

Exhibit C

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**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

Roberts (PLN150505)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- a) Finding the project categorically exempt per Section 15302 of the CEQA Guidelines; and
- b) Approving a Combined Development Permit consisting of: 1) Administrative Permit and Design Approval for demolition of an existing 554 square foot residence and construct a new 1,464 square foot single family dwelling and attached 375 square foot garage and 2) a Variance to reduce front setback requirement from 30 feet to 10 feet along Southbank Road and reduce rear setback requirement from 20 feet to 17.5 feet; subject to 18 conditions of approval.

PLN150505, Roberts, 1 Southbank Road, Carmel Valley (Assessor's Parcel Number 189-471-005-000), Carmel Valley Master Plan Area

The Roberts application came on for public hearing before the Monterey County Planning Commission on October 27, 2016. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) The application for a Combined Development Permit was submitted on September 18, 2014. The initial submittal was deemed complete on April 20, 2016. During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan;
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist.

- b) The subject property is zoned Low Density Residential, 2.5 acres per unit with Design Control, Site Plan Review, and Residential Allocation zoning district overlays or “LDR/2.5-D-S-RAZ.” The proposed project is consistent with the allowed uses in this district.
- c) The proposed project does not meet the required front and rear setbacks of the Low Density Residential district. A Variance has been approved to allow the front setback to be reduced to 10 feet and the rear setback to 17 feet and 6 inches. See Findings 5, 6, and 7.
- d) The project planner conducted a site inspection on September 9, 2016 and verified that the project on the subject parcel conforms to the attached plans.
- e) The proposed project was reviewed by the Carmel Valley Land Use Advisory Committee (LUAC) on November 2, 2015. The LUAC recommended approval of the project by a vote of 6-0 as proposed (Exhibit C). No conditions of approval were recommended.
- f) The subject property is in compliance with all rules and regulations pertaining to zoning uses and any other applicable provisions of the County’s zoning ordinance. There are no known violations on the subject parcel.
- g) Zoning of the proposed project requires analysis of site development and structural design. These have been found to be consistent with County regulations (see Finding 3).
- h) The structure proposed for demolition was constructed in 1949. Therefore, a Historical Analysis was submitted as part of the application (Finding 2, Evidence b). This analysis concluded that the structure lacks any historical value.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN150505.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts Soils, Biological, and Architectural/Historical Resources. The following reports have been prepared:
 - Geotechnical Investigation, dated August 2015, by Butano Incorporated, Freedom, CA (LIB150369)
 - Biological Report, dated August 20, 2015, and Revision, dated June 7, 2016, by Ed Mercurio, Salinas, CA (LIB150367)

- Historical Analysis, dated September 25, 2015, by Kent L. Seavey, Pacific Grove, CA (LIB150370)

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Necessary public facilities are available. Water will be provided by California American Water Company and sewer will be provided by an onsite septic system, which has been reviewed by the Environmental Health Bureau.

3. **FINDING:** **DESIGN.** The location, size, configuration, materials, and colors of structures and fences are designed to protect the public viewshed, neighborhood character, and to assure the visual integrity of the area.
EVIDENCE:
 - a) The site has been designed to not require removal of any existing trees. The project has been conditioned to ensure protection of the trees that will remain. (Condition 6)
 - b) Implementation of 2010 General Plan Policy OS-1.2 requires development in such areas to be subordinate to the natural features of the area. The proposed sitting and design of property improvements are most ideal when compared to other impacts that would be caused by moving the development further back towards the west of the property. As a result, the applicant has elected to address these visual resource policies through the architectural design of the structures.
 - c) Policy CV-1.20 of the Carmel Valley Master Plan requires development to be visually compatible with the surrounding areas or enhance the quality of areas that have been degraded by existing development. The proposed residence has a similar low-lying feeling of the existing cabin and the proposed height is approximately 15 feet lower than the maximum allowed. This will allow the structure to maintain the existing vertical disturbance on the property without creating a greater impact.
 - d) The project includes submittal of a preliminary lighting plan incorporating the use of recessed light fixtures for exterior lights. Implementation of this plan is consistent with 2010 General Plan Policy LU-1.13 as it results in the installation of exterior lights that are downlit and off-site glare is controlled.

4. **FINDING:** **CEQA (Exempt)** – The proposed project is found to be exempt from environmental review pursuant to Section 15302 of the California Environmental Quality Act (CEQA) Guidelines.
EVIDENCE:
 - a) The proposed project includes the demolition and construction of a single family dwelling within a residentially zoned parcel. The proposed structure is located within the same footprint and will serve the same residential capacity as the existing structure.
 - b) There are no indication that implementation of the proposed project

would have an impact on an environmental resource such as biological or historical. Therefore, no exceptions listed in Section 15300.2 of the CEQA Guidelines can be made.

5. **FINDING:**

VARIANCE (SPECIAL CIRCUMSTANCES) – The variance shall be granted because of special circumstances applicable to the subject property, including the size, shape, topography, location or surroundings. The strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under and under identical zoning classification.

EVIDENCE:

- a) The subject property is zoned Low Density Residential, 2.5 acres per unit with Design Control, Site Plan Review, and Residential Allocation zoning district overlays or “LDR/2.5-D-S-RAZ.”
- b) A single family home is allowed in the LDR zone pursuant to Section 21.14.030.A of the Monterey County Zoning Ordinance (Title 21). Development standards for the LDR zone are identified in Section 21.14.060 of Title 21 and the required setbacks for a main dwelling are 30 feet (front), 20 feet (rear), and 10% of the average lot width (sides). The property is oriented with a front set back from Southbank Road along the east property line, making the west property line the rear and the north and south property lines side yards. Due to the constraints discussed in subsequent Evidence “c,” the applicant requests a variance to reduce the front setback from 30 feet to 10 feet and reduce the rear setback from 20 feet to 17.5 feet. The subject property presents a unique situation due to the size and rectangular shape. The widest portion of the property, along the southern property line, is 79 feet and meeting the front and rear setback requirements would be a hardship for the property owner.
- c) Development on the subject property is highly constrained. The Southbank road right of way runs along the northern and eastern property lines and the Hitchcock Canyon Creek takes up a portion of the western side of the property. Due to these constraints, development area of the site that is outside of the front and rear setback is 22 feet at the widest, with an average of approximately eight feet. There are no identified design alternatives for a single family dwelling that could the setback requirements. In addition, the existing 544 square foot cabin is legal non-conforming as to setback. Pursuant to Section 21.68.040.B of Title 21, a complete remodel to bring the structure up to current standards would not be allowed without an approval of a Variance
- d) Requiring the front setback would cause development to be located on the western portion of the property would result in impacts to Hitchcock Canyon Creek as well as exacerbate non-compliance with the rear setback. The site has been analyzed to evaluate and identify the most appropriate area for an onsite wastewater treatment system. The identified area for the subsurface drip dispersal system is located on the

southeastern portion of the property. Consequently, this is also the same area where development potential outside of the front setback is at its widest. Based on both evidence “c” and “d,” the strict implementation of the front setback requirement would result in a property that is unbuildable. Therefore, the applicant requests a variance to reduce the front setback to 10 feet and the rear setback to 17.5 feet.

- e) The project planner conducted a site inspection on September 9, 2016 to verify the circumstances related to the property.
- f) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150505.

6. **FINDING:** **VARIANCE (SPECIAL PRIVILEGES)** – The variance shall not constitute a grant of privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) Evidence within Finding No. 5 discusses the constraints of the site and that the strict implementation of the required front setback requirement would result in a property that is unbuildable. The subject property has a residential land use designation that allows single family dwellings. Denial of the Variance would prevent the use of the subject property as intended by zoning.
 - b) Development within the area consists of residential homes, rural in nature and setting, yet compact due to similar site constraints. Many structures are located well within the front setback to avoid development within the Hitchcock Canyon Creek on the west and slopes in excess of 30% on the east. As discussed in Finding 6 and supporting evidence, the site is a unique situation and approval of the Variance would not result in granting of a special privilege.
 - c) The project planner conducted a site inspection on September 9, 2016 to verify the circumstances related to the property.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150505.

7. **FINDING:** **VARIANCE (AUTHORIZED USE)** – The variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

- EVIDENCE:**
- a) As specified in Findings 5 and 6, the subject property allows for residential uses and the proposed project is for the demolition and construction of a single-family dwelling, which is an allowed use in the Low Density Residential zoning district.
 - b) The project planner conducted a site inspection on September 9, 2016 to verify the circumstances related to the property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed

development are found in Project File PLN150505.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Section 21.80.040.B of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- a) Find the project exempt per Section 15302 of the CEQA Guidelines; and
- b) Approve a Combined Development Permit consisting of: Administrative Permit and Design Approval for demolition of an existing 554 square foot residence and construct a new 1,464 square foot single family-dwelling and attached 375 square foot garage and a Variance to reduce front setback requirement from 30 feet to 10 feet along Southbank Road and reduce rear setback requirement from 20 feet to 17.5 feet; in general conformance with the attached plan and subject to the attached 18 conditions of approval, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th the day of October, 2016:

COPY OF THIS DECISION MAILED TO APPLICANT ON **DATE**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **DATE**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150505

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN150505) allows the demolition of an existing 554 square foot cabin and the construction of a 1,464 square foot single family dwelling with a 375 square foot attached garage and a Variance to allow development to encroach into required setbacks. The property is located at 1 Southbank Road, Carmel Valley (Assessor's Parcel Number 189-471-005-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure:

"A Combined Development Permit (Resolution Number 150505) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 189-471-005-000 on October 27, 2016. The permit was granted subject to 18 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;

2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;

3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

6. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to RMA-Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to RMA-Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

7. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

8. EHSP01 – ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM PERMIT (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau has determined that a conventional onsite wastewater treatment system ("OWTS" or septic system) on the subject property could not meet minimum standards specified by Monterey County Code, Chapter 15.20, specifically, setback to a drainage way, separation to groundwater and very fast percolation rates. The applicant has demonstrated that adequate area exists to accommodate an alternative OWTS. UV disinfection must be incorporated into the alternative OWTS design.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant shall submit to the Environmental Health Bureau for review and approval an alternative OWTS permit application, supporting documentation and all applicable fees.

9. EHSP02 - ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: DEED RESTRICTION (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The property owner shall record a deed restriction with the Monterey County Recorder for Assessor's Parcel No. 189-471-005-000 which indicates that an alternative onsite wastewater treatment system ("OWTS") is installed on the property. The deed restriction shall include, but is not limited to, the following details:

- The alternative OWTS is subject to all future federal, state or local laws and ordinances regarding the permitting, operation and maintenance and/or monitoring of alternative OWTS
- The alternative OWTS is subject to an annual operating permit with applicable fees paid to the Environmental Health Bureau
- Property owner agrees to enter into and maintain a maintenance contract with an authorized service provider

The property owner will be responsible to pay cost recovery fees associated with Environmental Health Bureau staff time to prepare the deed restriction.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permit, the property owner(s) shall sign and notarize the deed restriction form obtained from the EHB and return to the EHB for approval to form by the EHB and County Counsel. Record the executed deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

10. EHSP03 – ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: MAINTENANCE CONTRACT (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The proposed alternative onsite wastewater treatment system ("OWTS") requires ongoing maintenance and monitoring to function as designed. An executed operations and maintenance contract with an authorized service provider must be submitted to the Environmental Health Bureau ("EHB"). The contract must include, but is not limited to:

- Contract term, specification of services to be performed and frequency of service; and
- Statement indicating that EHB will be notified if either party fails to comply with the contract terms; and
- A monitoring/ maintenance report, including effluent quality as specified by the associated alternative OWTS operating permit, shall be submitted to the EHB every 6 months, or as specified by the EHB operating permit; and
- The EHB shall be notified at each contract renewal term, and a copy of the contract shall be submitted to the EHB.

Compliance or Monitoring Action to be Performed: Prior to final inspection of construction permit, submit an executed operations and maintenance contract with an authorized service provider to the Environmental Health Bureau.

11. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

12. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

13. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

15. PW0005 - ENCROACHMENT (STD DRIVEWAY)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Southbank Road.

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits Issuance, Owner/Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible in obtaining all permits and environmental clearances.

16. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

17. WR036 - STREAM SETBACK

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The development is proposed within 50 feet of the top of bank of Hitchcock Canyon Creek; therefore, the applicant shall prove to the satisfaction of the Water Resources Agency that the proposed development will be safe from flow-related erosion hazards and will not significantly reduce the capacity of the existing watercourse. The applicant shall submit a report, prepared by a registered civil engineer, certifying the proposed development is compliant with Monterey County Code Chapter 16.16.050.K. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit the report to the Water Resources Agency for review and approval.

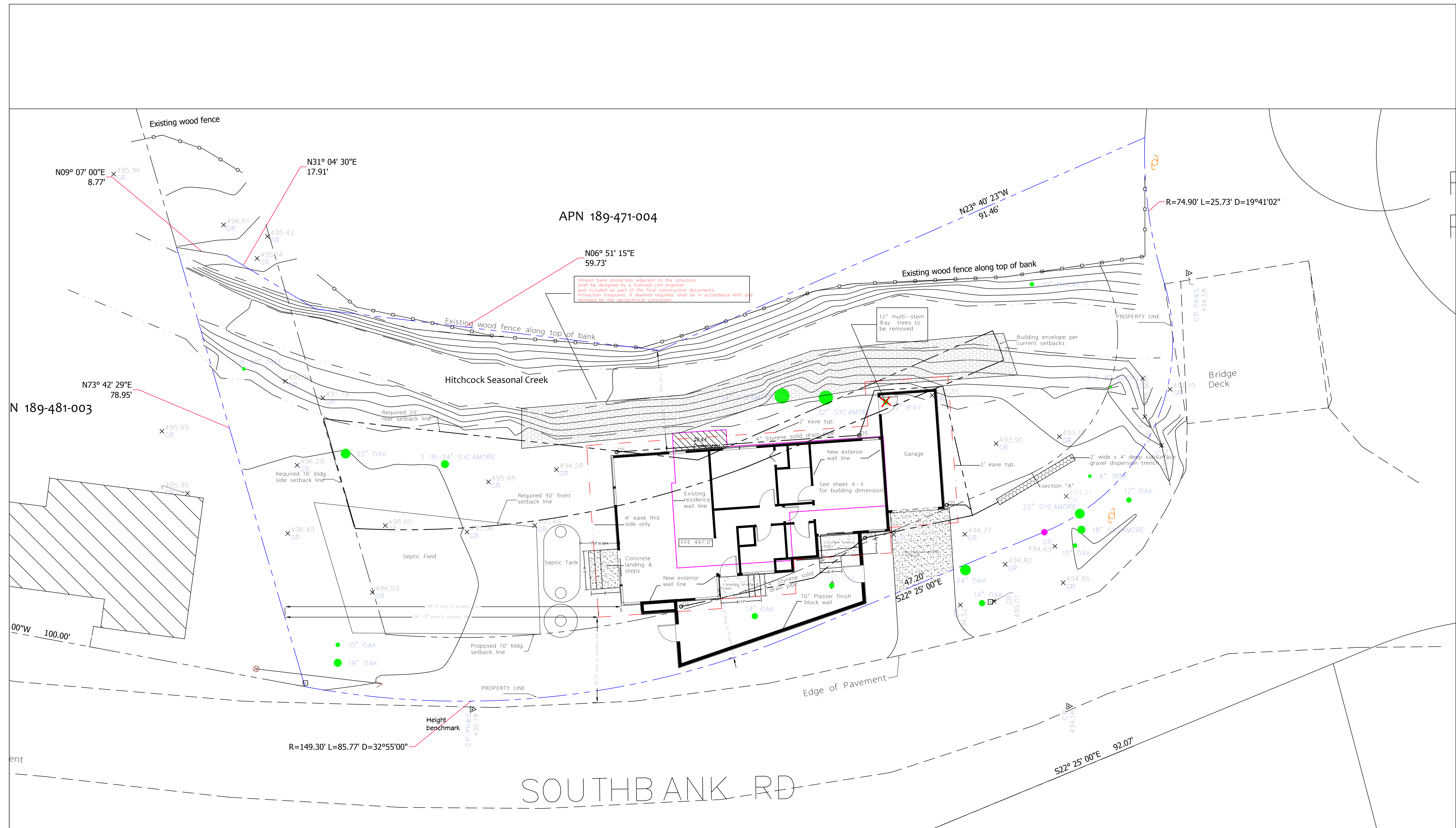
18. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

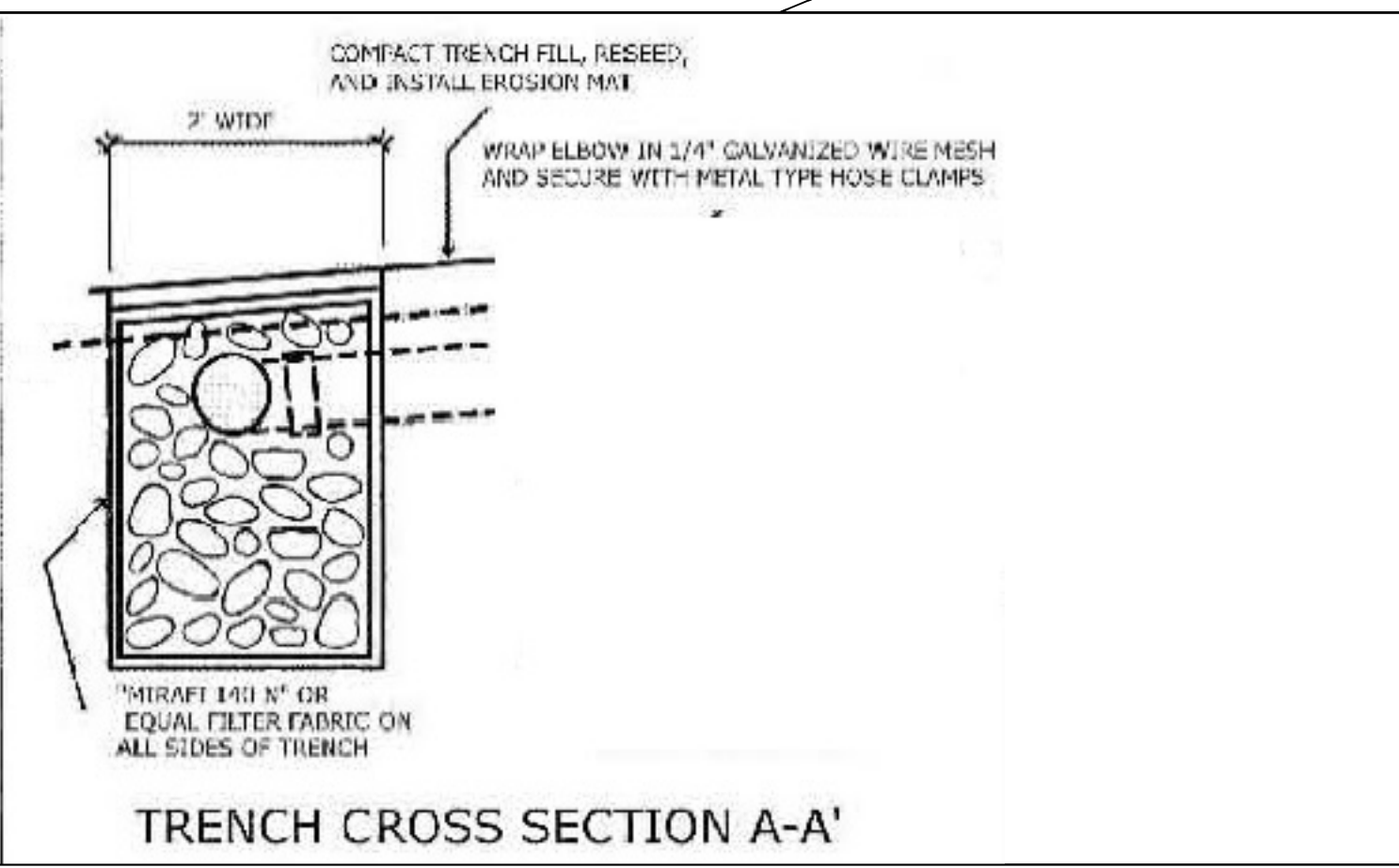
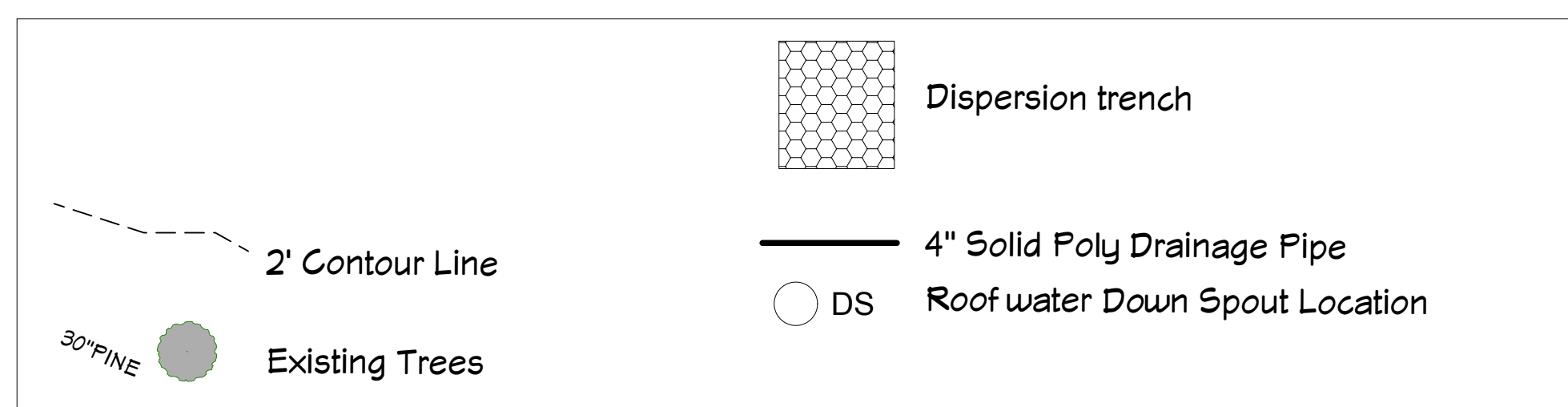
Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:
www.mcwra.co.monterey.ca.us.



SOUTH BANK RD



Addition & Remodel

1 Southbank Road
Carmel Valley, California
APN: 189-471-005

Sheet Title
Site Plan
North

Date REV 7/27/16 Scale 1/8" = 1'-0"

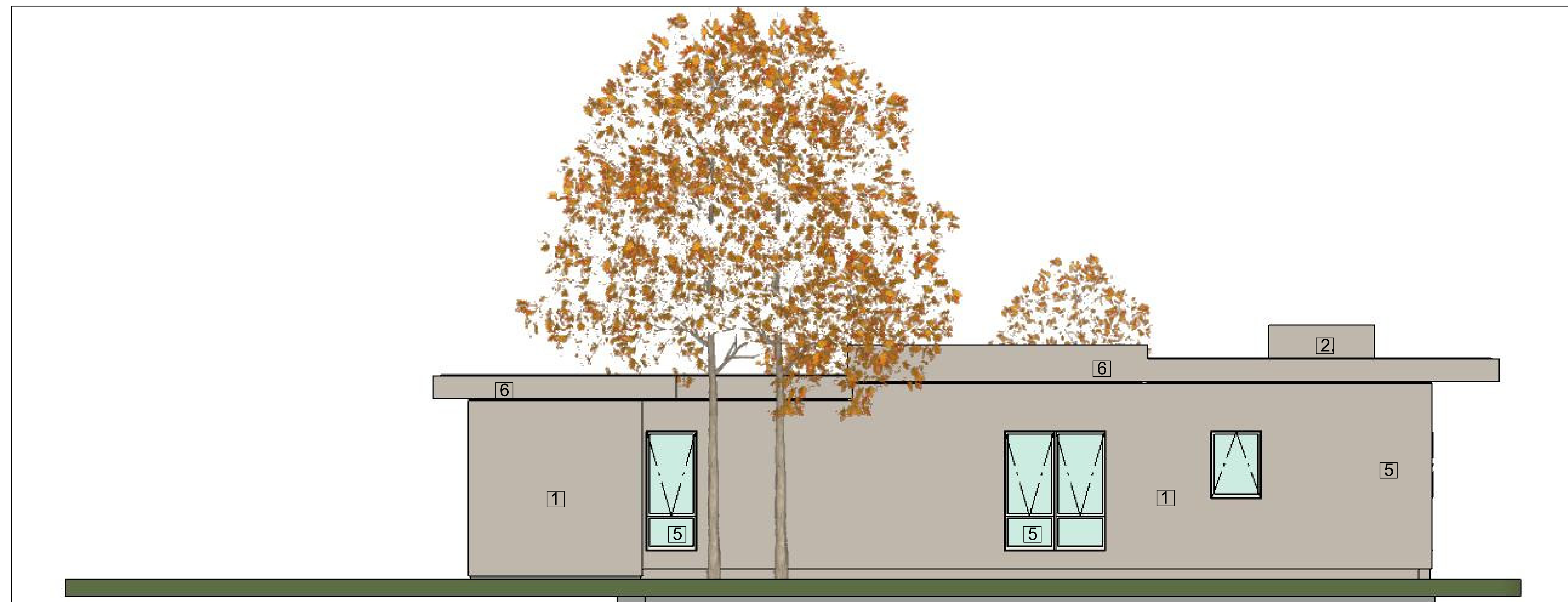
A2



- 1 Stucco Finish
- 2 Fireplace Chase Stucco Finish
- 3 Clad Garage Door With Obscure Glass
- 4 Clad Doors
- 5 Clad Windows
- 6 Fascia With Stucco Finish



Front Elevation



Back Elevation

Addition & Remodel

1 Southbank Road
Carmel Valley, California
APN: 189-471-005

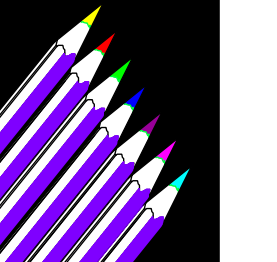
Sheet Title

Elevations

Date REV 7/27/16 Scale 1/4" = 1'-0"

A4

Project Design



David Freau
111 Heister Street #201
Menlo Park, California 94025
877-600-2000
License # 435160

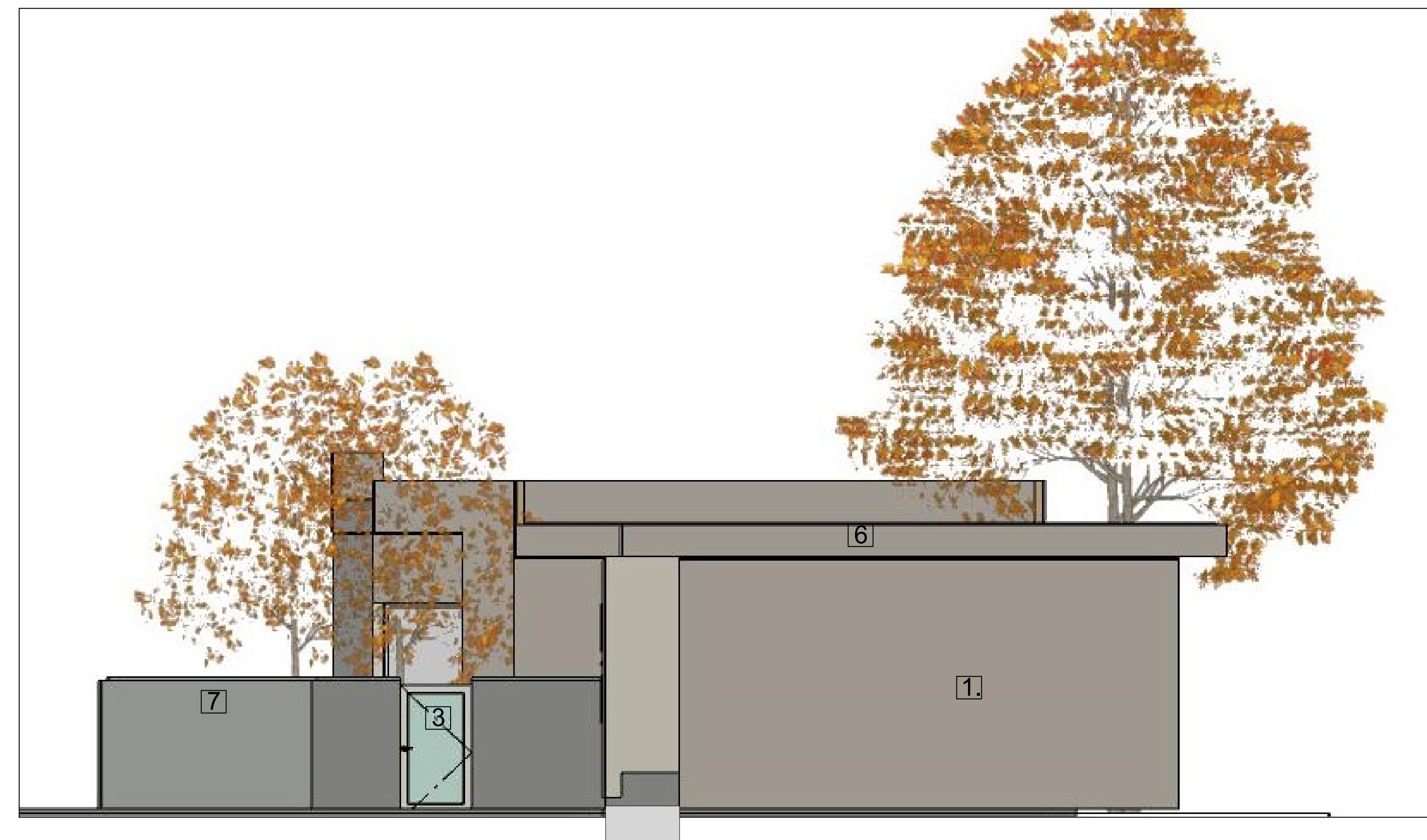
FOUNDATION NOTE:

Due to the proximity of Hitchcock Creek the finish floor elevation FFE will be raised 1'-6" above the average natural grade to prevent potential flood water intrusion.

- 1 Stucco Finish
- 2 Fireplace Chase Stucco Finish
- 3 Clad Patio Door With Obscure Glass
- 4 Clad Doors
- 5 Clad Windows
- 6 Fascia With Stucco Finish
- 7 6' Privacy Wall with Stucco Finish



Left Elevation



Right Elevation

Addition & Remodel

1 Southbank Road
Carmel Valley, California
APN: 189-471-005

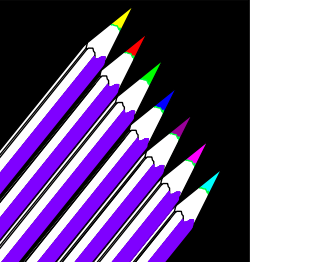
Sheet Title

Elevations

Date REV 7/27/16 Scale 1/4" = 1'-0"

A5

Project Design



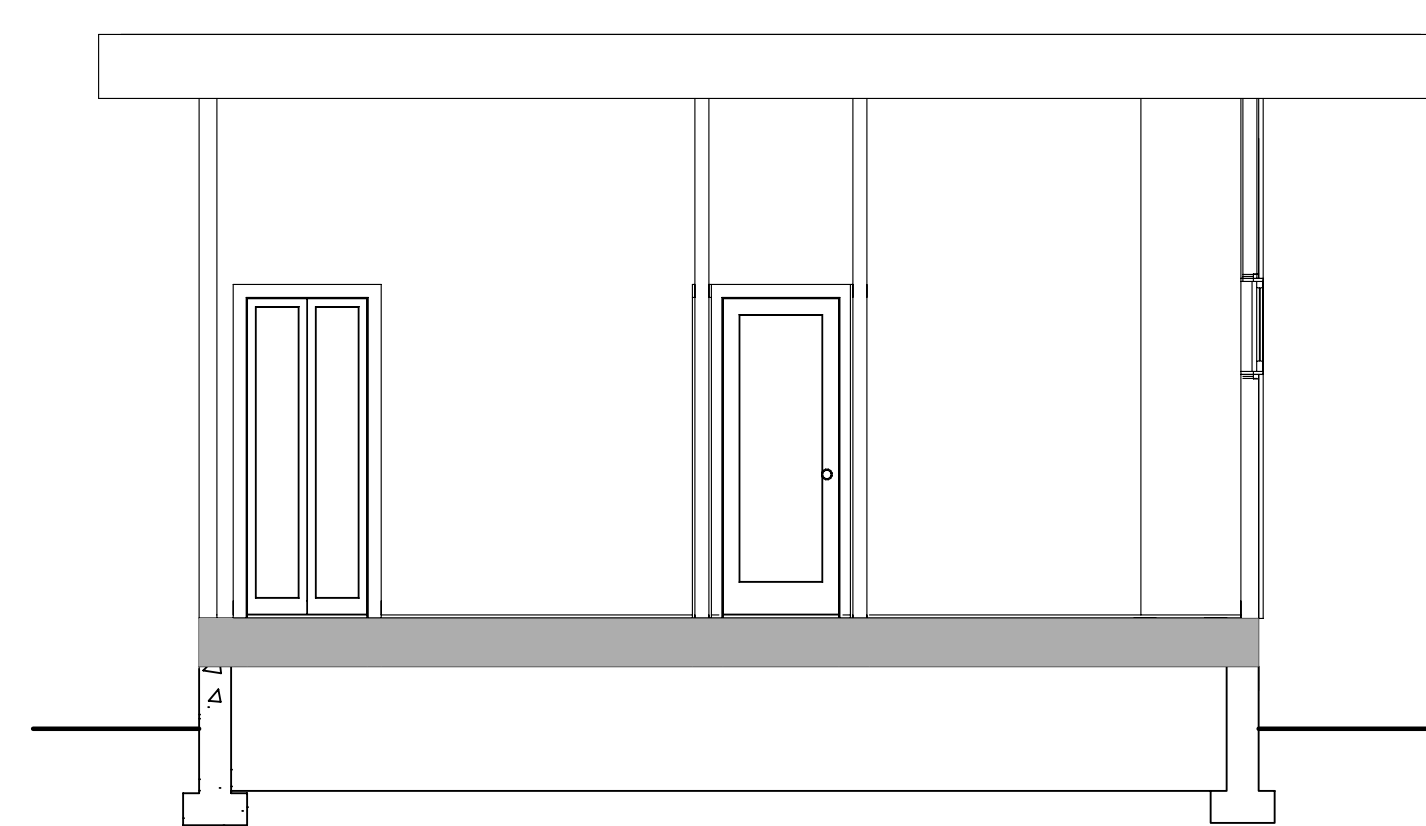
David Frew
111 Webster Street #201
Menlo Park, California 94025
811 820 2050
License # 059160



- 1. Stucco Finish
- 2. Fireplace Chase Stucco Finish
- 3. Clad Garage Door With Obscure Glass
- 4. Clad Doors
- 5. Clad Windows
- 6. Fascia With Stucco Finish
- 7. 6' Privacy Wall with Stucco Finish

Front Street Elevation

Building envelope max.ht. 30'



Section "B"

Roof 509.0'
 Ceiling Ht. 507.0'
 Finish Floor 497.0'
 Grade 495.5'



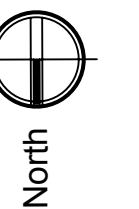
Section "A"

Addition & Remodel

1 Southbank Road
 Carmel Valley, California
 APN: 189-471-005

Sheet Title

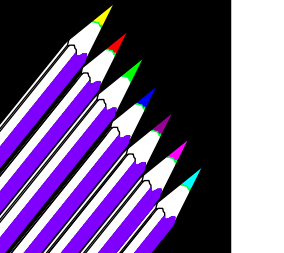
Elevations



Date REV 7/27/16 Scale 1/4" = 1'-0"

A6

Project Design



David Preu
 171 Webster Street #201
 Monterey, California 93940
 831.622.2180
 License # 418160

PROJECT DESCRIPTION
PROJECT DESCRIPTION

An onsite wastewater system specifying enhanced treatment using alternative technology is proposed to serve a proposed rebuild of a dwelling located at 1 Southbank Road in Carmel Valley in Monterey County, California. An "alternative" system with subsurface drip dispersal is specified to provide supplemental treatment of the wastewater discharged to address site constraints.

CONSTRAINTS & DESIGN CRITERIA

- The proposed system is designed to serve up to a 3 bedroom dwelling with design wastewater flow of 300 gallons per day (gpd) per County Environmental Health guidelines. The AdvanTex™ supplemental wastewater treatment system specified is sized to accommodate typical wastewater flows from a typical 3 bedroom residence, with occasional peak flow of up to 1,000 gpd.
- Seasonally high groundwater is estimated to occur at 6.5' below grade based on measurements taken of the creek water level on 3/16/16.

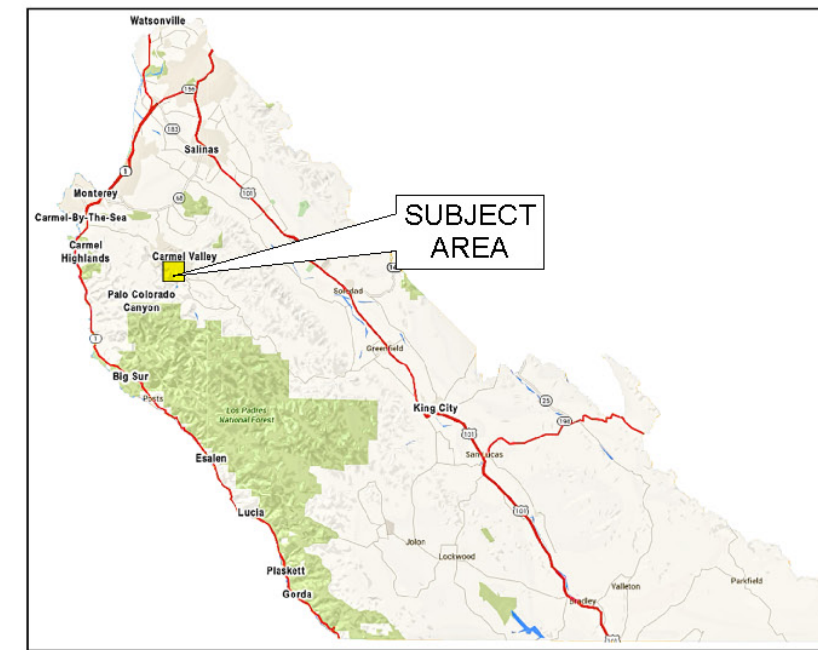
SPECIFICATIONS

- Building Sewer Lines, & Proposed Processing Tank**
 - A 4" ABS building sewer line shall be installed to convey all raw sewage from dwelling to the processing tank. All gravity sewer piping must maintain a minimum 2% continuous gradient. **All wastewater including graywater shall be discharged to the processing tank.**
 - Locate a 2-way, 4" ABS cleanout fittings on the building sewer to facilitate snaking and line location.
 - A 1,500 gallon, watertight, Fiberglass Reinforced Polyester (FRP) tank, from Orenco Systems®, Inc. (OSD), is specified for use as a processing tank with the proposed AdvanTex™ (Mode 1B) treatment system. The tank shall have 24" diameter OSI access risers with fiberglass, bolt-down lids. Access riser height shall be determined in field. The tank shall be installed according to the manufacturer's guidelines including the 6" concrete collar above tank flange to prevent floatation.
 - The tank hole shall be excavated so that the tank sits level. Install the access risers with a watertight joint using the adhesives supplied by manufacturer.
 - Install the tank inlet fitting with a watertight joint. Cap off or use a test plug on this fitting and fill the tank with clean water 2" above the joint between the riser and the tank top. Repair any leaks.
 - Obtain a watertight tank inspection by Environmental Health and the designer or distributor with 24 hours notice to each.
 - Install the recirculating splitter valve (RSV) in the outlet side of the tank according to installation manual.
- AdvanTex™ Treatment System**
 - An AdvanTex™ treatment system includes a Biotube® pump package for recirculation, RSV, split-flow tee, AX20 packed-bed filter pod, a UV disinfection unit and telemetry-enabled VeriComm® control panel.
 - Install the AdvanTex™ system according to the installation instructions and in the location shown on the plan. **The filter pod shall be installed with the lid 2"-4" above final grade.**
 - The pressurized transport pipe from the recirc. pump to the filter pod shall be 1.0" schedule 40 PVC. This pressurized line shall be plumbed to the side of the pod opposite of the 2" gravity drain (vent side).
 - The filtrate gravity return pipe from the filter pod to the RSV and on to the discharge pump basin shall be 2" schedule 40 PVC. **Assure continuous fall on the return piping as venting through this pipe is critical.**
 - Test the squirt height on the filter pod. It should be approximately 3'-4" high.
- Discharge Pump Tank and Filtrate Pumping**
 - A 500 gallon OSI pump tank shall be installed adjacent to the processing tank.
 - The pump tank shall be installed according to the manufacturer's instructions and be made watertight.
 - The pump tank shall be installed with a concrete collar (to prevent floatation) and be filled with clean water immediately after installation.
 - Install the pump and float tree according to the instructions provided by manufacturer/dealer.
 - A 1/2 hp OSI high head effluent pump [PF1005] is specified for pressurized dispersal discharge.
 - The filtrate **transport pipe to dispersal system shall be 1.0" schedule 40 PVC (color coded purple).**
- Subsurface Drip Dispersal System**
 - Approximately 750 lineal feet of Geoflow PC drip tubing (with 0.5gph emitters spaced 12" apart) shall be installed in two zones with a minimum of 12" lateral spacing covering an area of at least 750 square feet in the configuration shown on plan. The 4 air/vacuum relief valves specified shall be supplied by Geoflow.
 - The drip dispersal field shall be installed according to the instructions in the Geoflow installation manual. Installer shall assure that each drip lateral be installed in such a manner as to reduce the potential of low head drainage as described in the installation manual. The location and layout of the two dispersal zones shall be installed as shown on the plan.
 - The drip tubing lines shall be buried 8"-12" deep and spaced no closer than 12" apart. The supply header shall be installed 12" - 18" below grade. It may be easier to install the drip tubing first, and the supply and return headers afterwards. Great care must be taken to keep dirt out of the drip tubing and supply and return piping. All piping shall be thoroughly flushed and pressure tested prior to use.
 - The drip field flush return line is specified to be plumbed into the processing tank inlet.
 - All pressurized piping shall be schedule 40 PVC and color-coded purple and labelled according to current UPC requirements. Reclaimed water - do not drink!
- Installer Qualifications and Responsibilities**
 - The system installer shall be licensed by the State of California, Department of Consumer Affairs, to install septic systems. Installer certification is required by the local AdvanTex™ dealer. The installer is required to fully read and understand the AdvanTex™ and Geoflow manuals prior to the commencement of work.
 - All piping shall conform to the current edition of the California Plumbing Code.
 - The installer shall be responsible for locating any property lines, underground utilities or piping. Any damage to these facilities shall be the responsibility of the installer.
 - A pre-construction conference with designer, inspector and dealer/service provider shall be arranged prior to the commencement of work. Construction inspections, watertight tank test inspection, AdvanTex™ installation inspection, and final operation of system shall be made by designer (BioSphere Consulting) or the dealer/service provider and the County of Monterey Department of Environmental Health. The installer shall give at least 24 hours notice to each party for all inspections.
- Electrical Work**
 - The VeriComm® control panel shall be installed in the location shown on the map **with the bottom of the panel box at 51" from the ground surface.**
 - Three, 20 amp, 120V electrical circuits shall be extended to the VeriComm® panel in a single conduit. Underground circuits in separate conduits shall be installed from the recirculation pump and discharge pump. A separate underground conduit containing a live CAT5 phone line shall be installed to the VeriComm® panel. The system will not be finalized until everything (including panel telemetry) is functional.
 - All work shall conform to the California Electrical Code and the contractor shall be responsible for obtaining any electrical permits required.

SYSTEM OPERATION AND MAINTENANCE

- The owner should read and operate the system according to the AdvanTex™ & Geoflow operation and maintenance literature.
- Orenco requires biannual maintenance servicing of the AdvanTex™ by a qualified technician.
- County Environmental Health will issue an OWS Annual Operating Permit and requires that the property owner maintain a system service agreement/contract with a qualified third-party service provider. This requirement will be placed on the title deed for the property.
- The drip fields should be manually flushed one zone at a time every 12 months at a minimum. No drip zone should be left dormant (un-dosed) for more than a few weeks at a time.
- The treatment tank is alive with important microorganisms. Do not add any materials (paint thinner, paint, motor oil, unused medicine, etc.) that may disrupt the biologic treatment process. The primary tank should be pumped when the total of the scum/sludge thickness is greater than 1/3 of the total liquid level depth.
- DO NOT ROUTE WATER SOFTENER BACKFLUSH DISCHARGE TO TREATMENT SYSTEM!** This discharge may be routed directly to a drainfield trench or an approved dispersal field.
- Repair all plumbing leaks (especially toilet leaks) promptly.

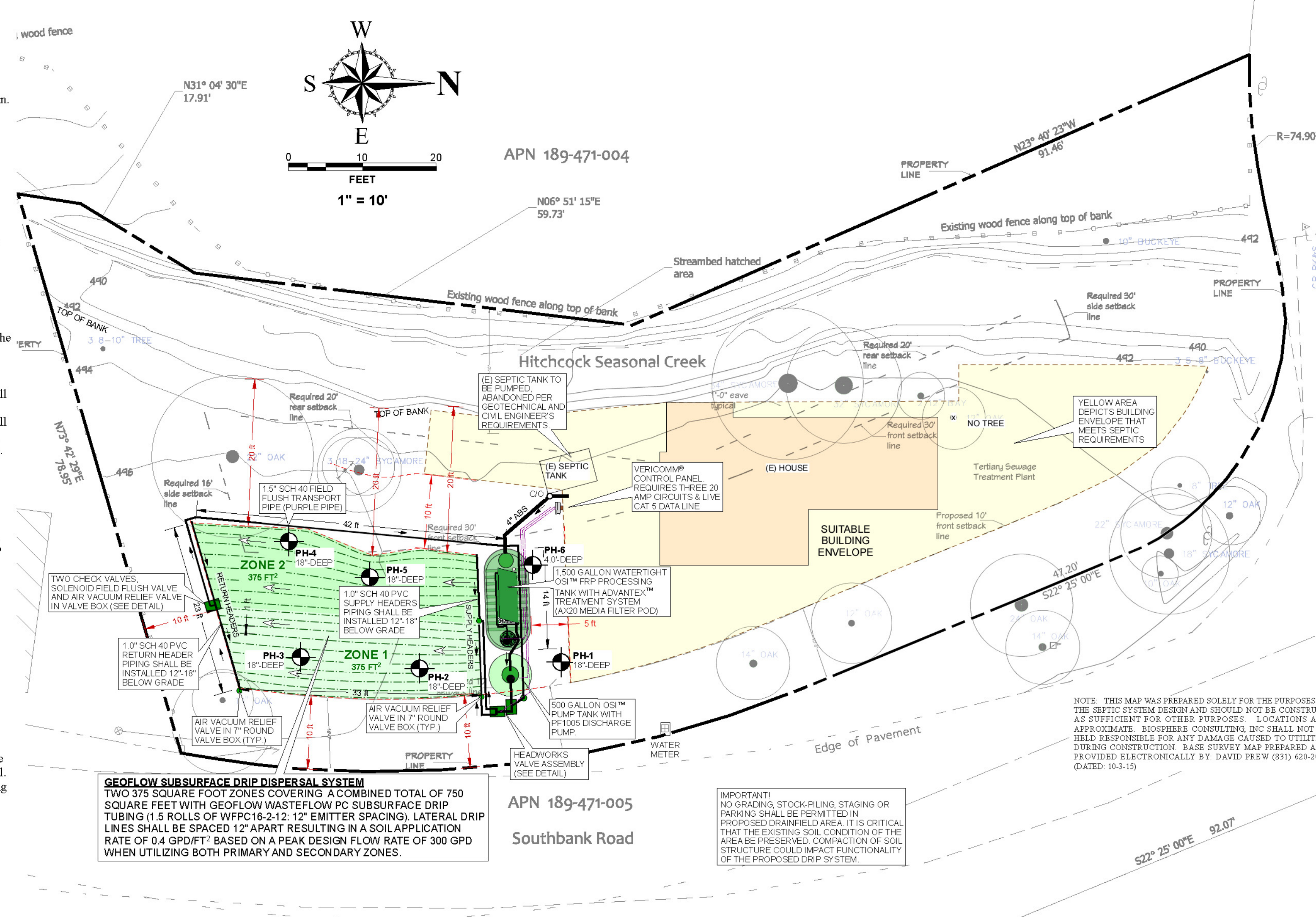
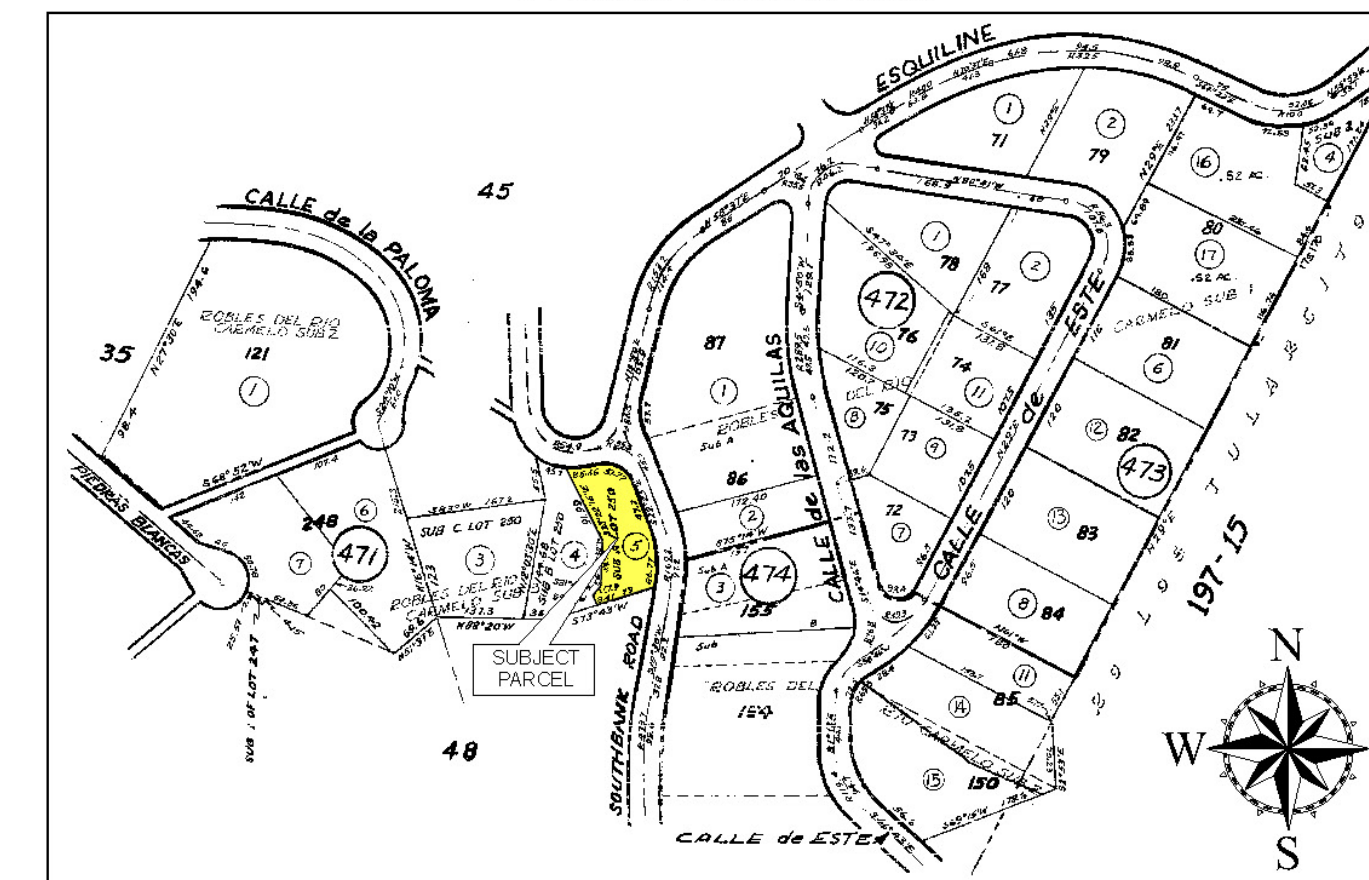
COUNTY INDEX MAP



TOPOGRAPHIC VICINITY MAP



PARCEL INDEX MAP



GEOFLOW SUBSURFACE DRIP DISPERSAL SYSTEM
TWO 375 SQUARE FOOT ZONES COVERING A COMBINED TOTAL OF 750 SQUARE FEET WITH GEOFLOW WASTEFLOW PC SUBSURFACE DRIP TUBING (1.5 ROLLS OF WFFPC16-2-12, 12" EMITTER SPACING). LATERAL DRIP LINES SHALL BE SPACED 12" APART RESULTING IN A SOIL APPLICATION RATE OF 0.4 GPD/FT² BASED ON A PEAK DESIGN FLOW RATE OF 300 GPD WHEN UTILIZING BOTH PRIMARY AND SECONDARY ZONES.

IMPORTANT!
NO GRADING, STOCK-PILING, STAGING OR PARKING SHALL BE PERMITTED IN PROPOSED DRAINFIELD AREA. IT IS CRITICAL THAT THE EXISTING SOIL CONDITION OF THE AREA BE PRESERVED. COMPACTION OF SOIL STRUCTURE COULD IMPACT FUNCTIONALITY OF THE PROPOSED DRIP SYSTEM.

NOTE: THIS MAP WAS PREPARED SOLELY FOR THE PURPOSES OF THE SEPTIC SYSTEM DESIGN AND SHOULD NOT BE CONSTRUED AS SUFFICIENT FOR OTHER PURPOSES. LOCATIONS ARE APPROXIMATE. BIOSPHERE CONSULTING, INC. SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES DURING CONSTRUCTION. BASE SURVEY MAP PREPARED AND PROVIDED ELECTRONICALLY BY DAVID FEW (831) 620-2080 (DATED: 10-3-15)

BioSphere Consulting
Alternative Wastewater System Design
www.biosphere-consulting.com

- Site Evaluation & Mapping
- Soil Analysis & Percolation Testing
- New Development, Upgrade & Repairs
- Residential & Commercial

1315 King Street
Santa Cruz, CA 95060
Tel: (831) 430-9116

ALTERNATIVE ONSITE WASTEWATER SYSTEM DESIGN FOR THE REBUILD OF A SINGLE FAMILY DWELLING
PROPOSED ENHANCED TREATMENT SYSTEM SPECIFYING PRESSURIZED DISPERSAL TO SUBSURFACE DRIP TUBING

Project Location:	1 Southbank Rd., Carmel Valley, California [Monterey County]
Property Owner:	Kim Roberts
Mailing Address:	PO Box 57, Carmel Valley, CA 93924
Owner Phone #:	Dave Prew (Architect): (831) 620-2080
Directions to Site:	From CA-1 south in Carmel, turn left onto Carmel Valley Rd (11.9 mi) Turn right onto Esplanade Rd then Southbank Rd Property on your right.
Date:	03/29/16
By:	D. Q.
Job No.:	16001
APN:	189-471-005
Sheet:	1 of 2

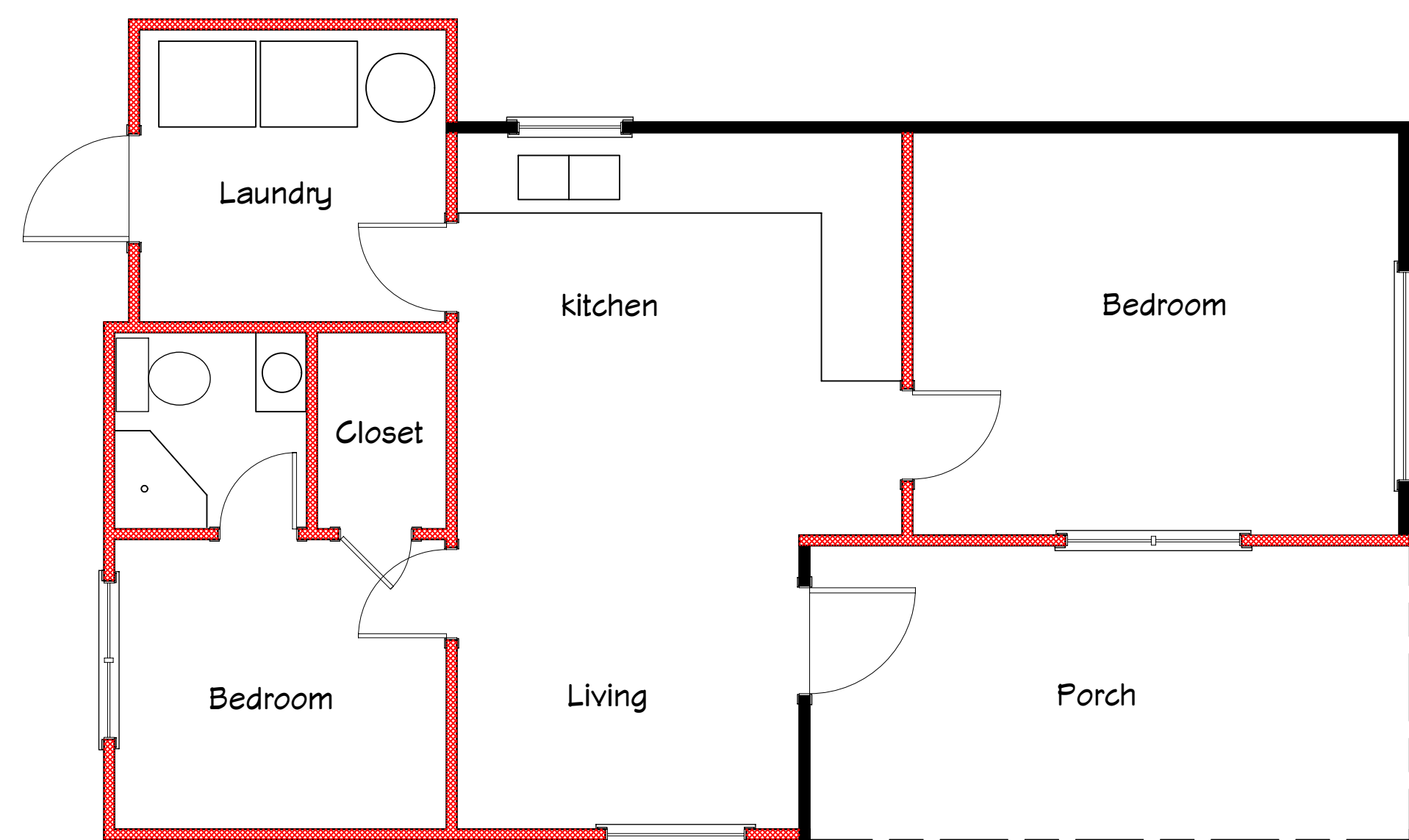


Addition & Remodel
1 Southbank Road
Carmel Valley, California

Sheet Title
Septic Plan

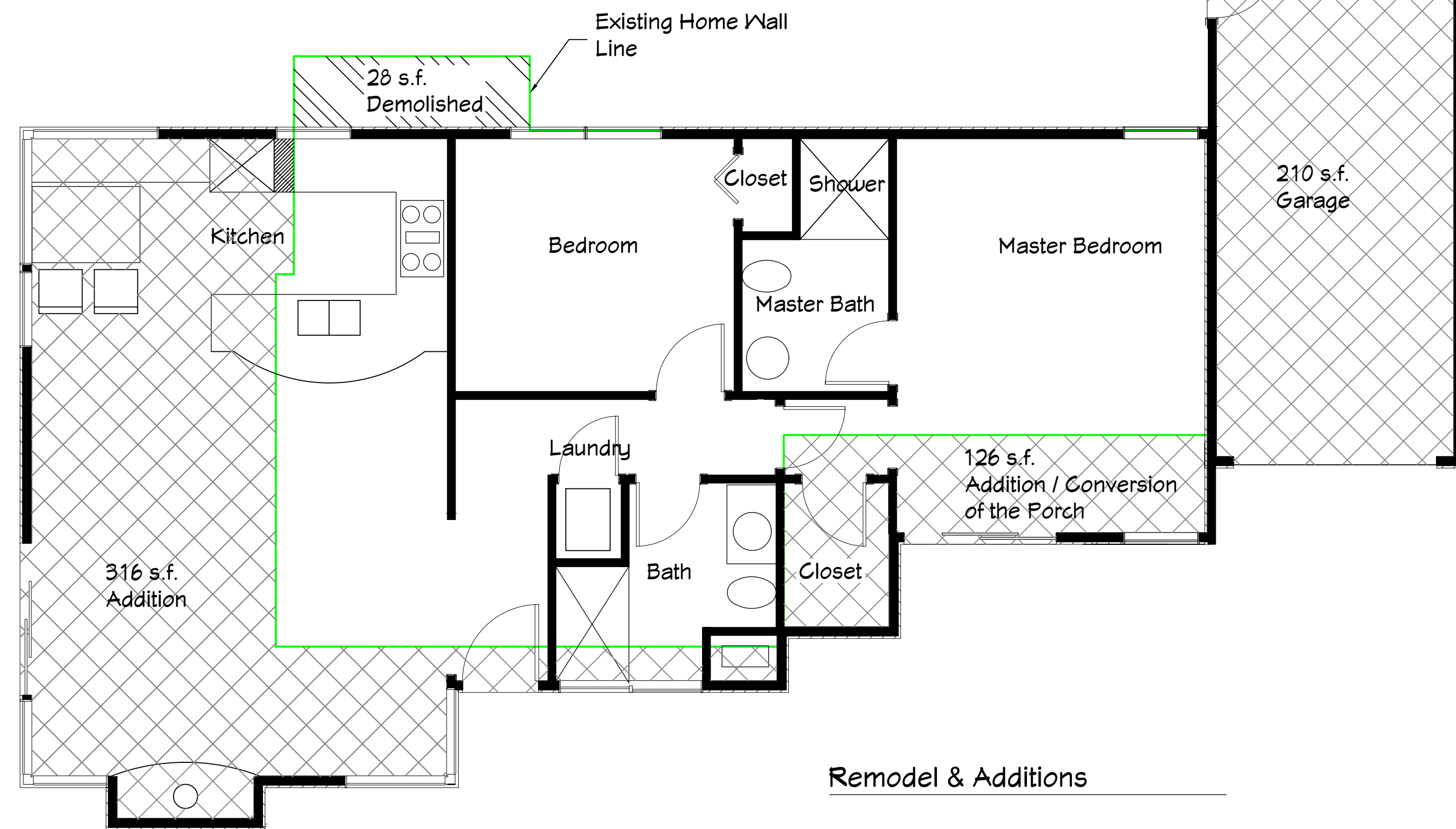
Date REV 7/27/16
A7

Project Design
David Prew
177 Pioneer Street #201
Monterey, California 93940
831 422-2900
License # 109160



Key:
 Walls to be demolished
 Walls to remain

Existing Plan



Remodel & Additions

HALO[®]
H4 LED Downlight Series 2nd Generation - LED Light Engines

The Halo H4 LED is a family of 4" aperture recessed downlights with H457 series housings designed for use with Halo EL406 Series LED Light Engines and compatible TL4 and TL54 Series LED trims. Halo H4 LED housings have integral LED drivers that offer dimming as a standard feature.

Halo H4 LED is a three part system: EL406 Light Engines, with TL4/TL54 trims and H457 housings. H4 LED 2nd Generation features 90 CRI color rendering index and offers a superior optical design that yields productive beam lumens, good cutoff and low glare.

DESIGN FEATURES

MECHANICAL
(A) Upper Heat Sink

- Durable extruded aluminum construction.
- Conducts heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments.

(B) Lower Heat Sink

- Durable die-cast aluminum construction.
- Precision keyed flange designed to lock with matching keyed slots in H4 trim rings.
- Works in conjunction with the upper heat sink for heat conduction away from the LED.

MOUNTING
(C) Friction Blades

- Precision formed stainless steel spring blades provide extension of the EL406 series of light engines in the H457 series housings.
- Friction blade design allows the light engine to be installed in any position within the housing aperture (360 degrees).

ELECTRICAL
(D) LED Connection

- LED connector is non-screw base offering easy installation with the H457 Series housings.
- LED connector is compliant with high-efficiency luminaire code requirements as a non-screw base socket.
- Separate grounding cable included on the module for attachment to the housing during installation.

Catalog #	Type
Project	Date
Comments	
Prepared by	

H4 LED Downlight Series 2nd Generation LED Light Engines

Available in
2700K
3000K
3500K
4000K
Correlated Color Temperatures

2700 K
EL406927
4" LED Light Engine, 2700K

3000 K
EL406930
4" LED Light Engine, 3000K

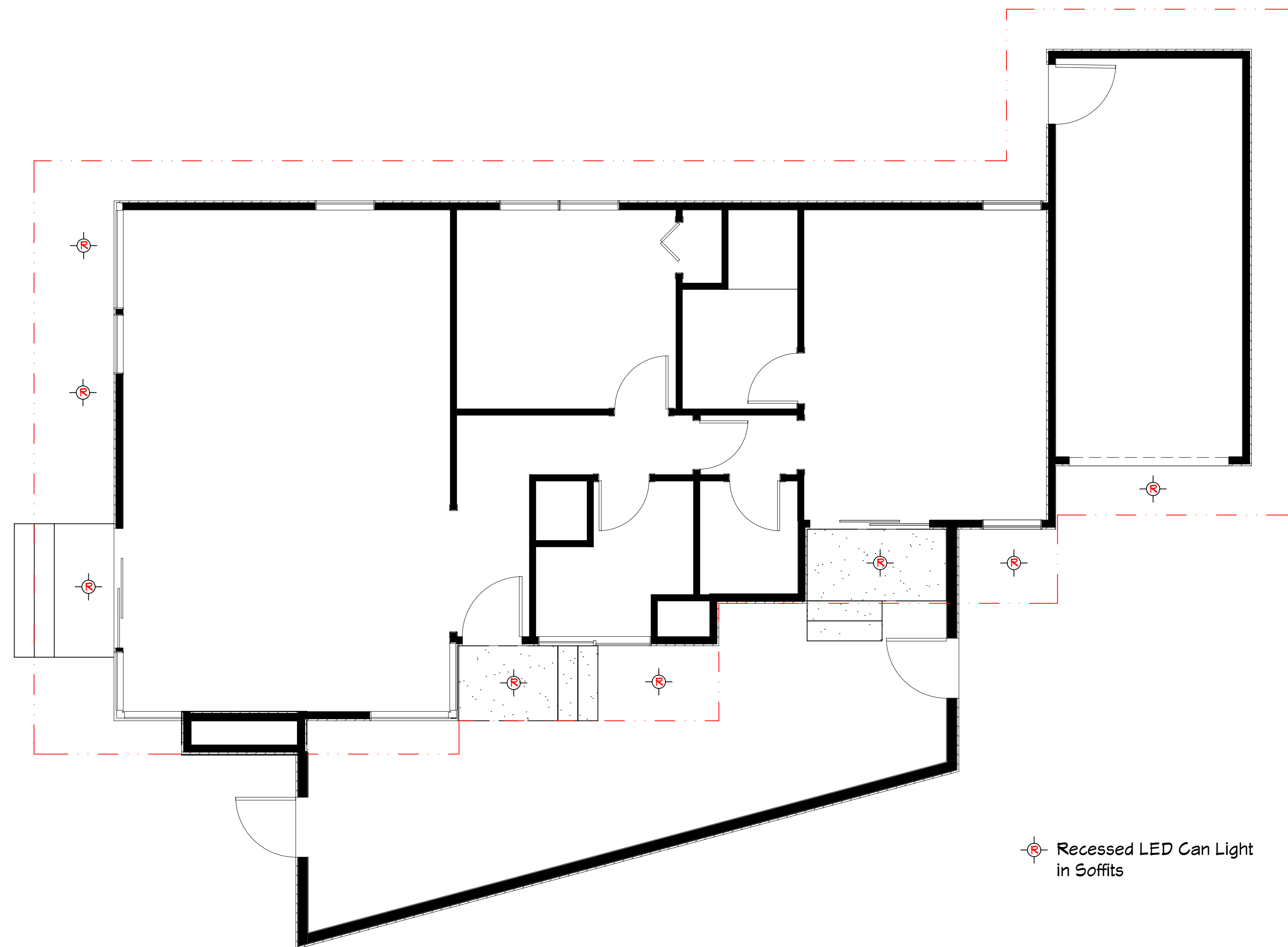
3500 K
EL406935
4" LED Light Engine, 3500K

4000 K
EL406940
4" LED Light Engine, 4000K

Color Rendering Index (CRI, Ra): 90

ADV131745
July 9, 2014 10:55 AM

Recessed LED Can Light in Soffits



Recessed LED Can Light in Soffits

Addition & Remodel

1 Southbank Road
Carmel Valley, California

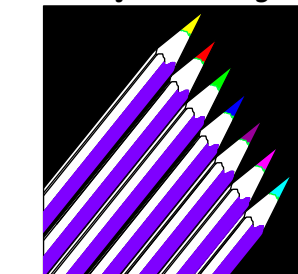
Sheet Title

Demo & Exterior Electric Plan

Date REV 7/27/16

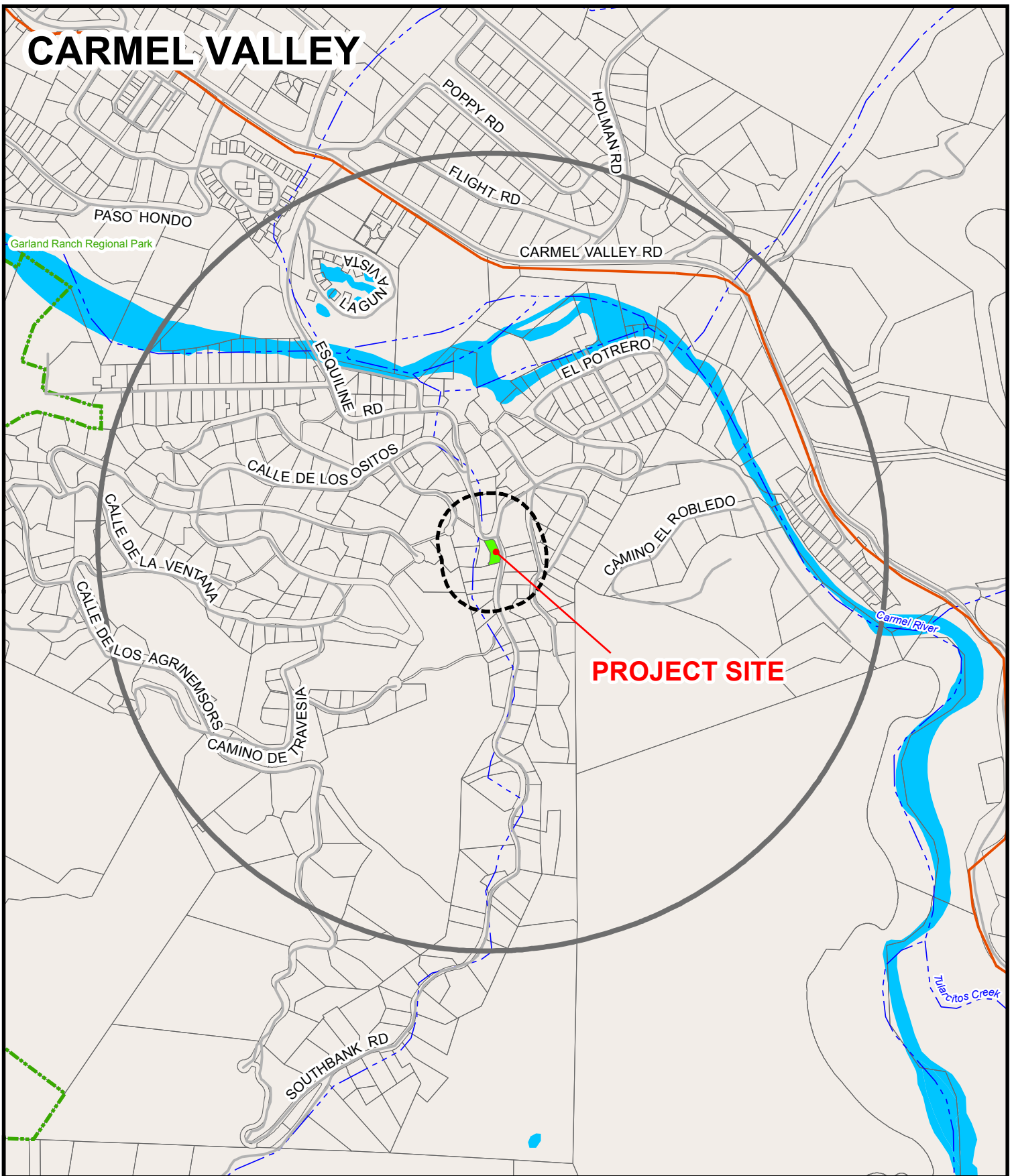
A8

Project Design



David Prew
1173 Webster Street #201
Menlo Park, California 94025
831 420 2030
License # 159140




CARMEL VALLEY

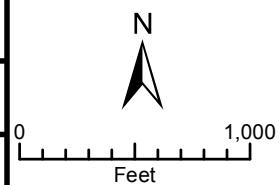


APPLICANT: ROBERTS KIM B

APN: 189-471-005-000

FILE # PLN150505

 Project Site  300' Limit  2500' Limit  Water



PLANNER: LISTER