

Exhibit C

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**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

SALEHI AMIR & ELMIRA TRS (PLN220159)

RESOLUTION NO. 22-078

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, pursuant to Section 15162 of the CEQA Guidelines; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvements. The project includes the removal of 40 Monterey pine and 4 Coast live oak trees.

[PLN220159 SALEHI AMIR & ELMIRA TRS,
3167 Stevenson Drive, Pebble Beach, Del Monte
Forest Land Use Plan, Coastal Zone (APN: 008-023-
013-000)]

The SALEHI AMIR & ELMIRA TRS application (PLN220159) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on November 2, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. FINDING: **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Del Monte Forest Land Use Plan (DMF LUP);
- Monterey County Coastal Implementation Plan, Part 5 (DMF CIP);
- Monterey County Zoning Ordinance (Title 20); and
- Pebble Beach Company Concept Plan.

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

b) Allowed Use. The property is located at 3167 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-013-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential, 2 units per acre, with Building Site and Design Control overlays in the Coastal Zone or "MDR/2-B-6-D (CZ)". The project involves the construction of an approximately 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage. The project results in approximately 715 cubic yards of cut and 255 cubic yards of fill and the removal of 40 Monterey Pine and 4 Coast Live Oak trees. MDR zoning allows for the development of the first single family dwelling per legal lot of record, subject to the granting of a Coastal Administrative Permit. Design Control or "D" overlay requires design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Therefore, the project is an allowed land use for this site subject to a Coastal Administrative Permit and Design Approval.

c) Lot Legality. The subject property (0.56 acres), APN 008-023-013-000, is identified as Lot 4, Tract No. 1535, Del Monte Forest Plan – Spyglass 2 (Area K), recorded on March 16, 2018 (Volume 24, Maps of "Cities and Town", Page 57). Therefore, the County recognizes the subject property as a legal lot of record.

d) Design/Neighborhood and Community Character. Pursuant to MCC Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The primary exterior colors and materials proposed for the residence include the following:

- Smooth stucco painted natural cream;
- Matching colored textured cut limestone walls, entablature, and columns;
- Simulated limestone embellishments of a similar color are used for the corbels, crown moldings, column plinth, and sills;
- Redlands clay tile roofing; and
- Bronze finished aluminum frame exterior doors and windows.

The homes within the Pebble Beach area varies in architecture ranging from modern, Spanish style, to Tuscan style homes. The proposed development is a Tuscan style home designed with exterior colors and materials of natural color that blend with the surrounding environment and is consistent with the surrounding neighborhood character. Preliminary approval was also granted from the Del Monte Forest Architectural Review Board. Therefore, as proposed, the project assures

protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- e) Visual Resources. The subject property is not identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resource, in the DMF LUP). Based on review of the application materials, the development proposal will not interfere with visual access along 17-Mile Drive or any common public viewing area or vista point. The proposed project site is not visible within the public viewshed nor from 17- Mile Drive due to location (spatial distance from 17-Mile drive), existing forestation, road alignment, and existing topography.
- f) Development Standards. The project meets all required development standards. The development standards for the Building Site or “B” District are identified in Title 20, Section 20.42.030. Development within this district, specifically B-6, shall meet the required setbacks unless otherwise indicated on a recorded final map. For the subject property the recorded final map does not identify a front setback of the building envelope but does identify a parcel setback (Parcel B) of 150.23 feet from Stevenson Drive. The final map for the subject property identifies a building envelope with side and rear setback of 10 feet. As proposed, the single-family dwelling is within the building envelope identified on the final map. The maximum allowed height for main structures in Del Monte Forest (Coastal Zone) MDR district is 27 feet above average natural grade. As proposed, the single-family dwelling is slightly below 27 feet above average natural grade. The County has applied a condition of approval (Condition No. 4, Height Verification) to ensure the constructed height of the single-family dwelling does not exceed the maximum allowed height. The allowed site coverage and floor area ratio maximum is 25 percent in the Del Monte Forest (Coastal Zone) MDR/2 Zoning District. The lot area is 24,393 square feet which would allow 6,098 square feet for both coverage and floor area ratio. As proposed the single-family dwelling has a lot of coverage of 4,558 square feet (19 percent) and a floor area ratio of 6,094 square feet (24.9 percent). Located within the Pescadero Watershed, the project is consistent with DMF LUP, Land Use and Development Policy 77, which limits new residential development within the Pescadero Watershed to a maximum of 9,000 square feet of site coverage which shall include both structural and other impervious surface coverage. As proposed, the single-family dwelling includes 6,614 square feet of structural and impervious surface site coverage.
- g) Driveway. The project is consistent with development standards for driveways found in the DMF LUP and DMF CIP which indicates that new residential driveways and other vehicular surfaces shall be sited and designed: to minimize surface length and width as much as possible and still provide simple and direct access, to minimize runoff; and to filter and treat runoff from such surfaces prior to discharge offsite and/or to sensitive receptors. As proposed, the new driveway will provide direct access from the single-family dwelling to Parcel B (roadway and public utility easement) which connects to Stevenson Road, as well as providing adequate fire and emergency response

access. The driveway is made of a permeable surface lined with native, drought tolerant, non-invasive landscaping. Therefore, the driveway meets the requirements of DMF LUP and DMF CIP.

- h) Land Use Advisory Committee (LUAC) Review. The project was not referred to the DMF LUAC for review. Based on the currently LUAC Guidelines, this project did not warrant referral.
- i) The project planner conducted a site inspection on September 9, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to soil/slope and trees. The following reports have been prepared:
 - “Geotechnical Report for the Proposed Two-Story Residence and Attached Garage Salehi Residence” (LIB220236) prepared by Grice Engineering, INC., SALINAS, CA, AUGUST 2022.
 - “Tree Assessment/Forest Management Plan 3167 Stevenson Drive” (LIB220237) prepared by Ono Consulting, PACIFIC GROVE, CA, AUGUST 4, 2022.
 - “Fuel Management Plan” (LIB220238) prepared by Ono Consulting, PACIFIC GROVE, CA, AUGUST 5, 2022.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
- c) Staff conducted a site inspection on September 9, 2022, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general

welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities will be provided. Sewer service will be provided by the Pebble Beach Community Service District (PBCSD) and water will be provided by the California American Water Company. The wastewater collection and treatment system have adequate remaining capacity for sewage disposal, so the proposed residence will be serviced by the PBCSD, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. The proposed residence will use water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (Planning File No. PLN100138). The proposed development would also include required storm water drainage facilities. The public facilities for the project have been reviewed and found acceptable by the Environmental Health Bureau.
- c) Staff conducted a site inspection on September 9, 2022, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

4. FINDING: **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

EVIDENCE:

- a) The previously approved PBC Concept Plan (HCD-Planning File No. PLN100138; Board Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the DMF Coastal Zone. The Spyglass 2 Subdivision (Area K) was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a Coastal Development Permit to allow tree removal; therefore, subsequent Coastal Development Permits to allow tree removal are not required provided the proposed development is consistent with the parameters of the Concept Plan.
- b) The tree removal proposed as part of the PBC Concept Plan was also analyzed in the FEIR (SCH#2011041028) and mitigated for off-site tree preservation. The FEIR analysis presumed a development impact area on each residential lot of up to 15,000 square feet of structural, hardscape, and landscape development. Additionally, DMF CIP, Section 20.147.050.C.4 (Forest Resources), requires proposed development projects to be sited and designed to minimize tree removal.
- c) As proposed, the Applicant has designed the subject development on the most open area of the site. The development impact area of 11,755 square feet resulted in the removal of 40 Monterey pine trees and 4

Coast live oak trees is in conformance with the previously certified FEIR and the previously approved PBC Concept Plan. Therefore, a subsequent coastal development permit to allow tree removal is not required for this project.

- d) In accordance with the prepared Arborist report (LIB220237), staff has applied the standard migratory bird nesting condition to ensure that no active raptor or migratory bird nests occur within the project site or immediate vicinity prior construction. Additionally, the standard tree and root protection condition has been applied to the project to ensure that trees not proposed for removal are not impacted during construction or during removal of approved trees.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

5. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
b) Staff conducted a site inspection on September 9, 2022, and researched County records to assess if any violation exists on the subject property.
c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

6. FINDING: **CEQA (Consider the Previously-Certified Final Environmental Impact Report)** – The project is consistent with the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the California Environmental Quality Act (CEQA) Guidelines, when an EIR has been certified, no subsequent EIR shall be prepared for that project unless the lead agency determines one or more of the following:

- i. Substantial changes are proposed in the project which will require major revisions of the previous EIR;
- ii. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revision of the previous EIR; or
- iii. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete.

EVIDENCE: a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed, or substantial changes occur with respect to the circumstances under which the project is

undertaken. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

- b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for a Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel was part of the PBC Concept Plan development proposal.
- c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
- d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.
- e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
- f) The project proposed residential development on a 0.56 acre lot identified in the Spyglass 2 subdivision (Area K) as Lot 4, which was considered and analyzed in the certified FEIR for the LCP Amendment and the PBC Concept Plan development proposal.
- g) The FEIR identifies the lot to be impacted by up to 15,000 square feet of structural, hardscape, and landscape improvements. The project includes structural and impervious surfaces less than 9,000 square feet. In accordance with the PBC Concept plan, the LCP Amendment and the FEIR, a non-standard condition of approval has been applied to ensure landscaping on the parcel does not exceed 6,000 square feet. Tree removal proposed as part of this project was analyzed in the FEIR and mitigated for off-site replacement.
- h) The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a new significant effect, or development that would result in a new cumulative significant impact.
- i) No adverse environmental effects were identified during staff review of the development application during a site visit on September 9, 2022.
- j) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

7. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220159.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE:

- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monterey Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan and finds the project consistent with the FEIR pursuant to Section 15162 of the CEQA Guidelines; and
2. Approve the Coastal Administrative Permit and Design Approval to allow the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvement. The project includes the removal of 40 Monterey pine and 4 Coast live oak trees

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 2nd day of November, 2022.

DocuSigned by:

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Craig Spencer
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE November 2, 2022.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE November 14, 2022.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220159

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN220159) allows the construction of a 6,094 square foot two-story single-family dwelling inclusive of an attached 1,095 square foot four-car garage; and associated site improvement. The project includes the removal of 40 Monterey Pine and 4 Coast Live Oak trees. The property is located at 3167 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-013-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Coastal Administrative Permit and Design Approval (Resolution Number 22-078) was approved by the Chief of Planning for Assessor's Parcel Number 008-023-013-000 on November 2, 2022. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD041 - HEIGHT VERIFICATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PDSP01 - LANDSCAPE LIMITATION (NON-STANDARD)

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Pursuant to the EIR certified for the Pebble Beach Company Concept Plan and the Del Monte Forest Local Coastal Plan Amendment (Planning File No. PLN100138), the environmental analysis is based on a total development footprint of 15,000 square feet per lot - comprised of 9,000 square feet of structural and hardscape coverage, and 6,000 square feet of landscaping. Therefore, landscaping on the subject lot shall be limited to no more than 6,000 square feet. Aside from the 15,000 square feet of allowed development footprint, all areas of the lot shall remain as native Monterey pine forest habitat. (HCD-Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, landscaping on the subject lot shall be limited to no more than 6,000 square feet.

7. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

8. PD011(A) - TREE REMOVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

9. PD011 - TREE AND ROOT PROTECTION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

Compliance or Monitoring Action to be Performed: During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

10. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

11. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

13. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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PLANNING INFO.

- PROPERTY OWNER: AMIR AND ELMIRA SALEHI 16055 ROSE AVENUE LOS GATOS, CA. 95030
- PROJECT ADDRESS: 3167 STEVENSON DRIVE PEBBLE BEACH, CA
- PROJECT SCOPE: NEW 6,094 SF. TWO STOREY SINGLE FAMILY RESIDENCE WITH AN ATTACHED 4-CAR GARAGE. NEW 2,056 S.F. TERRACE AND A 28 SF. SPIRAL STAIRCASE TO ROOF DECK
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-023-013
- LEGAL DESC.: LOT: 4 BLOCK:
- ZONE: MDR/2-B-6-D(CZ)
- STORIES: TWO
- MAX BLDG. HT: 27 FT
- FIRE SPRINKLERS: YES
- GRADING: CUT: 715 C.Y.
FILL: 225 C.Y.
NET: 490 C.Y. EXPORT
- TOTAL AREA OF DISTURBANCE: 11,755 SQ. FT
- TREE REMOVAL: 44 TREES (SEE ARBORIST REPORT)
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE: 2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2019 CALIFORNIA ENERGY CODE
- LOT AREA: 24,393 S.F. (0.56 Ac.)
- LOT COVERAGE CALCULATIONS:

| PROPOSED |
|---------------------|
| BUILDINGS 4,530 SF. |
| SPRAL STAIRS 28 SF. |
| TOTAL 4,558 SF. |

- LOT COVERAGE ALLOWED: 6,098.2 SF (25%)
- LOT COVERAGE PROPOSED: 4,558 SF (19%)

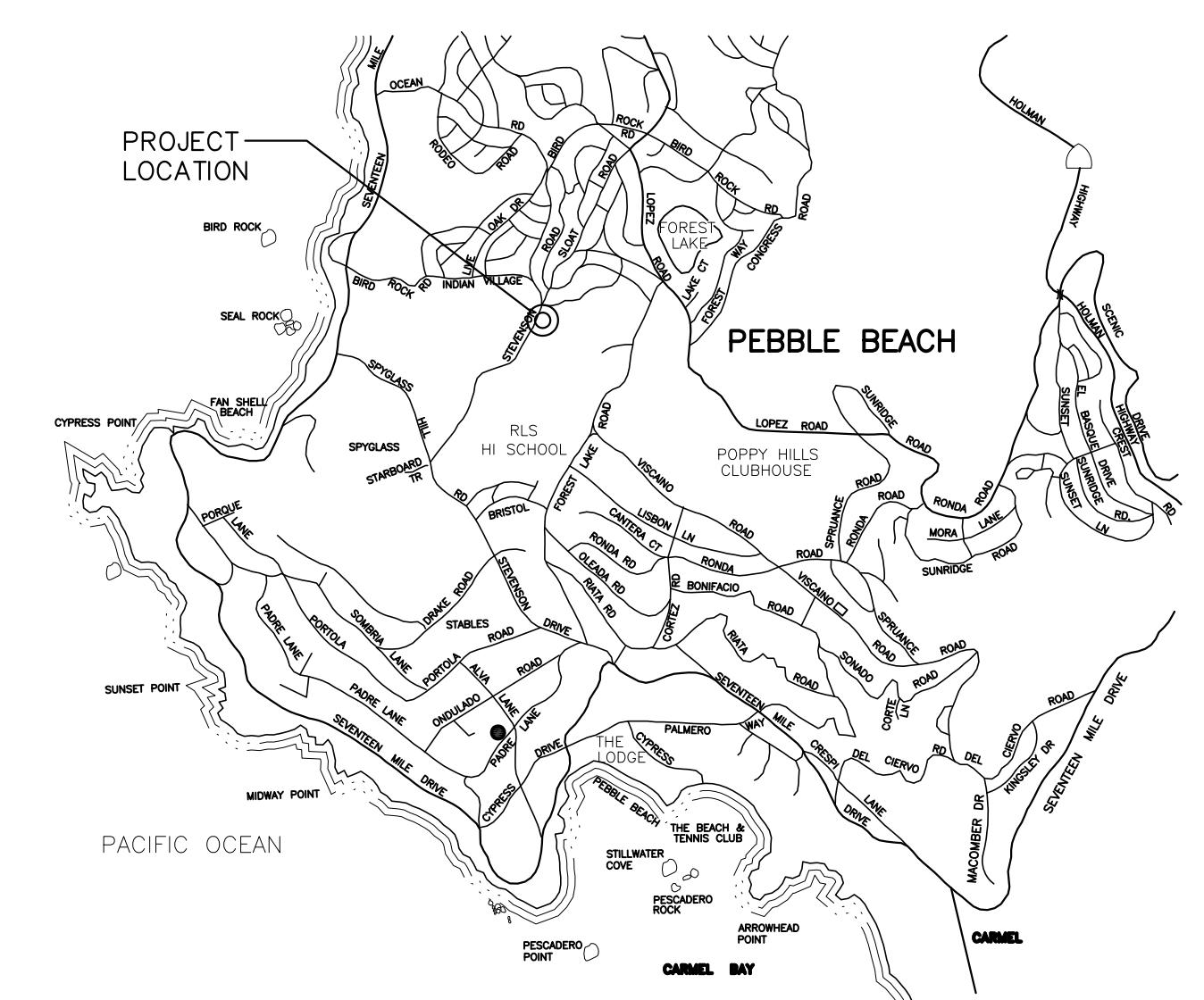
| PROPOSED |
|-------------------------|
| MAIN BUILDING 1,095 SF. |
| GARAGE 1,192 SF. |
| LOWER FLOOR 3,807 SF. |
| MAIN FLOOR 6,094 SF. |
| TOTAL |

- F.A.R. ALLOWED: 6,098.2 SF (25%)
- F.A.R. PROPOSED: 6,094 SF (24.9%)

| PROPOSED |
|---------------------|
| BUILDINGS 4,530 SF. |
| SPRAL STAIRS 28 SF. |
| TERRACE 2,056 SF. |
| TOTAL 6,614 SF. |

- STRUCTURAL/IMPERVIOUS ALLOWED: 9,000 SF.
- STRUCTURAL/IMPERVIOUS PROPOSED: 6,614 SF.

VICINITY MAP



SALEHI RESIDENCE

PROJECT ADDRESS:
3167 STEVENSON DRIVE
PEBBLE BEACH, CA 93953
APN: 008-023-013

DATE: MAY 31, 2022
APPLICATION REQUEST SUB.

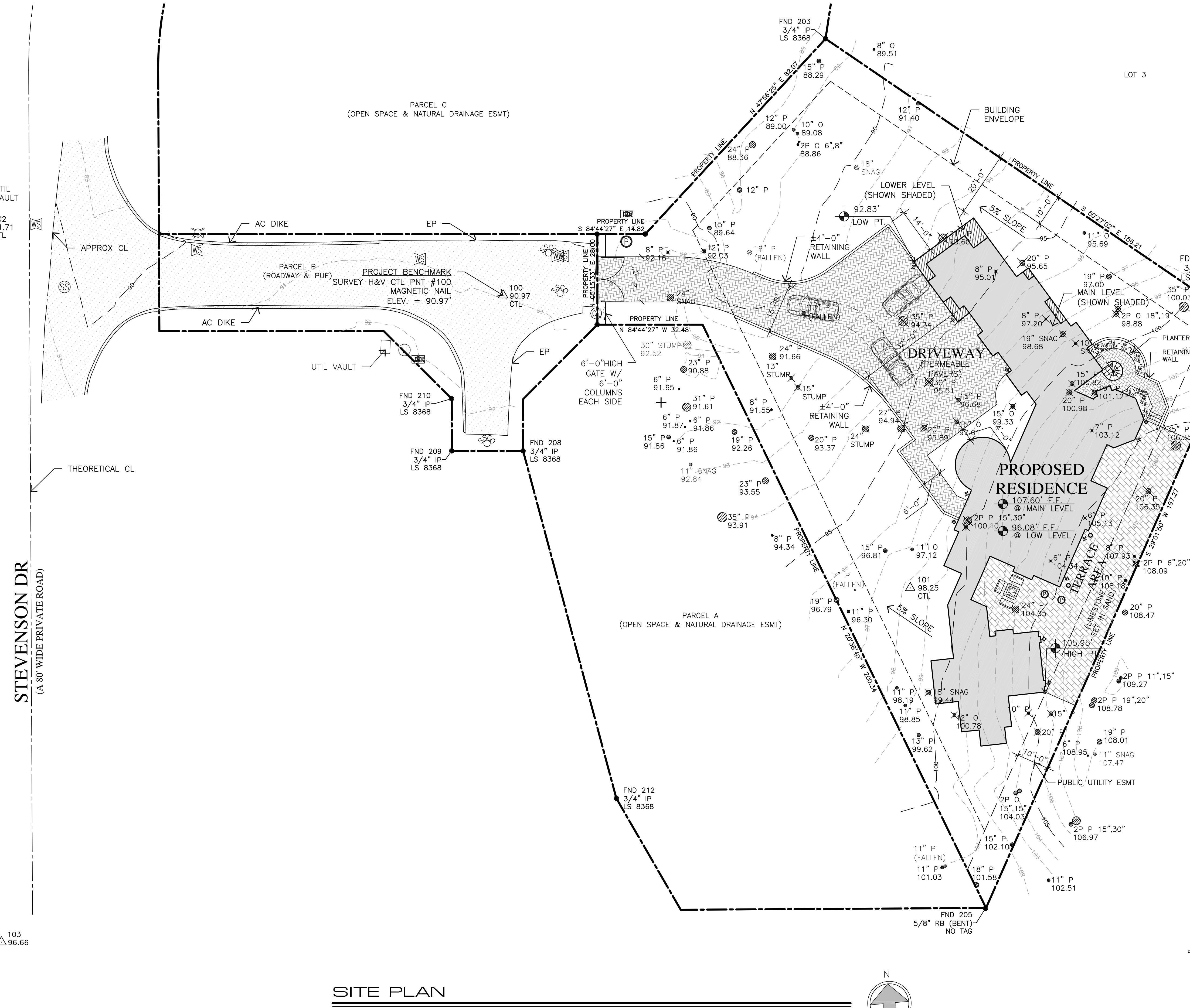
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- △ JULY 27, 2022
PB ARB SUBMITTAL
- △ AUGUST 15, 2022
PLANNING SUBMITTAL
- △ OCTOBER 13, 2022
PLANNING SUBMITTAL
- △
- △
- △

SITE PLAN

SHEET NO.

A1.0



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH: (831) 646-1261
FAX: (831) 646-1290
EMAIL: idg@idginc.net
WEB: idginc.net

DISCLAIMER:
ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE, AND WERE CREATED, EVOLVED AND DEVELOPED FOR THIS PROJECT. THEY ARE NOT TO BE USED FOR ANY OTHER PROJECT. NONE OF SUCH DESIGNS, ARRANGEMENTS OR PLANS ARE TO BE COPIED, REPRODUCED, OR USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER. THIS DRAWING IS THE PROPERTY OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THIS DRAWING ARE IN FEET AND INCHES. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS. THE DRAWINGS ARE TO BE BUILT AS SHOWN. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS IS NOT TO BE MADE. THIS DRAWING MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:
**SALEHI
RESIDENCE**

PROJECT ADDRESS:
3167 STEVENSON
DRIVE
PEBBLE BEACH, CA
93953
APN: 008-023-013

DATE: MAY 31, 2022
APPLICATION REQUEST SUB.

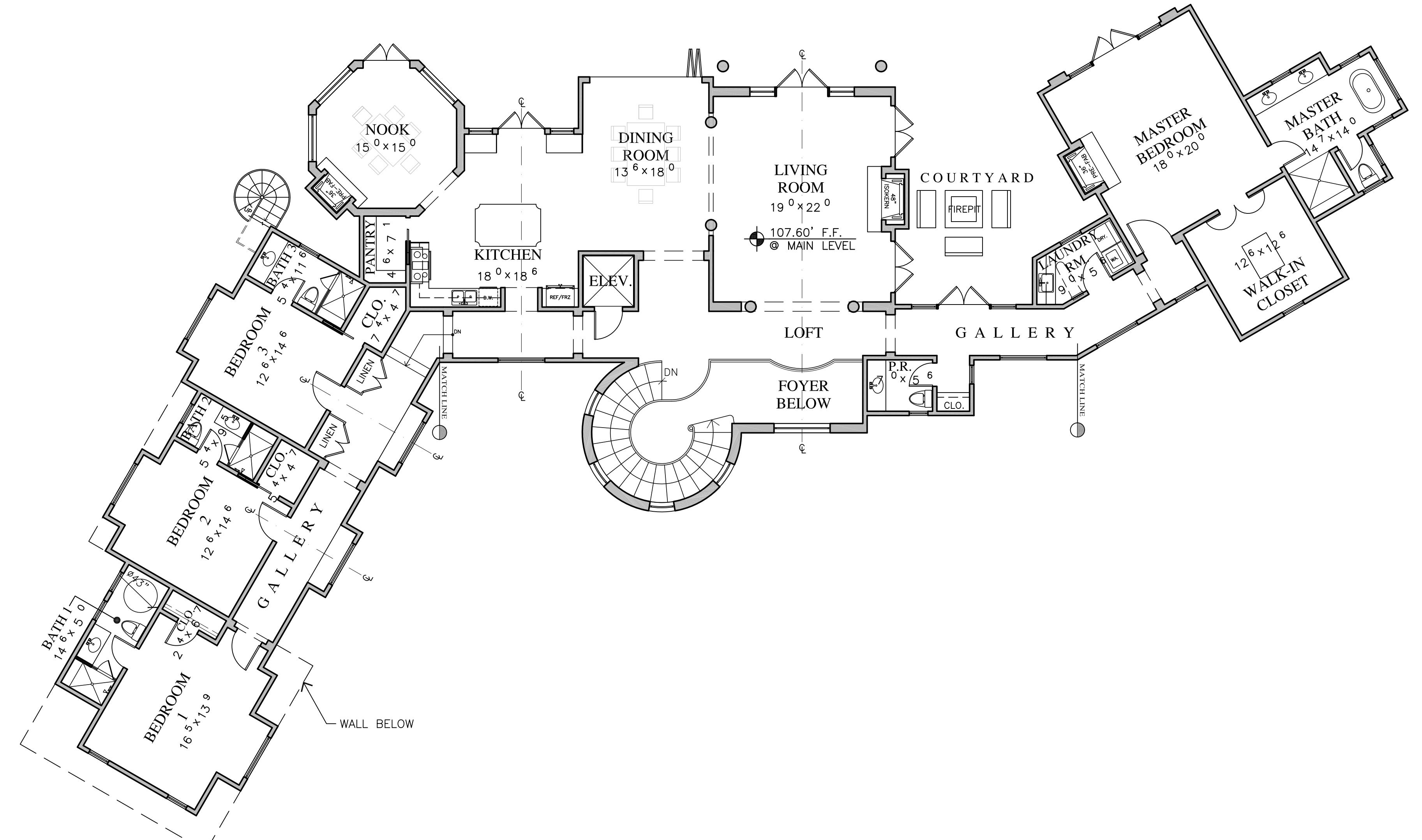
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- △ PB ARB SUBMITTAL
- △ AUGUST 15, 2022
- △ PLANNING SUBMITTAL
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MAIN LEVEL
PLAN

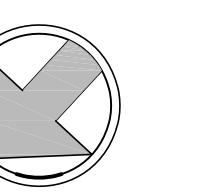
SHEET NO.

A2.0



MAIN LEVEL PLAN

1/8" = 1'-0"



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH: (831) 646-1261
FAX: (831) 646-1290
EMAIL: idg@idginc.net
WEB: idg@idginc.net

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STAMPS:

PROJECT/CLIENT:
**SALEHI
RESIDENCE**

PROJECT ADDRESS:
**3167 STEVENSON
DRIVE
PEBBLE BEACH, CA
93953**

APN: 008-023-013

DATE: MAY 31, 2022
APPLICATION REQUEST SUB.

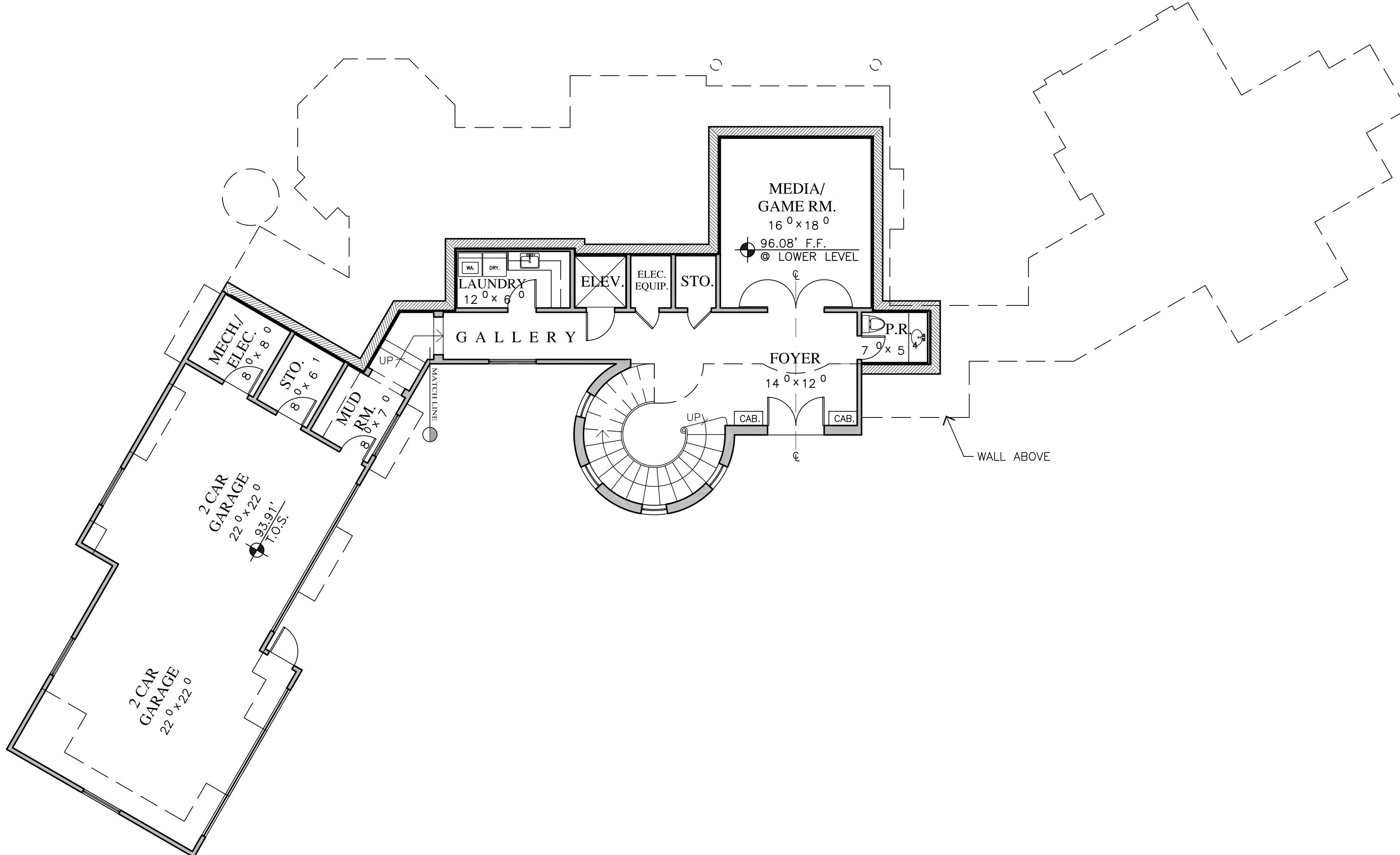
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- △ AUGUST 15, 2022
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LOWER LEVEL
PLAN

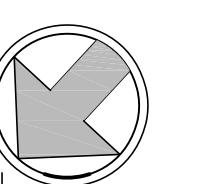
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A4.0



LOWER LEVEL PLAN

1/8" = 1'-0"



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH: (831) 646-1261
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EMAIL: idg@idginc.net
WEB: idg@idginc.net

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STAMPS:

PROJECT/CLIENT:

SALEHI
RESIDENCE

PROJECT ADDRESS:

3167 STEVENSON
DRIVE
PEBBLE BEACH, CA
93953

APN: 008-023-013

DATE: MAY 31, 2022
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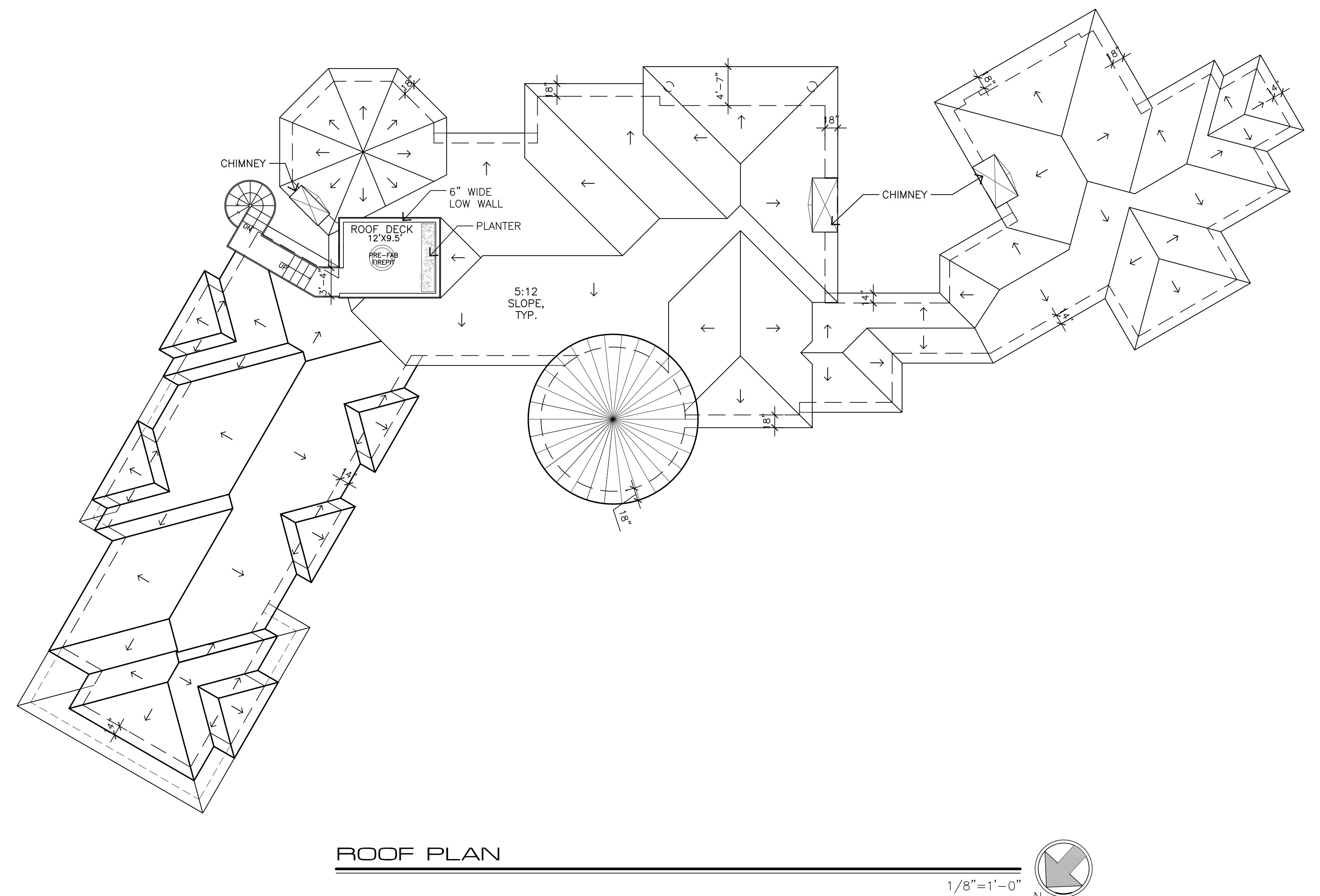
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- △ AUGUST 15, 2022
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ROOF
PLAN

SHEET NO.

A5.0





NORTH WEST ELEVATION

$$1/8'' = 1'-0''$$

EXTERIOR FINISH LEGEND

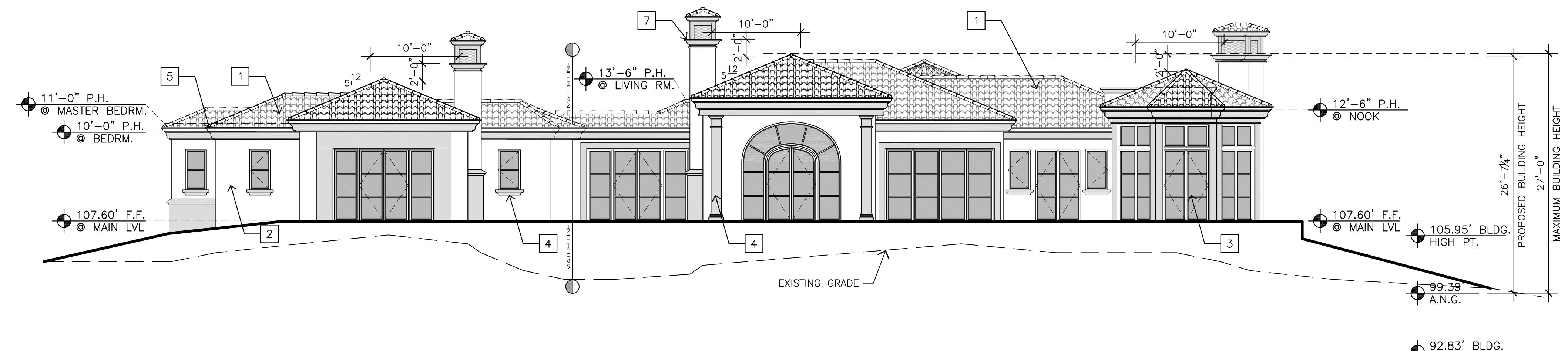
- 1 CLASS 'A' ROMAN CAP AND PAN CLAY TILE ROOF
- REDLANDS OR EQUAL
- 2 7" EXTERIOR STUCCO - SMOOTH FINISH
- 3 BRONZE FINISH ALUMINUM FRAME EXTERIOR DOORS
AND WINDOWS - ARCADIA OR EQUAL
- 4 SIMULATED LIMESTONE CORBELS, CROWN
MOULDINGS, COLUMNS PLINTH, SILLS, SURROUNDS
ETC. - SIENNA STONE OR EQUAL
- 5 5" O'GEE COPPER GUTTER & DOWNSPOUTS
- 6 STAINED WOOD OVERHEAD GARAGE DOOR
- 7 DECORATIVE CLAY CHIMNEY SURROUND

PROJECT/CLIENT:

RESIDENCE

3167 STEVENSON
DRIVE
PEBBLE BEACH, CA
93953

APN: 008-023-013



NORTH EAST ELEVATION

$$1/8'' = 1' - 0''$$

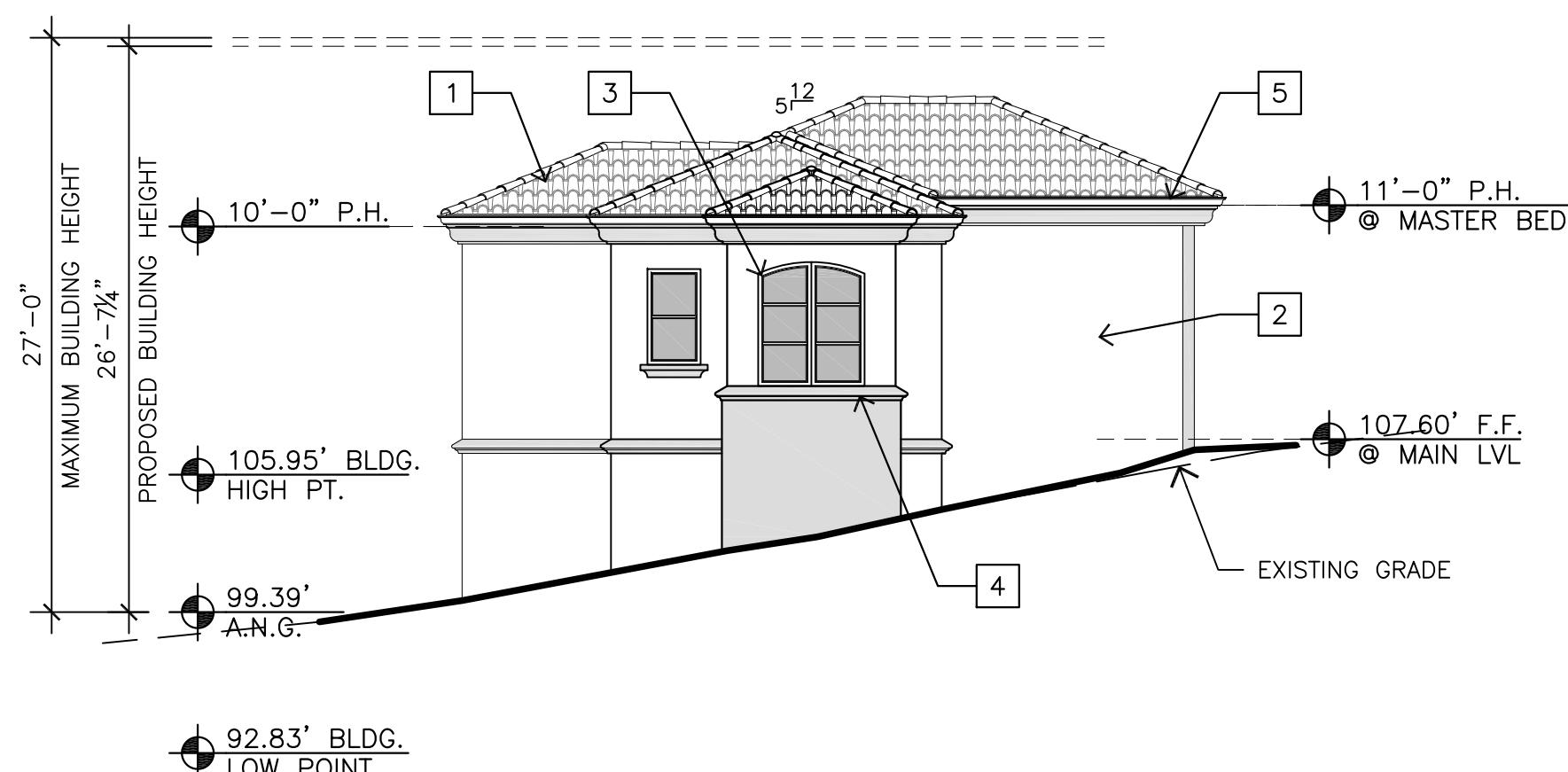
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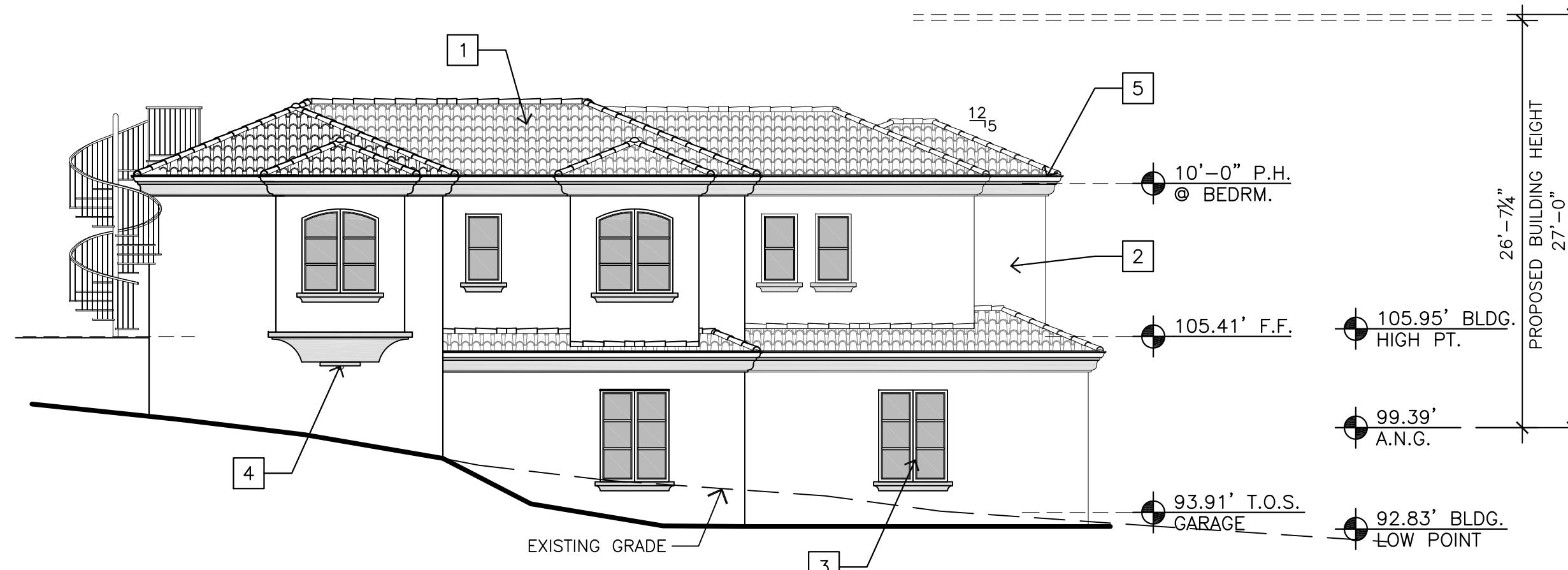
ELEVATIONS

SHEET NO.



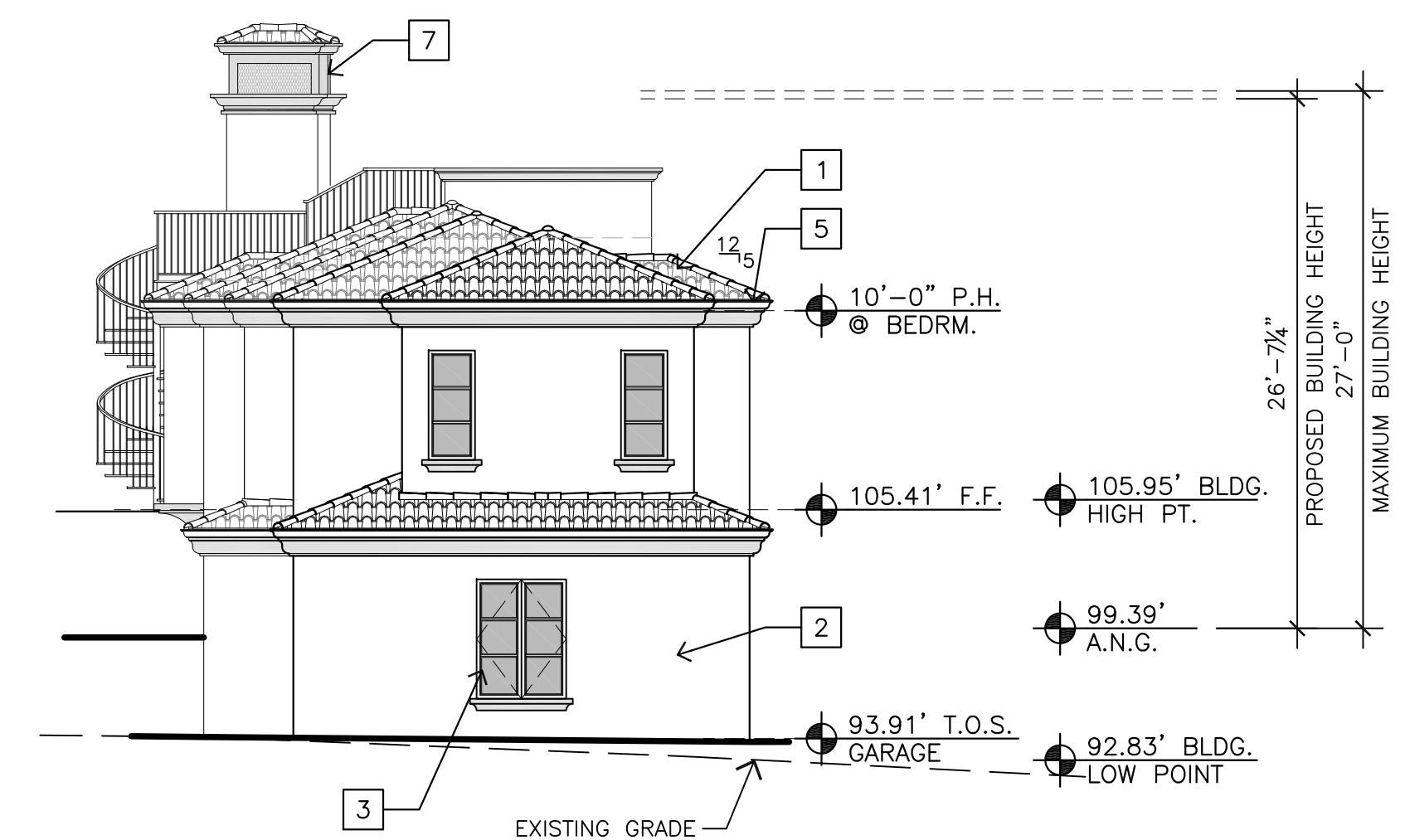
NORTH ELEVATION

1/8"=1'-0"



SOUTH EAST ELEVATION

1/8"=1'-0"



SOUTH WEST ELEVATION

1/8"=1'-0"

PROJECT/CLIENT:

SALEHI
RESIDENCE

PROJECT ADDRESS:

3167 STEVENSON
DRIVE
PEBBLE BEACH, CA
93953

APN: 008-023-013

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PLANNING SUBMITTAL
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ELEVATIONS

SHEET NO.

A6.1



MISSION LANDSCAPING

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CALIFORNIA 93950

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F 831 373 2283
www.missionlandscaping.com
email: missionlandscaping@me.com
Landscape & General
Contractors C27 & B 39291
Landscape Architecture
CA Lic #5806

Project:

Amir and Elmira Salehi
3167 Stevenson Dr.
Pebble Beach, CA 93953.

APN: 008-023-013
Revisions:



Drawing Title:

Landscape Plan

Date: 07/28/22

Scale: 1/10" = 1'0"

Drawn By: PW

Page Number:

L1.0

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SCOPE OF WORK:

THIS IS NEW LANDSCAPE WITH A DRIP IRRIGATION SYSTEM RUN BY A SMART CONTROLLER.

PROJECT INFORMATION:

OWNER AMIR AND ELMIRA SALEHI
SITE 3167 STEVENSON DRIVE
PEBBLE BEACH, CA 93953.
APN 008-023-013
TOPOGRAPHY SLOPING
TREE REMOVAL SEE SITE PLAN
GRADING SEE GRADING PLAN
XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

LANDSCAPING STATEMENT:

I, PATRICK WILSON, CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN. *Patrick Wilson*

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

AYOUT NOTES:
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ON SITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.
GUIDELINES AS FOLLOWS:
-ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
-MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
-MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
-TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
-TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
-REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
-REMOVE ALL CUT MATERIAL FROM THE AREA
-MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30'- 100' AWAY FROM HOUSE.
GUIDELINES AS FOLLOWS:
KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:
VEHICLE ACCESS FROM CORAL DR.

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:
SPREAD 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING:
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT:
SOIL TO BE AMENDED WITH NITRIFIED REDWOOD SAWDUST COMPOST AND BE INCORPORATED AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF 6" INTO THE LANDSCAPE AREA.





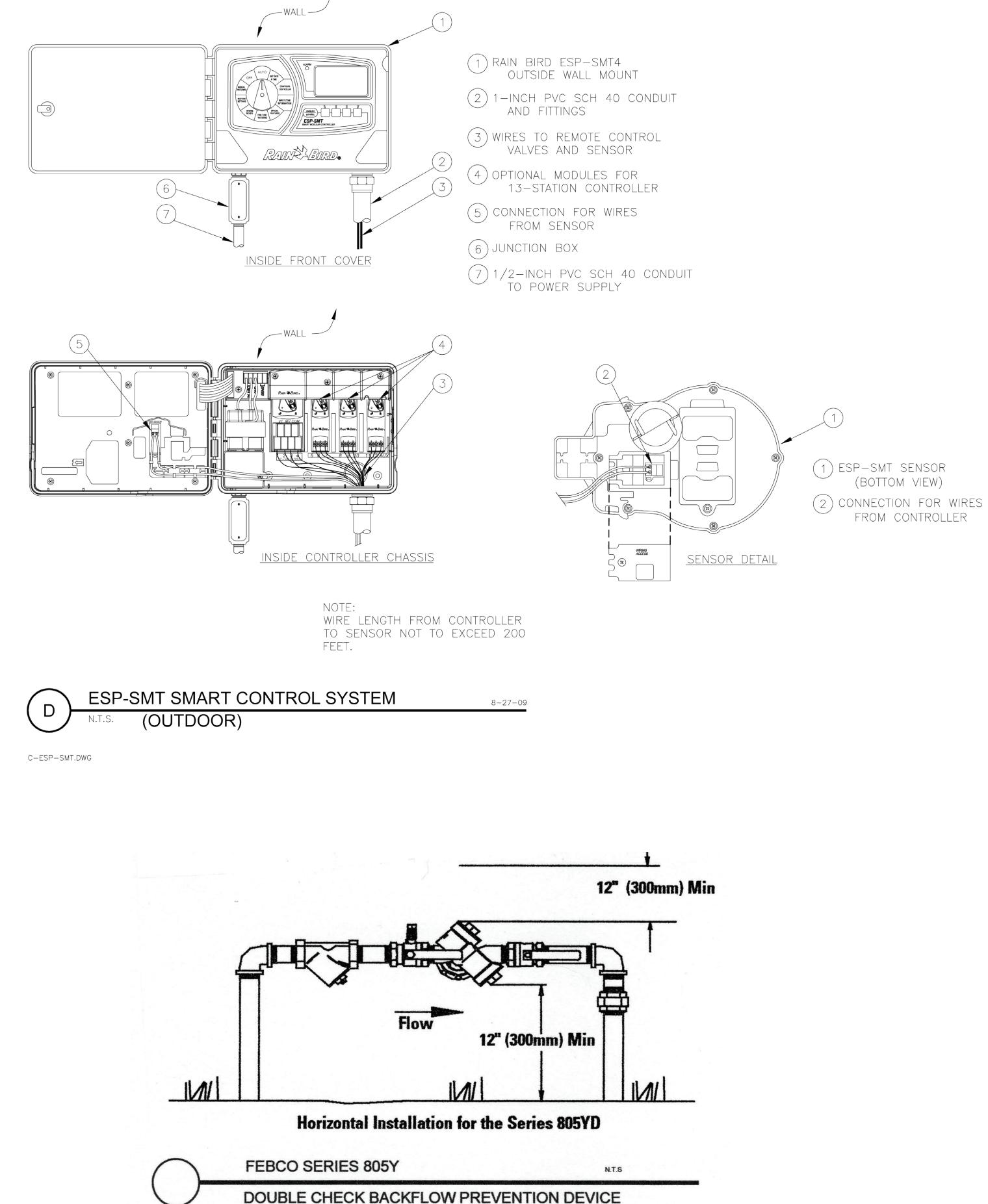
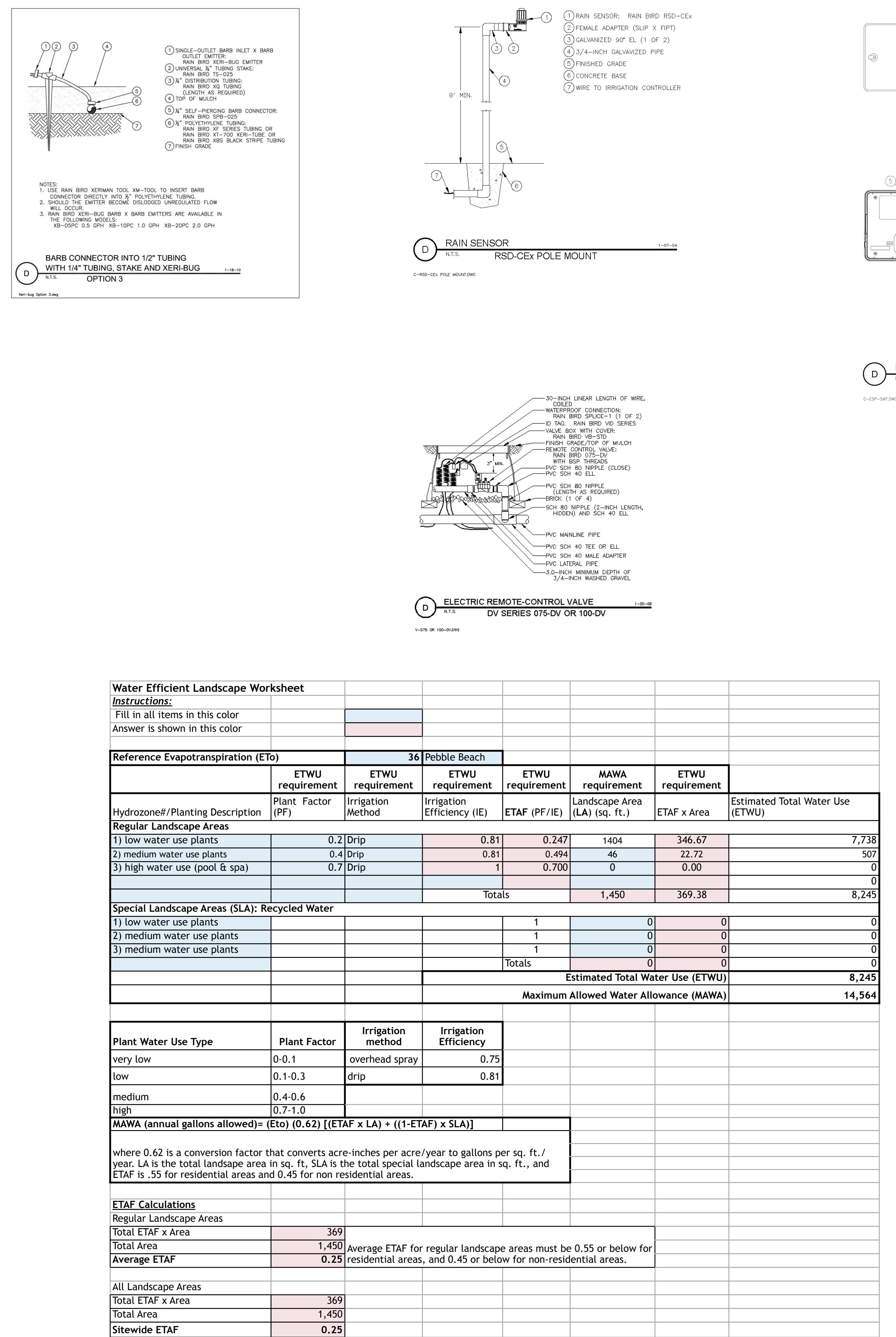
MISSION LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 39291
Landscape Architecture
CA Lic #5806

Project:

Amir and Elmira Salehi
3167 Stevenson Dr.
Pebble Beach, CA 93953.



APN: 008-023-013
Revisions:

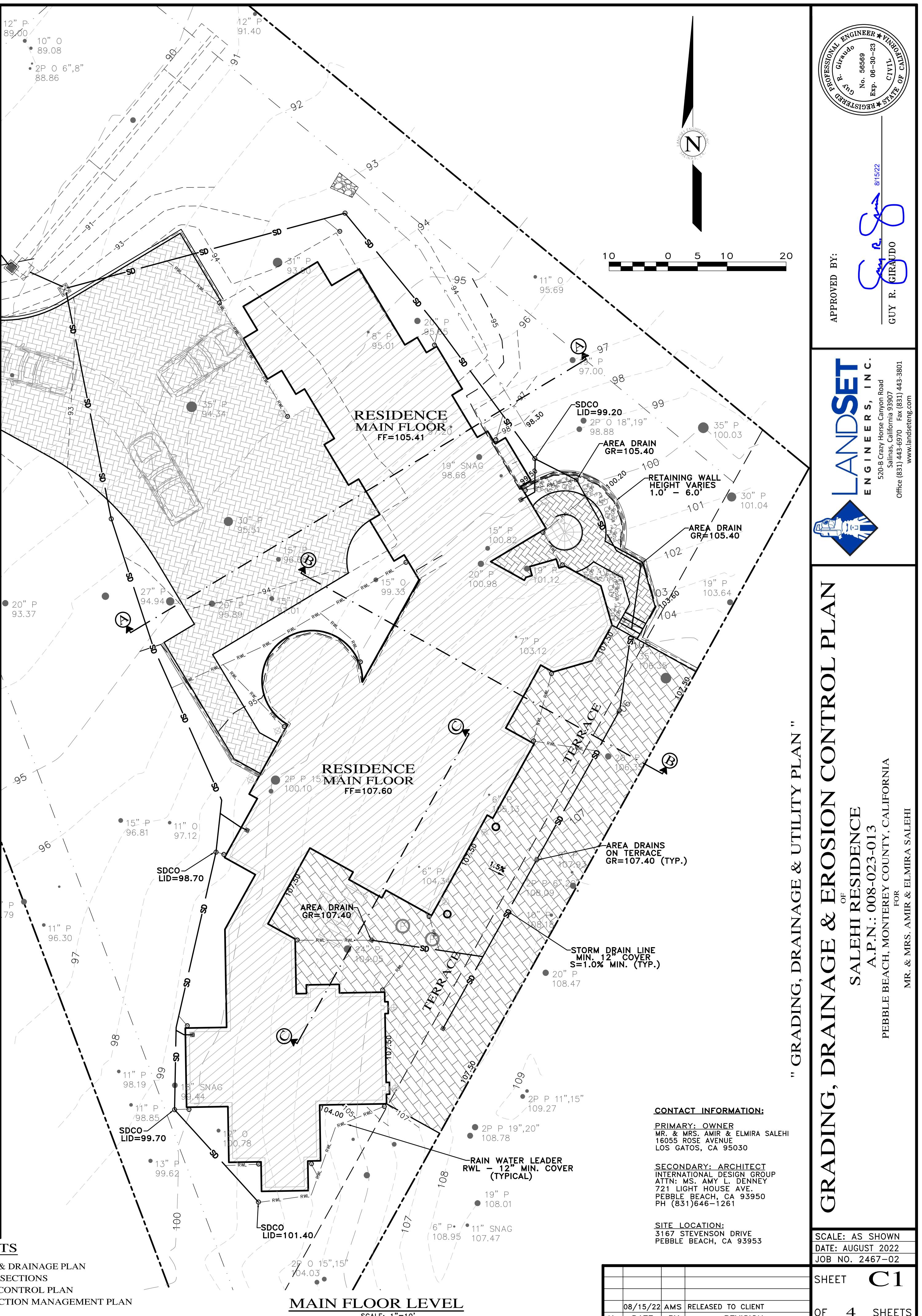
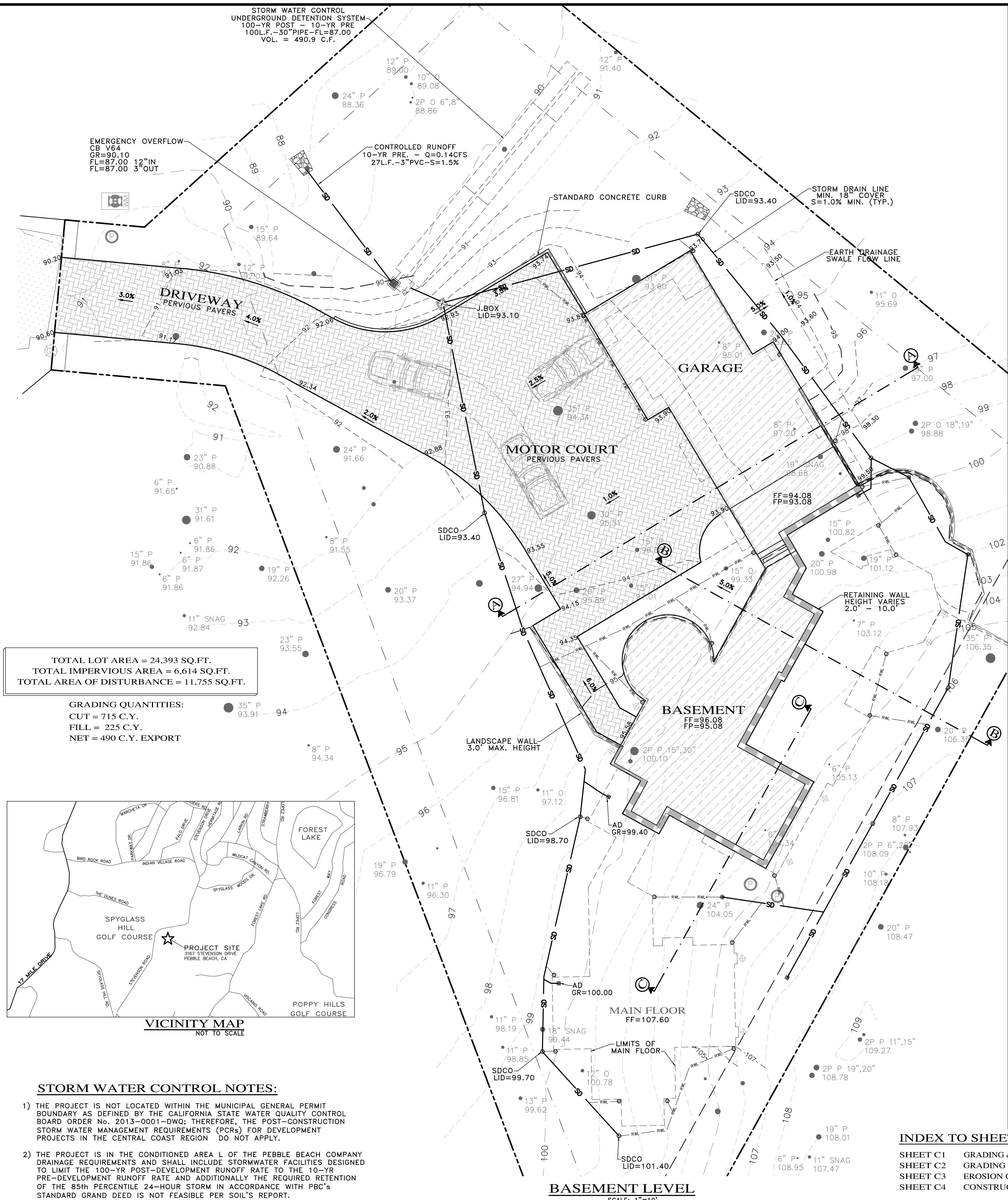


Drawing Title:

Irrigation Details

Date: 07/28/22
Scale:
Drawn By: PW
Page Number:

L2.1



CD ANDING DRAINAGE & UTILITY PLAN

SALEHIS & EROSION CONSULTANTS
OF
SALEHI RESIDENCE
A.P.N.: 008-023-013
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. AMIR & ELMIRA SALEHI

ALE: AS SHOWN
TE: AUGUST 2022
B NO. 2467-02
EET C1
4 SHEETS

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THE PROJECT IS IN THE CONDITIONED AREA L OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND SHALL INCLUDE STORMWATER FACILITIES DESIGNED TO LIMIT THE 100-YR POST-DEVELOPMENT RUNOFF RATE TO THE 10-YR PRE-DEVELOPMENT RUNOFF RATE AND ADDITIONALLY THE REQUIRED RETENTION OF THE 85th PERCENTILE 24-HOUR STORM IN ACCORDANCE WITH PBC's STANDARD GRAND DEED IS NOT FEASIBLE PER SOIL'S REPORT.

INDEX TO SHEETS

| <u>INDEX TO SHEETS</u> | |
|------------------------|-----------------------------|
| SHEET C1 | GRADING & DRAINAGE PLAN |
| SHEET C2 | GRADING SECTIONS |
| SHEET C3 | EROSION CONTROL PLAN |
| SHEET C4 | CONSTRUCTION MANAGEMENT PLA |

CONTACT INFORMATION:

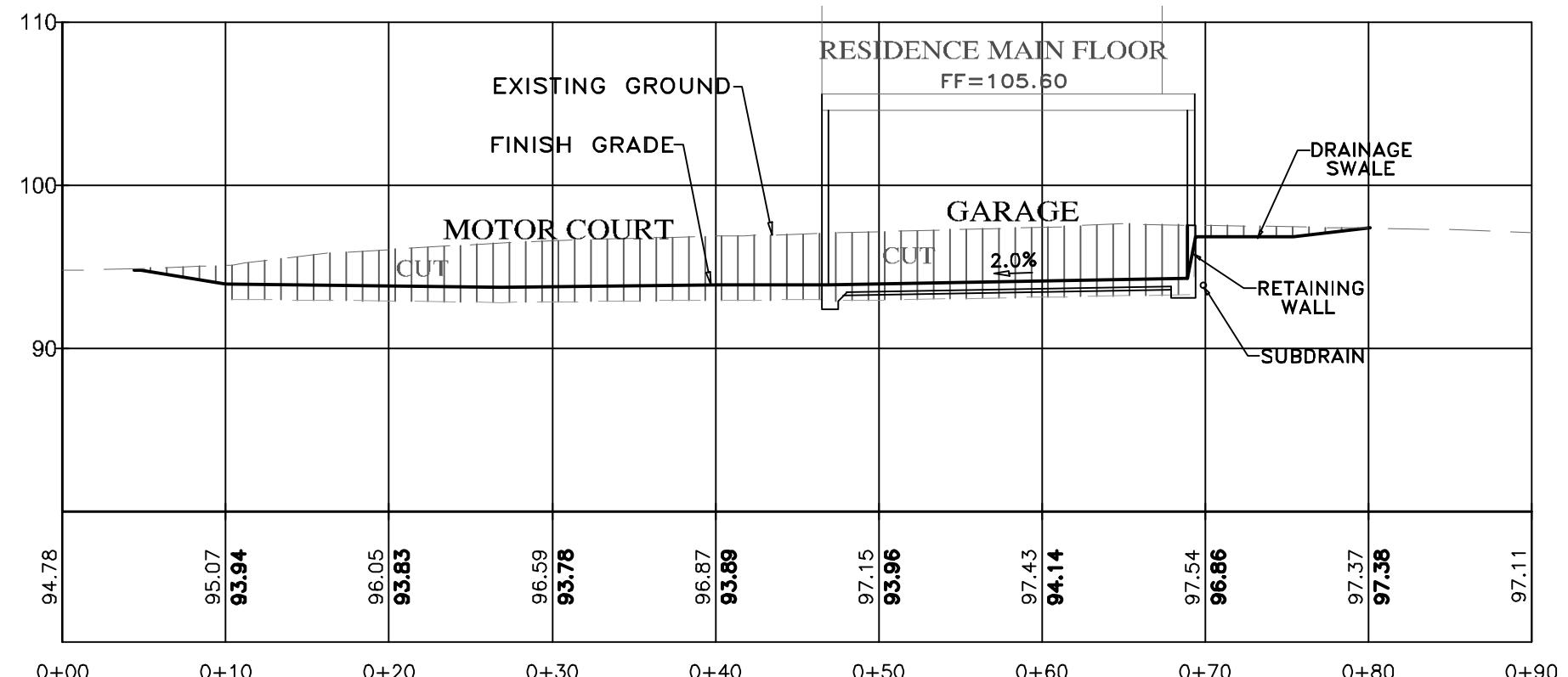
SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MS. AMY L. DENNEY
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH (831)646-1261

SITE LOCATION:
3167 STEVENSON DRIVE
PEBBLE BEACH, CA 93953

| | | |
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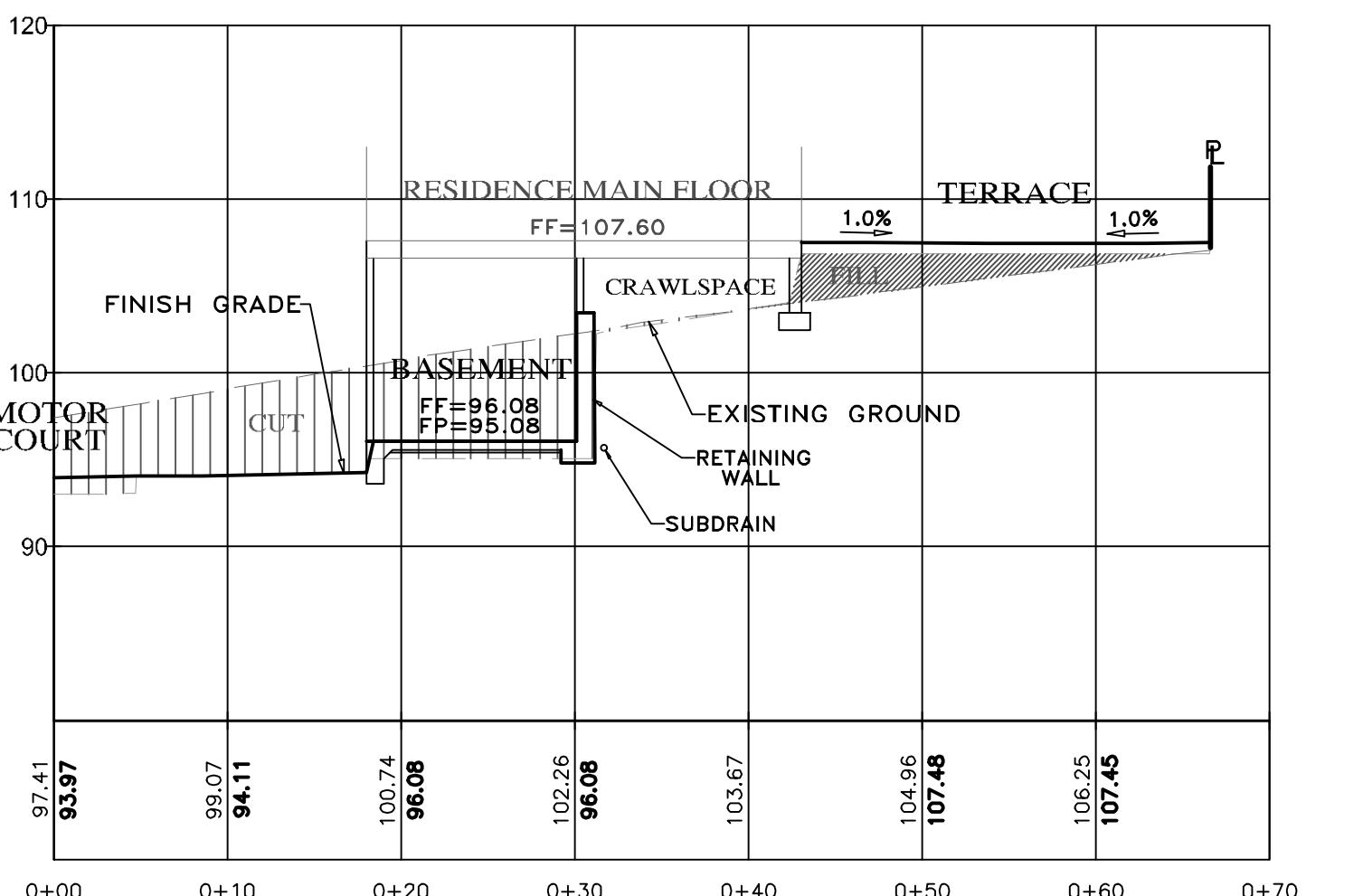
2 AMS RELEASED TO CLIENT

BY REVISION



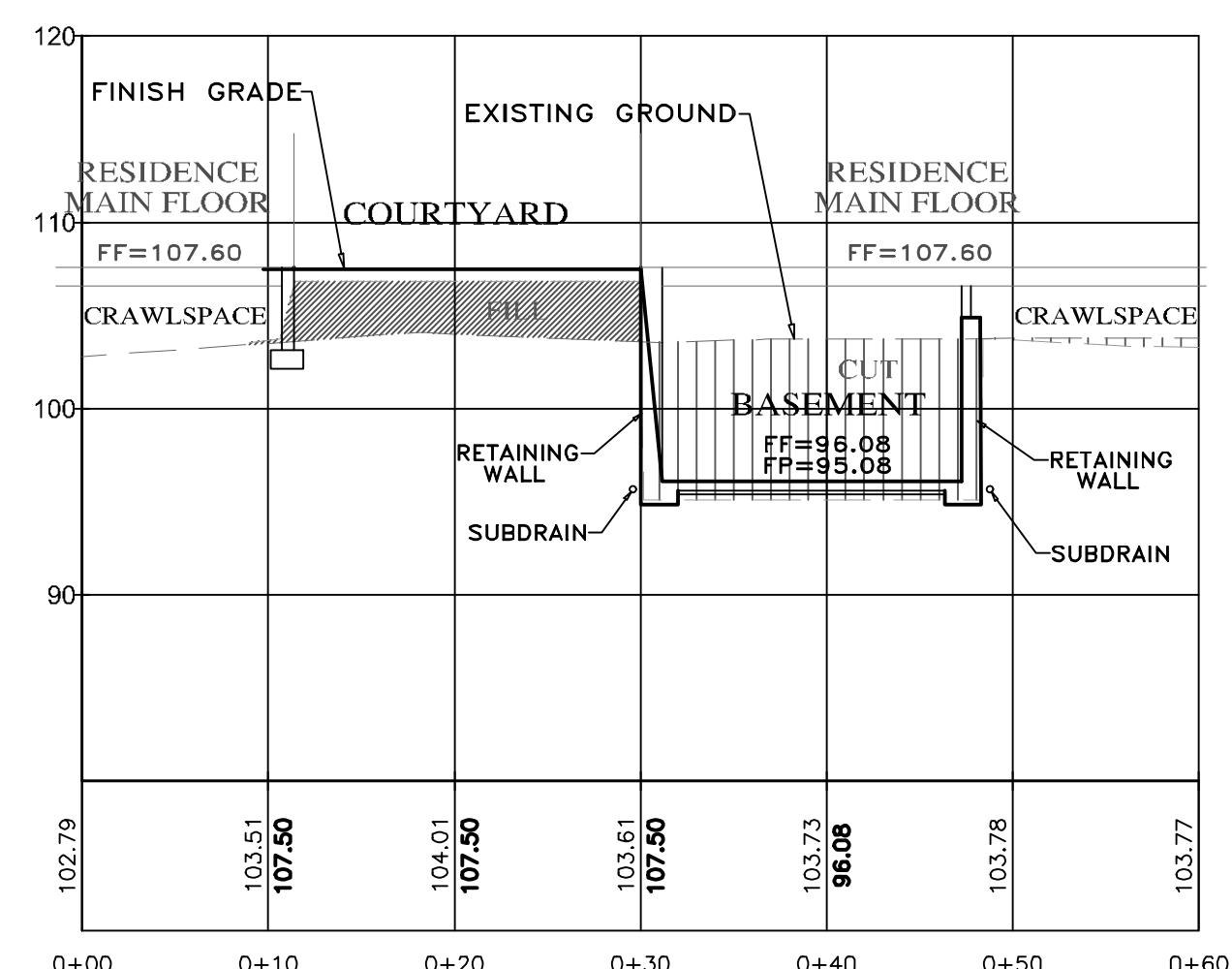
SECTION A-A

SCALE: 1"=10' H&V



SECTION B-B

SCALE: 1"=10' H&B



SECTION C-C

SCALE: 1"=10' H&V

"GRADING SECTIONS"

GRADING, DRAINAGE & EROSION CONTROL PLAN OF SALEHI RESIDENCE

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. AMIR & ELMIRA SALEHI
A.P.N.: 008-023-013
S. ELLI REEDER

MR. & MRS. AMIR & ELMIRA SALEH

SCALE: 1"=10' H&V
DATE: AUGUST 2022
JOB NO. 2467-02

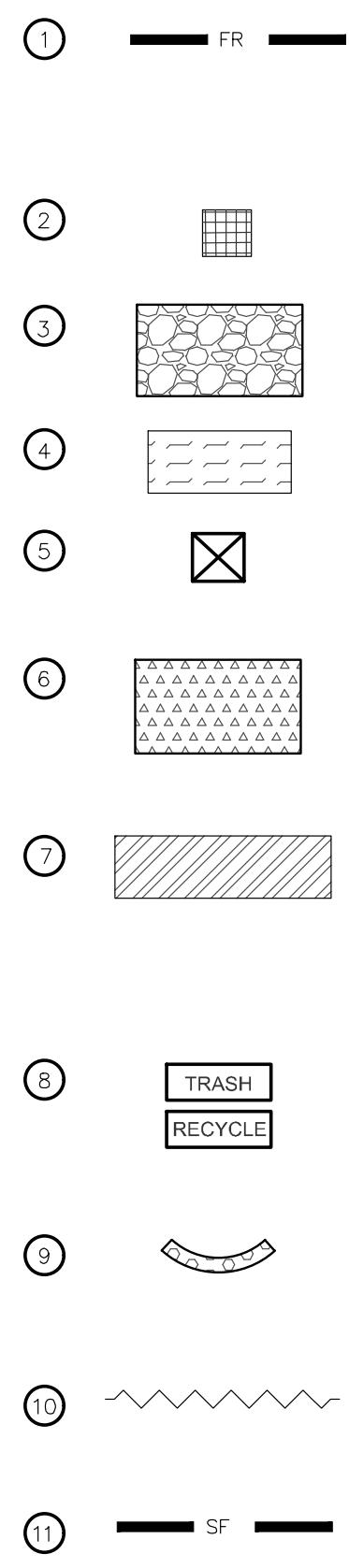
HEET C2

10 of 10

OF 4 SHEETS



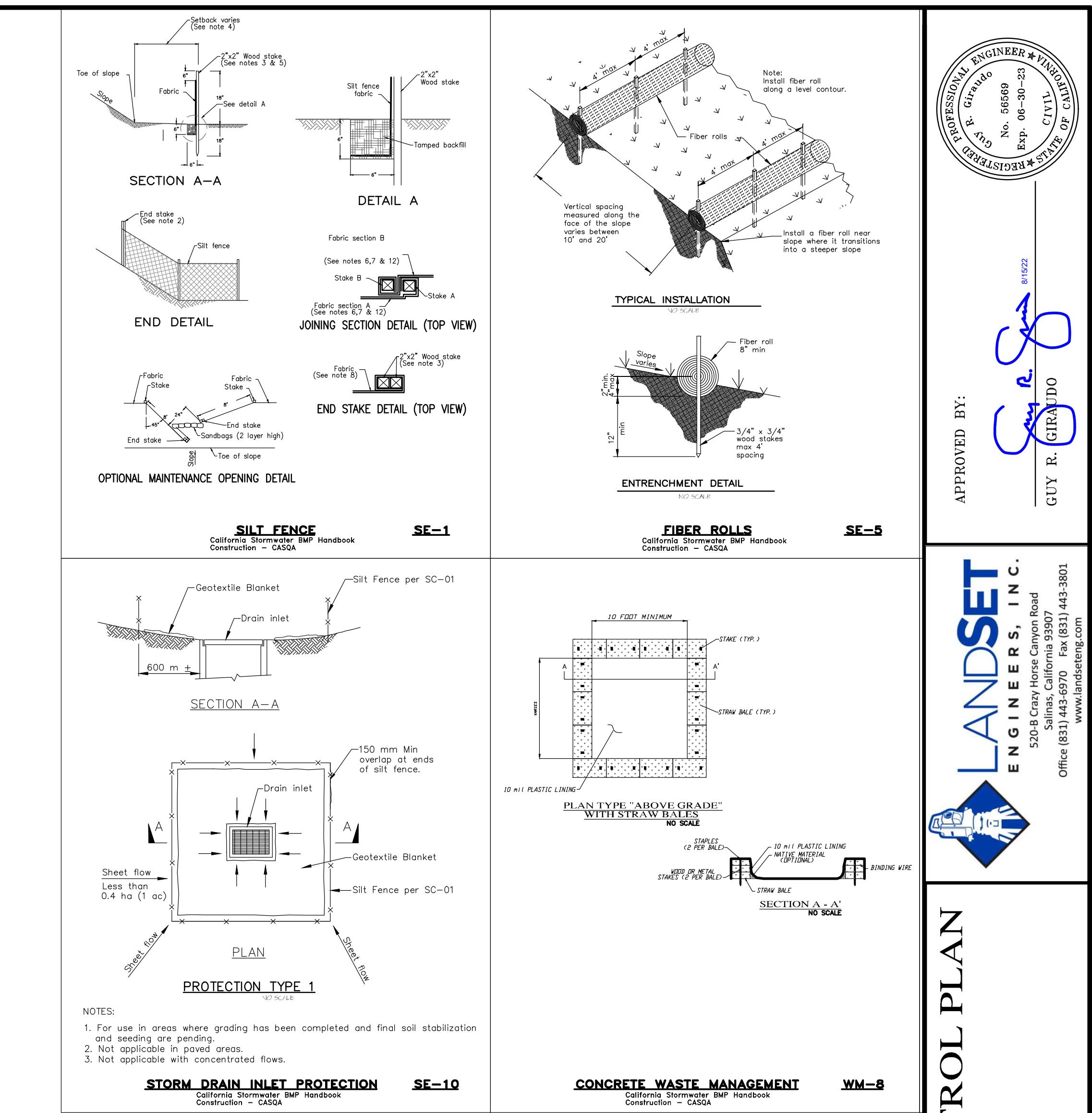
LEGEND:



SCALE: 1' = 20'

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAILED OR FILTERED BY BERM'S, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNSHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYUS (NUTTALL'S FESCUE), ELYMUS GLACIUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRUMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



GRADING, DRAINAGE & EROSION CONTROL PLAN

SALEHI RESIDENCE
A.P.N.: 008-023-013
OF
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. AMIR & ELMIRA SALEHI

PROFESSIONAL ENGINEER * VINCENZO R. GRANATO, S.E.
REGISTERED * EXP. 06-30-23
No. 56569
CIVIL STATE OF CALIFORNIA

LANDSET
ENGINEERS, INC.
520-B CRAZY HORSE CANYON ROAD
Salinas, California 93907
Office (831) 445-6070 Fax (831) 445-3801
www.landsetinc.com

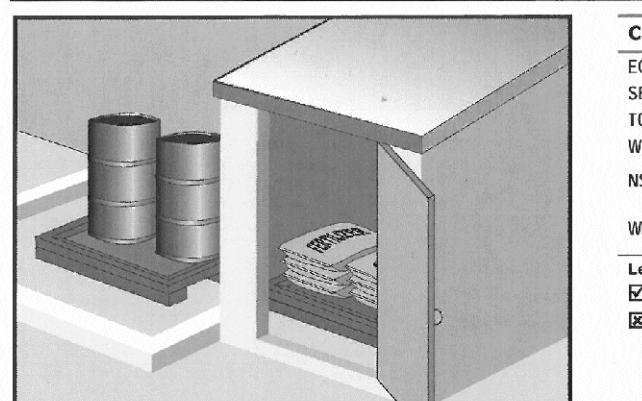
APPROVED BY:
GUY R. GRANATO
08/15/22

EROSION & SEDIMENT CONTROL PLAN
SALEHI RESIDENCE
A.P.N.: 008-023-013
OF
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. AMIR & ELMIRA SALEHI

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

| VERIFICATION AND INSPECTION TASK | CONTINUOUS DURING TASK LISTED | PERIODICALLY DURING TASK LISTED |
|---|-------------------------------|---------------------------------|
| 1. Verify material below shallow foundations are adequate to achieve the design bearing capacity | -- | X |
| 2. Verify excavations are extended to proper depth and have reached proper material | -- | X |
| 3. Perform classification and testing of compacted fill materials | -- | X |
| 4. Verify use of proper materials, densities and fill placement, including placement and compaction of compacted fill | X | -- |
| 5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly | -- | X |

Material Delivery and Storage WM-1



WM-1

| Categories |
|---|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:



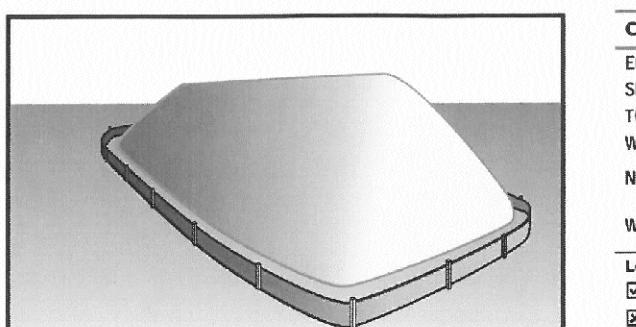
Targeted Constituents

| | |
|----------------|-------------------------------------|
| Sediment | <input checked="" type="checkbox"/> |
| Nutrients | <input type="checkbox"/> |
| Trash | <input type="checkbox"/> |
| Metals | <input type="checkbox"/> |
| Bacteria | <input type="checkbox"/> |
| Oil and Grease | <input type="checkbox"/> |
| Organics | <input type="checkbox"/> |

Potential Alternatives

None

Stockpile Management WM-3



WM-3

| Categories |
|---|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:



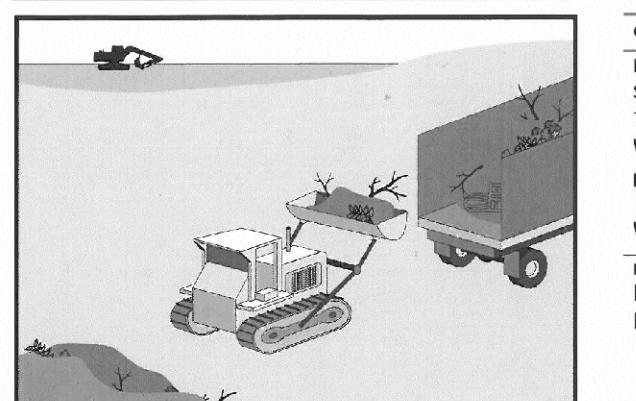
Targeted Constituents

| | |
|----------------|--------------------------|
| Sediment | <input type="checkbox"/> |
| Nutrients | <input type="checkbox"/> |
| Trash | <input type="checkbox"/> |
| Metals | <input type="checkbox"/> |
| Bacteria | <input type="checkbox"/> |
| Oil and Grease | <input type="checkbox"/> |
| Organics | <input type="checkbox"/> |

Potential Alternatives

None

Solid Waste Management WM-5



WM-5

| Categories |
|---|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:



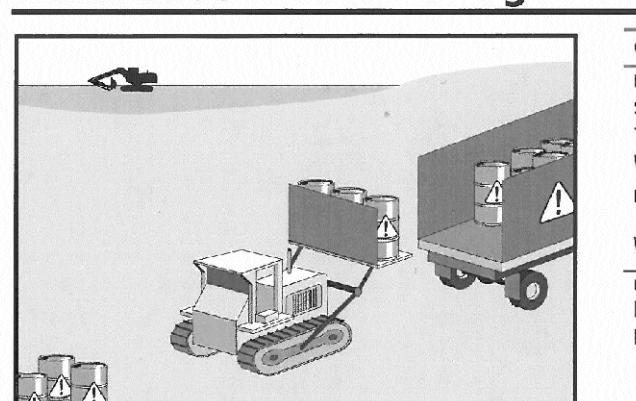
Targeted Constituents

| | |
|----------------|--------------------------|
| Sediment | <input type="checkbox"/> |
| Nutrients | <input type="checkbox"/> |
| Trash | <input type="checkbox"/> |
| Metals | <input type="checkbox"/> |
| Bacteria | <input type="checkbox"/> |
| Oil and Grease | <input type="checkbox"/> |
| Organics | <input type="checkbox"/> |

Potential Alternatives

None

Hazardous Waste Management WM-6



WM-6

| Categories |
|---|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

Legend:



Targeted Constituents

| | |
|----------------|--------------------------|
| Sediment | <input type="checkbox"/> |
| Nutrients | <input type="checkbox"/> |
| Trash | <input type="checkbox"/> |
| Metals | <input type="checkbox"/> |
| Bacteria | <input type="checkbox"/> |
| Oil and Grease | <input type="checkbox"/> |
| Organics | <input type="checkbox"/> |

Potential Alternatives

None

Sanitary/Septic Waste Management WM-9



WM-9

| Categories |
|---|
| EC Erosion Control |
| SE Sediment Control |
| TC Tracking Control |
| WE Wind Erosion Control |
| NS Non-Stormwater Management Control |
| WM Waste Management and Materials Pollution Control |

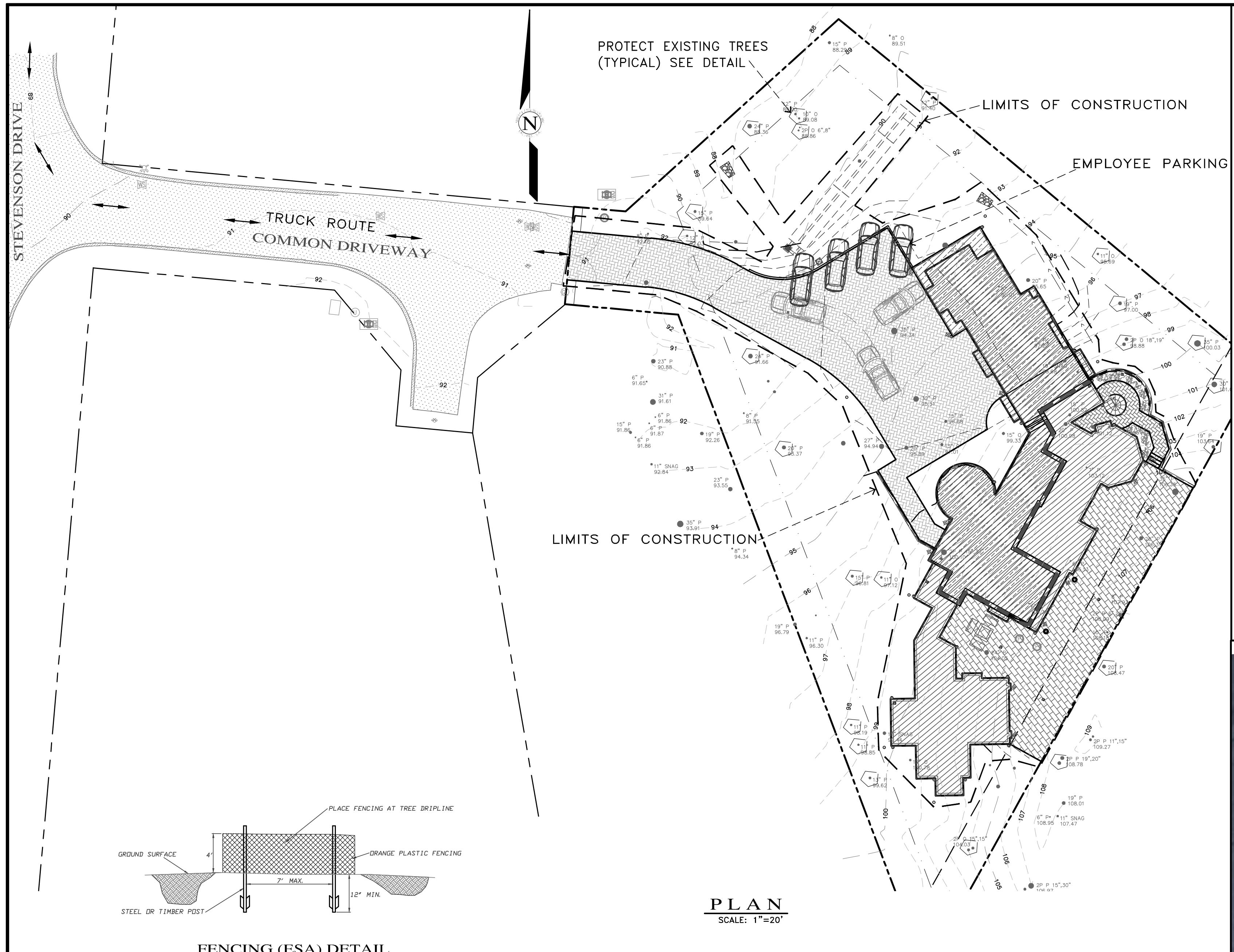
Legend:



Targeted Constituents

| | |
| --- | --- |
| Sediment | |

</tbl_r



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:

716 CY CUT
226 CY FILL

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR & GRAB.
- B. SITE GRADING.
- C. UTILITY INSTALLATION.
- D. CONSTRUCT STRUCTURE.
- E. INSTALL PAVERS AND LANDSCAPING.
- F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE STEVENSON DRIVE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM THE 17 MILE DR. TO SUNRIDGE RD. TO RONDA RD. TO LOPEZ RD. TO WILDCAT CANYON RD. TO SPYGLASS WOODS DRIVE TO STEVENSON DRIVE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE STAGED ON THE DRIVEWAY WHILE IN QUEUE (IF NECESSARY) ON THE STEVENSON DRIVE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREET ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN THE PROPOSED MOTOR COURT AREA AND IN LEGAL SPACES ALONG THE SPYGLASS WOODS DRIVE, OBEDIENCE ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

(A) CONSTRUCTION STAGING PLAN

TRUCK TRIP GENERATION CHART:

| CATEGORY | NO. OF TRUCK TRIPS | TOTAL DAYS |
|---------------------------------|--------------------|------------|
| CLEARING | 2 | 2 |
| GRADING & SOIL REMOVAL (EXPORT) | 24 | 5 |
| ENGINEERING MATERIALS (IMPORT) | 4 | 4 |
| TOTALS | 30 | 11 |

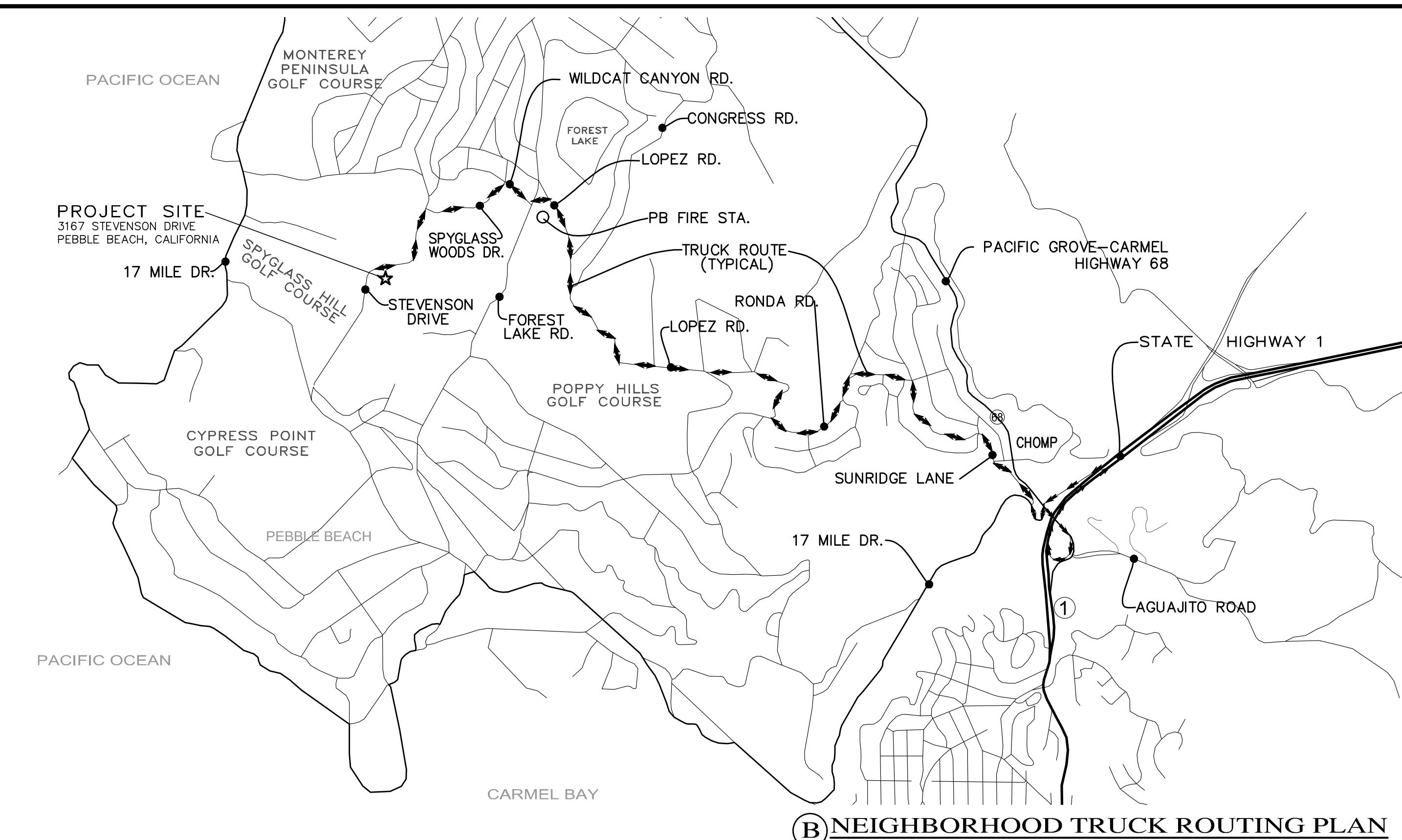
TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THE AMOUNT OF 460 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

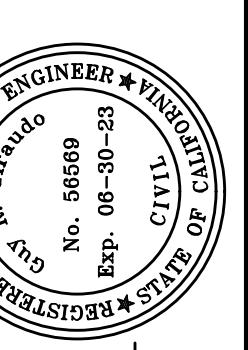
PROJECT SCHEDULING: PROJECTED START DATE 5 SEPTEMBER 2022, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



GRADING, DRAINAGE & EROSION CONTROL PLAN

CONSTRUCTION MANAGEMENT PLAN

A.P.N.: 008-023-013
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR MR. & MRS. AMIR & ELMIRA SALEHI



APPROVED BY:
Guy R. Girard
GUY R. GIRARD
6/15/22
www.landsetinc.com



SCALE: AS SHOWN
DATE: AUGUST 2022
JOB NO. 2467-02
SHEET C4
OF 4 SHEETS

CS PROJECT 3467 - SALEHI 3467 - CIVIL.DWG/3467 - ODECP.DWG/3467.CMP

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**COLOR AND MATERIAL SAMPLES FOR
SALEHI LOT 4 PROJECT
3167 STEVENSON DRIVE, PEBBLE BEACH CA
APN: 008-023-013**



**CLASS 'A' ROMAN CAP AND
PAN CLAY TILE ROOF –
REDLANDS OR EQUAL**



**5" O'GEE COPPER GUTTER
& DOWNSPOUTS**



**EXTERIOR STUCCO
DUNN EDWARDS
VERONA BEACH #DE 6135**



**SIMULATED LIMESTONE
CORBELS, CROWN MOULDINGS,
COLUMNS PLINTH, SILLS,
SURROUNDING, ETC
SIENNA STONE OR EQUAL**



**BRONZE FINISH ALUMINUM
FRAME EXTERIOR DOORS
AND WINDOWS
ARCADIA OR EQUAL**



**CUT LIMESTONE
EXTERIOR WALLS**



**CUT LIMESTONE
ENTABLATURE**



**CUT LIMESTONE
COLUMNS**



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