

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

TIMBER RIDGE PRESERVE LLC (PLN230310)

RESOLUTION NO. 25 -034

Resolution by the Monterey County Planning
Commission:

- 1) Considering an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164;
- 2) Approving a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval for a 3,870 square foot single family dwelling with a 977 square foot garage;
 - b. Use Permit to allow the removal of 28 protected trees (22 Valley Oaks & 6 Coastal Oaks); and
 - c. Use Permit for development on slopes in excess of 30%.

[PLN230310, Timber Ridge Preserve LLC, 40 Arroyo Sequoia, Carmel (Santa Lucia Preserve – Lot 115), Greater Monterey Peninsula Area Plan (Assessor's Parcel Number: 239-091-040-000)]

CORRECTED

October 21, 2025.

(This resolution corrects the previous resolution
mailed on September 24, 2025.)

The TIMBER RIDGE PRESERVE LLC application (PLN230310) came on for a public hearing before the Monterey County Planning Commission on September 24, 2025.

Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- The 2010 Monterey County General Plan;
- Greater Monterey Peninsula Area Plan; and
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The 38.7-acre parcel is located at 40 Arroyo Sequoia, Carmel, (Assessor's Parcel Number 239-091-040-000), Santa Lucia Preserve Phase B (Lot 115) - within the Greater Monterey Peninsula Plan area. The parcel is zoned Resource Conservation with a maximum gross density of one unit/40 acres with Design Control and Site Plan Review overlays ("RC/40-D-S"), which allows one single family dwelling per legal lot of record. The project is a Combined Development Permit consisting of an Administrative Permit and Design Approval to allow the construction of a 4,847 square foot single family dwelling with an 1,142 square foot garage and associated site improvements, a Use Permit to allow development on slopes in excess of 30 percent and a Use Permit for removal of 28 protected oak trees. Grading consists of approximately 880 cubic yards of cut and 515 cubic yards of fill. Therefore, the project is an allowed use for this site.
- c) Lot Legality. The property is shown in its current configuration as Lot 115 on the map of Tract No. 1333 "Santa Lucia Preserve Phase B," filed for record December 7, 1999, in Volume 20 of Maps, "Cities and Towns," at Page 33, Official Records of Monterey County, California. Therefore, the County recognizes the parcel as a legal lot of record.
- d) Development Standards. The proposed structure is located within the "homeland boundary" (designated building envelope) on the property. The development standards for the RC zoning district are identified in Title 21 Section 21.36.060. Required setbacks for main dwellings are 30 feet - front, and 20 feet – side and rear. As proposed, the split-level single-family dwelling would be over 170-feet from the nearest property line. The maximum allowed height is 30 feet, while the height of the single-family dwelling would be 27 feet 2 inches above average natural grade.
- e) Site Coverage. Pursuant to Title 21 Section 21.36.060.E, the maximum allowed site coverage is 25 percent. The property is 38.7-acres, or approximately 1,683,947 square feet, which allows site coverage of 420,987 square feet. The structural site coverage proposed is 4,397 square feet (.3%) while the total site coverage (including decks, patios, asphalt driveway, walkways and auto court) is 20,018 square feet (1.2%). Thus, the project coverage is within the maximum thresholds allowed.
- f) Design/Neighborhood and Community Character. Pursuant to Title 21 Chapter 21.44, the project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 3 and supporting evidence, the new single-family dwelling with attached garage is consistent with the purpose and regulations of the Design Control District.
- g) Site Plan Review. The property is subject to the Site Plan Review "S" overlay zoning district, which provides regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. The development is restricted to the designated "homeland boundary" and has been appropriately sited to minimize impact to slopes in excess of 30 percent and to minimize removal of protected trees. A fuel management plan (LIB240081) was included in the application which

provides measures for maintaining vegetation surrounding the home in order to reduce fire hazards. A geotechnical report (LIB240066) was prepared for the project which analyzed the soil conditions of the site and determined that they are suitable for the proposed development. A condition of approval is included (#10 – “Notice of Report”) requiring that the recommendations contained in both of these documents are complied with.

- h) Land Use Advisory Committee (LUAC) Review. The proposed project did not require referral to a Land Use Advisory Committee (LUAC) as it is not located within a LUAC review boundary, pursuant to the Board of Supervisors' adopted LUAC Guidelines. Further, the project site is visible from other areas within the Preserve, and in accordance with the related Covenants, Conditions and Restrictions, the project has been reviewed and approved by the Santa Lucia Preserve Design Review Board.
- i) The project planner conducted a site inspection on August 20, 2025, to verify that the project on the subject parcel conforms to the plans submitted.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District (FPD). County staff has reviewed the application materials and plans to verify that the project conforms to the applicable plans and regulations, and there has been no indications that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts regarding biological and tree resources, soils, and fuel management within a designated “very high” Fire Hazard Zone. The following reports have been prepared:

- "Fischell Residence Tree Resource Assessment and Management Plan" (Library No. LIB240065), prepared by Frank Ono on September 30, 2023
- "Lot 115 Fuel Management Plan" (LIB240081) prepared by Benjamin R. Eichorn on September 28, 2023.
- "Soil Engineering Investigation for the Fischell Residence" (LIB240066) prepared by Landset Engineers, August 2022"

County staff has independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on August 20, 2025, to verify that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

3. FINDING: **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on the private property.

- EVIDENCE:**
- a) Pursuant to Chapter 21.44 of Title 21 of the Monterey County Code (MCC), the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) Neighborhood Character. The proposed single-family dwelling is comparable in size and appearance to other dwellings in the vicinity. The project includes construction of a single-family dwelling on a vacant lot within the Santa Lucia Preserve. The project is compliant with all codified height, setback, coverage, and floor area limitations.
 - c) Design, Materials and Colors. The proposed exterior colors and materials are consistent with the area's setting and with the surrounding residences. The single-family dwelling is a low-profile split-level design which integrates with the hillside location. Proposed colors and materials include light-grey stucco walls, weathered copper roofing and dark bronze fixtures. Exterior lighting will consist of path lights and wall mount fixtures which comply with the Monterey County lighting policies. A condition of approval is included (#9) which requires "All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated, and off-site glare is fully controlled." The project also includes a formal landscape plan and fuel management plan. Site improvements consist of an asphalt driveway, concrete retaining walls, an auto court, planter boxes and patios to include an outdoor kitchen.
 - d) Visual Resources. The site was staked and flagged, and a site visit was conducted on August 20, 2025, to verify the visual integrity of the proposed development. The single-family dwelling would be situated amongst the existing mature Coast live oak trees on the property and is designed to be subordinate to the natural features of the area. The project site is not visible from Carmel Valley Road. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
 - e) The project planner conducted a site inspection on August 20, 2025, to verify that the project conforms to the plans submitted (**Exhibit C** of the September 24, 2025, Planning Commission Staff Report). Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character.

- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development as found in Project File PLN230310.

4. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional (FPD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. A letter from the Santa Lucia Community Services District (CSD) dated February 13, 2024, indicates “sufficient water flow and pressure” to serve the subject parcel. Sewer service is also confirmed – to be provided by the Santa Lucia Preserve wastewater reclamation facility.
 - c) The subject parcel is located within a State Responsibility Area classified with a “very high” fire hazard rating. Accordingly, the construction of the single-family dwelling is compliant with current fire and building code standards. The project also includes a Fuel Management Plan and a related condition of approval (#10) to ensure fire safety regulations are satisfied.
 - d) Staff conducted a site inspection on August 20, 2025, to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

5. **FINDING:** **DEVELOPMENT ON SLOPE** – There is no feasible alternative which would allow development to occur on slopes less than 30 percent and the development better meets the objectives of the 2010 General Plan and Greater Monterey Peninsula Area Plan than development alternatives.

- EVIDENCE:**
- a) Greater Monterey Peninsula Area Plan Policy GMP-1.6 establishes Rancho San Carlos (Santa Lucia Preserve) as a Special Treatment Area. Accordingly, development follows the policies of the Santa Lucia Preserve Comprehensive Plan which utilizes a threshold of 30 percent or greater to define steep slopes. The overall subject parcel is predominately (75%+) slopes in excess of 30 percent, and roughly half of the 2.7-acre homeland boundary is comprised of slopes in excess of 30 percent. The total proposed development area on slopes in excess of 30% is 2,056 square feet – with 1,277 square feet (approx. 62%) attributed solely to the new driveway. Given the sloped nature of the

parcel and the predominant existing vegetation, there is no feasible alternative building site on the subject property that better meets the goals, policies and objectives of the Monterey County General Plan and Greater Monterey Peninsula Area Plan.

- b) The project planner conducted a site inspection on August 20, 2025, to verify that the project minimizes development on slopes exceeding 30 percent, in accordance with the applicable goals, policies of the General Plan and Title 21.
- c) A geotechnical investigation (LIB240066) prepared for the project concludes that the site is suitable for the proposed development.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

6. FINDING: SANTA LUCIA PRESERVE SUBDIVISION (PHASE A, B and C): TREE REMOVAL – The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision.

EVIDENCE: a) The project proposes the removal of 28 oak trees:

- Coast live oak – 6, no landmark sized
- Valley oak – 22, one landmark sized (24”+) and six deceased trees

Tree replacement will be consistent with the replacement measures approved for the Santa Lucia Preserve, at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. Noting that the 6 deceased trees do not require replacement, the 21 living, non-landmark, oak trees will be replaced by 63 oaks (3:1) and the landmark tree will be replaced by 5 oaks – for 68 total replacement trees.

- b) A detailed Arborist Report (LIB240065) was prepared for this project. The project as originally proposed would have removed approximately 35 oak trees; however, the project has been redesigned to reduce removals to 28 trees.
- c) The project requires an addendum to the Santa Lucia Preserve EIR. Though the tree removal amount proposed exceeds what was approved for the individual lot, it is consistent with overall removals analyzed in the Santa Lucia Preserve EIR (Resolution No. 94-005).
- d) Pursuant to Title 21 Section 21.64.260, the project requires approval of a Use Permit for the removal of the oak trees. These removals require the making of a finding that the tree removal is the minimum required under the circumstances and that the removals will not involve a risk of adverse environmental impacts. The arborist report has identified 260 trees within the designated 2.7-acre homeland boundary building envelope – a density of nearly 100 trees per acre. Accordingly, development pertaining to a single family dwelling would require extensive tree removal. The applicant has re-designed the driveway to create an approach which is slightly longer than the initial design, but which also reduces the number of trees requiring removal. The project-specific “Tree Resource Assessment and Management Plan”

drafted by Frank Ono notes: *“The trees to be removed are in the driveway and building site. These removals are the minimum necessary for this design to succeed and do not pose a risk of substantial adverse impact on other valuable resources on the site. Areas of oaks are growing in a compacted stand, in need of thinning for reduced fuel load. The design maintains the existing 38+ acres of oak woodland environment and allows the woodland to continue to exist and regenerate over time.”*

- e) The County’s tree root protection condition was added to the project to prevent damage to the remaining oak trees on site during construction. Also, a condition of project approval has been applied which requires the applicant to submit evidence of tree replacement, as well as follow-up letter prepared by a County-approved tree consultant to confirm the long-term viability of the planted trees.
- f) The project is consistent with Title 21 Section 21.64.260 of the Monterey County Zoning Ordinance, in that the project has been sited to require the least amount of tree removal under the circumstance while also avoiding additional adverse environmental impacts.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

7. FINDING: CEQA – (Addendum) – An Addendum to a previously certified EIR was prepared in accordance with CEQA Guidelines Section 15164 to reflect changes or additions in a project that do not cause substantial changes and which do not present new information that would require major revisions to the certified EIR.

- EVIDENCE:**
- a) An Environmental Impact Report for the Santa Lucia Preserve Subdivision was prepared and certified by the Board of Supervisors February 6, 1996 (EIR #94-005/Resolution #96-059).
 - b) An Addendum to the Environmental Impact Report for the Santa Lucia Preserve Subdivision was prepared for this project pursuant to CEQA Guidelines Section 15164 (*Addendum to an EIR or Negative Declaration* – Exhibit J of the September 24, 2025 staff report).
 - c) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the lead agency determines that substantial changes are proposed which require major revisions to the previous EIR, or if newly acquired information indicates that the prior EIR may be inadequate. In this case, no new information has been presented to warrant further environmental review. The proposed structures are within a designated building envelope, and the proposed tree removal is within the overall tree removal previously analyzed for the subdivision. Accordingly, none of the conditions detailed in Section 15162 requiring the preparation of a subsequent EIR or Negative Declaration have occurred.

- d) The Forest Management Plan prepared by Ralph Osterling for the Environmental Impact Report (EIR) in 1994 provided specific tree removal estimates for each lot created by the subdivision. The subject Lot (#115) had an estimated removal of 2 protected trees. The addendum was prepared to address impacts related to the removal of 26 additional protected trees for this project.
- e) The project proposes construction of a new 3,870 square foot single-family dwelling with attached 977 square foot garage, 1,171 square feet of exterior patios and decks, and a 3,467 square-foot auto court.
- f) The subject application requests the removal of 28 protected trees (Coast live oak and Valley oak) to accommodate construction. The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision. As part of the EIR, removal of 1,480 trees were contemplated for the subdivision Phases A-C (This project is within Phase B). To date, 724 trees have been approved for removal. As a whole, approximately 52.3% of the lots (133 of 254) in Phases A-C have been developed while allotted tree removals stand at approximately 48.9% (724 of 1480). The 28 trees proposed for removal for this project would represent an additional 1.9 percent of the total trees approved for removal within all of the homeland boundaries.
- g) Tree replacement will be consistent with replacement measures approved for the Santa Lucia Preserve, Potrero and Chamisal Subdivisions, at a ratio of 3:1 for non-landmark and 5:1 for landmark trees (24"+ in diameter). Accordingly, the 21 removed living oak trees will be replaced by 63 oaks (3:1) and the landmark tree will be replaced by 5 oaks (5:1) – for 68 total replacement trees. Deceased trees are not required to be replaced.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

8. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff conducted a site inspection on August 20, 2025, and reviewed Monterey County HCD-Planning and HCD-Building Services records. Staff is not aware of any violations existing on subject property.

b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning as found in Project File PLN230310.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Pursuant to Title 21 Section 21.80.050.A, an appeal of the Planning Commission's approval or denial for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Consider an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164;
2. Approve a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval for a 3,870 square foot single family dwelling with a 977 square foot garage;
 - b. Use Permit to allow the removal of 28 protected trees (22 Valley Oaks & 6 Coastal Oaks); and
 - c. Use Permit for development on slopes in excess of 30%.

All of which are in general conformance with the project plans and subject to the conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 24th day of September 2025, upon motion of Commissioner Gomez, seconded by Commissioner Hartzell, by the following vote:

AYES: Getzelman, Mendoza, Gomez, Hartzell, Gonzalez, Roberts, Work

NOES: None

ABSENT: Monsalve, Diehl, Shaw

ABSTAIN: None

DocuSigned by:

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Melanie Beretti, AICP, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **SEPTEMBER 24, 2025**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD'S OFFICE ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **OCTOBER 6, 2025**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230310

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation This Combined Development Permit (PLN230310) allows:

Monitoring Measure:

- a. Administrative Permit and Design Approval for a 3,870 square foot single family dwelling with a 977 square foot garage;
- b. Use Permit to allow the removal of 28 protected trees (22 Valley Oaks & 6 Coastal Oaks); and
- c. Use Permit to allow development on slopes in excess of 30%.

The property is located at 40 Arroyo Sequoia, Carmel, Santa Lucia Preserve - Phase B (Assessor's Parcel Number 239-091-040-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 25-034) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 239-091-040-000 on September 24, 2025. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring The Owner/Applicant shall adhere to this condition on an on-going basis.

Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD007- GRADING WINTER RESTRICTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of HCD - Building Services. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of HCD - Building Services Department to conduct land clearing or grading between October 15 and April 15.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued.

8. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

9. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

10. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"The following reports are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports:
- "Fischell Residence Tree Resource Assessment and Management Plan" (Library No. LIB240065), prepared by Frank Ono on September 30, 2023
- "Lot 115 Fuel Management Plan" (LIB240081) prepared by Benjamin R. Eichorn on September 28, 2023.
- "Soil Engineering Investigation for the Fischell Residence" (LIB240066) prepared by Landset Engineers, August 2022"
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

11. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio recommended by arborist: 3:1 for non-landmark and 5:1 for landmark trees (24"+ in diameter)
- Other: The 21 removed living oak trees will be replaced by 63 oaks (3:1) and the landmark tree will be replaced by 5 oaks – for 68 total replacement trees

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

12. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

13. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A project arborist/forester shall be retained and before the start of construction a meeting and training session shall be conducted to communicate and instruct personnel about tree removal, retention, and protection. The pre-construction meeting will include instructions on required tree protection and exclusionary fencing installation before grading, excavation, and construction procedures.

Meeting attendees shall include all involved parties such as site clearance personnel, construction managers, heavy equipment operators, and tree service operators. A Monterey County-qualified forester or County-qualified arborist shall conduct the training.

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. A list of the pre-construction meeting attendees and the materials discussed shall be provided to HCD-Planning prior to the commencement of any grading or tree removal.

14. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

15. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

16. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney 's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County County's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

FISCHELL MILLER RESIDENCE

40 Arroyo Sequoia - Santa Lucia Preserve Carmel, California 93923

PROJECT DATA			PROJECT INFORMATION		SHEET INDEX																																																																										
SETBACKS TO HOMELAND BOUNDARY <table><tr><td>RC/40-D-S</td><td>ALLOWED</td><td>PROPOSED</td></tr><tr><td>FRONT</td><td>30'-0"</td><td>248'-1"</td></tr><tr><td>SIDE - NORTH</td><td>20'-0"</td><td>172'-10"</td></tr><tr><td>SIDE - SOUTH</td><td>20'-0"</td><td>1314'-5"</td></tr><tr><td>SIDE - EAST</td><td>20'-0"</td><td>461'-2"</td></tr><tr><td>REAR - WEST</td><td>20'-0"</td><td>561'-1"</td></tr></table> <table><tr><td>BUILDING HEIGHT:</td><td>30'-0" MAX.</td><td>24'-5"</td></tr></table>			RC/40-D-S	ALLOWED	PROPOSED	FRONT	30'-0"	248'-1"	SIDE - NORTH	20'-0"	172'-10"	SIDE - SOUTH	20'-0"	1314'-5"	SIDE - EAST	20'-0"	461'-2"	REAR - WEST	20'-0"	561'-1"	BUILDING HEIGHT:	30'-0" MAX.	24'-5"	LOT DATA: <table><tr><td>LOT SIZE:</td><td>38.6581 ACRES (1,683,946.8 S.F.)</td></tr><tr><td>ZONING:</td><td>RC/40-D-S</td></tr><tr><td>BUILDING HEIGHT:</td><td>ALLOWABLE 30' MAX.</td></tr><tr><td>APN:</td><td>234-041-040-000</td></tr></table> BUILDING SITE COVERAGE <table><tr><td>BUILDING FOOTPRINT ALLOWED:</td><td>420,986.7 S.F. (25%)</td></tr><tr><td>PROPOSED:</td><td>4347 S.F. (3%)</td></tr></table> PROPOSED FLOOR AREA: <table><tr><td>LOWER LEVEL</td><td>1,721 S.F.</td></tr><tr><td>STAIRS</td><td>67 S.F.</td></tr><tr><td>LOWER TOTAL</td><td>1,788 S.F.</td></tr><tr><td>UPPER LEVEL</td><td>1,917 S.F.</td></tr><tr><td>MECHANICAL / STAIRS</td><td>165 S.F.</td></tr><tr><td>GARAGE</td><td>477 S.F.</td></tr><tr><td>UPPER TOTAL</td><td>3,059 S.F.</td></tr><tr><td>TOTAL FLOOR AREA</td><td>4,847 S.F.</td></tr></table> SITE COVERAGE IMPERVIOUS <table><tr><td>BUILDING FOOTPRINT</td><td>4347 S.F.</td></tr><tr><td>DRIVEWAY</td><td>5821 S.F.</td></tr><tr><td>AUTOCOURT / TRASH ENCLOSURE</td><td>3551 S.F.</td></tr><tr><td>SITE WALLS & RETAINING WALLS</td><td>495 S.F.</td></tr><tr><td>WALKWAY / STEPS / LANDINGS</td><td>442 S.F.</td></tr><tr><td>VIEW DECKS / PATIOS</td><td>1,711 S.F.</td></tr><tr><td>UTILITY ENCLOSURE</td><td>84 S.F.</td></tr><tr><td>SUB TOTAL IMPERVIOUS</td><td>16,551 S.F.</td></tr></table> SITE COVERAGE PERVIOUS <table><tr><td>AUTOCOURT</td><td>3,467 S.F.</td></tr><tr><td>SUB TOTAL PERVIOUS</td><td>3,467 S.F.</td></tr></table> TOTAL SITE COVERAGE <table><tr><td></td><td>20,018 S.F. (1.2%)</td></tr></table>		LOT SIZE:	38.6581 ACRES (1,683,946.8 S.F.)	ZONING:	RC/40-D-S	BUILDING HEIGHT:	ALLOWABLE 30' MAX.	APN:	234-041-040-000	BUILDING FOOTPRINT ALLOWED:	420,986.7 S.F. (25%)	PROPOSED:	4347 S.F. (3%)	LOWER LEVEL	1,721 S.F.	STAIRS	67 S.F.	LOWER TOTAL	1,788 S.F.	UPPER LEVEL	1,917 S.F.	MECHANICAL / STAIRS	165 S.F.	GARAGE	477 S.F.	UPPER TOTAL	3,059 S.F.	TOTAL FLOOR AREA	4,847 S.F.	BUILDING FOOTPRINT	4347 S.F.	DRIVEWAY	5821 S.F.	AUTOCOURT / TRASH ENCLOSURE	3551 S.F.	SITE WALLS & RETAINING WALLS	495 S.F.	WALKWAY / STEPS / LANDINGS	442 S.F.	VIEW DECKS / PATIOS	1,711 S.F.	UTILITY ENCLOSURE	84 S.F.	SUB TOTAL IMPERVIOUS	16,551 S.F.	AUTOCOURT	3,467 S.F.	SUB TOTAL PERVIOUS	3,467 S.F.		20,018 S.F. (1.2%)	OWNER: TIM FISCHELL 2348 SHEFFIELD DRIVE KALAMAZOO, MI 49008 ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: (831) 372-0410 CONTACT: CARLA HASHIMOTO ARBORIST: FRANK ONO 1213 MILES AVENUE PACIFIC GROVE, CA 93950 PH: (831) 373-1086 LAND SURVEYOR: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON SALINAS, CALIFORNIA 93907 PH: (831) 443-6410 CONTACT: GUY GIRAUDO LANDSCAPE: SEVEN SPRINGS STUDIO 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 PH: (831) 466-4617 CONTACT: SIMON PHILLIPS CIVIL ENGINEER: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON SALINAS, CALIFORNIA 93907 PH: (831) 443-6410 CONTACT: GUY GIRAUDO		ARCHITECTURAL: A-0.1 COVER SHEET I OF I TOPO SURVEY A-1.0 OVERALL SITE PLAN A-1.1 PROPOSED ENLARGED SITE PLAN A-1.2 PREVIOUS & PROPOSED ENLARGED SITE PLAN COMPARISON A-1.3 SLOPE ANALYSIS A-1.4 PROPOSED SITE SECTIONS A-2.1 PROPOSED FLOOR PLANS A-2.2 PROPOSED ROOF A-3.1 WEST & SOUTH ELEVATIONS A-3.2 EAST & NORTH ELEVATIONS A-T.1 MATERIAL SAMPLES A-T.2 RENDERINGS A-T.3 RENDERED ELEVATIONS A-T.4 RENDERED ELEVATIONS CIVIL: C1 COVER SHEET C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS C3 HOMELAND OVERVIEW C4 DRIVEWAY PLAN & PROFILE C5 GRADING, DRAINAGE & UTILITY PLAN C6 GRADING SECTIONS C7 STANDARD PLANS & CONSTRUCTION DETAILS C8 EROSION & SEDIMENT CONTROL PLANS C9 CONSTRUCTION MANAGEMENT PLAN LANDSCAPE: L-1.0 FUEL MANAGEMENT PLAN L-1.1 TREE REMOVAL PLAN L-1.2 TREE MITIGATION PLAN L-2.0 OVERALL SITE PLAN L-2.1 ENLARGED SITE PLAN L-2.2 SITE SECTIONS L-3.0 PLANTING PLAN L-4.0 IRRIGATION NOTES L-4.1 IRRIGATION PLAN L-4.2 IRRIGATION PLAN L-5.0 LIGHTING PLAN	
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COASTAL OAK - 6 VALLEY OAK - 22 DEAD TREES - 6 TOTAL: 28 TREES TO BE REMOVED			NEW SINGLE FAMILY DWELLING HAVING 4 BEDROOMS, 4 BATHS, 1 HALF BATH, & A 3-CAR GARAGE. THE DESIGN CONSISTS OF 3,705 S.F. OF LIVABLE SPACE, 1,711 S.F. OF DECKS / PATIOS & EXTERIOR BARBEQUE AREA, 477 S.F. OF GARAGE & UTILITY, AN ENCLOSED AUTO COURT, AND STONE PATHWAYS. IMMEDIATE LANDSCAPE FEATURES INCLUDE DESIGNATED PLANTING AREAS WITH 56 L.F. OF RETAINING WALLS OVER 6 FEET, 191 L.F. OF RETAINING WALLS UP TO 6 FEET, AND A 84 S.F. ENCLOSED UTILITY ENCLOSURE.																																																																												
OWNERSHIP NOTES			VICINITY MAP		COVER SHEET																																																																										
OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS: - TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER, HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS. - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE. - THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE. - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.					COVER SHEET JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 234-041-040-000 DATE: 4/29/2024 SCALE: N.T.S. DRAWN: JOB NUMBER: 21.23 A-0.1 SHEET OF																																																																										
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REVISIONNo.

CONSULTANT:

ARCHITECT

COVER SHEET

JOB NAME: Fischell Miller Residence
40 Arroyo Sequoia
Carmel, CA 93923
A.P.N. 234-041-040-000

DATE: 4/29/2024

SCALE: N.T.S.

DRAWN:

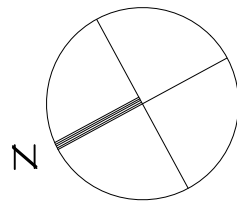
JOB NUMBER: 2123

A-0.1

SHEET OF

ERIC MILLER ARCHITECTS, INC.

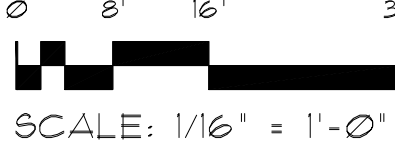
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

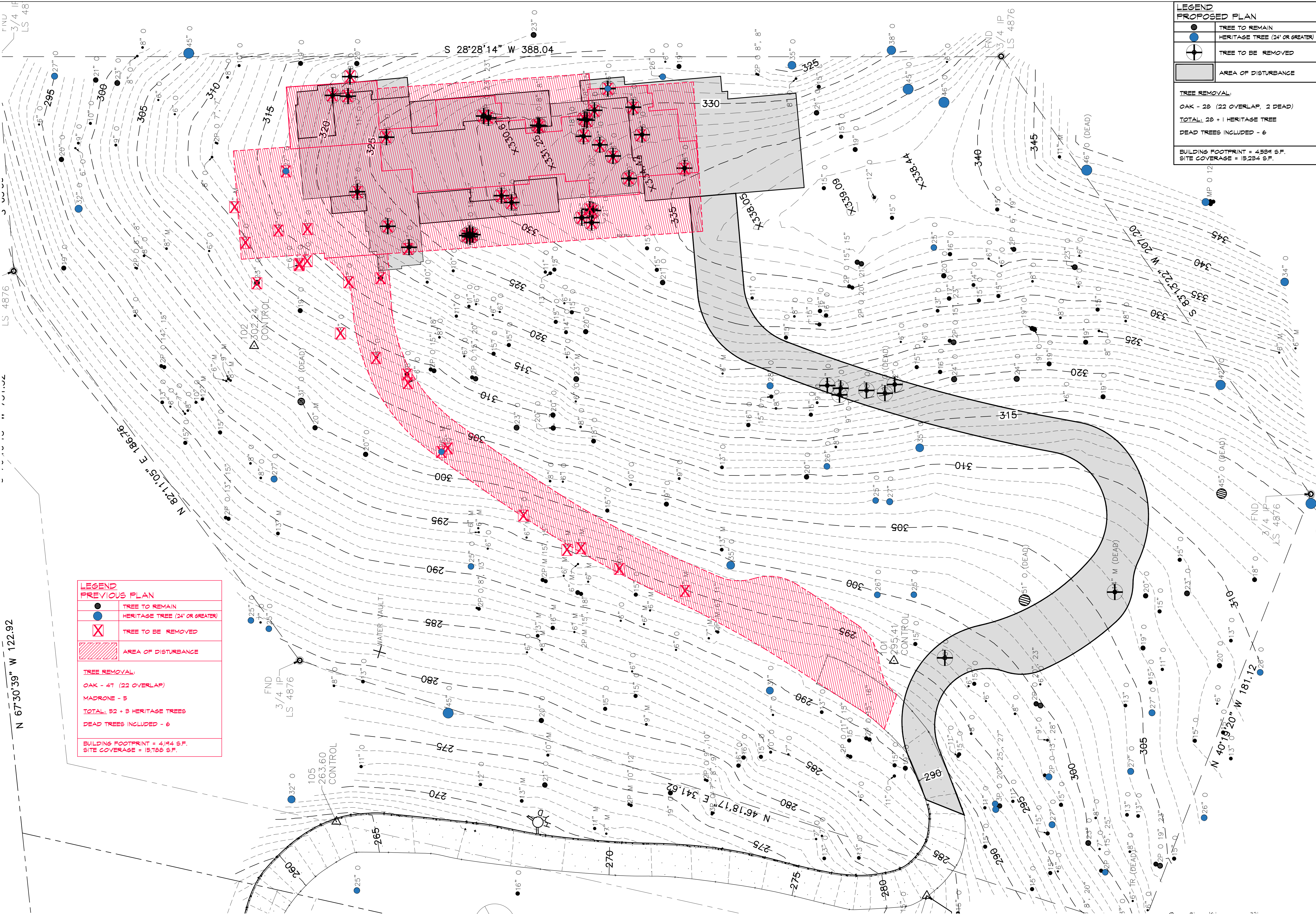


0 40' 80' 160'

SCALE: 1" = 80'-0"

OVERALL SITE PLAN		ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		REVISION No.	
DATE: 4/24/2024 SCALE: 1"=80' DRAWN: HRM JOB NUMBER: 21.23		ARCHITECT CONSULTANT:		JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93925 A.P.N. 239-091-040-000	
A-1.0 SHEET OF					

[illegible]



**LEGEND
PREVIOUS PLAN**

●	TREE TO REMAIN
●	HERITAGE TREE (24' OR GREATER)
✕	TREE TO BE REMOVED
▨	AREA OF DISTURBANCE

TREE REMOVAL:

OAK - 41 (22 OVERLAP)

MADRONE - 5

TOTAL: 52 + 3 HERITAGE TREES

DEAD TREES INCLUDED - 6

BUILDING FOOTPRINT = 4,144 S.F.

SITE COVERAGE = 15,728 S.F.

**LEGEND
PROPOSED PLAN**

●	TREE TO REMAIN
●	HERITAGE TREE (24' OR GREATER)
✕	TREE TO BE REMOVED
▨	AREA OF DISTURBANCE

TREE REMOVAL:

OAK - 28 (22 OVERLAP, 2 DEAD)

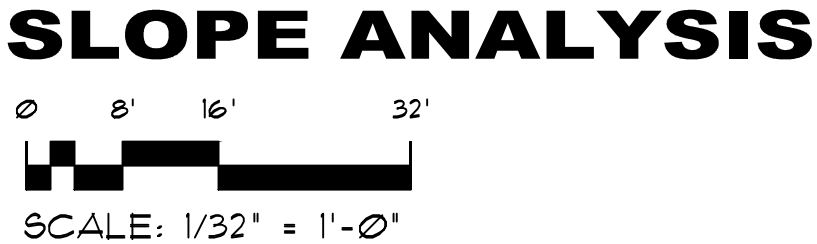
TOTAL: 28 + 1 HERITAGE TREE

DEAD TREES INCLUDED - 6

BUILDING FOOTPRINT = 4,594 S.F.

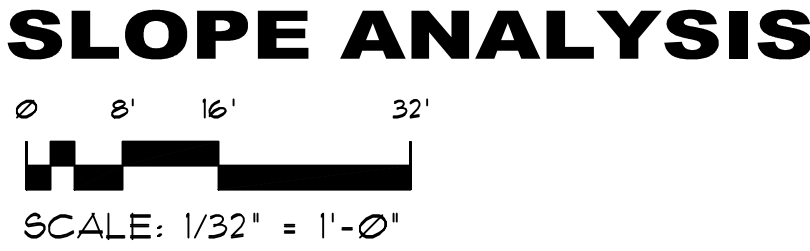
SITE COVERAGE = 15,234 S.F.

ARCHITECT		CONSULTANT:		REVISION	No.
ERIC MILLER ARCHITECTS, INC.		ERIC MILLER ARCHITECTS, INC.			
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com					
ENLARGED SITE COMPARISON					
JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000					
DATE: 4/29/2024					
SCALE: 1/16" = 1'-0"					
DRAWN: SSB					
JOB NUMBER: 2123					
A-1.2					
SHEET OF					



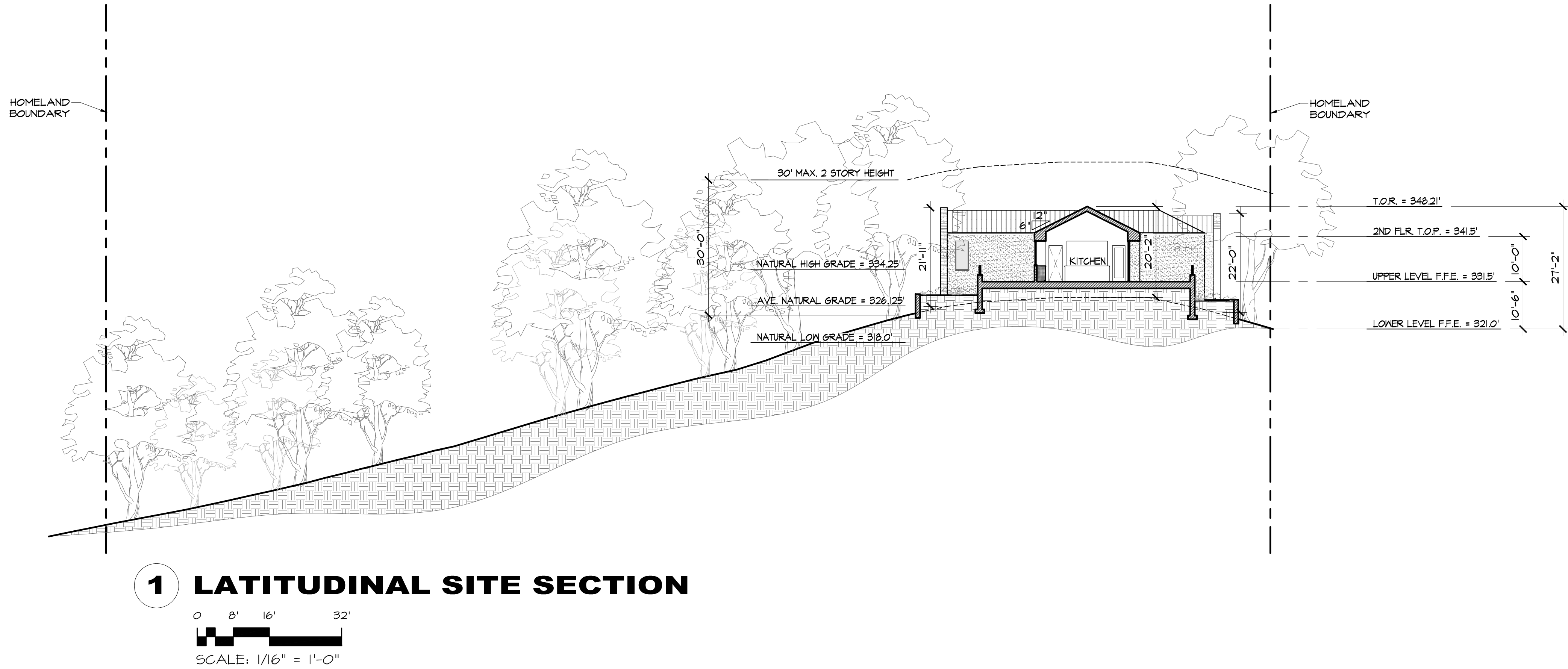
LOT SIZE: 38.6581 ACRES (1,683,946.8 S.F.)
30" SLOPE IN BUILDING AREA = 115 S.F. (0.0068 %)
30" SLOPE IN SITE DEVELOPED AREA = 2,056 S.F. (0.12 %)
BUILDING FOOTPRINT:
PROPOSED BUILDING FOOTPRINT: = 4397 S.F.
BUILDING FOOTPRINT IN 30% SLOPE = 115 S.F. (2.61 %)
SITE DEVELOPMENT:
PROPOSED SITE DEVELOPMENT: = 20,018 S.F.
SITE DEVELOPMENT IN 30% SLOPE = 2,056 S.F. (10.27 %)

[illegible]



SITE DEVELOPMENT:	
PROPOSED SITE DEVELOPMENT: = 20,018 S.F.	
SITE DEVELOPMENT IN 30% SLOPE = 2,056 S.F.	(10.27 %)

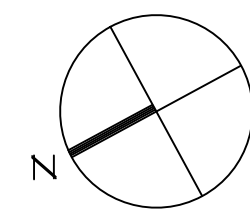
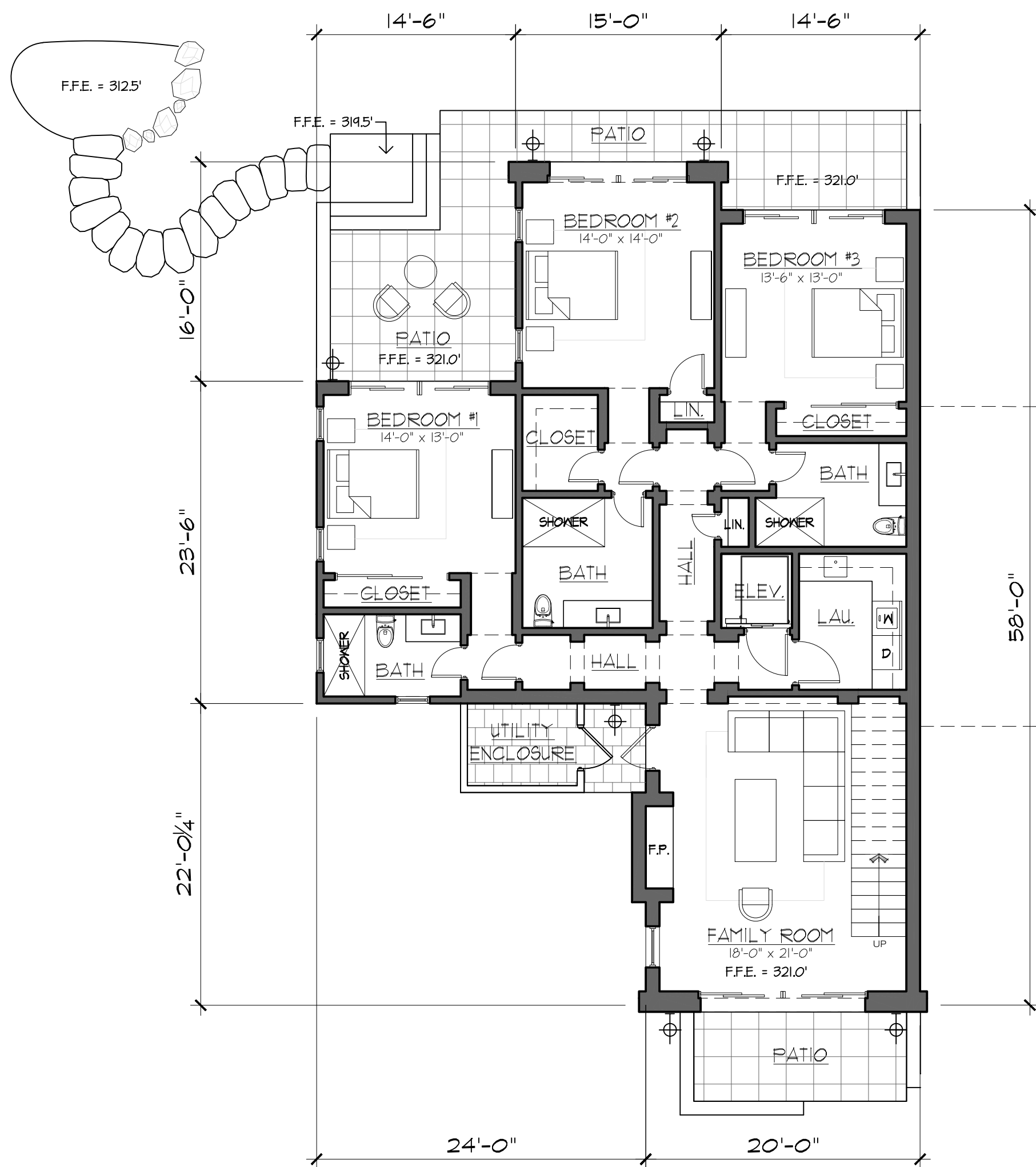
REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com		□ □ □ ■ ■ ■
SLOPE ANALYSIS JOB NAME: <i>Fischell Miller Residence</i> 40 Arroyo Sequoia Carmel, CA 93925 A.P.N. 239-091-040-000		
DATE:	4/29/2024	
SCALE:	1/32" = 1'-0"	
DRAWN:	CAD	
JOB NUMBER:	21.23	
A-1.3 SHEET OF		



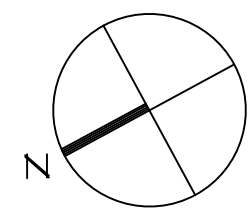
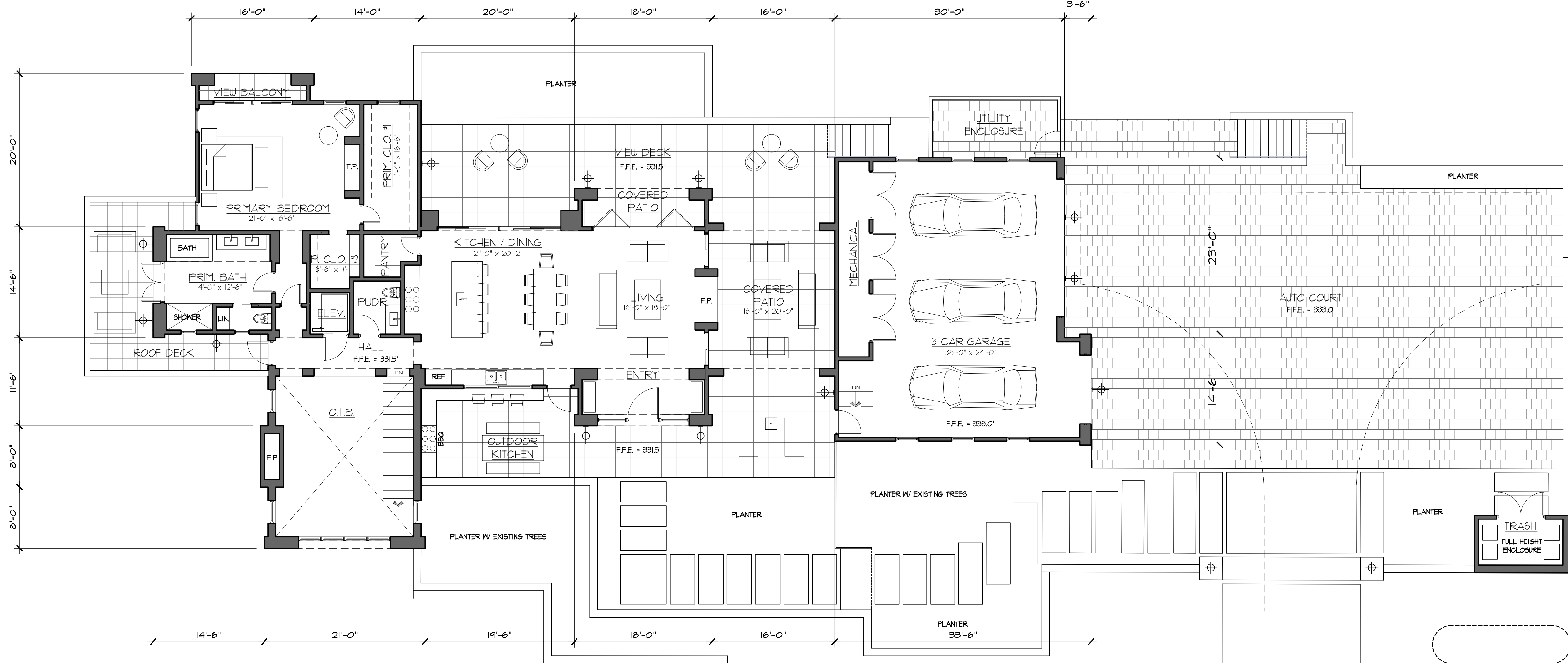
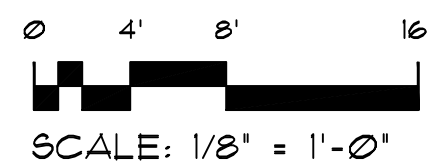
CHITECT

ERIC MILLER ARCHITECTS, INC.

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MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



PROPOSED UPPER LEVEL FLOOR PLAN



PROPOSED LOWER LEVEL FLOOR PLAN



LIGHT FIXTURES	
	WALL SCONCE
	POST TOP MOUNT

PROPOSED FLOOR AREA:	
FIRST FLOOR:	
LIVABLE SPACE =	1,788 S.F.
SECOND FLOOR:	
LIVABLE SPACE =	1,917 S.F.
MECHANICAL / STAIRS =	165 S.F.
GARAGE =	977 S.F.
TOTAL FLOOR AREA S.F. =	4,847 S.F.

PROPOSED FLOOR PLANS

JOB NAME: Fischell Miller Residence
40 Arroyo Sequoia
Carmel, CA 93923
A.P.N. 239-091-040-000

DATE: 4/29/2024

SCALE: 1/8" = 1'-0"

DRAWN: HRM

JOB NUMBER: 21.23

A-2.1

SHEET OF

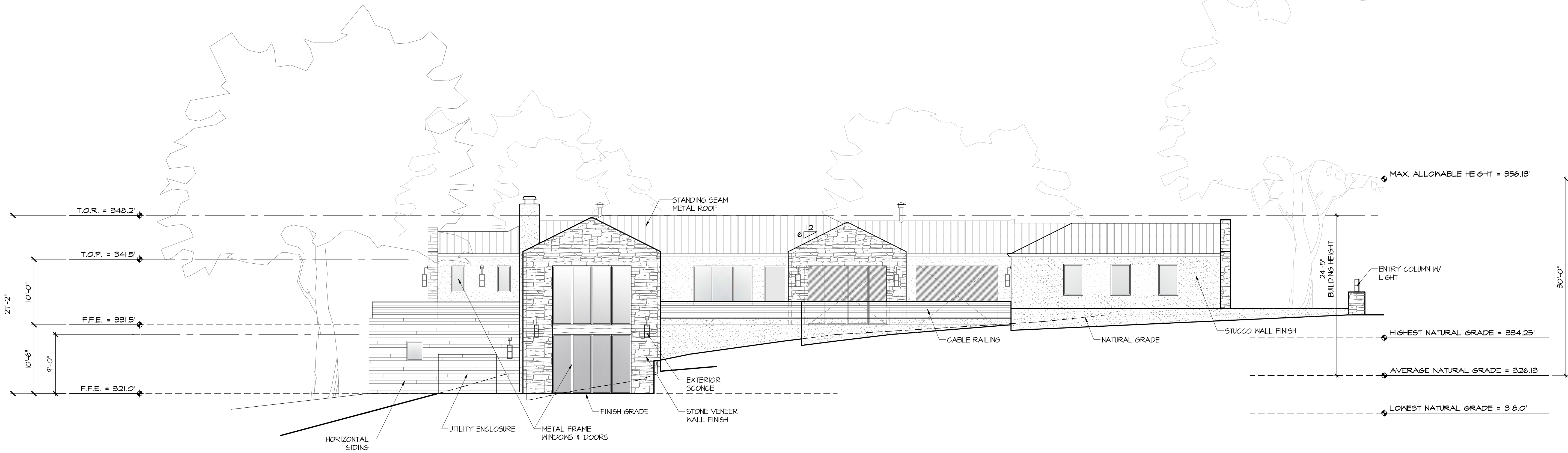
ARCHITECT

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

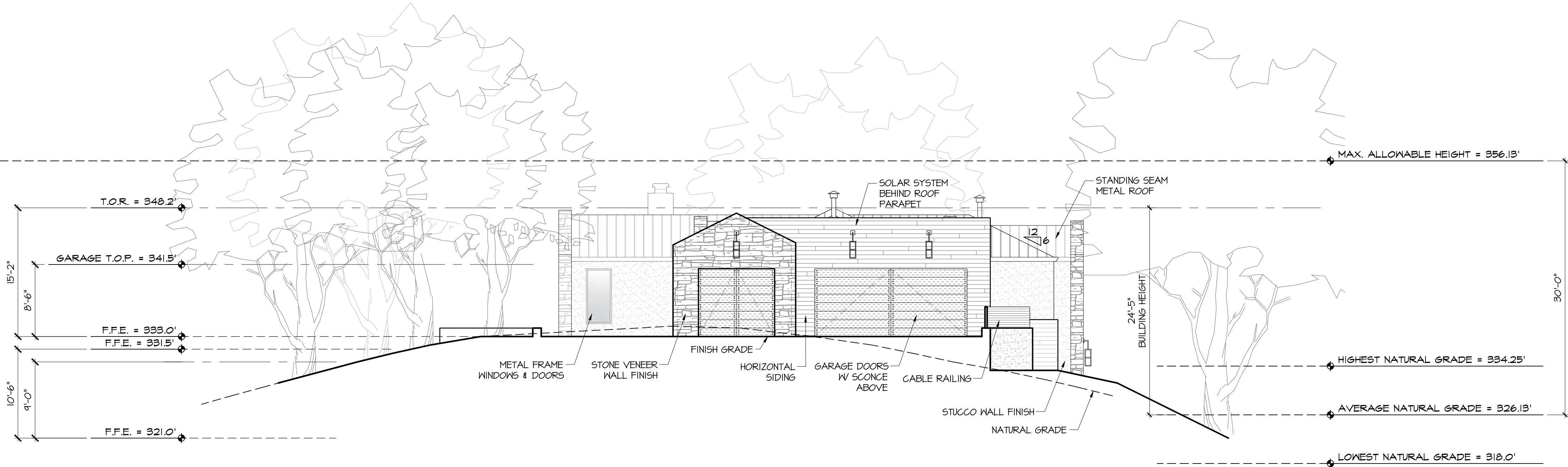
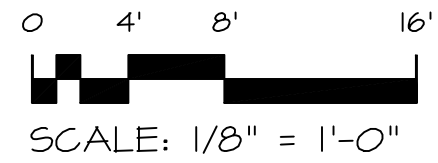
CONSULTANT:

REVISION	No.

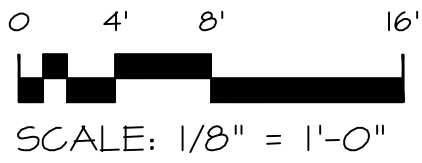
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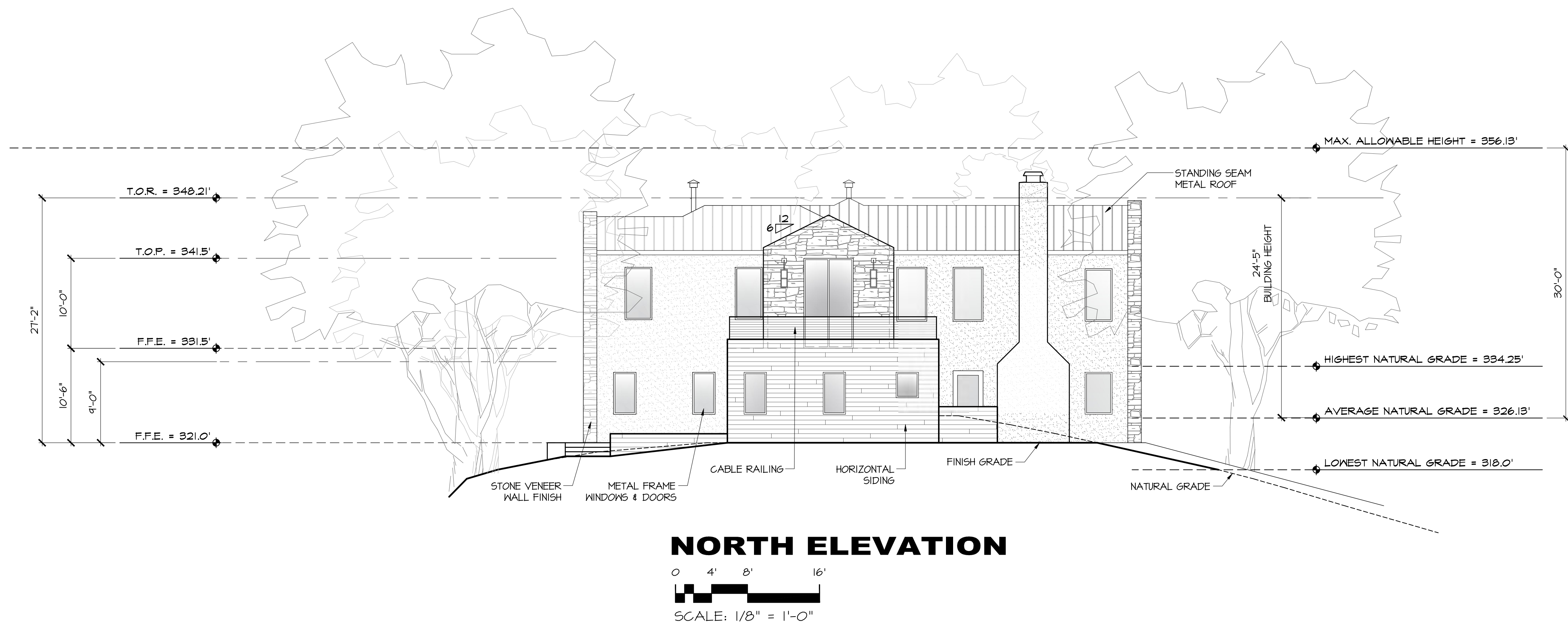
WEST ELEVATION



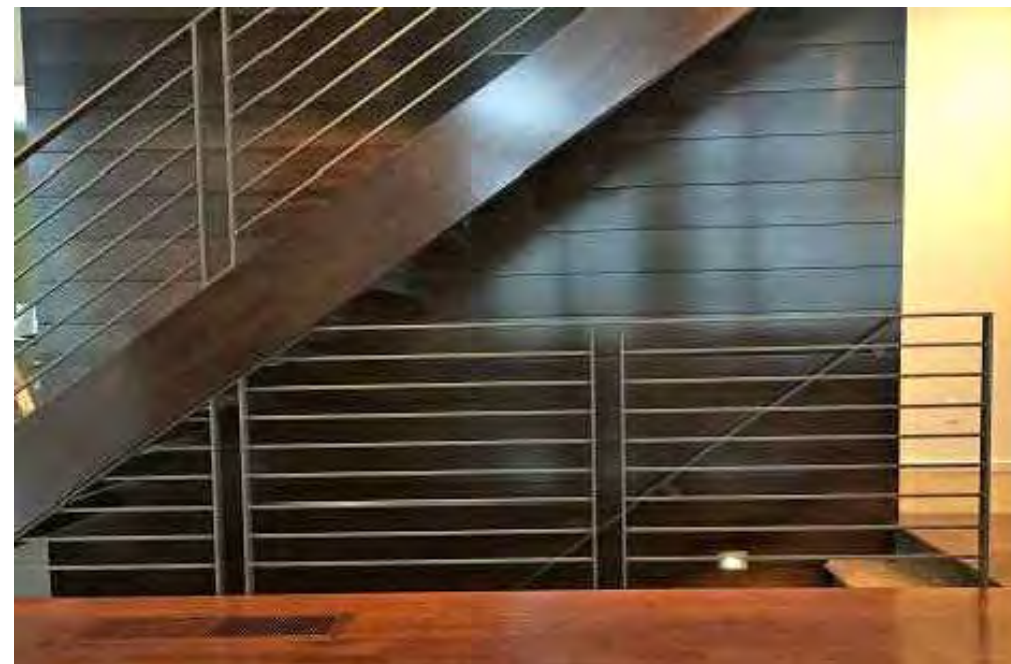
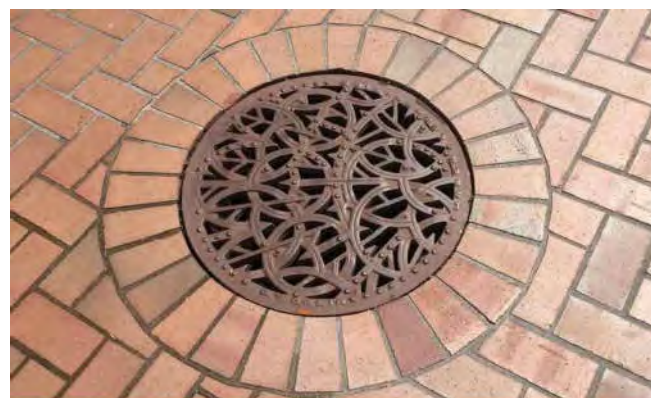
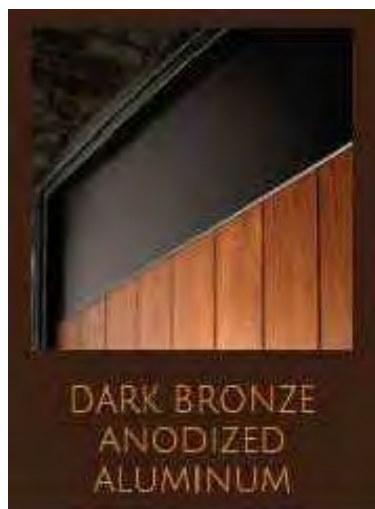
SOUTH ELEVATION



REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
SOUTH & WEST ELEVATION		
JOB NAME: Fischel Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: 1/8"=1'-0"		
DRAWN: HRM		
JOB NUMBER: 21.23		
A-3.1		
SHEET OF		



	REVISION	No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	■■■ ■■■ ■■■ ■■■	
NORTH & EAST ELEVATION		
JOB NAME: Fischel Miller Residence 40 Arroyo Sequela Carmel, CA 93925 A.P.N. 239-091-040-000		
DATE: 4/24/2024		
SCALE: 1/8" = 1'-0"		
DRAWN: HRM		
JOB NUMBER: 2123		
A3.2 SHEET OF		

		REVISION	No.	
		CONSULTANT:		
		ARCHITECT		
		ERIC MILLER ARCHITECTS, INC.		
		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
		MATERIAL SAMPLE		
		JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 289-091-040-000		
		DATE: 4/29/2024		
		SCALE: N.T.S.		
		DRAWN: HRM		
		JOB NUMBER: 21.23		
		A-7.1		
		SHEET OF		
 FINISH : BRONZE METAL MANUFACTURER : CUSTOM	 STYLE: CASEMENT CLAD WINDOWS COLOR: BRONZE MANUFACTURER : KOLBE	 MANUFACTURER: WESTERN BLENDED PRODUCTS COLOR: INSPIRE FINISH: SMOOTH	 COLOR: WEATHERED COPPER STYLE: STANDING SEAM MANUFACTURER: CUSTOM-BILT METALS	
10 DECK GUARD RAIL	7 WINDOW & DOORS	4 STUCCO	1 METAL ROOF	
 MODEL: OT TITLE-24 FINISH: BRONZE MANUFACTURER : URBAN ACCESSORIES	 MODEL : TWO IF BY SEA LAMP: 3.5 LED WATT MANUFACTURER : MODERN FORMS TITLE 24 & DARK SKY COMPLIANT	 MODEL: HUMBOLDT MATERIAL: DARK BRONZE ANODIZED ALUMINUM MANUFACTURER : CARRIAGE HOUSE DOOR COMPANY	 COLOR: SILVERDALE MANUFACTURER: US STONE COLOR: VERONA MANUFACTURER: BASALITE - ITALIAN RENAISSANCE	
11 DRAIN COVER & TRENCH GRATES	8 EXTERIOR WALL LIGHT	5 GARAGE DOOR SAMPLE	2 DECK & DRIVEWAY PAVING	
 BOARD FINISHED CONCRETE WALL TINT = PEBBLE	 Model: SPJ-SQ100-1 Finish: PVD Graphite MANUFACTURER : FOREVER BRIGHT  ELM ARCHITECTURAL LED STEP LIGHT MANUFACTURER : ALCON	 FOND DU LAC: COUNTRY SQUIRE, OVER GROUT W/ SMEAR	 NORDIC FACADE PANELS COLOR: BLACK SURFACE TYPE: NORDIC RAW	
12 RETAINING WALL	9 SITE LIGHT	6 STONE WALL	3 HORIZONTAL SIDING	



REAR BEDROOMS PERSPECTIVE



REAR VIEW DECK PERSPECTIVE

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
RENDERING		
JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: N.T.S.		
DRAWN: HRM		
JOB NUMBER: 21.23		
A7.2		
SHEET OF		



EAST ELEVATION



NORTH ELEVATION

REVISION		No.
CONSULTANT:		
ARCHITECT	ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
RENDERED ELEVATIONS	JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000	
DATE:	4/29/2024	
SCALE:	N.T.S.	
DRAWN:	HRM	
JOB NUMBER:	2123	
A7.3		
SHEET OF		



SOUTH ELEVATION



WEST ELEVATION

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE		
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com		
MONTEREY, CA 93940		
RENDERED ELEVATIONS		
JOB NAME: Fischer Miller Residence		
40 Arroyo Sequoia		
Carmel, CA 93923		
A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: N.T.S.		
DRAWN: HRM		
JOB NUMBER: 2123		
A7.4		
SHEET OF		

SHEET INDEX

SHEET NO:	CONTENTS:
L-1.0	FUEL MANAGEMENT PLAN
L-1.1	TREE REMOVAL PLAN
L-1.2	TREE MITIGATION PLAN
L-2.0	OVERALL SITE PLAN
L-2.1	ENLARGED SITE PLAN
L-2.2	SITE SECTIONS
L-3.0	PLANTING PLAN
L-4.0	IRRIGATION NOTES
L-4.1	IRRIGATION PLAN
L-4.2	IRRIGATION PLAN
L-5.0	LIGHTING PLAN

LEGEND

----- ZONE 0: ZONE EXTENDS 5' FROM BUILDINGS, STRUCTURES DECKS, ETC. THE EMBER-RESISTANT ZONE IS THE MOST IMPORTANT OF ALL THE DEFENSIBLE SPACE ZONES. THIS ZONE INCLUDES THE AREA UNDER AND AROUND ALL ATTACHED DECKS, AND REQUIRES THE MOST STRINGENT WILDFIRE FUEL REDUCTION. THE EMBER-RESISTANT ZONE IS DESIGNED TO KEEP FIRE OR EMBERS FROM IGNITING MATERIALS THAT CAN SPREAD THE FIRE TO YOUR HOME. THE FOLLOWING PROVIDES GUIDANCE FOR THIS ZONE, WHICH MAY CHANGE BASED ON THE REGULATION DEVELOPED BY THE BOARD OF FORESTRY AND FIRE PROTECTION.

- USE HARDSCAPE LIKE GRAVEL, PAVERS, CONCRETE, AND OTHER NONCOMBUSTIBLE MULCH MATERIALS. NO COMBUSTIBLE BARK OR MULCH.
- REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
- REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
- NO PLANTING IS PERMITTED IN THIS ZONE.
- LIMIT COMBUSTIBLE ITEMS (OUTDOOR FURNITURE, PLANTERS, ETC.) ON TOP OF ROOF DECKS.
- RELOCATE FIREWOOD AND LUMBER TO ZONE 2
- REPLACE COMBUSTIBLE FENCING, GATES AND ARBORS ATTACH TO THE HOME WITH NON-COMBUSTIBLE ALTERNATIVES.
- CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
- CONSIDER RELOCATING BOATS, RVS, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.

----- ZONE 1: ZONE EXTENDS 30 FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:

- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
- REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
- TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
- WOOD PILES ARE PROHIBITED WITHIN THIS ZONE. RELOCATE WOOD PILES TO ZONE 2.
- REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
- REMOVE OR PRUNE FLAMMABLE ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
- CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
- MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
- MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS. REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS

----- ZONE 2: ZONE 2 EXTENDS FROM 30 FEET TO 100 FEET OUT FROM BUILDINGS, STRUCTURES, DECKS ETC. OR TO THE PROPERTY LINE WHICHEVER IS CLOSER. FUELS SHALL BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE ITEMS STIPULATED BELOW DO NOT APPLY TO SINGLE SPECIMENS OF TREES OR OTHER VEGETATION THAT ARE WELL-PRUNED AND MAINTAINED SO AS TO EFFECTIVELY MANAGE FUELS AND NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM OTHER NEARBY VEGETATION TO A STRUCTURE OR FROM A STRUCTURE TO THE OTHER NEARBY VEGETATION. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:

- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
- CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS, AND TREES.
- REMOVE ALL DEAD TREES.
- REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
- ALL EXPOSED WOOD PILES MUST HAVE A MINIMUM OF 10 FEET OF CLEARANCE, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.

ZONE 1 AND 2 - 'OUTBUILDINGS' AND LIQUID PROPANE GAS (LPG) STORAGE TANKS SHALL HAVE 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

FUEL MANAGEMENT TO FOLLOW PUBLIC RESOURCE CODE 4291 AS DEVELOPED BY CALIFORNIA'S DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CALFIRE).

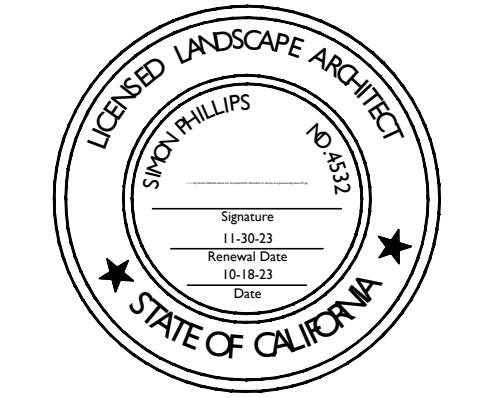
CLEARING BEYOND THE PROPERTY LINE MAY ONLY BE REQUIRED IF THE STATE LAW, LOCAL ORDINANCE, RULE, OR REGULATION INCLUDES FINDINGS THAT THE CLEARING IS NECESSARY TO SIGNIFICANTLY REDUCE THE RISK OF TRANSMISSION OF FLAME OR HEAT SUFFICIENT TO IGNITE THE STRUCTURE AND THERE IS NO FEASIBLE MITIGATION MEASURES POSSIBLE TO REDUCE THE RISK OF IGNITION OR SPREAD OF WILDFIRE TO THE STRUCTURE. CLEARANCE ON THE ADJACENT PROPERTY SHALL ONLY BE CONDUCTED FOLLOWING WRITTEN ON CONSENT BY THE ADJACENT LANDOWNER.

CLEARING BEYOND THE HOMELAND BOUNDARY IS TO BE COORDINATED WITH THE SANTA LUCIA CONSERVANCY.

FOR ADDITIONAL INFORMATION, SEE THE LOT SPECIFIC FUEL MANAGEMENT REPORT AND TREE RESOURCE AND MANAGEMENT PLAN DATED SEPTEMBER 30, 2023.

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:
40 ARROYO SEQUOIA
CARMEL, CA 93923
APN: 239-091-040

ISSUANCE:
DESIGN REVIEW BOARD FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

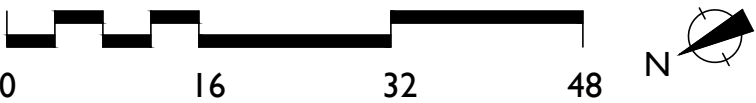
REVISIONS:
DATE DESCRIPTION

SHEET NAME:
FUEL MANAGEMENT PLAN

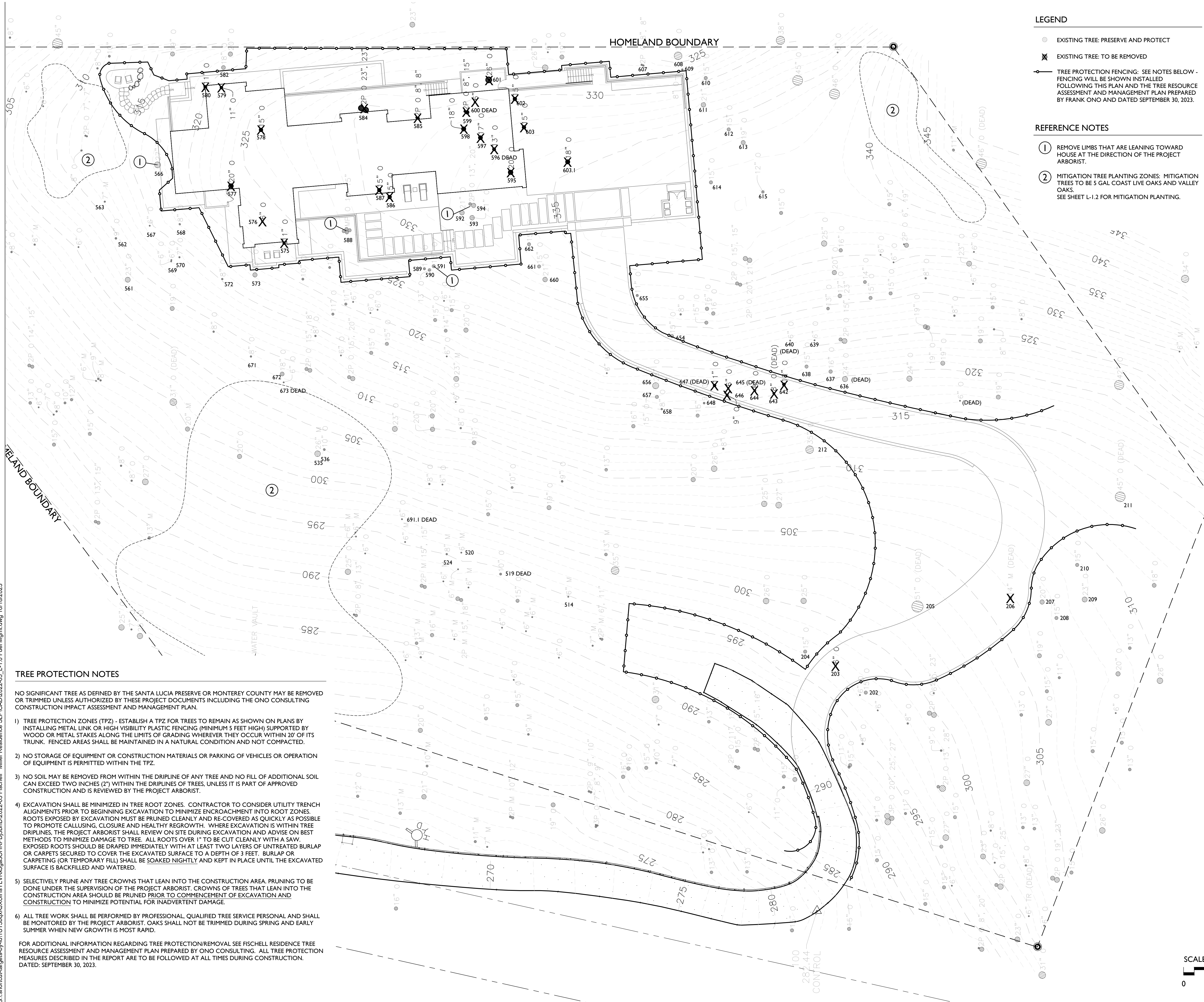
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SCALE: 1/16"= 1'-0"



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LEGEND

- EXISTING TREE: PRESERVE AND PROTECT
- ✕ EXISTING TREE: TO BE REMOVED
- TREE PROTECTION FENCING: SEE NOTES BELOW - FENCING WILL BE SHOWN INSTALLED FOLLOWING THIS PLAN AND THE TREE RESOURCE ASSESSMENT AND MANAGEMENT PLAN PREPARED BY FRANK ONO AND DATED SEPTEMBER 30, 2023.

REFERENCE NOTES

- 1 REMOVE LIMBS THAT ARE LEANING TOWARD HOUSE AT THE DIRECTION OF THE PROJECT ARBORIST.
- 2 MITIGATION TREE PLANTING ZONES: MITIGATION TREES TO BE 5 GAL COAST LIVE OAKS AND VALLEY OAKS. SEE SHEET L-1.2 FOR MITIGATION PLANTING.

TREE REMOVAL LIST

TREE # PER ARBORIST REPORT	SPECIES	DBH	
TREE REMOVAL - 6" - 23"			
203	COAST LIVE OAK	6"	
206	VALLEY OAK	14"	DEAD
575	COAST LIVE OAK	11"	
576	VALLEY OAK	6"	
577	COAST LIVE OAK	20"	
578	VALLEY OAK	15"	
579	VALLEY OAK	11"	
580	VALLEY OAK	11"	
584	VALLEY OAK	23.23"	
585	VALLEY OAK	8.8"	
586	VALLEY OAK	15"	
587	VALLEY OAK	15"	
595	VALLEY OAK	20"	
596	VALLEY OAK	13"	DEAD
597	COAST LIVE OAK	17"	
598	VALLEY OAK	18"	
599	COAST LIVE OAK	15.8"	
600	VALLEY OAK	6"	DEAD
602	VALLEY OAK	15"	
603	VALLEY OAK	15"	
603.1	VALLEY OAK	18"	
642	VALLEY OAK	12"	
643	VALLEY OAK	8"	DEAD
644	COAST LIVE OAK	8"	
645	VALLEY OAK	6"	DEAD
646	VALLEY OAK	9"	
647	VALLEY OAK	11"	DEAD
SUBTOTAL 27			
TOTAL DEAD 6			
TOTAL ALIVE 21			
MITIGATION REQUIREMENT AT 3:1			
TOTAL - 63			
TREE REMOVAL - 24" + LANDMARK TREE			
601	VALLEY OAK	25"	
TOTAL 1			
MITIGATION REQUIREMENT AT 5:1			
TOTAL - 5			
TOTAL MITIGATION - 68			

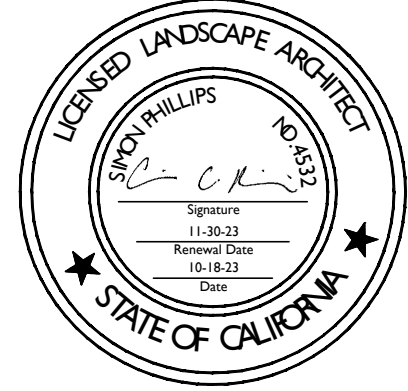
TREE PROTECTION NOTES

- NO SIGNIFICANT TREE AS DEFINED BY THE SANTA LUCIA PRESERVE OR MONTEREY COUNTY MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED BY THESE PROJECT DOCUMENTS INCLUDING THE ONO CONSULTING CONSTRUCTION IMPACT ASSESSMENT AND MANAGEMENT PLAN.
- 1) TREE PROTECTION ZONES (TPZ) - ESTABLISH A TPZ FOR TREES TO REMAIN AS SHOWN ON PLANS BY INSTALLING METAL LINK OR HIGH VISIBILITY PLASTIC FENCING (MINIMUM 5 FEET HIGH) SUPPORTED BY WOOD OR METAL STAKES ALONG THE LIMITS OF GRADING WHEREVER THEY OCCUR WITHIN 20' OF ITS TRUNK. FENCED AREAS SHALL BE MAINTAINED IN A NATURAL CONDITION AND NOT COMPACTED.
 - 2) NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS OR PARKING OF VEHICLES OR OPERATION OF EQUIPMENT IS PERMITTED WITHIN THE TPZ.
 - 3) NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL CAN EXCEED TWO INCHES (2") WITHIN THE DRIPLINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY THE PROJECT ARBORIST.
 - 4) EXCAVATION SHALL BE MINIMIZED IN TREE ROOT ZONES. CONTRACTOR TO CONSIDER UTILITY TRENCH ALIGNMENTS PRIOR TO BEGINNING EXCAVATION TO MINIMIZE ENCROACHMENT INTO ROOT ZONES. ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED CLEANLY AND RE-COVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH. WHERE EXCAVATION IS WITHIN TREE DRIPLINES, THE PROJECT ARBORIST SHALL REVIEW ON SITE DURING EXCAVATION AND ADVISE ON BEST METHODS TO MINIMIZE DAMAGE TO TREE. ALL ROOTS OVER 1" TO BE CUT CLEANLY WITH A SAW. EXPOSED ROOTS SHOULD BE DRAPED IMMEDIATELY WITH AT LEAST TWO LAYERS OF UNTREATED BURLAP OR CARPETS SECURED TO COVER THE EXCAVATED SURFACE TO A DEPTH OF 3 FEET. BURLAP OR CARPETING (OR TEMPORARY FILL) SHALL BE SOAKED NIGHTLY AND KEPT IN PLACE UNTIL THE EXCAVATED SURFACE IS BACKFILLED AND WATERED.
 - 5) SELECTIVELY PRUNE ANY TREE CROWNS THAT LEAN INTO THE CONSTRUCTION AREA. PRUNING TO BE DONE UNDER THE SUPERVISION OF THE PROJECT ARBORIST. CROWNS OF TREES THAT LEAN INTO THE CONSTRUCTION AREA SHOULD BE PRUNED PRIOR TO COMMENCEMENT OF EXCAVATION AND CONSTRUCTION TO MINIMIZE POTENTIAL FOR INADVERTENT DAMAGE.
 - 6) ALL TREE WORK SHALL BE PERFORMED BY PROFESSIONAL QUALIFIED TREE SERVICE PERSONAL AND SHALL BE MONITORED BY THE PROJECT ARBORIST. OAKS SHALL NOT BE TRIMMED DURING SPRING AND EARLY SUMMER WHEN NEW GROWTH IS MOST RAPID.

FOR ADDITIONAL INFORMATION REGARDING TREE PROTECTION/REMOVAL SEE FISCHELL RESIDENCE TREE RESOURCE ASSESSMENT AND MANAGEMENT PLAN PREPARED BY ONO CONSULTING. ALL TREE PROTECTION MEASURES DESCRIBED IN THE REPORT ARE TO BE FOLLOWED AT ALL TIMES DURING CONSTRUCTION. DATED: SEPTEMBER 30, 2023.

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

TREE REMOVAL
PLAN

SHEET NO:

L-1.1

SCALE: 1/16"= 1'-0"



FISCHELL-
MILLER
RESIDENCE

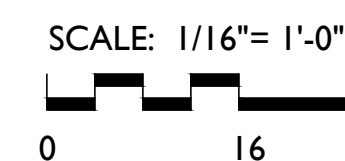
APN: 239-091-040

 MITIGATION TREES - VALLEY OAKS - EACH SYMBOL REPRESENTS THREE TREES PLANTED IN THE SAME HOLE. TWO 5 GAL. AND ONE 15 GAL. STANDARDS.

DATE	DESCRIPTION
------	-------------

TREE MITIGATION PLAN

SHEET NO:



REFERENCE NOTES

1

FIRE DEPARTMENT PULL-OUT

2

FIRE DEPARTMENT HAMMERHEAD TURN AROUND

3

GUEST PARKING

4

PLANTING TO SCREEN OUT ADJACENT HOME ON LOT 116. FRANGULA CALIFORNICA, 15 GAL. (PLANTING WITH IRRIGATION APPROVED BY SANTA LUCIA CONSERVANCY ON 9/29/2023. SEE EMAIL BELOW.)

5

WOOD FENCE - 6' HIGH TO MATCH HOUSE SIDING.

6

UNDERGROUND PROPANE TANK - SEE CIVIL DRAWINGS.

7

WOOD GATE - 6' HIGH TO MATCH HOUSE SIDING

8

GUARDRAIL - SEE IMAGE BELOW

9

TRASH ENCLOSURE

10

MECHANICAL ENCLOSURE: SEE ARCHITECTURAL DRAWINGS

11

EXISTING ASPHALT PAVING AND BASE TO BE REMOVED

12

STONE PILASTER OVER CMU - STONE TYPE TO MATCH ARCHITECTURAL STONE.

13

WALL FOOTING TO BE HAND DUG IN ROOT ZONE - OMIT FOOTING IN AREA IF SIGNIFICANT ROOTS ARE OBSERVED AND BRIDGE AREA WITH CONCRETE GRADE BEAM. REVIEW FOOTING WITH PROJECT ARBORIST DURING EXCAVATION.

14

ORNAMENTAL HANDRAIL: 1 1/2" X 3/4" FLAT BAR TO MATCH GUARDRAIL.

From: Andrew Nguyen <anguyen@slconservancy.org>
Sent: Friday, September 29, 2023 9:27 AM
To: simon.sevensprings@gmail.com
Cc: Carla Hashimoto <carla@ericmillerarchitects.com>
Subject: RE: Lot 115 Proposed Planting in Openlands

Simon,

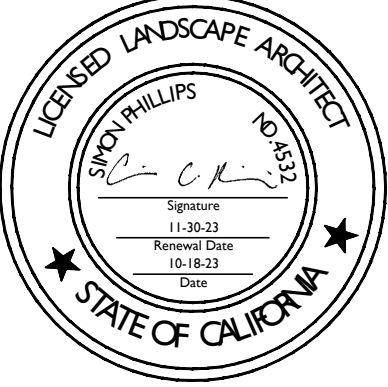
Thanks for reaching out and sharing this. The planting plan you've shared looks great and you have my approval to plant 5 coffee berry plants in the Openlands for screening purposes. One question I do have is whether you anticipate irrigation to be installed as part of this project.

Andrew Nguyen
Stewardship Manager
Santa Lucia Conservancy
(831) 238-0990
(He/him/his)



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:
40 ARROYO SEQUOIA
CARMEL, CA 93923
APN: 239-091-040

ISSUANCE:
DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:	
DATE	DESCRIPTION

SHEET NAME:
OVERALL SITE
PLAN

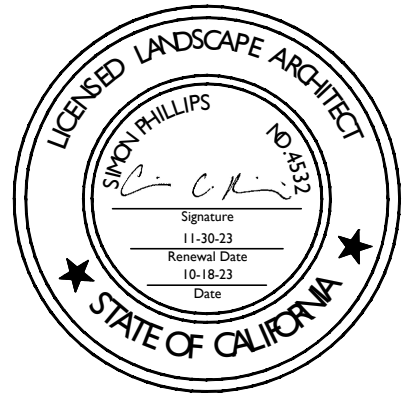
SHEET NO:

L-2.0

SEE L-2.1 FOR WALL HEIGHT TABLE
SEE L-2.1 FOR LEGEND

SCALE: 1/16"= 1'-0"

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PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

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CARMEL, CA 93923

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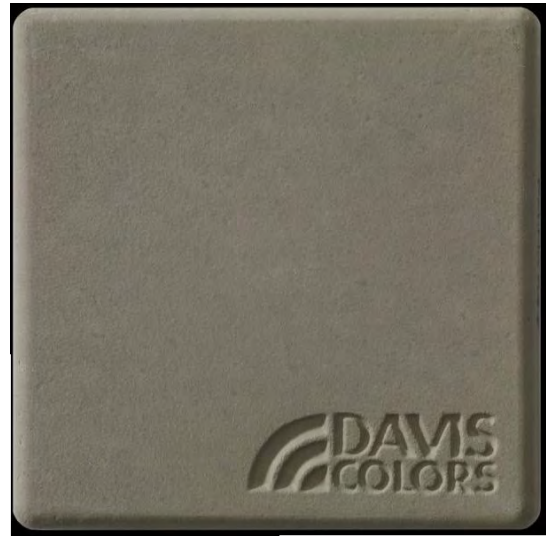
ENLARGED SITE
PLAN

SHEET NO:

L-2.1



WOOD RAIL AT EDGE OF DRIVE
ATTACH TO OUTSIDE FACE OF CONCRETE WALL
APPROXIMATE HEIGHT TO BE 24" ABOVE TOP OF WALL



CONCRETE STEPPING PADS
DAVIS COLOR PEBBLE



GUARDRAIL



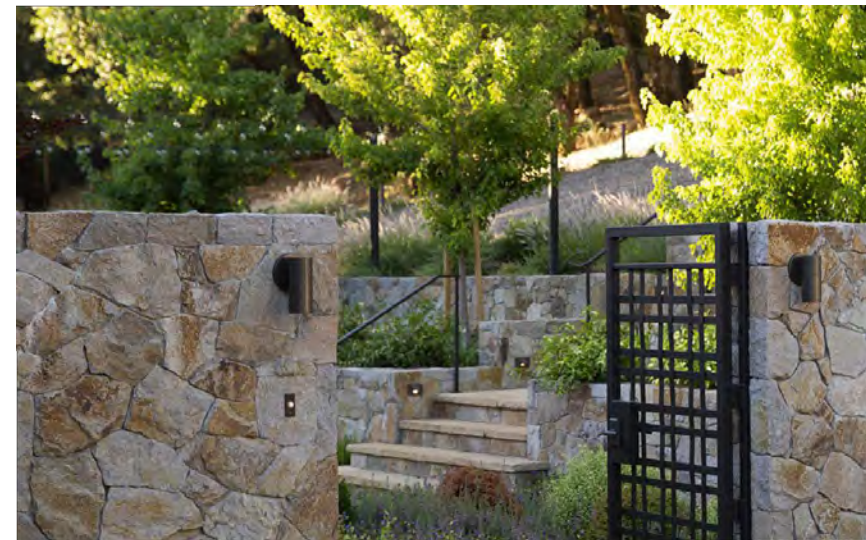
CONCRETE WALL



STONE PAVING AND STEPS
US STONE SILVERDALE



DRIVE PAYER
BASALITE ITALIAN RENAISSANCE
COLOR - VERONA



STONE VENEER
COLOR AND TEXTURE TO MATCH ARCHITECTURAL STONE

LEGEND

- DRIVE PAVERS: TUMBLED CONCRETE PAVES SET OVER COMPACTED AGGREGATE BASE. SEE IMAGE BELOW.
- STONE PAVING: SILVERDALE STONE - WET SET OVER A CONCRETE SUB-SLAB AND ANTIFRACTURE MEMBRANE - SUB-SLAB TO BE 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE. SEE IMAGE BELOW.
- CONCRETE STEPPING PADS WITH INTEGRAL COLOR - 'PEBBLE' BY DAVIS COLORS AND TOPCAST LIGHT SAND FINISH: 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE. SEE IMAGE BELOW.
- ASPHALT PAVING: SEE CIVIL DRAWINGS.
- CRUSHED GRAVEL: 2" SECTION OVER GOPHER WIRE AND FILTER FABRIC.
- CONCRETE STEPS: TO MATCH CONCRETE STEPPING PADS. SEE IMAGE BELOW.
- CONCRETE WALL: BOARD FORMED WALL WITH INTEGRAL COLOR - 'PEBBLE' BY DAVIS COLORS. SEE WALL LEGEND FOR HEIGHTS. SEE IMAGE BELOW.
- LOW WOOD RAIL: 24" ABOVE DRIVE ELEVATION. ATTACH TO OUTSIDE FACE OF RETAINING WALL. SEE IMAGE BELOW.
- GUARDRAIL: 42" HIGH MINIMUM. SEE IMAGE BELOW.
- MEDG: METAL EDGE
- PLT: PLANTING AREA: SEE PLANTING PLAN
- FFE: FINISHED FLOOR ELEVATION
- TW: TOP OF WALL
- FS: FINISHED SURFACE

WALL LEGEND

RETAINING WALL

WALL	WALL HEIGHT	WALL LENGTH
1	2'-0"	46'-9"
2	1'-0" - 4'-0"	164'-8"
3	3'-0" - 4'-0"	65'-6"
4	LEFT BLANK	
5	0'-6" - 6'-6"	63'-6"
6	4'-0"	31'-6"
7	1'-6"	20'-7"
8	0'-0" - 4'-0"	44'-0"
9	2'-0" - 4'-0"	71'-2"
10	1'-6" - 4'-0"	55'-0"
11	2'-0" - 3'-6"	15'-5"
12	3'-0" - 4'-0"	13'-0"
13	0'-0" - 6'-6"	55'-7"
14	2'-6" - 5'-6"	61'-0"

REFERENCE NOTES

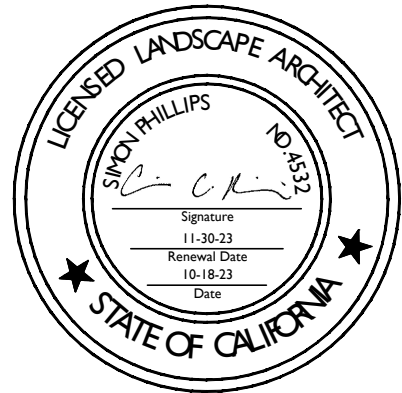
- FIRE DEPARTMENT PULL-OUT
- FIRE DEPARTMENT HAMMERHEAD TURN AROUND
- GUEST PARKING
- PLANTING TO SCREEN OUT ADJACENT HOME ON LOT 116. FRANGULA CALIFORNICA, 15 GAL. (PLANTING WITH IRRIGATION APPROVED BY SANTA LUCIA CONSERVANCY ON 9/29/2023. SEE EMAIL BELOW.)
- WOOD FENCE - 6' HIGH TO MATCH HOUSE SIDING.
- UNDERGROUND PROPANE TANK - SEE CIVIL DRAWINGS.
- WOOD GATE - 6' HIGH TO MATCH HOUSE SIDING
- GUARDRAIL - SEE IMAGE BELOW
- TRASH ENCLOSURE
- MECHANICAL ENCLOSURE: SEE ARCHITECTURAL DRAWINGS
- EXISTING ASPHALT PAVING AND BASE TO BE REMOVED
- STONE PILASTER OVER CMU - STONE TYPE TO MATCH ARCHITECTURAL STONE.
- WALL FOOTING TO BE HAND DUG IN ROOT ZONE - OMIT FOOTING IN AREA IF SIGNIFICANT ROOTS ARE OBSERVED AND BRIDGE AREA WITH CONCRETE GRADE BEAM. REVIEW FOOTING WITH PROJECT ARBORIST DURING EXCAVATION.
- ORNAMENTAL HANDRAIL: 1 1/2" X 3/4" FLAT BAR TO MATCH GUARDRAIL

SCALE: 1/8" = 1'-0"



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
**FISCHELL-
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PROJECT ADDRESS:
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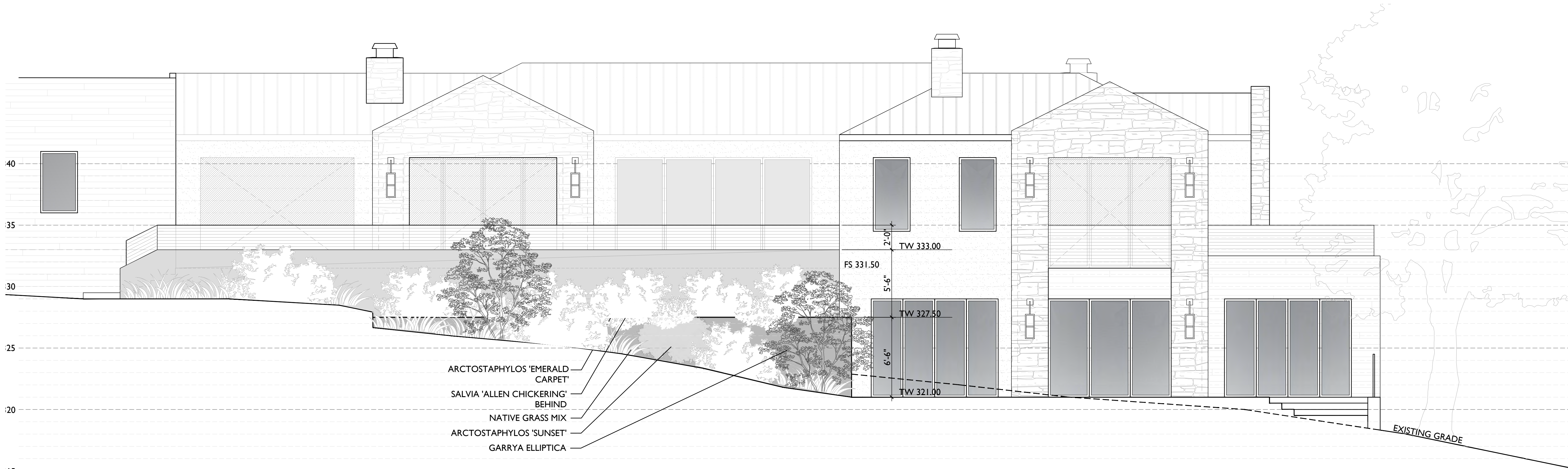
ISSUANCE:
**DESIGN REVIEW BOARD
FINAL REVIEW**

PROJECT NO: 2022-05
DATE: 10/18/2023

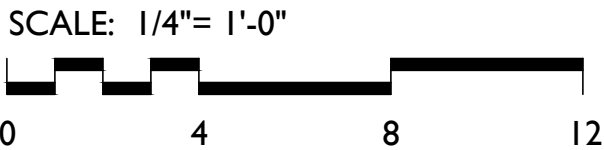
REVISIONS:	DATE	DESCRIPTION
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SHEET NAME:
SITE SECTIONS

SHEET NO:



I EAST ELEVATION
1/4" = 1'-0"



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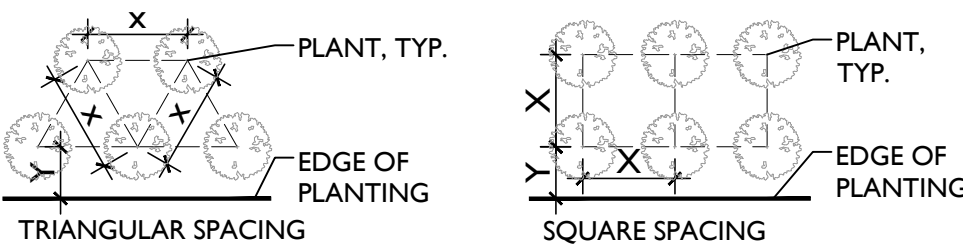
REFERENCE NOTES

- ① HYDOSEED LIMITS TO FOLLOW GRADING LIMITS AS DETERMINED IN FIELD
- ② HYDOSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES AS LISTED
- ③ SEE TREE MITIGATION PLAN FOR PROPOSED MITIGATION PLANTING
- ④ SEE OVERALL SITE PLAN SHEET L-2.0 FOR SCREEN PLANTING ALONG DRIVEWAY.
- ⑤ SEED SPOILS AREA WITH SEED MIX LISTED IN LEGEND

GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO OBTAIN SOIL ANALYSIS PRIOR TO BEGINNING OF PLANTING AND TO PREPARE, AMEND AND FERTILIZE EXISTING SOIL FOLLOWING RECOMMENDATIONS IN THE SOIL ANALYSIS. PREPARE, AMEND, AND FERTILIZE EXISTING SOIL.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- STAKE ALL TREES WITH MINIMUM 6' TALL LODGEPOLE STAKES, FOLLOWING STANDARD NURSERY PRACTICES.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- PLANTING AREAS WITHIN 5' OF STRUCTURE TO BE MULCHED WITH 3/8" CRUSHED GRAVEL.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
- ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
- ALL SEED AREAS TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. TEMPORARY IRRIGATION LINES TO BE INSTALLED ABOVE GROUND AND SHALL BE REMOVED AFTER ESTABLISHMENT OR 24 MONTHS, WHICHEVER IS SOONEST.
- MITIGATION TREES TO BE IRRIGATED AND MAINTAINED FOR 5 YEARS WITH A DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND MASTER SHUT OFF VALVE AT THE POINT OF CONNECTION.
- PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
- MANUAL SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS.
- IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
- SEE TREE MITIGATION PLAN FOR MITIGATION PLANTING - SHEET L-1.2.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- Y= 1/2X + 12" UON

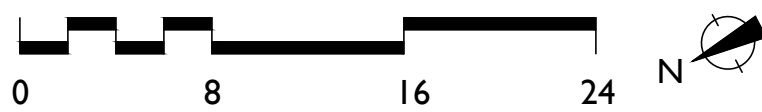
PLANT LEGEND

MEDG		METAL HEADER: RYERSON OR EQUAL			
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES					
L	Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL / 5 GAL	MITIGATION SEE SHEET L-1.2
L	Ql	QUERCUS LOBATA	VALLEY OAK	15 GAL / 5 GAL	MITIGATION SEE SHEET L-1.2
SHRUBS					
L	Am	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	
L	Ae	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	
L	Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L	As	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5 GAL	
L	Fm	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL	
L	Fc	FRANGULA CALIFORNICA	CALIFORNIA COFFEBERRY	15 GAL	
L	Ge	GARRYA ELLIPTICA	SILK TASSEL	15 GAL	
L	Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL	
L	Md	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	
L	Mr	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	
L	Sc	SALVIA C. 'ALLEN CHICKERING'	ALLEN CHICKERING SAGE	5 GAL	
L	Ss	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	
L	Tp	THYMUS 'PINK RIPPLE'	PINK RIPPLE THYME	4" POT	
SEED MIX					
		ELYMUS GLAUCUS	BLUE WILDRYE		HYDOSEED
		STIPA PULCHRA	PURPLE NEEDLEGRASS		HYDOSEED
		BROMUS CARINATUS	CALIFORNIA BROME GRASS		HYDOSEED
		CRUSHED GRAVEL, 3/8" CALIFORNIA GOLD. 2" SECTION OVER FILTER FABRIC AND GOPHER WIRE OVER COMPACTED SUBGRADE.			

* WATER USE CATEGORY (WUC) KEY

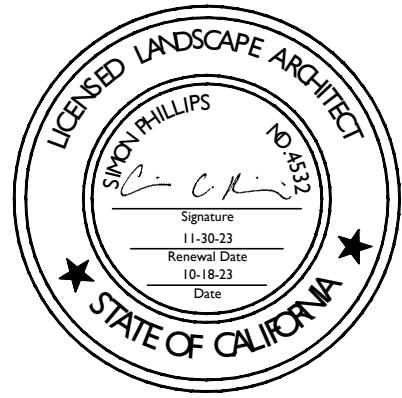
WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES
A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS)
REVISED 2014, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

SCALE: 1/8"= 1'-0"



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

PLANTING PLAN

SHEET NO:

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WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name Fischell Residence
Project Number 22-05

Reference Evapotranspiration (ETo) 32.00

Hydrozone #/Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1 Entry Drive	0.3	drip	0.81	0.37	280	103.70	2057.48
2 Entry Garden	0.3	drip	0.81	0.37	490	181.48	3600.59
3 Back Garden	0.3	drip	0.81	0.37	400	148.15	2939.26
4 Gravel	0	drip	0.81	0.00	915	0.00	0.00
				Totals (A)	2085 (B)	433.33	8597.33
Special Landscape Areas							
				1.00		0.00	0.00
				Totals (C)	0 (D)	0.00	0.00
ETWU Total (Gallons)							8597.33
Maximum Allowed Water Allowance (MAWA) ^e (Gallons)							22751.52
ETWU (Acre Feet)							0.03
MAWA (Acre Feet)							0.07

^aHydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) / (0.62) / (ETAF x LA) + ((1-ETAF) x SLA)
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations			
Regular Landscape Areas			
Total ETAF x Area	(B)	433.33	
Total Area	(A)	2085.00	
Average ETAF	B ÷ A	0.21	

All Landscape Areas			
Total ETAF x Area	(B+D)	433.33	
Total Area	(A+C)	2085.00	
Sitewide ETAF	(B+D) ÷ (A+C)	0.21	

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

GENERAL NOTES

- WARRANTY:
CONTRACTOR TO WARRANT THE IRRIGATION SYSTEM FOR ONE YEAR FOLLOWING INSTALLATION FROM DATE OF ACCEPTANCE. SYSTEM SHALL BE WARRANTIED FOR DEFECTIVE MATERIALS AND INSTALLATION ISSUES.
- VERIFICATION:
FOR NEW SYSTEMS, DESIGN IS BASED ON 30 P.S.I. AND 20.P.M. REQUIRED AT DISCHARGE OUTLET OF POINT OF CONNECTION. VERIFY SAME AND NOTIFY OWNER'S REPRESENTATIVE IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY IRRIGATION WORK.
- UTILITIES:
VERIFY LOCATION OF ALL ON-SITE UTILITIES. PRESERVE AND PROTECT ALL SUCH UTILITIES UNLESS OTHERWISE NOTED. RESTORE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AND AT NO ADDITIONAL COST TO THE OWNER.
- SCHEMATIC:
SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS ADJACENT TO WALKWAYS AND INSIDE MEDIANS WHENEVER POSSIBLE.
- CODES:
IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY OWNER'S REPRESENTATIVE BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
- MASTER VALVE / FLOW SENSOR:
 - CONNECT MASTER VALVE, AND FLOW SENSOR IF INCLUDED, TO CONTROLLER WITH COMMUNICATION CABLE. SEE IRRIGATION DETAILS. INSTALL IN-DICATED 1" DIAMETER PVC CONDUIT.
 - NORMALLY CLOSED MASTER VALVES: IF IRRIGATION CONTROLLER DOES NOT HAVE A MASTER VALVE OVER-RIDE FUNCTION / PROGRAM, THEN DEDICATE ONE STATION TO QUICK COUPLER USE.
- CHECK VALVES:
INSTALL IN-LINE CHECK VALVES IN DRIP IRRIGATION SUPPLY LINES, AS REQUIRED TO MINIMIZE LINE DRAINAGE. ALLOW IN BID PRICE AN AMOUNT SUFFICIENT TO PROVIDE AND INSTALL ADDITIONAL CHECK VALVES TO ACCOMMODATE ANY NECESSARY FIELD CHANGES.
- BORING
JET BORE OR DIRECTIONAL BORE UNDER EXISTING RIGID PAVING AREAS. DO NOT TRENCH ACROSS UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS AND/OR APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- SLEEVING:
SCH. 40 PVC PIPE FOR ALL WIRING AND IRRIGATION LINES INSTALLED UNDER PAVING AREAS AND THAT PASS THROUGH DRAINAGE TRENCHES WITH DRAIN ROCK. 4-INCH DIA. OR TWICE THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN THE SLEEVE, WHICHEVER IS GREATER. INSTALL (WITH ENDS CLEARLY MARKED ABOVE GRADE) AT THE NECESSARY DEPTH PRIOR TO THE CONSTRUCTION OF PAVING AREAS OR FIELD BASES. SLEEVING TO EXTEND 12-INCHES FROM EDGE OF PAVING OR DRAINAGE TRENCH INTO ADJACENT SUBGRADE. NO UNSLEEVED PIPING, ANGLE-BENDS, 90-DEGREE BENDS, OR JOINTS SHALL BE ALLOWED UNDER PAVING.
- DRIP VALVES
GROUP DRIP VALVE RUN TIMES TOGETHER IF REQUIRED TO ENSURE THE MINIMUM FLOW AS REQUIRED BY THE FLOW SENSOR.
INSTALL AIR RELIEF VALVES ON ALL DRIP ZONES - AIR RELIEF VALVES TO BE PLACED AT THE HIGH POINT OF THE ZONE. INSTALL FLUSH PORTS AT THE ENDS OF ALL DRIP SUPPLY LINES AND CHECK VALVES IN SYSTEMS ON SLOPES TO PREVENT WET AREAS AT THE BOTTOM OF THE SYSTEM.
INSTALL DRIP LINES PARALLEL TO THE NATURAL SLOPE OF THE PLANTING AREA WHERE POSSIBLE.
- CONTROLLER:
INSTALL CONTROLLER AS SHOWN ON THE DRAWINGS. ALL ABOVE-GRADE CONDUIT SHALL BE RIGID STEEL SECURELY FASTENED TO STRUCTURE AND TO CONTROLLER.
- PROGRAMMING / SCHEDULING:
 - SET UP ESTABLISHMENT IRRIGATION SCHEDULES FOR OPTIMUM PLANT GROWTH BASED ON ANTICIPATED WEATHER OVER THE MAINTENANCE PERIOD. WATER USE OF PLANTINGS (SEE PLANTING PLAN LEGEND) AND SUN EXPOSURE. ASSUME THE SOIL TYPE TO BE A SAND LOAM.
 - CONTROLLERS: PRIOR TO THE END OF THE MAINTENANCE PERIOD, PROGRAM THE CONTROLLER PER MANUFACTURER'S DIRECTIONS.
 - DO NOT CYCLE DRIP IRRIGATION APPLICATION MORE THAN ONCE PER DAY, ADJUST LENGTH OF RUN TIME TO PROVIDE THE REQUIRED VOLUME OF WATER IN ONE CYCLE.
- VALVE BOXES:
CONTRACTOR TO INSTALL ALL VALVE BOXES A MINIMUM OF 18" FROM ADJACENT WALKS, WALLS AND PAVING EDGES. BOXES TO BE INSTALLED PERPENDICULAR TO THE ADJACENT EDGE WITH THE SHORT END OF THE BOX RUNNING PARALLEL TO THE EDGE. WHEN MULTIPLE BOXES ARE INSTALLED TOGETHER SEPARATE BOXES BY A MINIMUM OF 12".
- SYSTEM FLUSHING:
PRIOR TO INSTALLATION OF VALVES CONTRACTOR SHALL FLUSH MAIN LINE. CONTRACTOR TO INSTALL FLUSH PORTS AT THE END OF ALL DRIP LINES FOR FUTURE MAINTENANCE USE. ENTIRE SYSTEM TO BE FLUSHED AT THE COMPLETION OF INSTALLATION.
- PRESSURE TEST:
CONTRACTOR SHALL PRESSURE TEST THE MAIN LINE PRIOR AT A MINIMUM OF 100 PSI FOR 2 HOURS PRIOR TO BACKFILLING TRENCHES. SECURE PIPE AS NEEDED PRIOR TO PRESSURE TESTING.
- AS BUILT:
AT COMPLETION OF PROJECT CONTRACTOR SHALL PROVIDE TO OWNER AN AS BUILT DRAWING SHOWING DIMENSIONS OFF SITE FEATURES OR BUILDING WALLS TO MAIN LINE TRENCHES. AS BUILT PLAN TO SHOW VALVE LOCATIONS AND NUMBERS AS SEQUENCED WITH THE IRRIGATION CONTROLLER.

MONTEREY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

	SIMON PHILLIPS	4532	10-18-2023
SIGNED	NAME	CLA#	DATE

LEGEND

SYMBOL MANUFACTURER DESCRIPTION

- MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE, BELOW. 1" DIAMETER UNLESS SHOWN OTHERWISE.
- POTABLE SERVICE TO HOUSE: 2" DIA. SEE CIVIL DRAWINGS.
- LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 18" MIN. COVER, 24" UNDER AC PAVING SCH 40. SEE CHART FOR SIZE.
- STUB OUT: SEE IRRIGATION DETAILS
- SUPERIOR 3200 NORMALLY OPEN MASTER VALVE (MV) WITH FLOW SENSOR
- NDS FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE
- RAINBIRD PEB REMOTE CONTROL VALVE: SIZE AS SHOWN ON PLAN.
- WATTS / FEBCO LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET
- HUNTER CONTROLLER WITH MV TERMINAL, WALL MOUNT, 24 STATIONS. MODEL # PRO-C
- HUNTER ET SENSOR: SOLAR SYNC (WIRED)
- HOSE BIBB MOUNT HOSE BIBB ON 4X4 REDWOOD POST - 24" ABOVE GRADE.
- HUNTER MP ROTATOR - NOZZLE AS NEEDED
- 1" CONDUIT: 24" DEPTH MINIMUM. FOR ET SENSOR WIRE
- POC POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.04 ACRES. ANNUAL WATER REQUIREMENT=0.03 ACRE-FEET

LEGEND - DRIP IRRIGATION

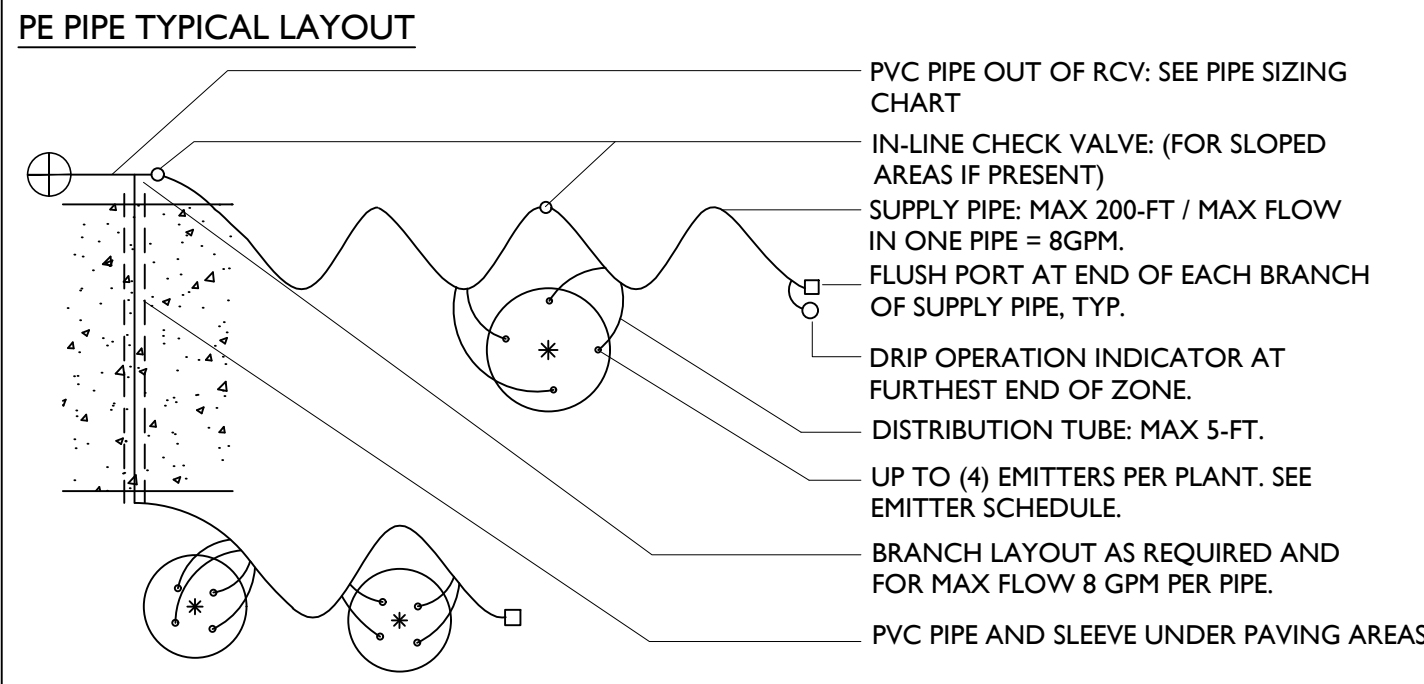
SYM MANUFACTURER DESCRIPTION

- ZONE DESIGNATION
- (ZONE 00)
- POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. SEE SPEC. SEE IRRIGATION DETAILS. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERLBUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.
- NETAFIM HIGH FLOW CONTROL ZONE KIT W/ DISC FILTER (4.5-17.6 GPM). LOW FLOW KIT W/ DISC FILTER (0.25-4.4 GPM)
- NETAFIM / RAINBIRD / TORO PRE-ASSEMBLED KIT RAINBIRD XCZLF-100- / XCZ-075 CONTROL ZONE KIT. PRBR FILTER. -100 > 5.0 GPM. -075 < 5.0 GPM AS REQUIRED PER ZONE
- TORO DZK-TPV-1-LF / MF DRIP ZONE VALVE KIT. MF > 4.5 GPM LF < 4.5 GPM AS REQUIRED PER ZONE
- POINT SOURCE IRRIGATION - SEE NOTES 3 & 4 BELOW

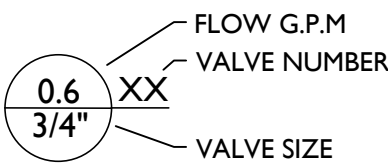
REFERENCE NOTES

- HYDROSEED TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. IRRIGATION TO BE INSTALLED WITH LATERAL LINE ABOVE GROUND AND STAKED TO THE GROUND. IRRIGATION TO BE REMOVED AFTER 24 MONTHS. CONTRACTOR TO USE HUNTER MP ROTATORS - ENSURE NOZZLES ARE ADJUSTED TO AVOID SPRAY ONTO TRUNKS OF EXISTING OAK TREES. ADD HEADS ON EITHER SIDE OF TREES AS NEEDED.
- POTABLE WATER SERVICE TO HOUSE - 2" DIAMETER. SEE CIVIL DRAWINGS.
- IRRIGATION AT MITIGATION TREES TO BE THREE 2.0 GPH EMITTERS AT EACH GROUPING OF THREE TREES - INSTALL ONE ON THE UPHILL SIDE OF THE TREES AND TWO CENTERED ON THE TREES ON EITHER SIDE OPPOSITE EACH OTHER. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER - CARE SHOULD BE TAKEN TO AVOID DISTURBING EXISTING TREE ROOT SYSTEMS DURING INSTALLATION.
- IRRIGATION AT COFFEEBERRY SCREEN TO BE TWO 2.0 GPH EMITTERS AT EACH SHRUB. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER.

DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM	EMITTER SCHEDULE	
SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE, AND ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.	1 GAL.	1
	5 GAL.	2
	15 GAL.	3
	24" BOX	4

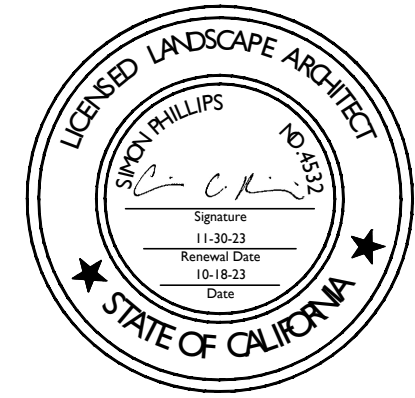


PIPE SIZING CHART - SCH 40	
MP ROTATOR LATERALS	
POINT-SOURCE DRIP SUPPLY LINES	
ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"
3/4" IS MINIMUM PIPE SIZE.	



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

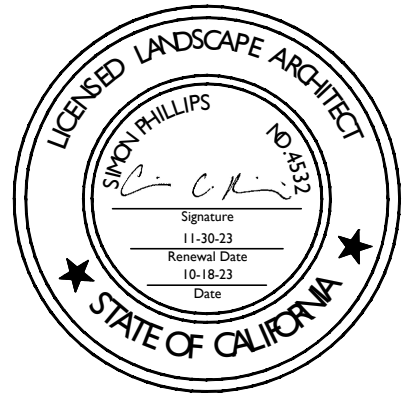
REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

IRRIGATION NOTES

SHEET NO:



PROJECT NAME:
**FISCHELL-
MILLER
RESIDENCE**

PROJECT ADDRESS:
40 ARROYO SEQUOIA
CARMEL, CA 93923
APN: 239-091-040

ISSUANCE:
**DESIGN REVIEW BOARD
FINAL REVIEW**

PROJECT NO: 2022-05
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DATE DESCRIPTION

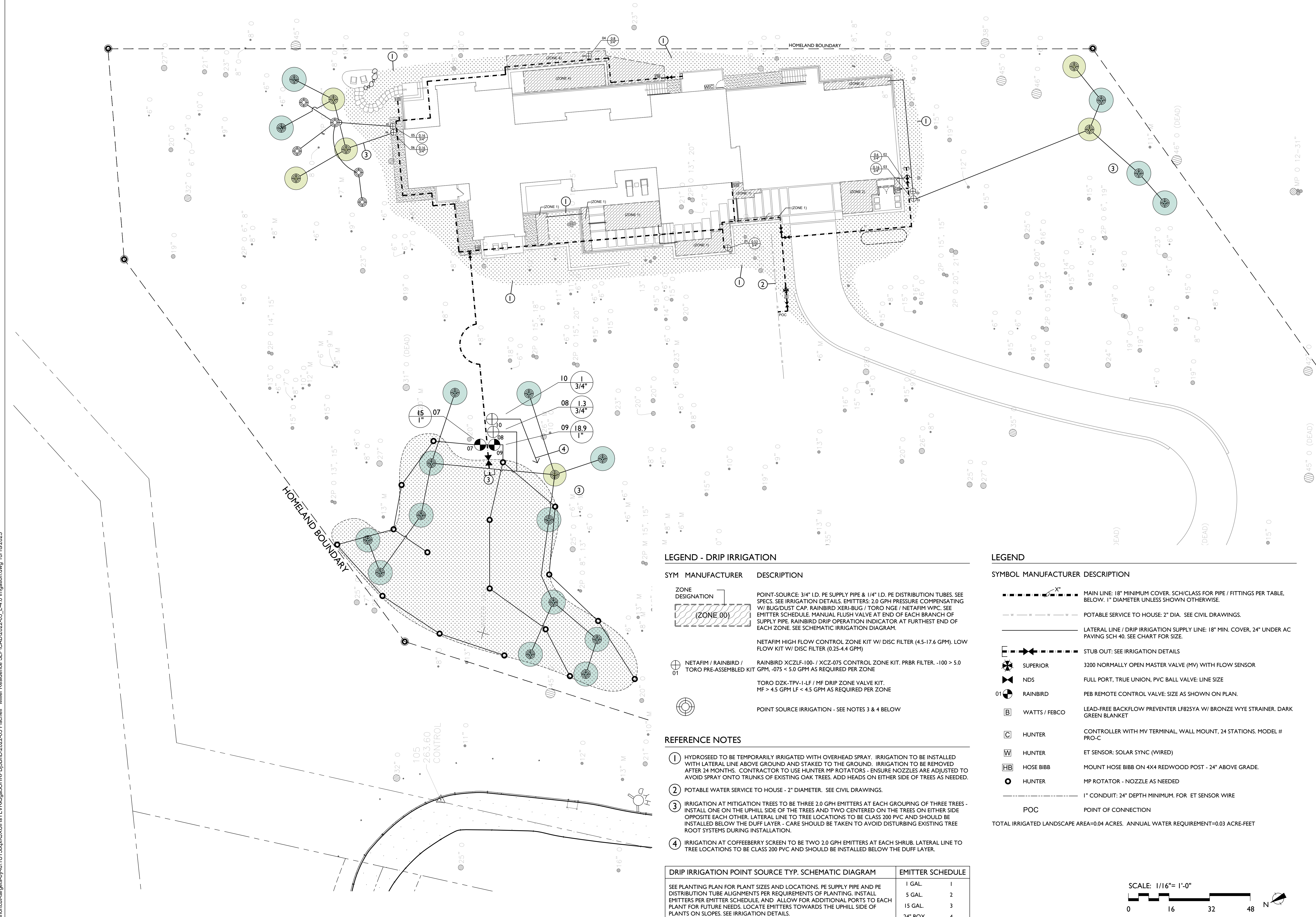
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IRRIGATION PLAN

SHEET NO:

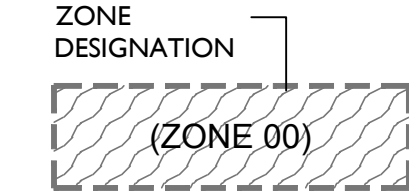
L-4.I

G:\shortcuts\targets-by-id\1UT5box\XUIHs\LVRK\gas3OHRPD\3Bhd\2022-05_L-4.0 Irrigation.dwg 10/18/2023 Miller Residence SL\PCAD\2022-05_L-4.0 Irrigation.dwg 10/18/2023



LEGEND - DRIP IRRIGATION

SYM MANUFACTURER DESCRIPTION



POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. SEE SPECS. SEE IRRIGATION DETAILS. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERI-BUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.

NETAFIM HIGH FLOW CONTROL ZONE KIT W/ DISC FILTER (4.5-17.6 GPM). LOW FLOW KIT W/ DISC FILTER (0.25-4.4 GPM)

NETAFIM / RAINBIRD / TORO PRE-ASSEMBLED KIT RAINBIRD XCZLF-100 / XCZ-075 CONTROL ZONE KIT. PRBR FILTER. -100 > 5.0 GPM, -075 < 5.0 GPM AS REQUIRED PER ZONE

TORO DZK-TPV-I-LF / MF DRIP ZONE VALVE KIT. MF > 4.5 GPM LF < 4.5 GPM AS REQUIRED PER ZONE

POINT SOURCE IRRIGATION - SEE NOTES 3 & 4 BELOW

REFERENCE NOTES

- HYDROSEED TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. IRRIGATION TO BE INSTALLED WITH LATERAL LINE ABOVE GROUND AND STAKED TO THE GROUND. IRRIGATION TO BE REMOVED AFTER 24 MONTHS. CONTRACTOR TO USE HUNTER MP ROTATORS - ENSURE NOZZLES ARE ADJUSTED TO AVOID SPRAY ONTO TRUNKS OF EXISTING OAK TREES. ADD HEADS ON EITHER SIDE OF TREES AS NEEDED.
- POTABLE WATER SERVICE TO HOUSE - 2" DIAMETER. SEE CIVIL DRAWINGS.
- IRRIGATION AT MITIGATION TREES TO BE THREE 2.0 GPH EMITTERS AT EACH GROUPING OF THREE TREES - INSTALL ONE ON THE UPHILL SIDE OF THE TREES AND TWO CENTERED ON THE TREES ON EITHER SIDE OPPOSITE EACH OTHER. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER - CARE SHOULD BE TAKEN TO AVOID DISTURBING EXISTING TREE ROOT SYSTEMS DURING INSTALLATION.
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DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM	EMITTER SCHEDULE
SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE, AND ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.	1 GAL. 1 5 GAL. 2 15 GAL. 3 24" BOX 4

LEGEND

SYMBOL MANUFACTURER DESCRIPTION

MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE. BELOW. 1" DIAMETER UNLESS SHOWN OTHERWISE.

POTABLE SERVICE TO HOUSE: 2" DIA. SEE CIVIL DRAWINGS.

LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 18" MIN. COVER, 24" UNDER AC PAVING SCH 40. SEE CHART FOR SIZE.

STUB OUT: SEE IRRIGATION DETAILS

SUPERIOR 3200 NORMALLY OPEN MASTER VALVE (MV) WITH FLOW SENSOR

NDS FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE

RAINBIRD PEB REMOTE CONTROL VALVE: SIZE AS SHOWN ON PLAN.

WATTS / FEBCO LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET

HUNTER CONTROLLER WITH MV TERMINAL, WALL MOUNT, 24 STATIONS. MODEL # PRO-C

HUNTER ET SENSOR: SOLAR SYNC (WIRED)

HOSE BIBB MOUNT HOSE BIBB ON 4X4 REDWOOD POST - 24" ABOVE GRADE.

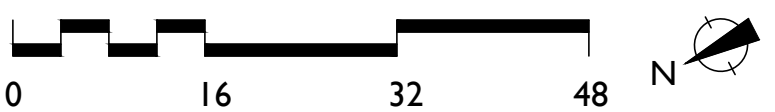
HUNTER MP ROTATOR - NOZZLE AS NEEDED

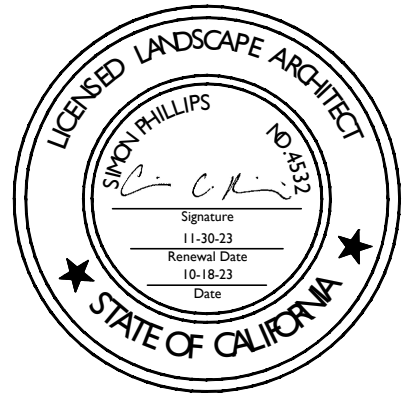
1" CONDUIT: 24" DEPTH MINIMUM. FOR ET SENSOR WIRE

POC POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.04 ACRES. ANNUAL WATER REQUIREMENT=0.03 ACRE-Feet

SCALE: 1/16"= 1'-0"





PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

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DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

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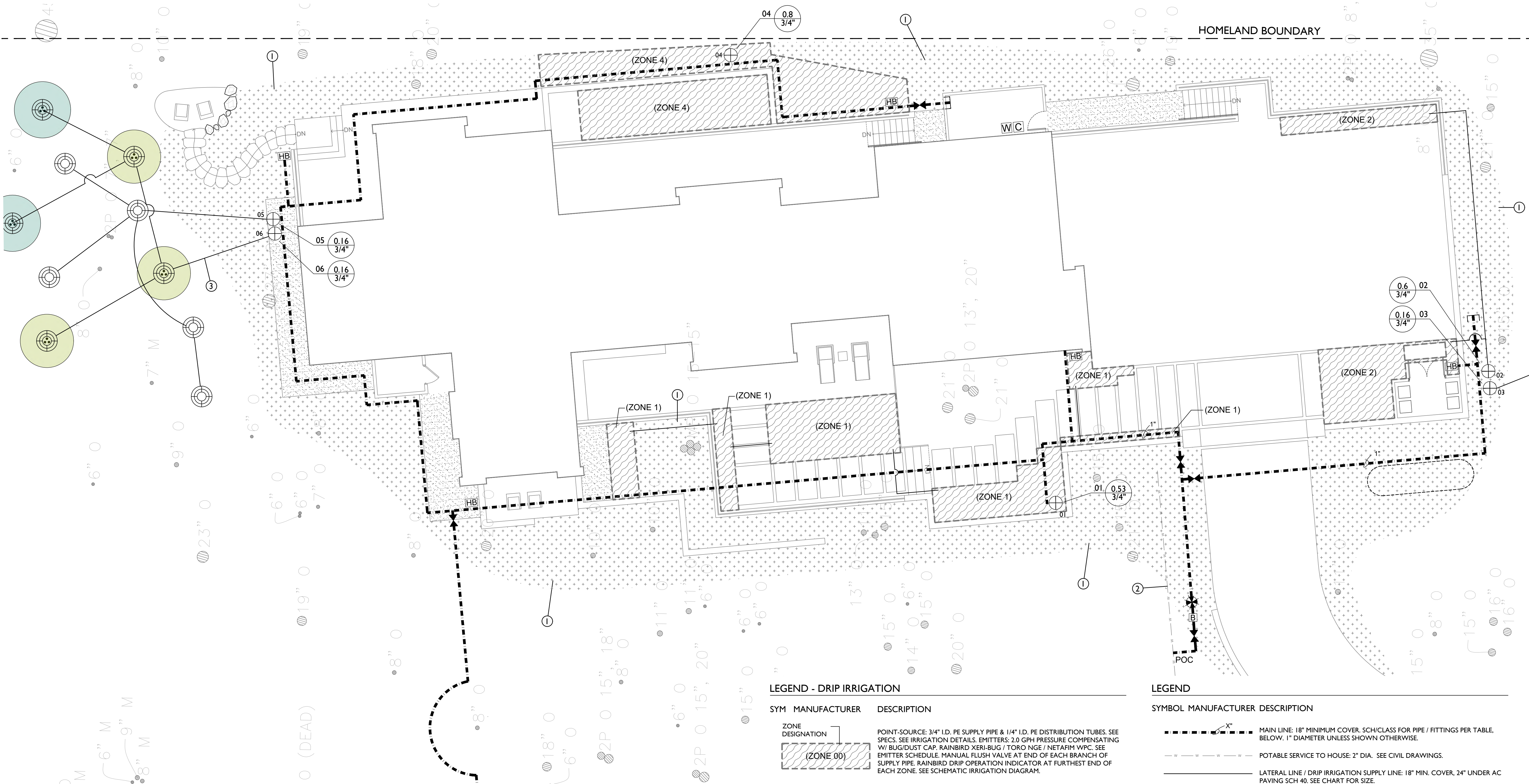
REVISIONS:

DATE DESCRIPTION

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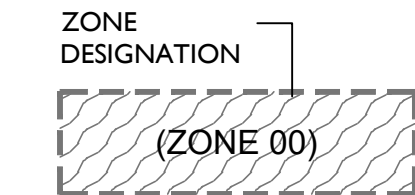
IRRIGATION PLAN

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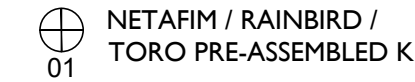
LEGEND - DRIP IRRIGATION

SYM MANUFACTURER DESCRIPTION



POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. SEE SPECS. SEE IRRIGATION DETAILS. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERI-BUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.

NETAFIM HIGH FLOW CONTROL ZONE KIT W/ DISC FILTER (4.5-17.6 GPM). LOW FLOW KIT W/ DISC FILTER (0.25-4.4 GPM)



RAINBIRD XCZLF-100- / XCZ-075 CONTROL ZONE KIT. PRBR FILTER. -100 > 5.0 GPM. -075 < 5.0 GPM AS REQUIRED PER ZONE

TORO DZK-TPV-1-LF / MF DRIP ZONE VALVE KIT. MF > 4.5 GPM LF < 4.5 GPM AS REQUIRED PER ZONE



POINT SOURCE IRRIGATION - SEE NOTES 3 & 4 BELOW

REFERENCE NOTES

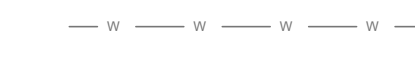
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LEGEND

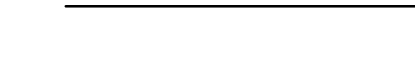
SYMBOL MANUFACTURER DESCRIPTION



MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE. BELOW. 1" DIAMETER UNLESS SHOWN OTHERWISE.



POTABLE SERVICE TO HOUSE: 2" DIA. SEE CIVIL DRAWINGS.



LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 18" MIN. COVER, 24" UNDER AC PAVING SCH 40. SEE CHART FOR SIZE.



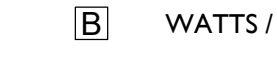
STUB OUT: SEE IRRIGATION DETAILS



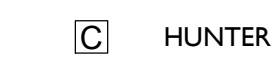
3200 NORMALLY OPEN MASTER VALVE (MV) WITH FLOW SENSOR



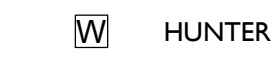
FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE



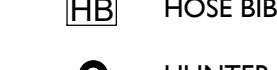
PEB REMOTE CONTROL VALVE: SIZE AS SHOWN ON PLAN.



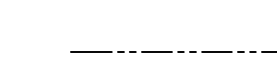
LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET



CONTROLLER WITH MV TERMINAL, WALL MOUNT, 24 STATIONS. MODEL # PRO-C



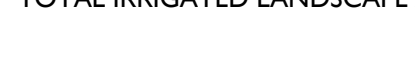
ET SENSOR: SOLAR SYNC (WIRED)



MOUNT HOSE BIBB ON 4X4 REDWOOD POST - 24" ABOVE GRADE.



MP ROTATOR - NOZZLE AS NEEDED



POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.04 ACRES. ANNUAL WATER REQUIREMENT=0.03 ACRE-Feet

PIPE SIZING CHART - SCH 40

MP ROTATOR LATERALS

POINT-SOURCE DRIP SUPPLY LINES

ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"
3/4" IS MINIMUM PIPE SIZE.	

MONTEREY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Simon Phillips

SIGNED

SIMON PHILLIPS

NAME

4532

CLA#

10-18-2023

DATE

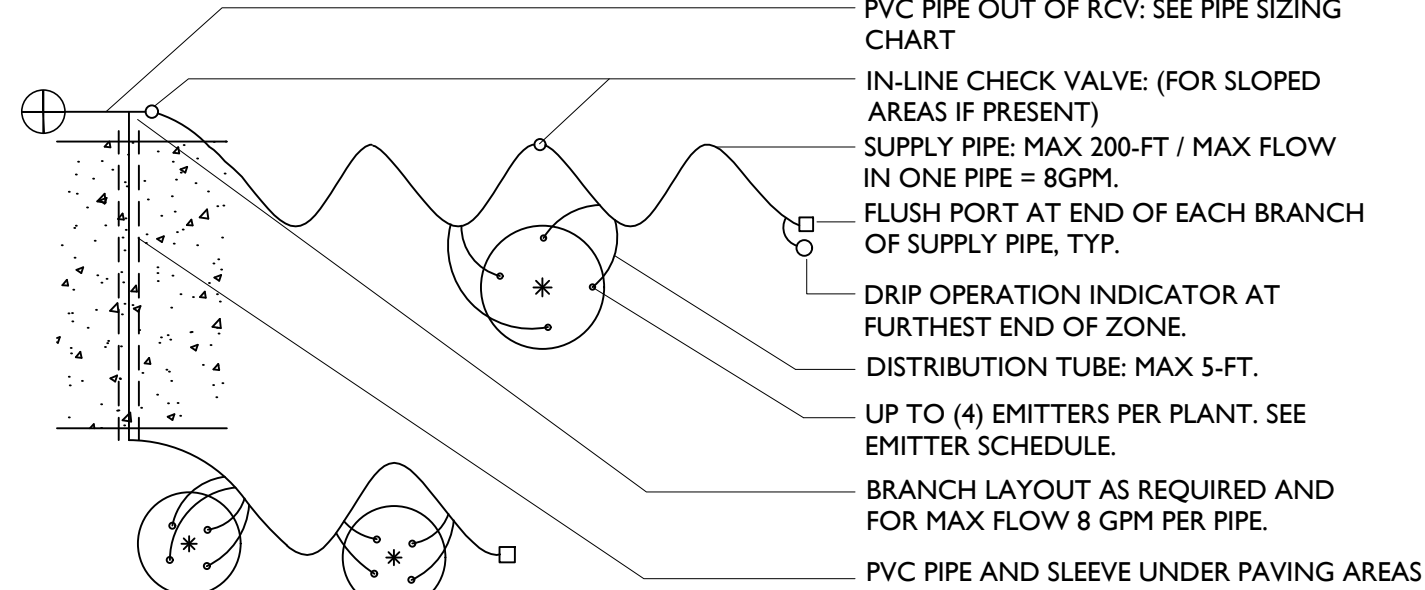
DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM

SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE, AND ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.

EMITTER SCHEDULE

1 GAL.	1
5 GAL.	2
15 GAL.	3
24" BOX	4

PE PIPE TYPICAL LAYOUT



SCALE: 1/8"= 1'-0"



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SPECIFICATION SHEET

SPJ570-D
Column



MODEL: SPJ570-D
MATERIAL : Marine Grade Stainless Steel
FINISH : Specify
GLASS : Specify
ELECTRICAL : 120v
SOCKET : 1 Medium Base
LAMP : 2W LED

Stainless steel requires regular cleaning and maintenance, much like household appliances, to maintain its luster and to prevent tarnishing or the appearance of rust like stains.

Specify Wet Location

SPJ LIGHTING INC.
2107 Chico Avenue
South El Monte, CA 91733
(800) 469-3637 FAX: (626) 433-4839

3 PILASTER LIGHT



2 PATH LIGHT

SPJ-SQ100-F

Model:	SPJ-SQ100-F
Shown:	Satin Brass
Material:	Solid Brass
Finish:	Specify
Electrical:	12V
Engine:	FB-LS2
Lumens:	150
Color Temp:	2700K
Mounting:	1/2" NPT, Dual Fin Spike Incl.
LED:	Nichia Forever Bright



Model: **SPJ-FB-275-3**
Finish: Matte Bronze

The Versatile GDG Series

DESCRIPTION
Model#: SPJ-FB-275-3
Engine: FB-2W-CYL-TA16 (standard)
Lumens: 150
Optics: Wide Angle Flood
Color Temp: 2700K
Electrical: 8-15V, 120V
Mounting: Recessed
LED: Nichia

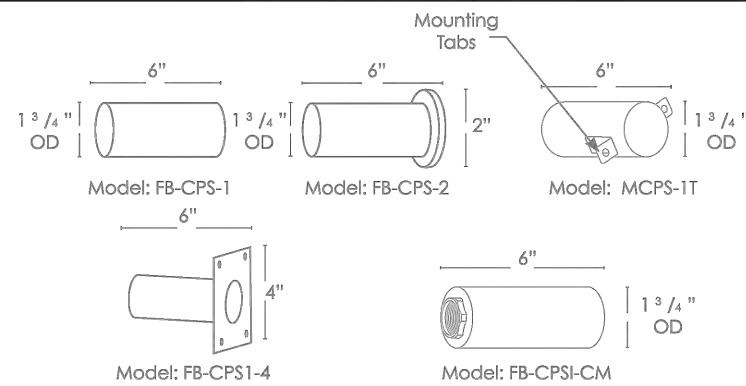
Unlimited LED Lumen Packages & Color Temperatures Available!

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
Electrical: Available in 8-15V or 120V
Labels: ETL Standard Wet Label
C-ETL

Concrete Pour Steeves



ORDERING INFORMATION						
Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-FB-275-3	MBR	2W	WIDE ANGLE FLOOD	150	2700K	8-15V
Y = Vert M = Med AG = Appl Brass SB = Satin Brass GS = Gun Metal S = Black R = Rusty PVD = PVD Polished PVD = PVD Satin						

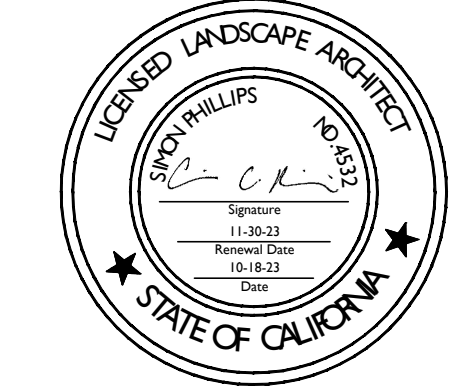
WWW.SPJLIGHTING.COM

FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	LUMENS	COMMENTS
	WALL LIGHT	SPJ Lighting SPJ-FB-275-3	2W LED	150	SEE 1/L-5.0
	PATH LIGHT	SPJ-SQ100F	2W LED	150	SEE 2/L-5.0
	PILASTER LIGHT	SPJ570-SS-D	2W LED	150	SEE 3/L-5.0

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

LIGHTING PLAN

SHEET NO:

SCALE: 1/8"= 1'-0"



L-5.0

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