

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**ULLAM CHAD & AVERY (PLN240207)**

**RESOLUTION NO. 25-033**

Resolution by the County of Monterey Planning  
Commission:

- 1) Finding the project qualifies as a Class 3  
Categorical Exemption pursuant to CEQA  
Guidelines section 15303, and there are no  
exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit  
consisting of:
  - a. An Administrative Permit and Design  
Approval to allow construction of a  
5,620 square foot single-family dwelling  
with an attached 995 square foot three-  
car garage, 4,800 square foot detached  
barn, 36,610 square foot uncovered  
roping arena, with associated site  
improvements;
  - b. A Use Permit to allow Ridgeline  
Development; and
  - c. A Use Permit to allow development on  
slopes in excess of 25%.

[PLN240207, Chad and Avery Ullman, 27650 Via  
Quintana, Carmel, Carmel Valley Master Plan  
(APN: 185-052-023-000 and 185-052-026-000)]

**The ULLAM CHAD & AVERY application (PLN240207) came on for public hearing before the County of Monterey Planning Commission on September 10, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 2010 Monterey County General Plan;
  - Carmel Valley Master Plan;
  - Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 27650 Via Quintana, Carmel (Assessor's Parcel Numbers 185-052-023-000 and 185-052-026-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential with 2.5 acres per unit density, and Design Control, Site Plan Review, and Residential Allocation Zoning overlays or "LDR/2.5-D-S-RAZ". LDR zoning allows for the establishment of the first single-family dwelling as a principally allowed use. The Site Plan Review overlay requires the granting of an Administrative Permit for all structures. The proposed project involves the construction of a 5,620 square foot single-family dwelling with an attached 995 square foot garage, 4,800 square foot barn/out-building, 36,610 square foot uncovered roping arena, an off-grid 15,000 gallon water storage, well, septic system, ground mounted PV array and battery storage with backup generator, and associated site improvements including a driveway, rear hardscape and pool and 3,500 cubic yards of grading. The project also involves ridgeline development and development on slopes in excess of 25%, which are allowed uses subject to the granting of a Use Permit in each case. Therefore, the project is an allowed land use for this site.
- c) HCD-Planning staff conducted a site inspection on April 18, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Development Standards. The project meets all required development standards for the Low Density Residential zoning district and B overlay district, which are identified in Title 21 sections 21.14.060 and 21.42.030. Pursuant to these sections, main structures shall have setbacks of at least 30 feet for the front, 10 percent of the average lot width to a maximum of twenty feet for the sides, and 20 feet for the rear, and a maximum allowable height of 30 feet. The garage is structurally attached to the proposed residence and, therefore, are subject to the same site development standards as the main structure. As established through approval of this subdivision, the subject lot was created with a building envelope that balanced the site's constraints. The residence and attached accessory structures will be entirely within the allowable building area and meet the required setbacks. The structures have a proposed height of 24 feet 9 inches from average natural grade. The subject property has an allowable building site coverage of 25 percent, and as proposed, the lot coverage will be 0.37 percent. Therefore, the property complies with the required site development standards based on the applicable zoning district.
- e) Design and Visual Resources. Pursuant to Title 21 Chapter 21.44, the project parcels and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Carmel Valley Master Plan Policy CV-1.1 indicates that all policies and ordinances, and decisions regarding Carmel Valley shall be consistent

with the goal of preserving the rural character of the Valley, and development shall follow a rural architectural theme with design review. According to County of Monterey GIS records, the subject property is designated as being visually “sensitive”. Staff conducted a site visit on April 18, 2025, and confirmed that the subject property and staking and flagging were visible for a limited instances (total of 20 seconds) on Carmel Valley Road when traveling east (see Finding No. 6 and supporting evidence). The development will not be visible when traveling west on Carmel Valley Road due to steep topography and existing vegetation that surround the property. Consistent with Carmel Valley Master Plan Policy CV-1.20, the exterior finishes and proposed rural architectural style are compatible with the surrounding environment, consistent with the surrounding residential neighborhood character, and maintain an appropriate bulk and mass. As designed, the proposed residence will have exterior colors and materials that include light brown vertical siding, dark brown metal framing for windows and doors, gray metal roofing, and stone veneer siding. The garage will have dark brown vertical siding and a dark brown metal roofing, and the pre-fabricated barn will have a light green exterior siding with a light tan metal roof. The proposed bulk, colors, and materials are consistent with the surrounding residential neighborhood. Therefore, the proposed project's colors will not detract from the immediately surrounding neighborhood character due to siting, architectural style, and vegetative screening. Policy LU-1.13 of the 2010 General Plan requires that all exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long-range visibility of the lighting source is reduced, and off-site glare is fully controlled. As delineated on the project plans, the lighting fixtures proposed are warm LED bulbs, are IDA Dark Sky compliant, and are downlit and unobtrusive, as required in Condition No. 9. No exterior lighting shall be installed in association with the arena or exterior sports court. Therefore, the project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity, as required by Title 21 Chapter 21.44.

- f) Development on Slopes. The proposed project involves consideration of a Use Permit to allow development on slopes in excess of 25%. As demonstrated in Finding No.7 and supporting evidence, the proposed project complies with General Plan Policy OS-3.5, which prohibits development on slopes in excess of 25%, unless the Appropriate Authority finds that such development is unavoidable and/or better meets the resource protection goals and policies of the 2010 General Plan and Carmel Valley Master Plan.
- g) Cultural Resources. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity. Based on the Phase One Archaeological Survey (County of Monterey Library No. LIB220376) results and information available in the record, there are no indicators of archaeological artifacts or historical significance on site. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County’s standard condition (Condition No. 3),

which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- h) Lot Legality. The subject property is shown in its current configuration (130 acres) on Parcel Map (PLN220339-DEP) as Parcel A, recorded on January 28, 2025 (Volume 24, Parcel Maps, Page 39). Therefore, the County recognizes the subject properties as a legal lot of record.
- i) Ridgeline Development. Title 21 section 21.66.010 requires that a Use Permit be applied to a project which includes Ridgeline Development, if the development, as conditioned by the permit, will not create a substantially adverse visual impact when viewed from a common public viewing area. As demonstrated in Finding No. 6 and supporting evidence, the development will not create a substantially adverse visual impact, and better achieves the goals, policies, and objectives of the Monterey County General Plan and applicable area plan than other development alternatives
- j) Land Use Advisory Committee. The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review, on July 21, 2025. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project involves a Design Approval subject to review by the Planning Commission. The LUAC voted 6-0 to support the project as proposed, with no changes suggested.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240207.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to Archaeological Resources, Soil/Slope Stability, and Geologic Hazards. The following reports have been prepared:
    - “Phase 1 Inventory of Archaeological Resources” (LIB220376) prepared by Ruben Mendoza, Salinas, CA, September 4, 2022.
    - “Geologic Hazards Evaluation” (LIB220378) prepared by Craig Harwood, Ben Lomond, CA, July 10, 2022.
    - “Geotechnical and Percolation Investigation” (LIB220379) prepared by Belinda Taluban, Salinas, CA, January 4, 2021.The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff



has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on April 18, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN240207.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) All necessary public facilities will be provided to the proposed single-family dwelling. Potable water will be provided to the parcel by a small water system Quintana WS#1, which allows for two connections. The proposed project will only require one domestic water connection. The project proposes a new onsite wastewater treatment system (OWTS). The Environmental Health Bureau reviewed the conceptual OWTS and expressed no concerns.
  - c) According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to General Plan Policy S-1.7 and Title 21 section 21.66.040.C, a Geological Hazards Assessment and Geotechnical Report were prepared to address the property's known geological hazards. Per the prepared report (County of Monterey Library No. LIB220378), there is no evidence of fault surface traces crossing the building envelope, and there are no geologic hazards that would preclude the residential development of the property based on the current scope of work. Additionally, the report also concluded that the building pad and adjacent slopes have very shallow depths of dense to very dense geologic formational materials. Through further research of available information and reconnaissance, no evidence suggests landslides exist within or immediately adjacent to the building envelope or access road. Further, the potential for liquefaction, lateral spreading, and lurching occurring in any area that could affect this building site is low. Policy S-1.8 of the 2010 General Plan requires that new development only be approved if it can be demonstrated that the site is physically suitable, and the development will neither create nor significantly contribute to geologic instability or geologic hazards. Based on the conclusions of the prepared report, this site is suitable for the residential use this project proposes, and there are

no geological or seismic hazards that would preclude this property from being developed. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.D.

- d) Staff conducted a site inspection on April 18, 2025 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN240207.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on April 18, 2025 and researched County records to assess if any violation exists on the subject property.
  - c) There are no known violations on the subject parcel.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN240207.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures, including one single-family residence in a residential zone.
  - b) The proposed project involves the construction of a 5,620 square foot single-family dwelling with an attached 995 square foot garage, 4,800 square foot barn, and associated site improvements, including a new driveway and 36,610 square foot uncovered roping arena. Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on April 18, 2025.
  - d) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The proposed project will be visible from Carmel Valley Road heading east; however, it is for a brief instance and is in keeping with the other residences along Carmel Valley Road that are visible. Further, Carmel Valley Road is not a

registered scenic highway or corridor. No known historical resources are found in the geotechnical report, which may cause a substantial adverse change in the significance of a historical resource.

- e) Staff conducted a site inspection on April 18, 2025, to verify that the site and proposed project meet the criteria for an exemption.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240207.

6. **FINDING:** **RIDGELINE DEVELOPMENT-** The ridgeline development, as conditioned by permit, will not create a substantially adverse visual impact when viewed from a common public viewing area, and better achieves the goals, policies and objectives of the Monterey County General Plan and applicable area plan than other development alternatives.
- EVIDENCE:**
- a) Title 21 section 21.66.010 requires that a Use Permit be applied to a project which includes Ridgeline Development, if the development, as conditioned by the permit, will not create a substantially adverse visual impact when viewed from a common public viewing area.
  - b) Staff conducted a site visit on April 18, 2025 and drove along Carmel Valley Road and Laureles Grade to verify if the project's staking and flagging would be visible from any public viewing points.
  - c) The majority of the subject property, specifically the building envelope, is visible from Carmel Valley Road when travelling east. The primary vantage point (vantage point #1) is a 0.25-mile section of Carmel Valley Road (0.97 miles, 5,122 feet west of the project site), near the turnout east of the Mid Valley Shopping Center. Given the building envelope's visibility and based on the installed staking and flagging, staff determined that the proposed development would be visible at this vantage point for approximately 15 seconds. At this vantage point, a proposed development would not silhouette against the sky. Additionally, a number of other residences along hillsides are also entirely visible or partially visible from this section of Carmel Valley Road. A secondary vantage point (vantage point #2) is approximately 0.5 miles west of the project site, where the proposed residence would be visible for approximately 400 linear feet along Carmel Valley Road or 5 seconds. At this vantage point, the residence is not directly in a driver's or passenger's line of sight due to the significant elevation difference between Carmel Valley Road and the subject property. However, given this change in elevation and the topography of the property, the ridge of the residence silhouettes against the sky at this second vantage point. Due to the steep topography of the property, the project site is not visible when traveling westbound along Carmel Valley Road.
  - d) The subject property is almost entirely sloped, except for the upper, eastern portion of the property's hillside. Title 21 section 21.06.950 defines "Ridgeline development" as development on the crest of a hill which has the potential to create a silhouette or other substantially adverse impact when viewed from a common public viewing area. Based on the location of the development towards the top of a hill and

its silhouette against the sky (vantage point #2), the project meets the definition of “Ridgeline development.” Therefore, in this case, the project meets the definition of “Ridgeline development.”

- e) The General Plan Policy OS-1.3 prohibits ridgeline development unless a Use Permit is granted and the following finding(s) can be made:
  - 1. The ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area; and either;
  - 2. The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and applicable area plan than other development alternatives; or,
  - 3. There is no feasible alternative to ridgeline development.
- f) The property’s 4.5-acre building envelope is located on a hillside, visible from Carmel Valley Road. Given the size of the development and visibility of the entire building envelope, there is no alternative location that would eliminate visibility of any structure from Carmel Valley Road. Although it is visible from Carmel Valley Road, the proposed development would not create a substantial adverse visual impact due to its location and design. The proposed development is 5.5 feet below the maximum allowed structure height for the subject zoning district (30 feet). Consistent with Carmel Valley Master Plan Policies CV-1.1 and CV-1.20, the proposed natural colors and materials (natural stone, light brown exterior, gray roof) and modern farm style architectural style help the development blend into the surrounding grassland and oak woodland hillside and be compatible with the rural theme of Carmel Valley. The proposed design is the result of multiple revisions, which removed large expanses of windows, high contrast color (white), and reduced the roof pitch. In addition to the exterior colors, the proposed development would be situated on lower elevations of the building envelope to ensure that the roof lines do not silhouette against the sky when viewed from the primary Carmel Valley Road vantage point. However, it should be noted that the project would still silhouette against the sky at the second visible vantage point along Carmel Valley Road (5 seconds; 400 linear feet). At the first vantage point, the proposed residence’s bulk and mass would be perceived as smaller due to distance (1 mile), resulting in visibility that is consistent with or less than other residences in the neighborhood. At the second vantage point, the visibility is minimal (5 seconds) and not in direct line of sight of the public traveling along this public corridor. Therefore, due to siting, design, and existing development and vegetation, the proposed development will not create a substantially adverse visual impact when viewed from a common public viewing area.
- g) Carmel Valley Master Plan Policy CV-1.9 requires clustering of buildings near existing natural or manmade vertical features — such as trees or buildings— to camouflage and visually integrate new development into the environment. Consistent with this policy, the proposed residential development (single-family dwelling, garage, pool, sports court, and site improvements) is clustered near an existing stand of Coast live oak trees. By locating the residential development near mature vegetation and using natural colors, the project reduces visual

impact and remains consistent with the rural aesthetic of Carmel Valley. The proposed barn is sited on the western portion of the building envelope, between numerous mature Coast live oak trees. The existing vegetation would partially screen the barn's visibility from Carmel Valley Road. Finally, the roping area will be enclosed with a rustic fence, which is compatible with the surrounding environment. Neither of these project components would silhouette against the sky.

The single-family dwelling is sited in a flatter portion of the building envelope, while the roping arena and barn are partially sited on steeper slopes. From vantage point #1, there may be alternative building sites that would avoid the development from being located on the crest of a hill, such as relocating it further downslope (west/south) while still being sited within the required building envelope. However, there is no alternative building site that would avoid the single-family dwelling from constituting ridgeline development classification from vantage point #2. Any downslope alternative location could increase the visibility of the residence from Carmel Valley Road (vantage points #1 and #2) and result in a similar silhouette against the sky (from vantage point #2) because the development would be placed on the front-facing slope and the differences in elevation. Further, such relocation would result in greater impacts to slopes in excess of 25% and forest resources than the proposed project. Such alternatives would likely conflict with General Plan Policy OS-3.5, and Carmel Valley Master Plan Policies CV-3.4 and CV-3.11. Carmel Valley Master Plan Policy CV-3.4 requires that the alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal be minimized through design and restoration. As shown on sheet L-2.1 of the attached plans, all disturbed areas will be hydroseeded to maintain the original rural, grassland condition of the hillside. In addition, constructing an open-air roping arena, rather than structural development, on the steeper portion of the building envelope helps maintain the rural character of Carmel Valley (Policy CV-1.1). Finally, the selected building locations also avoid tree removal, consistent with Carmel Valley Master Plan Policy CV-3.11. Therefore, the proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and applicable area plan than other development alternatives.

- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240207.

7. **FINDING:** **SLOPES IN EXCESS OF 25 PERCENT** – The proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and Toro Area Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

**EVIDENCE:** a) Pursuant to Title 21 section 21.64.230 and General Plan Policy OS-3.5, development on slopes exceeding 25 percent is allowed subject to the granting of a Use Permit if there are no feasible alternatives that would allow development to occur on slopes less than 25 percent and/or if the project better achieves the goals, policies, and objectives of the County of

Monterey General Plan and applicable area plan. In this case, the proposed project involves development on slopes, and the criteria to grant the Use Permit have been met.

- b) The majority of subject property constraints slopes in excess of 25%, as shown on County GIS records and the attached project plans. There are limited areas within the subject property that do not contain slopes in excess of 25%. The subject parcel was approved under PLN220339-DEP, which created a building envelope (approximately 4.53 acres) for the subject parcel. The building envelope is located at the higher elevations of the property, near the crest of a hill, and contains the property's most contiguous non-steeply sloped areas as well as a cluster of Oak trees. Within this building envelope area, there are limited portions that contain less steep slopes, however, due to proximity to trees, would create impacts to the existing mature Coast Live Oaks on the property that were not previously considered.
- c) As delineated on the project plans, the development proposes a total of 54,900 square feet of development on slopes exceeding 25 percent. Of the development taking place on slopes, 1,470 square feet is associated with constructing the driveway to access the single family dwelling site, and the remaining 53,430 square feet is associated with leveling areas to accommodate the roping arena and barn. The property has an existing dirt access road running parallel to the proposed barn. This road could be extended on less steep slopes to access the proposed residence site, but permanently scar the hillside with asphalt. Accordingly, the driveway is sited on steeper slopes, between mature existing oaks, to not permanently scar the natural hillside, minimize alteration of visually sensitive hillsides, and reduce visual impacts (Carmel Valley Master Plan Policies CV-2.9 and CV-3.4).
- d) Additionally, the proposed development on slopes does not require tree removal or cause negative impacts to environmentally sensitive habitat (ESHA). Further, the roping arena is a principally allowed use under LDR zoning and has been designed to contour the natural slope and topography of the land.
- e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN240207.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

**EVIDENCE:** a) Board of Supervisors. Section 21.80.040.D of the Monterey County Zoning Ordinance (Title 21) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of the Planning Commission.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Combined development Permit consisting of: 1) Administrative Permit and Design Approval to allow the construction of a 5,620 square foot single-family dwelling with an attached 995 square foot three-car garage, a 4,800 square foot barn, 36,610 square foot uncovered roping arena with associated site improvements; and 2) a Use Permit to allow Ridgeline Development; and 3) a Use Permit to allow development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached 10 conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 10<sup>th</sup> day of September 2025 upon motion of Commissioner Hartzell, seconded by Commissioner Diehl, by the following vote:

- AYES: Getzelman, Mendoza, Diehl, Hartzell, Gonzalez, Roberts, Work, Shaw, Gomez
- NOES: None
- ABSENT: Monsalve
- ABSTAIN: None

DocuSigned by:

*Melanie Beretti*

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Melanie Beretti, AICP, Chief of Planning  
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **SEPTEMBER 15, 2025**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **SEPTEMBER 25, 2025**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014



# County of Monterey HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240207

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN240207) allows for construction of 5,620 square foot single-family dwelling with an attached 995 square foot garage, 4,800 square foot barn out-building, a 36,610 square foot uncovered roping arena, associated site improvements including a driveway, and 3,500 cubic yards of grading. The property is located at 27650 Via Quintana, Carmel (Assessor's Parcel Number 185-052-023-000 & 185-052-026-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number 25-033) was approved by Planning Commission for Assessor's Parcel Number 185-052-023-000 & 185-052-026-000 on September 10, 2025. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 5. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 6. PW0006 - CARMEL VALLEY

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).  
(Public Works)

**Compliance or Monitoring Action to be Performed:** Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

**7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE**

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (As applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
  - o Types of construction vehicles and number of truck and/or vehicle trips/day.
  - o Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
  - o Hours of operation.
  - o Project scheduling (dates) and duration of construction.
- Map illustrating:
  - o Location of project (vicinity map).
  - o Proposed route for hauling material.
  - o Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
  - o Location of stockpiles and parking for construction vehicles.
  - o Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
- The CMP shall:
  - o Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
  - o Prohibit blocking of access roads or driveways.
  - o Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
  - o Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
  - o Provide adequate storage and staging areas. Staging and storage areas shall be on-site to maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
    - ? If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
    - ? The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
    - ? Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
- Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

**Compliance or Monitoring Action to be Performed:** 1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase yes, they of the project.

#### 9. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. No exterior lighting shall be installed associated with the arena or exterior sports court. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

#### 10. PD038 - WATER TANK APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit proposed color of water tank and landscaping plans to HCD - Planning for review and approval.

Prior to final inspection or occupancy, the Owner/Applicant shall provide evidence to the Director of HCD - Planning that the water tank has been painted and the landscaping has been installed according to the plans approved by HCD - Planning.

On an on-going basis, the Owner/Applicant shall continuously maintain all landscaped areas and fences; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.



# ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924  
APN 185-052-023, 185-052-026 [MONTEREY COUNTY]



## HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

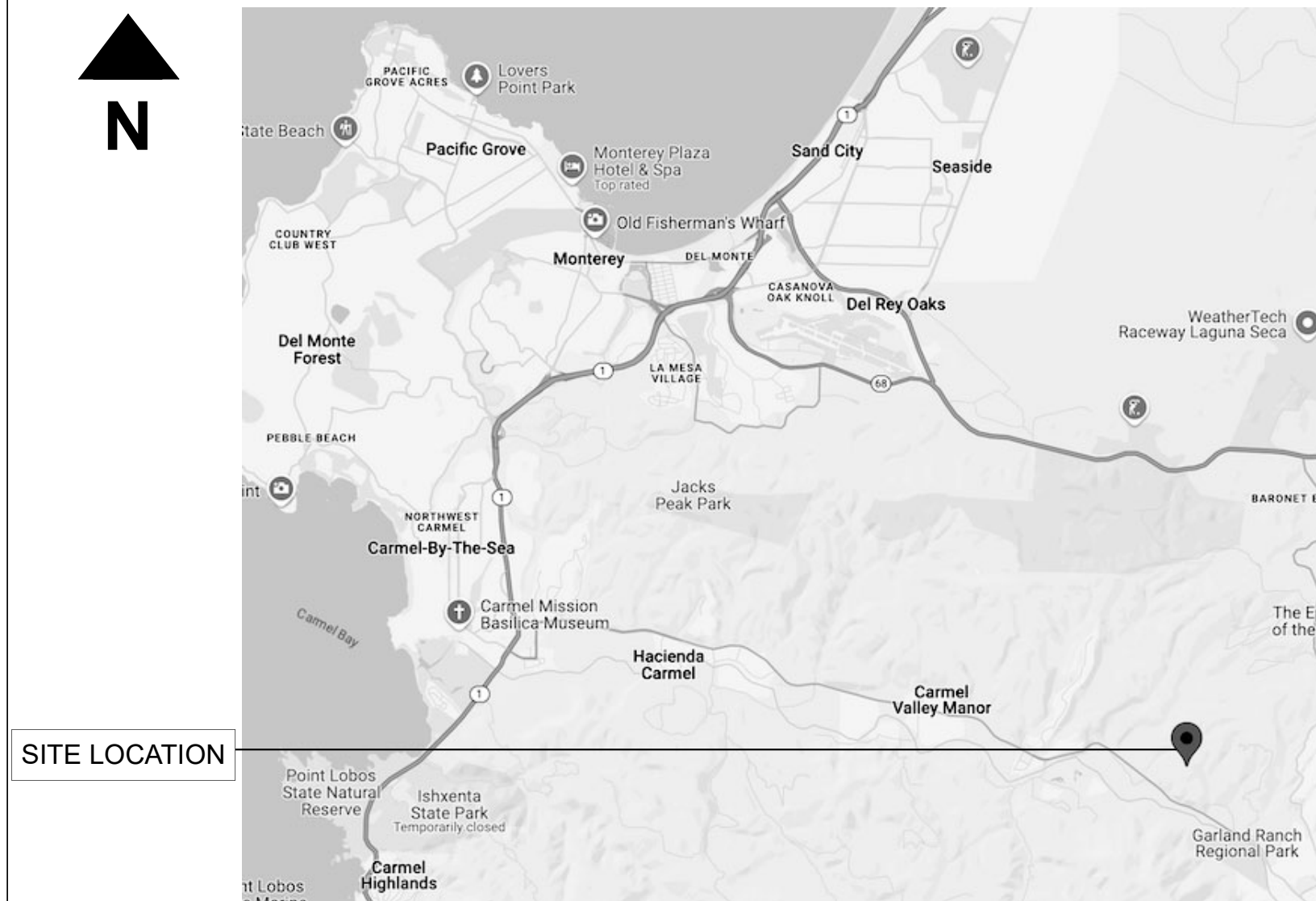
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:  
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

## CONSTRUCTION PLAN SUMMARY

1. THE PROPOSED PROJECT IS A SFR NEW BUILD THAT IS TO BE COMPLETED IN A TIME FRAME OF 24 MONTHS.
2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF 6 TO 8 WORKERS WORKING ON THE PROJECT PER WORKING DAY.
3. PARTIES RESPONSIBLE DURING CONSTRUCTION:
  - A. OWNER: CHAD & AVERY ULLMAN
  - B. CONTRACTOR: LEWIS BUILDERS
4. ON AVERAGE, TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK.
5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
6. PROJECT SCHEDULING: START AUGUST 2025 END AUGUST 2027.
7. WASTE TO BE HAULED TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT LANDFILL IN MARINA.

## SPECIAL WORK GUIDELINES

## VICINITY MAP



SITE LOCATION

## WATER CREDITS

MPWMD PERMIT FOR SECOND WELL APPROVED  
SEE MPWMD WORKSHEET ON SHEET A-N.2

## FIRE SPRINKLERS

SPRINKLERS ARE REQUIRED (NEW BUILD)  
FIRE RISER, ALARM, AND CHECK VALVE REQUIRED  
TWO (2) 5,000 GALLON TANKS REQUIRED FOR FIRE SUPPRESSION

## ZONING CONFORMANCE

RESIDENCE (P) 5,620 SF  
 GARAGE (P) 995 SF  
 BEDROOM & BATH #4 (P) 750 SF  
 BARN (P) 4,800 SF  
 TOTAL BUILDINGS (P) 12,165 SF LIMIT IS 784,080 SF  
 TOTAL PARCEL 3,288,605 SF (74.496 ACRES)  
 SITE BUILDING COVERAGE RATIO (P) 0.37% LIMIT IS 25% (784,080 SF)

MAIN: (MIN DISTANCE TO 2ND RESIDENCE = 20')  
 SETBACKS: FRONT - 30', SIDE & REAR - 20' :: HEIGHT = 30'  
 HABITABLE ACCESSORY: (MIN DISTANCE TO MAIN - 10')  
 SETBACKS: FRONT - 50', SIDE & REAR 6' :: HEIGHT - 15'  
 NON-HABITABLE ACCESSORY: (MIN DISTANCE TO ACCESSORY - 6')  
 SETBACKS: FRONT - 30' OR BEHIND MAIN, FRONT HALF SIDE - 6', REAR HALF SIDE & REAR - 1' ::  
 HEIGHT - 15'  
 BARN: (MIN DISTANCE TO MAIN - 20')  
 SETBACKS: FRONT - 50' OR BEHIND MAIN, SIDE & REAR 20'  
 CARMEL VALLEY MASTER PLAN:  
 100' SETBACK FROM CARMEL VALLEY ROAD WHERE APPLICABLE(SEE POLICY 40.2.1.1(CV))

## CONTACT INFO

LEGAL OWNER	APPLICANT / DESIGNER
ERIC J. REY on behalf of CHAD & AVERY ULLMAN 3 HOLDING FIELD RUN, CARMEL, CA 93923	LEWIS BUILDERS 3706 THE BARNYARD G-11 CARMEL, CA (831) 250-7168
ENGINEER OF RECORD	ENERGY COMPLIANCE
TBD	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8228 cao@meq4.com

## SITE DETAILS

LAND USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: LDR/2.5-D-S-RAZ & RDR/10-D-S-RAZ  
 SITE AREA: 74.496 ACRES (3,288,605 SF)  
 YEAR BUILT: NEW BUILD  
 OCCUPANCY TYPE: R-3  
 CONSTRUCTION TYPE: V-B  
 SPRINKLED: YES  
 STORIES: ONE (RESIDENCE), TWO (GARAGE/ADU)  
 TOTAL BUILDINGS: 12,085 SF  
 HOUSE: 5,620 SF  
 GARAGE: 995 SF  
 BEDROOM & BATH #4: 750 SF  
 BARN: 4,800 SF  
 JURISDICTION: MONTEREY COUNTY  
 FIRE DISTRICT: MONTEREY COUNTY REGIONAL FD  
 WELL (MPWMD) SMALL WATER SYSTEM  
 (4 CONNECTIONS) NAMED QUINTANA #7 (REY)  
 SEWER: SEPTIC  
 ELECTRICITY/GAS: OFF-GRID WITH PG&E TRENCHING  
 SOILS REPORT: YES  
 HISTORIC BLDG: N/A  
 ARCHEOLOGY: YES, HIGH/MODERATE  
 FLOODPLAIN: FEMA ZONE 'X'  
 WUI ZONE: YES, VERY HIGH  
 EASEMENTS: YES  
 ENCROACHMENT: NO  
 NON-CONFORMING: NO  
 VARIANCE: NO  
 PARCEL DIVISION: YES, IN PROGRESS  
 VISUAL SENSITIVITY: NO, PER SENIOR PLANNER (LUIS OSORIO)

## BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:

- o CALIFORNIA BUILDING CODE 2024
- o CALIFORNIA RESIDENTIAL CODE 2024
- o CALIFORNIA MECHANICAL CODE 2024
- o CALIFORNIA PLUMBING CODE 2024
- o CALIFORNIA ELECTRICAL CODE 2024
- o CALIFORNIA FIRE CODE 2024
- o CALIFORNIA ENERGY CODE 2024
- o CALIFORNIA GREEN BUILDING STANDARDS CODE 2024
- o MONTEREY COUNTY CODE AMENDMENTS 2024

## EASEMENTS

1. A RIGHT OF WAY FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 13, PAGE 434 OF DEEDS, RECORDED MARCH 31, 1887.
2. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 27, PAGE 335 OF DEEDS, RECORDED APRIL 3, 1890.
3. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF MONTEREY WATER WORKS PER VOLUME 93, PAGE 86 OF DEEDS, RECORDED JULY 5, 1906 AND VOLUME 156, PAGE 392 OF DEEDS, RECORDED MARCH 23, 1918.
4. A BLANKET UTILITY EASEMENT FOR THE BENEFIT OF PACIFIC GAS AND ELECTRIC AS RECORDED AUGUST 29, 2003 AS DOCUMENT 2003105560 OF OFFICIAL RECORDS.
5. EQUESTRIAN TRAIL EASEMENTS ARE NOT SHOWN.
6. UTILITY EASEMENTS SET DURING PARCEL DIVISION, 2025.

## NOTES

SUBDIVISION OF PARCEL HAS BEEN RECORDED AT TIME OF SUBMITTAL, NEW OWNERSHIP WILL BE REFLECTED BY JANUARY 2025.

## DEFERRED SUBMITTAL

PLANNING  
 LANDSCAPE & IRRIGATION PLAN  
 LANDSCAPE WATER USE CALCULATION

BUILDING  
 FIRE SUPPRESSION  
 FAU MODEL, BTU, PIPE SIZE & LENGTHS  
 RADIANT MODEL, BTU, PIPE SIZE & LENGTHS  
 GAS SCHEMATIC  
 GAS PIPE SIZE & LENGTHS  
 PLUMBING SCHEMATIC  
 PLUMBING PIPE SIZE & LENGTHS  
 GENERATOR DECIBEL TESTING

## PROJECT DESCRIPTION

PLANNING  
 \*SUBDIVISION OF PARCEL COMPLETED - PROPERTY MARKED AS PARCEL 'A'  
 NEW ONE-STORY 5,620 SF SINGLE FAMILY RESIDENCE  
 TWO STORY, 995 SF GARAGE WITH 750 SF BEDROOM & BATH #4 ON 2ND FLOOR  
 4,800 SF BARN  
 UNCOVERED ROPING ARENA  
 UNCOVERED SPORT COURT  
 REAR HARDSCAPE AND POOL  
 GROUND MOUNTED PHOTOVOLTAIC ARRAY

TREE REMOVAL  
 NONE

BUILDING  
 SPRINKLERS ARE REQUIRED  
 BURY PG&E LINES TO HOUSE  
 PROPERTY TO BE SERVICED BY NEW WELL (APPROVED)  
 SOLAR ARRAY GROUND INSTALLATION, BATTERIES & GENERATOR, LOCATION TBD  
 TWO (2) 5,000 WATER TANKS FOR FIRE SUPPRESSION  
 ONE (1) 5,000 WATER TANK FOR HOUSE SUPPLY

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A-2.2	EXTERIOR ELEVATIONS & MATERIALS
A-3.0	EXTERIOR ELEVATIONS & MATERIALS
A-3.1	ROOF PLAN
A-4.1	FINISH MATERIALS
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LANDSCAPE	
L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING NOTES
L-2.1	OVERALL PLANTING PLAN
L-2.2	PLANTING PLAN
L-3.0	OVERALL SITE LIGHTING PLAN
L-3.1	SITE LIGHTING PLAN
L-3.2	SITE LIGHTING SPECS
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C1	COVER SHEET & GENERAL NOTES
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C3	PROPOSED SITE PLAN
C4	DRIVEWAY PLAN & PROFILE
C5	GRADING & DRAINAGE PLAN RESIDENCE
C6	GRADING & DRAINAGE PLAN SPORT COURT
C7	GRADING & DRAINAGE PLAN SPORT ARENA
C8	GRADING & DRAINAGE PLAN SPORT BARN
C9	SITE SECTIONS
C10	UTILITY PLAN
C11	SECTIONS & DETAILS
C12	EXISTING SITE PLAN
C13	EROSION AND SEDIMENT CONTROL PLAN
C14	CONSTRUCTION MANAGEMENT PLAN
VISUAL IMPACT	
V-0	TITLE SHEET, PROJECT DATA, & PARCEL PLAN
V-0.1	VIEWSHED RENDERINGS OF PROPOSED BUILDINGS
V-0.2	SAFETYWAY PULLOUT STORY POLES, W CARMEL VALLEY RD
V-0.3	SAFETYWAY PULLOUT REDERING, W CARMEL VALLEY RD
V-1.1	VIEW FROM 927 W CARMEL VALLEY RD
V-1.2	VIEW FROM 927 W CARMEL VALLEY RD
V-1.3	VIEW FROM 929 W CARMEL VALLEY RD
V-1.4	VIEW FROM 931A W CARMEL VALLEY RD
V-1.5	VIEW FROM SAFEWAY PULLOUT, CARMEL VALLEY RD

A-0

VERSION: 1.2

DATE: 9/2/2025

PLANNING

COVER: PROJECT DATA

DATE / DESCRIPTION

REV #

BY

REV #

DATE / DESCRIPTION

BY

REV #

DATE / DESCRIPTION

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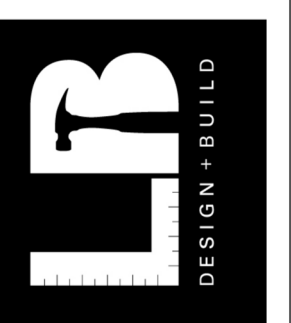
ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924  
APN 185-052-023, 185-052-026

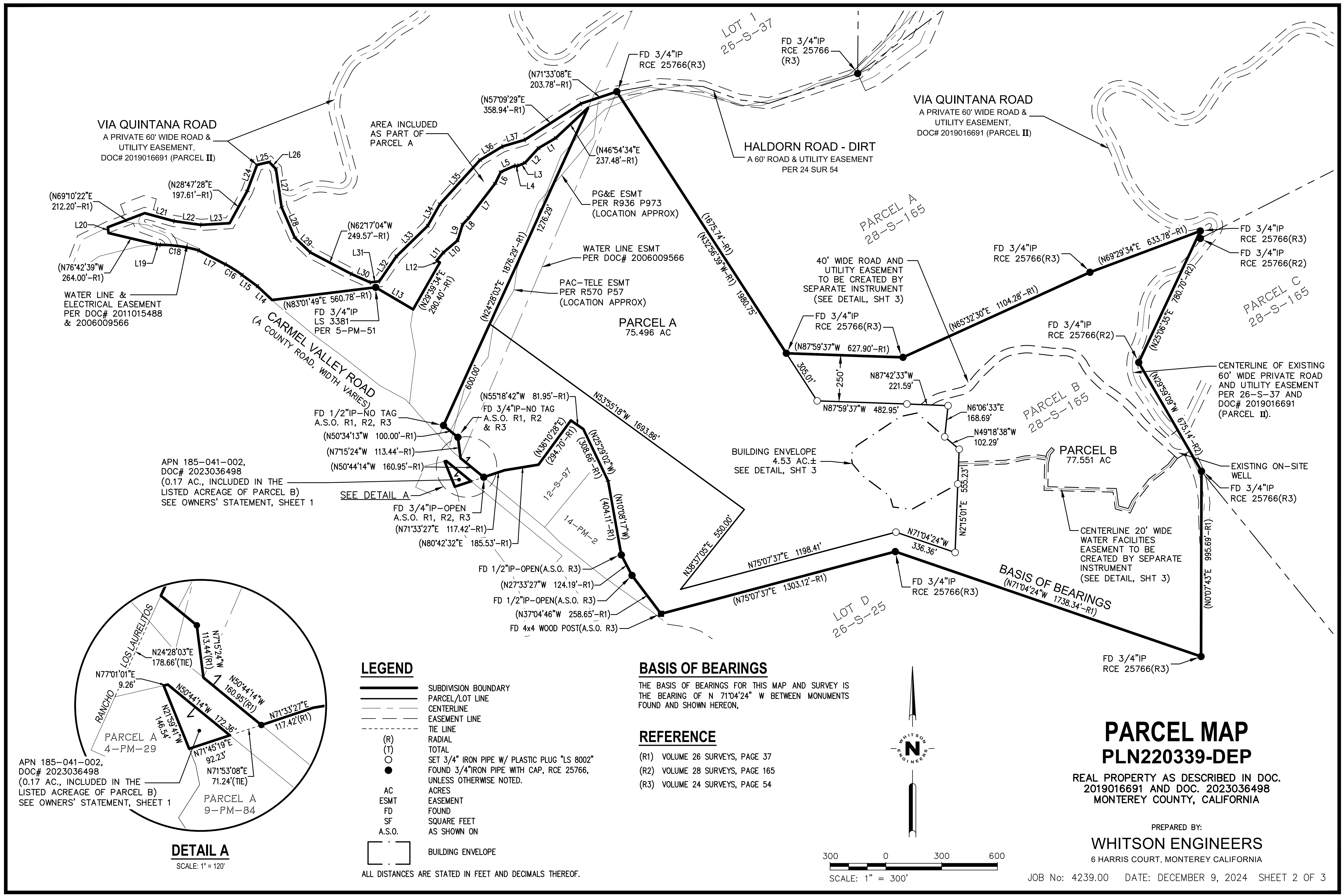
STAMP/SIGNATURE

ALL DRAWINGS, SPECIFICATIONS, NOTES, AND REVISIONS MUST BE REFERENCED TO THE CORRECT SHEET AND DATE OF THE PROJECT ONLY. ANY PROPOSED CHANGES MUST BE APPROVED BY THE ARCHITECT AND CONTRACTOR. ANY ATTEMPTS TO MAKE UNAUTHORIZED CHANGES TO THE DRAWINGS OR SPECIFICATIONS WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT OR CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

LEWIS BUILDERS  
CA LICENSE #B-844741  
CARMEL, CA 93923  
(831) 250-7168







**VIA QUINTANA ROAD**  
A PRIVATE 60' WIDE ROAD & UTILITY EASEMENT, DOC# 2019016691 (PARCEL II)

AREA INCLUDED AS PART OF PARCEL A

**HALDORN ROAD - DIRT**  
A 60' ROAD & UTILITY EASEMENT PER 24 SUR 54

**VIA QUINTANA ROAD**  
A PRIVATE 60' WIDE ROAD & UTILITY EASEMENT, DOC# 2019016691 (PARCEL II)

(N69°10'22"E 212.20'-R1)  
(N76°42'39"W 264.00'-R1)  
WATER LINE & ELECTRICAL EASEMENT PER DOC# 2011015488 & 2006009566

PG&E ESMT PER R936 P973 (LOCATION APPROX)

WATER LINE ESMT PER DOC# 2006009566

PAC-TELE ESMT PER R570 P57 (LOCATION APPROX)

40' WIDE ROAD AND UTILITY EASEMENT TO BE CREATED BY SEPARATE INSTRUMENT (SEE DETAIL, SHT 3)

APN 185-041-002, DOC# 2023036498 (0.17 AC., INCLUDED IN THE LISTED ACREAGE OF PARCEL B) SEE OWNERS' STATEMENT, SHEET 1

SEE DETAIL A

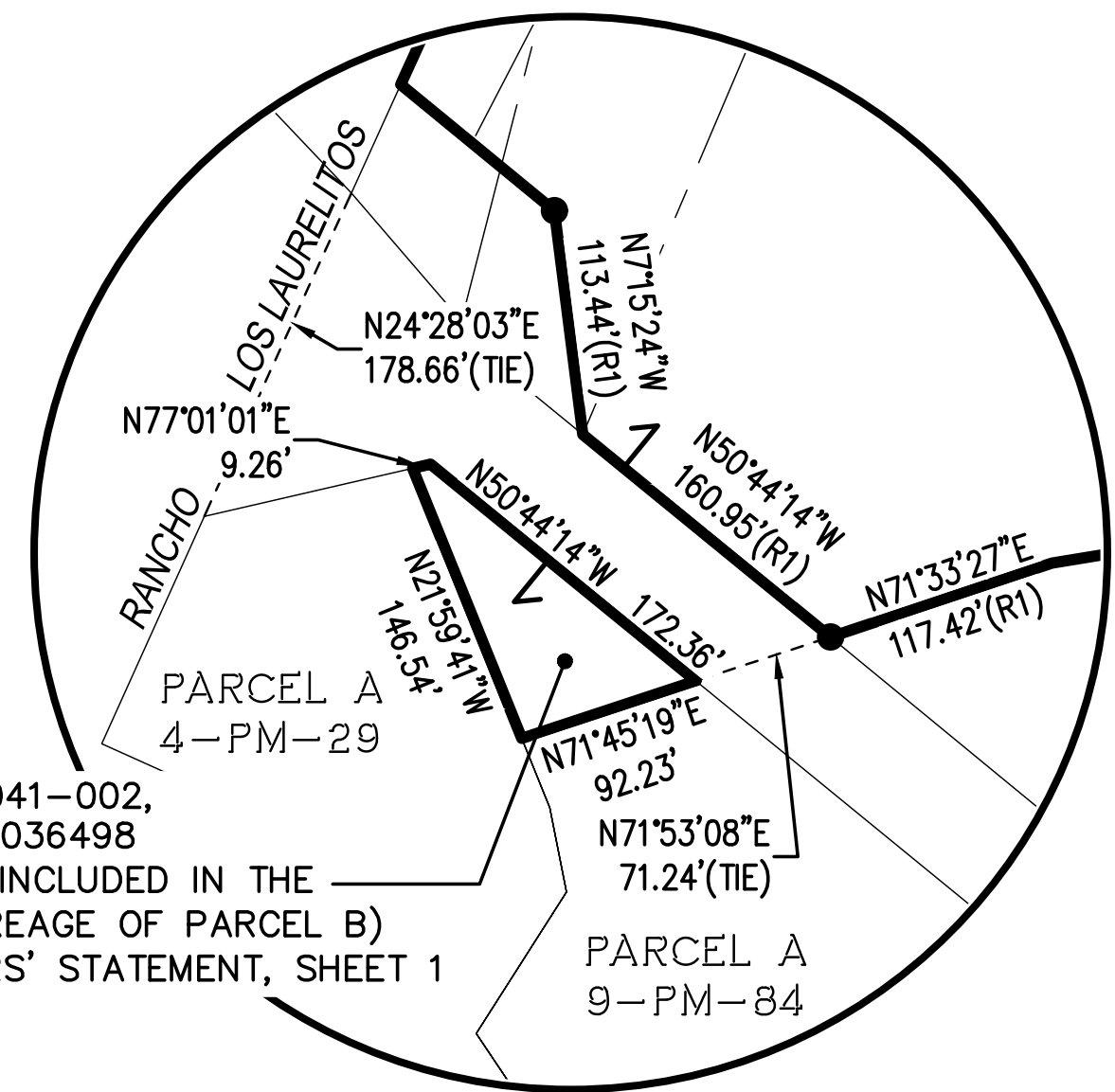
BUILDING ENVELOPE 4.53 AC.± SEE DETAIL, SHT 3

PARCEL B 77.551 AC

CENTERLINE OF EXISTING 60' WIDE PRIVATE ROAD AND UTILITY EASEMENT PER 26-S-37 AND DOC# 2019016691 (PARCEL II).

EXISTING ON-SITE WELL  
FD 3/4"IP RCE 25766(R3)

CENTERLINE 20' WIDE WATER FACILITIES EASEMENT TO BE CREATED BY SEPARATE INSTRUMENT (SEE DETAIL, SHT 3)



**DETAIL A**  
SCALE: 1" = 120'

**LEGEND**

- SUBDIVISION BOUNDARY
- PARCEL/LOT LINE
- - - CENTERLINE
- - - EASEMENT LINE
- - - TIE LINE
- (R) RADIAL
- (T) TOTAL
- SET 3/4" IRON PIPE W/ PLASTIC PLUG "LS 8002"
- FOUND 3/4" IRON PIPE WITH CAP, RCE 25766, UNLESS OTHERWISE NOTED.
- AC ACRES
- ESMT EASEMENT
- FD FOUND
- SF SQUARE FEET
- A.S.O. AS SHOWN ON
- BUILDING ENVELOPE

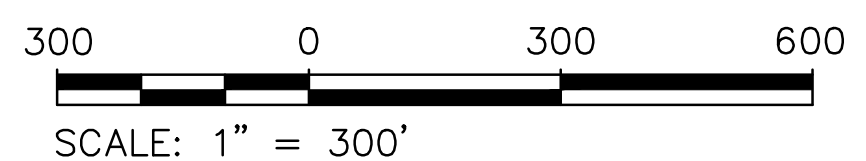
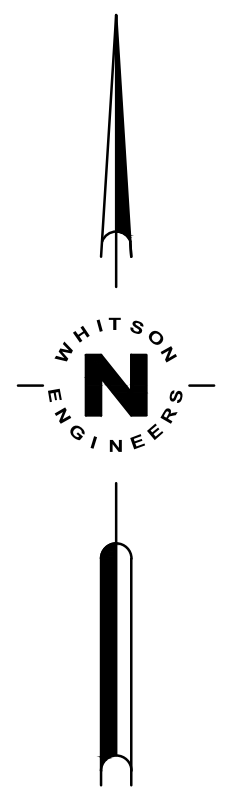
ALL DISTANCES ARE STATED IN FEET AND DECIMALS THEREOF.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS MAP AND SURVEY IS THE BEARING OF N 71°04'24" W BETWEEN MONUMENTS FOUND AND SHOWN HEREON.

**REFERENCE**

- (R1) VOLUME 26 SURVEYS, PAGE 37
- (R2) VOLUME 28 SURVEYS, PAGE 165
- (R3) VOLUME 24 SURVEYS, PAGE 54



**PARCEL MAP**  
**PLN220339-DEP**

REAL PROPERTY AS DESCRIBED IN DOC. 2019016691 AND DOC. 2023036498 MONTEREY COUNTY, CALIFORNIA


PREPARED BY:  
**WHITSON ENGINEERS**  
6 HARRIS COURT, MONTEREY CALIFORNIA



**SITE PLAN**

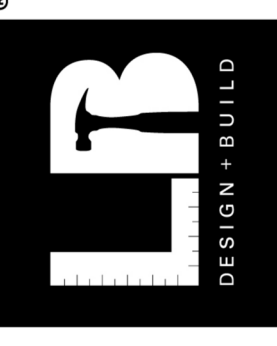
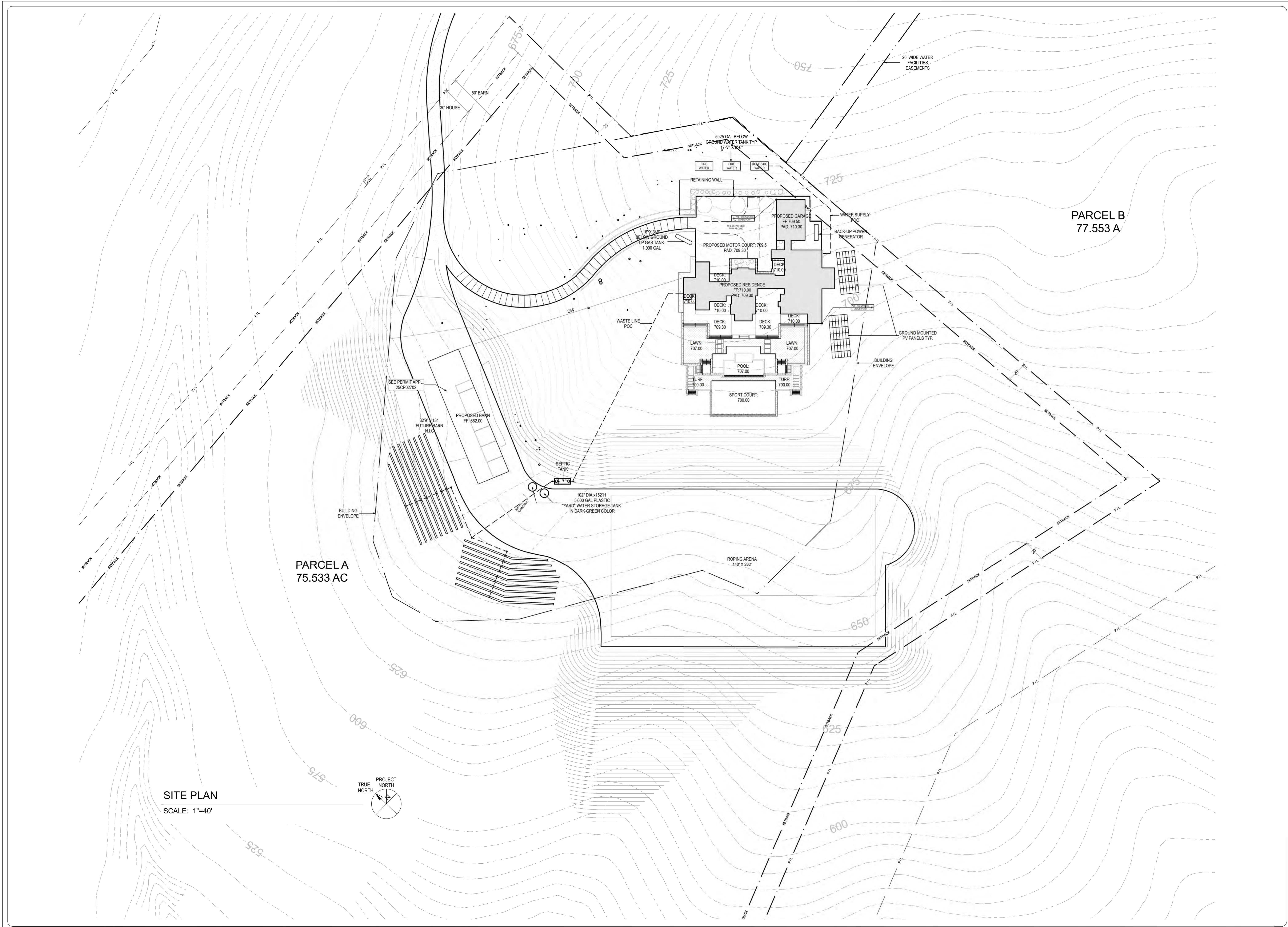
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 27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924  
 APN 185-052-023, 185-052-026

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**SITE PLAN**  
 SCALE: 1"=40'



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PARTIAL SITE PLAN

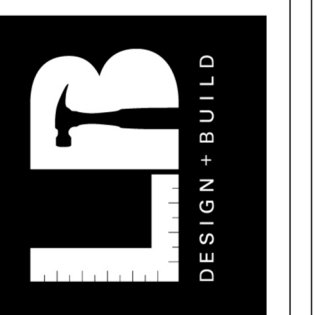
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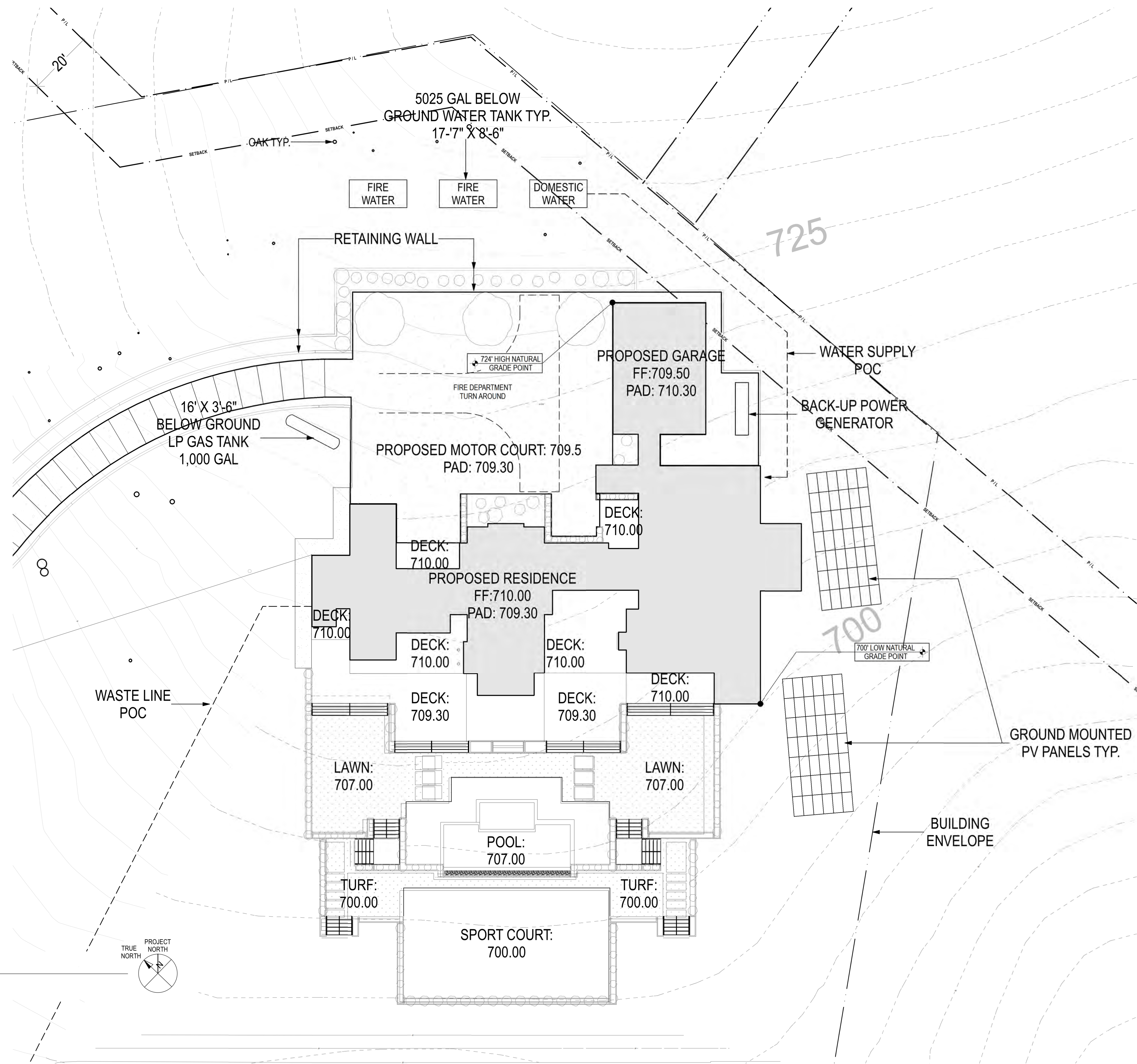
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SITE PLAN

SCALE: 1/16"=1'





**FLOOR PLAN NOTES**

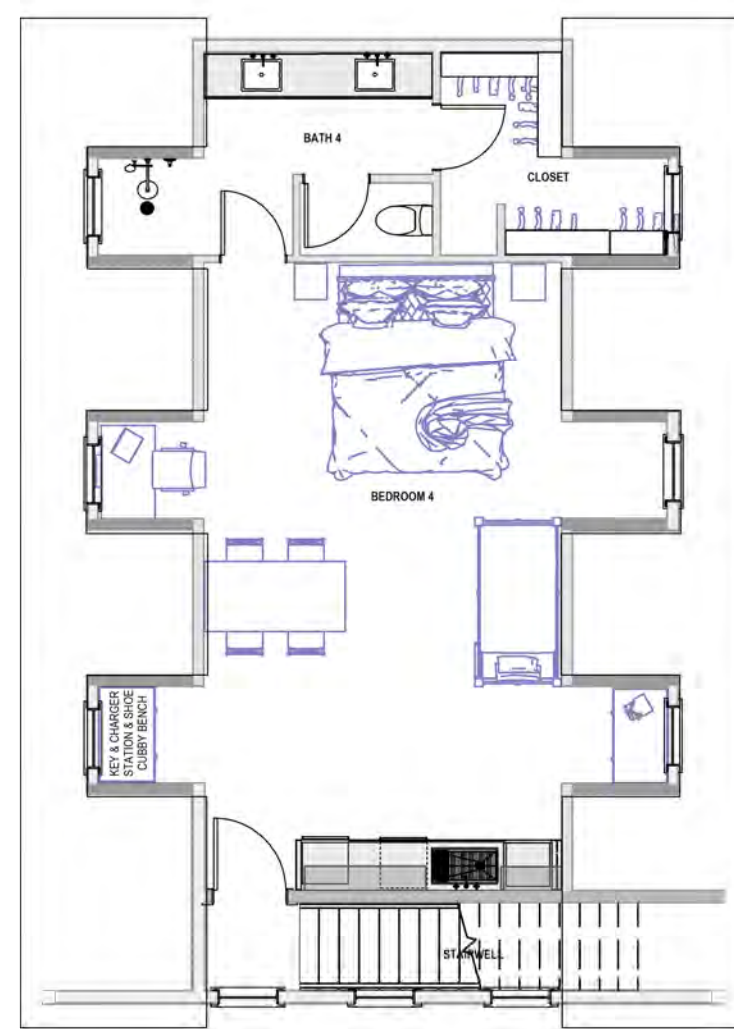
- 1 ALL NEW STUDS @ 16" OC.  
 2 GLASS SHOWER WALL NOTES  
 2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.  
 2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2" AND NOT MORE THAN 9" ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.  
 2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.  
 2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.  
 2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

**STAIRS AND GUARDRAILS**

- STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]  
 A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]  
 B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]  
 C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]  
 MINIMUM CODE REQUIREMENTS:  
 A) MAXIMUM 7 7/8-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]  
 B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]  
 C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]  
 D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]  
 E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

**UNDERSTAIR AREAS:**

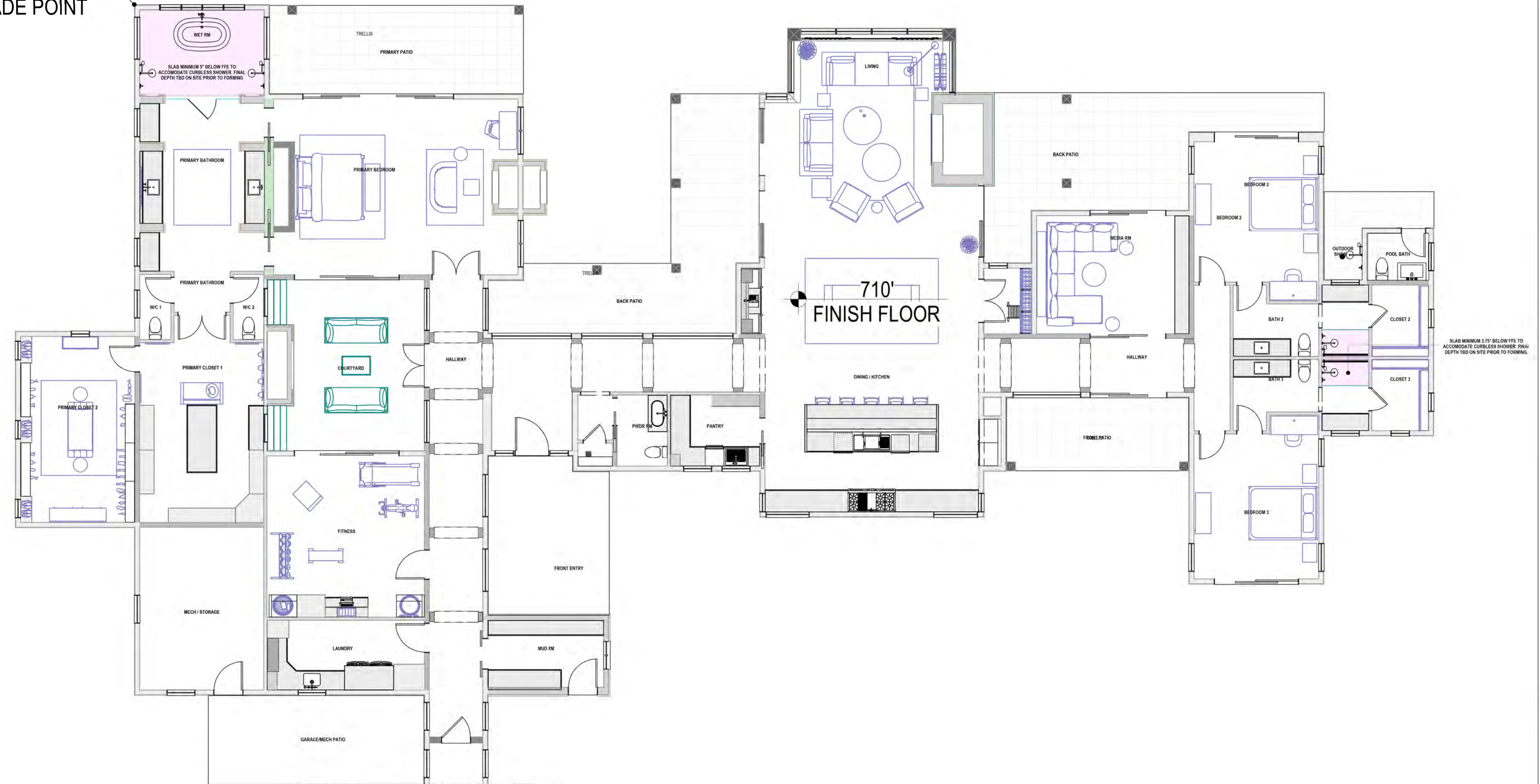
- A) HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM CHB. PER CRC R302.7  
 B) AREAS CONTAINING APPLIANCES, AREA REQUIRES 5/8 TYPE 'X' 1 HR FIRE RATED GYPSUM



**PROPOSED UPPER FLOOR PLAN**

SCALE: 1/8"=1'

700' LOW NATURAL GRADE POINT



**PROPOSED MAIN FLOOR PLAN**

SCALE: 1/8"=1'



**A-2.1**

VERSION: 1.2

DATE: 9/2/2025

PLANNING

**HOUSE FLOOR PLANS**

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

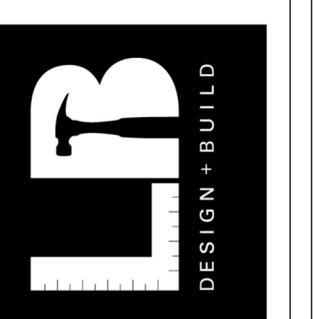
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BARN PLAN & MATERIALS

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ULLMAN RESIDENCE

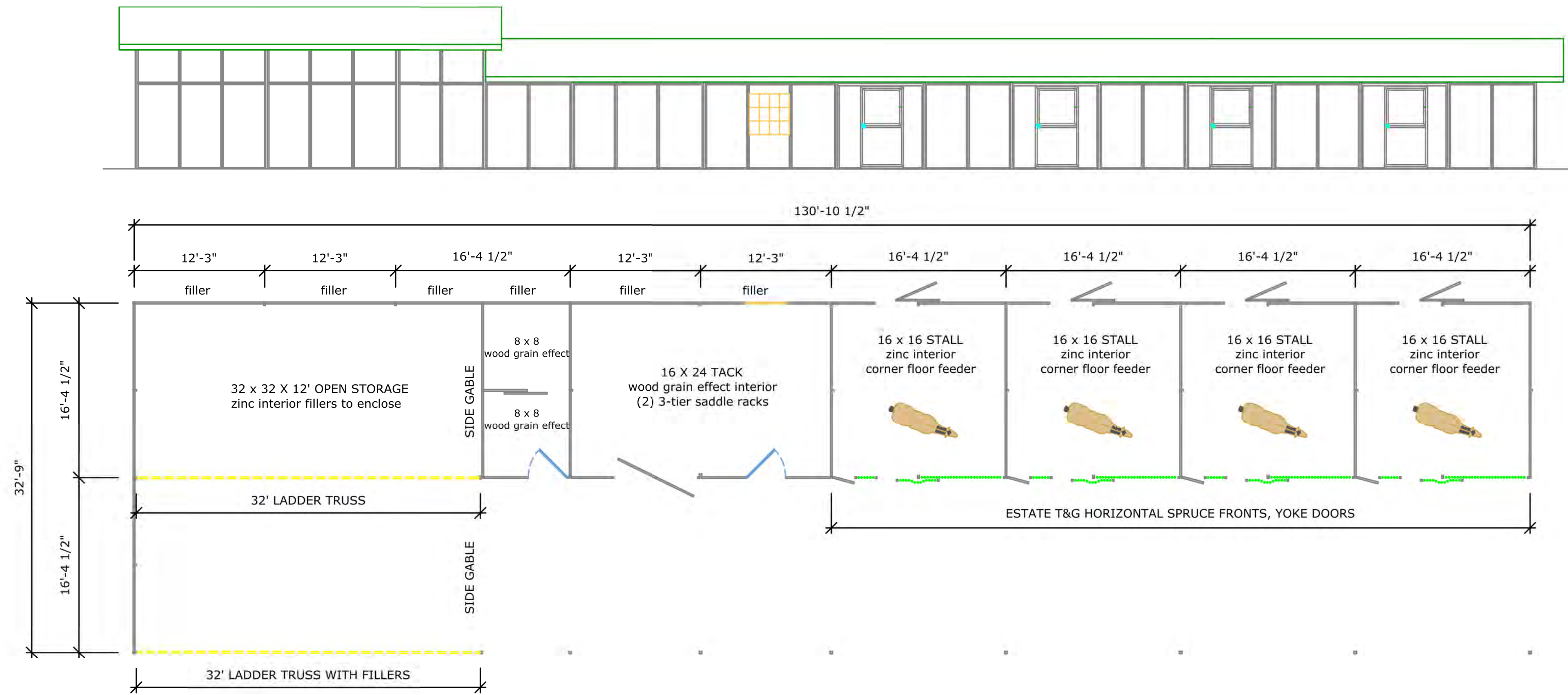
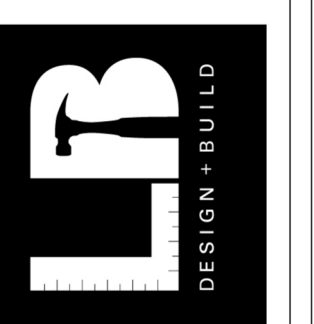
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PRE-MANUFACTURED HORSE BARN  
DRAWN TO SCALE

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Our **Wall Finishes** utilize 26 gauge pre-painted, embossed, laminated steel. Zincalume® is standard for the interior wall, and customer can pick exterior color. Available colors are shown below. Panels are encased in 2" x 2", 14 gauge channel with mitered corners, welded together with a jig to ensure uniformity. The bottom channel is hot-dipped galvanized for rust resistance at ground level, with weep holes every 24" to hold panel insert 1/4" off the bottom channel. All other channels are G90 galvanized.

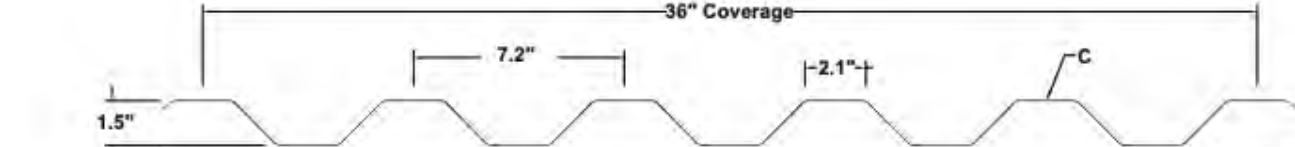
Exterior Wall Color 20-year paint system



MS Colorfast45® Paint System Premium Colors ADD 5% PANELS/FLATS



METAL ROOFING





**EXTERIOR MATERIALS SUMMARY**

- 1 - STONE FACING: TEXAS CREAM 1 1/2" THK. STONE VENEER
- 2 - POSTS, BEAMS, PERGOLAS: ANODIZED BLACK STEEL
- 3 - HOUSE SIDING: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7640 FAWN BRINDLE
- 4 - WINDOWS: ANDERSEN E-SERIES IN ANODIZED BLACK
- 4 - SLIDING DOORS / DOORS: ANDERSEN E-SERIES IN ANODIZED BLACK
- 5 - GUTTER / DOWNSPOUTS: SQUARE ALUMINUM IN MIDNIGHT BRONZE
- 6 - HOUSE ROOFING: AEP SPAN OLD TOWN GRAY
- 7 - WALKWAYS / PATIOS: DECORATIVE CONCRETE, SAND-WASHED FINISH
- 8 - EXTERIOR LIGHTING: VISUAL COMFORT 8537401-71/T | VCS0906154 SCENCE
- 9 - GARAGE DOOR: CARRIAGE HOUSE DOORS, V-GROOVE, STAIN GRADE, DESIGN A WINDOWS
- 10 - FRONT DOOR: JELDWEN WHITE OAK WOOD VENEER PIVOT DOOR
- 11 - GARAGE SIDING: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE
- 12 - ADDRESS BOLLARD: STUCCO PAREX USA 1014L, W/ STONE CAP, ALUMINUM NUMBERS
- 13 - GARAGE ROOFING: AEP SPAN MIDNIGHT BRONZE
- 14 - EXTERIOR FASCIA COLOR: SHERWIN WILLIAMS SW 6006 BLACK BEAN
- 15 - AUTO COURT: SAND WASHED CONCRETE
- DRIVEWAY: SAND WASHED CONCRETE, AT GRADE OVER 10%
- BARN SIDING: METAL, PRE-MANUFACTURED - COLOR SANDSTONE
- BARN ROOFING: METAL, PRE-MANUFACTURED - COLOR LIGHT STONE



**PROPOSED NORTH (FRONT) ELEVATION**

SCALE: 1/8"=1'



**PROPOSED WEST ELEVATION**

SCALE: 1/8"=1'



**EXTERIOR ELEVATIONS & MATERIALS**

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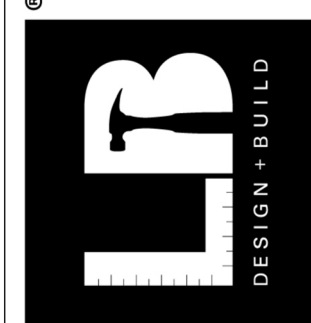
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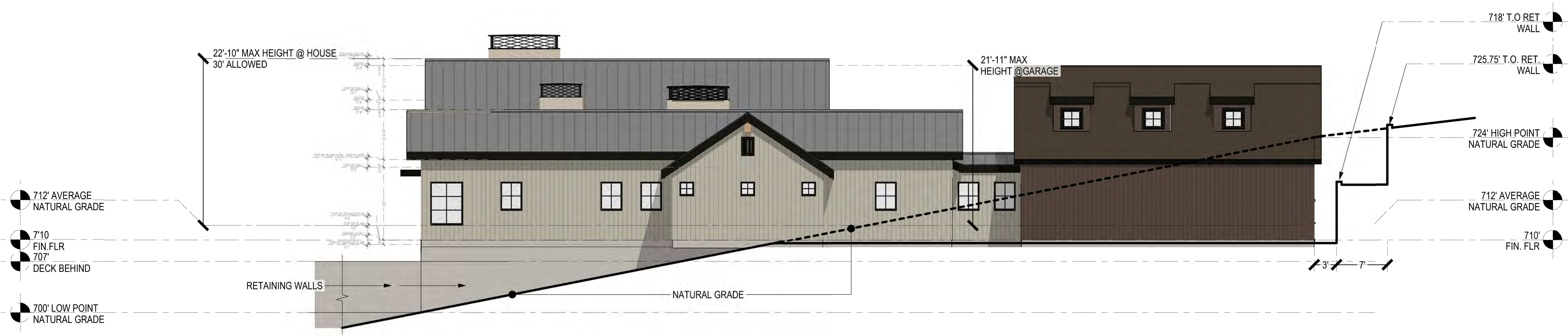
**EXTERIOR MATERIALS SUMMARY**

- |                             |  |
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| 4 - WINDOWS:                | ANDERSEN E-SERIES IN ANODIZED BLACK  |
| 4 - SLIDING DOORS / DOORS:  | ANDERSEN E-SERIES IN ANODIZED BLACK  |
| 5 - GUTTER / DOWNSPOUTS:    | SQUARE ALUMINUM IN MIDNIGHT BRONZE   |
| 6 - HOUSE ROOFING:          | AEP SPAN OLD TOWN GRAY   |
| 7 - WALKWAYS / PATIOS:      | DECORATIVE CONCRETE, SAND-WASHED FINISH  |
| 8 - EXTERIOR LIGHTING:      | VISUAL COMFORT 8537401-71/T   VCS096154 SCONCE                                 |
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| 15 - AUTO COURT:            | SAND WASHED CONCRETE   |
| DRIVEWAY:                   | SAND WASHED CONCRETE, AT GRADE OVER 10%  |
| BARN SIDING:                | METAL, PRE-MANUFACTURED - COLOR SANDSTONE                                      |
| BARN ROOFING:               | METAL, PRE-MANUFACTURED - COLOR LIGHT STONE                                    |



PROPOSED SOUTH (REAR) ELEVATION

SCALE: 1/8"=1'



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'



EXTERIOR ELEVATIONS & MATERIALS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION

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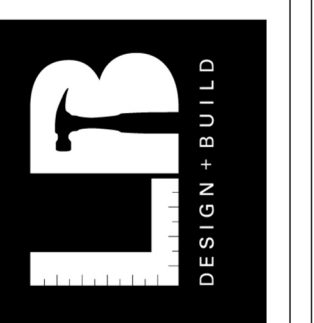
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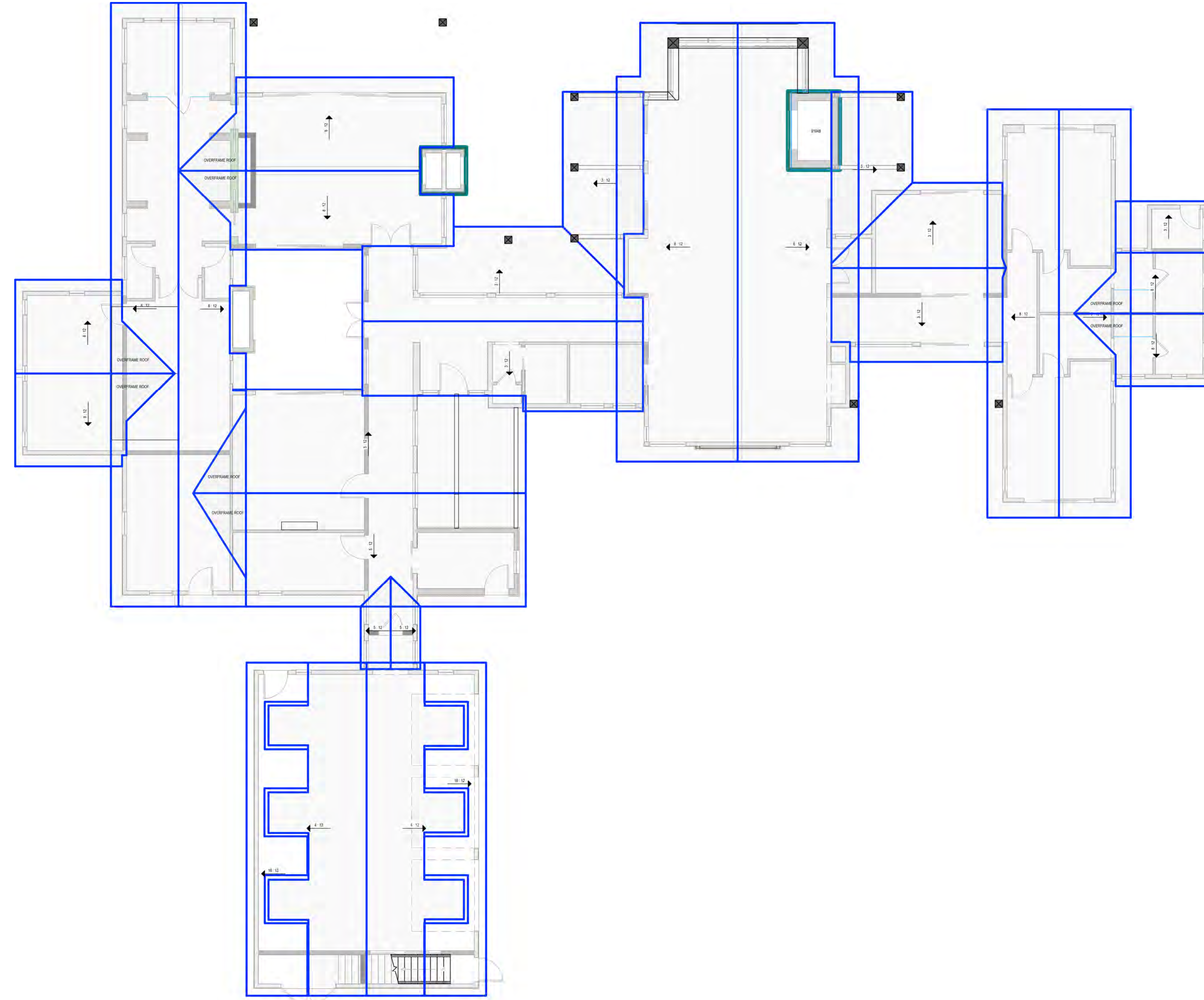
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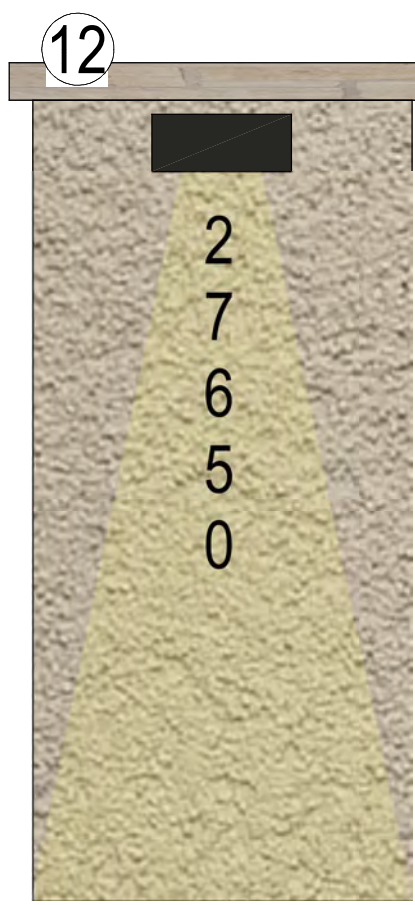
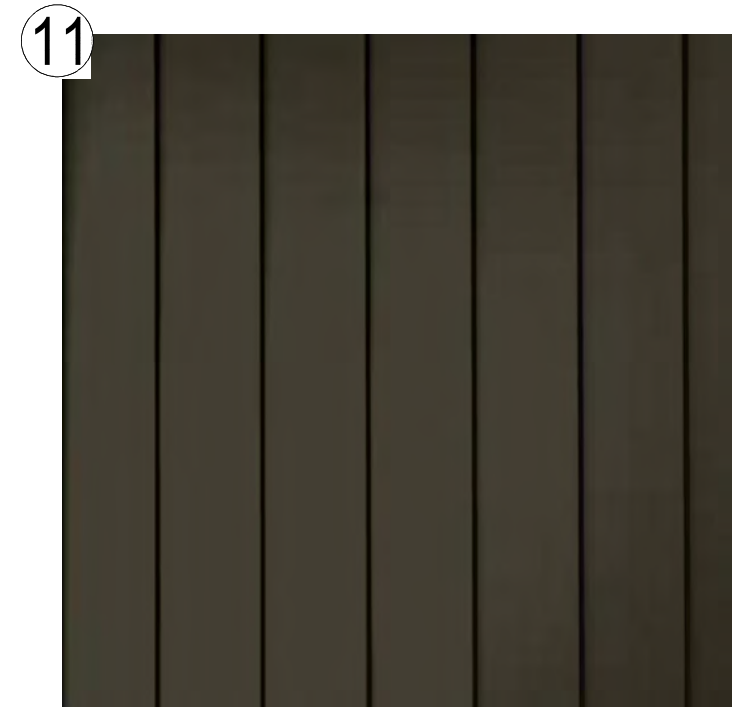
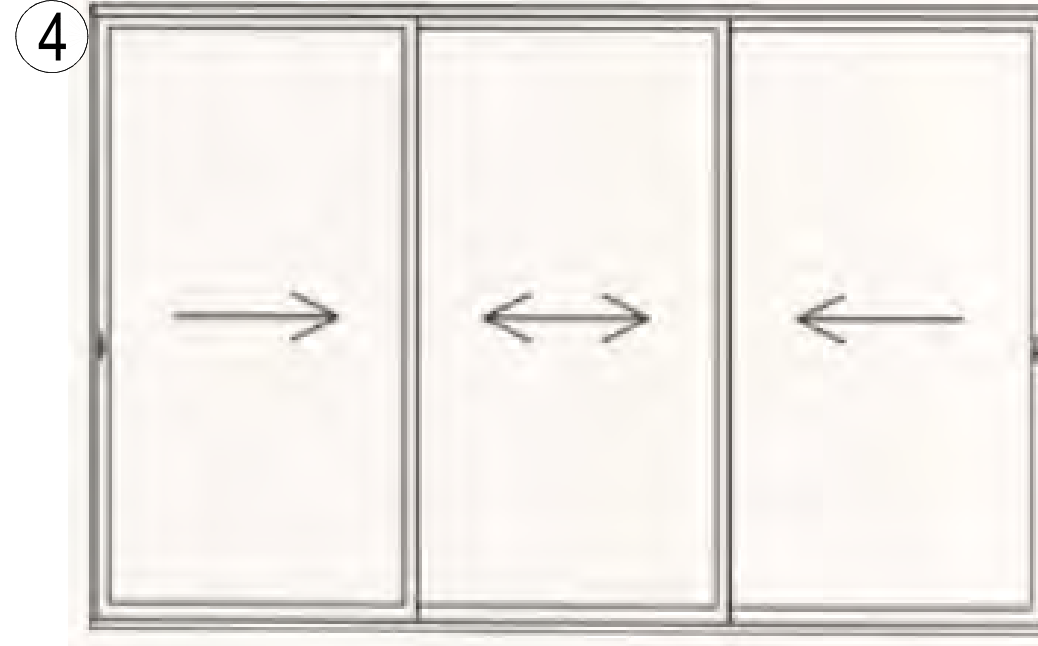
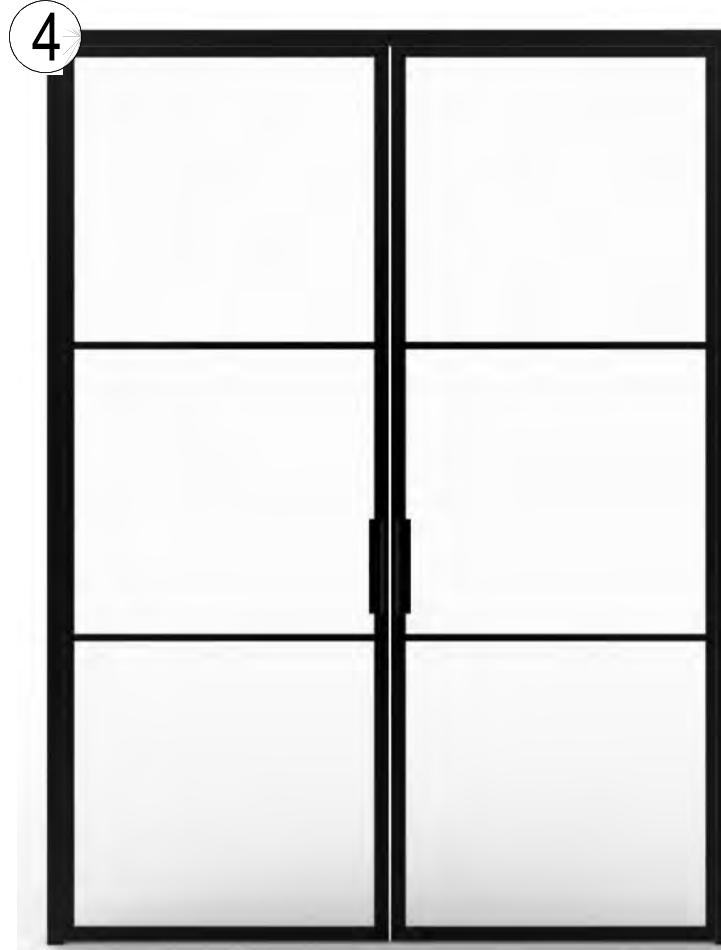
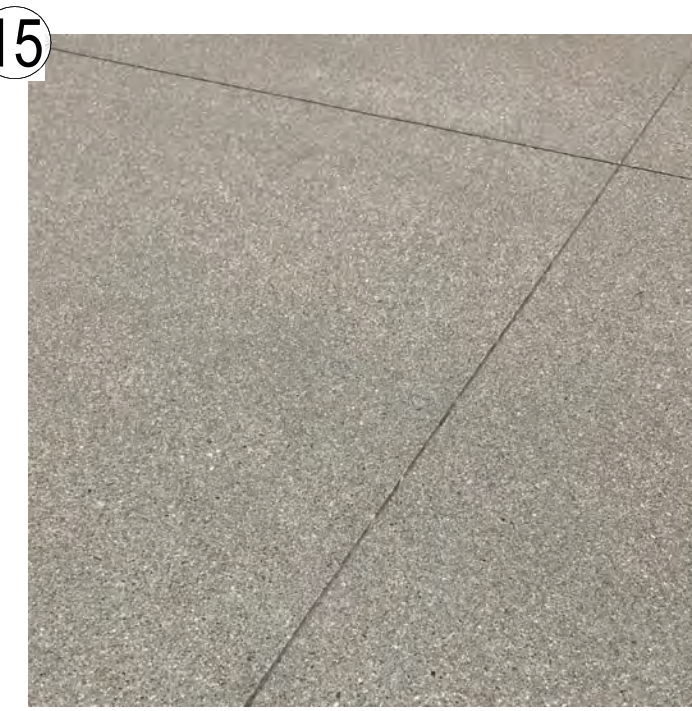
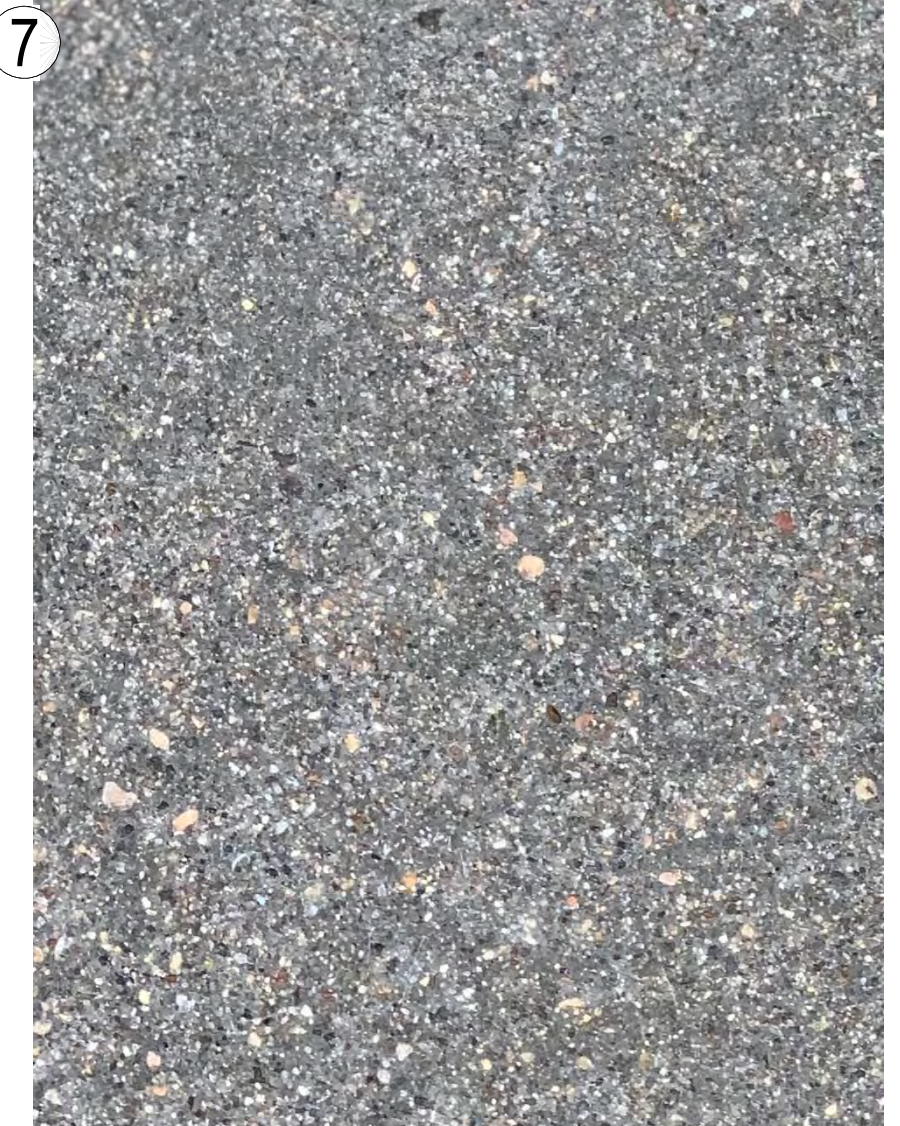
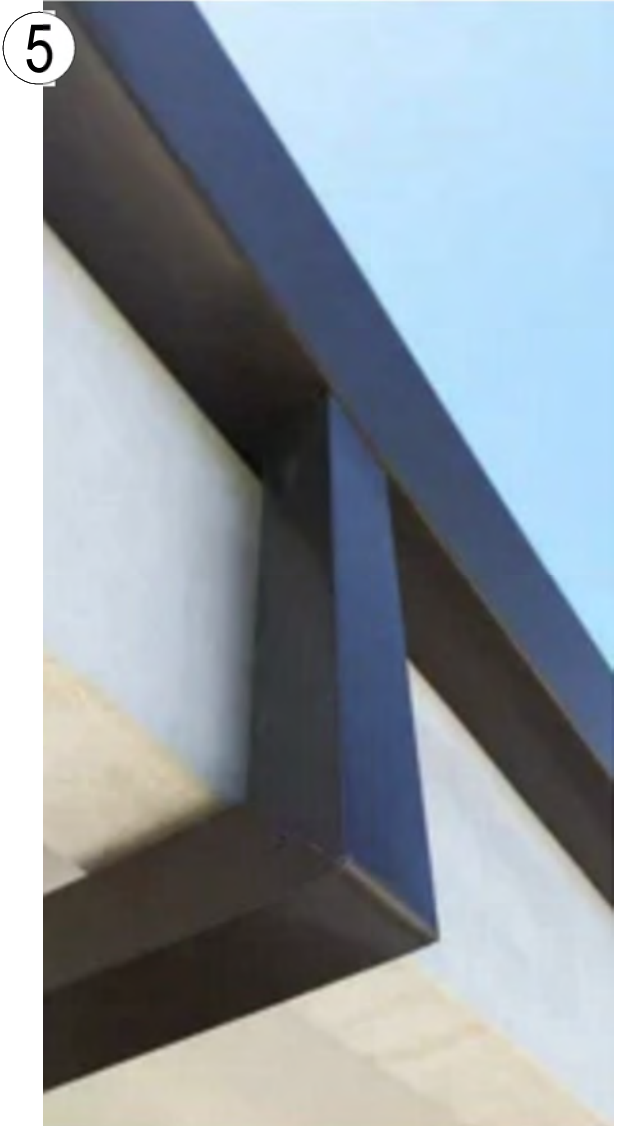
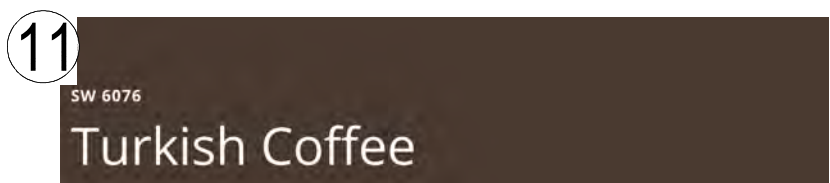
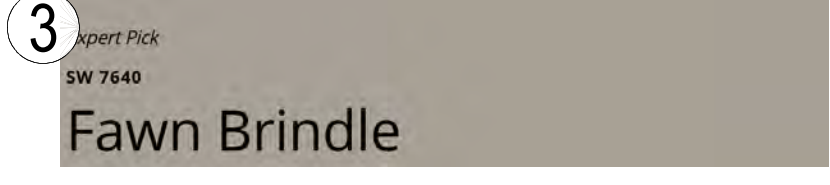
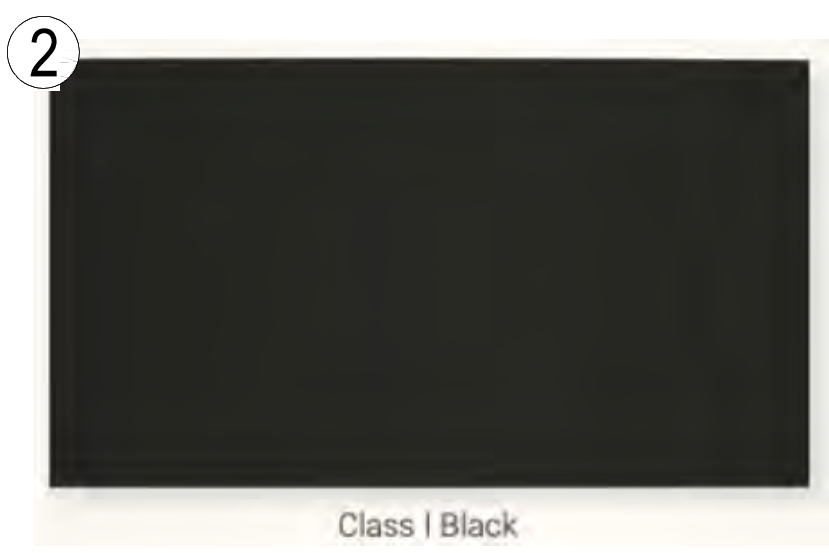
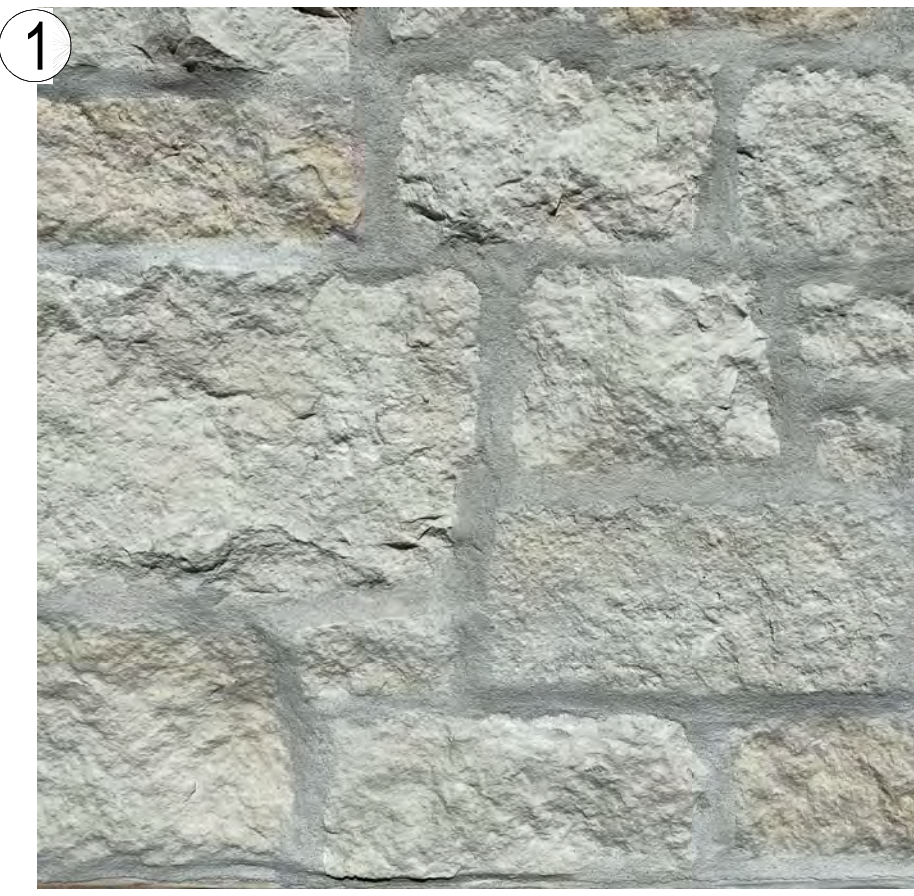
LEWIS BUILDERS  
CA. LICENSE #B-844741  
CARMEL, CA 93923  
(831) 250 7168











**EXTERIOR MATERIALS SUMMARY**

- 1 - STONE FACING: TEXAS CREAM 1 1/2" THK. STONE VENEER
- 2 - POSTS, BEAMS, PERGOLAS: ANODIZED BLACK STEEL
- 3 - HOUSE SIDING: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7640 FAWN BRINDLE
- 4 - WINDOWS: ANDERSEN E-SERIES IN ANODIZED BLACK
- 4 - SLIDING DOORS / DOORS: ANDERSEN E-SERIES IN ANODIZED BLACK
- 5 - GUTTER / DOWNSPOUTS: SQUARE ALUMINUM IN MIDNIGHT BRONZE
- 6 - HOUSE ROOFING: AEP SPAN OLD TOWN GRAY
- 7 - WALKWAYS / PATIOS: DECORATIVE CONCRETE, SAND-WASHED FINISH
- 8 - EXTERIOR LIGHTING: VISUAL COMFORT 8537401-71/T VCS0906154 SCONCE
- 9 - GARAGE DOOR: CARRIAGE HOUSE DOORS, V-GROOVE, STAIN GRADE, DESIGN A WINDOWS
- 10 - FRONT DOOR: JELDOWEN WHITE OAK WOOD VENEER PIVOT DOOR
- 11 - GARAGE SIDING: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE
- 12 - ADDRESS BOLLARD: STUCCO PAREX USA 1014L W/ STONE CAP, ALUMINUM NUMBERS
- 13 - GARAGE ROOFING: AEP SPAN MIDNIGHT BRONZE
- 14 - EXTERIOR FASCIA COLOR: SHERWIN WILLIAMS SW 6006 BLACK BEAN
- 15 - AUTO COURT: SAND WASHED CONCRETE
- DRIVEWAY: SAND WASHED CONCRETE AT GRADE OVER 10%
- BARN SIDING: METAL, PRE-MANUFACTURED - COLOR SANDSTONE
- BARN ROOFING: METAL, PRE-MANUFACTURED - COLOR LIGHT STONE

**EXTERIOR STUCCO / PLASTER NOTES**

- 1. WEATHER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN CRC R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER PER CRC R703.6.
- 2. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH PER CRC R703.6.2.
- 3. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED SHALL BE INSTALLED WITH:
  - A. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
  - B. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.

**ADDRESS IDENTIFICATION**

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

**ADDRESS BOLLARD**

18" X 18" X 54" TALL STUCCO ADDRESS BOLLARD W/ STONE CAP AT BEGINNING OF DRIVEWAY ON VIA QUINTANA. STUCCO AND STONE CAP TO MATCH MATERIALS SPECIFIED FOR HOUSE. RAISED ALUMINUM HOUSE NUMBERS (MINIMUM 6" IN HEIGHT) WITH LED DOWNLIGHTING TO MATCH FIXTURES SPEC'D IN LIGHTING PLANS.

**FINISH MATERIALS**

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION

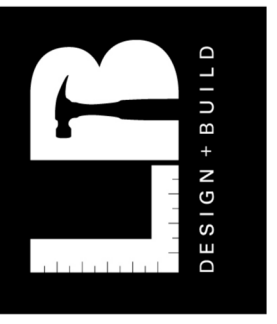
**ULLMAN RESIDENCE**

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924  
APN 185-052-023, 185-052-026

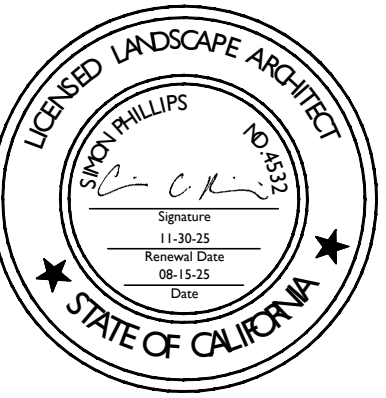
**STAMP/SIGNATURE**

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**LEWIS BUILDERS**  
CA LICENSE #B-844741  
CARMEL, CA 93923  
(831) 250 7168







PROJECT NAME:

ULLMAN  
RESIDENCE

PROJECT ADDRESS:

27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924

APN: 185-052-019

ISSUANCE:

BUILDING DEPARTMENT  
SUBMITTAL

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

FUEL  
MANAGEMENT  
PLAN

SHEET NO:

L-1.0

SHEET INDEX

SHEET NO: CONTENTS:

L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING NOTES
L-2.1	OVERALL PLANTING PLAN
L-2.2	PLANTING PLAN
L-3.0	OVERALL SITE LIGHTING PLAN
L-3.1	SITE LIGHTING PLAN
L-3.2	SITE LIGHTING SPECS

LEGEND

**--- ZONE 0:** ZONE EXTENDS 5' FROM BUILDINGS, STRUCTURES DECKS, ETC. THE EMBER-RESISTANT ZONE IS THE MOST IMPORTANT OF ALL THE DEFENSIBLE SPACE ZONES. THIS ZONE INCLUDES THE AREA UNDER AND AROUND ALL ATTACHED DECKS, AND REQUIRES THE MOST STRINGENT WILDFIRE FUEL REDUCTION. THE EMBER-RESISTANT ZONE IS DESIGNED TO KEEP FIRE OR EMBERS FROM IGNITING MATERIALS THAT CAN SPREAD THE FIRE TO YOUR HOME. THE FOLLOWING PROVIDES GUIDANCE FOR THIS ZONE, WHICH MAY CHANGE BASED ON THE REGULATION DEVELOPED BY THE BOARD OF FORESTRY AND FIRE PROTECTION.

- USE HARDSCAPE LIKE GRAVEL, PAVERS, CONCRETE, AND OTHER NONCOMBUSTIBLE MULCH MATERIALS. NO COMBUSTIBLE BARK OR MULCH.
- REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
- REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
- NO PLANTING IS PERMITTED IN THIS ZONE.
- LIMIT COMBUSTIBLE ITEMS (OUTDOOR FURNITURE, PLANTERS, ETC.) ON TOP OF ROOF DECKS.
- RELOCATE FIREWOOD AND LUMBER TO ZONE 2
- REPLACE COMBUSTIBLE FENCING, GATES AND ARBORS ATTACH TO THE HOME WITH NON-COMBUSTIBLE ALTERNATIVES.
- CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
- CONSIDER RELOCATING BOATS, RVs, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.

**--- ZONE 1:** ZONE EXTENDS 30 FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:

- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
- REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
- TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
- WOOD PILES ARE PROHIBITED WITHIN THIS ZONE. RELOCATE WOOD PILES TO ZONE 2.
- REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
- REMOVE OR PRUNE FLAMMABLE ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
- CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
- MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
- MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS. REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.

**--- ZONE 2:** ZONE 2 EXTENDS FROM 30 FEET TO 100 FEET OUT FROM BUILDINGS, STRUCTURES, DECKS ETC. OR TO THE PROPERTY LINE WHICHEVER IS CLOSER. FUELS SHALL BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE ITEMS STIPULATED BELOW DO NOT APPLY TO SINGLE SPECIMENS OF TREES OR OTHER VEGETATION THAT ARE WELL-PRUNED AND MAINTAINED SO AS TO EFFECTIVELY MANAGE FUELS AND NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM OTHER NEARBY VEGETATION TO A STRUCTURE OR FROM A STRUCTURE TO THE OTHER NEARBY VEGETATION. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:

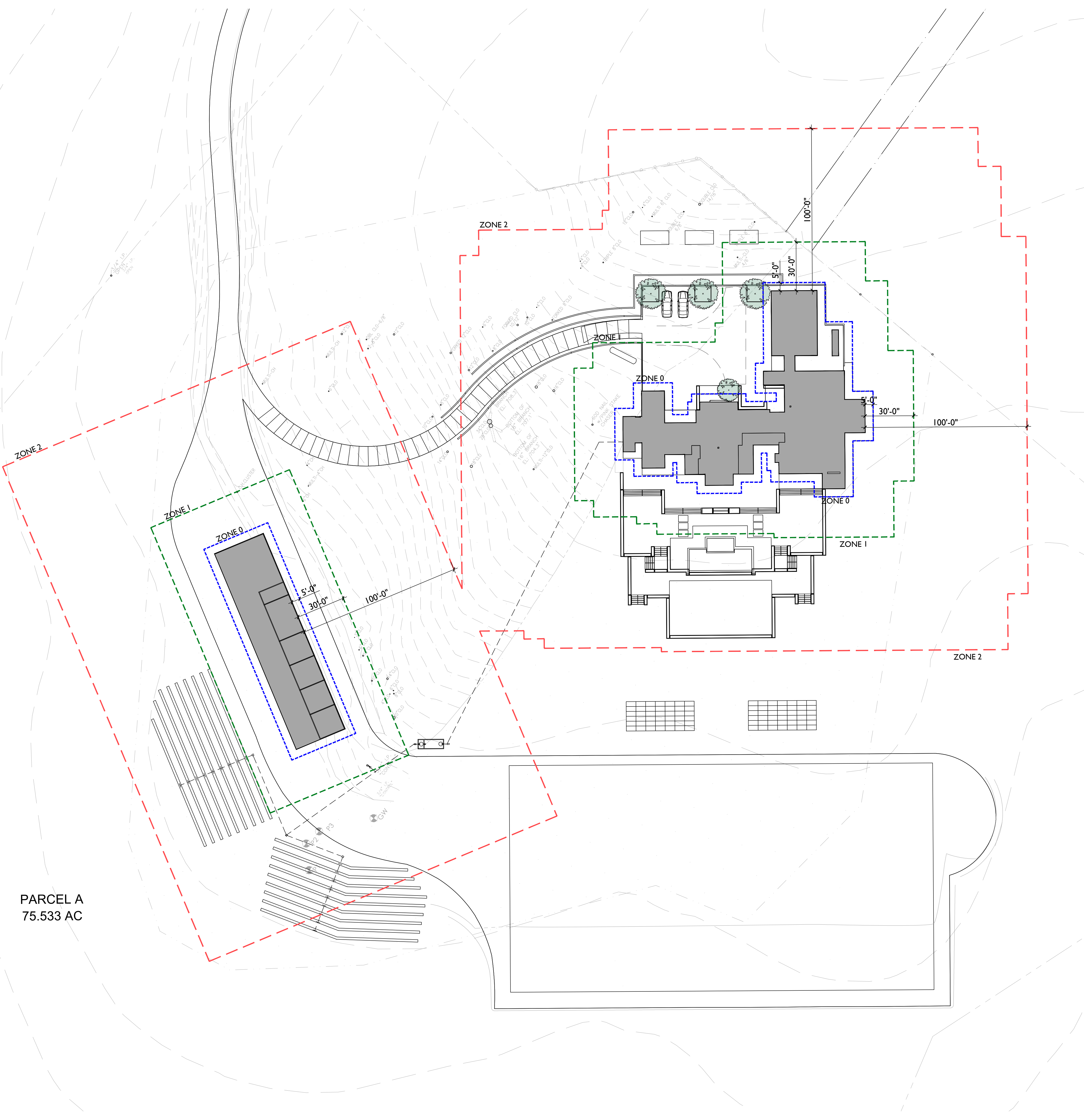
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
- CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS, AND TREES.
- REMOVE ALL DEAD TREES.
- REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
- ALL EXPOSED WOOD PILES MUST HAVE A MINIMUM OF 10 FEET OF CLEARANCE, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.

ZONE 1 AND 2 - 'OUTBUILDINGS' AND LIQUID PROPANE GAS (LPG) STORAGE TANKS SHALL HAVE 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

FUEL MANAGEMENT TO FOLLOW PUBLIC RESOURCE CODE 4291 AS DEVELOPED BY CALIFORNIA'S DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CALFIRE).

CLEARING BEYOND THE PROPERTY LINE MAY ONLY BE REQUIRED IF THE STATE LAW, LOCAL ORDINANCE, RULE, OR REGULATION INCLUDES FINDINGS THAT THE CLEARING IS NECESSARY TO SIGNIFICANTLY REDUCE THE RISK OF TRANSMISSION OF FLAME OR HEAT SUFFICIENT TO IGNITE THE STRUCTURE AND THERE IS NO FEASIBLE MITIGATION MEASURES POSSIBLE TO REDUCE THE RISK OF IGNITION OR SPREAD OF WILDFIRE TO THE STRUCTURE. CLEARANCE ON THE ADJACENT PROPERTY SHALL ONLY BE CONDUCTED FOLLOWING WRITTEN ON CONSENT BY THE ADJACENT LANDOWNER.

CLEARING BEYOND THE HOMELAND BOUNDARY IS TO BE COORDINATED WITH THE CONSERVANCY.



PARCEL A  
75.533 AC

SCALE: 1" = 30'-0"



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**WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL**

Project Name Ullman Residence  
Project Number 2025-16

Reference Evapotranspiration (Eto)		46.30						
Hydrozone #/Planting Description*	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF*IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>	
<b>Regular Landscape Areas</b>								
1. Entry Drive	0.3	drip	0.81	0.37	2321	859.63	24676.63	
2. Autocourt Grasses	0.5	drip	0.81	0.62	300	185.19	5315.93	
3. Back Garden	0.3	drip	0.81	0.37	785	290.74	8346.00	
4. Red Fescue	0.3	spray	0.75	0.40	775	310.00	0.00	
5. Lawn	0.7	spray	0.75	0.93	1495	1395.33	40054.44	
6. Joint Planting	0.3	spray	0.75	0.40	775	310.00	8898.86	
					Totals (A)	(B)	3350.89	87291.76
<b>Special Landscape Areas</b>								
							0.00	0.00
					Totals (C)	(D)	0.00	0.00
							ETWU Total (Gallons)	87291.76
							Maximum Allowed Water Allowance (MAWA) <sup>e</sup> (Gallons)	101850.32
							ETWU (Acre Feet)	0.27
							MAWA (Acre Feet)	0.31

Hydrozone #/Planting Description	Irrigation Method	Irrigation Efficiency	ETWU (Annual Gallons Required) = E <sub>g</sub>
1.) front lawn	overhead spray	0.75 for spray head	Eto x 0.62 x ETAF x Area
2.) low water use plantings	drip	0.81 for drip	Eto x 0.62 x ETAF x Area
3.) medium water use planting			Eto x 0.62 x ETAF x Area

\*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas		
Total ETAF x Area	(B)	3350.89
Total Area	(A)	6451.00
Average ETAF	B ÷ A	0.52

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	3350.89
Total Area	(A+C)	6451.00
Sitewide ETAF	(B+D) ÷ (A+C)	0.52

**GENERAL NOTES**

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING, WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS. LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS. LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED. LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUND-COVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
- FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLET, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED-RELEASE 20-10-05 (N-P-K). BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY – SUITABILITY CONSIDERATIONS  
1. NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%  
2. IRON (MINIMUM): 0.08%  
3. ORGANIC CONTENT: ABOVE 17%  
4. CARBON-NITROGEN RATIO: BELOW 25  
5. PH: BELOW 8.0  
6. SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DS/M (MMHOS/CM).
- GYPHUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.  
1. CAL-SUL PELLETIZED GYPHUM BY NORTH PACIFIC, PORTLAND OR  
2. ULTRA FINE AG GYPHUM BY WESTERN MINING & MINERALS  
3. APPROVED EQUAL.
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
- CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH. ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRIABLE. CROSS RIPPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
- UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL, 6-INCHES IN DEPTH. IF GYPHUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL, AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- INSTALL GOPHER BASKETS ON ALL CONTAINER PLANTS. BASKET SHALL PROVIDE A MINIMUM OF 6 INCHES CLEARANCE ALL AROUND THE ROOT BALL. TOP OF BASKET SHALL BE FLUSH TO THE ROOT BALL TOP.
- INSTALL GOPHER WIRE UNDER ALL AREAS OF NATURAL TURF AND RED FESCUE. GOPHER WIRE TO BE OVERLAPPED AT ALL SEAMS A MINIMUM OF 3" AND STAPLE SEAMS AND EDGES A MINIMUM OF 12" O.C. OR TIGHTER IF NEEDED TO REMOVE BUBBLED AREAS OF WIRE. STAPLES TO BE DEEP ENOUGH TO FIRMLY ANCHOR THE WIRE WITHOUT DISTORTING ITS SHAPE. INSTALL EXTRA STAPLES IN AREAS WHERE THE WIRE IS BUBBLED OR NOT MAKING FULL CONTACT WITH THE GROUND BELOW.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
- NO PLANTING OR MULCH TO BE INSTALLED WITHIN 5' OF ANY STRUCTURES.
- ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
- IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND FLOW SENSOR AND MASTER VALVE AT THE POINT OF CONNECTION.
- PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
- MANUAL-SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS. HOSE BIBS TO BE INSTALLED, VERIFY LAYOUT IN FIELD WITH OWNER & LANDSCAPE ARCHITECT
- IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
- IRRIGATION SYSTEM TO BE A DESIGN BUILD. ALL PLANTING AREAS TO BE DRIP IRRIGATED.
- CONTRACTOR TO DISCUSS IRRIGATION DESIGN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR ALL IRRIGATION EQUIPMENT INCLUDING VALVES, FILTERS, PRESSURE REGULATORS, DRIP EMITTERS, VALVE BOXES, SHUT OFF VALVES, LINE TYPES AND CONTROLLER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
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- TEMPORARY IRRIGATION INSTALLED FOR HYDROSEED AREAS TO BE REMOVED AFTER PLANT ESTABLISHMENT OR 2 YEARS FROM DATE OF INSTALLATION. IRRIGATION TO BE INSTALLED ABOVE GROUND. IRRIGATION HEADS TO BE SECURED TO STAKES ABOVE GRADE. INSTALL DEDICATED VALVES FOR THE HYDROSEED SYSTEMS WITH SHUT OFF VALVES UPSTREAM OF SOLENOID VALVE. CAP MAIN LINE ONCE VALVES ARE REMOVED. ADJUST SPRAY AS NEEDED TO AVOID OVER SPRAY ONTO EXISTING OAK TREES.

**PLANT LEGEND**

WUCCODE/BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
<b>TREES</b>			
VL OI OLEA 'SWAN HILL'	SWAN HILL OLIVE	15 GAL	MULTI
<b>SHRUBS</b>			
L Ap ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L Fm FESTUCA MAIREI	ATLAS FESCUE	1 GAL	
L Lb LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL	
L Lp LOMANDRA 'POM POM'	POM POM MAT RUSH	1 GAL	
L Ls LOMANDRA 'SEASCAPE'	SEASCAPE LOMANDRA	1 GAL	
L Mc MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL	
L Md MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	
L Pg PITTOSPORUM 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5 GAL	
L Rf ROSEMARINUS O. 'FOXTAIL'	FOXTAIL ROSEMARY	1 GAL	
M Sa SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	
<b>HYDROSEED</b>			
CAREX PRAEGRACILIS	FIELD SEDGE	HYDROSEED	
DANTHONIA CALIFORNICA	CALIFORNIA OATGRASS	HYDROSEED	
FESTUCA IDAHOENSIS	IDAHO FESCUE	HYDROSEED	
KOELERIA MACRANTHA	JUNE GRASS	HYDROSEED	
LUPINUS NANUS	SKY LUPINE	HYDROSEED	
STIPA PULCHRA	PURPLE NEEDLE GRASS	HYDROSEED	
<b>VINES</b>			
M Fp FICUS PUMILA	CREeping FIG	1 GAL	
M Rs ROSA 'SALLY HOLMES'	SALLY HOLMES ROSE	5 GAL	
<b>GROUND COVER</b>			
L DYMNDIA MARGARETAE	SILVER CARPET	4" POT	PLANT TOUCHING
L FESTUCA RUBRA 'MOLATE'	RED FESCUE	SOD	
<b>MISCELLANEOUS</b>			
CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.			
LAWN: 1,500 SF MAX			
HDR METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.			

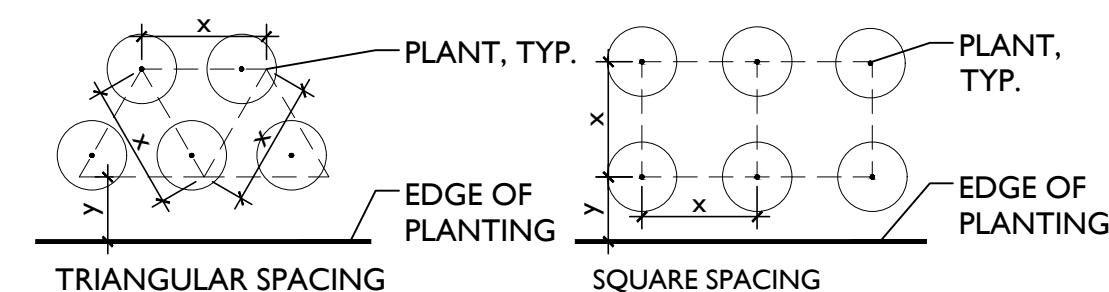
**REFERENCE NOTES**

- HYDROSEED TO FOLLOW GRADING LIMITS AS DETERMINED DURING CONSTRUCTION.
- HYDROSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES LISTED
- FIRE DEPARTMENT TURN AROUND
- 5' NON-COMBUSTIBLE ZONE AROUND ALL STRUCTURES
- INSTALL STAINLESS WIRE HORIZONTAL ALONG WALL FOR FUTURE VINE SUPPORT, TENSION WITH TURNBUCKLES

**\* WATER USE CATEGORY (WUC) KEY**

WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I  
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED  
\* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS) UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

**PLANT SPACING AND PLANTING SETBACK DIAGRAM**



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- Y = 1/2X + 12" UON

**MWELO COMPLIANCE STATEMENT**

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

	SIMON PHILLIPS	4532	08-18-2025
SIGNED	NAME	CLA#	DATE

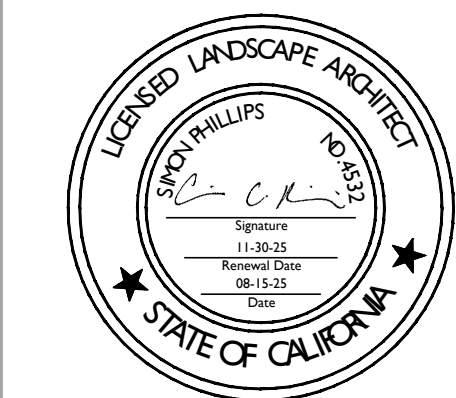
**MONTEREY COUNTY COMPLIANCE STATEMENT**

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

	SIMON PHILLIPS	4532	08-18-2025
SIGNED	NAME	CLA#	DATE

**SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS**

2548 EMPIRE GRADE  
SANTA CRUZ, CA 95060  
831.466.9617



PROJECT NAME:

**ULLMAN RESIDENCE**

PROJECT ADDRESS:

27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924

APN: 185-052-019

ISSUANCE:

**BUILDING DEPARTMENT SUBMITTAL**

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:

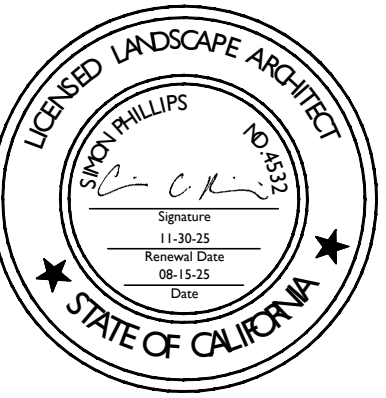
DATE DESCRIPTION

SHEET NAME:

**PLANTING NOTES**

SHEET NO:





PROJECT NAME:

**ULLMAN RESIDENCE**

PROJECT ADDRESS:

27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924

APN: 185-052-019

ISSUANCE:

**BUILDING DEPARTMENT SUBMITTAL**

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

**OVERALL PLANTING PLAN**

SHEET NO:

**PLANT LEGEND**

*WUCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
<b>TREES</b>				
VL	Oi	'SWAN HILL'	SWAN HILL OLIVE	15 GAL. MULTI
<b>SHRUBS</b>				
L	Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL.
L	Fm	FESTUCA MAIREI	ATLAS FESCUE	1 GAL.
L	Lb	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL.
L	Lp	LOMANDRA 'POM POM'	POM POM MAT RUSH	1 GAL.
L	Ls	LOMANDRA 'SEASCAPE'	SEASCAPE LOMANDRA	1 GAL.
L	Mc	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL.
L	Md	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL.
L	Pg	PITTIOSPORUM 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5 GAL.
L	Rf	ROSEMARINUS O. 'FOXTAIL'	FOXTAIL ROSEMARY	1 GAL.
M	Sa	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL.
<b>HYDROSEED</b>				
	CAREX PRAEGRACILIS	FIELD SEDGE	HYDROSEED	
	DANTHONIA CALIFORNICA	CALIFORNIA OATGRASS	HYDROSEED	
	FESTUCA IDAHOENSIS	IDAHO FESCUE	HYDROSEED	
	KOELERIA MACRANTHA	JUNE GRASS	HYDROSEED	
	LUPINUS NANUS	SKY LUPINE	HYDROSEED	
	STIPA PULCHRA	PURPLE NEEDLE GRASS	HYDROSEED	
<b>VINES</b>				
M	Fp	FICUS PUMILA	CREeping FIG	1 GAL.
M	Rs	ROSA 'SALLY HOLMES'	SALLY HOLMES ROSE	5 GAL.
<b>GROUND COVER</b>				
L		DYMONDIA MARGARETAE	SILVER CARPET	4" POT PLANT TOUCHING
L		FESTUCA RUBRA 'MOLATE'	RED FESCUE	SOD
<b>MISCELLANEOUS</b>				
		CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.		
		LAWN: 1,500 SF MAX		
		METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.		

**REFERENCE NOTES**

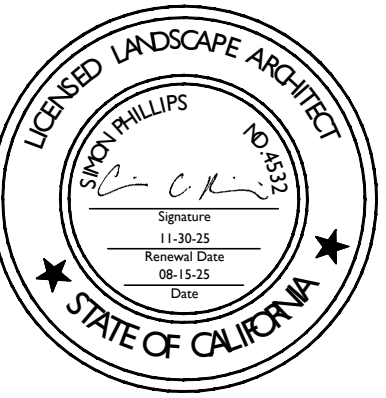
- ① HYDROSEED TO FOLLOW GRADING LIMITS AS DETERMINED DURING CONSTRUCTION.
- ② HYDROSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES LISTED
- ③ FIRE DEPARTMENT TURN AROUND
- ④ 5' NON-COMBUSTIBLE ZONE AROUND ALL STRUCTURES
- ⑤ INSTALL STAINLESS WIRE HORIZONTAL ALONG WALL FOR FUTURE VINE SUPPORT, TENSION WITH TURNBUCKLES

PARCEL A  
75.533 AC

SCALE: 1" = 30'-0"







PROJECT NAME:  
**ULLMAN RESIDENCE**

PROJECT ADDRESS:  
27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924  
APN: 185-052-019

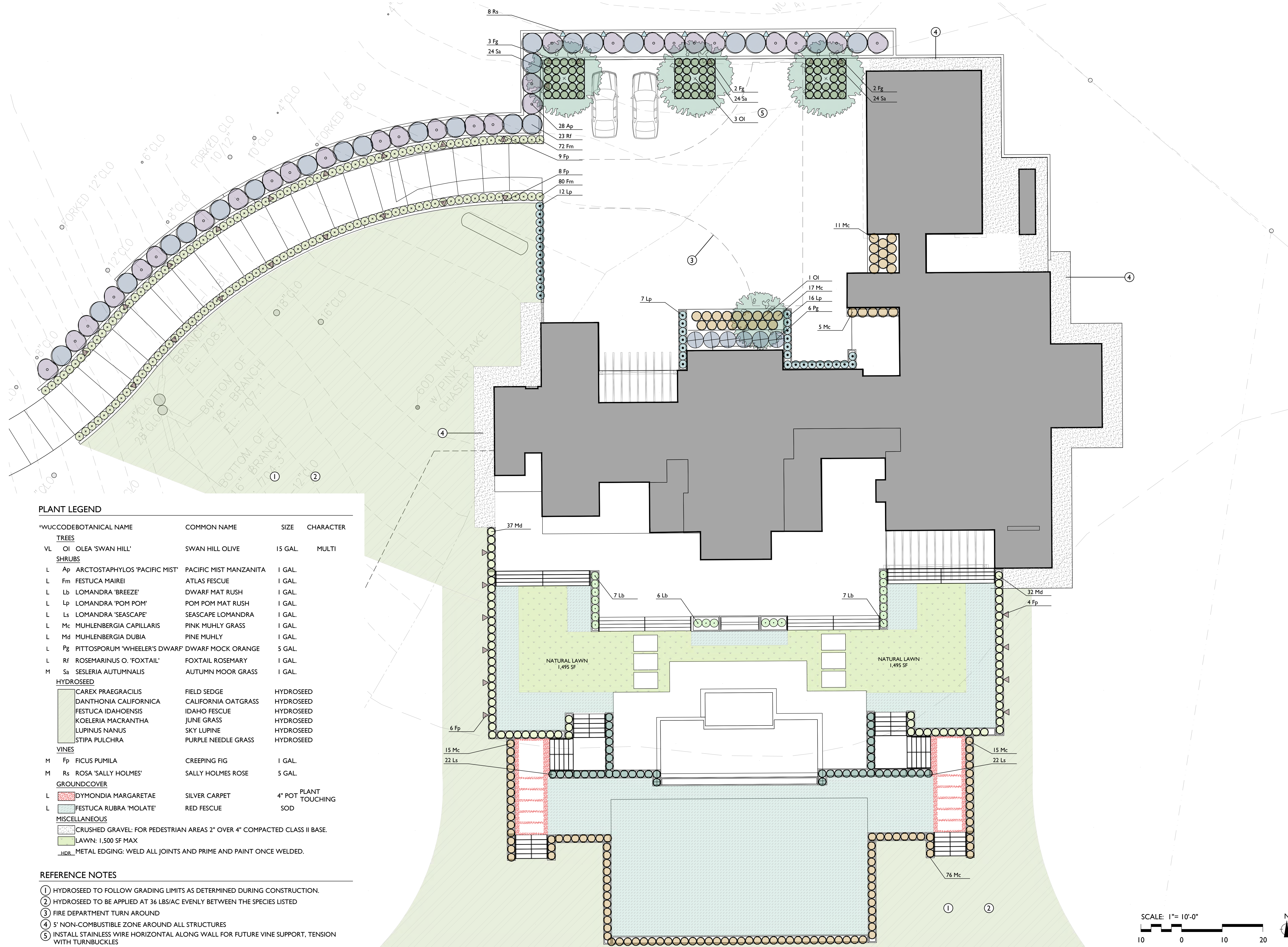
ISSUANCE:  
**BUILDING DEPARTMENT SUBMITTAL**

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:  
DATE DESCRIPTION

SHEET NAME:  
**PLANTING PLAN**

SHEET NO:

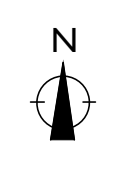
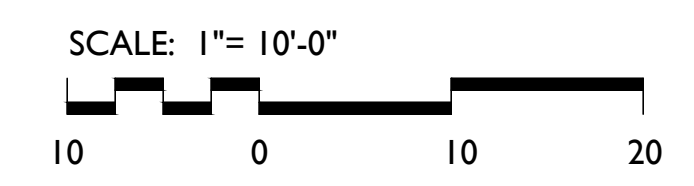


**PLANT LEGEND**

*WUCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
<b>TREES</b>				
VL	OI	OLEA 'SWAN HILL'	15 GAL.	MULTI
<b>SHRUBS</b>				
L	Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	1 GAL.	
L	Fm	FESTUCA MAIREI	1 GAL.	
L	Lb	LOMANDRA 'BREEZE'	1 GAL.	
L	Lp	LOMANDRA 'POM POM'	1 GAL.	
L	Ls	LOMANDRA 'SEASCAPE'	1 GAL.	
L	Mc	MUHLENBERGIA CAPILLARIS	1 GAL.	
L	Md	MUHLENBERGIA DUBIA	1 GAL.	
L	Pg	PITTIOSPORUM 'WHEELER'S DWARF'	5 GAL.	
L	Rf	ROSEMARINUS O. 'FOXTAIL'	1 GAL.	
M	Sa	SESLERIA AUTUMNALIS	1 GAL.	
<b>HYDROSEED</b>				
		CAREX PRAEGRACILIS	FIELD SEDGE	HYDROSEED
		DANTHONIA CALIFORNICA	CALIFORNIA OATGRASS	HYDROSEED
		FESTUCA IDAHOENSIS	IDAHO FESCUE	HYDROSEED
		KOELERIA MACRANTHA	JUNE GRASS	HYDROSEED
		LUPINUS NANUS	SKY LUPINE	HYDROSEED
		STIPA PULCHRA	PURPLE NEEDLE GRASS	HYDROSEED
<b>VINES</b>				
M	Fp	FICUS PUMILA	1 GAL.	
M	Rs	ROSA 'SALLY HOLMES'	5 GAL.	
<b>GROUND COVER</b>				
L		DYMONDIA MARGARETAE	SILVER CARPET	4" POT PLANT TOUCHING
L		FESTUCA RUBRA 'MOLATE'	RED FESCUE	SOD
<b>MISCELLANEOUS</b>				
			CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.	
			LAWN: 1,500 SF MAX	
			HDR: METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.	

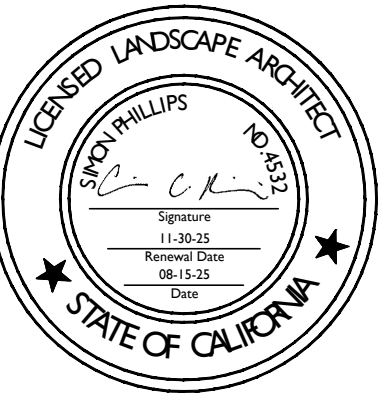
**REFERENCE NOTES**

- HYDROSEED TO FOLLOW GRADING LIMITS AS DETERMINED DURING CONSTRUCTION.
- HYDROSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES LISTED
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PROJECT NAME:

**ULLMAN  
RESIDENCE**

PROJECT ADDRESS:

27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924

APN: 185-052-019

ISSUANCE:

**BUILDING DEPARTMENT  
SUBMITTAL**

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

**OVERALL SITE  
LIGHTING PLAN**

SHEET NO:

**FIXTURE LEGEND**

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
■	RECESSED WALL LIGHT	SPJ-RBS-MWB-3W-LG-12V	3W LED 2700K	SEE 1/L-3.2
☀	PATH LIGHT	SPJ18-16-MBR-6W-2700K-8-15V- WIDE ANGLE FLOOD WITH SPJ14-51 ADJUSTABLE FLOOD	6W LED 2700K	SEE 2/L-3.2
●	DRIVE LIGHT	BK LIGHTING DR2-LED-RD-e57-bzp-4	8W LED 2700K	SEE 3/L-3.2
▲	POOL + SPA LIGHT	BY POOL CONTRACTOR		
●	TRELLIS DOWNLIGHT	SPJ18-10A-2W-2700K-12V	2W LED 2700K	SEE 4/L-3.2
⊕	GFCI OUTLET	IN WEATHERPROOF HOUSING		

**GENERAL NOTES**

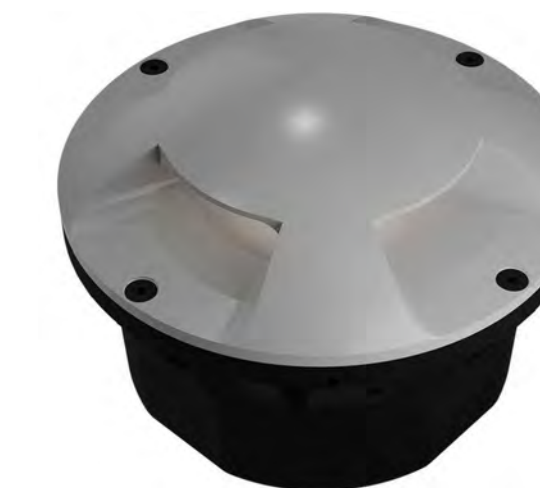
1. SYSTEM SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. VERIFY ALL LIGHT LOCATIONS AND CABLE RUNS IN FIELD WITH LANDSCAPE ARCHITECT. CABLING TO BE SIZED TO PROVIDE A MINIMUM 10.5 VOLTS AND A MAX OF 11.5 VOLTS TO ALL FIXTURES. MINIMUM CABLE SIZE IS 12 GAUGE MULTI STRAND DIRECT BURIAL CABLE.
2. ALLOW 30% OF TRANSFORMER CAPACITY FOR FUTURE ADDITIONAL SITE LIGHTING.
3. COORDINATE SWITCHING ZONES FOR SITE LIGHTING WITH OWNER.
4. PROVIDE GFCI ELECTRICAL OUTLETS AS SHOWN ON DRAWINGS.
5. RUN MAXIMUM OF 10 LIGHTS IN DAISY CHAIN.
6. RUN ADDITIONAL 2" SLEEVES UNDER ALL PAVING AREAS FOR POSSIBLE FUTURE SITE LIGHTING- REVIEW LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
7. 8" DEPTH MINIMUM CABLE BURIAL.
8. ALL WIRE CONNECTIONS SHALL BE WATER-PROOFED USING FULLY ENCAPSULATED, DIRECT BURIAL WATERPROOF CONNECTORS.
9. SPACE LIGHTS EVENLY.
10. TRANSFORMER LOCATIONS AND SWITCHING TO BE DETERMINED.
11. ALL SITE LIGHTS TO BE ON DIMMERS.



RECESSED WALL LIGHT



PATH LIGHT



DRIVE LIGHT



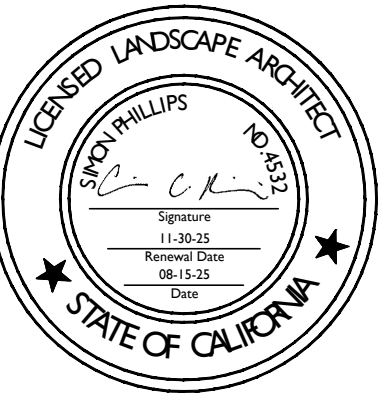
TRELLIS  
DOWNLIGHT

SCALE: 1" = 30'-0"



PARCEL A  
75.533 AC





PROJECT NAME:

**ULLMAN RESIDENCE**

PROJECT ADDRESS:

27650 VIA QUINTANA  
CARMEL VALLEY, CA 93924

APN: 185-052-019

ISSUANCE:

**BUILDING DEPARTMENT SUBMITTAL**

PROJECT NO: 2025-16  
DATE: 08/18/2025

REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

**SITE LIGHTING PLAN**

SHEET NO:

**FIXTURE LEGEND**

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
■	RECESSED WALL LIGHT	SPJ-RBS-MWB-3W-LG-12V	3W LED 2700K	SEE 1/L-3.2
⦿	PATH LIGHT	SPJ18-16-MBR-6W-2700K-8-15V-WIDE ANGLE FLOOD WITH SPJ14-51 ADJUSTABLE FLOOD	6W LED 2700K	SEE 2/L-3.2
●	DRIVE LIGHT	BK LIGHTING DR2-LED-RD-e57-bzp-4	8W LED 2700K	SEE 3/L-3.2
▲	POOL + SPA LIGHT	BY POOL CONTRACTOR		
●	TRELLIS DOWNLIGHT	SPJ18-10A-2W-2700K-12V	2W LED 2700K	SEE 4/L-3.2
⊕	GFCI OUTLET	IN WEATHERPROOF HOUSING		

**GENERAL NOTES**

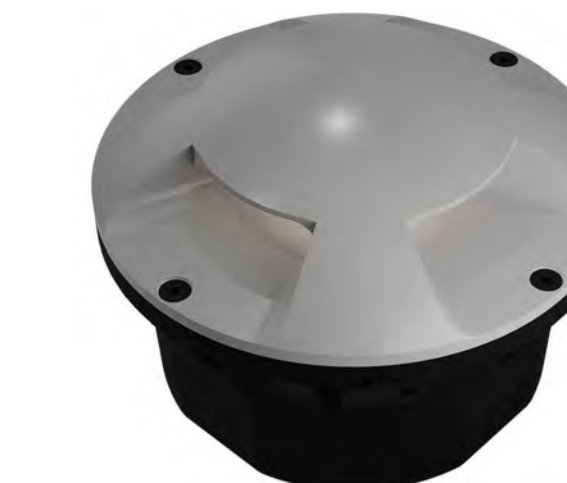
1. SYSTEM SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. VERIFY ALL LIGHT LOCATIONS AND CABLE RUNS IN FIELD WITH LANDSCAPE ARCHITECT. CABLING TO BE SIZED TO PROVIDE A MINIMUM 10.5 VOLTS AND A MAX OF 11.5 VOLTS TO ALL FIXTURES. MINIMUM CABLE SIZE IS 12 GAUGE MULTI STRAND DIRECT BURIAL CABLE.
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11. ALL SITE LIGHTS TO BE ON DIMMERS.



RECESSED WALL LIGHT



PATH LIGHT



DRIVE LIGHT

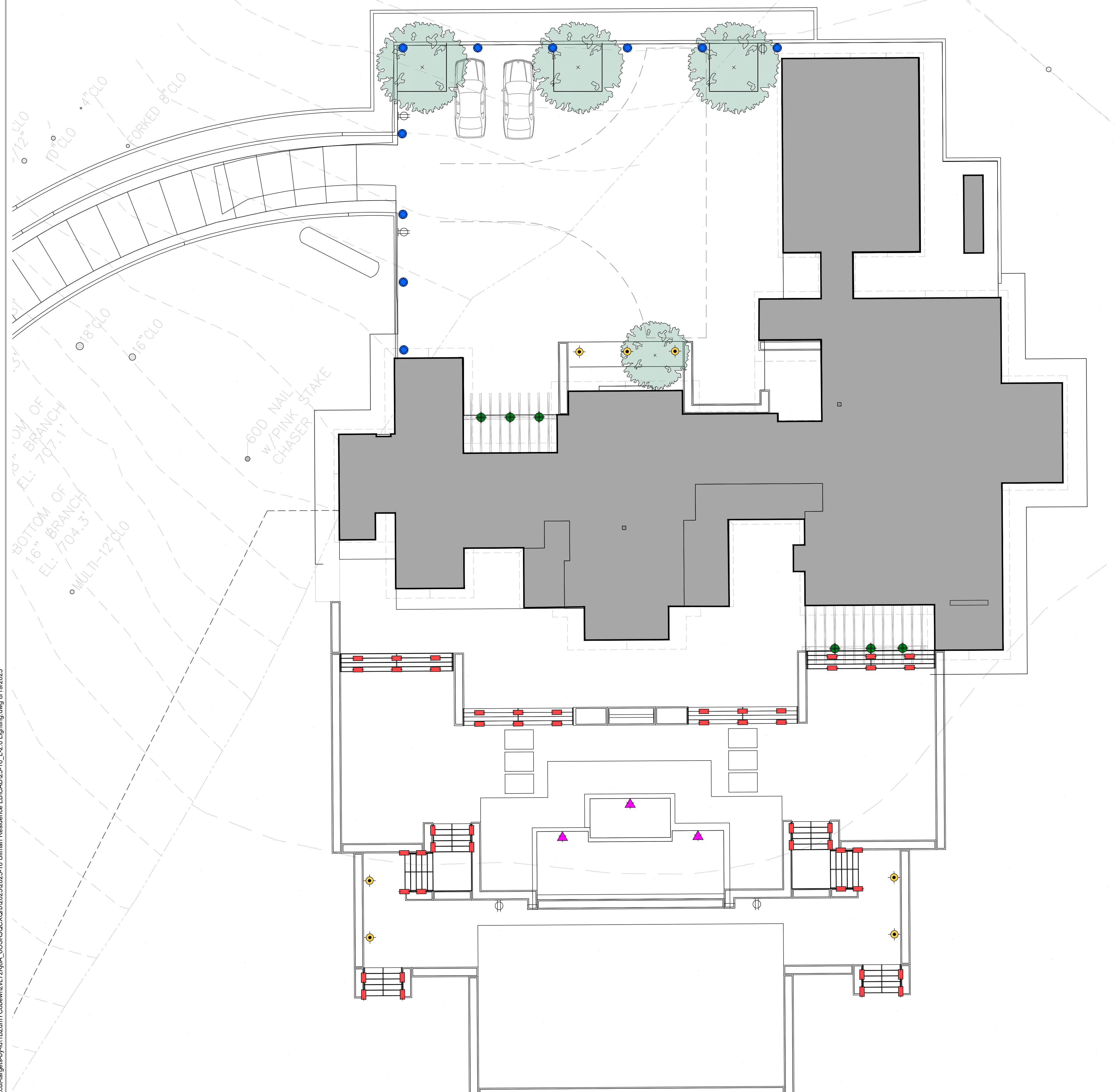


TRELLIS DOWNLIGHT


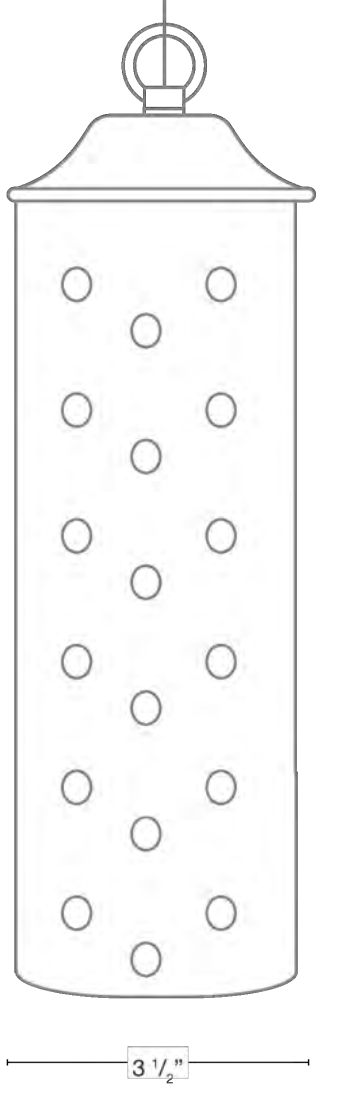
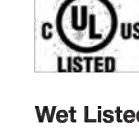
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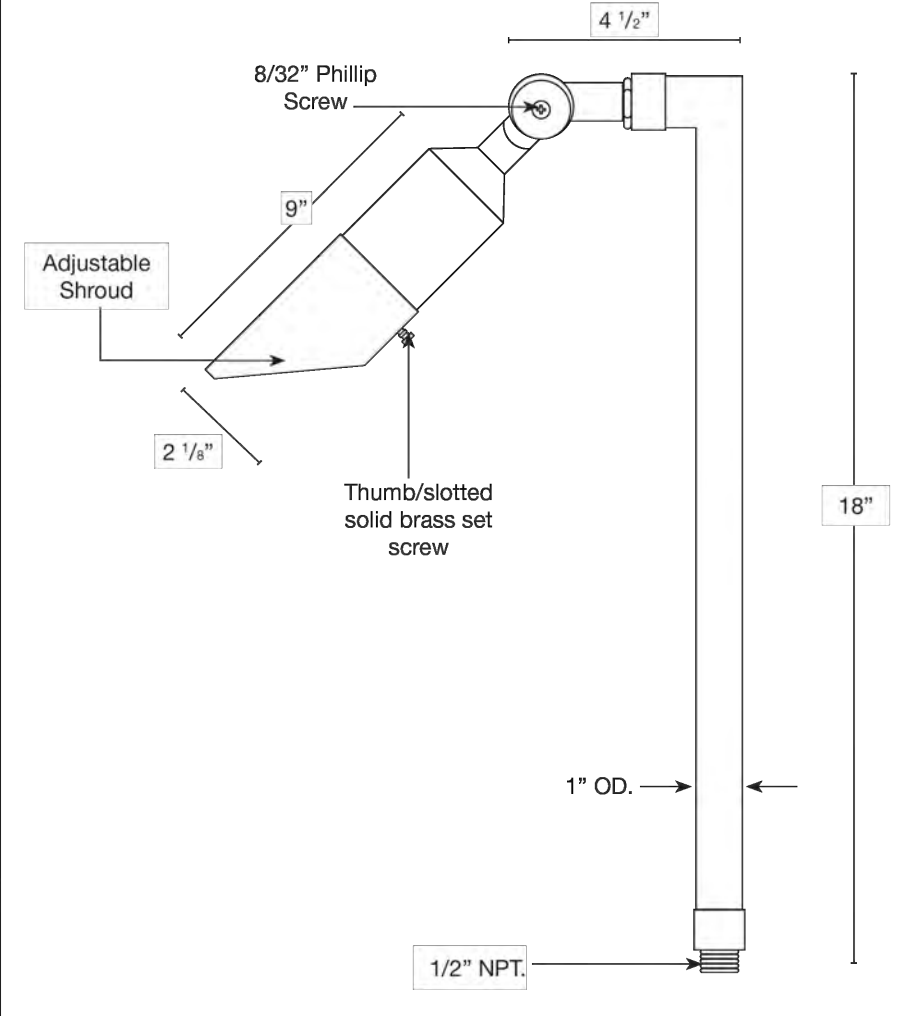
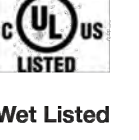


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<b>SPJ LIGHTING Inc.</b> ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING		SPECIFICATION SHEET		Hanging Light <b>SPJ18-10A</b>	
					
MODEL: <b>SPJ18-10A</b> MATERIAL: <b>Solid Brass</b> FINISH SHOWN: <b>Rusty</b> ELECTRICAL: <b>8-15V</b> WATTAGE: <b>2W</b> ENGINE: <b>FB-2W-CYL-TA16</b> LUMENS: <b>150</b> COLOR TEMP: <b>2700K</b> MOUNTING: <b>Hanging</b>					
<b>FINISHES</b> <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) <b>PVD PREMIUM</b> <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDG) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDGZ) <input type="checkbox"/> PVD Black (PVDGL)					
<b>WATTAGE</b> <b>LUMENS</b> <input checked="" type="checkbox"/> 2W    150					
Custom lumen packages are available upon request					
<b>COLOR TEMPERATURE</b> <input type="checkbox"/> 2200K <input type="checkbox"/> 5000K <input checked="" type="checkbox"/> 2700K <input type="checkbox"/> 6500K <input type="checkbox"/> 3000K <input type="checkbox"/> RGBW <input type="checkbox"/> 4000K					
Custom options are available					
<b>ELECTRICAL</b> <input checked="" type="checkbox"/> 8-15V					
 <b>Wet Listed</b>					
Ordering Example: SPJ18-10A-R-2W-27K-8-15V		Customer Approval: _____ Date: _____			


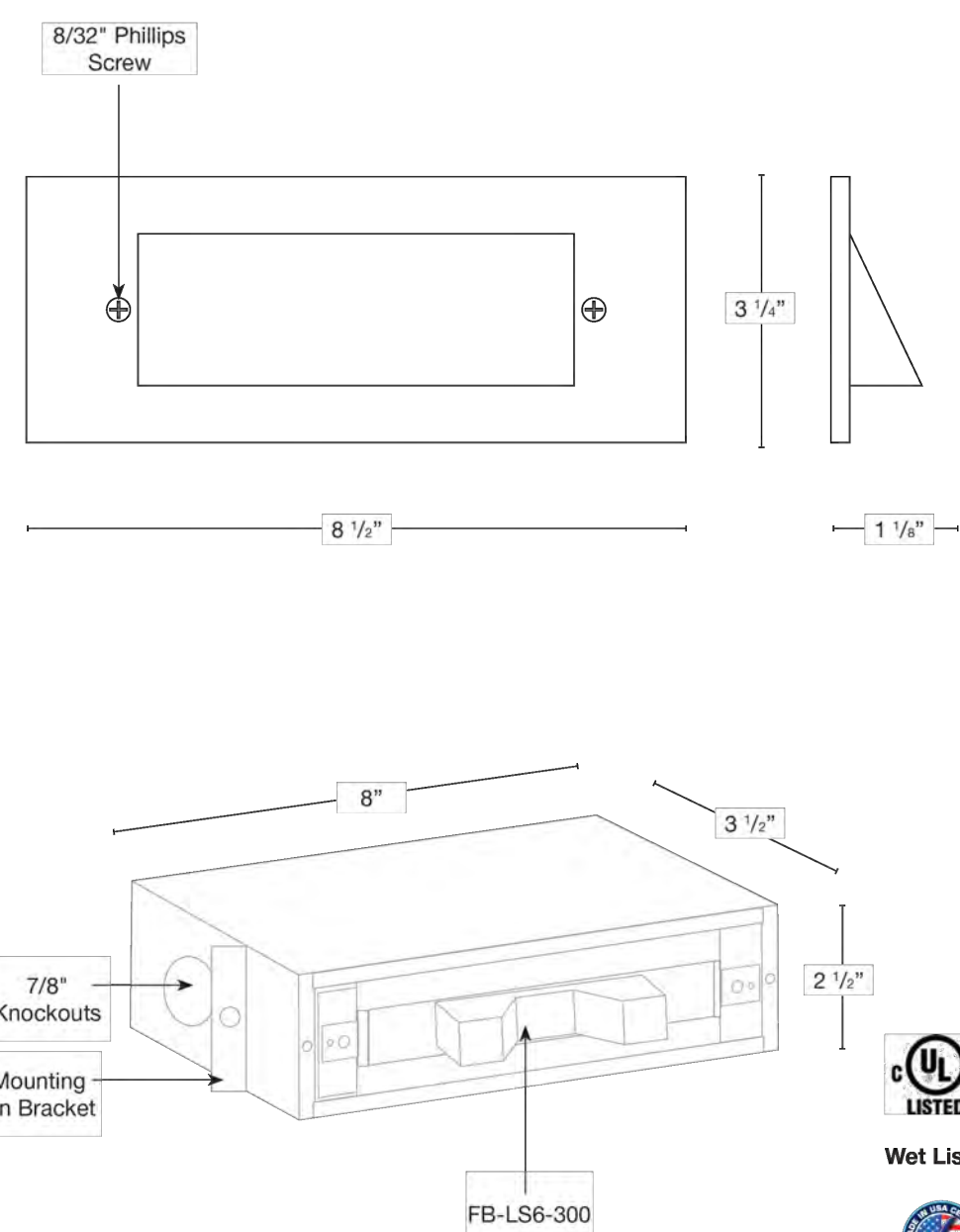
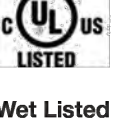
<b>SPJ LIGHTING Inc.</b> ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING		SPECIFICATION SHEET		Contemporary Path Lights <b>SPJ18-16</b>	
					
MODEL: <b>SPJ18-16</b> MATERIAL: <b>Solid Brass</b> FINISH: <b>Matte Bronze</b> ELECTRICAL: <b>8-15V</b> ENGINE: <b>FB-3W-CYL-TA16</b> LUMENS: <b>200</b> COLOR TEMP: <b>2700K</b> MOUNTING: <b>1/2" NPT. Dual Fin Spike Included Niche</b> LED:					
<b>FINISHES</b> <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) <b>PVD PREMIUM</b> <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDG) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDGZ) <input type="checkbox"/> PVD Black (PVDGL)					
<b>WATTAGE</b> <b>LUMENS</b> <input type="checkbox"/> 1W    80 <input type="checkbox"/> 2W    150 <input type="checkbox"/> 3W    200 <input checked="" type="checkbox"/> 6W    300					
Custom lumen packages are available upon request					
<b>COLOR TEMPERATURE</b> <input type="checkbox"/> 2200K <input type="checkbox"/> 5000K <input checked="" type="checkbox"/> 2700K <input type="checkbox"/> 6500K <input type="checkbox"/> 3000K <input type="checkbox"/> Amber (TF) <input type="checkbox"/> 4000K <input type="checkbox"/> RGBW					
Custom options are available					
<b>ELECTRICAL</b> <input checked="" type="checkbox"/> 8-15V <input type="checkbox"/> 120V					
<b>OPTICS</b> <input type="checkbox"/> SPOT <input type="checkbox"/> FLOOD <input checked="" type="checkbox"/> WIDE FLOOD <input type="checkbox"/> WIDE ANGLE FLOOD					
 <b>Wet Listed</b>					
Model: SPJ14-51 Adjustable Shroud		Ordering Example: SPJ18-16-MBR-3W-27K-8-15V		Customer Approval: _____ Date: _____	

**4 TRELIS DOWNLIGHT**  
NTS

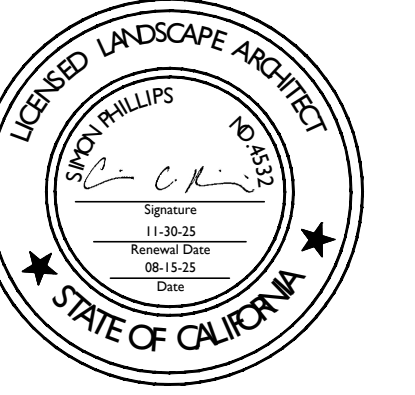
<b>DR2 LED (DEEP HOUSING REMOTE TRANSFORMER)</b>		<b>IP68 RATED</b>	
DATE:	PROJECT:	TYPE:	
CATALOG NUMBER LOGIC: Example: DR2 - LED - RD - e57 - SAP - 4 - GM-R Aluminum <b>FACEPLATE</b> DR2 - DriveStar2 <b>OptiLock*</b> LED - with Integral Driver* <b>HOUSING</b> RD - Requires Remote LED Transformer (Deep Housing) <b>LED TYPE</b> e57 - 8W LED/2700K    e58 - 8W LED/3000K    e59 - 8W LED/4000K <b>FINISH (See page 2 for full-color swatches)</b> Standard Finishes: BZ, BZW, BLP, BLW, WHF, WHW, SAP, VER Premium Finish: ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, HUG, NBR, OCP, RMG, SDS, SMG, TAF, WCP, WHR Also available in RAL Finishes <b>OPTICAL OPENINGS</b> 1 - Single 2 - 2 @ 180° <input checked="" type="checkbox"/> 4 - 4 @ 90° <b>OPTIONS</b> GM-R - Round Grout Mask GM-S - Square Grout Mask			
		*Designed for use with LED Transformer.	
<b>B-K LIGHTING</b> MADE IN THE USA    855.438.5800    INFO@BKLIGHTING.COM    BKLIGHTING.COM			
<small>THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF B-K LIGHTING, INC. AND ITS RECEIPT OR POSSESSION DOES NOT CONVEY ANY RIGHTS TO REPRODUCE, DISCLOSE ITS CONTENTS OR TO MAKE FURTHER USE OR SELL ANYTHING IN ANY MANNER. REPRODUCTION, DISCLOSURE OR USE WITHOUT SPECIFIC WRITTEN AUTHORIZATION OF B-K LIGHTING, INC. IS STRICTLY PROHIBITED.</small>			

**3 DRIVE LIGHT**  
NTS

**2 PATH LIGHT**  
NTS

<b>SPJ LIGHTING Inc.</b> ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING		SPECIFICATION SHEET		Step Light Recessed <b>SPJ-RBS-3W-LG</b>	
					
MODEL: <b>SPJ-RBS-3W-LG</b> MATERIAL: <b>Cast Brass</b> FINISH SHOWN: <b>Matte Bronze</b> ELECTRICAL: <b>12V</b> WATTAGE: <b>3W</b> ENGINE: <b>FB-LS6-300</b> LUMENS: <b>350</b>					
<b>FINISHES</b> <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) <b>PVD PREMIUM</b> <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDG) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDGZ) <input type="checkbox"/> PVD Black (PVDGL)					
<b>WATTAGE</b> <b>LUMENS</b> <input checked="" type="checkbox"/> 3W    350					
Custom lumen packages are available upon request					
<b>COLOR TEMPERATURE</b> <input type="checkbox"/> 2200K <input type="checkbox"/> 5000K <input checked="" type="checkbox"/> 2700K <input type="checkbox"/> 6500K <input type="checkbox"/> 3000K <input type="checkbox"/> RGBW <input type="checkbox"/> 4000K					
Custom options are available					
<b>ELECTRICAL</b> <input checked="" type="checkbox"/> 12V <input type="checkbox"/> 120V					
 <b>Wet Listed</b>					
Ordering Example: SPJ-RBS-3W-LG-MBR-3W-27K-12V		Customer Approval: _____ Date: _____			

**1 RECESSED WALL LIGHT**  
NTS





# GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
  - LATEST REVISION OF THE COUNTY OF MONTEREY/COUNTY OF DESIGN STANDARDS AND SPECIFICATIONS
  - LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
  - THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (FC).
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.
- THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
  - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
  - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
  - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY/CITY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- CONTRACTOR SHALL POTHOLE AND VERIFY THAT A MINIMUM OF ONE FOOT OF VERTICAL SEPARATION CAN BE ACHIEVED AT ALL NEW SEWER CROSSINGS AND NOTIFY THE ENGINEER IF ANY EXISTING UTILITIES APPEAR TO BE IN CONFLICT.

# SANITARY SEWER

- SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY SPECIFICATIONS AND STANDARD DETAILS.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.
- PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE COUNTY.
- SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.
- SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

# GRADING & DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT-BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- EARTHWORK QUANTITIES:
  - CUT = 17,100 CY
  - FILL = 20,740 CY
  - NET = 3,640 CY FILL

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.
- PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.
- BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.
- ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.
  - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
  - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
  - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)
- ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.
- VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.
- FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
- ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:50. DIMENSION WIDTH OF THE ACCESSIBLE ROUTES. WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE PER CBC 11B-403.

# UNDERGROUND UTILITIES

- CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
- ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
- SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

# STORM DRAIN

- ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.
- STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

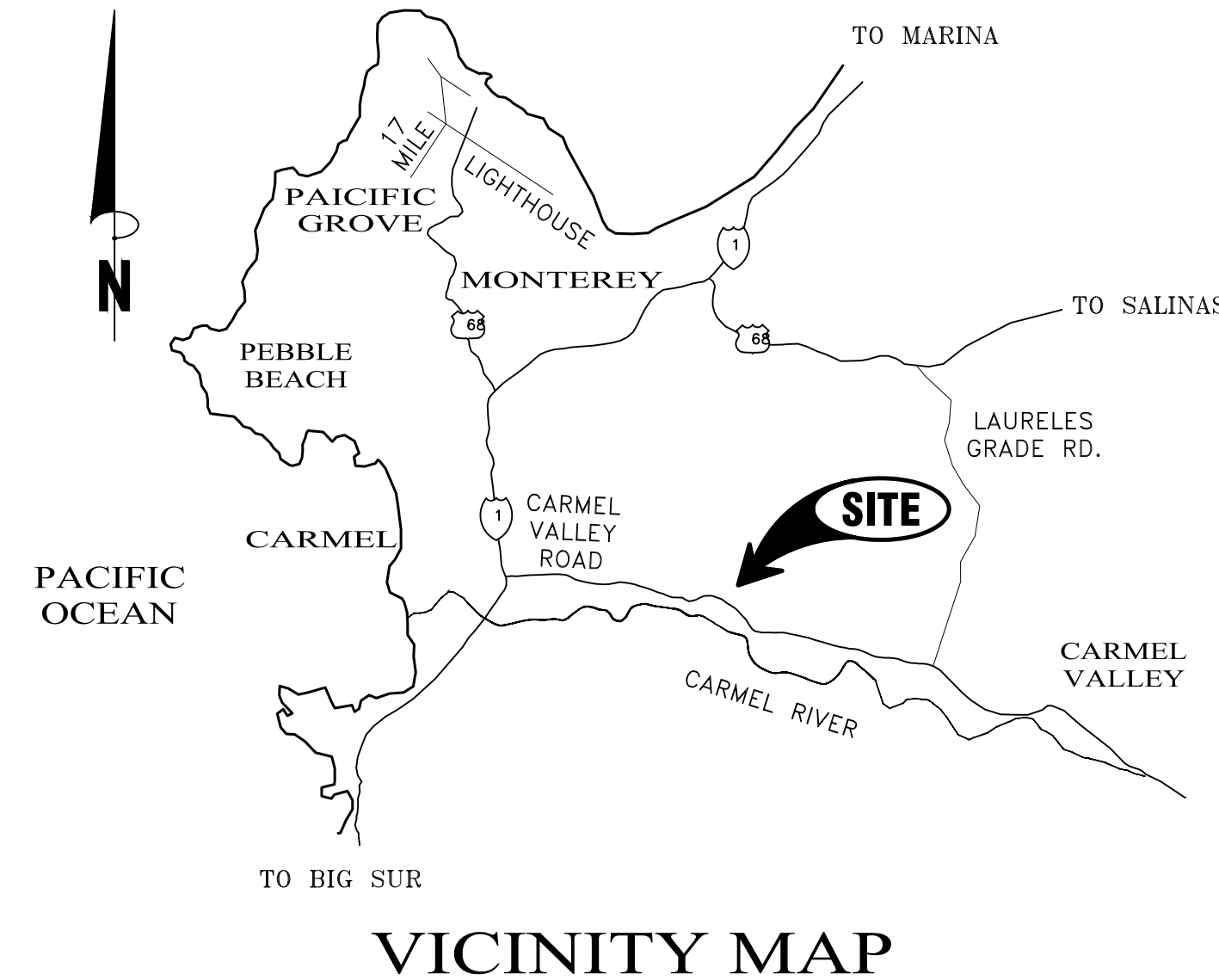
# TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

- MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASQA CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C9.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE COUNTY FORESTER.
- ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

- PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE COUNTY FORESTER. FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.
- ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.
- PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.
- THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE COUNTY FORESTER ON BARK PROTECTION REQUIREMENTS.



# GEOTECHNICAL INSPECTION SCHEDULE

WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:
1) PRIOR TO BACKFILLING 2) DURING BACKFILL PLACEMENT - OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATION:		
1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:		
1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB-ON-GRADE INSTALLATION:		
1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:		
1) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:		
1) DURING FILL PLACEMENT 2) SUBGRADE, PRIOR TO BASE ROCK PLACEMENT 3) BASEROCK PRIOR TO AC, CONCRETE OR PAVEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE AND BASE ROCK PLACEMENT:		
1) AFTER PIPE PLACEMENT, PRIOR TO TO BACKFILL PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:		
1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:		

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INSPECTIONS HAVE BEEN COMPLETED.

# LEGEND

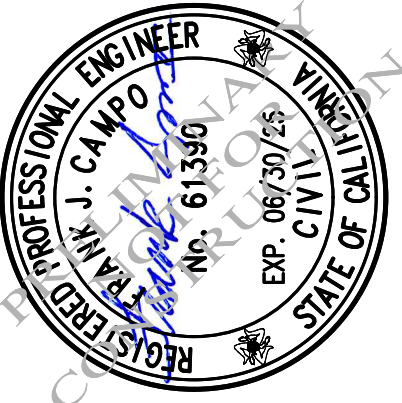
EXISTING		PROPOSED
---	BOUNDARY LINE	---
---	EASEMENT (ESMT)	---
---	CENTERLINE (CL)	---
SD	STORM DRAIN MAIN	SD
---	ROOF DRAIN LATERAL	---
SS	SANITARY SEWER MAIN	SS
W	WATER MAIN	W
---	DRAINAGE FLOW LINE	---
---	SAWCUT	---
---	GRADE BREAK	---
---	ACCESSIBLE PATH OF TRAVEL	---
170	MAJOR CONTOUR	170
169	MINOR CONTOUR	169
X	FENCE	X
OH	OVERHEAD LINES	OH
x 405.46	SPOT ELEVATION	FG 171.13
■	DROP INLET (DI)	■
■	CURB INLET (CI)	■
■	AREA DRAIN (AD)	■
SDMH	STORM DRAIN MANHOLE (SDMH)	●
SSMH	SANITARY SEWER MANHOLE (SSMH)	●
FH	FIRE DEPARTMENT CONNECTION (FDC)	Y
FH	FIRE HYDRANT (FH)	●
PIV	POST INDICATOR VALVE (PIV)	●
WM	WATER METER (WM)	■
WV	WATER VALVE (WV)	■
CV	CHECK VALVE	▲
DCV	DOUBLE CHECK VALVE	▲
CO	CLEANOUT (CO)	●

# SHEET INDEX

- C1 COVER & GENERAL NOTES
- C2 EX SITE PLAN
- C3 SITE PLAN
- C4 DRIVEWAY PLAN AND PROFILE
- C5 GRADING - RESIDENCE
- C6 GRADING - COURTYARD
- C7 GRADING - ARENA
- C8 GRADING - BARN
- C9 SECTIONS
- C10 UTILITY PLAN
- C11 SECTIONS AND DETAILS
- C12 SEPTIC DETAILS
- C13 EROSION CONTROL PLAN
- C14 EROSION CONTROL DETAILS & CONSTRUCTION MANAGEMENT PLAN



**C3 ENGINEERING INCORPORATED**  
Civil Engineering, Land Development, Stormwater Management



COVER SHEET & GENERAL NOTES  
ULLMAN RESIDENCE  
APN# 185-051-003-000

Project Location: 27650 Via Quintana, Carmel Valley, CA 93924  
PREPARED FOR: Ullman

SCALE:	AS NOTED
DATE:	08-21-25
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

**C1**

OF 14 SHEETS  
PROJECT# 123-186

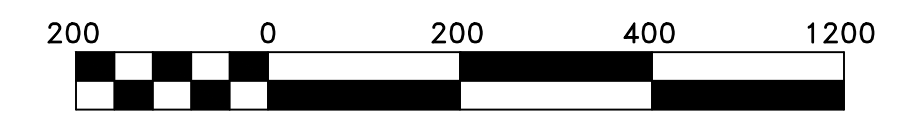




1" = 100'

EX SITE PLAN

1" = 200'



Scale 1" = 200'

**EXISTING SITE PLAN**

**ULLMAN RESIDENCE**  
**APN# 185-051-003-000**

Project Location: 27650 Via Quintana, Carmel Valley, CA 93924  
PREPARED FOR: Ullman

SCALE: AS NOTED  
DATE: 08-21-25  
DESIGN BY: FJC  
DRAWN BY: ECH  
CHECKED BY: FJC  
SHEET NUMBER:

**C2**  
OF 14 SHEETS  
PROJECT# 123-186



**C3 ENGINEERING INCORPORATED**  
Civil Engineering, Land Development,  
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940  
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mailto:C3Engineering.net

REV.	DATE	DESCRIPTION	BY
1			C
2			C

























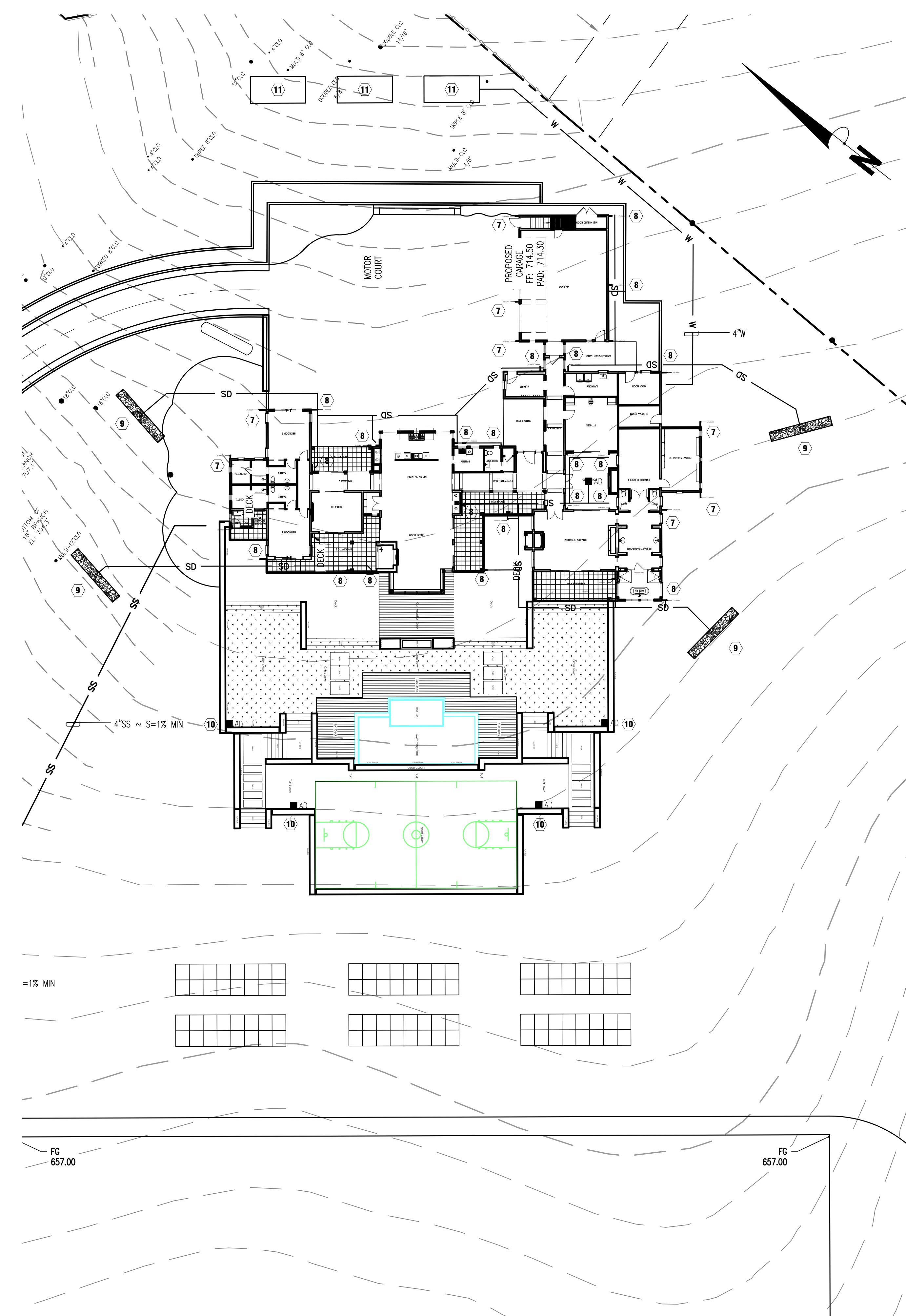
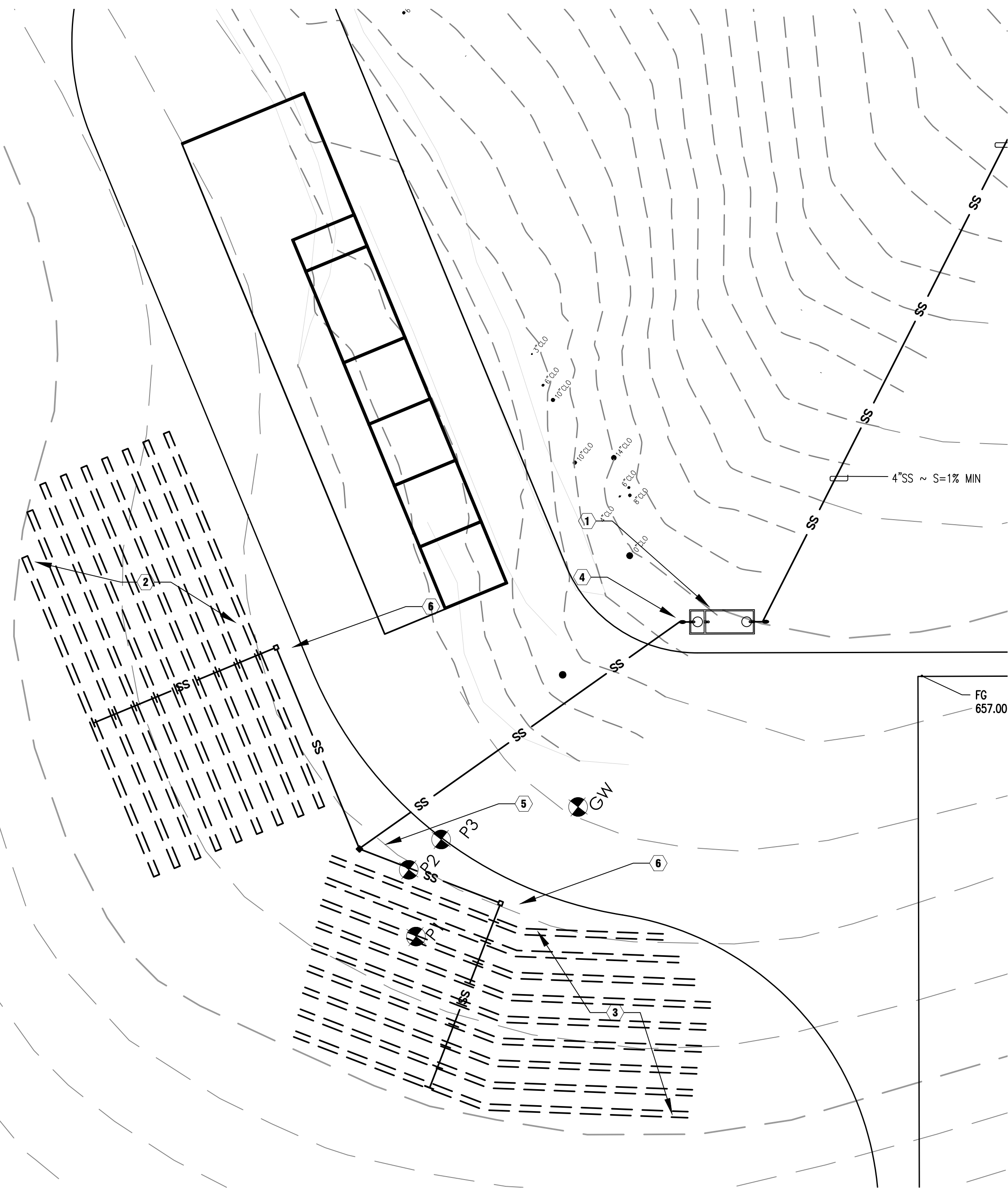


### KEY NOTES

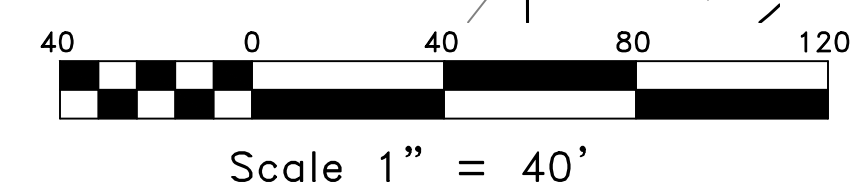
- 1 INSTALL NEW SEPTIC 3000 GAL (CUMMALTIVE) SEPTIC TANK (A/C12)
- 2 PRIMARY LEACH FIELD (9 TRENCHES @ 104LF EACH, SEE E/C12)
- 3 SECONDARY LEACH FIELD (9 TRENCHES @ 104LF EACH, SEE E/C12)
- 4 TWO-WAY CLEANOUT, TYP (C/C12)
- 5 DIVERSION VALVE (BULL-RUN MODEL BRV4 WITH 60" KEY BRVKEY60 (SEE G/C3)
- 6 DISTRIBUTION BOX (CHAPIN PRE-CAST OR EQUAL)
- 7 DOWNSPOUT DISCHARGES ONTO SPLASH BLOCK (OMIT SPLACH BLOCK IN HARDSCAPED AREAS)
- 8 CONNECT DOWNSPOUT TO STORM DRAIN MAIN (D/C11)
- 9 DAYLIGHT ONTO LATERAL FLOW SPREADER (H/C11)
- 10 DAYLIGHT THROUGH BOTTOM OF WALL
- 11 WATER TANKS (SEE PLANS BY OTHERS)



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Drawing file: Z:\Projects\123186\_LB - Ullman (Dwg)\123186\_XBase.dwg  
 Plotted: Aug 21, 2025 - 1:36pm



**PROPOSED SITE PLAN**  
1" = 40'



 <b>AC3 ENGINEERING INCORPORATED</b> Civil Engineering, Land Development, Stormwater Management 126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (931) 647-1192 Fax (931) 647-1194 mail@C3Engineering.net		<b>UTILITY PLAN</b> <b>ULLMAN RESIDENCE</b> <b>APN# 185-051-003-000</b> Project Location: 27650 Via Quintana, Carmel Valley, CA 93924 PREPARED FOR: Ullman	SCALE: AS NOTED DATE: 08-21-25 DESIGN BY: FJC DRAWN BY: ECH CHECKED BY: FJC SHEET NUMBER:	<b>C10</b> OF 14 SHEETS PROJECT# 123-186	REV. DATE C BY	DESCRIPTION MADE IN THE USA	



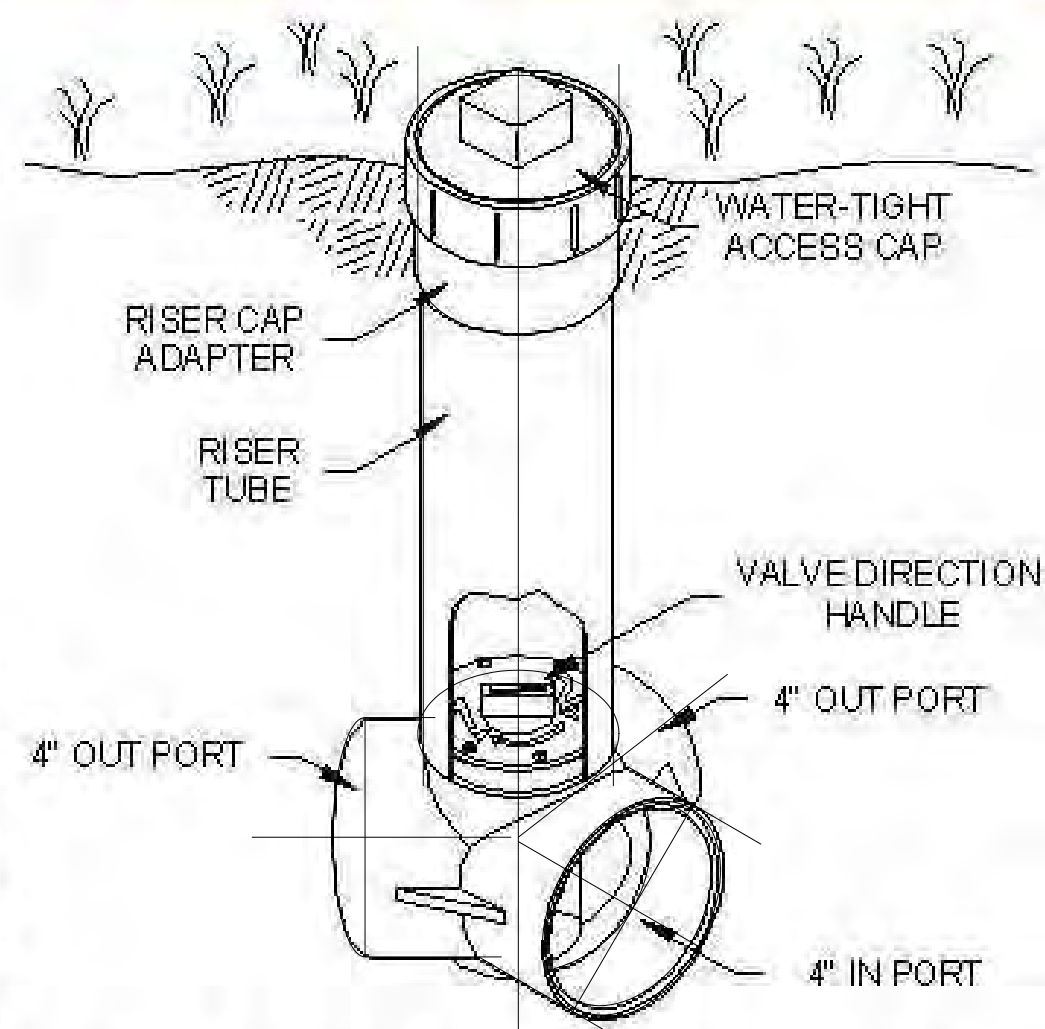




# THE BULL RUN™ VALVE



The Bull Run Valve™ is designed to split flows to septic fields or systems. In addition to the advantages of longer life and easier installation it is the most public health safe alternating device available for wastewater disposal applications. The use has absolutely no contact with wastewater due to the valve's leak-proof and external operating characteristics. The change over from one drainage field to another can be accomplished in less than a minute by simply turning the valve without digging or contact with wastewater.



The Bull Run Valve is available in 4" sch 40 pvc and is suitable wherever septic disposal systems are used - in commercial, industrial, and residential applications.

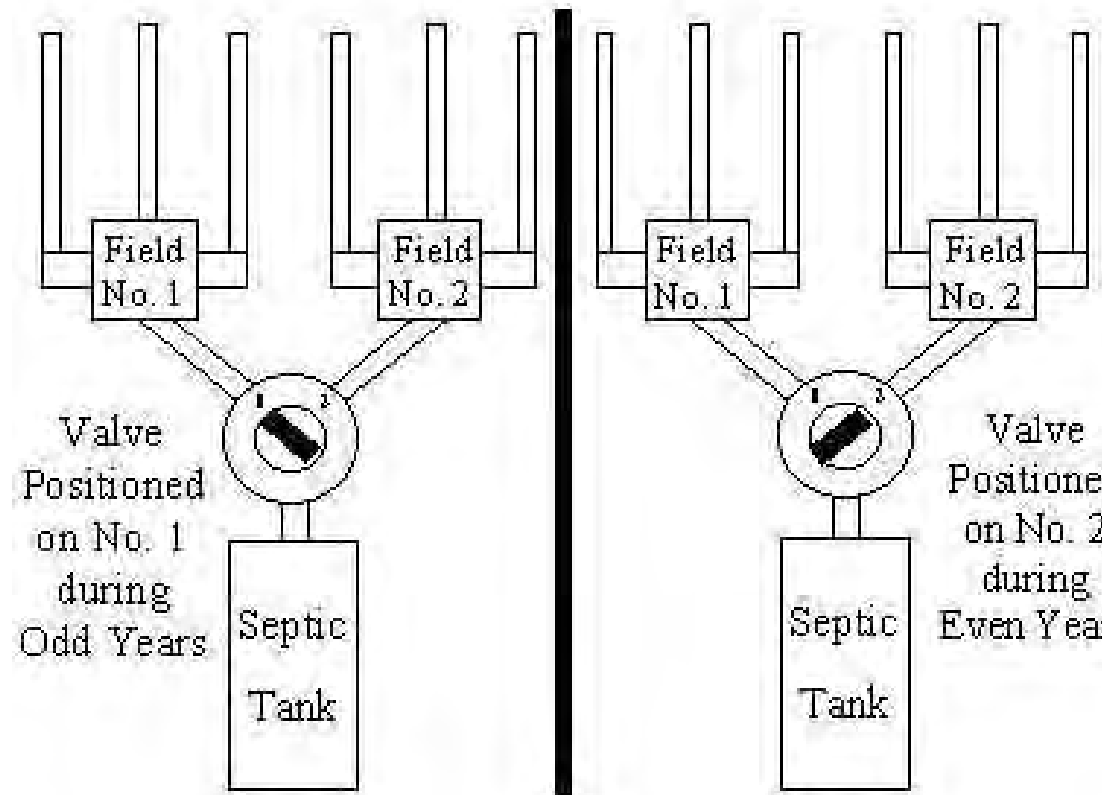
### OPERATING THE VALVE

The direction control handle should be rotated periodically to direct effluent to one or the other of two septic fields. After removing the screw cap at the top of the riser tube, the valve handle can be turned with the valve key furnished.

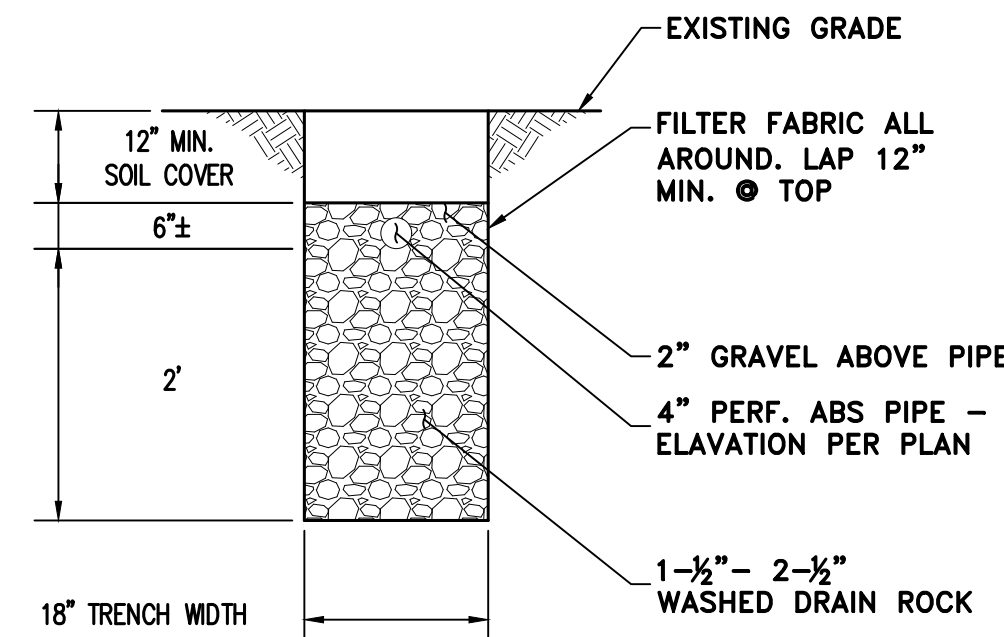
### BULL RUN VALVE Complete Valve Kit Contains

1. Bull Run Valve body
2. 28" Valve Key
3. Riser Cap Adapter
4. Watertight Access Cap

BRVCIRISER - 4" ADJUSTABLE TO 28" HIGH POLY RISER W/CAST IRON ACCESS CAP



ITEM	DESCRIPTION
BRV4	BULL RUN VALVE 4"
BRV/BULK	BULL RUN VALVE & KEY ONLY
BRVCIRISER	BULL RUN VALVE RISER W/ CAST COVER
BRVKEY28	BULL RUN VALVE KEY 28"
BRVKEY36	BULL RUN VALVE KEY 36"
BRVKEY48	BULL RUN VALVE KEY 48"
BRVKEY60	BULL RUN VALVE KEY 60"



### NOTES:

THE LEACH TRENCH SHALL BE EXCAVATED TO THE APPROPRIATE DEPTH PERPENDICULAR TO ANY SLOPE, FOLLOWING THE CONTOUR OF THE LAND SO AS TO MAINTAIN THE SAME TRENCH DEPTH FOR THE LENGTH OF THE TRENCH. ANY SMEARED TRENCH SIDEWALLS SHALL BE RAKED TO ROUGHEN THE SURFACE TO ENHANCE PERCOLATION. IF THE TRENCHES DO NOT FOLLOW THE NATURAL CONTOURS AND ARE CUT ACROSS SLOPES, THE BOTTOM OF THE TRENCH SHALL BE LEVEL.

SEPARATION BETWEEN TRENCH SIDEWALLS SHALL BE MEASURED SIDEWALL TO SIDEWALL AND BE AT LEAST EQUAL TO THE TRENCH WIDTH OR 2 TIMES THE EFFECTIVE DEPTH OF THE TRENCH OR, WHICHEVER IS GREATER. AN ADDITIONAL 1 FOOT OF SEPARATION IS REQUIRED FOR EACH 5% INCREASE IN SLOPE GREATER THAN 30%.

THE TOP OF THE BED OF ROCK AND THE LEACH PIPE SHALL BE LEVEL.

THE LEACH PIPE SHALL BE PLACED ON THE LEVEL ROCK BED WITH THE HOLES POINTED DOWN AND A CAP PLACED OVER THE END OF THE PIPE.

EARTH BACKFILL SHALL BE PLACED OVER THE LEACHFIELD 8" - 12" DEEP, AND SHALL BE MOUNDED TO ENSURE DRAINAGE AWAY FROM THE TRENCH. IF SETTLEMENT OCCURS AFTER INSTALLATION, ADDITIONAL BACKFILL MUST BE ADDED.

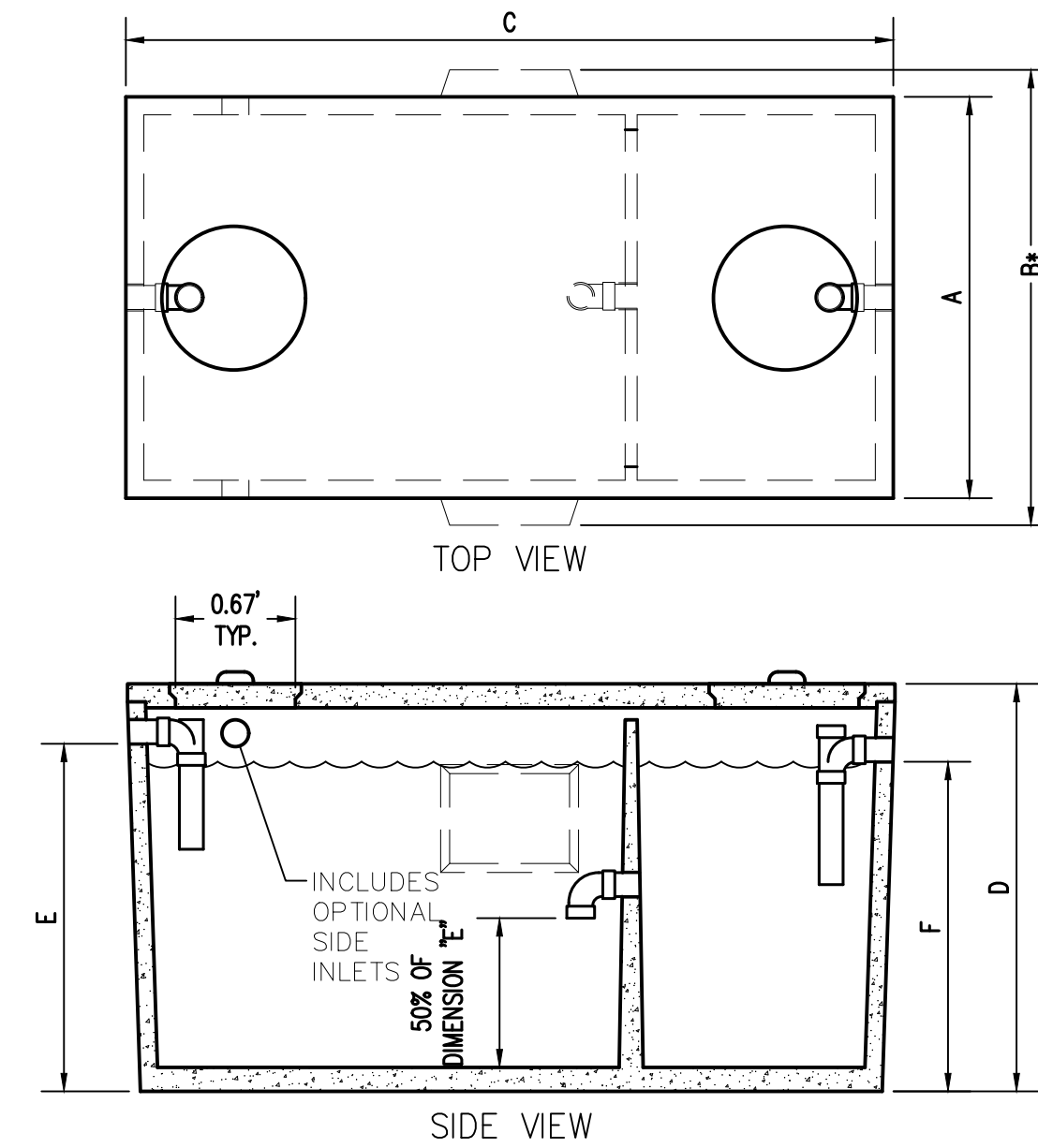
WHEN THERE IS MORE THAN ONE LEACH TRENCH, AN APPROVED EFFLUENT DISTRIBUTION DEVICE SHALL BE USED TO DISTRIBUTE EFFLUENT TO EACH TRENCH. "POP-OVER" DISTRIBUTION IS NOT PERMITTED.

### E LEACH FIELD

C12 NTS

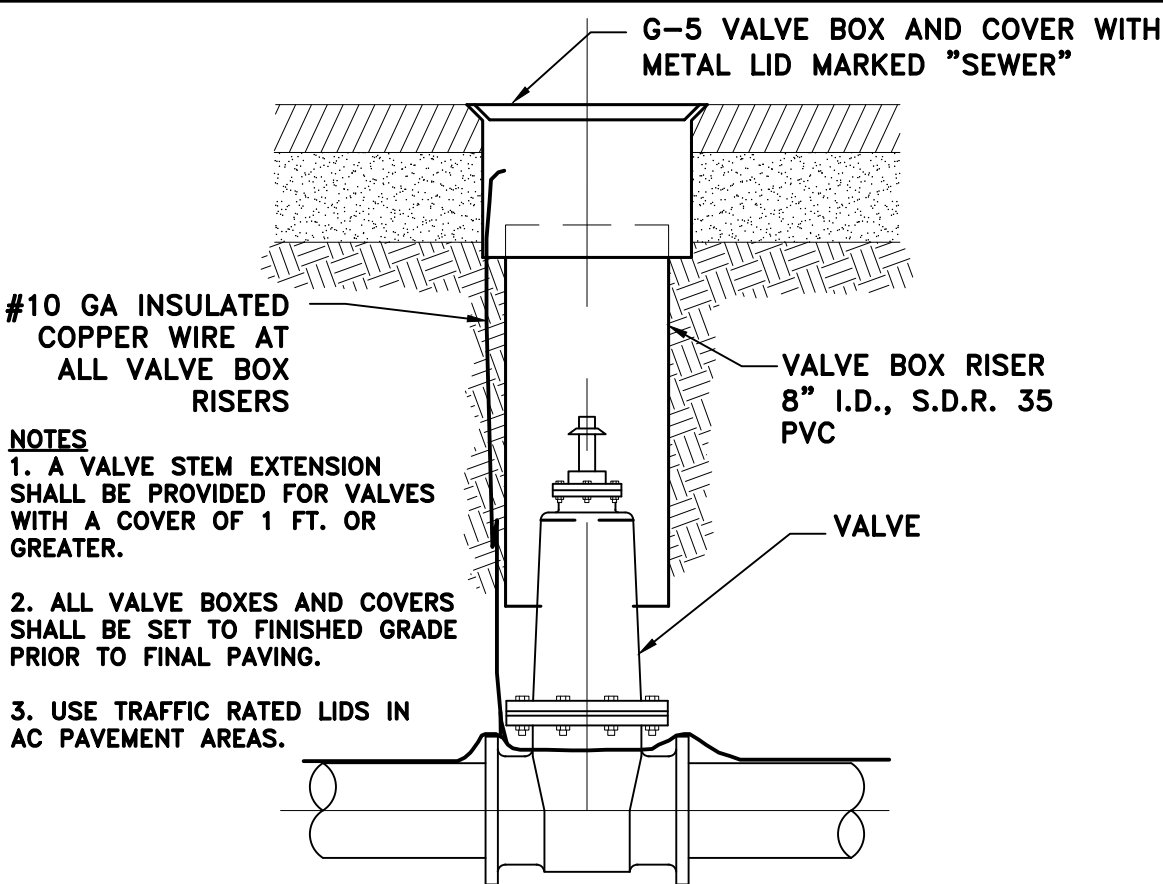
### A SEPTIC TANK

C12 NTS



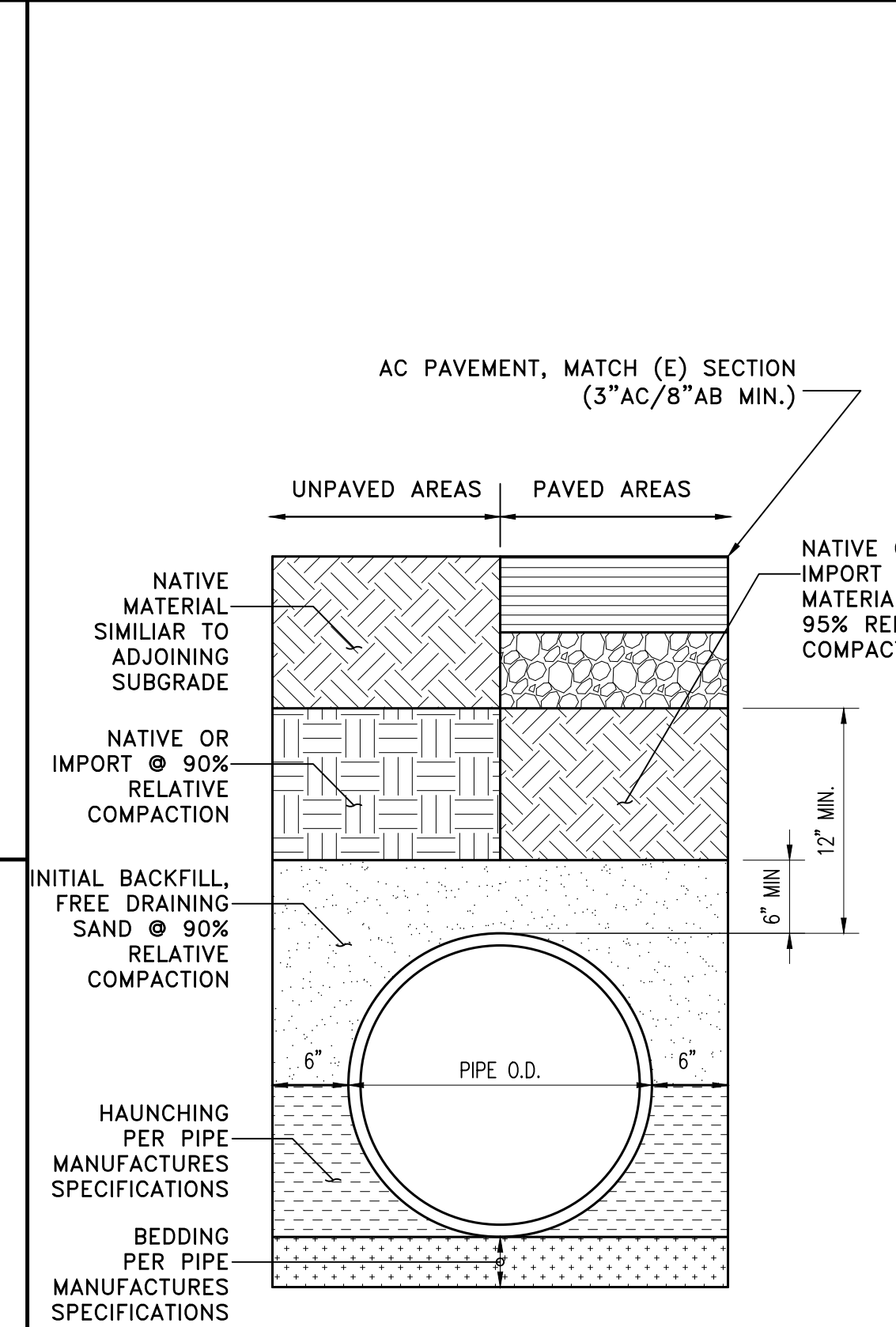
MODEL NUMBER	LIQUID CAPACITY (GALLONS)	DIM A	DIM B*	DIM C	DIM D	DIM E	DIM F	MINIMUM EXCAVATION WIDTH*	MINIMUM EXCAVATION LENGTH
JS-750	750	4'-0"	4'-9"	8'-1"	5'-8"	4'-10"	4'-7"	5'-9"	9'-1"
JS-1000	1000	5'-1"	5'-10"	8'-2"	5'-8"	4'-10"	4'-7"	6'-10"	9'-2"
JS-1200	1200	5'-9"	6'-6"	8'-6"	5'-8"	4'-10"	4'-7"	7'-6"	9'-6"
JS-1500	1500	5'-7"	6'-4"	10'-8"	5'-8"	4'-10"	4'-7"	7'-4"	11'-8"
JS-2000	2000	4'-11"	5'-8"	15'-11"	5'-8"	4'-10"	4'-7"	6'-8"	16'-11"
JS-2500	2500	5'-9"	6'-6"	16'-10"	5'-8"	4'-10"	4'-7"	7'-6"	17'-10"
JS-3000	3000	5'-9"	6'-6"	16'-10"	6'-5"	5'-7"	5'-4"	7'-1"	17'-10"

DESIGN LOAD: NON TRAFFIC - 3" OF EARTH COVER MAXIMUM AT 500 PSF FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST. ON THE WEB AT JENSENPRECAST.COM



### F VALVE BOX

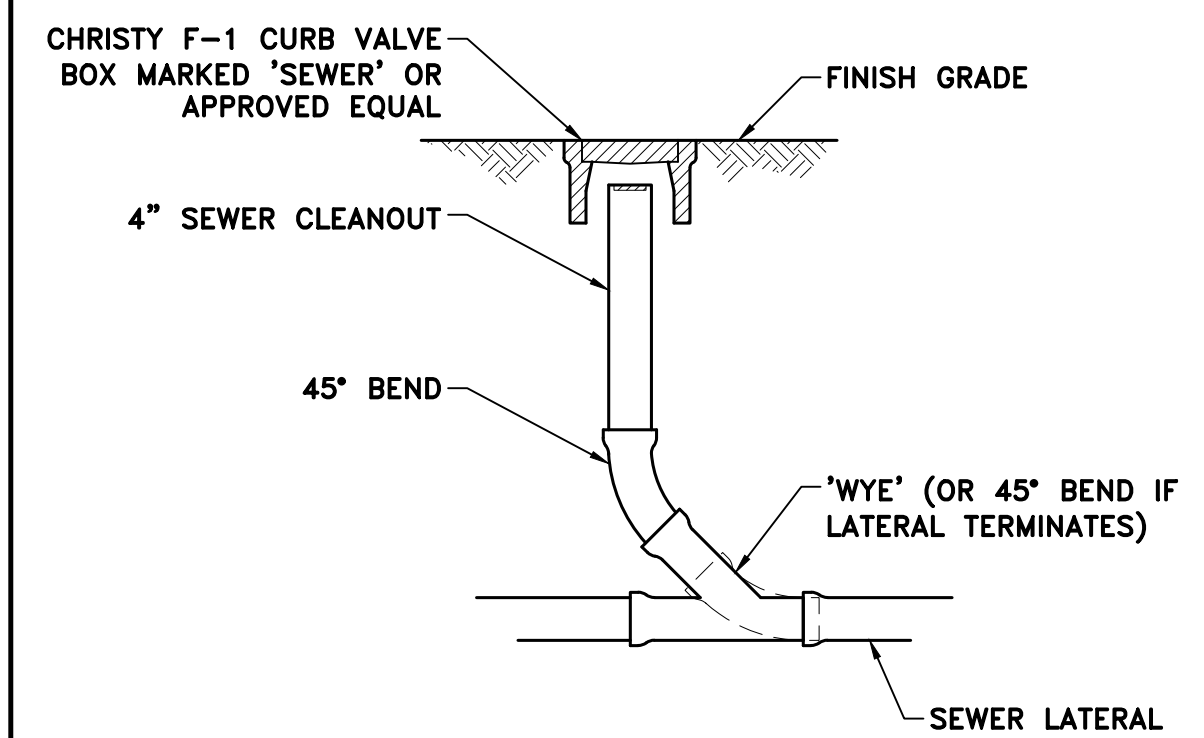
C12 NTS



- NOTES:
1. BACKFILL MATERIAL TO BE PLACED IN 6" LIFTS MAX.
  2. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS OR HAND TAMPING. NO JETTING OR FLOODING

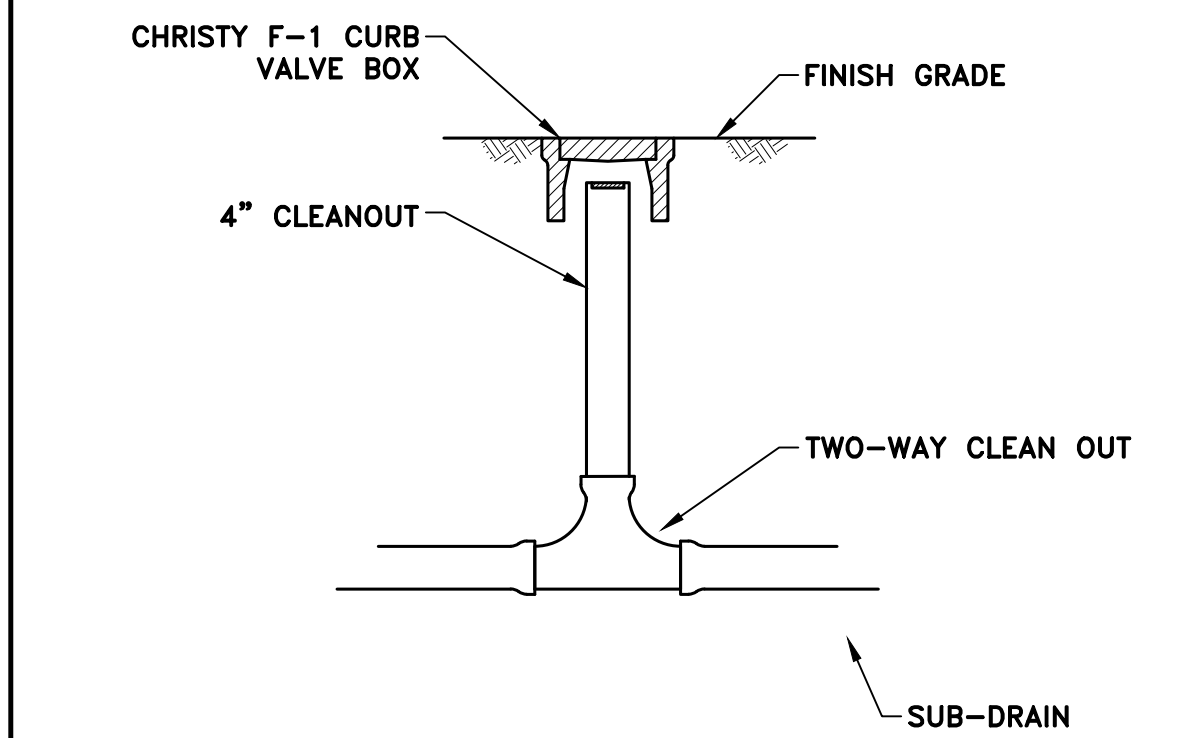
### D TRENCH BACKFILL

C12 NTS



### B CLEAN-OUT @ GRADE

C12 NTS



### C TWO-WAY CLEAN-OUT

C12 NTS

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Drawing file: Z:\Projects\123186\_LB - Ullman (Dwg)\123186\_XBase.dwg  
Plotted: Aug 21, 2025 - 1:36pm

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MADE IN THE USA

REV. DATE

DESCRIPTION

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**EXISTING SITE PLAN**

ULLMAN RESIDENCE  
APN# 185-051-003-000

Project Location: 27650 Via Quintana, Carmel Valley, CA 93924  
PREPARED FOR: Ullman

SCALE: AS NOTED

DATE: 08-21-25

DESIGN BY: FJC

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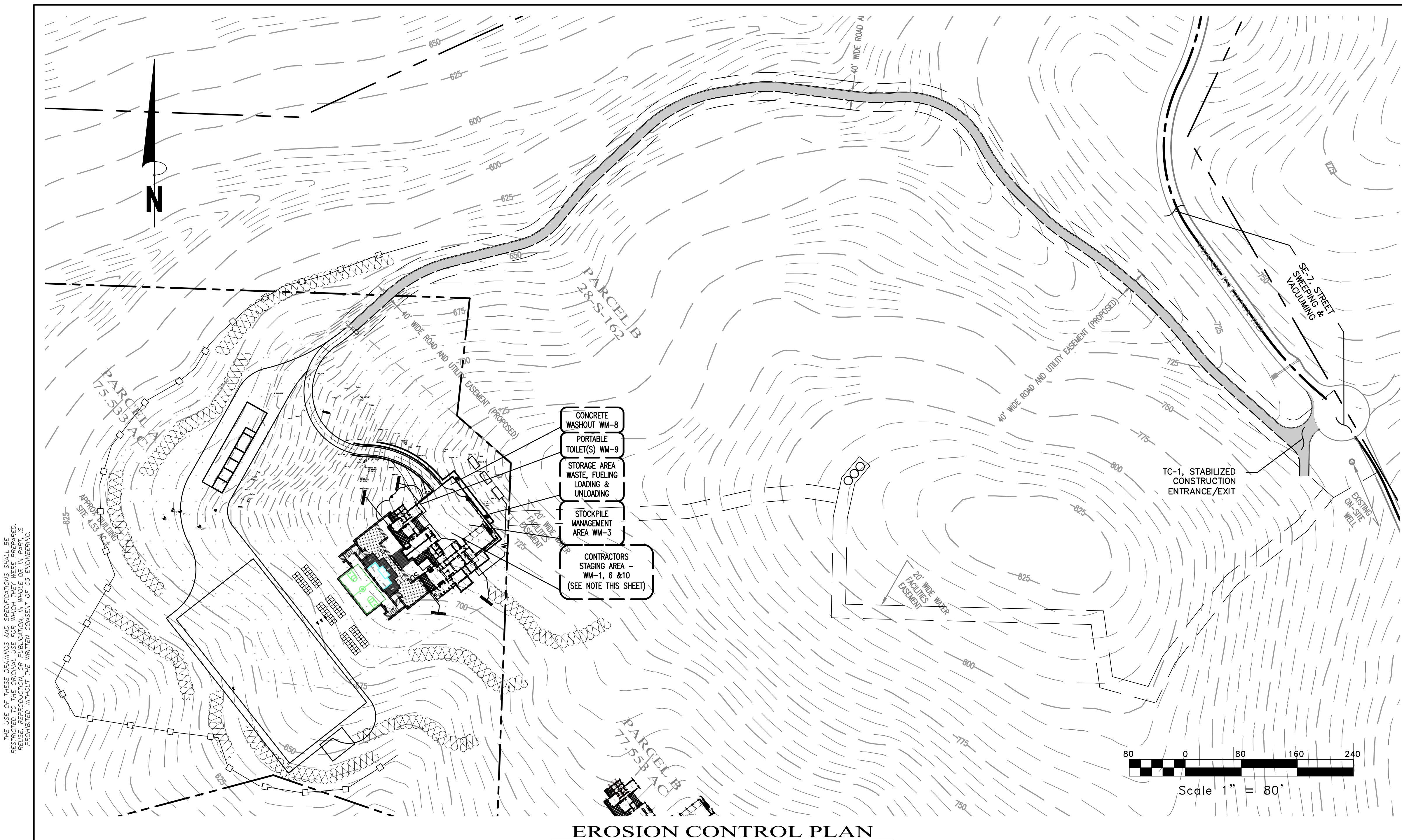
SHEET NUMBER:

**C12**

OF 14 SHEETS

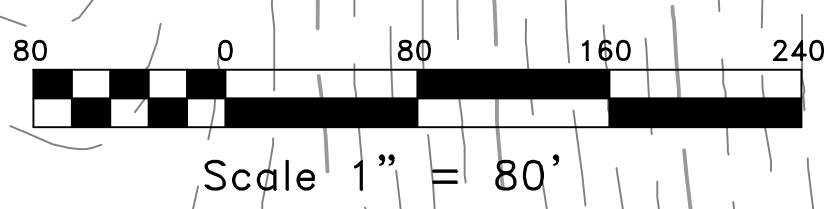
PROJECT# 123-186





- CONCRETE WASHOUT WM-8
- PORTABLE TOILET(S) WM-9
- STORAGE AREA WASTE, FUELING LOADING & UNLOADING
- STOCKPILE MANAGEMENT AREA WM-3
- CONTRACTORS STAGING AREA WM-1, 6 & 10 (SEE NOTE THIS SHEET)

**EROSION CONTROL PLAN**  
1" = 80'



**EROSION CONTROL NOTES**

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - A. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
  - B. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
  - C. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
  - D. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDING OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1ST AND APRIL 30TH), THE FOLLOWING MEASURES MUST BE TAKEN:
  - A. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
  - C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
  - D. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
  - E. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
5. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
7. SOIL COMPACTION FOR AREAS THAT WILL REMAIN PERVIOUS OR ARE TO BE USED FOR STORMWATER CONTROL MEASURES (SCM) SHALL BE MINIMIZED.
8. ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND OR COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS SHALL BE PROTECTED WITH EFFECTIVE SOIL COVER.
9. SOIL STOCKPILES AREAS SHALL BE PROTECTED AGAINST EROSION.

**INSPECTIONS**

- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (HCD-ENVIRONMENTAL SERVICES) TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
- DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (HCD-ENVIRONMENTAL SERVICES) TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (HCD-ENVIRONMENTAL SERVICES) TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (HCD-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.

**CONSTRUCTION GENERAL PERMIT**

THIS PROJECT DISTURBS ONE (1) OR MORE ACRES OF SOIL AND IS REQUIRED TO OBTAIN COVERAGE UNDER THE GENERAL PERMIT FOR DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY CONSTRUCTION GENERAL PERMIT ORDER 2022-0057-DWQ.

THE CONSTRUCTION GENERAL PERMIT REQUIRES THE DEVELOPMENT OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BY A CERTIFIED QUALIFIED SWPPP DEVELOPER (QSD). A SWPPP HAS BEEN DEVELOPED FOR THIS PROJECT AND APPROVED BY THE STATE. WDD#XXXXXXXXXX. THE CONTRACTOR SHALL OBTAIN A COPY TO REMAIN ON SITE AT ALL TIMES.

**RESPONSIBLE PARTY CONTACT INFO**

CONTRACTOR:	CONTRACTOR
QSD:	FRANK CAMPO, C3 ENGINEERING, INC 831-647-1192
QSP:	
LRP:	LRP
WDD:	

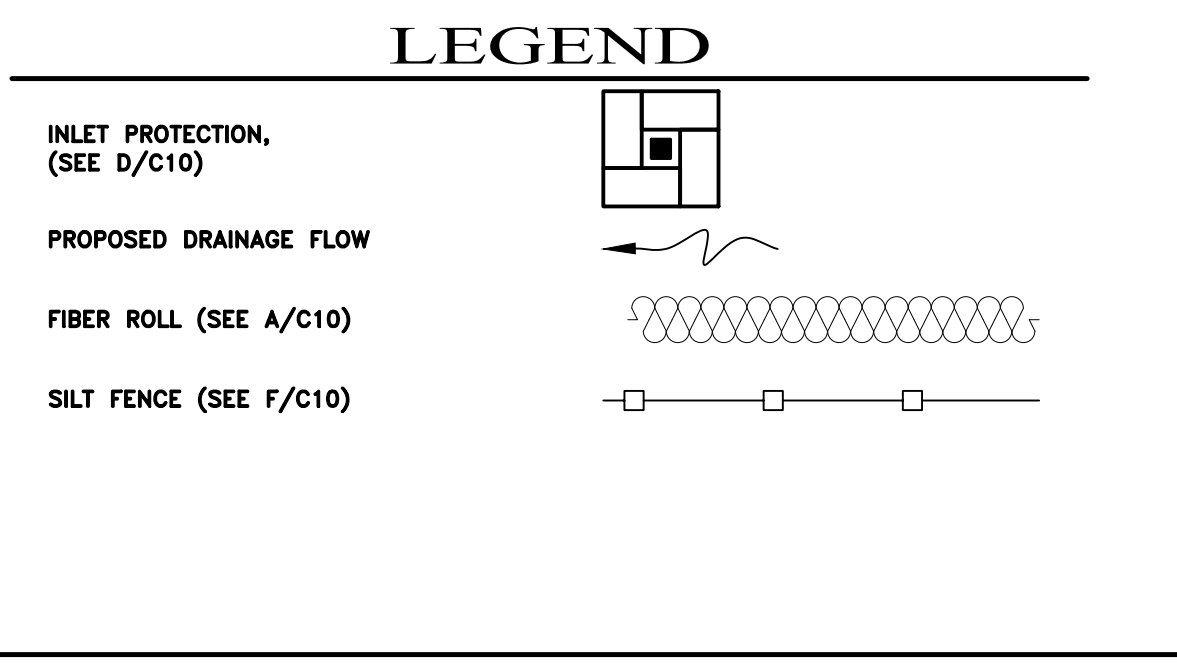
<p><b>AC3 ENGINEERING INCORPORATED</b> Civil Engineering Land Development Stormwater Management</p> <p>126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (931) 647-1192 Fax (931) 647-1194 mailto:AC3Engineering.net</p>	<p><b>PROFESSIONAL ENGINEER</b> FRANK J. CAMPO No. 61390 Exp. 06/30/25 CIVIL STATE OF CALIFORNIA</p>
<p><b>EROSION AND SEDIMENT CONTROL PLAN</b></p> <p><b>ULLMAN RESIDENCE</b> APN# 185-051-003-000</p> <p>Project Location: 27650 Via Quintana, Carmel Valley, CA 93924 PREPARED FOR: Ullman</p>	<p>SCALE: AS NOTED</p> <p>DATE: 08-21-25</p> <p>DESIGN BY: FJC</p> <p>DRAWN BY: ECH</p> <p>CHECKED BY: FJC</p> <p>SHEET NUMBER:</p> <p align="center"><b>C13</b></p> <p>OF 14 SHEETS</p> <p>PROJECT# 123-186</p>

**EROSION CONTROL NOTES**

1. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL BE CONTROLLED.
  2. ALL NON-STORM WATER DISCHARGES SHALL BE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED.
  3. SITE BMPs SHALL BE IMPLEMENTED TO REDUCE OR ELIMINATE POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
  4. BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.
  5. DETAILED, SITE-SPECIFIC LISTING OF POTENTIAL SOURCES OF STORMWATER POLLUTION IS PROVIDED IN THE STORMWATER CONTROL PLAN AND OR THE SWPPP.
  6. ACCESS ROADS SHALL BE CLEANED (SWEEP) DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
  7. DUMPSTERS SHALL BE COVERED NIGHTLY AND PROTECTED FROM RAIN AND SHALL HAVE SECONDARY CONTAINMENT.
- THE FOLLOWING STANDARD BMPs SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:
- PAINTING:**
1. MINIMIZE USE OF OIL-BASED PAINTS
  2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
  3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
  4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
  2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
  3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
  4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

**EROSION CONTROL NOTES**

- READY-MIXED CONCRETE:**
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
  2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
  3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
  4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
  5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
- EARTH MOVING/GRADING:**
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
  2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN.
  3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
  4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
  5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
  6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.



**BMP'S**

- EROSION CONTROL:**
- EC-1 SCHEDULING
  - EC-2 PRESERVATION OF EXISTING VEGETATION
  - EC-3 HYDRAULIC MULCH
  - EC-4 HYDROSEEDING
  - EC-8 WOOD MULCHING
  - EC-16 NON-VEGETATIVE STABILIZATION
- SEDIMENT CONTROL:**
- SE-1 SILT FENCE
  - SE-2 SEDIMENT BASINS
  - SE-3 SEDIMENT TRAP
  - SE-5 FIBER ROLL
  - SE-6 GRAVEL BAG BERM
  - SE-7 STREET SWEEPING AND VACUUMING
  - SE-8 GRAVEL BAG BARRIER
  - SE-9 STRAW BALE BARRIER
  - SE-10 STORM DRAIN INLET PROTECTION
  - SE-13 COMPOST SOCKS AND BERMS
  - SE-14 BIOFILTER BAGS
- TRACKING CONTROL:**
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
  - TC-3 ENTRANCE/OUTLET TIRE WASH
- WIND EROSION CONTROL:**
- WE-1 WIND EROSION CONTROL
- NON-STORM WATER MANAGEMENT:**
- NS-1 WATER CONSERVATION PRACTICES
  - NS-2 DEMATERING OPERATIONS
  - NS-3 PAWING AND GRINDING OPERATIONS
  - NS-6 ILLFIT CONNECTION/DISCHARGE
  - NS-7 POTABLE WATER/IRRIGATION
  - NS-8 VEHICLE AND EQUIPMENT CLEANING
  - NS-9 VEHICLE AND EQUIPMENT FUELING
  - NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
  - NS-12 CONCRETE CURING
  - NS-13 CONCRETE FINISHING
  - NS-14 MATERIAL AND EQUIPMENT USE
- WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL:**
- WM-1 MATERIAL DELIVERY AND STORAGE
  - WM-2 MATERIAL USED
  - WM-3 STOCKPILE MANAGEMENT
  - WM-4 SPILL PREVENTION AND CONTROL
  - WM-5 SOLID WASTE MANAGEMENT
  - WM-6 HAZARDOUS WASTE MANAGEMENT
  - WM-7 CONTAMINATED SOIL MANAGEMENT
  - WM-8 CONCRETE WASTE MANAGEMENT
  - WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
  - WM-10 LIQUID WASTE MANAGEMENT
- REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS. SWPPP WDD#XXXXXXXXXX

Drawing file: Z:\Projects\123186\_LB - Ullman\Draw\123186\_XBase.dwg  
 Plotted: Aug 21, 2025 - 1:37pm



