

County of Monterey

Government Center - Board Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901



Meeting Agenda - Final

Wednesday, March 25, 2026

9:00 AM

Para interpretación en español, haga clic aquí:

<https://attend.wordly.ai/join/THCT-8529>

County of Monterey Planning Commission

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Thank you for your cooperation and we look forward to your participation.

SERVICIOS DE INTERPRETACIÓN

Para utilizar los servicios de interpretación durante las reuniones de la Comisión de Planificación, acceda a la reunión a través del siguiente enlace o utilice el código QR en nuestro sitio web. Una vez que haya iniciado sesión, seleccione su idioma preferido y haga clic en "Asistir" para unirse.

Gracias por su colaboración y esperamos contar con su participación.

<https://attend.wordly.ai/join/THCT-8529>

For optimal audio quality, please use a headset with your device. If you require assistance or do not have a device, reach out to the Clerk of the Planning Commission for support.

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The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Planning Commission alternative actions on any matter before it.

NOTE: All agenda titles related to numbered agenda items are live web links. Click on the title to be directed to the corresponding staff report and associated documents.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

You may participate through ZOOM. For ZOOM participation please join by computer audio at: <https://montereycty.zoom.us/j/95316276581>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
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Enter this Meeting ID number 953 1627 6581 when prompted.

If you choose not to attend the Planning Commission meeting in person, but desire to make general public comment, or comment on a specific item on the agenda, you may do so in two ways:

- a. Submit your comment via email by 5:00 p.m. on the Tuesday prior to the Planning Commission meeting. Please submit your comment to the Clerk at phearingcomments@countyofmonterey.gov. In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Planning Commission Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.
- b. You may participate through ZOOM or telephonically. For ZOOM or telephonic participation please join by computer audio using the links above.

DOCUMENT DISTRIBUTION: Documents related to agenda items that are distributed to the Planning Commission less than 72 hours prior to the meeting shall be available for public inspection at the meeting the day of the Planning Commission meeting and in the Housing and Community Development Office located at 1441 Schilling Place, 2nd Floor, Salinas California. Documents submitted in-person at the meeting, will be distributed to the Planning Commission. All documents submitted by the public at the meeting the day of the Planning Commission must have no less than sixteen (16) copies. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas de la Comisión de Planificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

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Si decide no asistir a la reunión de la Comisión de Planificación en persona, pero desea hacer comentarios públicos generales o comentar sobre un tema específico de la agenda, puede hacerlo de dos maneras:

- a. Envíe su comentario por correo electrónico antes de las 5:00 p.m. del martes anterior a la reunión de la Comisión de Planificación. Por favor, envíe su comentario al asistente de la Comisión de Planificación a: phearingcomments@countyofmonterey.gov. En un esfuerzo por ayudar al asistente a identificar el tema de la agenda relacionado con su comentario público, indique en la Línea de Asunto, la audiencia de la reunión (ejemplo, la Junta de la Comisión de Planificación) y número de artículo (ejemplo, artículo n.º 10). Su comentario se incluirá en el registro de la reunión.
- b. Puede participar a través de ZOOM o telefónicamente. Para ZOOM o participación telefónica, únase por audio de computadora utilizando los enlaces anteriores.

DISTRIBUCIÓN DE DOCUMENTOS: Los documentos relacionados con los temas de la agenda

que se distribuyan a la Comisión de Planificación menos de 72 horas antes de la reunión estarán disponibles para inspección pública en la reunión el día de la reunión de la Comisión de Planificación y en la Oficina de Vivienda y Desarrollo Comunitario ubicada en 1441 Schilling Place, 2nd Floor, Salinas California. Los documentos presentados en persona en la reunión se distribuirán a la Comisión de Planificación. Todos los documentos presentados por el público en la reunión del día de la Comisión de Planificación deben tener no menos de dieciséis (16) copias. Las observaciones recibidas después del tema del programa pasarán a formar parte del acta si se reciben antes de que finalice la sesión.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

NOTA: Todos los títulos de la agenda relacionados con los puntos numerados de la agenda son enlaces web en vivo. Haga clic en el título para dirigirse al informe del personal correspondiente y los documentos asociados.

COMENTARIO PÚBLICO: Los miembros del público pueden dirigir comentarios a la Comisión de Planificación sobre cada punto del orden del día. El momento de los comentarios públicos será a discreción del presidente.

PUBLIC COMMENT: Members of the public may address comments to the Planning Commission concerning each agenda item. The timing of public comment shall be at the discretion of the Chair.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:00 A.M. - CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Jessica Hartzell
Paul C. Getzelman
Christine Shaw
Ernesto G. Gonzalez
Ben Work
Francisco Javier Mendoza
Martha Diehl
Amy Roberts
Etna Monsalve
Ramon Gomez

PUBLIC COMMENTS

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Commission Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Planning Commission as provided in Sections 54954.2 of the California Government Code.

COMMISSIONER COMMENTS, REQUESTS AND REFERRALS

This is a time set aside for the Commissioners to comment, request, or refer a matter that is on or not on the agenda.

9:00 A.M. – SCHEDULED MATTERS

1. PLN250149 - DUNCAN & DUNCAN LLC

Receive an update on the withdrawn status of the Peace of Mind Dog Rescue Project (HCD-Planning File No. PLN250149) which proposed the establishment of a senior dog rescue and exterior modifications. No action required.

Project Location: 8 El Caminito Road, Carmel Valley.

Proposed CEQA action: Find that the item is not a project under CEQA pursuant to Pub. Res. Code § 21065.

Attachments: [Staff Report](#)
 [Exhibit A - Withdrawal Letter](#)

2. PLN250111 - BAYER LEX NEAL TR

Public hearing to consider demolition of an existing residence, garage, and other site improvements, and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage and associated site improvements including a new septic system, repair of a deck and stairway, development within 100 feet of Environmentally Sensitive Habitat Area, and development within 50 feet of a Coastal bluff.

Project Location: 35700 Highway 1, Monterey, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

Attachments:

[Staff Report](#)

[Exhibit A - Project Data Table](#)

[Exhibit B - Draft Resolution](#)

[Exhibit C - Vicinity Map](#)

[Exhibit D - LUAC Minutes dated January 27, 2026](#)

[Exhibit E - Geological Report](#)

[Exhibit F - Biological Report](#)

DEPARTMENT REPORT**ADJOURNMENT**



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 26-039

March 25, 2026

Introduced: 3/18/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

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Proposed CEQA action: Find that the item is not a project under CEQA pursuant to Pub. Res. Code § 21065.

RECOMMENDATION

The project has been withdrawn by the Applicant/Owner and therefore there is no item for the Planning Commission to consider.

PROJECT INFORMATION

Agent: Brittney Schloss - BLS Permit Facilitation

Property Owner: Duncan & Duncan LLC

APN: 187-433-039-000

Parcel Size: 0.42 acres

Zoning: LC-D-S-RAZ (Light Commercial - Design Control - Site Plan Review - Resource Allocation Zoning Districts)

Plan Area: Carmel Valley Master Plan

Flagged and Staked: No

Project Planners: Fiona Jensen, Principal Planner

SUMMARY

The subject 0.42-acre project parcel, located at 8 El Caminito Road, Carmel Valley, is zoned and designated Light Commercial. The property currently accommodates a 3,614 square-foot two-story mixed-use building with three office units and two residential apartments, and a detached 1,536 square-foot garage. The two residential apartments are currently occupied by the property owner and another tenant.

PLN250149 proposed the establishment of a senior dog rescue facility (up to 20 dogs) as a use similar to a commercial kennel, and a Design Approval to allow for repainting of existing structures, installation of a free-standing sign, and modifications to existing fencing. This project was noticed in the Monterey County Weekly on March 11, 2026. On March 17, 2026, the Applicant/Owner notified HCD-Planning staff of their desire to withdraw the project (HCD-Planning File No. PLN250149). See Attachment 1. Given that the project was noticed in the newspaper but has since been withdrawn, there is no item for the Planning Commission to consider and staff will provide an update regarding the project's withdrawn status on March 25,

2026.

CEQA

Per CEQA Guidelines (Pub. Res. Code § 21065), an activity is not a project if it lacks discretionary approval, involves no physical environmental change, or falls under statutory/categorical exemptions. The project has been withdrawn and is therefore not a project under CEQA.

Prepared and Reviewed by: Fiona Jensen, Principal Planner

Approved by: Melanie Beretti, AICP, Chief of Planning.

The following attachments are on file with HCD:

Exhibit A - Withdrawal Letter

cc: Front Counter Copy; Planning Commission; Fiona Jensen, Principal Planner; Monterey County Regional Fire Protection District; HCD - Engineering Services; HCD - Environmental Health; HCD - Environmental Services; Brittney Schloss, Agent; Duncan & Duncan LLC, Owner; The Open Monterey Project (Molly Erickson); LandWatch (Executive Director); Christina McGinnis, Keep Big Sur Wild; Interested Parties; Project File PLN250149.



County of Monterey Planning Commission

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Exhibit A

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From: [Kim Bartholomay](#)
To: [Jensen, Fiona](#); berettim@countyofmonterey.com; spencerc@countyofmonterey.com
Cc: [Carie Broecker](#); [Hap Albers](#); [Brittney Schloss](#)
Subject: POMDR cancellation
Date: Tuesday, March 17, 2026 12:33:35 PM
Attachments: [PastedGraphic-1.png](#)

This Message Is From an External Sender

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Dear Fiona and Supervising Staff,

I am writing to inform you that we are formally withdrawing from the proposed Senior Dog Haven project and cancelling the escrow contract we have been operating under for the past ten months. This decision is the direct result of critical information that was disclosed to us by Fiona Jensen only last week regarding a limitation on the number of dogs permitted on the property provided by Valiska Lujan at Animal Control.

Our organization entered this process in good faith after being advised by County Planning staff that the appropriate path forward for the project was to pursue a use permit. From the beginning, we were fully transparent about the scope of our proposed project and the fact that the sanctuary was specifically designed to care for approximately 20 senior dogs.

Over the past ten months we have worked diligently through the county's process. This has included preparing and submitting the application, working with consultants, responding to requests from County staff, negotiating an extension of escrow, and participating in multiple meetings. As a result, our nonprofit has incurred substantial non-refundable costs related to the project.

In addition to the impact on our nonprofit, it is also important to recognize the considerable County resources that have been devoted to this project over the past ten months. Planning staff time, consultations, document review, and preparation for the upcoming hearing have all been expended on a proposal that ultimately could not proceed due to a regulatory requirement that was not identified until the final stage of the process.

At no point during our initial meetings, the application preparation, or subsequent communications were we informed that Animal Control regulations will limit the number of dogs on the property to 12. That limitation fundamentally changes the viability of our project. Instead, we were informed only last week, days before our March 25th Planning Committee hearing, that the project would be limited to 12 dogs rather than the 20 dogs that formed the basis of our proposal. Had this limitation been identified during our early meetings or at any point, we would have redirected our efforts to elsewhere. Instead, the project was allowed to proceed for ten months before this critical issue was raised.

During this time, our organization also worked extensively to address concerns raised by neighboring property owners. Despite facing significant opposition, we made every effort to engage respectfully, provide information, and respond thoughtfully to concerns. We handled those conversations professionally and with the goal of maintaining positive relationships within the community.

The late disclosure of a fundamental limitation on the project has now placed our organization in an impossible position and forced us to abandon a project that has already required extensive financial investment and commitment.

Our organization entered this process with the sincere intention of creating a responsible sanctuary for senior dogs that have very few options for long term care. We relied on the guidance provided by the county

throughout this process. The manner in which this critical issue surfaced at the final stage reflects a serious breakdown in due diligence within the county's consultation and review process.

It is difficult to understand how a project centered entirely around the number of dogs permitted could proceed for ten months without this fundamental constraint being identified and communicated. The failure to raise this issue until the two weeks before our hearing and lack of care on your part has resulted in significant, and entirely avoidable, financial and operational consequence's for our organization.

Sincerely,



Kim Bartholomay
Pronouns: She/her
Board Member
kim@pomdr.org
831-601-5413

Mailing Address:
Peace of Mind Dog Rescue, P.O. Box 51554, Pacific Grove, CA 93950

Office Headquarters:
POMDR Bauer Center, 615 Forest Ave, Pacific Grove, CA 93950

www.PeaceOfMindDogRescue.org
[Instagram](#) | [Facebook](#) | [TikTok](#) | [YouTube](#) | [LinkedIn](#) | [Twitter](#)

POMDR is a resource and advocate for senior dogs and senior people on California's Central Coast.

[Click here](#) to find out all the ways to give to POMDR!



County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 26-040

March 25, 2026

Introduced: 3/18/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN250111 - BAYER LEX NEAL TR

Public hearing to consider demolition of an existing residence, garage, and other site improvements, and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage and associated site improvements including a new septic system, repair of a deck and stairway, development within 100 feet of Environmentally Sensitive Habitat Area, and development within 50 feet of a Coastal bluff.

Project Location: 35700 Highway 1, Monterey, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Planning Commission adopt a resolution to:

1. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow demolition of existing residence, garage, and other site improvements, and the construction of a 5,754 square-foot single-family dwelling with a detached 701 square foot garage and associated site improvements including a new septic system, repair of a deck, stairway, and the driveway, and underground propane tanks; and 2) Coastal Development Permit to allow development within 100 feet of ESHA; and 3) Coastal Development Permit to allow development within 50 feet of a Coastal Bluff; 4) Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 15 conditions of approval.

PROJECT INFORMATION:

Agent: The Law Office of Aengus Jeffers

Property Owner: Lex Neal Bayer Revocable Trust

APN: 243-231-014-000

Parcel Size: 2.0 acres or 80, 000 square feet

Zoning: Rural Density Residential, Design Control overlay, with 14-foot maximum allowable height within the Coastal Zone or "RDR/D(14')(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: Yes

Project Planner: McKenna Bowling, Associate Planner

bowlingmr@countyofmonterey.gov, (831) 755-5298

SUMMARY:

The subject property is located at 35700 Highway 1, Big Sur, within the unincorporated area of Monterey County. The lot is currently developed with a one-story 4,692 square foot single-family dwelling, garage, and associated site improvements, including sheds, an onsite wastewater treatment system, hardscape, and a coastal bluff deck and stairs leading down the property's bluff face. The proposed project includes demolition of the existing structures and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage, and associated site improvements. Improvements include installation of a new onsite wastewater treatment system, repairing the coastal deck and stairway, and driveway, as needed, installation of underground propane tanks, and new impervious surfaces. The proposed project also involves development within 100 feet of Environmentally Sensitive Habitat Area (ESHA), development within 50 feet of a Coastal Bluff, and development within 750 feet of known archaeological resources. The subject property is currently provided potable water by California American Water (CalAm) and an existing septic system. The new (replacement) septic system includes a 2,000-gallon septic tank with a 1,500-gallon pump vault and new leachfield. The proposed system has been reviewed and approved by Environmental Health Bureau.

DISCUSSION:

Land Use

Based on staff's review, the project complies with all rules and regulations pertaining to zoning uses and other applicable provisions of the 1982 General Plan, Big Sur Coast Land Use Plan (and associated Coastal Implementation Plan), and application sections of the Monterey County zoning ordinance (Title 20).

Development Standards

The development standards for the RDR zoning district are identified in Title 20 section 20.16.060. Required setbacks for main dwellings are 30 feet (front), 20 feet (rear), and 20 feet (sides). The maximum allowed height is 14 feet. As delineated on the plans, the proposed residence would be over 30 feet from the front, 20 feet from the sides, over 20 feet from the rear property line, with a proposed height of 14 feet as measured from average natural grade.

Required setbacks for accessory structures are 50 feet (front), one foot (rear), and six feet on the front one-half of property; one foot on the rear one-half of the property (sides). The maximum allowed height is 15 feet. The project proposes a detached garage, sited over 50 feet from the front, 5 feet 3 inches from the side, and over 30 feet from the rear, with a proposed height of 15 feet as measured from average natural grade. The allowed site coverage maximum in the RDR zoning district is 25 percent. The proposed development would result in structural coverage of 7,830 square feet or 8.99 percent. Therefore, the project meets the site coverage and development standards outlined in Title 20.

Design and Visual Resources

Big Sur Coast Land Use Plan Key Policy 3.2.1 prohibits all public or private development from

being visible from Highway 1 and major public viewing areas (known as the Critical Viewshed). Staff conducted a Critical Viewshed determination site visit on December 12, 2025, to determine whether the project would intrude on the Critical Viewshed. The existing residence (ridge height of 14 feet) and the proposed project's staking and flagging were not visible from Highway 1 or any other public viewshed due to intervening vegetation and topography of the land. The proposed structures would be sited in the same general footprint as the existing residence, only expanding to the north and south, and conform to all site development standards outlined in Title 20. Big Sur Coastal LUP Policy 3.2.5 establishes exceptions to the Key Policy's prohibition. Specifically, LUP Policy 3.2.5.F states that existing vacant residential parcels in the critical viewshed in the Rocky Point subdivision shall be permitted to be used for residential purposes, subject to the design standards of LUP Policy 3.2.4 (Land Not in the Critical Viewshed).

Consistent with Policy 3.2.4.1, the design and siting of the replacement structures are located in previously developed areas, and the applicant does not propose tree removal, which will aid in assuring the proposed development does not detract from the natural beauty of undeveloped skylines, ridgelines, and the shoreline. Consistent with Big Sur Coast LUP Policy 3.2.4.3, the project includes colors and materials that are subordinate and help blend the development with the surrounding environment, and includes a flat pitch roof that complies with the height restriction, to assure the shoreline view is not impacted. As designed, the proposed residence and garage would incorporate colors and materials, including dark gray stucco and stone veneer, natural stained wood siding, dark gray flat metal roof, and dark gray framing for windows and doors. These colors and materials are similar in nature to the existing residence, and would continue to help blend the proposed structures into the surrounding residential neighborhood. The subject property's zoning district has a height restriction of 14 feet from the average natural grade. As designed, compliance with this height restriction ensures that the proposed development would not detract from shoreline views, as the residence would not be visible from the Critical Viewshed, and thus assures protection of public viewshed points and viewing corridors. Therefore, the project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

Environmentally Sensitive Habitat (ESHA)

Big Sur Coastal Implementation Plan (CIP) Policy 20.145.040 requires that a Biological Report be required for all proposed development that is sited or may be sited within 100 feet of ESHA, and/or has the potential to negatively impact the longer-term maintenance of the habitat. In accordance with this policy, a Biological Report (County of Monterey Library No. LIB250340) was prepared, and the project biologist surveyed the subject parcel twice within the same year to provide a flowering survey, as well as to survey the property to determine project-related impacts to biological resources as a result of construction. The project biologist identified that the proposed construction would be sited within 100 feet of ESHA (Northern Coastal Bluff Scrub habitat).

The proposed development would be sited primarily within existing development footprints, but expands to the north and south into existing areas occupied by ornamental landscaping. However, the proposed development would not be sited within ESHA or have direct or indirect impacts on ESHA and thus ensures the protection of ESHA (Policy 3.3.2.8). Further, the project is consistent with Big Sur Coast LUP Policies 3.3.2.4 and 3.3.2.7 as it proposes long-term

improvements and maintenance of the habitat present on site through the use of invasive species eradication and habitat restoration recommendations, as detailed in the prepared biological report.

Consistent with Big Sur LUP Policies 3.3.2.7 and 3.3.2.9, and per the biologist's recommendation, Condition No. 9 requires that the landscape plans include native landscaping species, and procedures to eradicate invasive, exotic species from encroaching into the area containing ESHA to keep the land areas adjacent to the habitat compatible with the long-term maintenance of the sensitive resource. Consistent with Big Sur LUP Key Policy 3.3.1, Condition No. 11 has been added to require the Applicant/Owner to implement a Northern Coastal Bluff Scrub (NCBS) Restoration Plan that accomplishes the eradication of exotic species surrounding the native coastal bluff scrub habitat, to then be replanted with native species at a 2:1 ratio and monitored biannually for three years. In accordance with Big Sur LUP Policy 3.3.2.3, the County shall require deed restrictions or dedications of permanent conservation easements in environmentally sensitive habitats when new development is proposed on parcels containing such habitats. Therefore, Condition No. 13 has been applied to require a conservation and scenic easement be placed over those portions of the property where the NCBS is located.

According to the project biologist's survey, there is a low to moderate potential that the adjacent Monterey cypress trees provide monarch butterfly overwintering habitat. Although Monarch butterflies are not special status species, their overwintering habitat is recognized by the Big Sur Coast LUP as ESHA. Thus, with the implementation of standard Condition No. 5 (tree and root protection), any potentially overwintering habitat would be protected in place. To avoid potential impacts to nesting raptors and other avian species, the project biologist recommends the property be surveyed prior to construction if it were to occur during nesting season. Therefore, Condition No. 6 has been added to require the applicant to conduct the survey prior to construction, if construction takes place between February 1 and September 1. The biological report also recommends that the coastal bluff area and below marine habitat be protected through the installation of silt fencing around the west and southwest development perimeter, to prevent unwarranted construction impacts and sedimentation erosion during construction. Condition No. 4 has been applied to require the Applicant/Owner to prepare a comprehensive construction management plan that illustrates the location of the protective fencing, areas suitable for construction staging, and other measures outlined in the report to protect onsite and nearby sensitive resources while avoiding construction nuisance impacts to nearby properties.

Therefore, as sited and designed, and with implementation of the conditions previously described, the proposed project would be consistent with regulations for the development adjacent to environmentally sensitive habitats, would have no or less than significant impacts on ESHA, and would result in enhanced ESHA habitat values.

Development within 50 feet of a Coastal Bluff

According to the project plans and County of Monterey GIS records, the proposed development is sited within 50 feet of a coastal bluff. As identified in Title 20 section 20.70.120.A.1, a Coastal Development Permit is required for any development within 50 feet of a coastal bluff. Additionally, pursuant to Big Sur CIP Policy 20.145.080.1.B, a Geologic report is required for

such development (County of Monterey Library No. LIB250341). As indicated in the report, the two primary faults in the immediate vicinity of the property are the Palo Colorado Fault, which is about 1.8 miles north of the property, and the Sur Fault located approximately 0.9 miles south of the property. The geology in the vicinity of the subject site consists of sandstone bedrock overlain by recent marine terrace deposits. The bedrock is resistant to coastal erosion, and the site has slow erosion rates due to how much of the coastal bluff face is composed of hard sandstone, and nearshore bedrock islets, which serve to diminish wave runup and wave impact. The geologic observations of the bluff face and earth materials found in exploratory borings indicate that Marine Terrace Deposits exist at the building site and overlie a wave-cut bedrock platform surface approximately 15 to 20 feet below the ground surface. The field observations also indicate the bedrock found at the property contains sandstone, formed approximately 66 to 100 million years ago.

Additionally, the report included a review of the potential of coastal erosion impacts as it relates to the project site. The report includes a series of 11 photos spanning the 47-year period from 1972 to 2019, revealing that there has been little change in the sandstone portion of the bluff face along the edge of the cove where the bluff edge is closest to the proposed improvements. The bluff face has shown a relatively low amount of discernible erosion, and the geologic and geomorphic conditions were found to be virtually identical in the photograph taken in April 2024 to those in the photograph from October 2019. The proposed development is designed to incorporate measures outlined in the report to minimize potential erosion concerns and incorporates the geologist's recommended 75-year coastal recession setback of 22.5 feet. Consistent with Big Sur LUP Policy 3.7.2.3, the project has been designed to minimize risk to an acceptable level and does not require the construction of a seawall.

Archaeological Resources

The Monterey County Geographic Information System identifies the subject property to be in an area that is mapped as having a high sensitivity to the presence of archaeological resources. Pursuant to CIP section 20.145.120, a Phase I and II Archaeological Report (County of Monterey Library No. LIB250339) was prepared for the property, which assessed the potential of the project area to contain archaeological resources. The subject parcel has had moderate to high ground disturbance from 1968 to the present and is currently developed with a single-family dwelling and attached garage. There is no evidence demonstrating that significant cultural or tribal resources exist on the project site. Therefore, the potential inadvertent impacts are limited and controlled with the application of Condition No. 3, which requires work to stop if previously unidentified resources are found during construction.

CEQA:

California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts replacement and reconstruction of existing structures, including single-family dwellings and accessory structures, with the proposed structures being located on the same site as the structure replaced, and will have substantially the same purpose and capacity as the structure being replaced. As proposed, the project involves demolition of the existing residence and garage, and construction of a replacement residence with a detached garage, in the same location as the existing residence, and maintains the same purpose and capacity as the existing residence. The project, as proposed, would not result in impacts on an environmental resource, any scenic highways, or historical resources (cultural or structural), and this site is not a hazardous waste

site. The project's location in or near a particularly sensitive environment (CEQA Guidelines section 15300.2(a)) does not bar the project from qualifying for a Class 2 exemption. No evidence of significant adverse environmental effects or cumulative effects was identified during the staff's review of the development application.

LUAC:

The proposed project was reviewed by the Big Sur Coast Land Use Advisory Committee on January 27, 2026. The committee recommended approval of the project by a vote of 4-0 in support of the project as proposed. Concerns were raised about the removal of Cypress trees and the potential for increased views of the residence from Highway 1. However, no trees are proposed for removal, and the proposed development would not be visible from Highway 1.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Mid-Coast Volunteer Fire Brigade
- Big Sur Coast Land Use Advisory Committee

Prepared by: McKenna Bowling, Associate Planner, (831) 755-5298

Reviewed by: Fionna Jensen, Principal Planner

Approved by: Melanie Beretti, AICP, Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Project Data Table

Exhibit B - Draft Resolution

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

Exhibit D - LUAC Minutes dated January 27, 2026

Exhibit E - Geological Report

Exhibit F - Biological Report

cc: Front Counter Copy; Big Sur Coast LUAC; Mid-Coast Volunteer Fire Brigade; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; McKenna Bowling, Associate Planner; Fionna Jensen, Principal Planner; Lex Neal Bayer Revocable Trust; Property Owner; The Law Office of Aengus Jeffers, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN250111.



County of Monterey Planning Commission

Item No.2

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No.2

Legistar File Number: PC 26-040

March 25, 2026

Introduced: 3/18/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN250111 - BAYER LEX NEAL TR

Public hearing to consider demolition of an existing residence, garage, and other site improvements, and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage and associated site improvements including a new septic system, repair of a deck and stairway, development within 100 feet of Environmentally Sensitive Habitat Area, and development within 50 feet of a Coastal bluff.

Project Location: 35700 Highway 1, Monterey, Big Sur Coast Land Use Plan

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15302, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Planning Commission adopt a resolution to:

1. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow demolition of existing residence, garage, and other site improvements, and the construction of a 5,754 square-foot single-family dwelling with a detached 701 square foot garage and associated site improvements including a new septic system, repair of a deck, stairway, and the driveway, and underground propane tanks; and 2) Coastal Development Permit to allow development within 100 feet of ESHA; and 3) Coastal Development Permit to allow development within 50 feet of a Coastal Bluff; 4) Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 15 conditions of approval.

PROJECT INFORMATION:

Agent: The Law Office of Aengus Jeffers

Property Owner: Lex Neal Bayer Revocable Trust

APN: 243-231-014-000

Parcel Size: 2.0 acres or 80, 000 square feet

Zoning: Rural Density Residential, Design Control overlay, with 14-foot maximum allowable height within the Coastal Zone or "RDR/D(14')(CZ)"

Plan Area: Big Sur Coast Land Use Plan

Flagged and Staked: Yes

Project Planner: McKenna Bowling, Associate Planner

bowlingmr@countyofmonterey.gov, (831) 755-5298

SUMMARY:

The subject property is located at 35700 Highway 1, Big Sur, within the unincorporated area of Monterey County. The lot is currently developed with a one-story 4,692 square foot single-family dwelling, garage, and associated site improvements, including sheds, an onsite wastewater treatment system, hardscape, and a coastal bluff deck and stairs leading down the property's bluff face. The proposed project includes demolition of the existing structures and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage, and associated site improvements. Improvements include installation of a new onsite wastewater treatment system, repairing the coastal deck and stairway, and driveway, as needed, installation of underground propane tanks, and new impervious surfaces. The proposed project also involves development within 100 feet of Environmentally Sensitive Habitat Area (ESHA), development within 50 feet of a Coastal Bluff, and development within 750 feet of known archaeological resources. The subject property is currently provided potable water by California American Water (CalAm) and an existing septic system. The new (replacement) septic system includes a 2,000-gallon septic tank with a 1,500-gallon pump vault and new leachfield. The proposed system has been reviewed and approved by Environmental Health Bureau.

DISCUSSION:

Land Use

Based on staff's review, the project complies with all rules and regulations pertaining to zoning uses and other applicable provisions of the 1982 General Plan, Big Sur Coast Land Use Plan (and associated Coastal Implementation Plan), and application sections of the Monterey County zoning ordinance (Title 20).

Development Standards

The development standards for the RDR zoning district are identified in Title 20 section 20.16.060. Required setbacks for main dwellings are 30 feet (front), 20 feet (rear), and 20 feet (sides). The maximum allowed height is 14 feet. As delineated on the plans, the proposed residence would be over 30 feet from the front, 20 feet from the sides, over 20 feet from the rear property line, with a proposed height of 14 feet as measured from average natural grade.

Required setbacks for accessory structures are 50 feet (front), one foot (rear), and six feet on the front one-half of property; one foot on the rear one-half of the property (sides). The maximum allowed height is 15 feet. The project proposes a detached garage, sited over 50 feet from the front, 5 feet 3 inches from the side, and over 30 feet from the rear, with a proposed height of 15 feet as measured from average natural grade. The allowed site coverage maximum in the RDR zoning district is 25 percent. The proposed development would result in structural coverage of 7,830 square feet or 8.99 percent. Therefore, the project meets the site coverage and development standards outlined in Title 20.

Design and Visual Resources

Big Sur Coast Land Use Plan Key Policy 3.2.1 prohibits all public or private development from

being visible from Highway 1 and major public viewing areas (known as the Critical Viewshed). Staff conducted a Critical Viewshed determination site visit on December 12, 2025, to determine whether the project would intrude on the Critical Viewshed. The existing residence (ridge height of 14 feet) and the proposed project's staking and flagging were not visible from Highway 1 or any other public viewshed due to intervening vegetation and topography of the land. The proposed structures would be sited in the same general footprint as the existing residence, only expanding to the north and south, and conform to all site development standards outlined in Title 20. Big Sur Coastal LUP Policy 3.2.5 establishes exceptions to the Key Policy's prohibition. Specifically, LUP Policy 3.2.5.F states that existing vacant residential parcels in the critical viewshed in the Rocky Point subdivision shall be permitted to be used for residential purposes, subject to the design standards of LUP Policy 3.2.4 (Land Not in the Critical Viewshed).

Consistent with Policy 3.2.4.1, the design and siting of the replacement structures are located in previously developed areas, and the applicant does not propose tree removal, which will aid in assuring the proposed development does not detract from the natural beauty of undeveloped skylines, ridgelines, and the shoreline. Consistent with Big Sur Coast LUP Policy 3.2.4.3, the project includes colors and materials that are subordinate and help blend the development with the surrounding environment, and includes a flat pitch roof that complies with the height restriction, to assure the shoreline view is not impacted. As designed, the proposed residence and garage would incorporate colors and materials, including dark gray stucco and stone veneer, natural stained wood siding, dark gray flat metal roof, and dark gray framing for windows and doors. These colors and materials are similar in nature to the existing residence, and would continue to help blend the proposed structures into the surrounding residential neighborhood. The subject property's zoning district has a height restriction of 14 feet from the average natural grade. As designed, compliance with this height restriction ensures that the proposed development would not detract from shoreline views, as the residence would not be visible from the Critical Viewshed, and thus assures protection of public viewshed points and viewing corridors. Therefore, the project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

Environmentally Sensitive Habitat (ESHA)

Big Sur Coastal Implementation Plan (CIP) Policy 20.145.040 requires that a Biological Report be required for all proposed development that is sited or may be sited within 100 feet of ESHA, and/or has the potential to negatively impact the longer-term maintenance of the habitat. In accordance with this policy, a Biological Report (County of Monterey Library No. LIB250340) was prepared, and the project biologist surveyed the subject parcel twice within the same year to provide a flowering survey, as well as to survey the property to determine project-related impacts to biological resources as a result of construction. The project biologist identified that the proposed construction would be sited within 100 feet of ESHA (Northern Coastal Bluff Scrub habitat).

The proposed development would be sited primarily within existing development footprints, but expands to the north and south into existing areas occupied by ornamental landscaping. However, the proposed development would not be sited within ESHA or have direct or indirect impacts on ESHA and thus ensures the protection of ESHA (Policy 3.3.2.8). Further, the project is consistent with Big Sur Coast LUP Policies 3.3.2.4 and 3.3.2.7 as it proposes long-term

improvements and maintenance of the habitat present on site through the use of invasive species eradication and habitat restoration recommendations, as detailed in the prepared biological report.

Consistent with Big Sur LUP Policies 3.3.2.7 and 3.3.2.9, and per the biologist's recommendation, Condition No. 9 requires that the landscape plans include native landscaping species, and procedures to eradicate invasive, exotic species from encroaching into the area containing ESHA to keep the land areas adjacent to the habitat compatible with the long-term maintenance of the sensitive resource. Consistent with Big Sur LUP Key Policy 3.3.1, Condition No. 11 has been added to require the Applicant/Owner to implement a Northern Coastal Bluff Scrub (NCBS) Restoration Plan that accomplishes the eradication of exotic species surrounding the native coastal bluff scrub habitat, to then be replanted with native species at a 2:1 ratio and monitored biannually for three years. In accordance with Big Sur LUP Policy 3.3.2.3, the County shall require deed restrictions or dedications of permanent conservation easements in environmentally sensitive habitats when new development is proposed on parcels containing such habitats. Therefore, Condition No. 13 has been applied to require a conservation and scenic easement be placed over those portions of the property where the NCBS is located.

According to the project biologist's survey, there is a low to moderate potential that the adjacent Monterey cypress trees provide monarch butterfly overwintering habitat. Although Monarch butterflies are not special status species, their overwintering habitat is recognized by the Big Sur Coast LUP as ESHA. Thus, with the implementation of standard Condition No. 5 (tree and root protection), any potentially overwintering habitat would be protected in place. To avoid potential impacts to nesting raptors and other avian species, the project biologist recommends the property be surveyed prior to construction if it were to occur during nesting season. Therefore, Condition No. 6 has been added to require the applicant to conduct the survey prior to construction, if construction takes place between February 1 and September 1. The biological report also recommends that the coastal bluff area and below marine habitat be protected through the installation of silt fencing around the west and southwest development perimeter, to prevent unwarranted construction impacts and sedimentation erosion during construction. Condition No. 4 has been applied to require the Applicant/Owner to prepare a comprehensive construction management plan that illustrates the location of the protective fencing, areas suitable for construction staging, and other measures outlined in the report to protect onsite and nearby sensitive resources while avoiding construction nuisance impacts to nearby properties.

Therefore, as sited and designed, and with implementation of the conditions previously described, the proposed project would be consistent with regulations for the development adjacent to environmentally sensitive habitats, would have no or less than significant impacts on ESHA, and would result in enhanced ESHA habitat values.

Development within 50 feet of a Coastal Bluff

According to the project plans and County of Monterey GIS records, the proposed development is sited within 50 feet of a coastal bluff. As identified in Title 20 section 20.70.120.A.1, a Coastal Development Permit is required for any development within 50 feet of a coastal bluff. Additionally, pursuant to Big Sur CIP Policy 20.145.080.1.B, a Geologic report is required for

such development (County of Monterey Library No. LIB250341). As indicated in the report, the two primary faults in the immediate vicinity of the property are the Palo Colorado Fault, which is about 1.8 miles north of the property, and the Sur Fault located approximately 0.9 miles south of the property. The geology in the vicinity of the subject site consists of sandstone bedrock overlain by recent marine terrace deposits. The bedrock is resistant to coastal erosion, and the site has slow erosion rates due to how much of the coastal bluff face is composed of hard sandstone, and nearshore bedrock islets, which serve to diminish wave runup and wave impact. The geologic observations of the bluff face and earth materials found in exploratory borings indicate that Marine Terrace Deposits exist at the building site and overlie a wave-cut bedrock platform surface approximately 15 to 20 feet below the ground surface. The field observations also indicate the bedrock found at the property contains sandstone, formed approximately 66 to 100 million years ago.

Additionally, the report included a review of the potential of coastal erosion impacts as it relates to the project site. The report includes a series of 11 photos spanning the 47-year period from 1972 to 2019, revealing that there has been little change in the sandstone portion of the bluff face along the edge of the cove where the bluff edge is closest to the proposed improvements. The bluff face has shown a relatively low amount of discernible erosion, and the geologic and geomorphic conditions were found to be virtually identical in the photograph taken in April 2024 to those in the photograph from October 2019. The proposed development is designed to incorporate measures outlined in the report to minimize potential erosion concerns and incorporates the geologist's recommended 75-year coastal recession setback of 22.5 feet. Consistent with Big Sur LUP Policy 3.7.2.3, the project has been designed to minimize risk to an acceptable level and does not require the construction of a seawall.

Archaeological Resources

The Monterey County Geographic Information System identifies the subject property to be in an area that is mapped as having a high sensitivity to the presence of archaeological resources. Pursuant to CIP section 20.145.120, a Phase I and II Archaeological Report (County of Monterey Library No. LIB250339) was prepared for the property, which assessed the potential of the project area to contain archaeological resources. The subject parcel has had moderate to high ground disturbance from 1968 to the present and is currently developed with a single-family dwelling and attached garage. There is no evidence demonstrating that significant cultural or tribal resources exist on the project site. Therefore, the potential inadvertent impacts are limited and controlled with the application of Condition No. 3, which requires work to stop if previously unidentified resources are found during construction.

CEQA:

California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts replacement and reconstruction of existing structures, including single-family dwellings and accessory structures, with the proposed structures being located on the same site as the structure replaced, and will have substantially the same purpose and capacity as the structure being replaced. As proposed, the project involves demolition of the existing residence and garage, and construction of a replacement residence with a detached garage, in the same location as the existing residence, and maintains the same purpose and capacity as the existing residence. The project, as proposed, would not result in impacts on an environmental resource, any scenic highways, or historical resources (cultural or structural), and this site is not a hazardous waste

site. The project's location in or near a particularly sensitive environment (CEQA Guidelines section 15300.2(a)) does not bar the project from qualifying for a Class 2 exemption. No evidence of significant adverse environmental effects or cumulative effects was identified during the staff's review of the development application.

LUAC:

The proposed project was reviewed by the Big Sur Coast Land Use Advisory Committee on January 27, 2026. The committee recommended approval of the project by a vote of 4-0 in support of the project as proposed. Concerns were raised about the removal of Cypress trees and the potential for increased views of the residence from Highway 1. However, no trees are proposed for removal, and the proposed development would not be visible from Highway 1.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Mid-Coast Volunteer Fire Brigade
- Big Sur Coast Land Use Advisory Committee

Prepared by: McKenna Bowling, Associate Planner, (831) 755-5298

Reviewed by: Fionna Jensen, Principal Planner

Approved by: Melanie Beretti, AICP, Chief of Planning

The following attachments are on file with the HCD:

Exhibit A - Project Data Table

Exhibit B - Draft Resolution

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations
- Colors and Materials

Exhibit C - Vicinity Map

Exhibit D - LUAC Minutes dated January 27, 2026

Exhibit E - Geological Report

Exhibit F - Biological Report

cc: Front Counter Copy; Big Sur Coast LUAC; Mid-Coast Volunteer Fire Brigade; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; McKenna Bowling, Associate Planner; Fionna Jensen, Principal Planner; Lex Neal Bayer Revocable Trust; Property Owner; The Law Office of Aengus Jeffers, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN250111.

Exhibit A

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EXHIBIT A

Project Information for PLN250111

Application Name: Bayer Lex Neal Tr
Location: 35700 Hwy 1 Hwy, Monterey
Applicable Plan: Coast-Big Sur
Primary APN: 243-231-014-000
Advisory Committee: Big Sur Coast Advisory Committee
Coastal Zone: Yes
Permit Type: Combined Development Permit
Final Action Deadline (884):
Environmental Status:
Zoning: RDR/40-D(14)(CZ)
Land Use Designation: Rural Residential

Project Site Data:

Lot Size: 87120	Coverage Allowed: 25
Existing Structures (sf): 12721	Coverage Proposed: 8.99
Proposed Structures (sf): 14263	Height Allowed: 14
Total Sq. Ft.: 87120	Height Proposed: 14
Special Setbacks on Parcel: N	FAR Allowed:
	FAR Proposed:

Resource Zones and Reports:

Seismic Hazard Zone: UNDETERMINED	Soils Report #: LIB250344
Erosion Hazard Zone: High Moderate	Biological Report #: LIB250340
Fire Hazard Zone: High	Forest Management Rpt. #: LIB250338
Flood Hazard Zone: V X (unshaded)	Geologic Report #: LIB250341
Archaeological Sensitivity: high	Archaeological Report #: LIB250339
Visual Sensitivity: None	Traffic Report #:
	Historic Report #: LIB250342

Other Information:

Water Source: CalAm	Grading (cubic yds.):
Water Purveyor: CalAm	Sewage Disposal (method):
Fire District: Mid-Coast VFC	Sewer District Name: Septic
Tree Removal:	

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Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BAYER LEX NEAL TR (PLN250111)

RESOLUTION NO. 26-

Resolution by the County of Monterey Planning
Commission:

- 1) Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Combined Development Permit consisting of:
 - a) Coastal Administrative Permit and Design Approval to allow demolition of existing residence, garage, and other site improvements, and the construction of a 5,754 square-foot single-family dwelling with a detached 701 square foot garage and associated site improvements;
 - b) Coastal Development Permit to allow the development within 100 feet of ESHA;
 - c) Coastal Development Permit to allow development within 50 feet of a Coastal Bluff; and
 - d) Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource.

[PLN250111, Lex Neal Bayer Revocable Trust,
35700 Highway 1, Monterey, Big Sur Coast Land
Use Plan (APN: 243-231-014-000)]

The BAYER LEX NEAL TR application (PLN250111) came on for public hearing before the County of Monterey Planning Commission on March 25, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan (LUP);
 - Big Sur Coastal Implementation Plan Part 3 (CIP);
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The proposed project includes demolition of the existing 4,692 square foot single-family dwelling and attached garage, and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage, and associated site improvements. Improvements include installation of a new onsite wastewater treatment system, repairing the coastal deck and stairway, and driveway, as needed, installation of underground propane tanks, and new impervious surfaces. The proposed project also involves development within 100 feet of Environmentally Sensitive Habitat (ESHA), development within 50 feet of a Coastal Bluff, and development within 750 feet of a known archaeological resource.
 - c) The property is located at 35700 Highway 1, Monterey (Assessor's Parcel Number: 243-231-014-000), Big Sur Coast Land Use Plan. The parcel is zoned Rural Density Residential, Design Control overlay, with 14-foot maximum allowable height within the Coastal Zone or "RDR/D(14')(CZ)", which allows for construction of a new residence and accessory structures subject to the granting of a Coastal Administrative Permit and Design Approval outlined in Title 20 section 20.16.040 and Chapter 20.44. As required in Title 20 section 20.16.030, proposed development to occur within 100 feet of ESHA requires a Coastal Development Permit to be applied. Additionally, Title 20 section 20.70.120.B.1 requires a Coastal Development Permit for improvements to any structure within 50 feet of a coastal bluff edge due to the risk of environmental impact. Finally, a Coastal Administrative Permit is required to allow development within 750 feet of known archaeological resources. Therefore, as proposed and conditioned the project is an allowed land use for this site.
 - d) Lot Legality. The subject parcel (2.0 acres) is identified in its current configuration as Parcel B on Record of Survey, Volume X-2, Page 210, recorded on July 21, 1961. Therefore, the County recognizes this property as a legal lot of record.
 - e) Design and Visual Resources. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed project includes demolition of the existing residence and garage, and construction of a replacement 5,754 square foot single-family dwelling with a 701 square foot detached garage, and associated site improvements, including installation of a new septic system. Consistent with Big Sur LUP Policy 3.2.4.3 and Chapter 20.44,

the project includes colors and materials that are subordinate and help blend the development with the surrounding environment, and includes a flat pitch roof that complies with the height restriction, to assure the shoreline view is not impacted. As designed, the proposed residence and garage will incorporate colors and materials including dark gray stucco and stone veneer, natural stained wood siding, dark gray flat metal roof, and dark gray framing for windows and doors. These colors and materials are similar in nature to the existing residence, and will continue to help blend the proposed structures into the surrounding residential neighborhood. The subject property has a height restriction of 14 feet as measured from the average natural grade. Compliance with this height restriction ensures that the proposed development will not detract from shoreline views and assures protection of public viewshed points and viewing corridors. Due to intervening vegetation, topography, and the reduced allowable height of this zoning district, the proposed residence and accessory structure will not create any adverse visual impacts. The project does not include any tree removal, and therefore, the proposed development will not detract from undeveloped ridgelines, skylines, or shorelines (LUP Policy 3.2.4.1). Therefore, as designed and sited, the proposed development assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity. Also see subsequent evidence "I".

- f) Development Standards. Pursuant to Title 20 section 20.16.060, the required setbacks for main dwellings are 30 feet (front), 20 feet (rear), and 20 feet (sides). Additionally, the maximum allowable height within this zoning district is 14 feet, unless otherwise noted on the zoning map. As delineated on the plans, the proposed residence is over 30 feet from the front, 20 feet from the sides, and over 20 feet from the rear property line, with a proposed height of 14 feet as measured from average natural grade. Required setbacks for accessory structures are 50 feet (front), one foot (rear), and six feet on the front one-half of property; one foot on the rear one-half of the property (sides). The maximum allowed height is 15 feet. The project proposes a detached garage, sited over 50 feet from the front, 5 feet 3 inches from the side, and over 30 feet from the rear with a proposed height of 15 feet as measured from average natural grade. The allowed site coverage maximum in the RDR zoning district is 25 percent. The proposed development would result in structural coverage of 7,830 square feet or 8.99 percent. Therefore, the property complies with the required site development standards based on the applicable zoning district.
- g) Cultural Resources. Monterey County Geographic Informational System (GIS) identifies the subject property as being in an area that is mapped as having a high sensitivity to the presence of archaeological resources. Pursuant to CIP section 20.145.120, a Phase I and II Archaeological Report (County of Monterey Library No. LIB250339) was prepared for the property, which assessed the potential of the project area to contain archaeological resources. The subject parcel has had moderate to high ground disturbance from 1968 to the present, and is currently developed with a single-family dwelling and attached garage. The results of the Phase 1 Pedestrian Survey were negative for significant resources.

However, the Phase II subsurface auger testing, conducted along the bluff top, identified three flecks of shell and one small chert fragment and a thin scatter of sparse and depleted marine shell. The project archaeologist determined that the scattered materials lack integrity and do not meet the criteria of a significant resource; thus, the project site is considered not to contain known archaeological resources. Further, the proposed residence would not be sited in the area where these sparse materials were discovered and thus would avoid impacts to prehistoric cultural resources. Therefore, the potential inadvertent impacts are controlled with the application of Condition No. 3 which requires work to stop if previously unidentified resources are found during construction.

- h) Environmentally Sensitive Habitat (ESHA). The project includes a Coastal Development Permit to allow development within 100 feet of ESHA. Policies in Chapter 3.3 of the Big Sur Coast LUP are directed at maintaining, protecting, and, where possible, enhancing sensitive habitats. As designed, conditioned, and mitigated, the project minimizes impacts to environmentally sensitive habitat in accordance with the applicable goals and policies of the Big Sur Coast Land Use Plan and Monterey County Code. See Finding No. 7 and supporting evidence.
- i) Historic Resources. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code section 21084.1(a), all properties fifty years of age or older must be reviewed for potential historic significance. A Phase I Historical Resource Assessment Study (County of Monterey Library No. LIB250342) was submitted with the project application. On April 18, 2025, Margaret Clovis analyzed the potential historical significance of the existing one-story single-family dwelling. The property was developed in 1967 (Construction Permit No. BP#20680) with a Ranch style wood-framed one-story single-family dwelling and attached garage. The report concluded that the subject property does not possess any historical significance, and therefore, is not eligible for listing on any national, state, or local Historic Resources registry.
- j) Development within 50 feet of a Coastal Bluff. Title 20 section 20.70.120.A.1, a Coastal Development Permit is required for any development within 50 feet of a coastal bluff. The project, as proposed and conditioned, is consistent with applicable policies of the BSC LUP regarding protection of resources. See Finding No. 8 and supporting evidence.
- k) Public Access. As proposed and conditioned, the development is consistent with the applicable Public Access policies of the BSC CIP. See Finding No. 6 and supporting evidence.
- l) Critical Viewshed. Big Sur Coast Land Use Plan Policy 3.2.1 prohibits all future public or private development visible from Highway 1 and major public viewing areas, and requires the County to condition all new development in areas not visible from Highway 1 or public viewing areas on the siting and design criteria set forth in Policies 3.2.3, 3.2.4, and 3.2.5. Staff conducted a Critical Viewshed Determination site visit on December 12, 2025 to determine whether the project would intrude on the critical viewshed. The project is not visible from Highway 1 or

any other public viewshed due to existing development, intervening vegetation, and topography of the land. The proposed structures are sited in the same footprint as the existing and conform to all site development standards outlined in Title 20. Therefore, the project, as designed and sited, assures protection of the public viewshed, is not within the Critical Viewshed of Highway 1 or any major public viewing areas. In addition to the proposed development not being visible from Highway 1 or major public viewing areas, Big Sur Coastal LUP Policy 3.2.5 establishes exceptions to the Key Policy’s prohibition. Specifically, LUP Policy 3.2.5.F states that existing vacant residential parcels in the critical viewshed in the Rocky Point area shall be permitted to be used for residential purposes, subject to policies of Policy 3.2.4 of the LUP, and the design standards set forth in Policy 3.2.5.F. The project involves a residentially zoned parcel, and demolition of all structures to be replaced with a new residence and garage. Additionally, consistent with Policy 3.2.4.1, the design and siting of the replacement structures are located in previously developed areas, and the applicant does not propose tree removal which will aid in assuring the proposed development does not detract from the natural beauty of undeveloped skylines, ridgelines, and the shoreline. As described in Finding No. 1, Evidence “e”, the proposed colors and materials will visibly blend with the surrounding environment (Policy 3.2.5.F). Finally, the proposed garage is sited on a portion of the existing driveway, which meets Policy 3.2.5.F’s encouragement to consolidate and maintain simple and direct driveways.

- m) The project planner conducted a site inspection on December 12, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- n) Land Use Advisory Committee. The project was referred to the Big Sur Coast Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project includes a Design Approval application subject to a public hearing before the Planning Commission. The project went before the LUAC on January 27, 2026 and received a vote of 4-0 in support of the project as proposed, with no concerns raised.
- o) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250111.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Big Sur Volunteer Fire Brigade, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the California Coastal Commission. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to archaeological, biological, historical, forest, geological and soils resources. The following reports have been prepared:
 - “Tree Assessment” (County of Monterey Library No. LIB250338) prepared by Ben Eichorn, Carmel, CA, August 11, 2025.
 - “Phase 1 Archaeological Assessment and Phase 2 Subsurface Testing Program” (County of Monterey Library No. LIB250339) prepared by Susan Morley, Marina, CA, July 1, 2025.
 - “Biological Assessment” (County of Monterey Library No. LIB250340) prepared by Fred Ballerini, Pacific Grove, CA, July 7, 2025.
 - “Geologic and Coastal Bluff Recession Assessment Report” (County of Monterey Library No. LIB250341) prepared by Mark Foxx, Watsonville, CA, July 19, 2024.
 - “Historical Evaluation” (County of Monterey Library No. LIB250342) prepared by Margaret Clovis, Salinas, CA, April 18, 2025.
 - “Percolation Investigation Report” (County of Monterey Library No. LIB250343) prepared by Belinda Taluban, Salinas, CA, August 6, 2025.
 - “Geotechnical Investigation” (County of Monterey Library No. LIB250344) prepared by Moses Cuprill, Watsonville, CA, May 14, 2025.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on December 12, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN250111.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD - Planning, Big Sur Coast Volunteer Fire Brigade, HCD- Engineering Services, Environmental Health Bureau, HCD - Environmental Services, and California Coastal Commission. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities exist on the subject property. Potable water to serve the development is provided by the Cal-Am public water

system. Wastewater will be treated by a replacement Onsite Wastewater Treatment System (OWTS). The project includes installation of a 2,000-gallon septic tank with a 1,500-gallon pump vault, and new leach field. A primary and secondary field was designed with an application rate of 1.2, based on the percolation testing, which will feature two 65-foot-long trenches to serve the proposed residence. The Environmental Health Bureau reviewed the evaluation and found the OWTS had the capacity to serve the proposed development, and that the system was observed to be in acceptable condition.

- c) Staff conducted a site inspection on December 12, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN250111.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on December 12, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250111.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement and reconstruction of existing structures, inclusive of single-family dwellings and accessory structures, with the proposed structures being located on the same site as the structure replaced, and will have substantially the same purpose and capacity of the structure being replaced.
 - b) The project involves demolition of the existing residence and garage, and construction of a replacement residence with a detached garage, in the same location as the existing residence and maintain the same purpose and capacity as the existing residence.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 12, 2025.
 - d) The project, as proposed, would not result in impacts on an environmental resource, any scenic highways, or historical resources (cultural or structural), and this site is not a hazardous waste site. Although the project has been sited and conditioned to ensure less than significant impacts on sensitive biological resources occur, the project's location in or near a particularly sensitive environment (CEQA

Guidelines section 15300.2(a)) does not bar the project from qualifying for a Class 2 exemption. No evidence of significant adverse environmental effects or cumulative effects was identified during the staff's review of the development application

- e) Staff conducted a site inspection on December 12, 2025, to verify that the site and proposed project meet the criteria for an exemption.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250111.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and the Local Coastal Program (LCP), and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan (Part 3) can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Trails Plan, in the Big Sur Coast Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The project planner conducted a site visit on December 12, 2025, to verify that the project, as proposed and conditioned and mitigated, would not impact public access. Based on this site inspection, the proposed development would not obstruct public views of the shoreline from surrounding roadways and would not obstruct public visual access to the shoreline from major public viewing corridors. The existing residence and attached garage are currently not visible from Highway 1, and proposed replacement dwelling unit would continue to not be from Highway 1, through siting the structures in the same development footprint and continuing to comply with reduced height standards. As proposed, the project will not result in adverse impacts to the public viewshed or scenic character in the project vicinity and is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan.
 - e) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN250111.

7. **FINDING:** **DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREAS (ESHA)** – The subject project avoids or minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the Big Sur Coast LUP, Coastal Implementation Plan, and applicable zoning codes.

- EVIDENCE:**
- a) The project includes application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Big Sur Coast Land Use Plan (LUP), Coastal

Implementation Plan, Part 3, and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.

- b) Pursuant to Big Sur Coastal Implementation Plan section 20.145.040, a Biological Report is required for all proposed development that is sited or may be sited within 100 feet of ESHA, and/or has the potential to negatively impact the long-term maintenance of the habitat. Therefore, a biological report was prepared in accordance with this policy (County of Monterey Library No. LIB250340).
- c) The project biologist surveyed the subject parcel twice within the same year to provide a flowering survey, and a field survey to determine project-related impacts to biological resources as a result of construction. As indicated in the project plans and County of Monterey GIS records, the area of construction is sited within 100-feet of ESHA, specifically Northern Coastal Bluff Scrub (NCBS). According to Big Sur Coastal Implementation Plan (CIP) section 20.145.040.B.4, projects within 100-feet of ESHA shall be prohibited, unless determined through a Biological report, to not negatively impact the habitat's long-term maintenance through siting, location, bulk, size, design, grading vegetation removal, and/or other methods where such modifications will reduce impacts to a level less than significant and assure the habitat's long-term maintenance.
- d) The proposed development will be sited primarily within existing development footprints, but expands to the north and south into existing areas occupied by ornamental landscaping. However, the proposed development will not be sited within ESHA or have direct or indirect impacts on ESHA and thus ensures the protection of ESHA (Policy 3.3.2.8). Further, the project is consistent with Big Sur Coast LUP Policies 3.3.2.4 and 3.3.2.7 as it proposes long-term improvements and maintenance of the habitat present on site through the use of invasive species eradication and habitat restoration recommendations, as detailed in the prepared biological report.
- e) As detailed in the report, to avoid potential impacts to nesting raptors and other nesting avian species, construction activities should be timed to avoid the nesting season period (February 1-September 1). Therefore, Condition No. 6 has been added to require the applicant to conduct the survey prior to ground disturbance and construction, if construction takes place between February 1 to September 1. The report also recommends that the bluff area be protected through the installation of silt fencing around the west and southwest development perimeter, to prevent unwarranted construction impacts and sedimentation erosion during construction. Condition No. 4 has been applied to require the Applicant/Owner to prepare a comprehensive construction management plan that illustrates the location of the protective fencing, areas suitable for construction staging, and other measures outlined in the report to protect onsite and nearby sensitive resources while avoiding construction nuisance impacts to nearby properties.
- f) Consistent with Big Sur LUP Policies 3.3.2.7 and 3.3.2.9, and per the biologist's recommendation, Condition No. 9 requires that the landscape plans include native landscaping species, and procedures to eradicate

invasive, exotic species from encroaching into the area containing ESHA to keep the land areas adjacent to the habitat compatible with the long-term maintenance of the sensitive resource. Consistent with Big Sur LUP Key Policy 3.3.1, Condition No. 11 has been added to require the Applicant/Owner to implement a Northern Coastal Bluff Scrub (NCBS) Restoration Plan that accomplishes the eradication of exotic species surrounding the native coastal bluff scrub habitat, to then be replanted with native species at a 2:1 ratio and monitored biannually for three years. All bluff restoration areas shall use species selections chosen on the basis of compatibility with the surrounding habitat conditions, and the final NCBS Restoration Plan shall be reviewed and approved by the project biologist and HCD-Planning to assure conformance with the habitat on site.

- g) According to the project biologist's survey, there is a low to moderate potential that the adjacent Monterey cypress trees provide monarch butterfly overwintering habitat. Although Monarch butterflies are not special status species, their overwintering habitat is recognized by the Big Sur Coast LUP as ESHA. Thus, with the implementation of standard Condition No. 5 (tree and root protection), any potentially overwintering habitat would be protected in place. Although Monarch butterflies were not observed, should construction initiate between October 15 and February 28, Condition No. 15 will require a pre-construction survey for monarch butterflies and related overwintering habitat to be prepared, and necessary buffer zones to be installed if observed. As designed and sited, the project will have less than significant impacts on Monarch butterfly overwintering habitat, and as conditioned, would ensure no impacts occur.
- h) Condition No. 13 requires a conservation and scenic easement be conveyed to the County of Monterey over those portions containing ESHA or restored to valuable ESHA pursuant to LUP Policy 3.3.2.3. This easement will ensure long-term habitat maintenance.
- i) As sited, designed, and conditioned, the proposed project would be consistent with regulations for the development adjacent to environmentally sensitive habitats, would have no or less than significant impacts on ESHA, and would result in enhanced ESHA habitat values.
- j) The project planner conducted a site inspection on December 12, 2025, to verify that the proposed project on the subject parcel conforms to the applicable plans and Monterey County Code.
- k) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN250111.

8. FINDING:

DEVELOPMENT WITHIN 50 FEET OF A COASTAL BLUFF –

There is no alternative location to position the proposed development and the location of the proposed development better achieves the goals, policies, and objectives of the applicable land use plan than other development alternatives.

EVIDENCE:

- a) The project includes application for development within 50 feet of a coastal bluff. Pursuant to the policies of the Big Sur Coast LUP and applicable Monterey County Code, a Coastal Development Permit is required, and the criteria to grant said permit have been met.

- b) During the construction permit phase, the project would be required to comply with Chapter 16.12, Erosion Control, which sets forth required provisions for preparation of erosion control plans, runoff control, land clearing, and winter operations; and establishes procedures for administering those provisions to minimize erosion during construction. In summary, overall site development would be subject to current regulations regarding control of erosion and drainage and would be required to address post-construction requirements and runoff reduction.
- c) Sand Loss Analysis. The County did not require a Sand Loss Analysis as the project will have no effect on the sand supply or transport of the ocean. The elevation of the proposed building site is approximately 45 feet above mean sea level, and the project site does not generate or receive measurable sands to or from the ocean.
- d) As indicated in the report, the two primary faults in the immediate vicinity of the property are the Palo Colorado Fault, which is about 1.8 miles north of the property, and the Sur Fault located approximately 0.9 miles south of the property. The geology in the vicinity of the subject site consists of sandstone bedrock overlain by recent marine terrace deposits. The bedrock is resistant to coastal erosion and the site has slow erosion rates due to how much of the coastal bluff face is composed of hard sandstone, and nearshore bedrock islets, which serve to diminish wave runoff and wave impact. The geologic observations of the bluff face and earth materials found in exploratory borings indicate that Marine Terrace Deposits exist at the building site and overly a wave cut bedrock platform surface approximately 15 to 20 feet below the ground surface. The field observations also indicate the bedrock found at the property contains sandstone, formed approximately 66 to 100 million years ago.
- e) Additionally, the report included a review of the potential of coastal erosion impacts as it relates to the project site. The report includes a series of 11 photos spanning the 47-year period from 1972 to 2019, revealing that there has been little change in the sandstone portion of the bluff face along the edge of the cove where the bluff edge is closest to the proposed improvements. The bluff face has shown a relatively low amount of discernible erosion, and the geologic and geomorphic conditions were found to be virtually identical in the photograph taken in April 2024 to those in the photograph from October 2019. As designed and located, the project would comply with applicable policies of the Big Sur Coast LUP Chapter 3.7.2.3 and has been designed to incorporate measures outlined in the report to minimize potential erosion concerns and incorporates the geologist's recommended 75-year coastal recession setback of 22.5 feet. Further, consistent with LUP Policy 3.7.3.A.9, the prepared geotechnical and geological reports demonstrate that the site would be stable for development. As designed, it is anticipated that the proposed habitable development and necessary improvements (septic, water, etc.) would not be subject to failure over the course of its economic life span.

- f) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN250111.

9. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and to the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20). An appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors
 - b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea, located within three hundred (300) feet of the top of the seaward face of a coastal bluff, and involves conditionally allowed uses (development within 100 feet of ESHA and 50 feet of a coastal bluff)

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of:
 - 1) Coastal Administrative Permit and Design Approval to allow demolition of existing residence, garage, and other site improvements, and the construction of a 5,754 square-foot single-family dwelling with a detached 701 square foot garage and associated site improvements; and
 - 2) Coastal Development Permit to allow the development within 100 feet of ESHA; and
 - 3) Coastal Development Permit to allow development within 50 feet of a Coastal Bluff; and
 - 4) Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource

PASSED AND ADOPTED this 25th day of March 2026 upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250111

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN250111) allows demolition of an existing residence and garage, and construction of a replacement 5,429 square foot single-family dwelling with a 701 square foot detached garage and associated site improvements including a new septic system, development within 100 feet of Environmentally Sensitive Habitat (ESHA), development within 50 feet of a Coastal bluff, and development within 750 feet of a known archaeological resource. The property is located at 35700 Highway 1, Monterey (Assessor's Parcel Number 243-231-014-000), Big Sur Coast Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by Planning Commission for Assessor's Parcel Number 243-231-014-000 on March 25, 2026. The permit was granted subject to 15 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (as applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - Types of construction vehicles and number of trucks and/or vehicle trips/day.
 - Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
- Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
- The CMP shall:
 - Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
 - Prohibit blocking of access roads or driveways.
 - Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - Provide adequate storage and staging areas. Staging and storage areas shall be on-site to the maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
 - Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP. (HCD - Planning)

- All construction parking/staging shall be on private property, and measures shall be taken to prevent construction vehicles from queuing on highway 1 at any time during the construction.
- Construction vehicles shall not park along California Highway 1 and will be parked on site to reduce the visual impacts seen by highway 1 travelers and the surrounding communities during the construction

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 1 to September 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 7 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. If there is more than a one-week delay of construction activities during the nesting season, additional surveys for nesting birds may be required to continue during construction to address new arrivals or secondary nesting. The necessity and timing of these continued surveys will be determined by the qualified biologist based on the proposed construction scheduling(HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the HCD -Planning Department and any other appropriate County Departments. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall contact HCD -Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities. The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. HCD -Planning staff shall be responsible for identifying and notifying other County Departments that should attend the meeting (if applicable).

9. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail and include the recommendations made in the prepared Biological Report (LIB250340) to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PDSP001 - CULTURAL RESOURCES SENSITIVITY TRAINING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To reduce potential impacts on cultural resources that may be discovered during ground disturbing and construction activities, a qualified archaeological (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA) shall be retained to prepare and conduct a pre-construction cultural resources training program with all construction crew and serve as an on-call monitor for the duration of all project-related ground-disturbing activities. The purpose of the pre-construction cultural resources training program shall be to train the construction and demolition crew on how to identify potential cultural resources, and procedures for if previously unknown cultural resources are identified during construction operations. If at any time, potentially significant archaeological resources or intact features are discovered, Condition of Approval PD003(A) shall be adhered to. The Archaeological Monitor shall review and evaluate any inadvertent discoveries to determine if they are historical resource(s) and/or unique archaeological resources or tribal cultural resources. If the Archaeological Monitor determines that any cultural resources exposed during construction constitute a historical resource and /or unique archaeological resource or tribal cultural resource under CEQA, he/she shall notify the project proponent and other appropriate parties of the evaluation. The Professional Archaeologist shall recommend mitigation measures to mitigate to a less than significant impact in accordance with California Public Resources Code Section 15064.5. The contract shall require that the Archaeological Monitor keep a log of inadvertent discoveries and submit a final report summarizing compliance actions with HCD-Planning.

Compliance or Monitoring Action to be Performed: Prior to the issuance of permits from Building Services, the Applicant/Owner shall submit to HCD-Planning a copy of the contract between the Applicant/Owner and a qualified archaeologist. The contract shall include the requirements of this condition and specify that the archaeologist will prepare and conduct a pre -construction cultural resources training for all construction crew. The contract shall also specify that the archaeologist will be retained on an "on-call" basis for all ground disturbing construction to review, identify, and evaluate cultural resources that may be inadvertently exposed during construction (Condition No. 3).

Prior to initial ground disturbance, the Applicant/Owner shall submit evidence to HCD-Planning demonstrating that the pre-construction cultural resources training meeting occurred as required by this condition. Such evidence shall be in the form of a letter from the qualified archaeologist and a list of attendees.

11. PDSP005- NORTHERN COASTAL BLUFF SCRUB RESTORATION PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The following sensitive plants are located within proposed development areas and shall be replaced at a minimum of a 2:1 ratio:

- Seacliff buckwheat
- Seaside paintbrush:
- Ocean bluff milk vetch

The Project Biologist shall develop a Northern Coastal Bluff Scrub Restoration Plan with the primary goal of restoring all areas currently occupied by introduced landscape plantings around the development area, including proposed septic leach field areas inundated with exotic species and any disturbed soils resulting from staging, trenching, or other ground disturbance development impacts on the bluff parcel. Other objectives of the plan include restoring coastal bluff scrub habitat with site-identified native species and eliminating all aggressive exotic invasive species, including but not limited to iceplant, cape ivy, pride-of-Madeira, and periwinkle. Prior to issuance of grading and construction permits, the project biologist shall conduct qualitative and quantitative analysis of existing northern coastal bluff scrub habitat for baseline data of species compositions to develop species and quantitative replanting specifications. Any alterations or revisions to development or infrastructure plans shall be reviewed by the project biologist to assess potential impacts and recommend remedial mitigations if further disturbance within areas containing Seacliff buckwheat, Northern coastal bluff scrub, Coastal scrub sensitive species are proposed. The Northern Coastal Bluff Scrub Restoration Plan shall include at a minimum, the following actions:

- Remove introduced landscape plantings and eradicate all aggressive invasive species within the restoration areas.
- Seed and plant collections of site-specific native northern coastal bluff scrub species for propagation for restoration plant stock. It is imperative to keep the genetic stock of restoration plant material local to the parcel. Contract grow plant materials with specialized restoration nursery familiar with the propagation and growing requirements of the subject native plant species.
- Stabilize soils with erosion control measures.
- Restore coastal bluff with propagated materials during the late fall season to coincide with seasonal rains.
- Establish exotic species control protocols and management tools.
- Establish a monitoring program to track success of exotic species control and establishment of native coastal bluff scrub species. Quarterly monitoring will be conducted for the first three years followed by biannual monitoring for years four and five. Success criteria and percent cover analysis to be determined after establishing the baseline data and will be incorporated into the restoration plan.
- Establish long-term maintenance program for invasive species control, soil stabilization, and other actions noted during monitoring.
- Avoid impacts to outlining habitats and improve area as habitat for wildlife by maintaining good land stewardship practices.
- Detail the mitigation protocols for special status species that are identified in the pre-construction / pre-eradication surveys which could be impacted by the construction and restoration/eradication efforts. Mitigation shall include but is not limited to 2:1 replanting, establishing exclusionary zones, and habitat fencing. Replanted species shall be monitored accordingly.
- Preparation of a final report summarizing the implemented protective measures, observed and/or impacts species, 5-year monitoring compliance with success criteria,

and the need for additional remediation.

**Compliance or
Monitoring
Action to be
Performed:**

- Prior to issuance of building permits, develop and submit a Northern Coastal Bluff Scrub Restoration Plan integrated as a part of the project Landscape Plan to the Monterey County Housing and Community Development – Project Planner for approval. All disturbed soils within NCBS habitat resulting from exotic species controls, repair work or removal of hand railings, decking, stairs, and wood retaining walls, removal of ornamental landscape plantings, and/or any proposed construction elements (drain lines, etc.) shall be mitigated for restoration with site appropriate Northern Coastal Bluff Scrub habitat. Prior to any proposed impacts along the bluff, the project biologist shall assess the work areas and survey for listed species, including sea cliff buckwheat, seaside paintbrush and potentially ocean milk vetch. If any listed species are determined to be impacted, the project would be required to mitigate with replanting at a recommended 2:1 ratio for all listed species impacted. All proposed mitigation replanting resulting from construction impacts (including from impacts resulting from exotic species removals) shall be monitored biannually for a three-year period with biannual reporting submitted to the Monterey County Housing and Community Development – Project Planner for approval.
- Subject plan shall include prescriptions and protocols for restoration of the bluff scrub habitat including but not limited to invasive species removal (see Impact/Recommendation 4) and long-term control methodology, erosion control measures, site specific species restoration for NCBS species and/or site-specific seed planted in appropriate micro-habitats, temporary irrigation, and establish conditions for natural species recruitment.
- Surrounding cypress trees or tree limbs along the bluff shall be assessed by the project arborist to review potential hazardous limb removal for the safety of the occupants and reduce risk of harm or fire laddering.
- Final submittal of Northern Coastal Bluff Scrub Restoration Plan, specifically the planting list, to be reviewed and approved by the project biologist to ensure species list conforms to the habitat on site and that no potentially invasive, non-native species, or native species cultivars that may cross pollinate with on site species are proposed for use.
- Any proposed plant materials should be installed in the Fall months to coincide with seasonal rains and natural plant phenology characteristics.
- Any proposed temporary irrigation should be decommissioned and removed after a two-year period following native seeding and/or planting.

12. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

13. PD022(C) - EASEMENT-CONSERVATION AND SCENIC (COASTAL)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the County over those portions of the property where ESHA exist(s) or is being restored by this permit, in accordance with the procedures in Monterey County Code § 20.64.280.A. A Subordination Agreement shall be required, where necessary. The easement shall be developed in consultation with certified professional (biologist). An easement deed shall be submitted to, reviewed and approved by the Director of HCD - Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recording the parcel/final map or prior to issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to recording the parcel/final map or prior to issuance of grading and building permits, the Owner/Applicant shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval.

Prior to or concurrent with recording the parcel/final map or prior to issuance of grading and building permits, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD – Planning.

14. PDSP003 – COASTAL HAZARDS DEED RESTRICTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: "In accordance with Big Sur Coast Land Use Plan Hazards Policy 3.7.2.4, the owner shall record a deed restriction on the property describing the nature of the properties hazards (Coastal Hazards, including but not limited to waves, storms, flooding, landslide, bluff erosion, and earth movement, many of which will worsen with future sea level rise) and long-term maintenance requirements. The deed restriction shall say the following:

"a. Coastal Hazards. This deed restriction is being recorded to satisfy Condition No. 12 of the Combined Development Permit Approval (PLN250111), approved by the County of Monterey Planning Commission Resolution No. 26-. By accepting this permit, the property owner has accepted the following conditions and restrictions, which shall run with the land:

b. Coastal Hazards. That the site is subject to coastal hazards, including but not limited to waves, storms, flooding, landslide, bluff erosion, and earth movement, many of which will worsen with future sea level rise.

c. Assume Risks. The property owner assumes all risks to the Permittee and the properties that are the subject of this permit of injury and damage from such hazards in connection with this permitted development.

d. Liability Waiver. The property owner unconditionally waive any claim of damage or liability against the California Coastal Commission & the County of Monterey, and their officers, agents, and employees for injury or damage from such hazards.

e. Indemnification. The property owner indemnifies and holds harmless the California Coastal Commission & the County of Monterey, and their officers, agents, and employees with respect to the County's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards. This indemnification obligation is in addition to, and cumulative of, the indemnification obligation imposed by the County of Monterey Planning Commission Resolution No. 26-, Condition No. 12. Property owner understands and agrees that both indemnification obligations shall be memorialized in the indemnification agreement.

f. Permittee Responsible. That any adverse effects to property caused by the permitted project shall be fully the responsibility of the Permittee.

g. Shoreline Armoring Prohibited. That no shoreline armoring shall ever be constructed to protect the development approved pursuant to this CDP, including in the event that the development is threatened with damage or destruction from coastal hazards in the future.

h. Waiver of Rights to Construct Armoring. The Permittee hereby waives, on behalf of itself and all successors and assigns, any rights to construct such armoring that may exist under applicable law."
(HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, owner/applicant shall record the deed restriction, and provide HCD-Planning with evidence that it has been recorded. Such evidence shall be in the form of a copy of the recorded document with the recorders seal.

15. PDSP004-MONARCH BUTTERFLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The monarch butterfly (*Danaus plexippus*) is noted to occur in nearby groves of eucalyptus, Monterey cypress, and Monterey pine trees. Butterfly overwintering roosting sites are recognized as Environmentally Sensitive Habitat Area in the Big Sur Coast Land Use Plan. Any disturbance to roosting trees or loud activities near roosting sites can disrupt the overwintering butterflies. The Monterey cypress trees on the parcel may provide potential overwintering roosts for the Monarch butterfly. Surveys were conducted for the development of this report but found no observations of overwintering on the bluff or inland parcels during 2021-2022 seasonal site monitoring. Though overwintering habitat is determined to be of low potential on the subject parcel, the potential does exist for the butterfly to overwinter on site. If proposed construction is proposed during nesting season, surveys should be conducted during observations times (mid-October – February) to determine their presence or lack thereof. If overwintering populations are observed, construction buffer zones shall be developed to limit unwarranted construction impacts from potentially impacting the butterflies.

Compliance or Monitoring Action to be Performed: The existing grove of Monterey cypress trees should be preserved and protection fencing be installed to avert unwarranted construction impacts to the tree trunks, roots, and limbs

If construction is to be initiated between October 15 and February 28, the Project Biologist shall conduct a pre-construction survey for Monarch butterflies. Pre-construction surveys shall be conducted no more than 30 days prior to the start of construction. If overwintering populations are observed, construction buffer zones shall be developed to limit unwarranted construction impacts from potentially impacting the butterflies.

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FIELD
ARCHITECTURE

974 COMMERCIAL ST. STE 104
PALO ALTO, CA 94303
650.462.9554

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VICINITY MAP



SCOPE OF WORK

REPLACE THE EXISTING SINGLE FAMILY RESIDENCE WITH A NEW MAIN RESIDENCE, DETACHED GARAGE, A NEW SEPTIC SYSTEM, AND ASSOCIATED SITE WORK. REPLACE ON A 1:1 BASIS THE EXISTING VIEWING DECK & BLUFF STAIRS.

BUILDING INFORMATION

OCCUPANCY GROUP: R-3 / RESIDENTIAL & U / UTILITY
CONSTRUCTION TYPE: V-8
FIRE PROTECTION: 130 FIRE SPRINKLER SYSTEM
APPLICABLE CODES: 2022 California Building Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Green Building Code
2022 California Energy Code
2022 California Fire Code
2022 California Residential Code

PROJECT DIRECTORY

OWNER: LEX NEAL BAYER REVOCABLE TRUST
ARCHITECT: FIELD ARCHITECTURE, INC.
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Peter Dew
T. 831 999 7667

DRAWING INDEX

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
GENERAL		EX-1	SLOPE CALCULATION EXHIBIT
G000	TITLE SHEET	LANDSCAPE	
G002	EXISTING CONDITIONS	L101	OVERALL CONCEPT LANDSCAPE PLAN
G003	CONSTRUCTION MANAGEMENT PLAN	L102	LANDSCAPE MATERIALS - ENLARGED PLAN
SURVEY		L103	OVERALL PLANT SCHEDULE
SU1	SURVEY	L200	IRRIGATION NOTES AND LEGEND
CIVIL		L201	IRRIGATION PLAN
C-1.0	TITLE SHEET	L202	IRRIGATION PLAN
C-1.1	OVERALL SITE PLAN	L203	IRRIGATION DETAILS
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN	L204	IRRIGATION DETAILS
C-2.1	PRELIMINARY GRADING & DRAINAGE PLAN	L205	IRRIGATION DETAILS
C-2.2	PRELIMINARY GRADING & DRAINAGE PLAN	L206	IRRIGATION DETAILS
C-3.0	PRELIMINARY UTILITY PLAN	L207	IRRIGATION WATER CALCULATIONS
C-3.1	PRELIMINARY UTILITY PLAN	L500	FUEL MANAGEMENT PLAN
ER-1	EROSION CONTROL PLAN	L501	FUEL MANAGEMENT NOTES
ER-2	EROSION CONTROL DETAILS	ARCHITECTURAL	
		A0050	(E) SITE & DEMO PLAN
		AS050	(N) SITE PLAN
		AS051	(N) ENLARGED SITE PLAN
		AS055	(N) SITE PLAN - ROOF
		A101	FLOOR PLAN
		A200	ELEVATIONS

PROJECT DATA

PROJECT NAME: BAYER RESIDENCE
SITE ADDRESS: 35700 HIGHWAY 1, MONTEREY, CA 93940

ZONING INFORMATION
APN: 243-231-014
PARCEL AREA: 87,120 SF
ZONING DISTRICT: RDR/40-D(14)(CZ)
TREE REMOVAL: NO TREES TO BE REMOVED
SETBACKS: FRONT: 30' / SIDE: 20' / REAR: 20' / ACCESSORY SIDE: 1' IN REAR HALF OF PROPERTY
MAX HEIGHT: 14' STANDARD AVERAGE NATURAL GRADE
PROPOSED HEIGHT: 14' STANDARD AVERAGE NATURAL GRADE
PARKING REQUIRED: 2 SPACES/ UNIT
PARKING PROPOSED: 2 IN GARAGE
SEWER: ONSITE WASTEWATER TREATMENT SYSTEM
WATER: CALIFORNIA-AMERICAN WATER COMPANY
GRADING: 240 CY CUT; 10 CY FILL

EXISTING AND PROPOSED PROJECT AREAS - (APN 243-231-014)			
PARCEL SIZE:	ALLOWED	EXISTING	PROPOSED
		87,120 SF	87,120 SF
FLOOR AREA:		3,914 SF	6,455 SF
			- MAIN RESIDENCE: 5,754 SF
			- GARAGE: 701 SF
BUILDING SITE COVERAGE:		4,866 SF	7,830 SF
			- MAIN RESIDENCE: 5,754 SF
			- GARAGE: 701 SF
			- EAVES >30": 1,375 SF
			- DECKS <24": NONE
	(25% ALLOWED)	(5.59 %)	(8.99 %)
IMPERVIOUS COVERAGE:		7,855 SF	6,433 SF
			- DRIVEWAY: 4,989 SF
			- PATHWAYS: 560 SF
			- PATIOS/LANDINGS: 256 SF
			- DECKS <24": 540 SF
			- HOT TUB: 80 SF
TOTAL COVERAGE: (INCLUDES BUILDING SITE COVERAGE PLUS IMPERVIOUS COVERAGE)		12,721 SF	14,263 SF

Issue Set / Revisions		
No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24
2	PLANNING SET	9.05.25
3	PLANNING SET_REV 1	11.17.25

North

BAYER RESIDENCE

35700 HIGHWAY 1
MONTEREY, CA 93940
APN: 243-231-014

Date: 11/17/2025
Drawn by: TMD
Scale:

TITLE SHEET

Sheet number

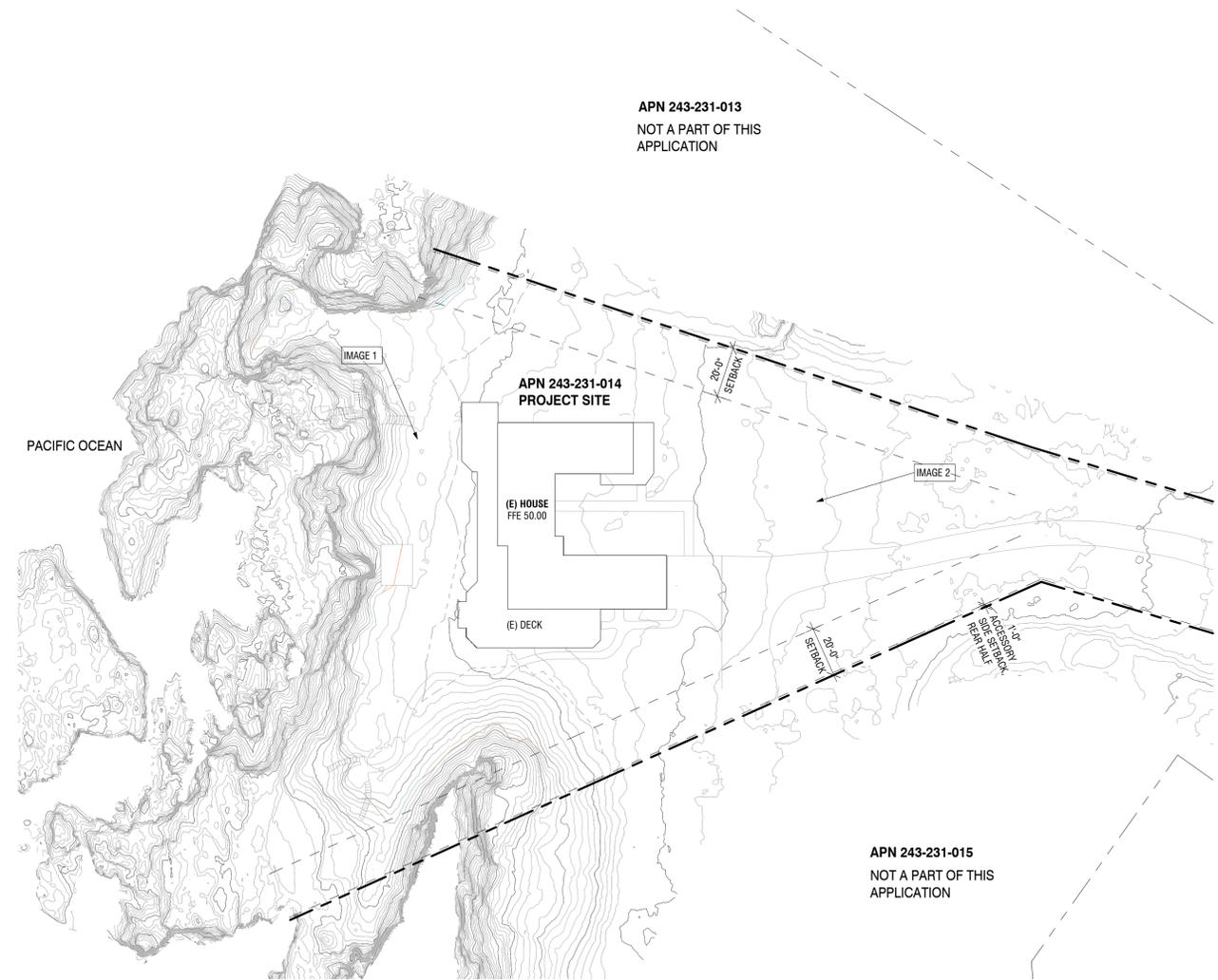
G000



IMAGE 2



IMAGE 1



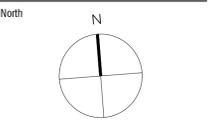
① (E) SITE PLAN
1/32" = 1'-0"

FIELD ARCHITECTURE

974 COMMERCIAL ST., STE 104
PALO ALTO, CA 94303
650.462.9554

These plans are copyrighted and are subject to copyright protection as an "architectural work" under Sec. 102 of the Copyright Act, 17 U.S.C. as amended December 1990 and revised as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of design, under such protection, unauthorized use of these plans, work or building represented, can legally result in the cessation of construction or buildings being copied and/or monetary compensation to FIELD ARCHITECTURE.

Issue Set / Revisions		
No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24
2	PLANNING SET	9.05.25
3	PLANNING SET_REV 1	11.17.25



BAYER RESIDENCE

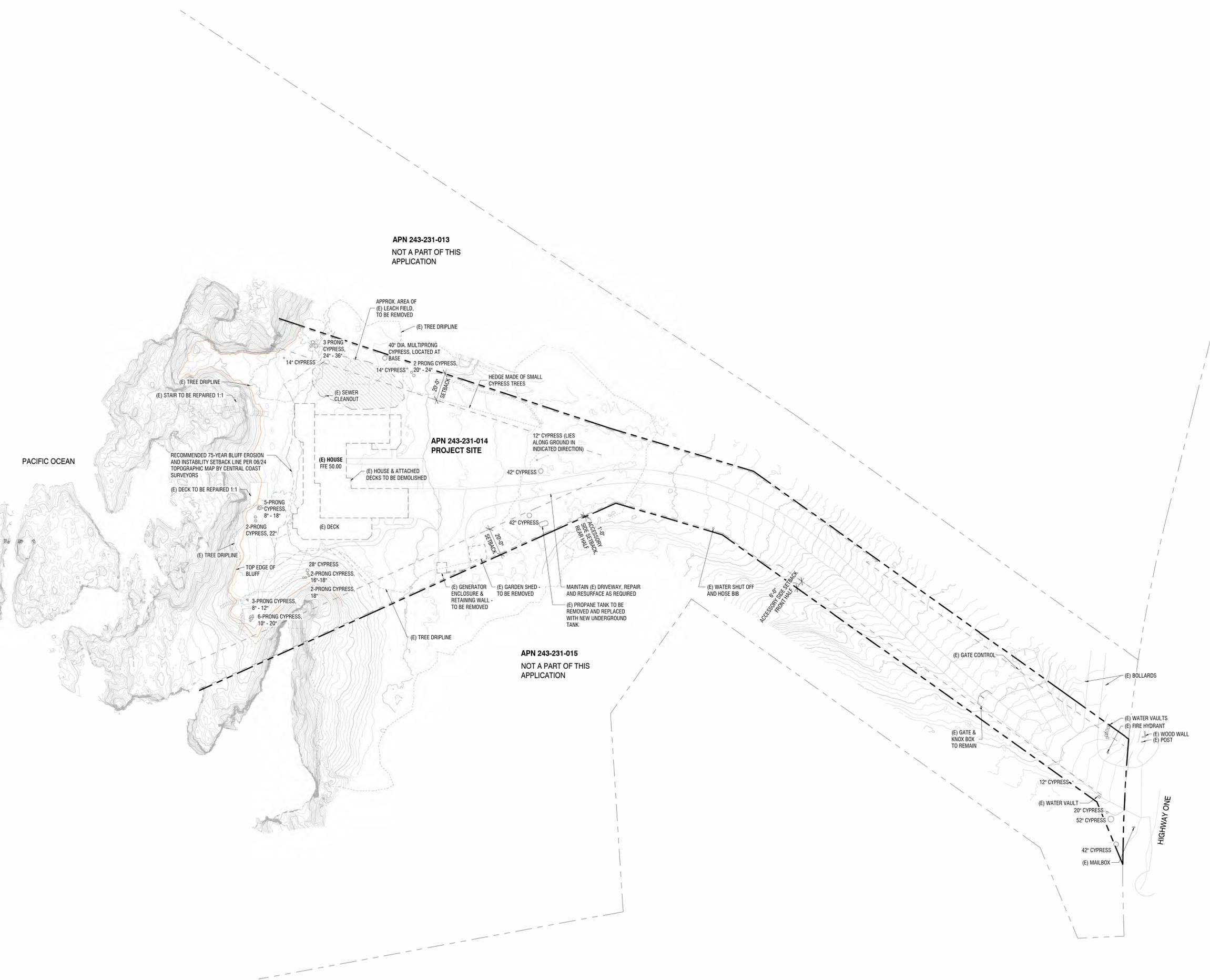
35700 HIGHWAY 1
MONTEREY, CA 93940
APN: 243-231-014

Date	11/17/2025
Drawn by	TMD
Scale	1/32" = 1'-0"

EXISTING CONDITIONS

Sheet number

G002



1 ENLARGED (E) SITE & DEMO PLAN
1/32" = 1'-0"

FIELD
ARCHITECTURE

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PALO ALTO, CA 94303
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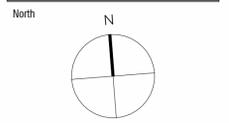
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Issue Set / Revisions

No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24
2	PLANNING SET	9.05.25
3	PLANNING SET_REV 1	11.17.25

LEGEND

- EXISTING SITE STRUCTURES TO BE DEMOLISHED
- UNDERGROUND UTILITIES
- 48 (N) CONTOUR
- 48 (E) CONTOUR
- (E) TREES
- (N) TREES



BAYER RESIDENCE

35700 HIGHWAY 1
MONTEREY, CA 93940
APN: 243-231-014

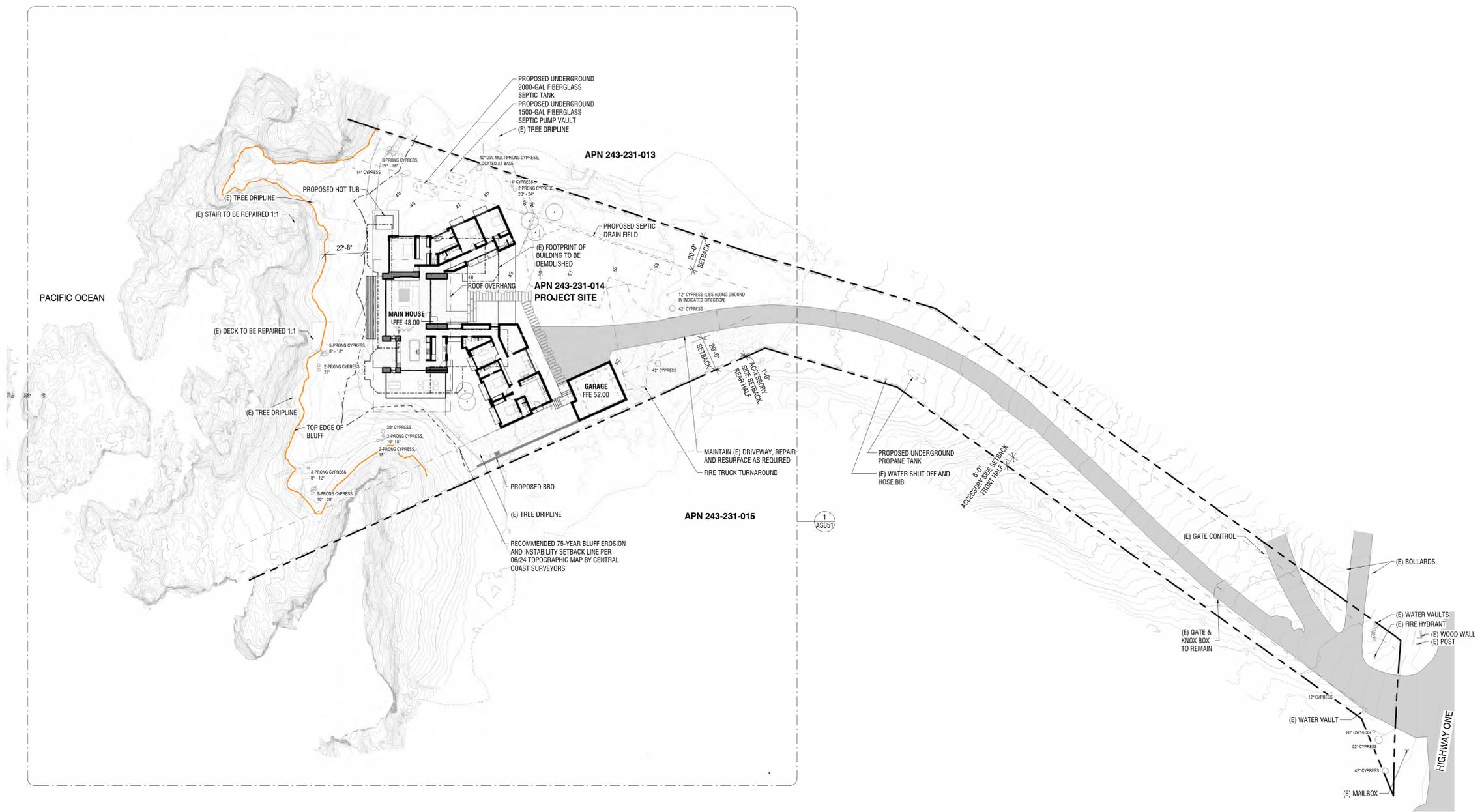
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Scale	As indicated

(E) SITE & DEMO PLAN

Sheet number

AD050

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LEGEND

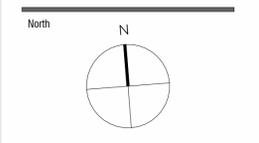
- EXISTING SITE STRUCTURES TO BE DEMOLISHED
- UNDERGROUND UTILITIES
- 48 (N) CONTOUR
- 48 (E) CONTOUR
- (E) TREES
- (N) TREES

FIELD ARCHITECTURE
 974 COMMERCIAL ST., STE 104
 PALO ALTO, CA 94303
 650.462.9554

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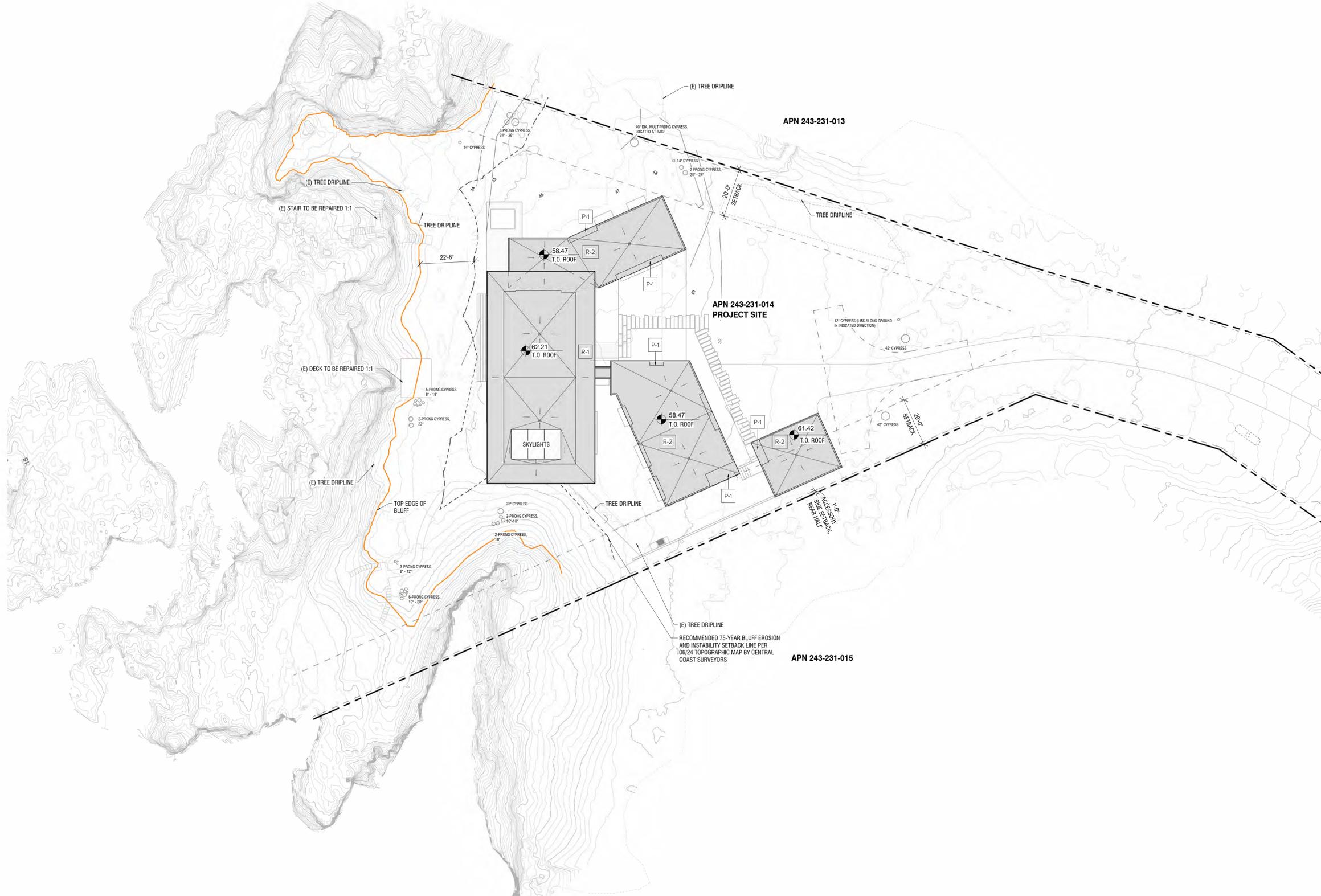
BAYER RESIDENCE
 35700 HIGHWAY 1
 MONTEREY, CA 93940
 APN: 243-231-014

Date 11/17/2025
 Drawn by TMD
 Scale As indicated

(N) SITE PLAN

Sheet number
AS050

EXTERIOR MATERIALS LEGEND			
MARK	MATERIAL	DESCRIPTION	COMMENTS
EXTERIOR WALL FINISHES			
S-1	(S-1) SIDING - STONE VENEER	ADHERED SPLIT FACE THIN VENEER STONE, OVER-GROUTED.	
S-2	(S-2) WALL - STUCCO	INTEGRAL COLOR RAKED STUCCO FINISH Q/ SCRATCH & BROWN COAT W/ SELF FURRING LATH	
GLAZING			
GL-1	(GL-1) TEMPERED IGU	DOUBLE PANE IGU WITH THERMALLY BROKEN ALUMINUM FRAME; FRAME COLOR: DARK GRAY/BLACK	
METAL FINISHES			
P-1	(P-1) METAL - STEEL (EXTERIOR)	ALL FASCIA AND TRIM, PAINTED NON-REFLECTIVE DARK GRAY/BLACK TO MATCH WINDOW & EXT. DOOR FRAMES	
ROOF FINISHES			
R-1	(R-1) METAL ROOF	CLASS A STANDING SEAM METAL ROOF	
R-2	(R-2) GRAVEL	ROUNDED PEA GRAVEL OVER MEMBRANE ROOF	



1 ENLARGED ROOF PLAN
1" = 20'-0"

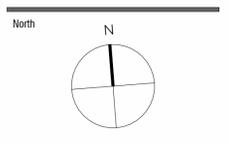
FIELD
ARCHITECTURE
974 COMMERCIAL ST. STE 104
PALO ALTO, CA 94303
650.462.9554

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68

Issue Set / Revisions		
No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24
2	PLANNING SET	9.05.25
3	PLANNING SET_REV 1	11.17.25

LEGEND	
	EXISTING SITE STRUCTURES TO BE DEMOLISHED
	UNDERGROUND UTILITIES
	(N) CONTOUR
	(E) CONTOUR
	(E) TREES
	(N) TREES



BAYER RESIDENCE
35700 HIGHWAY 1
MONTEREY, CA 93940
APN: 243-231-014

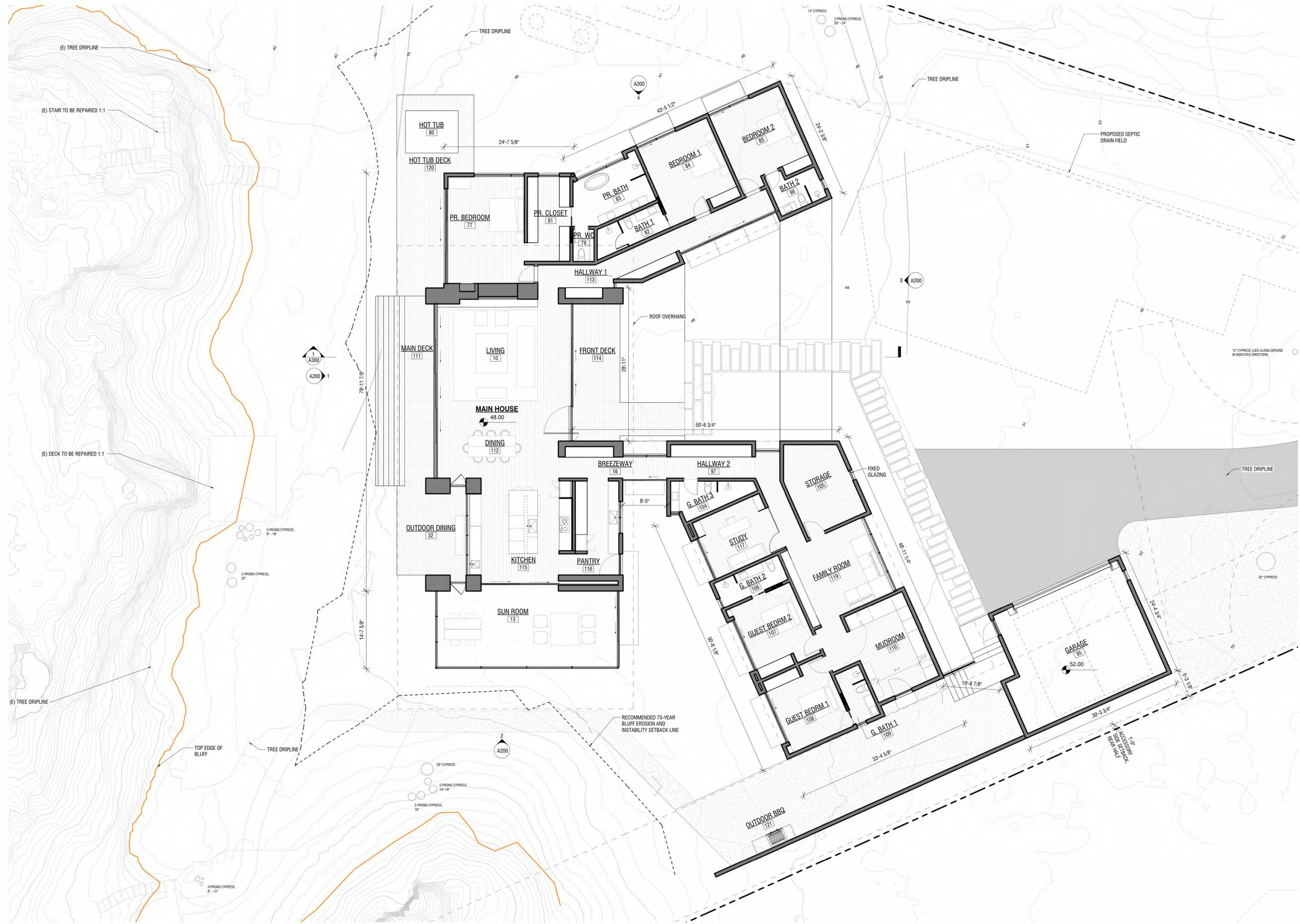
Date	11/17/2025
Drawn by	TMD, JR
Scale	As indicated

(N) SITE PLAN - ROOF

Sheet number

AS055

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1 FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

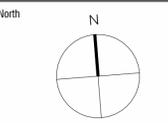
FIELD ARCHITECTURE

974 COMMERCIAL ST. STE 104
PALO ALTO, CA 94303
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69

Issue Set / Revisions	No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24	
2	PLANNING SET	9.05.25	
3	PLANNING SET_REV 1	11.17.25	



BAYER RESIDENCE

35700 HIGHWAY 1
MONTEREY, CA 93940
APN: 243-231-014

Date	11/17/2025
Drawn by	TMD
Scale	1/8" = 1'-0"

FLOOR PLAN

Sheet number

A101

11/16/2025 11:18:47 AM



S-1



S-2



S-3

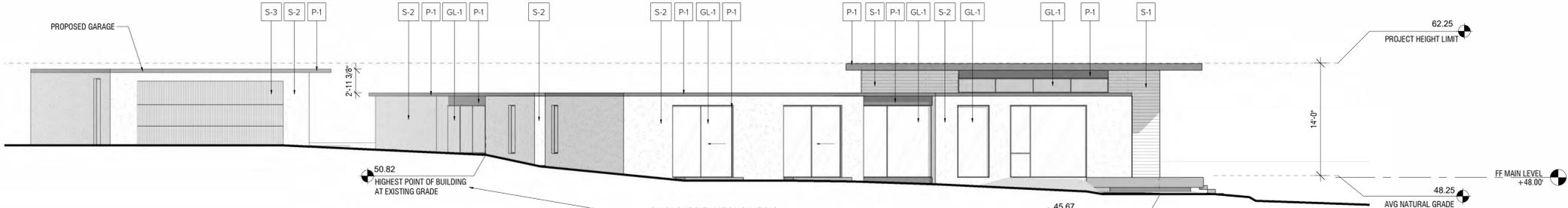


P-1 & R-1



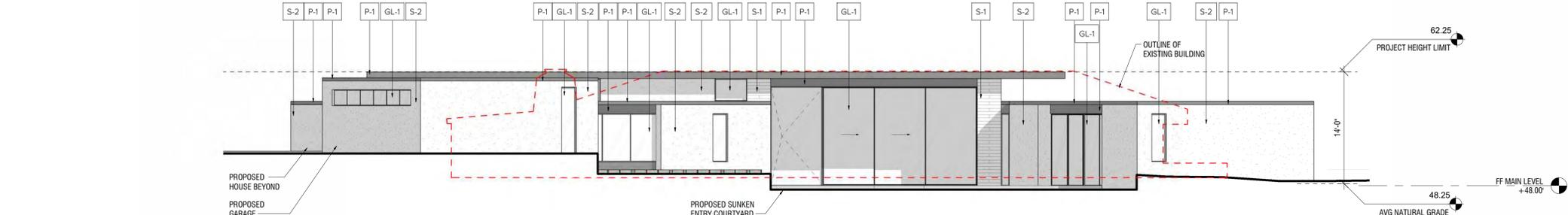
CONCRETE

EXTERIOR MATERIALS LEGEND			
MARK	MATERIAL	DESCRIPTION	COMMENTS
EXTERIOR WALL FINISHES			
S-1	(S-1) SIDING - STONE VENEER	ADHERED SPLIT FACE THIN VENEER STONE, OVER-GROUTED.	
S-2	(S-2) WALL - STUCCO	INTEGRAL COLOR RAKED STUCCO FINISH O/ SCRATCH & BROWN COAT W/ SELF FURRING LATH	
S-3	(S-3) SIDING - WOOD - VERTICAL BOARDS	1x6 S4S OR ROUGH SAWN (TBD), VG WRC SHIP LAP (TBD) O/RAINSREEN DRAINAGE MAT, ALLOW 2 COATS S.W. WOODSCAPES STAIN OR SIM	FASTEN W/ HEADCOAT 305 SS #7 X 2 1/4" TRIM HEAD SCREW, COLOR TBD PER FINISH, ON GARAGE DOOR ONLY
GLAZING			
GL-1	(GL-1) TEMPERED IGU	DOUBLE PANE IGU WITH THERMALLY BROKEN ALUMINUM FRAME, FRAME COLOR: DARK GRAY/BLACK	
METAL FINISHES			
P-1	(P-1) METAL - STEEL (EXTERIOR)	ALL FASCIA AND TRIM, PAINTED NON-REFLECTIVE DARK GRAY/BLACK TO MATCH WINDOW & EXT. DOOR FRAMES	
ROOF FINISHES			
R-1	(R-1) METAL ROOF	CLASS A STANDING SEAM METAL ROOF	
R-2	(R-2) GRAVEL	ROUNDED PEA GRAVEL OVER MEMBRANE ROOF	

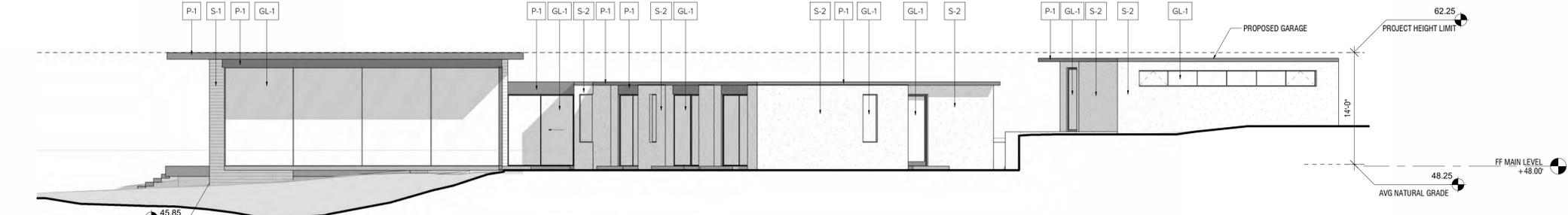


④ NORTH ELEVATION
1/8" = 1'-0"

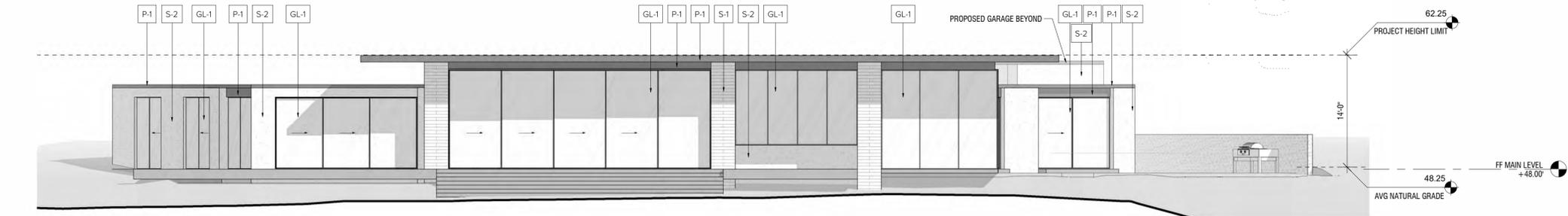
BUILDING HEIGHT LIMIT CALCULATIONS:
 HIGHEST POINT OF BUILDING AT EXISTING GRADE: 50.82'
 LOWEST POINT OF BUILDING AT EXISTING GRADE: 45.67'
 AVERAGE GRADE = (50.82' + 45.67') / 2 = 48.245'
 BUILDING HEIGHT LIMIT = AVG GRADE + 14' = 48.25' + 14' = 62.25'
 PROJECT HEIGHT LIMIT = 62.25'



③ EAST ELEVATION (FRONT ENTRY)
1/8" = 1'-0"



② SOUTH ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
1/8" = 1'-0"

FIELD ARCHITECTURE
 974 COMMERCIAL ST., STE 104
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Issue Set / Revisions		
No.	Description	Date
1	SCHEMATIC ESTIMATE	10.22.24
2	PLANNING SET	9.05.25
3	PLANNING SET_REV 1	11.17.25

North

BAYER RESIDENCE
 35700 HIGHWAY 1
 MONTEREY, CA 93940
 APN: 243-231-014

Date 11/17/2025
 Drawn by TMD, JR
 Scale As indicated

ELEVATIONS

Sheet number

A200

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FIELD
ARCHITECTURE

974 COMMERCIAL ST. STE 104
PALO ALTO, CA 94303
650.462.9554

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VICINITY MAP



SCOPE OF WORK

REPLACE THE EXISTING SINGLE FAMILY RESIDENCE WITH A NEW MAIN RESIDENCE, DETACHED GARAGE, A NEW SEPTIC SYSTEM, AND ASSOCIATED SITE WORK. REPLACE ON A 1:1 BASIS THE EXISTING VIEWING DECK & BLUFF STAIRS.

BUILDING INFORMATION

OCCUPANCY GROUP: R-3 / RESIDENTIAL & U / UTILITY
CONSTRUCTION TYPE: V-8
FIRE PROTECTION: 130 FIRE SPRINKLER SYSTEM
APPLICABLE CODES: 2022 California Building Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Green Building Code
2022 California Energy Code
2022 California Fire Code
2022 California Residential Code

PROJECT DIRECTORY

OWNER:	LEX NEAL BAYER REVOCABLE TRUST	ARBORIST:	COAST WILDLAND PO BOX 222967, CARMEL, CA 93922 Benjamin R. Eichorn T. 831 224 4442
ARCHITECT:	FIELD ARCHITECTURE, INC. 974 COMMERCIAL ST SUITE 104 PALO ALTO, CA 94306 Jess Field, Architect AIA, LEED AP T. 650 462 9554	SEPTIC:	831 PLUMBING AND SEPTIC SERVICES 71 W CARMEL VALLEY RD SUITE #101, CARMEL VALLEY, CA 93924 Peter Dew T. 831 999 7667
CONTRACTOR:	MASON HAMMER BUILDERS 18840 SUTTER BLVD # 100, MORGAN HILL, CA 95037 J.T. Matarangas T. 408 778 6060		
CIVIL ENGINEER:	LEA & BRAZE ENGINEERING, INC 2495 INDUSTRIAL PKWY W, HAYWARD, CA 94545 Pete Carliano T. 510 887 4086		
GEOLOGIST/GEO TECHNICAL ENGINEER:	HARO KASUNICH & ASSOCIATES INC. 116 E LAKE AVE, WATSONVILLE, CA 95076 Mark Fox T. 631 722 4175		
BIOLOGIST:	FRED BALLERINI PO BOX 1023, PACIFIC GROVE, CA 93950 Fred Ballerini T. 831 333 9009		

DRAWING INDEX

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
GENERAL		EX-1	SLOPE CALCULATION EXHIBIT
G000	TITLE SHEET	LANDSCAPE	
G002	EXISTING CONDITIONS	L101	OVERALL CONCEPT LANDSCAPE PLAN
G003	CONSTRUCTION MANAGEMENT PLAN	L102	LANDSCAPE MATERIALS - ENLARGED PLAN
SURVEY		L103	OVERALL PLANT SCHEDULE
SU1	SURVEY	L200	IRRIGATION NOTES AND LEGEND
CIVIL		L201	IRRIGATION PLAN
C-1.0	TITLE SHEET	L202	IRRIGATION PLAN
C-1.1	OVERALL SITE PLAN	L203	IRRIGATION DETAILS
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN	L204	IRRIGATION DETAILS
C-2.1	PRELIMINARY GRADING & DRAINAGE PLAN	L205	IRRIGATION DETAILS
C-2.2	PRELIMINARY GRADING & DRAINAGE PLAN	L206	IRRIGATION DETAILS
C-3.0	PRELIMINARY UTILITY PLAN	L207	IRRIGATION WATER CALCULATIONS
C-3.1	PRELIMINARY UTILITY PLAN	L500	FUEL MANAGEMENT PLAN
ER-1	EROSION CONTROL PLAN	L501	FUEL MANAGEMENT NOTES
ER-2	EROSION CONTROL DETAILS	ARCHITECTURAL	
		A0050	(E) SITE & DEMO PLAN
		AS050	(N) SITE PLAN
		AS051	(N) ENLARGED SITE PLAN
		AS055	(N) SITE PLAN - ROOF
		A101	FLOOR PLAN
		A200	ELEVATIONS

PROJECT DATA

EXISTING AND PROPOSED PROJECT AREAS - (APN 243-231-014)			
PARCEL SIZE:	ALLOWED	EXISTING	PROPOSED
		87,120 SF	87,120 SF
FLOOR AREA:		3,914 SF	6,455 SF
			- MAIN RESIDENCE: 5,754 SF
			- GARAGE: 701 SF
BUILDING SITE COVERAGE:		4,866 SF	7,830 SF
			- MAIN RESIDENCE: 5,754 SF
			- GARAGE: 701 SF
			- EAVES >30": 1,375 SF
			- DECKS <24": NONE
	(25% ALLOWED)	(5.59 %)	(8.99 %)
IMPERVIOUS COVERAGE:		7,855 SF	6,433 SF
			- DRIVEWAY: 4,989 SF
			- PATHWAYS: 560 SF
			- PATIOS/LANDINGS: 256 SF
			- DECKS <24": 540 SF
			- HOT TUB: 80 SF
TOTAL COVERAGE: (INCLUDES BUILDING SITE COVERAGE PLUS IMPERVIOUS COVERAGE)		12,721 SF	14,263 SF

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35700 HIGHWAY 1
MONTEREY, CA 93940
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Drawn by: TMD
Scale:

TITLE SHEET

Sheet number

G000



S-1



S-2



S-3

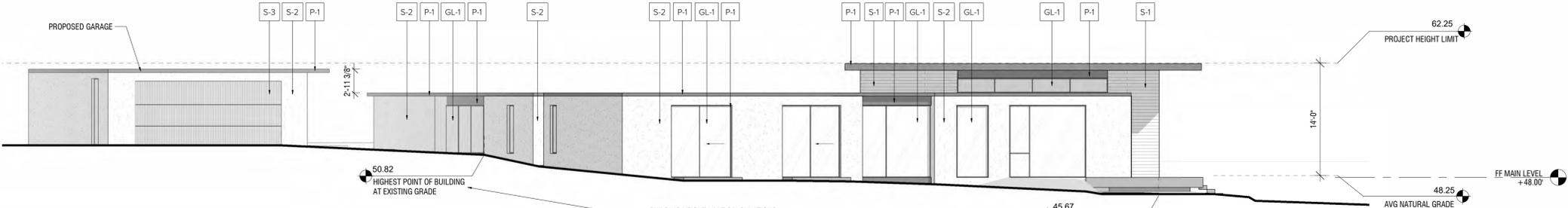


P-1 & R-1



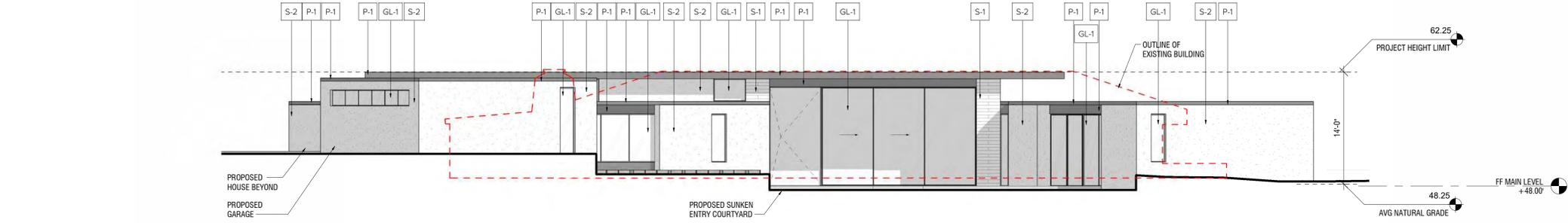
CONCRETE

EXTERIOR MATERIALS LEGEND			
MARK	MATERIAL	DESCRIPTION	COMMENTS
EXTERIOR WALL FINISHES			
S-1	(S-1) SIDING - STONE VENEER	ADHERED SPLIT FACE THIN VENEER STONE, OVER-GROUTED.	
S-2	(S-2) WALL - STUCCO	INTEGRAL COLOR RAKED STUCCO FINISH O/ SCRATCH & BROWN COAT W/ SELF FURRING LATH	
S-3	(S-3) SIDING - WOOD - VERTICAL BOARDS	1x6 S4S OR ROUGH SAWN (TBD), VG WRC SHIP LAP (TBD) O/RAINSCREEN DRAINAGE MAT, ALLOW 2 COATS S.W. WOODSCAPES STAIN OR SIM	FASTEN W/ HEADCOAT 305 SS #7 X 2 1/4" TRIM HEAD SCREW, COLOR TBD PER FINISH, ON GARAGE DOOR ONLY
GLAZING			
GL-1	(GL-1) TEMPERED IGU	DOUBLE PANE IGU WITH THERMALLY BROKEN ALUMINUM FRAME, FRAME COLOR: DARK GRAY/BLACK	
METAL FINISHES			
P-1	(P-1) METAL - STEEL (EXTERIOR)	ALL FASCIA AND TRIM, PAINTED NON-REFLECTIVE DARK GRAY/BLACK TO MATCH WINDOW & EXT. DOOR FRAMES	
ROOF FINISHES			
R-1	(R-1) METAL ROOF	CLASS A STANDING SEAM METAL ROOF	
R-2	(R-2) GRAVEL	ROUNDED PEA GRAVEL OVER MEMBRANE ROOF	

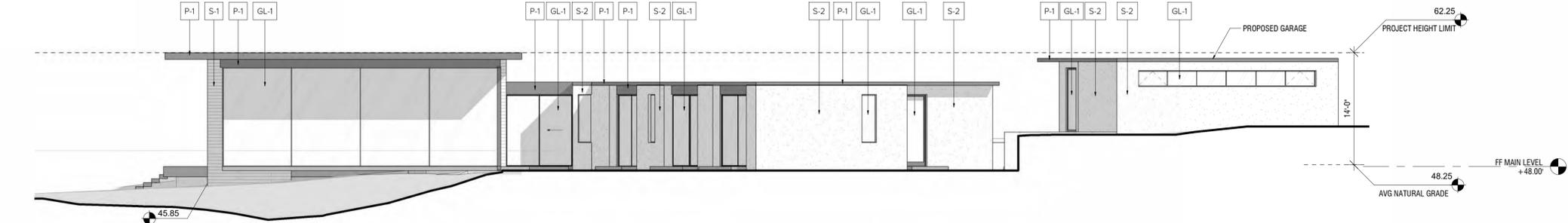


④ NORTH ELEVATION
1/8" = 1'-0"

BUILDING HEIGHT LIMIT CALCULATIONS:
 HIGHEST POINT OF BUILDING AT EXISTING GRADE: 50.82'
 LOWEST POINT OF BUILDING AT EXISTING GRADE: 45.67'
 AVERAGE GRADE = (50.82' + 45.67') / 2 = 48.245'
 BUILDING HEIGHT LIMIT = AVG GRADE + 14' = 48.25' + 14' = 62.25'
 PROJECT HEIGHT LIMIT = 62.25'



③ EAST ELEVATION (FRONT ENTRY)
1/8" = 1'-0"



② SOUTH ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
1/8" = 1'-0"

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BAYER RESIDENCE
 35700 HIGHWAY 1
 MONTEREY, CA 93940
 APN: 243-231-014

Date: 11/17/2025
 Drawn by: TMD, JR
 Scale: As indicated

ELEVATIONS

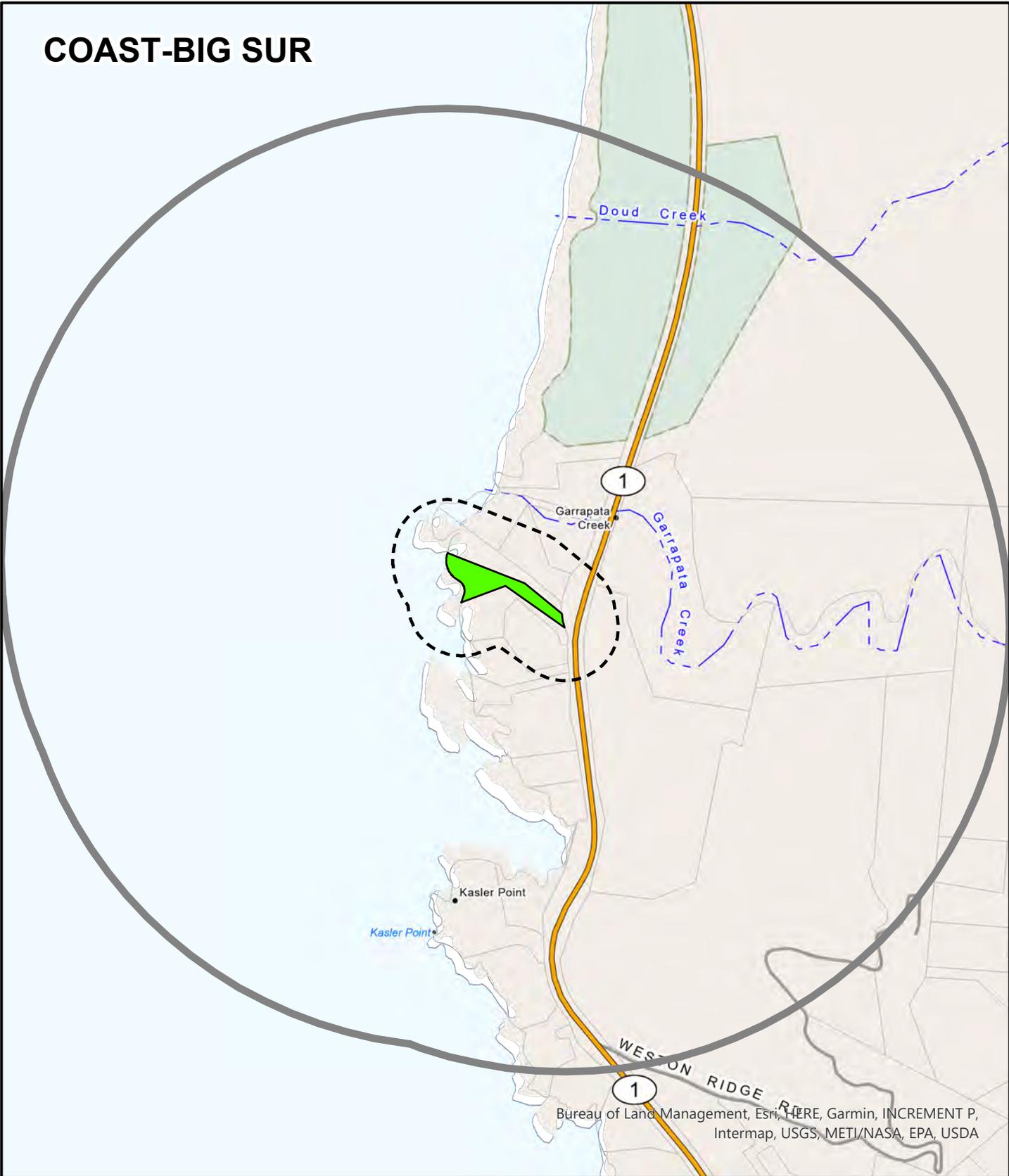
Sheet number

A200

Exhibit C

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COAST-BIG SUR



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: LEX NEAL BAYER REVOCABLE TRUST

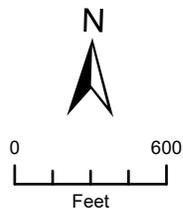
APN: 243231014000

FILE # PLN250111

 Project Site

 300 FT Buffer

 2500 FT Buffer



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Exhibit D

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MINUTES
Big Sur Land Use Advisory Committee
January 27, 2026

1. Meeting called to order by Trey Kropp at 10:15 am

2. Roll Call

Members Present:

Dave Smiley, John Wilson, John Griggs, Trey Kropp

Members Absent:

Marcus Foster

3. Approval of Minutes:

A. December 9, 2025 minutes

Motion: Dave Smiley (LUAC Member's Name)

Second: John Griggs (LUAC Member's Name)

Ayes: _____

Noes: _____

Absent: _____

Abstain: _____

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

- Discussed tree removal, fire prevention, and resulting viewshed impacts along Highway 1, including newly visible structures.
 - Emphasized fuel reduction methods that avoid clear cutting and expanding the viewshed discussion to the broader Big Sur area.
 - Noted concerns regarding PG&E and County tree removal and the need to file formal complaints when appropriate.
-
-
-
-

5. Scheduled Item(s)

PLN250111 - BAYER LEX NEAL TR

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

B) Announcements

7. Meeting Adjourned: 11:03 am

Minutes taken by: Christina DiPaci

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
 1441 Schilling Place 2nd Floor
 Salinas CA 93901
 (831) 755-5025

Advisory Committee: Big Sur LUAC

- 1. Project Name:** BAYER LEX NEAL TR
File Number: PLN250111
Project Location: 35700 HWY 1 HWY, MONTEREY, CA 93940
Assessor's Parcel Number(s): 243-231-014-000
Project Planner: MCKENNA BOWLING
Area Plan: BIG SUR COAST LAND USE PLAN, COASTAL ZONE
Project Description: DEMO AND REBUILD RESIDENCE, NEW GARAGE, NEW SEPTIC SYSTEM.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of those present)

Angus Jeffers – land use lawyer

Was a County Staff/Representative present at meeting? Mckenna Bowling & Jack Sorensen (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Removal of trees will open this project to views		no clearing the cypress trees to create viewshed issues

ADDITIONAL LUAC COMMENTS

RECOMMENDATION:

Motion by: Dave Smiley (LUAC Member's Name)

Second by: John Wilson (LUAC Member's Name)

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: Unanimous

Noes: _____

Absent: Marcus Foster

Abstain: _____

Exhibit E

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19 July 2024
Project No. M12112.1

Lex Bayer
c/o Jess Fields
jess@fieldarchitecture.com

Subject: Geologic and Coastal Bluff Recession Assessment Report

Reference: 35700 Highway 1, Big Sur, CA 93920
Monterey County APN 243-231-014-000

Dear Client:

In accordance with your authorization, we have initiated a geological and coastal bluff recession investigation for minor additions to an existing home and garage at the referenced site. This report presents the results of our investigation and includes conclusions and recommendations regarding the geologic conditions and coastal bluff recession hazards at the referenced property. Appendix B contains our RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK MAPS (Three 11 X 17 inch sheets dated 7-19-2024) which is shown in relation to the existing development. We understand this report will be used to either renovate and enlarge the existing residence; or demolish it and site and construct a new residence and outbuilding in a location landward of the recommended bluff setback.

The results of our investigation indicate the proposed construction project is feasible provided the recommendations presented in this report are followed in the development of project plans and specifications. If you have any questions concerning the data or conclusions presented in this report, please call our office.

Sincerely,

HARO, KASUNICH & ASSOCIATES, INC.



Mark Foxx
Certified Engineering Geologist #1493

Copies: 1 to Client via email
1 to Jess Fields by email
1 to File

Introduction

This report evaluates the geological conditions and evaluates coastal erosion and bluff recession hazards at 35700 Highway 1 in Monterey (Big Sur), California. The objective of this geologic study is to evaluate the geologic characteristics of the terrace deposits and underlying bedrock material relative to the stability of the coastal bluffs at the site. Figure 1 shows the location of the property:

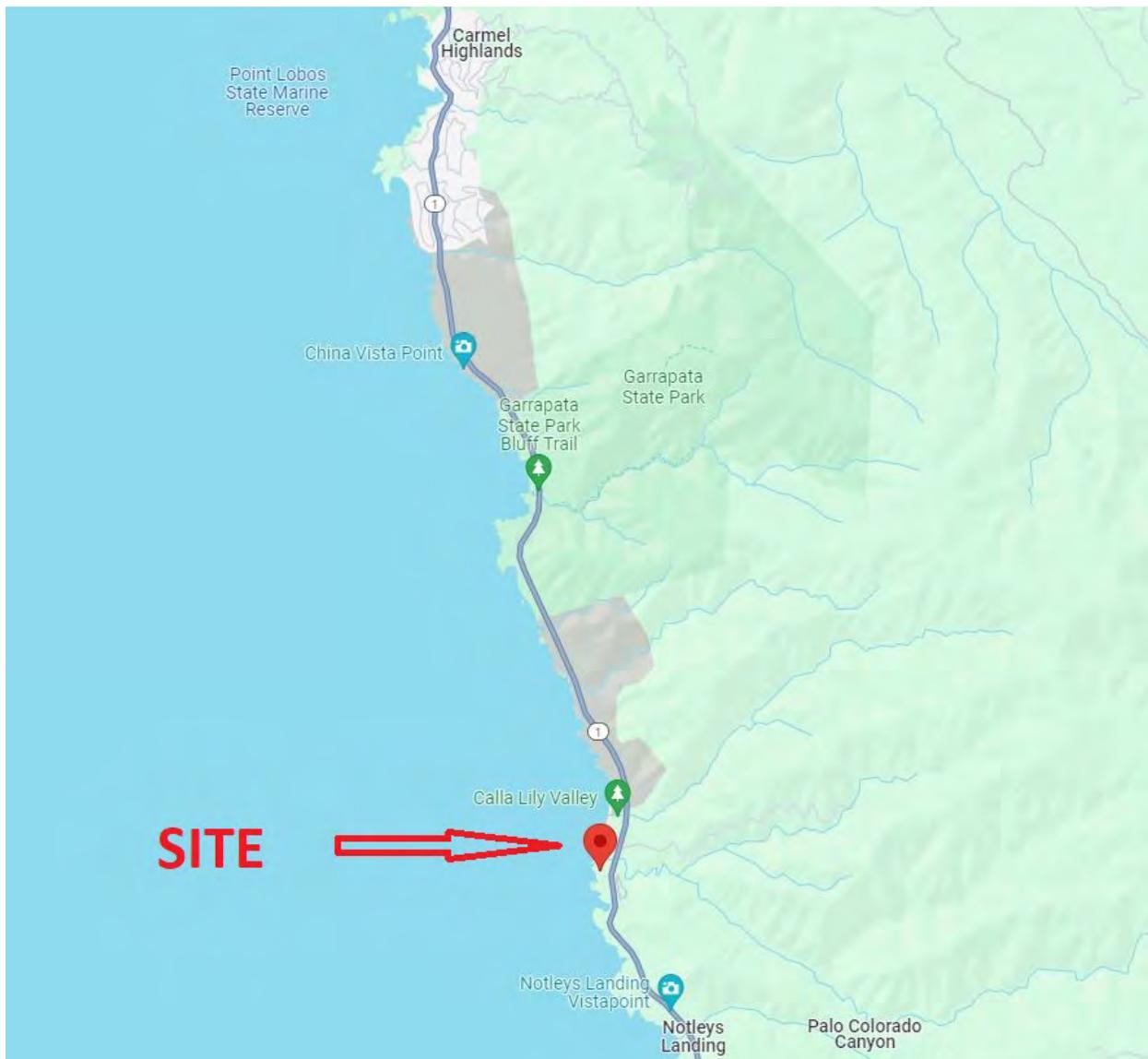


Figure 1: Property Location Map (from Google Maps)

At your request we performed investigations and prepared this geological report, evaluating historical coastal bluff recession for the property located at 35700 Highway 1. Per the Tax Assessor's records, this 2 Acre property contains a 2596 square foot single story main residence with a 514 square foot garage.

In addition to our work at this site, we have reviewed our files associated with nearby work, including other work we did at this site during 2018.

The purpose of our present work is to assess the site and prepare this report containing our preliminary results regarding coastal bluff recession hazards and wave runup hazards to the buildings on the property. The goal of the work is to address where on the site proposed new improvements can be located so they will not be endangered by coastal bluff recession (which includes both surficial erosion and potential slope instability) within the next 75 years.

To date we have done the following:

- 1) Obtained and reviewed time sequential historical aerial photography from www.californiacoastline.org
- 2) Utilized a detailed topographic map of the coastal bluffs, building improvements, and driveway. We used the survey work completed by Central Coast Surveying, supplemented by LiDAR surveying done by Walls Land+ Water. This map was developed using GPS, aerial imagery, and LiDAR remote sensing.
- 3) Reviewed regional geologic maps showing bedrock type, surficial deposits, faulting, etc.
- 4) Observed coastal bluff geology and erosion processes.
- 5) Prepared three geologic cross sections.
- 6) Reviewed subsurface exploratory boring logs prepared by our firm in 2018 and 2022 at this property. Our firm is also preparing a geotechnical report for this property to accompany this report.
- 7) Evaluated erosion/bluff recession rates.
- 8) Discussed bluff recession hazards qualitatively.

- 9) Reviewed field evidence of wave runup and discussed hazards
- 10) Reviewed tsunami hazard maps
- 11) Prepared this geologic report with accompanying graphics that gives the results of our study.

Site Conditions

The property and the home are shown below as they appeared in 2019:



**Photograph 1: 2019 Aerial Photograph
(courtesy of www.californiacoastline.org)**

The photographs below shows a more detailed image of the property:

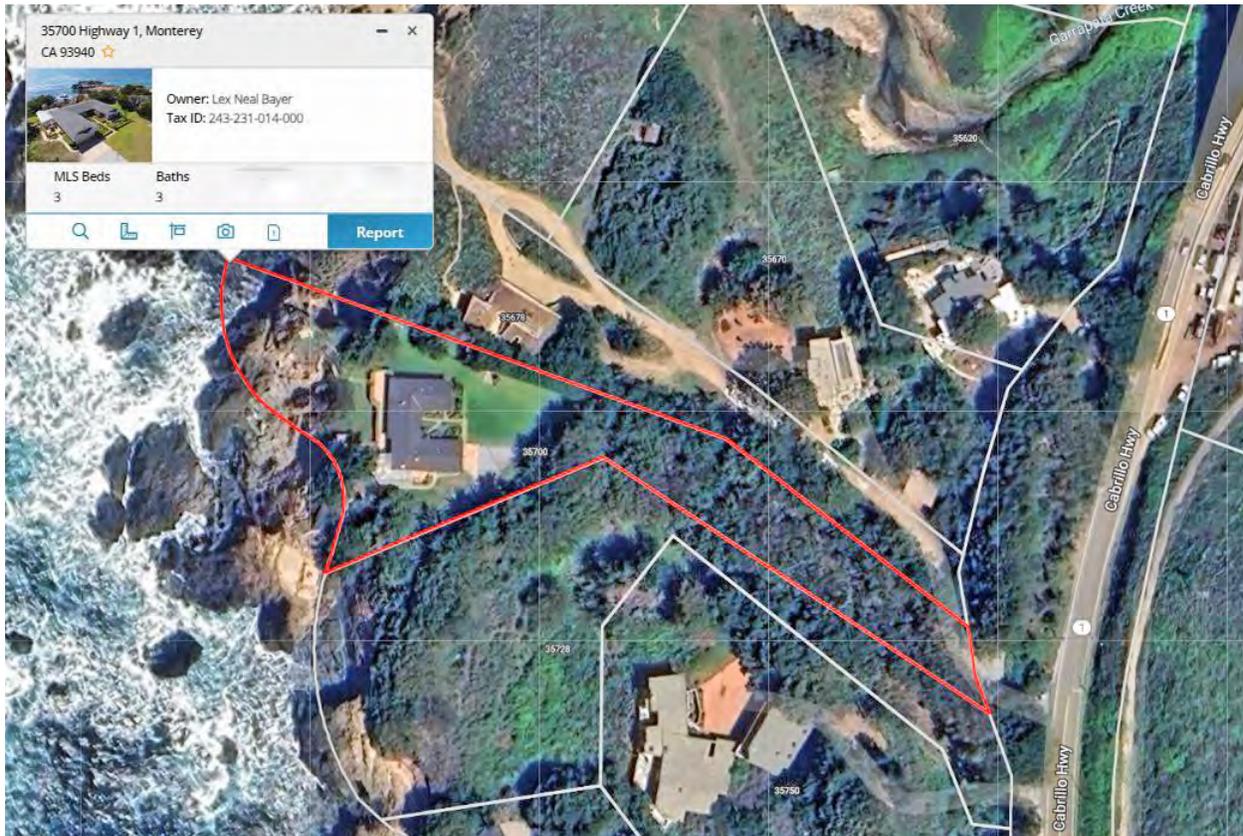


**Photograph 2: 2019 Aerial Photograph
(courtesy of www.californiacoastline.org)**



Photograph 3: 2022 Photograph Looking Offshore

As pictured below, the approximate property lines at 35700 Highway 1 (Monterey County APN 243-231-014-000) are shown. We deed for the property describes the seaward boundary as "the shoreline of the Pacific Ocean". That boundary is inaccurately depicted on Photograph 4 below.



**Photograph 4: Aerial Image of the Property
Showing Approximate Property Lines**

The proposed development is located at the seaward edge of a coastal terrace on the seaward side of Highway 1 between Garrapata Creek and Palo Colorado Creek. The home on the property is located at approximately 45 feet NAVD88 elevation.

Figure 2 shows a US Geological Survey topographic map of the site.



Figure 2: US Geological Survey Topographic Map

The geologic conditions at the site, as seen in the coastal bluff face; with erosion resistant sandstone bedrock exposed in the bluff up to about an elevation of 20 to 25 feet NAVD88 or higher along the bluff. A seacave complex exists in the sandstone at the lowermost portion of the bluff on the downcoast (southern) portion of the property. Photograph 3 below shows the bluff in that area and the mouth of the seacave.

At the bluff edge topsoil and terrace deposits overlie weathered sandstone bedrock. On the inland part of the property which slopes up to elevations of 200 feet NAVD88 at Highway 1, young debris fan deposits (and possibly remnant terrace deposits) consisting of sands,

silts and gravels overlie the sandstone bedrock. Along the shoreline and coastal bluff face at the property, the terrain is extremely rocky, with sandstone outcrops protruding from the ground surface (see Photographs 5).

Regional Geologic Setting and Conditions

Figure 3 shows a regional geologic map from the California Geological Survey:

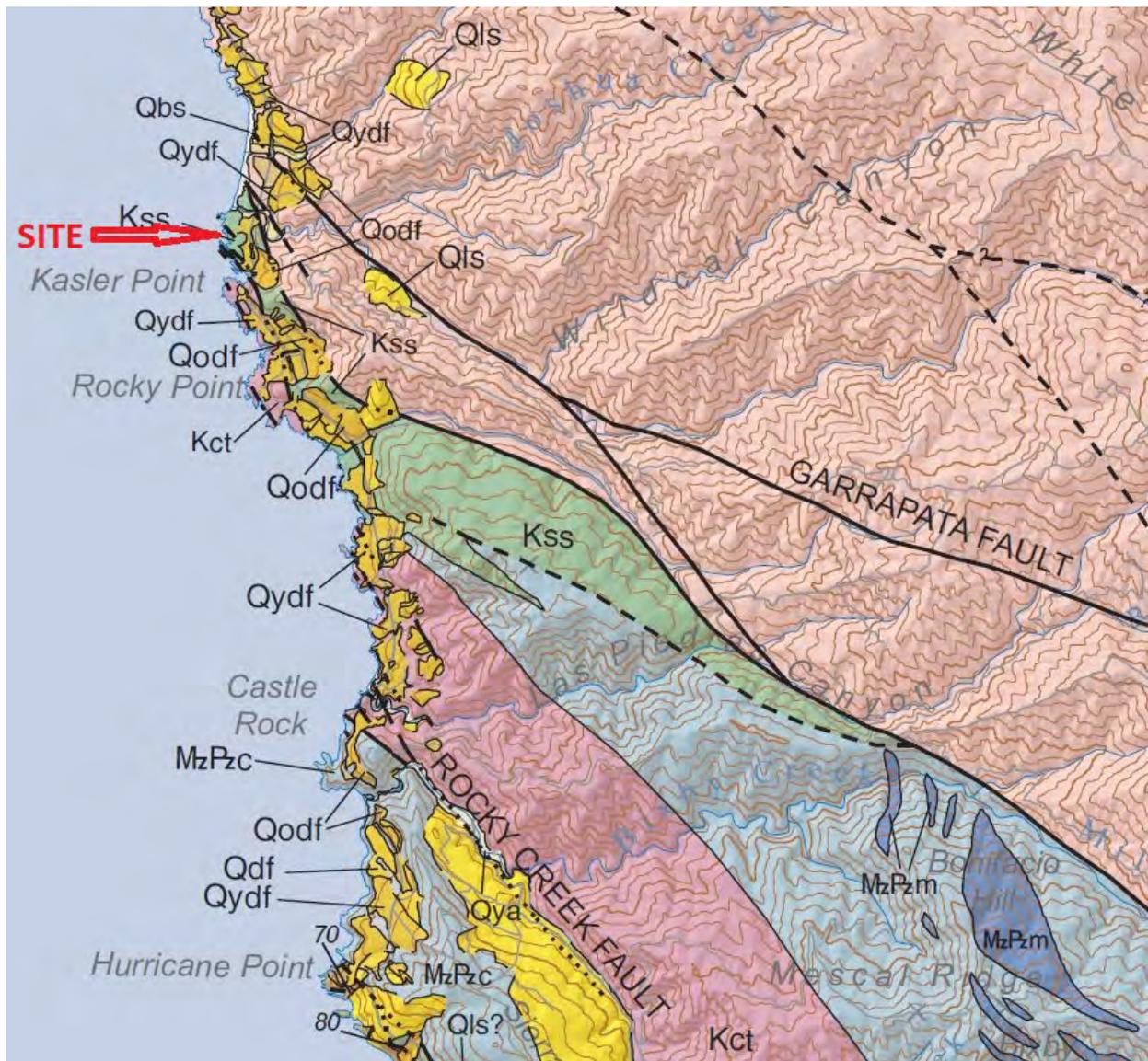


Figure 3: California Geological Survey Regional Geologic Map (Point Sur Quadrangle, Rosenberg and Wills, 2016)

PRELIMINARY GEOLOGIC MAP OF THE POINT SUR 30' × 60' QUADRANGLE, CALIFORNIA
Version 1.0
Compiled by
Lewis I. Rosenberg¹ and Chris J. Wills²
2016

Figure 4 shows a closer up view of that regional geologic map from the California Geological Survey:

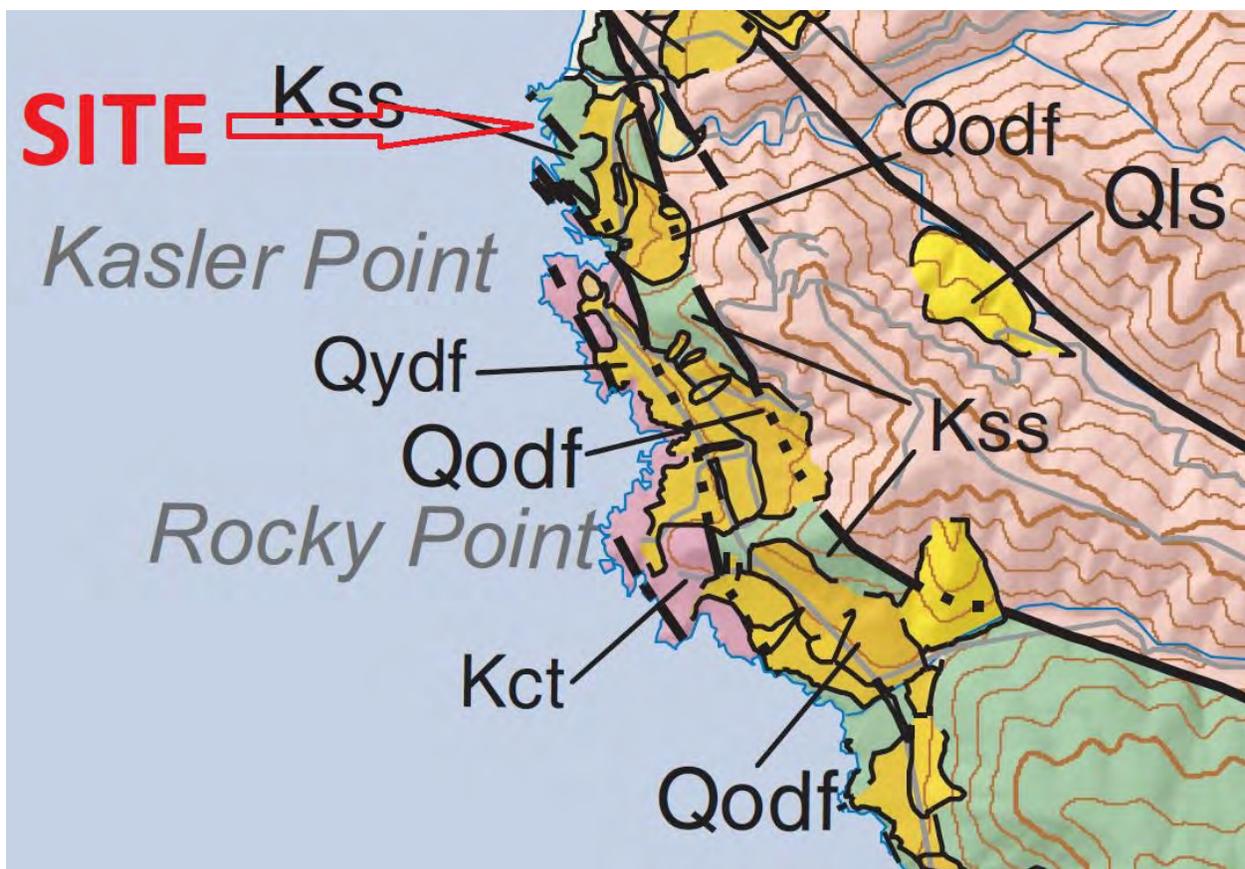


Figure 4: Close Up View of California Geological Survey Regional Geologic Map (Point Sur Quadrangle, Rosenberg and Wills, 2016)

The primary geologic units shown on this California Geologic Survey map in the vicinity of the property include:

SURFICIAL DEPOSITS

Qydf Young debris fan

Marine terrace deposits

Qom Undivided

These are described as:

Qydf Younger Debris Fan (Holocene to Latest Pleistocene)—Unconsolidated gravel, sand and silt, bouldery along mountain fronts; deposited mainly by debris flows rather than fluvial processes. Deposits are clearly related to depositional processes that are still on-going. Distinguished from older and most recent debris fan deposits by relative ages based on geomorphic relationships, relative degree of surface dissection and soil formation. Deposits consist of poorly bedded reddish brown silty sand with angular rock fragments. Locally contains areas or layers of well-bedded gravelly silty sand that represent stream- deposited alluvium.

Qom Marine terrace deposits (late Pleistocene)—Clast-supported deposits of relatively uniform grain size overlying wave cut benches. Some deposits contain subrounded to rounded clasts ranging in size from pebbles to boulders (0.5 – 1 m (2-3 ft) in diameter. May contain dune sand, and grade into dune deposits.

The primary geologic units shown on the California Geological Survey map in the vicinity of the property are young debris fan deposits, primarily upslope from Highway 1.

Our geologic observations of the bluff face and the earth materials found in our exploratory borings indicate that Marine Terrace Deposits exist at the building site and overly a wave cut bedrock platform surface approximately 15 to 20 feet below the ground surface. This deposits appear similiar to other marine terrace deposits found in the Monterey area that are approximately 100,000 years old, and the geomorphology of the terrace is very similar. A 4 to 6 foot thick layer of lag deposits (cobbles) forms the lower portion of the marine terrace deposits.

BEDROCK

On the Figure 4 geologic map, the lithology of the bedrock mapped west of Highway 1 in the vicinity of the property is marine sandstone:

Kss Unnamed marine sandstone

Kss Unnamed marine sandstone (Late Cretaceous)—Light gray brown, medium- to coarse-grained pebbly sandstone. Thick-bedded to massive. Large outcrop area in Santa Lucia range south of Arroyo Seco is conformable with overlying Paleocene sandstone. May have been deposited as turbidite sequence on high-relief erosional surface of Salinian Block basement

Our field observations indicate that the bedrock at the property consists of this sandstone, which formed 66 to 100 million years ago.

Caltrans has published geologic maps (Highway Corridor Map Plate 1 Maps 12 and 13 in "Geology and Slope Stability Along the Big Sur Coast" that are shown in Figure 5 below:

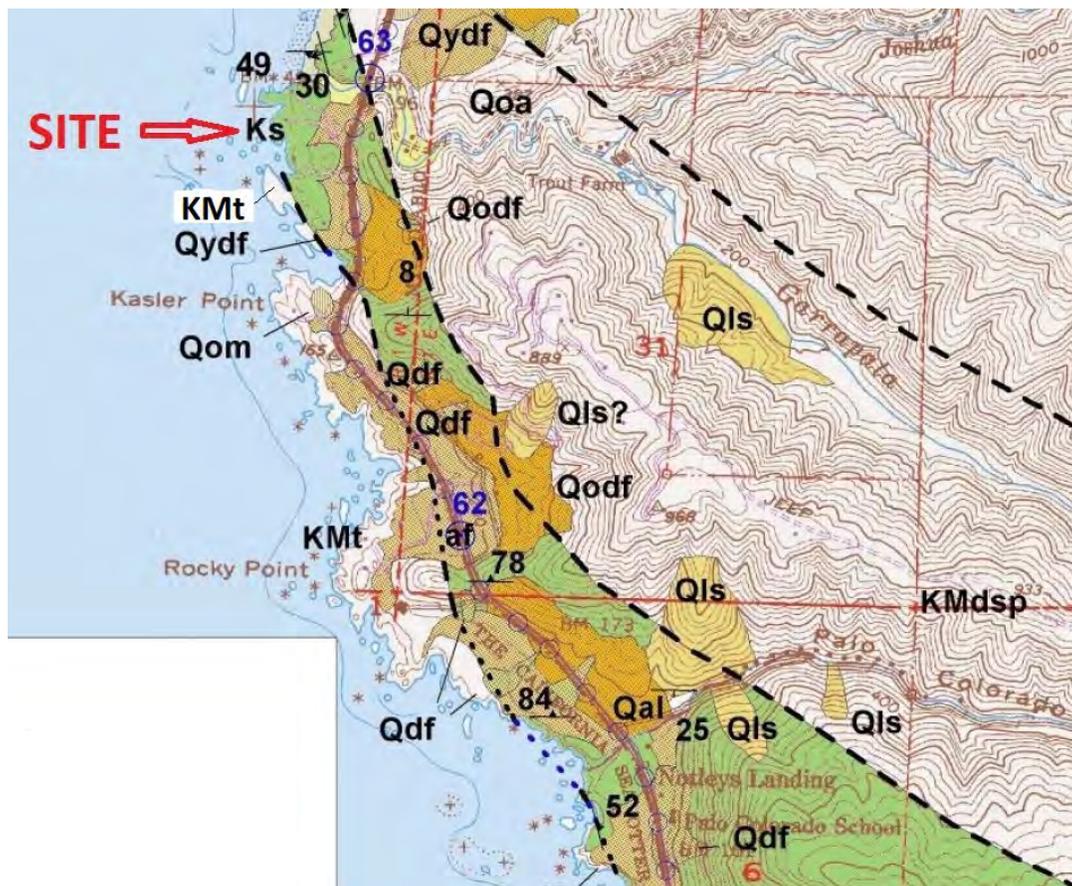


Figure 5: Caltrans Geologic Map
Geology and Slope Stability Along the Big Sur Coast
Highway Corridor Geologic Map
Plate 1 Map 13 of 14

Slightly varying from the Regional Geologic Map (Figures 3 and 4) the primary surficial geologic units shown on the CalTrans geologic map (Figure 5 above) in the vicinity of the property include both the younger debris fan deposits and marine terrace deposits. At the site Caltrans shows the lithology of the bedrock west of Highway 1 in the vicinity of the property as Ks; similar to the KSS mapped on the regional geologic map.

Geologically the building site consists of an uplifted marine terrace environment. These debris fan deposits may bury marine terrace deposits that predate them in origin. Where marine terrace deposits exist, they would have likely formed when persistent ocean wave attack cut a platform in the sandstone bedrock during a high stand of sea level on the order of 100,000 years ago. Subsequent tectonic uplift of this portion of the coastline following a drop in sea level preserved a deposit of marine silts, sands and gravels that mantle a relatively level surface on the tonalite/ charnitic tonalite (granitic) igneous bedrock.

Hard sandstone bedrock is visible in the lower 25 feet of the coastal bluff face with weathered topsoil and marine terrace deposits found in the top 15 to 20 feet of the bluff face. In isolated locations we observed calcareously cemented sandstone.

The geologic conditions we observed at the site in the coastal bluff faces and that we found while doing subsurface exploration are consistent.

The maps and cross sections in Appendix B show our interpretation of the site geology, based on aerial photo analysis, field mapping and subsurface exploration.

The property lies within the geological-tectonic units called the Salinian Block that forms the basement complex of the northern Santa Lucia Mountains.

The Salinian Block is composed of a number of fault-bounded blocks composed of sandstone and metamorphic rocks which are discontinuously covered with younger sedimentary rocks and surficial deposits.

As shown in Figure 6, many faults exist in northern Monterey County.

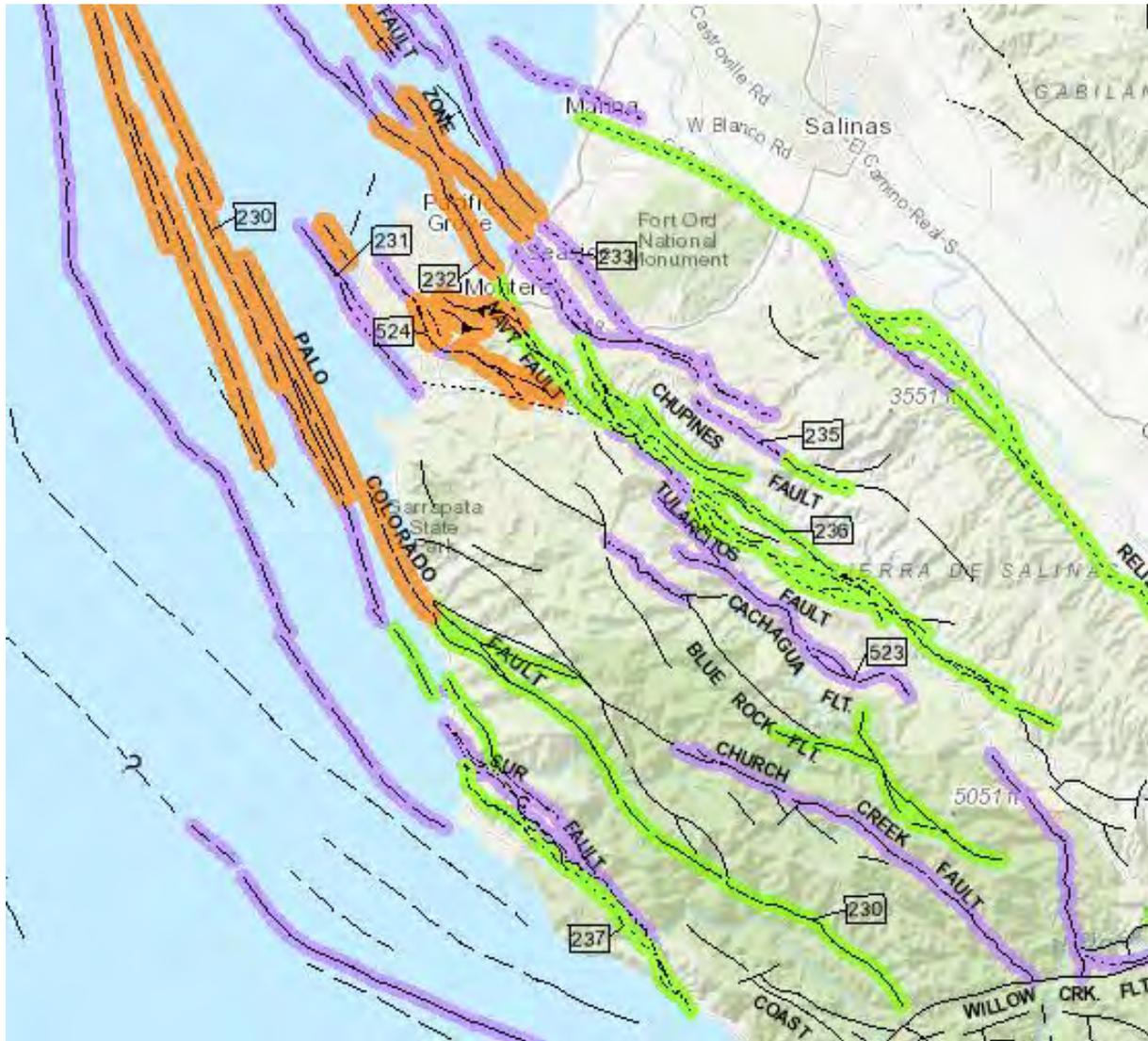
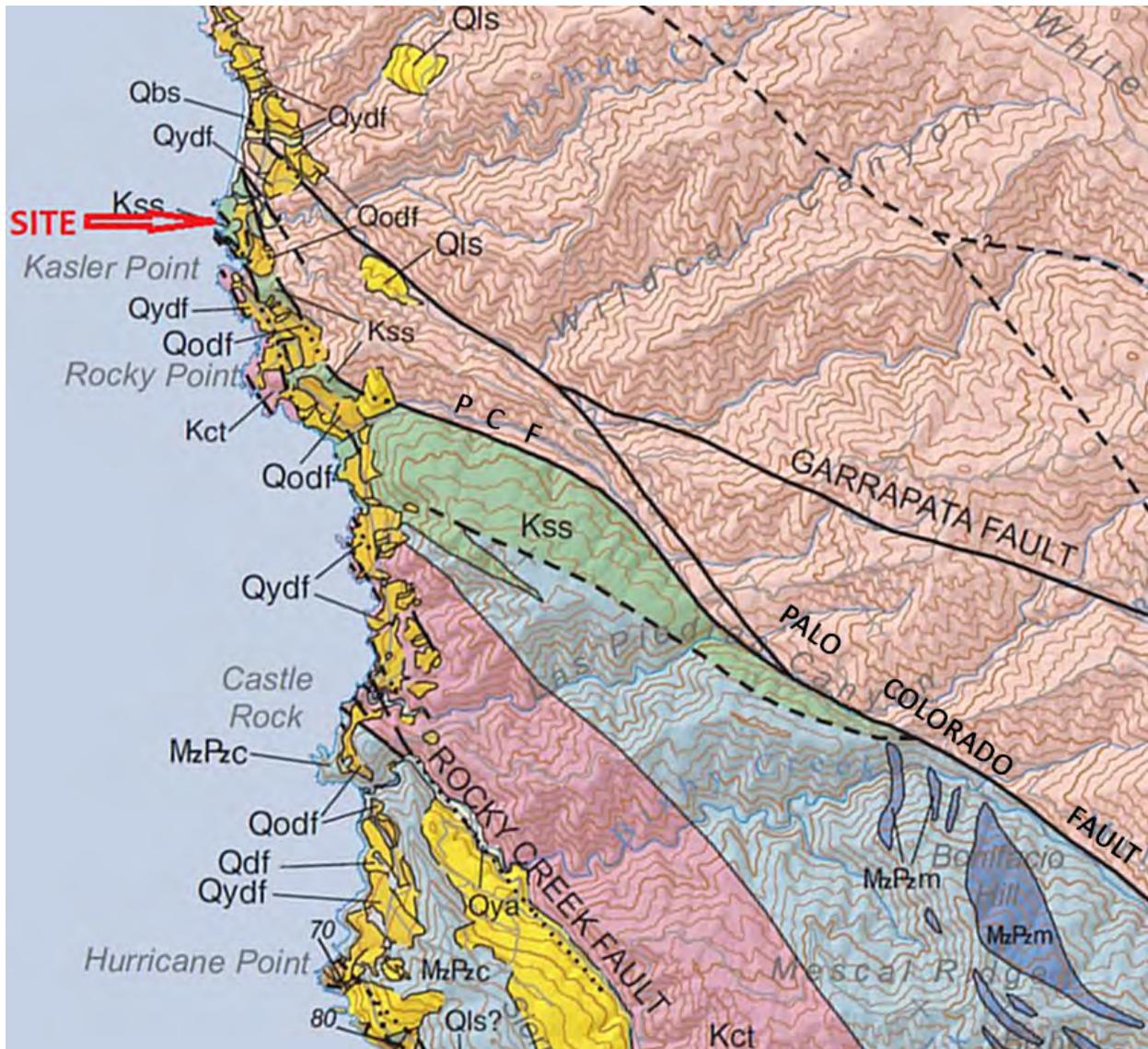


Figure 6: California Geological Survey Regional Fault Map

As shown on this map, the primary fault in the immediate vicinity of the property are the Palo Colorado Fault which comes onshore about 1.8 miles north of the property, and the Sur Fault which comes onshore about 0.9 miles south of the property. Both the Palo Colorado Fault and the Sur Fault have been interpreted to be part of the active San Gregorio-Hosgri fault complex, which is a major fault system in California.

Figure 7 (below) shows the California Geological Survey Regional Map (previously shown in Figure 3) marked up label the Palo Colorado Fault on it, which at its closest point is mapped approximately 800 feet northeast of the homesite.



**Figure 7: California Geological Survey Regional Geologic Map
Marked Up to Show Palo Colorado Fault Name
(Point Sur Quadrangle, Rosenberg and Wills, 2016)**

Figure 8 shows a view of the relationship of the position of the closest mapped faults to the property on the Monterey County GIS Geologic Hazards map.



Figure 8: Close Up View of the Monterey County GIS Geologic Hazards Map Showing Mapped Fault Near Property

The faults within the Salinian Block, along with the San Andreas Fault and its eastern branches, comprise a broad system of inter-related, right-lateral, strike-slip faults which have dominated the tectonic history of western California for the past 12-15 million years. The faults that partition the Salinian Block have been generally active throughout most of the Cenozoic time; although these faults are, in general, part of a right-lateral, strike-slip system, they have also controlled the relative vertical movements between the smaller structural blocks within the Salinian Block. California's system of right-lateral, strike-slip

faults represents a segment of the boundary between the Pacific and North American crustal plates. Since the Pacific plate has been slipping northwestward with respect to the North American Plate, this movement is accommodated by right-lateral, strike-slip faulting, mostly along the San Andreas Fault itself, which has been more or less continuously active.

The published online Monterey County GIS Map (Figure 9) which shows a short discontinuous fault in the immediate vicinity of the property notes that fault a-is an inferred pre-Quaternary age fault mapped by Gary Greene in 1972. It goes through a seacave complex seaward of the home. This fault does not pose a significant hazard to the existing home or a proposed new home, because based upon it's age it is classified as inactive. Examination of the bluff face and the ceilings of the seacaves in the vicinity of the mapped inactive faults revealed no evidence of active faulting. A fault trace was observed upcoast of and seaward of the residence in the bedrock at the base of the coastal bluff. During our site traverse, our observations were that this fault trace did not displace the overlying terrace deposits; indicating it has been inactive for approximately 100,000 years. We interpret that this fault and the fault mapped by Greene are secondary fault splays that is part of a broad shear zone between the Rocky Creek Fault and the Palo Colorado Fault portrayed on Figure 7. Figure 9 (below) shows the fault mapped by Greene:



Figure 9: Monterey County GIS Map Showing Site with Local Discontinuous Inactive Fault In Relation to Proposed Building Site (at Existing Home Location) at 35700 Highway 1 with Metadata Identifying Fault Attributes

Seismicity

Although California's broad system of strike-slip faults has had a complex history, only some of the fault traces present a seismic hazard to the subject properties. These are the San Andreas Fault, the Monterey Bay Fault zone and on its land extensions (the Tularcitos-Navy Fault is one of these) the King City-Reliz-Rinconada Fault, the Cypress Point Fault, the San Gregorio-Hosgri Fault complex, (of which the Palo Colorado and Sur Fault Zone are part of) and the Zayante-Vergeles Fault. These faults are either active or considered potentially active because they have been in Quaternary time (last 2-3 million years).

San Andreas Fault

The San Andreas Fault is active and represents the major seismic hazard in northern California. The main trace of the San Andreas Fault trends northwest-southeast and extends over 700 miles from the Gulf of California through the Coast Ranges to Point Arena, where the fault extends offshore. The San Andreas Fault lies about 40 miles northeast of the subject property as its closest point.

San Gregorio Fault Zone

This northwest/southeast-trending Fault zone extends over 100 miles. At its northern end, it joins the San Andreas Fault near Bolinas; southward it skirts the San Mateo and Santa Cruz County coast, crosses the mouth of Monterey Bay (seaward of the Monterey Bay Fault zone), and intersects land again north of Point Sur. Recent work suggests that the San Gregorio Fault zone continues southeast to connect with the Hosgri Fault zone, which lies offshore and extends from Cape San Martin to Point Sal south of San Luis Obispo. The total length of the San Gregorio-Hosgri Fault zone would be over 250 miles.

At its closest approach, the San Gregorio Fault zone (which we interpret may include the Palo Colorado, Rocky Creek and Point Sur faults) lies within 800 feet of the subject property. It has been suggested that the San Gregorio Fault zone is capable of a 7.2-7.9 Magnitude earthquakes, with recurrence intervals for earthquakes that produce surface ground rupture within San Gregorio Fault system being 6000 years or less. This fault is mapped by the California Geological Survey as being very close to the proposed development; about 800 feet away. When this fault ruptures, generating an earthquake, seismic shaking may be extremely intense.

Seismic Hazards

Hazards associated with earthquakes in the vicinity of the three coastal erosion “trouble spots” can be placed in three general categories: 1) seismic shaking; 2) surface ground rupture; and 3) ground failure triggered by seismic shaking. These hazards could potentially affect the coastal bluffs and blufftop areas.

Moderate ground shaking is likely at the property during the next 75 years. The probability of surface ground rupture within the property is very low.

The greatest potential seismic hazard on the subject property is seismic shaking. The sandstone is generally not susceptible to landsliding and will not liquefy. The portion of the coastal bluffs that consists of terrace deposits has a very short height; therefore the potential for landsliding is very low. Saturated portions of the terrace deposits may theoretically be subject to liquefaction, however the grain size and density of materials we observed in the coastal bluff do not appear susceptible to liquefaction.

Groundwater

Although we have not observed any significant groundwater seeping out of the bluff close to the proposed improvements, thin zones of perched groundwater may perch in the debris fan deposits that overlie the relatively impermeable bedrock. Seeps periodically may be present where the bedrock-terrace deposit contact intersects the modern coastal bluff. Historical perched groundwater and seepage has contributed to weathering and weakening of the uppermost portion of the sandstone located just below the terrace deposits. A thin zone of perched water upon the weathered, denser bedrock below the terrace deposit material could occur during the wet winter months. Special attention should be paid to any areas of the buildings that are below adjacent grades. If leakage exists or becomes apparent, building foundation waterproofing will be needed. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to pond adjacent to the top of the coastal bluffs and seep into the backfill of any seawall/retaining wall systems. Where possible, surface drainage should be directed towards areas of the bluff top edge furthest from the home and where the terrace deposits are thinnest.

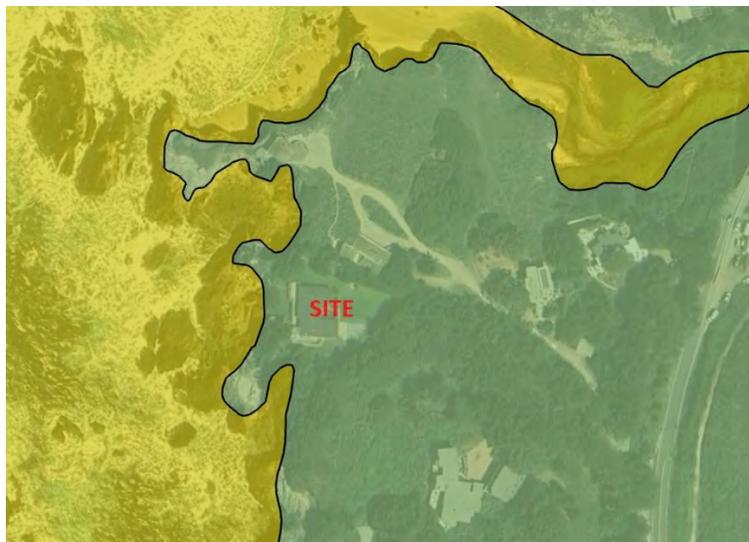
Wave Runup

Ocean wave runup is controlled by several factors. The property is directly exposed to the Pacific Ocean. The craggy coastline and the direct exposure to the ocean is visually a tremendous asset for the residents of the property to enjoy. Nearshore bedrock outcrops serve to dampen the wave energy and block much of the wave action from

reaching the bluff face. The edge of the coastal bluffs above the bedrock may be infrequently overtopped by wave runup and spray during severe ocean storms. Our observations at the site suggest this is more common near the extreme seaward part of the property. We observed evidence of erosion related to wave runup at 3 locations on the property. The limits of that erosion extended up to elevations of 32, 37 and 42 feet NAVD88. The residential improvements are at 45 feet above sea level in an area that is above the reach of wave runup.

Tsunami Inundation

We have reviewed the 2021 Monterey County Tsunami Inundation Map for Emergency Planning for the Soberanes Point Quadrangle. This map shows that the line designating the limit of tsunami inundation is near the bluff edge based on comparison with the USGS Topographic Map and the Topographic Survey for the project. A partial copy of that map is shown in Figure 10 below, and shows that the existing home and the area where improvements are proposed is inland of the hazard (potential inundation) zone. The limit of the mapped tsunami inundation appears to be close to the bluff edge seaward of the existing home and proposed building site.



California Geological Survey

Tsunami Hazard Area Map

County of Monterey

March 23, 2021

Figure 10: County of Monterey Tsunami Hazard Area Map

Coastal Erosion and Bluff Recession

Other than seismic shaking, coastal erosion related to ocean wave attack is the most significant geologic hazard that may affect the site. Coastal erosion has the potential to undermine improvements, if they are positioned too close to the shoreline. The uncemented nature of the topsoil and marine terrace deposits, coupled with occasional intense coastal storms can result in erosion and bluff recession hazards along the bluff edge in those materials.

A series of 11 time sequential photos obtained from www.californiacoastline.org are presented below, spanning the 47 year period from 1972 to 2019. They reveal there has been relatively little discernible change in the sandstone portion of the bluff face along the edge of the cove where the bluff edge is closest to the proposed improvements in that 47 year period. We attribute the relatively low amount of discernible erosion to the competence of the sandstone.

We examined the bluff face on April 25, 2024 and found the geologic and geomorphic conditions to be virtually identical to those in the October 2019 photograph below:



**Photograph 5: Aerial Photograph from October 2, 2019
(courtesy of www.californiacoastline.org)**

The Coastal Records Project (www.californiacoastline.org) oblique aerial photographs shown below include time sequential photographs dating back until 1972, showing how the property and coastal bluff have changed over time.



**Photograph 6: Aerial Photograph from September 11, 2015
(courtesy of www.californiacoastline.org)**



**Photograph 7: Aerial Photograph from October 4, 2013
(courtesy of www.californiacoastline.org)**



**Photograph 8: Aerial Photograph from September 24, 2010
(courtesy of www.californiacoastline.org)**



**Photograph 9: Aerial Photograph from October 23, 2008
(courtesy of www.californiacoastline.org)**



**Photograph 10: Aerial Photograph from October 28, 2005
(courtesy of www.californiacoastline.org)**



**Photograph 11: Aerial Photograph from October 11, 2004
(courtesy of www.californiacoastline.org)**



**Photograph 12: Aerial Photograph from August 29, 2002
(courtesy of www.californiacoastline.org)**



**Photograph 13: Aerial Photograph from June, 1987
(courtesy of www.californiacoastline.org)**



**Photograph 14: Aerial Photograph from April 30, 1979
(courtesy of www.californiacoastline.org)**

The 1972 photograph below shows the home in the oldest photo available; from 52 years ago.



Photograph 15: Aerial Photograph from 1972
(courtesy of www.californiacoastline.org)

We also reviewed the configuration of the bluff as visible on 1986 and 1993 vertical aerial photographs, and compared the 1986 conditions to the 2018 and 2023 conditions we observed on Google Earth satellite imagery. Appendix A in this report contains the 1986 aerial photograph and the 2023 Google Earth image that we utilized in our analysis that shows the historical conditions at the property. Unfortunately, the resolution of the 1986 aerial photograph that is presently available to us is less than desirable.

Historical Recession

Historical bluff recession can be evaluated by comparison of historical aerial photographs. The resolution of the photography limits the precision of how closely both bedrock retreat and the bluff edge position can be measured. There are a few spots in the bedrock where we think that bluff retreat of 1 to 2 feet may have occurred in the bedrock due to erosion and/or instability. Review of the photographs from 1972 to 2019 and our 2024 field work allows recognition that no change has occurred in many areas.

The seacave complex downcoast and seaward of the residence is formed entirely in the bedrock, primarily where wave action has eroded along zones of the bedrock close to sea level where the bedrock is weakened by jointing, bedding and/or faulting. It is possible that a portion of the seacave roof could collapse in the future; however we are unable to analyze that precisely or accurately. That is most likely at and within 10 to 15 feet of the seacave mouths (portals) where the bedrock above the seacave is the thinnest and most subject to failure. The inner portions of the seacave complex are narrower in width and in general have thicker (10+ feet) zones of bedrock above them. In most locations that bedrock does not span as far horizontally above the cave openings as the bedrock does at the cave portals. We inspected the seacaves in 2022 and 2024 and no apparent changes had occurred during that timeframe. The seabed and tidelands inside the seacave complex are mostly free of angular bedrock fragments; the bedrock fragments that are there are generally subrounded from long exposure to wave action. A future event where the seacave has undermined the bluff will not affect the setback lines we have estimated relative to the proposed new development, because the primary coastal hazard affecting the setback position is slope instability (landsliding) that could occur during and from future earthquake shaking.

Several inter-related factors affect bluff retreat at this property:

- 1) Geology; the sandstone bedrock has retreated extremely little; the terrace deposits and topsoil are more susceptible to erosion and recession.
- 2) The marine terrace deposits, fill and topsoil are found at the highest elevations in the bluff face and are thus only extremely infrequently subject to wave runup and wave impact.
- 3) At the upper bluff, wave impact forces are non-existent.
- 4) Bluff retreat rarely occurs uniformly; rather isolated areas usually retreat while most of a stretch of the bluff will not retreat at all in any given storm.

Based on the aerial photography and the on-site observations we have made, we

estimate worst case historical bedrock retreat of 1 to 2 feet from 1972 to 2022

The granular marine terrace deposits may have eroded 2 to 4 feet since 1972 in some isolated spots. Heavy vegetative cover and poor aerial photograph resolution impaired our ability to measure this. Thick vegetative growth aids in preventing surficial erosion of the marine terrace deposits.

This suggests that the historical long term average annual recession rate of the bluff edge has been about 0.5 to 1 inches per year there.

Future Sea Level Rise

Sea Level has risen and the rate at which it is rising is accelerating. In general, sea level rise tends to make future coastal bluff recession rates faster than measured historical coastal bluff recession rates.

Sea level has risen about 390 feet globally since the last Ice Age ended about 20,000 years ago. This period of relatively rapid rise (about 11 mm/year or 45 inches/century) ended about 8,000 years ago when sea level essentially stabilized.

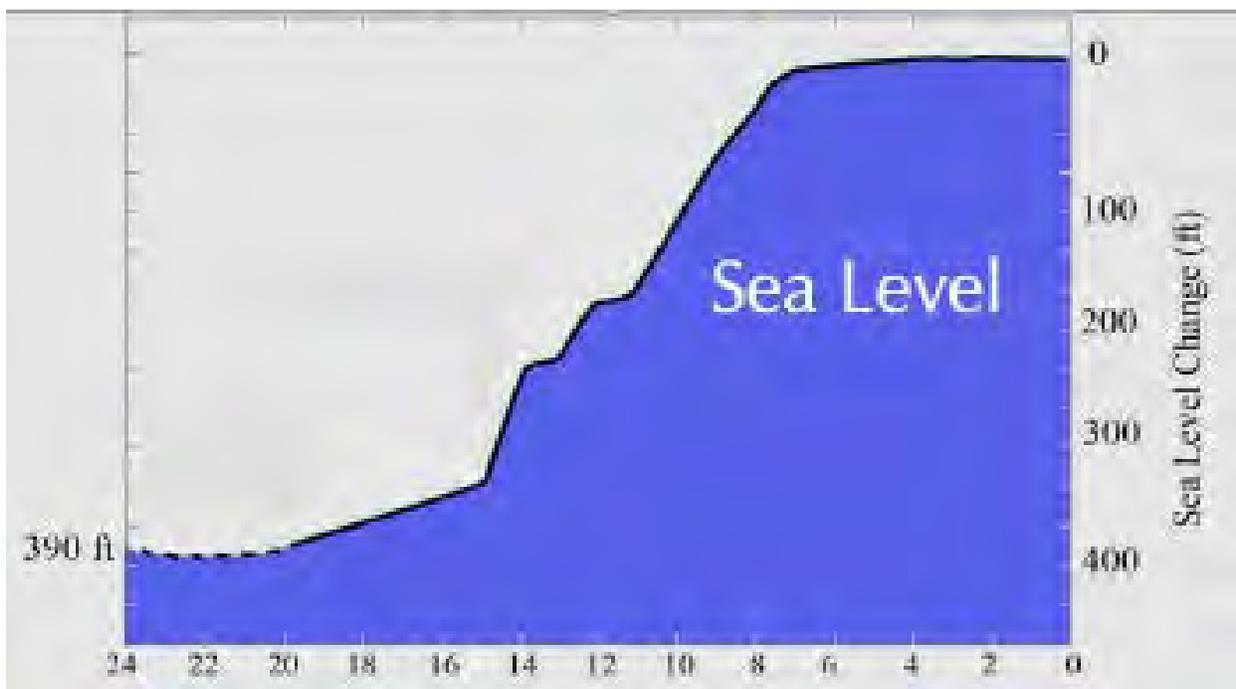


Figure 11: Historical Global Sea Level Rise

Over the past 8,000 years global sea level has risen very slowly, less than one mm/yr. (about 4 inches/century), with this value based on geological evidence. Beginning about 150 years ago, tide gauges or water level recorders began to be established at various places around the coastlines of the world. Based on averaging tide gauge measurements from many different stations scattered around the world, sea level has risen at an average rate of about 1.7 mm/year over the past century (7 inches/100 years).

There is wide agreement among scientists that sea level is rising and that the rate of rise appears to have been accelerating since 1850 and there is evidence that the rate of sea level rise is accelerating. A rising sea level is an adverse condition for the property. If extreme sea level occurs, damage to the property will occur. Rising sea level results in future higher wave runoff and greater wave impact because it raises the Stillwater Level. Stillwater Level is the elevation of the ocean surface at the shoreline without any swell or wave activity.

This global sea-level rise is attributed to changes in ocean volume due primarily to two processes: 1) the melting of land ice, and 2) the expansion of seawater as it warms. Melting of ice sheets and glaciers, such as the large ice covers of Antarctica and Greenland, which are linked to changes in atmospheric temperature, have now become the major contributors to sea-level rise. The ice on the planet (on Antarctica, Greenland and in mountains glaciers of the world) contains the equivalent of about 216 feet of total sea-level rise, were it all to melt. Considerable uncertainty regarding climate-carbon cycle feedbacks, ice sheet dynamics and future earth temperatures exists.

Currently there are varied opinions of the specific rates of historic sea level rise and even more variation in the projections of future rates of sea level rise due to different scientists making different assumptions with different analytical methodology. Based on averaging tide gauge measurements from many different stations scattered around the world, sea level has risen at an average rate of about 5-7 inches over the past century. Over the last century sea level has risen about 0.5 feet (about 6 inches). During the last 6,000 years, sea level rose about 0.17 feet (2 inches) per century. The geologic record over the last 20,000 years indicates that sea level rise is not unusual and the rates expected for the near future are less than the peak rates during the last 20,000 years. The peak historical rates were about 3.3 feet per century from 18,000 years ago to 6,000 years ago.

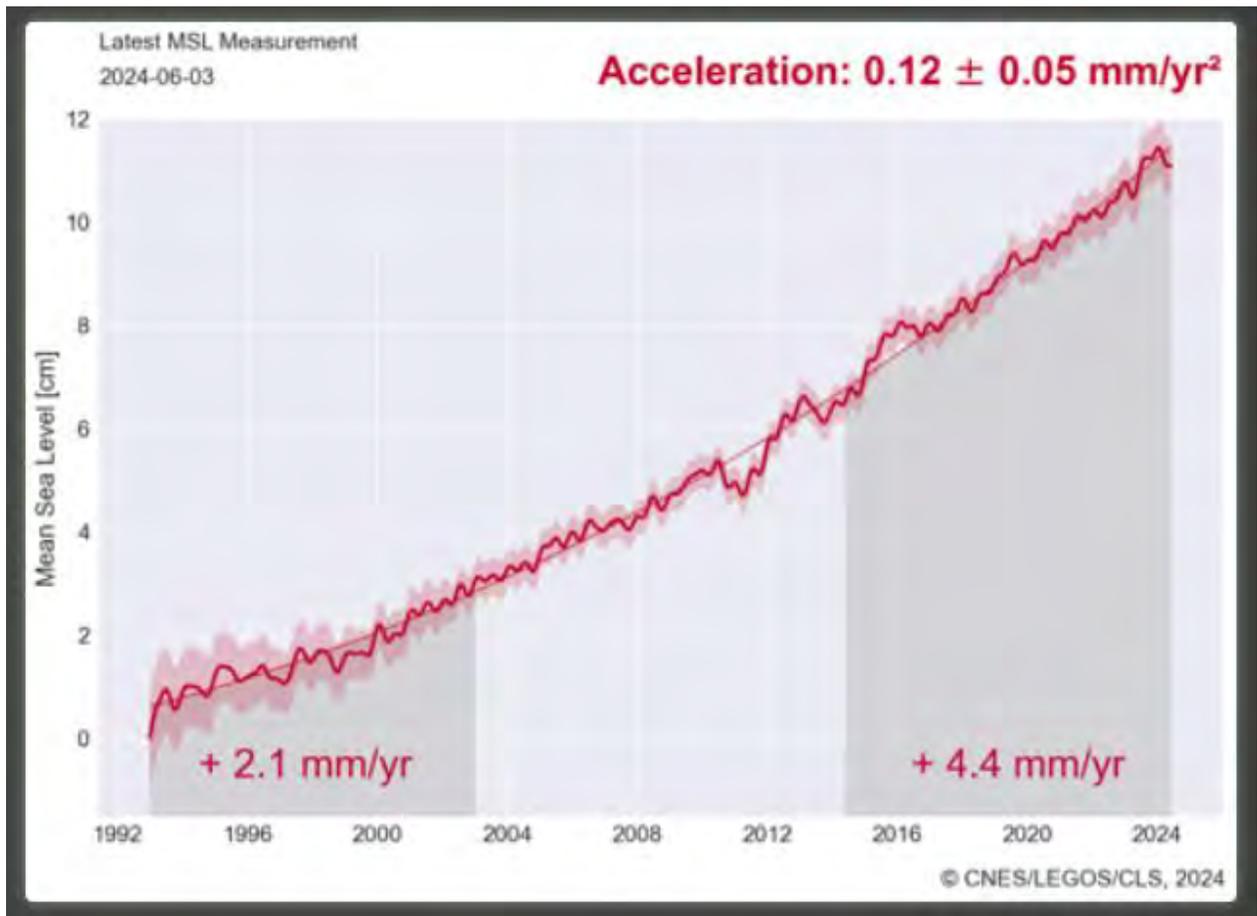
Two satellites were launched in 1993 that have been measuring absolute sea levels from space using satellite altimetry. Continuous altimetry observations from 1993 to the present have made it possible to assess the rise in Global Mean Sea Level (GMSL). Two

main factors related to the current global warming explain this GMSL rise: the expansion of the ocean volume and the influx of freshwater from melting ice and glaciers. On the one hand, the global ocean absorbs more than 90% of the excess heat accumulated in the climate system as a result of rising greenhouse gas concentrations in the atmosphere; the average temperature of the oceans is therefore rising and seawater is expanding. On the other hand, the excess heat accumulated in the system causes the polar ice caps (Greenland and Antarctica) and mountain glaciers to melt. This meltwater contributes to the increase in ocean mass and thus to the rise in sea level observed by satellite since 1993. The satellite observations have documented an average global sea-level rise rate averaging 3.6 mm per year (± 0.3 mm/yr, 90%CI) over the globe and the entire altimeter record. As shown in Figure 12 (below) Global Mean Sea Level has increased 11 CM (4+ Inches) between 1993 and 2024.



Figure 12: Global Sea Level Rise 1993 to 2024

As shown in Figure 13 (below), there is also evidence that sea level rise rate is accelerating over the altimeter record, this acceleration is estimated at 1.2 mm per year per decade (± 0.5 mm/yr/decade, 90%CI). Practically this means that rate of sea level rise has doubled from the 1993-2003 decade (2.1 \pm 1 mm/yr, 90%CI) to the 2013-2023 decade (4.4 \pm 0.5 mm/yr, 90% CI).



**Figure 13: Global Mean Sea Level 1993-2024 (as measured by satellite altimetry)
With Rate of Sea Level Rise per Decade and Acceleration Rate Noted**

Currently there are varied projections of future rates of sea level rise due to different scientists making different assumptions with different analytical methodology.

Recent research has been presented in a sea-level rise update for California that was completed in June 2024 and has been published by the California State Ocean Protection Council and is entitled "State of California – Sea-Level Rise Guidance 2024" (<https://opc.ca.gov/wp-content/uploads/2024/05/Item-4-Exhibit-A-Final-Draft-Sea-Level-Rise-Guidance-Update-2024-508.pdf>). This report provides probabilistic projections for future sea levels at the locations of the NOAA coastal tide gauge in Monterey for each decade between 2020 and 2150). This report includes the following data shown in Table 1 (below):

Median values of Sea Level Scenarios, in feet, for each decade from 2020 to 2150, with a baseline of 2000. All median scenario values incorporate the local estimate of vertical land motion.

YEAR	LOW	INT-LOW	INTERMEDIATE	INT-HIGH	HIGH
2020	0.2	0.2	0.2	0.2	0.2
2030	0.2	0.3	0.3	0.4	0.4
2040	0.3	0.4	0.5	0.6	0.7
2050	0.4	0.6	0.7	0.9	1.2
2060	0.5	0.7	1.0	1.4	1.9
2070	0.6	0.9	1.3	2.1	2.8
2080	0.6	1.0	1.7	2.9	3.9
2090	0.7	1.2	2.3	3.7	5.2
2100	0.8	1.4	2.9	4.6	6.4
2110	0.8	1.6	3.6	5.5	7.7
2120	0.9	1.8	4.2	6.2	8.8
2130	0.9	1.9	4.7	6.8	9.7
2140	1.0	2.1	5.2	7.3	10.6
2150	1.1	2.3	5.7	7.9	11.5

Table 1: Projected future sea-level rise values (FEET) for the Monterey tide gauge From the Ocean Protection Council’s 2024 Sea-Level Rise Guidance Document.

To be clear, the presented sea level rise values involve a significant number of uncertainties. They are projected from the 50-year sea level record from the Monterey Tide Gauge. All of these values were derived from climate models, which are continuously being refined, but are the best we have at present. What we do know (as shown in Figures 5, 6 and 7) is that the global sea-level rise rate over the past 25 years of satellite altimetry is 3.62 mm/year (about an inch every 7 years) which is about twice as high as the rate measured at Monterey (1.77 mm/year) likely due to natural tectonic uplift of the tide gauge site. In the half century the Monterey Tide Gauge has been operational, it has recorded 3 1/2 inches (0.29 feet) of relative sea level rise.

At the Monterey Tide Gauge the relative sea level trend has been 1.77 millimeters/year with a 95% confidence interval of +/- 0.68 mm/yr based on monthly mean sea level data measured from 1973 to 2023 which is equivalent to a change of 0.58 feet in 100 years.

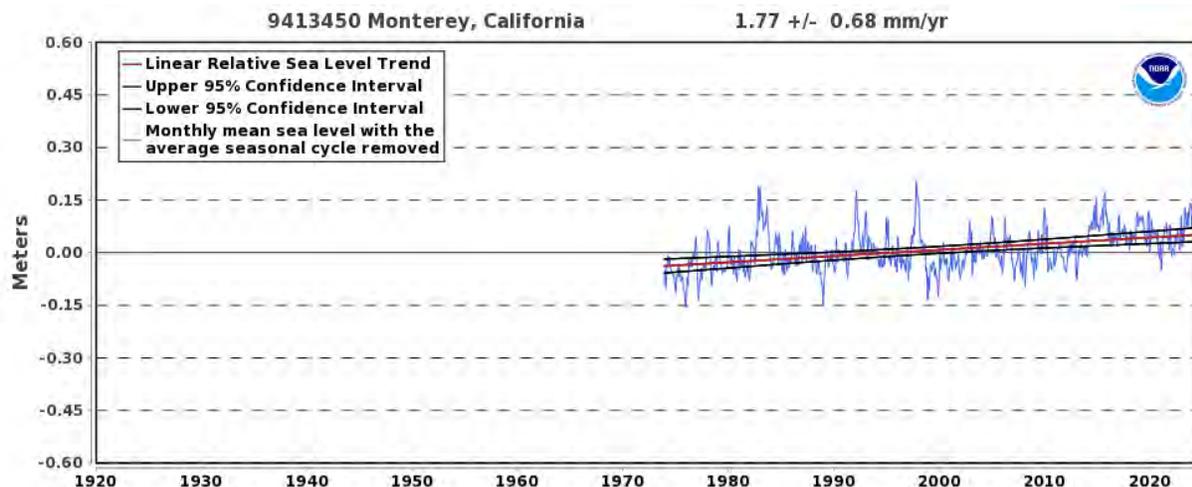


Figure 14: Sea Level Rise at Monterey Tide Gauge 1973-2023

This indicates that the coastline at Monterey is undergoing uplift, which significantly lessens the overall impact of sea-level rise in this area.

Various simplified models have been developed to predict how sea level rise (SLR) might cause acceleration of coastal bluff recession. Those generalized models involve many simplifying assumptions and a great deal of uncertainty. Until reliable site specific models of this phenomena become available (which include factors such as earth material erosion resistance, coastal bluff exposure to wave action, beach scour that changes breaking wave size, etc.), we have chosen to multiply the historical rate of bluff recession by a factor of safety to account for an accelerating rate of recession due to accelerating sea level rise.

How much the rate of future recession increases with increased sea level is dependent on factors like the amount of sea level rise, historical sea cliff retreat rates, surf zone slope, and beach elevation.

As predicted by *Limber, P. W., Barnard, P. L., Vitousek, S., & Erikson, L. H. (2018) in "A Model Ensemble for Projecting Multidecadal Coastal Cliff Retreat During the 21st Century. Journal of Geophysical Research:Earth Surface, 123(7), 1566–1589" (<https://doi.org/10.1029/2017JF004401>)* and shown in Figure 15 below, the ratio between projected and historical retreat rates for 0.93 meters SLR increase by about 59%, and the ratio between projected and historical retreat rates for 1.5 meters SLR increase by about 114%. For a 4.6 foot (1.4 meter sea level rise (see Table 2 above) in Monterey by 2100 the rate of bluff retreat is predicted to increase by approximately 100%. That rate is based

upon a Medium-High Risk Aversion inclination to avoid taking risks in the face of uncertainty which the "State of California – Sea-Level Rise Guidance 2024" document indicates is appropriate for less adaptive, long lifespan (i.e., 2075 and beyond), more vulnerable projects that will experience medium to high consequences if impacted because of underestimating sea level rise. If a Medium Risk Aversion inclination were selected, only a 59% increase in the rate of future bluff retreat is predicted for a 3.1 foot (0.94 meter) sea level rise (see Table 1 above) in Monterey by 2100.

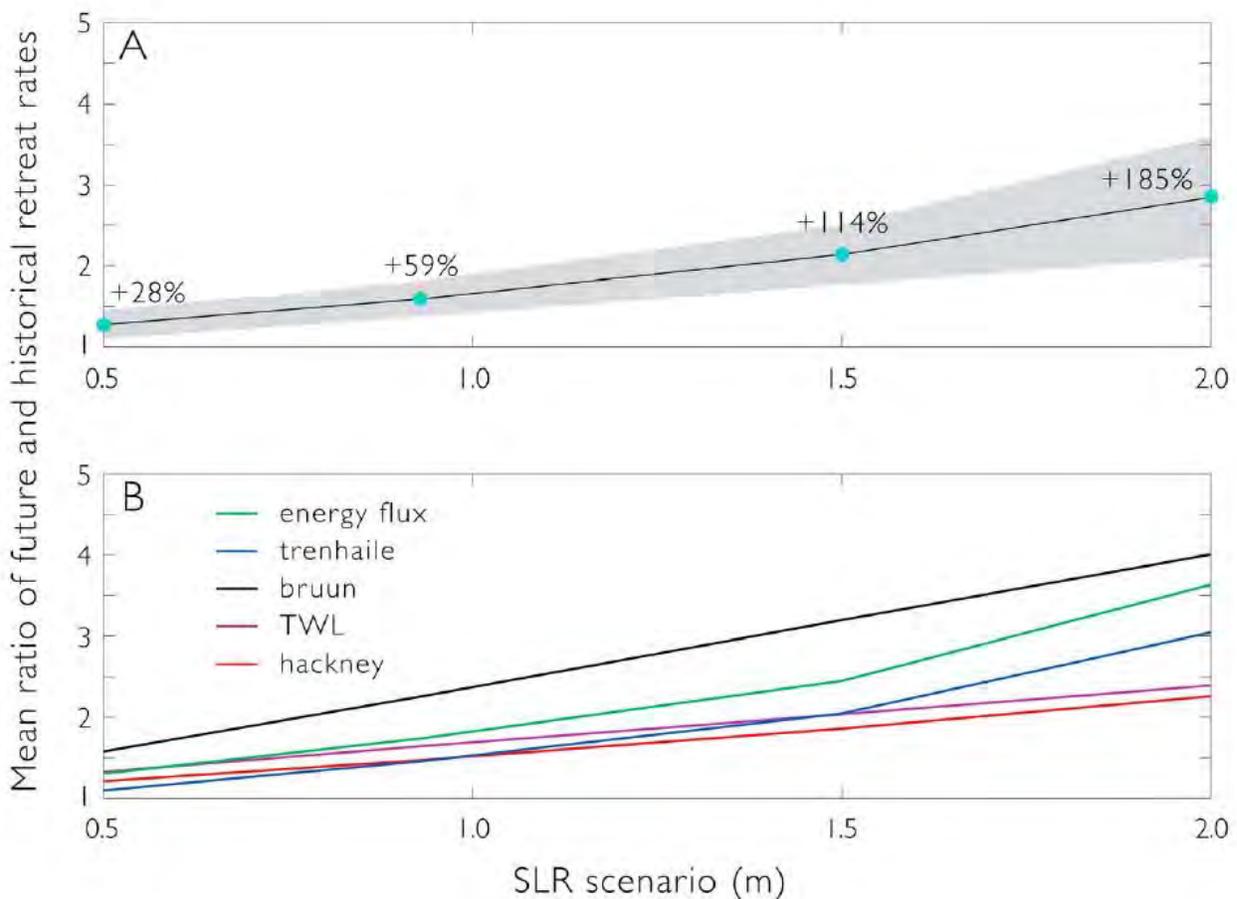


Figure 15: Modeled Future Sea Level Rise (METERS) and Future to Historical Retreat Rate Change Ratios
 (from Limber, P. W., Barnard, P. L., Vitousek, S., & Erikson, L. H. (2018). A Model Ensemble for Projecting Multidecadal Coastal Cliff Retreat During the 21st Century. *Journal of Geophysical Research:Earth Surface*, 123(7), 1566–1589. <https://doi.org/10.1029/2017JF004401>)

Future Bluff Recession Discussion

The sandstone forming the bottom 25 feet of the coastal bluff serves to protect the more erodible marine terrace deposits and surficial soils above that elevation from ocean wave runup impact and erosion. Our field work shows that typically the upper 15 to 20 feet of bluff consists of granular sediments and soils. The maps and cross sections in Appendix B show our interpretation of the site geology, based on aerial photo analysis, field mapping and subsurface exploration. We have surveyed the current improvements on the property (as shown on the map) and have conceptually shown them on 3 cross sections in relation to the ground surface and the top edge of the coastal bluff.

One form of bluff recession is caused by rainfall or wave splash or spray that erodes the bluff face. Because the bluff at the property is composed primarily of relatively strong earth materials (sandstone bedrock) in the lower half, bluff recession from erosion of the bedrock at the property will likely be very slow and sporadic in the future, as it has in the past. Slope instability (landsliding) along the coastal bluff face is another form of the coastal erosion processes that results in landward recession of the top edge of the coastal bluff. The weaker soil and terrace deposit section of the bluff is relatively short in height, and our aerial photograph analysis and site observations indicate substantial bluff recession from landsliding has historically not been occurring. In order to evaluate what portion of the building site is likely to remain stable for at least the next 75 years, engineers and geologists from our firm have evaluated the static and pseudo-static stability (and potential for instability) of the topsoil and terrace deposits that overlie the sandstone bedrock at the site. Our evaluation of potential slope instability indicates that shallow instability could occur along the bluff edge of the property from saturation. That analysis suggests that 4 feet of coastal bluff retreat could occur from landsliding (mass movement) in addition to any grain by grain coastal erosion of the bluff materials.

The historical long term average annual recession rate of the sandstone bedrock at the property has been about 0.25 to 0.5 inches per year. If those rates were to continue into the future for 75 years, in 2099 the top of the sandstone bedrock would have retreated about 1.5 to 3 feet inland of where it is now. To account for future sea level rise of 4.6 feet during the next 75 years, we have conservatively increased this bedrock retreat distance by 50% to be 2.3 to 4.5 feet in the next 75 years.

The historical long term average annual recession rate of the terrace deposits has been about 0.5 to 1 inches per year would suggest that about 3 to 6 feet of marine terrace deposit erosion could cause 3 to 6 feet of recession of the bluff edge in the next 75 years. To account for future sea level rise of 4.6 feet during the next 75 years, we have

conservatively increased this marine terrace and soil retreat amount by 50% to be 4.5 to 9 feet in the next 75 years.

We have added together the potential bluff retreat from landsliding (4 feet); the potential bluff retreat from bedrock erosion (2.3 to 4.5 feet); and the potential bluff retreat from marine terrace and soil erosion (4.5 to 9 feet). This results in the total forecast retreat of the top edge of the coastal bluff being 10.8 to 17.5 feet in the next 75 years. Adding a factor of safety margin of 5 feet to this gives a total retreat distance of 15.8 to 22.5 feet 75 years from now (in 2099).

We have shown 22.5 feet of retreat of the top edge of the coastal bluff on both the Map Cross Sections A through C on our RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK MAP AND CROSS SECTIONS (Three 11 X 17 inch sheets dated 7-19-2024) in Appendix B of this report. This Map and Cross Sections show what portion of the property is likely to remain stable for 75 years (until 2099) and show our RECOMMENDED 75-YEAR BLUFF EROSION AND INSTABILITY SETBACK LINE 22.5 feet inland of where we have mapped the top edge of the existing coastal bluff.

It should be considered that within the next 75 years any improvements seaward of the RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK LINE may be damaged and need to be sacrificed.

Future coastal erosion is episodic and difficult to predict with precision. It is much more likely that future erosion will occur in sporadic pulses when several feet of retreat occurs at once during an extreme event, than slow steady erosion and retreat will occur at the average annual rates described in this document.

CONCLUSIONS

1. The geology in the vicinity of the subject site consists of sandstone bedrock overlain by recent marine terrace deposits. The bedrock is very resistant to coastal erosion while the terrace deposits are very susceptible to coastal erosion. In some areas the upper few feet of the sandstone is highly weathered and therefore is not as resistant to erosion as the underlying fresher bedrock. However, the weathered bedrock is still much more resistant to erosion than the overlying marine terrace deposits and topsoil.

2. Sea level in the Monterey region is expected to rise by 4.6 feet (1.4 meters) in the next 75 years as presented in the "State of California – Sea-Level Rise Guidance 2024" document published by the California State Ocean Protection Council using an Intermediate-High projection that the document deems appropriate for less adaptive, long lifespan (i.e., 2075 and beyond), more vulnerable projects that will experience medium to high consequences if impacted because of underestimating sea level rise.

The rate that sea level is rising at is accelerating, and increased bluff recession rates will result from that. Figure 15 shows that the resulting rate of bluff recession is projected to be about 100% higher 75 years from now than it is today in Monterey. This does not indicate that the cumulative amount of bluff edge retreat will increase by 100% by then, compared to the retreat that has occurred in the past 75 years (since about 1950). It does suggest that the cumulative amount of bluff edge retreat will increase by about 50% between now and 75 years from now (2099) compared to the amount of retreat that has occurred in the past 75 years (since about 1950).

3. This site has slow erosion rates because much of the coastal bluff face is composed of hard sandstone which is very resistant to erosion, and nearshore bedrock islets serve to diminish wave runup and wave impact. We have projected potential future bluff recession rates by considering historical rates, the potential for increasing sea level and the potential for slope instability.

Our experience indicates that coastal erosion of the terrace deposits and topsoil overlying the sandstone in this area of Monterey County is highly episodic. Very little to no erosion of the coastal bluff may occur for several years or even one or two decades. Then a severe storm or set of storms can selectively cause erosion and bluff retreat.

The historical long term average annual recession rate of the sandstone bedrock at the property has been about 0.25 to 0.5 inches per year. If those rates were to continue into

the future for 75 years, in 2099 the top of the sandstone bedrock would have retreated about 1.5 to 3 feet inland of where it is now. To account for future sea level rise of 4.6 feet during the next 75 years, we have conservatively increased this bedrock retreat distance by 50% to be 2.3 to 4.5 feet in the next 75 years.

The historical long term average annual recession rate of the terrace deposits that appears to have historically occurred on the property since 1972 (52 years) has been about 0.5 to 1 inches per year suggests that about 3 to 6 feet of marine terrace deposit erosion could cause 3 to 6 feet of recession of the bluff edge in the next 75 years. To account for future sea level rise of 4.6 feet during the next 75 years, we have conservatively increased this marine terrace and soil retreat amount by 50% to be 4.5 to 9 feet in the next 75 years.

We have added together the potential bluff retreat from landsliding (4 feet); the potential bluff retreat from bedrock erosion (2.3 to 4.5 feet); and the potential bluff retreat from marine terrace and soil erosion (4.5 to 9 feet). This results in the total forecast retreat of the top edge of the coastal bluff being 10.8 to 17.5 feet in the next 75 years. Adding a factor of safety of 5 feet to this gives a total retreat distance of 15.8 to 22.5 feet 75 years from now (in 2099).

4. At the subject property, we recommend that areas seaward of the RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK MAP AND CROSS SECTIONS (Three 11 X 17 inch sheets dated 7-19-2024) shown in Appendix B be considered to be at potential risk in the next 75 years (by 2099). This map and the accompanying cross sections show our RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK LINE 22.5 feet inland of where we have mapped the top edge of the existing coastal bluff.

5. The edge of the coastal bluffs above the bedrock may be infrequently overtopped by wave runup and spray during severe ocean storms. Our observations at the site suggest this is more common near the extreme seaward part of the property. We observed evidence of erosion related to wave runup at 3 locations on the property. The limits of that erosion extended up to elevations of 32, 37 and 42 feet NAVD88. That 42 foot location was at the prominent blufftop lookout just upcoast of the existing beach access steps. Rising worldwide sea level may increase the ocean wave runup elevations discussed in this report. At a minimum, such wave runup elevations will rise by the amount of sea level rise that occurs during the life of any structures. Wave splash and wind driven spray should be expected above and landward of those wave runup elevations.

6. Tsunami hazards at the property are low, based on the Monterey County Tsunami inundation Map dated March 2021 prepared by the California Geological Survey.

7. Moderate seismic shaking is expected at the site in the next 50 years. Other than seismic shaking, coastal bluff landsliding is the most significant geologic hazard at the site.

7. A thin zone of perched water upon the weathered, denser bedrock below the terrace deposit material could occur during the wet winter months. Special attention should be paid to any areas of the buildings that are below adjacent grades. If leakage exists or becomes apparent, building foundation waterproofing will be needed. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to pond adjacent to the top of the coastal bluffs and seep into the backfill of any retaining wall systems. Where possible, surface drainage should be directed towards areas of the bluff top edge furthest from the home and where the surficial deposits are thinnest.

RECOMMENDATIONS

- 1) At the subject property, we recommend that areas seaward of the RECOMMENDED 75-YEAR BLUFF EROSION AND INSTABILITY SETBACK MAP AND CROSS SECTIONS (Three 11 X 17 inch sheets dated 7-19-2024) shown in Appendix B be considered to be at potential risk in the next 75 years (by 2099). We recommend that new habitable development only be constructed inland of this setback. It is possible that any development or improvements seaward of this setback may be damaged by coastal erosion, bluff retreat and/or bluff instability during the next 75 years.
- 2) The proposed development and any future development or redevelopment should be designed to incorporate measures (i.e., landscaping and drainage control) that are used to ensure minimized erosion problems during and after construction, so that the development does not have any negative impacts on the stability of the site and adjacent area.
- 3) We should review any plans that are submitted for permit purposes prior to submittal.
- 4) Prior to construction of any new foundations, coastal bluff recession should be considered. The location of the proposed new foundations should be verified to insure that they are landward of the recommended 75 year coastal recession setback line shown on the map in Appendix B prior to reinforcing steel being placed and concrete being poured. Improvements seaward of the recommended 75 year coastal recession setback line should be considered sacrificial.
- 5) Storm runoff dispersal and erosion control measures should be implemented to control storm runoff and prevent erosion from it.
- 6) Future coastal erosion and bluff recession on the property should be carefully monitored, and when any significant erosion episodes occur, then inspections should be made by qualified professional coastal geologists and/or coastal engineers to allow for prudent subsequent design of remediation and/or coastal protection measures.
- 7) Removal of any existing improvements (if done) must be done in a manner that minimizes the removal of and any impact to the underlying soils.

Limitations

1. Because of uncertainties that are inherent in the analysis and are beyond the control of HKA, no guarantee or warranty is possible that future recession will occur at the rate predicted. Greater or lesser erosion and recession may occur. In any case, damage to improvements should be expected at some point in the far future. This study should not be used in lieu of appropriate insurance coverage. The owners and occupants of the coastal improvements shall accept the risk of that damage, and HKA recommends that they should purchase appropriate insurance to mitigate the inherent risk.
2. The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed in the borings. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at the time, our firm should be notified so that supplemental recommendations can be given.
3. This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project and incorporated into the plans, and that the necessary steps are taken to ensure that the Contractors and Subcontractors carry out such recommendations in the field. The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. No other warranty expressed or implied is made.
4. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or to the works of man, on this or adjacent properties. In addition, changes in applicable or appropriate standards occur whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated, wholly or partially, by changes outside our control. Therefore, this report should not be relied upon after a period of three years without being reviewed by an engineering geologist.

APPENDIX A

1986 Vertical Aerial Photography

2023 Google Earth Image



1986 Vertical Aerial Photograph of 35700 Highway 1



April 2023 Google Earth Image of 35700 Highway 1

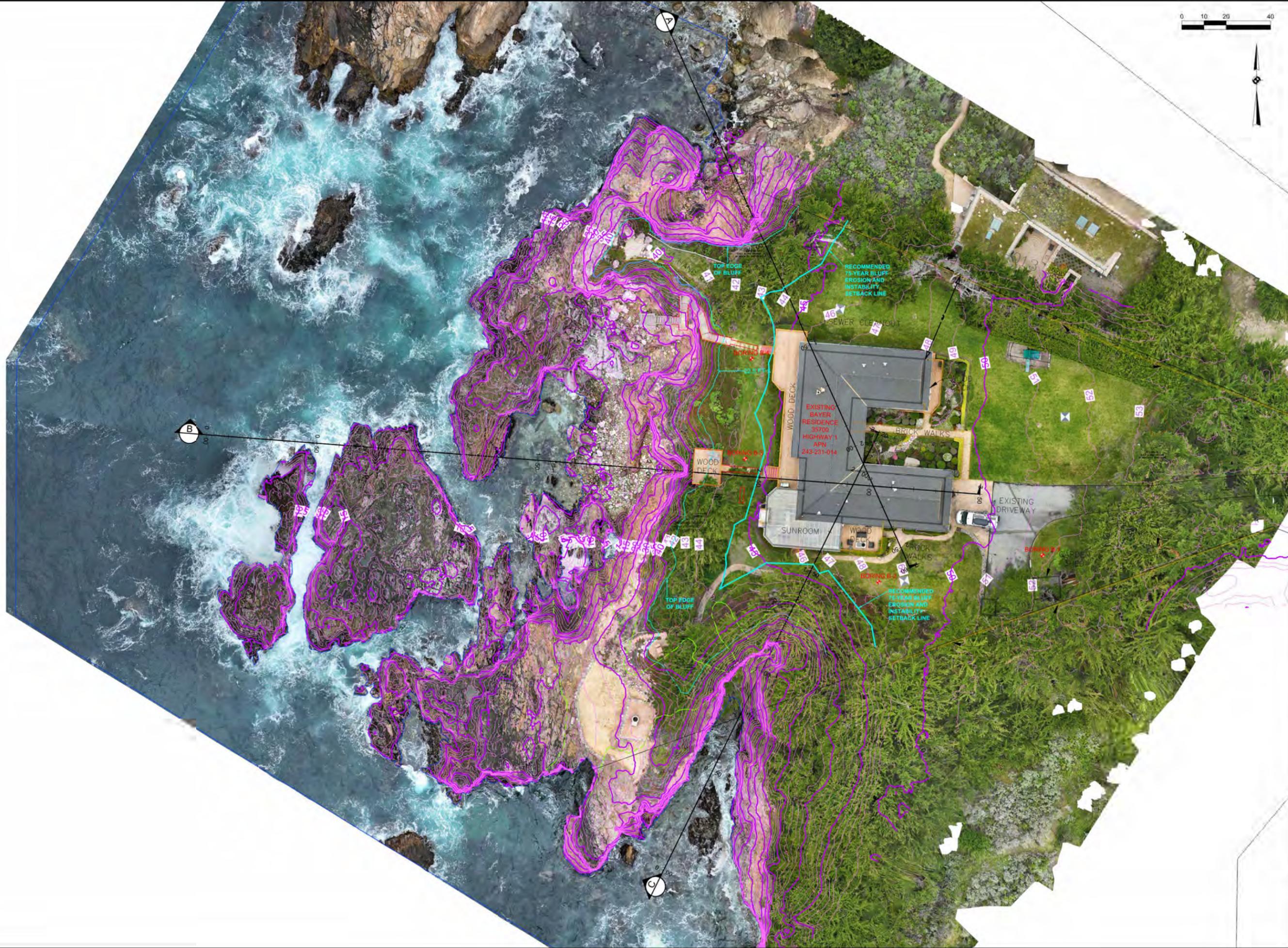
APPENDIX B

RECOMMENDED 75-YEAR COASTAL BLUFF EROSION

AND INSTABILITY SETBACK

MAP AND CROSS SECTIONS

(Three 11 X 17 inch sheets dated 7-19-2024)

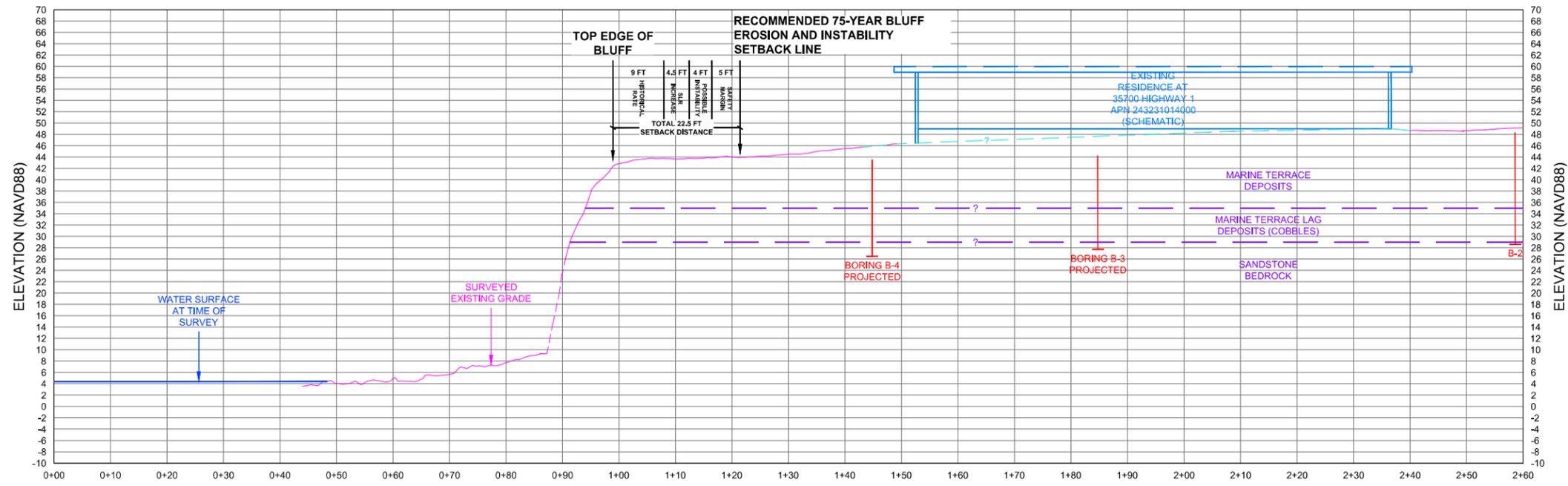


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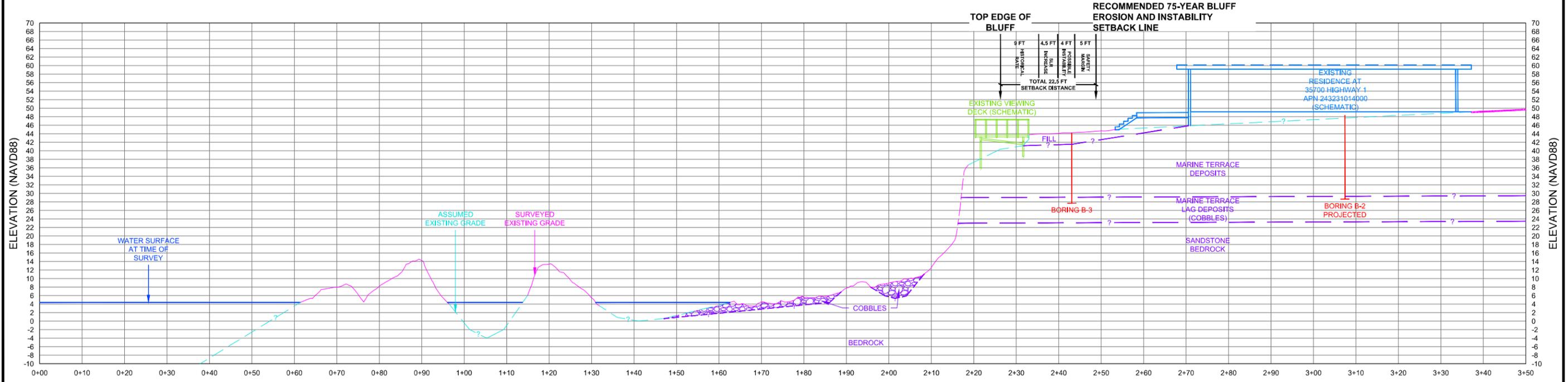
RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK MAP
 BAYER RESIDENCE 35700 HIGHWAY 1, MONTEREY, CA 93940 APN 243231014

PROJECT: M121121
 DATE: 2024-07-19
 DESIGN: MF
 DRAWN: MW
 SCALE: AS SHOWN

SHEET
1
 OF 3 SHEETS **135**



CROSS SECTION A
SCALE: AS SHOWN



CROSS SECTION B
SCALE: AS SHOWN

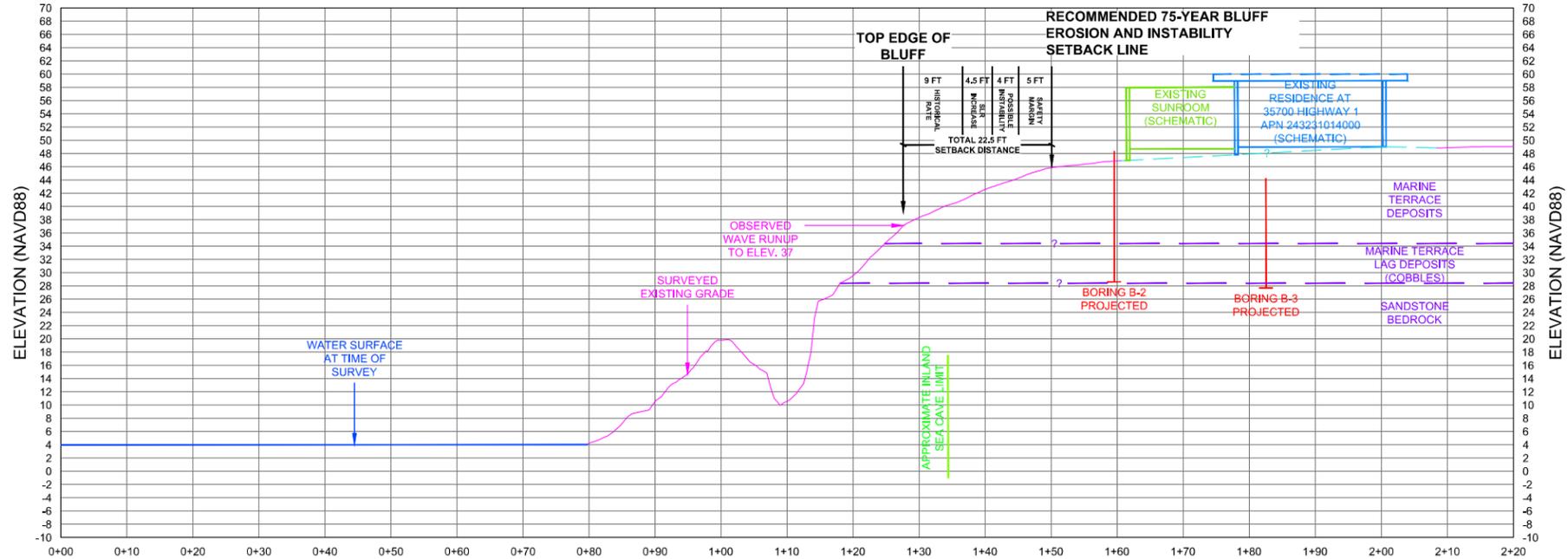


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RECOMMENDED 75-YEAR COASTAL BLUFF EROSION AND INSTABILITY SETBACK
CROSS SECTIONS A AND B
 BAYER RESIDENCE 35700 HIGHWAY 1, MONTEREY, CA 93940 APN 243231014

PROJECT: M12121
 DATE: 2024-07-19
 DESIGN: MF
 DRAWN: MW
 SCALE: AS SHOWN

SHEET
2
 OF 3 SHEETS 136



CROSS SECTION C
SCALE: AS SHOWN



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CROSS SECTION C
 BAYER RESIDENCE 35700 HIGHWAY 1, MONTEREY, CA 93940 APN 243231014

PROJECT: M12121
 DATE: 2024-07-19
 DESIGN: MF
 DRAWN: MW
 SCALE: AS SHOWN

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 OF 3 SHEETS 137

Exhibit F

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BIOLOGICAL ASSESSMENT

OF

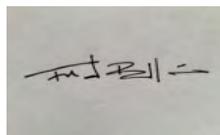
**Lex and Danielle Bayer
35700 Highway One
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APN 243-231-014**

Prepared For:

Lex and Danielle Bayer
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A rectangular box containing a handwritten signature in black ink, which appears to be "Fred Ballerini".

July 7, 2025

I. INTRODUCTION

This 19-page Biological Assessment has been authorized by the project owner Lex Bayer on April 17, 2025.

This biological assessment is prepared to evaluate potential impacts to plants, habitats, and wildlife that would be generated from a proposed residential redevelopment project for parcel APN 243-231-014 located at 35700 Highway One in Big Sur, CA 93920. The project consists of the demolition and replacement of an existing single family residence, detached garage, new septic system and associated site work within the 87,120 SF parcel that has an existing residential development.

This biological assessment identifies native plant communities and sensitive biotic resources throughout the proposed development area, includes recommendations to avoid or reduce potential project-related significant impacts to biological resources, and provides recommendations to restore habitat in the development area. Field surveys including a spring flowering survey of the parcel were conducted during two (2) site visits on March 25 and April 30 2025. A development site plan showing existing and proposed development footprints was provided for review prior to the field visits. No civil or landscape plans were provided for analysis.

II. SUMMARY

The subject parcel supports several sensitive biological elements including populations of seacliff buckwheat (*Eriogonum parvifolium*), the host plant for the Federally-listed *endangered* Smith's blue butterfly (*Euphilotes enoptes smithi*), seaside paintbrush (*Castilleja latifolia*) a California Rare Plant Rank (CRPR) 4.3 limited distribution species, and the environmentally sensitive habitat Northern Coastal Bluff Scrub (DFW code 31.100.00*). The potential for listed wildlife species noted to occur in the vicinity includes those associated with sea caves and marine resources such as black swift (*Cypseloides niger*), southern sea otter (*Enhydra lutris nereis*) and others that may utilize the rocky shores or tidal zones below the parcel.

While the proposed construction project is sited within existing development footprints, elements of the project situated near sensitive species and habitat have been minimized to allow for the long-term improvement and maintenance of those habitats (Ref. Big Sur Coast LUP Policies 3.3.2.4 and 3.3.2.7) through the use of invasive species eradication and habitat restoration recommendations included in this report. Additionally in accordance with the Big Sur Coast LUP + CIP policies, development shall be designed to minimize site disturbance within areas supporting natural plant communities. If the recommendations contained in this report are implemented, the impacts of the proposed project will be reduced to levels that sustain the biotic resources supported at the subject property and reduce ongoing invasive species impacts to below the current level. As such, the proposed development project presents the opportunity to improve baseline native habitat conditions across the parcel.

Findings are included in Section V and VI below describing natural communities and potential wildlife in the parcel. Impact assessments and recommendations are included below in Section IX for the development.

III. REGIONAL SETTING

The subject property is located within the Coastal Zone administered by the California Coastal Commission and within an unincorporated area of Monterey County and within the Big Sur Coast coastal planning area in the Santa Lucia Mountains of Monterey County, California. The 87,120 SF coastal parcel at approximately 45' to 55' elevation, is located west of Highway 1, approximately seven (7) miles south of Carmel, CA at the south end of Garrapata Beach and north of Kasler Point. The development area is accessed through an existing gated, paved driveway (the only vehicular approach into the parcel) off Highway One. The project site is located within the United States Geological Survey Soberanes 7.5' Quadrangle (identified in the included Section XI. Project Location) and within the Big Sur Coast Land Use Plan Area. Dominant plant communities of the regional area include Northern Coastal Bluff Scrub, Coastal Scrub alliances, Central Maritime

Chaparral, Oak Woodland Forest, Riparian Alliances, Coastal Prairie Grasslands, Annual Grasslands and Redwood Forest.

IV. METHODS

Field methods included walking the entire parcel and proposed development area while surveying for sensitive elements, inventorying observed plant and animal species, and photographing existing vegetation zones and natural communities within and adjacent to the project area. Two (2) reconnaissance site visit including an early and later spring survey were conducted on March 25 and April 30, 2025, to observe plant communities present on the site and to determine if existing conditions were suitable habitat for any associated special-status plants or wildlife species. Weather conditions were sunny with full access to the site, which allowed for careful site and resource observations.

Local maps and consultations with personnel familiar with the project were utilized during the preparation of this Biological Assessment. The U.S. Fish and Wildlife Service Information for Planning and Consultation Database (IPaC), California Natural Diversity Data Base (CNDDDB) maintained by the State of California Department of Fish and Wildlife (CDFW) and the California Native Plant Society Inventory of Rare and Endangered Plants (website, 2025), were consulted for the identification of known populations of Federal and State listed rare, threatened and endangered plant and wildlife species on or in the vicinity of the Bayer project site. Survey methods included utilizing The Jepson Manual (Hickman 1993), Invasive Plants of California's Wildlands (Bossard, Randall, and Hoshovsky 2000), California Invasive Plant Council database (website, 2025), A Manual of California Vegetation (Sawyer, Keeler-Wolf, and Evens 2009), An Illustrated Field Key to the Flowering Plants of Monterey County (Matthews and Mitchell 2015), Big Sur Coast Land Use Plan (Monterey County and certified by the CA Coastal Commission 1986), The Natural History of Big Sur (Henson and Usner 1993), and Coastal Implementation Plan, Part 3 (Monterey County – Regulations for Development in the Big Sur Coast Land Use Plan 1988).

V. LOCAL VEGETATION

The California Department of Fish and Wildlife (CDFW) has developed a number of classification systems that describe vegetation in either quantitative, or qualitative terms. The descriptive names used in this Biological Assessment correspond to the standardized, hierarchical naming protocols developed by Robert Holland and expanded by Fish and Wildlife staff (CDFW 2010). These vegetation types are also described in Sawyer, et al., (2009). The vegetation descriptions used in this report have a numeric code that corresponds to the CDFW classification system. A star symbol (*) is used by the Department to designate a high priority, rare ecosystem in the statewide hierarchical system. Numeric codes follow protocols in the CNDDDB 2010 list of natural communities prepared for the State of California by the Department of Fish and Wildlife, Natural Heritage Division.

Vegetation on the parcel within the development envelope is void of any significant native habitat as the site has been anthropogenically altered long ago to the degree that nearly all native plant communities within the boundaries of the parcel have been altered and replaced with introduced landscape plantings, turf or ruderal vegetation with the exception of a strand of Northern Coastal Bluff Scrub habitat (DFW code *31.100.00) located along the coastal bluff of the parcel.

Entering the parcel through the gated driveway from Highway One, the paved driveway extends approximately 100 meters westward before reaching the existing residential development area. The driveway is lined on both sides with mixed aged landscape-introduced Monterey cypress (*Hesperocyparis macrocarpa*). The Monterey cypress trees extend westward to the rocky shoreline with several of the larger trees likely on the parcel since the initial residential development decades ago. Young saplings from seed of the mature stand were observed in various areas on the bluff slope as the trees are reseeding and establishing in native scrub area. Though Monterey cypress are a California native species and protected in their two relic populations (Point Lobos and Crocker Grove) their presence in Big Sur is outside their native range and the trees are considered an invasive species due to their ability to reseed, pioneer into, and disrupt native plant communities. Recommendations are included in Section IX below to prevent cypress tree saplings from pioneering into the adjacent sensitive Northern Coastal Bluff Scrub plant community.



Entry driveway (looking east toward Highway One).

Understory constituents along the driveway are void with the ground covered in wood chip mulch. Cypress trees have recently been pruned up as freshly pruned cuts and cypress green waste chipped mulch piles were noted.

Continuing westward the driveway leads to the existing residence with an extensive ornamental landscape and large spans of exotic turf that cover the remainder of the development area.



Existing development location with expansive kikuyu lawn.

Exotic kikuyu (*Pennisetum clandestinum*) and tall fescue (*Festuca arundinacea*) turf surrounds the existing residence. Both turf grasses are listed invasive species by the California Invasive Plant Council (Cal-IPC) as having adverse ecological impacts to natural plant communities. In the coastal environment, these impacts are exacerbated with the cooler, moist conditions that contribute to the species expansion.

Ornamental landscaping is found adjacent all sides of the residence planted with mixed Mediterranean drought tolerant shrub and ground cover plants. Proposed redevelopment is sited to occur within the existing development footprint and extending into landscaped and turf areas.



East and north side of existing residence.



East and south side of existing residence.

In addition to the Monterey cypress, ornamental landscaping and exotic turf along the west side of the house, numerous hardscape elements including pathway, decks, retaining walls, decomposed granite and flagstone patios, and a coastal access stairway are sited along the coastal bluff and collectively the historical landscape elements have encroached into remnant Northern Coastal Bluff Scrub Habitat along the edge of the bluff and along the rocky cliff face.

Northern Coastal Bluff Scrub habitat is considered an Environmentally Sensitive Habitat Area by the California Coastal Commission, recognized as a threatened plant community by the California Department of Fish and Wildlife, and classified as a natural community “rare and worthy of consideration” by the CNDDDB. This habitat is a distinct association of (Northern) Coastal Scrub habitat and is characterized by its shorter stature, more succulent-like foliage and additional salt and wind tolerant species not commonly found on the adjacent uplands. The habitat supports sea cliff buckwheat (*Eriogonum parvifolium*), sea lettuce (*Dudleya caespitosa*), California beach aster (*Corethrogyne filaginifolia*), bent grass (*Agrostis pallens*), saltgrass (*Distichlis spicata*), seaside daisy (*Erigeron glaucus*), coastal lotus (*Acmispon maritimus*), bluff lettuce (*Dudleya farinosa*), lizard tail (*Eriophyllum staechadifolium*), blue-eyed grass (*Sisyrinchium bellum*) and other constituents including the California Native Plant Society listed sensitive, endemic species seaside paintbrush (*Castilleja latifolia*). Seacliff buckwheat is found scattered in discontinuous individual occurrences throughout the rocky bluff edge and cliff faces containing the Northern Coastal Bluff Scrub habitat.

Seacliff buckwheat is the obligate host plant, primary nectar source for adults and mating site for the federally-endangered Smith's blue butterfly (*Euphilotes enoptes smithii*). No butterfly sightings were observed during the field surveys though site observations were conducted prior to the typical adult emergence season of the butterfly (late Spring through early Summer). Historical sightings have been recorded in nearby coastal parcels and wildland canyons to the north, east and south, though typically such sightings are documented in upland habitat in dense stands of sea cliff buckwheat. The location of the subject buckwheat plants on the cliff faces, lack of high quality habitat, low density of buckwheat plants, and exposure to direct coastal salt spray and wind events make it a low quality site for the butterfly to utilize the area, though potential exists as the buckwheat are present.



Coastal bluff with Northern Coastal Bluff Scrub habitat.



Native Northern Coastal Bluff Scrub species including blue-eyed grass and seaside paintbrush (L), coastal lotus (M) and seacliff buckwheat with sea lettuce (R).

The remaining fragmented northern coastal bluff scrub habitat along the bluff is under threat of total displacement from several exotic species including Monterey cypress saplings and trees, expanded landscape plantings, naturalizing landscape species such as freeway daisy (*Osteospermum fruiticosum*) and purple wallflower (*Erysimum 'Bowles Mauve'*), and the invasive iceplant (*Carpobrotus edulis*), a Cal-IPC listed species with a *high* rating for having severe impacts to native habitats. The iceplant encroachment is having severe detrimental effects on the native habitat as it

chokes out native habitat by forming dense mats that threatens to displace the listed habitat and sensitive species. Iceplant is shallow rooted and is isolated to the bluff, making manual controls feasible on the bluff. Collectively, all invasive species along the bluff should be managed to prevent further migration into the surrounding sensitive scrub community. The Big Sur Coast LUP Policy 3.3.3.10 encourages Big Sur residents to undertake restoration of natural environments by removal of exotic, invasive plants and Policy 3.3.2.7 states that land uses adjacent to environmentally sensitive habitats shall be compatible with the long term maintenance of the resource.



Exotic wallflower (L), freeway daisy (M) and invasive iceplant (R).

Several of the existing exterior hardscape elements along the bluff including hand railings, decking, stairs and retaining walls are in an aged condition and may require rehabilitation to maintain personal safety along the bluff and long term protection of the marine resource. Any proposed hardscape repair or decommissioning work will likely cause disturbance impacts and potential erosion of the bluff, thus requiring replanting mitigations and erosion control measures in order to maintain compliance with the LUP Key Policy ensuring all practical efforts shall be made to maintain, restore, and if possible, enhance Big Sur's environmentally sensitive habitats. Recommendations are included Section IX below to eradicate invasive species and restore any proposed impacted areas with site appropriate Northern Coastal Bluff Scrub habitat including listed species at a 2:1 ratio and maintain restoration areas in a healthy weed-free environment.

Proposed construction plans (excluding review of Landscape, Civil and Septic Plans) indicate the development is sited within 100 feet of environmentally sensitive habitats (marine habitat and Northern Coastal Bluff Scrub). Per LUP and CIP policies, projects located within 100 feet of ESHA shall not be permitted to adversely impact the habitat's long-term maintenance (Ref. CIP ESHA General Development Standards 20.145.040.B.4 and LUP Policy 3.3.2.7). If the recommendations contained in this report are implemented, the incorporation of habitat protection measures, exotic species controls and northern coastal bluff scrub restoration collectively present an opportunity to improve baseline native habitat conditions along the bluff and reduce potential sediment erosion in the marine resource.

VI. WILDLIFE

During the two site visits to the project location, many bird species were identified (see Observed Animal Species List) including non-resident migratory passerines observed utilizing the cypress tree canopy and adjacent areas containing shrub cover. Several raptor species, including red-shouldered hawk and turkey vulture were identified flying over the parcel on several occasions. Raptors and their nests are protected under the California Department of Fish and Wildlife (CDFW) Code. Nesting seasons of migratory species are overlapping with breeding residents in the Monterey Bay region typically occurring between February through the beginning of September. Various species of raptors including red-tailed hawk (*Buteo jamaicensis*), red-shouldered hawk (*Buteo lineatus*), Cooper's hawk (*Accipiter cooperii*), great horned owl (*Bubo virginianus*), barn owl (*Tyto alba*), turkey vulture (*Cathartes aura*) and others have a potential to nest within any of the large cypress trees present within and adjacent the parcel, and within the tall eucalyptus on the adjacent southern parcel.

Seabirds were noted utilizing the rocky shoreline and flying through the marine area, including brown pelican (*Pelecanus occidentalis*), western gull (*Larus occidentalis*), and many others offshore. There is the potential opportunity for black swift (*Cypseloides niger*) and ash storm petrel (*Oceanodroma homochroa*) to nest in the sea caves (and vertical cliffs) along the shoreline of the property. The U.S. Department of Fish and Wildlife Service list the black swift and ash storm petrel as California Species of Concern. Black swift are the largest swift species in North America and are summer residents along the Big Sur coast. Ash storm petrels spend the majority of their lives in open ocean waters but return to shore during breeding season to utilize rocky shores and sea caves for nesting. Nesting species that potentially exist along these shoreline areas could be disrupted by potential site runoff, slope erosion, construction noise or other construction related influences if proposed work occurs during the nesting cycle.

The Migratory Bird Treaty Act (16 USC 703) prohibits the taking, hunting, killing, selling, purchasing, etc. of migratory birds, parts of migratory birds, and their eggs and nests. As used in the act, the term “take” is defined as meaning, “to pursue, hunt, capture, collect, kill or attempt to pursue, unless the context otherwise requires.” Section 3503.5 of the California Fish and Wildlife Code also protects the nests and eggs of birds-of-prey (raptors) and essentially overlaps with the Migratory Bird Treaty Act. Recommendations are included to monitor with a nesting survey during nesting season prior to commencement of any development activities.

Monarch butterfly (*Danaus plexippus*) winters in large colonies along the coast from Northern California to Baja California. Overwintering roost sites are located in wind-protected tree groves, usually Eucalyptus ssp, Monterey Pine (*Pinus radiata*) or Monterey cypress. Nectar and water sources must be nearby to support the utilization of roosting sites. The Big Sur Coast Land Use Plan identifies overwintering sites as Environmentally Sensitive Habitat (Ref. Policy 3.3) to be protected with 100-foot setbacks. In addition, the California Department of Fish and Wildlife’s California Natural Diversity Database and the Xerces Society maps and tracks winter roosting locations due to the experienced declines in population size. The potential for overwintering at or adjacent the project site is considered moderate due the presence of large established cypress trees on and adjacent the parcel and stand of established eucalyptus on the adjacent parcel to the south. Additionally, overwintering Monarchs are documented occurring at Notley’s Landing (approximately 1.5 miles to the south) in a eucalyptus grove and personally observed overwintering less than a mile away in a cypress grove on a residential parcel north of Rocky Creek Bridge. To minimize impacts related to disturbance caused by construction noise or vibration impacts, overwintering seasonal monitoring protocols are included in the recommendations.

Off-site habitat to be considered with regard to any proposed re-development project, is the intertidal and subtidal zones within the Monterey Bay National Marine Sanctuary which provides habitat for the Federally-listed *threatened* Southern sea otter and the invertebrates it feeds upon. Marine resources that exist along these shoreline areas could be disrupted by potential site runoff, slope erosion, construction noise or other construction related influences.

No additional special status wildlife species were observed within the project site, however the habitat community within the parcel provides nesting sites and cover for a variety of mammals that are expected to occur near the project area, including common wildlife species California ground squirrel (*Spermophilus beecheyi*), California pocket mouse (*Chaetodipus californicus*) raccoon (*Procyon lotor*), bobcat (*Lynx rufus*), black-tailed deer (*Odocoileus hemionus columbianus*), coyote (*Canis latrans*) and others.

VII. RARE, THREATENED, AND ENDANGERED SPECIES AND HABITATS

In addition to field observations, documented State and Federal occurrence data were consulted to evaluate the likelihood of special status species to occur within and immediately adjacent to the project area and surrounding USGS quadrangles. Data sources included the California Native Plant Society Inventory of Rare Plants, California Department of Fish and Wildlife (which supports the California Natural Diversity Data Base: CNNDDB), and the United States Fish and Wildlife Service (which supports the Information for Planning And Consultation: IPaC).

Thirty-seven sensitive elements are listed in the CNDDDB database for the Soberanes Quadrangle with many others listed in adjacent quadrangles that have potential to exist along the Big Sur coast in the project vicinity.

Special status natural communities, plants and animals include habitats and species that have been identified as being biologically rare or noteworthy and thus, deserving of special protection under federal, state or local laws and policies. Special-status species known to occur or determined to have a moderate or high potential to occur within or immediately adjacent the project site have been discussed above in Sections V and VI. All other species are assumed unlikely to occur or have a low potential to occur based on the lack of supporting habitat or other species-specific related reasons, and are therefore unlikely to be impacted by the project, and are not further included in this discussion. Relevant literature and databases (CNDDDB and USFW IPaC) were also reviewed regarding the presence of special-status species in the area. Range maps, locality records and habitat associations were reviewed for all special-status wildlife species to assess their likelihood to inhabit the project site. The following 37 sensitive elements are listed by the CNDDDB for the Soberanes 7.5' quadrangle:

Scientific Name	Common Name	Federal Status	State Status	CDFW Status	CA Rare Plant Rank
<i>Batrachoseps luciae</i>	Santa Lucia slender salamander	None	None	-	-
<i>Rana boylei</i> pop. 6	foothill yellow-legged frog - south coast DPS	Endangered	Endangered	-	-
<i>Rana draytonii</i>	California red-legged frog	Threatened	None	SSC	-
<i>Hydrobates homochroa</i>	ashy storm-petrel	None	None	SSC	-
<i>Pelecanus occidentalis californicus</i>	California brown pelican	Delisted	Delisted	-	-
<i>Oncorhynchus mykiss irideus</i> pop. 9	steelhead - south-central California coast DPS	Threatened	None	SSC	-
<i>Euphilotes enoptes smithi</i>	Smiths blue butterfly	Endangered	None	-	-
<i>Danaus plexippus plexippus</i> pop. 1	monarch - California overwintering population	Proposed Threatened	None	-	-
<i>Dipodomys heermanni goldmani</i>	Salinas kangaroo rat	None	None	-	-
<i>Enhydra lutris nereis</i>	southern sea otter	Threatened	None	FP	-
<i>Eumetopias jubatus</i>	Steller sea lion	Delisted	None	-	-
<i>Corynorhinus townsendii</i>	Townsend's big-eared bat	None	None	SSC	-
<i>Haliotis cracherodii</i>	black abalone	Endangered	None	-	-
Central Maritime Chaparral	Central Maritime Chaparral	None	None	-	-
Monterey Pine Forest	Monterey Pine Forest	None	None	-	-
<i>Tortula californica</i>	California screw moss	None	None	-	1B.2
<i>Lomatium parvifolium</i>	small-leaved lomatium	None	None	-	4.2
<i>Erysimum ammphilum</i>	sand-loving wallflower	None	None	-	1B.2
<i>Arctostaphylos edmundsii</i>	Little Sur manzanita	None	None	-	1B.2
<i>Arctostaphylos hookeri</i> ssp. <i>hookeri</i>	Hookers manzanita	None	None	-	1B.2
<i>Astragalus nuttallii</i> var. <i>nuttallii</i>	ocean bluff milk-vetch	None	None	-	4.3
<i>Hosackia gracilis</i>	harlequin lotus	None	None	-	4.2
<i>Sidalcea malachroides</i>	maple-leaved checkerbloom	None	None	-	4.2
<i>Clarkia jolonensis</i>	Jolon clarkia	None	None	-	1B.2
<i>Clarkia lewisii</i>	Lewis clarkia	None	None	-	4.3
<i>Piperia michaelii</i>	Michaels rein orchid	None	None	-	4.2
<i>Piperia yadonii</i>	Yadons rein orchid	Endangered	None	-	1B.1
<i>Aphyllon robbinsii</i>	Robbins broomrape	None	None	-	1B.1
<i>Castilleja latifolia</i>	Monterey Coast paintbrush	None	None	-	4.3
<i>Cordylanthus rigidus</i> ssp. <i>littoralis</i>	seaside birds-beak	None	Endangered	-	1B.1
<i>Pinus radiata</i>	Monterey pine	None	None	-	1B.1
<i>Leptosiphon grandiflorus</i>	large-flowered leptosiphon	None	None	-	4.2
<i>Chorizanthe douglasii</i>	Douglas spinesflower	None	None	-	4.3
<i>Eriogonum nortonii</i>	Pinnacles buckwheat	None	None	-	1B.3
<i>Delphinium hutchinsoniae</i>	Hutchinsons larkspur	None	None	-	1B.2
<i>Ceanothus rigidus</i>	Monterey ceanothus	None	None	-	4.2
<i>Rosa pinetorum</i>	pine rose	None	None	-	1B.2

VIII. REGULATORY SETTING

There are several conservation and management regulatory guidelines associated with the attributable constituents that inhabit or potentially occur on the parcel.

Federal regulations are provided under the Endangered Species Act (ESA) of 1973 (16 U.S. Code [USC § 1531 et seq.], managing federally site threatened or endangered plants and wildlife and their designated critical habitats. Section 7 of the ESA requires a permit to take a threatened or endangered species during lawful project activities, with permits and oversight administered by the United States Fish and Wildlife Service (USFWS). Section 9 of ESA prohibits the take of any fish or wildlife species listed under ESA as endangered or threatened. Take, as defined by ESA, is “to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or attempt to engage in any such conduct.” Harm is defined as “any act that kills or injures the fish or wildlife...including significant habitat modification or degradation that significantly impairs essential behavioral patterns of fish or wildlife.” Additionally, the National Oceanic and Atmospheric Administration Marine Fisheries Service (NMFS) is responsible for the protection of ESA-listed marine species and anadromous fish, whereas other listed species are under USFWS jurisdiction. The Migratory Bird Treaty Act (MBTA) (16 USC § 703 et seq.) implements various treaties and conventions providing protection for migratory birds. The MBTA makes it unlawful to take, kill, capture, collect, possess, buy, sell, trade, ship, import or export any migratory bird including feathers, parts, nests, or eggs. The MBTA applies to incidental take of migratory birds (e.g., the destruction of an active nest due to vegetation clearing); however, the MBTA does not protect the habitats of migratory birds in the absence of protected species.

State regulations are governed by the California Fish and Game Code and the Native Plant Protection Act, that provide specific protection and listing for several biological resources including; Fully Protected Species, significant natural areas, designated ecological reserves, and streams, rivers, sloughs, and channels. Fully protected species are listed in the Fish and Game Code Section 3511 (Fully Protected birds), Section 4700 (Fully Protected mammals), Section 5050 (Fully Protected reptiles and amphibians), and Section 5515 (Fully Protected fishes). The Code prohibits the taking of species designated as Fully Protected. Additionally, species may qualify for formal protection under the California Environmental Quality Act (CEQA) including wildlife or plants presumed to be rare or endangered. Species may, under certain circumstances, be protected by CEQA statutes, even if they are not registered under Federal or state programs. These include the majority of plants on the CNPS CRPR 1B as well as others that are identified as rare, threatened, or endangered, regardless of recognition by the USFWS, CDFW, or CNPS. The California Coastal Commission may designate areas of rare or unique biological value, such as wetland and riparian habitat and habitats for special-status species, as ESHA. Section 30107.5 of the CCA defines an “environmentally sensitive area” as any area in which plant or animal life or their habitat are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments. Development is restricted within the coastal zone and prohibited within designated ESHA, unless the development is coastal dependent and does not have a significant effect on the resources. Section 30240 of the CCA states that “environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on those resources shall be allowed within those areas.” This section also states that “development in areas adjacent to environmentally sensitive habitat areas shall be sited and designed to prevent impacts which would significantly degrade those areas and shall be compatible with the continuance of those habitat and recreation areas.”

Local policies and regulations are included in several governing documents including the Big Sur Coast Land Use Plan and the Monterey County Coastal Implementation Plan Part 3 Regulations for Development in the Big Sur Coast Land Use Plan.

IX. IMPACTS (Recommendations)

The proposed residential development is sited exclusively within an existing development footprint with portions extending into landscaped areas (Ref. Conceptual Site Plans, Field Architecture, April 2, 2025). Proposed Infrastructure elements, Civil Engineering and Landscape impacts have not

been analyzed as plans have not been presented for assessment to biological resources. There are sensitive elements that exist in close proximity of the proposed development along the coastal bluff. With the adoption of the below recommendations, the proposed project is consistent with regulations for the development adjacent to environmentally sensitive habitats (Ref. CIP Section 20.145.040) and should have a less than significant impact on special natural communities, plants, and wildlife protected by local, state, or federal regulations. By implementing the listed protection measures, erosion control measures, restoration practices, and biological monitoring, the project should enhance the sensitive natural community found on the parcel through long-term management and invasive species control.

Impact 1: Black Swift, Ashy Storm Petrel and Nesting Survey

The black swift and ashy storm petrel are listed (CDFW) California species of concern and noted to occur in the Big Sur coastal region to utilize the rocky shore for nesting sites. These species have been observed nesting in sea caves and cliff faces in the Big Sur region during nesting season occurring between May and August. Sea caves are present northwest, west and southwest of the along the rocky shoreline adjacent the existing development area.

Nesting raptors and other protected avian species, including bats, owls, and migratory passerines have the potential to occur within and adjacent to the project site as large cypress and eucalyptus trees are found within the vicinity of the development location. Additionally, if nesting birds protected by state and federal regulations are present during construction activities (including during periods of demolition, site preparation, tree work, and vegetation management) the proposed project could potentially result in direct mortality of individuals, disturbance of nests, nest abandonment, and loss of habitat that may result in loss of fertile eggs or nestlings. This is a potentially significant impact that can be reduced to a less-than-significant level with implementation of the measures recommended below.

Mitigation 1

- To avoid potential impacts to nesting raptors and other nesting avian species, construction activities should be timed to avoid the nesting season period from February 1 to September 1. Alternatively, if avoidance of the nesting period is not feasible, a qualified biologist shall be retained to conduct pre-construction surveys for nesting raptors and other protected avian species within 300 feet of proposed construction activities if construction (including site prep and demolition) is initiated during the nesting period. Pre-construction surveys will be conducted no more than 7 days prior to the start of construction activities.
- Bird species nesting is variable through the season with some breeding multiple times in a season. If there is more than a one-week delay of construction activities during the nesting season, additional surveys for nesting birds may be required to continue during construction to address new arrivals or secondary nesting. The necessity and timing of these continued surveys will be determined by the qualified biologist based on the proposed construction scheduling.
- If an active bird nest of a native species is detected during the survey, then a plan for bird nest avoidance shall be prepared by the qualified biologist to determine and delineate an appropriately sized, temporary protective buffer area around each active nest, depending on the nesting bird species, existing site conditions, and type of proposed disturbance or construction activities. Protective buffer areas around an active bird nest ranges from 75-300 feet, determined at the discretion of the qualified biologist. To ensure that no inadvertent impacts to an active bird nest will occur, no disturbance and/or construction activities shall occur within the protective buffer area(s) until the juvenile birds have fledged, and there is no evidence of reliance upon the nest or parental care for survival or a second attempt at nesting, as determined by the qualified biologist.
- A document summarizing the results of the nesting bird survey shall be submitted to the Monterey County Housing and Community Development – Project Planner for approval prior to commencement of construction activities (including grading and landscape vegetation removal).

Impact 2: Monarch Butterfly

The Monarch butterfly (*Danaus plexippus*) is noted to occur in nearby coastal groves of eucalyptus, Monterey cypress, and Monterey pine trees. Butterfly overwintering roosting sites are recognized as Environmentally Sensitive Habitat Areas in the Big Sur Coast LUP. Any disturbance to roosting trees

or loud activities near roosting sites can disrupt the overwintering butterflies. The Monterey cypress trees on the parcel and adjacent parcels with cypress and eucalyptus may provide potential overwintering roots for the sensitive Monarch butterfly. Surveys were not conducted for the development of this report due to off season timing. Overwintering habitat is determined to be of moderate potential on and adjacent the subject parcel. If proposed construction is proposed during nesting season, surveys should be conducted during observations times (mid-October - February) to determine their presence or lack thereof. If overwintering populations are observed, construction buffer zones may be developed to limit unwarranted construction impacts from potentially impacting the butterflies.

Mitigation 2:

- A. The existing grove of Monterey cypress trees should be preserved and protection fencing be installed to avert unwarranted construction impacts to the tree trunks, roots, and limbs.
- B. Butterfly monitoring should occur prior to construction activities to determine the presence or absence of the butterflies potentially utilizing the trees for roosting habitat. If their presence exists within 300-feet of the development zone, the biologist will develop protocols for avoidance and safeguarding the populations. Monitoring results and, if required, avoidance safeguards will be submitted to the Monterey County Housing and Community Development – Project Planner for review and approval prior to commencement of construction activities.

Impact 3: Habitat Protection

To protect the marine resources and sensitive Northern Coastal Bluff Scrub native habitat values along the coastal bluff adjacent the existing development area, the bluff should be fenced with habitat protection fencing combined with silt fencing to prevent unwarranted construction impacts and sedimentation erosion during the construction period. Fencing should be continuous in wrapping around the west and south west development perimeter to capture the entire bluff/shoreline.

Recommendation 3:

- Prior to issuance of demolition, grading or construction permits for the residential development and infrastructure elements, habitat protection fencing and silt fencing should be installed along the coastal bluff perimeter of the development envelope, including infrastructure elements, to the minimum edge necessary to implement construction, staging and parking. The project biologist shall oversee the mapping and installation of the fencing to avoid sensitive elements (seacliff buckwheat, seaside paintbrush and Northern Coastal Bluff Scrub) and shall submit a report with photographic evidence demonstrating compliance to the County of Monterey Housing and Community Development – Project Planner.
- Protection Fencing and Silt Fencing shall remain in place in good functioning working order during the entire construction period until Final inspection has been approved.

Impact 4: Invasive Species Eradication

Northern Coastal Bluff Scrub is a rare or otherwise sensitive plant community currently adversely affected by the expansion of landscape plants and migration of invasive plant species that along the bluff; specifically iceplant, freeway daisy, purple wallflower and Monterey cypress. Monterey cypress are found on the property and encroach in the Northern Coastal Bluff Scrub (NCBS) habitat. Monterey cypress are listed by the California Native Plant Society as a List 1B.2 species (rare, threatened or endangered in CA and elsewhere) in their two relic populations, however on the subject parcel they are out of the natural range for the species and the parcel's specimens are introduced landscape plantings. This species is also listed by the California Invasive Plant Council (Cal-IPC) and classified as having potential *limited* impacts on native ecosystems. Offspring (seedlings) of this species are adversely impacting the sensitive *Northern Coastal Bluff Scrub* habitat through pioneering saplings that are encroaching within the habitat along the bluff of the parcel. Management of germinating saplings should occur within these sensitive habitat areas. Existing NCBS habitat along the bluff supports listed taxa and is threatened by the spread of invasive plants on site, most notably iceplant. If the spread of invasive species remain unchecked, this habitat will undergo extensive, and in some instances complete conversion. Adoption of exotic species

eradication described below will reduce existing impacts associated with encroachment of exotic and invasive plants upon the NCBS (ESHA) plant community that occurs on the bluff.

Invasive weed controls will be consistent with several LUP policies regarding environmentally sensitive habitats that are present near the site including:

- Policy 3.3.2.7., “*Land uses adjacent to environmentally sensitive habitats shall be compatible with the long-term maintenance of the resource.*” Exclusionary habitat protection + silt fencing and comprehensive eradication of invasive plants within the project area (and restoration of these habitats) will allow project compatibility with these habitats, and will reduce long-term impacts there, which (if left unmitigated) would continue to degrade the resource.
- Policy 3.3.3.A.10., “*Monterey County encourages residents and public agencies to undertake restoration of Big Sur’s natural environment by removal of exotic plants such as Scotch and French Broom, Eucalyptus, Kikuyu grass, Vinca, Pampas grass, Gorse, and other non-native invasive species providing such removal does not increase potential erosion problems.*”

Recommendation 4:

- Include protocols in the Landscape Plan that prescribe procedures to eradicate invasive, exotic species (including Monterey cypress saplings) from encroaching into the environmentally sensitive habitat (Northern Coastal Bluff Scrub) that occurs on the parcel bluff.
- Protocols shall specify eradication procedures for each invasive species, timing, material handling and general management for the various targeted invasive species that are present.
- To prevent erosion in areas treated for eradication, exposed areas not stabilized with existing native plants must be revegetated with site appropriate native species endemic to the Northern Coastal Bluff Scrub community in which the exotics were removed. Typically along coastal environs, this can be accomplished by natural regeneration and utilizing site-specific seeding, requiring no imported plantings and aggressively managing invasive species as they appear before the exotic species set seed or become established, thereby creating favorable site conditions and eliminating fast-growing competitive invasive species that can shade out newly germinating, naturally recruiting native species. Planting of site specific NCBS species may be incorporated per the guidance of the project biologist if needed to infill.
- All disturbed soil generated during any site construction activities shall be kept free of exotic species, which if left unattended, could cause inadvertent spread of the species and degradation of the native habitat communities on the site.
- Photo documentation and briefing summary shall be completed bi-annually for a three-year monitoring period with biannual site inspections by the biologist. Bi-annual reporting to document the status of the eradication plan and recommendations shall be submitted to the Monterey County Housing and Community Development – Project Planner for approval.

Impact 5: Northern Coastal Bluff Scrub Restoration

No natural vegetation impacts are proposed for the project, however potential trenching activities resulting from proposed infrastructure elements (plans not reviewed or analyzed for this report), removal or repair of aged hand railings, decking, stairs and retaining walls, invasive species eradication or other work associated with the construction project could result in ground disturbance impacts within ESHA and potential reduction of the habitat along the bluff. All disturbed areas along the bluff including bare soils resulting from invasive and exotic species removals shall be restored with appropriate Northern Coastal Bluff Scrub habitat constituents.

Implementing native habitat restoration along the bluff will comply with several LUP ESHA polices including:

- Key Policy 3.3.1: “*All practical efforts shall be made to maintain, restore, and if possible, enhance Big Sur’s environmentally sensitive habitats. The development of all categories of land use, both public and private, should be subordinate to the protection of these critical areas.*”
- Policy 3.3.2.7., “*Land uses adjacent to environmentally sensitive habitats shall be compatible with the long-term maintenance of the resource.*” Exclusionary habitat protection fencing and comprehensive eradication of invasive plants adjacent to environmentally sensitive habitats (and restoration of these habitats) will allow project compatibility with these habitats, and will reduce

long-term impacts there, which (if left unmitigated) would continue to degrade the sensitive bluff habitat resource.

- Policy 3.3.3.A.10., in which exotic species eradication is encouraged (provided that erosion control has been implemented).
- All bluff restoration areas shall use species selections chosen on the basis of compatibility with the surrounding native coastal bluff scrub habitat conditions. The use of such material will reduce water consumption; a further benefit will result from the diminished proliferation of exotic and invasive species into surrounding native habitat areas.

Recommendation 5:

- Prior to issuance of building permits, develop and submit a Northern Coastal Bluff Scrub Restoration Plan integrated as a part of the project Landscape Plan to the Monterey County Housing and Community Development – Project Planner for approval. All disturbed soils within NCBS habitat resulting from exotic species controls, repair work or removal of hand railings, decking, stairs, and wood retaining walls, removal of ornamental landscape plantings, and/or any proposed construction elements (drain lines, etc.) shall be mitigated for restoration with site appropriate Northern Coastal Bluff Scrub habitat. Prior to any proposed impacts along the bluff, the project biologist shall assess the work areas and survey for listed species, including sea cliff buckwheat, seaside paintbrush and potentially ocean milk vetch. If any listed species are determined to be impacted, the project would be required to mitigate with replanting at a recommended 2:1 ratio for all listed species impacted. All proposed mitigation replanting resulting from construction impacts (including from impacts resulting from exotic species removals) shall be monitored biannually for a three year period with biannual reporting submitted to the Monterey County Housing and Community Development – Project Planner for approval.
- Subject plan shall include prescriptions and protocols for restoration of the bluff scrub habitat including but not limited to invasive species removal (see Impact/Recommendation 4) and long term control methodology, erosion control measures, site specific species restoration for NCBS species and/or site specific seed planted in appropriate micro-habitats, temporary irrigation, and establish conditions for natural species recruitment.
- Surrounding cypress trees or tree limbs along the bluff shall be assessed by the project arborist to review potential hazardous limb removal for the safety of the occupants and reduce risk of harm or fire laddering.
- Final submittal of Northern Coastal Bluff Scrub Restoration Plan, specifically the planting list, to be reviewed and approved by the project biologist to ensure species list conforms to the habitat on site and that no potentially invasive, non-native species, or native species cultivars that may cross pollinate with on site species are proposed for use.
- Any proposed plant materials should be installed in the Fall months to coincide with seasonal rains and natural plant phenology characteristics.
- Any proposed temporary irrigation should be decommissioned and removed after a two-year period following native seeding and/or planting.

Impact 6: General

Marine Resource Protections

The Southern sea otter occupies the marine environment offshore from the bluff parcel. Pupping season is noted to occur between December and March though the construction project lies a minimum 200+ feet away from the edge of potential otter habitat. Heavy equipment will likely be required for deconstruction and construction efforts, though less than significant disruptive impacts are anticipated to occur to sea otter breeding or pupping activity due to the distance from the habitat. Other marine or shoreline biological resources may also exist in the area (Ref. Impact 1).

To comply with BSC LUP Policy 3.3.3.B.1, stating “development on the parcel adjacent to the intertidal habitat area should be sited and designed to *prevent percolation of septic runoff and deposition of sediment*”, storm water runoff should be managed in a manner that prevents concentrated flows away from erosive cliff-face or bluff soils and reduces potential sedimentation from entering the aquatic environment. Utilizing a dedicated flat area along the existing driveway should be used to temporarily stockpile staged cut or fill materials. Appropriate containment of loose soil materials should include a straw wattle perimeter to encircle the stockpile. Additional

recommendations are included below to bolster protection for sensitive off-site resources and manage potential impacts to a less than significant level.

Recommendation 6a:

- The project biologist shall approve the final drainage plan prepared by the project Civil Engineer to confirm that potential drainage impacts to the existing environmentally sensitive marine resource habitat implements best management practices to establish drainage exit points that outflow onto bedrock areas not cliff-side erosive soils.
- All disturbed soils must be stabilized prior to rainfall events and grading activities should avoid deposition of any excavated material or overburden beyond the edge dedicated staging areas and potentially migrating offsite into the marine environment. Silt fencing, wattles or other devices should be engineered into the Civil erosion control plan to eliminate erosion from entering the marine habitat.
- Permeable hard-scape paving materials will reduce storm water runoff and should be used in place of non-permeable materials.
- Install habitat protection and silt fencing to protect aquatic resources (Ref. Impact 2).
- To reduce impacts resulting from excavated or trenching materials, no overburden may be deposited beyond the approved staging locations and dedicated ingress and egress area should be maintained from the existing driveway.
- No disturbed soil, caused by the construction may be allowed to become infested with exotic plant species.

Septic/Civil/Landscape Plans

Septic, Civil and Landscape plans were not reviewed prior to this report development, though the septic and drainfield locations were plotted on the provided site plan. The locations of the septic and drainfield have been sited in pre-existing turf and landscape locations that avoids sensitive habitat impacts. Potential site drainage lines or other infrastructure trenching requirements have not been assessed to determine if any impacts are proposed to the Northern Coastal Bluff Scrub habitat.

Recommendation 6b:

Prior to issuance of demolition, grading, or construction permits, the project biologist shall review Civil, Septic and Landscape plans to assess if proposed impacts could directly or indirectly disturb the sensitive coastal bluff habitat, listed elements or marine resources. Upon plan(s) review the project biologist shall report to the Project Planner confirming no development is proposed that would adversely impact sensitive resources on the bluff and marine habitats or if revisions or additional recommendations or mitigations are required to address potential impacts.

Trash Management

The coastal project site is prone to high winds that variably occur yearlong. Construction debris or site trash could enter the aquatic resource and cause impacts to the constituents that utilize the marine habitat.

Recommendation 6c:

Construction materials shall be secured, tied down, and tarped on a daily basis to prevent loss of materials or construction debris from entering surrounding habitats or the marine environment. Trash enclosures shall have lids and tie-downs to prevent trash from blowing into surrounding natural communities. Trash enclosures shall be sited on the inland side of the parcel in order to reduce potential for wind blown debris to enter the marine resource.

Landscaping

The current state of the landscaping includes several exotic and native cultivar species that extends into the bluff scrub habitat and poses threats to encroach and alter the vegetation structure of the sensitive plant community on the bluff. New proposed landscaping should comply with the LUP ESHA General Policies 3.3.2.9 requiring the County shall require the use of appropriate native species in proposed landscaping. Implementing native site-appropriate landscaping adjacent the sensitive bluff habitat will also ensure compliance with LUP Policy 3.3.2.7 requiring land uses adjacent to environmentally sensitive habitats shall be compatible with the long-term maintenance of

the resource.

Recommendation 6d:

Recommendations are to significantly reduce or remove the exotic turf and ornamental landscape areas along the west side of the residence and restore the site with site appropriate Northern Coastal Bluff Scrub habitat. Other areas of the parcel containing turf and ornamental plantings are recommended for removal and restoration with site appropriate coastal bluff scrub vegetation. A reduced portion of the turf area along the east side of the house shall remain for recreational use.

Conservation and Scenic Easement

Analysis of the conceptual site plans that were provided for review show the proposed development avoids sensitive bluff scrub habitat though existing landscape and hardscape development (pathways, retaining walls, patios, decks, etc.) encroach within the Northern Coastal Bluff Scrub habitat. LUP ESHA General Policy 3.3.2.3 requires that “where development has already occurred in areas supporting sensitive habitat, property owners should be encouraged to voluntarily establish conservation easements or deed restrictions”. Additionally, the CIP ESHA Policy (Ref. 20.145.040.B.2) requires “deed restrictions or conservation easement dedications over environmentally sensitive habitat areas shall be required as a condition of approval for any development proposed on parcels containing environmentally sensitive habitats. Where the proposed project is to occur on an already-developed parcel, restrictions or easement dedications shall still be required. Easements and deed restrictions shall be required according to the provisions of section 20.142.130”.

Recommendation 6e:

The Big Sur Coast LUP and CIP require the protection of environmentally sensitive habitat areas (Northern Coastal Bluff Scrub along the west side of the residence) to be provided through deed restrictions or permanent open space conservation and scenic easements.

X. LIST OF SPECIES ENCOUNTERED

* indicates exotic species

∞ indicates landscaped introduced species

Tree Species

Acacia longifolia *	golden wattle
Hesperocyparis macrocarpa ∞	Monterey cypress
Myopoum laetum ∞	Ngaio
Pittosporum undulatum ∞	Victorian box

Shrub Species

Ceanothus thyrsiflorus ∞	blue blossom
Ligustrum japonicum texanum ∞	waxleaf privet
Rubus ursinus	California blackberry
Toxicodendron diversilobum	poison oak

Herbaceous/Forb Species

Achillea millefolium	yarrow
Acmispon maritima	coast lotus
Armeria maritima	sea thrift
Artemisia californica	California sagebrush
Calystegia macrostegia ssp. cyclostegia	coast morning glory
Carpobrotus edulis *	iceplant
Castilleja latifolia	seaside paintbrush
Corethrogyne filaginifolia	beach aster
Cortaderia selloana *	pampas grass
Distichlis spicata	salt grass
Dudleya caespitosa	bluff lettuce
Dudleya farinosa	sea lettuce
Elymus condensatus	giant wild rye
Elymus glaucus	blue wildrye

Ehrharta erecta *
Erigeron glaucus
Eriophyllum staechadifolium
Eriogonum parvifolium
Erysimum sp. *
Festuca arundinacea *
Festuca perennis *
Iris douglasiana
Juncus bufonius
Lotus corniculatus *
Lupinus arboreus
Lysimachia arvensis *
Medicago polymorpha *
Osteospermum fruticosum *
Oxalis pes-caprae *
Pennisetum clandestinum *
Plantago maritima
Pseudognaphalium californicum
Sanicula crassicaulis
Sonchus asper *
Sisyrinchium bellum
Stachys bullata
Tetragonia tetragonoides *

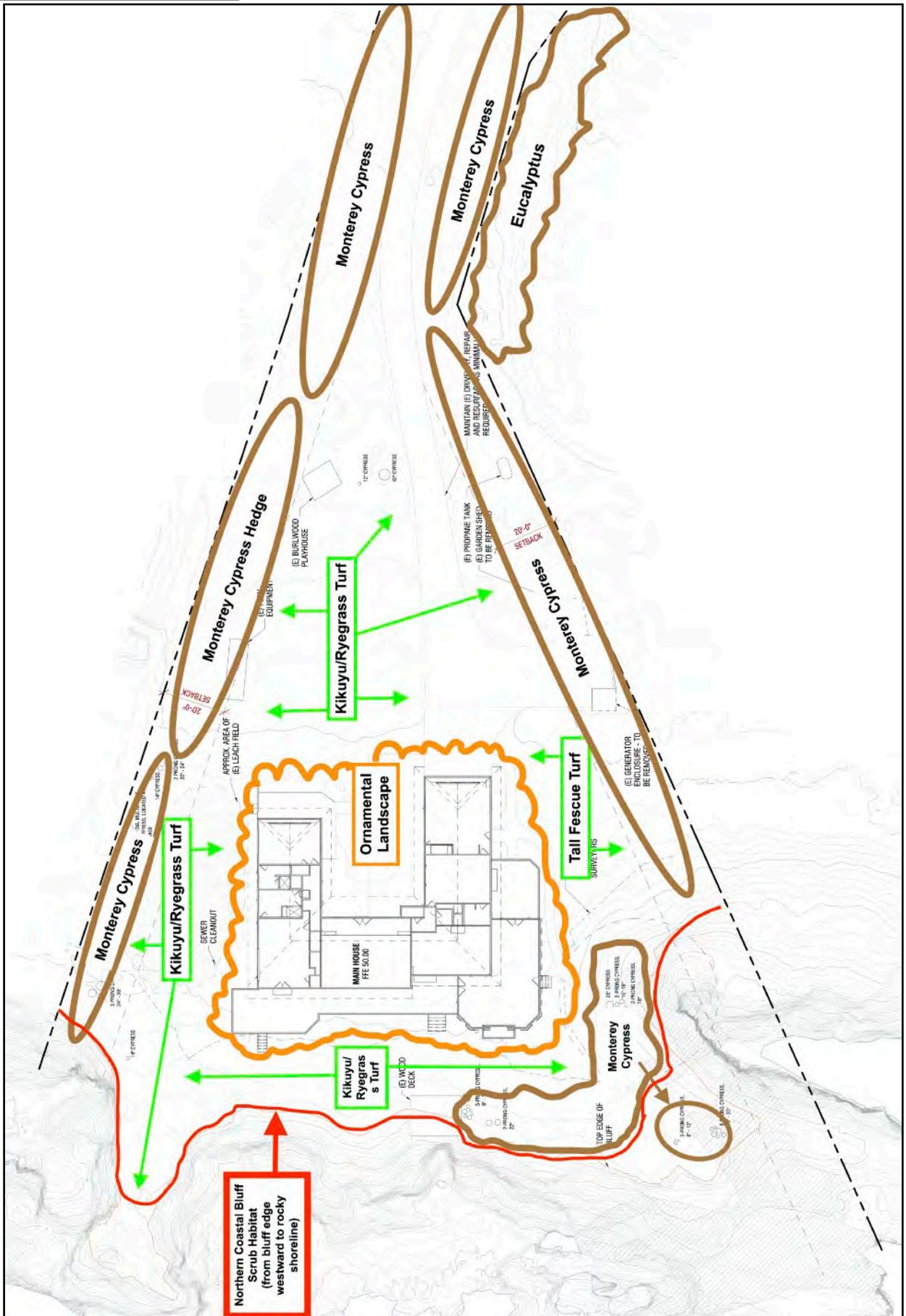
veldt grass
seaside daisy
lizard tail
seacliff buckwheat
purple wallflower
tall fescue (turf)
Italian ryegrass (turf)
Douglas iris
toad rush
bird's foot trefoil
bush lupine
scarlet pimpernel
bur clover
freeway daisy
sourgrass
kikuyu grass (turf)
coast plantain
California everlasting
gamleweed
prickly sow thistle
blue-eyed grass
California hedgenettle
New Zealand spinach

Wildlife Species

Apis mellifera
Apodemus sp.
Callipepla californica
Calypte anna
Cathartes aura
Chamaea fasciata
Corvus brachyrhynchos
Cyanocitta stelleri
Haemorphous mexicanus
Haemorphous purpureus
Hirundo rustica
Junco hyemalis
Melospiza melodia
Melozone crissalis
Pelecanus occidentalis
Pipilo maculatus
Sayornis nigricans
Sceloporus occidentalis
Spizella passerina
Sylvilagus bachmani
Thomomys bottae
Thryomanes bewickii
Vireo cassinii
Vireo huttoni

honey bee
field mouse
California quail
Anna's hummingbird
turkey vulture
wren
American crow
Steller's jay
house finch
purple finch
barn swallow
dark-eyed junco
song sparrow
California towhee
brown pelican
spotted towhee
black phoebe
western fence lizard
chipping sparrow
brush rabbit
Botta's pocket gopher
Bewick's wren
Cassin's vireo
Hutton's vireo

XII. VEGETATION MAP



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