Exhibit B



Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

TEH (PLN200191)

RESOLUTION NO.

Resolution by the Monterey County Zoning Administrator:

- 1) Finding that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the demolition of a 2,461 square foot two-story single family dwelling and attached 431 square foot garage and construction of an approximately 2,800 square foot two-story single family with an attached 553 square foot garage.

[1031 Rodeo Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-322-005-000)]

The Teh application (PLN200191) came on for a public hearing before the Monterey County Zoning Administrator on January 28, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:**

CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS

/ SITE SUITABILITY - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

EVIDENCE:

a)

- The proposed project involves a demolition of a 2,461 square foot two-story single family dwelling and attached 431 square foot garage and construction of an approximately 2,800 square foot two-story single family with an attached 553 square foot garage.
- The property is located at 1031 Rodeo Road, Pebble Beach (Assessor's Parcel Number 007-293-009-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of single-family dwellings are allowed use pursuant to Monterey County Code Section 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).

- c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)
- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- Review of Development Standards. The applicable development e) standards include special regulations for the MDR zoning district in the Del Monte Forest area as identified in MCC Section 21.12.070. These standards require special setbacks for the main dwelling unit of: 20 feet (front), 10 feet (rear) and 10 feet (sides). The proposed dwelling has a 20 feet (front), 10 feet (rear), and 12 feet (sides). Maximum allowed structure height is 27 feet. The proposed max height for the single-family dwelling is 27'. A condition of approval has been added to verify the height of the structure prior to final building permits being issued (Condition No. 7). The allowed maximum site coverage in the MDR district is 35 percent on lots less than 20,000 square feet. The property is 9,605 square feet, which would allow site coverage of 3,362 square feet. The proposed singlefamily dwelling unit and garage would result in site coverage of 3,354 square feet or 34.9 percent. Therefore, as proposed, the project meets all required development standards. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by HCD-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical reports has been prepared:
 - Historic Assessment (LIB200177) prepared by PAST
 Consultants LLC Pacific Grove, California, September 10, 2018.
 - Archaeological Consulting (LIB200176) prepared by John Schlagheck, Soquel, California, September 2018.
 - Archaeological Consulting (LIB200252) prepared by Dana Supernowicz, Pebble Beach, California, December 2020.

County staff has independently reviewed this report and concurs with its conclusions.

- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) The project is located within a high archaeological zone, a preliminary archeological report (LIB200177) prepared by John Schlagheck dated September 12, 2018 was submitted. However, it didn't meet the report standards and contents requirements of a Phase I archaeological report. Therefore, an updated Phase I archaeological report (LIB200252) prepared by Dana Supernowicz dated December

2020 was later submitted and concluded that there is no surface evidence of potentially significant archaeological resources on this parcel. Recommendations were made that any future construction projects on this parcel should not be delayed for archaeological reasons. A condition of approval (Condition No. 3) was applied to this project to include language directing the contractor to stop work within 50 meters (165 feet) of uncovered resource, immediately contact Monterey County HCD-Planning, OCEN Tribal Council and qualified archaeologist because of the possibility of unidentified (e.g., buried) cultural resources being found during any construction involving ground disturbance.

- j) <u>Design</u>. See Finding No. 2.
- k) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- 1) The project planner conducted a site inspection on December 23, 2020 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- The project was referred to the Del Monte Forest Use Advisory Committee (LUAC) for review on October 15th, 2020. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. Due to the moderate and high fire hazard risk pertaining to the subject parcel, the LUAC members expressed concerns with the wood roofing materials proposed and recommends all new construction comply with the current Class A roofing material in order to meet the current building codes in Del Monte Forest. The agent has since updated the plans to reflect that the roofing material will be rated Class A, non-flammable due to California's Fire Code. In addition, A Fuel Management Plan is included as part of the project which demonstrates the 30' fuel defensible space for all sides of the structures or property lines, whichever is closer. The LUAC ultimately, voted 7-0 to support the project as proposed with recommendations.
- n) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200191.

2. **FINDING:**

DESIGN – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE: a)

- a) The Applicant proposes a replacement of a single-family dwelling and an attached garage on an existing residential lot.
- b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.

- c) The proposed residence is compatible with the surrounding neighborhood character in terms of size, color, location and mass. The neighborhood consists of one and two-story dwellings ranging from 2,000-3,000 square feet within a one-mile radius. The architectural style of the neighborhood is comprised of various styles ranging from traditional California Craftsman to Spanish Revival. The neighborhood is in transition in terms of development, composed of new designs mixed in with the old. The proposed dwelling incorporates architectural aesthetics of contemporary style with a touch of traditional accents. The proposed exterior colors and materials are consistent with the residential setting. The primary colors and materials include off white plaster walls, dark brown clad windows and doors, carmel stone veneer and natural brown wood shingles roofing
- d) The project planner conducted a site inspection on December 23, 2020 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character.
- e) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200191
- 3. **FINDING:**

CEQA (**Exempt**) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement and reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced..
- b) The subject project consists of the replacement of a single-family dwelling with an attached garage. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15302.
- The existing structure was constructed in 1950. CEQA guidelines, PRC Sec.21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. A historical report (LIB200177) was prepared and submitted by Kent Seavy, dated September 10, 2018 indicating that the structure lacks both historic integrity and significance. The subject property does not meet the necessary criterion for listing in the California Register of Historical Resources. Nor does it meet the criterion established by the County of Monterey to qualify for inclusion in the Monterey County Register of Historic Places, and therefore would not be considered as a historic resource as defined by CEQA.

- None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, or development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- No adverse environmental effects were identified during staff review e) of the development application.

APPEALABILITY - The decision on this project may be appealed to 4. **FINDING:**

the Monterey County Planning Commission.

Pursuant to Section 21.80.040.B of the Monterey County Zoning **EVIDENCE:** Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approving a Design Approval to allow the demolition of a 2,461 square foot twostory single family dwelling and attached 431 square foot garage and construction of an approximately 2,800 square foot two-story single family with an attached 553 square foot garage, all in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 28 th day of January, 2021.	
John M. Dugan, FAICP Monterey County Zoning	Administrator
COPY OF THIS DECISION MAILED TO APPLICANT ON	
THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMMISSION. IF ANY	
WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED A	
SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WIT	H THE
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This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

Monterey County HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200191

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation
Monitoring Measure:

This Design Approval permit (PLN200191) allows the demolition of a 2,461 square foot two-story single family dwelling and attached 431 square foot garage and construction of a 2,801 square foot two-story single family with an attached 553 garage. The property is located at 1031 Rodeo Road, Pebble Beach square foot (Assessor's Parcel Number 007-322-005-000), Greater Monterey Peninsula Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD -Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure:

The applicant shall record a Permit Approval Notice. This notice shall state:

"A Design Approval (Resolution Number ______) was approved by the Zoning Administrator for Assessor's Parcel Number 007-322-005-000 on January 28, 2021. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD- Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD- Planning)

Compliance or Monitoring Action to be Performed:

PI N200191

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

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3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department:

HCD-Planning

Condition/Mitigation **Monitoring Measure:**

during course of construction, cultural, archaeological, historical paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a archaeologist an archaeologist registered with (i.e.. Register Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

(HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD- Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0031 - BOUNDARY SURVEY

Responsible Department: HCD-Public Works

Condition/Mitigation **Monitoring Measure:**

Owner/Applicant shall have a professional land surveyor perform a boundary survey of the northerly and southerly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional surveyor survey and monument the northerly and southerly boundary line(s) of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

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5. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department:

HCD-Planning

Condition/Mitigation Monitoring Measure:

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD- Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

Prior to issuance building permits, Owner/Applicant/Licensed Landscape the Contractor/Licensed Landscape Architect shall submit landscape plans contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

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6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: HCD-Planning

Condition/Mitigation **Monitoring Measure:**

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring **Action to be Performed:**

Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD- Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the The benchmark shall remain visible on-site until benchmark on the building plans. final building inspection. The applicant shall provide evidence from a licensed engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD -Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed:

Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

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1031 RODEO RD. PEBBLE BEACH, CA.

GENERAL NOTES

1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.

2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNER, JULIEN TEH, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.

3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)

4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.

5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.

6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY PEBBLE BEACH AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.

7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF STUD (F.O.S.), OR FACE OF COLUMN (F.O.C.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITION, OR COLUMN, ETC.

8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.

9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. <u>DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID</u> CLARIFICATION SHALL BE AT GENERAL OR SUB- CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.

10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR. MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.

11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.

12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND /OR INSTALLATION.

13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY____DATED____ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED. SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.

14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.

15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.

18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM

PERIOD OF ONE YEAR FROM DATE OF COMPLETION.

19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.

20. CONSULT WITH PEBBLE BEACH FORESTER PRIOR TO ANY TREE TRIMMING OR REMOVAL. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVEWAYS. PROTECT OTHER TREES DURING CONSTRUCTION PER CITY STANDARDS. TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

21. A LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

22. CONTRACTOR SHALL OBTAIN AN 8-1-1 / DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

ABBREVIATIONS

EXIST'G EXISTING GYPSUM WALLBOARD G.W.B. EXISTING NOT IN CONTRACT A.B. NOT TO SCALE ANCHOR BOLT APPROX ON CENTER APPROXIMATE BD. O.D. OUTSIDE DIAMETER BOARD BLK. BLOCK PLYWD. PLYWOOD CAB. CABINET R.O. ROUGH OPENING CLR. CLEAR SIM. SIMILAR S.S.D. CONC. CONCRETE SEE STRUCTURAL DRAWINGS CONT. CONTINUOUS T&G TONGUE AND GROOVE D.S. DOWNSPOUT T.O.P. TOP OF PLATE FACE OF CONCRETE TYP. TYPICAL F.O.S. FACE OF STUDS UNLESS OTHERWISE NOTED F.O.F. FACE OF FINISH V.I.F. VERIFY IN FIELD (OR WORK SITE) VERIFY WITH OWNER GALV. GALVANIZED V.W.O. G.I. GALVANIZED IRON W/O WITHOUT GYP. GYPSUM WATERPROOF

SPECIAL INSPECTIONS

THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.

BUILDING DEPARTMENT NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR FMFRGENCY AID. WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- 1. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- 6. THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE BUILDING DEPARTMENT WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- 8. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.
- RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE

- COMPANY. THE FIRE SPRINKLER PLAN SHALL BE SUBMITTED & APPROVED BY THE COUNTY PRIOR TO INSTALLATION.
- INSTALLER
- 4. TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- 5. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.

7. GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT

ARCHAEOLOGICAL NOTE

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED. THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY,

PROJECT INFORMATION DRAWING INDEX

ARCHITECTURAL

FLOOR PLAN - MAIN LEVEL FLOOR PLAN - UPPER LEVEL A2.2 FLOOR PLAN - LOWER LEVEL

A1.0D SITE PLAN - EXISTING / DEMO

ROOF PLAN EXTERIOR ELEVATIONS

A0.0 COVER SHEET

A1.0 SITE PLAN

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS

BUILDING SECTIONS

PROPERTY OWNERS:

ROBERT AND JULIAN TEH

ÈMAIL: TEH.JULIEN@GMAIL.COM

JAMES N. SMITH, ARCHITECT, INC.

CONTACT PERSON: JAMES SMITH

716 LIGHTHOUSE AVE., SUITE C

PACIFIC GROVE, CA. 93950

13342 PEYTON DRIVE

CONTACT: JULIEN TEH

TEL. (831) 372-7251

FAX (831) 372-7252

EMAIL: JÁMES@JNSAIA.COM

MARK CRISTOFALO & CO.

1714 CONTRA COSTA ST.

STRUCTURAL / CIVIL ENGINEER:

CONTACT : MARK CRISTOFALO

EMAIL: MÁRK@MARKCRISTOFALO.COM

SAND CITY, CA 93955

TEL. (831) 241-4214

JERRY TAYLOR

JRTCE, INC.

DALLAS, TX 75240

(469) 877-1272

ARCHITECT:

CONTRACTOR:

- PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MOUNTEREY COUNTY HEALTH DEPARTMENT.
- NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- INSPECTION.

DEFERRED SUBMITTALS

- 1. CONTRACTOR TO SUBMIT GAS LINE SIZING AND SINGLE LINE DIAGRAM FOR CITY OR COUNTY & UTILITY APPROVAL BEFORE INSPECTION.
- 2. RESIDENTIAL FIRE SPRINKLER SYSTEM BY SEPARATE PERMIT BY LICENSED FIRE SPRINKLER
- 3. SOLAR PANEL ARRAY AND WIRING SYSTEM TO BE PER SEPARATE PERMIT BY APPROVED
- 6. THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.

ROBERT AND JULIAN TEH 1031 RODEO DR. 13342 PEYTON DRIVE PEBBLE BEACH, CA. 93950 DALLAS, TX 75240 CONTACT: JULIEN TEH

CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE

PROJECT OWNER:

(469) 877-1272

WITH ELEVATOR AND ATTACHED 2 CAR GARAGE.

PROJECT INCLUDES WALLED COURTYARD AND 6'

ÈMAIL: TEH.JULIEN@GMAIL.COM PLANNING INFORMATION

A.P.N. 007-322-005 □ LEGAL DESCRIPTION

PROJECT DESCRIPTION:

■ PROJECT ADDRESS:

PERIMETER WOOD FENCE

- LOT BLOCK ■ **COUNTY OF MONTEREY ZONING:** MDR/B-6-D
- TITLE 21 (INLAND) ZONING ORDINANCE FOR MONTEREY COUNTY
- MAX. ALLOWABLE BUILDING HEIGHT: 27
- □ TREE REMOVAL: NONE
- APPROX. GRADING: 75 CY CUT, 75 CY FILL
- □ PARKING REQUIRED PARKING PROVIDED COVERED: COVERED: UNCOVERED: UNCOVERED:

BUILDING INFORMATION

■ PROJECT CODE COMPLIANCE-CODE EDITIONS USED: 2019 CAL. BUILDING CODE — CBC 2019 CAL. RESIDENTIAL CODE — CRC 2019 CAL ELEC. CODE - CEC 2019 CAL. MECH. CODE - CMC 2019 CAL. PLUMB. CODE - CPC 2019 CAL. ENERGY CODE - CEC

2019 CAL. GREEN BUILDING STANDARDS CODE - CGBCS

- 2019 CAL. FIRE CODE CFC
- CONSTRUCTION TYPE: VB
- **BUILDING OCCUPANCY:** R-3 / U
- **FIRE DEPARTMENT:**

FIRE DISTRICT: P.B.C.S.D. **AUTOMATIC SPRINKLERS REQUIRED:**

WILDLAND URBAN INTERFACE CODES REQUIRED: YES W.U.I. ZONE: S.R.A. / I.R.A. YES / NO

= 2.162 S.F.

= 106 S.F.

= 77 S.F.

= 87 S.F.

= 2,432 S.F.

= 3,362 S.F.

= 1,609 S.F.

= 1,192 S.F.

= 2,801 S.F.

= 3,362 S.F. (35%)

271 S.F.

722 S.F.

(25.3%)

(35%)

UTILITY PROVIDERS WATER: CAL AM

SEWER: P.B.C.S.D. ELEC / GAS: PG&E

PROJECT SOUARE FOOTAGE INFORMATION

- = 9,605 S.F. (.22 Ac.) ■ TOTAL SITE AREA:
- LOT COVERAGE
- **BUILDING FOOTPRINT**
- FRONT ENTRY PORCH FRONT M. BED TERRACE
- FRONT BED #2 TERRACE PROPOSED COVERAGE

MAIN LEVEL

TITLE 24 / MECHANICAL ENGINEER MAX. ALLOWABLE COVERAGE MONTEREY ENERGY GROUP 227 FOREST AVENUE, SUITE #5

□ FLOOR AREA RATIO (FAR)

UPPER LEVEL TOTAL LIVABLE AREA

MAX. ALLOWABLE FAR

- GARAGE = 553 S.F. PROPOSED FLOOR AREA RATIO = 3,354 S.F. (34.9%)
- **UPPER LEVEL DECK**
- MAIN LEVEL WALLED COURTYARD FRONT DOOR WALKWAY DRIVEWAY
 - 189 S.F. 541 S.F.

JAMES NEWHALL SMITH

ARCHITECT, Inc.

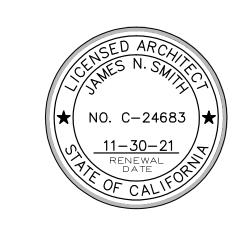
716 LIGHTHOUSE AVE. **SUITE C** PACIFIC GROVE, CA. 93950

TEL: 831-372-7251 CELL: 831-915-9518 E-M: JAMES@JNSAIA.COM

PROJECT/CLIENT

TEH **RESIDENCE**

1031 RODEO RD. PEBBLE BEACH, CA.



SHEET TITLE

COVER

/\ REVISIONS) ISSUE (1) 03-30-20 PRELIM. SUBMITTAI

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PROJECT NUMBER

SHEET NUMBER

TEL. (831) 372-5890

PROJECT DIRECTORY

CIVIL / SURVEYOR:

P.O. BOX 3135

SOILS ENGINEER

MONTEREY, CA. 93942

TEL. (831) 375-7240

FAX (831) 375-2545

GRICE ENGINEERING

561A BRUNKEN AVE.

SALINAS, CA. 93901

TEL. (831) 422-9619

FAX (831) 422-1896

CONTACT PERSON: KATE

KATE@RAŚMUSSENLAND.COM

CONTACT PERSON: SAM GRICE

SAM'S CELL (831) 594-7699

PACIFIC GROVE, CA. 93950

TEL. (831) 372-8328

EMAIL: DÁVE@MEG4.COM

FAX (831)372-4613

CONTACT PERSON: DAVID KNIGHT

SAM'S EMAIL: SAMGE@SBCGLOBAL.NET

JEFF OLMS (831)594-4664(FIELD TECH)

RASMUSSEN LAND SURVEYORS

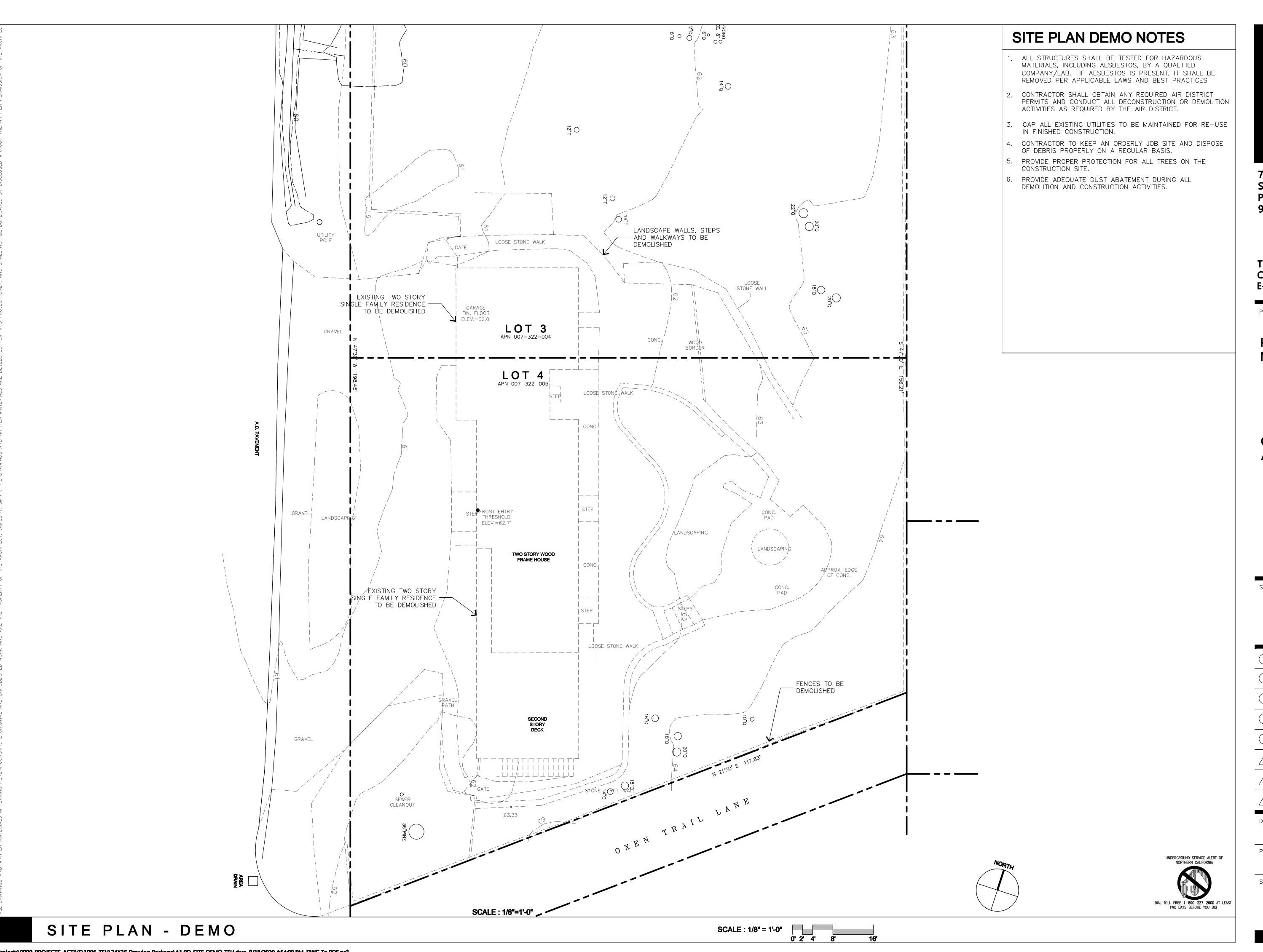
2400 GARDEN ROAD, SUITE A

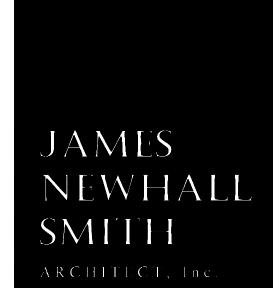
P.O. BOX 51697 PACIFIC GROVE. CA. 93950 CONTACT PERSON : JERRY TAYLOR FAX (831) 372-5890 EMAIL: JRTCE@ATT.NET

VICINITY MAP

N.T.S.

PROJECT SITE





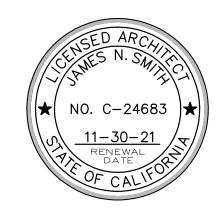
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PROJECT/CLIENT

PROJECT NAME

CLIENT NAME ADDRESS



SHEET TITLE

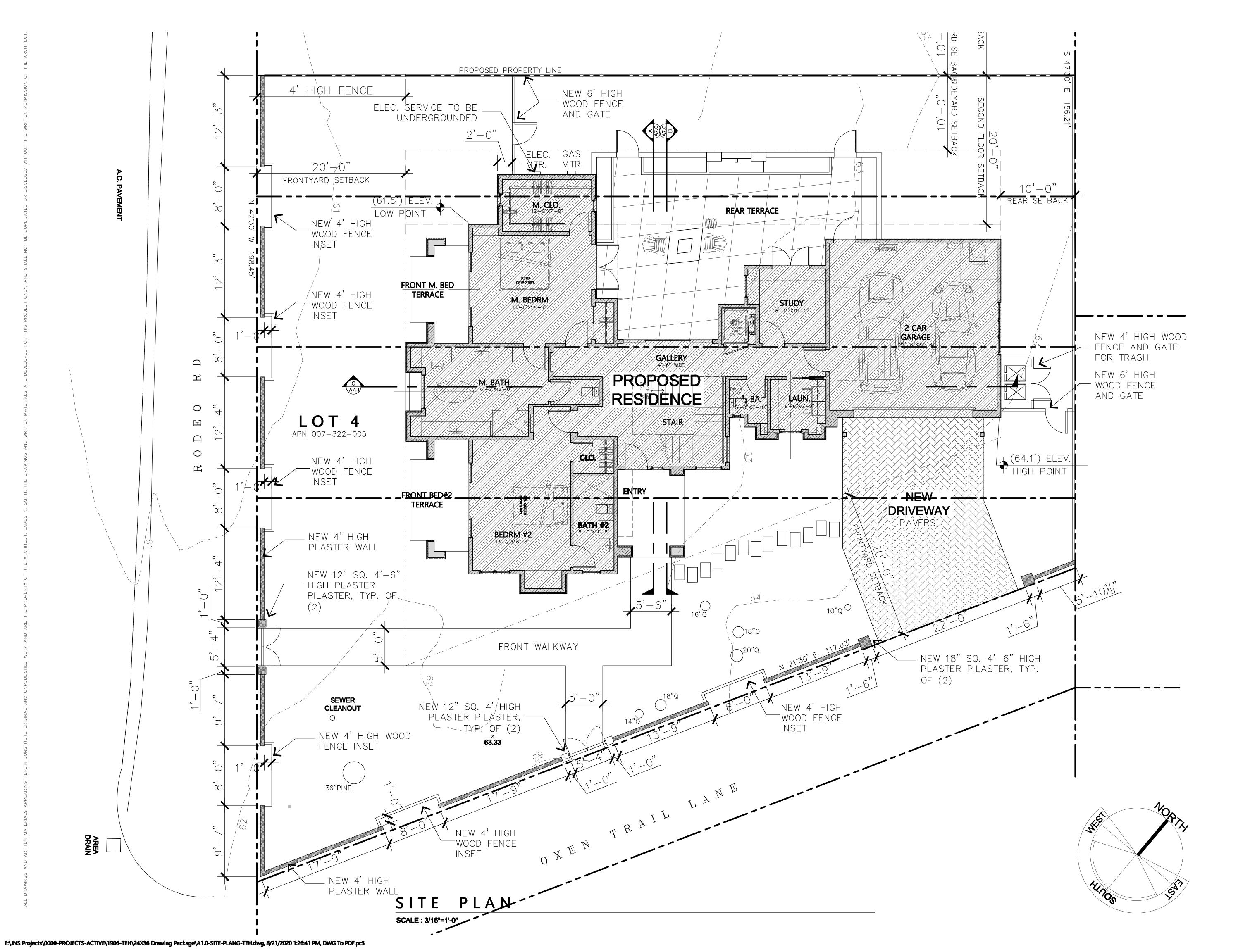
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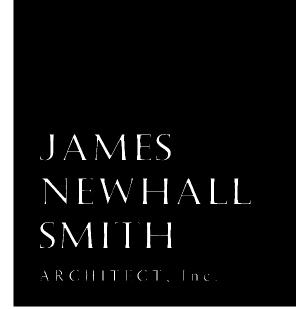
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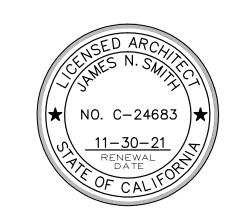
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PROJECT/CLIENT

TEH RESIDENCE

TEH 1031 RODEO RD. PEBBLE BEACH, CA.



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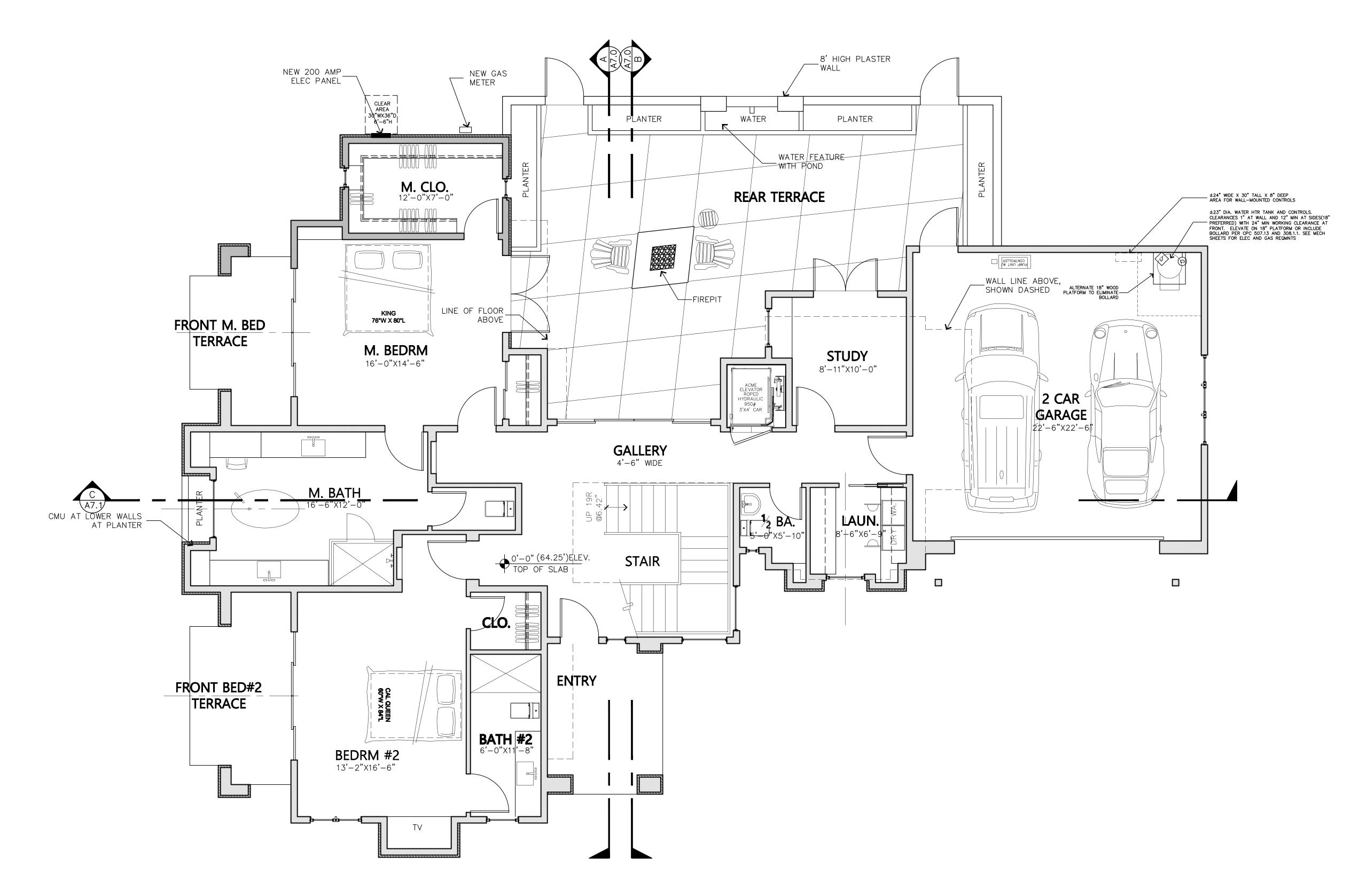
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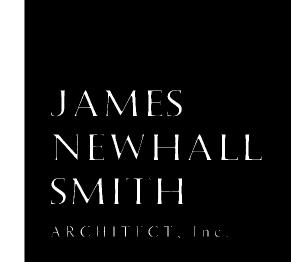


MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"







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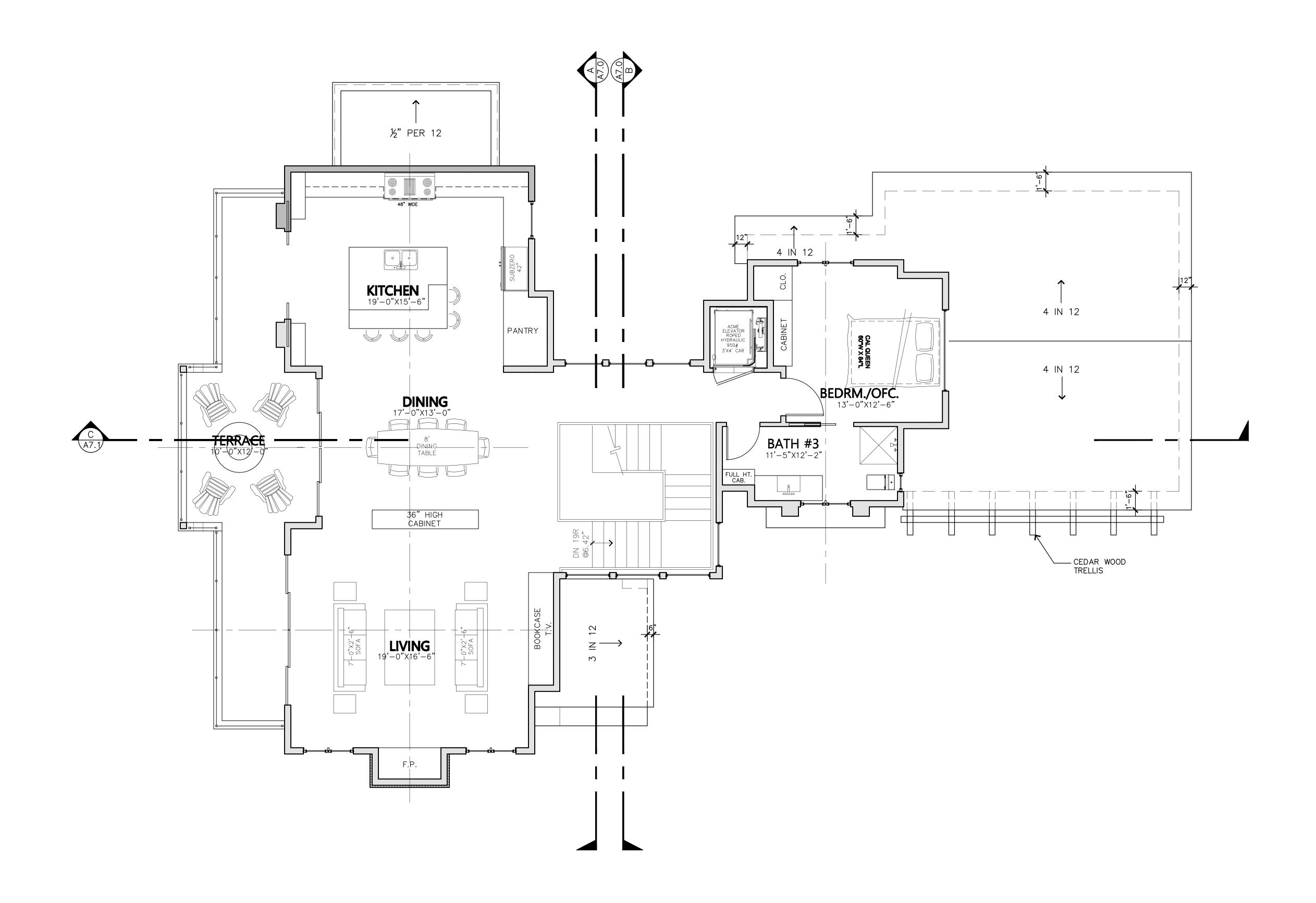
MAIN LEVEL PLAN

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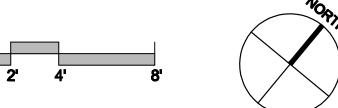
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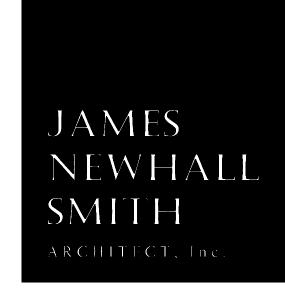
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UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"





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UPPER LEVEL PLAN

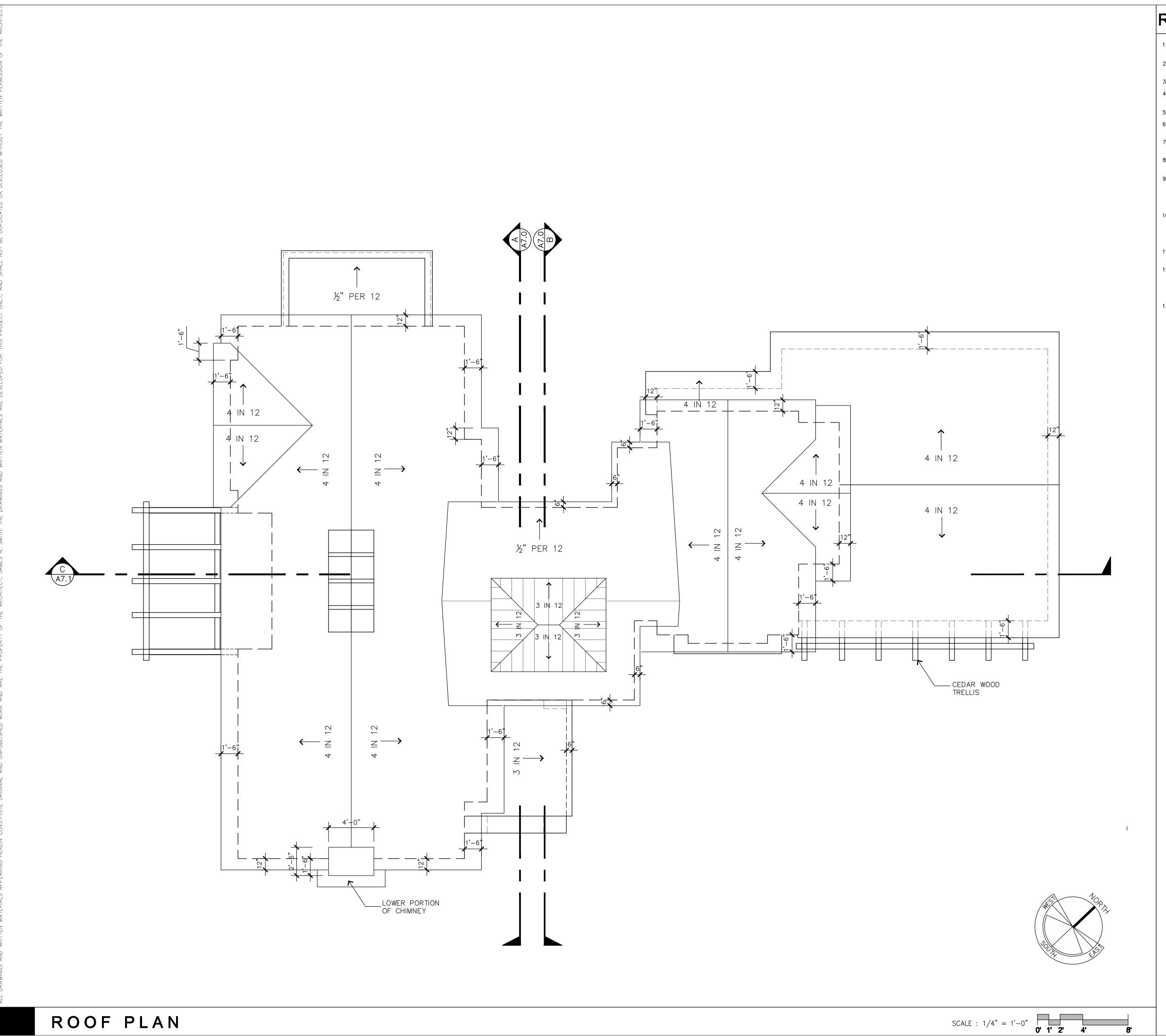
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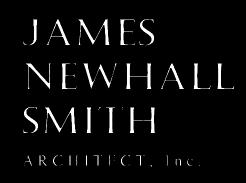
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ROOF NOTES

- ROOF MATERIAL TO BE WOOD SHINGLES TREATED TO CLASS "B" FIRE RATING WITH UNDERLAYMENT TO ACHIEVE CLASS "A" RATING
- 2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
- 3. ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED
- 4. OVERHANG = 12" AT GABLE ENDS, UNLESS OTHERWISE NOTED 18" AT EAVES, UNLESS OTHERWISE NOTED
- 5. COPPER GUTTERS WITH ROUND DOWNSPOUTS
- 6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
- 7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
- 8. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
- 9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND AT THE ROOF WITH (2) 1-1/2"x%" S.S. METAL STRAPS LOOPED AROUND THE CHIMNEY AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST OR RAFTER PER UBC 3102.6 TO PREVENT LATERAL DISPLACEMENT.
- 10. EACH BUNDLE OF ROOFING SHALL BEAR LAVELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC—ES—EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
- 11. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- 12. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS
- 13. ROOF DOWN SPOUTS TO BE COLLECTED IN A TIGHT-LINE AND DISPERSED PER COUNTY STANDARDS



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PROJECT/CLIENT

TEH RESIDENCE

TEH 1031 RODEO RD. PEBBLE BEACH, CA.



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ROOF PLAN

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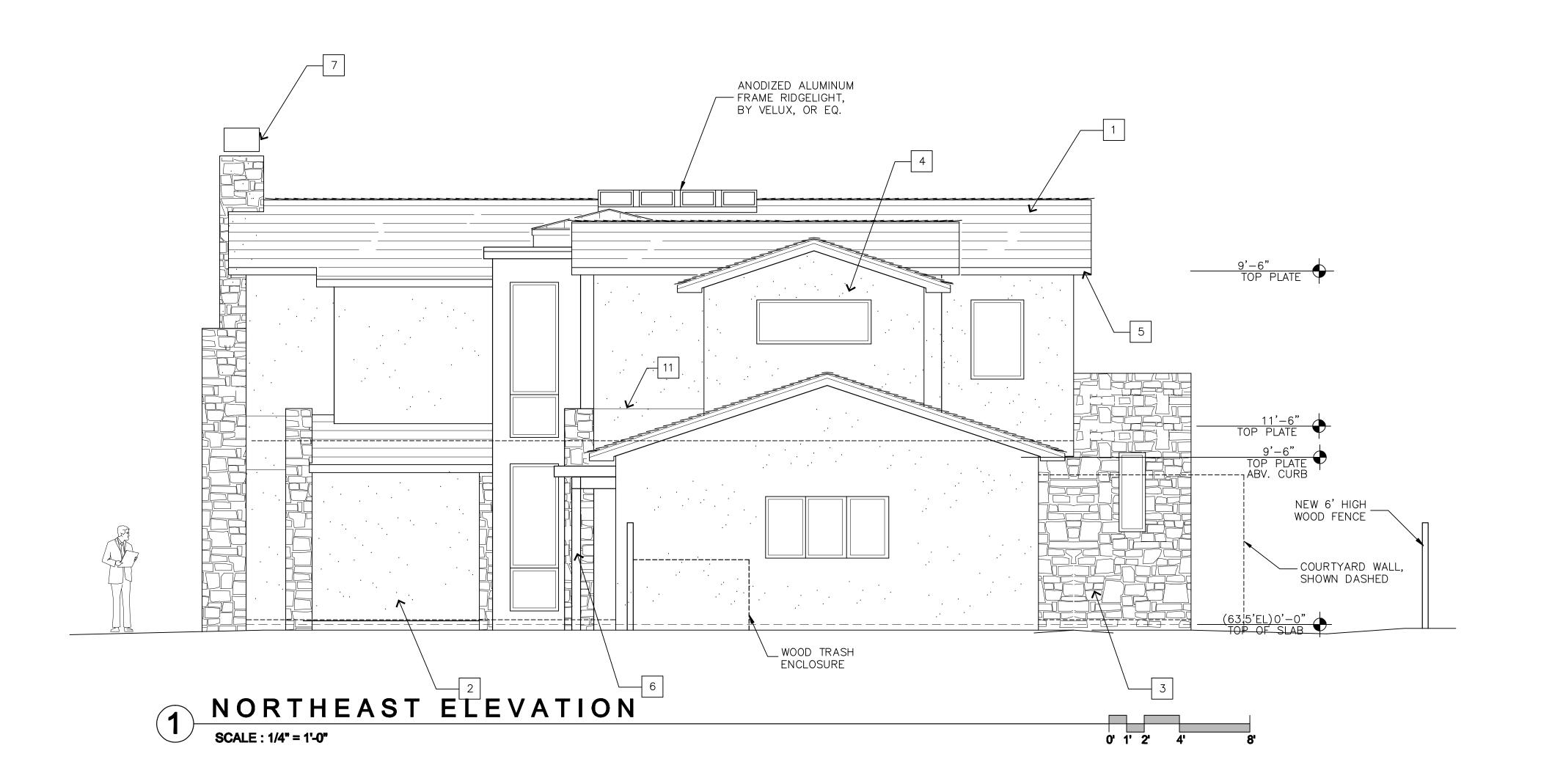
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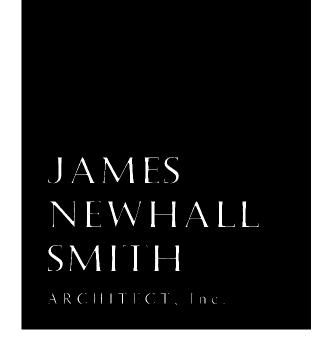
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ELEVATION MATERIALS LEGEND

- WOOD SHINGLES WITH APPROX. 7" EXPOSURE AND BOOSTED FIRST COURSE AT EAVE. INCLUDE ZINC METAL CAP AT MAIN RIDGELINES
- 2 3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 3 EXTERIOR VENEER "CARMEL" STONE
- 4 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 5 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: PER ELEVATION
- 6 EXTERIOR ROUGH SAWN CEDAR WOOD TRELLIS TO BE STAINED CABOT GROUND BEAN KMA 465-5
- 7 COPPER CHIMNEY SHROUD
- 8 SOLID GROUTED CMU LOW WALL WITH PLASTER FINISH
- 9 DARK BRONZE ANODIZED SECTIONAL ALUMINUM GARAGE DOOR WITH WHITE FROSTED TRANSLUCENT T.G. GLASS PANELS.
- 10 STAINLESS STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH TEMP. GLASS PANELS
- 11 PLASTER EXPANSION JOINT

ELEVATION NOTES



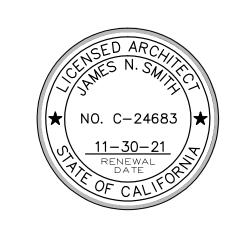
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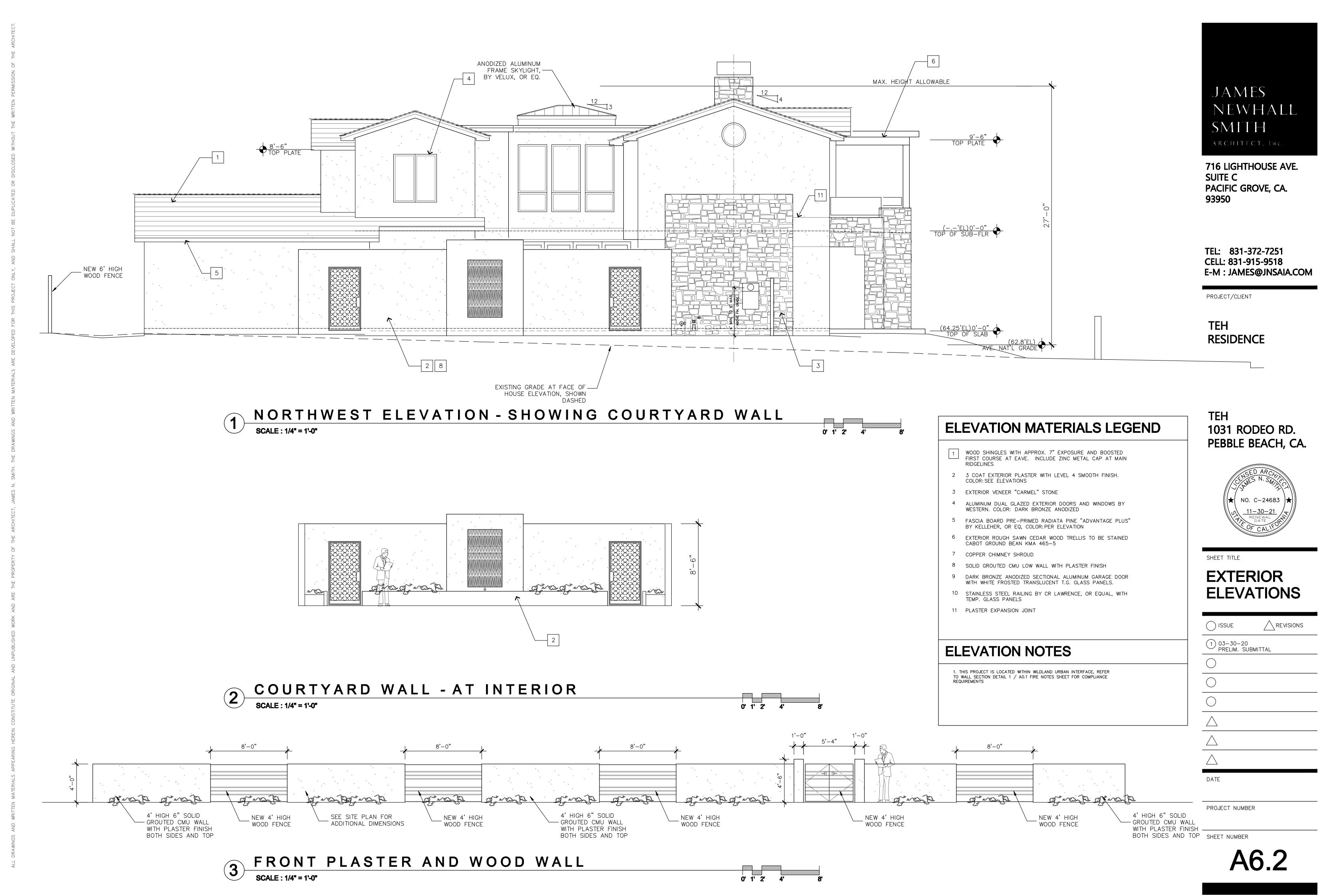
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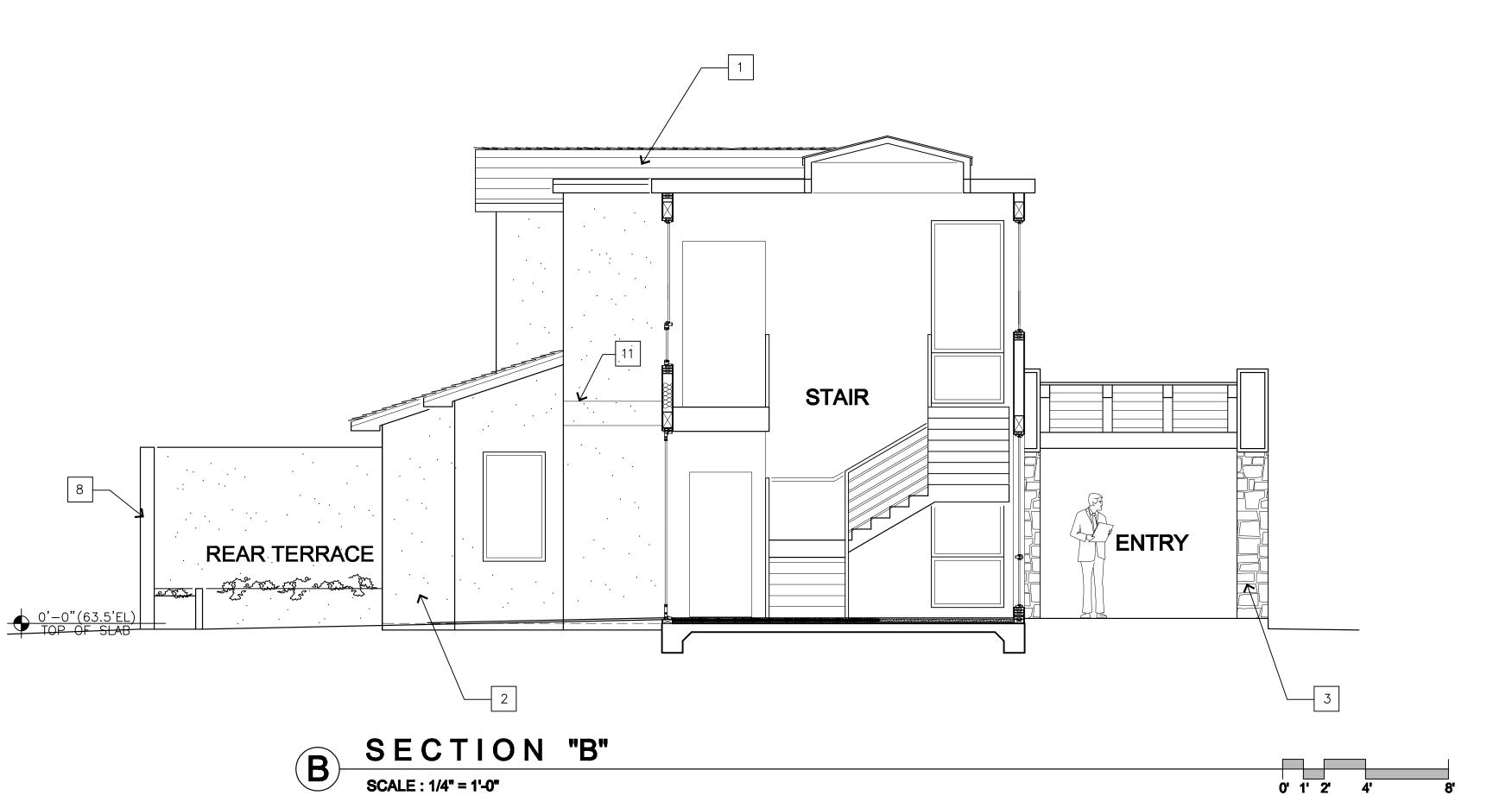
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SCALE: 1/4" = 1'-0"







ELEVATION MATERIALS LEGEND

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- 10 STAINLESS STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH TEMP. GLASS PANELS
- 11 PLASTER EXPANSION JOINT

SECTION NOTES

R302.11 FIREBLOCKING. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD—FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.

4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.

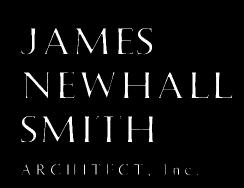
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

7. PROVIDE A 2-INCH AIR SPACE BETWEEN MASONRY PLANTER WALLS AND EXTERIOR WOOD MATERIALS. CBC 2306.8.

8. REFER TO STRUCTURAL DRAWINGS FOR ALL SPECIFIC CONNECTIONS AND DETAILS
9. THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL

SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS



716 LIGHTHOUSE AVE. SUITE C PACIFIC GROVE, CA. 93950

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PROJECT/CLIENT

TEH RESIDENCE

TEH 1031 RODEO RD. PEBBLE BEACH, CA.



SHEET TITLE

SECTIONS

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COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS. 5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19. 6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION. 7. PROVIDE A 2-INCH AIR SPACE BETWEEN MASONRY PLANTER WALLS AND EXTERIOR WOOD MATERIALS. CBC 2306.8. 8. REFER TO STRUCTURAL DRAWINGS FOR ALL SPECIFIC CONNECTIONS AND DETAILS 9. THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS ANODIZED ALUMINUM FRAME SKYLIGHT, — BY VELUX, OR EQ. MAX. HEIGHT ALLOWABLE SHEET TITLE 9'-6" ✓ TOP PLATE DINING RM. **TERRACE** BATH #3 NEW 6' HIGH WOOD FENCE M. BATH ½ BATH M. TOIL. **GARAGE** EXISTING GRADE AT FACE OF SHEET NUMBER HOUSE ELEVATION, SHOWN DASHED SECTION "C"

ELEVATION MATERIALS LEGEND

- WOOD SHINGLES WITH APPROX. 7" EXPOSURE AND BOOSTED FIRST COURSE AT EAVE. INCLUDE ZINC METAL CAP AT MAIN RIDGELINES
- 2 3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 3 EXTERIOR VENEER "CARMEL" STONE
- 4 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 5 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: PER ELEVATION
- 6 EXTERIOR ROUGH SAWN CEDAR WOOD TRELLIS TO BE STAINED CABOT GROUND BEAN KMA 465-5
- 7 COPPER CHIMNEY SHROUD
- 8 SOLID GROUTED CMU LOW WALL WITH PLASTER FINISH
- 9 DARK BRONZE ANODIZED SECTIONAL ALUMINUM GARAGE DOOR WITH WHITE FROSTED TRANSLUCENT T.G. GLASS PANELS.
- 10 STAINLESS STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH TEMP. GLASS PANELS
- 11 PLASTER EXPANSION JOINT

SECTION NOTES

R302.11 FIREBLOCKING. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS. 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.

4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF

JAMES NEWHALL SMITH ARCHITECT, Inc.

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JAMES N. SMITH ARCHITECT, Inc. RESIDENTIAL AND COMMERCIAL ARCHITECTURE

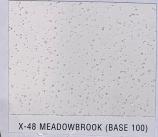
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EXTERIOR COLOR SAMPLES



ROOFING NATURAL SAWN WOOD SHINGLES



WALLS EXTERIOR PLASTER LA HABRA MEADOWBROOK #X-48



STONE
CARMEL STONE VENEER



EXTERIOR DOORS / WINDOWS ALUMINUM CLAD -DARK BROWN ANODIZED



FASCIAS/CORBELS/TRELLIS CEDAR WOOD BEAMS STAINED WITH CABOT GROUND BEAN KMA-465-5

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