



## Monterey County Board of Supervisors

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1st Floor  
Salinas, CA 93901  
831.755.5066

### Board Order

Upon motion of Supervisor Salinas, seconded by Supervisor Phillips and carried by those members present, the Board of Supervisors hereby:

- 1) Deny the appeal of Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas from the April 26, 2018 decision of the Zoning Administrator approving the application (RMA Planning File No. PLN150755/Raven) for a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%);
- 2) Adopt a Negative Declaration; and
- 3) Approve a Combined Development Permit consisting of a
  - a. 1) Coastal Administrative Permit and Design Approval to allow the construction of a single-family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage;
  - b. 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and
  - c. 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and
  - d. 4) Variance to exceed floor area ratio FAR by 5.3% (totaling 22.8%).

3213 Whitman Lane, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-401-010-000)

PASSED AND ADOPTED on this 10th day of July 2018, by the following vote, to wit:

AYES: Supervisors Alejo, Salinas, Phillips, Parker and Adams  
NOES: None  
ABSENT: None

I, Valerie Ralph, Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof of Minute Book 81 for the meeting July 10, 2018.

Dated: July 27, 2018  
File ID: RES 18-091

Valerie Ralph, Clerk of the Board of Supervisors  
County of Monterey, State of California

Valerie Ralph, Clerk of the Board

**Before the Board of Supervisors in and for the  
County of Monterey, State of California**

In the matter of the application of:

**RAVEN (PLN150755)**

**RESOLUTION NO. 18 -215**

Resolution by the Monterey County Board of Supervisors to:

- 1) Deny the appeal of Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas from the April 26, 2018 decision of the Zoning Administrator approving the application (RMA Planning File No. PLN150755/Raven) for a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%);
- 2) Adopt a Negative Declaration; and
- 3) Approve a Combined Development Permit consisting of a
  - a. 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage;
  - b. 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and
  - c. 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and
  - d. 4) Variance to exceed floor area ratio FAR by 5.3% (totaling 22.8%).

3213 Whitman Lane, Pebble Beach, Del Monte Forest  
Land Use Plan, Coastal Zone (APN: 008-401-010-000)

The Appeal of Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas from the Zoning Administrator's adoption of a Negative Declaration and approval of a Combined Development Permit (Raven application - PLN150755) came on for a public hearing before the Monterey County Board of Supervisors on July 10, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Board of Supervisors finds and decides as follows:

### FINDINGS

1. **FINDING:** **PROCESS** – The County has processed the subject Combined Development Permit application (RMA-Planning File No. PLN150755/Raven) (“project”) in compliance with all applicable procedural requirements.  
**EVIDENCE:** a) On June 16, 2017, pursuant to Monterey County Code (MCC) Sections 20.14, 20.44, 20.78, and 20.82, Scott and Charlyse Raven (Applicant) filed an application for a discretionary permit for a Combined Development Permit for a single-family dwelling with an attached garage. The Project consists of a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot attached garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%). The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest Land Use Plan, Coastal Zone.  
b) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review on April 7, 2016, August 17, 2017 and September 21, 2017, in which a site visit occurred on September 21, 2017. At the September meeting, the Del Monte Forest LUAC recommended approval of the project (4-2 vote) as it was a reduction of the previous project. Attorney representing the neighbors attended the LUAC meetings, voicing concerns about size and visibility of the project, the noise potential from the roof deck and impacts to the adjacent estuarine. Staff stated an Initial Study would be prepared to identify impacts, if any, to the adjacent creek. The LUAC agreed. The Initial Study fully addresses the potential environmental issues raised by the neighbors.  
c) The Monterey County Zoning Administrator held a duly-noticed public hearing on the Raven application on April 26, 2018. Notices for the Zoning Administrator public hearing were published in the Monterey County Weekly on April 12, 2018; posted at and near the project site on April 13, 2018; and mailed to vicinity property owners and interested parties on April 11, 2018.

- d) On April 26, 2018, after review of the application and submitted documents, and a duly-noticed public hearing at which all persons had the opportunity to be heard, the Zoning Administrator adopted a Negative Declaration and approved a Combined Development Permit to allow the proposed development (Monterey County Zoning Administrator Resolution No. 18-006).
- e) Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas (Appellants), represented by Pam H. Silkwood, timely filed an appeal from the April 26, 2018, decision of the Zoning Administrator pursuant to MCC Section 20.86.030.C. The appeal challenged the Zoning Administrator's approval of the Combined Development Permit and contended that there was a lack of fair and impartial hearing, the findings or decision or conditions are not supported by the evidence, and the decision was contrary to law. See Finding No. 8 (Appeal) for the text of the Appellants' specific contentions and the County responses to the appeal.
- f) Pursuant to MCC Sections 20.86.030.C and E, an appeal shall be filed with the Clerk of the Board of Supervisors within 10 days after written notice of the decision of the Appropriate Authority (i.e., Zoning Administrator Resolution No. 18-006) has been mailed to the Applicant, and no appeal shall be accepted until the notice of decision has been given (i.e., mailed). The County mailed the written notice of the decision on May 10, 2018, and said appeal was filed with the Clerk of the Board of Supervisors on May 10, 2018, within the 10-day timeframe prescribed by MCC Section 20.86.030.C. The appeal hearing is de novo. A complete copy of the appeal is on file with the Clerk of the Board, and is attached to the July 10, 2018, staff report to the Board of Supervisors as Attachment C.
- g) Said appeal was timely brought to a duly-noticed public hearing before the Monterey County Board of Supervisors on July 10, 2018. Notice of the hearing was published on June 28, 2018, in the Monterey County Weekly; notices were mailed on June 26, 2018, to all property owners and occupants within 300 feet of the project site, and to persons who requested notice; and at least three (3) notices were posted at and near the project site on June 29, 2018.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File No. PLN150755; Clerk of the Board of Supervisors' file(s) related to the appeal

2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
  - Del Monte Forest Land Use Plan;
  - Monterey County Coastal Implementation Plan Part 5;
  - Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. The County received communications from an attorney for the neighboring property owners and interested members of the public during the course of project review alleging inconsistencies with the text, policies, and regulations in the applicable plans and Monterey County Code (MCC); however, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents

- b) The proposed project involves the construction of a 4,294 square foot, two story home, with a subterranean level on an 11,413 square foot parcel as follows: 2,306 square foot two stories, 1,690 square foot basement and a 298 square foot attached garage.
- c) The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest (DMF) Land Use Plan (LUP), Coastal Zone. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay (Coastal Zone) [LDR/1.5-D (CZ)]. Development of single-family dwellings and non-habitable accessory structures are identified as allowed uses pursuant to MCC Sections 20.14.040.A and F, subject to the granting of applicable coastal development permits. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
- d) The .262-acre (11,413 square feet) lot is a legal lot of record. (See Unconditional Certificate of Compliance (COC030103).)
- e) No Violations: The subject property is in compliance with all rules and regulations pertaining to zoning uses and applicable provisions of Title 20. There are no violations, so there are no outstanding zoning violation abatement costs. Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- f) History: The approximately 0.262-acre parcel was the site of the former Pebble Beach golf course maintenance facility, but has since been cleared of all structures and other features (including underground storage tanks). The site was covered by a 2,700-square foot maintenance building, a lean-to shed, a concrete pad and asphalt concrete yard area. In addition, a fueling facility and underground storage tanks were also located in the central part of the yard. The fueling facility was inactive around October 2003 and staff has confirmed that the tanks were properly removed according to all County regulations in early 2004. Demolition activities and interim uses for materials and equipment stockpiling and storage have eliminated any sustainable habitat for native populations of plants or animals.

- g) Pescadero Watershed: The project is located on the edge of the Del Monte Forest Watershed Boundary, within an un-named watershed. Policy 77 of the Del Monte Forest Land Use Plan limits development of parcels within the applicable watersheds to a maximum site coverage of 9,000 square feet, including both structural and impervious surface coverages. The intent of this policy is to reduce runoff into the waters of the Pacific Ocean surrounding the Del Monte Forest, specifically the Carmel Bay Area of Special Biological Significance (ASBS). Maximum coverage for the proposed project is 7,002 square feet (including covered patios, which is well under the maximum allowed). Although Variances are proposed, the structure meets all other site development standards (i.e., setbacks, height) within the LDR zoning district.

Monterey County Water Resources Agency and RMA-Environmental Services reviewed the submitted application materials, and applied conditions as necessary to ensure drainage or runoff design measures are implemented. Implementation of these conditions would ensure compliance with the stormwater policies of the Del Monte Forest Land Use Plan to provide on-site retention to prevent off-site discharge from storms. In addition, the storm drain on Whitman Lane is part of the Pebble Beach CSD storm drainage infrastructure. According to the Water Resources, discharging to existing storm drain infrastructure is acceptable and does not conflict with any drainage law. WRA has accepted the proposed drainage plan.

- h) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity, and is within 750 feet of known archaeological resources. A "Preliminary Archaeological Reconnaissance" was prepared by Archaeological Consulting for the project site to evaluate potential resources on or within the vicinity of the site, which could be impacted by the proposed residential development on the project site. At the time of the reconnaissance, the parcel contained the existing maintenance building, asphalt pavements, a small pesticide shed and piles of various plastic pipes, plywood, vehicles, etc. Some soil was visible in the center of the parcel where a fuel tank had been removed. None of the materials frequently associated with prehistoric cultural resources in this area were observed during the field reconnaissance. Based upon the background research and field reconnaissance, it has been concluded that there is not surface evidence of potentially significant archaeological resources on the project parcel. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- i) ESHA. Policy 8 of the Del Monte Forest Land Use Plan requires environmentally sensitive habitat areas be protected against any significant disruption of habitat values. In addition to environmentally sensitive habitat area policies, riparian plant communities shall be protected by establishing a setback buffer of at least 100 feet as measured from the outer edge of the riparian vegetation. The Initial Study/Negative Declaration addresses these issues. (see discussion in CEQA Finding #6).
- j) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN150755.

3. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by RMA-Planning, RMA-Public Works, RMA-Environmental Services, Pebble Beach Community Services District (Fire Protection District), and Monterey County Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) The following technical reports have been prepared:
  - Preliminary Biological Resource Reconnaissance (LIB160343), prepared by Zander Associates, Berkeley, CA, June 13, 2106;
  - Assessment of Resource Values Associated with Stillwater Creek & Adjoining Private Properties, prepared by Jeffrey B. Froke, Ph.D., Pebble Beach CA, dated October 26, 2016;
  - Updated Soil Sampling and Analysis Report, Former Pebble Beach Golf Course Maintenance Facility, Whitman Lane, Pebble Beach, prepared by D&M Consulting Engineers, Inc., dated October 20, 2003;
  - Preliminary Archaeological Assessment (LIB090296) prepared by Archaeological Consulting, Salinas, California, June 2, 2009;
  - Soil Engineering Investigation for Raven Residence at 3213 Whitman Lane, Pebble Beach (LIB160055), prepared by LandSet Engineers, Inc., Salinas, CA, dated January, 2016;
  - 2016 CBC Soil Engineering Investigation Update for Raven Residence, prepared by LandSet Engineers, Inc., Salinas, CA, dated September 27, 2017.

The above-mentioned technical reports by outside consultants indicate that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the proposed project on the

subject site conforms to the applicable plans, and that the site is suitable for the proposed development.

4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning, Pebble Beach Community Services, Public Works, RMA Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available for the single-family dwelling. The property is and will be served by a public water system (California American Water) and an existing public sewer system (Pebble Beach Community Services District and Carmel Area Wastewater District). The Environmental Health Bureau did not impose any conditions for project approval

5. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The proposed project would re-develop an existing previously disturbed 0.262-acre (11,413 square foot) lot with a single-family dwelling with attached garage.
  - b) Pursuant to Section 20.44, Title 20 (Coastal Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
  - c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the residential setting and other dwelling units in the immediate vicinity. The primary colors and materials include tan stucco and natural wood doors and windows, copper accents, a metal gate and clay tile roofing materials. The second story is set back from the first story so as to prevent the feeling of a box-type structure. A variety of roof pitches help to soften the height of the structure. Exterior finishes include several openings along with shutters, stained wood beams, rafter tails and outriggers, which allow the structure to blend with the environment, blend with the residential character of the neighborhood, and is consistent with other dwellings in the neighborhood.



- d) Visual Resources. The subject property is located in an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). Portions of the Whitman Drive enclave are visible from Point Lobos Reserve at a distance of over three miles. However, the subject property is in the northernmost portion (rear) of the enclave and is fully shielded from Point Lobos by topography. The project site and the Whitman Drive enclave are also visible from Seventeen Mile Drive across the 15<sup>th</sup> fairway of the Pebble Beach Golf Course. At the closest point, the site is about 300 feet from Seventeen Mile Drive. That portion of Seventeen Mile Drive is two lanes with minimal shoulders. While there are clear views towards the site, there is ample screening along Seventeen Mile Drive, the 15<sup>th</sup> hole, and along the parcel itself to minimize the view of the project to the public. The proposed home will also be subject to County lighting conditions to prevent light pollution and intrusion into the public viewshed. In addition to screening, due to the speed of traffic, and the length of the visible window to the project site, there is only a short duration that the project site is visible at all. The proposed development is consistent with Del Monte Forest Land Use Plan Policies 123 and 137, and will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.

As sited and designed the proposed house will not have a significant visual impact on the area's scenic resources. Standard conditions of approval will require landscaping and exterior lighting plans. Approval of colors and materials have been approved as consistent. The proposed structure will only retain and enhance the public's visual access, and would be visually compatible with other structures in the site vicinity. As proposed, the project would not result in any visual impacts, and the project is consistent with the applicable visual resource and public access policies of the Del Monte Forest Land Use Plan.

- e) Review of Development Standards. The development standards for the LDR zoning district are identified in MCC Section 20.14.060. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). As proposed, the structure meets or exceeds all required setbacks. Corresponding maximum structure height is 30 feet, proposed is 29.9 feet. A height verification condition of approval has been included (Condition #9). A variance is allowed to exceed lot coverage and Floor Area Ratio (FAR), as the lot is substantially smaller than other lots within this Whitman enclave. (See Findings 7, 8, and 9).
- f) The project planner conducted a site inspections on August 17 and September 21, 2017 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not

adversely impact the neighborhood character or scenic/visual resources.

6. **FINDING:**

**CEQA (Negative Declaration)** - On the basis of the whole record before the Board of Supervisors, there is no substantial evidence that the proposed project as designed and conditioned will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

**EVIDENCE:**

- a) Pursuant to Public Resources Code Section 21080.c and California Environmental Quality Act (CEQA) Guidelines Section 15070(a), the lead agency may prepare a negative declaration when there is no substantial evidence in light of the whole record that the project may have a significant effect on the environment.
- b) Monterey County RMA-Planning prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of RMA-Planning and is hereby incorporated by reference (PLN150755).
- c) ESHA. Policy 8 of the Del Monte Forest Land Use Plan requires environmentally sensitive habitat areas be protected against any significant disruption of habitat values. In addition to environmentally sensitive habitat area policies, riparian plant communities shall be protected by establishing a setback buffer of at least 100 feet as measured from the outer edge of the riparian vegetation. A Biological Assessment was prepared for the site to determine potential impacts to any environmentally sensitive habitat which could be located on the project site. The Biological Assessment concluded there are no sensitive biological resources on the subject property. There is a riparian corridor easterly of the site called Stillwater Creek. The creek meanders through residential neighborhoods and golf course fairways until it outfalls into Stillwater Cover near the 5<sup>th</sup> tee at the Pebble Beach Golf links. Some natural habitat remains in certain areas of the creek, notably just upstream of the Whitman Lane crossing northeasterly of the site. Just downstream of this crossing location and directly adjacent to the site, the canopy opens up and the vegetation is a mix of native and non-native species of trees, shrubs and herbaceous plants.
- d) As a result, an Initial Study was prepared to address any potential impacts from development in relation to Stillwater Creek. In summary, the site is a vacant lot in the context of an existing residential neighborhood surrounded on all sides by the fairways, tees and greens of the Pebble Beach Golf Links. A history of use of the parcel as a golf course maintenance facility, demolition activities and interim uses for materials and equipment stockpiling and underground storage have eliminated any sustainable habitat for native populations of plants or animals on the pre-disturbed site. The site does not provide cover, shelter or movement corridors for native resident or migratory wildlife. No rare, threatened, endangered or otherwise special status species occur on the site.
- e) Since the site is within close proximity of Stillwater Creek, there is no alternative to developing outside of the 100-foot setback. There are other residences that have been built along the Riverine.

Engineered drainage plans were prepared for the site and designed to retain storm water on site, provide erosion control measures, and require pre- and post- construction inspections to ensure that the site is stabilized and erosion control measures are effective. Site runoff will be detained onsite and released slowly into an existing storm drain system so that no drainage impacts on the adjacent Riverine or adjacent properties are anticipated. Therefore, development on the site will not affect the Creek.

- f) Comments were received from the neighbors' attorney on April 16, 2018 prior to the Zoning Administrator hearing. The comments were addressed in the resolution for the Zoning Administrator's consideration and for the record.

Comments received from Neighbors' attorney:

- 1) ESHA – Wetlands, Riparian Woodland, and Riverine Habitats that flow to ASBS require protection and a 100-foot setback:  
Response: Since the site is within close proximity of the Creek, there is no alternative to developing outside of the 100 foot setback. There are other residences that have been built along the Riverine. Engineered drainage plans were prepared for the site and designed to retain storm water on site, provide erosion control measures, and require pre- and post- construction inspections to ensure that the site is stabilized and erosion control measures are effective. Site runoff will be detained onsite and released slowly into an existing storm drain system so that no drainage impacts on the adjacent Riverine or adjacent properties are anticipated. Therefore, development on the site will not affect the Creek.
- 2) Evidence of Hazardous Waste Contamination:  
Response: The Biological Assessment determined there was no appreciable subsurface fuel contamination detected at the site just prior to tank removal. Demolition of the structures and hard surface areas on the site occurred by permit in September 2009. Since then and prior to the sale of the property in June 2015, the Pebble Beach Company used the site for storage and stockpiling of materials and equipment. A Soil Sampling and Analysis Report prepared by D & M Consulting Engineers, Inc. dated October 20, 2003 concluded that the site does not have any subsurface contamination issues. The investigation work was pursued as a precursor for removal of the underground storage tanks prior to the sale of the property. On September 2, 2004, the Monterey County Environmental Health Department confirmed the completion of a site investigation and remedial action for the underground storage tanks formerly located at the site.
- 3) Viewshed: Located in an area designated by the Del Monte Forest Land Use Plan visually sensitive both from distant views from Point Lobos and from Seventeen Mile Drive  
Response: The project is not visible from Pt. Lobos due to topography; however, the project site and the Whitman Drive enclave are visible from Seventeen Mile Drive across the 15<sup>th</sup>

fairway of the Pebble Beach Golf Course. At the closest point, the site is about 300 feet from Seventeen Mile Drive. That portion of Seventeen Mile Drive is two lanes with minimal shoulders and while there are clear views of the site, there is ample screening both along Seventeen Mile Drive and in the enclave to minimize the view of the project to the public. As sited and designed, the proposed house will not have a significant visual impact on the area's scenic resources. A standard lighting condition will not allow up-lighting from the proposed project.

4) Archaeological Resources – Consultation Required:

Response: In May 2009, a “Preliminary Archaeological Reconnaissance” was prepared for the project site to evaluate potential resources on or within the vicinity of the site, which could be impacted by the proposed residential development on the project site. At the time of the reconnaissance, the parcel contained the existing maintenance building, asphalt pavements, a small pesticide shed and piles of various plastic pipes, plywood, vehicles, etc. Based on the background research and field reconnaissance, it has been concluded that there is not surface evidence of potentially significant archaeological resources on the project parcel.

- g) All project changes required to avoid significant effects on the environment have been incorporated into the project. The project is subject to the conditions of approval set forth in the Condition Compliance and Mitigation Monitoring and/or Reporting Plan, hereby incorporated herein by reference.
- h) An Initial Study/ Draft Negative Declaration (ND) was prepared in accordance with CEQA and circulated for public review from March 16, 2018 to April 16, 2018.
- i) Issues that were analyzed in the Negative Declaration include: Aesthetics, Air Quality, Biological Resources, Geology/Soils and Greenhouse Gas Emissions.
- j) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2/Site Suitability), staff reports that reflect the County's independent judgment, and information and testimony presented during public hearings. These documents are on file in RMA-Planning (PLN150755) and are incorporated herein by reference.
- k) All land development projects that are subject to environmental review are subject to a State filing fee for review of the Negative Declaration plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources (Condition #5).
- l) Monterey County RMA-Planning, located at 1441 Schilling Place, 2<sup>nd</sup> Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the mitigated negative declaration is based.

7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
  - d) The subject property is identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). See also Finding No. 2.
  - e) The proposed development is consistent with Del Monte Forest Land Use Plan Policies 123 and 137, and will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. As proposed, the project is consistent with applicable visual resource and public access policies in the Del Monte Forest Land Use Plan.
  - f) The project planner completed site inspections on August 17, September 21 2017, to verify that the proposed project would not impact public access. The project planner also reviewed plans and visual simulations of the proposed development to verify that the structures will not impact visual resources/access.
  - g) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

8. **FINDING:** **VARIANCE (Authorized Use)** – The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zoning regulation governing the parcel of property.

- EVIDENCE:**
- a) The property has a zoning designation of Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay (Coastal Zone) [LDR/1.5-D (CZ)].
  - b) Development of a single-family dwelling and non-habitable accessory structures are identified as allowed uses pursuant to MCC Sections 20.14.040.A and F, subject to the granting of applicable coastal development permits. Therefore, the proposed dwelling is expressly authorized within the zoning district. See also Finding No. 1, Evidence b above.

9. **FINDING:** **VARIANCE (Special Circumstances)** - Because of special circumstances applicable to the subject property, including the size, shape, topography, location of the lot, or the surrounding area, the

strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other property owners in the vicinity under identical zoning classification.

- EVIDENCE:**
- a) Policy 77 of the Del Monte Forest Land Use Plan (DMF LUP) limits development of parcels within the applicable watersheds to a maximum site coverage of 9,000 square feet, including both structural and impervious surface coverages. Maximum coverage for the proposed project is 7,002 square feet (including paving, paths and patios), well under the maximum allowed.
  - b) Pursuant to MCC Section 20.14, the Low Density Residential, 1.5 acres per unit (LDR/1.5) zoning district/classification allows building site coverage of 15 percent, and does not specifically restrict impervious surface coverage. Pursuant to Policy 77 of the DMF LUP, the property is restricted beyond the impervious coverage limits imposed by the Monterey County Zoning Ordinance (Title 20) on other properties with the same zoning classification.
  - c) The subject property is small for this zoning district, at 11,413 square feet (.26 acres), which would allow building site coverage of 1710 square feet under regular zoning district development standards and a Floor Area Ratio of 1,995 square feet (17.5%). In the Del Monte Forest, this size lot would typically be zoned MDR, which would have a lot coverage of 35% and floor area ratio of 45%. If the parcel were zoned MDR, there would be no need for a variance. The Whitman enclave area is surrounded by "OR (CZ)" Open Space Recreational zoning. Therefore, consideration of a rezoning to MDR would not be appropriate. While LDR zoning is more appropriate than MDR for the area, the small size of this particular lot and its irregular shape justify the finding of a special circumstance applicable to the subject property. The quasi-triangular shaped lot restricts designing a structure that would be visually consistent with the other homes in the neighborhood. To allow for a design conducive to the site and neighborhood, applicants are proposing 18.9% lot coverage (exceeds by 3.9%) and 22.8% floor area (exceeds by 5.3%). Setbacks required for this lot include a 30 foot front setback, 20 foot side setback and 20 foot rear setback. The applicants meet all setback requirements, including allowable height of 30 feet. There is a sunken BBQ and fire pit within the setbacks but this does not count as lot coverage.
  - e) The project planner conducted a site inspection on August 17, and September 21, 2017, to verify circumstances related to other properties in the vicinity and in the same zoning district.
  - h) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

10. **FINDING:** **VARIANCE (Special Privileges)** – The Variance shall not constitute a grant of privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) The approximately ¼ acre lot is surrounded by 1 to 2 acre parcels. This size of lot generally would have an MDR zoning district with a 35% lot coverage and 45% floor area ratio. Applying the LDR zoning district limits for lot coverage and floor area ratio to this parcel would make it impossible to develop a home consistent with the surrounding properties.
  - b) The existing homes in the neighborhood average from 4,014 square feet with 605 square foot garages to as high as 10,951 square feet with 1,064 square foot garage. The proposed single family dwelling is smaller with 2,306 square feet of living space above grade and a 1,690-square foot basement. Therefore, the variance does not grant a privilege inconsistent with the limitations on property owners in the vicinity of the project.
  - c) The single-family dwelling is an authorized use; the special circumstance is that this lot is substantially smaller than all of the lots within the Whitman enclave, making it difficult to design a structure conducive with the character of the neighborhood; and therefore, is not a special privilege due to site development limitations far more restrictive than that of the neighboring properties.
  - d) The project planner conducted site inspections on August 17 and September 21, 2017, to verify that the Variance would not constitute a grant of special privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which the subject property is situated.
  - e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

11. **FINDING:** **APPEAL** – Upon consideration of the documentary evidence, the staff report, the oral and written testimony, and all other evidence in the record as a whole, the Board finds that there is no substantial evidence to support the Appellants’ contentions and makes the following specific findings in regard to the Appellants’ contentions:

- EVIDENCE:**
- a) The Appellants, Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas, represented by attorney Pam H. Silkwood, pursuant to MCC Section 20.86.030.C, timely filed an appeal from the April 26, 2018, decision of the Zoning Administrator. The appeal challenged the Zoning Administrator’s approval of the Combined Development Permit and contended that there was a lack of fair and impartial hearing, the findings or decision or conditions are not supported by the evidence, and the decision was contrary to law.

The text of the Appellant’s contentions and the County’s responses to those contentions are set forth in Evidences b through d below.

- b) *1) Appellant contention: There was a lack of fair and impartial hearing. The applicant’s representatives misrepresented the facts before the Zoning Administrator, which prejudiced the ZA’s decision, including the following:*

- a. *CEQA Baseline – appellant contends that the CEQA baseline should be vacant land, not the pre-existing maintenance building because it was removed 9 years ago.*

COUNTY RESPONSE: The CEQA baseline in the Initial Study is the vacant lot, and therefore, an Initial Study was prepared to address any potential impacts from the future development in relation to the creek. However, the parcel was the site of the former Pebble Beach Golf Links maintenance facility, which the Initial Study included in its analysis.

- b. *Appellant asserts that the facts do not support the variance findings and argues applicant can and should design a project that does not require a variance.*

COUNTY RESPONSE: The Variance request is to exceed lot coverage by 3.9% (343 square feet) and floor area ratio by 5.3% (605 square feet). If the house was to be reduced by these numbers, the applicants would not have to apply for a variance. The zoning in this area of 1 to 2 acre parcels is LDR/1.5 (CZ); which has a lot coverage of 15% and floor area ratio of 17.5%. The proposed project site is a lot of .26 acres (11,413 square feet), a substantially smaller lot size than the other lots zoned LDR in this area. In the Del Monte Forest, this size lot would typically be zoned MDR, which would have a lot coverage of 35% and floor area ratio of 45%. If the parcel was zoned MDR, there would be no need for a variance. The Whitman enclave area is surrounded by “OR (CZ)” Open Space Recreational zoning. Therefore, consideration of a rezoning to MDR would not be appropriate. While LDR zoning is more appropriate than MDR for the area, the small size of this particular lot justifies the finding of a special circumstance applicable to the subject property.

- c. *Appellant argues that the facts do not support a “hardship” finding for the variance.*

COUNTY RESPONSE: A variances requires three findings, as set out in Government Code section 65906 and section 20.78.040 of Title 20 of the Monterey County Code. One of the required findings for a variance is that “because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of this Title [Title 20] is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.” (Monterey County Code, section 20.78.040.A.) Substantial evidence supports this finding. Besides the small lot size (.26 acres) and limited coverage and floor area that results from the LDR zoning district as applied to this unusually small lot, the parcel is an irregular, quasi-triangular shaped lot that restricts designing a structure that would be visually consistent with the larger homes in this neighborhood.



- d. *Biological impact analysis under CEQA: Appellant is arguing that the CEQA analysis is flawed, specifically that it did not analyze the project's cumulative biological impacts or impacts to migratory birds.*

COUNTY RESPONSE: The Initial Study addresses all potential impacts from development in relation to Stillwater Creek, including drainage impacts. Engineered drainage plans were prepared for the site and designed to retain storm water on site, provide erosion control measures, and pre- and post- construction inspections to ensure that the site is stabilized and erosion control measures are effective. Also, a Biological Assessment was prepared for the site to determine potential impacts to any environmentally sensitive habitat area and concluded there are no sensitive biological resources on the subject property. Substantial evidence in the record confirms that the proposed development would have no additional cumulative impacts to the creek, because the proposed drainage plan has been prepared to avoid drainage into the creek. A condition of approval also requires a qualified biologist prepare a pre-construction survey for nesting birds and raptors in the one Oak on the site.

- e. *Contamination: Appellant contends the applicant did not properly answer questions specific to the potential contamination resulting from the prior maintenance yard activities.*

COUNTY RESPONSE: The appellant submitted a letter from M3 Environmental Consulting LLC dated December 5, 2017, stating that based on an aerial photograph of the site from May 2017, "there was an apparent surface staining of the site; and they would consider the staining a recognized environmental concern." This assertion is based on an aerial photograph. A Soil Sampling and Analysis Report prepared by D & M Consulting Engineers, Inc. dated October 20, 2003 concluded that the site does not have any subsurface contamination issues. The investigated work was pursued as a precursor for removal of the underground storage tanks prior to the sale of the property. On September 2, 2004, the Monterey County Environmental Health Department confirmed the completion of a site investigation and remedial action for the underground storage tanks formerly located at the site.

- f. *Drainage – Appellant contends that applicant is withholding key information that would affect the drainage analysis and that the proposed complex drainage system could result in flooding of neighbors.*

COUNTY RESPONSE: The Pebble Beach Community Services District (CSD) confirms that the storm drain on Whitman Lane is part of the Pebble Beach CSD storm drainage infrastructure. Water Resources Agency has also confirmed that discharging into the existing storm drain infrastructure is acceptable and does not conflict with any drainage laws. RMA-Environmental Services

has reviewed the drainage plan as well and confirms all the runoff from impervious areas and the underfloor drains will discharge onto Whitman Lane and then to a natural drainage course. The discharge will be metered out by a pump and will not cause any problems with high volume discharge onto the road.

*g. Location of the discharge area: appellant contends that the location of the drainage discharge area is not shown on the plans and is not clear.*

**COUNTY RESPONSE:** Based on the drainage plan, surface water is collected by:

- area drains and drainage swales onto underground detention pipe system;
- storm drain facilities with catch basins – both lower sump pump and lift station utilized, and
- subsurface drainage for foundation and under slab piped to lower sump pump, which would eventually drain out to Whitman Lane. The proposed stormwater system provides protection for the ravine and neighboring properties.

A condition of approval requires the plan to include detention facilities to control flow of impervious surface stormwater runoff, along with supporting calculations and construction details. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency.

**c) 2) *Appellant contention: The Findings and Decision are not supported by the Evidence.***

*a. Finding 1 – The Raven property is not suitable for the development proposed; the Project would pose significant health and safety impacts; and the Project is inconsistent with the Del Monte Forest Land Use Plan/Local Coastal Program (LCP).*

**COUNTY RESPONSE:** The site is physically suitable for the development proposed and not detrimental to the public health and safety. The project is consistent with the Del Monte Forest Land use Plan as analyzed by RMA Planning, Public Works, and Environmental Services, Water Resources, Pebble Beach CSD, and Environmental Health Bureau. (See Finding 2 of the project resolution.)

*b. Finding 2 – The Project design does not assure protection of public viewshed and is inconsistent with neighborhood character.*

**COUNTY RESPONSE:** The proposed development is consistent with Del Monte Forest Land Use Plan Policies 123 and 137, as it will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity

c. *Finding 3 – The Project will have a significant effect on the environment.*

COUNTY RESPONSE: As analyzed in the Initial Study with the support of technical documents, there is no substantial evidence that the proposed project will have a significant effect on the environment. (See CEQA finding in the project resolution.)

d. *Findings 5, 6, 7 – Variance approval is not supported by the findings, and the findings are not supported by substantial evidence in the record.*

1. *The variance approval would not deprive the Raven property of privileges enjoyed by other properties in the vicinity and under identical zone classification.*
2. *The granting of the variances would grant the Applicant special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.*

COUNTY RESPONSE: This lot is substantially smaller and abnormally shaped than all the other lots within the Whitman enclave, making it difficult to design a structure conducive with the character of the neighborhood; and therefore, grant of a variance for this project is not a special privilege due to site development limitations far more restrictive than that of the neighboring properties.

- d) 3) ***Appellant Contention: The Decision was Contrary to the Law***
- a. *The Zoning Administrator abused its discretion by failing to proceed in the manner required by law and failing to support its decision to adopt the Negative Declaration with substantial evidence in the record. The Project's Initial Study fails to adequately describe the environmental setting, analyze environmental impacts and mitigate significant impacts.*
  - b. *The Zoning Administrator abused its discretion by failing to proceed in the manner required by law and failing to support its decision to grant Applicant Variances with substantial evidence in the record. Instead of denying the variances based clearly on the inability to make the required findings and support the findings with substantial evidence in the record, the ZA granted special privileges to the Applicant by approving the variances, which is prohibited.*

COUNTY RESPONSE:

The Monterey County Zoning Administrator conducted a duly noticed public hearing on the project on April 26, 2018, at which all persons had the opportunity to present evidence and be heard. The Zoning Administrator found that based on the findings and evidence, the project was consistent with the policies of the Monterey County 1982 General Plan, Del Monte Forest Land Use Plan, and Monterey County Code (Title 20) and that substantial evidence supported the findings for a variance. (Zoning Administrator Resolution (No. 18-

024). See also the responses to appellants' other contentions, as this contention essentially duplicates the other contentions. Analysis has concluded that these contentions are without merit because they are not supported by evidence and/or are not relevant under Monterey County Code and/or raise concerns not protected under County Zoning.

12. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the California Coastal Commission.

**EVIDENCE:** a) California Coastal Commission: Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (State Route 1), and development that is permitted in the underlying zone as a conditional use.

### **DECISION**

**NOW, THEREFORE BE IT RESOLVED**, based on the above findings and evidence, and the administrative record as a whole, that the Board of Supervisors does hereby:

- A. Certified that the foregoing recitals and findings are true and correct;
- B. Denied the appeal of Ted Muhs and Elizabeth McGinnis, Glen and Angela Charles, Richard and Kathleen Doerr, Charles and Helen Schwab and Sally Lucas challenging the Zoning Administrator's approval of a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%);
- C. Adopted the Negative Declaration; and
- D. Approved a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%); in general conformance with the attached plans and subject to the conditions of approval, both being attached hereto and incorporated herein by reference.

Upon motion of Supervisor Salinas, seconded by Supervisor Phillips and carried by those members present, the Board of Supervisors hereby:

PASSED AND ADOPTED on this 10th day of July 2018, by the following vote, to wit:

AYES: Supervisors Alejo, Salinas, Phillips, Parker and Adams

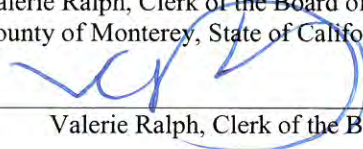
NOES: None

ABSENT: None

I, Valerie Ralph, Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof of Minute Book 81 for the meeting July 10, 2018.

Dated: July 27, 2018  
File ID: RES 18-091

Valerie Ralph, Clerk of the Board of Supervisors  
County of Monterey, State of California



Valerie Ralph, Clerk of the Board

# Monterey County RMA Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150755

**Resolution No.: 18-215****1. PD001 - SPECIFIC USES ONLY****Responsible Department:** RMA-Planning**Condition/Mitigation  
Monitoring Measure:**

This is a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a 3,996 square foot single family dwelling consisting of 2,306 square foot two stories, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%) and FAR by 5.3% (totaling 22.8%). The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or  
Monitoring  
Action to be Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "A Combined Development Permit (Resolution Number 18-215) was approved by Board of Supervisors for Assessor's Parcel Number 008-401-010-000 on July 10, 2018. The permit was granted subject to 19 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or Monitoring** Prior to the issuance of grading and building permits, certificates of compliance, or  
**Action to be Performed:** commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or  
**Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring** The Owner/Applicant shall adhere to this condition on an on-going basis.  
**Action to be Performed:**

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. CC01 INDEMNIFICATION AGREEMENT

**Responsible Department:** County Counsel

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

#### 5. PD005 - FISH & GAME FEE NEG DEC/EIR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.



**6. PD006(A) - CONDITION COMPLIANCE FEE**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

<b>7. PD012(D) - LANDSCAPE PLAN &amp; MAINTENANCE (MPWMD-SFD ONLY)</b>
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**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

**8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. No uplighting on the roof deck, only shadow low-lighting. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

**9. PD041 - HEIGHT VERIFICATION**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

## 10. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

## 11. GEOTECHNICAL CERTIFICATION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Soil Engineering Investigation. (RMA- Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

## 12. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a grading plan incorporating the recommendations in the project Soil Engineering Investigation prepared by LandSet Engineers, Inc. The grading plan shall also address the requirements of Monterey County Code Chapter 16.08, and the geotechnical inspection schedule shall be included on the plan. The applicant shall provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

**13. INSPECTION-DURING ACTIVE CONSTRUCTION**

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

**14. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION**

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

**15. INSPECTION-PRIOR TO LAND DISTURBANCE**

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

## 16. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:  
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project.

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

## 17. WR008 - STORMWATER DETENTION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a drainage plan, prepared by a registered civil engineer, addressing on-site and off-site impacts. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. Supporting calculations and construction details shall also be provided. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

## 18. WR010 - COMPLETION CERTIFICATION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a registered civil engineer or licensed contractor that stormwater detention facilities have been constructed in accordance with the approved drainage plan. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall submit a letter to the Water Resources Agency prepared by a registered civil engineer or licensed contractor.

**19. PD050 - RAPTOR/MIGRATORY BIRD NESTING**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

# RAVEN RESIDENCE

## 3213 WHITMAN LANE PEBBLE BEACH, CA 93953

REVISION	DATE

CONSULTANT:

DATE: 6/16/11

SCALE: 1/8" = 1'-0"

DRAWN: [Signature]

JOB NUMBER: 1511

A-0.1

SHEET 01

### PROJECT DATA

LOT DATA:  
 STATE: NORTH CO. IS.  
 A.P.N.: 0192101101000  
 ZONING: DM1-S-D (C-2)  
 SUITING VARIANCE: FOR FLOOR AREA RATIO AND  
 FOR BUILDING SITE COVERAGE.

ZONING	FLOOR AREA RATIO	MAXIMUM AREA ALLOTTED	MAXIMUM FLOOR AREA
DM1-S-D (C-2)	1.00	1748.50 SF	1748.50 SF

EXISTING FLOOR AREA: NONE  
 PROPOSED FLOOR AREA: 2,468.57 SQ. FT. (467.57 SQ. FT. VARIANCE)  
 PROPOSED SITE COVERAGE:  
 DRIVEWAY: 208 SF  
 DRIVEWAY: 128 SF  
 STAIRWELL: 261 SF  
 STAIRWELL: 196 SF  
 TOTAL PROPOSED SITE COVERAGE: 793 SF  
 MAXIMUM ALLOTTABLE SITE COVERAGE: 1,000 SF  
 BUILDING SITE COVERAGE:  
 FIRST FLOOR: 600 SF  
 INTERIOR 1ST FLOOR: 208 SF  
 EXTERIOR COVERED PATIOS: 68 SF  
 TOTAL PROPOSED BUILDING SITE COVERAGE: 876 SF  
 TOTAL BUILDING AREA: 1,469 SF  
 FIRST FLOOR: 600 SF  
 INTERIOR 1ST FLOOR: 208 SF  
 EXTERIOR COVERED PATIOS: 68 SF  
 TOTAL FIRST FLOOR: 876 SF  
 SECOND FLOOR: 600 SF  
 INTERIOR 2ND FLOOR: 208 SF  
 EXTERIOR COVERED PATIOS: 68 SF  
 TOTAL SECOND FLOOR: 876 SF  
 BASEMENT FLOOR: 140 SF  
 INTERIOR UTILITY - BASEMENT: 140 SF  
 TOTAL PROPOSED BUILDING AREA: 3,000 SF

UTILITIES:  
 1. WATER, CALIFORNIA AMERICAN WATER CO.  
 2. SANITARY SEWER SYSTEM, PEPPER HARBOR  
 3. PEPPER HARBOR WASTEWATER SERVICES DISTRICT

GRADING QUANTITIES:  
 CUT: 580.43 C.Y./FILL: 16.14 C.Y. ± NET: 1,260.38 C.Y.  
 TREE REMOVAL:  
 1. NO TREES TO BE REMOVED

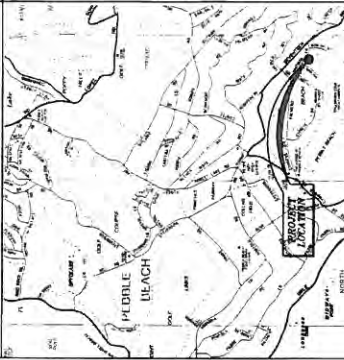
### PROJECT INFORMATION

OWNER: SCOTT AND CHARISSE RAYEN  
 3710 EAST CLAMSON AVENUE  
 SEMA, CA 15602-1644  
 ADDRESS: 3213 WHITMAN LANE  
 PEBBLE BEACH, CA 93953  
 ARCHITECT: ARIO MILLER ARCHITECTS, INC.  
 20-NORMAN AVENUE, SUITE 100  
 PEBBLE BEACH, CA 93953  
 LAND SURVEYOR: BATES AND ASSOCIATES  
 3520 MARIE BELMONT RD #202  
 PEBBLE BEACH, CA 93953  
 LANDSCAPE ARCHITECT: JAMES R. GIBSON  
 10000 JANDROWAY DR. #200  
 CARMEL, CA 93908  
 CIVIL ENGINEER: JAMES R. GIBSON  
 10000 JANDROWAY DR. #200  
 PEBBLE BEACH, CA 93908  
 GEOLOGIST: JAMES R. GIBSON  
 10000 JANDROWAY DR. #200  
 PEBBLE BEACH, CA 93908  
 PROJECT DESCRIPTION:  
 REVISIONS:  
 1. ATTACHED GARAGE WITH CAR LIFT, FULL BATHROOM,  
 2. INTERIOR UTILITY, INTERIOR UTILITY, INTERIOR UTILITY,  
 3. INTERIOR UTILITY, INTERIOR UTILITY, INTERIOR UTILITY,  
 4. INTERIOR UTILITY, INTERIOR UTILITY, INTERIOR UTILITY,  
 5. INTERIOR UTILITY, INTERIOR UTILITY, INTERIOR UTILITY,  
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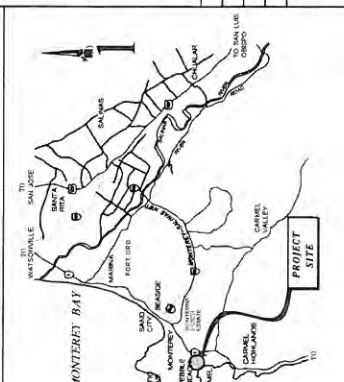
### SHEET INDEX

NO.	TITLE SHEET
A-0.1	CONSTRUCTION
A-0.2	CONSTRUCTION MANAGEMENT PLAN
A-0.3	PROPOSED BASEMENT FLOOR PLAN
A-0.4	PROPOSED FIRST FLOOR PLAN
A-0.5	PROPOSED SECOND FLOOR PLAN
A-0.6	PROPOSED FLOOR AREA DIAGRAMS
A-0.7	PROPOSED EXTERIOR ELEVATIONS
A-0.8	FRONT FASADES
A-0.9	MATERIAL COLOR SAMPLES
A-1.0	COVER SHEET
A-1.1	MARKETING CONDITIONS
A-1.2	SHADINGS, DRAINAGE & UTILITY PLAN
A-1.3	LOWER FLOOR PLAN - UNDERLAB DRAIN
A-1.4	SHADINGS SECTIONS
A-1.5	EROSION CONTROL PLAN
A-1.6	EROSION CONTROL PLAN
A-1.7	EROSION CONTROL PLAN
A-1.8	EROSION CONTROL PLAN
A-1.9	EROSION CONTROL PLAN
A-1.10	EROSION CONTROL PLAN
A-1.11	EROSION CONTROL PLAN
A-1.12	EROSION CONTROL PLAN
A-1.13	EROSION CONTROL PLAN
A-1.14	EROSION CONTROL PLAN
A-1.15	EROSION CONTROL PLAN
A-1.16	EROSION CONTROL PLAN
A-1.17	EROSION CONTROL PLAN
A-1.18	EROSION CONTROL PLAN
A-1.19	EROSION CONTROL PLAN
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A-1.96	EROSION CONTROL PLAN
A-1.97	EROSION CONTROL PLAN
A-1.98	EROSION CONTROL PLAN
A-1.99	EROSION CONTROL PLAN
A-2.00	EROSION CONTROL PLAN

### LOCATION MAP



### VICINITY MAP



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 DRAWN: [Signature]  
 JOB NUMBER: 1511  
 A-0.1  
 SHEET 01



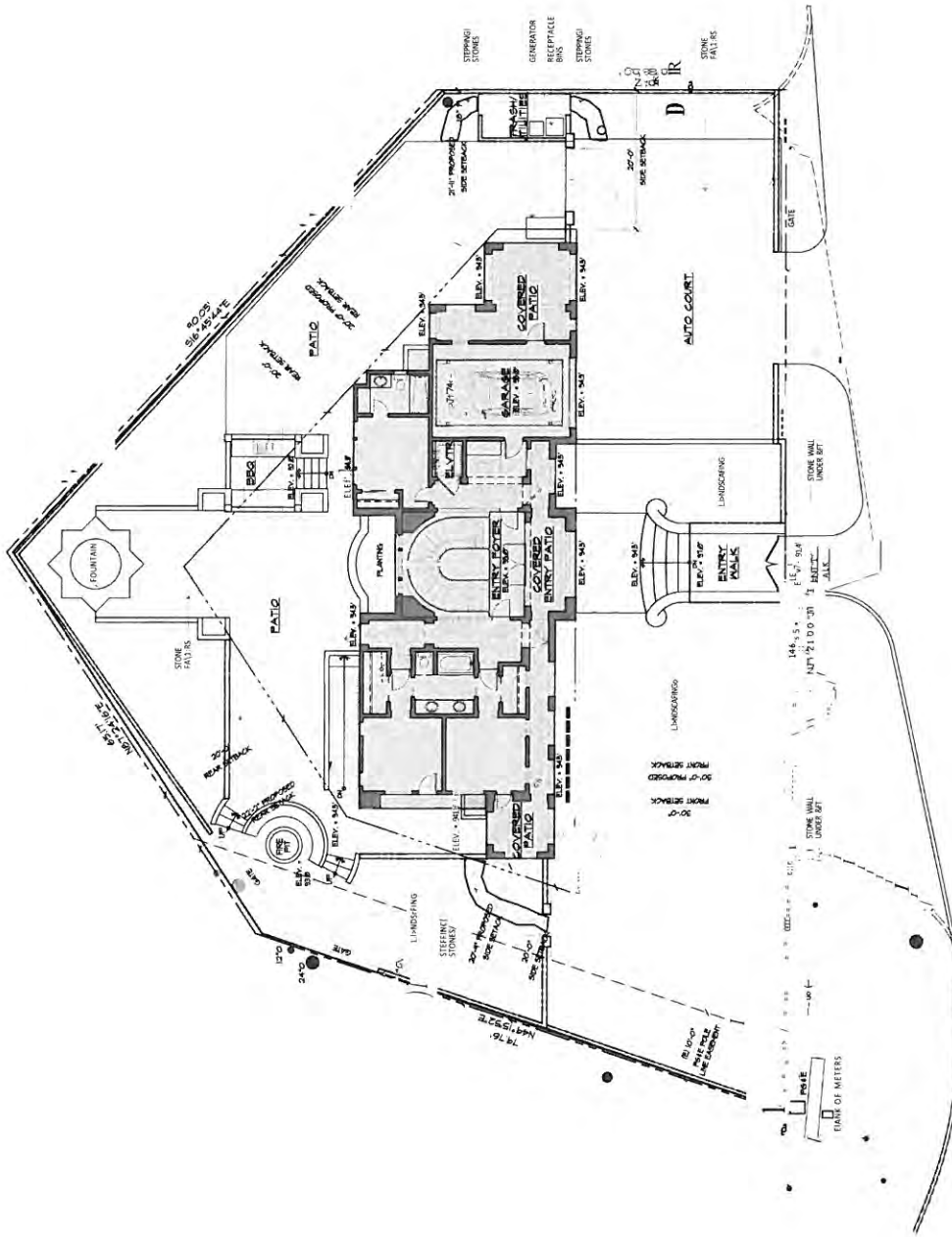
NO.	REVISION	DATE	BY	DESCRIPTION

**L.A. ARCHITECTS, INC.**  
 10000 LITTLE ROCK BLVD.  
 MONTEREY, CA 93940  
 TEL: (831) 372-7340 • WEB: WWW.LAARCHITECTS.COM

**Raven Residence**  
 2125 Wilton Lane  
 Pebble Beach, CA  
 A.P.N. 008-401-010

DATE: 6/6/11  
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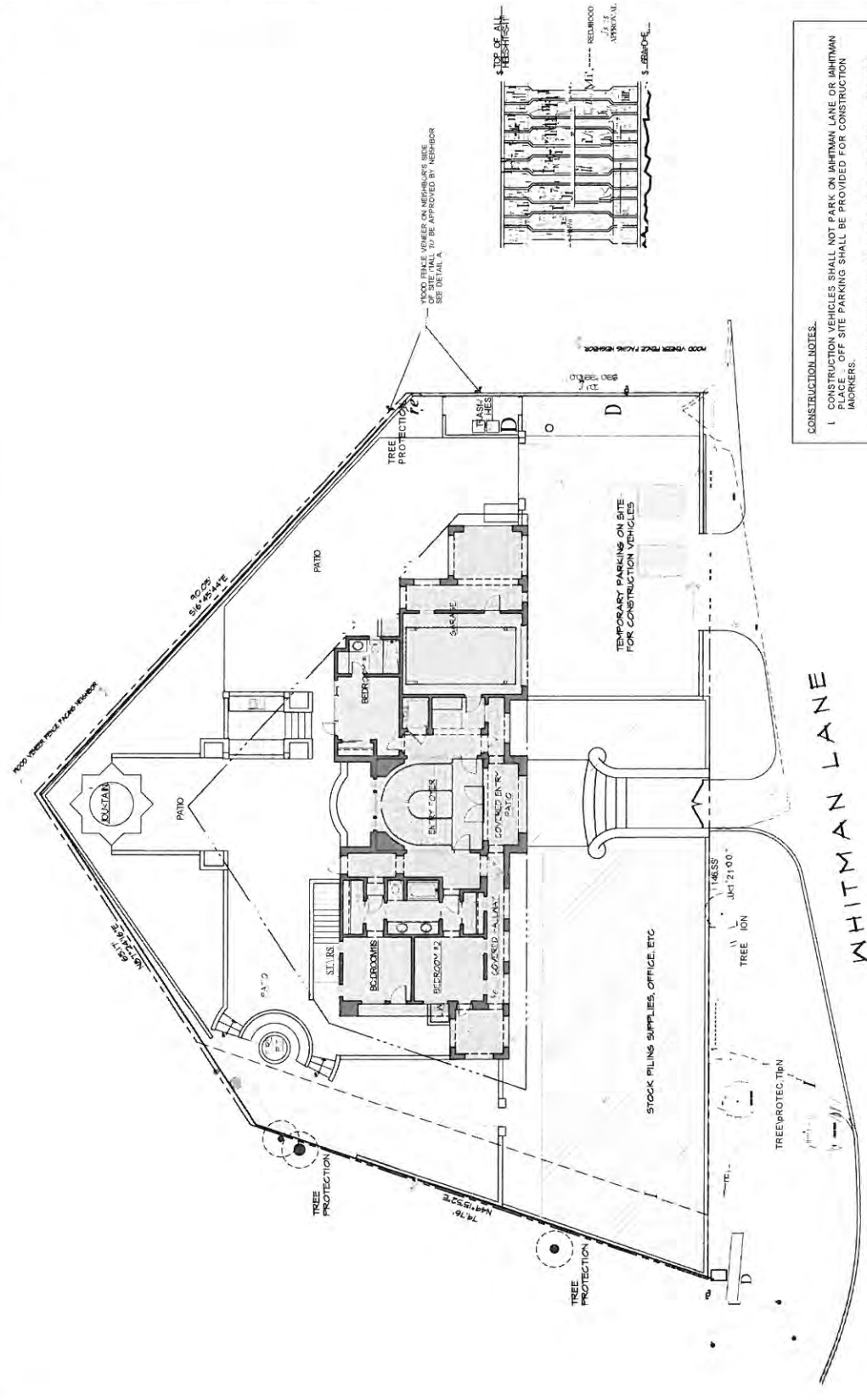


**WHITMAN LANE**

**PROPOSED SITE PLAN**  
 SCALE: 1/8" = 1'-0"



REASON	No.



**CONSTRUCTION MANAGEMENT PLAN**  
 SC. AL. 1/8" = 1'-0"

- CONSTRUCTION NOTES.**
- CONSTRUCTION VEHICLES SHALL NOT PARK ON WHITMAN LANE OR WHITMAN PLACE. OFF SITE PARKING SHALL BE PROVIDED FOR CONSTRUCTION WORKERS.
  - LIMITED PARKING SHALL BE AVAILABLE ON THE SITE FOR TEMPORARY ACCESSIBILITY TO THE SITE.
  - NO CONSTRUCTION SHALL OCCUR DURING MAJOR EVENTS SPECIFIED BY PEBBLE BEACH SUCH AS THE ATTI AND CONCOURSE IN ADDITION TO THE STANDARD PEBBLE BEACH REQUIREMENTS FOR CONSTRUCTION DAYS AND HOURS.
  - GENERAL CONTRACTOR SHALL WORK WITH NEIGHBORS ON A DAILY BASIS, OR AS REQUIRED.

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DRAWN:	GR11
JOB NUMBER:	1511

**A-1.2**  
 SHEET OF

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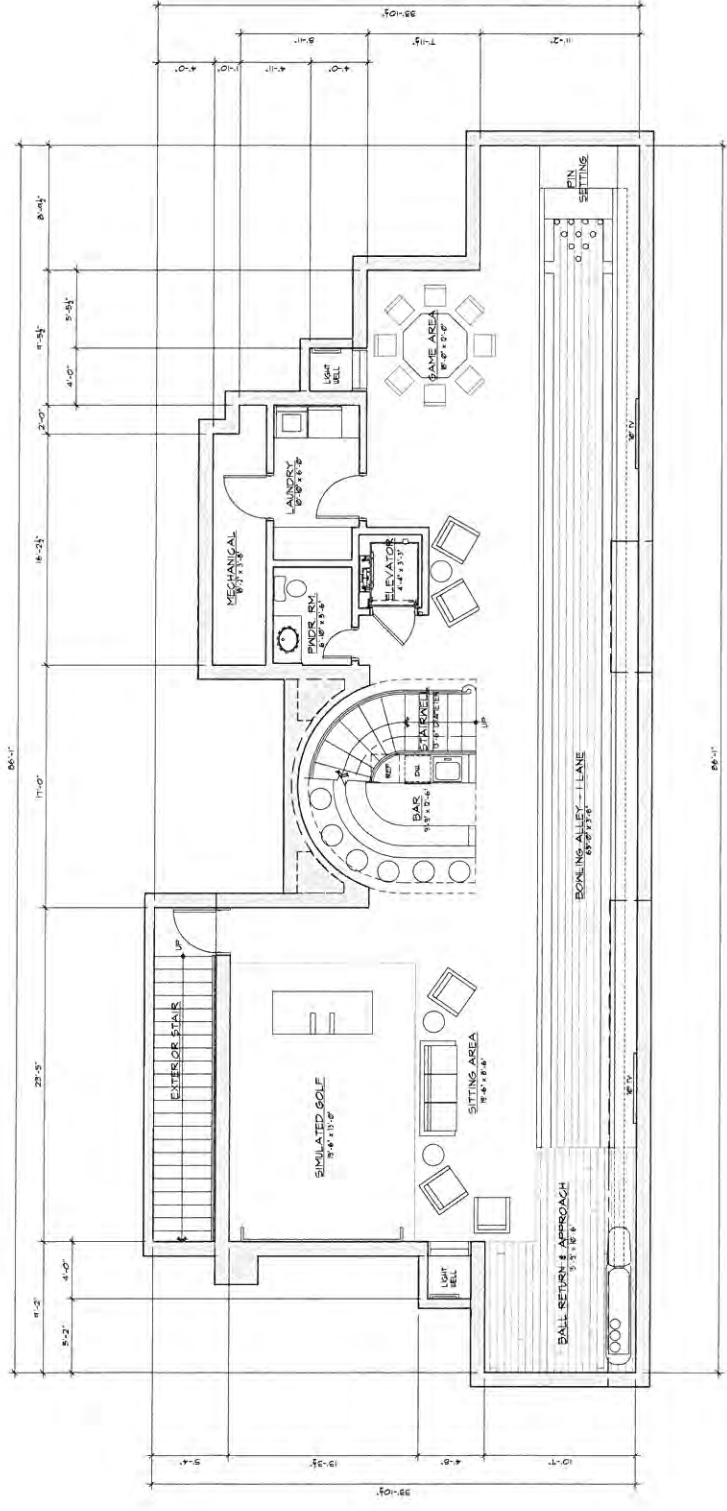
CONSULTANT:

ERIC MILLER ARCHITECTS, INC.  
 ARCHITECT  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7340 • WEB: www.ericmillerarchitects.com

BASEMENT W/ VARIANCE  
 JOB NAME:  
 ROYEN RESIDENCE  
 8219 WILSON LANE  
 PEBBLE BEACH, CA  
 A.P.N. 008-40-01-010

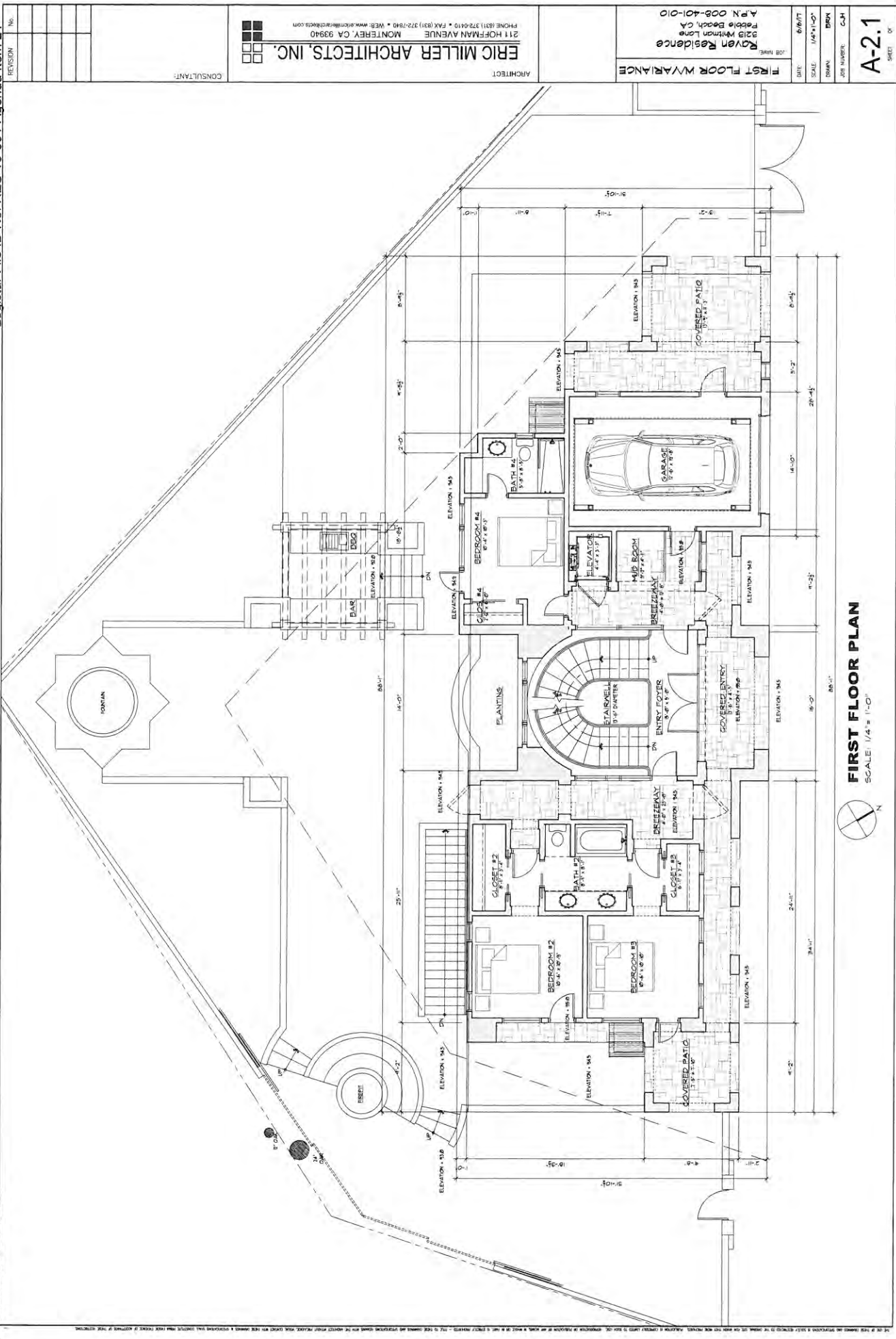
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 DRAWN: CJS  
 JOB NUMBER: 15171

A-2.0  
 SHEET OF



**BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"





FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR WYRANCE**  
 JOB NAME: ROYEN RESIDENCE  
 3212 WYRANCE LANE  
 PEBBLE BEACH, CA  
 A.P.N. 008-401-010

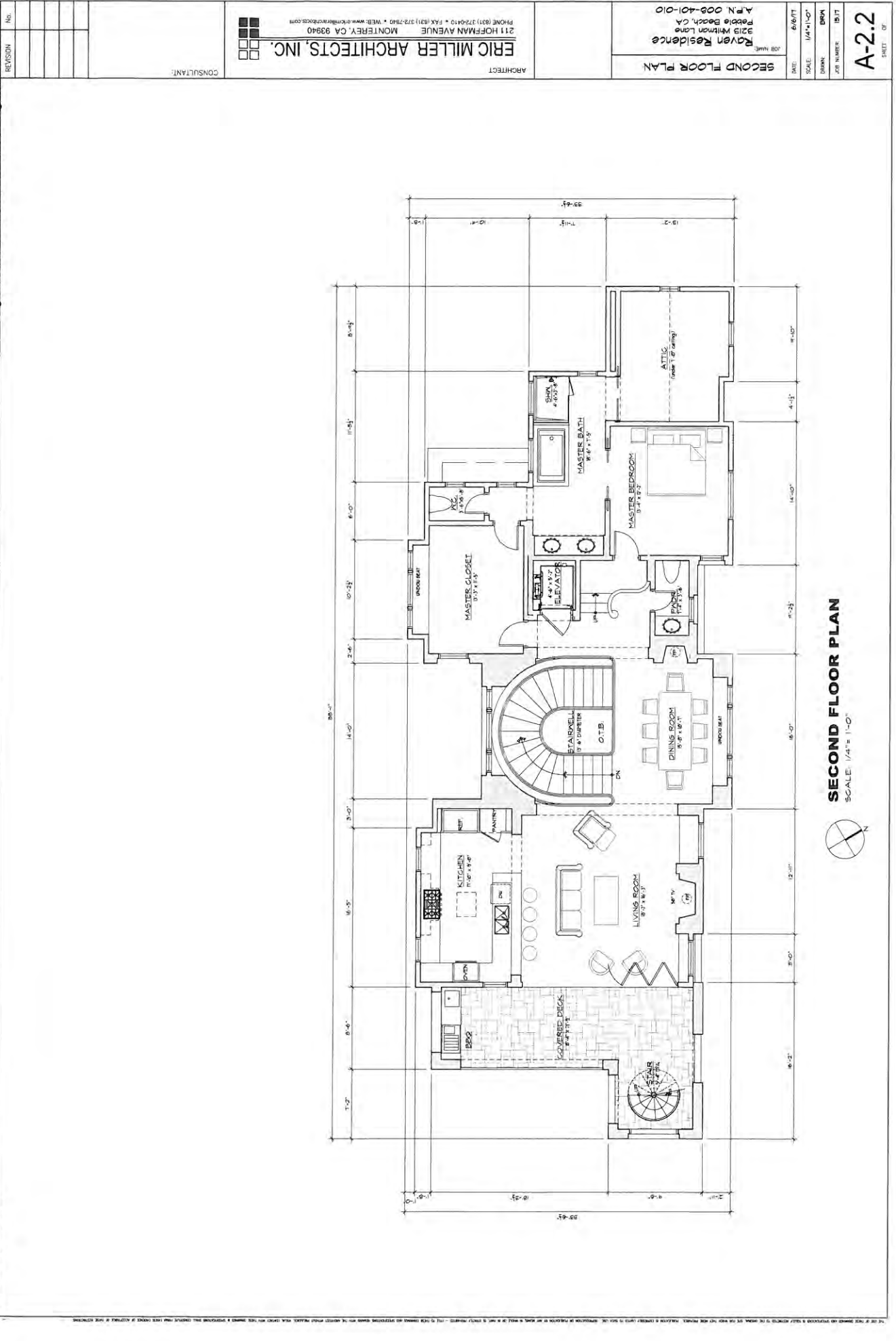
ARCHITECT: ERIC MILLER ARCHITECTS, INC.  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0419 • FAX (831) 372-7340 • WEB: www.ericmillerarchitects.com

CONSULTANT

REVISION	NO.

**A-2.1**  
 SHEET 02

THIS PLAN IS PREPARED BY THE ARCHITECT AND IS SUBJECT TO THE PROFESSIONAL SEAL AND LICENSE OF THE ARCHITECT. ANY CHANGES TO THIS PLAN MUST BE MADE BY THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.








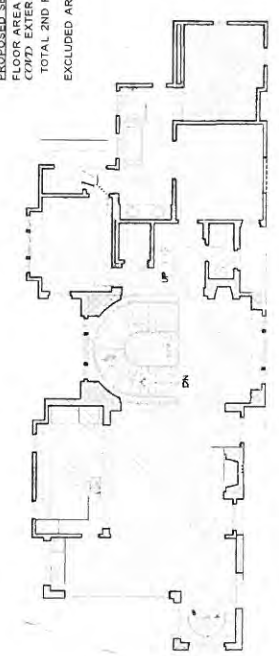
REVISION	DATE

DATE	08/11
SCALE	1/8"=1'-0"
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CHECKED	
FIG. NUMBER	1511

**A-2.4**  
SHEET OF

**BUILDING AREA INDEX**

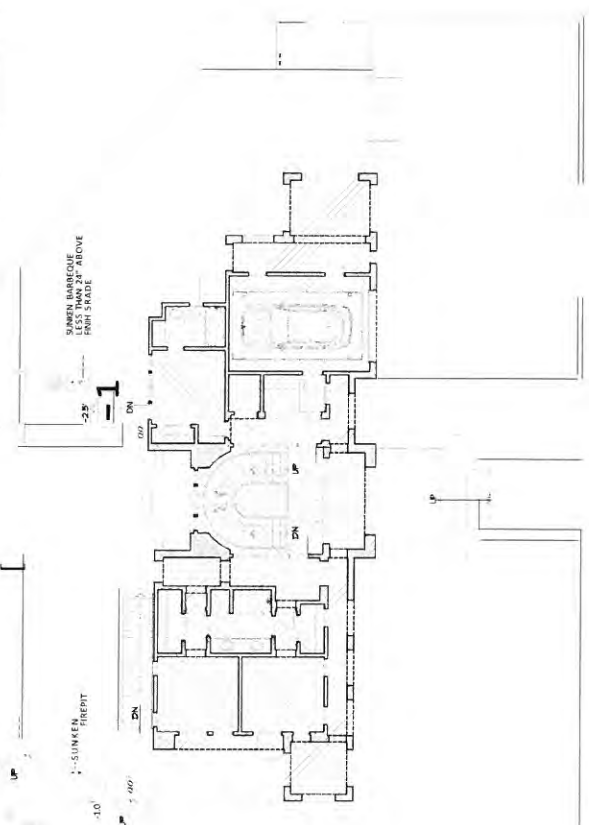
-  BUILDING FLOOR AREA
  -  BUILDING SITE COVERAGE
  -  FLOOR AREA (EXCLUSION)
- PROPOSED SECOND FLOOR**
- FLOOR AREA ..... 1,386 S.F.
  - COR'D. EXTERIOR ..... 308 S.F.
  - TOTAL 2ND FLR ..... 1672 S.F.
  - EXCLUDED AREA ..... 413 S.F.



**SECOND FLOOR AREA DIAGRAM**  
SCALE: 1/8"= 1'-0"

**BUILDING AREA INDEX**

-  BUILDING FLOOR AREA
  -  IMPROVISED SITE COVERAGE
  -  PREVIOUS SITE COVERAGE
- PROPOSED FIRST FLOOR**
- FLOOR AREA ..... 1,278 S.F.
  - BUILDING (XTP) ..... 138 S.F.
  - TOTAL BUILDING ..... 2,156 S.F.
  - SITE COVERAGE ..... 2,156 S.F.
  - EXCLUDED AREA ..... 379 S.F.

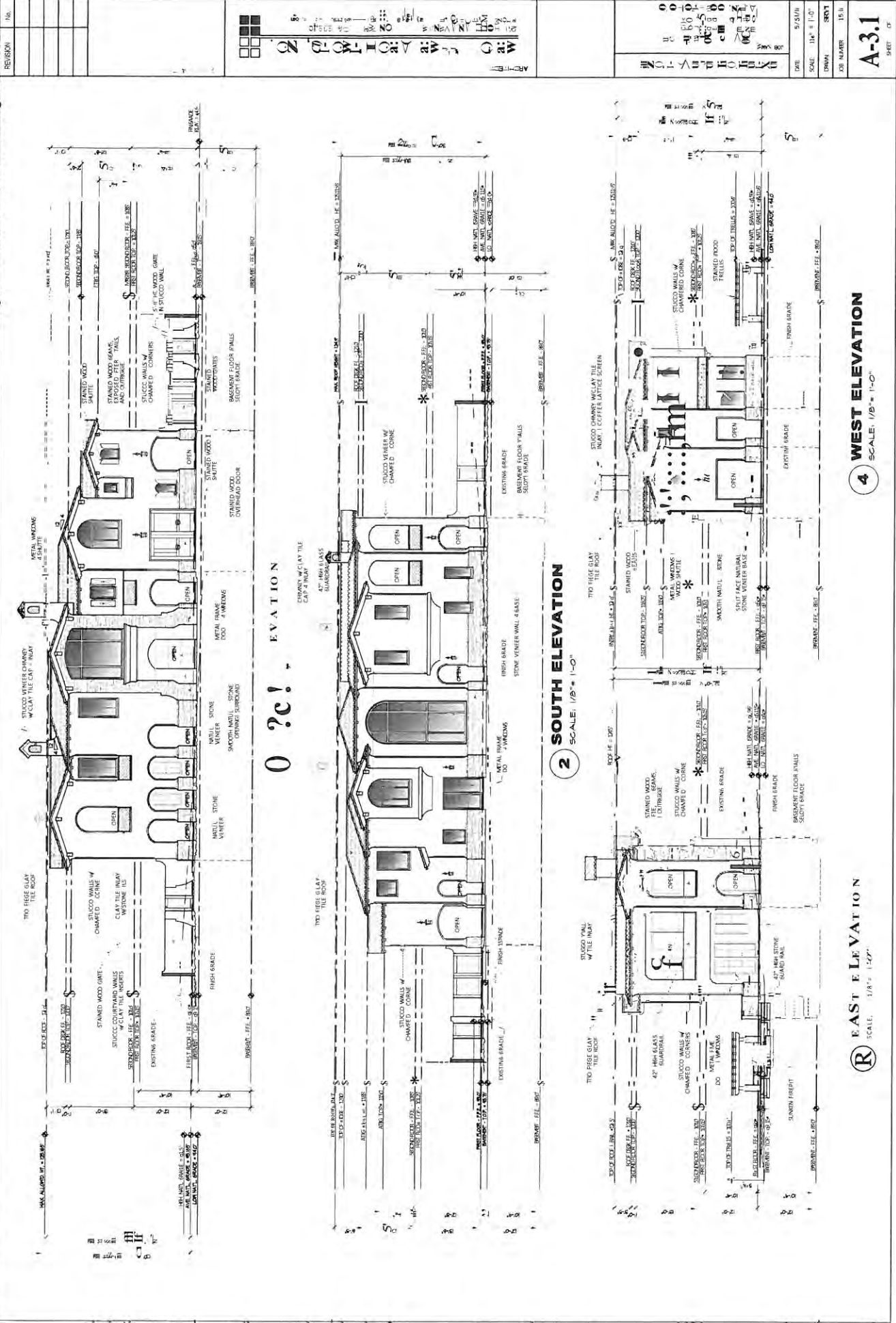


**FIRST FLOOR AREA DIAGRAM**  
SCALE: 1/8"= 1'-0"

ARCHITECTS, INC.  
MONTEREY, CA 93940  
1372-740 • WEB: WWW.ARCHITECTS.COM

DATE	08/11
SCALE	1/8"=1'-0"
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FIG. NUMBER	1511

**A-2.4**  
SHEET OF



REVISION		No.

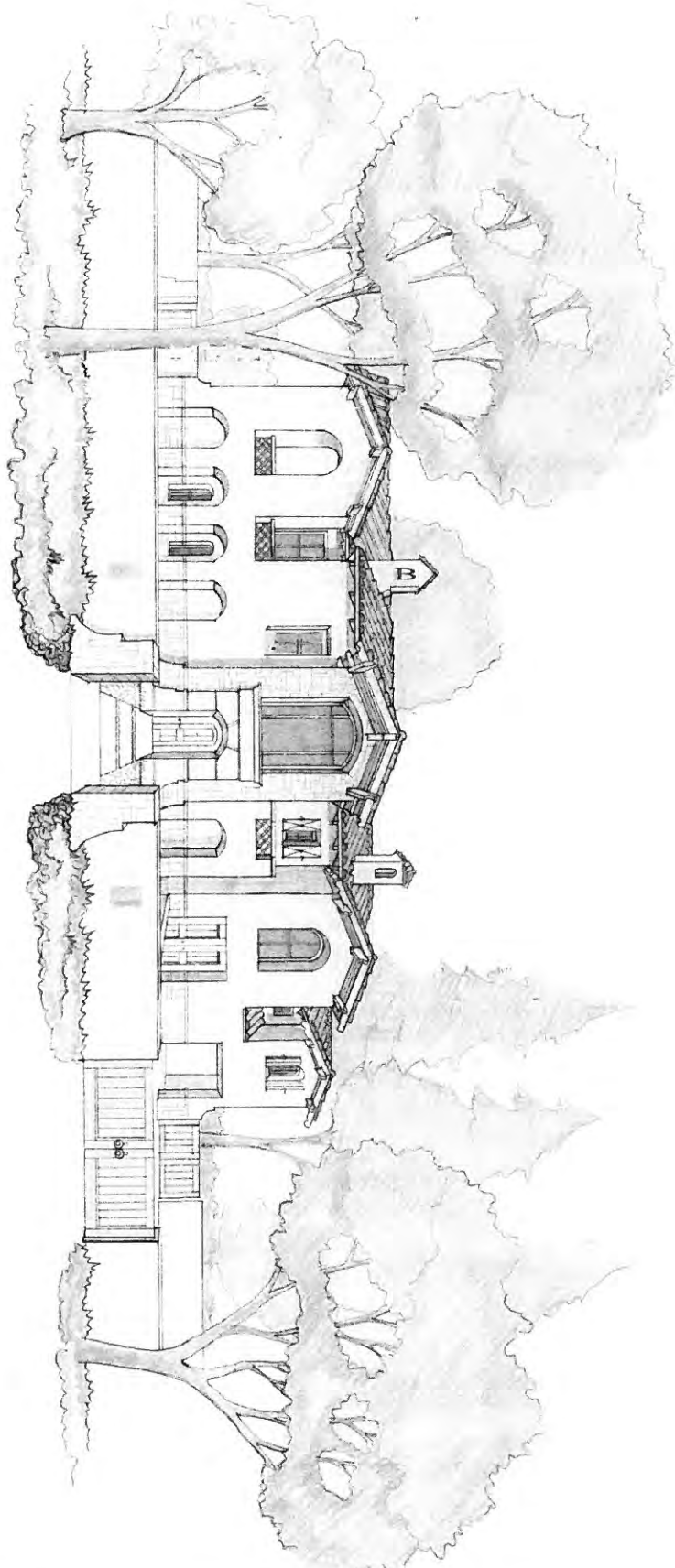
4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION VIEW FROM WHITMAN LANE**



<p>7.1 in</p>	<p><b>RENDERING</b></p>	<p>ARCHITECT <b>ERIC MILLER ARCHITECTS, INC.</b> DD 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	CONSULTANT:	NO. OF SHEETS	7
	<p>JOB NAME: Raven Residence 3213 Whitman Lane Pebble Beach, CA A.F.N. 008-401-010</p>				

REVISION	No.

CONSULTANT: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

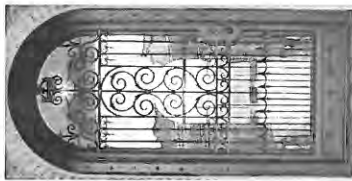
211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: WWW.ERICMILLERARCHITECTS.COM  
 ERIC MILLER ARCHITECTS, INC.

JOB NAME: RAVEN RESIDENCE  
 3213 Milton Lane, Pebble Beach, CA  
 A.P.N. 008-401-010

DATE: 6/26/17  
 SCALE: NO SCALE  
 DRAWN: C.M.  
 JOB NUMBER: 1517

MATERIAL SAMPLES

A-7.2  
 SHEET OF



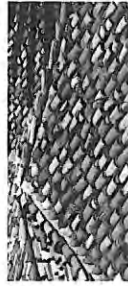
10 METAL GATE



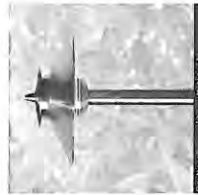
7 LAMP - 25 WATT  
 FINISH - BROWN RUST  
 GLAZING - HEAVY SEEDY  
 LIGHT SHIELD ON TOP PANELS  
 7 EXTERIOR WALL SCONES



4 FOND-DU-LAC RUSTIC  
 4 STONE VENEER



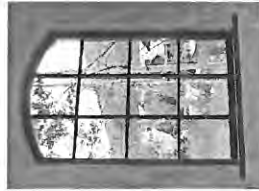
1 CLAY TILE  
 1 CLAY TILE ROOF



8 PATH LIGHT - 25W  
 COPPER FINISH



8 SIDE WALL LIGHT - 25W  
 COPPER FINISH



5 WOOD WINDOWS  
 & DOORS



2 COPPER GUTTER &  
 DOWNSPOUT



11 CLAY TILE - FLAT LAY  
 CHIMNEY CAP TILES  
 GUARD RAIL DETAIL



9 DRAIN COVER  
 URBAN ACCESSORIES-OT



9 TRENCH GRATE  
 URBAN ACCESSORIES-OT



6 WOOD - BROWN STAIN  
 6 GARAGE DOOR

9 DRAINAGE GRATES

3 STUCCO - MEDIUM CAT FACE  
 3 EXTERIOR COLORS

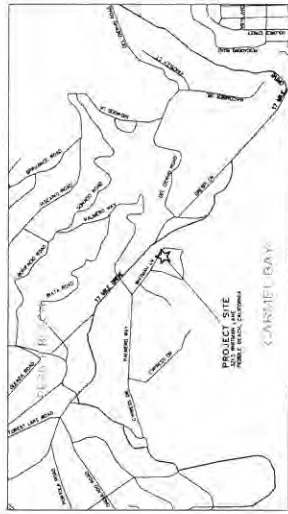
FOR REFERENCE ONLY

# GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

## OF RAVEN RESIDENCE

### APN:008-401-010

#### PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP  
NOT TO SCALE



LOT OVERVIEW

**GENERAL NOTES:**

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE PROJECT. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND FIELD SURVEYS TO VERIFY THE EXISTING CONDITIONS AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND BELOW GRADE WERE LOCATED. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND FIELD SURVEYS TO VERIFY THE EXISTING CONDITIONS AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND FIELD SURVEYS TO VERIFY THE EXISTING CONDITIONS AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 3) ALL SURFACE ORGANICS SHALL BE REMOVED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL SHALL BE PLANTED TO CONTROL EROSION.
- 4) NO ORGANIC MATERIAL SHALL BE FERTILIZED IN PLOTS EXPOSED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 5) THERE ARE APPROXIMATELY 1,500 C.F. OF CUT AND RE. C.V. OF FILL WITH A SURPLUS OF 1,800 C.F. OF FILL. ADDITIONAL ON-SITE SPILLS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC TANKS, AND OTHER STRUCTURES SHALL BE REMOVED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOILS ENGINEER.
- 7) ALL EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION ON OR ADJACENT TO THE PROPERTY DURING AND AFTER CONSTRUCTION.
- 8) ALL EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION ON OR ADJACENT TO THE PROPERTY DURING AND AFTER CONSTRUCTION.
- 9) A COPY OF ALL CONSTRUCTION TESTS AND FINAL DRAINAGE REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND FIELD SURVEYS TO VERIFY THE EXISTING CONDITIONS AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND FIELD SURVEYS TO VERIFY THE EXISTING CONDITIONS AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 11) STORM WATER SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING INTO AN UNDERGROUND DETENTION TANK SYSTEM.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING INTO AN UNDERGROUND DETENTION TANK SYSTEM.
- 13) EXISTING GROUND LEVEL (THURMAN 14) AND SHALL REMAIN UNDEVELOPED OF THE SURFACE RUNOFF.
- 14) EXISTING GROUND LEVEL (THURMAN 14) AND SHALL REMAIN UNDEVELOPED OF THE SURFACE RUNOFF.

**GRADING & DRAINAGE NOTES:**

- 1) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER AND THE BEST TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 2) SURFACE ORGANICS SHALL BE REMOVED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL SHALL BE PLANTED TO CONTROL EROSION.
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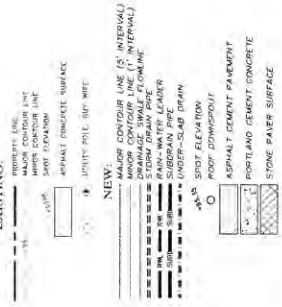
**INDEX TO SHEETS:**

- |           |                                       |
|-----------|---------------------------------------|
| SHEET C1  | COVER SHEET                           |
| SHEET C2  | EXISTING CONCEPTS                     |
| SHEET C3  | LOWER FLOOR PLAN - UNDERSLAB DRAIN    |
| SHEET C3A | STORM WATER CONTROL PLAN              |
| SHEET C3B | EROSION CONTROL PLAN                  |
| SHEET C3C | STANDARD PLANS & CONSTRUCTION DETAILS |

**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE PERIOD OF CONSTRUCTION FROM THE DATE OF PERMIT ISSUANCE THROUGH THE DATE OF PERMIT CLOSURE. CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15, 2018.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MATTING OR SIMILAR MEASURES TO PROTECT AGAINST EROSION.
- 4) RUNOFF SHALL BE OBTAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
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**LEGEND:**



**LEGISLATIVE INSTRUMENT SCHEDULE**

Item	Description	Responsible Party	Due Date
1	Permit Application	Applicant	01/15/2018
2	Permit Issuance	County of Monterey	02/15/2018
3	Construction Start	Applicant	03/15/2018
4	Construction Completion	Applicant	06/15/2018
5	Final Inspection	County of Monterey	07/15/2018
6	Final Approval	County of Monterey	08/15/2018

**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
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**CONTACT INFORMATION:**

PROJECT ARCHITECT: RAVEN RESIDENCE ARCHITECTS, INC. 1000 MARINA DRIVE, SUITE 100, PEBBLE BEACH, CA 93953  
 PROJECT ENGINEER: JAMES M. HARRIS, P.E. 1000 MARINA DRIVE, SUITE 100, PEBBLE BEACH, CA 93953  
 COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT 1000 MARINA DRIVE, SUITE 100, PEBBLE BEACH, CA 93953



APPROVED BY: CITY OF PEBBLE BEACH



RAVEN RESIDENCE  
 APN: 008-401-010  
 PEPPER BEACH, MONTEREY COUNTY, CALIFORNIA  
 PRELIMINARY  
 COVER SHEET

SCALE: AS SHOWN	DATE: 01/15/2018
SHEET: C1	REVISED: 01/15/2018
OF 8 SHEETS	PROJECT: RAVEN RESIDENCE

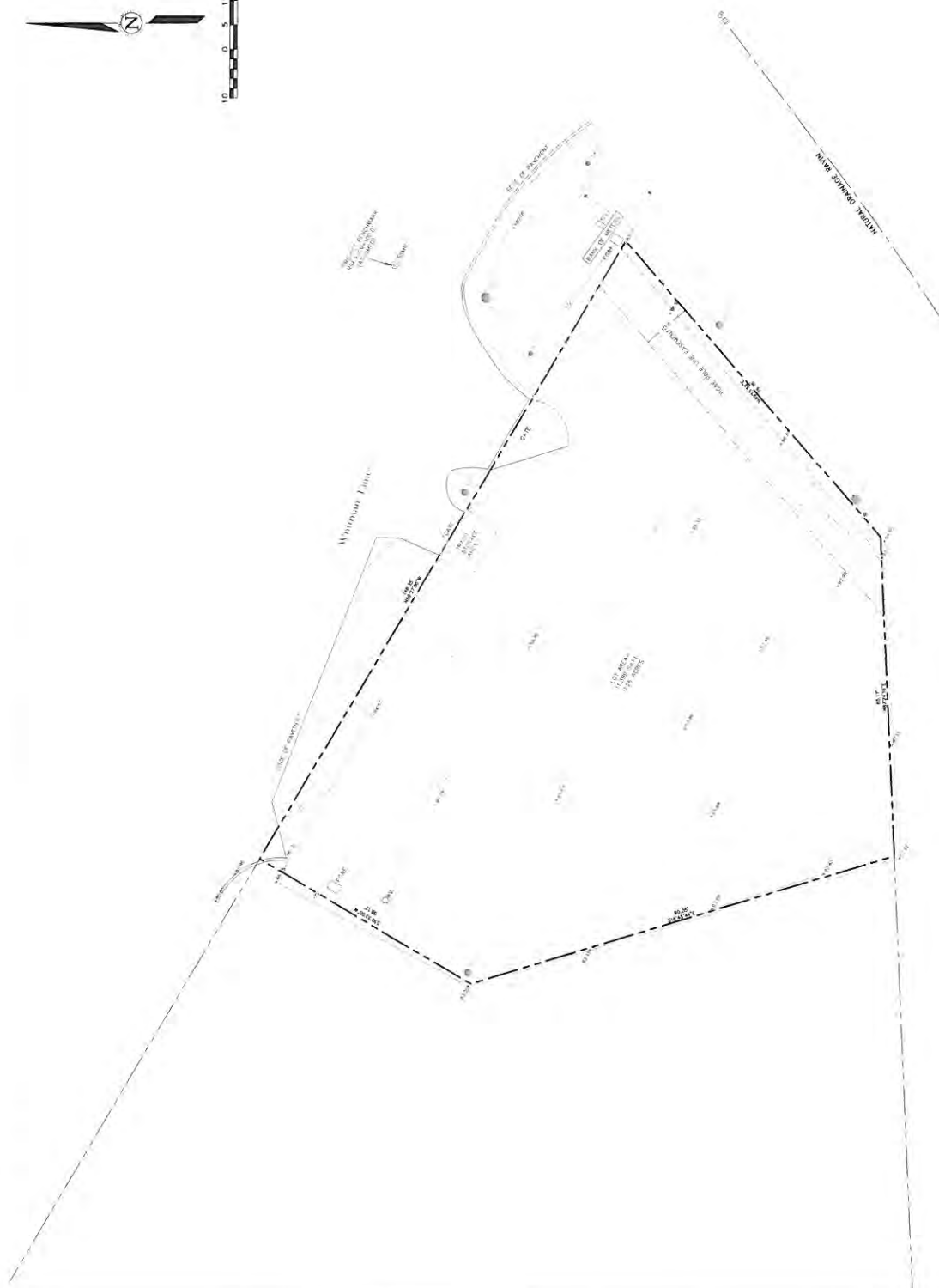


APPROVED BY:  
ROY R. GIERARD



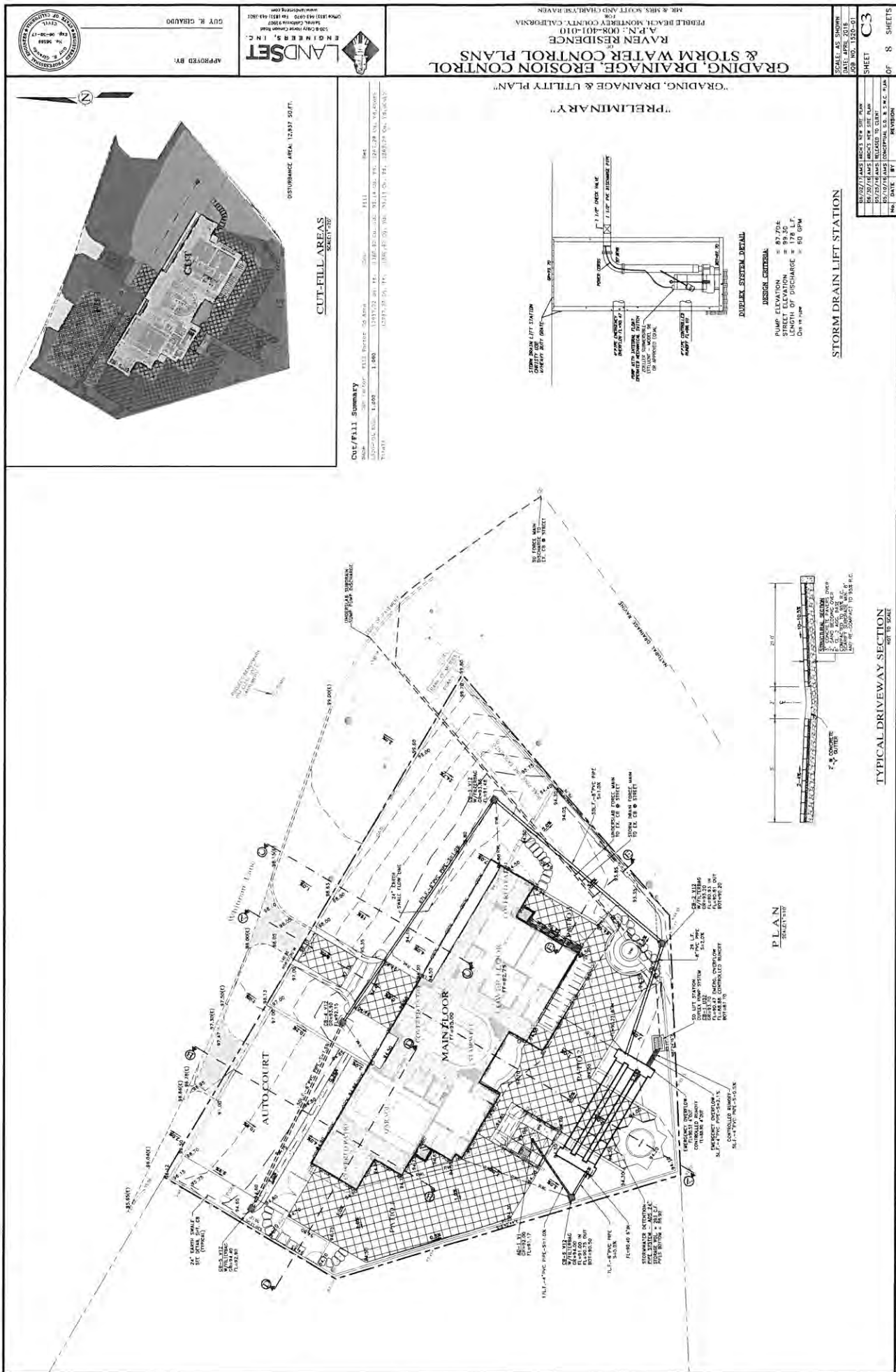
GRADING, DRAINAGE, EROSION CONTROL  
& STORM WATER CONTROL PLANS  
RAVEN RESIDENCE  
A.P.N.: 008-401-010  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. SCOTT AND CHAILESE RAVEN

"TOPOGRAPHIC MAP / EXISTING CONDITIONS"  
"PRELIMINARY"



DATE: 04/11/18	DATE: APRIL 2018	JOB NO: 1820-01
DESIGNED BY: R. GIERARD	DRAWN BY: R. GIERARD	CHECKED BY: R. GIERARD
DATE: 04/11/18	DATE: APRIL 2018	JOB NO: 1820-01
DESIGNED BY: R. GIERARD	DRAWN BY: R. GIERARD	CHECKED BY: R. GIERARD
DATE: 04/11/18	DATE: APRIL 2018	JOB NO: 1820-01
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DATE: 04/11/18	DATE: APRIL 2018	JOB NO: 1820-01
DESIGNED BY: R. GIERARD	DRAWN BY: R. GIERARD	CHECKED BY: R. GIERARD

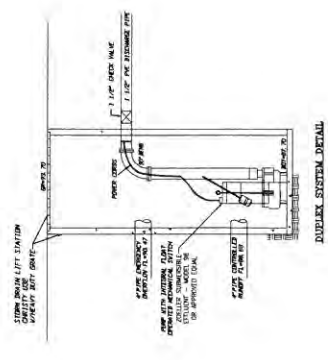
SHEET C2 OF 8 SHEETS



CUT-FILL AREAS  
SCHEDULE

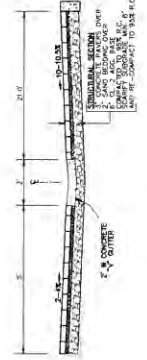
**CUT/FILL Summary**  
 DISTURBANCE AREA: 12,837 SQ. FT.  
 CUT VOLUME: 1,400 CU. YD.  
 FILL VOLUME: 25,000 CU. YD.  
 TOTAL VOLUME: 23,600 CU. YD.

"GRADING, DRAINAGE & UTILITY PLAN"  
 "PRELIMINARY"



**DESIGN CRITERIA:**  
 PUMP ELEVATION = 87.704  
 STREET ELEVATION = 89.36  
 DISCHARGE ELEVATION = 90.00  
 DISCHARGE RATE = 500 GPM

STORM DRAIN LIFT STATION



TYPICAL DRIVEWAY SECTION  
NOT TO SCALE

PLAN  
SCHEDULE

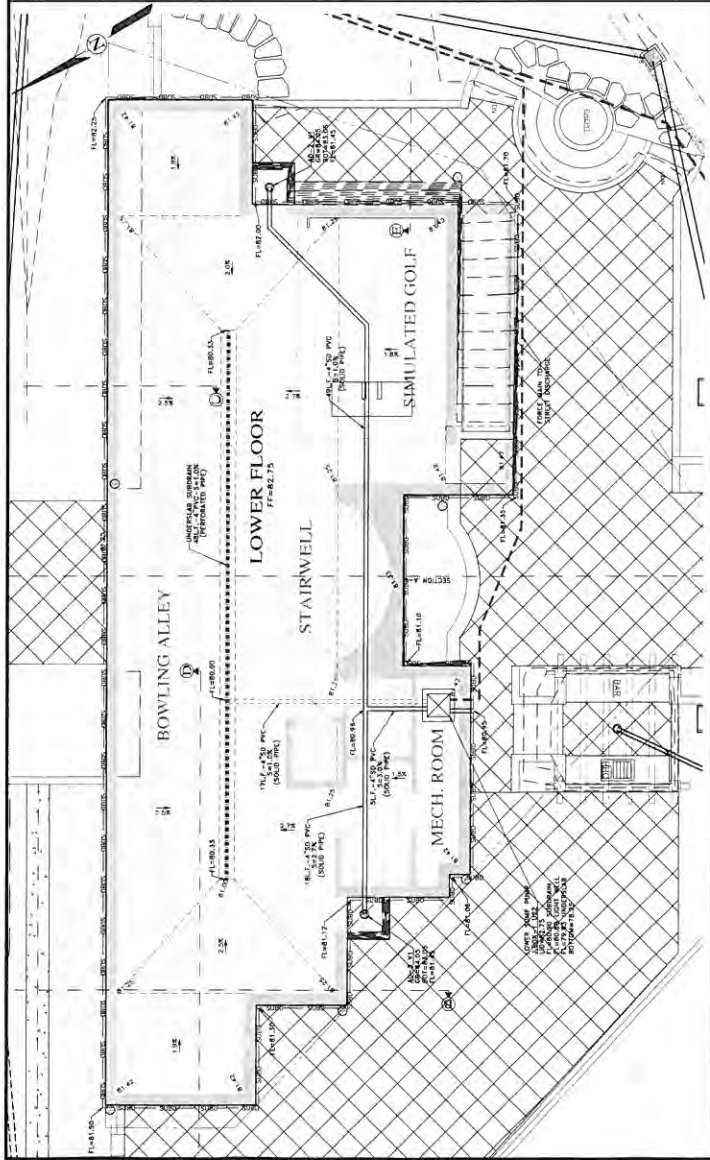
SCALE: AS SHOWN	SHEET: C3	OF: 8 SHEETS
DATE: APRIL 2018	PROJECT: RAVEN RESIDENCE	
JOB NO: 1820-01	DESIGNED BY: [Name]	
	CHECKED BY: [Name]	
	APPROVED BY: [Name]	



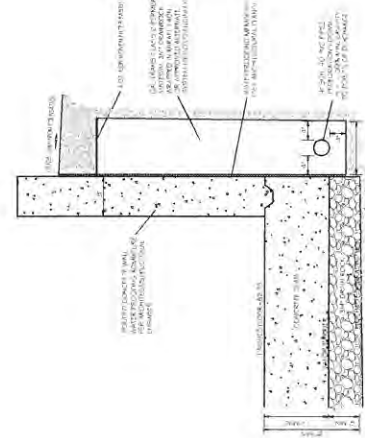
APPROVED BY:  
 GUY R. GERRARD

**LANDSET**  
 10000 Santa Anita Avenue, Suite 100  
 San Diego, CA 92121  
 (619) 594-1111  
 www.landset.com

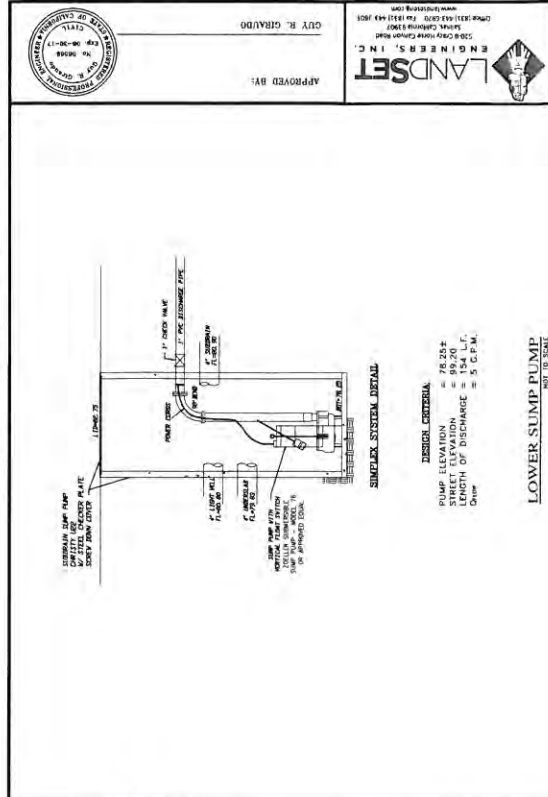
**GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS**  
 RAVEN RESIDENCE  
 A.P.N.: 008-401-010  
 PENDEL BEACH, MONTEREY COUNTY, CALIFORNIA  
 MR. & MRS. SCOTT AND CHARLES RAVEN



LOWER FLOOR UNDERSLAB DRAIN  
SCALE: 1/8" = 1'-0"



LOWER FLOOR UNDERSLAB SUBDRAIN DETAILS  
NOT TO SCALE



LOWER SUMP PUMP  
NOT TO SCALE

"PRELIMINARY"

"LOWER FLOOR PLAN - UNDERSLAB DRAIN"

**GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS**

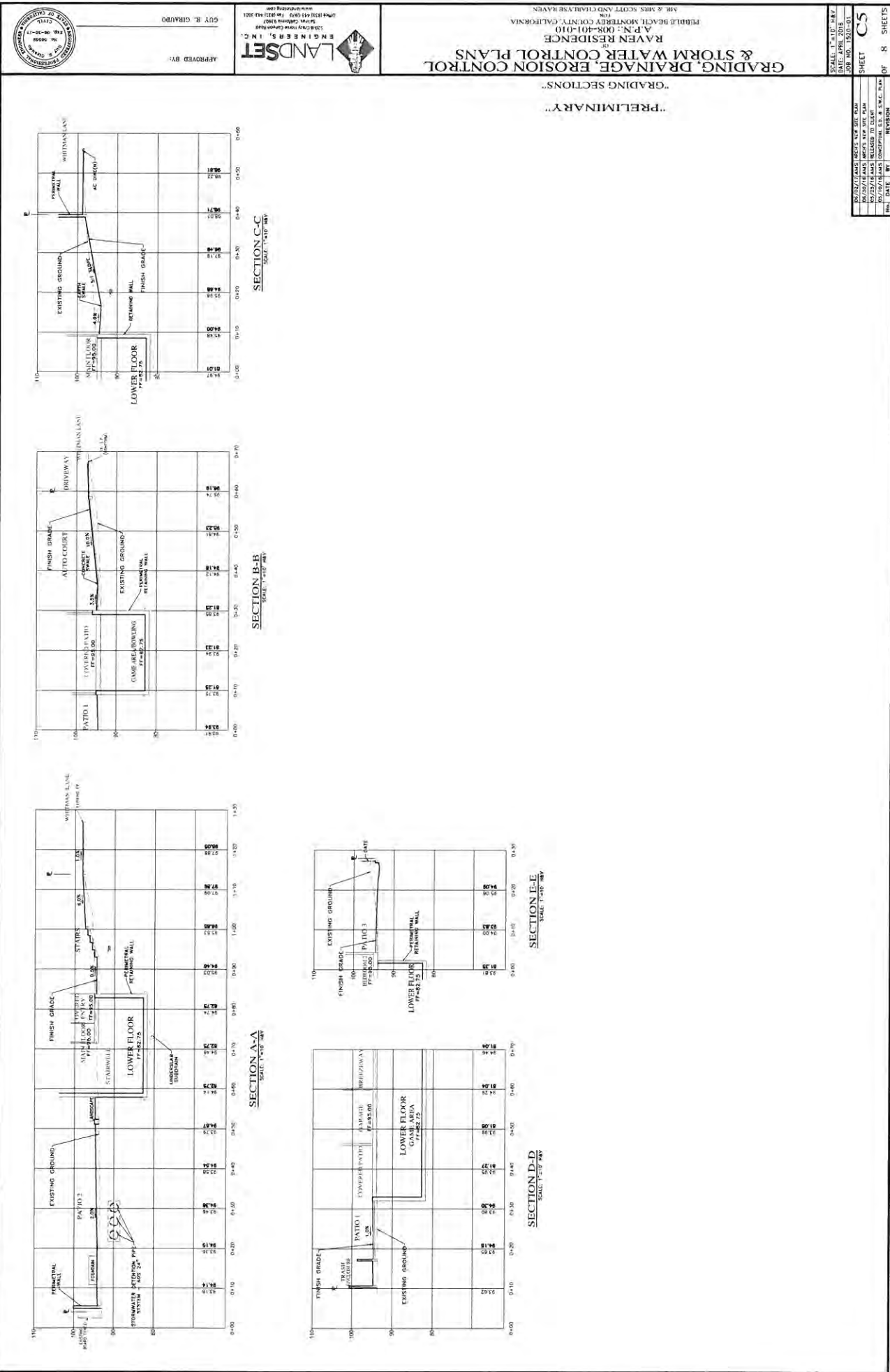
**RAVEN RESIDENCE**  
A.P.N.: 008-01-010  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA  
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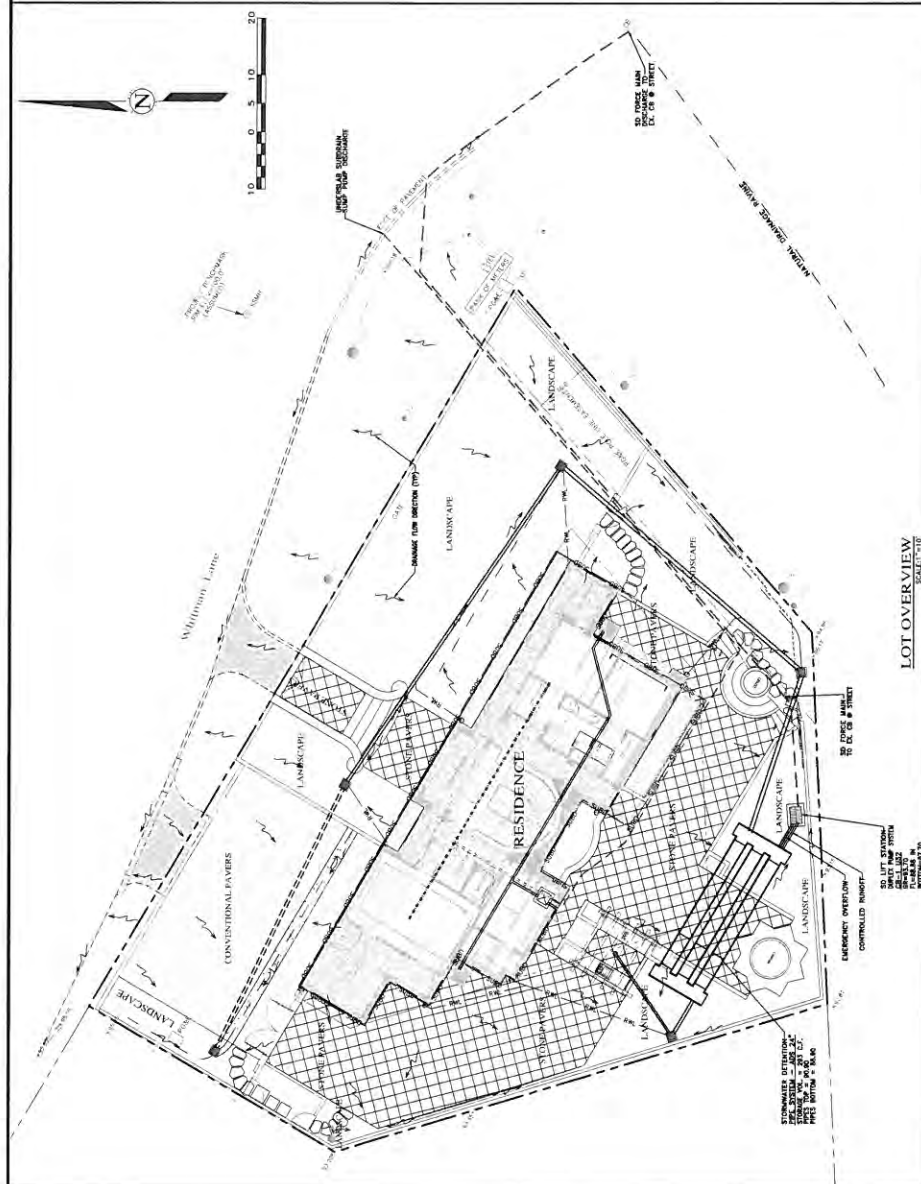
**LANDSET**  
ENGINEERS & ARCHITECTS  
3200 Central Expressway, Suite 200  
San Jose, California 95128  
Phone: (415) 851-1000 Fax: (415) 851-1002  
www.landset.com

APPROVED BY: \_\_\_\_\_  
GUY R. CRAVINO



SCALE: AS SHOWN	SHEET <b>C4</b>	OF 8 SHEETS
JOB NO. 1820-01		
REVISED/ISSUED BY: [Signature]		
REVISED/ISSUED DATE: [Date]		





**"PRELIMINARY"**

**GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS**

RAVEN RESIDENCE  
A.P.N. 008-401-010  
PENINSULA MOUNTAIN COUNTY, CALIFORNIA  
MR & MRS SCOTT AND CHARLENE RAVEN

DATE: APR 15, 2021  
JOB NO.: 1920-01

SHEET C6-SW  
OF 8 SHEETS

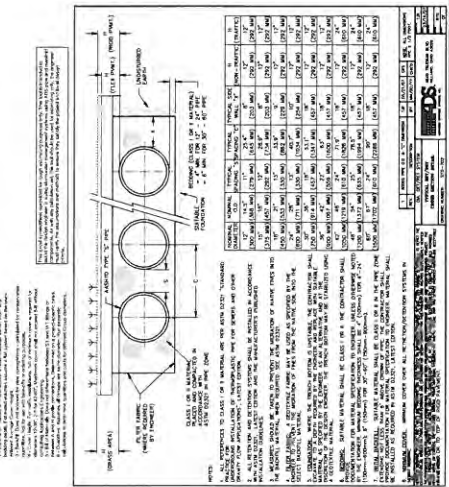
Category	Area (sq. ft.)	Area (Ac.)
TOTAL LOT AREA	11,399 sq. ft.	0.2617 Ac.
IMPERVIOUS POST-DEVELOPED AREA	6,042 sq. ft.	0.1389 Ac.
IMPERVIOUS POST-DEVELOPED AREA	5,357 sq. ft.	0.1218 Ac.
IMPERVIOUS POST-DEVELOPED AREA	6,042 sq. ft.	0.1389 Ac.

Flow Path	Area (sq. ft.)	Area (Ac.)	Runoff Coeff. (C)	Peak Flow (cfs)
Building - Roof	2,130	0.048	0.90	1.2
Building - Paved	1,150	0.026	0.90	1.5
Paved - Concrete	2,449	0.056	0.90	3.3
Impervious - Paved	5,729	0.130	0.90	7.9
Impervious - Grass	6,042	0.1389	0.15	0.8
Impervious - Paved	1,150	0.026	0.90	1.5
Impervious - Concrete	2,449	0.056	0.90	3.3
<b>Total Peak Flow</b>	<b>15,000</b>	<b>0.341</b>	<b>0.40</b>	<b>12.8</b>

Area (Ac.)	C	Peak Flow (cfs)
0.1389	0.90	1.2
0.1218	0.90	1.5
0.1389	0.90	3.3
0.1218	0.90	7.9
0.1389	0.15	0.8
0.026	0.90	1.5
0.056	0.90	3.3
<b>Total</b>	<b>0.40</b>	<b>12.8</b>

Station	Inlet	Outlet	Depth	Flow
1	1+00	1+10	1.5	12.8
2	1+10	1+20	1.5	12.8
3	1+20	1+30	1.5	12.8
4	1+30	1+40	1.5	12.8
5	1+40	1+50	1.5	12.8



**FIGURES FROM SHEET C5-RES  
PRODUCT SELECTION AND  
SPECIFICATION DRAWING**

Material	Description	Notes
1	CONCRETE	FOR ALL STRUCTURES
2	STEEL	FOR ALL STRUCTURES
3	ASPHALT	FOR ALL PAVEMENTS
4	GRAVEL	FOR ALL SUBGRADES
5	GEOTEXTILE	FOR ALL SLOPES
6	EROSION CONTROL	FOR ALL SLOPES
7	LANDSCAPE	FOR ALL AREAS

**LANDSET ENGINEERS, INC.**

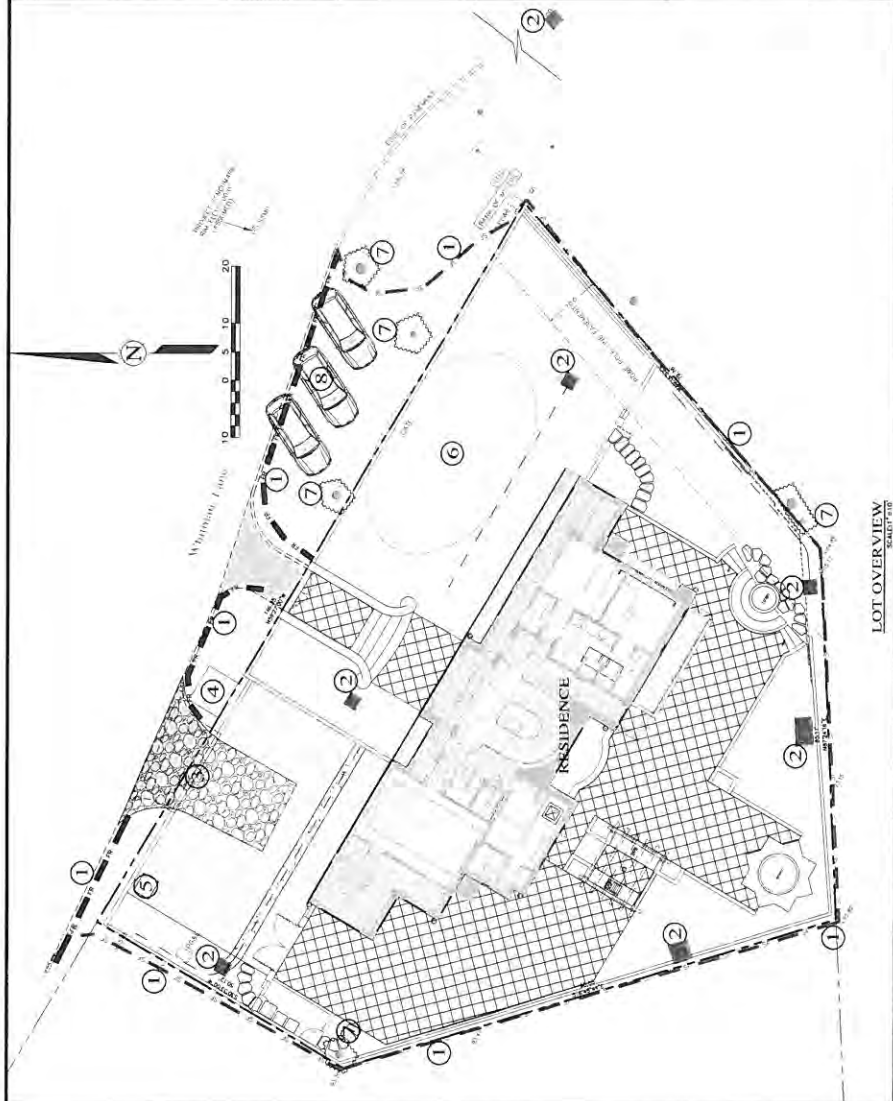
APPROVED BY: CUY R. CIRAUDO

DATE: APR 15, 2021

**DEL MONTE FOREST LAND USE PLAN**

CONCEPTUAL C.S. 8, S.W.C. PLAN





**CONSTRUCTION MANAGEMENT NOTES:**

1. USE OF ALL SITES SHALL BE IN ACCORDANCE WITH THE CITY OF SAN JOSE CONSTRUCTION MANAGEMENT PLAN.
2. STORM DRAINAGE SHALL BE INSTALLED AND TESTED PRIOR TO THE START OF CONSTRUCTION.
3. ALL EXISTING UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
4. ALL EXISTING UTILITIES SHALL BE PROTECTED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
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8. ALL EXISTING UTILITIES SHALL BE PROTECTED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.

**LEGEND: (SEE S.F. SHEETS FOR C.C., U.S. PLANS 304 & 305)**

1. TREE MULL AND/OR SET BACK, MINIMAL (TYP. 10' MIN.) AT NOSE
2. TREE PROTECTION USE BRACKET/HARD BARR.
3. STABILIZED CONSTRUCTION ENTRANCE
4. CONCRETE NIGHTMARE FACILITY
5. PORTABLE SANITATION FACILITY
6. TEMPORARY STORAGE AREA
7. TREE PROTECTION
8. EMPLOYEE PARKING AREA

**NOTES**

1. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN AN APPROVED CONSTRUCTION MANAGEMENT PLAN FROM THE CITY OF SAN JOSE.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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APPROVED BY: **CITY R. CIRALUDO**

LANDSET ENGINEERS, INC.  
10000 S. DEER CANYON ROAD, SUITE 100, SAN ANTONIO, TEXAS 78249  
TEL: 214-480-1111 FAX: 214-480-1112  
www.landset.com

**SE-1** Site Erosion

**SE-5** Storm Drain Joint Protection

**SE-10** Storm Drain Joint Protection

**WM-1** Material Delivery and Storage

**WM-5** Solid Waste Management

**WM-6** Solid Waste Management

**WM-7** Solid Waste Management

**WM-8** Solid Waste Management

**WM-9** Solid Waste Management

**WM-10** Solid Waste Management

**WM-11** Solid Waste Management

**WM-12** Solid Waste Management

**WM-13** Solid Waste Management

**WM-14** Solid Waste Management

**WM-15** Solid Waste Management

**WM-16** Solid Waste Management

**WM-17** Solid Waste Management

**WM-18** Solid Waste Management

**WM-19** Solid Waste Management

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**WM-43** Solid Waste Management

**WM-44** Solid Waste Management

**WM-45** Solid Waste Management

**WM-46** Solid Waste Management

**WM-47** Solid Waste Management

**WM-48** Solid Waste Management

**WM-49** Solid Waste Management

**WM-50** Solid Waste Management

**GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS**

**RAVEN RESIDENCE**

**A.P.N. 008-401-010**

**PERDUE BEACH, MONTEREY COUNTY, CALIFORNIA**

**MRS. A. MRS. SCOTT AND CHARLES RAVEN**

**"EROSION CONTROL PLAN"**

**"PRELIMINARY"**

**WM-1** Material Delivery and Storage

**WM-5** Solid Waste Management

**WM-6** Solid Waste Management

**WM-7** Solid Waste Management

**WM-8** Solid Waste Management

**WM-9** Solid Waste Management

**WM-10** Solid Waste Management

**WM-11** Solid Waste Management

**WM-12** Solid Waste Management

**WM-13** Solid Waste Management

**WM-14** Solid Waste Management

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**WM-39** Solid Waste Management

**WM-40** Solid Waste Management

**WM-41** Solid Waste Management

**WM-42** Solid Waste Management

**WM-43** Solid Waste Management

**WM-44** Solid Waste Management

**WM-45** Solid Waste Management

**WM-46** Solid Waste Management

**WM-47** Solid Waste Management

**WM-48** Solid Waste Management

**WM-49** Solid Waste Management


**WM-50** Solid Waste Management

NO.	DATE	BY	REVISION
1			
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DATE OF ISSUE: 08/14/2018  
DATE OF REVISION: 08/14/2018  
JOB NO.: 1820-01  
SHEET: **C7-EC**  
OF: 8 SHEETS

REVISIONS:  
NO. DATE BY REVISION

18/07/2018 JAC'S NEW SHEET FOR  
18/07/2018 JAC'S NEW SHEET FOR  
18/07/2018 JAC'S NEW SHEET FOR  
18/07/2018 JAC'S NEW SHEET FOR



APPROVED BY:  
GUY R. GRAUB



**LANDSET**  
ENGINEERS, INC.

2500 RIVER STREET  
SANTA CLARA, CALIFORNIA 95050  
PHONE (408) 253-1311 FAX (408) 253-1312  
www.landset.com

MR. & MRS. SCOTT AND CHARLES RAVEN  
7700  
RAVEN RESIDENCE  
A.P.N.: 008-001-010  
THREE BEACH MONTEREY COUNTY, CALIFORNIA

**GRADING, DRAINAGE, EROSION CONTROL  
& STORM WATER CONTROL PLANS**

"EROSION CONTROL PLAN"  
"PRELIMINARY"

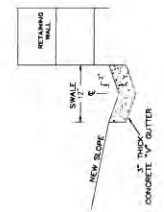
SCALE AS SHOWN  
JOB NO. 1820-01

SHEET **C8** OF 8 SHEETS

REVISED	DATE	BY	REVISION
18/07/21	11/20	MR. SCOTT	ISSUE FOR PERMITS
18/07/21	11/20	MR. SCOTT	ISSUE FOR PERMITS
18/07/21	11/20	MR. SCOTT	ISSUE FOR PERMITS

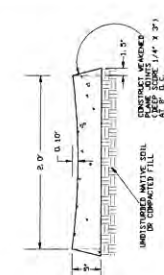
**12" CONCRETE SWALE**  
NOT TO SCALE



**12" CONCRETE SWALE**  
NOT TO SCALE

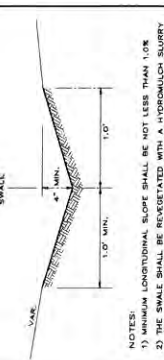
**24" CONCRETE SWALE**  
NOT TO SCALE



**24" CONCRETE SWALE**  
NOT TO SCALE

**EARTH SWALE**  
NOT TO SCALE

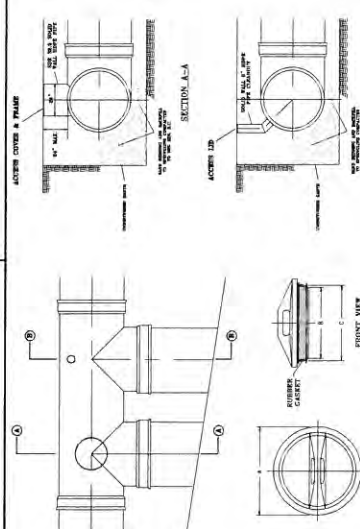


**NOTES:**  
1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0%  
2) THE SWALE SHALL BE ROCKETED WITH A HYDROMULCH SLURRY  
3) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY  
EXCESSIVE GROWTH AND/OR SALVATION

**EARTH SWALE**  
NOT TO SCALE

**UNDERGROUND DETENTION SYSTEM DETAILS**  
NOT TO SCALE



**UNDERGROUND DETENTION SYSTEM DETAILS**  
NOT TO SCALE



**Michelle Comeau  
Landscape Design**

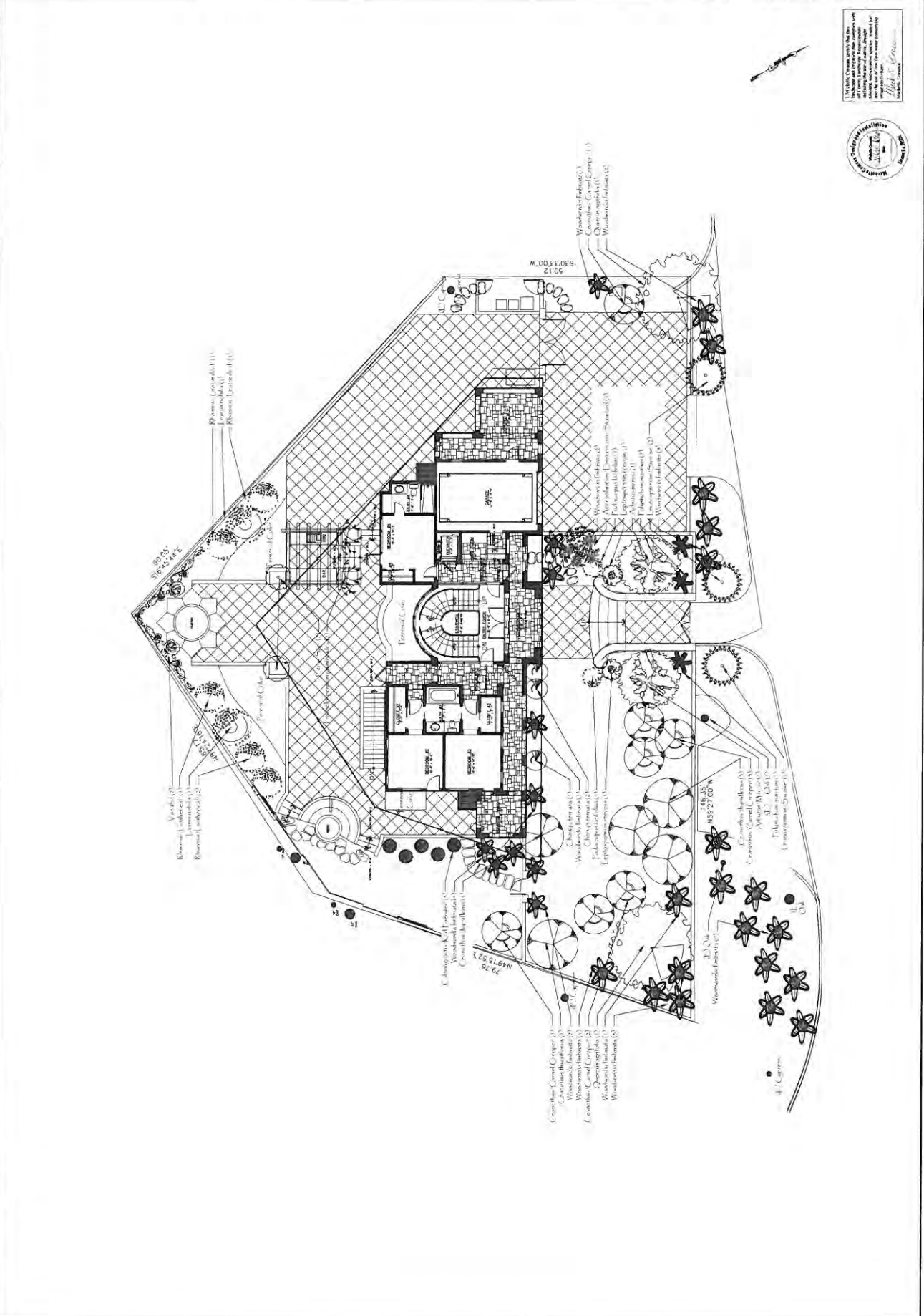
**Installation**  
 P.O. Box 572  
 Canal, CA 94541  
 P (916) 462-2111  
 F (916) 462-2104  
 m@nichellecomeau.com

Raven Residence  
 1713 Whitman Lane  
 Folsom, CA 95630

Landscape Plan Prepared For

Sheet Title	Planting Plan
Date	5.8.17
Scale	1/8" = 1'-0"
Drawn By	GM
Revised	

Sheet L-1  
 of 3



1. ALL PLANTS AND MATERIALS TO BE USED IN THIS PROJECT SHALL BE OF THE HIGHEST QUALITY AND SHALL BE AVAILABLE AT THE TIME OF INSTALLATION. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

**Michelle Comeau Landscape Design**  
 5727  
 916.462.2111  
 m@nichellecomeau.com





**Michelle Comeau**  
Landscape Design

**Installation**  
T.O. Poir 412  
Crest Co. #122  
P: 415-222-0111  
F: 415-222-0105  
www.michellecomeau.com

Rosen Residence  
1521 Whittman Lane  
Folsom Beach, Ca

Landscape Plan Prepared For:

Sheet Title:  
Lighting &  
Irrigation

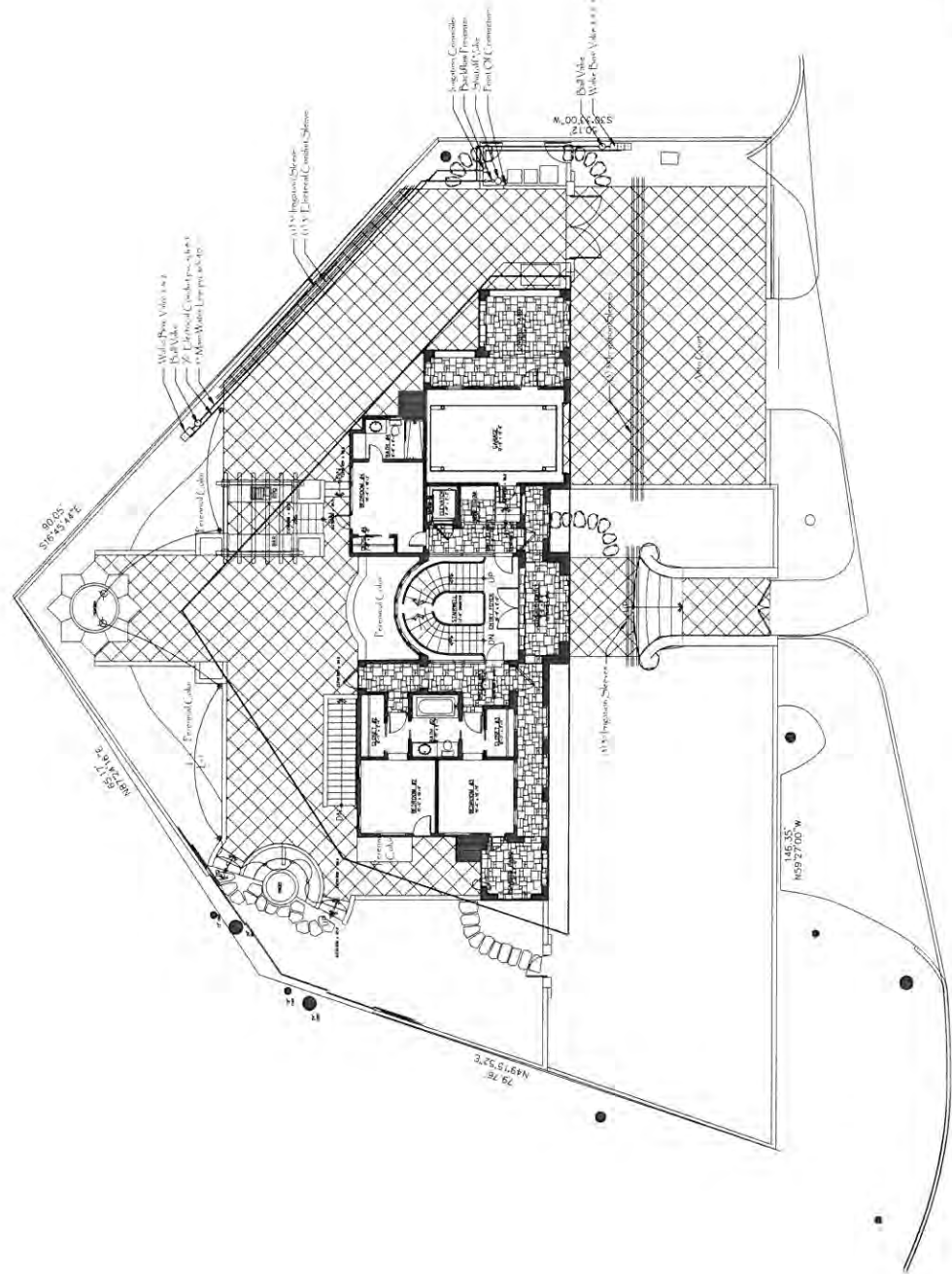
Date: 4.8.17

Scale: 1/8" = 1'-0"

Drawn By: G.M

Revised:

Sheet: L2  
of: 5





**MICHELLE COMEAU**  
NURSERY PLANTS & INSTALLATION  
P.O. BOX 57 • CARMEL, CA 95021  
531.680.0114 • FAX 531.680.0106  
LICENSE NO. 8528

**Raven Plant List**

QTY	Size	Botanical Name	Common Name
1	12" sqft	Fragaria spp.	Strawberry
1	24"	Acer Fraxinifolius	Japanese Maple
2	24"	Abutilon Mammosum	Minimo Strawberry Tree
7	5g	Calamagrostis Canadensis	Father Road Grass
3	5g	Conoclinium Gorgosolens	California Blue
5	5g	Conoclinium Gorgosolens	Low Blue Blossom
2	15g	Chenopodium album	Mexican Mock Orange
2	15g	Chenopodium album	China Tree
2	15g	Lonicera caerulea	Sweet Bay
2	5g	Leptocarpum reticulatum	Dwarf Tea Tree
5	5g	Leucospermum umbratum	Procrumbon
2	15g	Feddesia stipularis	Boat-leaved Yellowwood
3	5g	Fuchsia procumbens	Western Snow Fern
2	24"	Quercus agrifolia	Coast Live Oak
3	15g	Rhamnus californica	Leatherleaf Coffeeberry
2	5g	Trochodendron araliifolium	Star Jasmine
2	5g	Viburnum chinensis	China Tree
24	5g	Woodwardia radicans	Great Chain Fern

**WILKINS** Model 19 FXL  
SPECIALIZATION SUBMITTAL SHEET

**REQUIREMENTS:**

- 1. All electrical work must be done in accordance with the National Electrical Code (NEC) and all applicable local codes.
- 2. All electrical work must be done in accordance with the California Electrical Code (CEC) and all applicable local codes.
- 3. All electrical work must be done in accordance with the International Building Code (IBC) and all applicable local codes.
- 4. All electrical work must be done in accordance with the International Fire Code (IFC) and all applicable local codes.
- 5. All electrical work must be done in accordance with the International Mechanical Code (IMC) and all applicable local codes.
- 6. All electrical work must be done in accordance with the International Plumbing Code (IPC) and all applicable local codes.
- 7. All electrical work must be done in accordance with the International Fuel Gas Code (IFGC) and all applicable local codes.
- 8. All electrical work must be done in accordance with the International Energy Conservation Code (IECC) and all applicable local codes.
- 9. All electrical work must be done in accordance with the International Existing Building Code (IEBC) and all applicable local codes.
- 10. All electrical work must be done in accordance with the International Building Code (IBC) and all applicable local codes.

**NOTES:**

1. All electrical work must be done in accordance with the National Electrical Code (NEC) and all applicable local codes.
2. All electrical work must be done in accordance with the California Electrical Code (CEC) and all applicable local codes.
3. All electrical work must be done in accordance with the International Building Code (IBC) and all applicable local codes.
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8. All electrical work must be done in accordance with the International Energy Conservation Code (IECC) and all applicable local codes.
9. All electrical work must be done in accordance with the International Existing Building Code (IEBC) and all applicable local codes.
10. All electrical work must be done in accordance with the International Building Code (IBC) and all applicable local codes.

**IRRIGATION PLAN**

CONTRACT NO. 18-091  
PROJECT NO. 18-091  
SHEET NO. 18-091-01

STATION	DATE	LOCATION
1	08/17/17	Point Start of Line
2	08/17/17	Point Start of Line
3	08/17/17	Point Start of Line
4	08/17/17	Point Start of Line
5	08/17/17	Point Start of Line
6	08/17/17	Point Start of Line
7	08/17/17	Point Start of Line

**REGULATION TABLE**

REGULATION TABLE

VALVE	DATE	LOCATION
1	08/17/17	Point Start of Line
2	08/17/17	Point Start of Line
3	08/17/17	Point Start of Line
4	08/17/17	Point Start of Line
5	08/17/17	Point Start of Line
6	08/17/17	Point Start of Line
7	08/17/17	Point Start of Line



**MICHELLE COMEAU**  
LANDSCAPE DESIGN  
&  
INSTALLATION  
P.O. BOX 57 • CARMEL, CA 95021  
531.680.0114 • FAX 531.680.0106  
LICENSE NO. 8528

Raven Residence  
521's Whittman Lane  
Pebble Beach, Ca

**Lighting Legend**

SYMBOLS:  
 □ FX Transformer (SW)  
 ○ FX Transformer (SW)  
 ⊗ FX Transformer (SW)  
 ⊕ FX Transformer (SW)

**TRANSFORMER SCHEDULE**

TRANS	QTY	Notes
1	1	FX MORD
2	1	FX MORD
3	1	FX MORD

**Lighting Fixtures**

FX-J5  
FX-MORD  
FX-JL

**NOTES:**

1. All electrical work must be done in accordance with the National Electrical Code (NEC) and all applicable local codes.
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10. All electrical work must be done in accordance with the International Building Code (IBC) and all applicable local codes.

**MAWA Calculations**

1. To Annual Peak Reference Impedance (Z<sub>ref</sub>)  
 Z<sub>ref</sub> = Z<sub>0</sub> / (1 + 0.0001 \* Z<sub>0</sub>)  
 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

2. To Annual Peak Reference Impedance (Z<sub>ref</sub>)  
 Z<sub>ref</sub> = Z<sub>0</sub> / (1 + 0.0001 \* Z<sub>0</sub>)  
 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

3. To Annual Peak Reference Impedance (Z<sub>ref</sub>)  
 Z<sub>ref</sub> = Z<sub>0</sub> / (1 + 0.0001 \* Z<sub>0</sub>)  
 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

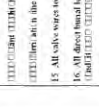
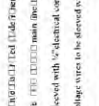
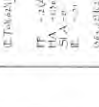
**EMC Calculations**

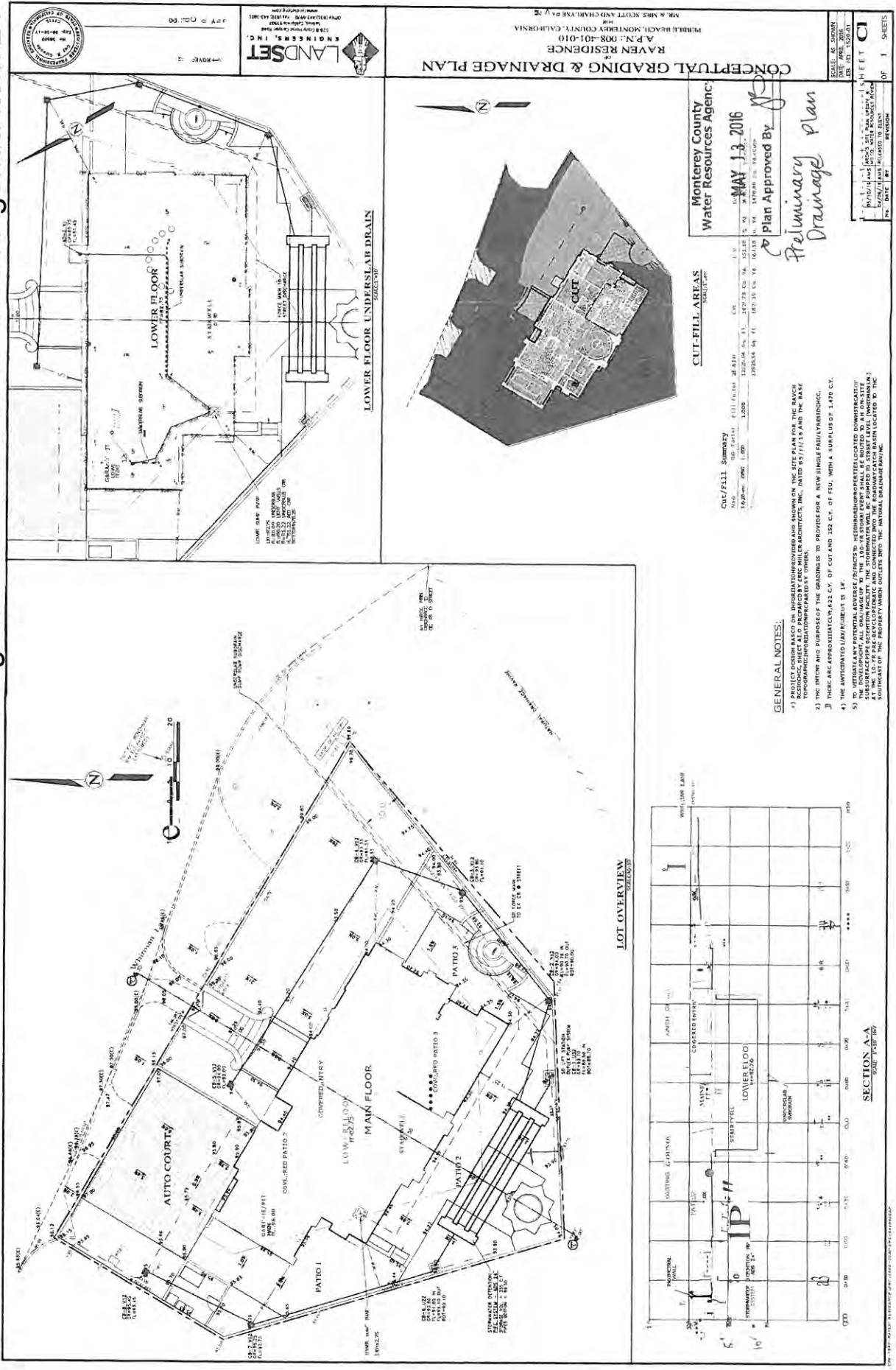
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 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

2. To Annual Peak Reference Impedance (Z<sub>ref</sub>)  
 Z<sub>ref</sub> = Z<sub>0</sub> / (1 + 0.0001 \* Z<sub>0</sub>)  
 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

3. To Annual Peak Reference Impedance (Z<sub>ref</sub>)  
 Z<sub>ref</sub> = Z<sub>0</sub> / (1 + 0.0001 \* Z<sub>0</sub>)  
 Z<sub>0</sub> = 50 Ohms  
 Z<sub>ref</sub> = 50 / (1 + 0.0001 \* 50) = 49.99 Ohms

Landscape Plan Prepared For  
 Sheet Title  
 Notes  
 Date: 8/17  
 Scale: Notes  
 Drawn By: CM  
 Revised:  
 Sheet L-5  
 of 5





**LANDSET ENGINEERS, INC.**  
 1500 CALIFORNIA STREET, SUITE 200  
 SAN JOSE, CALIFORNIA 95128  
 TEL: (408) 297-1111  
 FAX: (408) 297-1112  
 WWW.LANDSET.COM

**MONTEREY COUNTY WATER RESOURCES AGENCY**  
 1000 MONTEREY AVENUE, SUITE 100  
 MONTEREY, CALIFORNIA 93940  
 TEL: (831) 385-2000  
 FAX: (831) 385-2001  
 WWW.MCWRA.CA.GOV

**CONCEPTUAL GRADING & DRAINAGE PLAN**

RAVN RESIDENCE  
 A.P.N.: 008-01-010  
 MR. & MRS. SCOTT AND CHARLAINA RAVN

**CUT-FILL AREAS**  
 (shaded area)

**GENERAL NOTES:**

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RAVN RESIDENCE. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND PHOTOGRAPHS OF THE SITE TO VERIFY THE INFORMATION PROVIDED BY THE CLIENT.
- 2) THE INTENT AND PURPOSE OF THE GRADING IS TO PROVIDE FOR A NEW SINGLE-FAMILY RESIDENCE.
- 3) THESE ARE APPROXIMATE C.Y. OF CUT AND 152 C.Y. OF FILL, WITH A SURPLUS OF 1,470 C.Y.
- 4) THE ANTICIPATED LIFT/HEIGHT IS 14'.
- 5) TO MITIGATE POTENTIAL ADVERSE EFFECTS TO NEIGHBORHOODS/POTENTIALLY LOCATED CONTAMINATION, THE DEVELOPER SHALL INSTALL A 15'-0" VERTICAL WALL WITH A 15'-0" VERTICAL CURB AT THE 15'-0" VERTICAL CURB AND CONNECTED INTO THE ROADWAY CATCH BASIN LOCATED IN THE SURROUNDING PROPERTY UNDER CUTS AND THE NATURAL DRAINAGE DITCH.

**CUT/FILL SUMMARY**

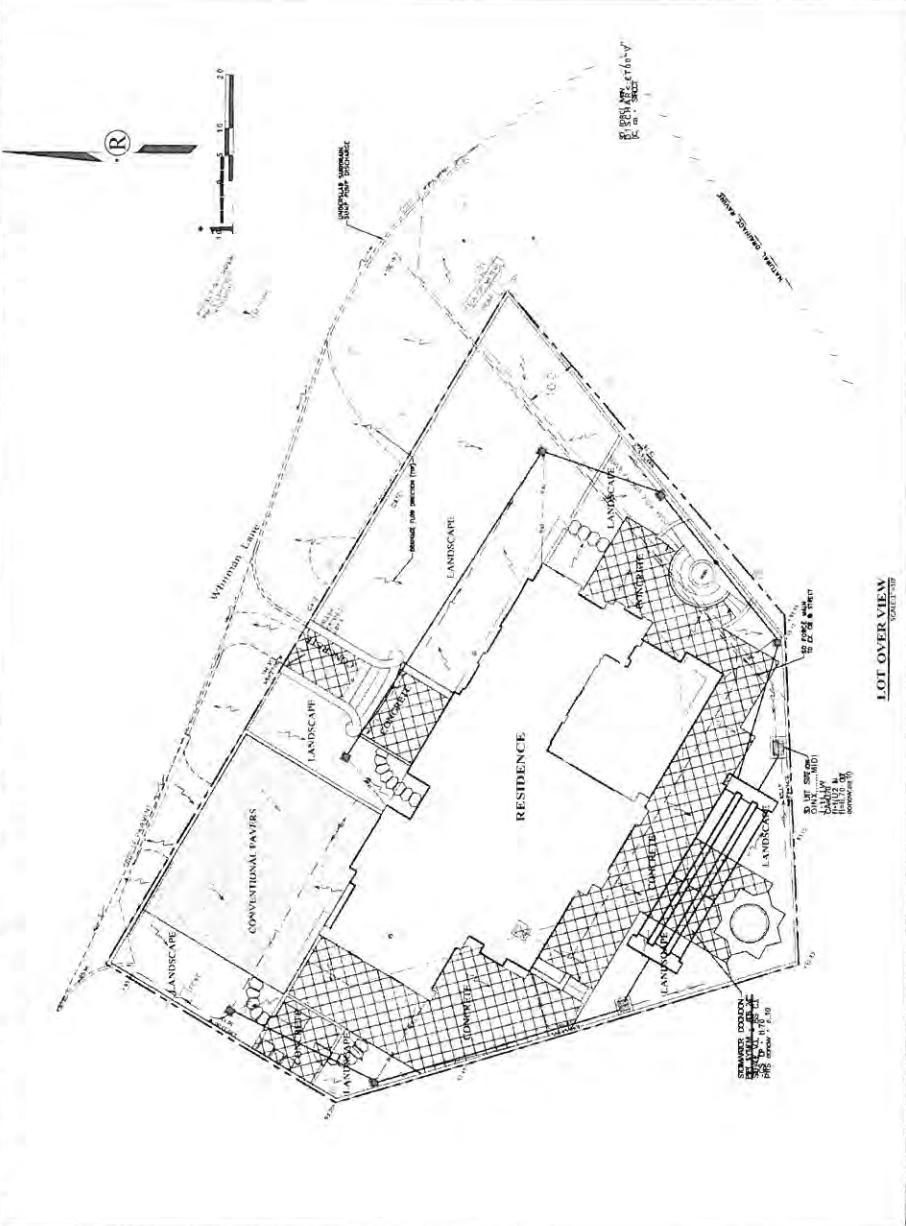
NO.	DESCRIPTION	CUT (C.Y.)	FILL (C.Y.)	TOTAL (C.Y.)
1	15'-0" VERTICAL WALL	152	0	152
2	15'-0" VERTICAL CURB	0	152	152
3	15'-0" VERTICAL CURB	0	152	152
4	15'-0" VERTICAL CURB	0	152	152
5	15'-0" VERTICAL CURB	0	152	152
6	15'-0" VERTICAL CURB	0	152	152
7	15'-0" VERTICAL CURB	0	152	152
8	15'-0" VERTICAL CURB	0	152	152
9	15'-0" VERTICAL CURB	0	152	152
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94	15'-0" VERTICAL CURB	0	152	152
95	15'-0" VERTICAL CURB	0	152	152
96	15'-0" VERTICAL CURB	0	152	152
97	15'-0" VERTICAL CURB	0	152	152
98	15'-0" VERTICAL CURB	0	152	152
99	15'-0" VERTICAL CURB	0	152	152
100	15'-0" VERTICAL CURB	0	152	152

**MONTEREY COUNTY WATER RESOURCES AGENCY**  
 Water Resources Agency  
 1000 MONTEREY AVENUE, SUITE 100  
 MONTEREY, CALIFORNIA 93940  
 TEL: (831) 385-2000  
 FAX: (831) 385-2001  
 WWW.MCWRA.CA.GOV

**Plan Approved By:** [Signature]  
 Preliminary Drainage Plan

SCALE: AS SHOWN  
 DATE: APR. 2016  
 JOB NO.: 18-091

OF 1 SHEETS



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDINANCES OR POLICES OF THE CITY AND THE LOCAL PLANNING DEPARTMENT.
2. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THIS PLAN.
3. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREA AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THIS PLAN.
4. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREA AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THIS PLAN.
5. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREA AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THIS PLAN.

LOT OVERVIEW

<p>SEAL: AS SHOWN DATE: 11/15/11 SCALE: AS SHOWN SHEET: SW1 OF 1 SHEETS</p>	<p>CONCEPTUAL STORM WATER CONTROL PLAN RAVEN RESIDENCE A.P.N. 008-010-010 MR &amp; MRS. SCOTT AND CHARLSE BRAVEN</p>	<p>CLY R. GIKSLIBO REGISTERED PROFESSIONAL ENGINEER LANDSET ENGINEERS, INC. 5860 RAYBURN DRIVE SUITE 100 DUBLIN, CA 94568 TEL: 925-885-1000</p>
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**TOTAL LOT AREA**  
11,330 SQ.FT. = 0.2417 AC.

**PREVIOUS POST-DEVELOPED AREA** 4,388 SQ.FT.

**IMPERVIOUS POST-DEVELOPED AREA** 1,038 SQ.FT.

**IMPERVIOUS POST-DEVELOPED AREA**  
7,330 SQ.FT.

**BUILDING - ROOF** 2405 SQ.FT.

**AUTOCOURT - PAVED** 1,118 SQ.FT.

**PAVES - CONCRETE** 2,970 SQ.FT.

**100-YR RAVEN RESIDENCE - 10 YR PPH Development Post Flow Ratio**

Area	Area (sq. ft.)	Runoff Coefficient (C)	Runoff Rate (in/hr)	Peak Flow (cfs)	Volume (cu ft)
Roof	2405	0.95	3.6	8.0	1920
Autocourt	1118	0.85	3.2	3.6	864
Concrete	2970	0.85	3.2	12.0	2880
Total	6493			23.6	5664

**100-YR POST-DEVELOPMENT PEAK FLOW RATE (MODIFIED RATIONAL METHOD)**

PEAK FLOW RATE (cfs): 146.00

**Primary drainage plan**

The primary drainage plan shows the stormwater flow paths from the residence and surrounding areas. It includes a network of stormwater pipes and structures, such as catch basins and manholes. The plan also shows the location of the residence and the surrounding landscape.

NO.	DATE	BY	REVISION
1	11/15/11	CLY R. GIKSLIBO	ISSUED FOR PERMIT