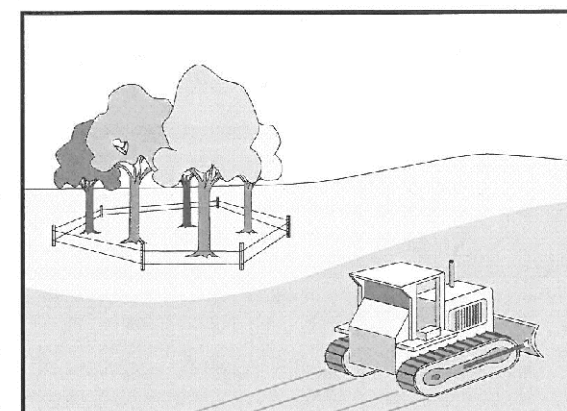


Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

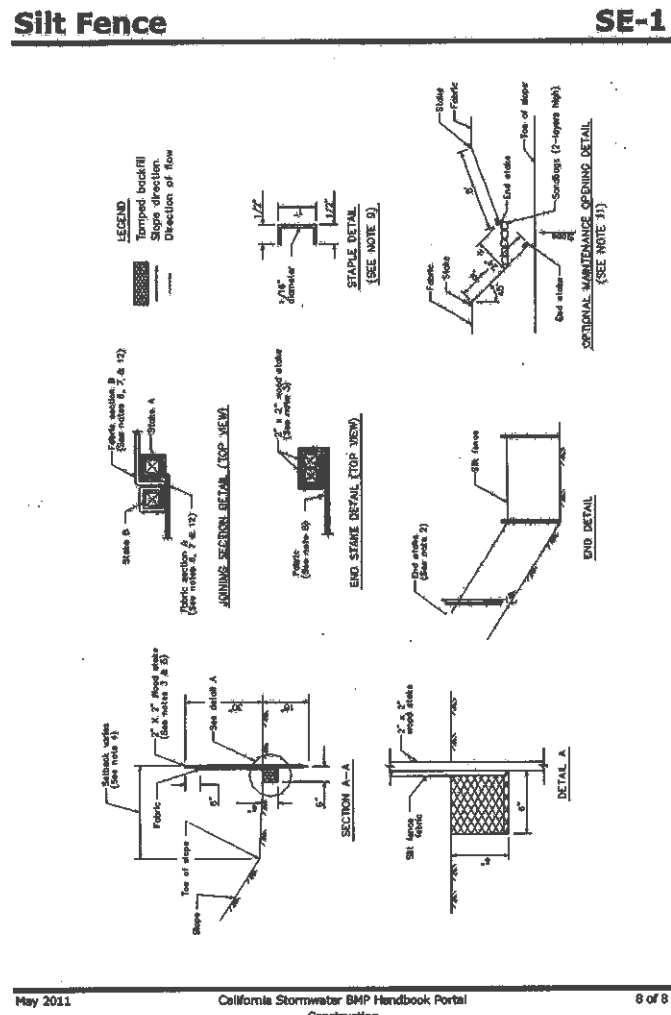
Preservation Of Existing Vegetation EC-2



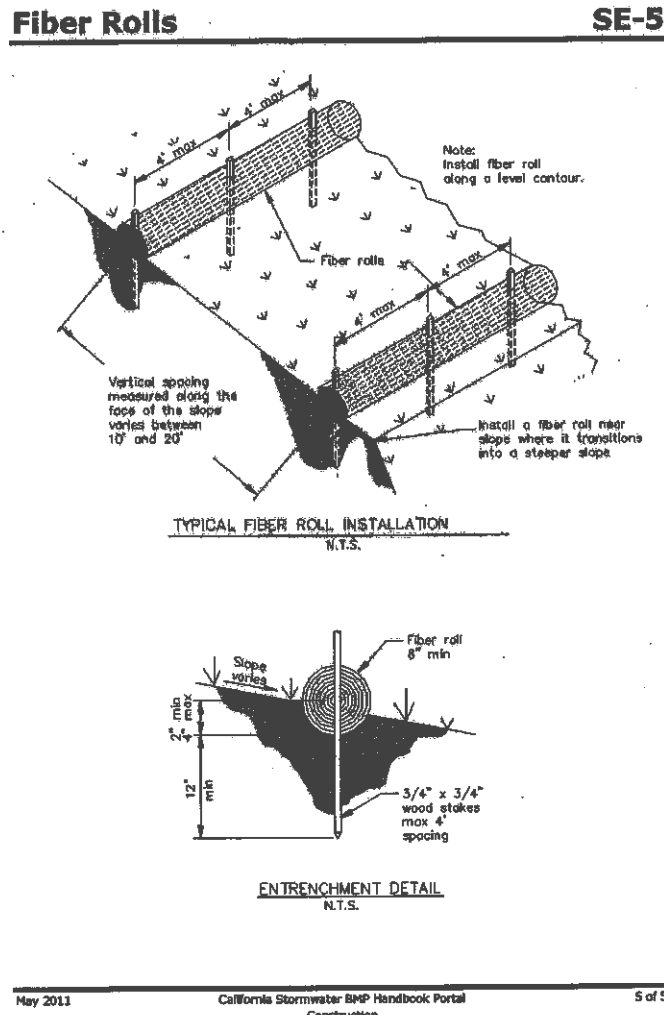
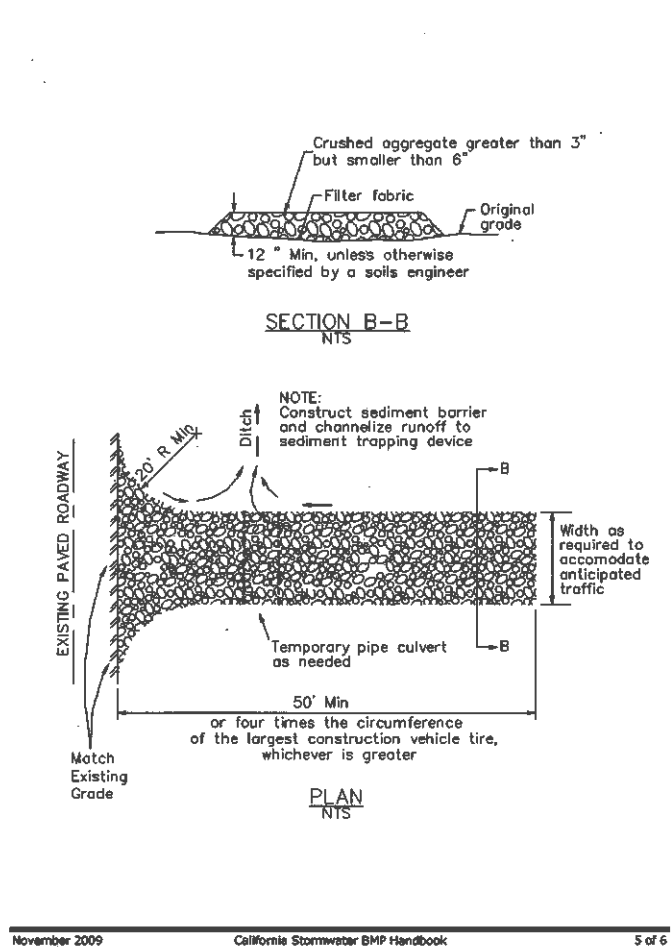
Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

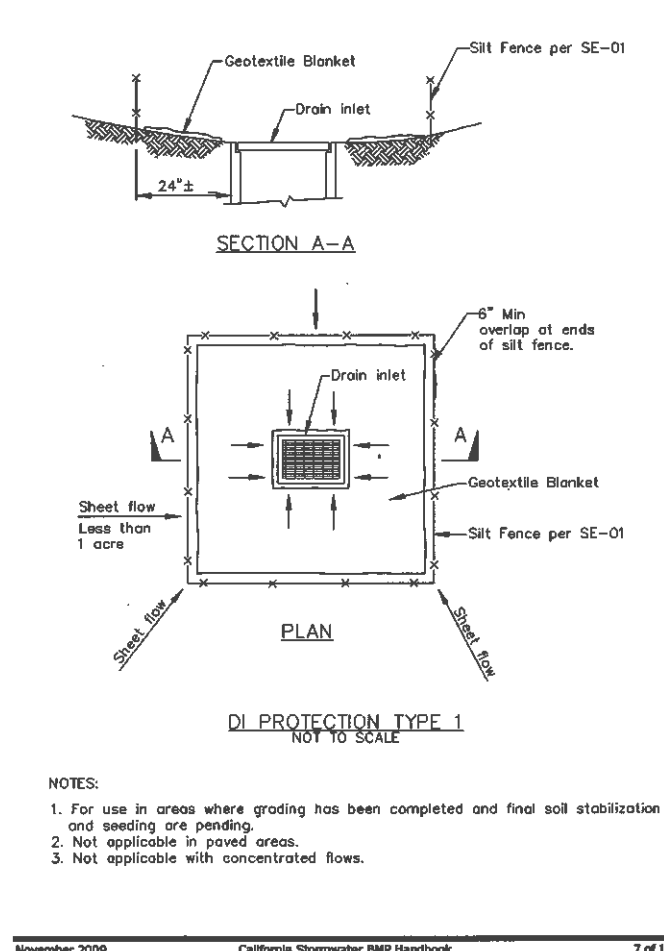
Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	



Stabilized Construction Entrance/Exit TC-1



Storm Drain Inlet Protection SE-10



APPROVED BY:

GUY R. GIRA'DO

LANDSET
ENGINEERS, INC.
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Salinas, California 95007
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

" EROSION & SEDIMENT CONTROL PLAN "

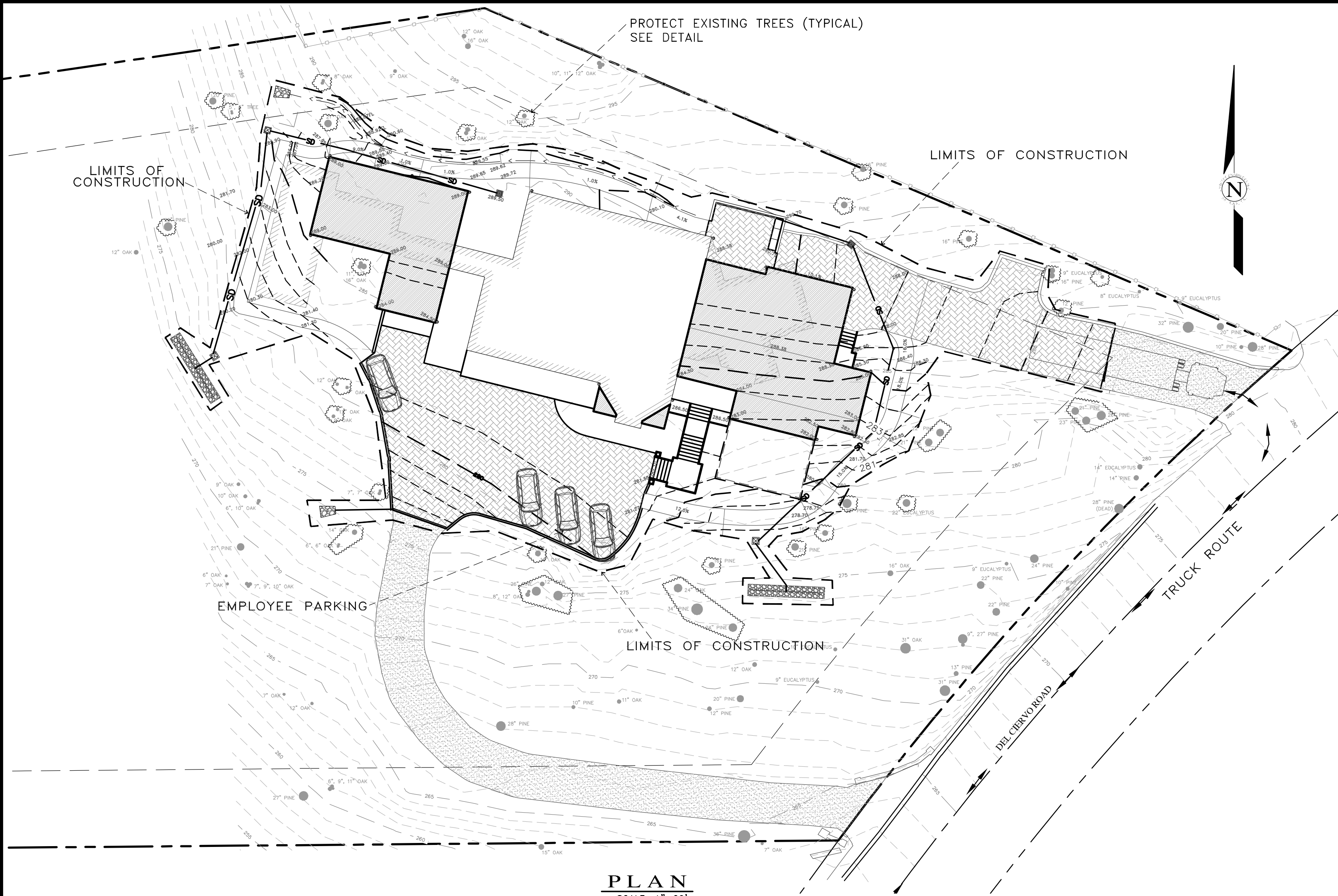
GRADING, DRAINAGE & EROSION CONTROL PLAN

SCALE: AS SHOWN
DATE: AUGUST 2023
JOB NO. 2657-01

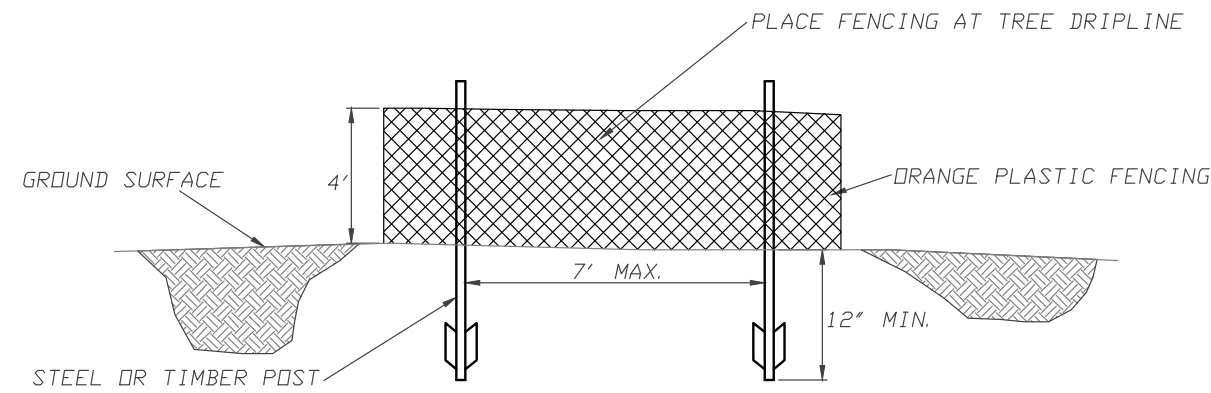
SHEET **C5**

OF 6 SHEETS

08/07/23 AMS		RELEASED TO CLIENT	
No.	DATE	BY	REVISION



PLAN
SCALE: 1"=20'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
70 CY CUT
125 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DECOMPOSED GRANITE DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON DEL CIERVO ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM 17 MILE DRIVE TO CRESPI LANE TO DEL CIERVO ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON DEL CIERVO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN EXISTING DRIVEWAY. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	3
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	7	2
TOTALS	13	8

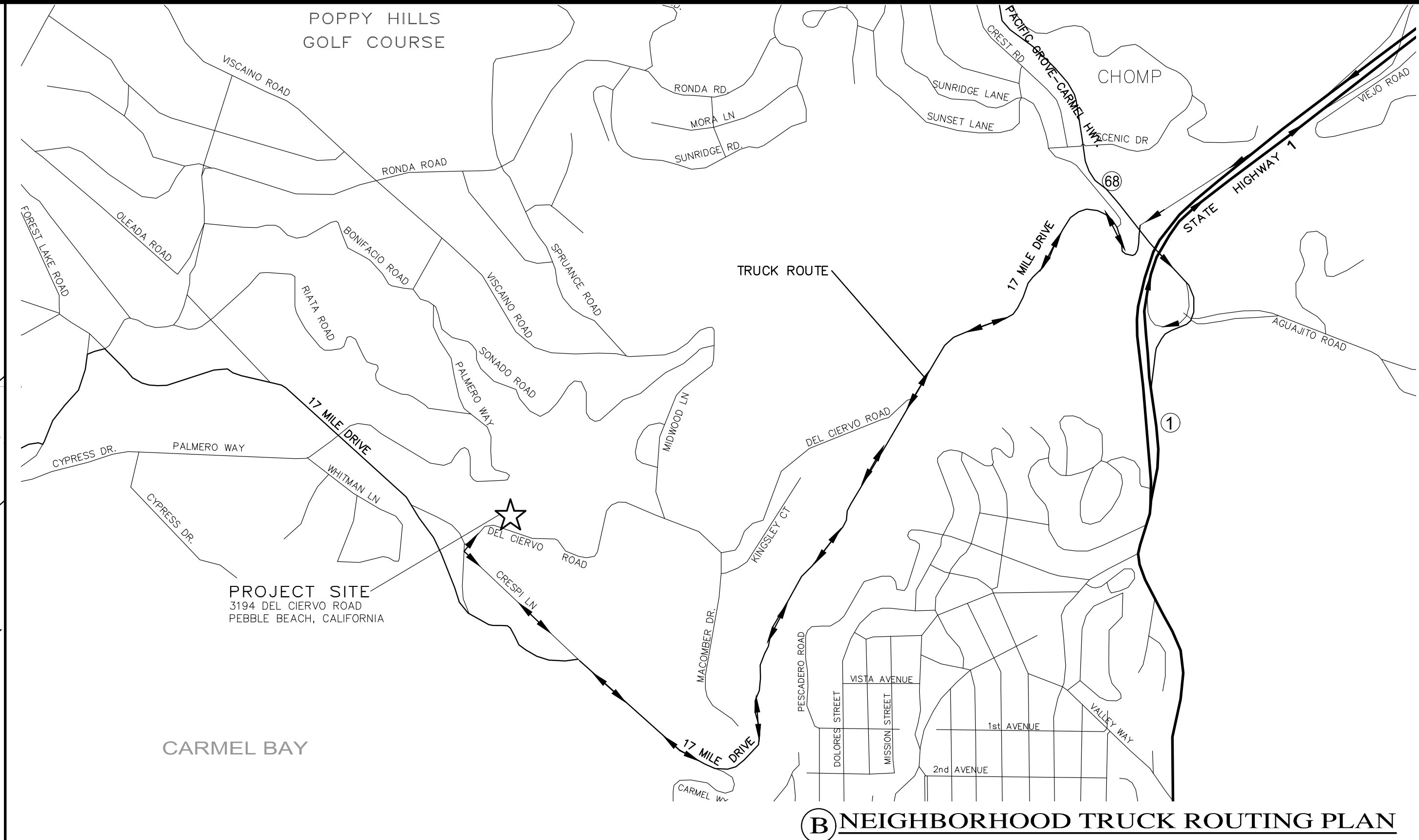
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 8 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 55 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE IMPORTED TO THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 3 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 20 & 40 CUBIC YARDS.

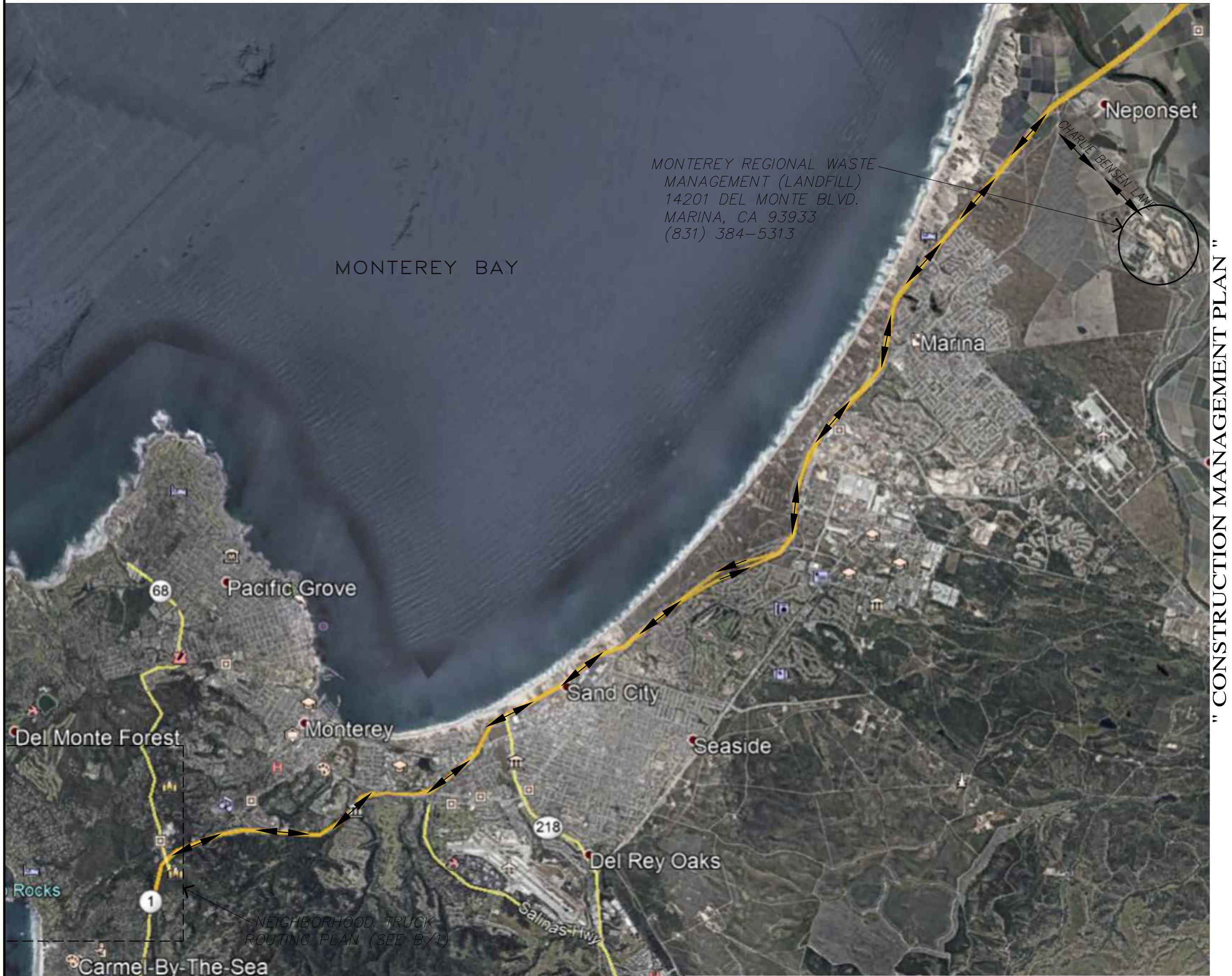
NUMBER OF EMPLOYEES/DAY: 4-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 21 AUGUST 2023, 3 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



C OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
	08/07/23	AMS	RELEASED TO CLIENT

CONSTRUCTION MANAGEMENT PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

LIETKE RESIDENCE

A.P.N.: 008-361-015

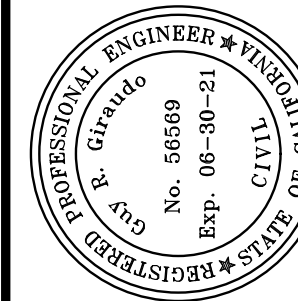
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

FOR MR. & MRS. BLAKE & LAURIE LIETKE

SCALE: AS SHOWN
DATE: AUGUST 2023
JOB NO. 2657-01

SHEET C6

OF 6 SHEETS



APPROVED BY:
GUY R. GIRARDO
CIVIL

