

County of Monterey

Thyme Conference Room
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Meeting Agenda - Final

Thursday, September 25, 2025

9:30 AM

County of Monterey Zoning Administrator

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Zoning Administrator alternative actions on any matter before it.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

PLEASE NOTE: IF THE ZONING ADMINISTRATOR IS PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE ZONING ADMINISTRATOR.

You may participate through ZOOM. For ZOOM participation please join by computer audio at:

<https://montereycty.zoom.us/j/92771458150?from=addon>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Enter this Meeting ID number 927 7145 8150 when prompted.

PUBLIC COMMENT: Please submit your comment (limited to 250 or less) to the Clerk at zahearingcomments@countyofmonterey.gov. In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Zoning Administrator Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.

Public Comment Prior to Wednesday at 5:00 PM will be distributed to the Zoning Administrator via email.

Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate

alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

INTERPRETATION SERVICE POLICY: The County of Monterey Zoning Administrator invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the County of Monterey Housing and Community Development Department located in the County of Monterey Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Administrador de Zonificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

TENGA EN CUENTA: SI EL ADMINISTRADOR DE ZONIFICACIÓN ESTÁ PRESENTE EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL ADMINISTRADOR DE ZONIFICACIÓN.

Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en:

[https://montereycty.zoom.us/j/927 7145 8150](https://montereycty.zoom.us/j/92771458150)

O para participar por teléfono, llame a cualquiera de estos números a continuación:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Presione el código de acceso de reunión: 927 7145 8150 cuando se le solicite.

COMENTARIO PÚBLICO: Por favor envíe su comentario (limitado a 250 palabras o menos) al personal de la reunión del Administrador de Zonificación al correo electrónico:

zahearingcomments@co.monterey.ca.us. En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, Administrador de Zonificación) y el número de la agenda (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la reunión del Administrador de Zonificación.

Los comentarios públicos recibidos antes de las 5:00 p.m. el miércoles antes de la reunión del Administrador de Zonificación del Condado de Monterey se distribuirán por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

POLÍZA DE SERVICIO DE INTERPRETACIÓN: El Administrador de Zonificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:30 A.M - Call to Order

ROLL CALL

Mike Novo, Zoning Administrator
Representative from Environmental Health
Representative from Public Works
Representative from Environmental Services

PUBLIC COMMENT

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Zoning Administrator Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Zoning Administrator as provided in Sections 54954.2 of the California Government Code.

ACCEPTANCE OF MINUTES

None.

9:30 A.M. - SCHEDULED ITEMS

1. PLN240158 - PREMIER REAL ESTATE INC ET AL
Public hearing to consider construction of a 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof. Project Location: 11151 and 11151A Wood Street, Castroville
Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)

2. PLN250009 - RC PROPERTIES LEASING LLC

Public hearing to consider exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

Project Location: 22370 Portola Drive, Salinas.

Proposed CEQA action: Categorically Exempt pursuant to CEQA Guidelines Section 15301, and there are no exceptions pursuant to Section 15300.2

- Attachments:** [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - LUAC Minutes](#)
 [Exhibit C - Vicinity Map](#)

3. PLN240349 - Saladino Family Investments LLC

Public hearing to consider action on the construction of a 4,050 square foot two-story single family dwelling with a 1,458 square foot lower level, a 1,130 square foot attached garage, a 769 square foot accessory dwelling unit, and associated site improvements, development on slopes in excess of 30%, and the removal of three Coast Live Oaks.

Project Location: 1458 Riata Rd, Pebble Beach

Proposed CEQA Action: Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15301, and there are no exceptions pursuant to Section 15300.2.

- Attachments:** [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)
 [Exhibit C - LUAC Minutes](#)
 [Exhibit D - Tree Assessment](#)

OTHER MATTERS

ADJOURNMENT



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-049

September 25, 2025

Introduced: 9/15/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240158 - PREMIER REAL ESTATE INC ET AL

Public hearing to consider construction of a 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

Project Location: 11151 and 11151A Wood Street, Castroville

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section CEQA Guidelines 15303 and there are no exceptions pursuant to Section 15300.2; and;
- b. Approve a Design Approval to allow construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Luis Lopez

Property Owners: Premier Real Estate Inc et. al.

APN: 030-225-013-000

Parcel Size: 0.14 acres (5,903 square feet)

Zoning: Community Plan (CP), which refers to the land use classification designation system of the Castroville Community Plan. The land use classification of the project site is Medium Density Residential (MDR)

Plan Area: Castroville Community Plan, North County Area Plan

Project Planner: Kayla Nelson, Associate Planner
nelsonk@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use. The decision on this project is appealable to the Planning Commission.

Prepared by: Kayla Nelson, Associate Planner, x6408

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution, including;

- Conditions of Approval
- Site Plan, Floor Plans, and Elevations
- Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Kayla Nelson, Planner; Jacquelyn M. Nickerson, Principal Planner; Premier Real Estate Inc et. al., Property Owner; Luis Lopez, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240158



Zoning Administrator

Legistar File Number: ZA 25-049

September 25, 2025

Introduced: 9/15/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240158 - PREMIER REAL ESTATE INC ET AL

Public hearing to consider construction of a 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

Project Location: 11151 and 11151A Wood Street, Castroville

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section CEQA Guidelines 15303 and there are no exceptions pursuant to Section 15300.2; and;
- b. Approve a Design Approval to allow construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Luis Lopez

Property Owners: Premier Real Estate Inc et. al.

APN: 030-225-013-000

Parcel Size: 0.14 acres (5,903 square feet)

Zoning: Community Plan (CP), which refers to the land use classification designation system of the Castroville Community Plan. The land use classification of the project site is Medium Density Residential (MDR)

Plan Area: Castroville Community Plan, North County Area Plan

Project Planner: Kayla Nelson, Associate Planner
nelsonk@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit B**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use. The decision on this project is appealable to the Planning Commission.

Prepared by: Kayla Nelson, Associate Planner, x6408

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution, including;

- Conditions of Approval
- Site Plan, Floor Plans, and Elevations
- Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Kayla Nelson, Planner; Jacquelyn M. Nickerson, Principal Planner; Premier Real Estate Inc et. al., Property Owner; Luis Lopez, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240158

Exhibit A

This page intentionally left blank.

DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

PREMIER REAL ESTATE INC ET AL (PLN240158)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

[PLN240158, PREMIER REAL ESTATE INC ET AL, 11151 and 11151A Wood Street, Castroville, Castroville Community Plan, North County Area Plan (Assessor's Parcel Number: 030-225-013-000)]

The PREMIER REAL ESTATE INC ET AL application (PLN240158) came on for a public hearing before the County of Monterey Zoning Administrator on September 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS

WHEREAS, the proposed project PLN240158, located at 11151 and 11151A Wood Street, Castroville, Castroville Community Plan, North County Area Plan (Assessor's Parcel Number: 030-225-013-000), is consistent with the policies of the Monterey County 2010 General Plan, Castroville Community Plan, North County Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Community Plan (CP), which refers to the land use classification designation system of the Castroville Community Plan used to identify appropriate land uses rather than referring to Zoning Districts. The land use classification of the project site is Medium Density Residential (MDR), which allows for the construction of a new single-family dwelling and accessory dwelling unit, subject to the granting of a Design Approval;

WHEREAS, as proposed, the project consists of the construction of 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements including 121 square feet of porches. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof. Site improvements consist of a new driveway and landscaping;

WHEREAS, as proposed, the site plans included in this project illustrate an approximately 789 square foot detached Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the construction of an ADU is not a part of this application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans;

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Table B-4 of the Castroville Community Plan and 2010 General Plan Policy [LU-1.11], (see attached plans);

WHEREAS, the proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan, Castroville Community Plan, and North County Area Plan;

WHEREAS, in accordance with 2010 General Plan Policy and Monterey County Code (MMC) Section 21.66.050, a Phase 1 Archaeological Report was prepared by Ruben G. Mendoza with Archives and Archaeology. On February 23, 2025, a pedestrian survey was conducted on the subject property. The results stated that the visibility of the site was poor due to the presence of overgrown vegetation. However, the records search from the Northwest Information Center of the California Historical Resources Information System found that no archaeological resources had been previously recorded in the project area nor within a 750-foot radius from the parcel. Therefore, the archaeologist concluded the report was negative and potential impacts on archaeological resources are limited. A standard condition of approval requiring work to stop if previously unidentified resources are found during construction has been incorporated into this permit (Condition No. 3);

WHEREAS, the subject property (0.14 acres) is identified as Lot 2A as shown on Record of Survey Map filed December 31, 2007, in Volume 29 of Surveys, at Page 85, together with a portion of Pomber Street (a 40 foot wide County Road) in Block B and C according to the Map of the Town of Castroville, filed in Volume 1 of Cities and Towns, at Page 55, Records of Monterey County, California, and is therefore recognized by the County as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

WHEREAS, the project was not referred to the Castroville Land Use Advisory Committee (LUAC) because the committee no longer has a quorum to hold a public meeting;

WHEREAS, the ADU is being processed ministerially. California Environmental Quality Act (CEQA) Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Zoning Administrator’s discretionary authority is limited to consideration of the proposed residence, the proposed residence and the ADU are subject to CEQA. The project involves the construction of the first single-family dwelling, with an attached garage and a detached accessory dwelling unit on a residentially zoned property. CEQA section 15303 categorically exempts the construction of a new single-family dwelling and accessory dwelling units. Therefore, the proposed development is consistent with CEQA Guidelines Section 15303 and none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, detached 789 square foot accessory dwelling unit, 121 square feet of porches, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

PASSED AND ADOPTED this 25th day of September 2025.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

This page intentionally left blank

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240158

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN240158) allows construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof. The property is located at 11151 and 11151A Wood Street, Castroville (Assessor's Parcel Number 030-225-013-000), Castroville Community Plan, North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 030-225-013-000 on September 25, 2025. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PW0001 – FRONTAGE IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct curb, driveway connections, sidewalk, along the frontage of Wood Street. Construct pave out connection from project driveway connecting to Wood Street. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

This page intentionally left blank

NEW SINGLE FAMILY: JIMENEZ DEVELOPMENT

0 CASTROVILLE
CASTROVILLE, CA. 95012
A.P.N.: 030-225-013-000



1 FRONT ELEVATION
SCALE: N.T.S.



PROJECT TEAM

OWNER:
JUAN JIMENEZ
0 CASTROVILLE
CASTROVILLE, CA. 95012
(831) 776-6338
juan.jimenez726@gmail.com

DESIGNER:
E & L BUILDING
DESIGN STUDIO
150 CAYUGA STREET SUITE 1
SALINAS, CA. 93901
O: (831) 250-8069
e_ldesigns@hotmail.com

CONSULTANT:
MONTEREY
ENERGY GROUP, INC.
26465 CARMEL RANCH BLVD.
CARMEL, CA 93923
O: (831) 372-8328

CONSULTANT:
PACIFIC CONTINENTAL
TRUSS
8 HANGER WAY
WATSONVILLE, CA 95076
O: (831) 728-9313

CONSULTANT:
GMD
ENGINEERS & DESIGNS
11 W LAUREL DR. STE. 225
SALINAS, CA. 93906
(831) 840-4284
gmdalivaengineers@gmail.com

SHEET INDEX

- A0. GENERAL NOTES
- A1. SITE PLAN
- A2. PROPOSED FLOOR PLAN (MAIN DWELLING)
- A3. PROPOSED ELEVATIONS (MAIN DWELLING)
- A4. PROPOSED ROOF PLAN (MAIN DWELLING)
- A5. PROPOSED FLOOR PLAN ADU & ELEVATIONS
- A6. PROPOSED ROOF PLAN ADU

SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE UNIT CONSISTING OF:
4 BEDROOMS, 3 FULL BATHROOM, LIVING, DINING, KITCHEN, AND ATTACHED GARAGE
- NEW ACCESSORY DWELLING UNIT OF 789 SQ.FT. CONSISTING OF: TWO BEDROOMS, TWO BATHROOMS, LIVING, LAUNDRY & KITCHEN.

DATA

JURISDICTION:	MONTEREY COUNTY	
BUILDING CODE(S):	RESIDENTIAL	:2022 C.R.C.
	ELECTRICAL	:2022 C.E.C.
	MECHANICAL	:2022 C.M.C.
	PLUMBING	:2022 C.P.C.
ZONING:	MDR-C	
ASSESSORS PARCEL NO:	030-225-013-000	
CURRENT USE:	RESIDENTIAL	
PROPOSED USE:	RESIDENTIAL	
OCCUPANCY GROUP:	RESIDENCE R-3/U	
NUMBER OF STORY:	1 STORY BUILDING	
CONSTRUCTION TYPE:	V-B	
AUTOMATIC FIRE SPRINKLERS SYSTEMS:	YES	
LANDSCAPE:	499 S.F.	
LOT SIZE:	5,903 S.F.	100%

PROPOSED FLOOR AREA	
DWELLING	1,674 S.F.
TOTAL	1,674 S.F.

ACCESSORY STRUCTURES	
2 CAR GARAGE	440 S.F.
ACCESSORY DWELLING UNIT	789 S.F.
TOTAL	2,903 S.F.

DEFERRED SUBMITTAL

1. CONSTRUCTION WASTE MANAGEMENT PLAN TO BE SUBMITTED WHEN CONTRACTOR IS CHOSEN
SUBMITTED TO: MONTEREY COUNTY
2. FIRE SPRINKLER DESIGN
3. WATER SOURCE - CASTROVILLE COMMUNITY WATER SERVICE - CAN & WILL SERVE LETTER
4. SEWER SOURCE - MONTEREY ONE WATER - CAN & WILL SERVE LETTER

SYMBOLS

SECTION REFERENCE		SECTION NUMBER
DETAIL REFERENCE		SHEET NUMBER
REVISION REFERENCE		DETAIL NUMBER
		SHEET NUMBER
		REVISION NUMBER
		CLEAR DIM.

ABBREVIATIONS

1. NOT ALL ABBREVIATIONS WILL APPLY TO THIS PROJECT.			
@	AT	DBL	DOUBLE
#	NUMBER	DEPR	DEPRESSED
AB	ANCHOR BOLTS	DF	DOUGLAS FIR
AC	ASPHALTIC CONCRETE	DIA. (Ø)	DIAMETER
ADDNL	ADDITIONAL	DIAG	DIAGONAL
AFF	ABOVE FINISH FLOOR	DIM	DIMENSION
AGG	AGGREGATE	DN	DOWN
ALT	ALTERNATE	DWG	DRAWING
ALUM	ALUMINUM	(E)	EXISTING
APPROX	APPROXIMATE	EA	EACH
ARCH	ARCHITECTURAL	EF	EACH FACE
BLDG	BUILDING	EN	EDGE NAILING
BLK	BLOCK	EW	EACH WAY
BLKG	BLOCKING	EJ	EXPANSION JOINT
BM	BEAM	EL	ELEVATION
BN	BOUNDARY NAILING	EOS	EDGE OF SLAB
BOC	BOTTOM OF CONCRETE	EQ	EQUAL
BOF	BOTTOM OF FOOTING	EXP B	EXPANSION BOLT
BOT	BOTTOM	EXT	EXTERIOR
BP	BUTTON PUNCH	F.E.	FIRE EXTINGUISHER
BRG	BEARING	F.E.C	FIRE EXTINGUISHER CABINET
BRG PL	BEARING PLATE	FF	FINISH FLOOR
BTW	BETWEEN	FG	FINISH GRADE
CCJ	CRACK CONTROL JOINT	FHWS	FLAT HEAD WOOD SCREW
CC	CENTER TO CENTER	FN	FIELD NAILING
CIP	CAST IN PLACE	FND	FOUNDATION
CJ	CONSTRUCTION JOINT	FOC	FACE OF CONCRETE
CTR	CENTER	FOM	FACE OF MASONRY
CL	CENTER LINE	FOS	FACE OF STUD
CLG	CEILING	FT (f)	FOOT/FEET
CLR	CLEAR	FTG	FOOTING
CMU	CONCRETE MASONRY UNIT	GA	GALVE
COL	COLUMN	GALV	GALVANIZED
CONC	CONCRETE	GL	GLUE LAMINATED LUMBER
		HORIZ	HORIZONTAL
		HSB	HIGH STRENGTH BOLT
		ID	INSIDE DIAMETER
		IN (f)	INCH
		INT	INTERIOR
		JST	JOIST
		JT	JOINT
		JH	JOIST HANGER
		LLH	LONG LEG HORIZONTAL
		LLV	LONG LEG VERTICAL
		LS	LAG SCREW
		LT WT	LIGHT WEIGHT
		LG	LONG
		LWC	LIGHT WEIGHT CONCRETE
		LS	LONG
		LW	LONG
		MB	MACHINE BOLT
		MCJ	MASONRY CONTROL JOINT
		MECH	MECHANICAL
		MEZ	MEZZANINE
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MW	MALLEABLE IRON WASHER
		MET	METAL
		NIC	NOT IN CONTRACT
		NOM	NOMINAL
		NTS	NOT TO SCALE
		(N)	NEW
		OC	ON CENTER
		OD	OUTSIDE DIAMETER
		OPG	OPENING
		OPH	OPPOSITE HAND
		PCC	PRECAST CONCRETE
		PERP	PERPENDICULAR
		PL	PLATE
		REIN	REINFORCING
		REQD	REQUIRED
		SAD	SEE ARCHITECTURAL DRAWINGS
		SIM	SIMILAR
		SJ	SHRINKAGE JOINT
		SLH	SHORT LEG HORIZONTAL
		SLV	SHORT LEG VERTICAL
		SM	SHEET METAL
		SOG	SLAB ON GRADE
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		SWS	SHEAR WALL SCHEDULE
		SYM	SYMMETRICAL
		T 24	TITLE 24 CALIFORNIA CODE
		TEN	TYPICAL EDGE NAILING
		THK	THICK
		THC	TOP OF CONCRETE
		TOF	TOP OF FOOTING
		T.O.SLAB	TOP OF SLAB
		TOS	TOP OF STEEL
		TOW	TOP OF WALL
		TS	TYPICAL
		T&B	TOP AND BOTTOM
		TOE NAIL	TOE NAIL
		UNDG	UNDISTURBED NATURAL GRADE
		UON	UNLESS OTHERWISE NOTED
		WWF	WELDED WIRE FABRIC
		W/	WITH

GENERAL NOTES

1. ALL CONSTRUCTION, DESIGN, WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE: 2022, CRC, CEC, CMC, CPC, CFC, CGC, CGBC; MONTEREY COUNTY MUNICIPAL CODE, AND 2019 CALIFORNIA ENERGY CODE, AND MOST CURRENT NFPA STANDARDS REQUIRED BY CURRENTLY ADOPTED CODES AND LATEST EDITIONS OF THE UMC, UPC, & NEC.
2. GUARANTEE: ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FOR COMPLETION DATE.
3. JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE SITE OF DEBRIS AND MATERIALS DEMOLISHED AND CLEANUP BEFORE COMMENCING WORK.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS AND SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
6. THE PROJECT DESIGNER SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWING AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
7. THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED.
9. PLANS FOR ANY (N) GAS LINE SIZING AND APPLICABLE BTU INPUTS WILL BE PROVIDED TO THE BUILDING INSPECTION OFFICE BY THE CONTRACTOR BEFORE INSPECTION.
10. ALL SITE INSPECTIONS REQUIRE A MINIMUM 24 HOURS NOTICE. FIRE DEPARTMENT INSPECTIONS ARE TO BE REQUESTED THROUGH THE BUILDING DIVISION. PLEASE BE SPECIFIC AS TO THE TYPE OF INSPECTION.
11. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
12. THE USE OF FIRE HYDRANTS FOR OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIRONMENTAL HEALTH DEPARTMENT.)
13. THE GRADE ADJACENT TO ALL STRUCTURES SHALL SLOPE A MINIMUM OF 2 PERCENT AWAY FROM THE AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIRONMENTAL HEALTH DEPARTMENT.)
14. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE.
15. CONTRACTOR TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES AND SERVICES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO SUCH.
16. EXCAVATION: EXCAVATE FOR UTILITY TRENCHES, SEWER, DRAIN LINES AND FOOTINGS. SLOPE UTILITY TRENCHES UNIFORMLY. BACK FILL OF FOOTING AND UTILITY TRENCHES SHALL BE COMPROMISED OF CLEAN SAND, MECHANICALLY COMPACTED IN 6" LIFTS TO A MINIMUM OF 95 REST ON FIRM, UNDISTURBED SOIL OR COMPACTED FILL.
17. SURFACE WATER SHALL BE DRAINED TO AN APPROVED POINT OF COLLECTION THAT DOES NOT CEATE A HAZARD. INDICATE THAT GRADE SHALL FALL A MINIMUM OF 4" WITHIN THE FIRST 10' (EXCEPTION: WHERE LOT LINES AND/OR PHYSICAL BARRIERS PROHIBIT THE FALL, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE). IMPERVIOUS SURFACES WITHIN 10' SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
18. EXTRA EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATION OF EXIT SIGNS MAY BE ALTERED DURING FINAL INSPECTION
19. APPROVED ADDRESS NUMBERS AND/OR LETTERS, WITH CONTRASTING BACKGROUND, SHALL BE PLACED ON BUILDING(S) TO BE VISIBLE FROM THE STREET. APPROVED ADDRESSES MUST BE CLEARLY IDENTIFIED WITH REFLECTIVE AND/OR ILLUMINATED NUMBERS AND/OR LETTERS A MINIMUM OF 3 1/2" HIGH AND 1/2" STROKE
20. DISPOSAL, WASHOFF, OR WASHDOWN OF ANY AND ALL MATERIALS SUCH AS MORTAR, CONCRETE, PAINT, GREASE, GLUE, ETC. ON PROPERTY, INCLUDING THE STORM DRAIN SYSTEM, IS STRICTLY PROHIBITED UNLESS SPECIFICALLY AND INDIVIDUALLY APPROVED BY PUBLIC WORKS DIRECTOR. VIOLATORS WILL BE CITED AND ASSESSED OF ALL CLEANING COSTS.
21. CONTRACTOR MUST ENSURE THAT ALL VENTING BE DONE IN ACCORDANCE WITH CURRENT BUILDING CODES. (RANGE HOOD VENT, BATHROOM VENTS ETC.
22. THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
23. CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
24. BUILDINGS THAT UNDERGO CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 33- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

E & L
BUILDING
DESIGN STUDIO
150 CAYUGA ST.
SUITE 1
SALINAS, CA. 93901
D: (831) 250-8069

J. Jimenez
e_ldesigns@hotmail.com

REVISION
DATE:
BY:

RESIDENTIAL DEVELOPMENT
JUAN JIMENEZ
0 CASTROVILLE
CASTROVILLE, CA. 95012
APN: 030-225-013-000

COVER SHEET

05/10/24

JOB NUMBER:
24-34

PAGE:
A0

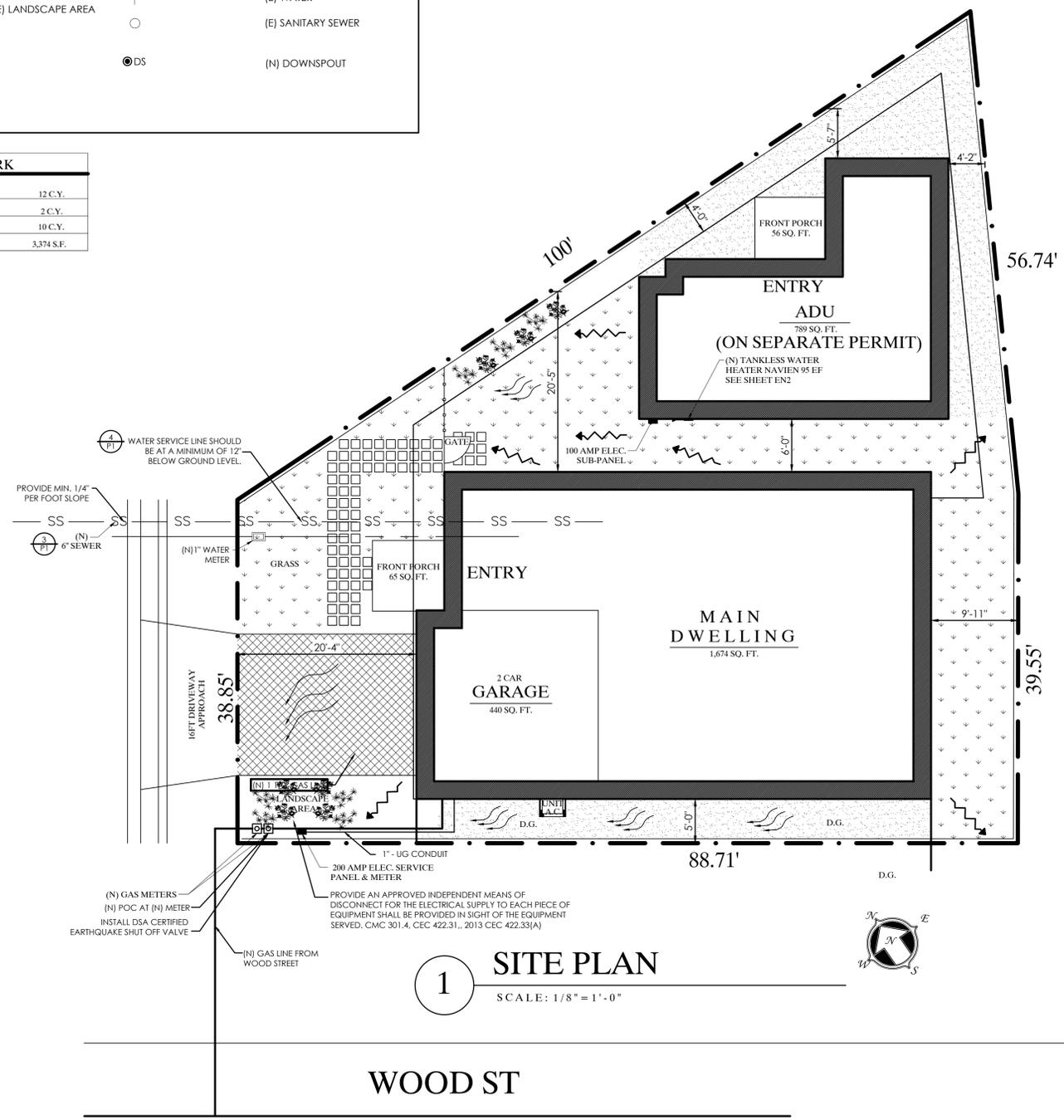
LEGEND

 MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' CRC 2022 SECTION R401.3 DRAIN SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING.	 (E) GRASS AREA	 PROPERTY LINE	 (E) 6' HEIGHT WOOD FENCE
 (E) CONCRETE AREA	 (E) TREES	 (E) GAS	 (E) WATER
 (E) LANDSCAPE AREA	 (E) SANITARY SEWER	 (N) DOWNSPOUT	

 SURFACE SHALL SLOPE A MINIMUM OF 2% CRC SECTION R401.3 (EX.) AT LEAST 5'-0" MIN. FROM FOUNDATION WALLS CRC SECTION R801.3 SURFACE DRAINAGE DIRECTION TO LANDSCAPE

LOT COVERAGE	
LOT SIZE	5,903 SQ.FT.
60%	3,542 SQ.FT.
LOT COVERAGE	2,903 SQ.FT.

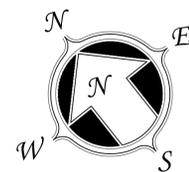
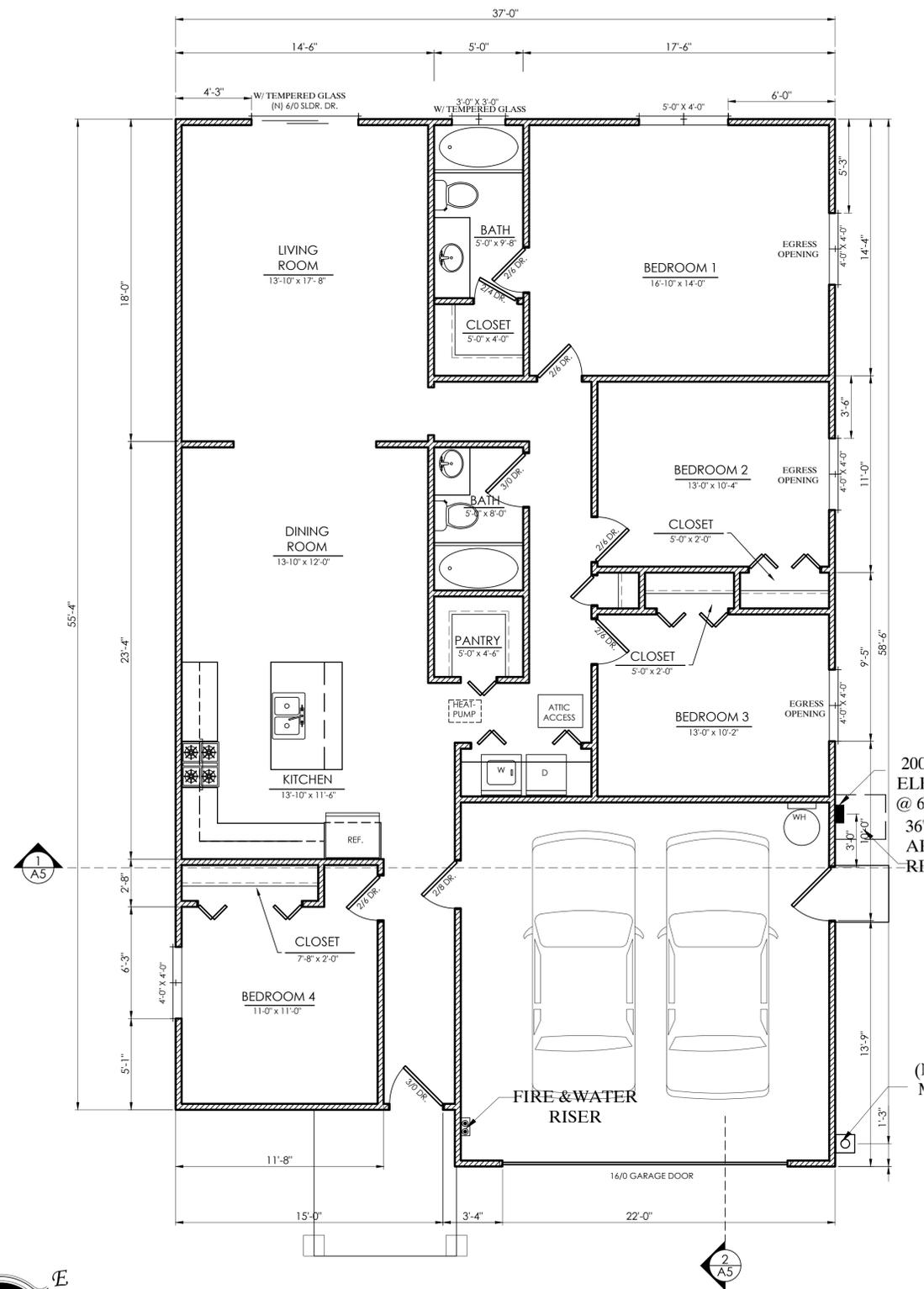
TOTAL EARTH WORK	
REMOVAL OF DIRT	12 C.Y.
RE-ASSIGN DIRT	2 C.Y.
DISPOSAL OF DIRT	10 C.Y.
TOTAL LAND DISTURBANCE	3,374 S.F.



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



LEGEND	
	NEW 2X4 WALLS D.F. #2 16" O.C. STUDS
	NEW TYPE "X" 5/8" GYP. BRD. WALL



1 FLOOR PLAN - LOT A
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR FINISHES

ROOF: NEW ASPHALT COMPO. SHINGLES ROOFING, O/2 LAYER #15 ROOFING FELT PAPER, O/ (N) 1/2" THK. PLYWOOD SHEATING.

ROOF PITCH: 5:12 GABLE ROOF

FASCIA/RAKE: 2X6 PRIMED SPRUCE

OVERHANG: 1'-0" OVERHANG

GUTTER/DOWNSPOUTS: (N) 4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS @ 3'-0" O.C. MAX W/ SPLASH BLOCKS

WALL: (N) 3 LAYERS OF CEMENT PLASTER OVER PAPER BACKED WIRE, OVER 2 LAYERS OF TYPE D PAPER OVER 1/2" PLY. SHEATING, PROVIDE WEEP SCREED @ BOTTOM OF WALL.

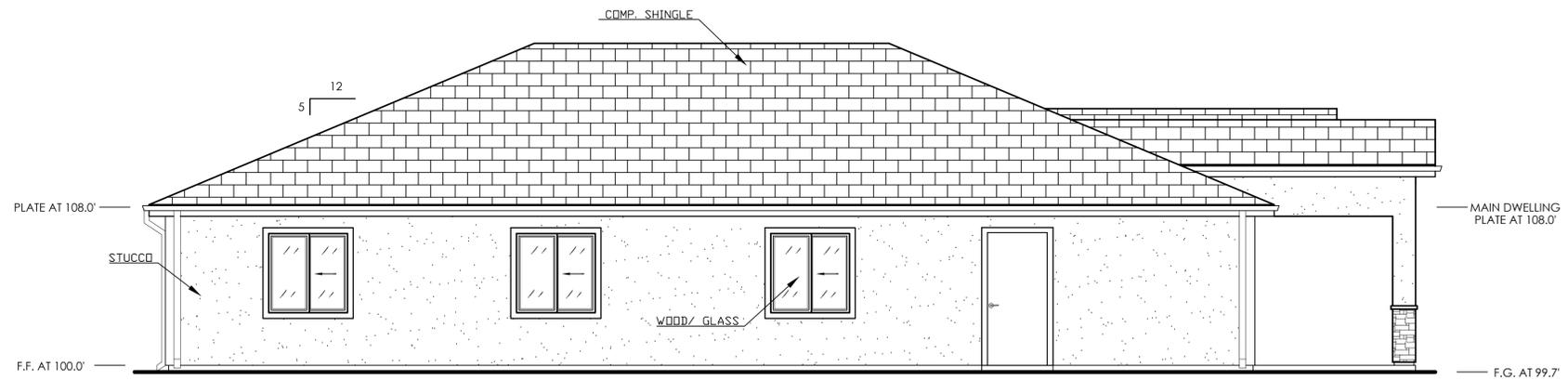
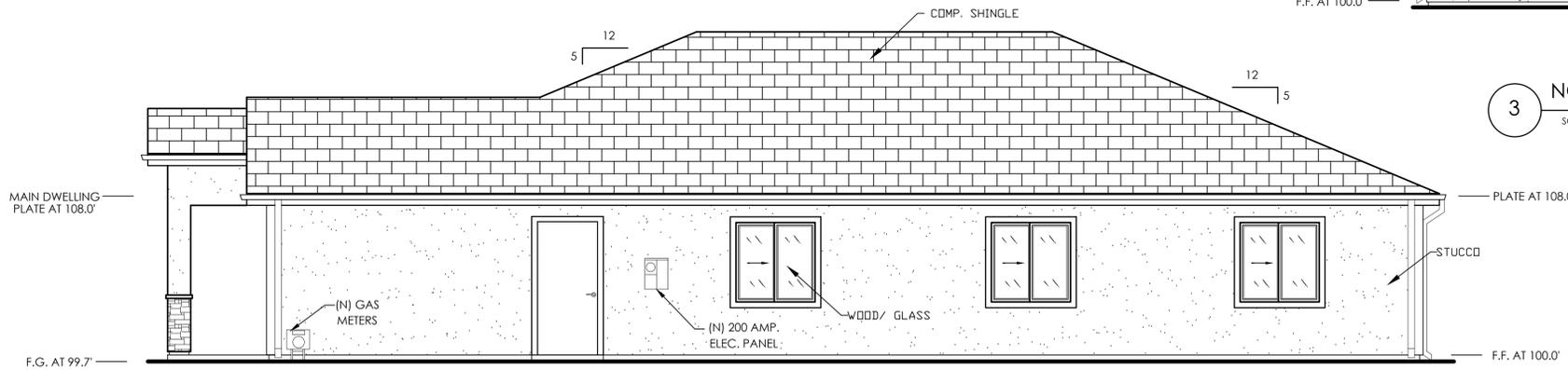
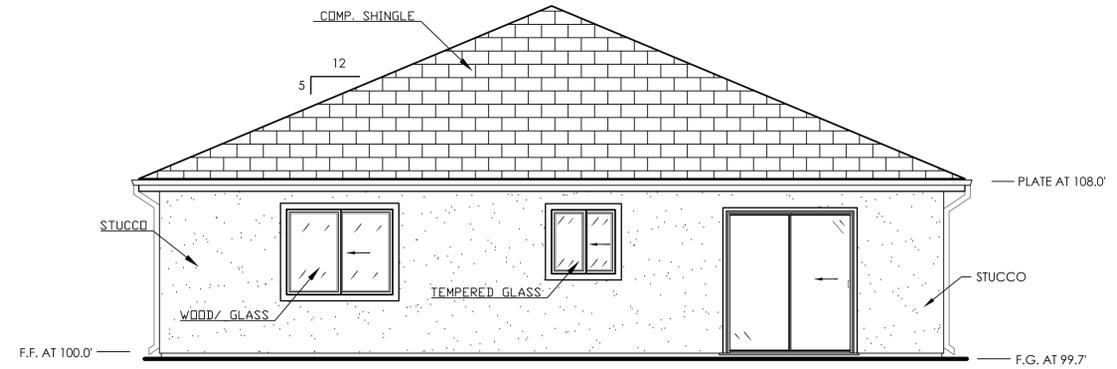
WINDOWS: (N) WHITE VINYL DOUBLE PANE

EXTERIOR COLORS:

STUCCO: BONE

ROOF TILE: BROWN

WINDOW: WHITE



E & L

BUILDING DESIGN STUDIO
150 CAYUGA ST. SUITE 1
SALINAS, CA. 93901
D: (831) 250-8069

J. Jimenez
e_ladesigns@hotmail.com

REVISION DATE: BY:

RESIDENTIAL DEVELOPMENT
JUAN JIMENEZ
CASTROVILLE, CA. 95012
APN: 030-225-013-000

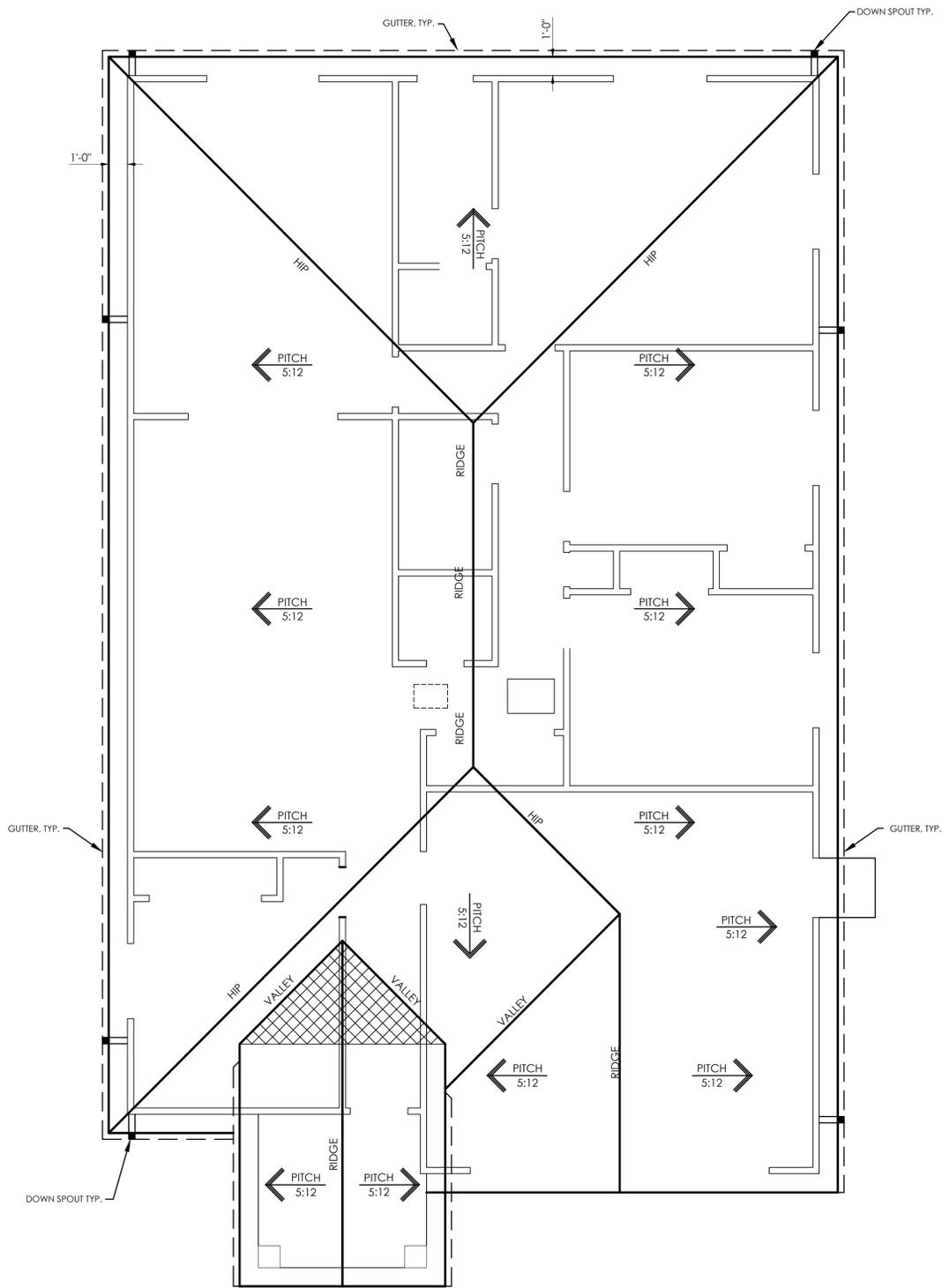
ELEVATIONS

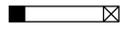
05/10/24

JOB NUMBER:
24-34

PAGE:
A3

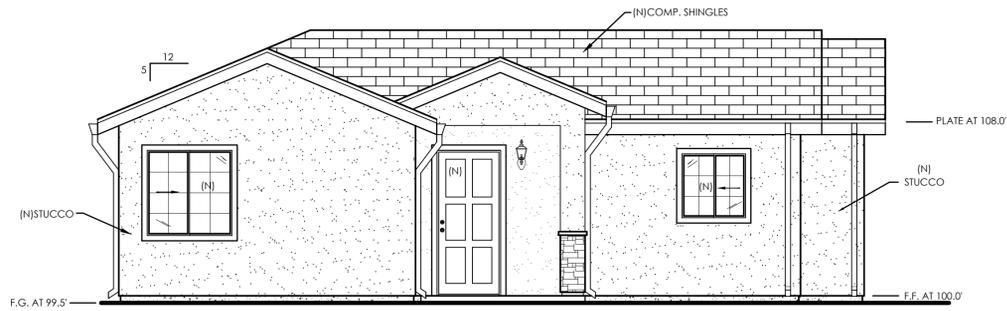
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF OR REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND USUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



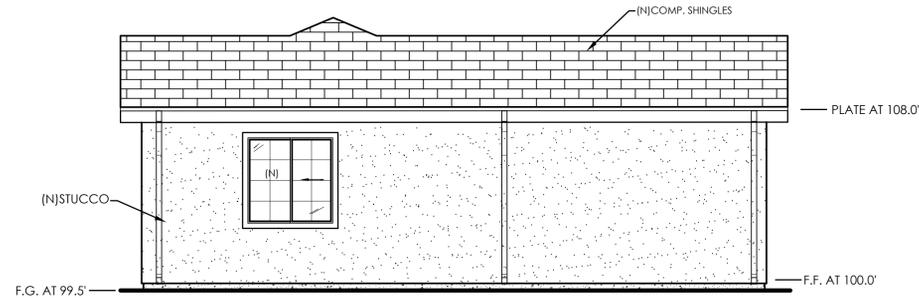
LEGEND	
	GUTTERS
	DOWNSPOUTS WITH SPLASH BLOCKS
	SLOPE DIRECTION ARROW
	ROOF LINE

1 NEW ROOF PLAN
 SCALE: 1/4" = 1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



2 FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"

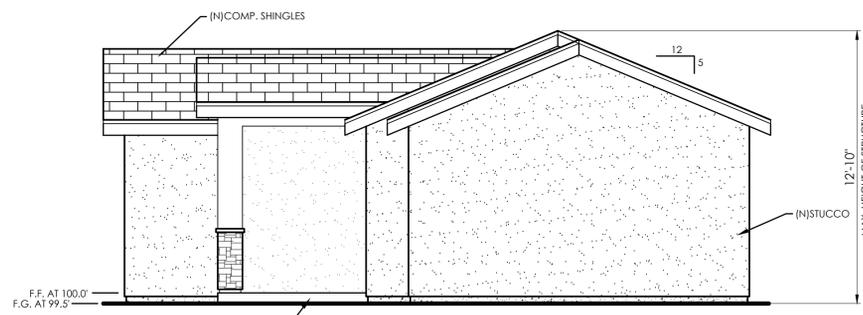
PROPOSED Exterior Finishes
 ROOF: ASPHALT COMP. SHINGLE
 ROOF PITCH: 5:12 GABLE
 OVERHANG: 1'-0" EAVE, 1'-0" GABLE
 FASCIA/RAKE: 2X6 PRIMED SPRUCE
 GUTTER: (N) GUTTER METAL DOWNSPOUTS
 DOWNSPOUTS: W/ NEW SPLASH BLOCKS
 WALL: STUCCO
 WINDOWS: WHITE VINYL DOUBLE PANE
Exterior Colors:
 SIDING: TAN BROWN
 ROOF: CHARCOAL GRAY
 WINDOW: WHITE
ALL NEW MATERIALS & COLORS TO MATCH EXISTING SFD

LEGEND

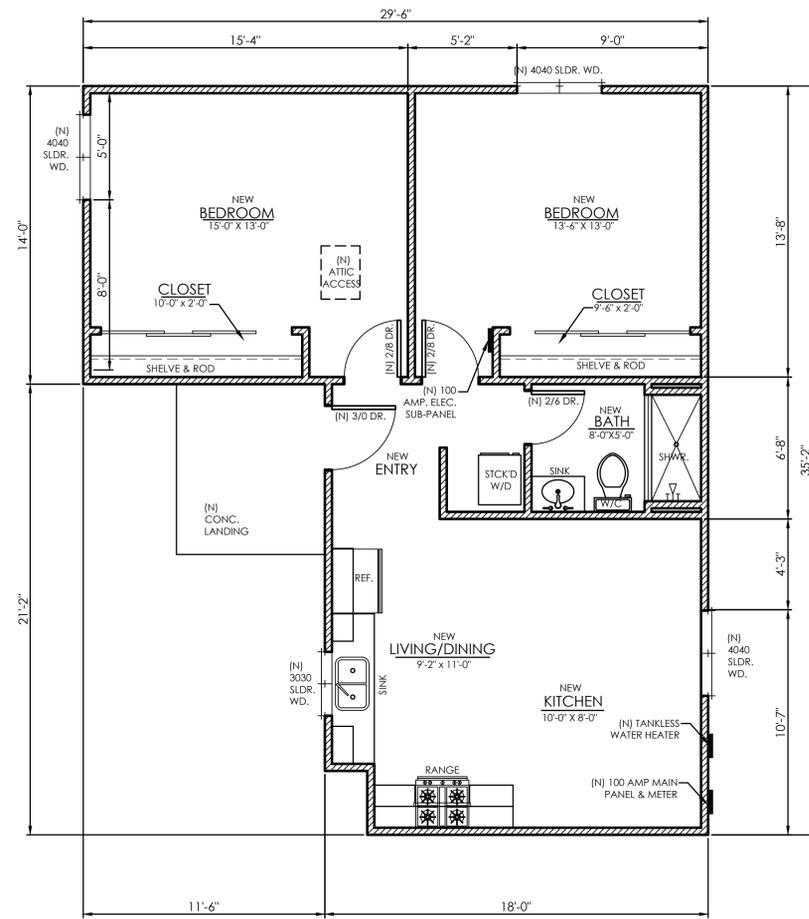
	NEW 2X4 WALLS D.F. #2 @ 16" O.C. STUDS (U.O.N.)
	EXISTING 2X4 WALLS



1 SIDE ELEVATION
SCALE: 1/4"=1'-0"



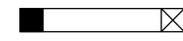
4 SIDE ELEVATION
SCALE: 1/4"=1'-0"

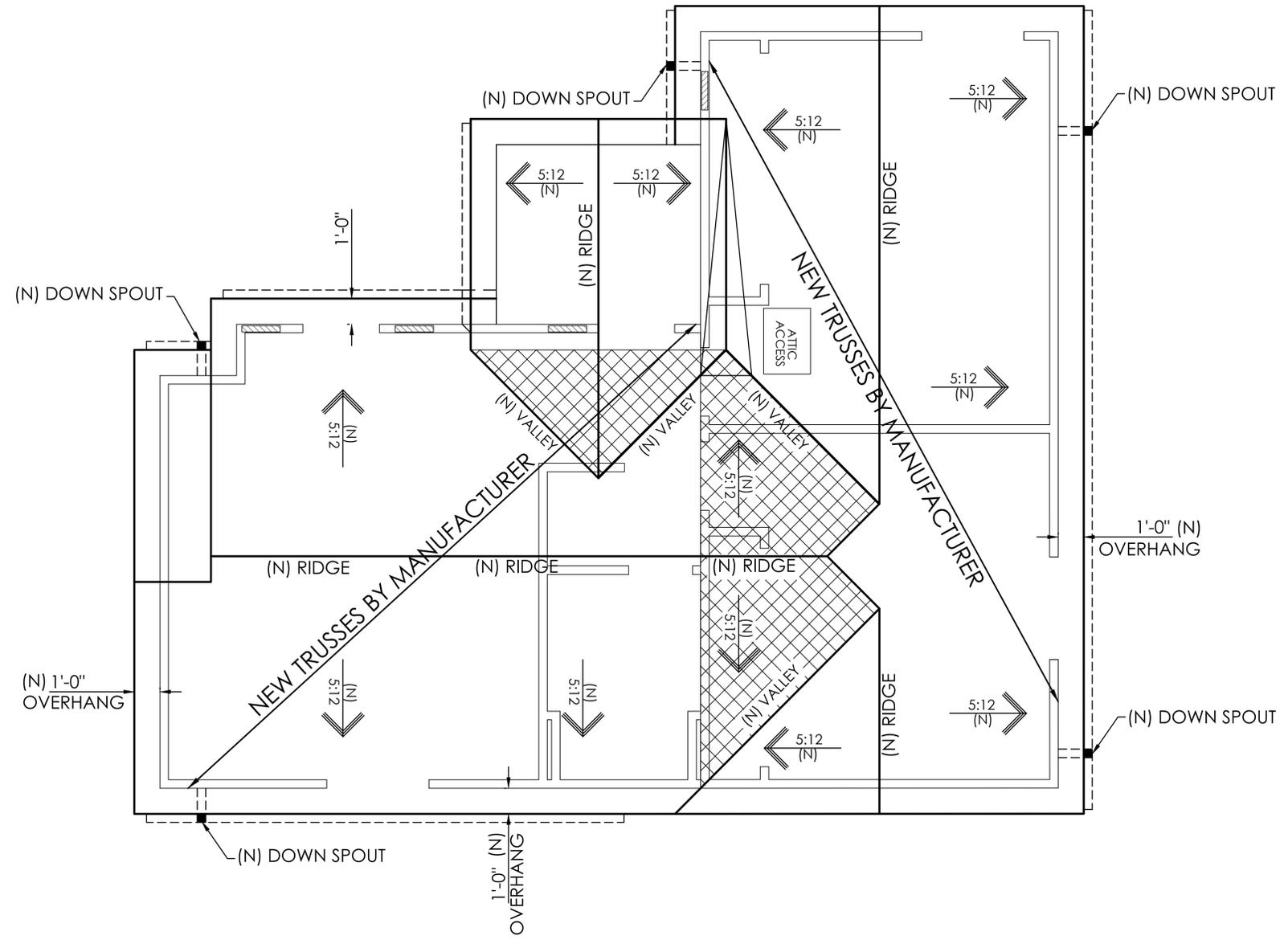


5 PROPOSED FLOOR PLAN - ADU
SCALE: 1/4"=1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

LEGEND

-  GUTTERS
-  DOWNSPOUTS WITH SPALSH BLOCKS
- SLOPE DIRECTION ARROW
-  ROOF LINE



1 ROOF PLAN
 SCALE: 3/8"=1'-0"

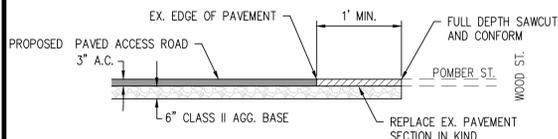
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

TOPOGRAPHIC SURVEY PRELIMINARY GRADING & ENCROACHMENT PLAN

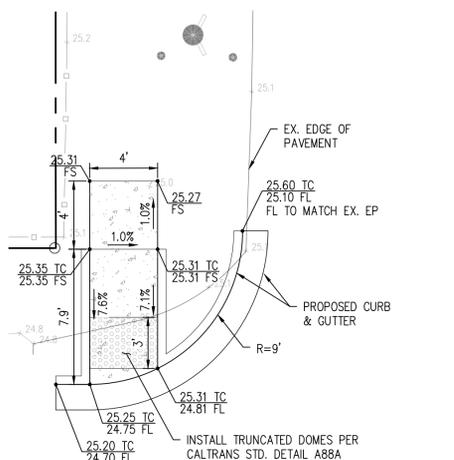
SHOWING LOT 2A AS SAID LOT IS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED DECEMBER 31, 2007, IN VOLUME 29 OF SURVEYS, AT PAGE 85, TOGETHER WITH A PORTION OF POMBER STREET (A 40 FOOT WIDE COUNTY ROAD) IN BLOCK B & C ACCORDING TO THE MAP OF THE TOWN OF CASTROVILLE, FILED IN VOLUME 1 OF CITIES & TOWNS, AT PAGE 55, RECORDS OF MONTEREY COUNTY, CALIFORNIA

SITUATE IN:
UNINCORPORATED TOWN OF CASTROVILLE
RANCHO BOLSA NUEVA y MORO COJO
COUNTY OF MONTEREY
STATE OF CALIFORNIA

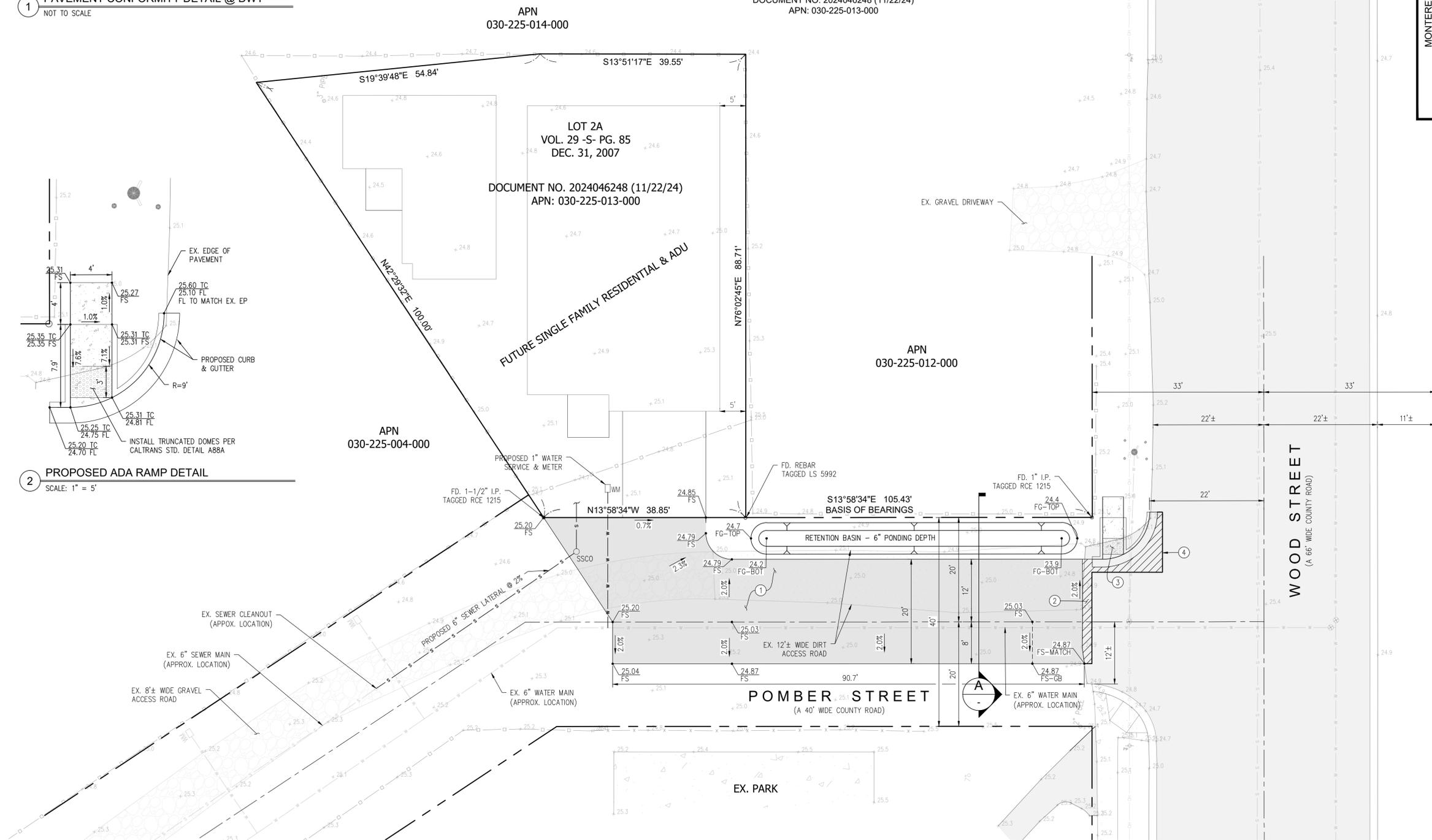
PREPARED FOR
PREMIER REAL ESTATE INC. ET AL
DOCUMENT NO. 2024046248 (11/22/24)
APN: 030-225-013-000



1 PAVEMENT CONFORMITY DETAIL @ DWY
NOT TO SCALE



2 PROPOSED ADA RAMP DETAIL
SCALE: 1" = 5'



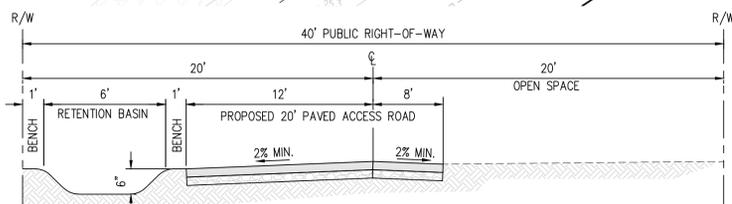
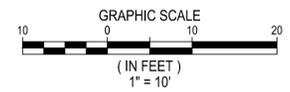
- LEGEND**
- ASPHALT PAVEMENT
 - PROPERTY LINE
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - OH EXISTING OVERHEAD POWER LINE
 - EXISTING WOOD FENCE
 - X EXISTING CHAIN LINK FENCE
 - W EXISTING WATER LINE (APPROX)
 - S EXISTING SEWER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - PP EXISTING POWER POLE
 - EXISTING TREE
 - O FOUND MONUMENT AS NOTED
 - I.P. IRON PIPE
 - FD. FOUND
 - SSCO SEWER CLEANOUT

- CONSTRUCTION NOTES**
- 1 CONSTRUCT 3" A.C. OVER 6" CLASS II AB (90% REL. COMP.) OVER 12" COMPACTED NATIVE SOIL (90% REL. COMP.)
 - 2 CONFORM TO EX. AC. PAVEMENT PER DETAIL 1, THIS SHEET.
 - 3 CONSTRUCT ADA RAMP PER DETAIL 2, THIS SHEET.
 - 4 SAWCUT & REMOVE EX. PAVEMENT WITHIN HATCHED AREA & REPLACE PAVEMENT SECTION IN KIND.

BASIS OF BEARINGS
THE BEARING OF NORTH 13°58'34" WEST, SHOWN TO BE THE EAST LINE OF POMBER STREET ON THAT CERTAIN RECORD OF SURVEY MAP FILED DECEMBER 31, 2007 IN VOLUME 29 OF SURVEYS, AT PAGE 85, AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING SHOWN UPON THIS MAP.

BENCHMARK
FOUND 3" DIAMETER BRASS DISC SET IN A CONCRETE SLAB FOR AN ELECTRICAL SERVICE CABINET FOUNDATION AT THE SOUTHERLY CORNER OF THE INTERSECTION AT DEL MONTE AVENUE & BLACKIE ROAD; STAMPED C 1449 RESET 1994.

PID: AA9738
DESIGNATION: C 1449 RESET
ELEVATION: 29.8 FEET - NAVD 88



A TYPICAL SECTION - POMBER STREET
NOT TO SCALE

SALINAS VALLEY SURVEYORS
SALINAS VALLEY SURVEYORS, INC.
210 CAPITOL STREET, SUITE 15
SALINAS, CA. 93901
(831) 757-3244
E-MAIL: SVSURVEYOR@ATT.NET
FEBRUARY 19, 2024

BY	REVISIONS	DATE

PREMIER REAL ESTATE INC., ET AL
DOCUMENT NO. 2024046248 (11/22/24)
APN: 030-225-013-000

TOPOGRAPHIC SURVEY
PRELIMINARY GRADING AND ENCROACHMENT PLAN

PROJECT No:	25-007
PREPARED ON:	6/9/25
REVISED ON:	6/27/25
PREPARED BY:	C.ROGERS
CHECKED BY:	P.PEARMAN

SHEET
1 OF **1**

FILE: C:\PROJ\SVS\25-007 MONTEJANO\DWG\BASE FILES\25-007_VESTING.PLOT DATE: 6/17/2025 BY: CHAD ROGERS

POMBER DEVELOPMENT

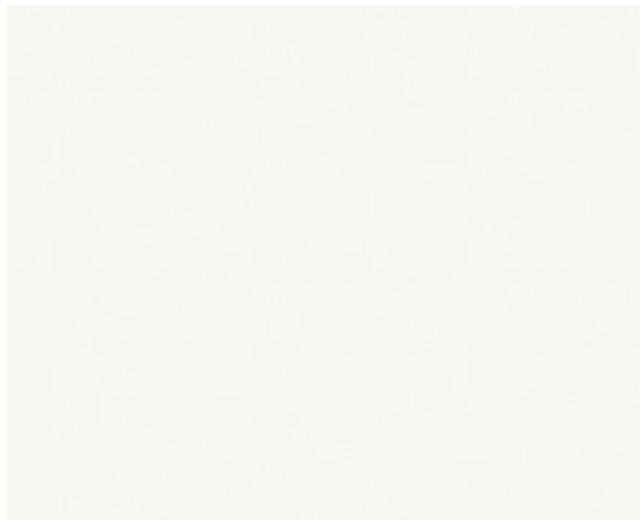
0 POMBER ST

CASTROVILLE, CA. 95012

A.P.N.: 030-225-013-000



EXTERIOR STUCCO
(BONE) STUCCO FINISH



WINDOWS & DOORS
(JELD-WEN) WHITE VINYL DOUBLE PANE

POMBER DEVELOPMENT

0 POMBER ST

CASTROVILLE, CA. 95012

A.P.N.: 030-225-013-000



ROOFING MATERIAL
(BROWN) COMPOSITE SHINGLES

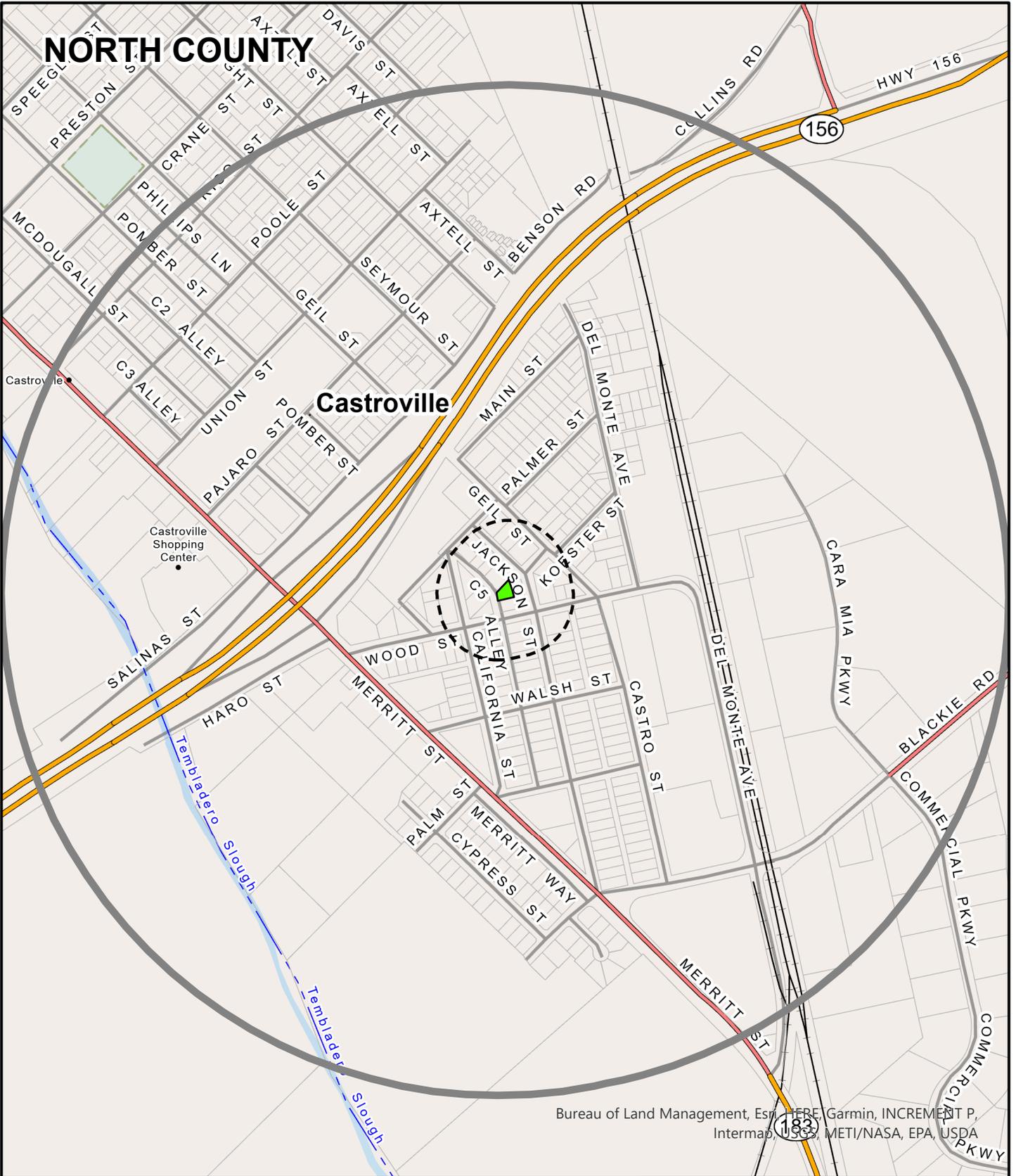


VENEERS MATERIAL
(BROWN) BRICK VENEER

Exhibit B

This page intentionally left blank.

NORTH COUNTY



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: PREMIER REAL ESTATE INC ET AL

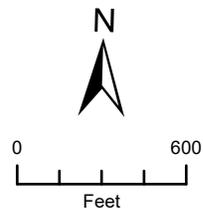
APN: 030225013000

FILE # PLN240158

 Project Site

 300 FT Buffer

 2500 FT Buffer



This page intentionally left blank



County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-050

September 25, 2025

Introduced: 9/16/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN250009 - RC PROPERTIES LEASING LLC

Public hearing to consider exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

Project Location: 22370 Portola Drive, Salinas.

Proposed CEQA action: Categorically Exempt pursuant to CEQA Guidelines Section 15301, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

- 1) Find that the project qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 4 conditions of approval.

PROJECT INFORMATION

Agent: Ismael Magana

Property Owner: Robert Silva

APN: 161-293-004-000

Parcel Size: 16,988 square feet

Zoning: Light Commercial with a Design Control overlay (LC-D)

Plan Area: Toro Area Plan

Flagged and Staked: Yes

Project Planner: Joseph Alameda, Associate Planner, (831)-783-7079

SUMMARY

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless

otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Associate Planner, (831)-783-7079

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution, including;

- Conditions of Approval
- Site Plan, Floor Plans, Elevations, and Colors and Materials

Exhibit C - LUAC Minutes

Exhibit D- Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Planner; Fionna Jensen, Principal Planner; Robert Silva, Property Owners; Ismael Magana, Agent; The Open Monterey Project; LandWatch (Executive Director); Christina McGinnis, Keep Big Sur Wild; Planning File PLN250009



Zoning Administrator

Legistar File Number: ZA 25-050

September 25, 2025

Introduced: 9/16/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN250009 - RC PROPERTIES LEASING LLC

Public hearing to consider exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

Project Location: 22370 Portola Drive, Salinas.

Proposed CEQA action: Categorically Exempt pursuant to CEQA Guidelines Section 15301, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

- 1) Find that the project qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 4 conditions of approval.

PROJECT INFORMATION

Agent: Ismael Magana

Property Owner: Robert Silva

APN: 161-293-004-000

Parcel Size: 16,988 square feet

Zoning: Light Commercial with a Design Control overlay (LC-D)

Plan Area: Toro Area Plan

Flagged and Staked: Yes

Project Planner: Joseph Alameda, Associate Planner, (831)-783-7079

SUMMARY

Staff is recommending approval of a Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit

conditions prior to the issuance of a building/grading permits and/or commencement of the approved use. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Associate Planner, (831)-783-7079

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution, including;

- Conditions of Approval
- Site Plan, Floor Plans, Elevations, and Colors and Materials

Exhibit C - LUAC Minutes

Exhibit D- Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District;
HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau;
Joseph Alameda, Planner; Fionna Jensen, Principal Planner; Robert Silva, Property Owners;
Ismael Magana, Agent; The Open Monterey Project; LandWatch (Executive Director);
Christina McGinnis, Keep Big Sur Wild; Planning File PLN250009

Exhibit A

This page intentionally left blank.

DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

RC PROPERTIES LEASING LLC (PLN250009)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

[PLN25009, RC Properties LLC, 22730 Portola Drive, Salinas, Toro Area Plan (Assessor's Parcel Number 161-293-004-000)]

The RC Properties LLC application (PLN250009) came on for a public hearing before the County of Monterey Zoning Administrator on September 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS

WHEREAS, the proposed project (PLN250009) located at 22730 Portola Drive, Salinas, Toro Area Plan (Assessor's Parcel Number 161-293-004-000), is consistent with the policies of the Monterey County 2010 General Plan, Toro Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Light Commercial with a Design Control overlay (“LC-D”) which allows for additions to existing structures on a legal lot of record subject to the granting of a Design Approval as outlined in Title 21 Chapter 21.44;

WHEREAS, as proposed, the project consists of exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls. The resulting office building will be 5,973 square feet, inclusive of the proposed garage;

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Monterey County Code (MCC) Section 21.18.070 and 2010 General Plan Policy [LU-4.1.a] (see attached plans);

WHEREAS, proposed colors and materials include off-white wooden siding, charcoal gray brick wainscot, charcoal standing seam metal roof, natural cedar wood siding, and gray and black windows and doors. The proposed colors and materials, and bulk and mass blend with the surrounding environment, and are consistent with the surrounding neighborhood character;

WHEREAS, the proposed project is not located in an area of high visual sensitivity and, as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Toro Area Plan;

WHEREAS, in accordance with 2010 General Plan Policy and MCC Section 21.66.050, a Phase I Archaeological Report was prepared by Ruben G. Mendoza dated April 7, 2025 (County of Monterey Library No. LIB250124). The results of the Phase I pedestrian survey were negative and indicated that the proposed project will have no significant effect on archaeological resources. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3), which requires the Applicant/Owner to enter into a contract with a registered Archaeologist for on-call services, and for the contractor to stop work if previously unidentified resources are discovered during construction;

WHEREAS, the Phase I Historic Assessment (County of Monterey Library No. LIB250125) determined that the existing office building (built in 1969) is not historic and is not eligible for listing on the National Register of Historic Places, the California Register of Historical Resources, or the Monterey County Register of Historic Resources;

WHEREAS, the subject property (0.4 acres) is identified as Parcel 1 on a record of survey dated July 1967, as shown on Page 56, Volume 8 of Surveys, and is therefore recognized by the County as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

WHEREAS, the project was referred to the Toro Land Use Advisory Committee pursuant to the Board of Supervisors' adopted LUAC Guidelines, at which the LUAC on June 23, 2025, voted 3-0 to support the project as proposed;

WHEREAS, California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts additions to existing structures not resulting in an increase of more than 10,000 square feet if all public services and facilities are available and the area is not environmentally sensitive. The project involves the construction of 2,945 square feet of additions to an existing office building and minor associated site improvements. The existing office use will not change. All necessary public services and facilities will continue to be provided. The project area is not environmentally sensitive. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the development will not create any new scenic impacts. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site

is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known biological, historical, or archaeological resources are present. Therefore, the proposed development is consistent with CEQA Guidelines section 15301, and none of the exceptions under CEQA Guidelines section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator, and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls.

PASSED AND ADOPTED this 25th day of September, 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250009

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN250009) allows exterior color and material changes, construction of a 1,450 square foot addition and tenant improvements to an existing 3,028 square foot single-story office building, construction of a 1,495 square foot attached garage, and associated site improvements, including relocating existing parking stalls. The property is located at 22730 Portola Drive, Salinas (Assessor's Parcel Number 161-293-004-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 161-293-004-000 on September 25, 2025. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

OFFICE REMODEL & ADDITION FOR: ADVANCED TRANSPORTATION SERVICES INC. 22730 PORTOLA DR, SALINAS, CA 93908

PROJECT DATA	
ASSESSOR PARCEL NUMBER (APN): 161-293-004	ACRES/LOT SIZE: 0.39 ACRES ±17,049 SF
PROJECT ADDRESS: 22730 PORTOLA DR, SALINAS, CA 93908	(E) FAR: 3,028 SF / 17,049 SF = 17.7%
OWNER: RC PROPERTIES LEASING, LLC. P: 831-757-4244, E: rsilva@atssalinas.com & cvarley@atssalinas.com	(PROPOSED) FAR: 5,973 SF / 17,049 SF = 35% ALLOWED FAR 50%
MAILING ADDRESS: 36 E ROMIE LN. SALINAS, CA 93908	SETBACKS: ZONING CODE REFERS TO 21.42.030
ZONING: LC-D: LIGHT COMMERCIAL	FRONT: 25 FT
OCCUPANCY GROUP: B: BUSINESS & U: GARAGE	REAR: 10 FT
CONSTRUCTION TYPE: TYPE V-B	SIDES: 10% OF AVERAGE LOT WIDTH = 136' = ±13'-6" FT
NUMBER OF STORIES: SINGLE STORY	SPRINKLERED: NO
(E) BUILDING SIZE: 3,028 SF	
(PROPOSED) BUILDING SIZE: 5,973 SF (4,478SF OFFICE + 1,495 SF GARAGE)	
(E) BUILDING HEIGHT: ±23'-8"	
(PROPOSED) BUILDING HEIGHT: ±21'-3" ALLOWED BUILDING HEIGHT: 35'-0"	



TITLE SHEET
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR, SALINAS, CA 93908

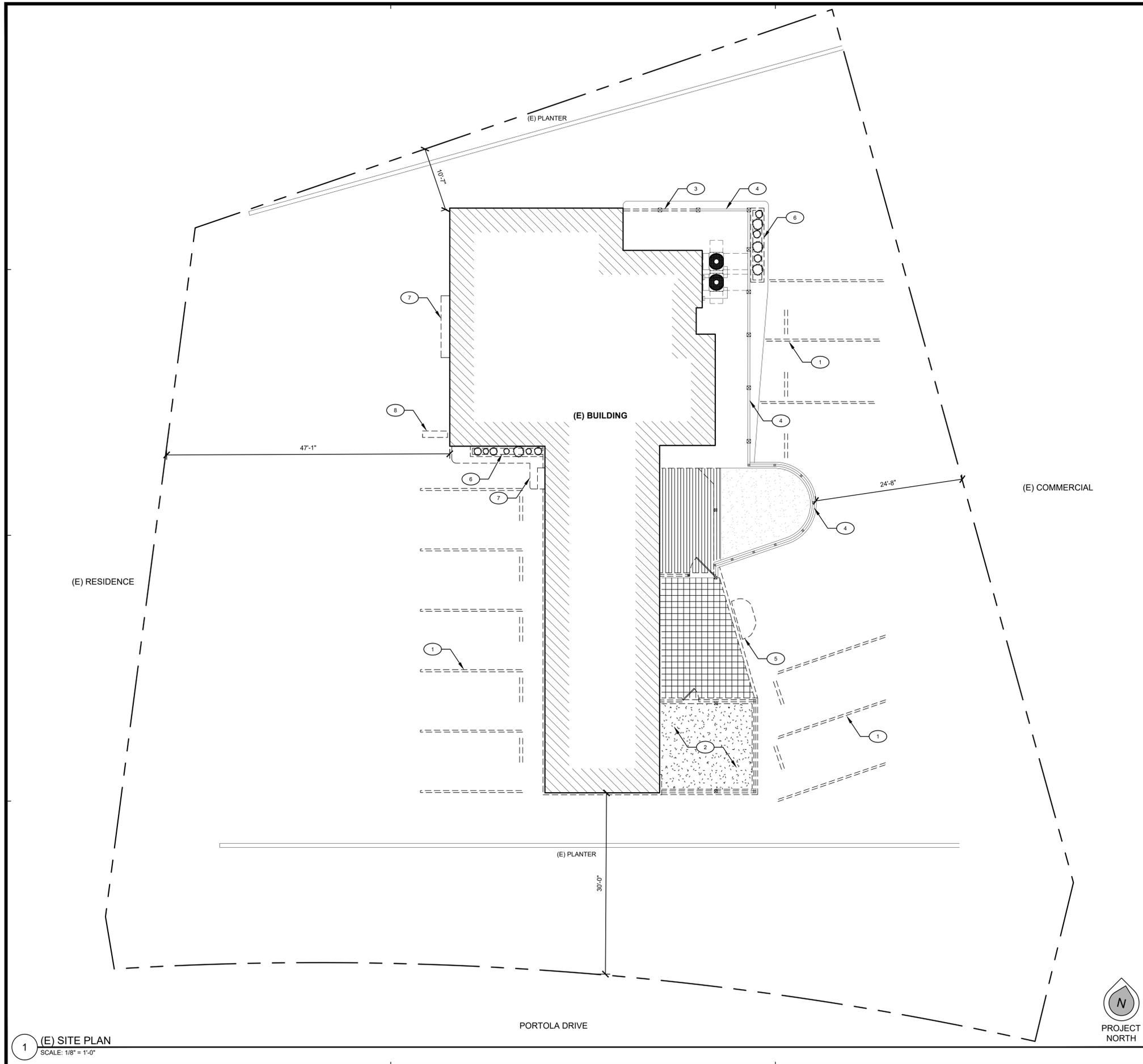
REV.	DATE	DESCRIPTION
	01/02/25	1ST DESIGN REVIEW SUBMITTAL
	04/24/25	2ND DESIGN REVIEW SUBMITTAL

DATE: 04/24/2025
SCALE: AS NOTED
DRAWN: AT/ IM
JOB: 24065
SHEET:

T1.0

(RENDERING FOR REFERENCE ONLY)

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND FOR WHICH THEY WERE DESIGNED. ANY REVISIONS OR MODIFICATIONS SHALL BE INDICATED BY A REVISION NUMBER OR BY A NOTE. IT IS PROHIBITED TO REPRODUCE, REUSE, REPRODUCE, OR PUBLISH ANY PART OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF THE ARCHITECT AND/OR OWNER. CONTACT WITH THESE COMPANIES FROM FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



LEGEND

- PROPERTY LINE
- (E) BUILDING

KEYED NOTES

1. (E) PARKING STRIPING AND WHEEL STOP TO BE REMOVED, IN WAY OF (N) WORK. -TYP.
2. (E) PATIO TO BE REMOVED, IN WAY OF (N) WORK.
3. (E) EXTERIOR WOOD SCREEN TO BE REMOVED, IN WAY OF (N) WORK.
4. (E) EXTERIOR WOOD SCREEN TO BE REPLACED WITH (N) DESIGN. -TYP.
5. (E) MAIN ENTRY AND ACCESSIBLE RAMP TO BE REMOVED, IN WAY OF (N) WORK.
6. (E) PLANTER TO BE REMOVED, IN WAY OF (N) WORK.
7. (E) CONCRETE CURB TO BE REMOVED, IN WAY OF (N) WORK.
8. (E) UTILITIES TO BE RELOCATED.



(E) SITE PLAN
 OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
 22730 PORTOLA DR. SALINAS, CA 93908

REV.	DATE	DESCRIPTION
	01/02/25	1ST DESIGN REVIEW SUBMITTAL
	04/24/25	2ND DESIGN REVIEW SUBMITTAL

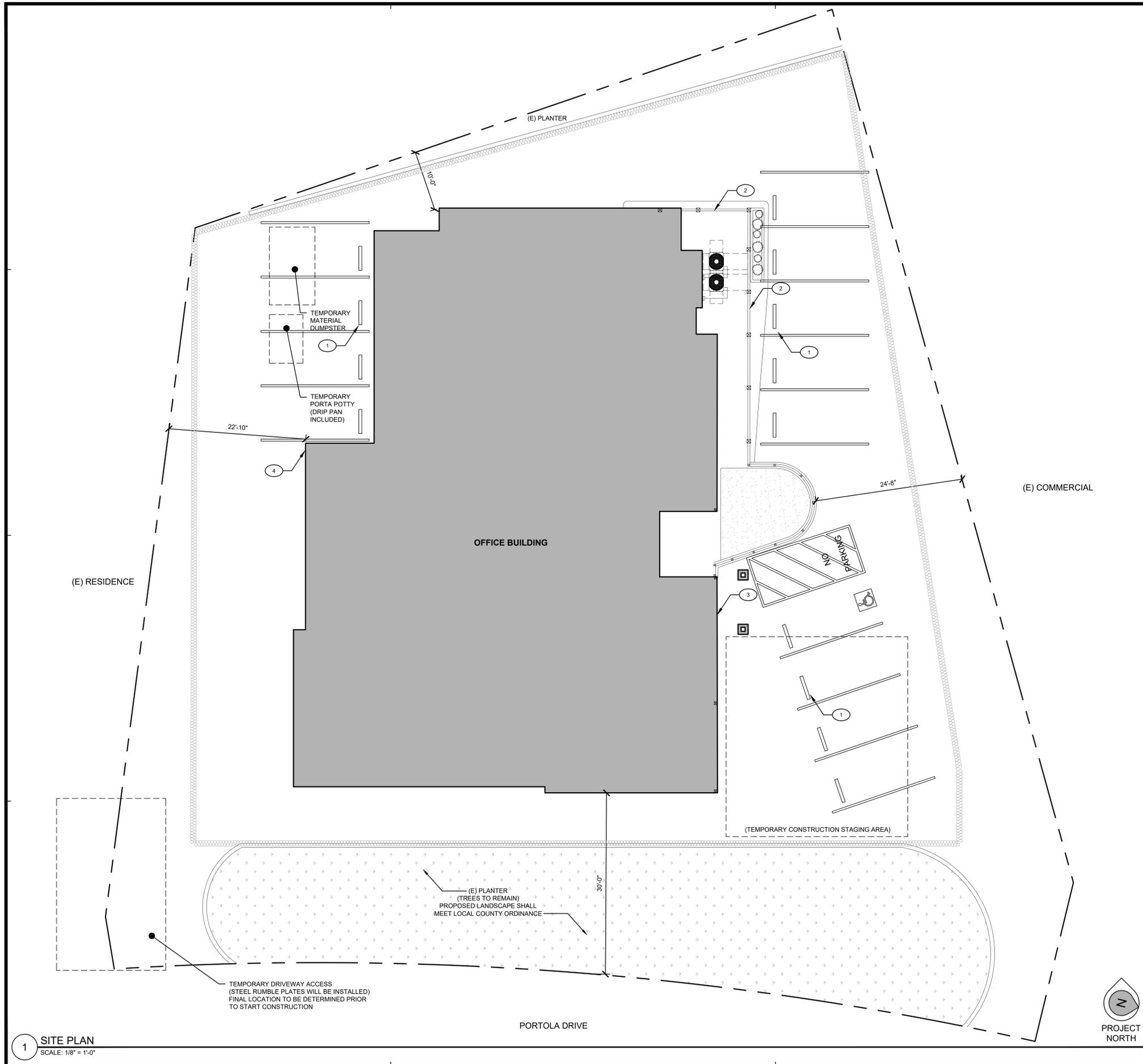
DATE: 04/24/2025
 SCALE: AS NOTED
 DRAWN: AT/ IM
 JOB: 24065
 SHEET:

A1.0

1 (E) SITE PLAN
 SCALE: 1/8" = 1'-0"



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND FOR WHICH THEY WERE DESIGNED. ANY REVISIONS, AMENDMENTS, OR MODIFICATIONS SHALL BE INDICATED BY A REVISION SYMBOL AND A REVISION DESCRIPTION. THIS DOCUMENT IS THE PROPERTY OF PEARTREE+BELLI ARCHITECTS AND SHALL BE KEPT IN CONFIDENCE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF PEARTREE+BELLI ARCHITECTS IS STRICTLY PROHIBITED.



LEGEND

- PROPERTY LINE
- BUILDING
- SEDIMENT ROLL (FOR EROSION CONTROL)

KEYED NOTES

1. (N) PARKING STRIPING AND WHEEL STOP -TYP.
2. (N) EXTERIOR WOOD SCREEN TO BE REPLACED WITH (N) DESIGN. -TYP.
3. (E) MAIN ENTRY AND ACCESSIBLE PARKING STALLS.
4. (E) UTILITIES RELOCATED.

DRAINAGE AND EROSION CONTROL PLAN

EROSION CONTROL NOTES

1. NO GRADING OPERATIONS SHALL BE CONDUCTED DURING THE RAINY SEASON (OCTOBER 15TH - APRIL 15TH) EXCEPT UPON CLEAR DEMONSTRATION TO THE SATISFACTION OF THE COUNTY ENGINEER, THAT ADEQUATE SITE EROSION CONTROL MEASURES ARE TO BE TAKEN TO MINIMIZE RISK OF INCREASED EROSION AND SEDIMENT DISCHARGE FROM THE SITE.
2. SHOULD GRADING BE PERMITTED DURING THE RAINY SEASON, THE SMALLEST PRACTICABLE AREA OF ERODIBLE LAND SHALL BE EXPOSED AT ANY ONE TIME DURING GRADING OPERATION AND THE TIME OF EXPOSURE SHALL BE MINIMIZED.
3. NATURAL FEATURES, INCLUDING VEGETATION, TERRAIN, WATERCOURSES AND SIMILAR RESOURCES SHALL BE PRESERVED WHEREVER POSSIBLE.
4. PERMANENT VEGETATION AND STRUCTURES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO OCTOBER 15TH. A LONG TERM MAINTENANCE SCHEDULE SHALL BE IN PLACE.
5. RUNOFF SHALL NOT BE DISCHARGED FROM THE SITE IN QUANTITIES OR AT VELOCITIES SUBSTANTIALLY ABOVE THOSE WHICH OCCURRED BEFORE GRADING EXCEPT INTO DRAINAGE FACILITIES WHOSE DESIGN HAS BEEN SPECIFICALLY APPROVED BY THE COUNTY ENGINEER.
6. CONTRACTOR SHALL IMPLEMENT BMPs TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS INTO PUBLIC STREETS AND SHALL IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
7. SHOULD INCREASED EROSION OR SEDIMENT DISCHARGE OCCUR OR BECOME IMMINENT, CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL SUCH DISCHARGE. SUCH STEPS MAY INCLUDE CONSTRUCTION OF ADDITIONAL FACILITIES OR REMOVAL OR ALTERATION OF FACILITIES REQUIRED BY APPROVED EROSION AND SEDIMENT CONTROL PLANS. FACILITIES REMOVED OR ALTERED SHALL BE RESTORED AS SOON AS POSSIBLE AFTERWARD OR APPROPRIATE CHANGES IN THE PLAN SHALL BE IMMEDIATELY IMPLEMENTED. CONTRACTOR SHALL TAKE PROMPT ACTION TO RESOLVE EMERGENCY PROBLEMS.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE COUNTY ENGINEER, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. MATERIAL STORAGE SHALL BE UNDER COVER AND INSIDE (E) WAREHOUSE OR PORTABLE SHIPPING CONTAINER. STOCKPILED MATERIAL SHALL BE COVERED WITH PLASTIC WHEN NOT IN USE AND PERIMETER CONTROLS SUCH AS FIBER ROLL SHALL BE UTILIZED.
10. DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15):
 - GRADING ACTIVITIES MUST BE SCHEDULED TO MINIMIZE BARE GRADED AREAS.
 - SUFFICIENT QUANTITIES OF EROSION CONTROL MATERIALS SHALL BE KEPT ON SITE AT ALL TIMES TO BE INSTALLED AS SOON AS POSSIBLE AND PRIOR TO LIKELY PRECIPITATION EVENTS.
11. EFFECTIVE SOIL COVER SHALL BE PROVIDED ON ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS.

CONTROL INSPECTION NOTES

1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE COUNTY OF MONTEREY TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND IN COMPLIANCE WITH CALTRANS OR CASQA BMP FACT SHEETS.
2. DURING CONSTRUCTION, INSPECTIONS BY THE COUNTY OF MONTEREY WILL BE CONDUCTED TO INSPECT DRAINAGE DEVISE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
3. PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE COUNTY OF MONTEREY TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
4. CONTRACTOR SHALL SCHEDULE INSPECTIONS WITH THE COUNTY OF MONTEREY AT ALL STAGES OF SOURCE CONTROL MEASURES CONSTRUCTION.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

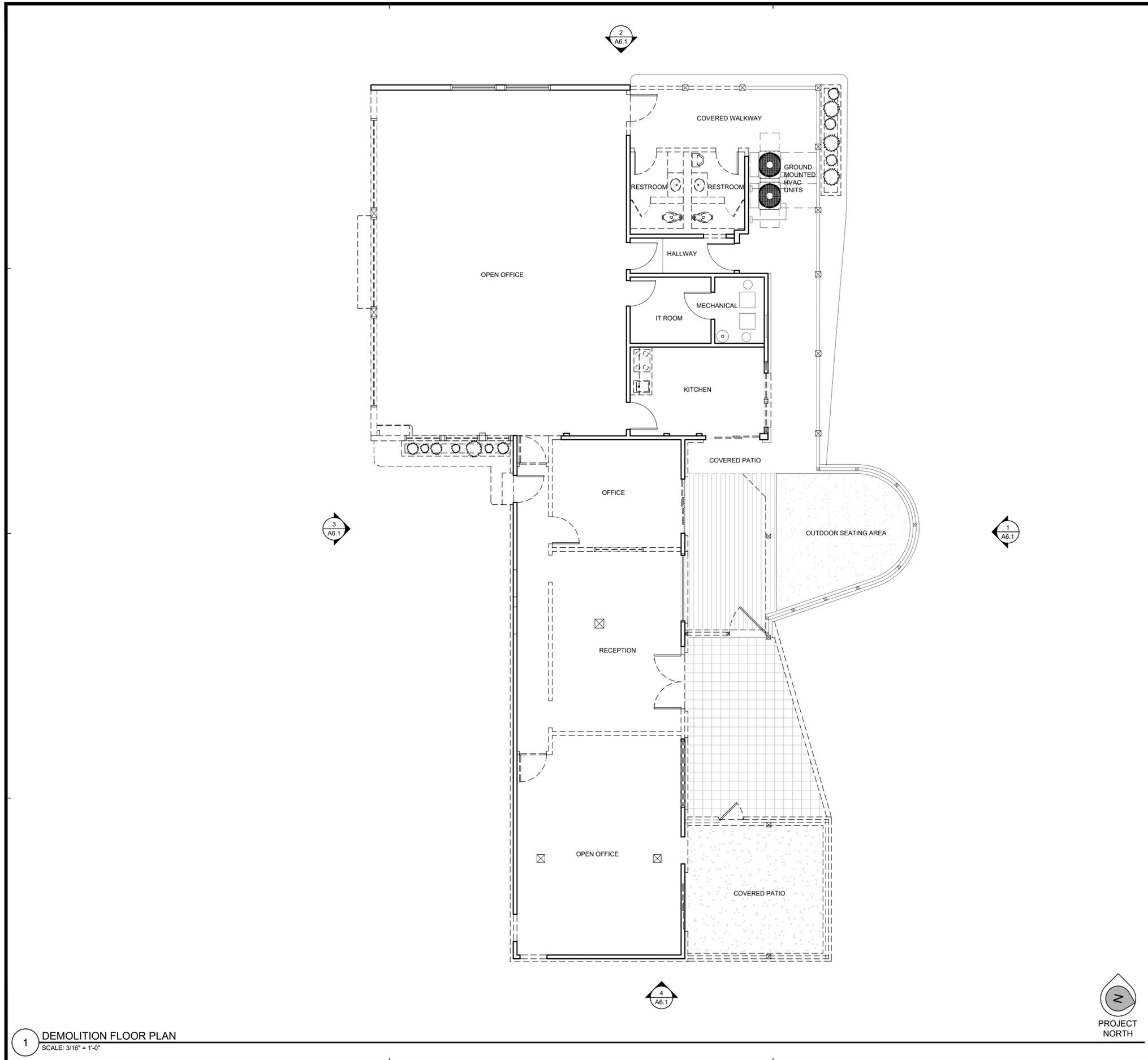


SITE PLAN
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR. SALINAS, CA 93908

REV.	DATE	DESCRIPTION
01/02/25	01/02/25	1ST DESIGN REVIEW SUBMITTAL
04/24/25	04/24/25	2ND DESIGN REVIEW SUBMITTAL

DATE:	04/24/2025
SCALE:	AS NOTED
DRAWN:	AT/ IM
JOB:	24065
SHEET:	A1.1

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND FOR WHICH THEY WERE DESIGNED. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND INSTRUMENTS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THESE INSTRUMENTS SHALL BE AVOIDED AT ALL TIMES.



LEGEND

- (E) 2x STUD WALL (TO REMAIN)
- (E) 2x STUD WALL (TO BE DEMOLISHED)

1 DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"



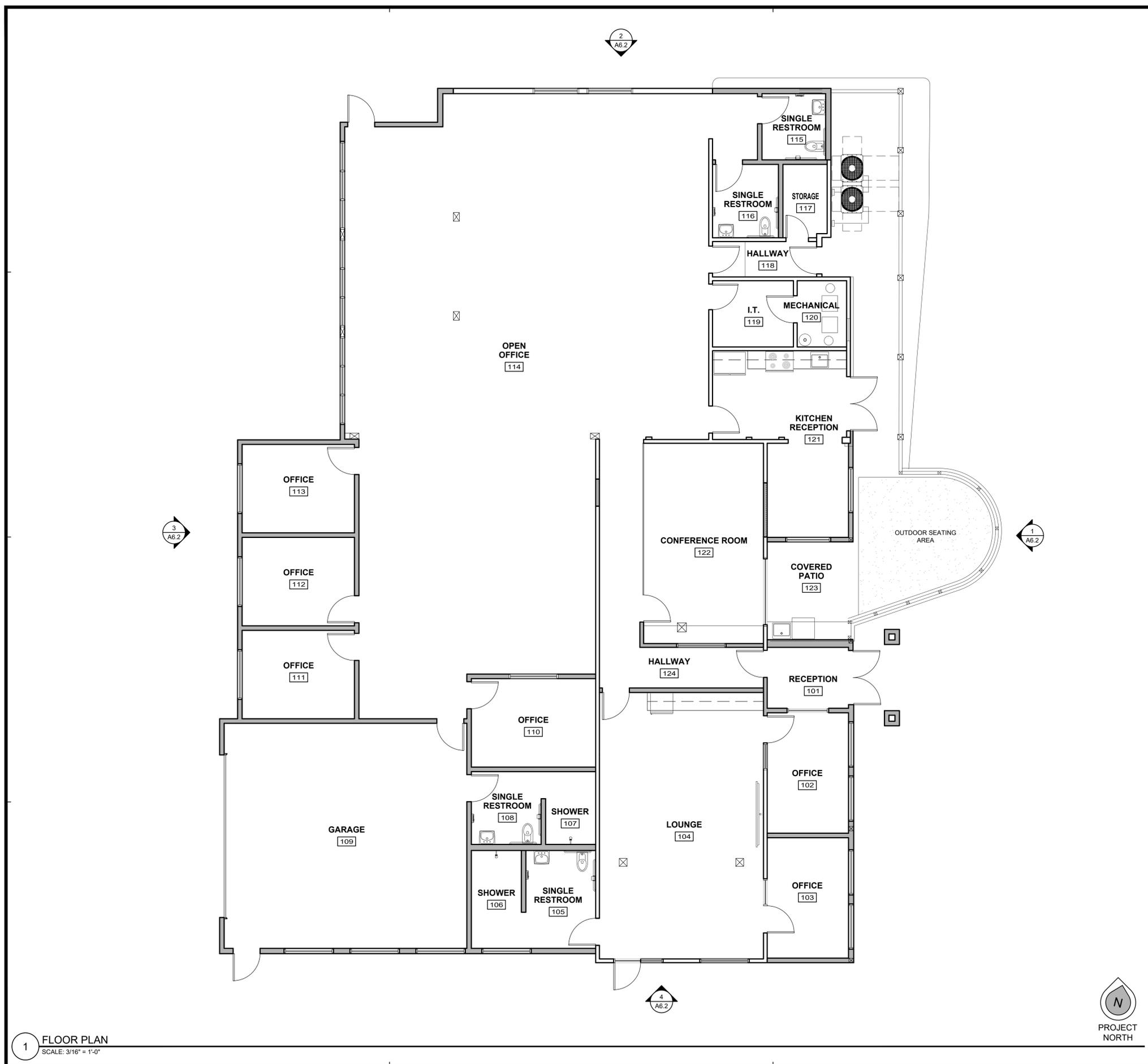
DEMOLITION FLOOR PLAN
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR. SALINAS, CA 93908

REV.	DATE	DESCRIPTION
	01/02/25	1ST DESIGN REVIEW SUBMITTAL
	04/24/25	2ND DESIGN REVIEW SUBMITTAL

DATE: 04/24/2025
SCALE: AS NOTED
DRAWN: AT/ IM
JOB: 24065
SHEET:

A2.0

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND FOR WHICH THEY WERE DESIGNED. ANY REPRODUCTION, MODIFICATION, OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THESE DOCUMENTS SHALL BE PROHIBITED.



LEGEND

- (E) 2x STUD WALL (TO REMAIN)
- (N) 2x STUD WALL



FLOOR PLAN
 OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
 22730 PORTOLA DR., SALINAS, CA 93908

REV.	DATE	DESCRIPTION

DATE: 04/24/2025
 SCALE: AS NOTED
 DRAWN: AT/ IM
 JOB: 24065
 SHEET:

1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLISHED BY THE ARCHITECT AND VISUAL CONTRACTOR WITH THESE COORDINATES FROM FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR ELEVATIONS
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR. SALINAS, CA 93908

REV.	DATE	DESCRIPTION
01	02/25	1ST DESIGN REVIEW SUBMITTAL
02	04/24/25	2ND DESIGN REVIEW SUBMITTAL

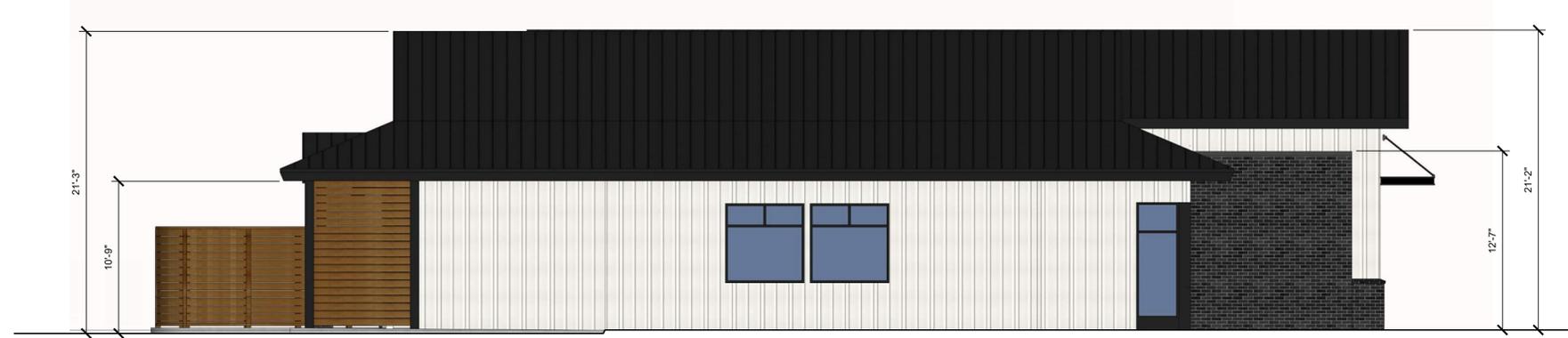
DATE: 04/24/2025
SCALE: AS NOTED
DRAWN: AT/ IM
JOB: 24065
SHEET:

A6.1

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THESE DOCUMENTS FROM FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



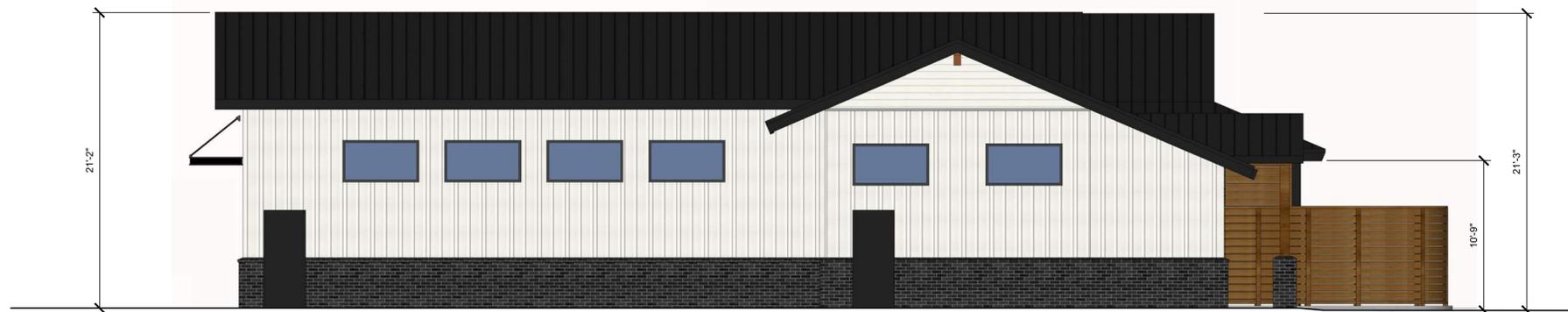
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



Peartree+Belli
ARCHITECTS
235 MONTEREY ST., SUITE B
SALINAS, CA 93901
(831) 424-4620
PEARTREEBELLI.COM

PROPOSE EXTERIOR ELEVATIONS
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR, SALINAS, CA 93908

REV.	DATE	DESCRIPTION
01	02/25	1ST DESIGN REVIEW SUBMITTAL
02	04/24/25	2ND DESIGN REVIEW SUBMITTAL

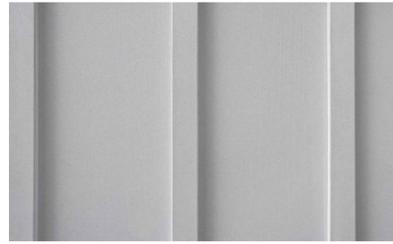
DATE: 04/24/2025
SCALE: AS NOTED
DRAWN: AT/ IM
JOB: 24065
SHEET:

A6.2

(A) EXTERIOR MAIN COLOR
DE6190 BALL OF STRING



(B) BOARD AND BATTEN - TO MATCH EXISTING
COLOR: DE6190 BALL OF STRING



(C) BRICK VENEER WAINSCOT
COLOR: CHARCOAL



(D) STANDING SEAM METAL ROOF
COLOR: CHARCOAL



(E) WOOD SIDING
COLOR: WOOD STAIN - NATURAL CEDAR



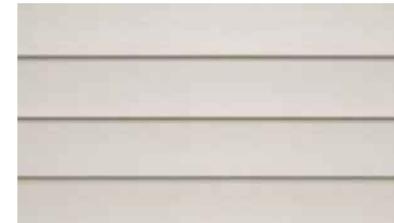
(F) WINDOW FRAMES & STOREFRONT DOORS
COLOR: BLACK



(G) GARAGE DOOR
COLOR: LIGHT FRENCH GRAY



(H) WOOD SIDING
COLOR: DE6190 BALL OF STRING



COLORS AND MATERIALS BOARD
OFFICE REMODEL & ADDITION FOR:
ADVANCED TRANSPORTATION SERVICES INC.
22730 PORTOLA DR. SALINAS, CA 93908

REV.	DATE	DESCRIPTION
01	02/25	1ST DESIGN REVIEW SUBMITTAL
02	04/24/25	2ND DESIGN REVIEW SUBMITTAL

DATE: 04/24/2025
SCALE: AS NOTED
DRAWN: AT/IM
JOB: 24065
SHEET:

A6.3

Exhibit B

This page intentionally left blank.

MINUTES
Toro Land Use Advisory Committee
June 23, 2025

1. Meeting called to order by: Lauren Keenan at 4:00 pm

2. Roll Call

Members Present: Lauren Keenan, Tamara Schwartz, Mike Weaver

Members Absent: Mike Mueller, Stephen Hooper, (both on June vacation)

3. Approval of Minutes:

A. May 12, 2025 minutes

Motion: Schwartz (LUAC Member's Name)

Second: Keenan (LUAC Member's Name)

Ayes: Schwartz, Keenan, Weaver

Noes: None

Absent: Mueller, Hooper

Abstain: None

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None.

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects (Refer to pages below)

None.

B) Announcements

None.

7. **Meeting Adjourned:** 4:45 pm

Minutes taken by: Weaver

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Toro

1. **Project Name:** NOORANI JONATHAN
File Number: PLN240046
Project Location: 26141 Rinconada Drive, Carmel Valley, CA 93924
Project Planner: Benjamin Moulton
Area Plan: Toro Area Plan
Project Description: Construction of 2,734 sf single-family dwelling, 767 sf detached garage, 400 sf detached accessory dwelling unit, and removal of three Oak trees.

Was the Owner/Applicant/Representative present at meeting? Yes No

(Please include the names of those present)

Site Visit:

Aaron Tollefson, Designer, Jonathan Noorani and Hanna Bozorg, Owner-Applicants Toro LUAC members, Keenan, Schwartz, and Weaver

Was a County Staff/Representative present at meeting? Planning Commissioner Amy Roberts, H&CD Staff: Jordon Evans-Polocleau, Jade Mason, Joseph Alameda _____ (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

<p>Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)</p>	<p>Policy/Ordinance Reference (If Known)</p>	<p>Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)</p>
<p>Aaron Tollefson, architectural designer plans. Mediterranean style, downhill from Rinconada St., and not very visible from Rinconada St.</p>		<p>Paint it an earth tone color as per Toro Area Plan. Recommend ADU be painted to match the house and change the roofline to be more in line with the design of the house.</p>
<p>Temporary storage unit closer to Rinconada</p>		<p>It is in a temporary location for purposes of building. It will be moved downhill later.</p>
<p>Three medium sized Coastal Live Oaks will need to be removed.</p>		<p>Suggest replacing with ten 1-gallon Coastal Live Oaks planted on the property as not all young Oaks survive. Experience about a 30% survival rate.</p>

ADDITIONAL LUAC COMMENTS

____ LUAC field trip: Were impressed with the building designs and the location (envelope) for the new house.

 _____ Field trip attendees: Keenan, Schwartz, Weaver, Tollefson, Noorani, Bozorg

RECOMMENDATION:

Motion by: Keenan _____ (LUAC Member's Name)

Second by: Schwatz _____ (LUAC Member's Name)

_____ Support Project as proposed

Support Project with changes (Earth Tone Color for house and plant 10 1-gallon Oaks. ADU color to match house and change the roofline to more match the house.)

_____ Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: Keenan, Schwartz, Weaver

NOES: None

ABSENT: Mueller, Hooper

ABSTAIN: None

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Toro

2. Project Name: PAGE BRANDON & SAMANTHA

File Number: PLN250035

Project Location: 13780 Vista Dorada Dr, Salinas, CA 93908

Project Planner: Joseph Alameda

Area Plan: Toro Area Plan

Project Description: Construction of a one-story single family dwelling with a two-car garage and a one-car garage, and associated site improvements.

Was the Owner/Applicant/Representative present at meeting? Yes No

(Please include the names of the those present)

Brandon Page, owner-applicant, Bill Mefford, Architect

LUAC field trip to the site, Keenan, Schwartz, Weaver, Page, Mefford

Was a County Staff/Representative present at meeting? Planning Commissioner Amy Roberts, H&CD Staff: Jordon Evans-Polocleau, Jade Mason, Joseph Alameda(Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Jeff Howarth	X		Attending to see what's going on. Lives across the street.

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

<p>Initial response to overall height of house was 20'8" high. Later question as to height of house above average grade was 25 ft.</p>		<p>Concern is conformity with other homes in this established Vista Dorada development. This may be the last empty lot. Other homes built in the 1970's-1980's</p>
<p>Proposed exterior color 'Bone White' with Dark Bronze Windows</p>		<p>Toro Area supposed to have earth tone colors, not whites.</p>
<p>Concern is the "siting" on the property as other houses on Vista Dorada in an LDR District facing the street with required 30' front setback and 20' side and rear yard setbacks as is called for in LDR zoning.</p>		<p>Architect has "rotated" the house so living area faces the golf course "downhill" impacting the set backs. Example, the rear side of the house is 9 ft. from the back of a neighbor's house. We were told the front side of the house set back is about 16 feet.</p>

ADDITIONAL LUAC COMMENTS

LUAC asked about down-lit exterior lighting and were assured that was the plan. Toro Area Plan emphasizes the Quality of Darkness, ability to enjoy the night sky. LUAC was assured this was the plan, down-lit lighting.

Mike Weaver's question/concern as to the proposed distance to the rear of the neighbor's house was answered by the architect with; Nine feet, but the neighbor does not have any windows on that side of his house so therefore it shouldn't be a problem. Note: Neighbor was not in attendance. The property was flagged but no notice posted (not required of a LUAC meeting)

RECOMMENDATION:

Motion by: Tamara Schwartz (LUAC Member's Name)

Second by: Lauren Keenan (LUAC Member's Name)

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: Schwartz, Keenan

NOES: Weaver (because of the setbacks issue and closeness of the neighboring house with the current Page building plans. Inconsistent with the neighborhood.

ABSENT: Mueller, Hooper

ABSTAIN: None

ABSENT: _____

ABSTAIN: _____

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Toro

3. Project Name: RC PROPERTIES LEASING LLC

File Number: PLN250009

Project Location: 22730 PORTOLA DR, SALINAS, CA 93908

Project Planner: Joseph Alameda

Area Plan: Toro Area Plan

Project Description: Design Approval to allow a 1,450 square foot addition with a tenant improvement to reconfigure the layout to an existing 3,028 square foot single-story office building; construct new 1,495 square foot garage; relocate existing parking stalls and associated site work. Colors and Materials to consist of Plaster (Off White), Board and Batten (Light Gray), Brick Veneer Wainscot (Charcoal), Standing Seam Metal Roof (Charcoal) Wood Siding (Wood Stain in Natural Cedar), Windows and Doors (Black), Garage Door (Light French Gray), and Wood Siding (Light Gray).

Was the Owner/Applicant/Representative present at meeting? Yes X No _____

(Please include the names of the those present)

Robert Silva and Colby Varley (business owners), Matt Gourly, building contractor, Ismael Magana, Architect Neighbor, Rene Baxter

Was a County Staff/Representative present at meeting? Planning Commissioner Amy Roberts, H&CD Staff: Jordon Evans-Polocleau, Jade Mason, Joseph Alameda

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Neighbor Rene Baxter was interested in what's going on. Here to learn.	X		

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

Architect explained this building has been empty for about 5 years, since Covid. It is run down. New owners have plans to resurrect this former Karate School and expand some, to business offices.		Explained very little difference in intensity of use, likely less. For example they get to work about 5 a.m. and leave about 3:30 p.m.
Mike Weaver suggested the new owners reach out to the Toro Park Animal Hospital business located near/behind this building and share with them what is going on.		Owners thought was that a good idea.
Lauren Keenan asked if materials and fixtures such as mirrors can be repurposed somehow, instead of going to a landfill?		Owners agreed

ADDITIONAL LUAC COMMENTS

Weaver thanked the applicants and stated this project was going to be a big benefit to the neighborhood. It has been rundown/eyesore. It will now be refreshed/renewed.

RECOMMENDATION:

Motion by: Tamara Schwartz (LUAC Member's Name)

Second by: Mike Weaver (LUAC Member's Name)

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: Schwartz, Weaver, Keenan

NOES: None

ABSENT: Mueller, Hooper

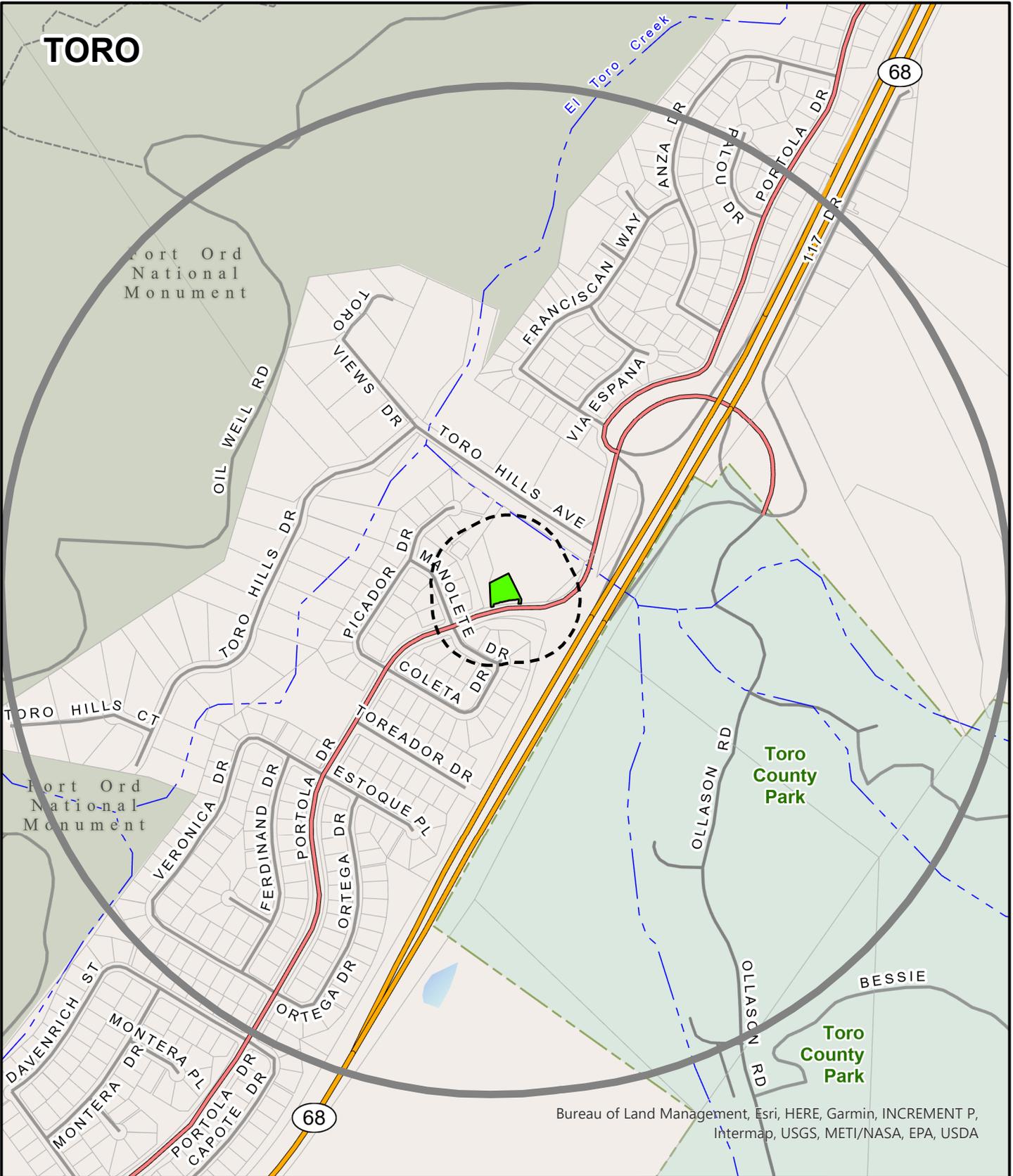
ABSTAIN: None

This page intentionally left blank

Exhibit C

This page intentionally left blank.

TORO



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: RC PROPERTIES

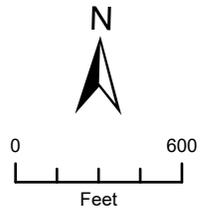
APN: 161293004000

FILE # PLN250009

 Project Site

 300 FT Buffer

 2500 FT Buffer



This page intentionally left blank



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-051

September 25, 2025

Introduced: 9/19/2025

Current Status: Agenda Ready

Version: 2

Matter Type: Zoning Administrator

PLN240349 - Saladino Family Investments LLC

Public hearing to consider action on the construction of a 4,050 square foot two-story single family dwelling with a 1,458 square foot lower level, a 1,130 square foot attached garage, a 769 square foot accessory dwelling unit, and associated site improvements, development on slopes in excess of 30%, and the removal of three Coast Live Oaks.

Project Location: 1458 Riata Rd, Pebble Beach

Proposed CEQA Action: Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15301, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a Resolution:

1. Finding the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
2. Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the construction of a 4,050 square foot two-story single-family dwelling with a 1,458 square foot lower level, a 1,130 square foot attached garage, a 769 square foot accessory dwelling unit, and associated site improvements;
 - b. Coastal Development Permit to allow development on man-made slopes in excess of 30 percent; and
 - c. Coastal Development Permit to allow the removal of three Coast Live Oaks.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval/denial subject to 8 conditions of approval.

PROJECT INFORMATION:

Agent: Brittney Schloss

Property Owner: Craig Saladino

APN: 008-332-019-000

Parcel Size: 30,492 Square Feet (.7 Acres)

Zoning: Low Density Residential with a density of one unit per 1.5 acres and a Design district overlay in the Coastal Zone (LDR/1.5-D(CZ))

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

Project Planner: Joseph Alameda, Associate Planner,
alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY/DISCUSSION:

The project is located at 1458 Riata Rd, Pebble Beach and is subject to the policies of the Del Monte Forest Land Use Plan. The proposed project is to construct a 4,050 square two-story single family with a 1,458 square foot lower level that would be partially below grade. Additionally, the project includes the construction of a 1,130 attached lower-level garage and a 769 square foot attached Accessory Dwelling Unit. Implementation of the project involves 242 square feet of development on slopes in excess of 30%, as well as the removal of three protected Coast Live Oak trees. The subject parcel will obtain a sewer service connection to the Pebble Beach Community Services District. The applicant provided a Can and Will serve letter from Cal-Am Water stating they will provide domestic water service to the subject parcel.

The project is consistent with applicable goals and policies in the 1982 General Plan, policies in the Del Monte Forest Land Use Plan (DMF LUP), and regulations and development standards contained in the Del Monte Forest Coastal Implementation Plan (DMF CIP) and Monterey County Coastal Zoning Ordinance (Title 20).

Land Use & Development Standards

The property is zoned Low Density Residential, one unit per 1.5 acres with Design Control overlay district in the Coastal Zone or “LDR/1.5-D(CZ)”. This zoning district allows the first single-family dwelling and accessory structures subject to the granting of discretionary planning permits pursuant to section 20.14.040. The proposed project is consistent with the applicable development standards for LDR zoning. The applicant proposes a height of 28 feet from the average natural grade. Accordingly, the proposed height is consistent with the allowable 30-foot maximum. The single-family dwelling will have setbacks of 30 feet (front), 28 feet (side), and over 50 feet (rear). The property is allowed a 15% site coverage and as proposed, the site coverage will be 14.9%. The allowed floor area ratio (FAR) is 17.5% and as proposed, the FAR will be 16.4%.

Pescadero Watershed & Driveway

DMF LUP Figure 2b identifies the subject property to within the Pescadero, Carmel Bay Area of Special Biological Significance watershed. DMF LUP Policy 77 states that any new residential development within this area shall be limited to an impervious surface coverage of 9,000 square feet. The proposed project includes 4,728 square feet of impervious coverage and therefore, is consistent with this policy. Additionally Freshwater and Marine Resources Key Policy places water quality and biological value within this area of DMF and states that the Carmel Bay shall be protected and maintained. DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 states that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The attached plans (**Exhibit A**) illustrate two access points, both of which are proposed to be constructed with permeable materials. The lower driveway would be 1,623 square feet that allows entrance into the attached garage and uncovered parking for the attached ADU. The upper entry driveway would be 1,243 square feet and would allow for guest parking and access into through front of the single family

dwelling. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes vegetation removal on the project site, and provides the minimum required parking for the proposed ADU and single-family dwelling.

Visual Resources and Design Review

The property is identified on DMF LUP Figure 3 as being within the viewshed from Point Lobos, but not 17 Mile Drive. Per staff's site visit, the proposed development will also not be visible from Point Lobos or 17 Mile Drive due to intervening development and existing trees. The proposed development is subject to the regulations of the Design Control "D" zoning district outlines in Chapter 20.44, which establishes design review requirements to assure protection of the public viewshed and neighborhood character.

The proposed single-family dwelling will have colors and materials consisting of beige natural stone siding, brown tile roofing, and dark bronze aluminum doors and windows. The proposed single-family dwelling and the proposed colors and materials are consistent with the surrounding neighborhood character and will not detract from the immediately surrounding neighborhood character.

Tree Removal

A Tree Assessment (County of Monterey Library No. LIB250048; **Exhibit D**) was prepared for the project to analyze the proposed tree removal and address any potential impacts. The project involves the removal of three Coast Live Oak Trees. As sited and designed, the proposed development occurs in the least forested location within the developable area and utilizes a two-story design to avoid having an expansive development footprint that would impact more protected trees. The arborist report identifies three trees for removal (#808, #817, and #822) all of which are in poor condition. Tree #808 is recommended for removal due to its location within the main water inlet/meter and for being in poor structural condition. The other two trees recommended for removal have structural damage impacting their stability. There are no trees proposed for removal within the development footprint nor are there any landmark trees proposed for removal.

Development on Slopes

The northeastern portion of the subject parcel contains slopes in excess of 30 percent, which per Title 20 section 20.64.230, requires the granting of a Coastal Development Permit. Although three trees are proposed for removal, alternative development locations would increase the amount of development on slopes and the number of trees impacted by development. Therefore, the project as sited and designed better achieves the goals, policies, and objectives of the County of Monterey General Plan and Del Monte Forest Land Use Plan.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines, "New Construction". This exemption applies to construction of small structures, including the first single-family dwelling. This project qualifies for a Class 3 exemption because it includes the construction of a single-family dwelling on a vacant lot. All the necessary reports have been obtained and have determined that it is unlikely there will be any impacts to archaeological, biological, soil, or forest resources. There are no exceptions pursuant to Section 15300.2.

OTHER AGENCY INVOLVEMENT:

The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and Pebble Beach Community Services District (CSD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

LUAC:

The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on September 4, 2025, and voted unanimously to support the project as proposed.

Prepared by: Joseph Alameda, Associate Planner, (831)783-7079

Reviewed by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution, including:

- Recommended Conditions of Approval
- Plans

Exhibit B - Vicinity Map

Exhibit C - LUAC Minutes

Exhibit D - Tree Assessment

cc: Front Counter Copy; Planning Commission; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Associate Planner; Jacquelyn Nickerson, Principal Planner; Craig Saladino, Property Owner; Brittany Schloss, Agent; The Open Monterey Project; LandWatch (Executive Director); Christina McGinnis, Keep Big Sur Wild; Lozeau Drury LLP; Project File PLN240349



Zoning Administrator

Legistar File Number: ZA 25-051

September 25, 2025

Introduced: 9/19/2025

Current Status: Agenda Ready

Version: 2

Matter Type: Zoning Administrator

PLN240349 - Saladino Family Investments LLC

Public hearing to consider action on the construction of a 4,050 square foot two-story single family dwelling with a 1,458 square foot lower level, a 1,130 square foot attached garage, a 769 square foot accessory dwelling unit, and associated site improvements, development on slopes in excess of 30%, and the removal of three Coast Live Oaks.

Project Location: 1458 Riata Rd, Pebble Beach

Proposed CEQA Action: Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Article 19 Section 15301, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a Resolution:

1. Finding the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
2. Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the construction of a 4,050 square foot two-story single-family dwelling with a 1,458 square foot lower level, a 1,130 square foot attached garage, a 769 square foot accessory dwelling unit, and associated site improvements;
 - b. Coastal Development Permit to allow development on man-made slopes in excess of 30 percent; and
 - c. Coastal Development Permit to allow the removal of three Coast Live Oaks.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval/denial subject to 8 conditions of approval.

PROJECT INFORMATION:

Agent: Brittney Schloss

Property Owner: Craig Saladino

APN: 008-332-019-000

Parcel Size: 30,492 Square Feet (.7 Acres)

Zoning: Low Density Residential with a density of one unit per 1.5 acres and a Design district overlay in the Coastal Zone (LDR/1.5-D(CZ))

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

Project Planner: Joseph Alameda, Associate Planner,
alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY/DISCUSSION:

The project is located at 1458 Riata Rd, Pebble Beach and is subject to the policies of the Del Monte Forest Land Use Plan. The proposed project is to construct a 4,050 square two-story single family with a 1,458 square foot lower level that would be partially below grade. Additionally, the project includes the construction of a 1,130 attached lower-level garage and a 769 square foot attached Accessory Dwelling Unit. Implementation of the project involves 242 square feet of development on slopes in excess of 30%, as well as the removal of three protected Coast Live Oak trees. The subject parcel will obtain a sewer service connection to the Pebble Beach Community Services District. The applicant provided a Can and Will serve letter from Cal-Am Water stating they will provide domestic water service to the subject parcel.

The project is consistent with applicable goals and policies in the 1982 General Plan, policies in the Del Monte Forest Land Use Plan (DMF LUP), and regulations and development standards contained in the Del Monte Forest Coastal Implementation Plan (DMF CIP) and Monterey County Coastal Zoning Ordinance (Title 20).

Land Use & Development Standards

The property is zoned Low Density Residential, one unit per 1.5 acres with Design Control overlay district in the Coastal Zone or “LDR/1.5-D(CZ)”. This zoning district allows the first single-family dwelling and accessory structures subject to the granting of discretionary planning permits pursuant to section 20.14.040. The proposed project is consistent with the applicable development standards for LDR zoning. The applicant proposes a height of 28 feet from the average natural grade. Accordingly, the proposed height is consistent with the allowable 30-foot maximum. The single-family dwelling will have setbacks of 30 feet (front), 28 feet (side), and over 50 feet (rear). The property is allowed a 15% site coverage and as proposed, the site coverage will be 14.9%. The allowed floor area ratio (FAR) is 17.5% and as proposed, the FAR will be 16.4%.

Pescadero Watershed & Driveway

DMF LUP Figure 2b identifies the subject property to within the Pescadero, Carmel Bay Area of Special Biological Significance watershed. DMF LUP Policy 77 states that any new residential development within this area shall be limited to an impervious surface coverage of 9,000 square feet. The proposed project includes 4,728 square feet of impervious coverage and therefore, is consistent with this policy. Additionally Freshwater and Marine Resources Key Policy places water quality and biological value within this area of DMF and states that the Carmel Bay shall be protected and maintained. DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 states that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The attached plans (**Exhibit A**) illustrate two access points, both of which are proposed to be constructed with permeable materials. The lower driveway would be 1,623 square feet that allows entrance into the attached garage and uncovered parking for the attached ADU. The upper entry driveway would be 1,243 square feet and would allow for guest parking and access into through front of the single family

dwelling. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes vegetation removal on the project site, and provides the minimum required parking for the proposed ADU and single-family dwelling.

Visual Resources and Design Review

The property is identified on DMF LUP Figure 3 as being within the viewshed from Point Lobos, but not 17 Mile Drive. Per staff's site visit, the proposed development will also not be visible from Point Lobos or 17 Mile Drive due to intervening development and existing trees. The proposed development is subject to the regulations of the Design Control "D" zoning district outlines in Chapter 20.44, which establishes design review requirements to assure protection of the public viewshed and neighborhood character.

The proposed single-family dwelling will have colors and materials consisting of beige natural stone siding, brown tile roofing, and dark bronze aluminum doors and windows. The proposed single-family dwelling and the proposed colors and materials are consistent with the surrounding neighborhood character and will not detract from the immediately surrounding neighborhood character.

Tree Removal

A Tree Assessment (County of Monterey Library No. LIB250048; **Exhibit D**) was prepared for the project to analyze the proposed tree removal and address any potential impacts. The project involves the removal of three Coast Live Oak Trees. As sited and designed, the proposed development occurs in the least forested location within the developable area and utilizes a two-story design to avoid having an expansive development footprint that would impact more protected trees. The arborist report identifies three trees for removal (#808, #817, and #822) all of which are in poor condition. Tree #808 is recommended for removal due to its location within the main water inlet/meter and for being in poor structural condition. The other two trees recommended for removal have structural damage impacting their stability. There are no trees proposed for removal within the development footprint nor are there any landmark trees proposed for removal.

Development on Slopes

The northeastern portion of the subject parcel contains slopes in excess of 30 percent, which per Title 20 section 20.64.230, requires the granting of a Coastal Development Permit. Although three trees are proposed for removal, alternative development locations would increase the amount of development on slopes and the number of trees impacted by development. Therefore, the project as sited and designed better achieves the goals, policies, and objectives of the County of Monterey General Plan and Del Monte Forest Land Use Plan.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines, "New Construction". This exemption applies to construction of small structures, including the first single-family dwelling. This project qualifies for a Class 3 exemption because it includes the construction of a single-family dwelling on a vacant lot. All the necessary reports have been obtained and have determined that it is unlikely there will be any impacts to archaeological, biological, soil, or forest resources. There are no exceptions pursuant to Section 15300.2.

OTHER AGENCY INVOLVEMENT:

The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and Pebble Beach Community Services District (CSD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

LUAC:

The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on September 4, 2025, and voted unanimously to support the project as proposed.

Prepared by: Joseph Alameda, Associate Planner, (831)783-7079

Reviewed by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution, including:

- Recommended Conditions of Approval
- Plans

Exhibit B - Vicinity Map

Exhibit C - LUAC Minutes

Exhibit D - Tree Assessment

cc: Front Counter Copy; Planning Commission; Pebble Beach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Associate Planner; Jacquelyn Nickerson, Principal Planner; Craig Saladino, Property Owner; Brittany Schloss, Agent; The Open Monterey Project; LandWatch (Executive Director); Christina McGinnis, Keep Big Sur Wild; Lozeau Drury LLP; Project File PLN240349

Exhibit A

This page intentionally left blank.

DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

SALADINO FAMILY INVESTMENTS LLC (PLN240349)

RESOLUTION NO. 25-

Resolution by the County of Monterey Planning
Commission:

- 1) Finding the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a. A Coastal Administrative Permit and Design Approval to allow the construction of a 4,050 square foot single family dwelling and 1,458 square foot attached garage and a 769 square foot accessory dwelling unit; and
 - b. A Coastal Development Permit to allow development on man-made slopes in excess of 30 percent.; and
 - c. A Coastal Development Permit to allow the removal of 3 Coast Live Oaks.

[PLN240349, Saladino Family Investments LLC,
1458 Riata Road, Pebble Beach, Del Monte Forest
Land Use Plan (APN: (008-332-019-000)]

The Saladino Family Investments LLC application (PLN240349) came on for public hearing before the County of Monterey Zoning Administrator on September 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Monterey County Coastal Implementation Plan, Part 5; and
 - Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1458 Riata Road, Pebble Beach (Assessor's Parcel Number 008-332-019-000), Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential with a maximum gross density of 1.5 acres per unit and a Design Control overlay in the Coastal Zone or "LDR/1.5-D (CZ)". LDR zoning allows for the establishment of the first single-family dwelling as a principally allowed use subject to the granting of a Coastal Administrative Permit pursuant to Title 20 section 20.14.040.A. The Design Control overlay requires the granting of a Design Approval for all structures as further discussed in evidence "e" below. The proposed project involves the construction of a 4,050 square foot single family dwelling and 1,458 square foot attached garage and 769 square foot accessory dwelling unit. The project also involves the removal of 3 protected Oak trees and development on slopes in excess of 30%, which are allowed uses subject to the granting of a Coastal Development Permit in each case. Therefore, the project is an allowed land use for this site.
- c) HCD-Planning staff conducted a site inspection on May 15, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Review of Development Standards. The project meets all required development standards for Low Density Residential zoning district. Pursuant to Title 20 section 20.14.060, the required setbacks in the LDR zoning district are 30 feet (front), 20 feet (side), and 20 feet (rear). The single-family dwelling will have setbacks of 30 feet (front), 28 feet (side), and over 50 feet (rear). The LDR zoning district allows a maximum height of 30 feet for main structures, and the single-family dwelling will have a height of 28 feet. The LDR zoning district allows a maximum building site coverage of 15% and a maximum floor area ratio of 17.5%. The project will result in a building site coverage of 14.9% and a floor area ratio of 16.4%. Therefore, the project meets all required development standards.
- e) Design and Visual Resources. Pursuant to Title 20 Chapter 20.44, the project parcels and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed single-family dwelling will have colors and materials consisting of beige natural stone siding, brown tile roofing, and dark bronze aluminum doors and windows. The proposed single-family dwelling and the proposed colors and materials are consistent with the surrounding neighborhood character and will not detract from the immediately surrounding neighborhood character. Condition No. 8 has been applied to require the installation of down-lit unobtrusive exterior lighting. The subject property is shown on Figure 3 of the Del Monte Forest Land Use Plan as being within the viewshed from Point Lobos State Park. Staff conducted a site visit on May 15, 2025 and determined

that the development will not be visible from Point Lobos or any other common public viewing area due to existing geography, vegetation, and structural development. Therefore, as proposed and conditioned, the project is not in conflict with the surrounding environment or with the surrounding residential neighborhood character and assures protection of the public viewshed and visual integrity.

- f) Tree Removal. The proposed project involves the removal of three protected Coast Live Oak trees. However, as detailed in Finding No. 6 and supporting evidence, the proposed tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts. Therefore, the criteria necessary to grant a Coastal Development Permit have been met in this case.
- g) Development on Slopes. The proposed project involves consideration of a Coastal Development Permit to allow development on slopes in excess of 30%. As demonstrated in Finding No. 7 and supporting evidence, the proposed project complies with General Plan Policy 26.1.10 and Title 20, which prohibits development on slopes in excess of 30%, unless the Appropriate Authority finds that there is no feasible alternative or the development location better meets the resource protection goals and policies of the 1982 General Plan and Del Monte Forst Land Use Plan.
- h) Pescadero Watershed/Driveway. DMF LUP Figure 2b identifies the subject property to within the Pescadero, Carmel Bay Area of Special Biological Significance watershed. DMF LUP Policy 77 states that any new residential development within this area shall be limited to an impervious surface coverage of 9,000 square feet. The proposed project includes 4,728 square feet of impervious coverage and therefore, is consistent with this policy. Additionally Freshwater and Marine Resources Key Policy places water quality and biological value within this area of DMF and states that the Carmel Bay shall be protected and maintained. DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 states that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The attached plans illustrate two access points, both of which are proposed to be constructed with permeable materials. The lower driveway would be 1,623 square feet that allows entrance into the attached garage and uncovered parking for the attached ADU. The upper entry driveway would be 1,243 square feet and would allow for guest parking and access into through front of the single family dwelling. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes vegetation removal on the project site, and provides the minimum required parking for the proposed ADU and single-family dwelling.
- i) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development

within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is within 750 feet of a known archaeological resource. The Archaeological report (Monterey County Library No. LIB250047) prepared for the subject property concluded that there is no indicator of a prehistoric site or a historic site in the soils of the project parcel. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- j) Lot Legality. The subject property is shown in its current configuration and under separate ownership in the 1964 and 1972 Parcel Maps. Therefore, the County recognizes the subject parcel as a legal lot of record. Therefore, the County recognizes the subject properties as legal lots of record.
- k) Land Use Advisory Committee. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review, on September 4, 2025. The LUAC members voted 5-0 to support the project as proposed.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240349.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Pebble Beach Community Services District (fire), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geological Resources (soils and slopes), Forest Resources, Biological Resources and Cultural Resources. The following reports have been prepared:
 - “Geotechnical Report” (County of Monterey Library No. LIB250049), prepared by Grice Engineering, INC., Salinas, CA, January 2025
 - “Arborist Report” (County of Monterey Library No. LIB250048), prepared by Albert Weisfuss, Carmel, CA, December 16, 2024
 - “Biological Resources Report” (County of Monterey Library No. LIB220076), prepared by Denise Duffy and Associates, Inc., Monterey, CA, February 2022
 - “Supplemental Survey” (County of Monterey Library No. LIB220208), prepared by Denise Duffy and Associates, Inc., Monterey, CA, April 2022

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on May 15, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240349.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, Pebble Beach Community Services District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities will be provided to the proposed single-family dwelling. Potable water will provided to the parcel by the California American Water Company (Cal Am), and sewer service will be provided by the Pebble Beach CSD.
 - c) Staff conducted a site inspection on May 15, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240349.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 15, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240349.

5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone.
 - b) The proposed project involves the construction of a construction of a 4,050 square foot single family dwelling and 1,458 square foot attached garage and 769 square foot accessory dwelling unit. Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on May 15, 2025.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical or archaeological resources are present.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240349.
6. **FINDING:** **TREE REMOVAL** - The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.
- EVIDENCE:**
- a) Consistent with section 20.147.050 of the DMF CIP, a Tree Assessment and Forest Management Plan (County of Monterey Library No. LIB250048) was submitted to evaluate the proposed tree removal and address potential impacts.
 - b) The project includes application for the removal of three protected Coast Live Oak trees. Pursuant to section 20.147.050.A of the DMF CIP, a Coastal Development Permit has been applied to this project for the proposed tree removal.
 - c) The proposed tree removal is the minimum required under the circumstances of this case. As sited and designed, the proposed development occurs in the least forested location within the developable area and utilizes a two-story design to avoid having an expansive development footprint that would impact more protected trees. The arborist report identifies three trees for removal (#808, #817, and #822) all of which are in poor condition. Tree #808 is recommended for removal due to its location within the main water inlet/meter and for being in poor structural condition. The other two trees recommended for removal have structural damage impacting their stability. There are no

trees proposed for removal within the development footprint nor are there any landmark trees proposed for removal.

- d) The DMF CIP section 20.147.050.C.6 requires mitigation for tree removal, including planting onsite (at a 1:1 ratio), planting offsite, or payment of a fee to the DMF Conservancy for tree planting or forest preservation. In this case, three trees are required to be replanted onsite with a 1:1 ratio for a total of three trees to be replanted (Condition No. 7).
- e) Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots (Condition No. 4).
- f) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term.
- g) Staff conducted a site inspection on May 15, 2025, to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- h) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240349.

7. **FINDING:** **SLOPES IN EXCESS OF 30 PERCENT** – The proposed development on slopes in excess of 30% better achieves the goals, policies, and objectives of the Monterey County General Plan and Del Monte Forest Land Use Plan and the Monterey County Zoning Ordinance (Title 20) than other development alternatives.

- EVIDENCE:**
- a) Pursuant to Title 20 section 20.64.230, development on slopes exceeding 30 percent is allowed subject to the granting of a Coastal Development Permit if there are no feasible alternatives that would allow development to occur on slopes less than 30 percent or if the project better achieves the goals, policies, and objectives of the County of Monterey General Plan and applicable area plan. In this case, the proposed project involves development on slopes and the criteria to grant the Coastal Development Permit have been met.
 - b) In this case, a small area in the northeastern portion of the subject property contains slopes in excess of 30%, created through previous development. The project involves 242 square feet of development on slopes in excess of 30%. DMF CIP section 20.147.050 encourages the preservation of Coast Live Oak trees and other protected trees. As described in Finding No. 6 and supporting evidence, the proposed project, as sited, minimizes tree removal. Although three trees are proposed for removal, alternative development locations would increase the amount of development on slopes and the number of trees impacted by development. Therefore, the project as sited and designed better achieves the goals, policies, and objectives of the County of Monterey General Plan and Del Monte Forest Land Use Plan.

- c) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN240349.
8. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, Section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240349.
9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate
 - b) Authority other than the Board of Supervisors. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Combined development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a 4,050 square foot single family dwelling and 1,458 square foot attached garage and 769 square foot accessory dwelling unit; 2) a Coastal Development Permit to allow development on man-made slopes in excess of 30 percent.; and 3) a Coastal Development Permit to allow the removal of three Coast Live Oak trees.

All of which are in general conformance with the attached sketch and subject to the attached 8 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of September 2025:

Mike Novo AICP,
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

This page intentionally left blank

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240349

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN240349) allows the construction of a 4,050 square foot single family dwelling and 1,458 square foot attached garage and 769 square foot accessory dwelling unit, development on slope sin excess of 30%, and the removal of 3 Coast Live Oak trees. The property is located at 1458 Riata Road, Pebble Beach (Assessor's Parcel Number 008-332-019-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 008-332-019-000 on September 25, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project. CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

7. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: three 15-gallon Coast Live Oak

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



LA NOSTRA TOSCANA

1458 RIATA RD, PEBBLE BEACH, CA.

JAMES
NEWHALL
SMITH
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

SALADINO FAMILY
INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

COVER
SHEET

ISSUE REVISIONS

① 02-12-25
PLANNING SUBMITTAL

② 06-12-25
DRIVEWAY REVISIONS

-
-
-
-
-
-
-
- △
- △
- △
- △
- △

DATE

PROJECT NUMBER

SHEET NUMBER

A0.0

PROGRESS SET - NOT FOR CONSTRUCTION

SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD, PEBBLE BEACH, CA.

JAMES NEWHALL SMITH
ARCHITECT, INC.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT

SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

DATA SHEET

ISSUE REVISIONS

- ① 02-12-25 PLANNING SUBMITTAL
- ② 06-12-25 DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A0.1

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, SALADINO FAMILY TRUST INVESTMENTS, LLC, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF ALL MATERIALS REGULATIONS AS ADOPTED BY MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF PLY SHEATHING, TYP, OR AS OTHERWISE NOTED TO BE FACE OF FINISH (F.O.F.), FACE OF COLUMN (F.O.C.), OR CENTER LINE OF OPENING, MULLION, PARTITION, OR COLUMN, ETC. SEE ALSO CORNER DETAIL ON A8 SHEETS
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE ARBORIST REPORT). TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

BUILDING DEPT. NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.
- RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT.

ABBREVIATIONS

&	AND	NOM.	NOMINAL
L	ANGLE	N.T.S.	NOT TO SCALE
⊙	AT	O.C.	ON CENTER
⊕	CENTERLINE	O.D.	OUTSIDE DIAMETER
EXIST'G OR (E)	EXISTING	O.F.	OVERFLOW
A.B.	ANCHOR BOLT	OPNG.	OPENING
ACOUS.	ACOUSTICAL	PL.	PLASTIC
A.D.	AREA DRAIN	PLAM.	PLASTIC LAMINATE
ALUM.	ALUMINUM	PLAS.	PLASTER
APPROX.	APPROXIMATE	PWD.	PLYWOOD
ARCH.	ARCHITECTURAL	PR.	PAIR
BD.	BOARD	PTN.	PARTITION
BITUM.	BITUMINOUS	R.	RISER OR RADIUS
BLK.	BLOCK	REFR.	REFRIGERATOR
BM.	BEAM	RENF.	REINFORCED
BOT.	BOTTOM	REQD.	REQUIRED
CAB.	CABINET	RESL.	RESILIENT
CEM.	CEMENT	RM.	ROOM
CER.	CERAMIC	R.O.	ROUGH OPENING
CLG.	CEILING	RF.	ROOF
CLGK.	CAULKING	S.C.	SOLID CORE
CLR.	CLEAR	SCHED.	SCHEDULE
COL.	COLUMN	SECT.	SECTION
CONC.	CONCRETE	SH.	SHELF
CONT.	CONTINUOUS	SHT.	SHEET
DBL.	DOUBLE	SM.	SIMILAR
D.F.	DRINKING FOUNTAIN	SPEC.	SPECIFICATION
DET.	DETAIL	SG.	SQUARE
DIA.	DIAMETER	STD.	STANDARD
DM.	DIMENSION	STL.	STEEL
DN.	DOWN	SYM.	SYMMETRICAL
DR.	DOOR	T.	TREAD
DWR.	DRAINER	T.O.S.	TOP OF CONCRETE SLAB
D.S.	DOWNSPOUT	T&G.	TONGUE AND GROOVE
DWG.	DRAWING	THK.	THICK
EA.	EACH	T&.	TEMPERED GLAZING
EL.	ELEVATION	T.O.P.	TOP OF PLATE
ELEC.	ELECTRICAL	T.V.	TELEVISION
ELEV.	ELEVATOR	T.O.W.	TOP OF WALL
FLASH.	FLASHING	TYP.	TYPICAL
F.O.C.	FACE OF CONCRETE	TP.	TOILET PAPER HOLDER
F.O.S.	FACE OF STUDS	U.G.N.	UNLESS OTHERWISE NOTED
FTG.	FOOTING	V.C.T.	VERT. COMPOSITION TILE
FURR.	FURRING	VERT.	VERTICAL
GA.	GAUGE	W/.	WITH
GALV.	GALVANIZED	W.C.	WATER CLOSET
GL.	GALVANIZED IRON	W/O.	WITHOUT
GR.	GRADE	WP.	WATERPROOF
GYP.	GYPSPUM		
GYP. BD.	GYPSPUM WALLBOARD		
H.C.	HOLLOW CORE		
HORIZ.	HORIZONTAL		
HR.	HOUR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
KIT.	KITCHEN		
LAM.	LAMINATE		
LT.	LIGHT		
MAX.	MAXIMUM		
M.C.	MEDICINE CABINET		
MEMB.	MEMBRANE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTL.	MATERIAL		
N.	NORTH		
N.I.C.	NOT IN CONTRACT		
NO. OR #	NUMBER		

MATERIALS LEGEND

	EARTH		WOOD, FINISH
	SAND, MORTAR, PLASTER		WOOD, FRAMING (THRU MEMBER)
	ROCK FILL		WOOD FRAMING (INTERRUPTED MEMBER)
	CONCRETE		PLYWOOD*
	BRICK		GLASS
	CONCRETE BLOCK (C.M.U.)		ACOUSTIC TILE
	STONE		GYPSPUM BOARD
	METAL		INSULATION, BATT
	METAL LATH		INSULATION, RIGID

* PLYWOOD IS SHOWN DIAGRAMMATICALLY. THE NUMBER OF DIVIDING LINES AND SLASHES DO NOT INDICATE STRENGTH OR NUMBER OF PILES. S.S.D. FOR THIS INFORMATION

PROJECT DIRECTORY

- PROPERTY OWNERS:
SALADINO FAMILY INVESTMENTS, LLC
7058 N. WEST AVE. #139
FRESNO, CA. 93711
CONTACT: CRAIG SALADINO
TEL: (559) 903-5600
EMAIL: CSALADINO78@OUTLOOK.COM
- ARCHITECT:
JAMES N. SMITH, ARCHITECT, INC.
27880 DORRIS DR. #200
CARMEL, CA. 93923
CONTACT PERSON : JAMES SMITH
TEL. (831) 915-9518
EMAIL: JAMES@JNSARCH.COM
- CONTRACTOR:
MARK CRISTOFALO & COMPANY
1714 CONTRA COSTA ST.
SAND CITY, CA. 93955
CONTACT PERSON: MARK CRISTOFALO
TEL. (831) 241-4214
MARK@MARKCRISTOFALO.COM
- INTERIOR DESIGNER:
J. BANKS DESIGN
35 N. MAIN ST.
HILTON HEAD ISLAND, SC. 29926
CONTACT PERSON: DORIS GILCH
TEL: (843) 681-5122 EXT. 1741
DORIS.GILCH@JBANKS.COM
- STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
1303 JEFFERSON ST., SUITE 400A
NAPA, CA. 94559
CONTACT PERSON : AARON LUCAS
TEL. (707) 492-3452 X501
EMAIL: AARONL@ZFA.COM
- CIVIL ENGINEER / SURVEYOR:
WHITSON ENGINEERS
6 HARRIS COURT
MONTEREY, CA. 93940
CONTACT PERSON: RICH WEBER
TEL. (831) 649-5225
RWWEBER@WHITSONENGINEERS.COM
- SOILS ENGINEER
GRICE ENGINEERING
561A BRUNKEN AVE.
SALINAS, CA. 93901
CONTACT PERSON: SAM GRICE
TEL. (831) 422-9619
FAX (831) 422-1896
SAM'S CELL (831) 594-7699
SAM'S EMAIL: SAMGE@SBCGLOBAL.NET
JEFF OLMS (831) 594-4664 (FIELD TECH)
- TITLE 24 / MECHANICAL ENGINEER
MONTEREY ENERGY GROUP
227 FOREST AVENUE, SUITE #5
PACIFIC GROVE, CA. 93950
CONTACT PERSON: DAVID KNIGHT
TEL. (831) 372-8328
FAX (831)372-4613
EMAIL: DAVE@MEG4.COM
- LANDSCAPE DESIGN
FLORAVISTA
982 PHEONIX AVE.
VENTURA, CA. 93004
CONTACT PERSON: DINAH IRINO
CELL (831) 261-4840
EMAIL: FLORA.VISTA@SBCGLOBAL.NET
- ARBORIST
ALBERT WEISFUSS
MONTEREY BAY TREEWORX
P.O. BOX 223374
CARMEL, CA. 93922
TEL. (831) 869-2767
EMAIL: ALBERTWEISFUSS@GMAIL.COM

SYMBOLS

- GRID LINE
NUMBER/VERTICAL LETTERS HORIZONTAL
- DOOR SYMBOL-NUMBERS
- WINDOW SYMBOL-NUMBERS
- DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
- SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
- ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
- ROOM IDENTIFICATION ROOM NAME NUMBER
- REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL
- MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED
- WORK POINT/CONTROL/DATUM
- GRADE NEW OR FINISHED GRADE AT EXTERIOR FINISH FLOOR ELEVATION AT INTERIOR (EXISTING GRADE)
- PROPERTY LINE
- CENTER LINE
- FLOOR ELEVATION FIN. FLR. SUB. FLR. TOP OF SLAB

DRAWING INDEX

- | | | |
|-----------|----------------------------------|-----------------------|
| SHEET NO. | DESCRIPTION | STRUCTURAL |
| A0.0 | COVER SHEET | |
| A0.1 | PROJECT DATA AND NOTES | |
| A1.0 | SITE PLAN | |
| A1.0L | SITE PLAN-LIGHTING | |
| A2.0 | FLOOR PLAN - MAIN LEVEL | |
| A2.1 | FLOOR PLAN - LOWER LEVEL | |
| A3.0 | DIM PLAN - MAIN LEVEL | |
| A3.1 | DIM PLAN - LOWER LEVEL | |
| A4.0 | REFL. CEIL'G PLAN-MAIN LEVEL | |
| A4.1 | REFL. CEIL'G PLAN-LOWER LEVEL | |
| A5.0 | ROOF PLAN | MECHANICAL |
| A6.0 | EXTERIOR ELEVATIONS | |
| A6.1 | EXTERIOR ELEVATIONS | |
| A7.0 | BUILDING SECTIONS | PLUMBING |
| A7.1 | BUILDING SECTIONS | |
| A7.2 | SITE ELEVATIONS | |
| A8.0 | MECH DETAILS/NOTES | |
| A8.1 | ELEC DETAILS/NOTES | |
| A8.2 | PLUMB'G DETAILS/NOTES | LANDSCAPE |
| A8.3 | EAVE DETAILS | L 1.1 LANDSCAPE PLAN |
| A8.4 | WINDOW DETAILS | L 1.2 IRRIGATION PLAN |
| A8.5 | DOOR DETAILS | |
| A8.6 | DOOR DETAILS | |
| A8.7 | DOOR DETAILS | |
| A9.0 | DOOR SCHEDULE | |
| A9.1 | WINDOW SCHEDULE | |
| CIVIL | | |
| C-1 | GRADING, DRAINAGE & UTILITY PLAN | |
| C-2 | GRADING SECTIONS | |
| C-3 | EROSION CONTROL PLAN | |
| C-4 | CONSTRUCTION MANAGEMENT PLAN | |
| 1 | SURVEY | |

ARCHAEOLOGICAL NOTE

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

SPECIAL INSPECTIONS

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.
- THE STRUCTURAL ENGINEER OF RECORD SHALL INSPECT THE BUILDINGS FOUNDATIONS WITH ALL REINFORCING PER PLAN PRIOR TO POURING. THE ENGINEER SHALL SUBMIT WRITTEN APPROVAL OF THE FOUNDATION SYSTEM INSTALLATION TO THE BUILDING INSPECTOR.
- THE STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE PERIODIC INSPECTIONS OF THE FRAMING AND PROVIDE WRITTEN REPORTS TO THE BUILDING DEPARTMENT.
- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDANT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

DEFERRED SUBMITTALS

- TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
-

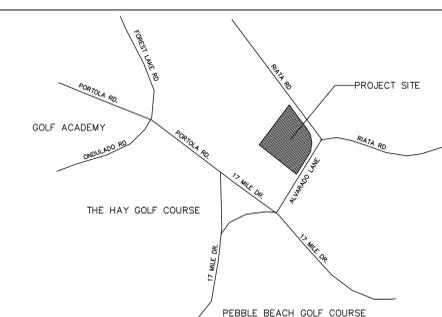
PROJECT INFORMATION

- PROJECT DESCRIPTION:
BUILD NEW TWO STORY RESIDENCE ON VACANT LOT WITH COVERED LIVING/DINING TERRACE AND LOWER LEVEL THAT INCLUDES AN ATTACHED THREE CAR GARAGE, FULLY SUBGRADE LIVING AREA AND AN ADJ. PROJECT INCLUDES PERIMETER FENCE AND VEHICLE GATES.
- PLANNING INFORMATION
 - A.P.N. 008-332-019
 - COUNTY OF MONTEREY ZONING: LDR/1.5-D(CZ)
 - TITLE 20 (COASTAL ZONE) FOR MONTEREY COUNTY FILE# PLN21-0096
 - MAX. ALLOWABLE MAIN BUILDING HEIGHT: 30'
 - MAX. ALLOWABLE ACCESSORY BUILDING HEIGHT: 15'
 - TREE REMOVAL: YES-SEE ARBORIST REPORT
 - 30% SLOPES: YES 119 S.F. ON 30% SLOPES PROPOSED AREAS TO BE BUILT ON 30% SLOPES ARE MINIMAL AND UNAVOIDABLE. 30% SLOPES WERE MAN-MADE FROM PREVIOUS HOUSE PAD GRADING.
 - APPROX. GRADING: 225 CY CUT, 825 CY FILL (SEE CIVIL SHEETS)
 - PESCADERO WATERSHED: YES- 9,000 BLDG/SITE COVERAGE
 - PARKING PROVIDED: COVERED: 2 UNCOVERED: 2
 - PARKING PROVIDED: COVERED: 3 UNCOVERED: 4
- BUILDING INFORMATION
 - PROJECT CODE COMPLIANCE-CODE EDITIONS USED:
2022 CAL. BUILDING CODE-IBC 2022 CAL. RESIDENTIAL CODE-IRC
2022 CAL. ELEC. CODE-CEC 2022 CAL. MECH. CODE-CMC
2022 CAL. PLUMB. CODE-CPC 2022 CAL. ENERGY CODE-CEC
2022 CAL. GREEN BLDG STANDS-COBCS
2022 CAL. FIRE CODE-CFC
 - CONSTRUCTION TYPE: VB
 - BUILDING OCCUPANCY: R-3 / U
 - FIRE DEPARTMENT:
FIRE DISTRICT: P.B.C.S.D.
AUTOMATIC SPRINKLERS EXISTING: NO
AUTOMATIC SPRINKLERS REQUIRED: YES NFPA 13D PER 903.31.3
WILDLAND URBAN INTERFACE CODES REQ'D: YES
W.U.I. ZONE: S.R.A
 - UTILITY PROVIDERS
SEWER: P.B.C.S.D
WATER: CAL AM
ELEC / GAS: PG&E (UNDERGROUND SERVICE)

PROJECT SQUARE FOOTAGE INFORMATION

TOTAL SITE AREA:	=31,519 S.F.	(.73 Ac.)
BUILDING COVERAGE		
(N) BUILDING FOOTPRINT	=	3,664 S.F.
(N) REAR TERRACE	=	636 S.F.
(N) REAR STAIR	=	162 S.F.
(N) FRONT COVERED TERRACE	=	158 S.F.
(N) MSTR. BEDROOM TERRACE	=	90 S.F.
(N) ROOF EAVES OVER 30"	=	0 S.F.
WOOD FRAMED DECKS	=	0 S.F. (LESS THAN 24" ABOVE GRADE)
PROPOSED SITE COVERAGE	=	4,710 S.F. (14.9%)
MAX. ALLOWED BLDG. SITE COVER	=	4,728 S.F. (15%)
MAX. ALLOWED BLDG./SITE COVER	=	9,000 S.F. (PESCADERO DOES NOT APPLY)
FLOOR AREA RATIO		
PROPOSED FLOOR AREA		
MAIN LEVEL	=	3,664 S.F.
LOWER LEVEL	=	386 S.F. (NOT FULLY SUB-GRADE)
LOWER LEVEL-ADU	=	0 S.F. (769 S.F.)
LOWER LEVEL-SUB GRADE	=	0 S.F. (1,458 FULLY SUB-GRADE)
TOTAL (E) LIVABLE AREA	=	4,050 S.F.
GARAGE-3 CAR	=	1,130 S.F.
PROPOSED FLOOR AREA TOTAL	=	5,180 S.F. (16.4%)
MAX. ALLOW FLOOR AREA RATIO	=	5,516 S.F. (17.5%)
PERMEABLE/PERVIOUS SITE COVERAGE		
UPPER ENTRY DRIVEWAY	=	1,243 S.F. (E) WAS 2,200 S.F.
LOWER DRIVEWAY	=	1,623 S.F. (E) WAS 745 S.F.
ENTRY TERRACE	=	236 S.F. (E) DEMO'D IS 150 S.F.
REAR LOWER TERRACE	=	312 S.F. (E) DEMO'D IS 350 S.F.
REAR LOWER WALK	=	154 S.F. (E) DEMO'D IS 150 S.F.
(N) RETAINING WALL W-1	=	1' HIGH 46 LIN. FT.
(N) RETAINING WALL W-1A	=	6' HIGH 11 LIN. FT.
(N) RETAINING WALL W-2	=	2' HIGH 48 LIN. FT.
(N) RETAINING WALL W-3	=	5' HIGH 32 LIN. FT.
(N) RETAINING WALL W-4	=	3' HIGH 44 LIN. FT.
(N) RETAINING WALL W-4A	=	AT GRADE 27 LIN. FT.
(N) RETAINING WALL W-5	=	5' HIGH 8 LIN. FT.
(N) RETAINING WALL W-6	=	AT GRADE 12 LIN. FT.
(N) RETAINING WALL W-7	=	8' HIGH 8 LIN. FT.
(N) RETAINING WALL W-8	=	4' HIGH 60 LIN. FT.

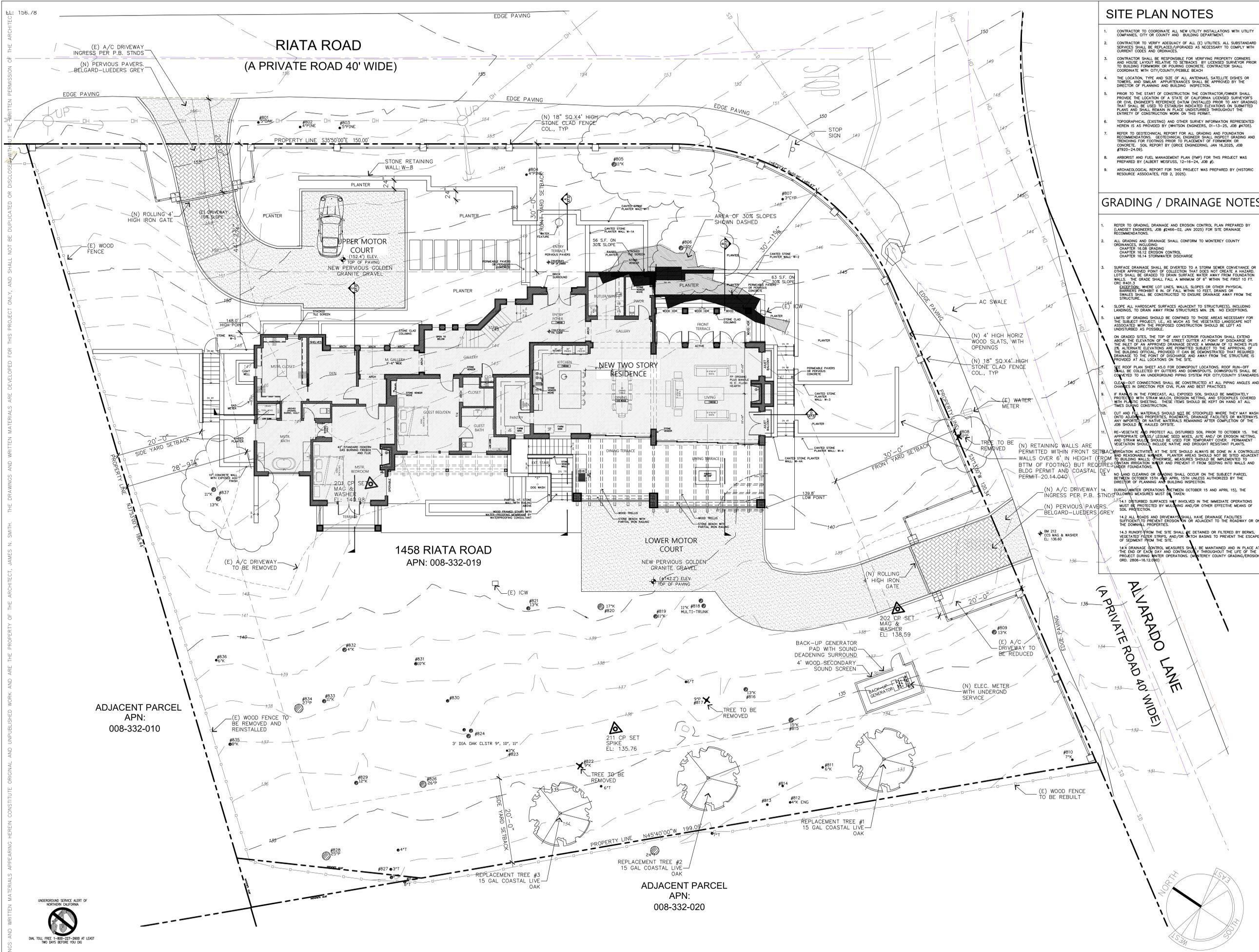
VICINITY MAP



N.T.S.



PROGRESS SET - NOT FOR CONSTRUCTION

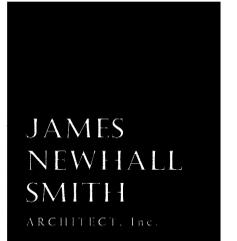


SITE PLAN NOTES

- CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES, CITY OR COUNTY AND BUILDING DEPARTMENT.
- CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/APPROVED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH CITY/COUNTY PEBBLE BEACH.
- THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
- TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY UNITSON ENGINEERS, 01-13-25, JOB #470.
- REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE. SOIL REPORT BY (GRICE ENGINEERING, JAN 16, 2025, JOB #700-24-09).
- ARBORIST AND FUEL MANAGEMENT PLAN (FMP) FOR THIS PROJECT WAS PREPARED BY (ALBERT WEISFUSS, 12-16-24, JOB #).
- ARCHAEOLOGICAL REPORT FOR THIS PROJECT WAS PREPARED BY (HISTORIC RESOURCE ASSOCIATES, FEB 2, 2025).

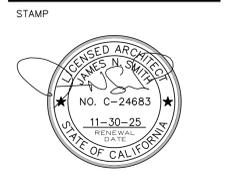
GRADING / DRAINAGE NOTES

- REFER TO GRADING, DRAINAGE AND EROSION CONTROL PLAN PREPARED BY (LANSET ENGINEERS, JOB #2466-02, JAN 2025) FOR SITE DRAINAGE RECOMMENDATIONS.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO MONTEREY COUNTY ORDINANCES, INCLUDING CHAPTER 16.08 GRADING AND CHAPTER 16.12 EROSION CONTROL.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT. OF EXISTING EXTERIOR WALLS. ALL SLOPES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
- SCORE ALL HARDSHORE SURFACES ADJACENT TO STRUCTURES, INCLUDING LANDINGS, TO DRAIN AWAY FROM STRUCTURES MIN. 2% NO EXCEPTIONS.
- LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROJECT, IE AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
- ON GRADED SITES THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE RILET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2% ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL. PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT LOCATIONS ON THE SITE.
- SEE ROOF PLAN SHEET ASD FOR DOWNSPOUT LOCATIONS. ROOF RUN-OFF SHALL BE COLLECTED BY GUTTERS AND DOWNSPOUTS. DOWNSPOUTS SHALL BE CONVEYED TO AN UNDERGROUND PIPING SYSTEM PER CITY/COUNTY STANDARDS.
- GROUNDWATER CONNECTIONS SHALL BE CONSTRUCTED AT ALL PIPING ANGLES AND CHANGES IN DIRECTION PER CIVIL PLAN AND BEST PRACTICES.
- IF RAIN IS IN THE FORECAST, ALL EXPOSED SOIL SHOULD BE IMMEDIATELY PROTECTED WITH EROSION NETTING, EROSION MATTING, AND STOCKPILES COVERED WITH PLASTIC SHEETING. THESE ITEMS SHOULD BE KEPT ON HAND AT ALL TIMES DURING CONSTRUCTION.
- CUT AND FILL MATERIALS SHOULD NOT BE STOCKPILED WHERE THEY MAY WASH ONTO ADJACENT PROPERTIES, ROADWAYS, DRAINAGE FACILITIES OR WATERWAYS. ANY IMPORTED OR NATIVE MATERIALS REMAINING AFTER COMPLETION OF THE JOB SHOULD BE HAULLED OFFSITE.
- RE-VEGETATE AND PROTECT ALL DISTURBED SOIL PRIOR TO OCTOBER 15. THE APPROPRIATE LEGUME SEED MIXTURE, LIME AND/OR EROSION NETTING AND STRAW MULCH SHOULD BE USED FOR TEMPORARY COVER. PERMANENT VEGETATION SHOULD INCLUDE NATIVE AND DROUGHT RESISTANT PLANTS.
- IRRIGATION ACTIVITIES AT THE SITE SHOULD ALWAYS BE DONE IN A CONTROLLED AND REASONABLE MANNER. PLANTER AREAS SHOULD NOT BE STIED ADJACENT TO BUILDING FOUNDATIONS. MEASURES SHOULD BE IMPLEMENTED TO CONTAIN IRRIGATION WATER AND PREVENT IT FROM SEEPING INTO WALLS AND UNDER FOUNDATIONS.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15TH AND APRIL 15TH UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- DURING WINTER OPERATIONS BETWEEN OCTOBER 15 AND APRIL 15, THE FOLLOWING MEASURES MUST BE TAKEN:
 - 14.1 DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MATS AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - 14.2 ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
 - 14.3 RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR BUSH HAIRS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - 14.4 DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADING/EROSION CTR. 2006-16.12.000)



27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT
SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

SITE PLAN

- ISSUE
- REVISIONS
- 02-12-25 PLANNING SUBMITTAL
- 06-12-25 DRIVEWAY REVISIONS

DATE _____

PROJECT NUMBER _____

SHEET NUMBER _____

A1.0

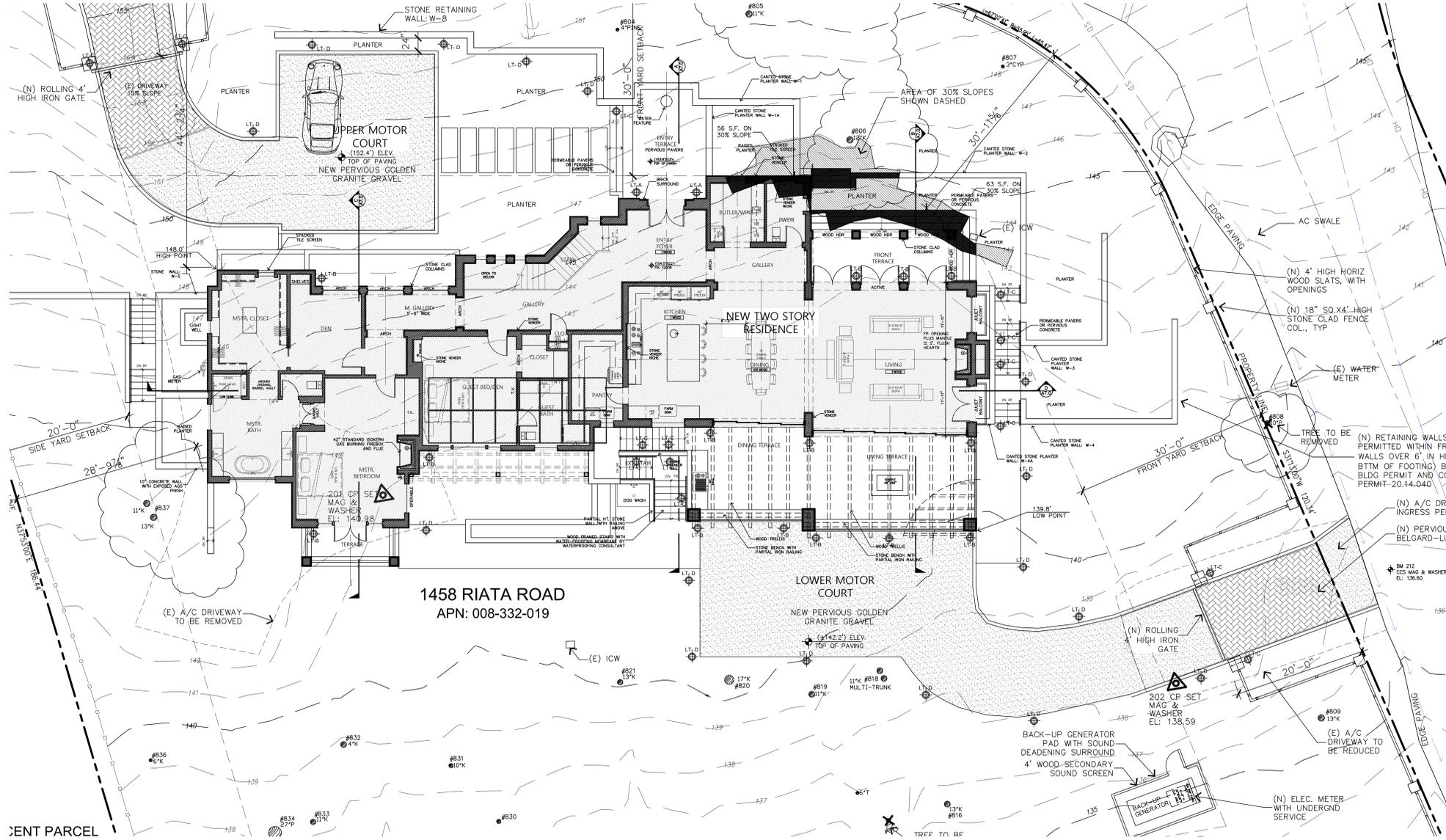
THE DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

SITE PLAN

SCALE: 1/8" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



LIGHTING NOTES

- ALL EXTERIOR LIGHTING SHALL BE 40 WATTS OR LESS PER FIXTURE, UNOBTRUSIVE, DOWN-LIT, HARMONIOUS WITH THE LOCAL AREA, AND CONSTRUCTED OR LOCATED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED AND OFF-SITE GLARE IS FULLY CONTROLLED. THE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SET FORTH IN CALIFORNIA CODE OF REGULATIONS TITLE 24 PART 6.
- ALL FIXTURES ARE SUBJECT TO OWNER APPROVAL.
- ALL LANDSCAPE LIGHTING FIXTURES SHALL BE SHIELDED AND DOWNWARD FACING.



Trousdale
Product ID: BL5113

TROY LIGHTING
EST. 1962

DIMENSIONAL INFORMATION		SHADE INFORMATION		SHIPPING INFORMATION	
Height	22.00"	Shade Bottom	7.38"	Carton 1	11.20" x 5.45" x 25.59"
ADA Compliant	No	Shade Height	37.00"	Carton 1 Weight	8.00lb.
Hanging Type	-	Shade Material	Glass	Clear W/Case	Shipping Method
Canopy/Backplate	22.00" D	Shade Color	Canille		UPS
Width	8.50"				
Extension	4.00"				
Top to Center	11.00"				
Weight	9.00lb.				

LAMPING INFORMATION		AVAILABLE FINISHES	
Bulbs 1	(1) 12 Watt Max 120	Bronze	
Bulb Included	Yes		
Socket Type	Leid		
UL Rating	WET		
Plug In	No		

JOB/LOCATION	QUANTITY

Notes:

Troy Lighting | 14508 Nelson Ave E, City of Industry, CA 91744 | troylighting.hugoboss.com

https://troylighting.hugoboss.com/Products/Specs/BL5113

JAMES NEWHALL SMITH
ARCHITECT, INC.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT
SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

ADJACENT PARCEL



LT-C
WALL/STEP LIGHT
MODEL MO
FINISH: 'AB' ANTIQUE BRONZE
FACEPLATE: SQ

Output	1 LED
Total Lumens ¹	13 to 68
Input Voltage	10 to 15 V
Input Power	2.0 W
Power Consumption (VA)	2.4 W
Efficacy (lm/W)	18
Color Rendering Index (CRI)	80+
Max Candela ²	31
Dimming	
Primary Dimming (Transformer)	Phase**, Luxor
Secondary Dimming (Fixture)	Phase**, Luxor
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Option	-
Minimum Rated Life (L70) Hrs	72,000
BUG Rating (RD & SQ)	BO-UI-GO

¹ Measured using the 3,900K CCT. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).
² Measured using the Round (RD) faceplate. Multipliers for other faceplates include: 1.0 (Square), 2.0 (Spot), and 0.4 (Wall Wash).
 ** For optimal performance, use a trailing-edge (reverse phase-cut) dimmer.

KICHLER

LED Shallow Shade - small



PROJECT:	
TYPE:	
ORDERING #:	
COMMENTS:	

- FEATURES**
- A design only made possible by today's LED technology, this fixture will surely capture its audience with its distinctive styling. Coordinates with the 1500.
 - Cast Aluminum Housing
 - 4 W / 5.0 W Light Output, Integrated LEDs and Driver, 3900K (~300-175), High CRI
 - W / 15V AC/DC
 - 30° or 60° beam angle, 0.91-1.00" beam diameter, cast aluminum supply
 - 0" in ground size

ORDERING INFORMATION					
EXAMPLE: 1500SMT (Product # & Finish)					
PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)
1500S	Cast Aluminum	4 W / 5.0 W	Integrated LEDs and Driver, 3900K (~300-175), High CRI	30° of usable beam angle, 0.91-1.00" beam diameter, cast aluminum supply	1500SMT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Weathering Seal 1500SMT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Weathering Seal 1500SMT - Cast Brass Surface Mounting Flange, Neoprene Gasket For Weathering Seal
1500S	Cast Aluminum	4 W / 5.0 W	Integrated LEDs and Driver, 3900K (~300-175), High CRI	30° of usable beam angle, 0.91-1.00" beam diameter, cast aluminum supply	1500SMT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Weathering Seal 1500SMT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Weathering Seal 1500SMT - Cast Brass Surface Mounting Flange, Neoprene Gasket For Weathering Seal

NOTES

For Warranty Information, please visit www.kichler.com/warranty

We reserve the right to revise the design or components of any product due to parts availability or change in U.S. standards, without incurring any obligation or liability to notify the purchaser of such product modifications, without notice.

7711 E. Pleasant Valley Road, Cleveland, OH 44131 | ph(216) 673-1000 | fax(216) 673-2010 | email:sales@kichler.com | web:www.kichler.com

LT-B
WALL LIGHT
MODEL SHORE POINTE
FINISH: OIL RUBBED BRONZE

greatoutdoors
LIFE GROUP

Item #: 727621434
Product Name: Shore Pointe
Material: Cast Aluminum
Finish: Oil Rubbed Bronze
Mounting: Outdoor Wall Mount
Color: Bronze
SKU: 3187291

MEASUREMENTS

Width	Length	Height	Extension
7.75"	19.00"	9.25"	5.75"

SHIPPING

Carton Weight	Carton Height	Carton Length
7.39	11.25	25.59

LED | **Wet Location** | **ETL** | **EVER-PRO™**

SITE LIGHTING PLAN

- ISSUE REVISIONS
- 02-12-25 PLANNING SUBMITTAL
 - 06-12-25 DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A1.0L

SITE LIGHTING PLAN

SCALE: 1/8" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

**JAMES
NEWHALL
SMITH**
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

**SALADINO FAMILY
INVESTMENTS, LLC**

1456 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

**FLOOR PLAN
LOWER LEVEL**

ISSUE REVISIONS

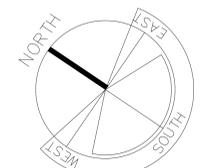
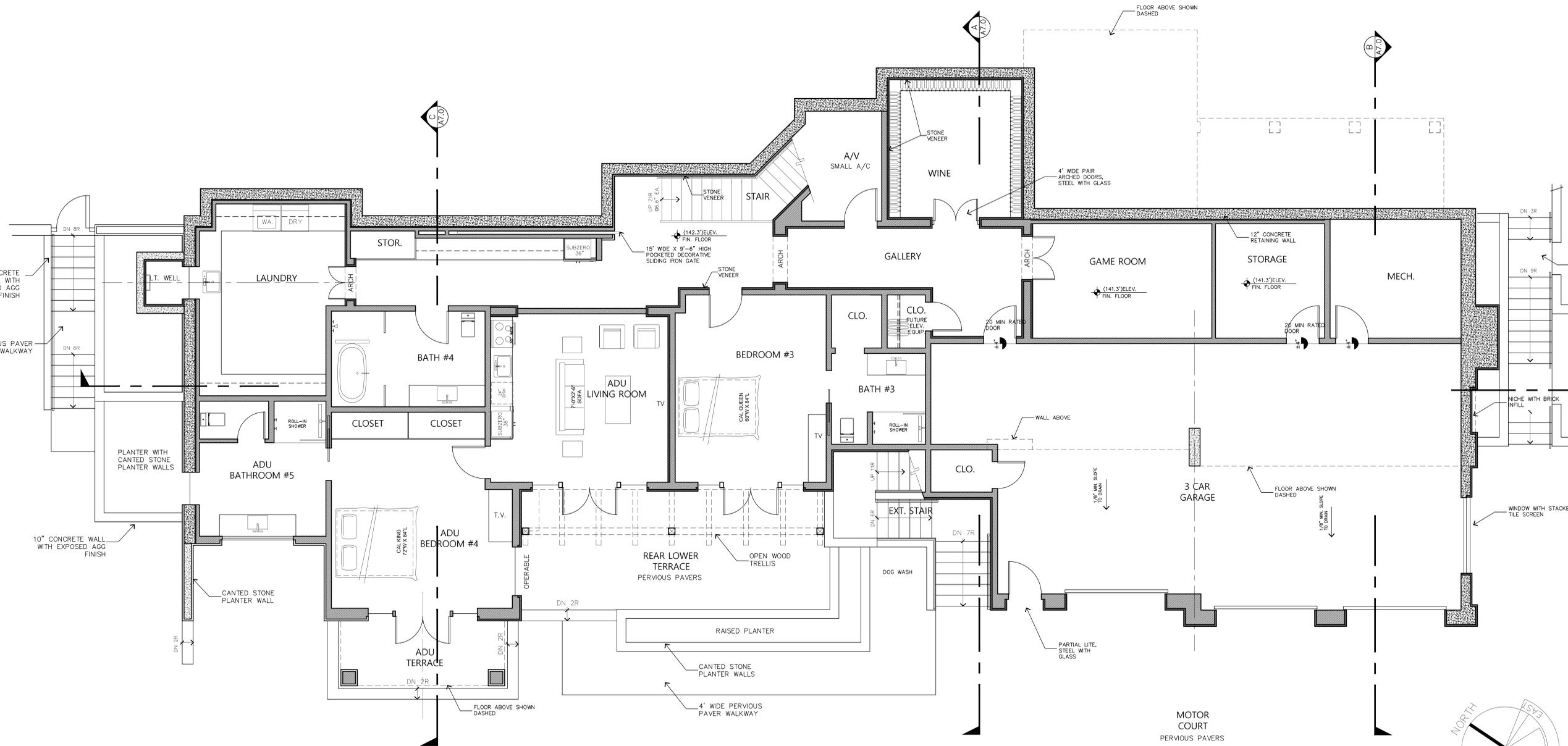
- ① 02-12-25
PLANNING SUBMITTAL
- ② 06-12-25
DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A2.1



ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220V OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT (GFI)
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL—SEE PLAN FOR LOCATION/SIZE
- ELECTRICAL SUB-PANEL—SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE, COLOUR AND EXACT LOCATION AND ORIENTATION TO BE DETERMINED/VERIFIED BY OWNER.
4. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
5. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
6. SEE FLOOR PLAN NOTES SHEET A2.N FOR MORE INFORMATION
7. SEE A4.0 FOR LIGHTING NOTES

WALL LEGEND

- NEW 2X WOOD STUD FRAMED WALL
SEE PLAN FOR WALL THICKNESS. EXTERIOR WALLS TO HAVE SHEAR PLY, HOUSE WRAP AND INSULATION PER TITLE 24 DOCS. INTERIOR WALLS TO HAVE SOUND BATT INSULATION, TYP.
- NEW NON-STRUCTURAL STONE VENEER, 3" MAX. THICKNESS
- NEW CMU/CONCRETE WALL

FLOOR PLAN NOTES

ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO CENTER OF OPENING, UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.

ATTIC ACCESS SHALL BE A MINIMUM SIZE OF 22"X30", LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS. (CPC R807.1) ADD LIGHT FIXTURE WITH SWITCH IN VICINITY OF OPENING.

EXCEPTION: ATTICS WITH LESS THAN 30" MAX. HEIGHT NEED NOT PROVIDE ACCESS.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

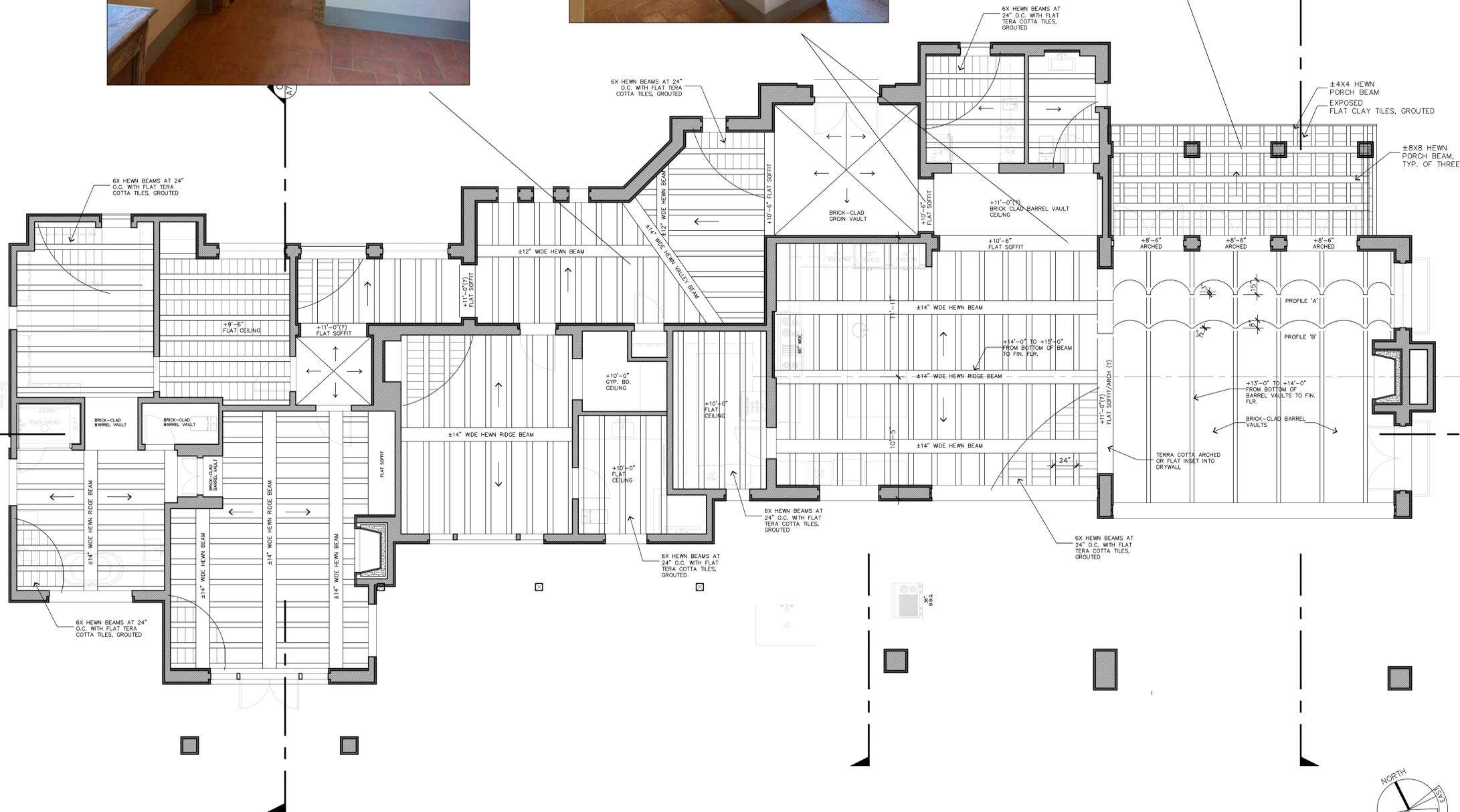
ALL PROJECTS WITH WATERPROOF ROOF DECKS WILL REQUIRE PERIODIC MAINTENANCE. OWNER SHALL BE RESPONSIBLE TO SEAL, CAULK, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.

FLOOR PLAN - LOWER LEVEL

SCALE : 1/4" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



REFLECTED CEILING NOTES

1. LIGHT LOCATIONS AS SHOWN, AND ASSOCIATED SWITCHING, SHALL BE REVIEWED, IN DETAIL, BY THE OWNER(S) IN THE FIELD, PRIOR TO FULL INSTALLATION.
2. VERIFY BEAMS SIZES, FINISHES AND EXACT LOCATIONS/SPACING IN THE FIELD.
3. COORDINATE WITH FIRE SPRINKLER SUB-CONTRACTOR RE SPACING AND DEPTH OF BEAMS AND HOW THAT AFFECTS/DETERMINES SPRINKLER HEAD LOCATIONS. VERIFY BEAM DESIGN(S) WITH OWNERS BASED ON THIS REVIEW TO MIMIC NATURAL LIGHT.
4. LED FIXTURES RECOMMENDED TO BE 2,700 KELVIN COLOR TEMPERATURE TO MIMIC NATURAL LIGHT.
5. PLASTIC TRIM-OUT RINGS OR ASSEMBLIES ARE STRONGLY DISCOURAGED DUE TO YELLOWING AND BRITTLENESS OVER TIME

LIGHTING LEGEND

- § SINGLE POLE SWITCH
- §§ THREE WAY SWITCH
- §§§ FOUR WAY SWITCH
- §§§§ DIMMER SWITCH
- 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- 2" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- ◀ 6MBAL MOUNTED 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- SURFACE MOUNTED LED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ FLOOD / SECURITY LIGHTING. MA-MOTION SENSOR. OWNER TO DETERMINE SWITCHING OF LIGHTING
- ⊕ RECESSED EXHAUST FAN WITH QUIET MOTOR TECHNOLOGY BY PANASONIC, OR EQUAL. SEE NOTES BELOW
- ⊕ COMBINATION FLUORESCENT LIGHT & EXHAUST FAN FIXTURE
- ⊕ JUNCTION BOX
- ⊕ COMBINATION GARAGE OPENER & LIGHT WITH ADJACENT DUPLEX OUTLET AND DATA CONNECTION, AS REQUIRED
- ⊕ CEILING FAN
- ⊕ SMOKE DETECTOR. SHALL BE 110V, HARDWIRED w/ BATTERY BACK-UP (S.E.C. SEC. 314), AND INTERCONNECTED WITH ALL OTHER SMOKE ALARMS PER R 314.5 (SEE ALSO NOTES BELOW)
- ⊕ CARBON MONOXIDE ALARM
- DA = DOOR ACTIVATED LIGHT FIXTURE
- MA = MOTION ACTIVATED LIGHT FIXTURE
- WP = WATER PROOF FIXTURE. UL LISTED AS SUITABLE FOR WET LOCATIONS
- FL = FLUORESCENT FIXTURE (MIN 40 LUMENS PER WATT)
- LV = LOW-VOLTAGE LIGHTING
- DED = DEDICATED CIRCUIT
- 4" LED 4" LED SURFACE MOUNTED FIXTURE w/ ACRYLIC DIFFUSER, BY HALO, OR EQUAL.
- TR TRACK LIGHTING
- LED STRIP LIGHT FOR UNDER CABINET LIGHTING. VERIFY W/ OWNER IF INDIVIDUALLY SWITCHED OR GANGED TOGETHER AT POLE SWITCH(ES)

LIGHTING LEGEND NOTES

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.

THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC.

ALL HABITABLE SPACES SHALL BE HIGH EFFICACY LIGHTING, MANUAL-ON OCCUPANT SENSOR OR DIMMER SWITCHES.

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

LIGHT FIXTURES WITHIN 3" HORIZONTALLY AND 8" VERTICALLY OF TUB RIM OR IN SHOWER ENCLOSURE THRESHOLD SHALL BE UL LISTED LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-400) (CEC 410-10)

LIGHTING FIXTURES RECESSED INTO INSULATED CEILING SHALL BE I.C. RATED BY U.L. OR OTHER APPROVED AGENCY. (TITLE 24 ARTICLE 150K(4)) ALL FIXTURES SHALL HAVE AIR TIGHT (AT) RATING AND HAVE JAB COMPLIANT GILES

BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE 2016 C.M.C.

EXTERIOR LIGHTING: HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR. SMOKE DETECTORS PER CRC R314.3, SHALL BE LOCATED: ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. IN EACH ROOM USED FOR SLEEPING PURPOSES. IN EACH ADDITIONAL STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENEING FLOOR BETWEEN THE ADJACENT LOWER LEVEL, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SURFACE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. IN ENCLOSED COMMON STAIRWELLS OF APARTMENT COMPLEXES AND OTHER MULTIPLE-DWELLING COMPLEXES. PER NFPA 72-29.8.3.4(4) SMOKE DETECTORS REQUIRED NEAR A FIXED COOKING APPLIANCE CAN BE PHOTO-ELECTRIC, TO WITHIN 6' OF COOKING APPLIANCE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN AREAS LEADING INTO ROOMS USED FOR SLEEPING PURPOSES AND ON EVERY LEVEL OF THE DWELLING, INCLUDING THE BASEMENTS. CRC R315.3. EVERY BATHROOM SHALL BE MECHANICALLY VENTILATED. EXHAUST FANS IN BATHROOMS SHALL HAVE BACKDRAFT PROTECTION AND SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDISTAT PER CALGREEN 2016 AND SHALL BE SWITCHED SEPARATELY FROM LIGHTS. ALL UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING. LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH CEC 410-8.

JAMES NEWHALL SMITH
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT
SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

REFLECTED CEILING PLAN MAIN LEVEL

ISSUE	REVISIONS
1	02-12-25 PLANNING SUBMITTAL
2	06-12-25 DRIVEWAY REVISIONS

DATE _____

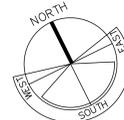
PROJECT NUMBER _____

SHEET NUMBER _____

A4.0

REFLECTED CEILING PLAN - MAIN LEVEL

SCALE : 1/4" = 1'-0"



PROGRESS SET - NOT FOR CONSTRUCTION

DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



REFLECTED CEILING NOTES

1. LIGHT LOCATIONS AS SHOWN, AND ASSOCIATED SWITCHING, SHALL BE REVIEWED, IN DETAIL, BY THE OWNER(S) IN THE FIELD, PRIOR TO FULL INSTALLATION.
2. VERIFY BEAMS SIZES, FINISHES AND EXACT LOCATIONS/SPACING IN THE FIELD.
3. COORDINATE WITH FIRE SPRINKLER SUB-CONTRACTOR RE SPACING AND DEPTH OF BEAMS AND HOW THAT AFFECTS/DETERMINES SPRINKLER HEAD LOCATIONS. VERIFY BEAM DESIGN(S) WITH OWNERS BASED ON THIS REVIEW.
4. LED FIXTURES RECOMMENDED TO BE 2,700 KELVIN COLOR TEMPERATURE TO MIMIC NATURAL LIGHT.
5. PLASTIC TRIM-OUT RINGS OR ASSEMBLIES ARE STRONGLY DISCOURAGED DUE TO YELLOWING AND BRITTLINESS OVER TIME.

LIGHTING LEGEND

- § SINGLE POLE SWITCH
- §/3 THREE WAY SWITCH
- §/4 FOUR WAY SWITCH
- §/b DIMMER SWITCH
- 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- 2" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- ◀ 4" GIMBAL MOUNTED 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- SURFACE MOUNTED LED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ FLOOD / SECURITY LIGHTING. MA-MOTION SENSOR. OWNER TO DETERMINE SWITCHING OF LIGHTING
- ⊕ RECESSED EXHAUST FAN WITH QUIET MOTOR TECHNOLOGY BY PANASONIC, OR EQUAL. SEE NOTES BELOW
- ⊕ COMBINATION FLUORESCENT LIGHT & EXHAUST FAN FIXTURE
- ⊕ JUNCTION BOX
- ⊕ COMBINATION GARAGE OPENER & LIGHT WITH ADJACENT DUPLEX OUTLET AND DATA CONNECTION, AS REQUIRED
- ⊕ CEILING FAN
- ⊕ SMOKE DETECTOR. SHALL BE 110V, HARDWIRED w/ BATTERY BACK-UP (C.R.C. SEC. 314), AND INTERCONNECTED WITH ALL OTHER SMOKE ALARMS PER R 314.5 (SEE ALSO NOTES BELOW)
- ⊕ CARBON MONOXIDE ALARM
- DA = DOOR ACTIVATED LIGHT FIXTURE
- MA = MOTION ACTIVATED LIGHT FIXTURE
- WP = WATER PROOF FIXTURE. UL LISTED AS SUITABLE FOR WET LOCATIONS
- FL = FLUORESCENT FIXTURE. (MIN 40 LUMENS PER WATT)
- LV = LOW-VOLTAGE LIGHTING
- DED = DEDICATED CIRCUIT
- 4" LED 4" LED SURFACE MOUNTED FIXTURE w/ ACRYLIC DIFFUSER, BY HALO, OR EQUAL.
- TR TRACK LIGHTING
- LED STRIP LIGHT FOR LINER CABINET LIGHTING. VERIFY w/ OWNER IF INDIVIDUALLY SWITCHED OR GANGED TOGETHER AT POLE SWITCH(ES)

LIGHTING LEGEND NOTES

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.

THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC.

ALL HABITABLE SPACES SHALL BE HIGH EFFICACY LIGHTING, MANUAL-ON OCCUPANT SENSOR OR DIMMER SWITCHES.

BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE MANUARE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A PHOTO EYE SENSOR.

FIXTURES WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF TUB RIM SHOWER ENCLOSURE THRESHOLD SHALL BE UL LISTED LABELED SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC 410-4.0) (CEC 410-10)

RECESSED FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. BY U.L. OR OTHER APPROVED AGENCY. (TITLE 24 ARTICLE 150(k)(4)) FIXTURES SHALL HAVE AIR TIGHT (AT) RATING AND HAVE JAB FASTENERS.

BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE REQUIREMENTS.

EXTERIOR LIGHTING: HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR.

SMOKE DETECTORS PER CRC R314.3, SHALL BE LOCATED:

- ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- IN EACH ROOM USED FOR SLEEPING PURPOSES.
- IN EACH ADDITIONAL STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LOWER LEVEL. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SURFACE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- IN ENCLOSED COMMON STAIRWELLS OF APARTMENT COMPLEXES AND OTHER MULTIPLE-DWELLING COMPLEXES.

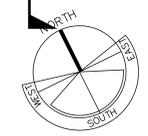
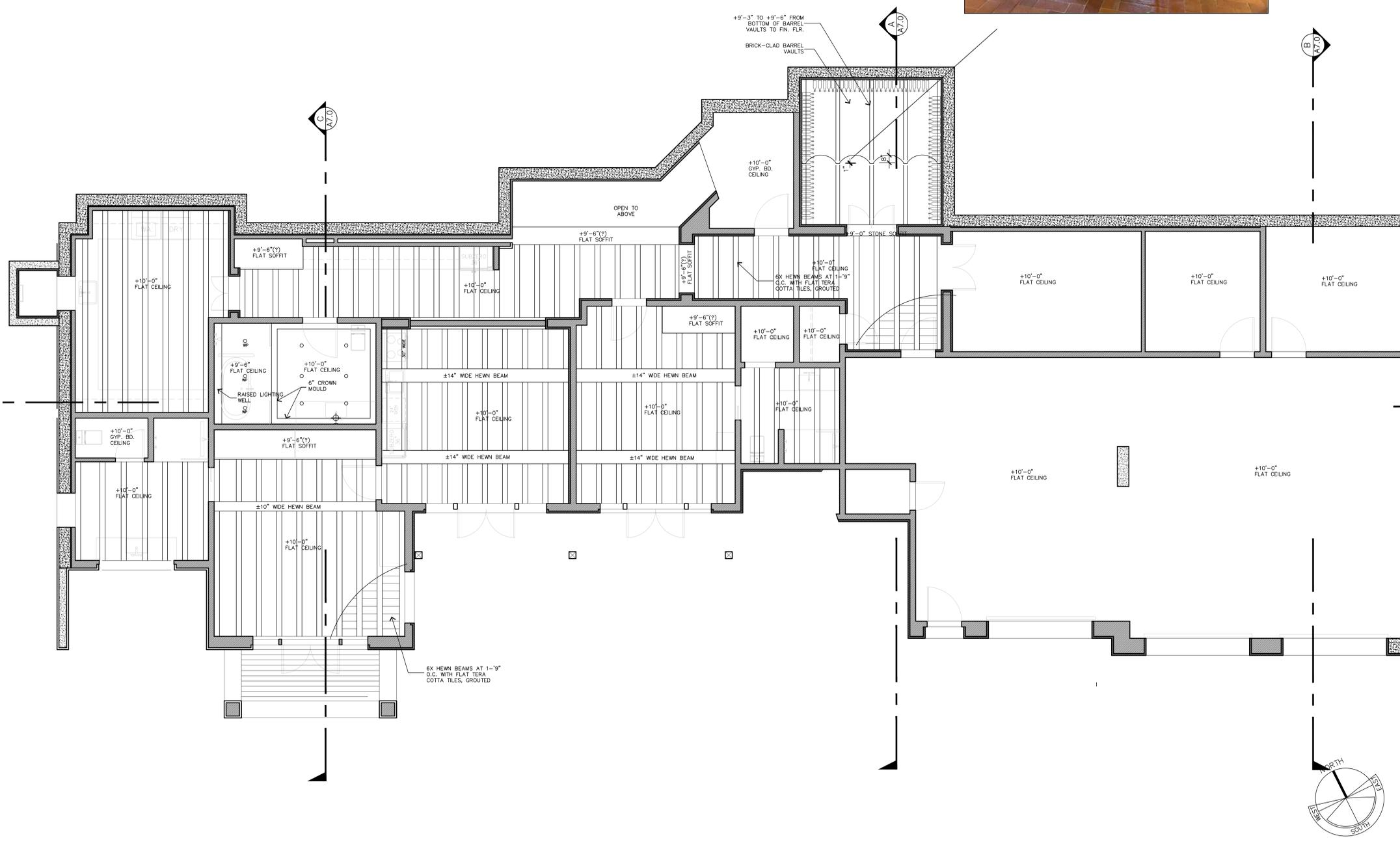
PER NFPA 72-29.8.3.4(4) SMOKE DETECTORS REQUIRED NEAR A FIXED COOKING APPLIANCE CAN BE PHOTO-ELECTRIC, TO WITHIN 6' OF COOKING APPLIANCE.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN AREAS LEADING INTO ROOMS USED FOR SLEEPING PURPOSES AND ON EVERY LEVEL OF THE DWELLING, INCLUDING THE BASEMENTS. CRC R315.3.

EVERY BATHROOM SHALL BE MECHANICALLY VENTILATED. EXHAUST FANS IN BATHROOMS SHALL HAVE BACKDRAFT PROTECTION AND SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDISTAT PER CALGREEN 2016 AND SHALL BE SWITCHED SEPARATELY FROM LIGHTS

ALL UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING

LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH CEC 410-8



SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

REFLECTED CEILING PLAN - LOWER LEVEL

JAMES NEWHALL SMITH
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT
SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

REFLECTED CEILING PLAN LOWER LEVEL

ISSUE	REVISIONS
1	02-12-25 PLANNING SUBMITTAL
2	06-12-25 DRIVEWAY REVISIONS

DATE _____

PROJECT NUMBER _____

SHEET NUMBER _____

A4.1

PROGRESS SET - NOT FOR CONSTRUCTION

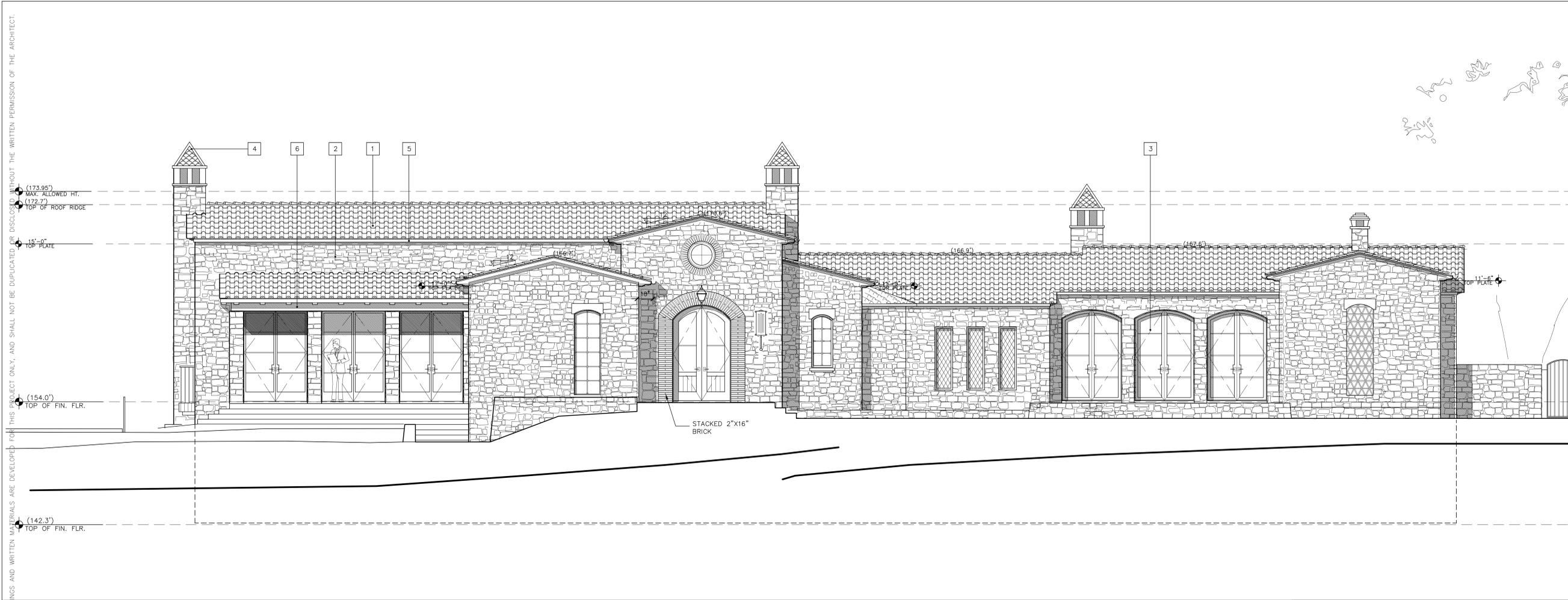
STAMP



PROJECT/CLIENT

SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955



NORTHEAST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDED RIDGES. CLASS "A" RATED
COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT 3/8" TO 1/2". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL UNSEALED 1/2" ROUND COPPER GUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT: BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/2" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

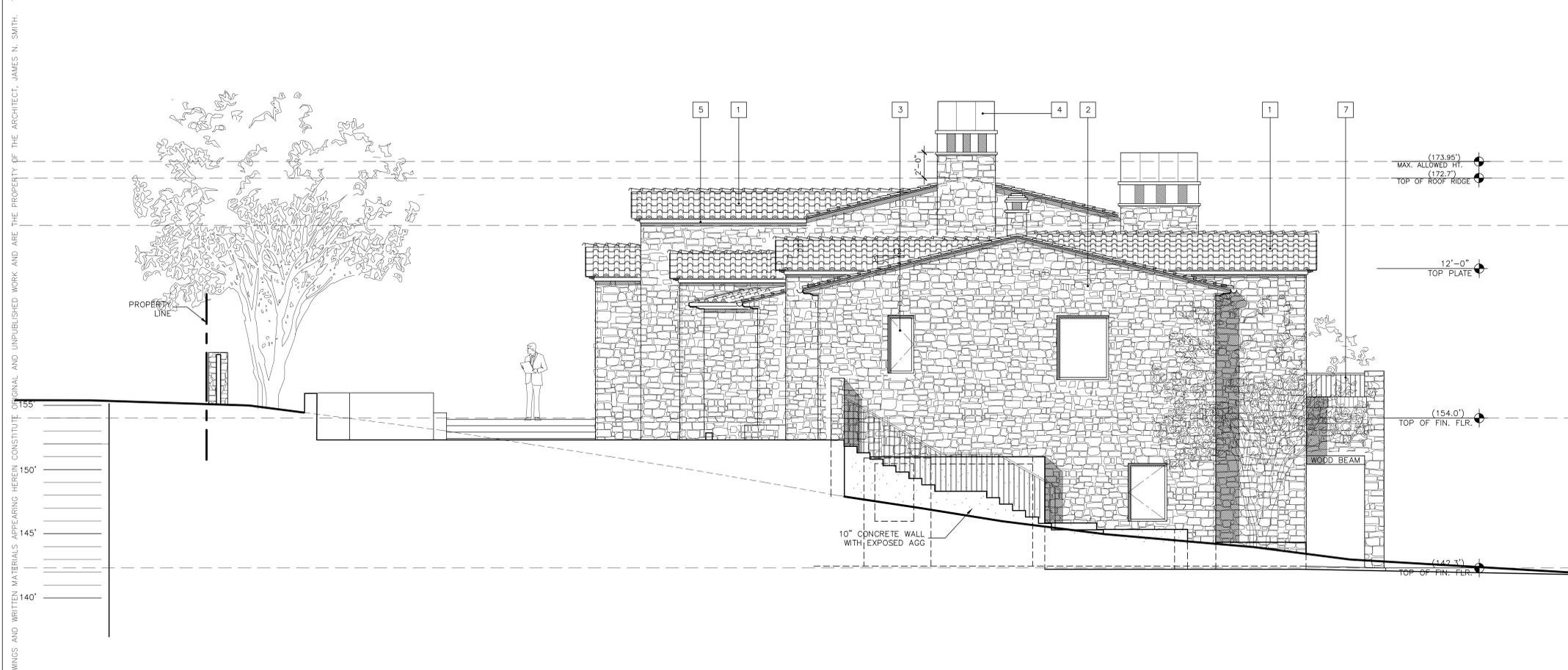
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED-STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



NORTHWEST ELEVATION

SCALE : 1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

PROGRESS SET - NOT FOR CONSTRUCTION

SHEET TITLE

EXTERIOR ELEVATIONS

ISSUE REVISIONS

- 1 02-12-25 PLANNING SUBMITTAL
- 2 06-12-25 DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A6.0

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

**JAMES
NEWHALL
SMITH**
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

SALADINO FAMILY
INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955



SOUTHWEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDED RIDGES. CLASS "A" RATED COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT 3/8" TO 1/2". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL UNSEALED 1/2" ROUND COPPER GUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT: BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 3/8" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

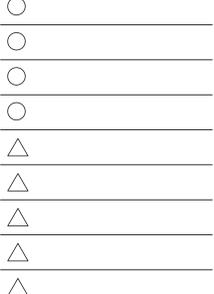
ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

SHEET TITLE

**EXTERIOR
ELEVATIONS**

ISSUE REVISIONS

- 1 02-12-25 PLANNING SUBMITTAL
- 2 06-12-25 DRIVEWAY REVISIONS



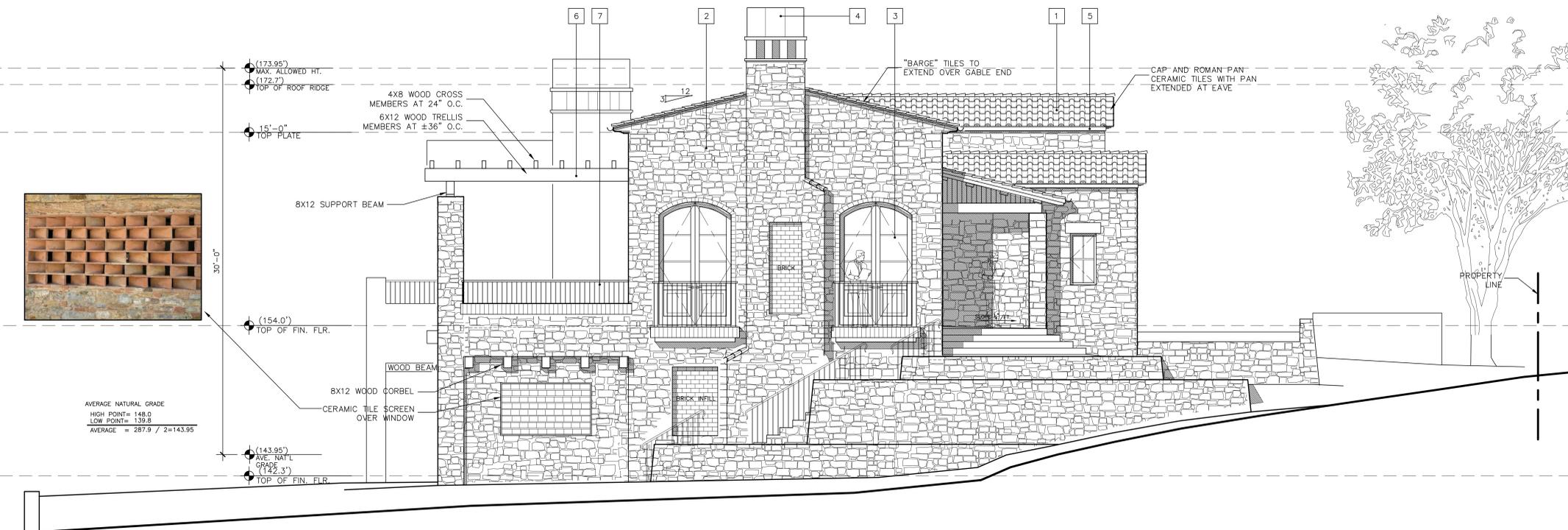
DATE

PROJECT NUMBER

SHEET NUMBER

A6.1

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



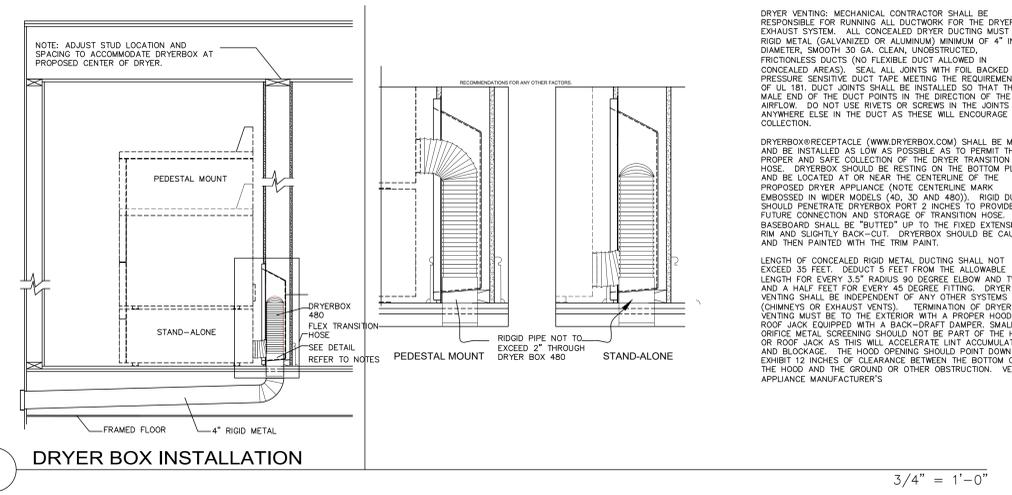
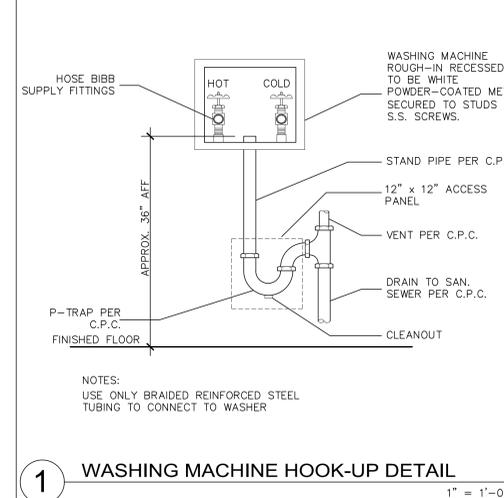
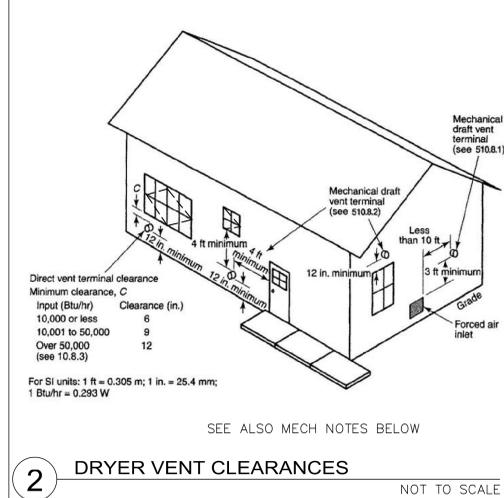
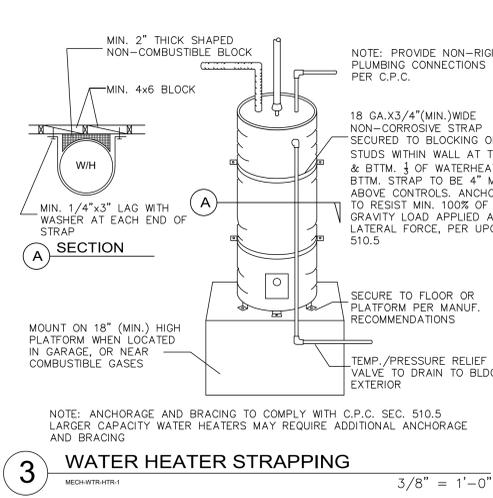
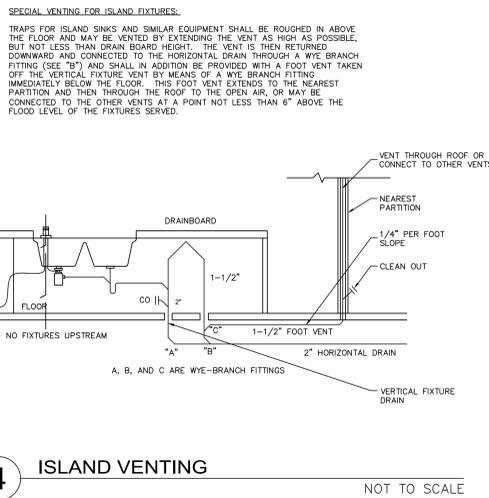
SOUTHEAST ELEVATION

SCALE : 1/4" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH.



MECHANICAL NOTES:

HEATING AND COOLING SYSTEM(S) ARE PER MECHANICAL SHEETS

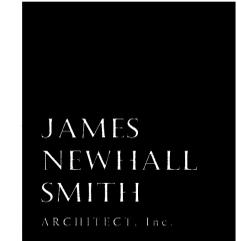
DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019" SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (CEC SEC 406.1.4(2)).

PER ENERGY REQUIREMENTS (CEC SECTION 150-(E)-1-B). CLOSABLE METAL OR TEMPERED GLASS DOORS SHALL COVER THE ENTIRE OPENING OF THE FIRE BOX. PROVIDE OUTSIDE COMBUSTION AIR INTAKE DIRECTLY INTO THE FIREBOX A MINIMUM OF 6 SQUARE INCHES IN AREA AND EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER. (NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE OVER SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN EXTERIOR WALL).

CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH TWO ELBOWS. THIS MAX. RUN SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS OF TWO.

A PERMANENTLY AFFIXED SIGN SHALL BE INSTALLED IN THE MECHANICAL ROOM WHICH STATES THE FOLLOWING: "ALL GUTTERS, DOWNSPOUTS AND CATCH BASINS SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS BEFORE EACH WINTER AND AFTER EACH SIGNIFICANT STORM EVENT"

MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS OTHERWISE SPECIFIED IN THIS CODE. TOILET ROOMS, BATHROOMS AND KITCHENS SHALL NOT BE CONSIDERED HAZARDOUS OR NOXIOUS (R303.5.1)



27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT
SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE
DETAILS MECHANICAL

ISSUE	REVISIONS
1	02-12-25 PLANNING SUBMITTAL
2	06-12-25 DRIVEWAY REVISIONS

DATE
PROJECT NUMBER
SHEET NUMBER

A8.0 MECH

PROGRESS SET - NOT FOR CONSTRUCTION

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

**JAMES
NEWHALL
SMITH**
ARCHITECT, Inc.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

SALADINO FAMILY
INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

DETAILS

○ ISSUE △ REVISIONS

- ① 02-12-25
PLANNING SUBMITTAL
- ② 06-12-25
DRIVEWAY REVISIONS

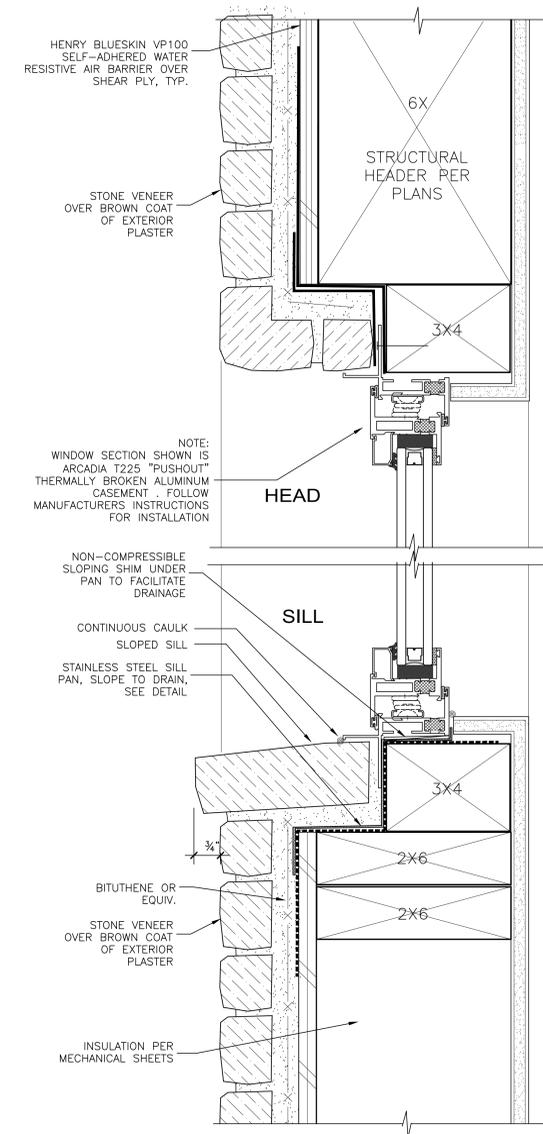
-
-
-
-
-
-
-
-
- △
- △
- △
- △
- △

DATE

PROJECT NUMBER

SHEET NUMBER

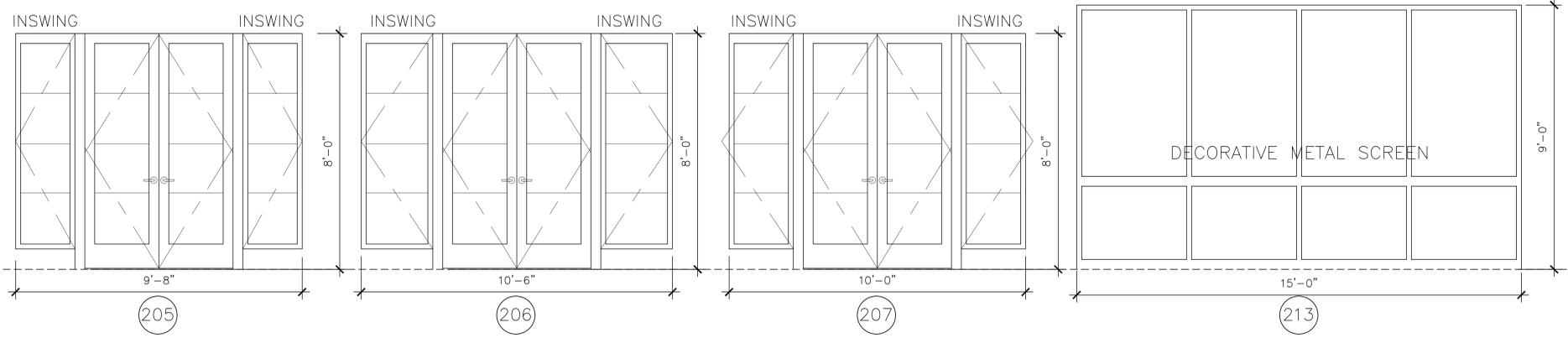
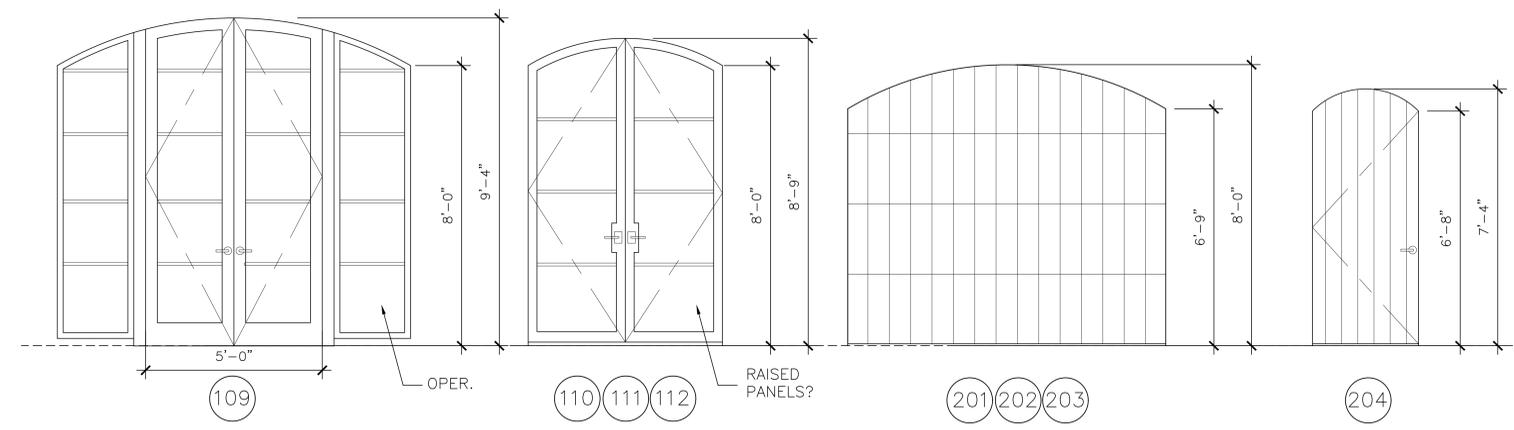
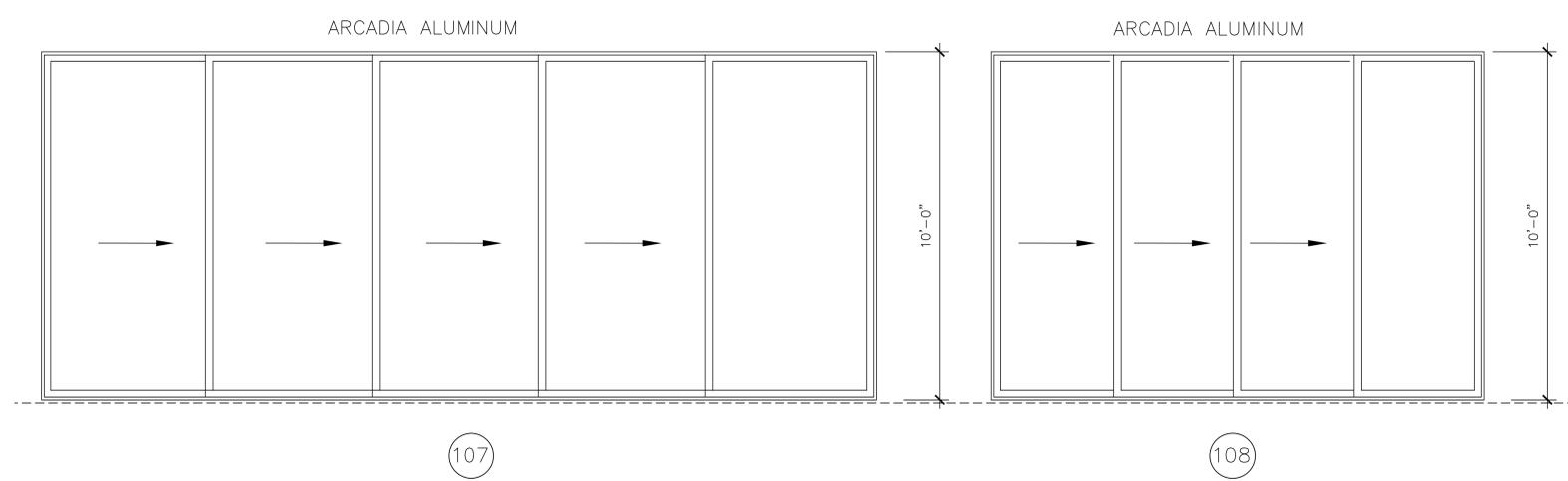
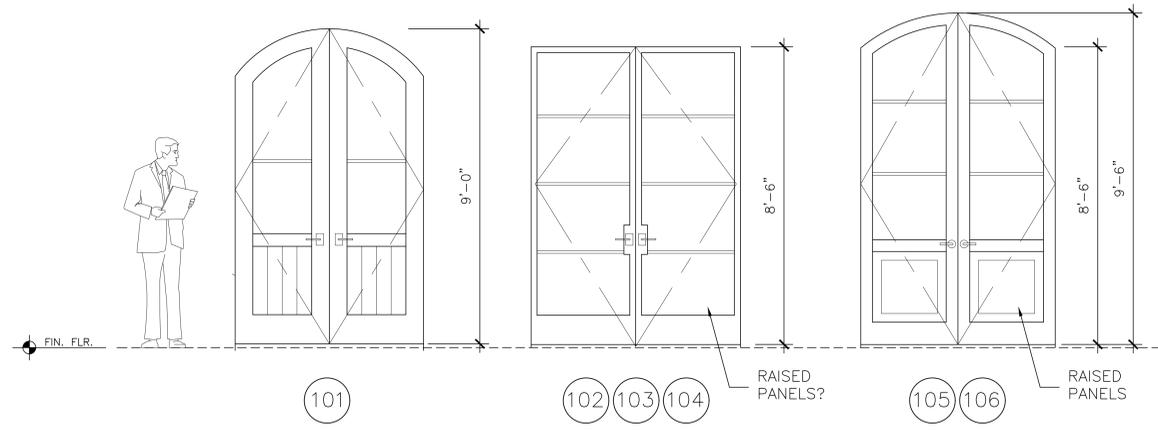
A8.4



1 "PUSHOUT" CASEMENT T225
THERMAL ALUM WINDOW - STONE VENEER
6" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



DOOR ELEVATIONS

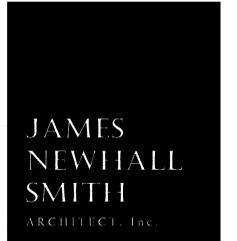
SCALE : 1/2" = 1'-0"

DOOR SCHEDULE

MARK	DOOR SIZE			FINISH MAT'L	CORE	FINISH	ACTION	REMARKS
	WIDTH	HEIGHT	THICK.					
EXTERIOR-MAIN LEVEL								
101	5'-4"	9'-0"	-	WD/GLS	WOOD	STAINED	SWING	PAIR, ENTRY DOOR SYSTEM - SEE ELEVLS., T.G.
102	5'-11"	8'-6"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA.
103	5'-11"	8'-6"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA
104	5'-11"	8'-6"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA
105	5'-6"	8'-6"	-	-	WOOD	PAINT	IN-SWING	PAIR, T.G., 4 LITES EA, ARCHED
106	5'-6"	8'-6"	-	-	WOOD	PAINT	IN-SWING	PAIR, T.G., 4 LITES EA, ARCHED
107	±23'-9"	10'-0"	-	-	ALUM	ANOD	SLIDING	5 EQUAL PANELS, T.G.,
108	±14'-0"	10'-0"	-	-	ALUM	ANOD	SLIDING	4 EQUAL PANELS, T.G.,
109	5'-0"	±9'-4"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA, SIDELITES, ARCHED
110	5'-6"	±8'-9"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA, ARCHED
111	5'-6"	±8'-9"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA, ARCHED
112	5'-6"	±8'-9"	-	-	WOOD	PAINT	SWING	PAIR, T.G., 4 LITES EA, ARCHED
INTERIOR-MAIN LEVEL								
113	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
114	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
115	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
116	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
117	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
118	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
119	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
120	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
121	3'-2"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	PAIR
122	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
EXTERIOR-LOWER LEVEL								
201	9'-0"	8'-0"	-	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
202	9'-0"	8'-0"	-	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
203	9'-0"	8'-0"	-	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
204	3'-0"	7'-4"	-	WD	SC	PAINT	SWING	ARCHED
205	5'-0"	8'-0"	-	WD	SC	PAINT	SWING	PAIR, T.G., 4 LITES EA, OPER. INSWING SIDELITES
206	5'-0"	8'-0"	-	WD	SC	PAINT	SWING	PAIR, T.G., 4 LITES EA, OPER. INSWING SIDELITES
207	5'-0"	8'-0"	-	WD	SC	PAINT	SWING	PAIR, T.G., 4 LITES EA, OPER. INSWING SIDELITES
INTERIOR-LOWER LEVEL								
208	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
209	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SLIDING	POCKET
210	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
211	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	PAIR, ARCHED
212	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
213	15'-0"	±9'-2"	-	METAL	SC	PAINT	SLIDING	ORNAMENTAL GATE
214	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
215	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SLIDING	POCKET
216	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
217	3'-0"	8'-0"	-	GLASS	-	-	SWING	10' WIDE TEMP. GLASS WALL SYSTEM
218	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
219	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	20 MIN. FIRE-RATED DOOR WITH SELF-CLOSER
220	4'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	PAIR
221	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
222	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	
223	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWING	

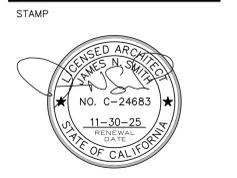
DOOR SCHEDULE NOTES

- DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPLETE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY THROUGH A REQUEST FOR INFORMATION (R.F.I.)
- DOOR SIZES SHOWN ARE THE PROPOSED DOOR WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/OWNER TO REVIEW AND APPROVE.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. EXCEPTION IS FOR SMALL DECORATIVE GLASS OR PANE SANDWICHED BETWEEN TEMPERED LAYERS. INSTALLATION IS PER C.B.C. GLAZING TYPE AND STYLE SHALL MATCH WINDOWS, U.N.O.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, MIN. 20 OZ. & BRONZE, OR OTHER NON-CORROSIVE METAL. HINGES. OUTSWING DOORS SHALL HAVE A 1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR FINISH SURFACE.
- PER CRC R311.3.1 LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD IF OUT-SWING DOOR. IF IN-SWING, EXCEPTION ALLOWS MAX. 7/8" DROP IN SURFACE
- ALL EXPOSED EDGES OF DOOR(S) INCLUDING TOP TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING. DOORS ARE TO BE STORED VERTICALLY AT JOB SITE AND OUT OF ALL INCLEMENT WEATHER CONDITIONS AND TO BE HUNG AS QUICKLY AS POSSIBLE, ONCE REACHING THE JOB SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE THE AMOUNT OF TIME FOR ON-SITE STORAGE OF DOORS AND WINDOWS PRIOR TO INSTALL.
- ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS AND THREE WAY CONNECTING HARDWARE TO MAXIMIZE CONTINUOUS SEAL AGAINST WIND/WEATHER.
- DOORS REQUIRED TO HAVE 20 MINUTE RATING TO BE MIN. 1 3/8" SOLID WOOD AND SHALL BEAR THE U.L. LABEL. NO RAISED PANELS OR OTHER FEATURES MAY REDUCE THIS MINIMUM THICKNESS. SHOULD VENEERS BE APPLIED TO PRE-MANUFACTURED 20 MIN. RATED DOORS, CARE IS TO BE TAKEN NOT TO VIOLATE THE RATING DURING APPLICATION.
- WEATHER-STRIPPING OF EXTERIOR DOORS SHALL BE CONTINUOUS ON ALL SIDES OF EACH DOOR AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE DOOR AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR ALL DWELLING UNITS. THE DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WHEN OPEN TO 90 DEGREES. THE MINIMUM CLEAR HEIGHT SHALL BE 78" WHEN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, PER CRC R311.2.
- AT ALL STATE RESPONSIBILITY AREAS (SRA) EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. (CRC 327 WILDLAND URBAN INTERFACE)



27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT

SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

DOOR SCHEDULE

- ISSUE
- REVISIONS
- 02-12-25 PLANNING SUBMITTAL
- 06-12-25 DRIVEWAY REVISIONS

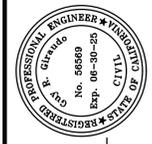
DATE

PROJECT NUMBER

SHEET NUMBER

A9.0

PROGRESS SET - NOT FOR CONSTRUCTION



APPROVED BY:

 GUY R. GIRARDO



" CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
 A.P.N.: 008-332-019
 FOR
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
 SALADINO FAMILY INVESTMENTS LLC

SCALE: 1"=10'
 DATE: JANUARY 2025
 JOB NO. 2466-02

SHEET **C1**
 OF 4 SHEETS

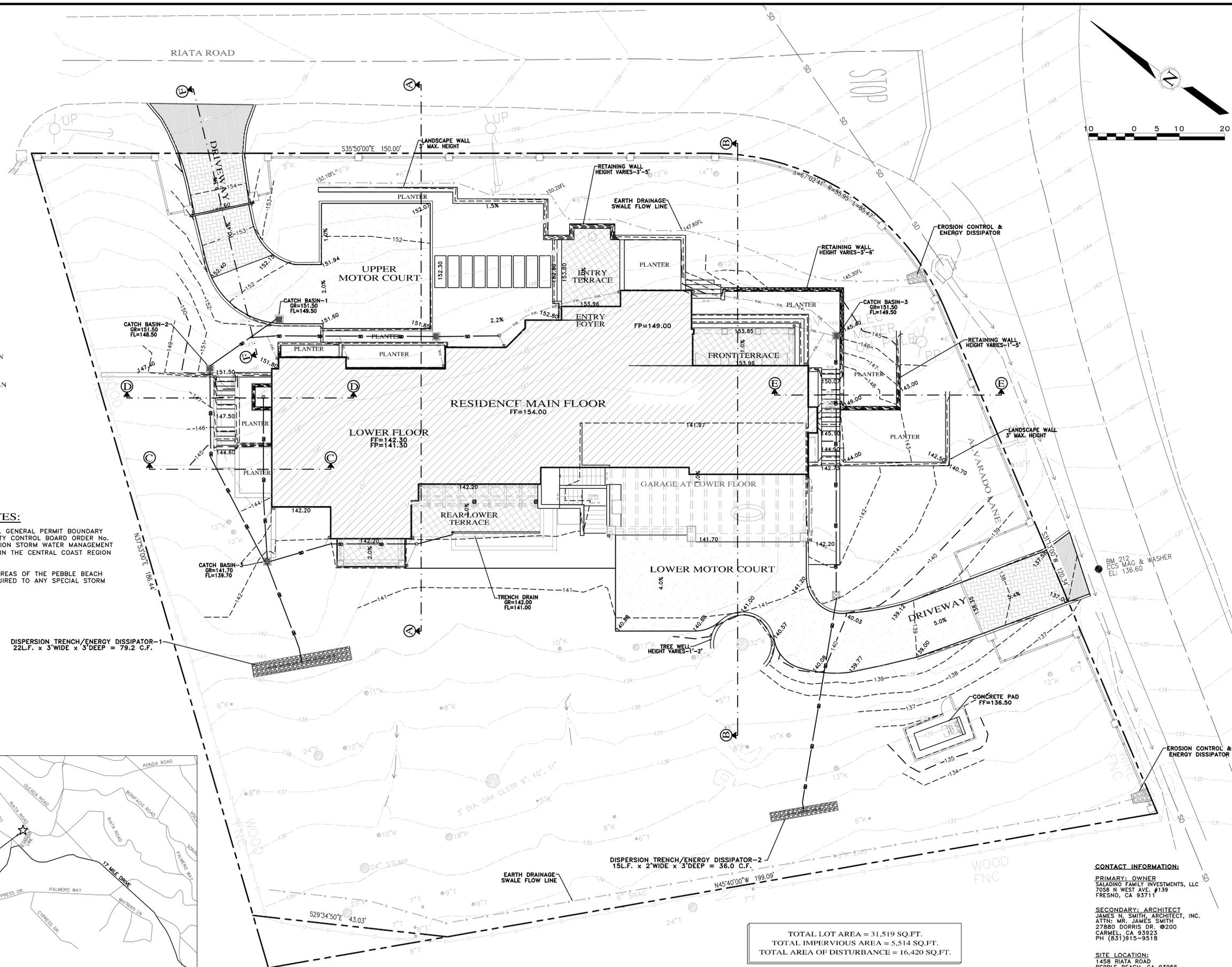
CONTACT INFORMATION:
 PRIMARY: OWNER
 SALADINO FAMILY INVESTMENTS, LLC
 7038 N WEST AVE. #139
 FRESNO, CA 93711

SECONDARY: ARCHITECT
 JAMES N. SMITH ARCHITECT, INC.
 ATTN: MR. JAMES SMITH
 27880 DORRIS DR. #200
 CARMEL, CA 93823
 PH (831) 915-9518

SITE LOCATION:
 1458 RIATA ROAD
 PEBBLE BEACH, CA 93955

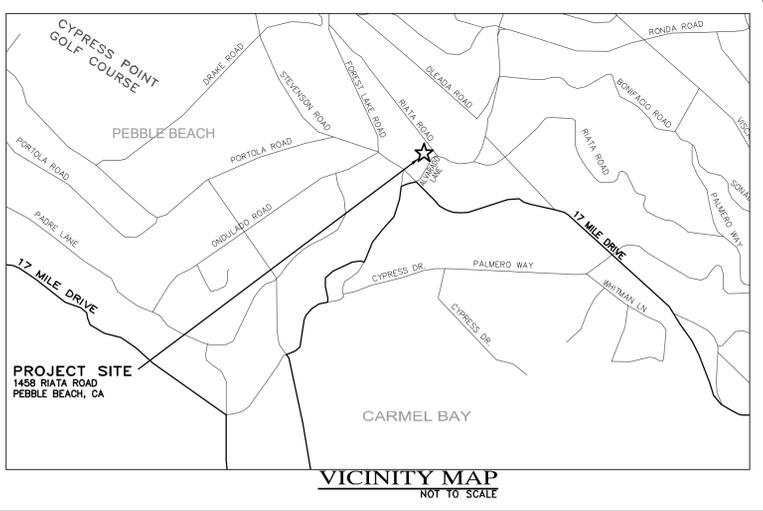
TOTAL LOT AREA = 31,519 SQ.FT.
 TOTAL IMPERVIOUS AREA = 5,514 SQ.FT.
 TOTAL AREA OF DISTURBANCE = 16,420 SQ.FT.

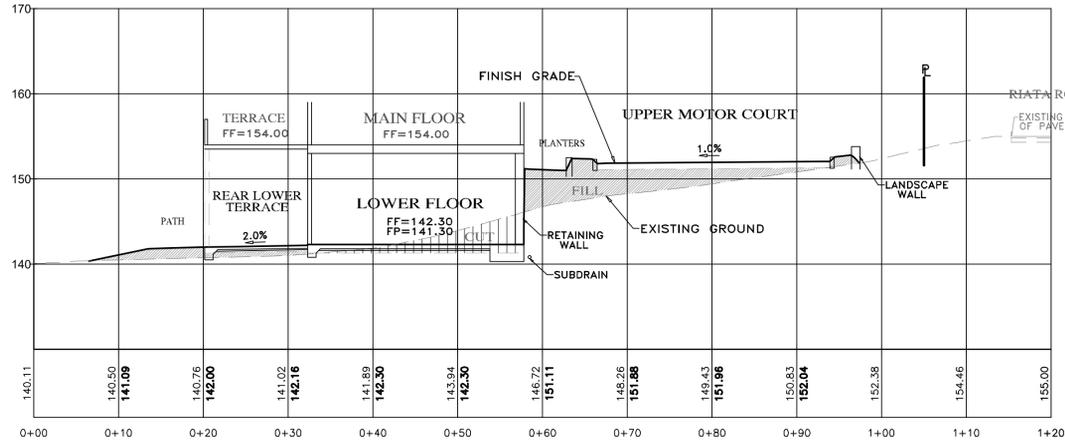
GRADING QUANTITIES:
 CUT = 225 C.Y.
 FILL = 825 C.Y.
 NET = 600 C.Y. IMPORT



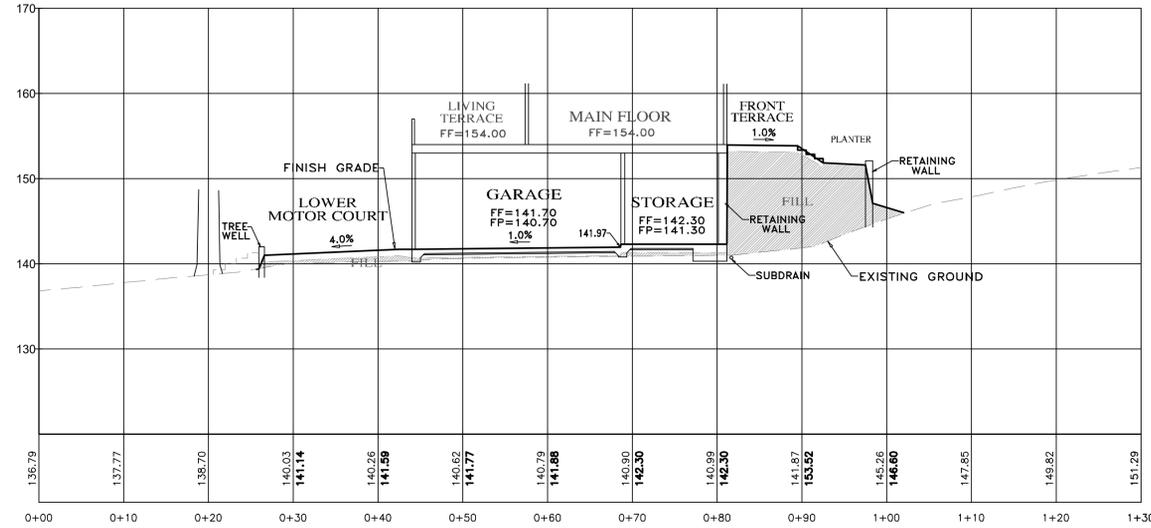
INDEX TO SHEETS
 SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
 SHEET C2 GRADING SECTIONS
 SHEET C3 EROSION CONTROL PLAN
 SHEET C4 CONSTRUCTION MANAGEMENT PLAN

STORM WATER CONTROL NOTES:
 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
 2) THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

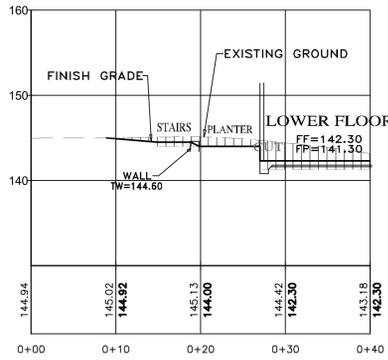




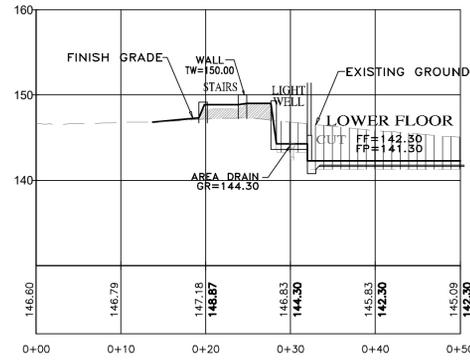
SECTION A-A
SCALE: 1"=10' H&V



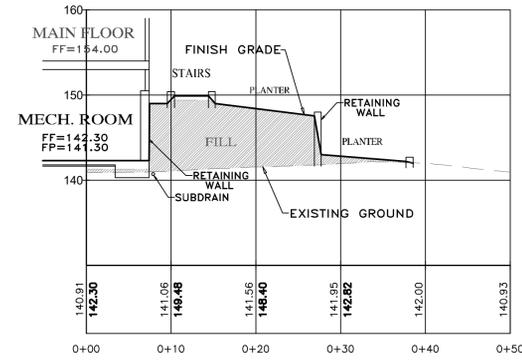
SECTION B-B
SCALE: 1"=10' H&V



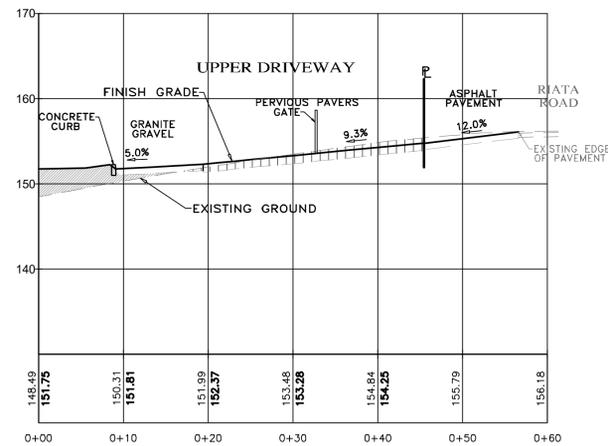
SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

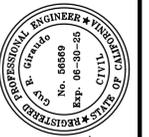


SECTION E-E
SCALE: 1"=10' H&V



UPPER DRIVEWAY PROFILE
SCALE: 1"=10' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:
GUY R. GIRARDO



" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

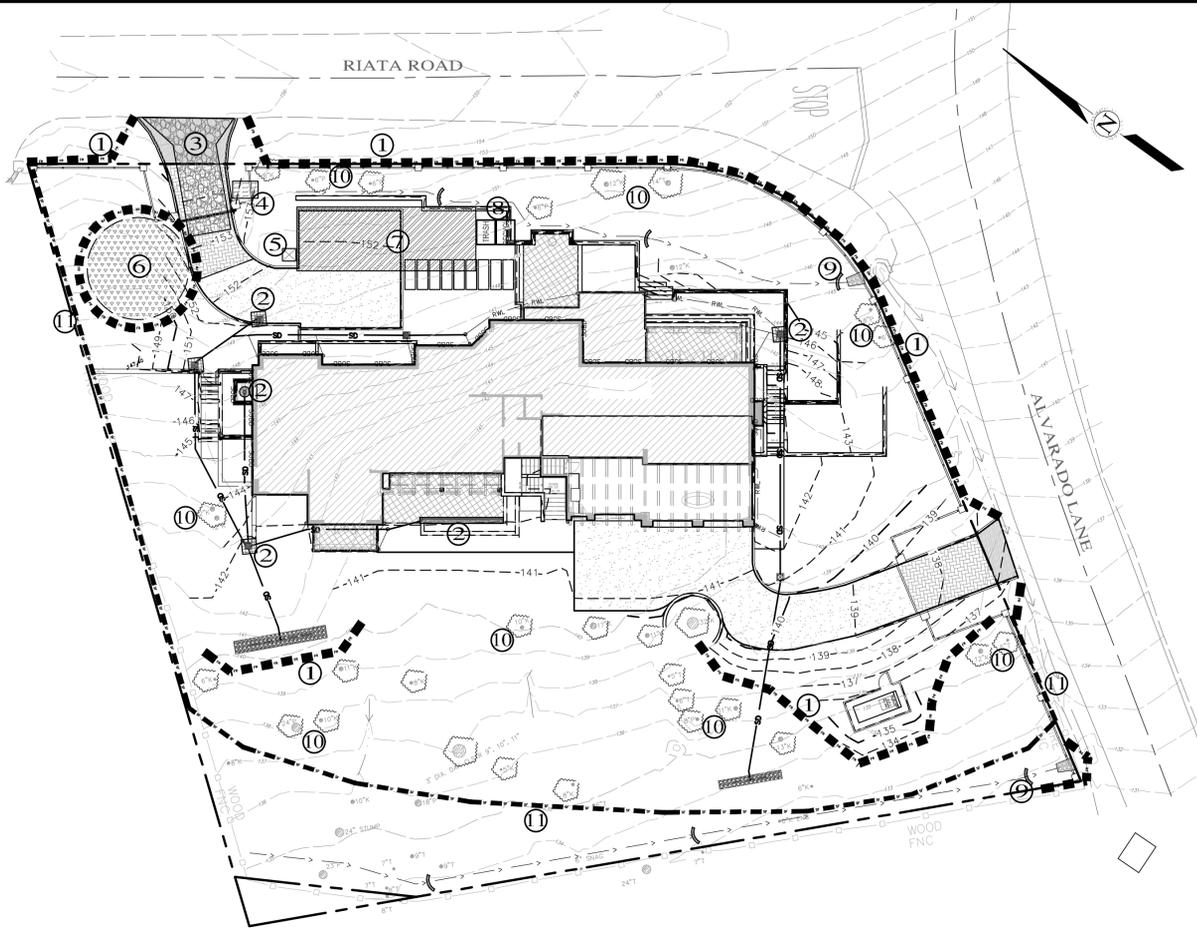
OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE

A.P.N.: 008-332-019
FOR
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
SALADINO FAMILY INVESTMENTS LLC

SCALE: 1"=10' H&V
DATE: JANUARY 2025
JOB NO. 2466-02

No.	DATE	BY	REVISION
06/02/25	AMS		DRIVEWAY/PARKING REVIEW
04/25/25	AMS		DRIVEWAY/PARKING UPDATE
04/16/25	AMS		RELEASED TO CLIENT

SHEET C2
OF 4 SHEETS



PLAN
SCALE: 1"=20'

LEGEND:

- ① **FR** FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ② **DI** DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ③ **SC** STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). ENTRANCE TRAYS, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- ④ **WC** CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- ⑤ **SW** SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- ⑥ **SM** STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- ⑦ **SA** CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLIFIED SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- ⑧ **TRASH/RECYCLE** WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- ⑨ **GB** GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- ⑩ **TP** TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- ⑪ **SF** SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

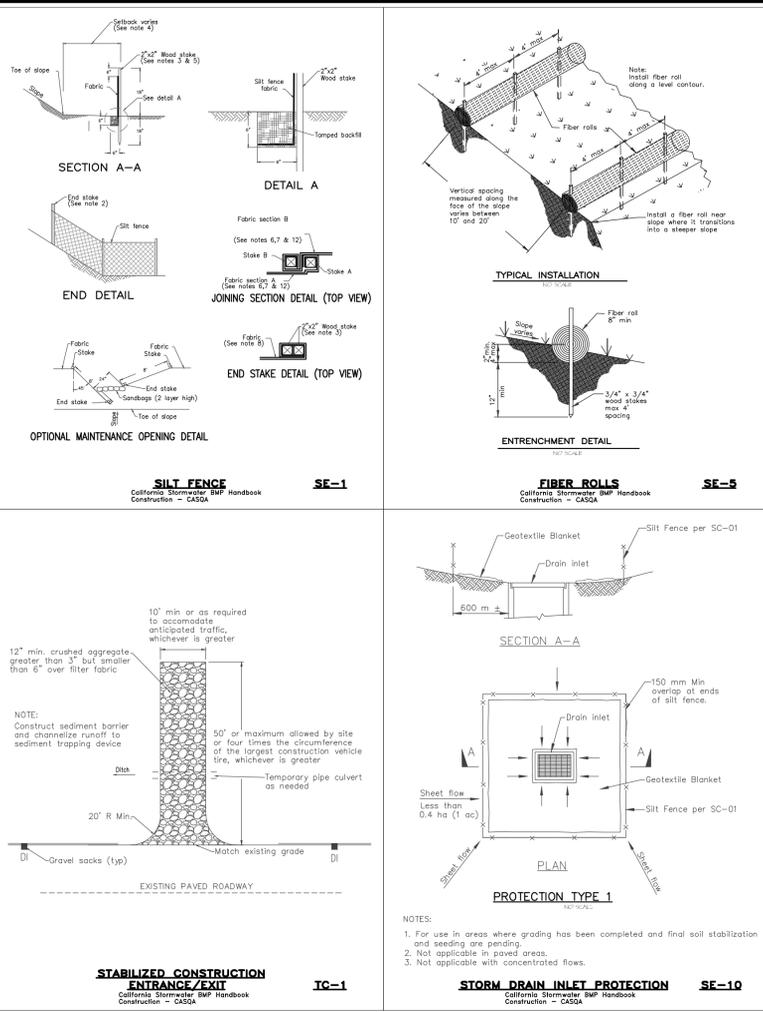


TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

Material Delivery and Storage WM-1

Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

Stockpile Management WM-3

Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

Hazardous Waste Management WM-6

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9

Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

Solid Waste Management WM-5

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

Preservation Of Existing Vegetation EC-2

Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Pesticides
Oil and Grease
Organics

Potential Alternatives
None

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

APPROVED BY:
GUY R. GIRARDINO
PROFESSIONAL ENGINEER #10000
CIVIL CITY OF CALIFORNIA
No. 66666
Exp. 06-30-25

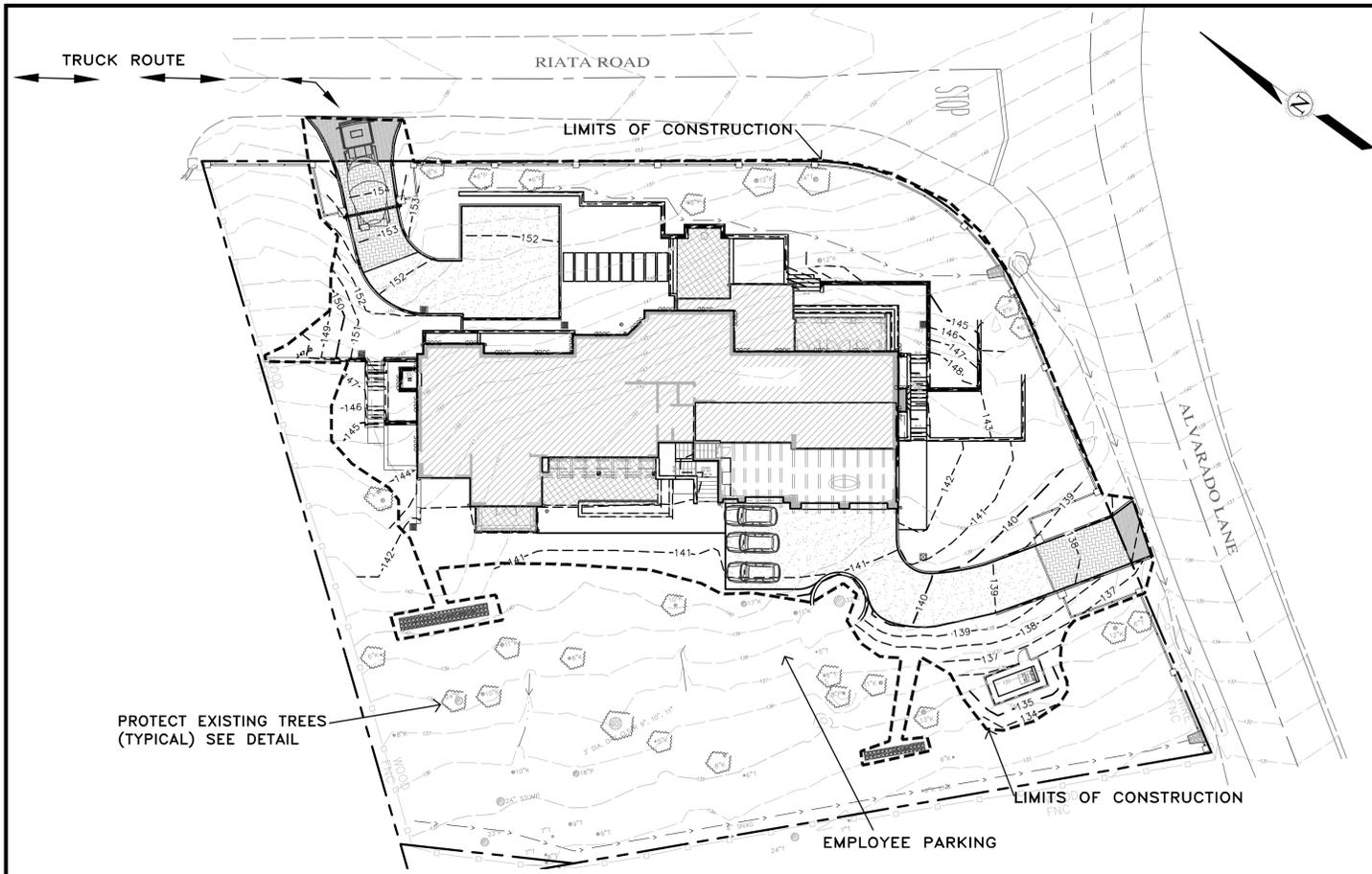
LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

"EROSION & SEDIMENT CONTROL PLAN"
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
 A.P.N.: 008-332-019
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
 FOR
 SALADINO FAMILY INVESTMENTS LLC

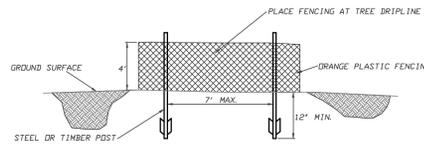
SCALE: AS SHOWN
DATE: JANUARY 2025
JOB NO. 2466-02

No.	DATE	BY	REVISION
06/02/25	AMS		DRIVEWAY/PARKING REVIEW
04/25/25	AMS		DRIVEWAY/PARKING UPDATE
04/16/25	AMS		RELEASED TO CLIENT

SHEET **C3**
OF 4 SHEETS



PLAN
SCALE: 1"=10'



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
225 CY CUT
825 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DECOMPOSED GRANITE DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON RIATA ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:

THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO 17 MILE DRIVE TO SUNRIDGE RD TO RONDA ROAD TO VISCAINO RD TO FOREST LAKE RD TO RIATA ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON BONIFACIO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN PROPOSED LOWER MOTOR COURT AND/OR IN LEGAL SPACES ALONG RIATA ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	3	2
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	30	5
TOTALS	34	8

TRUCK TRIP GENERATION NOTES:

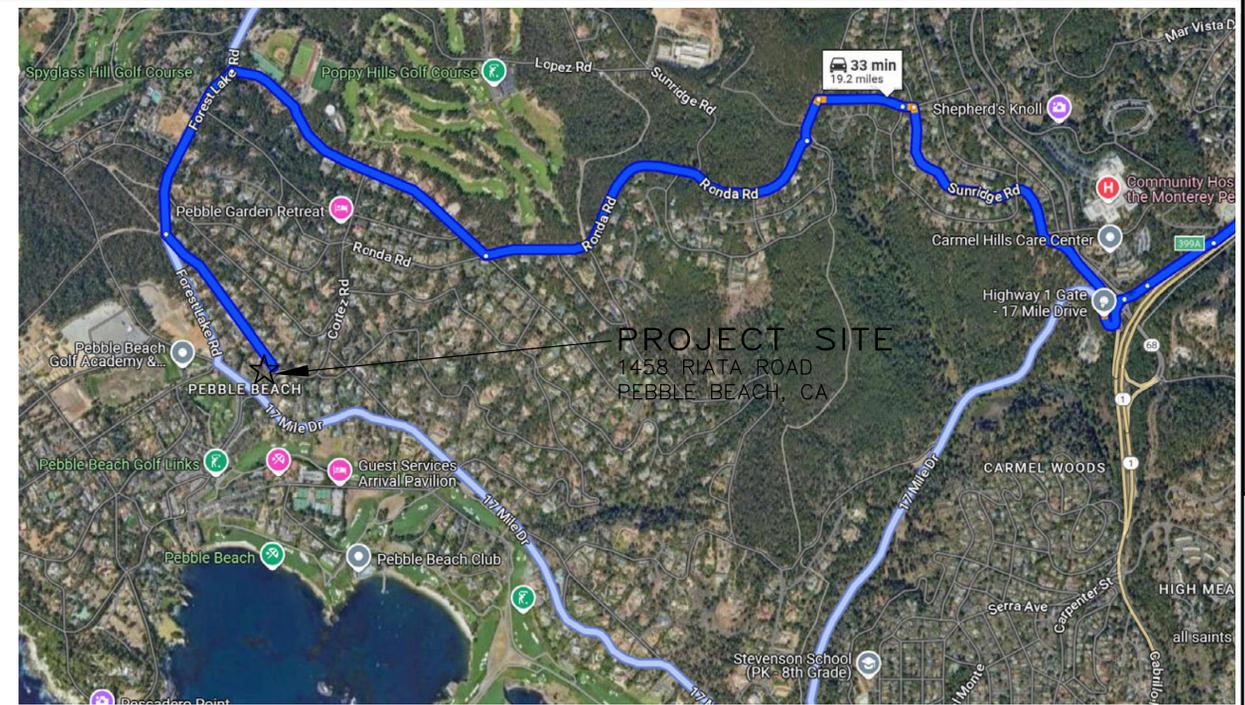
- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 7 TRUCK LOADS PER DAY.
- THERE ARE 600 C.Y. OF SOIL MATERIAL THAT WILL BE IMPORTED TO THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 8 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

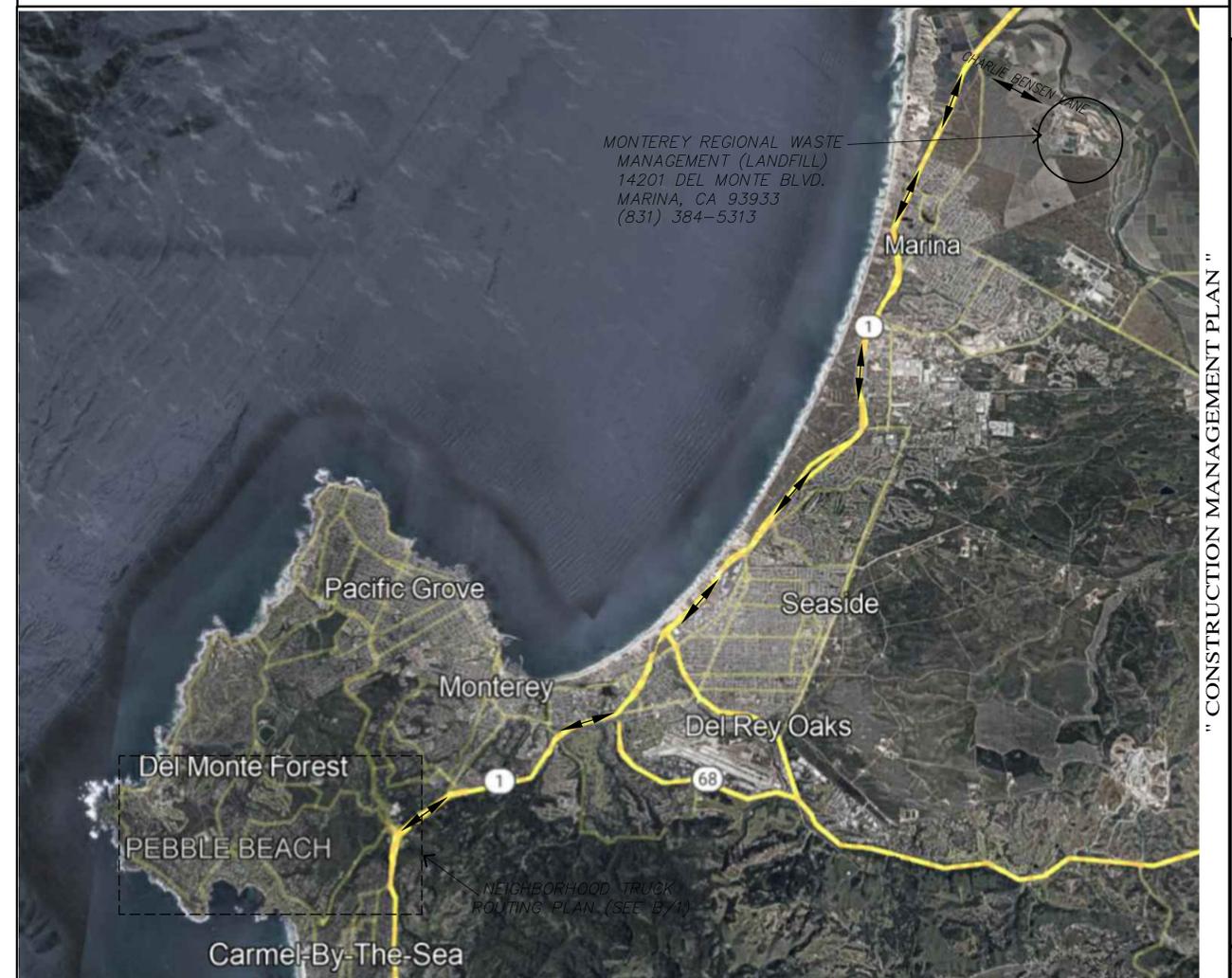
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 23 JUNE 2025.
8 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN



B NEIGHBORHOOD TRUCK ROUTING PLAN



Google Earth

Data CSUMB SFML, CA OPC
Data MBARI

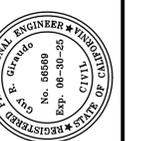
OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
06/02/25	AMS		DRIVEWAY/PARKING REVIEW
04/25/25	AMS		DRIVEWAY/PARKING UPDATE
04/16/25	AMS		RELEASED TO CLIENT

SHEET **C4**
OF 4 SHEETS

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
A.P.N.: 008-332-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
SALADINO FAMILY INVESTMENTS LLC

SCALE: AS SHOWN
DATE: JANUARY 2025
JOB NO. 2466-02



APPROVED BY:
GUY R. GIRARDO



ADJACENT PARCEL
APN:
008-331-019

RIATA ROAD
(A PRIVATE ROAD 40' WIDE)

1458 RIATA ROAD
APN: 008-332-019

ADJACENT PARCEL
APN:
008-332-010

ADJACENT PARCEL
APN:
008-332-020

Project: SALADINO RESIDENCE
1458 Riata Road
Pebble Beach, CA
APN: 008-332-019
Contact: James N. Smith, architect
831-915-9518

Landscape Plan

Scale: 1" = 10'0"

Date: 5/29/2025

L 1.1

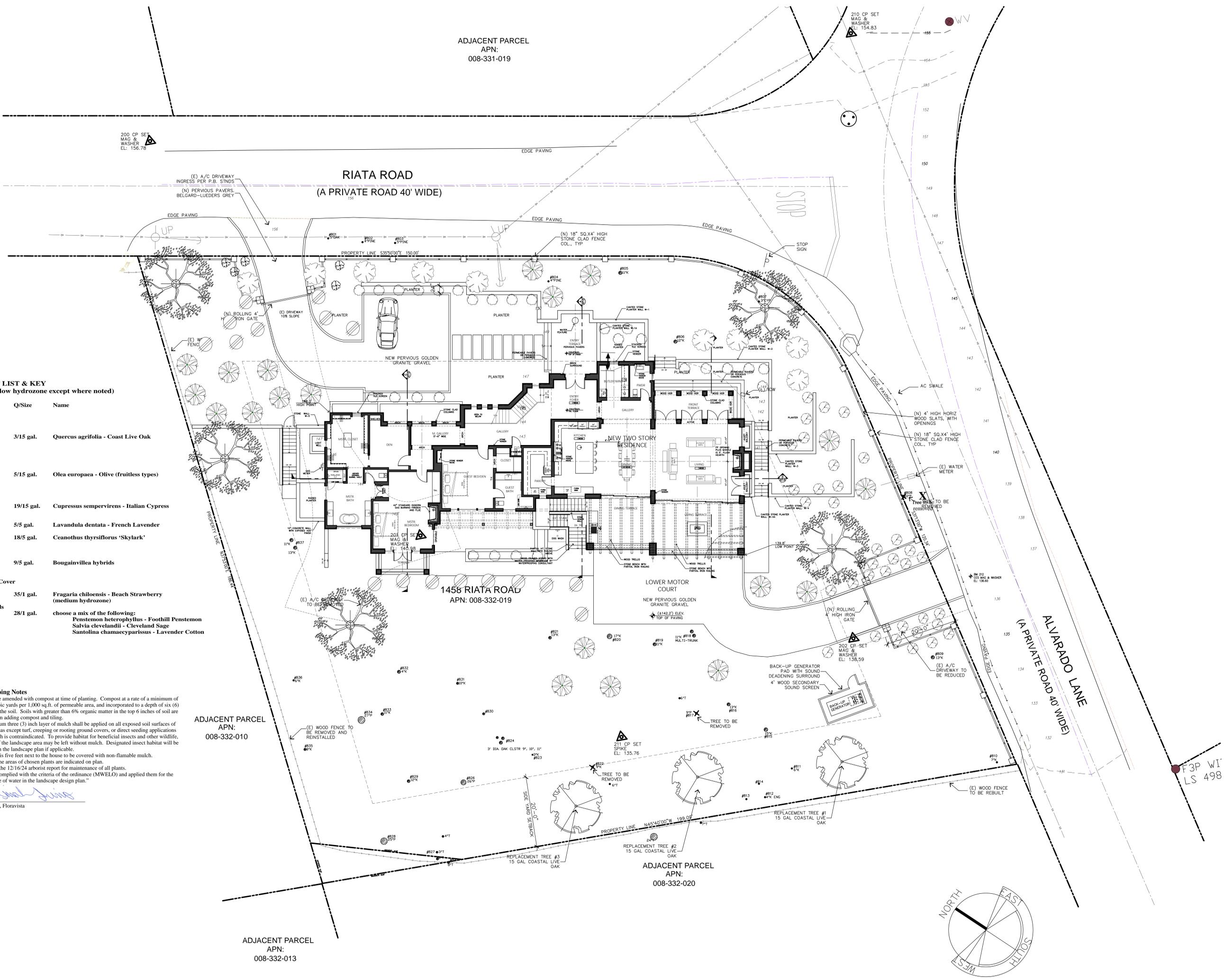
PLANT LIST & KEY
(all are low hydrozone except where noted)

Symbol	Q/Size	Name
Trees		
	3/15 gal.	Quercus agrifolia - Coast Live Oak
	5/15 gal.	Olea europaea - Olive (fruitless types)
Shrubs		
	19/15 gal.	Cupressus sempervirens - Italian Cypress
	5/5 gal.	Lavandula dentata - French Lavender
	18/5 gal.	Ceanothus thyrsiflorus 'Skylark'
Vines		
	9/5 gal.	Bougainvillea hybrids
Ground Cover		
	35/1 gal.	Fragaria chiloensis - Beach Strawberry (medium hydrozone)
Perennials		
	28/1 gal.	choose a mix of the following: Penstemon heterophyllus - Foothill Penstemon Salvia clevelandii - Cleveland Sage Santolina chamaecyparissus - Lavender Cotton

Landscaping Notes

- Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq. ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
- A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable.
- Soil that is five feet next to the house to be covered with non-flammable mulch.
- Hydrozone areas of chosen plants are indicated on plan.
- Refer to the 12/16/24 arborist report for maintenance of all plants.
- "I have complied with the criteria of the ordinance (MWEL0) and applied them for the efficient use of water in the landscape design plan."

Dinah Irino
Dinah Irino, Floravista

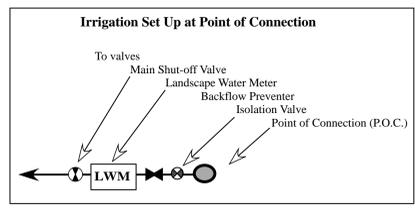


Floravista
982 Phoenix Avenue
Ventura, CA 93004
831.261.4840
flora.vista@sbcglobal.net
Dinah Irino
Landscape Designer

ADJACENT PARCEL
APN:
008-331-019

IRRIGATION LEGEND & KEY

Symbol	Name	Manufacture & Model	Details
☆	Controller	Hunter Pro-C	w/Solar Sync & Flow Meter
⊗	Backflow preventer	Wilkins LP975XL	reduced pressure backflow assembly
⊗	Landscape WM	Neptune T-10 3/4"	lead free, high resolution, low-flow leak detection
—	Mainline	1" PVC, sch. 40	
⊗	Master Valve (Main Shut-off)	PEX Ball Valve	
—	Sleeve	2" PVC, sch. 40	
—	Sleeve	3/4" PVC sch. 40 Conduit	
⊗	Valves	Weathermatic 12000 series	normally closed, forward flow design
⊗	Drip	--this is the beginning of 1/2" drip distribution tubing--	
⊗	Emitters	Rainbird XB-10	Xeri-Bug Emitters
⊗	Filter	NDS YS 75 filter	1", 150 mesh filter (may be combo w/reg.)
⊗	Pressure Reg.	Agrifirm	1", 30 psi for medium flow



IRRIGATION NOTES

- Using a point of connection (water meter) as shown on plan, a 1" main line PVC will run to the valves. Installer to verify point of connection.
- All landscape will be drip irrigated. Within the planting beds 1/2" drip tubing will be used with emitters leading to each plant as follows:
 - 1 GPH emitter for each 1 gallon plant
 - 1 GPH emitters for each 5 gallon plant
 - 1 GPH emitters for each 15 gallon plant
- A backflow device will be used to prevent any contamination of drinking water. The Wilkins LP975XL will be used. Additionally the following components will be attached to each drip valve: Filter and pressure regulator.
- A controller will be used to regulate watering. A Hunter Pro-C is recommended used with a wireless site weather station (Solar Sync), which will suspend or alter irrigation operation during unfavorable weather conditions. A similar "water sense" labeled controller may be used if desired.
- All work to conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals, etc.).
- This drawing is diagrammatic therefore changes may be made due to conditions at the site. Contractor to make a note of changes.
- Irrigation parts and supplies are available at: Hydro Turf, 750 Work Street, Salinas (754-2020 office/754-2096 fax).
- Estimated static pressure at the site is 60psi. If pressure is significantly lower or higher pressure regulation will be needed.
- Install a Neptune T-10 Water Meter to facilitate water management on commercial sites of 1,000 - 5,000 sq.ft and residential sites over 5,000 sq.ft.
- For sites with landscaping over 5,000 sq.ft. install a flow meter. A Badger Industrial/Data Industrial Impeller series 228 PVC Irrigation Sensor #228PV1506-1211. is recommended. Manual and master shut-off valves to be installed as shown.
- Any spray portions of the irrigation will be irrigated with MP Rotators for maximum water efficiency with head to head coverage, with check valves, and installed on swing joints. N/A
- Trees to be on a dedicated valve where feasible as shown.
- Hydrozones areas are indicated on plan. All valves are low hydrozone except where noted.
- "I have complied with the criteria of the ordinance (MWEL0) and applied them accordingly for the efficient use of water in the irrigation design plan"

Shah Jirani

Reference Evapotranspiration (ET₀) 36.0

Hydrozone #/Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PFIE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas							
Oak & Olive - low hydrozone	0.20	drip	0.81	0.25	3,200	790	17,636
shrubs - low hydrozone	0.20	drip	0.81	0.25	1,017	251	5,605
ground cover - medium hydrozoz	0.50	drip	0.81	0.62	315	194	4,340
vines - low hydrozone	0.50	drip	0.81	0.62	324	200	4,464
perennials - low hydrozone	0.20	drip	0.81	0.25	252	62	1,389
		drip	0.81	0.00			
Totals					5108	1,497	33,433
Special Landscape Areas							
Totals					0	0	0
ETWU Total							33,433
Maximum Allowed Water Allowance (MAWA)§							57,682

Hydrozone #/Planting Description	Irrigation Method	Irrigation Efficiency	ETWU (Annual Gallons Required)	MAWA (Annual Gallons Allowed)
E.g. 1.) high water use	overhead spray	0.75 for spray head	Eto x 0.62 x ETAF x Area	(Eto) (0.62) (ETAF x LA) + ((-ETAF) x SLA)
2.) low water use	or drip	0.81 for drip		
3.) moderate water use				

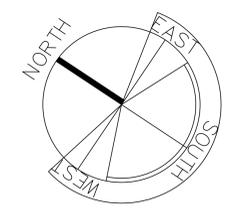
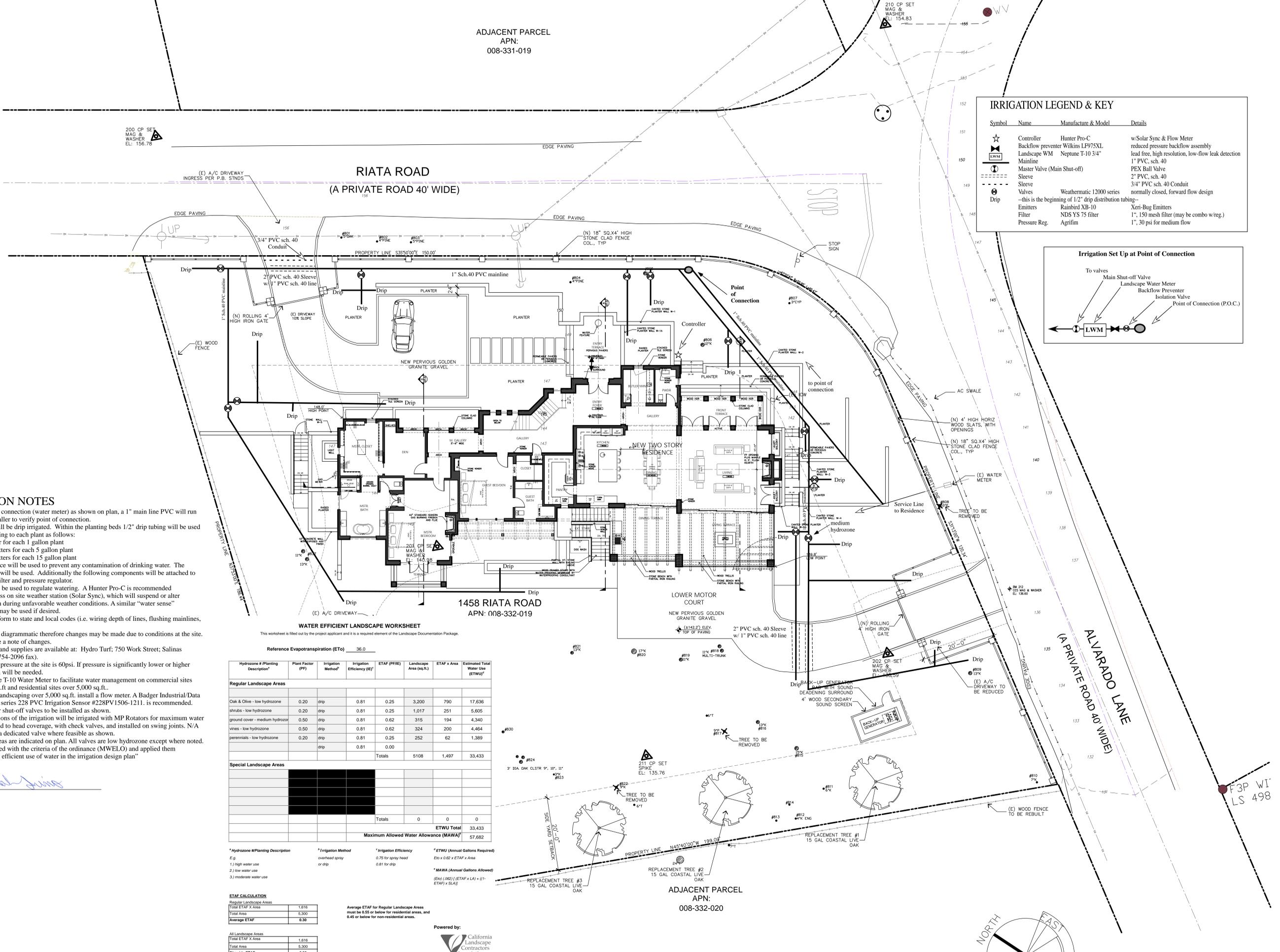
ETAF CALCULATION

Regular Landscape Areas	Total ETAF x Area
Total ETAF x Area	1,616
Total Area	5,300
Average ETAF	0.30

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Powered by:
California Landscape Contractors Association

ADJACENT PARCEL
APN:
008-332-013



Flora Vista
Dinah Irimo
Landscape Designer
982 Phoenix Avenue
Ventura, CA 93004
831.261.4840
flora.vista@sbcglobal.net

Irrigation Plan
Date: 5/29/2025
Scale: 1" = 10'

Project: SALADINO RESIDENCE
1458 Riata Road
Pebble Beach, CA
APN: 008-332-019
Contact: James N. Smith, architect
831-915-9518

Exhibit B

This page intentionally left blank.

Spyglass Hill Country Club

DEL MONTE FOREST LUP

Poppy Hills Golf Course

Peter Hay Golf Course (3 par)

Pebble Beach Golf Links

Pebble Beach Golf Links

Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

Stillwater Cove

APPLICANT: SALADINO

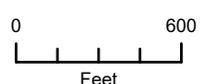
APN: 008332019000

FILE # PLN240349

 Project Site

 300 FT Buffer

 2500 FT Buffer



This page intentionally left blank

Exhibit C

This page intentionally left blank.

MINUTES
Del Monte Land Use Advisory Committee
September 4, 2025

1. Meeting called to order by Lori Lietzke at 3:00 pm

2. Roll Call

Members Present:

Lori Lietzke, Carol Church, Maureen Lyon (late arrival), Rick verbanec, Ned Van Roekel, Bart Bruno

Members Absent:

Kamlesh Parikh

3. Approval of Minutes:

A. August 21, 2025 minutes

Motion: Ned Van Roekel (LUAC Member's Name)

Second: Bart Bruno (LUAC Member's Name)

Ayes: Carol Church, Bart Bruno, Ned Van Roekel, Rick Verbanec

Noes: _____

Absent: Maureen Lyon (late arrival) Kamlesk Parikh

Abstain: Lori Lietzke

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. Scheduled Item(s)

1. PLN240349 – SALADINO FAMILY INVESTMENTS LLC

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

None

7. Meeting Adjourned: 3:20 pm

Minutes taken by: Maureen Lyon

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
 1441 Schilling Place 2nd Floor
 Salinas CA 93901
 (831) 755-5025

Advisory Committee: Del Monte Forest

1. **Project Name:** SALADINO FAMILY INVESTMENTS LLC
File Number: PLN240349
Project Location: 1458 Riata Rd, Pebble Beach, CA 93953
Assessor's Parcel Number(s): 008-332-019-000
Project Planner: Joseph Alameda
Area Plan: Del Monte Forest Land Use Plan, Coastal Zone
Project Description: Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for the construction of a 3,664 square foot single family dwelling and 1,130 square foot attached garage and 769 square foot accessory dwelling unit; and 2) Coastal Administrative Permit to allow development on man-made slopes in excess of 30 percent.; and 3) Coastal Development Permit to allow the removal of 3 Coast Live Oaks. The property is located at 1458 Riata Road, Pebble Beach (Assessor's Parcel Number 008-332-019-000), Del Monte Forest Land Use Plan, Coastal Zone.

Was the Owner/Applicant/Representative present at meeting? YES X NO _____

(Please include the names of the those present)

Brittan Schloss and James Smith (rep/architect); Cheryl Burrell

Was a County Staff/Representative present at meeting? Joeph Alameda (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Question on how County views two driveways on property.	No policy about more than one driveway in land use plan.	County allows - two driveways already existing.

ADDITIONAL LUAC COMMENTS

Has property been reviewed by ARB? Answer: Yes

Reminder from Rick Verbanec about Zone Zero – five foot safety zone around home with no flammable material including plants, mulch, etc. - going into effect possibly as of January 2026 .

RECOMMENDATION:

Motion by: Ned Van Roekel (LUAC Member's Name)

Second by: Rick verbanec (LUAC Member's Name)

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: Carol Church, Bart Bruno, Ned Van Roekel, Rick Verbanec, Maureen Lyon, Lori Lietzke

Noes: _____

Absent: Kamlesh Parikh

Abstain:

This page intentionally left blank

Exhibit D

This page intentionally left blank.



Albert Weisfuss
ISA Certified Arborist #1388
ISA Tree Risk Assessor Qualified
(831) 869-2767
albertweisfuss@gmail.com
montereybaytreeworks.com

MONTEREY BAY
TREWORKS

12/16/24

ASSESSOR'S PARCEL #: 008-332-019-000

TYPE OF CONSTRUCTION: TYPE V-B NEW RESIDENCE

PROJECT LOCATION: 1458 RIATA RD PEBBLE BEACH CA

MAILING ADDRESS: 7058 N WEST AVE #139 FRESNO CA 93711

Summary

Monterey Bay Treeworks conducted a comprehensive assessment of the proposed site development, focusing on protected tree documentation, impact assessment, and compliance with Monterey County Resource Management Agency (MCRMA) guidelines.

Key Findings

1. **Site Visit and Tree Survey:**

- A walkthrough and field survey were completed to identify and document protected trees within the project boundary.
- 37 protected trees were recorded in or near the project footprint.
- Three (3) trees are defective and require removal based on condition.

2. **Tree Removaltree condition:**

- No landmark trees (≥ 24 inches DBH) are included in the removal request.
- Planting Density: Follow a 1:1 replanting ratio to compensate for removed trees.

3. **Bird Nesting:**

- No visible bird nesting observed within 300 feet of the site during the survey.
- Nesting period is February 22 to August 1, requiring continued monitoring if tree removal occurs during this time.

Completed Tasks

- **Site Survey and Tree Inventory:** Documented all trees within the project boundary that are protected or significant (≥ 3 inches in diameter).
- **Tree Impact Analysis:** Identified trees for removal and mitigation purposes to accommodate construction.
- **Documentation and Mapping:**
 - Spreadsheets and maps showing existing trees and proposed project impacts.
- **Formal Reports:**
 - Prepared a protected tree report for county submittal.
 - Developed a Fuel Management Plan to align with county requirements.
 - Prepared a replanting plan for county submittal.

This report provides the necessary documentation and recommendations to proceed responsibly while ensuring compliance with county regulations and preserving ecological integrity.

This report outlines the findings and recommendations regarding tree impacts associated with the proposed site development, as assessed by Monterey Bay Treeworks. It addresses the site conditions, tree impacts, and compliance with Monterey County Resource Management Agency (MCRMA) requirements for mitigation and restoration.

Tree Impact Assessment

1. Protected Trees Impacted:

- Three (3) trees, 1- Coast live oak and 2- Monterey pine are recommended for removal based on condition at the time of the assessment.
- None of these removals qualify as landmark trees (≥ 24 inches DBH).

MCRMA Compliance and Mitigation

Replacement Ratios and Recommendation:

1. *Quercus agrifolia* (Coast live oak): 3- 15 gallon
 - Non-heritage trees removed:
 - Three (3) trees require a 1:1 replacement.
 - A minimum of 3 *Quercus agrifolia* are to be planted on-site.
2. Designated Replanting Area:
 - All replanting must occur in designated areas on-site to comply with MCRMA guidelines.

Next Steps

- Monitor ongoing development to ensure compliance with the guidelines as set forth by MCMRA plan and minimize additional impacts to flora and fauna.
- Recommend periodic site visits during construction to adjust mitigation measures if unforeseen impacts arise.

By following these recommendations, the development can proceed responsibly while preserving the ecological integrity of the site.

Arborist's Report: Introduction, Overview, Methods, and Limitations

Introduction and Overview

I, Albert Weisfuss, conducted a comprehensive assessment of the regulated trees on the subject property and prepared this arborist's report in compliance with the requirements of Monterey County. This report is intended to support the preparation of development plans, ensuring that proper consideration is given to tree preservation, management, and the potential risks posed by the trees during the development process.

Forest management, as defined in this context, involves applying appropriate technical forestry principles and practices to ensure that trees are maintained, preserved, and integrated into the development process. Monterey County's primary management objective is to balance wildlife habitat protection with the enhancement of the environment. The management of trees on streets and publicly owned properties offers multiple benefits, including:

- **Aesthetic value:** Trees contribute significantly to the landscape's visual appeal.
- **Environmental benefits:** Trees improve air quality, provide shade, and support local wildlife.
- **Monetary value:** Well-maintained trees increase in value over time, enhancing the overall property value.

Unlike other public infrastructure elements, trees are dynamic assets that can grow in value, both in terms of aesthetics and practical benefits. Proper planting, care, and maintenance of these trees will not only improve their health but will also positively impact the surrounding environment and property value.

Methods / Limitations

The following methods were used to conduct the tree assessment:

1. Trunk Measurement:

- Tree trunks were measured at 48 inches above soil grade (referred to as Diameter at Breast Height (DBH)). In cases where the main trunk divides below this height, the measurement was taken at the point of division.
- For multi-trunk trees, each trunk was measured separately, and the diameter was averaged to determine the overall DBH.

2. Tree Condition Assessment:

- The condition of each tree was evaluated through visual inspection only, conducted from a standing position. No climbing or aerial equipment was used.
- As such, this assessment is limited to visible, above-ground indicators of health. Internal or underground issues, such as root rot, pest infestations, or internal structural defects, may not be detectable through this method.

3. Assessment Categories:

- **Good:** The tree is healthy and structurally sound.
- **Fair:** The tree is in moderate condition but may show early signs of stress or damage.
- **Poor:** The tree is failing or severely compromised due to disease, pests, structural issues, or other factors.
- **Dead:** The tree has died and poses a higher risk to the surrounding targets.

4. Tree Health Rating (0–5 Scale):

- Health and structure of each tree were assessed visually and rated:
 - **5:** Healthy, vigorous tree.
 - **3–4:** Moderate decline or structural issues, manageable with care.
 - **0–2:** Severe decline, defects, or dead trees.

5. Inventory Process:

- The inventory was conducted over two site visits.
 - The visit involved a review of the development site plans.
 - Site visit involved the use of a Lufkin diameter tape, and mapping tools to record the condition of each subject tree and document it accurately.
- All trees requested for inclusion in the assessment were inventoried, tagged with aluminum tree tags, and assigned identification numbers. Information recorded for each tree included:
 - Tree number
 - Species
 - DBH
 - Condition rating

Limitations

1. Visual Assessment:

This assessment is based on visual observation only, with no invasive testing or equipment used (e.g., climbing, aerial inspections, or root zone examination). As such, internal health issues or structural defects that may not be visible from ground level or on the surface could potentially be overlooked.

2. Tree Condition Changes Over Time:

The condition of trees may change between the time of inspection and the implementation of development plans. Regular reassessments are recommended, especially if tree retention is part of the development proposal. This annual reassessment will help ensure that the trees remain safe and viable during construction.

3. Mapping and Inventory:

The tree inventory is based on the provided site plans, and trees have been mapped to the best of my knowledge. Variations in the site conditions, potential changes in tree health, or unforeseen obstacles may not be fully reflected.

4. Purpose of the Report:

This report is prepared specifically for decision-making purposes related to the proposed development. It is not intended to serve as a general tree management or maintenance plan. Use of the report for any other purpose beyond the scope outlined would be inappropriate.

5. Tree Protection and Care:

If tree retention is recommended as part of the development project, ongoing care and protection measures will be essential to preserve the trees' health and prevent damage during construction. This includes installation of Tree Protection Zones (TPZs), regular monitoring, and adjustments to project plans to avoid root or crown damage.

This arborist's report aims to provide a clear, accurate, and comprehensive evaluation of the trees on the subject property, offering an informed perspective on their condition, potential risks, and viability in relation to the proposed development. By following the guidance provided and taking proactive steps to manage tree health and safety, the development can proceed in harmony with the natural environment, balancing ecological and aesthetic values with the functional needs of the property.

The following trees near/within the proposed footprint have been recorded in the field and listed on table 1:1. Trees were rated as good, fair, poor and dead. limiting their development. Trees rated as good would be considered the best candidates on site for the age and condition of the stand.

Table 1:1

Tree Species	ID #	Diameter in Inches	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Good	Comments
Quercus agrifolia	801	6	3 - Fair	
Pinus radiata	802	6	3 - Fair	
Pinus radiata	803	5	2 - Poor	Co-dominant
Pinus radiata	804	5	5 - Good	
Quercus agrifolia	805	11	3 - Fair	
Quercus agrifolia	806	12	3 - Fair	
Hesperocyparis macrocarpa)	807	3	3 - Fair	
Pinus radiata	808	8	2 - Poor	Develops within main water inlet/meter - Remove
Quercus agrifolia	809	13	3 - Fair	
Quercus agrifolia	810	7	3 - Fair	
Quercus agrifolia	811	6	3 - Fair	
Quercus agrifolia	812	4	3 - Fair	
Quercus agrifolia	813	5	3 - Fair	
Quercus agrifolia	814	5	3 - Fair	
Quercus agrifolia	815	15	3 - Fair	
Quercus agrifolia	816	13	3 - Fair	
Pinus radiata	817	9	2 - Poor	Past stump grinding impacting the root collar/stability - Remove
Quercus agrifolia	818	14,17	2 - Poor	Decay within the trunk, root collar and root system
Quercus agrifolia	819	13	3 - Fair	
Quercus agrifolia	820	20,13	3 - Fair	
Quercus agrifolia	821	13	3 - Fair	
Quercus agrifolia	822	9	2 - Poor	Recent neighboring tree failure causing structural damage - Remove
Quercus agrifolia	823	5	3 - Fair	
Quercus agrifolia	824	13,15,11	3 - Fair	
Quercus agrifolia	825	3	3 - Fair	
Pinus radiata	826	26	3 - Fair	
Quercus agrifolia	827	4	3 - Fair	
Pinus radiata	828	25	3 - Fair	Past root pruning. Monitor
Quercus agrifolia	829	12	3 - Fair	Decay present in old pruning cut. Monitor
Quercus agrifolia	830	9	3 - Fair	
Quercus agrifolia	831	10	3 - Fair	

Quercus agrifolia	832	4	3 - Fair	
Tree Species	ID #	Diameter in Inches	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Comments
Quercus agrifolia	833	11	3 - Fair	
Pinus radiata	834	27	3 - Fair	
Quercus agrifolia	835	8	3 - Fair	
Quercus agrifolia	836	6	3 - Fair	
Quercus agrifolia	837	11,13	3 - Fair	

TREE REMOVAL & TREE RETENTION PLANS

Removal is based on condition or impacts from development of trees at the time of this assessment.

1 trees assessed in the Good category.

31 trees assessed in the Fair category

5 trees assessed in there Poor category

0 trees assessed in the Dead category

3 trees are requested for removal. Three Quercus agrifolia.

37 Documented trees near the proposed project are to be retained with tree protection.

Retention is based on condition/location of trees at the time of the assessment.

Trees retained within the scope of work will require tree protection prior to any work.

Retained trees are recommended for trimming for safety and/or building clearance using Best Management Practice (BMP) developed by the International Society of Arboriculture (ISA)

Subject trees requested for removal will not involve a risk of adverse environmental impacts such as:

1. Soil erosion.
2. Water Quality: The removal of the trees will not substantially lessen the ability for the natural assimilation of nutrients, chemical pollutants, heavy metals, silt and other noxious substances from ground and surface waters;
3. Ecological Impacts: The removal will not have a substantial adverse impact upon existing biological and ecological systems, climatic conditions which affect these systems, or such removal will not create conditions which may adversely affect the dynamic equilibrium of associated systems;
4. Noise Pollution: The removal will not significantly increase ambient noise levels to the degree that a nuisance is anticipated to occur;
5. Air Movement: The removal will not significantly reduce the ability of the existing vegetation to reduce wind velocities to the degree that a nuisance is anticipated to occur;
6. Wildlife Habitat: The removal will not significantly reduce available habitat for wildlife existence and reproduction or result in the immigration of wildlife from adjacent or associated ecosystems. The tree is diseased, injured, in danger of falling too close to existing or proposed structures, creates unsafe vision clearance, or is likely to promote the spread of insects of disease.

- Number of Trees Removed < 24 inches DBH): 3
- Replacement Ratio for Trees < 24 inches DBH: 1:1
- Replacement Requirement: 3 new trees
- Spacing Requirement: 15 feet apart (to ensure sufficient root and canopy growth).
- Initial Care:
 - Deep watering once or twice weekly for the first two years.
 - Supplemental watering during dry months.

Since no landmark trees \geq 24 inches DBH) are being removed, no 2:1 replacement applies.

Replant list			
<i>Species</i>	<i>Common name</i>	<i>Size</i>	<i># of trees replanted</i>
Quercus agrifolia	Coast live oak	15 gallon	3

It is possible as the project develops, some crown cleaning, raising or reduction of canopies will be required to obtain proper distance between established trees and the proposed project. Visible decay was present on some trees that will require care for safety and health. This pruning cycle is recommended at the end of construction along with post construction care of the retained trees.

All pruning will be completed by a qualified professional following ISA **B**est **M**anagement **P**runing guidelines.

Tree Protection - Before/During/After

Planning Phase

1. Before assessing trees and other site structures and conditions, mark the site boundaries on plans and in the field to delineate which trees and stands of trees will be inventoried.
2. Perform a tree inventory that includes at minimum the location, size, and health of each tree and delineates quality stands of trees. Scope of the inventory should be based on communication and needs of the project team (developer, planner, engineer, architect, landscape architect, and other professionals involved), as well as county ordinances. This is the time to confer with the project team on conceptualizations for site design, so that way long- term tree protection and health gets integrated into the design.

Design Phase

3. Communicate with the project team to accurately site structures and utilities and determine the trees to remain on site. Conserve and protect trees in stands or groups where possible. Make sure the trees and stands of trees selected to be saved go into plans and construction documents. Include in all plans the Tree Protection Zone (TPZ) for all saved trees to avoid conflict with the protected area and placement of structures and utilities during construction.

Pre-construction Phase

4. Prior to pre-construction activities, including tree removal, access roads, construction staging areas, and building layout, erect tree protection barriers to visually indicate TPZs. Be sure to:
 - ⇒ Use tree protection barriers that are highly visible, sturdy, and restrict entry into the TPZ.
 - ⇒ Install or erect signs along the tree protection barrier stating that no one is allowed to disturb this area.
 - ⇒ Remove any branches or trees that pose an immediate risk to structures or people prior to any construction activities.

Construction Phase

5. Communicate the intent of the tree protection barriers to the construction manager and workers to ensure that TPZs are not disturbed during construction activities. Have the construction manager sign a contract of compliance.

Prohibit these activities in the TPZ:

- ⇒ Stockpiling of any type, including construction material, debris, soil, and mulch
- ⇒ Altering soils, including grade changes, surface treatment, and compaction due to vehicle, equipment, and foot traffic
- ⇒ Trenching for utility installation or repair and irrigation system installation
- ⇒ Attaching anything to trunks or use of equipment that causes injury to the tree

7. Schedule site visits to ensure the contract is being met by the construction manager and that tree health is not being compromised by construction activity. Inspect and monitor trees for any decline or damages.

8. Keep in place all tree protection barriers until the project is completed.

Post-construction Phase

9. Perform a final inspection and continue monitoring after construction. Monitoring includes maintaining mulch, managing soil moisture, assessing tree damage, inspecting for insects and pests, and fertilization if needed.

Grading Limitations within the Tree Protection Zone

1. Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
2. Grade changes within the TPZ are not permitted.
3. Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated
4. Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.

5. Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.

Trenching, Excavation and Equipment Use

Notification. Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.

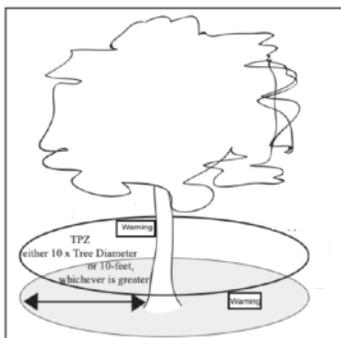
1. **Root Severance.** Roots that are encountered shall be cut to sound wood and repaired. Roots 2-inches and greater must remain injury free.
2. **Excavation.** Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1-foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
3. **Heavy Equipment.** Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the project arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
 - Structural design. If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to project arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Tree Removal

⇒ Removal of regulated trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that are retained.

Tree Protection Zone (TPZ) shown in grey

(radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).



Tree protection has three primary functions,

- Keep the foliage canopy and branching structure clear from contact by equipment, materials and activities.
- Preserve roots and soil conditions in an intact and non-compacted state.
- Identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.

Fuel Management - Introduction

This fuel management plan has been prepared as a guideline for the implementation of defensible space / vegetation management for the fire safety around the newly proposed residence identified as Lot 49 - #62 Marguerite Carmel, CA. The Fuel Management Zones are specific to the areas where vegetation has been removed or modified in a manner that increases the likelihood that structures will survive wildfires. Improving the defensible space around structures reduces the amount of fuel available for a wildfire.

California Public Resource Code 4291

Maintain defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line. The amount of fuel modification necessary shall consider the flammability of the structure as affected by building material, building standards, location, and type of vegetation. Fuels shall be maintained and spaced in a condition so that a wildfire burning under average weather conditions would be unlikely to ignite the structure. The intensity of fuels management may vary within the 100-foot perimeter of the structure, with more intense fuel reductions being utilized between 5 and 30 feet around the structure, and an ember-resistant zone being required within 5 feet of the structure.

Non-Combustible Zone:

(0-5 feet)

- Hardscape surfaces including gravel, pavers, decomposed granite and bare soils are all approved non-combustible surfaces.
- Succulent plant species are examples of non-combustible plant materials.
- Plant placement is the most important criteria for fire-resistant plant selection.
- No wooden trellis, climbing vines, trees or shrubs should be integrated into this zone.
- No combustible mulch. Rock mulch is acceptable and has the greatest fire resistance.

Landscape Zone:

(5-30 feet)

Landscape Zones incorporate multiple planting types. All zones are proposed with fire-appropriate plant materials and adequate spacing posing less hazard for ignition. Increase space between trees, remove lower branches and create areas of irrigated landscape islands.

- Safe egress must be maintained regularly along the driveway. It is important to allow for safe passage and to provide a location where firefighter resources can travel and engage in fire response.
- Grassland, and the understory of all oak woodland vegetation should be mowed within 10 feet of the pavement edges.
- All chaparral, coastal scrub and oak/shrub woodland vegetation should be treated to 30 feet from the pavement edge providing both vertical and horizontal clearance.

Management Zone

(30-100 feet)

Understory plants must be kept short, and small lower tree branches must be removed. The understory of oak woodland habitat includes shade tolerant shrubs and grasslands. The goal of this standard is to maintain an existing oak woodland with a short-statured understory of herbaceous plants and shrubs and a tree canopy at least 8 feet above the ground. An initial treatment will be required to prune smaller benches of trees up to 8 feet above the ground and to reduce density and stature of understory shrubs. Annual maintenance could be required to maintain this recommended height.

- Understory vegetation should not be completely removed. Instead, selectively remove non-native flammable species and remove dead branches from desirable native vegetation.
- Native understory shrubs are to be kept free of dead branches and no more than 2.5 feet in height.
- Leaf litter depth should be kept no greater than 4 inches.
- Once initial tree pruning is completed, pruning is likely to be needed less frequently with an interval of three to five years.



SITE PLAN NOTES

1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
3. ALL NEW UTILITIES SHALL BE INSTALLED ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL TREE REMOVALS SHALL BE APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE.
6. ALL TREE REPLACEMENTS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. ALL GRADING SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
9. ALL DRAINAGE SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
10. ALL FUEL MANAGEMENT ZONES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.

GRADING / DRAINAGE NOTES

1. ALL GRADING SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
2. ALL DRAINAGE SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. ALL TREE REMOVALS SHALL BE APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE.
5. ALL TREE REPLACEMENTS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. ALL GRADING SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
8. ALL DRAINAGE SHALL BE ACCORDING TO ALL APPLICABLE CODES AND STANDARDS.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
10. ALL TREE REMOVALS SHALL BE APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE.
11. ALL TREE REPLACEMENTS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
12. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

1458 Riata Road - Saladino Residence

Fuel Management Plan - Introduction

This Fuel Management Plan has been prepared as a guideline for the management of defensible space / vegetation management for the new residence identified at 1458 Riata Road. The plan is specific to the site and the vegetation has been removed or modified in a manner that increases the likelihood that structures will survive wildfires. Improving the defensible space around structures reduces the amount of fuel available for a wildfire.

California Public Resource Code 42911 requires a defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line. The amount of fuel modification necessary shall consider the flammability of the structure as affected by building material, building standards, location, and type of vegetation. Fuels shall be maintained and spaced in a condition so that a wildfire burning under average weather conditions would be unlikely to ignite the structure. The intensity of fuels management may vary within the 100-foot perimeter of the structure, with more intense fuel reductions being utilized between 5 and 30 feet around the structure, and an ember-resistant zone being required within 5 feet of the structure.

Non-Combustible Zone: (0-5 feet)

- Hardscape surfaces including gravel, pavers, decomposed granite and base soils are all approved non-combustible surfaces.
- Succulent plant species are examples of non-combustible plant materials.
- Plant placement is the most important criteria for fire-resistant plant selection.
- No wooden trellis, climbing vines, trees or shrubs should be integrated into this zone.
- No combustible mulch. Rock mulch is acceptable and has the greatest fire resistance.

Landscape Zone: (5-30 feet)

Landscape Zones incorporate multiple planting types. All zones are proposed with appropriate plant materials and adequate spacing posing less hazard for ignition. Increase space between trees, remove low branches and create areas of irrigated landscape islands.

- Safe egress must be maintained regularly along the driveway. It is important to allow for safe passage and to provide a location where firefighters can travel and engage in fire response.
- Grassland, and the understory of all oak woodland vegetation should be mowed within 10 feet of the pavement edges.
- All chaparral, coastal scrub and oak/shrub woodland vegetation should be treated to 30 feet from the pavement edge providing both vertical and horizontal clearance.

Management Zone: (30-100 feet)

Understory plants must be kept short, and small lower tree branches must be removed. The understory of oak woodland habitat includes shade tolerant shrubs and grasslands. The goal of this standard is to maintain an existing oak woodland with a short-statured understory of herbaceous plants and shrubs and a tree canopy at least 8 feet above the ground. An initial treatment will be required to prune smaller benches of trees up to 8 feet above the ground and to reduce density and stature of understory shrubs. Annual maintenance could be required to maintain this recommended height.

- Understory vegetation should not be completely removed. Instead, selectively remove non-native flammable species and remove dead branches from desirable native vegetation.
- Native understory shrubs are to be kept free of dead branches and no more than 2.5 feet in height.
- Leaf litter depth should be kept no greater than 4 inches.
- Once initial tree pruning is completed, pruning is likely to be needed less frequently with an interval of three to five years.

- Non-Combustible Zone
- Landscape Zone
- Management Zone



801-803

Tree 802 and 803 develop under power lines. Future maintenance will be required to maintain clearance.

803 has a co-dominant stem. Removal is recommended.



808

The tree develops on top of the main water line /meter. The tree will compromise the system as it develops. Removal is recommended.

817

This was a second trunk to a multi stem tree. Stump grinding has damaged the root-crown and is now unstable. Recommend removal.



818

Beginning decay is present at the root collar.





822
A recent failure from a neighboring tree has caused irreparable damage to this tree.
Removal is recommended.



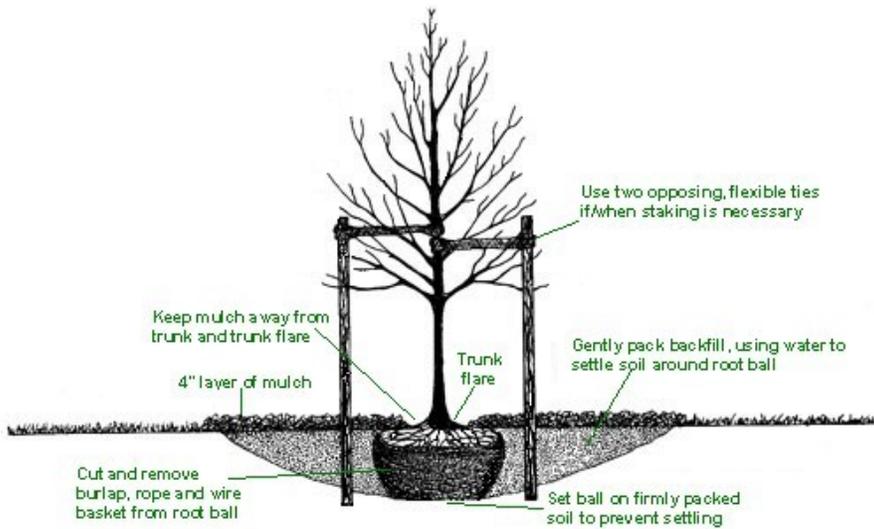


828
Past root
pruning.
Continue
to
monitor.



Planting Detail

If trees must be staked, place stakes as low as possible but no higher than 2/3 the height of the tree. Materials used to tie the tree to the stake should be flexible and allow for movement all the way down to the ground so that trunk taper develops correctly. Remove all staking material after roots have established. This can be as early as a few months, but should be no longer than one growing season. Materials used for permanent tree protection should never be attached to the tree.



Watering Guidelines

Tree Age	Frequency	Quantity	Drip* & Sprinkler*** Run Time
Three days after planted	Fill the watering basin 3 times, using a total of 15-20 gallons	15-20 gallons	Hand watering best at this stage
First three weeks after planting	Fill the watering basin once a week	5-10 gallons	Drip & Bubbler run time: Depends on flow rate
Two - Six months following planting	Fill the watering basin every week or every other week	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
Remainder of first year	Water every other week in absence of soaking rain	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
Year Two	Every two to four weeks when rain is scarce	15-20 gallons	Drip & Bubbler run time: Depends on flow rate
Year Three-Five	Once a month	20-30 gallons	Drip & Bubbler run time: Depends on flow rate

Certifying Statement

I, Albert Weisfuss, certify that:

- I have personally overseen the inspection of this tree and property referred to in this report, and have stated my findings accurately.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The opinions and conclusions stated herein are my own.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.



Albert Weisfuss

December 16, 2024

Date

Amended 1/23/25



Amended 6/10/25



Arborists Disclosure:

1. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure to a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees.
2. Where the treatment, pruning and/or removal of trees are involved, it is the Client's responsibility to advise Consultant of any issues regarding property boundaries, property ownership, site lines, disputes between neighbors and other related issues.
3. Consultant shall invoice Client periodically for the services rendered. Client shall pay such invoices upon receipt. If invoices are not paid within 30 days, a late payment shall be charged of 1 ½ percent per month.
4. Consultant shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. No warranty, representation or guarantee, express or implied, is intended by this agreement.
5. Services provided under this agreement, including all reports, information or recommendations prepared or issued by Consultant, are for the exclusive use of the Client for the project specified herein. No other use is authorized under this agreement. Client will not distribute or convey Consultant's reports or recommendations to any other person or organization other than those identified in the project description without Consultant's written authorization. Client releases Consultant from liability and agrees to defend, indemnify and hold harmless Consultant from any and all claims, liabilities, damages or expenses arising, in whole or in part, from such distribution.
6. Consultant is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of the Consultant, nor responsible for their acts or omissions or for any damages resulting there from.
7. Client and Consultant agree to mediate any claims or disputes arising out of this agreement, before initiating any litigation. The mediation shall be conducted by a mediation service acceptable to the parties. The parties shall make a demand for mediation within a reasonable time after a claim or dispute arises and the parties agree to mediate in good faith. In no event shall any demand for mediation be made after such claim or dispute would be barred by applicable law. Mediation fees would be shared equally. In the event that mediation does not resolve the issue, the parties agree to proceed through binding arbitration. The prevailing party in such proceeding shall be entitled to a reasonable sum for attorney's fees and expert witness fees.
8. Client agrees to indemnify, defend and hold harmless Consultant from and against any and all claims, liabilities, suits, demands, losses, costs and expenses, including, but not limited to, reasonable attorneys' fees and all legal expenses and fees incurred through appeal, and all interest thereon, accruing or resulting to any and all persons, firms or any other legal entities on account of any damages or losses to property or persons, including injuries or death, or economic losses, arising out of the project and/or this agreement, except to the extent that said damages or losses are caused by Consultant's sold negligence or willful misconduct.
9. If, during the course of performance of this agreement, conditions or circumstances are discovered which were not contemplated by Consultant at the commencement of this agreement, Consultant shall notify Client in writing of the newly discovered conditions or circumstances, and Client and Consultant shall renegotiate, in good faith, the terms and conditions of this agreement. If amended terms and conditions cannot be agreed upon within 30 days after notice, Consultant may terminate this agreement and be compensated under paragraph 4 in this agreement.
10. This agreement may be terminated by either party upon 10 days' notice sent first class mail. In the event of a termination, Client shall pay for all reasonable charges for work performed by Consultant through the 10th day after mailing the notice of termination. The limitation of liability and indemnity obligations of this agreement shall be binding notwithstanding any termination of this agreement.
11. This agreement is the entire and integrated agreement between Client and Consultant and supersedes all prior negotiations, statements or agreements, either written or oral. Writing signed by both parties may only amend this agreement.
12. In the event that any term or provision in this agreement is found to be unenforceable or invalid for any reason, the remainder of this agreement shall continue in full force and effect, and the parties agree that any unenforceable or invalid term or provision shall be amended to the minimum extent required to make such term or provision enforceable and valid.
13. Neither Client nor Consultant shall assign this agreement without the written consent of the other.
14. Nothing in this agreement shall create a contractual relationship for the benefit of any third party.

This page intentionally left blank