

# Exhibit C

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**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**SALEHI AMIR & ELMIRA TRS (PLN220159)**

**RESOLUTION NO. 22-078**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, pursuant to Section 15162 of the CEQA Guidelines; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvements. The project includes the removal of 40 Monterey pine and 4 Coast live oak trees.

[PLN220159 SALEHI AMIR & ELMIRA TRS,  
3167 Stevenson Drive, Pebble Beach, Del Monte  
Forest Land Use Plan, Coastal Zone (APN: 008-023-  
013-000)]

**The SALEHI AMIR & ELMIRA TRS application (PLN220159) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on November 2, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

- 1. FINDING:**      **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**    a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
  - Del Monte Forest Land Use Plan (DMF LUP);
  - Monterey County Coastal Implementation Plan, Part 5 (DMF CIP);
  - Monterey County Zoning Ordinance (Title 20); and
  - Pebble Beach Company Concept Plan.

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The property is located at 3167 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-013-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential, 2 units per acre, with Building Site and Design Control overlays in the Coastal Zone or "MDR/2-B-6-D (CZ)". The project involves the construction of an approximately 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage. The project results in approximately 715 cubic yards of cut and 255 cubic yards of fill and the removal of 40 Monterey Pine and 4 Coast Live Oak trees. MDR zoning allows for the development of the first single family dwelling per legal lot of record, subject to the granting of a Coastal Administrative Permit. Design Control or "D" overlay requires design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Therefore, the project is an allowed land use for this site subject to a Coastal Administrative Permit and Design Approval.
- c) Lot Legality. The subject property (0.56 acres), APN 008-023-013-000, is identified as Lot 4, Tract No. 1535, Del Monte Forest Plan – Spyglass 2 (Area K), recorded on March 16, 2018 (Volume 24, Maps of "Cities and Town", Page 57). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to MCC Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The primary exterior colors and materials proposed for the residence include the following:
  - Smooth stucco painted natural cream;
  - Matching colored textured cut limestone walls, entablature, and columns;
  - Simulated limestone embellishments of a similar color are used for the corbels, crown moldings, column plinth, and sills;
  - Redlands clay tile roofing; and
  - Bronze finished aluminum frame exterior doors and windows.

The homes within the Pebble Beach area varies in architecture ranging from modern, Spanish style, to Tuscan style homes. The proposed development is a Tuscan style home designed with exterior colors and materials of natural color that blend with the surrounding environment and is consistent with the surrounding neighborhood character.

Preliminary approval was also granted from the Del Monte Forest Architectural Review Board. Therefore, as proposed, the project assures



protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- e) Visual Resources. The subject property is not identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resource, in the DMF LUP). Based on review of the application materials, the development proposal will not interfere with visual access along 17-Mile Drive or any common public viewing area or vista point. The proposed project site is not visible within the public viewshed nor from 17-Mile Drive due to location (spatial distance from 17-Mile Drive), existing forestation, road alignment, and existing topography.
- f) Development Standards. The project meets all required development standards. The development standards for the Building Site or “B” District are identified in Title 20, Section 20.42.030. Development within this district, specifically B-6, shall meet the required setbacks unless otherwise indicated on a recorded final map. For the subject property the recorded final map does not identify a front setback of the building envelope but does identify a parcel setback (Parcel B) of 150.23 feet from Stevenson Drive. The final map for the subject property identifies a building envelope with side and rear setback of 10 feet. As proposed, the single-family dwelling is within the building envelope identified on the final map. The maximum allowed height for main structures in Del Monte Forest (Coastal Zone) MDR district is 27 feet above average natural grade. As proposed, the single-family dwelling is slightly below 27 feet above average natural grade. The County has applied a condition of approval (Condition No. 4, Height Verification) to ensure the constructed height of the single-family dwelling does not exceed the maximum allowed height. The allowed site coverage and floor area ratio maximum is 25 percent in the Del Monte Forest (Coastal Zone) MDR/2 Zoning District. The lot area is 24,393 square feet which would allow 6,098 square feet for both coverage and floor area ratio. As proposed the single-family dwelling has a lot of coverage of 4,558 square feet (19 percent) and a floor area ratio of 6,094 square feet (24.9 percent). Located within the Pescadero Watershed, the project is consistent with DMF LUP, Land Use and Development Policy 77, which limits new residential development within the Pescadero Watershed to a maximum of 9,000 square feet of site coverage which shall include both structural and other impervious surface coverage. As proposed, the single-family dwelling includes 6,614 square feet of structural and impervious surface site coverage.
- g) Driveway. The project is consistent with development standards for driveways found in the DMF LUP and DMF CIP which indicates that new residential driveways and other vehicular surfaces shall be sited and designed: to minimize surface length and width as much as possible and still provide simple and direct access, to minimize runoff; and to filter and treat runoff from such surfaces prior to discharge offsite and/or to sensitive receptors. As proposed, the new driveway will provide direct access from the single-family dwelling to Parcel B (roadway and public utility easement) which connects to Stevenson Road, as well as providing adequate fire and emergency response

access. The driveway is made of a permeable surface lined with native, drought tolerant, non-invasive landscaping. Therefore, the driveway meets the requirements of DMF LUP and DMF CIP.

- h) Land Use Advisory Committee (LUAC) Review. The project was not referred to the DMF LUAC for review. Based on the currently LUAC Guidelines, this project did not warrant referral.
- i) The project planner conducted a site inspection on September 9, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to soil/slope and trees. The following reports have been prepared:
  - “Geotechnical Report for the Proposed Two-Story Residence and Attached Garage Salehi Residence” (LIB220236) prepared by Grice Engineering, INC., SALINAS, CA, AUGUST 2022.
  - “Tree Assessment/Forest Management Plan 3167 Stevenson Drive” (LIB220237) prepared by Ono Consulting, PACIFIC GROVE, CA, AUGUST 4, 2022.
  - “Fuel Management Plan” (LIB220238) prepared by Ono Consulting, PACIFIC GROVE, CA, AUGUST 5, 2022.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on September 9, 2022, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general

welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities will be provided. Sewer service will be provided by the Pebble Beach Community Service District (PBCSD) and water will be provided by the California American Water Company. The wastewater collection and treatment system have adequate remaining capacity for sewage disposal, so the proposed residence will be serviced by the PBCSD, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. The proposed residence will use water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (Planning File No. PLN100138). The proposed development would also include required storm water drainage facilities. The public facilities for the project have been reviewed and found acceptable by the Environmental Health Bureau.
  - c) Staff conducted a site inspection on September 9, 2022, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

4. **FINDING:** **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The previously approved PBC Concept Plan (HCD-Planning File No. PLN100138; Board Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the DMF Coastal Zone. The Spyglass 2 Subdivision (Area K) was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a Coastal Development Permit to allow tree removal; therefore, subsequent Coastal Development Permits to allow tree removal are not required provided the proposed development is consistent with the parameters of the Concept Plan.
  - b) The tree removal proposed as part of the PBC Concept Plan was also analyzed in the FEIR (SCH#2011041028) and mitigated for off-site tree preservation. The FEIR analysis presumed a development impact area on each residential lot of up to 15,000 square feet of structural, hardscape, and landscape development. Additionally, DMF CIP, Section 20.147.050.C.4 (Forest Resources), requires proposed development projects to be sited and designed to minimize tree removal.
  - c) As proposed, the Applicant has designed the subject development on the most open area of the site. The development impact area of 11,755 square feet resulted in the removal of 40 Monterey pine trees and 4

Coast live oak trees is in conformance with the previously certified FEIR and the previously approved PBC Concept Plan. Therefore, a subsequent coastal development permit to allow tree removal is not required for this project.

- d) In accordance with the prepared Arborist report (LIB220237), staff has applied the standard migratory bird nesting condition to ensure that no active raptor or migratory bird nests occur within the project site or immediate vicinity prior construction. Additionally, the standard tree and root protection condition has been applied to the project to ensure that trees not proposed for removal are not impacted during construction or during removal of approved trees.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**5. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on September 9, 2022, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**6. FINDING:** **CEQA (Consider the Previously-Certified Final Environmental Impact Report)** – The project is consistent with the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the California Environmental Quality Act (CEQA) Guidelines, when an EIR has been certified, no subsequent EIR shall be prepared for that project unless the lead agency determines one or more of the following:

- i. Substantial changes are proposed in the project which will require major revisions of the previous EIR;
- ii. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revision of the previous EIR; or
- iii. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete.

- EVIDENCE:**
- a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed, or substantial changes occur with respect to the circumstances under which the project is

undertaken. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

- b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for a Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel was part of the PBC Concept Plan development proposal.
- c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
- d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.
- e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
- f) The project proposed residential development on a 0.56 acre lot identified in the Spyglass 2 subdivision (Area K) as Lot 4, which was considered and analyzed in the certified FEIR for the LCP Amendment and the PBC Concept Plan development proposal.
- g) The FEIR identifies the lot to be impacted by up to 15,000 square feet of structural, hardscape, and landscape improvements. The project includes structural and impervious surfaces less than 9,000 square feet. In accordance with the PBC Concept plan, the LCP Amendment and the FEIR, a non-standard condition of approval has been applied to ensure landscaping on the parcel does not exceed 6,000 square feet. Tree removal proposed as part of this project was analyzed in the FEIR and mitigated for off-site replacement.
- h) The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a new significant effect, or development that would result in a new cumulative significant impact.
- i) No adverse environmental effects were identified during staff review of the development application during a site visit on September 9, 2022.
- j) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**7. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monterey Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan and finds the project consistent with the FEIR pursuant to Section 15162 of the CEQA Guidelines; and
2. Approve the Coastal Administrative Permit and Design Approval to allow the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvement. The project includes the removal of 40 Monterey pine and 4 Coast live oak trees

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 2<sup>nd</sup> day of November, 2022.

DocuSigned by:  
*Craig Spencer*  
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Craig Spencer  
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE November 2, 2022.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE November 14, 2022.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021



# County of Monterey HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220159

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative Permit and Design Approval (PLN220159) allows the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvement. The project includes the removal of 40 Monterey Pine and 4 Coast Live Oak trees. The property is located at 3167 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-013-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Administrative Permit and Design Approval (Resolution Number 22-078) was approved by the Chief of Planning for Assessor's Parcel Number 008-023-013-000 on November 2, 2022. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD041 - HEIGHT VERIFICATION

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

#### 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 6. PDSP01 - LANDSCAPE LIMITATION (NON-STANDARD)

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the EIR certified for the Pebble Beach Company Concept Plan and the Del Monte Forest Local Coastal Plan Amendment (Planning File No. PLN100138), the environmental analysis is based on a total development footprint of 15,000 square feet per lot - comprised of 9,000 square feet of structural and hardscape coverage, and 6,000 square feet of landscaping. Therefore, landscaping on the subject lot shall be limited to no more than 6,000 square feet. Aside from the 15,000 square feet of allowed development footprint, all areas of the lot shall remain as native Monterey pine forest habitat. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, landscaping on the subject lot shall be limited to no more than 6,000 square feet.

## 7. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 8. PD011(A) - TREE REMOVAL

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 9. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

#### 10. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

#### 11. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

#### 12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

#### 13. PW0045 – COUNTYWIDE TRAFFIC FEE

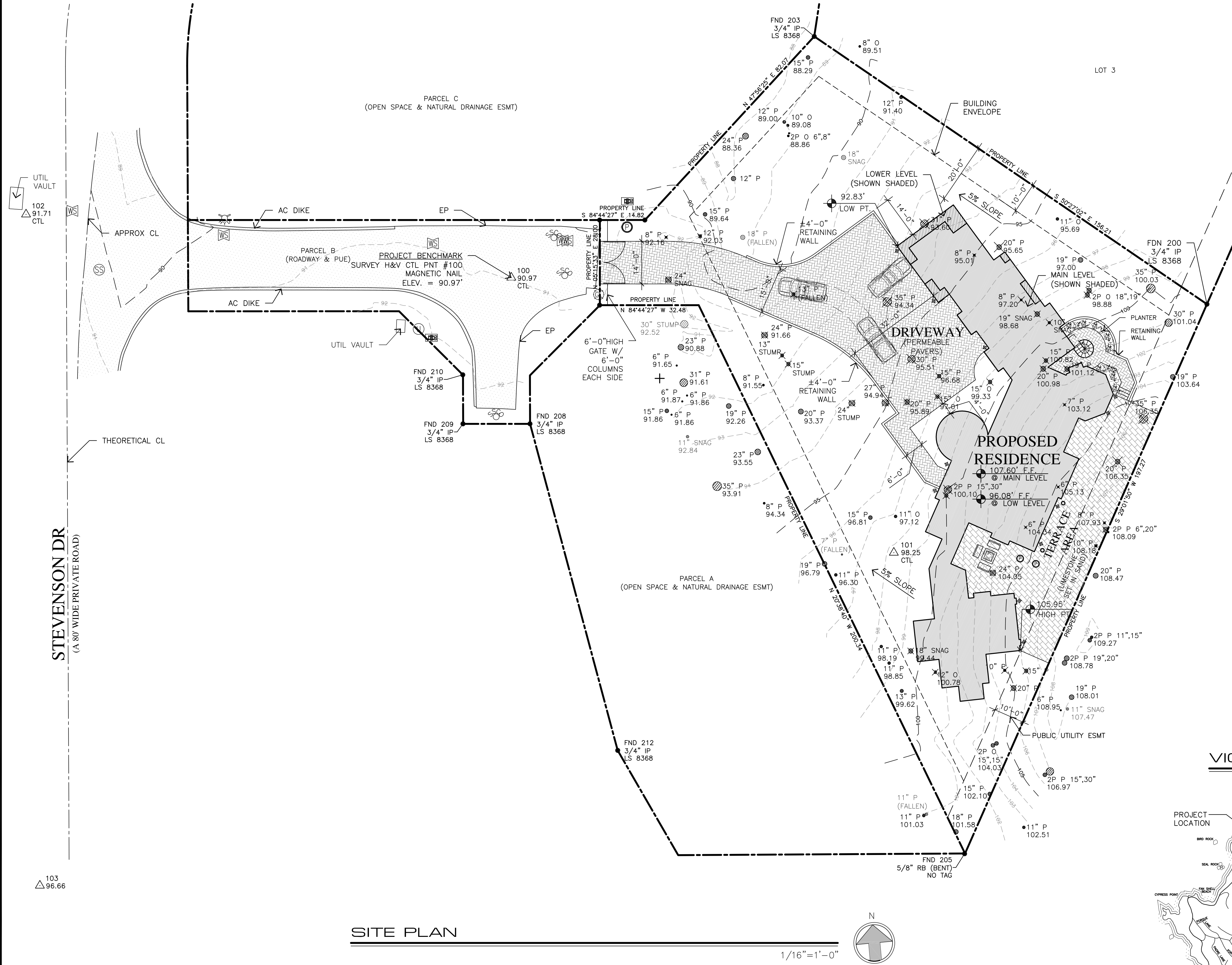
**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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SITE PLAN

PLANNING INFO.

- PROPERTY OWNER:  
AMIR AND ELMIRA SALEHI  
16055 ROSE AVENUE  
LOS GATOS, CA. 95030
- PROJECT ADDRESS:  
3167 STEVENSON DRIVE  
PEBBLE BEACH, CA
- PROJECT SCOPE:  
NEW 6,094 SF. TWO STOREY SINGLE FAMILY  
RESIDENCE WITH AN ATTACHED 4-CAR GARAGE.  
NEW 2,056 S.F. TERRACE AND A 28 SF. SPIRAL  
STAIRCASE TO ROOF DECK
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-023-013
- LEGAL DESC.: LOT: 4 BLOCK:
- ZONE: MDR/2-B-6-D(CZ)
- STORIES: TWO
- MAX BLDG. HT: 27 FT
- FIRE SPRINKLERS: YES
- GRADING:  
CUT: 715 C.Y.  
FILL: 225 C.Y.  
NET: 490 C.Y. EXPORT

- TOTAL AREA OF DISTURBANCE: 11,755 SQ. FT.
- TREE REMOVAL: 44 TREES (SEE ARBORIST REPORT)
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE:  
2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL  
CODE, CALIFORNIA GREEN BUILDING CODE &  
2019 CALIFORNIA ENERGY CODE

- LOT AREA: 24,393 S.F. (0.56 Ac.)
- LOT COVERAGE CALCULATIONS:

	PROPOSED
BUILDINGS	4,530 SF.
SPIRAL STAIRS	28 SF.
TOTAL	4,558 SF.

- LOT COVERAGE ALLOWED: 6,098.2 SF (25%)
- LOT COVERAGE PROPOSED: 4,558 SF (19%)

F.A.R. CALCULATIONS

	PROPOSED
MAIN BUILDING	
GARAGE	1,095 SF.
LOWER FLOOR	1,192 SF.
MAIN FLOOR	3,807 SF.
TOTAL	6,094 SF.

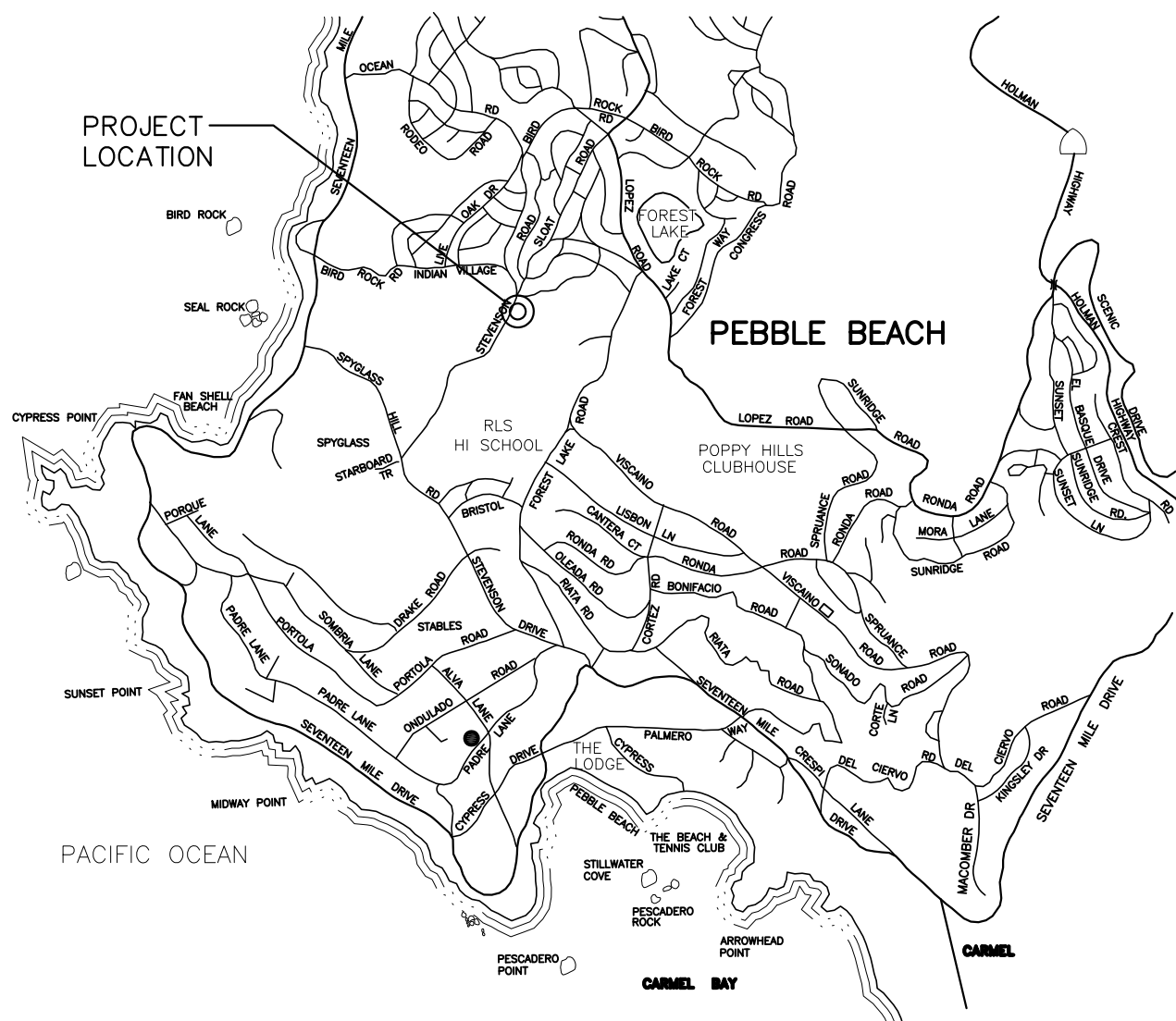
- F.A.R. ALLOWED: 6,098.2 SF (25%)
- F.A.R. PROPOSED: 6,094 SF (24.9%)

PESCADERO COVERAGE LIMITATIONS

	PROPOSED
BUILDINGS	4,530 SF.
SPIRAL STAIRS	28 SF.
TERRACE	2,056 SF.
TOTAL	6,614 SF.

- STRUCTURAL/IMPERVIOUS ALLOWED: 9,000 SF.
- STRUCTURAL/IMPERVIOUS PROPOSED: 6,614 SF.

VICINITY MAP



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH (831) 646-1261  
FAX (831) 646-1290  
EMAIL idg@idg-inc.net  
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

SALEHI  
RESIDENCE

PROJECT ADDRESS:

3167 STEVENSON  
DRIVE  
PEBBLE BEACH, CA  
93953

APN: 008-023-013

DATE: MAY 31, 2022

APPLICATION REQUEST SUB.

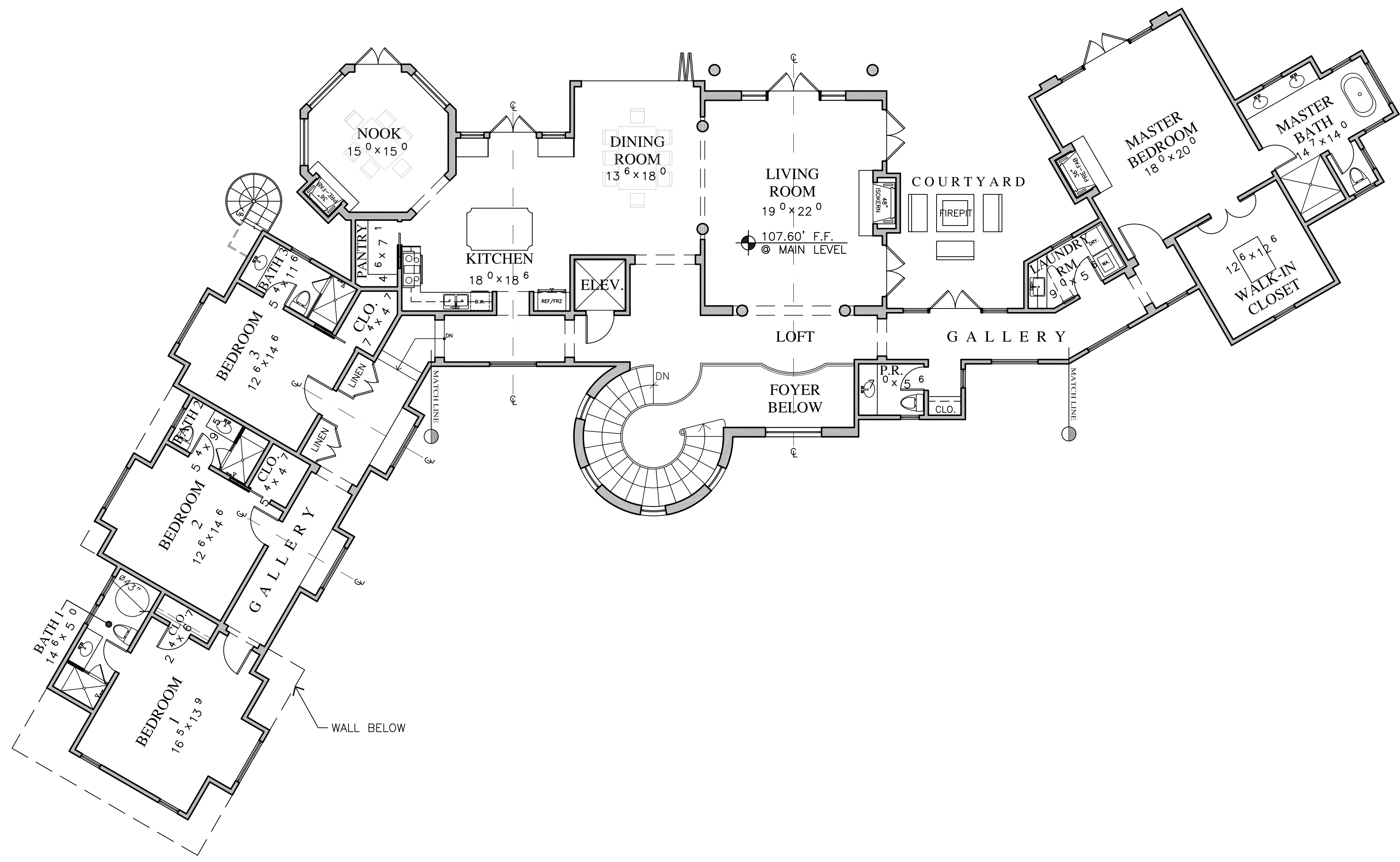
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- JUNE 14, 2022  
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- JULY 27, 2022  
PB ARB SUBMITTAL
- AUGUST 15, 2022  
PLANNING SUBMITTAL
- OCTOBER 13, 2022  
PLANNING SUBMITTAL

SITE  
PLAN

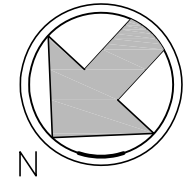
SHEET NO.

A1.0



MAIN LEVEL PLAN

1/8"=1'-0"



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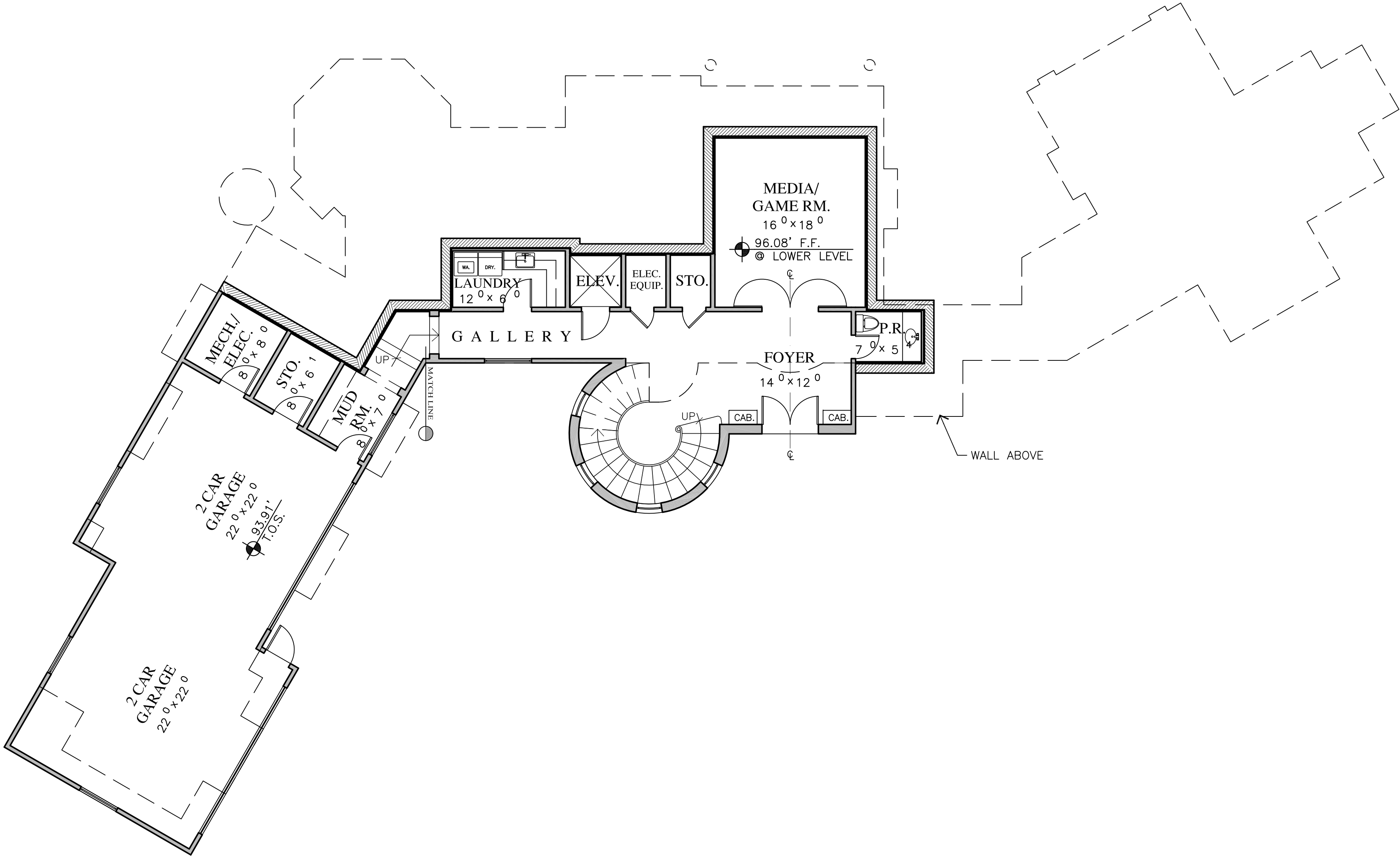
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**SALEHI  
RESIDENCE**  
PROJECT ADDRESS:  
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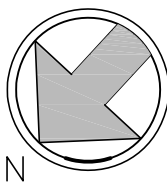
MAIN LEVEL  
PLAN

SHEET NO.  
**A2.0**



LOWER LEVEL PLAN

1/8"=1'-0"



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PROJECT ADDRESS:

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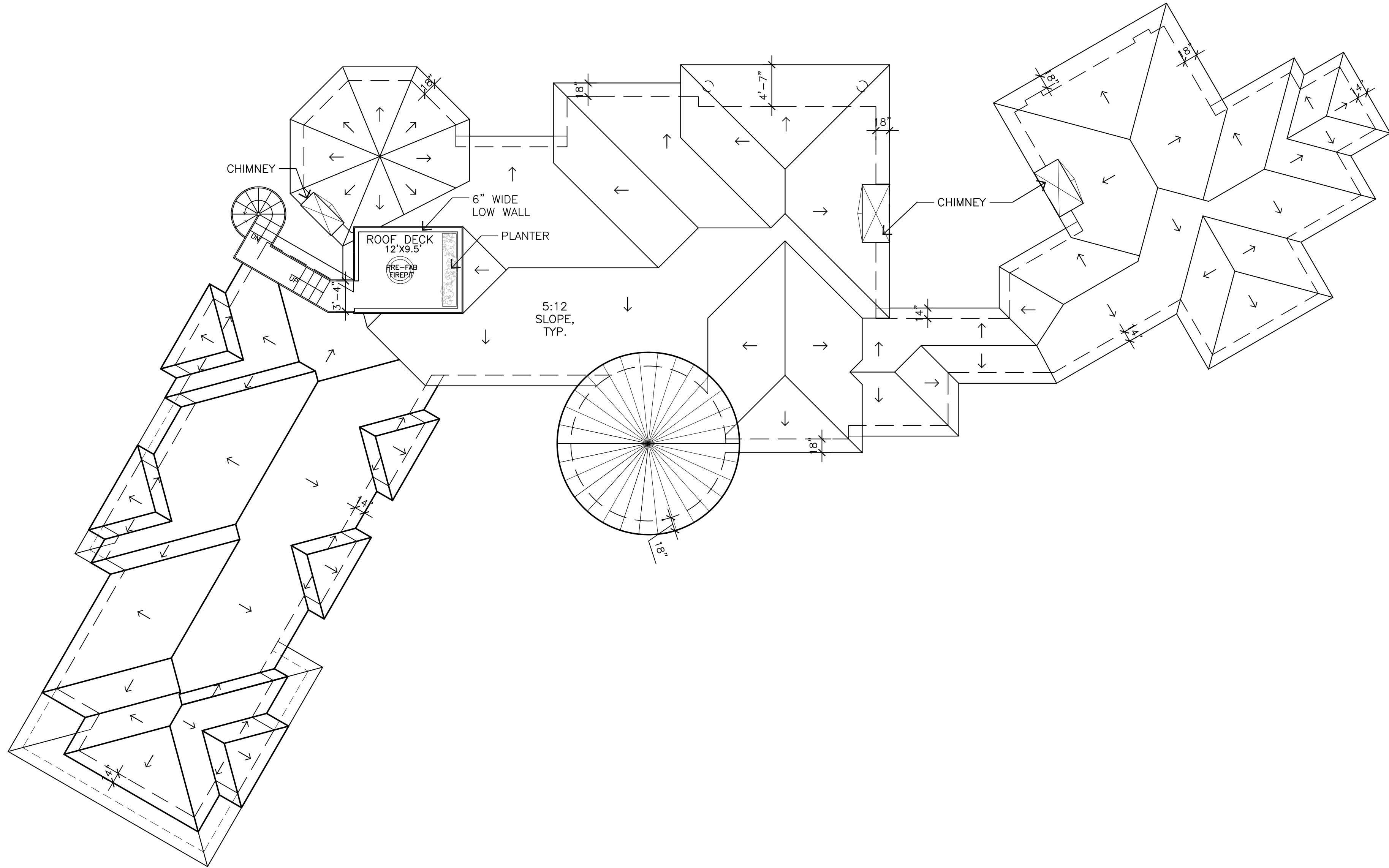
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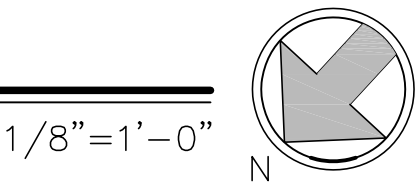
LOWER LEVEL  
PLAN

SHEET NO.

A4.0



ROOF PLAN



JUN A. SILLANO, AIA



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ROOF  
PLAN

SHEET NO.

A5.0



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RESIDENCE**

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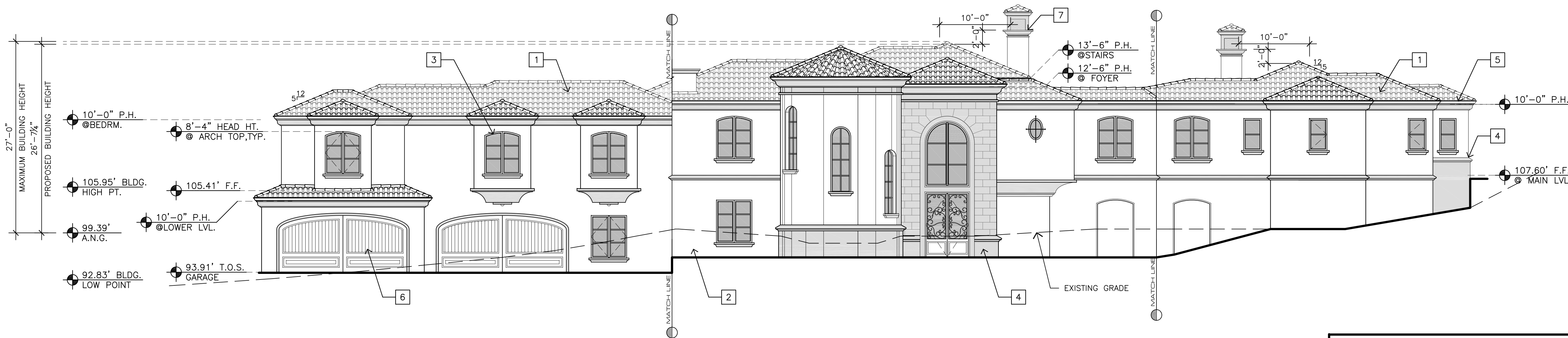
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**ELEVATIONS**

SHEET NO.

**A6.0**

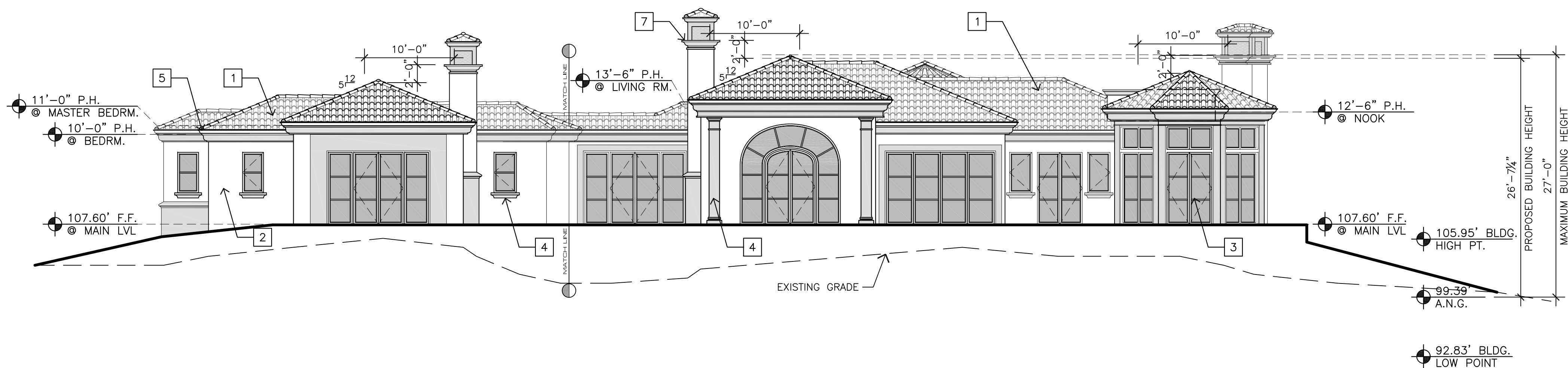


**NORTH WEST ELEVATION**

1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 CLASS 'A' ROMAN CAP AND PAN CLAY TILE ROOF - REDLANDS OR EQUAL
- 2 3/8" EXTERIOR STUCCO - SMOOTH FINISH
- 3 BRONZE FINISH ALUMINUM FRAME EXTERIOR DOORS AND WINDOWS - ARCADIA OR EQUAL
- 4 SIMULATED LIMESTONE CORBELS, CROWN MOULDINGS, COLUMNS PLINTH, SILLS, SURROUNDS ETC. - SIENNA STONE OR EQUAL
- 5 5" O'GEE COPPER GUTTER & DOWNSPOUTS
- 6 STAINED WOOD OVERHEAD GARAGE DOOR
- 7 DECORATIVE CLAY CHIMNEY SURROUND



**NORTH EAST ELEVATION**

1/8"=1'-0"

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STAMPS:

PROJECT/CLIENT:

SALEHI  
RESIDENCE

PROJECT ADDRESS:

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DRIVE  
PEBBLE BEACH, CA  
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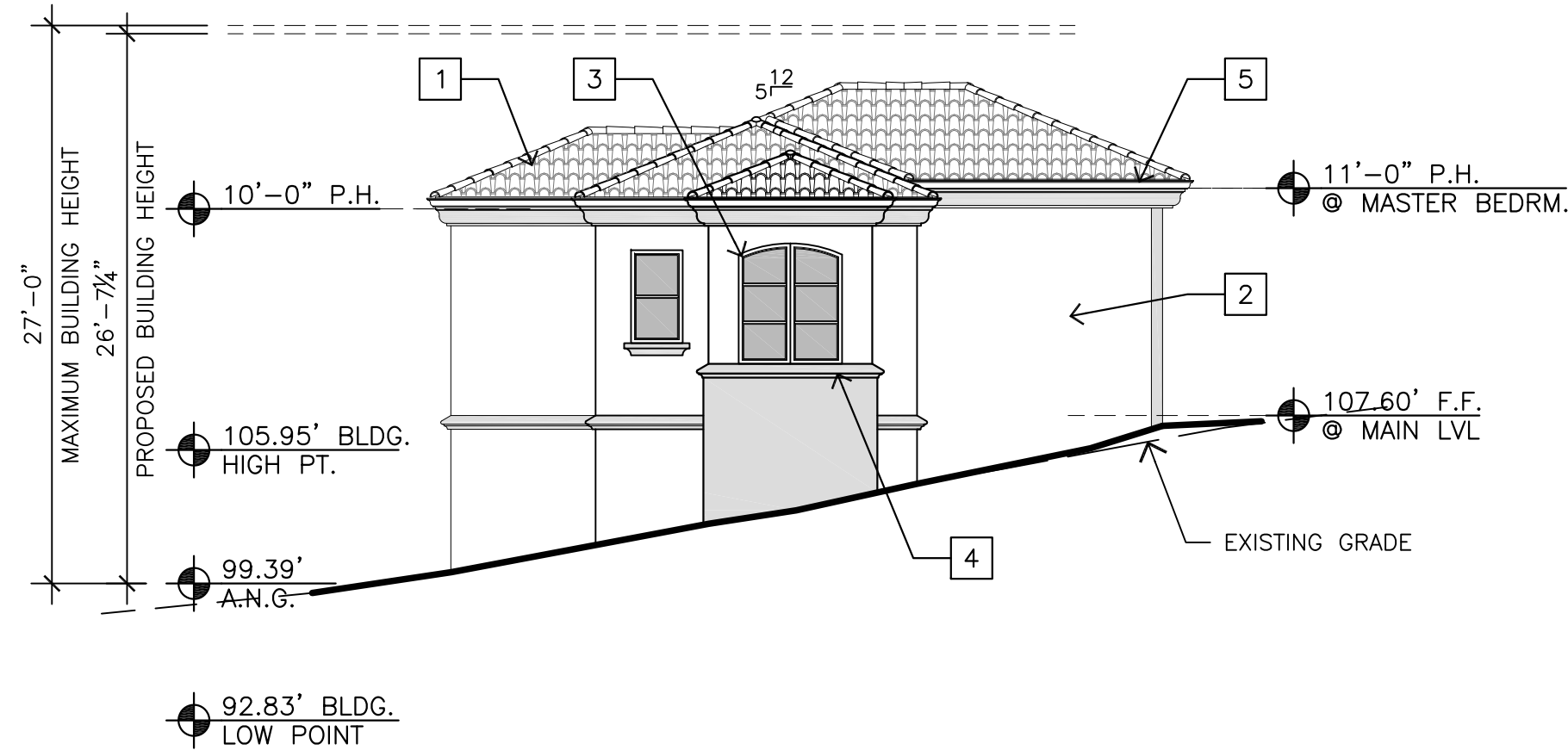
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ELEVATIONS

SHEET NO.

A6.1

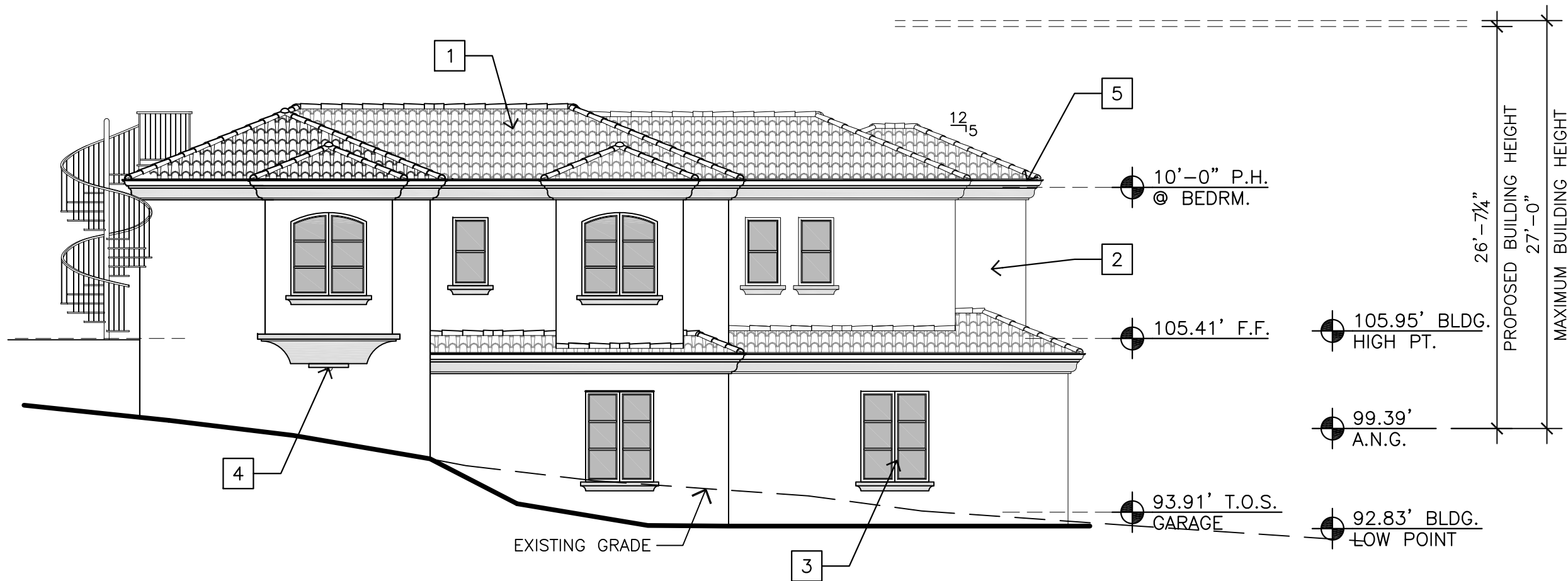


NORTH ELEVATION

1/8"=1'-0"

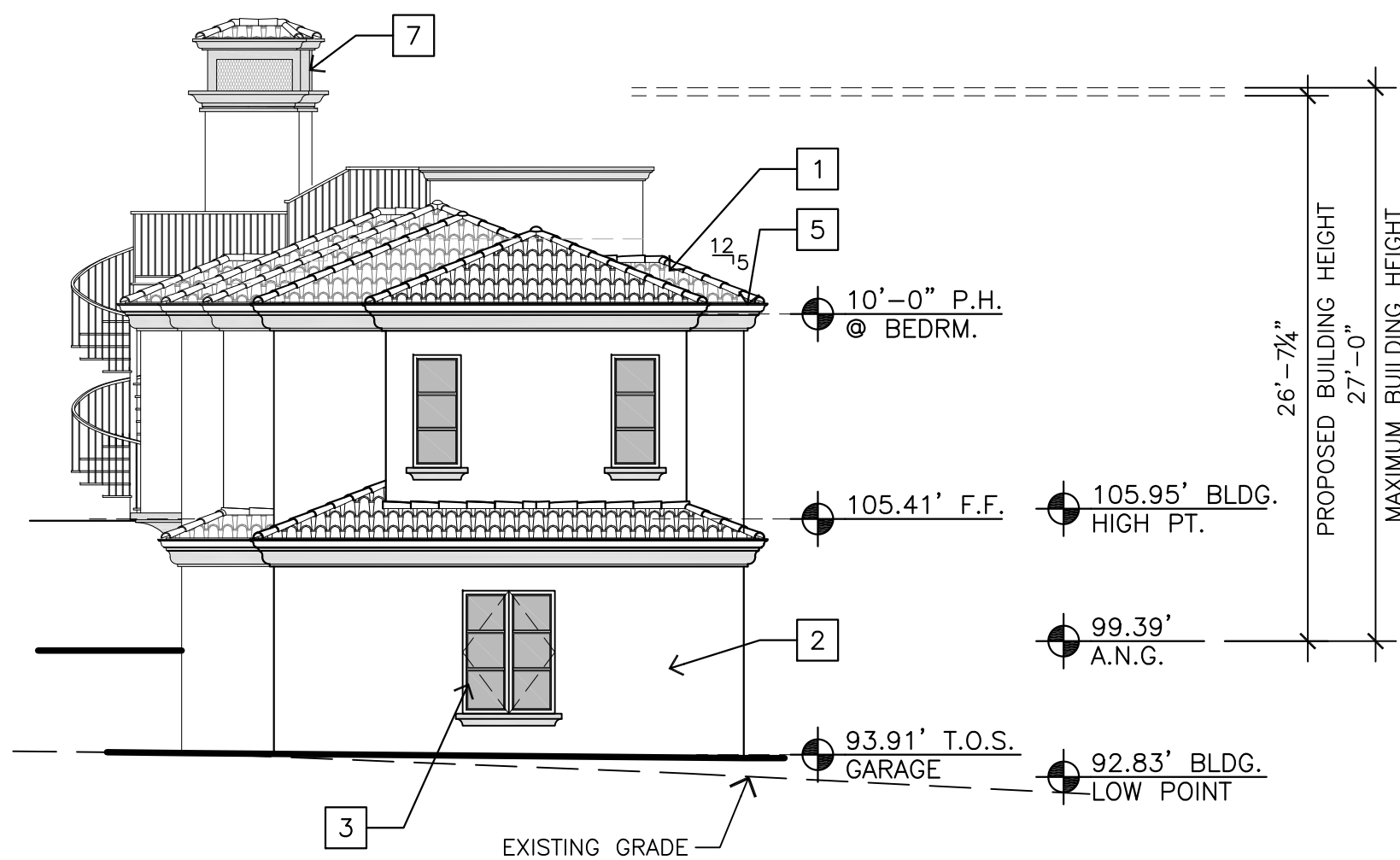
EXTERIOR FINISH LEGEND

- 1 CLASS 'A' ROMAN CAP AND PAN CLAY TILE ROOF - REDLANDS OR EQUAL
- 2 7/8" EXTERIOR STUCCO - SMOOTH FINISH
- 3 BRONZE FINISH ALUMINUM FRAME EXTERIOR DOORS AND WINDOWS - ARCADIA OR EQUAL
- 4 SIMULATED LIMESTONE CORBELS, CROWN MOULDINGS, COLUMNS PLINTH, SILLS, SURROUNDS ETC. - SIENNA STONE OR EQUAL
- 5 5" O'GEE COPPER GUTTER & DOWNSPOUTS
- 6 STAINED WOOD OVERHEAD GARAGE DOOR
- 7 DECORATIVE CLAY CHIMNEY SURROUND



SOUTH EAST ELEVATION

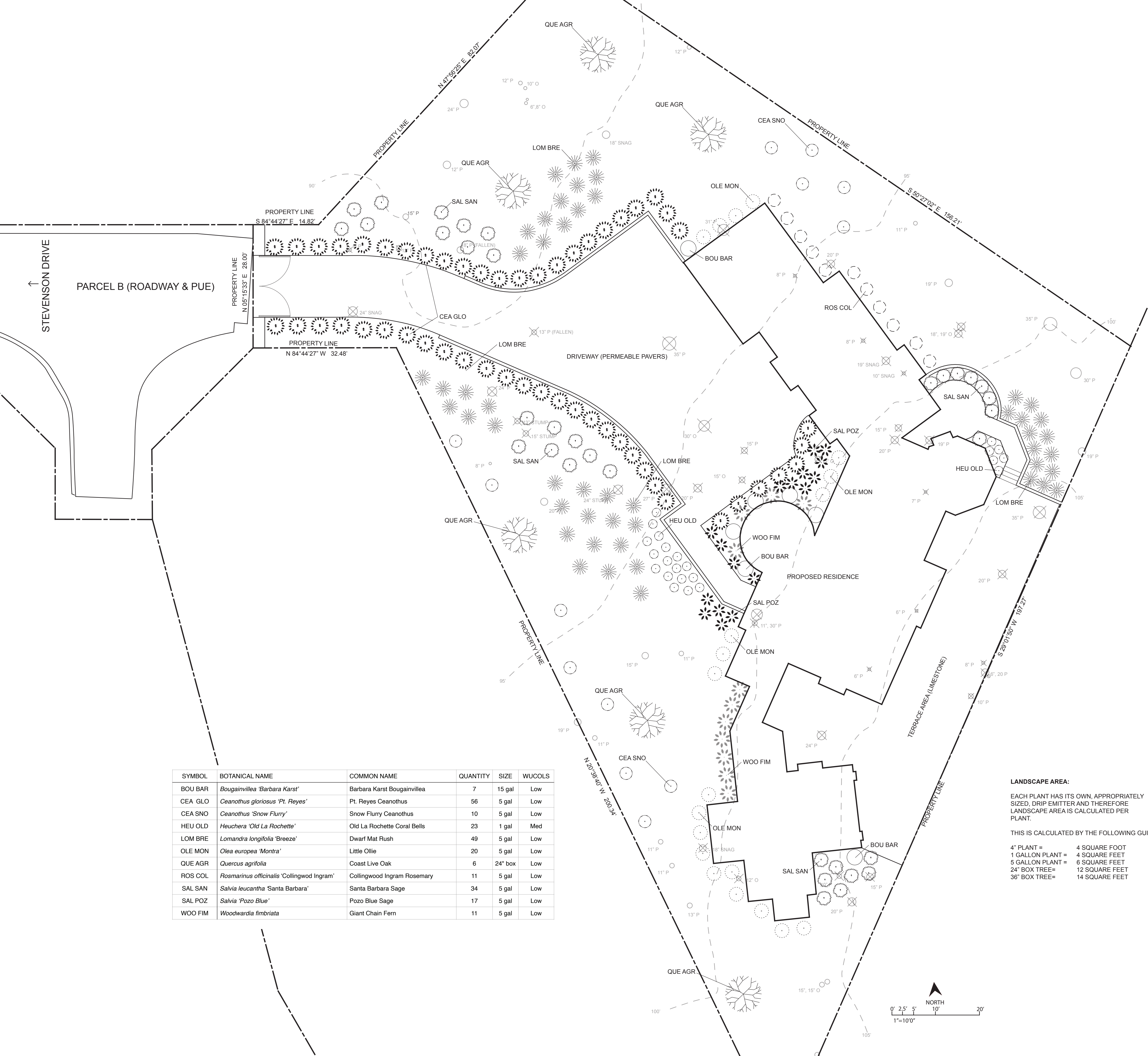
1/8"=1'-0"



SOUTH WEST ELEVATION

1/8"=1'-0"





SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
BOU BAR	<i>Bougainvillea 'Barbara Karst'</i>	Barbara Karst Bougainvillea	7	15 gal	Low
CEA GLO	<i>Ceanothus gloriosus 'Pt. Reyes'</i>	Pt. Reyes Ceanothus	56	5 gal	Low
CEA SNO	<i>Ceanothus 'Snow Flurry'</i>	Snow Flurry Ceanothus	10	5 gal	Low
HEU OLD	<i>Heuchera 'Old La Rochette'</i>	Old La Rochette Coral Bells	23	1 gal	Med
LOM BRE	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	49	5 gal	Low
OLE MON	<i>Olea europea 'Montra'</i>	Little Ollie	20	5 gal	Low
QUE AGR	<i>Quercus agrifolia</i>	Coast Live Oak	6	24" box	Low
ROS COL	<i>Rosmarinus officinalis 'Collingwood Ingram'</i>	Collingwood Ingram Rosemary	11	5 gal	Low
SAL SAN	<i>Salvia leucantha 'Santa Barbara'</i>	Santa Barbara Sage	34	5 gal	Low
SAL POZ	<i>Salvia 'Pozo Blue'</i>	Pozo Blue Sage	17	5 gal	Low
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	11	5 gal	Low

SCOPE OF WORK:

THIS IS NEW LANDSCAPE WITH A DRIP IRRIGATION SYSTEM RUN BY A SMART CONTROLLER.

PROJECT INFORMATION:

OWNER AMIR AND ELMIRA SALEHI  
SITE 3167 STEVENSON DRIVE  
PEBBLE BEACH, CA 93953.  
APN 008-023-013  
TOPOGRAPHY SLOPING  
TREE REMOVAL SEE SITE PLAN  
GRADING SEE GRADING PLAN  
XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:  
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:  
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.  
GUIDELINES AS FOLLOWS:  
-ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"  
-MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH  
-MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD  
-TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY  
-TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND  
-REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL  
-REMOVE ALL CUT MATERIAL FROM THE AREA  
-MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.  
GUIDELINES AS FOLLOWS:  
KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:  
VEHICLE ACCESS FROM CORAL DR.

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:  
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:  
SPREAD 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING:  
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT:  
SOIL TO BE AMENDED WITH NITRIFIED REDWOOD SAWDUST COMPOST AND BE INCORPORATED AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF 6" INTO THE LANDSCAPE AREA.



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Landscape & General  
Contractors C27 & B 392291  
Landscape Architecture  
CA Lic #5806

Project:

Amir and Elmira Salehi  
3167 Stevenson Dr.  
Pebble Beach, CA 93953.

APN: 008-023-013  
Revisions:



Drawing Title:

Landscape Plan

Date: 07/28/22

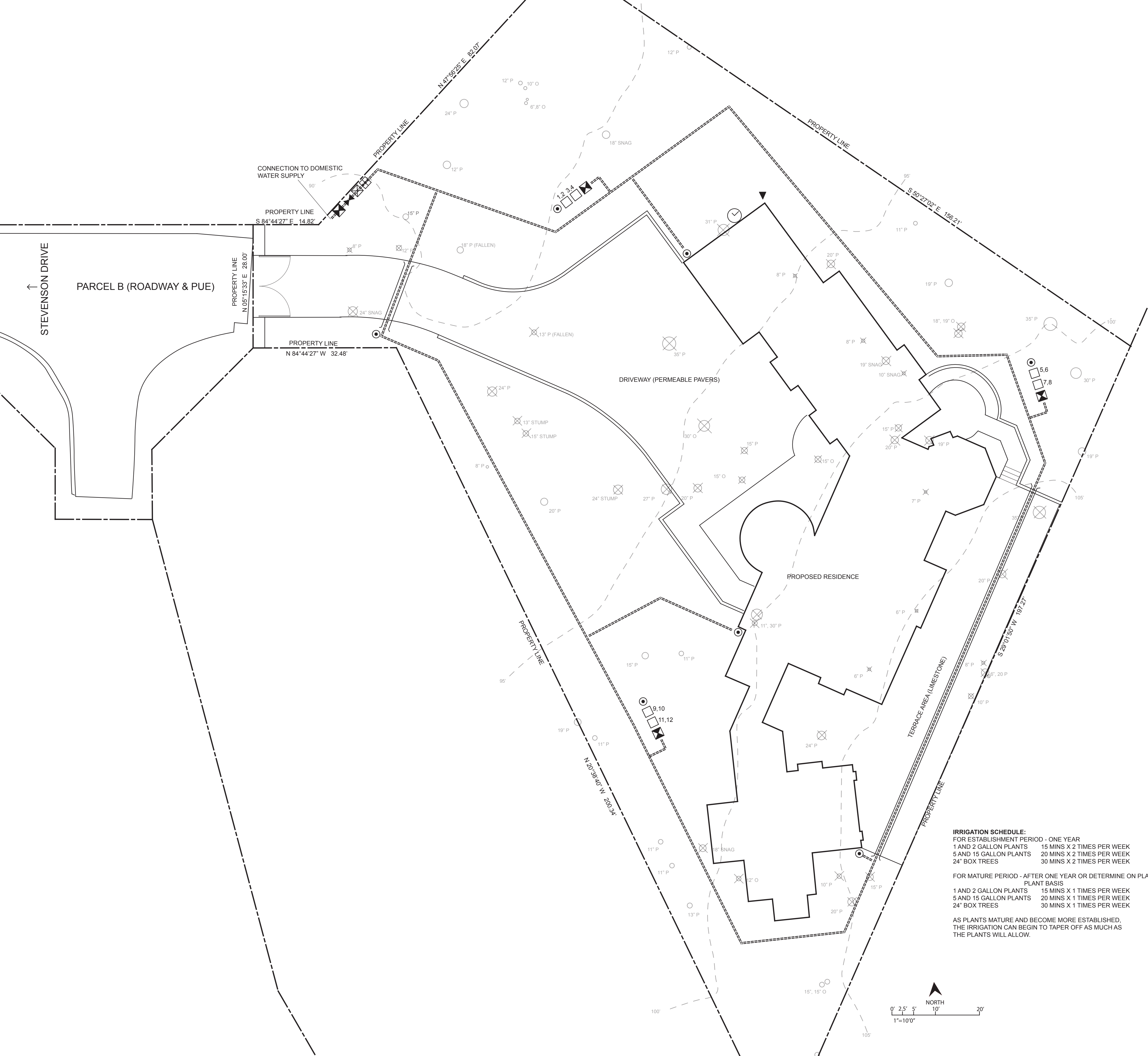
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L1.0





- XERISCAPE PRACTICES:**
1. LOW WATER USE, DROUGHT TOLERANT PLANTS
  2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
  3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL
  4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.
  5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

**AUTOMATIC CONTROLLER DEVICE:**

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

**LOW VOLTAGE LIGHTING:**

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

**HOSE BIBS:**

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

**VALVE BOXES, PIPE, AND HOSE BIBS:**

ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

**IRRIGATION NOTES:**

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

**IRRIGATION DEMAND:**

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

**IRRIGATION NOTES:**

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

**LANDSCAPING STATEMENT:**

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

*Patrick Wilson*

- IRRIGATION LEGEND:**
- ===== 1.5" DIA SCH. 40 PVC MAIN SUPPLY LINE
  - ⌵ FEBCO BACKFLOW PREVENTION DEVICE
  - ⊠ MAINLINE MASTER VALVE
  - ⊞ IRRIGATION WATER METER + FLOW SENSOR
  - VALVE BOX
  - ⊙ RAINBIRD ESP-SMT SMART IRRIGATION CONTROLLER
  - ⦿ HOSE BIB
  - ▼ RAINBIRD ESP RAIN SENSOR
  - ⊠ GATE VALVE
  - 4" SCH 40 PVC CHASE PIPE



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Landscape & General  
Contractors C27 & B 392291  
Landscape Architecture  
CA Lic #5806

Project:

Amir and Elmira Salehi  
3167 Stevenson Dr.  
Pebble Beach, CA 93953.

APN: 008-023-013  
Revisions:



Drawing Title:

Irrigation Plan

Date: 07/28/22

Scale: 1/10" = 1'0"

Drawn By: PW

Page Number:

L2.0





Amir and Elmira Salehi  
3167 Stevenson Dr.  
Pebble Beach, CA 93953.

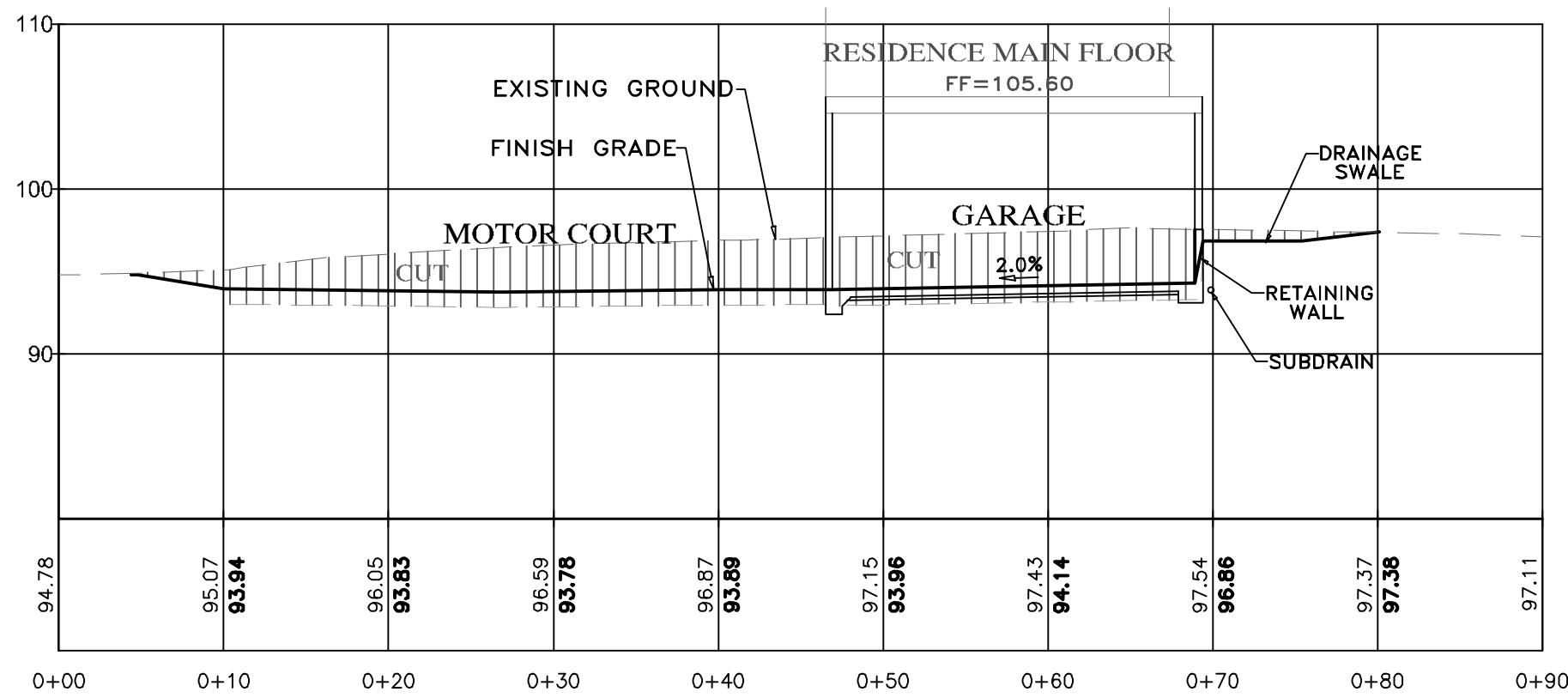
## L2.1

Water Efficient Landscape Worksheet							
Instructions:							
Fill in all items in this color							
Answer is shown in this color							
Reference Evapotranspiration (ETo)		36 Pebble Beach					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
1) low water use plants	0.2	Drip	0.81	0.247	1404	346.67	7,738
2) medium water use plants	0.4	Drip	0.81	0.494	46	22.72	507
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
							0
Totals					1,450	369.38	8,245
<b>Special Landscape Areas (SLA): Recycled Water</b>							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				Totals	0	0	0
Estimated Total Water Use (ETWU)							8,245
Maximum Allowed Water Allowance (MAWA)							14,564
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency				
very low	0-0.1	overhead spray	0.75				
low	0.1-0.3	drip	0.81				
medium	0.4-0.6						
high	0.7-1.0						
MAWA (annual gallons allowed)= (ETo) [(ETAF x LA) + ((1-ETAF) x SLA)]							
<p>where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.</p>							
<b>ETAF Calculations</b>							
<b>Regular Landscape Areas</b>							
Total ETAF x Area	369						
Total Area	1,450	Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.					
Average ETAF	0.25						
<b>All Landscape Areas</b>							
Total ETAF x Area	369						
Total Area	1,450						
Sitewide ETAF	0.25						

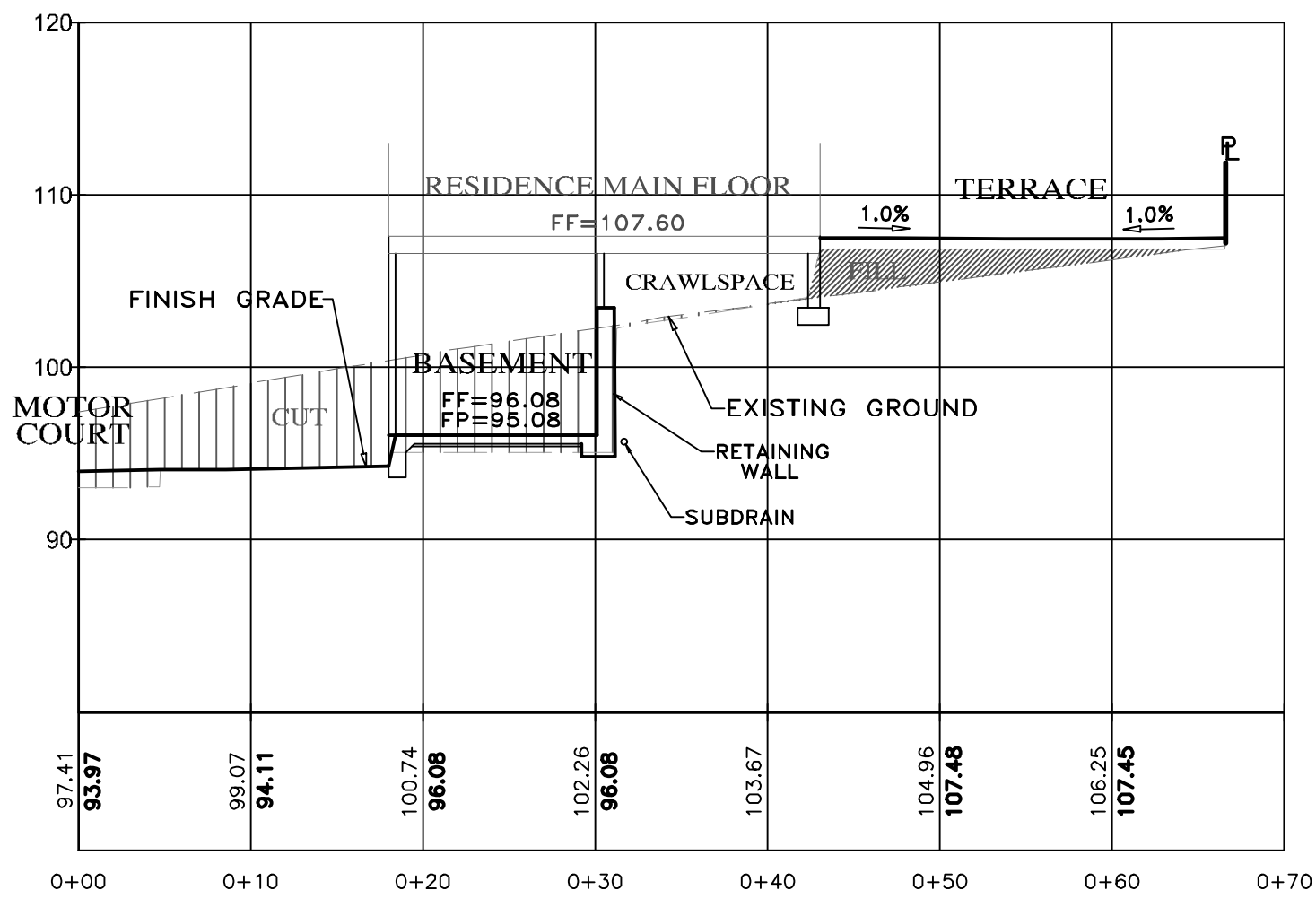




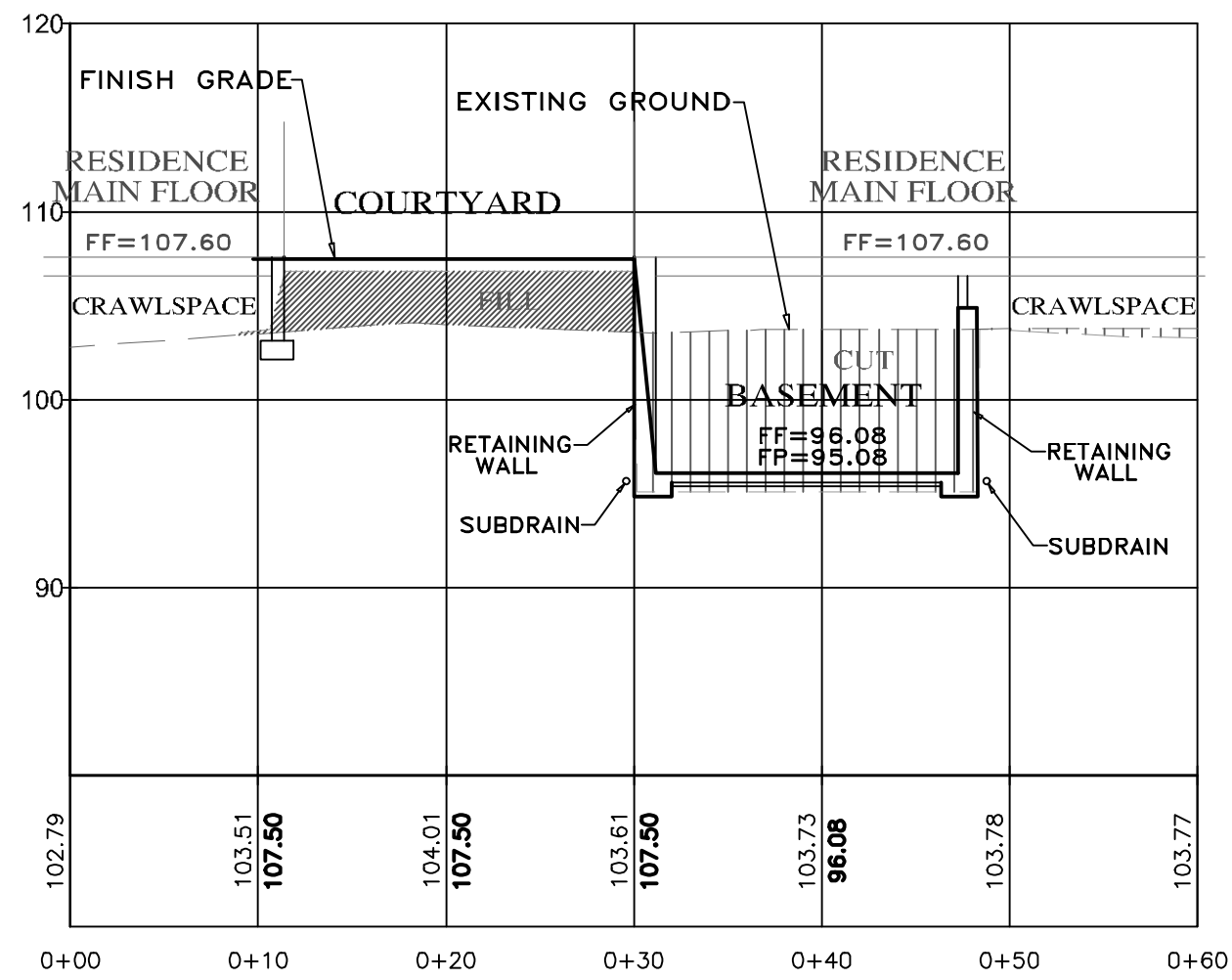




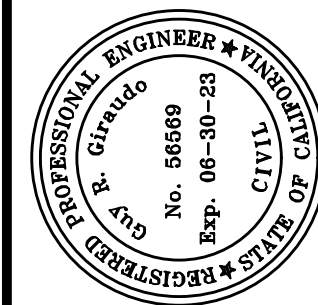
SECTION A-A  
SCALE: 1"=10' H&V



SECTION B-B  
SCALE: 1"=10' H&V



SECTION C-C  
SCALE: 1"=10' H&V



APPROVED BY:

GUY R. GIRARDO  
8/15/22



" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
SALEHI RESIDENCE  
A.P.N.: 008-023-013  
FOR  
MR. & MRS. AMIR & ELMIRA SALEHI

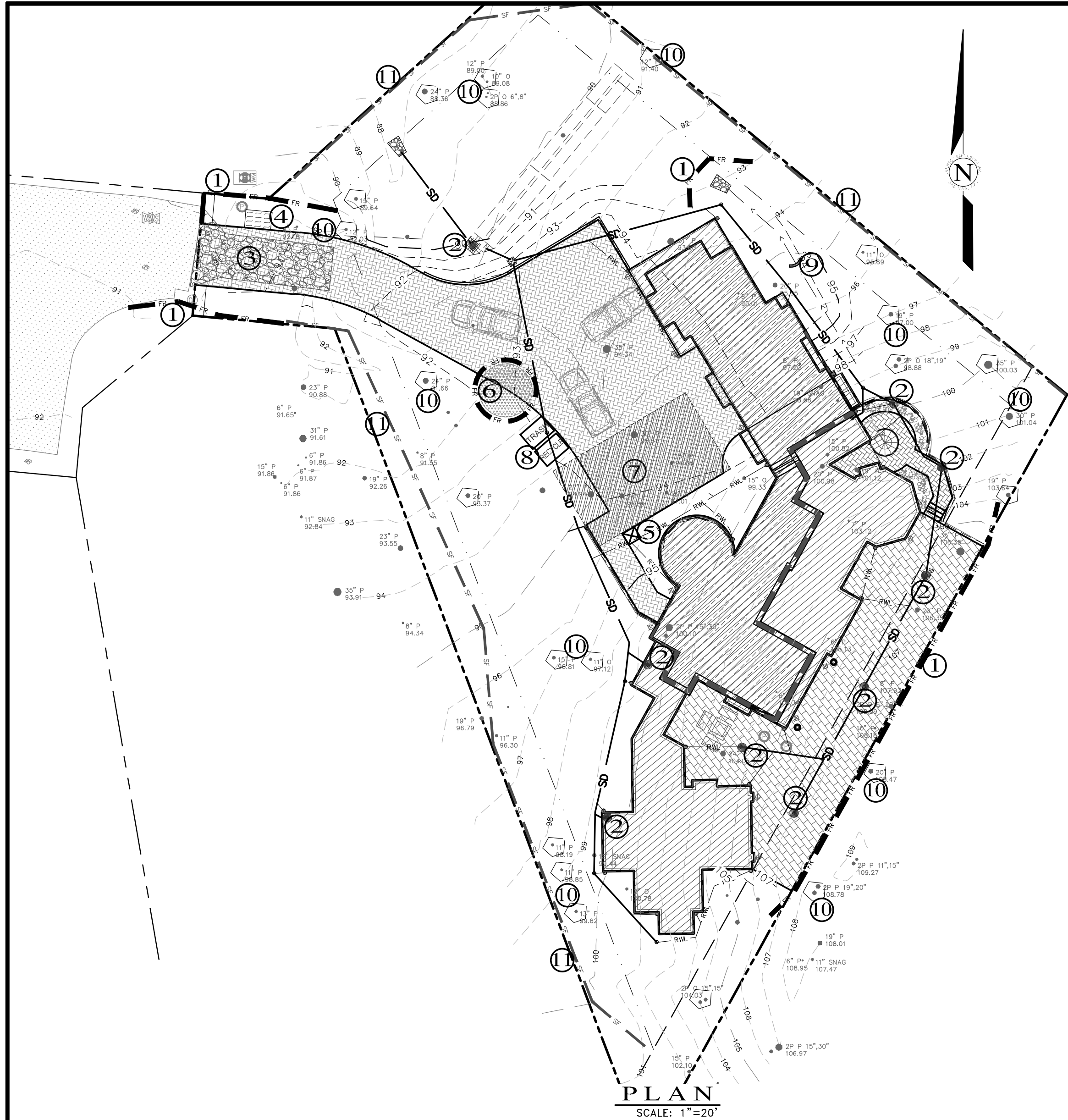
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DATE: AUGUST 2022  
JOB NO. 2467-02

SHEET C2

OF 4 SHEETS

No.	DATE	BY	REVISION
	08/15/22	AMS	RELEASED TO CLIENT



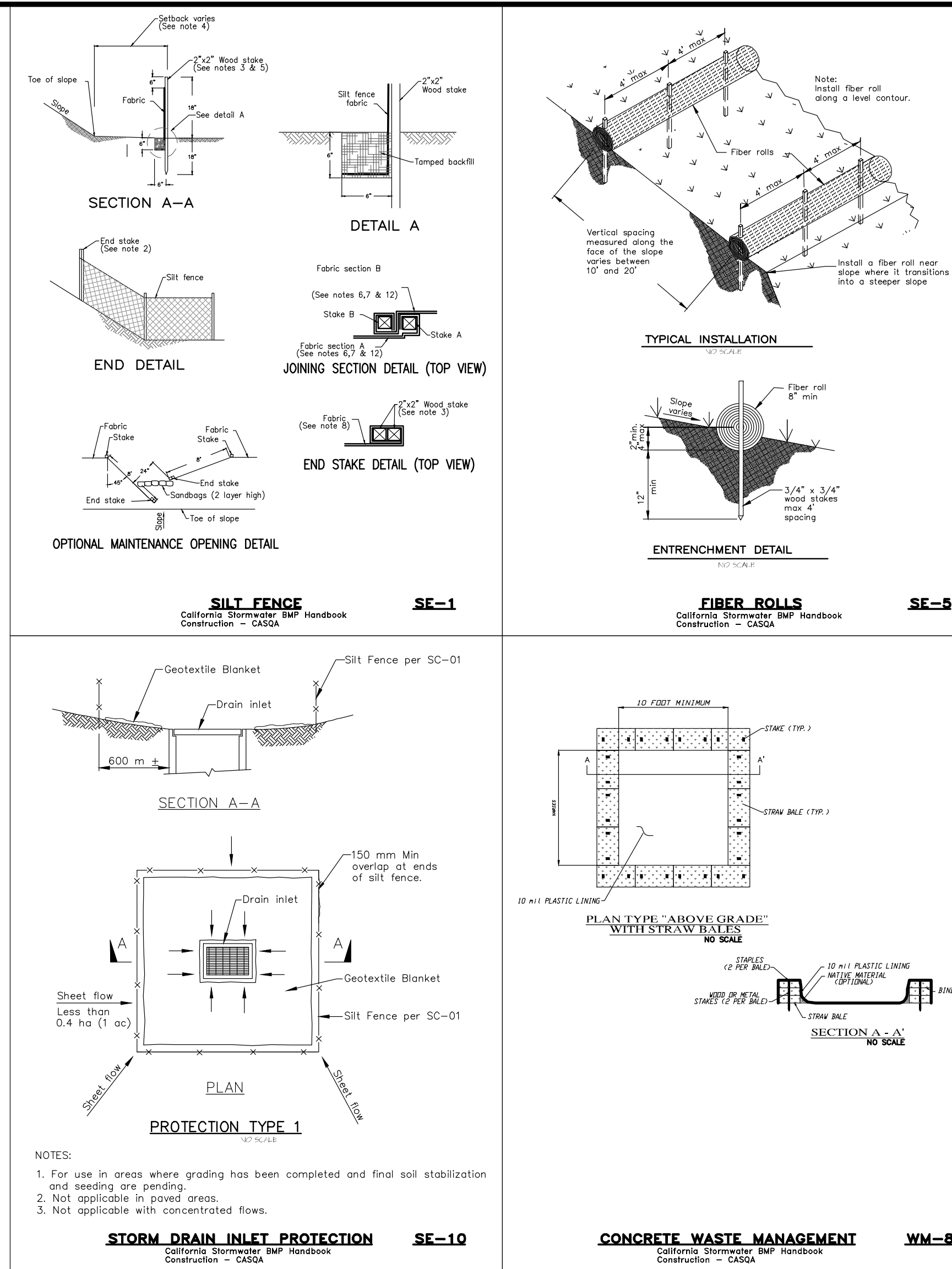


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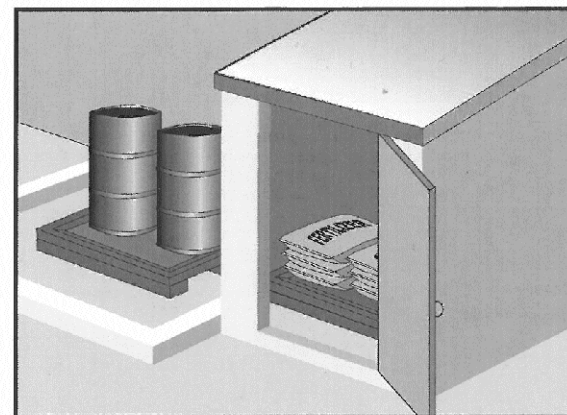
1. **FR** FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. **DI** DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER – SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. **SC** STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. **WC** CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. **ST** SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. **SM** STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. **SA** CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. **TR** WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. **CD** GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG x 12" WIDE x 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK, TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE x 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. **TP** TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. **SF** SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

### EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



### Material Delivery and Storage WM-1



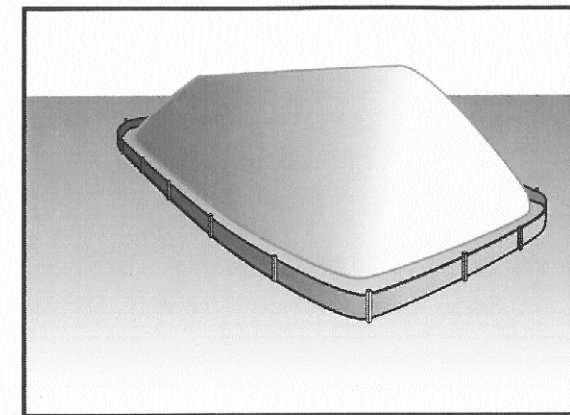
**Description and Purpose**  
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories	
EC Erosion Control	
SE Sediment Control	
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:	
<input checked="" type="checkbox"/> Primary Category	
<input checked="" type="checkbox"/> Secondary Category	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

### Stockpile Management WM-3

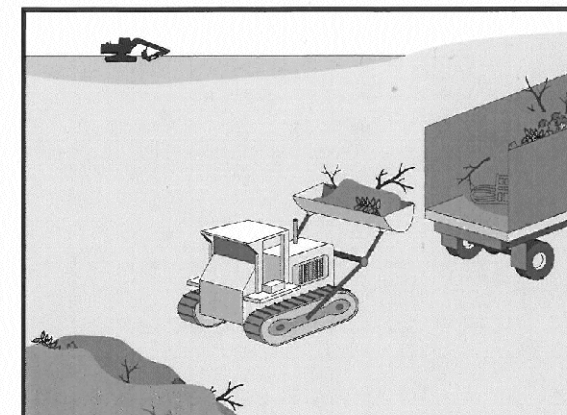


**Description and Purpose**  
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregates, asphalt binder (see called "cold mix" asphalt), and pressure treated wood.

Categories	
EC Erosion Control	
SE Sediment Control	<input checked="" type="checkbox"/>
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	<input checked="" type="checkbox"/>
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:	
<input checked="" type="checkbox"/> Primary Category	
<input checked="" type="checkbox"/> Secondary Category	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

### Solid Waste Management WM-5

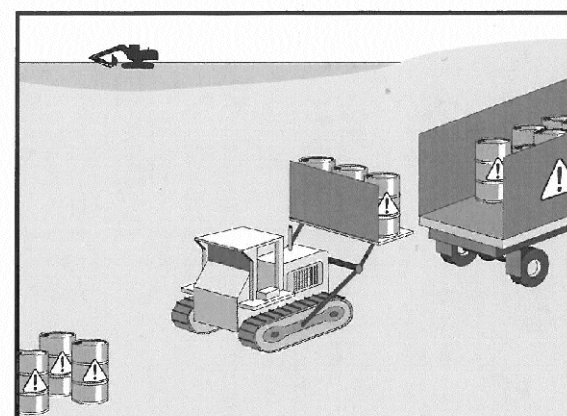


**Description and Purpose**  
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories	
EC Erosion Control	
SE Sediment Control	
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:	
<input checked="" type="checkbox"/> Primary Objective	
<input checked="" type="checkbox"/> Secondary Objective	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

### Hazardous Waste Management WM-6

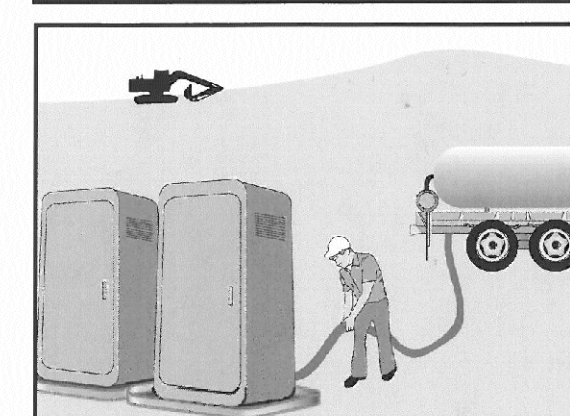


**Description and Purpose**  
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories	
EC Erosion Control	
SE Sediment Control	
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:	
<input checked="" type="checkbox"/> Primary Objective	
<input checked="" type="checkbox"/> Secondary Objective	

Targeted Constituents	
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

### Sanitary/Septic Waste Management WM-9

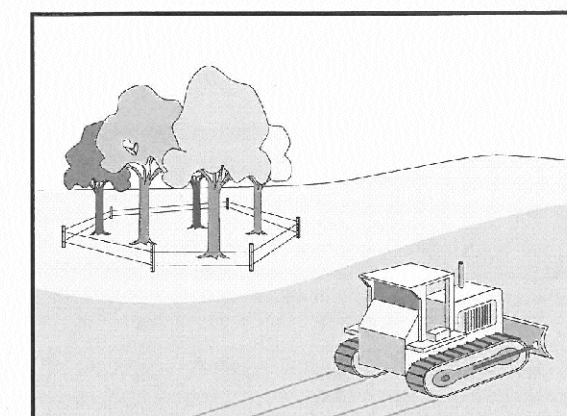


**Description and Purpose**  
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories	
EC Erosion Control	
SE Sediment Control	
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:	
<input checked="" type="checkbox"/> Primary Category	
<input checked="" type="checkbox"/> Secondary Category	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

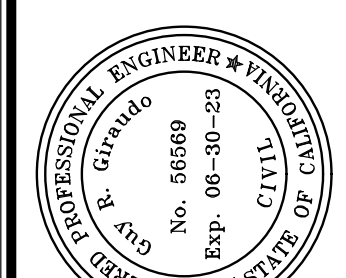
### Preservation Of Existing Vegetation EC-2



**Description and Purpose**  
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories	
EC Erosion Control	<input checked="" type="checkbox"/>
SE Sediment Control	
TC Tracking Control	
WE Wind Erosion Control	
NS Non-Stormwater Management Control	
WM Waste Management and Materials Pollution Control	
Legend:	
<input checked="" type="checkbox"/> Primary Objective	
<input checked="" type="checkbox"/> Secondary Objective	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	



APPROVED BY:

GUY R. GIRARD  
CIVIL  
Exp. 06-30-23



" EROSION & SEDIMENT CONTROL PLAN "

OF  
SALEHI RESIDENCE  
A.P.N.: 008-023-013  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA  
FOR  
MR. & MRS. AMIR & ELMIRA SALEHI

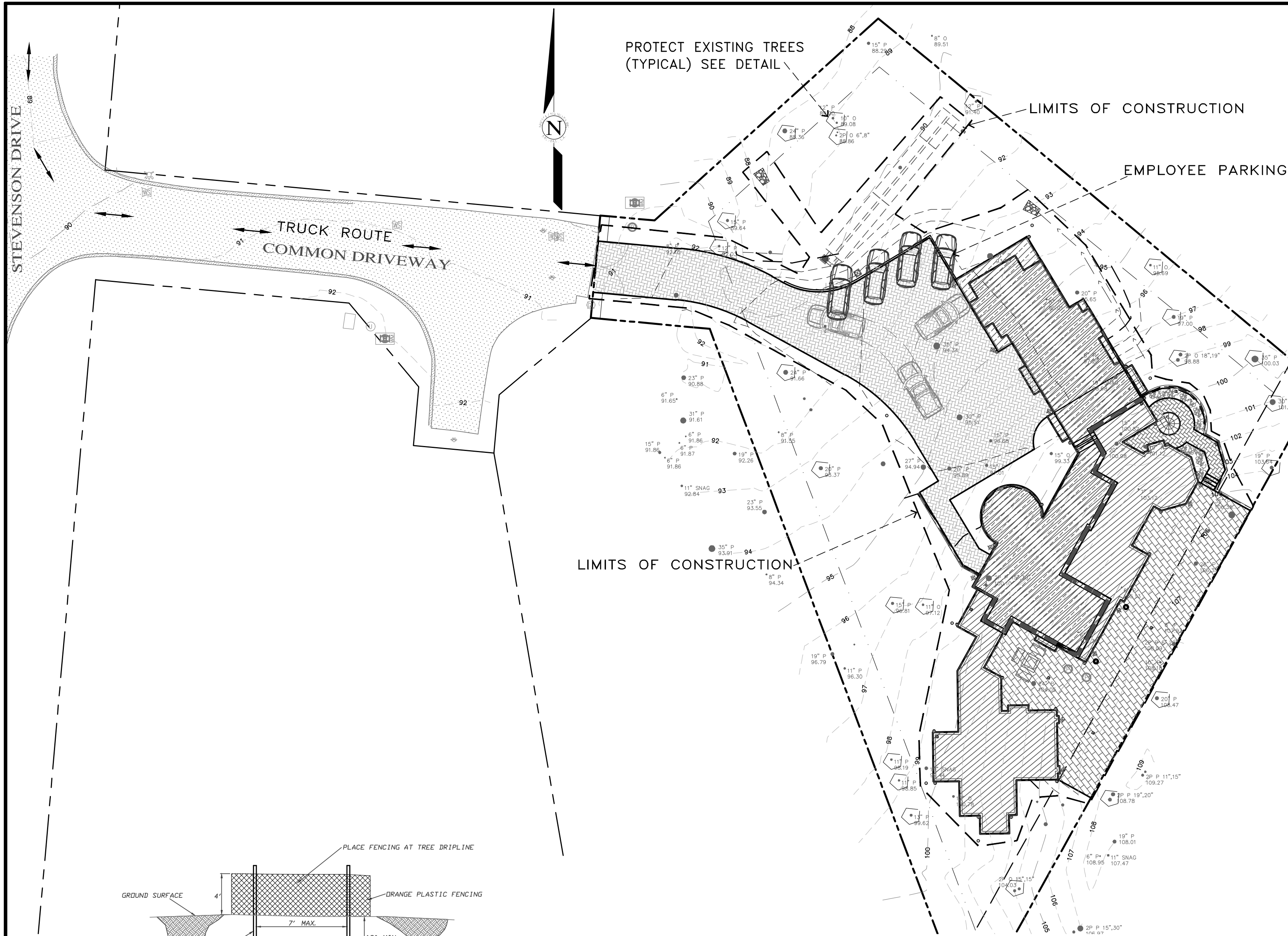
SCALE: AS SHOWN  
DATE: AUGUST 2022  
JOB NO. 2467-02

SHEET C3

OF 4 SHEETS

No.		DATE	BY	REVISION
		08/15/22	AMS	RELEASED TO CLIENT





FENCING (ESA) DETAIL  
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
715 CY CUT  
225 CY FILL

CONSTRUCTION STAGING:

- MOBILIZE, CLEAR & GRAB..
- SITE GRADING.
- UTILITY INSTALLATION.
- CONSTRUCT STRUCTURE.
- INSTALL PAVERS AND LANDSCAPING.
- SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE STEVENSON DRIVE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:  
HAUL TRUCKS ENTER THE SITE FROM THE 17 MILE DR. TO SUNRIDGE RD. TO RONDA RD. TO LOPEZ RD. TO WILDCAT CANYON RD. TO SPYGLASS WOODS DRIVE TO STEVENSON DRIVE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON THE STEVENSON DRIVE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:  
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREET ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY; CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:  
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN THE PROPOSED MOTOR COURT AREA AND IN LEGAL SPACES ALONG THE SPYGLASS WOODS DRIVE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

CONSTRUCTION STAGING PLAN  
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	2	2
GRADING & SOIL REMOVAL (EXPORT)	24	5
ENGINEERING MATERIALS (IMPORT)	4	4
TOTALS	30	11

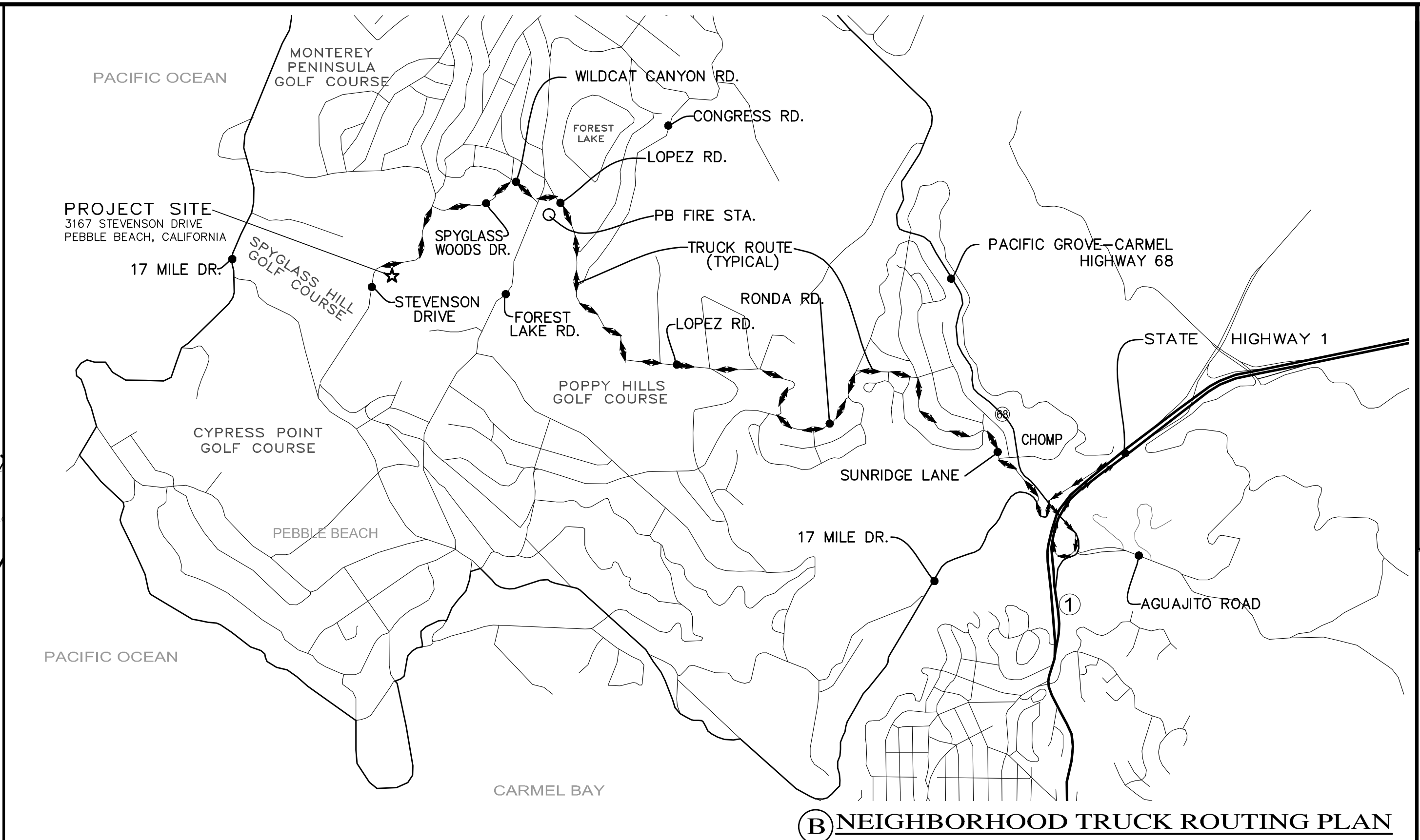
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 490 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 5 SEPTEMBER 2022, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN  
NOT TO SCALE

No.	DATE	BY	REVISION
08/15/22	AMS	RELEASED TO CLIENT	

CONSTRUCTION MANAGEMENT PLAN " GRADING, DRAINAGE & EROSION CONTROL PLAN

SALEHI RESIDENCE  
A.P.N.: 008-023-013  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. AMIR & ELMIRA SALEHI

SCALE: AS SHOWN  
DATE: AUGUST 2022  
JOB NO. 2467-02

SHEET C4  
OF 4 SHEETS

LANDSET ENGINEERS, INC.  
520-B Crazy Horse Canyon Road  
Salinas, California 93907  
Office (831) 443-6970 Fax (831) 443-3801  
www.landseteng.com

APPROVED BY:  
GUY R. GIRALDO

PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
No. 56690  
Exp. 08-30-23  
REGISTERED CIVIL ENGINEER



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**COLOR AND MATERIAL SAMPLES FOR**  
**SALEHI LOT 4 PROJECT**  
**3167 STEVENSON DRIVE, PEBBLE BEACH CA**  
**APN: 008-023-013**



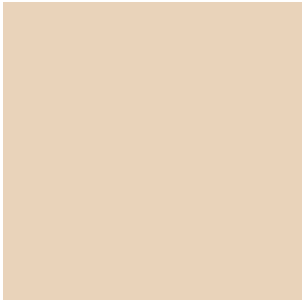
**CLASS ‘A’ ROMAN CAP AND  
PAN CLAY TILE ROOF –  
REDLANDS OR EQUAL**



**5” O’GEE COPPER GUTTER  
& DOWNSPOUTS**



**EXTERIOR STUCCO  
DUNN EDWARDS  
VERONA BEACH #DE 6135**



**SIMULATED LIMESTONE  
CORBELS, CROWN MOULDINGS,  
COLUMNS PLINTH, SILLS,  
SURROUNDING, ETC  
SIENNA STONE OR EQUAL**



**BRONZE FINISH ALUMINUM  
FRAME EXTERIOR DOORS  
AND WINDOWS  
ARCADIA OR EQUAL**



**CUT LIMESTONE  
EXTERIOR WALLS**



**CUT LIMESTONE  
ENTABLATURE**



**CUT LIMESTONE  
COLUMNS**



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