

# Exhibit C

This page intentionally left blank.

## DRAFT RESOLUTION

### Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

**CARL D AND MARY JANE PANATTONI TRS (PLN150500)**

**RESOLUTION NO. ----**

Resolution by the Monterey County:

- 1) Certifying that the Planning Commission has considered an addendum together with the Mitigated Negative Declaration pursuant to CEQA Guidelines Section 15164; and
- 2) Approve a Combined Development Permit to allow:
  - a. Coastal Development Permit for a Lot Line Adjustment to merge three legal parcels (1.18 acres, 1.04 acres, 0.20 acres) into two parcels (1.42 Acres, 1.0 Acre);
  - b. Coastal Administrative Permit and Design Approval to:
    - i. Demolish an existing 5,370 square foot single family dwelling and attached garage; and
    - ii. Construct a new 10,254 square foot 2-story single family home with an attached 490 square foot garage (Lower Parcel, 1.42 acres);
  - c. Coastal Administrative Permit and Design Approval to construct a new 3,610 square foot single family home with a 693 square foot garage (Upper Parcel, 1.0 acre)based on the findings and evidence and subject to 23 conditions of approval.

[1476 and 1482 Cypress Drive, Pebble Beach, Assessor's Parcel Numbers 008-455-007-000, 008-455-008-000 and 008-411-017-000, Del Monte Forest Land Use Plan, Coastal Zone]

**The Panattoni application (PLN150500) came on for public hearing before the Monterey County Planning Commission on June 29, August 31, 2016, and November 9, 2016. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

#### FINDINGS

- 1 **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 Monterey County General Plan;
    - Monterey County Zoning Ordinance (Title 20), and
    - Del Monte Forest Land Use Plan (LUP).
    - Monterey County Coastal Implementation Plan (CIP), Part 5No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The properties are located at 1476 and 1482 Cypress Drive, Pebble Beach (Assessor's Parcel Numbers 008-455-007-000, 008-455-008-000 and 008-411-017-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcels are zoned "LDR/1.5-D (CZ)" Low Density Residential, 1.5 acres per unit, Design Control District in the Coastal Zone, which allows for residential development. Therefore, the project is an allowed land use for this site.
  - c) Design Control Design Control, or "D" zoning as provided at Chapter 20.44 of the Monterey County Ordinance (Title 20) requires design review of structures in order to assure the protection of public viewshed, neighborhood character, and the visual integrity of certain developments without imposing undue restrictions on private property. There are several two-story homes within the neighborhood that have a variety of eclectic designs. Both houses will be similar to each other and will consist of a modern architectural style with flat built up roofs (black tar and gravel), painted textured plaster siding (tan neutral color), anodized aluminum windows (silver), zinc garage doors and glass guardrails. There is no specific design within the neighborhood; however, the proposed design along with colors and materials would blend into the eclectic neighborhood character.
  - d) Simple and Direct Access. The Del Monte Forest Land Use Plan requires new residential driveways and other vehicular surfaces to be the minimum length and width necessary to provide simple, direct access, and surfaces shall be designed to minimize runoff (including through use of permeable materials, filtration strips, and use of engineered collection /treatment units. (Policy 1 LUP & 21.147.030A.1.a CIP)  
The project proposes that both parcels be served by a single, shared driveway relocated to the new South Entrance of the property. This driveway configuration takes advantage of the better egress and ingress sighting along Cypress Drive and it is critical to achieving the southern view window. The coverage for this driveway configuration is almost identical to the existing driveway coverage of about 8,000 square feet.
  - e) Scenic and Visual Resources: The LCP protects the scenic and visual resources of the Del Monte Forest, including specific policies related to the 17-Mile Drive corridor (LUP Policies 53 and 56 and Section 20.147.070 CIP) which states, "New development, including such structures as fences constructed between 17 Mile Drive and the sea, shall be designed and sited to minimize obstructions of and degradation to views from the road to the sea. Height limits, use of see-through materials for fences, and limitations on landscape materials that would

block views, are methods that should be used to reduce obstruction. Consistent with the scenic and visual resources policy, the project has been redesigned in the follow manner:

- The proposed Site Materials Plan (Sheet L1.0) now includes a new fence/gate design which opens up a public view corridor along the south side of the property (“South View Corridor”); this is where the new gate is proposed;
- The house on the Lower parcel has been shifted to the north by approximately 13 feet to allow a view from 17 Mile Drive to the sea through the South View Corridor;
- The house on the Lower parcel has also been reduced in height by 2.4 feet over the previous proposal. The garage has been reduced in height by 1.4 feet over the previous proposal in order to accommodate for vehicular access;
- Non-native trees within the South View Corridor will be pruned or removed to create a view to the sea, and the lower branches of the native trees will be pruned up to create additional view;
- The shed along the south fence line will be removed to open the view to the sea; and
- The design of the existing main gate on the north side of the property has been redesigned to match the new gate at the South View Corridor.

A Condition of Approval has been added to require the applicant to continuously prune up the lower branches of the native trees within the South View Corridor to create a view to the sea In order to maintain the view corridor, prune up or remove non-native trees within the South View Corridor to create a view to the sea and remove the shed along the south fence to open the view to the sea (Condition #22).

- f) The proposed project does not include any development on slopes exceeding 30%, there is no Environmentally Sensitive Habitat Areas (ESHA) located on the site and the parcel is not located within a viewshed. An archaeological report, prepared by Archaeological Consulting, concluded that the project area does not contain surface or subsurface evidence of potentially significant cultural resources; therefore, a standard condition for negative reports has been added as a condition of approval (Condition #3).
- g) No Violations The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- h) Health and Safety The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County. Necessary public facilities will be provided. Water and sewer service will be provided by California American Water and Pebble

Beach Community Services District.

- i) The project planner conducted a site inspection on July 22, 2015, May 24, and June 29, 2016 to verify that the project on the subject parcel conforms to the plans listed above.
- j) On March 3, 2016, the Del Monte Forest Land use Advisory Committee recommended approval (5-0 vote) with no changes to the proposed project. They had no issues and were pleased with the proposal.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN150500.

2. **FINDING:**

**SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:**

- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Pebble Beach Community Services District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to archaeological resources and geotechnical hazards. The following reports have been prepared:
  - “Geotechnical Investigation Updates” (LIB160064 & LIB160065) prepared by Haro, Kasunich and Associates, Watsonville, CA January 27, 2016 and August 3, 2016;
  - “Tree Impact Analysis” (LIB160062) prepared by Maureen Hamb, Santa Cruz, CA, February 9, 2015 and August 4, 2016;
  - “Archaeological Findings Update” (LIB160063) prepared by Archaeological Consulting, Salinas, CA, November 24, 2015 and August 5, 2016.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Previous Tree Removal: In 2009 (PLN090366) a Waiver of a Coastal Development Permit was granted to allow the removal of 29 Monterey Pine trees for future development of both the Lower Parcel and Upper Parcel. Pursuant to 20.147.050.C.6, of the Del Monte Forest Coastal Implementation Plan, where removal of native trees is allowed for development, such removal shall be mitigated through replanting or forest preservation either on or off site, whichever is better overall for forest resources. A Forest Management Plan prepared by Maureen Hamb, Certified Arborist, recommended tree replacement on-site. She has inspected and has been monitoring the replacement trees since 2009. She determined that replanting of Monterey Cypress was appropriate for the project site due to the decline and death of the Monterey pine seedlings. As of today’s date, eight coast live oaks and 100-130 Monterey Cypress have been planted. Therefore, there are no unresolved conditions of approval for tree removal. This project does

not propose any additional tree removal. A Condition of Approval will require that existing trees will be protected during construction.

- d) Archaeological Resources: An updated archaeological report prepared by Archaeological Consulting determined that since monitoring was done on the previous project for Parcel 008-455-007, and nothing was found during construction, there is no need for archaeological monitoring for the proposed project. No evidence of archaeological resources was found on Parcel 008-455-008. The updated archaeological report does not recommend archaeological monitoring for the proposed project.

3. **FINDING:**

**CEQA (Addendum):** - An Addendum to a previously certified Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.

**EVIDENCE:**

- a) A Mitigated Negative Declaration (MND) was prepared for PLN070607 and was circulated between October 9, and November 9, 2008. Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an MND has been certified, no subsequent MND shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review.
- b) An Addendum to the Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines). The MND adopted for the previous project identified potential impacts to aesthetics, air quality, biological resources, cultural resources, geology/soils, hazards/hazardous materials, hydrology/water quality and land use/planning. The proposed project will have the same or fewer impacts than the previous project.
- c) The project includes a lot line adjustment to merge three parcels into two conforming parcels, the demolition of a 5,370 square foot one-story single family dwelling; the construction of a 10,254 square foot two-story single family dwelling with attached 490 square foot garage within the same general footprint as the existing home on the Lower Parcel; and the construction of a 3,610 square foot single family dwelling with attached 693 square foot garage on the Upper Parcel.
- d) The proposed project is in the same general footprint as the previous project. The previous project included a mitigation measure for the loss of a landmark oak tree. The Certified Arborist has been inspecting and monitoring replacement trees since 2009. She confirmed that eight coast live oaks and 100 to 130 Monterey Cypress have been planted on site; and therefore, no conditions of approval are required for tree replacement. The proposed project requires no tree removal. The previous project identified a known archaeological site that extends onto APNs 008-455-007-000 and 008-411-017-000. No archaeological resources have been identified on APN 008-455-008-000. The updated

archaeological report does not recommend archaeological monitoring for the proposed project. The previous project identified potential impacts from asbestos and lead-based paint. The proposed project will have no impacts on the environment with regard to asbestos or lead-based paint. Both proposed residences are over 100 feet from the edge of the coastal bluff. The proposed project includes a drainage interceptor to collect and percolate surface run-off and prevent it from entering Carmel Bay. The proposed single family dwelling on APN - 008 will have no impacts to the resources identified in the previous Mitigated Negative Declaration.

- e) Mitigation Measures #2 (tree and root protection), #3 (nesting birds), and #4 (native landscaping) will continue to apply to the proposed project. Mitigation Measures #1 (tree replacement), #5 (archaeological monitor), #6 (asbestos abatement), and #7 (lead paint disposal) are no longer applicable to the proposed project.
- f) No adverse environmental effects were identified other than what was analyzed in the MND during staff review of the development application during a site visit on July 22, 2015, May 24, 2016, and June 29, 2016.

**4. FINDING:**

**LOT LINE ADJUSTMENT** – Section 66412 of the California Government Code (Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code states that lot line adjustments may be granted based upon the following findings:

- 1. The lot line adjustment is between four (or fewer) existing adjoining parcels;
- 2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment;
- 3. The parcels resulting from the lot line adjustment conform to the County’s general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

**EVIDENCE:**

- a) The subject property is located at 1476 Cypress Drive, Pebble Beach (Assessor's Parcel Numbers 008-455-007-000 and 008-411-017-000). The parcel is zoned “LDR/1.5-D (CZ)” Low Density Residential, 1.5 acres per unit, Design Control District in the Coastal Zone.
- b) The Lot Line Adjustment will not create a greater number of parcels than originally existed. Three contiguous separate legal parcels of record will be adjusted into two separate legal parcels of record will result from the adjustment. No new parcels will be created.
- c) The proposed lot line adjustment is consistent as proposed with the Monterey County Zoning Ordinance (Title 20). Minimum building site shall be 1 acre. Two of the three parcels currently conform to the minimum lot size of one acre. The proposal would create two parcels that conform to the minimum one acre lot size. The newly adjusted lot lines are 1.42 acres and 1 acre.
- d) As an exclusion to the Subdivision Map Act, no map is recorded for a Lot Line Adjustment. In order to appropriately document the boundary changes, a Certificate of Compliance for the new lot is required per a standard condition of approval (See Condition #21).
- e) The project planner conducted a site inspection on July 22, 2015, May

24 and June 29, 2016 to verify that the project would not conflict with zoning or building ordinances.

- f) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN150500.

5. **FINDING:** **SITE COVERAGE (DEL MONTE FOREST WATERSHEDS)** – The project limits structural and impervious surface coverage in order to reduce runoff within the Pescadero, Seal Rock Creek, and Sawmill Gulch Watersheds and some smaller unnamed watersheds that drain into the Carmel Bay Area of Special Biological Significance (ASBS).

- EVIDENCE:**
- a) The Del Monte Forest Coastal Implementation Plan –Part 5 limits development of parcels within the Pescadero Watershed to a maximum site coverage of 9,000 square feet. Pursuant to Section 20.147.030.A.1.b of the Del Monte Forest Coastal Implementation Plan - Part 5, Impervious surface (structural and site improvements) coverage is limited to a maximum of 9,000 square feet.
  - b) The proposed development on the “Lower Parcel” proposes 6,777 square feet of structural coverage and 2,223 square feet of impervious surface area for a total of 9,000 square feet. For the Upper Parcel, proposed lot coverage is 4,303 square feet and impervious surface coverage is 661 square feet for a total of 4,964 (4,036 square feet less than allowable 9,000 square feet).
  - c) The total Pescadero Watershed coverage between the two parcels is 13,964 square feet, 4,036 square feet below the Pescadero Watershed limit for both parcels, which eliminates the need for any deed restrictions over the parcels.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150500.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 16 in the Del Monte Forest Land Use Plan).
  - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN150500.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to

- the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Section 20.86.030 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
  - b) Section 20.86.080.A.3 of the Monterey County Zoning Ordinance states that the proposed project is subject to appeal by/to the Coastal Commission because the project is located between the first public road and the ocean.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Certify that the Planning Commission has considered an addendum together with the Mitigated Negative Declaration pursuant to CEQA Guidelines Section 15164; and
2. Approve a Combined Development Permit to allow:
  - a) Coastal Development Permit for a Lot Line Adjustment to merge three legal parcels into two parcels;
  - b) Coastal Administrative Permit and Design Approval to allow the demolition of an existing single family dwelling and construct a new single family dwelling with attached garage;
  - c) Coastal Administrative Permit and Design Approval to construct a new single family dwelling with an attached garage;

based on the findings and evidence in substantial conformance to the attached plans and subject to 23 conditions of approval.

**PASSED AND ADOPTED** this 9<sup>th</sup> day of November, 2016 upon motion of \_\_\_\_\_, seconded by \_\_\_\_\_, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Carl Holm, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150500

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit allows: 1) a Coastal Development Permit for a Lot Line Adjustment to merge three parcels into two 2) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing single family dwelling; and allow the construction of a single family dwelling with attached garage one newly configured parcel, 3) a Coastal Administrative Permit and design approval to allow a single family dwelling with an attached garage on the upper parcel. The property is located at 1476 and 1482 Cypress Drive, Pebble Beach (Assessor's Parcel Numbers 008-455-007-000, 008-455-008-000 and 008-411-017-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:**

"A Combined Development Permit (Resolution Number \*\*\*) was approved by the Planning Commission for Assessor's Parcel Numbers 008-455-007-000, 008-411-017-000 and 008-455-008-000 on November 9, 2016. The permit was granted subject to 22 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or  
Monitoring  
Action to be Performed:**

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation  
Monitoring Measure:**

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or  
Monitoring  
Action to be Performed:**

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD004 - INDEMNIFICATION AGREEMENT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to RMA-Planning .

#### 5. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 7. CALIFORNIA CONSTRUCTION GENERAL PERMIT

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Waste Discharger Identification (WDID) number certifying the project is covered under the California Construction General Permit.  
(RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a WDID number certifying the project is covered under the California Construction General Permit.

## 8. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan may be combined with the grading plan or stormwater control plan provided it is clearly identified. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

## 9. GEOTECHNICAL CERTIFICATION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Investigation. (RMA- Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

## 10. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a grading plan incorporating the recommendations in the project Geotechnical Investigation prepared by Haro, Kasunich and Associates, Inc. The grading plan shall identify the extent of all areas requiring shoring during construction, and the shoring details shall be included on the grading plan. The geotechnical inspection schedule shall also be included on the plan, and the applicant shall provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

## 11. INSPECTION-DURING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

## 12. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

## 13. INSPECTION-PRIOR TO LAND DISTURBANCE

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

## 14. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

## 15. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the DPW.

## 16. WR003 - DRAINAGE PLAN - RETENTION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to demonstrate compliance with the stormwater policies of the Del Monte Forest Land Use Plan. The plan shall provide on-site retention to prevent off-site discharge from storms less than or equal to the 85th percentile 24-hour rainfall event. If on-site retention is not feasible, then on-site detention with water quality treatment shall be provided. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

## 17. WR049 - WATER AVAILABILITY CERTIFICATION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:  
[www.mcwra.co.monterey.ca.us](http://www.mcwra.co.monterey.ca.us).

**18. MITIGATION MEASURE #2 TREE AND ROOT PROTECTION (NON STANDARD)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** TREE AND ROOT PROTECTION: Indirect impacts to on-site trees shall be avoided the maximum extent feasible through avoidance of the critical root zone. this shall be accomplished through the following means:

- a. Protective fencing shall be installed.
- b. Grade changes shall be analyzed once the grading and drainage plans are finalized and the building location is staked. If minor grade changes (1 to 18 inches) or sloping is necessary within 10 feet of a retained tree it can be done manually during the landscape phase of the project. Grade changes over two feet may require the use of a small wall.
- c. No soil excavation shall be carried out except where necessary to install foundations. A pre-construction root exploration of all potentially excavated areas shall be carried out and no roots larger than one inch shall be damaged. Where roots larger than one inch are found, pier and above-grade beam foundations shall be used to achieve this objective.
- d. Trenching for underground services shall be located outside the root zone.
- e. Irrigation trenches shall be located outside the critical root zone. If necessary, supply lines can be located above above grade and covered by mulch. Emitters in these area are restricted to drip-type only.
- f. Soil compaction cause by workers and equipment shall be reduced by the installation of a mulch layer (wood chips).
- g. Monitoring of the initial site clearing and demolition shall be performed at least twice weekly to ensure compliance wiht the tree protection measures.
- h. Contractors and sub contractors shall be supplied with a copy of the TREE PRESERVATION SPECIFICATIONS contained in the Tree Resource Evaluation before entering the construction site. (RMA Planning)

**Compliance or Monitoring Action to be Performed:** MONITORING ACTION #2: Prior to the start of construction, a qualified arborist/botanist shall be retained to identify trees which would be potentially impacted by construction. The arborist/botanist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activites within the critical root zone of the oak trees near by to ensure compliance with the above listed measures. The applicant shall submit a report the Resource Management Agency - Planning Department, from a qualified arborist, describing how the measures were implemented and describing impacts, if any to retained trees from construction activities. A subsequent Coastal Development Permit may be required if impacts resulting in tree mortality are incurred from construction activities.

**19. MITIGATION MEASURE #3 - PRECONSTRUCTION SURVEY FOR NESTING BIRDS (NON- STANDARD)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** PRE-CONSTRUCTION SURVEY FOR NESTING BIRDS. The following mitigation is required in order minimize potentially adverse impacts to native resident special status nesting avian species:

- A pre-construction survey for special status nesting avian species (and other species protected under the Migratory Bird Act) shall be conducted by a qualified biologist at least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 16).
- If nesting birds are not found, no further action would be necessary.
- If a nesting bird or an active nest is found, construction within 200 feet of the nest site, or an appropriate construction buffer established in consultation with the CDFG, should be postponed until after the bird has fledged (or the nest appears to be inactive).

**Compliance or Monitoring Action to be Performed:** MONITORING ACTION #3: At least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15), a qualified biologist shall be retained to conduct nesting bird surveys and establish adequate protection fencing limits if necessary. Proof and results of the survey shall be submitted to the RMA - Planning Department for review and approval.

**20. MITIGATION MEASURE #4: NATIVE LANDSCAPING (NON-STANDARD)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** NATIVE LANDSCAPING: A Landscape Plan shall be prepared for the proposed project which eliminates large expanses of watered lawn includes native coastal bluff vegetation along the ocean frontage. The Landscape Plan shall also include the proposed tree replacement planting locations and removal of the following invasive species currently located on the property: blackwood acacias (*Acacia melanoxylon*), yellow wattle acacias (*Acacia longifolia*), ice plant (*Carpobrotus edulis*), and kikuyu grass (*Pennisetum clandestinum*). (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** MONITORING ACTION #4: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA- Planning Department. The landscaping plan shall be in sufficient detail to identify the locations, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 21. PD045 - COC (LOT LINE ADJUSTMENTS)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to RMA-Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

## 22. SPPD001 - PROTECTION OF SCENIC AND VISUAL RESOURCES (NON-STANDARD)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The LCP protects the scenic and visual resources of the Del Monte Forest, including specific policies related to the 17-Mile Drive corridor. New development, including such structures as fences constructed between 17 Mile Drive and the sea, shall be designed and sited to minimize obstructions of and degradation to views from the road to the sea. Height limits, use of see-through materials for fences, and limitations on landscape materials that would block views, are methods that should be used to reduce obstruction.

A fence/gate has been designed to open a public view corridor along the south side of the property (South View Corridor). In order to maintain the view corridor, the applicant shall continuously:

- Prune up the lower branches of the native trees within the South View Corridor to create a view to the sea;
- Prune up or remove non-native trees within the South View Corridor to create a view to the sea;
- Remove the shed along the south fence to open the view to the sea.

(RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to final of any grading/building permits, the applicant shall submit evidence (photos) that the trees have been pruned up and the shed has been removed.

Pruning of the trees shall be on-going.

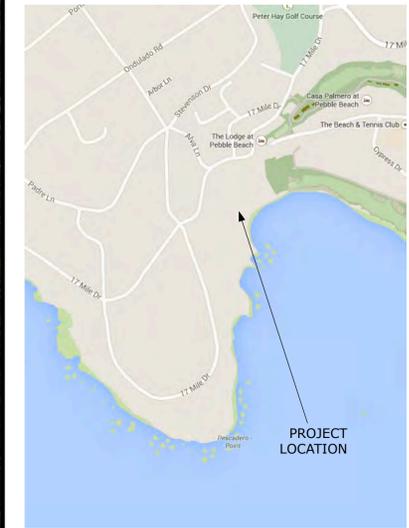


## 1476 CYPRESS DRIVE



## 1482 CYPRESS DRIVE

### VICINITY MAP



### SHEET INDEX

A0.0	COVER SHEET
A0.1	PROJECT DATA
CMP	Construction Management Plan
SUR	Property Survey
A1.0	Proposed Site Plan
A1.0-A	Alternate Site Plan
C100	Grading Plan
C200	Drainage Plan
C300	Civil Notes
C400	Erosion Control and Sediment Control Plan
L 1.0	Proposed Landscape Plan
A2.0	Proposed Main level Floor Plan 1476
A2.1	Proposed Upper Level Floor 1476
A3.0	Proposed Roof Plan 1476
A4.0	Proposed Elevations 1476 with Materials Samples
A5.0	Proposed Floor Plan 1482
A6.0	Proposed Roof Plan 1482
A7.0	Proposed Elevations 1482 with Materials Samples
SUR	Tentative Lot Merger Map

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480

1476 CYPRESS DRIVE  
&  
1482 CYPRESS DRIVE  
PEBBLE BEACH, CA. 93953

APN: 008-455-007  
&008  
October 14, 2016

**PANATTONI RESIDENCES**  
**COVER SHEET**

Revisions:


**A0.0**

# 1476 CYPRESS DRIVE

## PROJECT DATA

<b>PROPERTY OWNER:</b>	Carl Panattoni PH: (831) 375-1890	<b>MAX BUILDING HEIGHT:</b>	30 FT. Allowed 24.0 FT. Proposed	<b>BUILDING SITE COVERAGE ALLOWED:</b>	61,806 SF $\times 15\%$ 9,271.0 SF
<b>PROJECT ADDRESS:</b>	1476 Cypress Drive Pebble Beach, CA 93953	<b>TREE REMOVAL:</b>	NONE	<b>BUILDING SITE COVERAGE PROPOSED:</b>	6,777.00 SF or 10.1%
<b>APPLICANT:</b>	CYNTHIA SPELLACY STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREY, CA. 93940 PH: (831) 375-1890	<b>GRADING:</b>	SITE cut = 1320 CY SITE fill = 200 CY	<b>BUILDING FAR ALLOWED:</b>	61,806 SF $\times 17.5\%$ 10,816 SF
<b>A.P.#:</b>	008-455-007 008-411-017	<b>LOT SIZE EXISTING:</b>	51,345 SQ. FT. for 008-455-007 8,650 SQ. FT. for 008-411-017 (above M.S.L.) 1,811 SQ. FT. from 008-455-008	<b>BUILDING FAR PROPOSED:</b>	10,744 SF or 17.4%
<b>ZONING:</b>	LDR/1.5-D(CZ)	<b>LOT SIZE PROPOSED:</b>	61,806 SQ. FT. for 008-455-007	<b>IMPERVIOUS SITE COVERAGE EXISTING:</b>	STRUCTURAL SITE COVERAGE = 4,970 SF IMPERVIOUS SITE COVERAGE = 7234 SF TOTAL = 12,204 SF
<b>PROJECT CODE COMPLIANCE:</b>	2013 CBC, CRC, CPC, CEC, CMC, CFC, CALIFORNIA ENERGY CODE, & GREEN BUILDING CODE	<b>FLOOR AREA EXISTING:</b>	(E) MAIN RESIDENCE = 4,570 SF MAIN LEVEL = 400 SF UPPER LEVEL = 400 SF GARAGE = 400 SF TOTAL = 5,370 SF	<b>IMPERVIOUS SITE COVERAGE PROPOSED:</b>	STRUCTURAL SITE COVERAGE = 6,777 SF IMPERVIOUS SITE COVERAGE = 1,062 SF WALLS = 1,161 SF STAIRS = 1,161 SF TOTAL = 9,000 SF
<b>OCCUPANCY GROUP:</b>	R-3	<b>FLOOR AREA PROPOSED:</b>	MAIN RESIDENCE = 6,287 SF MAIN LEVEL = 3,967 SF UPPER LEVEL = 490 SF GARAGE = 490 SF TOTAL = 10,744 SF		
<b>CONSTRUCTION TYPE:</b>	V				
<b>TOPOGRAPHY:</b>	Flat Bluff Gentle slope less than 30%				
<b>SEWER:</b>	PB Community Services District				
<b>WATER:</b>	Cal Am Water				

## DESCRIPTION

DEMOLITION OF EXISTING 4,970 sf SINGLE FAMILY RESIDENCE RESIDENCE WITH ATTACHED GARAGE WHICH INCLUDES:  
  
CONSTRUCTION OF NEW 10,744 SF SINGLE FAMILY RESIDENCE RESIDENCE WITH ATTACHED 490 SF GARAGE

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

Ph 831.375.1880 Fax 831.375.1480

21 Mandeville Court Monterey, CA 93940

1476 CYPRESS DRIVE &  
1482 CYPRESS DRIVE  
PEBBLE BEACH, CA. 93953

APN: 008-455-007 & 008

October 14th, 2016

# 1482 CYPRESS DRIVE

## PROJECT DATA

<b>PROPERTY OWNER:</b>	Carl Panattoni PH: (831) 375-1890	<b>MAX BUILDING HEIGHT ALLOWED:</b>	30 FT.	<b>BUILDING SITE COVERAGE ALLOWED:</b>	43,563 X 15% 6,534 SF
<b>PROJECT ADDRESS:</b>	1482 Cypress Drive Pebble Beach, CA 93953	<b>MAX BUILDING HEIGHT PROPOSED:</b>	14.5' FT.	<b>BUILDING SITE COVERAGE PROPOSED:</b>	4,303 SF or 9.9%
<b>APPLICANT:</b>	CYNTHIA SPELLACY STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREY, CA. 93940 PH: (831) 375-1890	<b>TREE REMOVAL:</b>	NONE	<b>BUILDING FAR ALLOWED:</b>	43,563 SF $\times 17.5\%$ 7,624 SF
<b>A.P.#:</b>	008-455-008	<b>GRADING:</b>	incl in above site	<b>BUILDING FAR PROPOSED:</b>	4,303 SF or 9.9%
<b>ZONING:</b>	LDR/1.5-D(CZ)	<b>LOT SIZE EXISTING:</b>	45,374 SQ. FT. -1,811 to 008-455-007	<b>SITE COVERAGE PROPOSED:</b>	STRUCTURAL SITE COVERAGE = 4,303 SF IMPERVIOUS SITE COVERAGE = 273 SF WALLS = 388 SF PATIOS = 388 SF TOTAL = 4,964 SF
<b>PROJECT CODE COMPLIANCE:</b>	2013 CBC, CRC, CPC, CEC, CMC, CFC, CALIFORNIA ENERGY CODE, & GREEN BUILDING CODE	<b>LOT SIZE PROPOSED:</b>	43,563 SQ. FT.		
<b>OCCUPANCY GROUP:</b>	R-3	<b>FLOOR AREA PROPOSED:</b>	MAIN RESIDENCE = 3,610 SF MAIN LEVEL = 693 SF GARAGE = 693 SF TOTAL = 4,303 SF		
<b>CONSTRUCTION TYPE:</b>	V				
<b>TOPOGRAPHY:</b>	Flat Bluff Gentle slope less than 30%				
<b>SEWER:</b>	PB Community Services District				
<b>WATER:</b>	Cal Am Water				

## DESCRIPTION

CONSTRUCTION OF NEW 3,610 SF SINGLE FAMILY RESIDENCE RESIDENCE WITH ATTACHED 693 SF GARAGE

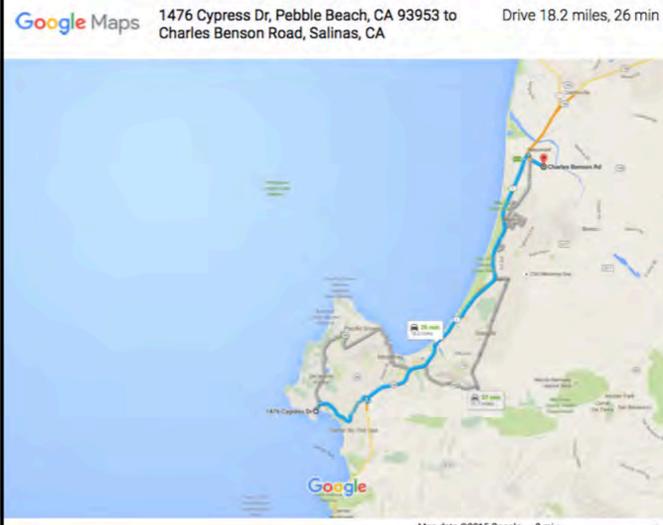
PANATTONI RESIDENCES

PROJECT DATA

Revisions:

A0.1

**HAULING ROUTE**

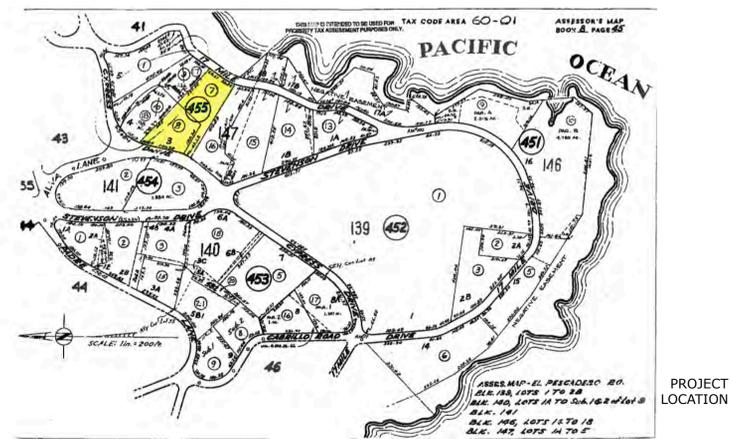


**1476 Cypress Dr**  
Pebble Beach, CA 93953

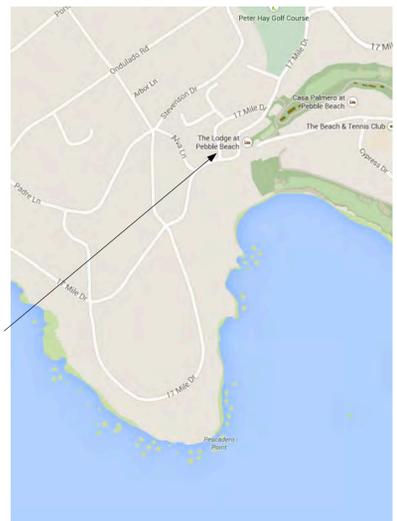
Get on CA-1 N/Cabrillo Hwy from 17 Mile Dr

- 1. Head north on 17 Mile Dr/Cypress Dr toward Alva Ln  
Continue to follow 17 Mile Dr 11 min (3.8 mi)
- 2. Slight right to stay on 17 Mile Dr 0.5 mi
- 3. Slight right to stay on 17 Mile Dr  
Partial toll road 256 ft
- 4. Turn left toward CA-68 E 3.0 mi

**SITE MAP**



**VICINITY MAP**



**CONSTRUCTION NOTES**

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8 AM TO 5PM
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY, FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS ( 15 MPH )
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES ( E.G.: CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/ OR SEDIMENT FROM LEAVING THE SITE.

**CONSTRUCTION COORDINATOR**

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION ( IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION ( INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION ( IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HRS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

**CONSTRUCTION ACTIVITY DESCRIPTION**

DURATION: November 2016 - November 2018

MONDAY THRU FRIDAY 8AM - 5PM

10 WORKERS  
10 REGULAR PICKUP TRUCKS

80% RECYCLE RATE FOR LUMBER.

TRASH AND UN RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND A REGULAR PICKUP TRUCK ONCE A MONTH TO THE MARINA LANDFILL.

AREA 1: VEHICULAR PARKING ON EXISTING DG DRIVEWAY  
AREA 2: MATERIAL STOCKPILE

THE ONLY GRADING TO BE DONE IS TO CUT THE FOOTINGS. THERE IS NO IMPORT OR EXPORT OF DIRT.

NO PARKING ON ROAD



**PARKING & MATERIAL STOCKPILE**

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

1476 CYPRESS DRIVE & 1482 CYPRESS DRIVE  
PEBBLE BEACH, CA. 93953

APN: 008-455-007 & 008

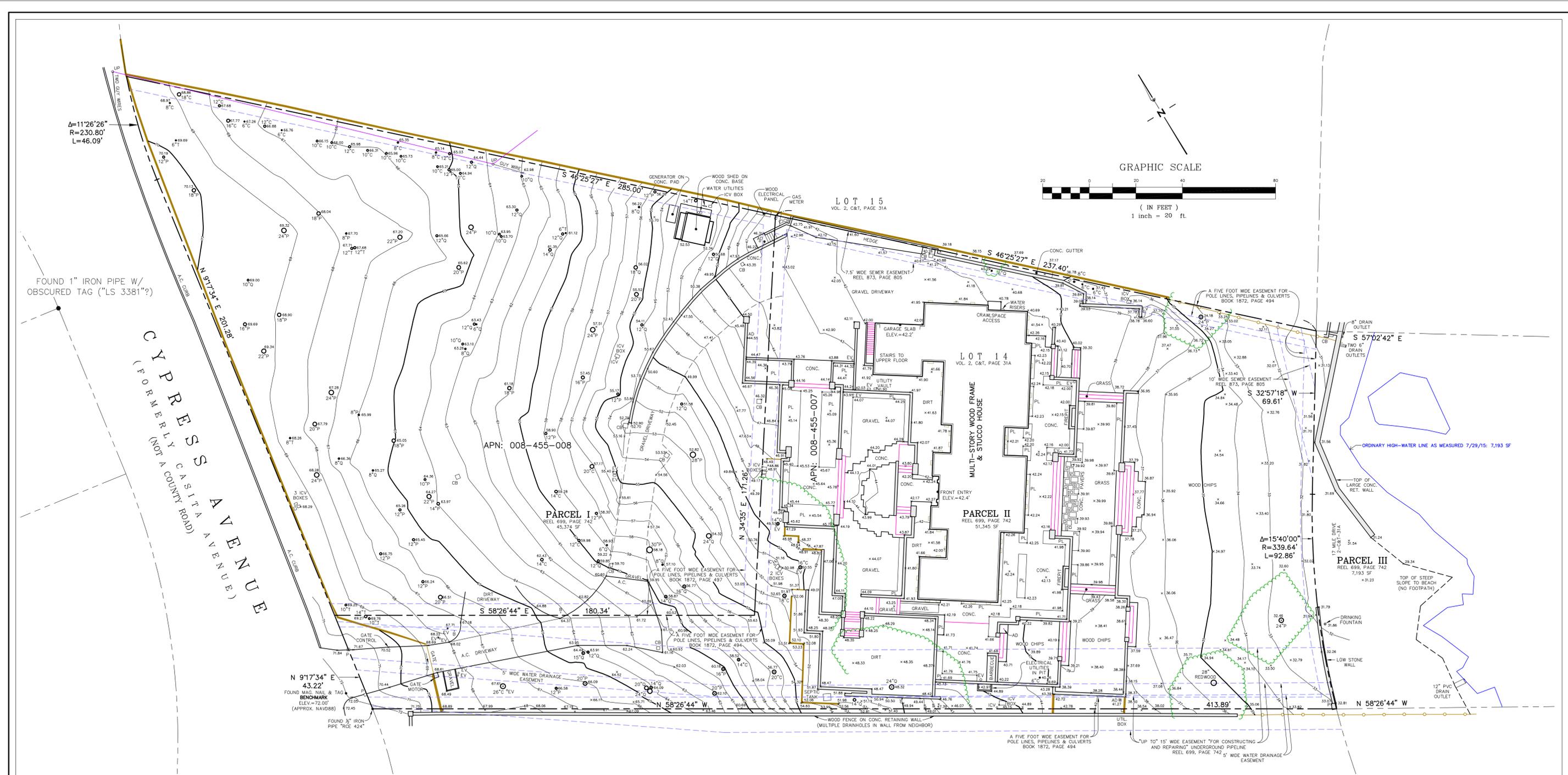
October 14th, 2016

**PANATTONI RESIDENCES**  
**CONSTRUCTION MANAGEMENT PLAN**

Revisions:


**CMP**

21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480



**NOTES:**

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & TAG FOUND IN THE DRIVEWAY PAVEMENT, AS SHOWN.  
ELEVATION = 72.00 FEET (APPROX. NAVD88)
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.  
8"C DENOTES 8" DIA. CYPRESS TREE (TYP.)  
8"P DENOTES 8" DIA. PINE TREE (TYP.)  
8"O DENOTES 8" DIA. OAK TREE (TYP.)  
8"T DENOTES 8" DIA. TREE (TYP.)

**COMPILED TOPOGRAPHIC MAP**  
OF  
A PORTION OF LOT 14 AS SHOWN ON "AMENDED  
MAP OF PEBBLE BEACH", FILED OCT. 13, 1911 IN  
VOL. 2, "CITIES & TOWNS", PG. 31A

PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
**Carl D. Panattoni**

BY  
**CENTRAL COAST SURVEYORS**  
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940  
Phone: (831) 394-4930  
Fax: (831) 394-4931

SCALE: 1" = 20' JOB No. 13-36 OCTOBER 2013  
PREPARED BY: DRZ

APNs 008-411-017, 008-455-007 & -008  
UPDATED JULY 30, 2015; LOCATED ORDINARY HIGH-WATER LINE





**SITE PLAN**

scale: 1/20" = 1'-0"



**SITE LEGEND**

- PROPERTY LINE - - - - -
- SETBACK LINE - - - - -

Revisions:


**A1.0**

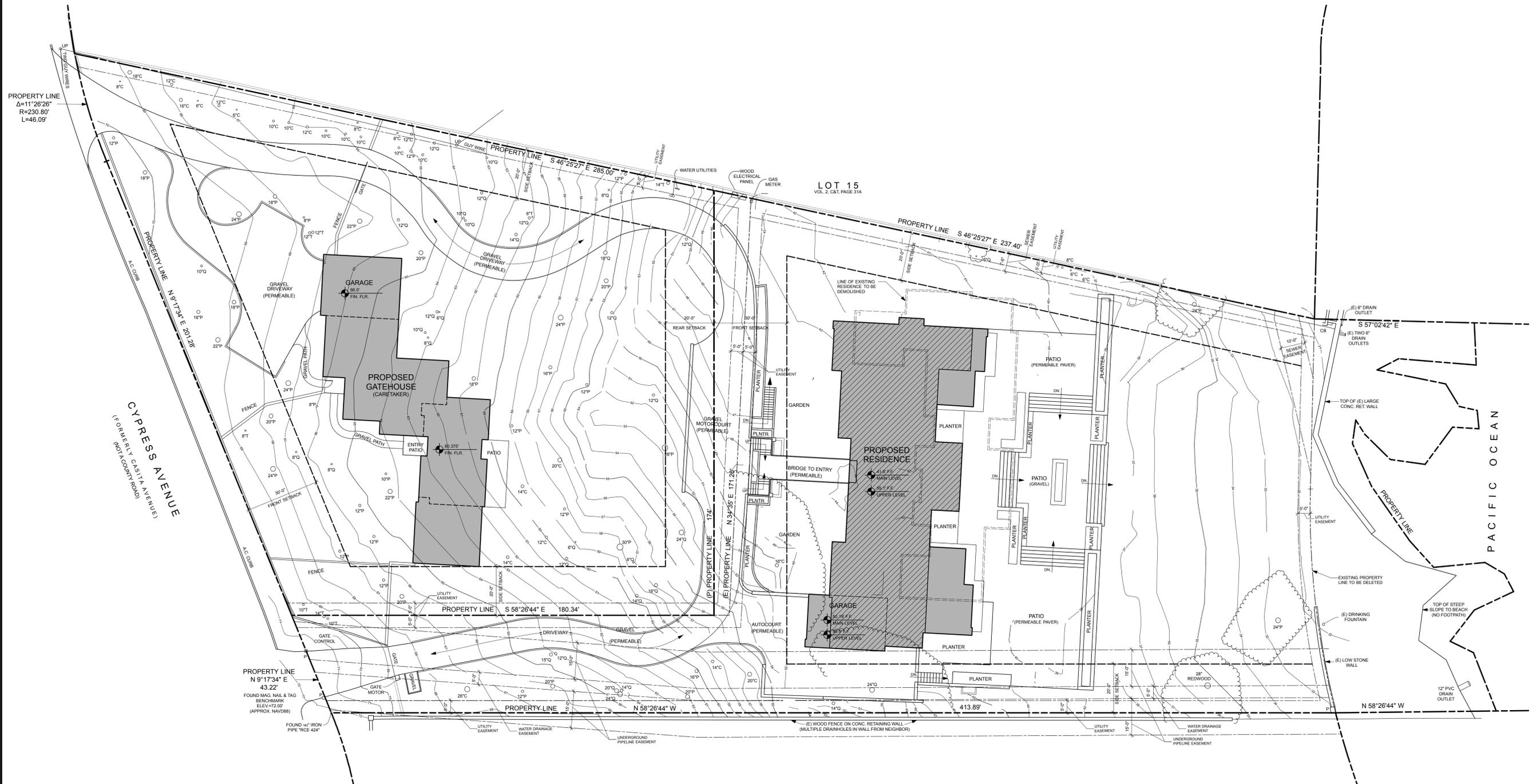
**PANATTONI RESIDENCES  
PROPOSED SITE  
PLAN**

1476 CYPRESS DRIVE  
&  
1482 CYPRESS DRIVE  
PEBBLE BEACH, CA. 93953

October 14th, 2016 APN: 008-455-007  
&008

**Stocker & Allaire**  
General Contractors, Inc. Lic. # 504797

21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480



**ALTERNATE SITE PLAN**

scale: 1/20" = 1'-0"



**SITE LEGEND**

- PROPERTY LINE - - - - -
- SETBACK LINE - - - - -

Revisions:


**A1.0 - A**

**PANATTONI RESIDENCES  
ALTERNATE PROPOSED  
SITE PLAN**

1476 CYPRESS DRIVE  
&  
1482 CYPRESS DRIVE  
PEBBLE BEACH, CA. 93953

October 14th, 2016  
APN: 008-455-007  
&008

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797  
21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480

**PROJECT INFORMATION:**

PROJECT NAME: PANATTONI RESIDENCE  
 PROJECT ADDRESS: 1476 & 1482 CYPRESS DRIVE, PEBBLE BEACH, CA 93953  
 APN: 008-455-007, -008  
 PURPOSE OF GRADING: TWO NEW SINGLE FAMILY DWELLINGS  
 APPLICANT: STOCKER & ALLARE, INC., 218 MANDEVILLE CT., MONTEREY, CA 93940  
 ARCHITECT: STOCKER & ALLARE, INC., 218 MANDEVILLE CT., MONTEREY, CA 93940  
 GEOTECHNICAL ENGINEER: HARO, KASUNICH AND ASSOCIATES, INC., 116 EAST LAKE AVENUE, WATSONVILLE, CA 95076, PH 831.722.4175  
 CIVIL ENGINEER: BENJAMINI ASSOCIATES, INC., 720 YORK STREET, #114, SAN FRANCISCO, CA 94110, PH 415.550.2600

**QUANTITIES:**

GRADING QUANTITIES	CY
SITE CUT	1320
SITE FILL	200

ITEM	AREA (SF)
CROSS LOT AREA	96730
PRE-PROJECT IMPERVIOUS SURFACE	16610
POST-PROJECT IMPERVIOUS SURFACE	12810

LAND PROPOSED FOR NEW DEVELOPMENT WHERE SLOPE IS EQUAL TO OR GREATER THAN 30%:	350
--	-----

**CIVIL SHEET INDEX:**

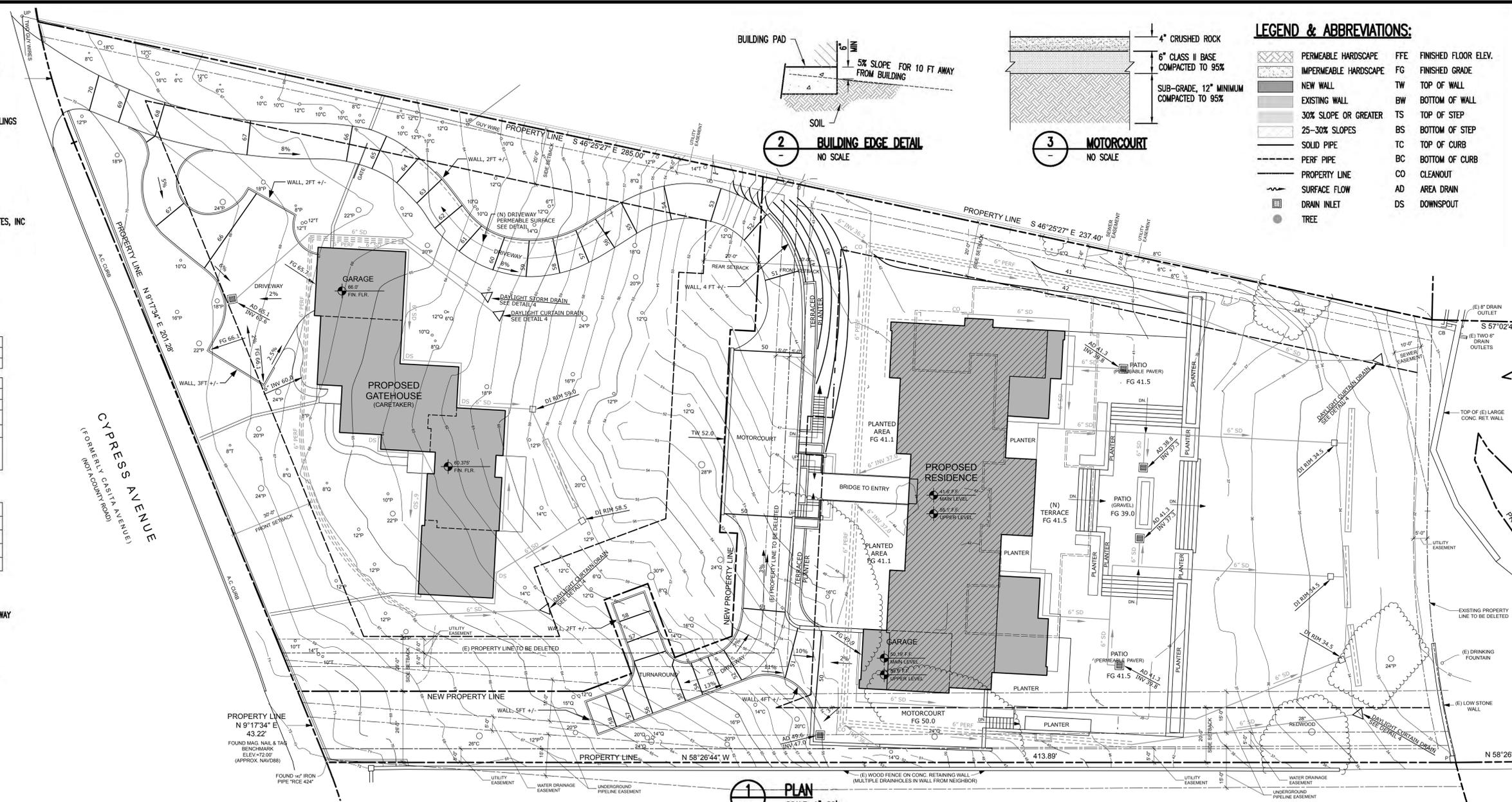
SHEET	DESCRIPTION
C100	GRADING PLAN
C200	DRAINAGE PLAN
C300	NOTES
C400	EROSION AND SEDIMENT CONTROL

**BENCHMARK:**

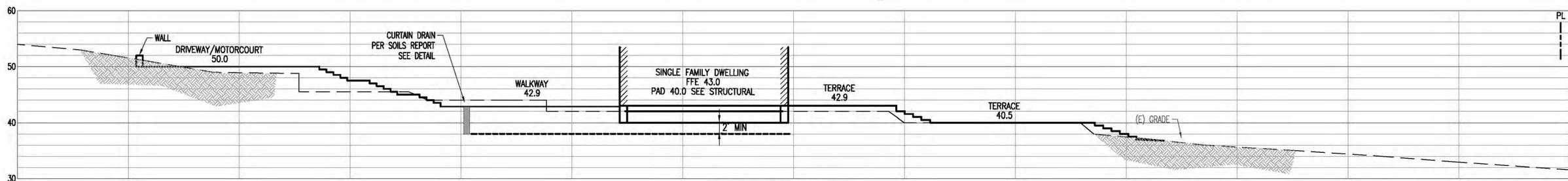
PROJECT BENCHMARK IS A MAG. NAIL & TAG FOUND IN THE DRIVEWAY PAVEMENT, ELEV 72.00 (APPROX. NAVD88)

**GEOTECHNICAL INVESTIGATION:**

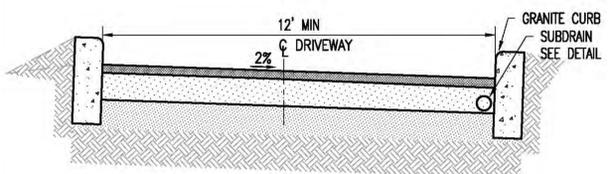
ALL WORK TO COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED BY HARO, KASUNICH AND ASSOCIATES, INC FILE NO. M10963, DATED JANUARY 2016



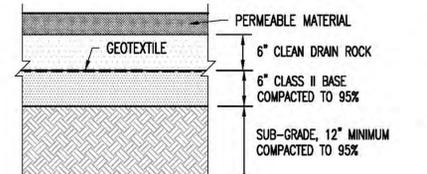
**1 PLAN**  
SCALE: 1"=20'



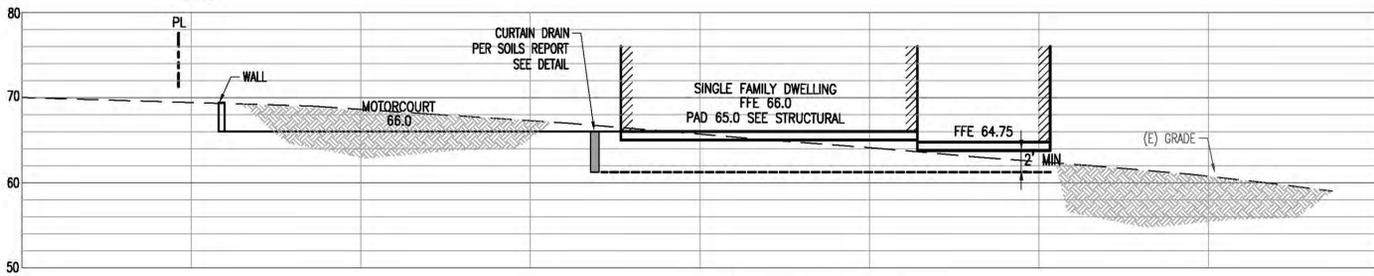
**4 SECTION A-A**  
SCALE: 1"=20'



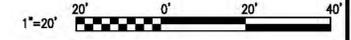
**5 DRIVEWAY SECTION, TYP**  
NOT TO SCALE



**6 DRIVEWAY**  
NO SCALE



**7 SECTION B-B**  
SCALE: 1"=20'



**LEGEND & ABBREVIATIONS:**

- PERMEABLE HARDSCAPE FFE FINISHED FLOOR ELEV.
- IMPERVIOUS HARDSCAPE FG FINISHED GRADE
- NEW WALL TW TOP OF WALL
- EXISTING WALL BW BOTTOM OF WALL
- 30% SLOPE OR GREATER TS TOP OF STEP
- 25-30% SLOPES BS BOTTOM OF STEP
- SOLID PIPE TC TOP OF CURB
- PERF PIPE BC BOTTOM OF CURB
- PROPERTY LINE CO CLEANOUT
- SURFACE FLOW AD AREA DRAIN
- DRAIN INLET DS DOWNSPOUT
- TREE

**2 BUILDING EDGE DETAIL**  
NO SCALE

**3 MOTORCOURT**  
NO SCALE

NO.	DESCRIPTION	DATE	APPROVED
02-11-16	AB		



**BENJAMINI ASSOCIATES INC**  
 CIVIL ENGINEERS  
 720 YORK STREET, SUITE 114, SAN FRANCISCO, CA 94110  
 415.550.2600  
 BENJAMINI

**1476 & 1482 CYPRESS DRIVE**  
**PEBBLE BEACH, CA 93953**  
**APN: 008-455-007, -008**

PANATTONI RESIDENCES  
**CIVIL IMPROVEMENTS**  
**GRADING PLAN**

DATE	10/14/16
SCALE	1"=20'
DESIGN	AB
DRAWN	EA
PROJECT	16005
SHEET	1 of 4

**C100**





**LEGEND**

-  INLET FILTER PROPERTY LINE  
Δ=11°29'26" R=230.80' L=46.09'
-  FIBER ROLL
-  STABILIZED CONSTRUCTION ENTRANCE

**EROSION AND SEDIMENT CONTROL NOTES:**

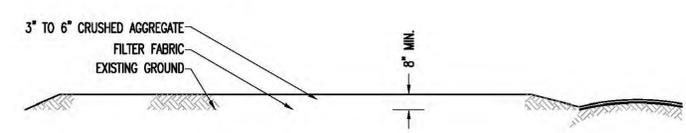
1. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
2. STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 14 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
3. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
4. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION. ALL YEAR ROUND, EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
5. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY START OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONDITIONS OF EPCP SHALL BE FOLLOWED AT ALL TIMES. YEAR AROUND. REFER TO EROSION CONTROL PLANS/DETAILS FOR ADDITIONAL REQUIREMENTS.
6. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AS NECESSARY AT THE END OF EACH WORKING DAY OR AFTER SIGNIFICANT RAIN.
7. CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.
8. ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN AND RELATED DOCUMENTS.
9. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
10. ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
11. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY THE JURISDICTION AND ALL SLOPES ARE STABILIZED.
12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE JURISDICTION.
13. REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APPARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF THE JURISDICTION.
14. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
15. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING TO KEEP DUST, SOIL, AND OTHER CONSTRUCTION DEBRIS FROM LEAVING PROJECT SITE.
17. CONTRACTOR WILL PROVIDE AND MAINTAIN A CAL-TRANS APPROVED CONCRETE WASH OUT. CONTRACTOR WILL PROVIDE AND MAINTAIN ACCESS TO WASH OUT FACILITIES.
18. CONTRACTOR SHALL SUSPEND EXCAVATION AND GRADING ACTIVITY WHEN WINDS (INSTANTANEOUS GUSTS) EXCEED 25 MPH.
19. CONTRACTOR SHALL INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC RIGHT-OF-WAYS.
20. CONTRACTOR SHALL SWEEP STREETS DAILY WITH WATER SWEEPERS, IF VISIBLE AMOUNTS OF SOIL MATERIAL ARE CARRIED ONTO PUBLIC STREETS.
21. CONTRACTOR SHALL PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES, TO MINIMIZE DUST POLLUTION.
22. SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING AFFILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT (CBC 1705.6)
23. A FINAL SOILS LETTER FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION.
24. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCT 15 THROUGH APRIL 15)
25. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLED EROSION (MCC 16.08.300 C2).
26. DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS (MCC 16.08.340).
27. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION (MCC 16.12.100).
28. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
29. THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY (MCC 16.12.090 B5).

**EROSION AND SEDIMENT CONTROL NOTES (CONTINUED):**

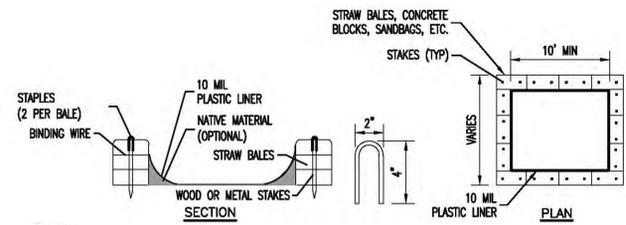
30. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
31. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
32. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
33. 1. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING AS NECESSARY DURING ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS.
34. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
35. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR. ALL AIR DISTRICT STANDARDS SHALL BE ENFORCED BY THE AIR DISTRICT.



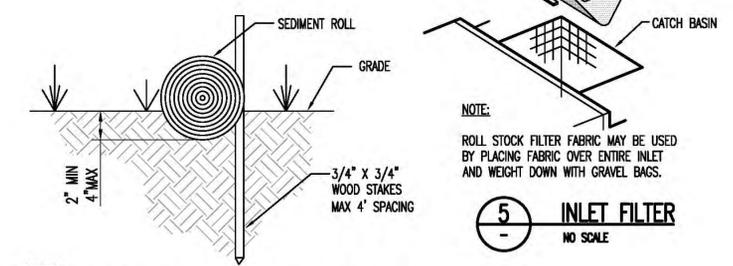
**1 PLAN**  
SCALE: 1"=20'



**2 STABILIZED CONSTRUCTION ENTRANCE**  
NO SCALE



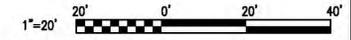
**3 CONCRETE WASHOUT**  
NO SCALE



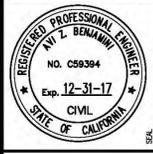
**5 INLET FILTER**  
NO SCALE

- NOTES**
1. COIL ROLLS WRAPPED IN TUBULAR NETTING SUPPLIED IN 20'-25' ROLLS.
  2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 2" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

**4 FIBER ROLL**  
NO SCALE



NO.	DATE	DESCRIPTION	APPROVED
1	7/26/16	FOR PERMIT	AB



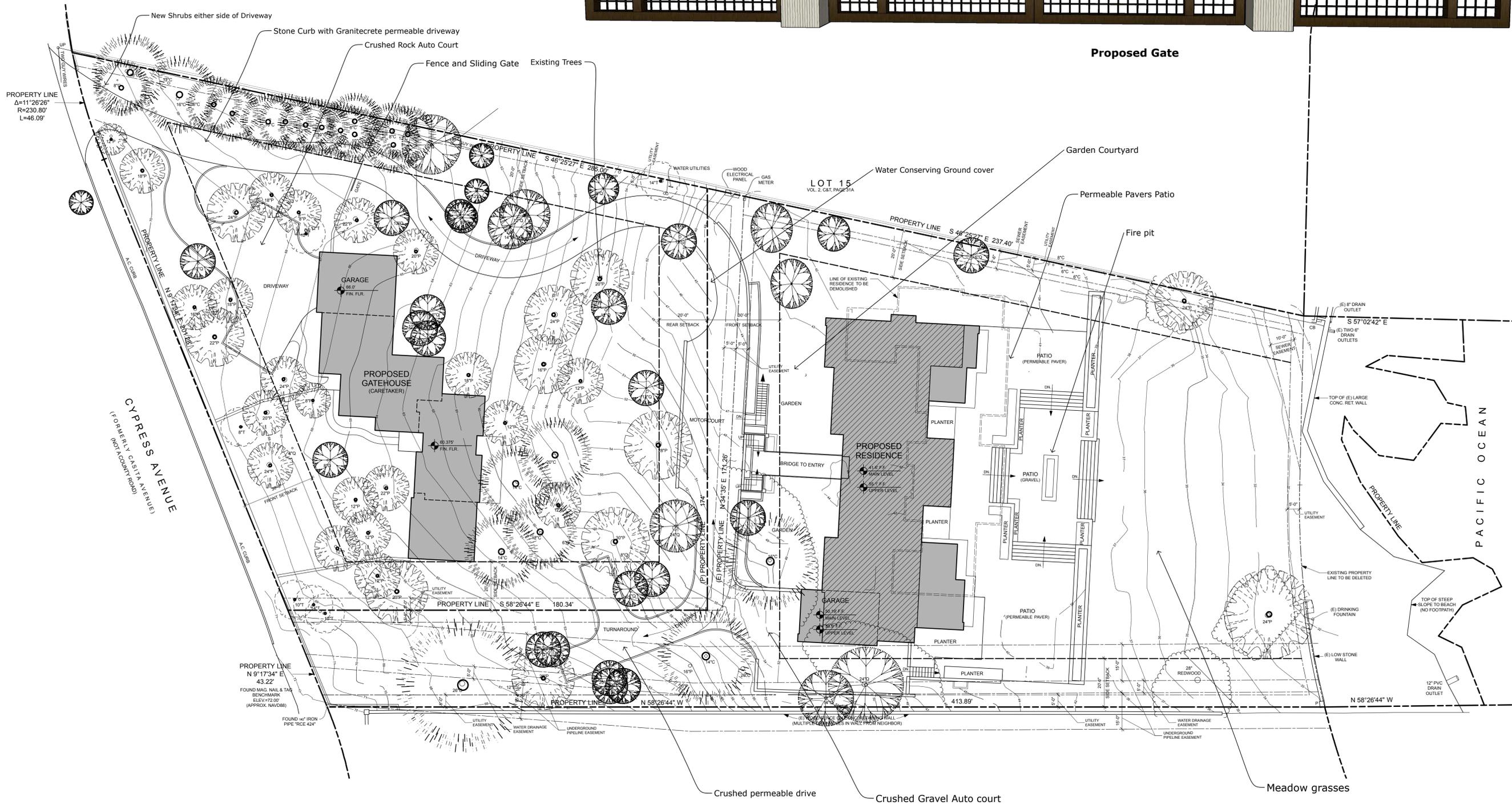
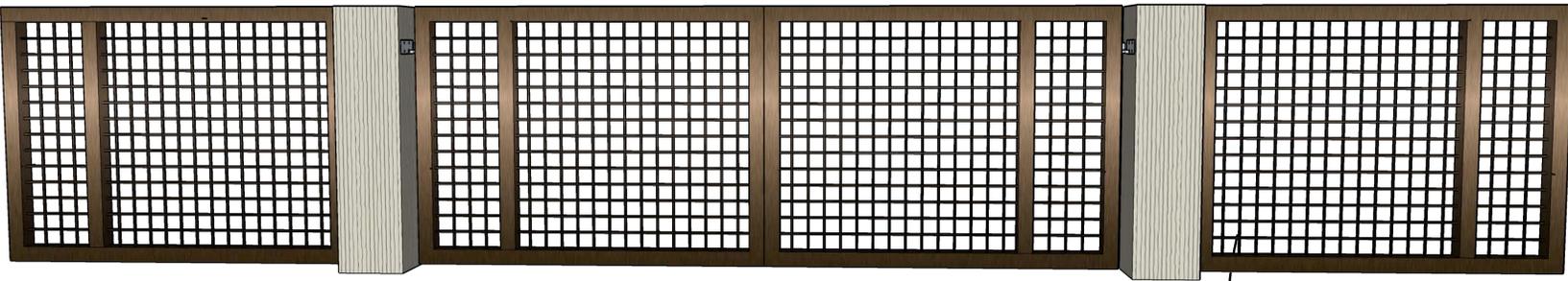
**BAL** BENJAMIN ASSOCIATES INC.  
CIVIL ENGINEERS  
225 CALIFORNIA STREET, SUITE 300 SAN FRANCISCO, CA 94102  
REG. NO. 10000

**1476 & 1482 CYPRESS DRIVE**  
**PEBBLE BEACH, CA 93953**  
**APN: 008-455-007, -008**

PANATTONI RESIDENCES  
**CIVIL IMPROVEMENTS**  
**EROSION AND SEDIMENT CONTROL PLAN**

DATE	10/14/16
SCALE	1"=20'
DESIGN	AB
DRAWN	EA
PROJECT	16005
SHEET	4 OF 4

**C400**



**LANDSCAPE PLAN**

scale: 1/20"=1'-0"

NO.	DATE	REVISIONS:	DESCRIPTION
1			
2			
3			
4			
5			



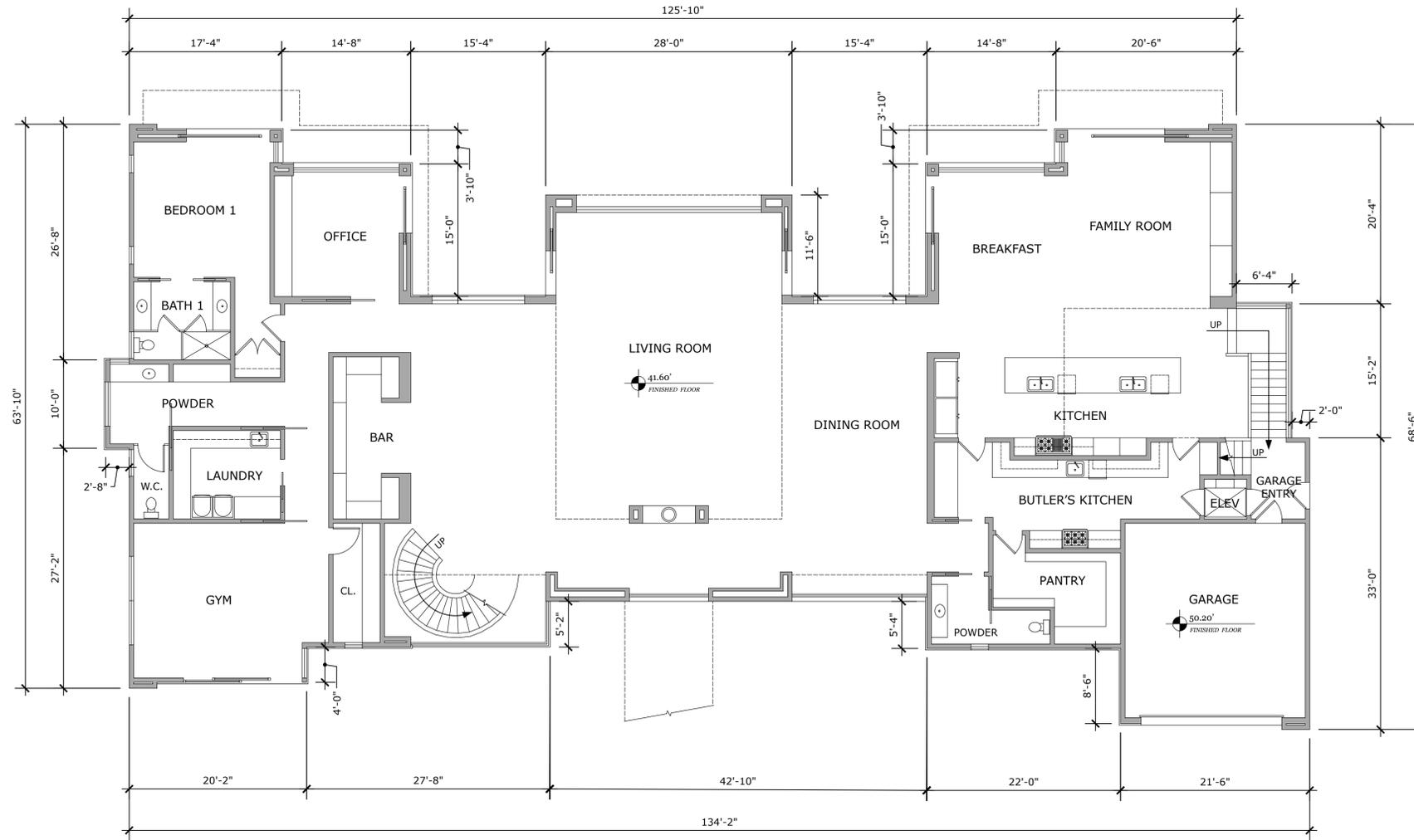
**JONI L. JANECKI**  
 LANDSCAPE ARCHITECT  
 515 SWIFT ST. SANTA CRUZ, CA 95060  
 PHONE 831.423.6040 | FAX 831.423.6054  
 EMAIL J.L.JANECKI.COM | WWW.J.L.JANECKI.COM  
 California Landscape Architect License 3163

**PANATTONI RESIDENCE**  
 1476 CYPRESS DRIVE  
 PEBBLE BEACH, CALIFORNIA

PROJECT:

**SITE MATERIALS PLAN**

Scale: 1" = 20'-0"  
 Drawn By: CJ/OW  
 Issued: 7/26/16



**PROPOSED MAIN LEVEL FLOOR PLAN**

scale: 1/8"=1'-0"

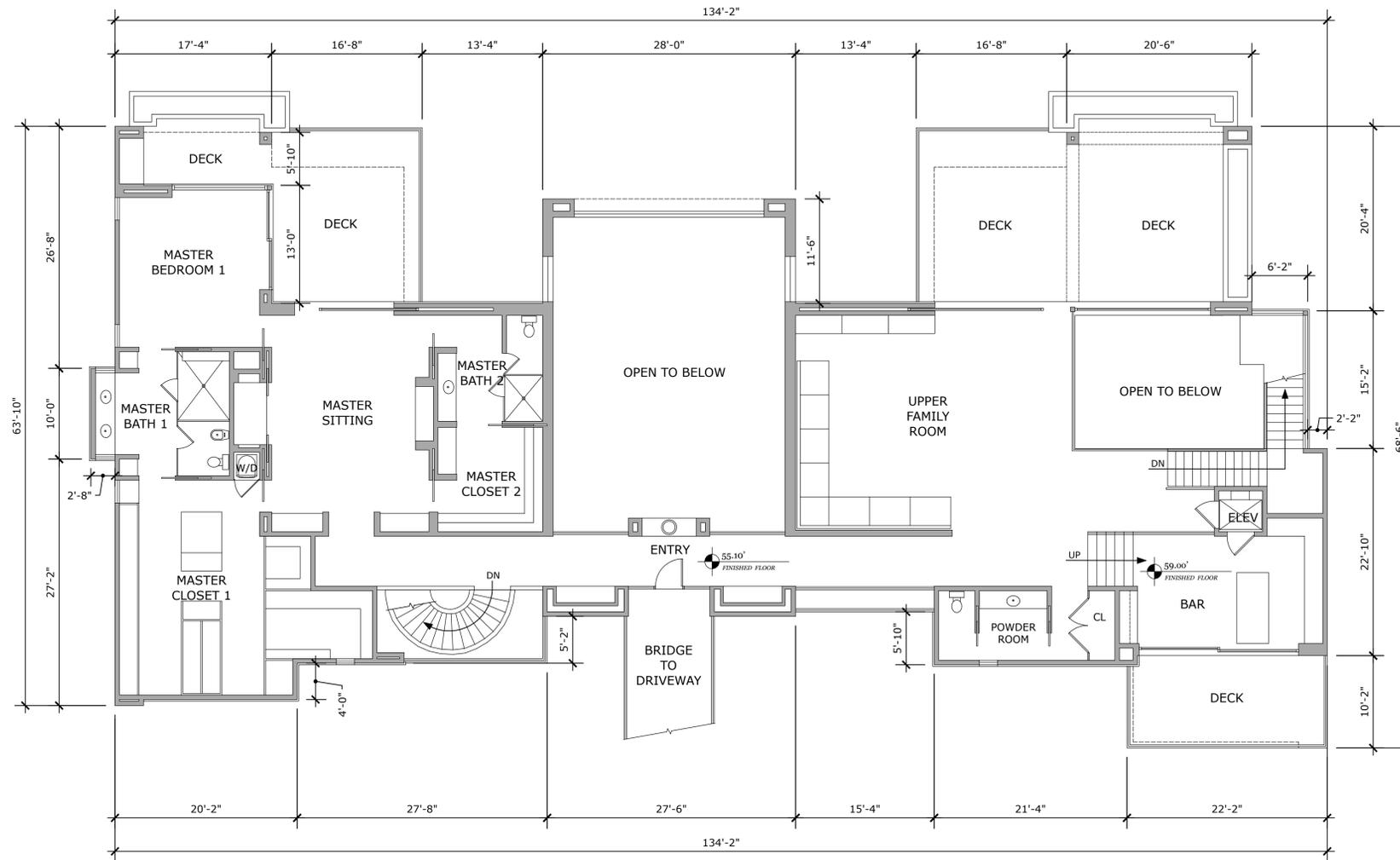
Revisions:


**A2.0**

**PANATTONI RESIDENCE**  
**PROPOSED**  
**MAIN LEVEL FLOOR PLAN**

1476 Cypress Drive  
 Pebble Beach, CA. 93953  
 September 29th, 2016  
 APN: 008-455-007

**Stocker & Allaire**  
 General Contractors, Inc.  
 Lic. # 504797  
 21 Mandeville Court Monterey, CA 93940  
 Ph 831.375.1880 Fax 831.375.1480



**PROPOSED UPPER LEVEL FLOOR PLAN**

scale: 1/8"=1'-0"

Revisions:


**A2.1**

**Panattoni RESIDENCE**

**PROPOSED  
UPPER LEVEL FLOOR PLAN**

1476 Cypress Drive  
Pebble Beach, CA. 93953

September 29th, 2016

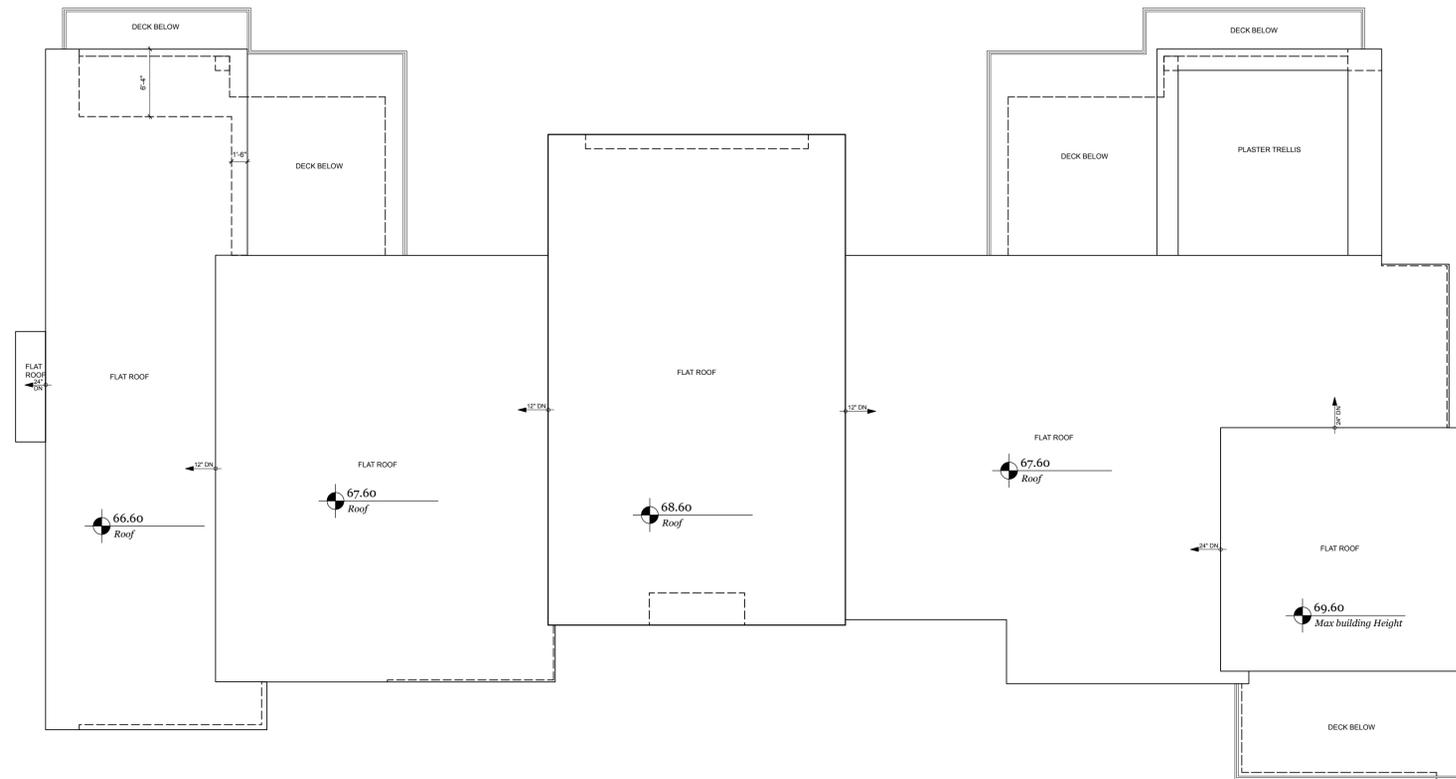
APN: 008-455-007

**Stocker & Allaire**  
General Contractors, Inc.

Lic. # 504797

21 Mandeville Court Monterey, CA 93940

Ph 831.375.1880 Fax 831.375.1480



**PROPOSED ROOF PLAN**

scale: 1/8"=1'-0"

Revisions:


**A3.0**

**Panattoni RESIDENCE**

**PROPOSED  
ROOF PLAN**

1476 Cypress Drive  
Pebble Beach, CA. 93953

September 29th, 2016

APN: 008-455-007

**Stocker & Allaire**  
General Contractors, Inc.

Lic. # 504797

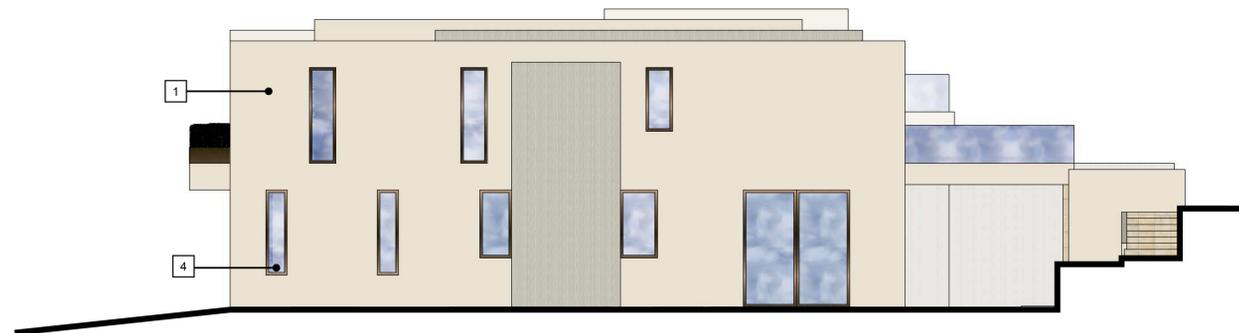
21 Mandeville Court Monterey, CA 93940

Ph 831.375.1880 Fax 831.375.1480



**PROPOSED NORTH (FRONT) ELEVATION**

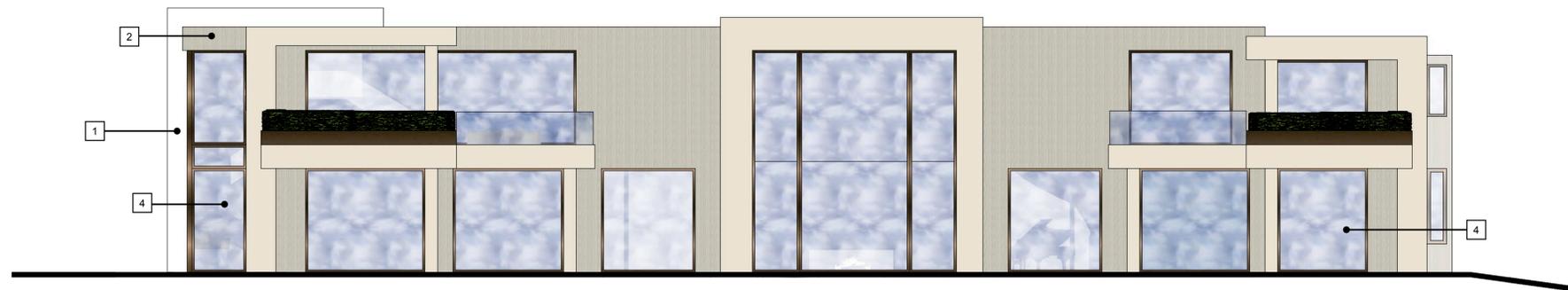
scale: 1/8"=1'-0"



**PROPOSED EAST (SIDE) ELEVATION**

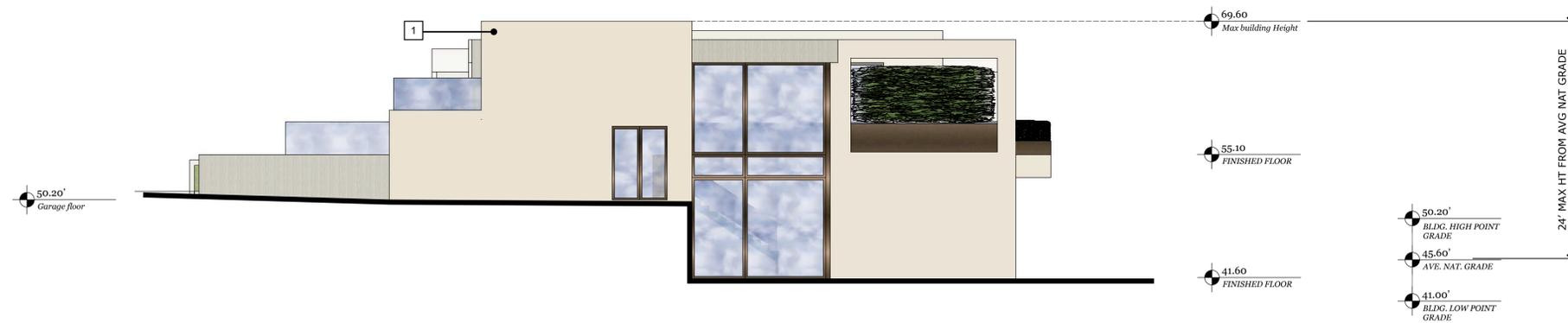
scale: 1/8"=1'-0"

MATERIAL LEGEND	
1	PAINTED PLASTER
2	PAINTED TEXTURED PLASTER
3	GLASS GUARDRAILS
4	VITROCSA DOORS & WINDOWS
5	FLAT BUILT UP ROOFING



**PROPOSED SOUTH (REAR) ELEVATION**

scale: 1/8"=1'-0"



**PROPOSED WEST (SIDE) ELEVATION**

scale: 1/8"=1'-0"



**PROPOSED GATEHOUSE FLOOR PLAN**

scale: 3/16"=1'-0"

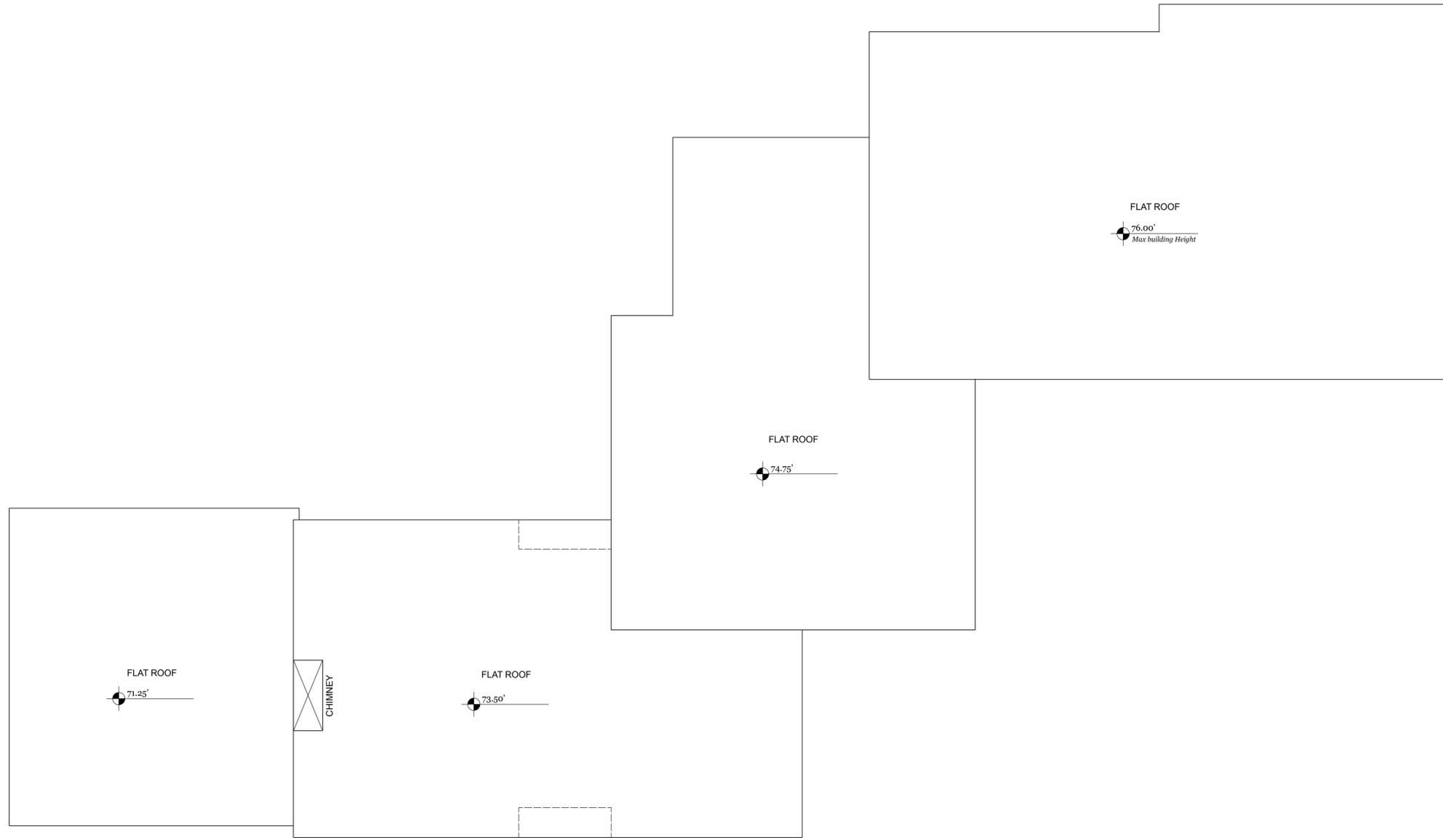
Revisions:


**A5.0**

1482 Cypress Drive  
Pebble Beach, CA. 93953  
September 29th, 2016  
APN: 008-455-007

**PANATTONI GATEHOUSE**  
**PROPOSED**  
**MAIN LEVEL FLOOR PLAN 1482**

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797  
21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480



**PROPOSED GH ROOF PLAN**

scale: 3/16"=1'-0"

Revisions:


**A6.0**

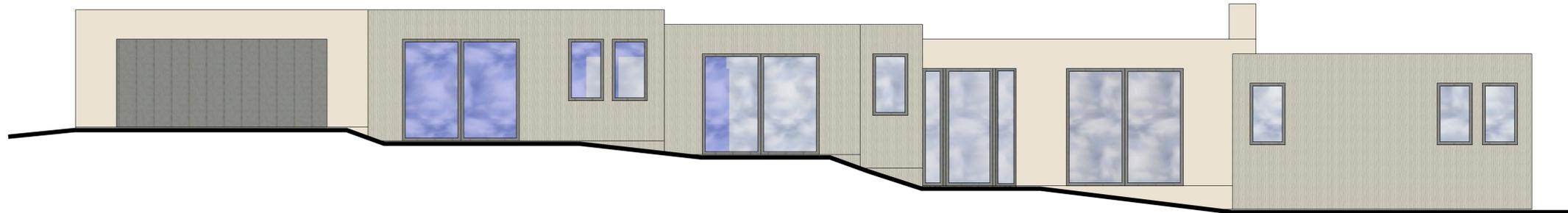
**PANATTONI GATEHOUSE  
PROPOSED  
ROOF PLAN 1482**

1482 Cypress Drive  
Pebble Beach, CA. 93953

September 29th, 2016  
APN: 008-455-007

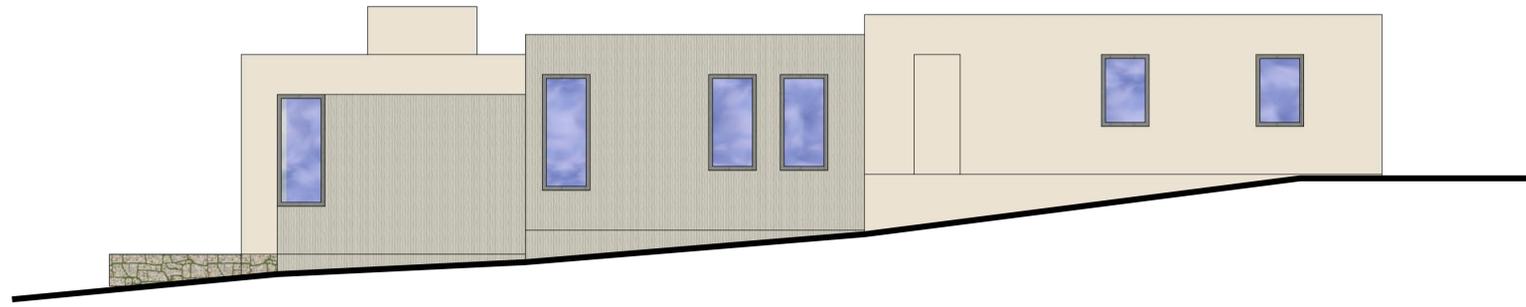
**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

21 Mandeville Court Monterey, CA 93940  
Ph 831.375.1880 Fax 831.375.1480



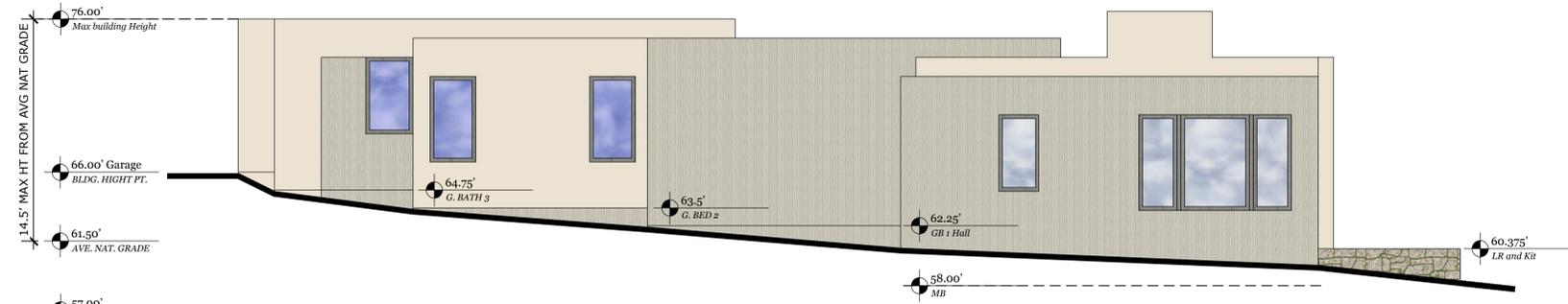
**PROPOSED NORTH (FRONT) ELEVATION**

scale: 3/16"=1'-0"



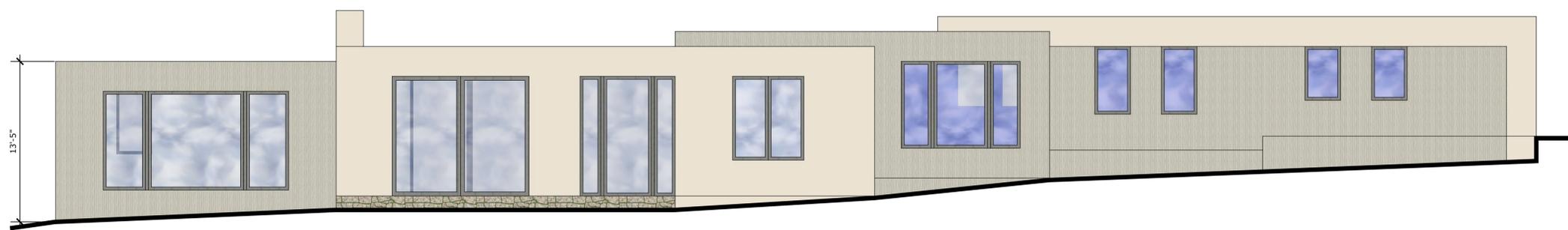
**PROPOSED EAST (SIDE) ELEVATION**

scale: 3/16"=1'-0"



**PROPOSED WEST (SIDE) ELEVATION**

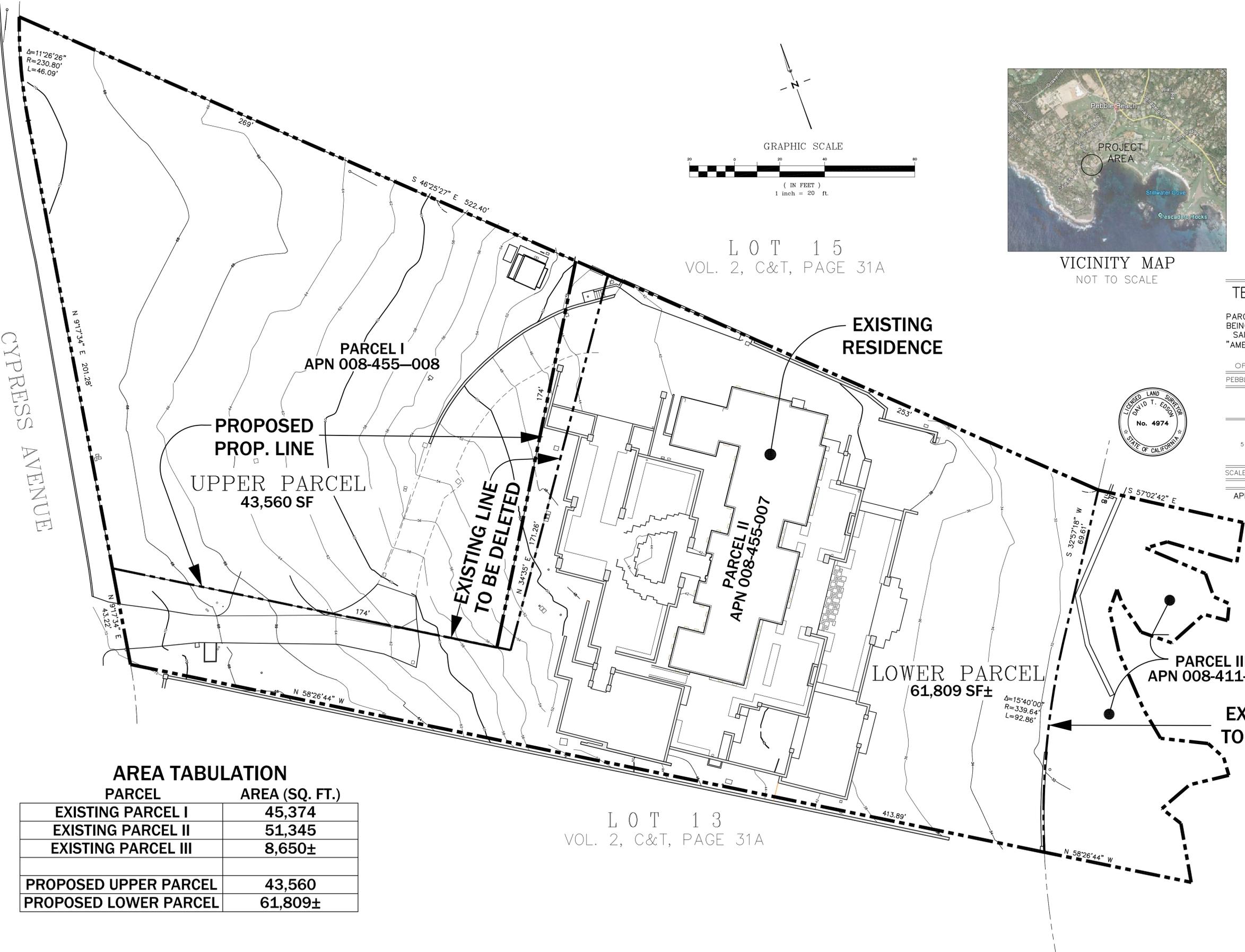
scale: 3/16"=1'-0"



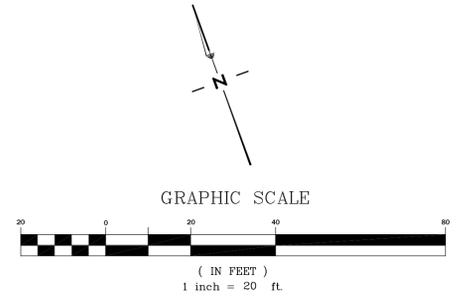
**PROPOSED SOUTH (REAR) ELEVATION**

scale: 3/16"=1'-0"

Revisions:

CYPRESS AVENUE



VICINITY MAP  
NOT TO SCALE

LOT 15  
VOL. 2, C&T, PAGE 31A

EXISTING  
RESIDENCE

PROPOSED  
PROP. LINE

UPPER PARCEL  
43,560 SF

PARCEL I  
APN 008-455-008

PARCEL II  
APN 008-455-007

LOWER PARCEL  
61,809 SF±

PARCEL III  
APN 008-411-017

EXISTING LINE  
TO BE DELETED

EXISTING LINE  
TO BE DELETED



TENTATIVE LOT MERGER MAP  
OF  
PARCELS I, II & III DESCRIBED IN REEL 699, PAGE 492,  
BEING ALSO LOT 14 TOGETHER WITH THE LAND BETWEEN  
SAID LOT 14 AND THE PACIFIC OCEAN AS SHOWN ON  
"AMENDED MAP OF PEBBLE BEACH", FILED OCT. 13, 1911  
IN VOL. 2, "CITIES & TOWNS", PG. 31A  
OFFICIAL RECORDS OF MONTEREY COUNTY  
PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
Carl D. Panattoni

BY  
CENTRAL COAST SURVEYORS  
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940  
Phone: (831) 394-4930  
Fax: (831) 394-4931

SCALE: 1" = 20' JOB No. 13-36 JULY 2016  
PREPARED: DRZ  
APNs 008-455-007, 008-455-008 & 008-411-017  
PREPARED JULY 5, 2016

AREA TABULATION

PARCEL	AREA (SQ. FT.)
EXISTING PARCEL I	45,374
EXISTING PARCEL II	51,345
EXISTING PARCEL III	8,650±
PROPOSED UPPER PARCEL	43,560
PROPOSED LOWER PARCEL	61,809±

LOT 13  
VOL. 2, C&T, PAGE 31A