

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

VAN ESS PROPERTIES LLC (PLN230217)

RESOLUTION NO. 24--

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302 and no exceptions apply under section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow demolition of the existing 5,100 square foot single-family dwelling and construction of a replacement 15,593 square foot single-family dwelling, an attached 740 square foot garage, and associated site improvements including the removal of four planted Monterey cypress trees;
 - b. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area;
 - c. Coastal Development Permit to allow ridgeline development; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN230217, VAN ESS PROPERTIES LLC, 182 Van Ess Way, Carmel, Carmel Area Land Use Plan (APN: 241-311-043-000)]

The VAN ESS application (PLN230217) came on for a public hearing before the County of Monterey Zoning Administrator on October 31, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the County of Monterey Zoning Administrator finds and decides as follows:

FINDINGS

1. FINDING: **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE:

- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 County of Monterey General Plan;
 - Carmel Area Land Use Plan;
 - Carmel Coastal Implementation Plan (CIP; Part 4); and
 - County of Monterey Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The subject property is currently developed with a two-story 5,100-square-foot single-family dwelling with an attached garage and associated site improvements (driveway, retaining walls, hardscape, internal paths). The project proposes to demolish the residence and site improvements and construct a two-story 16,333 square foot single-family dwelling, inclusive of a 2,463 square foot basement and 740 square foot garage. Proposed site improvements include a replacement driveway, replacement on-site wastewater treatment system, new deck and pool, and retaining walls. The proposed project also involves development within 100 feet of environmentally sensitive habitat areas and 750 feet of known archaeological resources, and the removal of four planted cypress trees. Three of these trees were damaged in 2024 winter storms and the fourth will be impacted by construction activities. Grading will consist of approximately 2,000 cubic yards of cut and 100 cubic yards of fill, with 1,900 cubic yards of export.
- c) Allowed Use. The property is located at 182 Van Ess Way, Carmel, Carmel Area Land Use Plan, Assessor's Parcel Number (APN): 241-311-043-000. The parcel is zoned Low-Density Residential, 1 unit per acre, Design Control Overlay, within the Coastal Zone, or "LDR/1-D(CZ)", which allows for the construction of the first single dwelling and accessory structures, subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval for all structures. Additionally, development within 100 feet of environmentally sensitive habitat and within 750 feet of known archaeological resources requires the granting of a coastal development permit, in each case. The proposed project involves the redevelopment of a residential parcel with a single-family dwelling and accessory structures within 100 feet of an environmentally sensitive habitat area and 750 feet of known archaeological resources. Therefore, the project is an allowed land use for this site. As described in Finding No. 1, Evidence "g", the removal of planted native trees does not require the granting of a discretionary permit.
- d) Lot Legality. The subject property (3.39 acres) was recognized as a legal lot of record through the issuance of Certificate of Compliance No. CC240003 (Clerk Recorder's Document No. 2024025031), recorded on July 18, 2024. No structural development is proposed within the property's conservation and scenic easement area. The proposed replacement engineered alternative on-site wastewater treatment system

is an allowed use with the easement area, per Clerk Recorders Document No. 202420331.

- e) Design/Neighborhood and Community Character. Pursuant to Title 20 Chapter 20.44, the subject parcel and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. As proposed, the exterior colors and materials consist of dark natural stone, blackened steel, natural horizontal wood siding, and grey roofing. The proposed colors and materials are compatible with the dark undertones of the surrounding natural environment (cypress trees and vegetation) and are consistent with the residential neighborhood's character. The project includes large windows on the northern and southern facades. To ensure that these windows will not create glare that significantly impacts the public viewshed, Condition No. 10 has been applied to require that automated shading be installed on the northern facade and exterior glazing be installed to reduce or eliminate the glare potential. Also, see Finding No. 5 and supporting evidence. Condition No. 4 has been applied to require the installation of down-lit unobtrusive exterior lighting. As proposed and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- f) Development Standards. Development standards for the LDR zoning district are identified in Title 20 section 20.14.060. Required setbacks for main structures in this LDR district are 30 feet (front), 20 feet (rear), and 20 feet (sides). The proposed replacement residence will have a front setback of approximately 36 feet, side setbacks ranging between approximately 29 feet and 125 feet, and a rear setback of approximately 193 feet. The allowed height for main structures is 30 feet above the average natural grade. The proposed residence will have a height above average natural grade of 19.2 feet, 5 feet below the ridge of the existing residence. At 3.39 acres, the maximum allowed building coverage is 22,145 square feet or 15% of the total property size. The existing development has a building site coverage of approximately 3%. Redevelopment of the project will result in a building site coverage of 8.5% (12,574 square feet). Therefore, the proposed project meets the required site development standards. Though not regulated, the proposed project reduces the total coverage (building site coverage and impervious coverage) by 77 square feet. This reduction is primarily a result of the reduced driveway site and configuration and siting the lower floor of the proposed residence underground.
- g) Tree Removal. The proposed project involves the removal of four Cypress trees. The Project Biologist and Project Arborist have determined that these trees are planted species. Removal of these trees will not result in additional exposure of the replacement residence and are not subject to the protections of the property's Conservation and Scenic Easement. Therefore, the proposed removal does not require the granting of a Coastal Development Permit per Carmel CIP section 20.146.060(A)(1)(a). Consistent with the recommendations of the Project Arborist, Condition No. 5 has been applied to require that four

Monterey pines or cypress trees be replanted in the same general area as those trees being removed. Condition No. 6 has been applied to require that tree and root protection measures be installed prior to construction and maintained throughout construction activities.

- h) Ridgeline Development and Visual Resources. The subject property is within the “General Viewshed”, as established by Map A of the Carmel Area LUP. The existing residence is distantly visible from the Highway 1 turnout immediately west of the Carmel Highlands and located approximately 0.6 miles north of the project site. The existing residence is also distantly visible from Point Lobos, 1 mile north. The existing residence meets the definition of “Ridgeline Development” due to its placement along a hilltop and its partial silhouette against the sky. Though the proposed project minimizes viewshed impacts, the replacement residence meets the definition of Ridgeline Development and thus a Coastal Development Permit is required. The criteria to grant said permit have been met in this case. See Finding No. 5 and supporting evidence.
- i) Environmentally Sensitive Habitat Area. The project includes a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (ESHA). Policies in Chapter 2.3 of the Carmel Area LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. As sited, designed, and conditioned, the project avoids impacts on environmentally sensitive habitats. See Finding No. 6 and supporting evidence.
- j) Cultural Resources. Pursuant to Carmel Coastal Implementation Plan (Part 4) section 20.146.090.A(1), an archaeological report was prepared because the site is identified in County of Monterey GIS as having a high archaeological sensitivity and being within 750 feet of known archaeological resources. The prepared archaeological report (County of Monterey Library No. LIB230288) determined that although a resource does exist within 750 feet of the project site, no resources exist on site. Therefore, a Coastal Administrative Permit is required. The project site is currently developed with a single-family dwelling and has undergone moderate amounts of ground disturbance since approximately 1966 when the residence was constructed. The replacement dwelling is situated on previously graded and improved areas (structural and ornamental improvements). The Project Archaeologist observed no site indicators of precontact cultural activity and found that disturbance of subsurface deposits is unlikely. There is no evidence that any cultural resources would be disturbed as part of this project, and the potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County’s standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

Due to the age of the existing residence (constructed in 1966), a Phase I Historic Assessment (County of Monterey Library No. LIB230220) was prepared to determine whether the residence retained any historical significance. The report determined that the circa 1966 residence does not retain any historical significance for the following reasons. Firstly,

the 1966 residence was not developed as a result of a significant historic event and does not resemble outstanding examples of architectural design or construction methods. Secondly, the residence was remodeled in 1990. This remodel changed the original design, constructed a two-story addition with a garage, and installed new cladding, fenestration, and exterior materials. The Project Historian describes the 1990 remodel campaign as resulting in a “modern interpretation of the Arts & Crafts” architectural style. Thirdly, the only ownership period that could be considered significant occurred when Richard Francis McGraw purchased the property in 1953. Mr. McGraw founded the McGraw Colorgraph Company in Burbank, California in 1953. The company produced the materials for making photogravures and color prints. Mr. McGraw resided in Burbank, California in the 1950s-1960s and only used the property as a secondary residence. Since Burbank, California was Mr. McGraw’s primary residence, the subject property and related development are not considered to be associated with significant persons. The Project Historian concluded that the residence is not eligible for any historical registers. Therefore, demolition of the residence would not impact any historical resources.

- k) Public Access. As proposed, the development is consistent with applicable public access policies of the Carmel Area LUP. See Finding No. 9 and supporting evidence.
- l) Land Use Advisory Committee (LUAC) Review. Consistent with the Board of Supervisors adopted LUAC Guidelines, the proposed project was referred to the Carmel Highlands LAUC for review on January 16, 2024. During this meeting, members of the public raised concerns regarding the proximity of the residence to steep slopes, construction-related impacts to the neighborhood and on Van Ess Way, impacts on private views, and had questions about on-site construction staging. Members of the public also made general comments about the need to keep the turnaround at the end of Van Ess Way free of parking, the need to trim vegetation along Van Ess Way and concerns about the safety of turning onto Van Ess Way from Highway 1. The LUAC voted 6-0 to support the project as proposed and described the project as incorporating a “tasteful design [that] integrates well with the property, taking advantage of a low-profile design with natural structural elements.” Construction of the first single-family dwelling is exempt from the private roadway standards of Monterey County Code Chapter 16.80. However, implementation of Condition No. 9 (Construction Management Plan) will ensure that all staging will be on-site and construction activities will not impact parking along or the accessibility of Van Ess Way. A Geotechnical Report was prepared and found the site to be suitable for development relative to the development’s proximity to steep slopes.
- m) The project planner conducted a site inspection on November 27, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to soils and archaeological, historic, biological, and forest resources. The following reports have been prepared:
 - “Phase I Historic Assessment” (LIB230220) prepared by Seth Bergstein, Pacific Grove, CA, August 25, 2022.
 - “Tree Assessment/Forest Management Plan” (LIB230287) prepared by Justin Ono, Pacific Grove, CA, August 2, 2023.
 - “Phase I Archaeological Assessment” (LIB230288) prepared by Susan Morely, Marina, CA, July 1, 2023.
 - “Geotechnical Investigation Design Phase” (LIB230289) prepared by Greg Bloom, Watsonville, CA, September 26, 2022.
 - “Biological Assessment” (LIB230326) prepared by Fred Ballerini, Pacific Grove, CA, July 6, 2023.
- c) Staff conducted a site inspection on November 27, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Carmel Highlands Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities will continue to be provided. California American Water provides existing potable water and will continue to do so for the proposed development. The proposed project includes demolition of the existing septic system and installation of a replacement engineered alternative on-site wastewater treatment system (OWTS). EHB reviewed the proposed OWTS plans, prepared by Biosphere Consulting, as well as the percolation data, and found no issues. No groundwater was encountered in the exploratory boring (10.25 feet deep).
- c) Staff conducted a site inspection on November 27, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
b) Staff conducted a site inspection on November 27, 2023 and researched County records to assess if any violation exists on the subject property.
c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

5. FINDING: **RIDGELINE DEVELOPMENT** - The proposed development would not create a substantially adverse visual impact when viewed from a common public viewing area and there is no feasible alternative that would eliminate ridgeline development. Therefore, the development, as proposed and conditioned, meets the provisions of Monterey County Code Section 20.66.010 and Carmel CIP section 20.146.030, as to the exceptions to allow ridgeline development.

EVIDENCE: a) Pursuant to Title 20 section 20.66.010 and Carmel CIP section 20.146.030, ridgeline development may be allowed with the issuance of a Coastal Development Permit, provided certain findings are made. Therefore, this application includes a request for a Coastal Development Permit to allow ridgeline development. The findings to grant said permit have been met in this case.
b) Carmel CIP section 20.146.030 prohibits ridgeline development unless the first following finding, and either the second or third following findings, can be made:

1. *There are no alternatives to development so as to avoid ridgeline development;*

The existing residence is situated on the crest of a hill. A conservation and scenic easement (CSE) containing sensitive vegetation, mature cypress trees, and steep (>30%) slopes surrounds the existing development area. Per the Easement Deed (Clerk Recorders Document

No. 202420331), structural development is prohibited. Siting of the residence within easement boundaries would conflict with its allowances and resource protection policies of the Carmel Area LUP. Reducing the size of the residence and sighting it further south would reduce visibility but would continue to constitute ridgeline development. Therefore, there is no feasible alternative to avoid ridgeline development.

2. *The proposed development will not have significant adverse visual impacts due to required landscaping, required modifications to the proposal, or other conditions; or,*

The property is surrounded by mature trees which provide partial screening. However, there is an unvegetated portion of the ridgeline where the existing residence is sited. The existing residence is distantly visible from a turnout north along Highway 1 (0.6 miles north) and within portions of Point Lobos State Nature Reserve (1 mile). Though the replacement dwelling will continue to be visible from these public viewing points, it will have reduced visibility. The entire first level is sited below grade and therefore only the upper level will be visible. The visibility of this portion of the residence is controlled and minimized with the incorporation of dark natural exterior colors and materials and by decreasing the height of the residence by 5.1 feet (the proposed height of approximately 19 feet; 11 feet below the allowable height). Mature cypress trees north and southwest of the residence have canopy heights that exceed the proposed residence's ridge height. These trees are protected by the CSE, will be retained, and will continue to provide partial screening of the residence. The proposed residence's flat roof better conforms with the natural silhouette of the surrounding cypress tree canopies. The proposed colors and materials of the exterior siding and roofing (dark natural stone, blackened steel, and natural horizontal wood for the exterior siding and grey roofing) will blend in better with the surrounding natural environment than the existing redwood siding, which has a terracotta-like color. Condition No. 10 has been applied to minimize and/or eliminate potential glare caused by the northern façade windows. Further, at 0.6-1 miles, the proposed residence is only distantly visible and would not introduce a new prominent visual landmark into the general public viewshed. As sited and designed, the proposed project will have a similar or reduced visibility as other visible dwellings in the area, and will not detract from the natural beauty of the scenic shoreline and the undeveloped ridgelines and slopes in the public viewshed. Therefore, as proposed and conditioned, the replacement dwelling will be subordinate to the surrounding area and will not have an adverse visual impact.

3. *The proposed development complies with Carmel CIP section 20.146.030.C.4 or/and an exception is made pursuant to Carmel CIP section 20.146.120.A.*

Carmel CIP section 20.146.030.C.4 requires that new development on slopes and ridges be sited within existing forest areas or in areas where existing topography ensures that structures will not be visible, and requires the development within the Carmel Highlands and Carmel

Meadows must be carefully sited and designed to minimize visibility. Consistent intent of this section, the proposed development is situated in the forested area of the property and does not involve any tree removal which will further expose the residence. Additionally, as described above, the subject property, located within the Carmel Highlands residential area, has a limited buildable area due to the CSE boundaries and as proposed, the project's design minimizes existing visibility. Carmel CIP section 20.146.120.A establishes general land use and development standards. Consistent with these standards, the proposed project meets the resource protection policies of the Carmel Area LUP, has a character and scale that will not be detrimental to the natural beauty and tranquility of the coastal Carmel area, and does not include subsurface disposal of hazards materials. Consistent with Carmel CIP section 20.146.120.A(6), the property's slopes in excess of 30% are within a CSE. Therefore, as sited, designed and conditioned, the project minimizes visibility and meets the applicable Land Use and Development Standards of the Carmel CIP, including resource protection.

- c) Staff conducted a site inspection on November 27, 2023 to verify that the proposed project minimizes visibility and is sited appropriately.
- d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230217.

6. FINDING:

DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREAS – The subject project avoids or minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the Carmel Area LUP, Coastal Implementation Plan, and applicable zoning codes.

EVIDENCE:

- a) The project includes an application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Carmel Area LUP and the County of Monterey Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.
- b) The policies in Chapter 2.3 of the Carmel Area LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. Policy 2.3.3.1 of the Carmel Area LUP requires that the construction of structures be avoided within critical and sensitive habitat areas and sites of known rare and endangered species of plants and animals. This policy prohibits non-resource-dependent uses within ESHA but allows for such uses to be adjacent to or within 100 feet of ESHA, provided the development is at a density compatible with the protection and maintenance of the adjoining resources and compatible with the long-term maintenance of the resource. As sited and conditioned, the project is consistent with applicable policies regarding avoidance and minimization of habitat disruption.

- c) A Biological Report was prepared pursuant to Carmel Area LUP Policy 2.3.3.5 to determine whether ESHA exists on the subject property. The biological report (County of Monterey Library No. LIB230326) found that portions of subject property contain Northern coastal bluff scrub habitat and Central maritime chaparral, both of which are identified as protected habitats in the Carmel Area LUP. Further, the Project Biologist observed listed sensitive species including Seacliff buckwheat (*Eriogonum parvifolium*), Seaside paintbrush (*Castilleja latifolia*), Monterey ceanothus (*Ceanothus rigidus*), Small leaved lomatium (*Lomatium parvifolium*) on-site. Seacliff buckwheat is found in several scattered, discontinuous patches and individual occurrences. Though on-site populations of the plant are limited, and no federally endangered Smith's blue butterflies were observed during the field surveys, there is potential for Smith's blue butterfly to utilize the buckwheat plants on the parcel as historical sightings have been recorded on nearby parcels to the north and south. Further, although cypress, eucalyptus, and Monterey pine trees occupy the site, the Project Biologist determined that Western bumble bees and Monarch butterflies have a very low to no potential to occupy the site, and no overwintering habitat exists. A variety of nesting birds occupy nearby trees. Invasive plant species cover most of the landscape areas and spread throughout the natural communities adjacent to the development.
- d) The proposed development is primarily sited within the existing development footprint, with limited portions extending into existing ornamental landscaped areas. The siting of the replacement development avoids disturbance to the adjacent areas containing environmentally sensitive natural plant communities and natural habitats. However, there are sensitive habitats and plants that exist in proximity (within 20 feet) of the proposed development. All on-site sensitive habitats and plants are located within the existing CSE, as confirmed by the Project Biologist. To ensure no impacts occur to nearby sensitive habitat, Condition No. 9 (Construction Management Plan) has been applied to require that construction staging is outside of sensitive habitats (including CSE areas), adherence to erosion control best management practices, and installation of habitat protection fencing along the perimeter of the CSE boundary and driveway. Compliance with this condition ensures the protection of the adjoining resources.
- e) Carmel Area LUP Policy 2.3.3.2 stipulates land uses adjacent to locations of environmentally sensitive habitats shall be compatible with the long-term maintenance of the resources. Further, Carmel Area LUP Policy 2.3.3.3 requires that new development be proposed at a density that ensures the maintenance of adjacent sensitive habitat. Construction of the replacement residence will not require the removal of native or sensitive vegetation. However, the replacement OWTS is sited within Chamise Chapparal habitat, a native vegetation community with no state or global sensitive rankings or protection under the California Endangered Species Act and thus not considered ESHA under the Carmel Area LUP. The replacement OWTS is necessary to provide the residence with adequate on-site wastewater treatment. In accordance

with Carmel Area LUP Policy 2.3.3.7, the project limits the amount of indigenous vegetation removal to only improvements related to the installation of the OWTS. Condition No. 11 requires a qualified biologist and landscape architect to prepare a Restoration and Landscape Plan that restores native vegetation areas that are disturbed by the implementation of the proposed project, eradicates invasive species (cape ivy, pride-of-Madeira, pampas grass, freeway daisy, and pink rosea ice plant) that are encroaching into sensitive natural communities on-site, and introduces native species into the landscaping. Implementation of Condition No. 11 is consistent with the requirements of Carmel Area LUP Policies 2.3.3.2 (long-term maintenance of habitat), 2.3.3.3 (compatible density), and 2.3.3.8 (native landscaping).

- f) Condition No. 8 requires that the Applicant/Owner obtain a bird nesting survey. Should protected avian species or their nests occupy nearby trees, the Applicant/Owner shall incorporate the biologist's recommendations to avoid impacts to avian species.
- g) The project planner conducted a site inspection on November 27, 2023, to verify that the proposed project on the subject parcel conforms to the applicable plans and Title 20 requirements relating to EHSA.
- h) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN230217.

7. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts the replacement or reconstruction of existing structures where the new structure will be located on the same site of the first single-family dwelling on a residential lot of record and accessory structures.
- b) The proposed project involves the construction of a replacement single-family dwelling, accessory structures (decks/patio, a pool, and new hardscape), and associated site improvements including the removal of four non-protected Monterey cypress trees. Though the replacement dwelling unit is increasing in size, it will continue to have the same purpose and capacity (residential use) as the existing residence. Additionally, the replacement dwelling unit is located in the same location as the existing residence. Therefore, the proposed project meets the criteria of CEQA Guidelines section 15302.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. While the project site supports and contains environmentally sensitive habitat, the proposed project has been designed and conditioned to reduce the severity of impacts to less than significant by siting the residence in previously disturbed and/or ornamental landscaped areas, installing protective fencing along the boundary of the CSE, and restoring areas of containing native (non-sensitive) vegetation. Though the adjacent lot (APN:241-311-044-000) is also being developed with a single-family dwelling (PLN230218),

neither project will adversely impact the environment and no cumulative effects will occur. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. Removal of four planted Monterey cypress trees will not result in an adverse environmental impact or significant long-term impacts. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource. The replacement dwelling unit will be distantly visible from two public vista points, Highway 1 and Point Lobos State Nature Reserve. However, as designed and conditioned, the proposed project will reduce existing residences' (baseline) visibility from these viewpoints and will not substantially affect the public viewshed, damage scenic resources, degrade the existing visual character, or create a source of substantial light. See preceding Findings and supporting evidence.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 27, 2024.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

8. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE: a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the County of Monterey Coastal Implementation Plan can be demonstrated.
b) Although the subject property is shown in an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, Carmel Area Land Use Plan), no evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property. Additionally, the redevelopment of the site will not affect the processes of the shoreline.
c) County staff conducted a site inspection on November 27, 2023, to verify that the proposed project will not impact public access.
d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230217.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and California Coastal Commission.

EVIDENCE: a) Board of Supervisors. Section 20.86.030 of the County of Monterey Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) Coastal Commission. Pursuant to Section 20.86.080.A.3 of the County of Monterey Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302 and no exceptions apply under section 15300.2; and
- 2) Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow demolition of the existing 5,100 square foot single-family dwelling and construction of a replacement 15,593 square foot single-family dwelling, an attached 740 square foot garage, and associated site improvements including the removal of four planted Monterey cypress trees;
 - b. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area;
 - c. Coastal Development Permit to allow ridgeline development; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 31st day of October, 2024.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN

APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230217

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit allows: 1) Coastal Administrative Permit and Design Approval to allow demolition of the existing 5,100 square foot single family dwelling and 15,593 square foot two-story single-family dwelling with an attached 740 square foot garage and associated site improvements; 2) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area; 3) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 4) Coastal Development Permit to allow the removal of four Monterey Cypress trees. The property is located at 182 Van Ess Way, Carmel (Assessor's Parcel Number 241-311-043-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit (Resolution Number _____) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 241-311-043-000 on October 31, 2024. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within prior to final inspection, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 (total of four trees)
- Replacement species, as recommended by arborist: Monterey Pine or Cypress.
- Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. The CMP shall require that the Applicant/Owner/General Contractor keep Van Ess Way clear of any construction debris, including but not limited to materials, dirt, etc. All construction-related vehicles, including employee vehicles, shall be limited to 10 MPH along Van Ess Way. Prior to the start of construction-related activities, the Applicant/Owner shall take photos of the existing conditions of Van Ess Way. Should construction of the project damage Van Ess Way, the Applicant/Owner shall repair Van Ess Way in accordance with CA Civil Code §845(a). Truck and construction staging shall be located outside of the conservation and scenic easement areas. The CMP shall also delineate where protective habitat fencing will be installed (along conservation and scenic easement boundary and along the proposed driveway) and maintained throughout construction activities. A qualified biologist shall be retained to monitor installation of the fencing and on-going monitoring to ensure fencing remains intact during construction, as recommended by LIB230326.

The following language shall be added to the CMP:

-Mobilized mechanized grading equipment should be pressure washed prior to mobilization to prevent unwarranted plant pathogens or invasive species seed or vegetative debris from entering and potentially pioneering on the site. Use of heavy equipment should be restricted to areas within the approved construction envelope.

-Sediment control devices should be installed on the downhill perimeter of the construction envelope and exposed soil areas. Specifically, sediment control devices, debris fencing or silt dams should be installed in a manner that the adjacent habitat and sensitive resources are protected from disturbed, excavated or graded construction soils or construction debris from moving offsite. No site erosion shall be permitted to enter areas supporting natural communities beyond the impact perimeter of the development. Disturbed soils shall be stabilized prior to rainy weather, either with the use of biodegradable netting, mulching or planting strategy.

-Any disturbed soil within the project zone generated by the project must be kept free of invasive, exotic plant species.

- Excavated clean upper soil horizon soils from the construction site could be used to top dress final landscape restoration areas in order to provide a suitable medium for vegetation establishment and growth. Prior to final grading, all construction debris shall be removed and construction activities completed in the areas to be treated with the approved native seed mix. To protect adjacent habitats from inadvertent soil deposition impacts, excavated substrate materials shall not be cast into adjacent habitats or areas beyond the approved development zone; rather it should be hauled off location and disposed at a receiver site or used for in-fill within the development area per recommendations of the grading plan.

-If needed to stabilize any disturbed areas within the work zone, final landscape/restoration grading should consist of a roughened condition, perpendicular to the slope, in order to augment seed germination and soil stabilization. After the completion of the soil disturbance activities, any disturbed soils shall be stabilized with native landscape species, plant materials, and mulching and installed in all restoration areas in the fall months prior to or in conjunction with the seasonal rains.

Compliance or Monitoring Action to be Performed:	<p>ADDITIONAL TEXT:</p> <p>-Native plant seeding or revegetation may be necessary in the areas where soil disturbance, including areas where exotic species have been removed.</p> <p>- The Project shall comply with California Code of Regulations Title 13 Sections 2449 and 2485, which prohibit diesel-fueled commercial motor vehicles and off-road diesel vehicles from idling for more than five minutes.</p> <p>Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.</p> <p>ACTIONS NEEDED FOR RESOLUTION:</p> <p>Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD-Engineering Services for review and approval.</p> <p>Prior to issuance of the Grading Permit or Building Permit, the Applicant/Owner shall submit a contract with a qualified biologist that required supervising installation of the protective fencing and on-going monitoring to ensure fencing remains intact.</p> <p>Prior to issuance of the Grading Permit or Building Permit, the Project Biologist shall submit a letter with photographic evidence demonstrating that the protective fencing has been installed in accordance with the recommendations of LIB230326.</p> <p>Prior to issuance of construction or grading permits, the Applicant/Owner shall submit photos of the existing conditions of Van Ess Way.</p> <p>On-going through construction phase, the Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.</p>
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10. PDSP002 - WINDOW TREATMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Glass windows on the north-facing elevation of the single-family dwelling residence have the potential for glare in the dusk/sunset portion of the day. Therefore, the applicant/owner shall use non-reflective, non-glare glass, along with a shading treatment, in order to control visibility of the interior lighting from the exterior. Shading treatment shall be used at dawn/dusk.

Compliance or Monitoring Action to be Performed: Prior to issuance of building/grading permits, the applicant/owner shall submit schematic plans and elevations of the north elevation illustrating the implementation of non-reflective, non-glare glass and a shading treatment. Applicant/owner shall submit product information sheets and a narrative describing the product characteristics that make it suitable for the purpose of controlling visibility of interior lighting from the exterior.

Prior to occupancy, owner/applicant shall provide suitable evidence of a nighttime study showing operational visibility of the interior lighting through the installed windows from the exterior.

On an on-going basis, the Owner/Applicant shall ensure the non-reflective, non-glare glass and shading treatment are operated and maintained in accordance with the approved plan.

11. PDSP001 - RESTORATION & LANDSCAPE PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To comply Carmel Area LUP Policies 2.3.3.2 and 2.3.3.8, a Restoration and Landscape Plan should be developed by a qualified biologist and landscape architect and implemented to restore existing landscape areas on the parcel including areas currently occupied with aggressive invasive species (primarily iceplant, cape ivy, and pride-of- Madeira). The restoration plan shall describe passive restoration approaches, potential salvage and growing operations, plant specifications, restoration techniques, and management strategies including long term monitoring and invasive species control protocols required for the restoration and management of the sensitive resource found on the parcel. The plan shall also address the restoration of disturbed areas (eg. OWTS replacement, trenching activities, etc.) that will require revegetation. Should construction-related activities inadvertently impact special status plants, the Restoration and Landscape Plan shall require replanting at a minimum ratio of 3:1. The Restoration and Landscaping Plan shall incorporate Recommendation Nos. 5 and 7 of the Biologist Assessment prepared by Fred Ballerini (LIB230326)

The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

Eradication of invasive species shall be an ongoing effort to enhance and maintain existing native habitats. To prevent erosion in areas treated for eradication, exposed areas not stabilized with existing native plants shall be revegetated with site appropriate native species endemic to the communities in which the exotics were removed. To ensure success of the Restoration and Landscape Plan, the Project Biologist shall monitor the revegetated areas for a minimum of three-years, with quarterly monitoring for the first two years followed by bi-annual monitoring for year three. Monitoring reports shall be submitted to HCD-Planning for review and approval.

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Applicant/Owner shall submit to HCD-Planning for review and approval, a contract with a qualified biologist detailing the requirements of this condition.

Prior to issuance of building permits, the Applicant/Owner shall submit a Restoration and Landscape Plan meeting the requirements of this condition to HCD-Planning for review and approval. The Restoration and Landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

On and on-going basis for the duration of the monitoring period (3 years), the Project Biologist shall submit reports to HCD-Planning demonstrating compliance with the required monitoring and success criteria established in this condition and the approved Restoration and Landscape Plan.

Prior to final inspection, the Project Biologist shall submit a final report demonstrating compliance with the Restoration and Landscape Plan.

Prior to final inspection, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.



FIELD
ARCHITECTURE

974 COMMERCIAL ST, STE 104
PALO ALTO, CA 94303
650.452.9594

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NO. C34168
REN. 7-31-25



Issue Set / Revisions

No.	Description	Date
1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	11.01.23
6	PLANNING SET_REV 3	06.10.24
7	BUILDING PERMIT	08.07.24

KEY PLAN

VAN ESS RESIDENCE

182 Van Ess Way
Carmel-By-The-Sea CA 93923

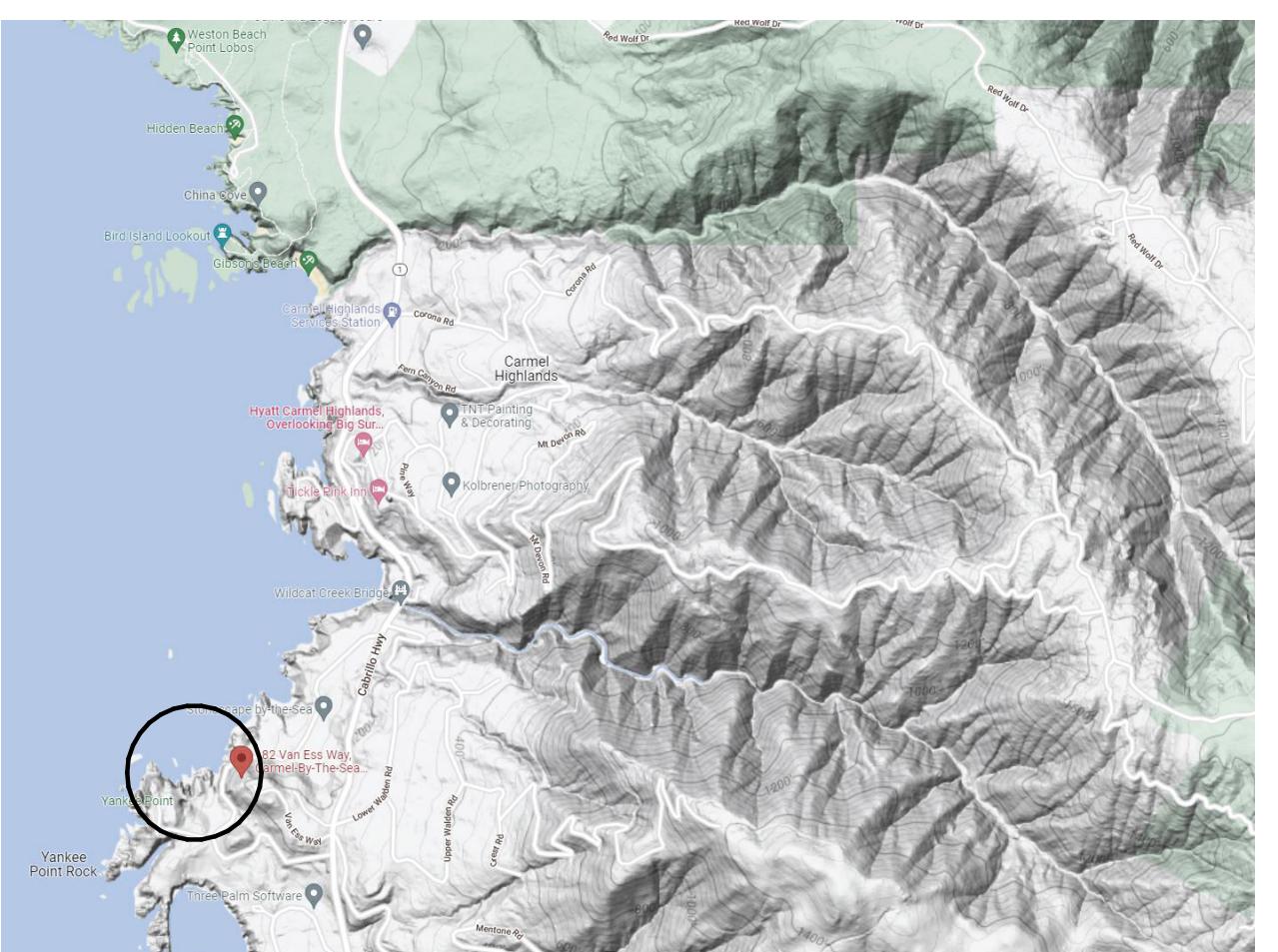
Date 08.07.24
Drawn by JCP
Scale

TITLE SHEET

Sheet number

G000

VICINITY MAP



SCOPE OF WORK

1) REPLACE THE EXISTING TWO STORY MAIN RESIDENCE AND GARAGE ON PARCEL APN 241-311-043. WITH A TWO STORY MAIN RESIDENCE WITH MAIN LEVEL AND LOWER LEVEL GARAGES, POOL AND DECK, AND NEW RETAINING WALLS ALONG THE DRIVEWAY

DEFERRED SUBMITTALS & PERMIT

DEFERRED SUBMITTALS & PERMITS

CONTRACTOR SHALL RETAIN A LICENSED ENGINEER TO PROVIDE FULLY ENGINEERED DESIGNS, AND SUBMIT SEPARATE APPROVAL PACKAGES TO THE COUNTY OF MONTEREY FOR THE FOLLOWING SYSTEMS:

1. FIRE SPRINKLER SYSTEMS
2. SINGLE-LINE DRAWINGS FOR ELECTRICAL SERVICES
3. PHOTOVOLTAIC SYSTEM

NOTE:

- DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THEIR REVIEW AND COORDINATION, A SUBMITTAL TO THE COUNTY OF MONTEREY SHALL BE MADE FOR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING REVIEW AND COORDINATION HAS BEEN PERFORMED BY THE DESIGN TEAM AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

- FOR SPECIAL INSPECTIONS ITEMS, SEE SHEET \$1.00A.

BUILDING INFORMATION

BUILDING INFORMATION:

OCCUPANCY GROUP: R-3 / RESIDENTIAL & U / UTILITY

CONSTRUCTION TYPE: V-B

APPLICABLE CODES:

- 2022 California Building Code
- 2022 California Electrical Code
- 2022 California Mechanical Code
- 2022 California Plumbing Code
- 2022 California Green Building Code
- 2022 California Energy Code
- 2022 California Fire Code
- 2022 California Residential Code

STRUCTURAL ENGINEER:

VAN ESS PROPERTIES, LLC
5758 W FILLMORE ST
CHICAGO, IL

ARCHITECT:

FIELD ARCHITECTURE, INC.
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T: 310-701-5490

LANDSCAPE ARCHITECT:

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Joni Janecki
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T. 831.423.6040

MECHANICAL ENGINEER:

PHILIP NEUMANN ENERGY DESIGN
MILL VALLEY, CA
Philip Neumann
E: philip@philipneumann.com
T: 415-680-7015

CIVIL ENGINEER:

SHERWOOD DESIGN ENGINEERS
2548 MISSION STREET
SAN FRANCISCO, CA 94110
Drew Norton
E. drew@sherwoodengineers.com
T. 415.677.7300

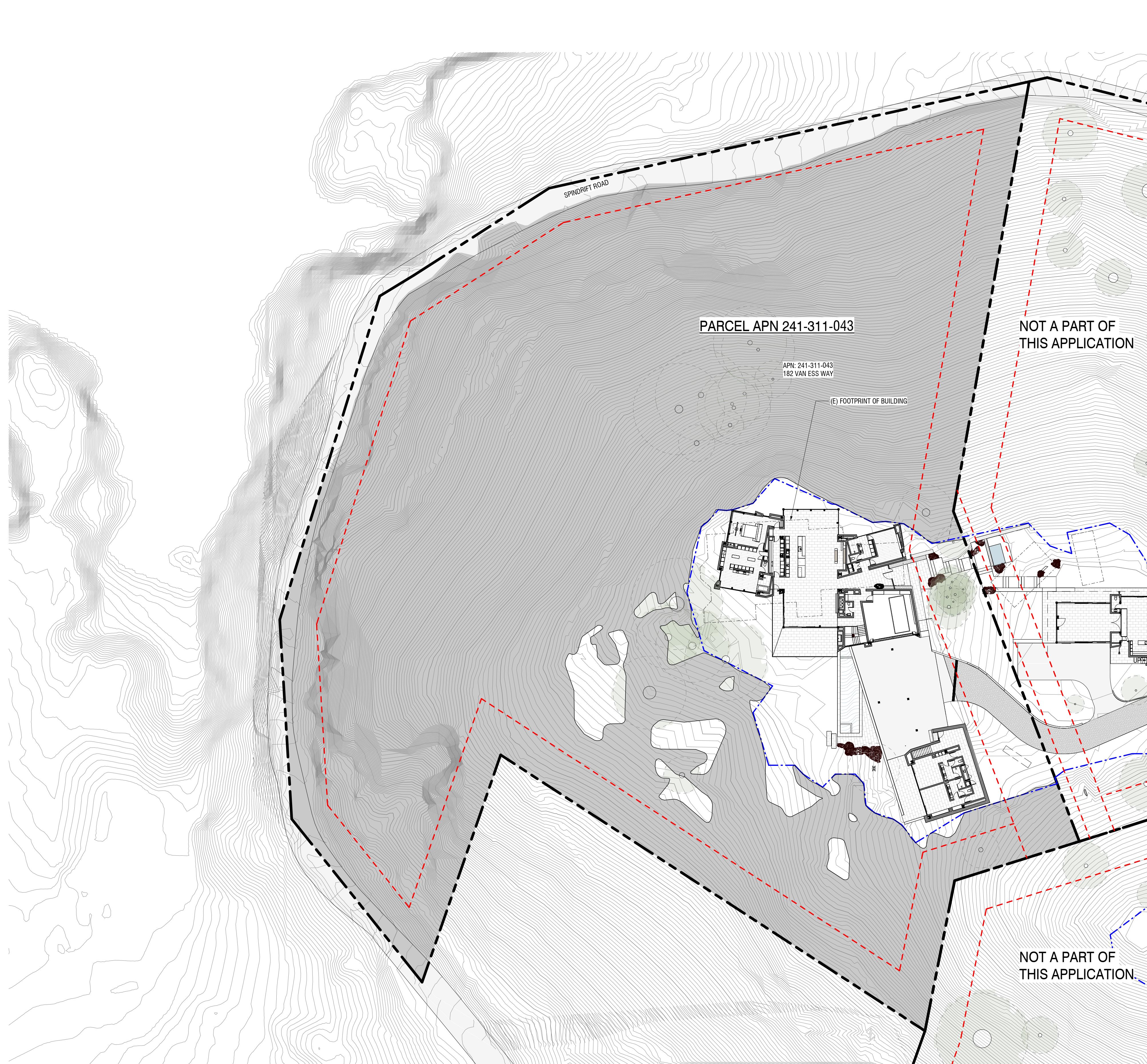
SURVEY:

Sandie Engineering
1700 S. WINCHESTER BLVD,
CAMPBELL,
Chris Gritton, PLS
E. coitson@sandie.net
T: 209-820-5385

PROJECT DATA

EXISTING AND PROPOSED PROJECT AREAS - (APN 241-311-043)

PROJECT NAME:	VAN ESS RESIDENCE	EXISTING AND PROPOSED PROJECT AREAS - (APN 241-311-043)				
SITE ADDRESS:	182 VAN ESS WAY CARMEL HIGHLANDS MONTEREY COUNTY, CA.	PARCEL SIZE:	43,560 SF MIN	EXISTING	140,986 SF	NEW 147,645 SF COMMENTS
ZONING INFORMATION		FLOOR AREA:	5,100 SF	13,854 SF BASEMENT: 2,479 SF TOTAL: 16,333 SF		INCLUDES 740 SF GARAGE
A.P.N.:	APN 241-311-043	BUILDING SITE COVERAGE:	22,145 SF (15%)	4,225 SF (3%)	12,609 SF (8.54%)	INCLUDES EAVES OVER 30' AND DECK AREAS OVER 24' IN HEIGHT
PARCEL AREA: EXISTING:	3.24 AC (140,986 SF)	IMPERVIOUS COVERAGE:	10,604 SF	2,716 SF		
PROPOSED:	3.39 AC (147,645 SF)	TOTAL COVERAGE:	14,829 SF	15,325 SF		TOTAL COVERAGE EQUALS BUILDING COVERAGE PLUS IMPERVIOUS COVERAGE
GENERAL PLAN LAND USE DESIGNATION:	RESIDENTIAL - LOW DENSITY					
ZONING DISTRICT:	LDR/1-D(CZ)					
GRADING:	2,000 CU YDS (CUT) + 100 CU YDS (FILL) = 1,900 CU YDS (EXPORT)					
TREE REMOVAL:	#1187 - 22' CYPRESS; SEE ARBORIST REPORT					
SETBACKS:	FRONT: 30' / SIDE: 20' / REAR: 20'					
MAX HEIGHT:	30' STANDARD AVERAGE NATURAL GRADE					
PROPOSED HEIGHT:	19.18' (SEE A200)					
PARKING:	REQUIRED: 2 SPACES/UNIT 2 IN GARAGE, 10 IN COLLECTION GARAGE					
WATER:	CALIFORNIA-AMERICAN WATER					
SEWER:	ON SITE WASTEWATER TREATMENT SYSTEM					



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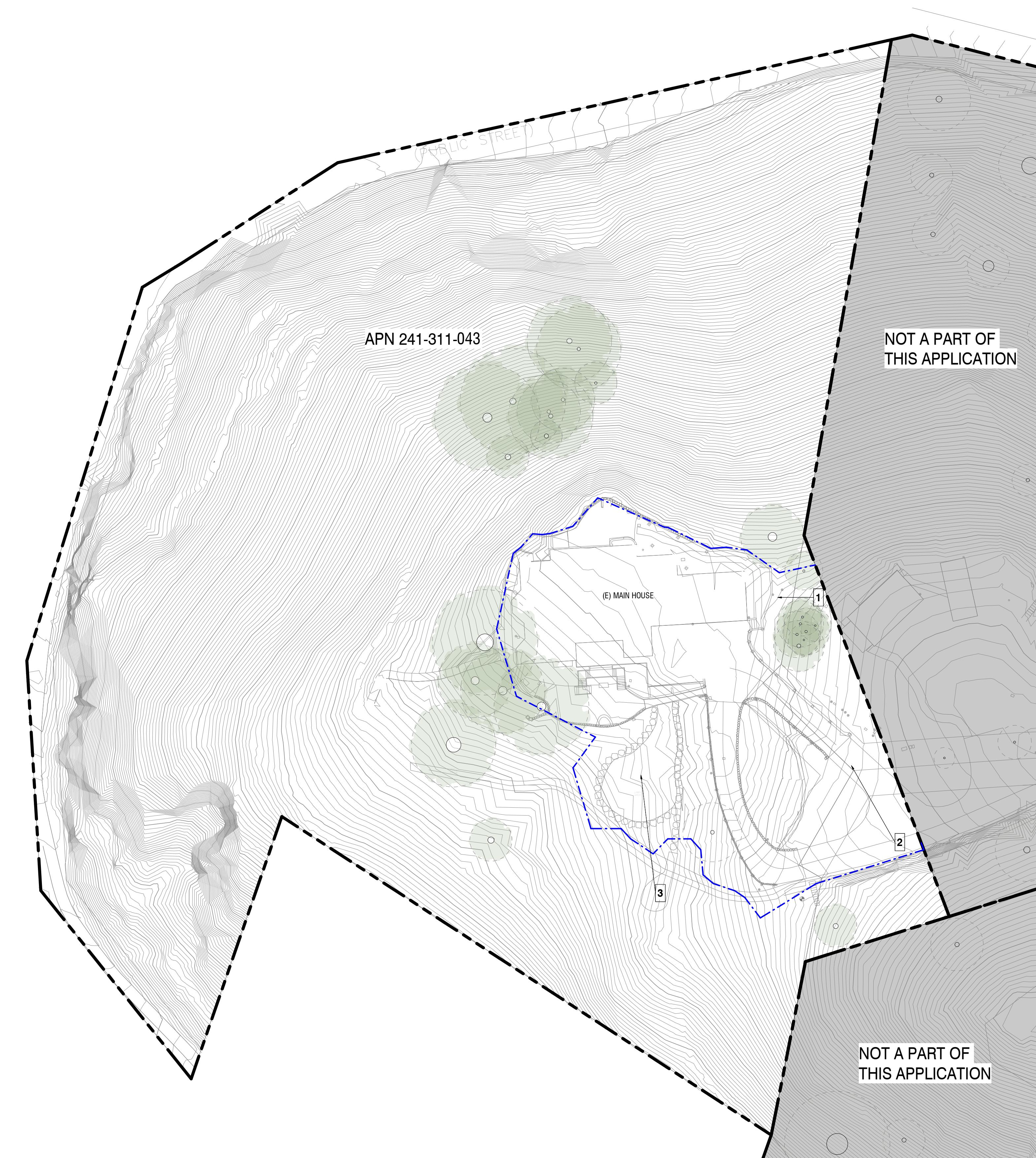
IMAGE 1



IMAGE 2



IMAGE 3



① SITE PLAN
1" = 30'-0"

FIELD
ARCHITECTURE

974 COMMERCIAL ST. STE 104
PALO ALTO, CA 94303
650.462.9554

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Issue Set / Revisions
No. Description Date
2 PRE-APP SET 05.05.23
3 PLANNING SET 11.01.23
6 PLANNING SET_Rev 2 06.10.24

KEY PLAN

VAN ESS RESIDENCE

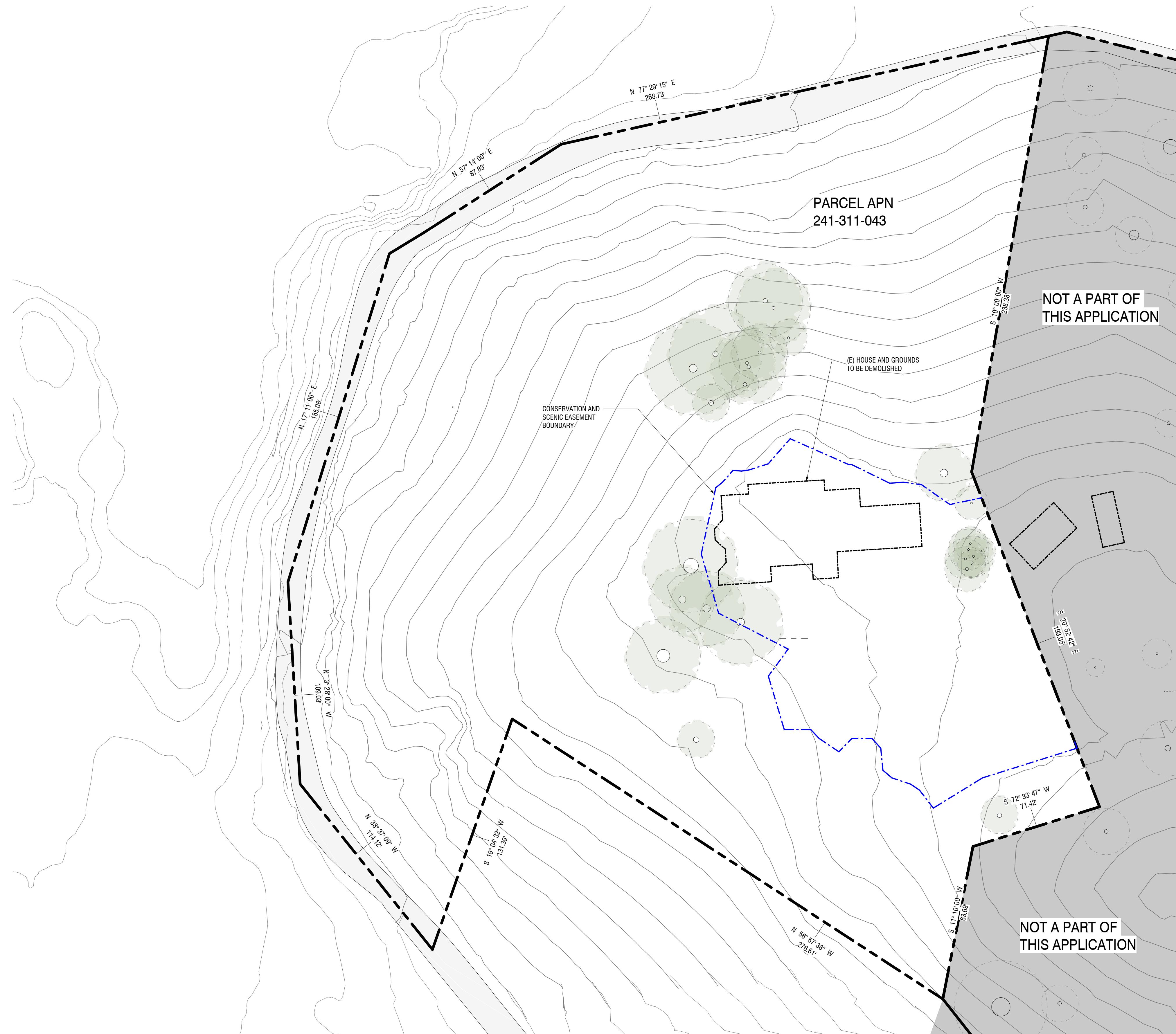
182 Van Ess Way
Carmel-By-The-Sea CA 93923

Date 06.10.24
Drawn by JCP
Scale 1" = 30'-0"

SITE PHOTOS

Sheet number

G004



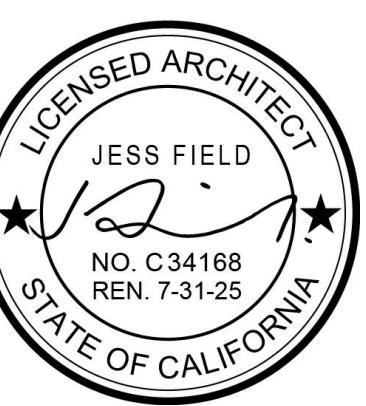
LEGEND

- (E) STRUCTURES TO BE DEMOLISHED
- FENCE
- EASEMENT
- UNDERGROUND UTILITIES
- 470'-0" (N) CONTOUR
- (E) PLANTING
- ✗ REMOVED (E) PLANTING
- (N) PLANTING
- HOI FIRE HYDRANT
- HOI WATER VALVE
- O- UTILITY POLE

FIELD
ARCHITECTURE

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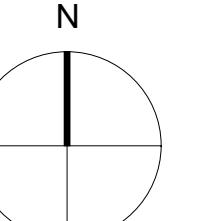
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Issue Set / Revisions

No.	Description	Date
1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	11.01.23
6	PLANNING SET_REV 3	06.10.24
7	BUILDING PERMIT	08.07.24

KEY PLAN



VAN ESS RESIDENCE

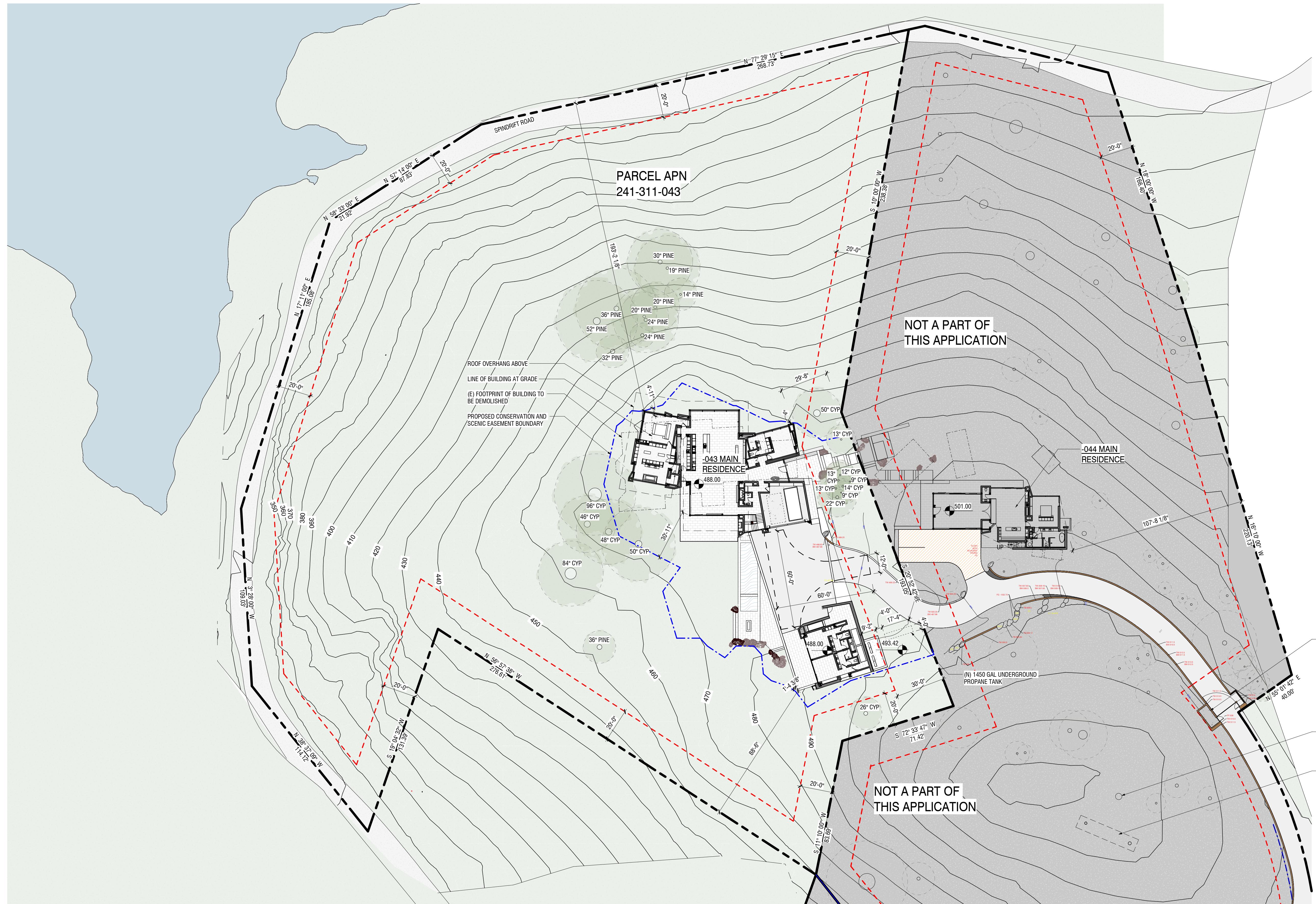
182 Van Ess Way
Carmel-By-The-Sea CA 93923

Date 08.07.24
Drawn by JCP
Scale As indicated

(E) SITE PLAN

Sheet number

AS001



1 PROPOSED SITE PLAN
1" = 30'-0"

AS002

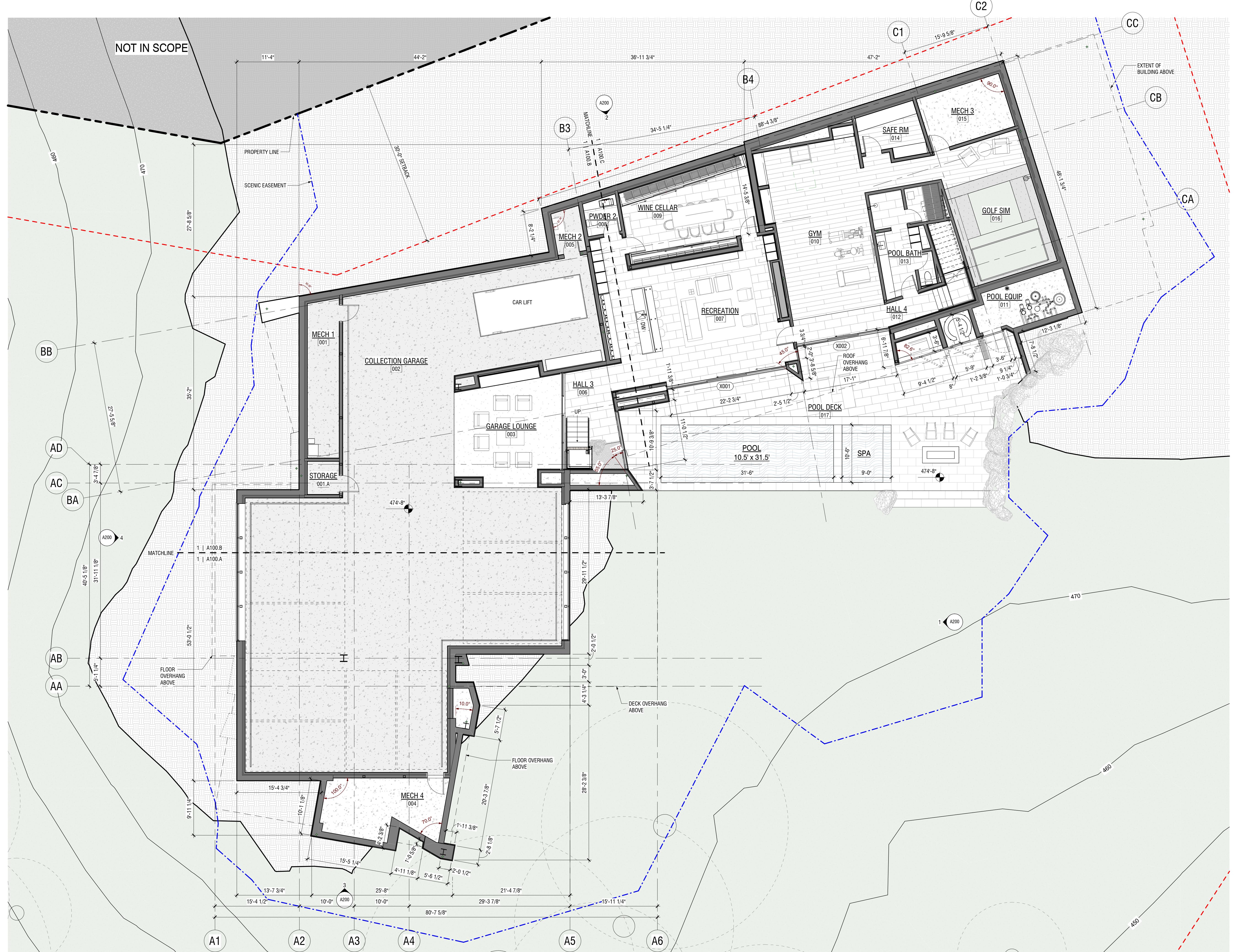
ANSWER

number

A90000

AS002

7.10002



GET NOTES

AND DOWNSPOUTS
TH CPC CHAPTER 11

OUTFLOW MINIMUM 5'
R TIE INTO SUB-
GE-SCD. VERIFY ALL
ATIONS WITH
TO INSTALLATION

CES TO BE CLASS "A"

INWATER LEADER:
/R PER CPC TABLE
D

D HAVE SCREENS PER

IS SHEET TO FACE OF
FRAMING, PLYWOOD,

FROM FACE OF FINISH
SION WILL BE NOTED

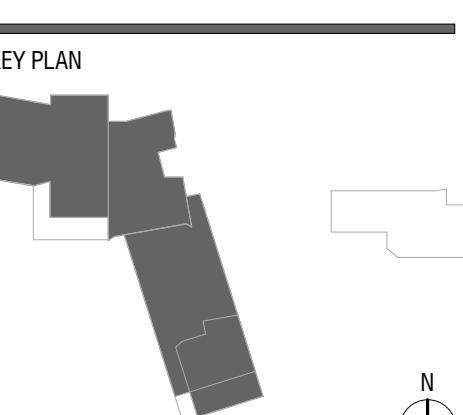
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Issue Set / Revisions		
o.	Description	Date
	PRICING SET	02.17.23
	PRE-APP SET	05.05.23
	PLANNING SET	11.01.23
	BUILDING PERMIT	08.07.24



WAN ESS RESIDENCE

182 Van Ess Way
Carmel-By-The-Sea CA 93923

Drawn by JCP
Scale As indicated

LOWER LEVEL PLAN

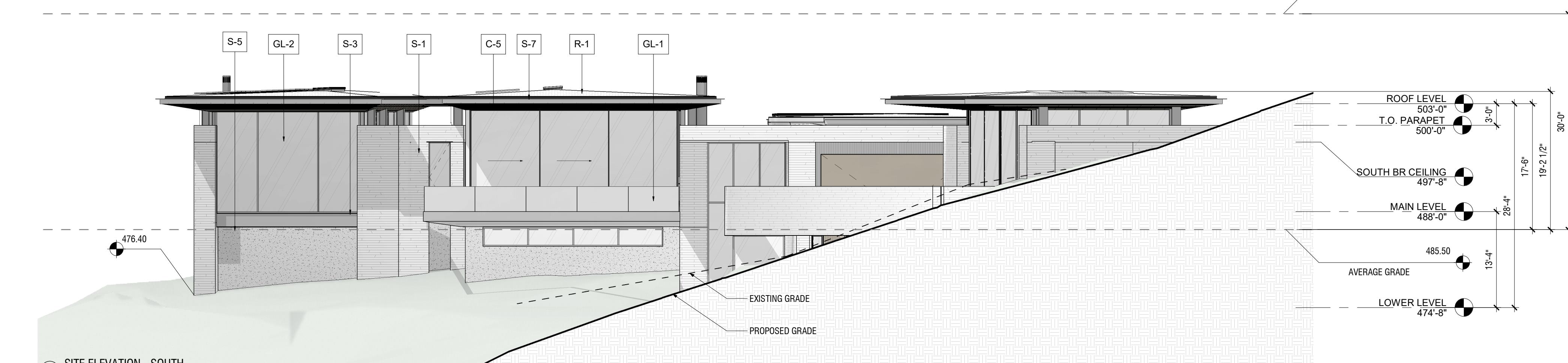
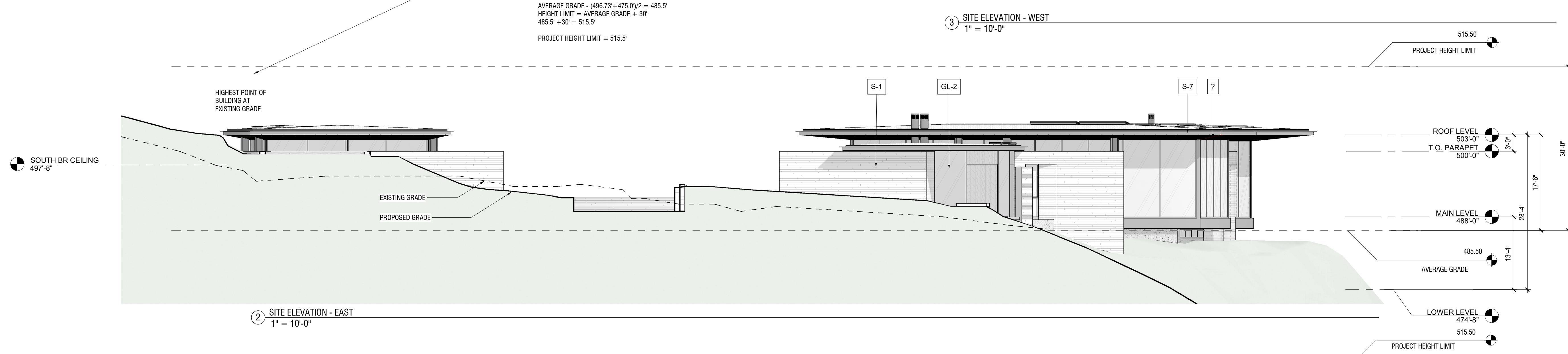
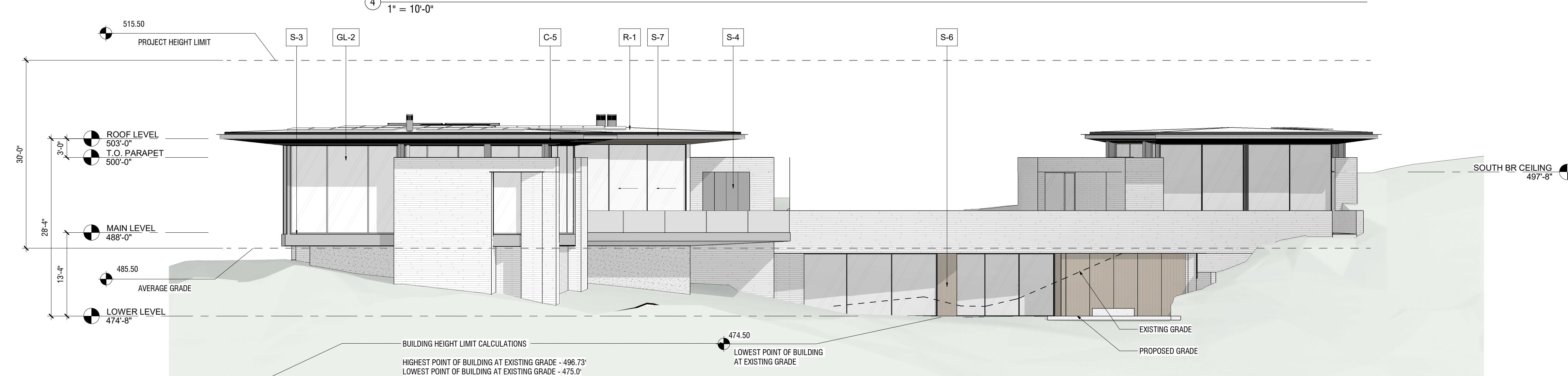
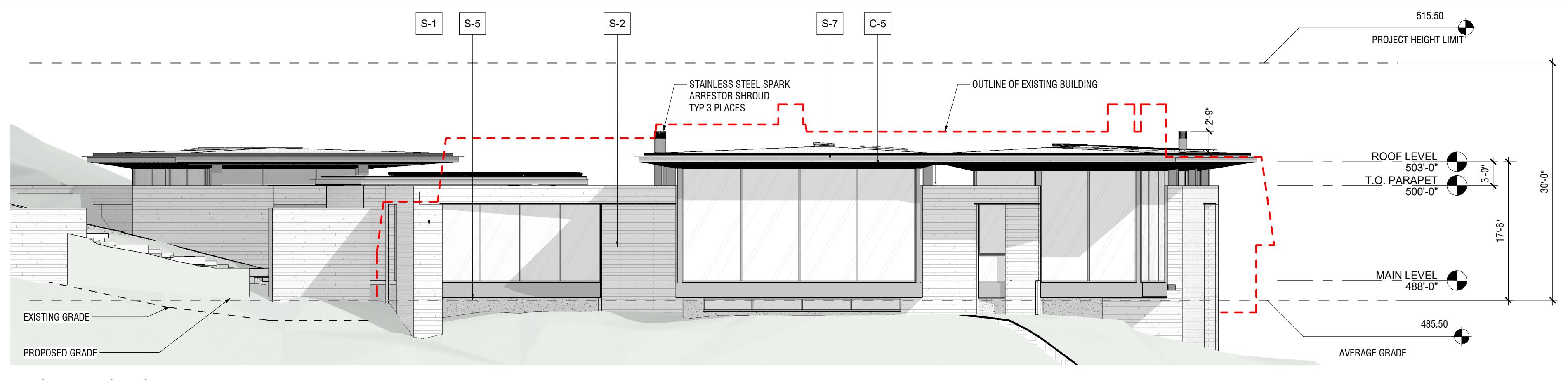
Sheet number

2 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"

AC100







FIELD ARCHITECTURE

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Issue Set / Revisions		
No.	Description	Date
1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	11.01.23
7	BUILDING PERMIT	08.07.24

11. **What is the primary purpose of the *Journal of Clinical Endocrinology and Metabolism*?**

VAN ESS RESIDENCE

152 Van Es Way
Carmel-By-The-Sea CA 93923

OVERALL ELEVATIONS

FINISHES NARRATIVE

CASEWORK:
TYPE 1: FLUSH FRAMELESS CABINETS (ASSUME 2-3 STEP PROCESS, I.E. BRUSHED, STAINED, SEALED)
-DOORS/DRAWER FACES: VG WHITE OAK VENEER PLYWOOD
-CARCASSES: PREFINISHED OAK/MAPLE VENEER PLYWOOD

COUNTERTOPS

STONE COUNTERTOPS

INTERIOR DOORS:
STAIN GRADE SOLID CORE 1 3/4" DOORS W/ CONCEALED OPERATION HARDWARE (TECTUS OR SIM), AND FUNCTION HARDWARE TO BE SUN VALLEY BRONZE OR SIM.

TRIM/BASEBOARDS:
5/8" X 4" HARDWOOD BASEBOARD/TRIM WITH 1/4" Z REVEAL BY FRY REGLET OR SIM.

LIGHTING:

RECESSED LIGHTING AT CEILING AND SOFFITS

APPLIANCES

NOTE: APPLIANCES LIST NOT EXHAUSTIVE, FINAL LISTS TO BE APPROVED BY OWNER
ASSUME MIELE OR SIMILAR FOR LEVEL OF APPLIANCE QUALITY

KITCHEN:
COOKTOP
RANGE HOOD
REF/FREEZER
DISHWASHER (2X)

PANTRY

MICROWAVE
OVEN
STEAM OVEN
REF/FREEZER

LAUNDRY CLOSET 1

WASHER

DRYER

LAUNDRY CLOSET 2

WASHER

DRYER

LAUNDRY CLOSET 3

WASHER

DRYER

SOUTH DECK

48" GRILL

HALL 2

UNDERCOUNTER REFRIGERATOR

RECREATION

REFRIGERATOR

MICROWAVE

GARAGE LOUNGE

UNDERCOUNTER REFRIGERATOR

NOTE: PLUMBING FIXTURES LIST NOT EXHAUSTIVE, FINAL LISTS TO BE APPROVED BY OWNER
ASSUME GRAFF, BOFFI, CEA, OR SIMILAR FOR LEVEL OF APPLIANCE QUALITY

PLUMBING FIXTURES

NOTE: PLUMBING FIXTURES LIST NOT EXHAUSTIVE, FINAL LISTS TO BE APPROVED BY OWNER
ASSUME GRAFF, BOFFI, CEA, OR SIMILAR FOR LEVEL OF APPLIANCE QUALITY

BATHT:

SINK (2)

FAUCET (2)

SHOWER

LINEAR DRAIN

TOILET

FAUCET (2)

SINK (2)

POWDER:

SINK

FAUCET

TOILET

FAUCET (2)

SINK (2)

KITCHEN:

SINK (2)

FAUCET (2)

PANTRY:

SINK

FAUCET

TOILET

FAUCET (2)

SINK (2)

BATH 2:

SHOWER

LINEAR DRAIN

TOILET

SINK (2)

FAUCET (2)

BATH 3:

SHOWER

LINEAR DRAIN

TOILET

SINK (2)

FAUCET (2)

HALL 2:

SINK

FAUCET

RECREATION:

POWDER 2:

SINK

FAUCET

TOILET

FAUCET

POOL BATH:

SHOWER

LINEAR DRAIN

TOILET

SINK

FAUCET

Room Finish Schedule									
Number	Name	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Upper Limit	Unbounded Height	Perimeter
001	MECH 1	LOWER LEVEL	166 SF			LOWER LEVEL	10'-10"	68'-11 5/32"	
001.A	STORAGE	LOWER LEVEL	35 SF			LOWER LEVEL	8'-0"	23'-6 15/16"	
001A	STORAGE	Not Placed	Not Placed	Not Placed	Not Placed	0'-0"	Not Placed		
001B	PRIMARY BATH	Not Placed	Not Placed	Not Placed	Not Placed	0'-0"	Not Placed		
002	COLLECTION GARAGE	LOWER LEVEL	3702 SF			LOWER LEVEL	11'-0"	348'-8 7/16"	
003	GARAGE LOUNGE	LOWER LEVEL	383 SF			LOWER LEVEL	10'-10"	81'-11 11/32"	
004	MECH 4	LOWER LEVEL	226 SF			LOWER LEVEL	10'-10"	71'-5 15/16"	
005	MECH 2	LOWER LEVEL	41 SF			LOWER LEVEL	10'-10"	26'-4 5/32"	
006	HALL 3	LOWER LEVEL	182 SF			LOWER LEVEL	8'-0"	57'-1 5/8"	
007	RECREATION	LOWER LEVEL	769 SF			LOWER LEVEL	10'-0 5/32"	139'-7 9/16"	
008	PWDER 2	LOWER LEVEL	40 SF			LOWER LEVEL	9'-9 3/32"	25'-2 1/2"	
009	WINE CELLAR	LOWER LEVEL	343 SF			LOWER LEVEL	9'-11 27/32"	77'-4 17/32"	
010	GYM	LOWER LEVEL	709 SF			LOWER LEVEL	10'-1 7/8"	148'-9 1/32"	
011	POOL EQUIP	LOWER LEVEL	131 SF			LOWER LEVEL	8'-0"	51'-0 17/32"	
012	HALL 4	LOWER LEVEL	115 SF			LOWER LEVEL	10'-5 23/32"	63'-4 29/32"	
013	POOL BATH	LOWER LEVEL	127 SF			LOWER LEVEL	10'-1 29/32"	62'-3 29/32"	
014	SAFE RM	LOWER LEVEL	95 SF			LOWER LEVEL	10'-0"	41'-6 5/8"	
015	MECH 3	LOWER LEVEL	158 SF			LOWER LEVEL	10'-0"	51'-6 13/32"	
016	GOLF SIM	LOWER LEVEL	394 SF			LOWER LEVEL	10'-10"	81'-7 16/16"	
017	POOL DECK	LOWER LEVEL	Not Enclosed			LOWER LEVEL	10'-0"	Not Enclosed	
100	ENTRY	MAIN LEVEL	321 SF			MAIN LEVEL	9'-8"	97'-2 23/32"	
100A	CLOSET	MAIN LEVEL	24 SF			MAIN LEVEL	8'-0"	19'-5 1/4"	
101	GARAGE	MAIN LEVEL	668 SF			MAIN LEVEL	9'-10"	105'-6 13/16"	
102	HALL	MAIN LEVEL	303 SF		FF - UPPER RES	21'-0"	116'-7 17/32"		
103	POWDER	MAIN LEVEL	32 SF			MAIN LEVEL	9'-0"	24'-7 3/32"	
104	BEDROOM 1	MAIN LEVEL	248 SF			MAIN LEVEL	9'-10"	73'-4 21/32"	
105	BATH 1	MAIN LEVEL	138 SF			MAIN LEVEL	9'-0"	66'-2 13/32"	
106	DINING ROOM	MAIN LEVEL	479 SF			MAIN LEVEL	14'-0"	107'-0 5/8"	
107	KITCHEN	MAIN LEVEL	923 SF			MAIN LEVEL	11'-0"	141'-0 13/16"	
108	LIVING ROOM	MAIN LEVEL	638 SF			MAIN LEVEL	10'-9 31/32"	106'-6 9/32"	
109	SOUTH DECK	MAIN LEVEL	711 SF			MAIN LEVEL	9'-0"	150'-4 11/16"	
110	PANTRY	MAIN LEVEL	153 SF			MAIN LEVEL	9'-0"	74'-1 1/16"	
111	PRIMARY BED	MAIN LEVEL	395 SF			MAIN LEVEL	12'-11 3/16"	94'-11 21/32"	
112	PRIMARY CLOSET	MAIN LEVEL	294 SF			MAIN LEVEL	12'-11 3/16"	100'-1 1/4"	
113	PRIMARY BATH	MAIN LEVEL	263 SF			MAIN LEVEL	12'-10 5/8"	88'-7 5/8"	
114	PBWC	MAIN LEVEL	28 SF			MAIN LEVEL	9'-0"	22'-8 13/16"	
200	HALL 2	MAIN LEVEL	412 SF			MAIN LEVEL	9'-8"	160'-5 1/4"	
201	BATH 2	MAIN LEVEL	104 SF			MAIN LEVEL	10'-0"	53'-3 5/8"	
202	BEDROOM 2	MAIN LEVEL	267 SF			MAIN LEVEL	11'-11 11/16"	85'-4 25/32"	
203	BATH 3	MAIN LEVEL	103 SF			MAIN LEVEL	10'-0"	53'-2 13/16"	
204	BEDROOM 3	MAIN LEVEL	266 SF			MAIN LEVEL	14'-0 31/32"	85'-3 21/32"	
300	GARAGE	FF - UPPER RES	627 SF			FF - UPPER RES	11'-8"	99'-7 3/2"	
301	KITCHEN	FF - UPPER RES	141 SF			FF - UPPER RES	8'-0"	53'-9"	
302	DINING/LIVING	FF - UPPER RES	588 SF			FF - UPPER RES	11'-8"	109'-4 29/32"	
303	CLOSET	FF - UPPER RES	23 SF			FF - UPPER RES	8'-0"	19'-2 13/32"	
304	POWDER	FF - UPPER RES	40 SF			FF - UPPER RES	8'-0"	26'-10 29/32"	
305	PRIMARY BEDROOM	FF - UPPER RES	336 SF			FF - UPPER RES	9'-0"	80'-6 23/32"	
305	UPPER RES ROOF DECK	UPPER RES ROOF DECK	Not Enclosed			UPPER RES ROOF DECK	4'-0"	Not Enclosed	
306	PRIMARY BATH	FF - UPPER RES	174 SF			FF - UPPER RES	6'-0"	75	

BUILDING PERMIT



FIELD
ARCHITECTURE

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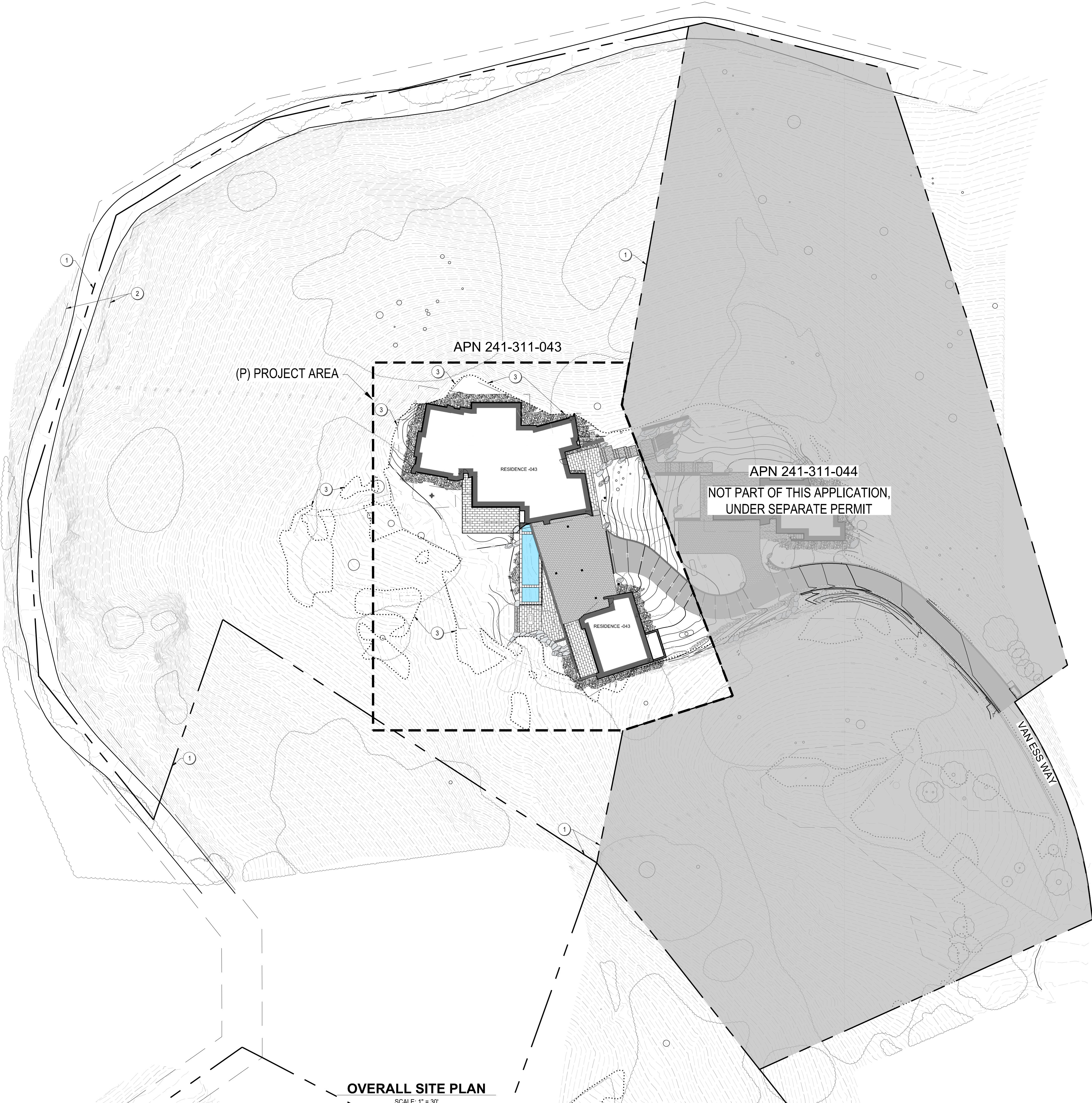
Issue Set / Revisions
No. Description Date
7 BUILDING PERMIT 08.07.24

VAN ESS RESIDENCE
182 VAN ESS WAY
CARMEL-BY-THE-SEA, CALIFORNIA

Date 08/07/2024
Drawn by VH/TICS
Scale 1" = 30'

OVERALL SITE PLAN
Sheet number
C1.0

0 15' 30' 60' North
3 OF 13



BUILDING PERMIT



FIELD
ARCHITECTURE

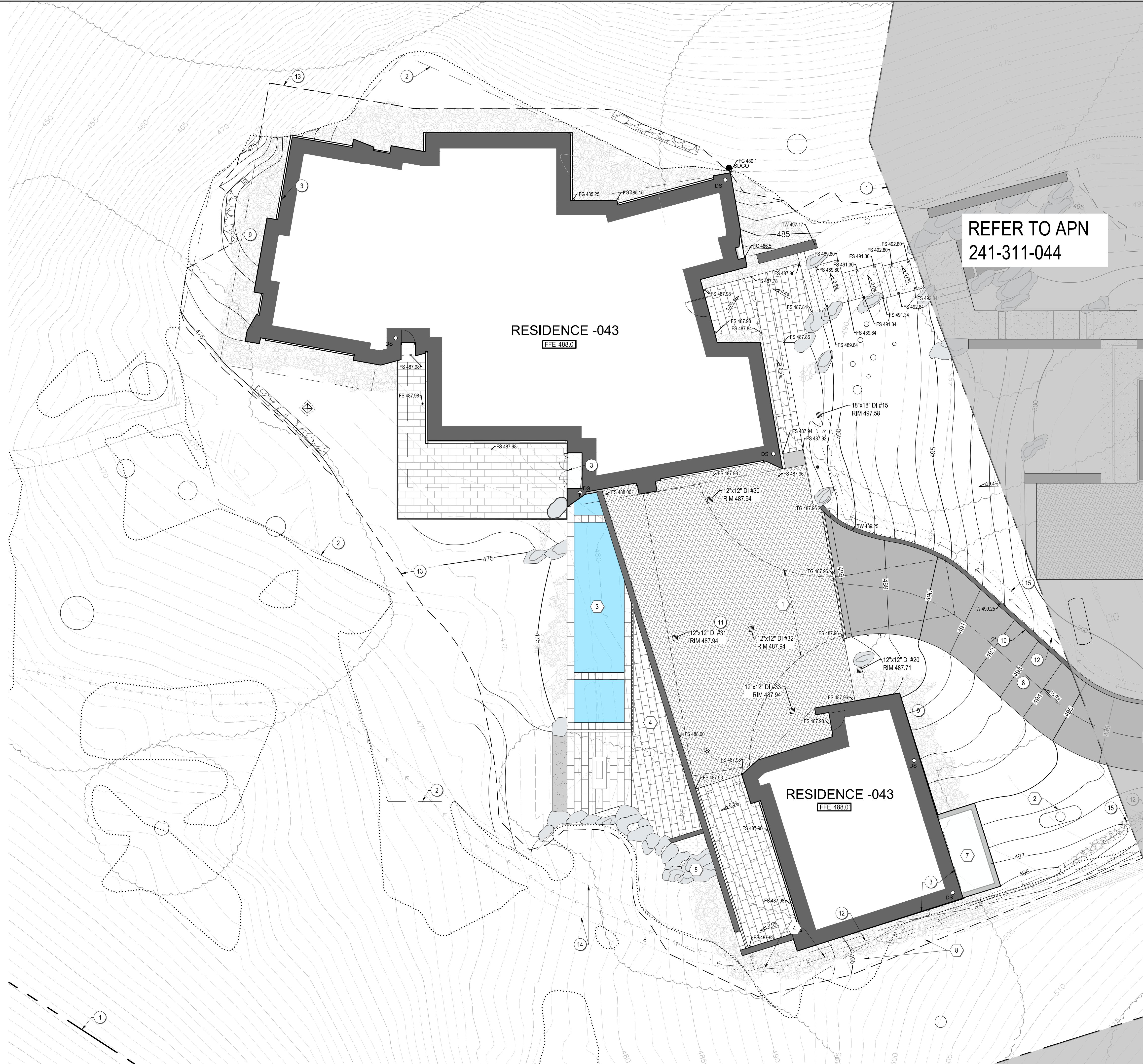
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20240224-5 Van Ess 03 Van Ess 03 CA030 Building Permit 02 - Landscaping & Site & Grading Main Level 08/07/2024 11:00:21 AM CDT Last Update 08/07/2024 11:00:21 AM CDT Last Update 08/07/2024 11:00:21 AM CDT Last Update 08/07/2024 11:00:21 AM CDT Last Update



SITE LEGEND

- 1 PROPERTY LINE
- 2 EASEMENT, SAP FOR DESCRIPTION
- DRIVEWAY CENTERLINE
- (E) TREE
- 3 BUILDING OUTLINE
- 4 BUILDING OVERHANG
- (P) 1' GRAVEL SHOULDER
- (P) AC PAVEMENT DRIVEWAY
- 7 DEFENSIBLE SPACE, SLP
- (P) RETAINING WALL
- (P) IMPERMEABLE PAVEMENT

GRADING LEGEND

- FG 100.00 SPOT ELEVATION
- 1.0% Hardscape Slope
- <1.0% Softscape Slope
- 100.00 FINISH FLOOR ELEVATION
- (P) MAJOR CONTOUR
- (P) MINOR CONTOUR
- (E) MAJOR CONTOUR
- (E) MINOR CONTOUR
- (E) FLOWLINE
- (P) 18" X 3" DRAINAGE SWALE PER DETAIL A/C6.1
- (E) LIMITS OF GRADING
- (E) GRADE BREAK
- (P) GRADE BREAK

STORM DRAIN LEGEND

- AREA DRAIN PER DETAIL D/C6.1
- DRAIN INLET PER DETAIL E/C6.0
- TRENCH DRAIN PER DETAIL C/C6.0
- SLOT DRAIN PER DETAIL D/C6.0

KEY NOTES

- 1 FIRE TRUCK TURNOUT/TURNAROUND
- 2 500 GALLON UNDERGROUND PROPANE TANK
- 3 POOL, SLP
- 4 DIVERT (E) DRAINAGE SWALE AROUND HOUSE
- 5 BOULDER, SLP
- 6 GATE WITH KNOX BOX, SLP
- 7 MECHANICAL EQUIPMENT VAULT, SAP
- 8 GRADE BACK AT 2:1 SLOPE TO CONFORM IN THIS AREA

VAN ESS RESIDENCE
182 VAN ESS WAY
CARMEL-BY-THE-SEA, CALIFORNIA

Date 08/07/2024
Drawn by VHTICS
Scale 1" = 10'

**SITE & GRADING
MAIN LEVEL**

Sheet number

C2.1
4 OF 13



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Description Date
BUILDING PERMIT 08.07.24

IN LESS RESIDENCE

08/07/2024

SITE & GRADING LOWER LEVEL

Set number

C2.2

5 OF 13

SITE LEGEND

— — — — PROPERTY LINE

— — — — EASEMENT, SAP FOR DESCRIPTION

— — — — DRIVEWAY CENTERLINE

○ (E) TREE

— — — — BUILDING OUTLINE

— — — — BUILDING OVERHANG

○ (P) 1' GRAVEL SHOULDER

— — — — (P) AC PAVEMENT DRIVEWAY

— — — — DEFENSIBLE SPACE, SLP

— — — — (P) RETAINING WALL

— — — — (P) IMPERMEABLE PAVEMENT

GRADING LEGEND

↙ FG 100.00	SPOT ELEVATION
↖ 1.0%	HARDSCAPE SLOPE
↖ 1.0%	SOFTSCAPE SLOPE
100.0	FINISH FLOOR ELEVATION
100	(P) MAJOR CONTOUR
102	(P) MINOR CONTOUR
100	(E) MAJOR CONTOUR
102	(E) MINOR CONTOUR
	(E) FLOWLINE
→ → → → →	(P) 18" X 3" DRAINAGE SWALE PER DETAIL A/C6.1
— — — — —	(13) LIMITS OF GRADING
— — — — —	(14) (E) GRADE BREAK
— — — — —	(15) (P) GRADE BREAK

STORM DRAIN LEGEND

The image contains three separate architectural drawings of drainage details, each with a callout label and a small icon:

- Area Drain Per Detail D/C6.1**: Represented by a horizontal line with a grid of small circles.
- DRAIN INLET PER DETAIL E/C6.0**: Represented by a vertical line with four horizontal bars.
- TRENCH DRAIN PER DETAIL C/C6.0**: Represented by a horizontal line with a grid of small circles.

KEY NOTES

- 1 FIRE TRUCK TURNOUT/TURNAROUND
- 2 500 GALLON UNDERGROUND PROPANE TANK
- 3 POOL, SLP
- 4 DIVERT (E) DRAINAGE SWALE AROUND HOUSE
- 5 BOULDER, SLP
- 6 GATE WITH KNOX BOX, SLP
- 7 MECHANICAL EQUIPMENT VAULT, SAP
- 8 GRADE BACK AT 2:1 SLOPE TO SOUTHWEST IN THIS AREA

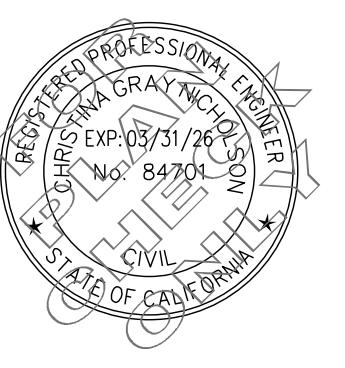
SITE & GRADING LOWER LEVEL

SCALE: 1" = 10'

C2.2

5 OF 13

BUILDING PERMIT



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Issue Set / Revisions

VAN ESS RESIDENCE

182 VAN ESS WAY
CARMEL-BY-THE-SEA, CALIFORNIA

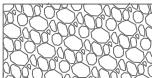
Date 08/07/2024
Drawn by VHT/CS
S. No. 100

EROSION CONTROL LEGEND

———— // ————— // ————— // ————— //

_____ 











1 FIBER ROLLS PER DETAIL A/C1.1

2 SILT FENCE PER DETAIL B/C1.1

3 CONCRETE WASHOUT PER DETAIL C/C1.1

4 CONSTRUCTION ENTRANCE PER DETAIL D/C1.1

5 TREE PROTECTION PER DETAIL E/C1.1
(VERIFY TREE PROTECTION WITH PROJECT BIOLOGIST)

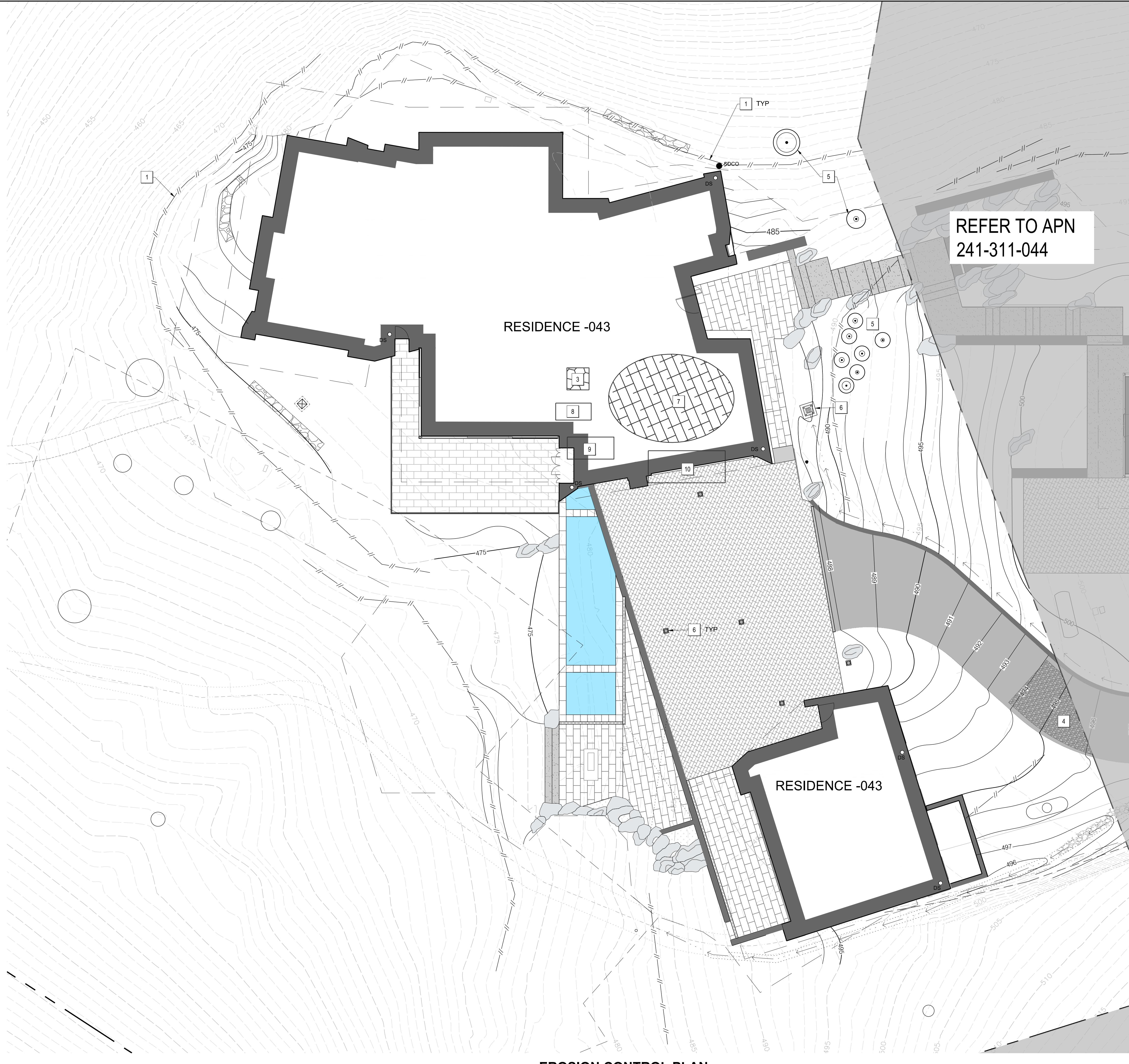
6 INLET PROTECTION PER DETAIL F/C1.1

7 STOCKPILE PER DETAIL G/C1.1

8 PORTABLE SANITATION FACILITIES

9 WASTE COLLECTION AREA

10 EQUIPMENT STAGING AREA



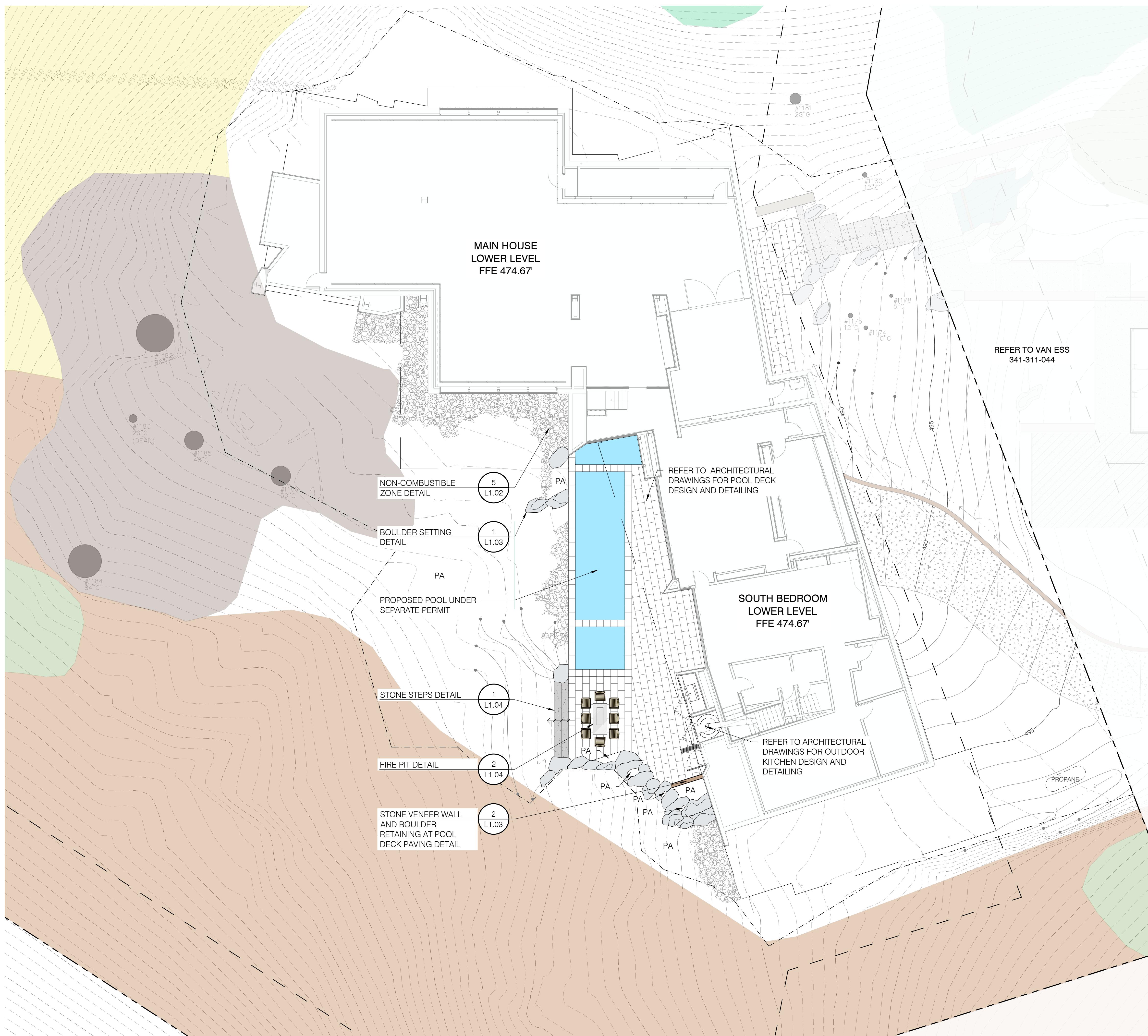
EROSION CONTROL PLAN

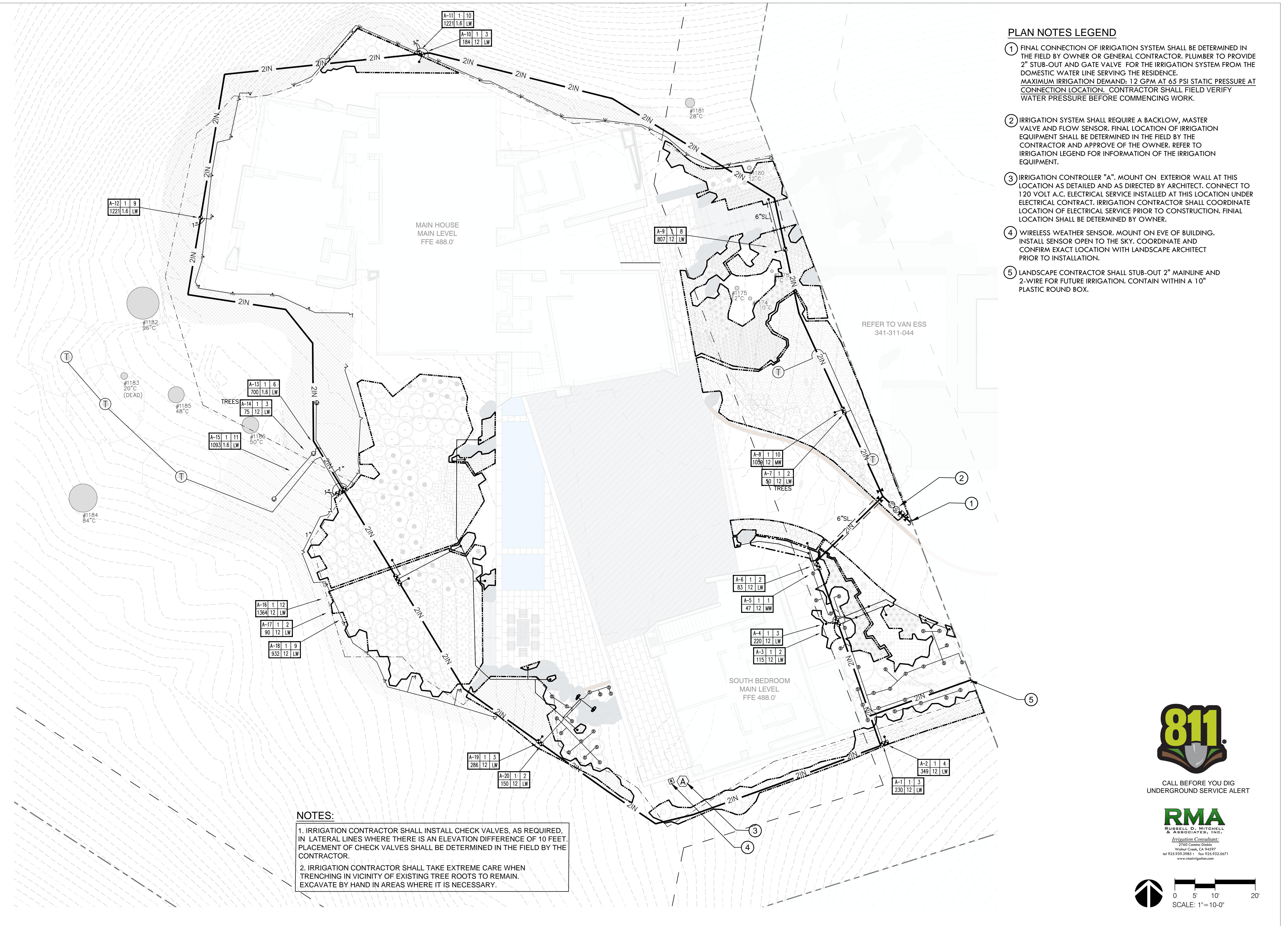
SCALE: 1" = 10'

Diagram of a building footprint. The total width is 30'. There is a 5' overhang on the left side and a 20' overhang on the right side. A north arrow is located in the top right corner.

C5.0

9 OF 10





IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6' OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS P7354D (HUNTER) THE PAIGE IRRIGATION WIRE. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY 600 FEET OR EVERY 8 DECODERS, WHICHEVER IS SMALLER. AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6.
- SPlicing OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG COIL OF WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

"A Landscape Irrigation Audit is required. This Audit must be completed by a Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

WATER CONSERVATION STATEMENT
RUSSELL D MITCHELL AND ASSOCIATES, INC. (RMA) HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.


JOSE L. CRUZ
IRRIGATION CONSULTANT-PROJECT MANAGER

NOTES:

- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDCAPE SURFACE.
- UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMISSIONS) SHALL BE AS FOLLOWS:

0.75"	0-500 FT
1"	501-1100 FT
- EACH DRIP ZONE SHALL RECEIVE A FLUSH VALVE AND OPERATION INDICATOR AT FARDEST ENDS OF EACH SYSTEM.
- CONTRACTOR TO INSTALL ALL IRRIGATION PIPING AND DRIPLINE TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).
- CONTRACTOR TO LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATION. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
∅ V	570Z-12P-PRX-COM/O-T-15FP,15HP	TORO POP-UP SPRAY SPRINKLER (SHRUB/GC)	2.3,1.2	30	12-15
∅ V	570Z-12P-PRX-COM/O-T-12FP,12HP,12QP	TORO POP-UP SPRAY SPRINKLER (SHRUB/GC)	1.5,0.75,.37	30	10-12
①	HDL-06-12	ON GRADE HDL DRIPLINE WITH 12" O.C. Emitter Drip Ring FOR TREES (3 RINGS PER TREE) SEE DETAIL	0.10	30	TRICKLE
⑤	HDL-04-CV	ON GRADE HUNTER HDL DRIP RING FOR SHRUBS SEE DETAIL	0.10	30	TRICKLE

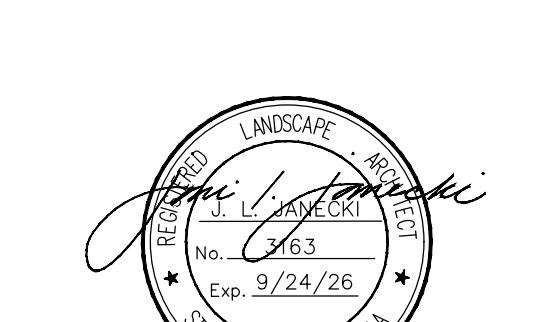
●	PGV-101G	HUNTER REMOTE CONTROL VALVE
■	PCZ-101-40	HUNTER REMOTE CONTROL DRIP KIT WITH 40 PSI REGULATOR
●	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL
●	PLD-AVR	HUNTER AIR RELIEF VALVE
●	ECO-ID	HUNTER ECO-INDICATOR
●	T-FP600A-LF	NIBCO BRASS BALL VALVE (LINE SIZE)
CV	KC OR KSC	NDS KSC SERIES CHECK VALVE FOR UPHILL FLOW DIRECTION OR KC SERIES SPRING CHECK VALVE FOR DOWNSHILL FLOW DIRECTION (LINE SIZE)

■	975XLSEU-1"/PBB-20	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET.
MV	ICV-G	HUNTER MASTER VALVE-(LINE SIZE) (NORMALLY CLOSED)
FS	HC-150-FLOW	HUNTER 1.5" FLOW METER
A	HCC-800-PL/EZ-DM	HUNTER HCC (54) STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH A EZ DECODER SYSTEM.
-	EZ-1	HUNTER SINGLE STATION DECODER (1 PER VALVE)
-	EZ-DM	HUNTER DECODER OUTPUT MODULE FOR HCC CONTROLLERS
-	DUAL-S	HUNTER SURGE ARRESTOR (1 EVERY 1000 FEET ALONG MAIN) REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.
-	NOT SHOWN ON PLANS	ROUTE TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS PAIGE ELECTRIC WIRE P7354D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KITS OR APPROVED EQUAL. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS.

R	WR-CLIK	WIRELESS RAIN-CLIK SENSOR AND RECIEVER.
		CONTROLLER AND STATION NUMBER
		REMOTE CONTROL VALVE SIZE (IN INCHES)
		FLOW (GPM)
		WATER USE CLASSIFICATION OF ZONE
		APPLICATION RATE (IN/HR) or DRIPLINE SPACING
		AREA (SQ. FT.)
		ASSOCIATED REMOTE CONTROL VALVE

MAIN LINE:	1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS.
LATERAL LINE:	18" COVER.
DRIPLINE LATERAL LINE:	3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
SLEEVING:	3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.

PVC LATERAL	Drip Zone:	HUNTER HDL SERIES DRIPLINE WITH BUILT IN PRESSURE COMPENSATION AND CHECK VALVE, PART #HDL-06-12-250-CV. USE PLD FITTINGS. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.
PVC LATERAL	Drip Line Remote Control Valve:	APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY WHEN DRIP ZONE IS LESS THAN 3 GPM AND NO PVC SUPPLY/EXHAUST HEADERS ARE NEEDED. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.


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No. Description Date
1 PRICING SET 02.17.23
2 PRE-APP SET 05.05.23
3 PLANNING SET 10.06.23
4 BUILDING PERMIT 08.07.24

KEY PLAN

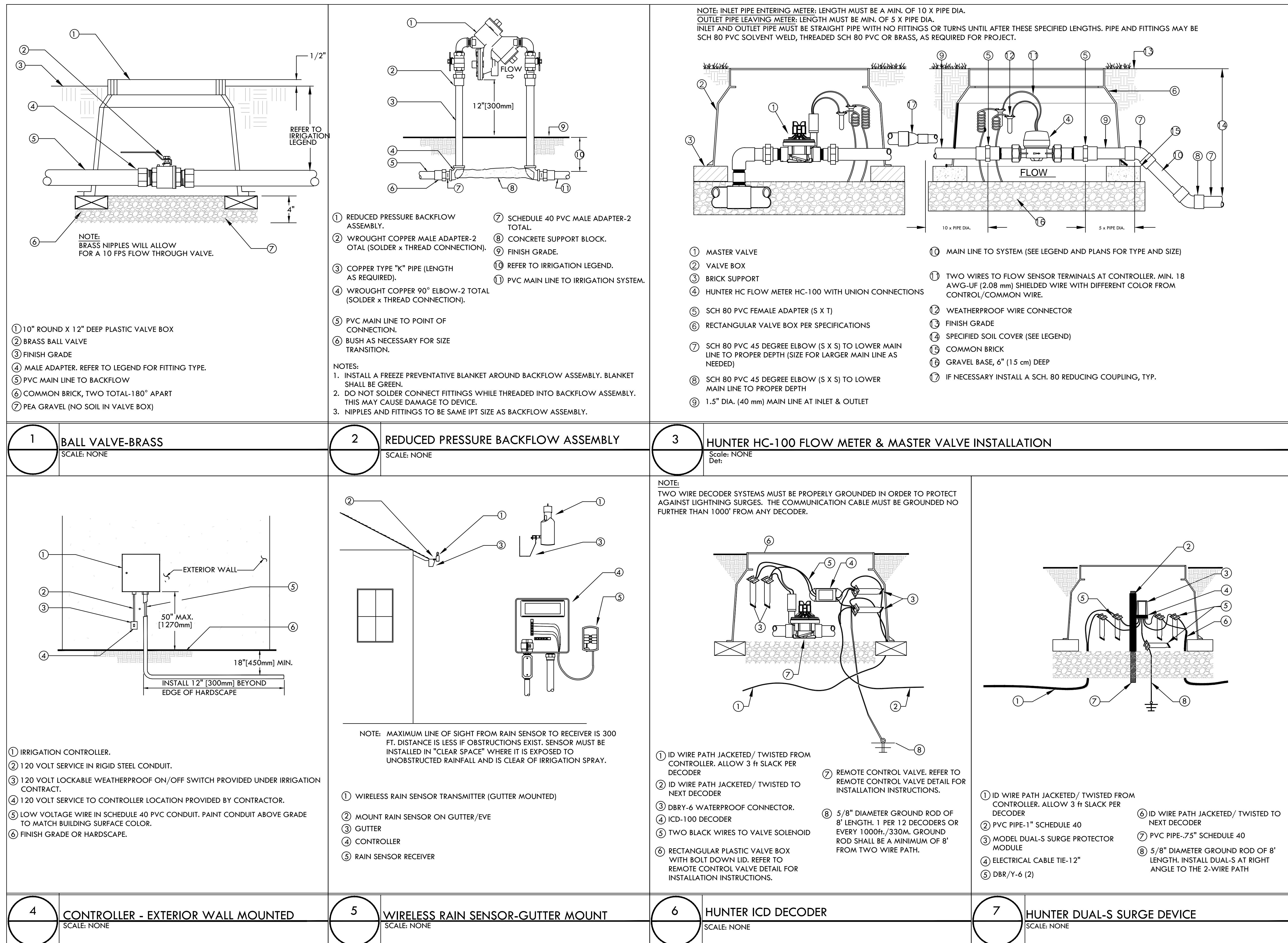
VAN ESS RESIDENCE

182 Van Ess Way
Carmel CA 93923
Date 08.01.2024
Drawn by JC
Scale NONE

IRRIGATION NOTES AND LEGEND

Sheet number

RMA
RUSSELL D. MITCHELL & ASSOCIATES, INC.
Irrigation Consultant:
2760 College Drive
Wolcott, WI 53194-9597
tel 925.939.3985 fax 925.932.5671
www.rma-irrigation.com



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LANDSCAPE
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No. 163
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STATE OF CALIFORNIA

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No. Description Date
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KEY PLAN

VAN ESS RESIDENCE

182 Van Ess Way
Carmel CA 93923

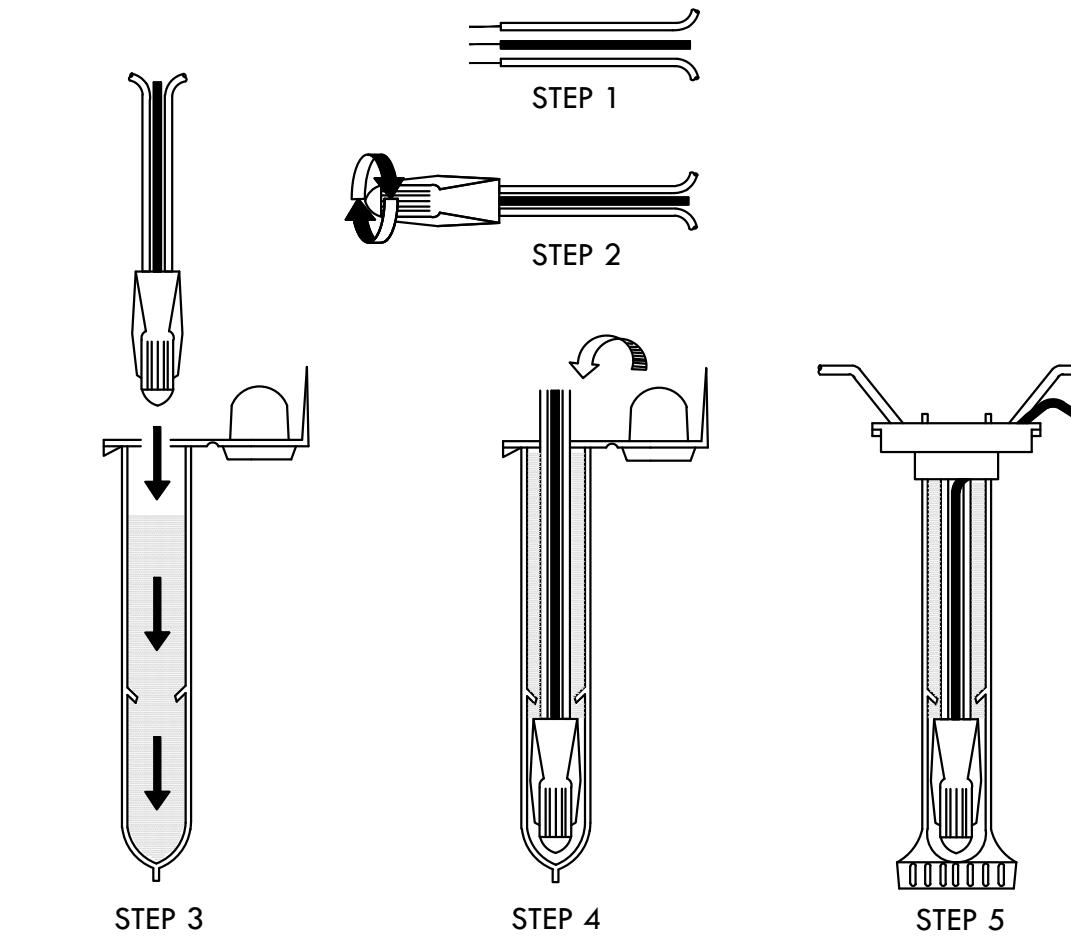
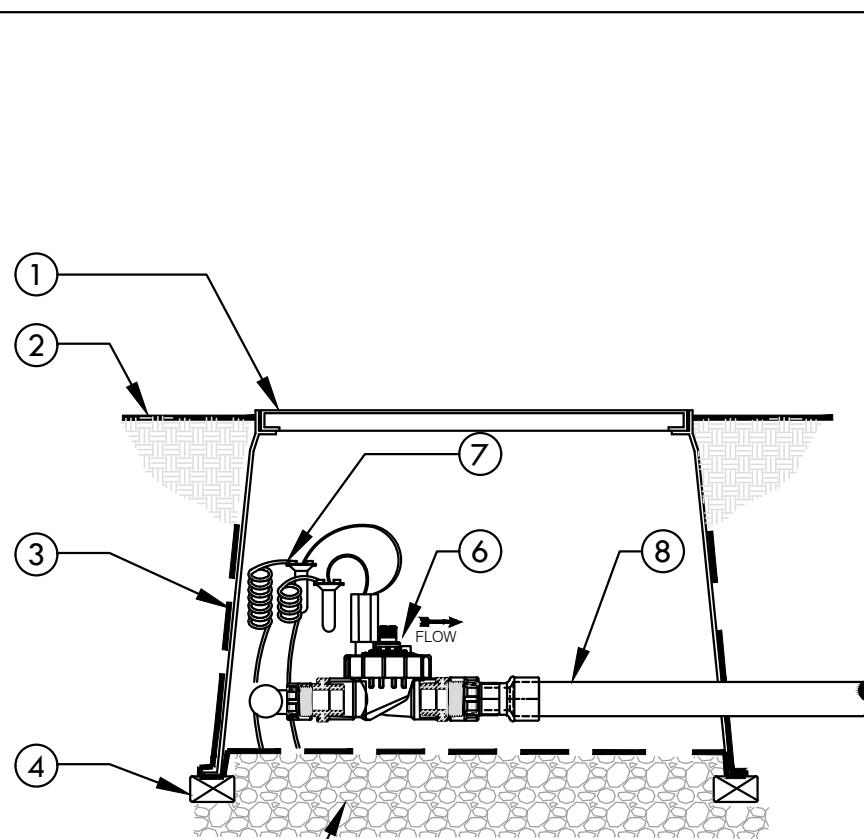
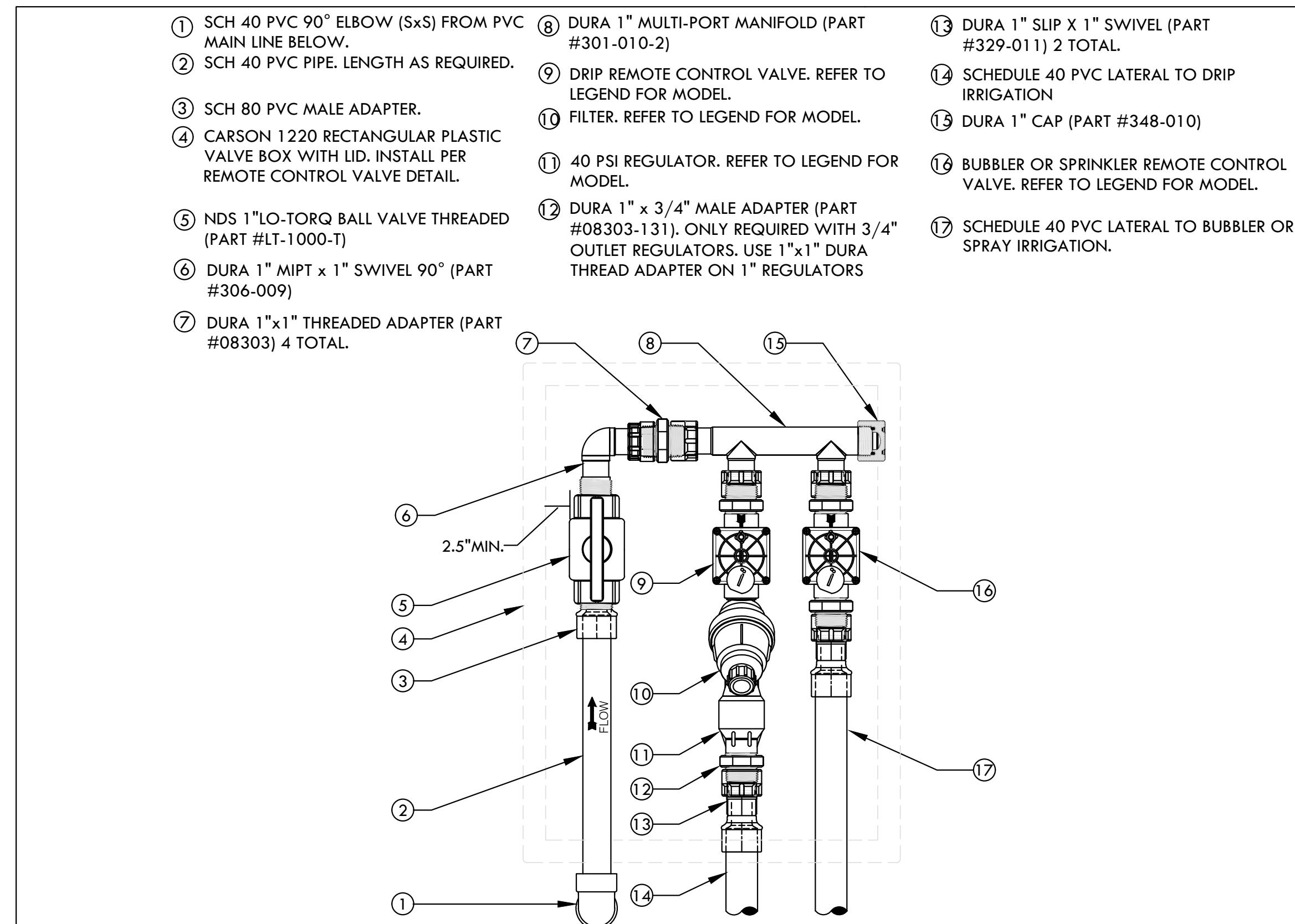
Date 08.01.2024
Drawn by JC
Scale NONE

IRRIGATION DETAILS

RMA
RUSSELL D. MITCHELL
& ASSOCIATES, INC.
Irrigation Consultant:
2780 Camino Diablo
Wadsworth Creek, CA 94597
tel 925.939.3787 fax 925.932.5471
www.migration.com

Sheet number

L2.02



1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES
 2 FINISH GRADE
 3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX
 4 BRICK-1 EACH CORNER
 5 PEA GRAVEL OR 3/4" DRAIN ROCK-4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
 6 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS
 7 VALVE CONTROL WIRE. PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL
 8 SCH 40 PVC LATERAL LINE TO BUBBLERS OR SPRAY

NOTE:
 MAXIMUM # OF WIRES PER CONNECTOR:
 • 3-#14 GAUGE
 • 2-#12 GAUGE

INSTRUCTIONS:
 1. STRIP WIRES APPROXIMATELY 1/2" FROM ENDS TO EXPOSE WIRE.
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 3. INSERT WIRE ASSEMBLY TO BOTTOM OF GEL-FILLED TUBE. CHECK TO MAKE SURE CONNECTOR HAS BEEN PUSHED PAST LOCKING FINGERS AND IS SEATED AT THE BOTTOM OF THE TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPLICE ASSEMBLY THAT IT IS SECURED.

1 TWO REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)

SCALE: NONE

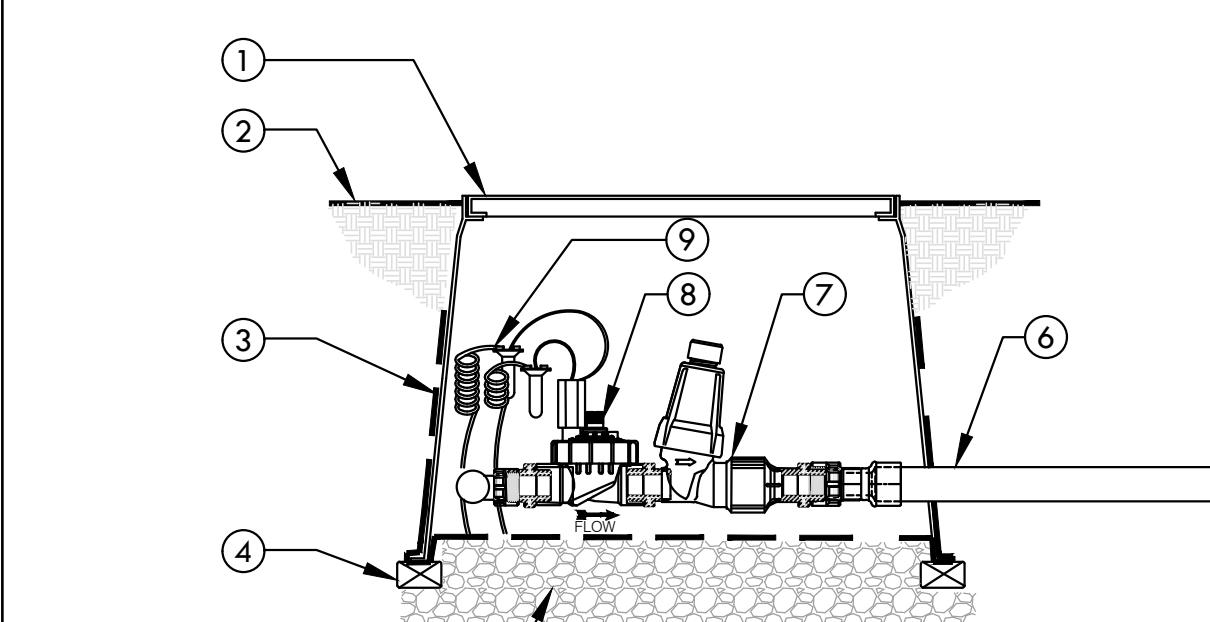
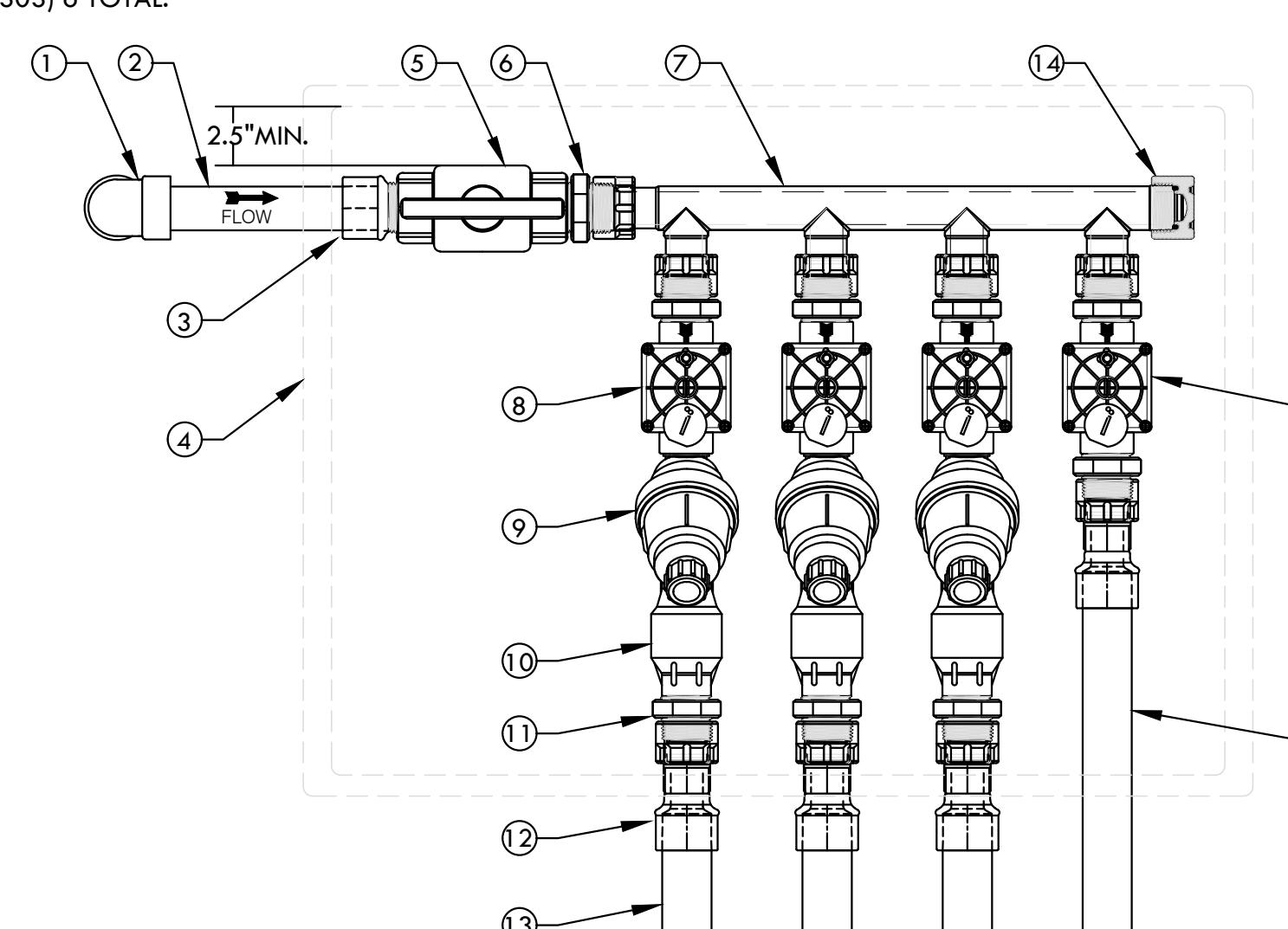
2 BUBBLER OR SPRAY REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD

SCALE: NONE

3 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE

1 SCH 40 PVC 90° ELBOW (SxS) FROM PVC MAIN LINE BELOW.
 2 SCH 40 PVC PIPE. LENGTH AS REQUIRED.
 3 SCH 80 PVC MALE ADAPTER.
 4 CARSON 1220 RECTANGULAR PLASTIC VALVE BOX WITH LID. INSTALL PER REMOTE CONTROL VALVE DETAIL.
 5 NDS 1" LO-TORQ BALL VALVE THREADED (PART #LT-1000-T).
 6 DURA 1"x1" THREADED ADAPTER (PART #08303) 6 TOTAL.
 7 DURA 1" MULTI-PORT MANIFOLD (PART #301-010-4).
 8 DRIP REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
 9 FILTER. REFER TO LEGEND FOR MODEL.
 10 40 PSI REGULATOR. REFER TO LEGEND FOR MODEL.
 11 DURA 1" x 3/4" MALE ADAPTER (PART #08303-131) 3 TOTAL. ONLY REQUIRED WITH 3/4" OUTLET REGULATORS. USE 1"x1" DURA THREAD ADAPTER ON 1" REGULATORS.
 12 DURA 1" SLIP X 1" SWIVEL (PART #329-011) 4 TOTAL.
 13 SCHEDULE 40 PVC LATERAL TO DRIP IRRIGATION.
 14 DURA 1" CAP (PART #348-010).
 15 BUBBLER OR SPRINKLER REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
 16 SCHEDULE 40 PVC LATERAL TO BUBBLER OR SPRAY IRRIGATION.



1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES
 2 FINISH GRADE
 3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX
 4 BRICK-1 EACH CORNER
 5 PEA GRAVEL OR 3/4" DRAIN ROCK-4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
 6 SCH 40 PVC LATERAL LINE TO DRIPLINE OR DRIP.
 7 DRIP FILTER AND REGULATOR
 8 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS
 9 VALVE CONTROL WIRE. PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL

1 WILKINS MODEL 500XLHR PRESSURE REDUCING VALVE.
 2 IRROMETER MODEL 7-100 OR APPROVED EQUAL (0-100 PSI) PRESSURE GAUGE - ROTATE TEE FOR EASE OF READING.
 3 RECTANGULAR PURPLE PLASTIC VALVE BOX WITH BOLT- DOWN LID. INSTALL BOX AS SHOWN IN BOX. INSTALLATION DETAIL: TOP DIMENSION: 15 3/4" X 25 1/4" (15" DEEP)
 4 FINISH GRADE
 5 SCH. 80 PVC TOE NIPPLE. ADAPT TO PVC MAIN LINE WITH SCH. 40 PVC COUPLING.
 6 BRICK - ONE EACH CORNER OF BOX
 7 SCHEDULE 80 PVC THREADED NIPPLES AND FITTINGS AS REQUIRED
 8 PEA GRAVEL - 4" DEEP (NO SOIL IN VALVE BOX)

4 FOUR REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)

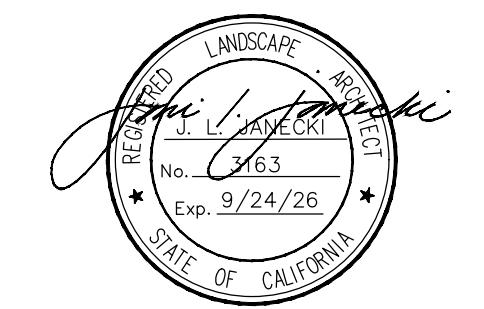
SCALE: NONE

5 DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD

SCALE: NONE

6 PRESSURE REDUCING VALVE IF REQUIRED

SCALE: NONE



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 ARCHITECTURE
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 No. Description Date
 1 PRICING SET 02.17.23
 2 PRE-APP SET 05.05.23
 3 PLANNING SET 10.06.23
 4 BUILDING PERMIT 08.07.24

KEY PLAN

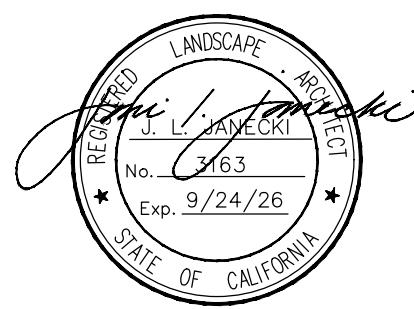
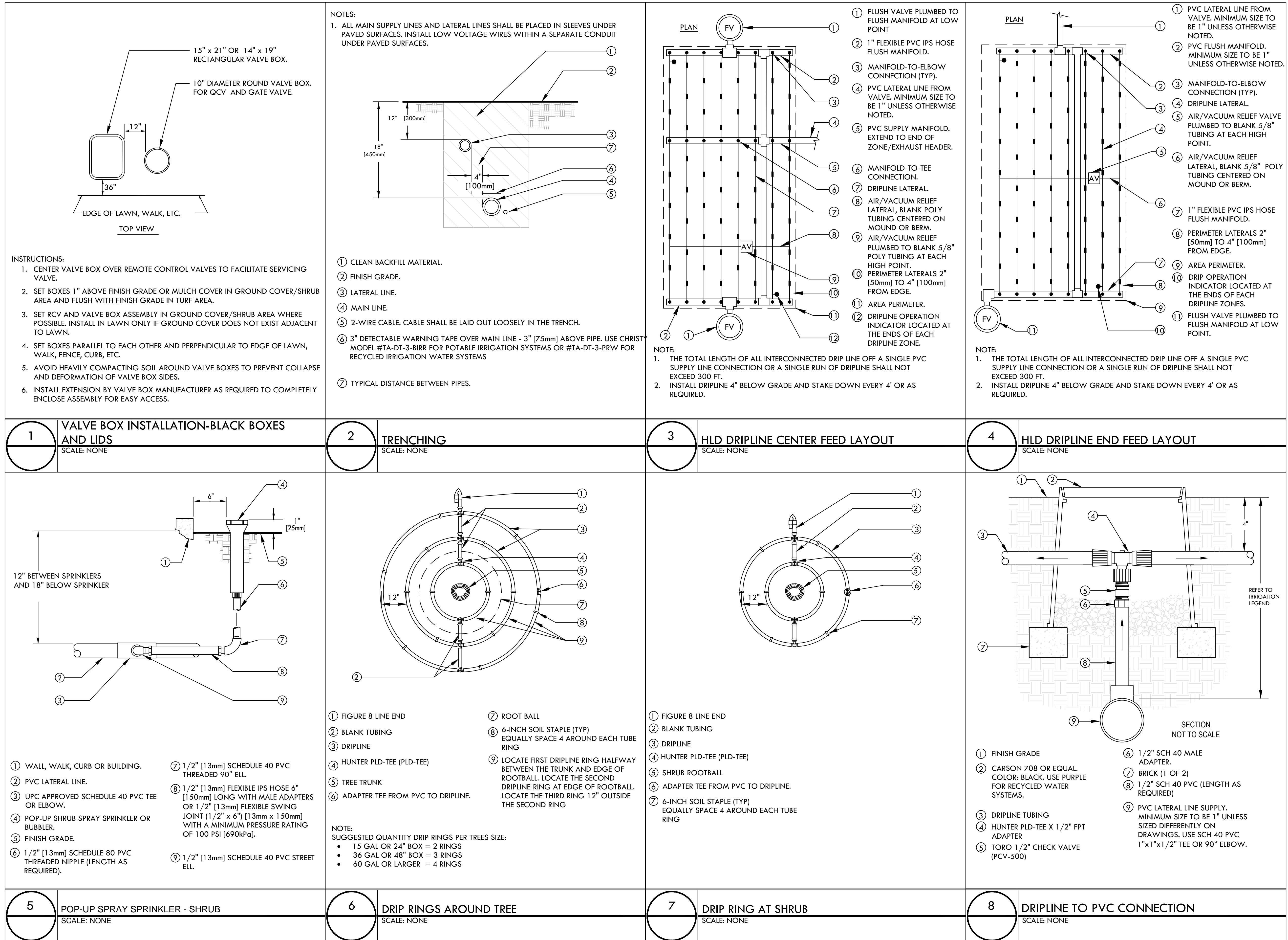
VAN ESS RESIDENCE
 182 Van Ess Way
 Carmel CA 93923

Date 08.01.2024
 Drawn by JC
 Scale NONE

RMA
 RUSSELL D. MITCHELL
 & ASSOCIATES, INC.
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Sheet number

L2.03



FIELD ARCHITECTURE

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Set / Revisions	
Description	Date
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PRE-APP SET	05.05.23
PLANNING SET	10.06.23
BUILDING PERMIT	08.07.24

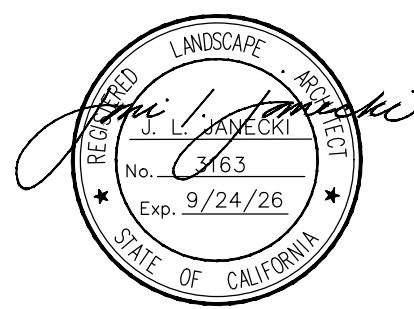
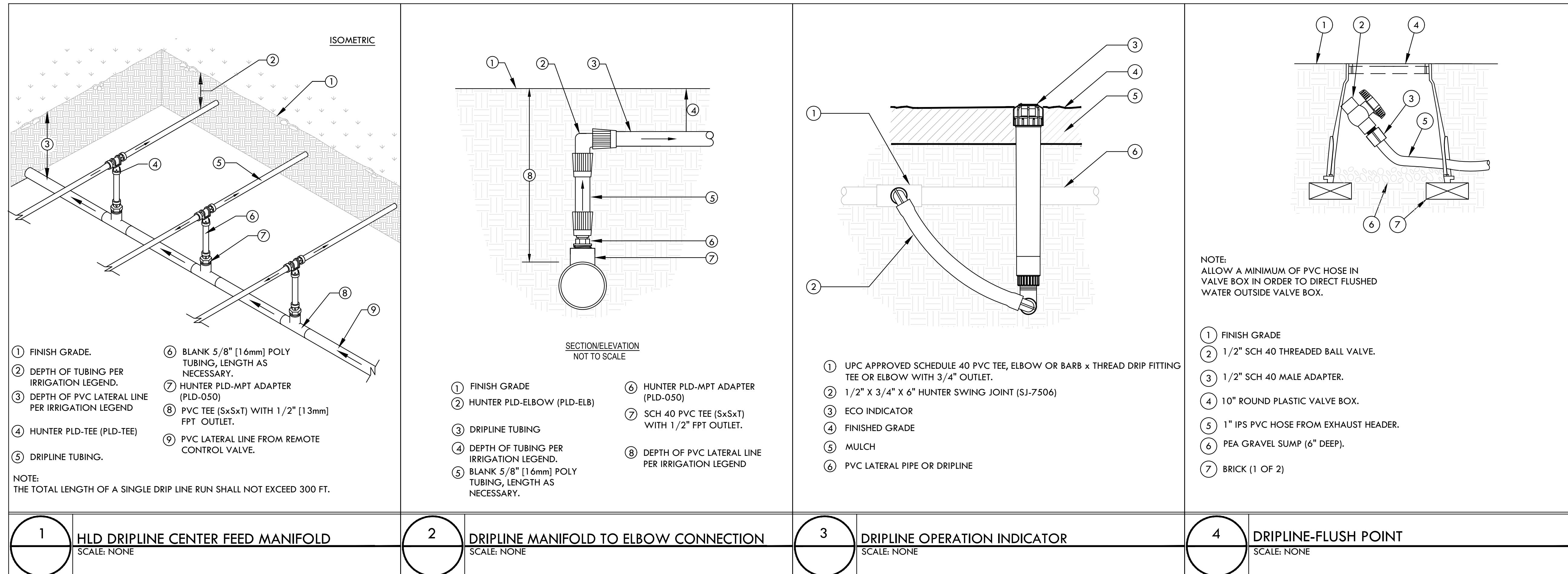
182 VAN ESS RESIDENCE

Carmer CA 33323
08.01.2024
by JC
NONE

REGISTRATION DETAILS

IRRIGATION DETAILS

number



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Issue Set / Revisions		
No.	Description	Date
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2	PRE-APP SET	05.05.23
3	PLANNING SET	10.06.23
4	BUILDING PERMIT	08.07.24

KEY PLAN

VAN ESS RESIDENCE

182 Van Ess Way
Carmel CA 93923

Date 08.01.2024
Drawn by JC
Scale NONE

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IRRIGATION DETAILS

Sheet number

L2.05

WATER USE ESTIMATION & IRRIGATION SCHEDULE - 182 Van Ess Way (Lower Residence)-Camel By-The-Sea

WATER TYPE	POTABLE
CITY	Monterey
ETO	36.0
DATE	8/5/2024

Nearest City to project with published ET data

REGULAR LANDSCAPE AREAS													ETWU (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE											
STATION/HYDROZONE	GPM	AREA (sq.ft) (HA)	WATER USE TYPE (LW=LOW, MW=MOD, HW=HIGH)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE/APPLICATION RATE (IN/HR)	ETAF (PF/IE)	CYCLES PER DAY	DAYS PER WEEK	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC		
												MONTHLY ETO													
												1.7	1.8	2.7	3.5	4.0	4.1	4.3	4.2	3.5	2.8	1.9	1.5		
A-1	3	230	LW	SHRUB GC LW	DRIP RINGS	0.3	0.75	0.9	0.4	2	2	0.0	0.0	9.0	11.0	13.0	13.0	13.0	11.0	9.0	6.0	0.0	2,053	2%	
A-2	4	349	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	2,885	3%	
A-3	2	115	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	951	1%	
A-4	3	220	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	1,819	2%	
A-5	1	47	MW	SHRUB GC MW	DRIP LINE 12"	0.5	0.81	0.9	0.6	2	3	0.0	0.0	9.0	11.0	13.0	13.0	14.0	11.0	9.0	6.0	0.0	648	0%	
A-6	2	83	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	686	1%	
A-7	2	50	LW	TREE LW	DRIP RINGS	0.3	0.75	0.9	0.4	2	2	0.0	0.0	9.0	11.0	13.0	13.0	13.0	11.0	9.0	6.0	0.0	446	0%	
A-8	10	1059	MW	SHRUB GC MW	DRIP LINE 12"	0.5	0.81	0.9	0.6	2	3	0.0	0.0	9.0	11.0	13.0	13.0	14.0	11.0	9.0	6.0	0.0	14,591	10%	
A-9	8	807	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	6,671	8%	
A-10	3	184	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	1,521	2%	
A-11	10	1221	LW	SHRUB GC LW	SPRAY	0.3	0.75	1.6	0.4	2	2	0.0	0.0	5.0	6.0	7.0	7.0	8.0	8.0	6.0	5.0	4.0	0.0	10,901	11%
A-12	9	1221	LW	SHRUB GC LW	SPRAY	0.3	0.75	1.6	0.4	2	2	0.0	0.0	5.0	6.0	7.0	7.0	8.0	8.0	6.0	5.0	4.0	0.0	10,901	11%
A-13	6	700	LW	SHRUB GC LW	SPRAY	0.3	0.75	1.6	0.4	2	2	0.0	0.0	5.0	6.0	7.0	7.0	8.0	8.0	6.0	5.0	4.0	0.0	6,250	7%
A-14	3	75	LW	TREE LW	DRIP RINGS	0.3	0.75	0.9	0.4	2	2	0.0	0.0	9.0	11.0	13.0	13.0	13.0	11.0	9.0	6.0	0.0	670	1%	
A-15	11	1093	LW	SHRUB GC LW	SPRAY	0.3	0.75	1.6	0.4	2	2	0.0	0.0	5.0	6.0	7.0	8.0	8.0	6.0	5.0	4.0	0.0	9,758	10%	
A-16	12	1364	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	11,276	13%	
A-17	2	90	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	744	1%	
A-18	9	932	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	7,705	9%	
A-19	3	286	LW	SHRUB GC LW	DRIP LINE 12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	8.0	10.0	12.0	12.0	12.0	10.0	8.0	6.0	0.0	2,364	3%	
A-20	2	150	LW	SHRUB GC LW	DRIP RINGS	0.3	0.75	0.9	0.4	2	2	0.0	0.0	9.0	11.0	13.0	13.0	13.0	11.0	9.0	6.0	0.0	1,339	1%	
POOL/SPA/COVER												0.7											6,578	4%	
																							TOTAL	100,756	100%

SPECIAL LANDSCAPE AREAS		
HYDROZONE #	HYDROZONE NAME	AREA (sq.ft) (HA)
		0%

MAWA	GALLONS/YR	131,316
	ACRE FEET/YR	0.40
	HCF/YR	175.56

ETWU	GALLONS/YR	100,756
	ACRE FEET/YR	0.31
	HCF/YR	134.70

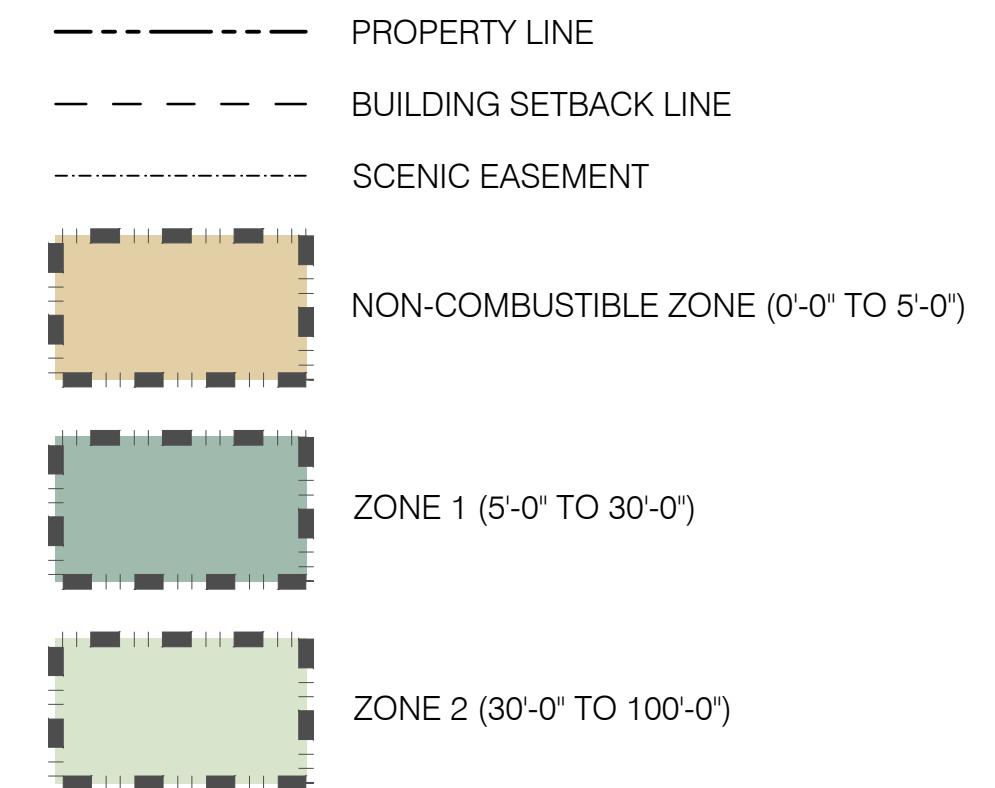
SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
75.2%	0.31	YES

MAWA FORMULA	

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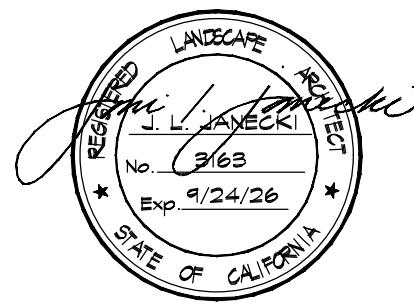


LEGEND



NOTES:

- REFER TO 182 VAN ESS WAY FUEL MANAGEMENT PLAN BY ONO CONSULTING DATED DECEMBER 7, 2022.



FIELD
ARCHITECTURE

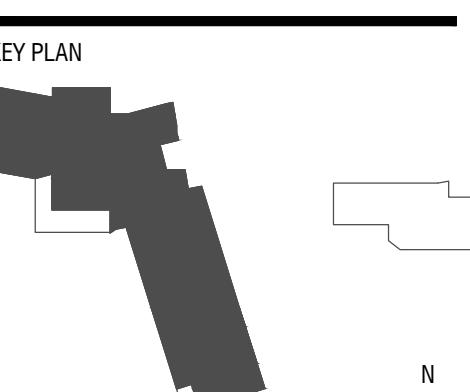
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VAN ESS RESIDENCE

182 Van Ess Way
Carmel CA 93923

Date 08.07.2024
Drawn by MO/YLN/W
Scale AS SHOWN

FUEL MANAGEMENT PLAN

Sheet number

L4.00