

Exhibit A

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DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

JOHNSON L EDWARD JR TR & MCDERMOTT KAREN TR (PLN230020)

RESOLUTION NO. ----

Resolution by the Monterey County Chief of
Planning:

- 1) Considering the project categorically exempt from CEQA pursuant to Section 15301, Existing Structures, and 15303, New Structures, of the CEQA Guidelines; and
- 2) Approving a:
 - a. Restoration Plan to abate unpermitted tree removal;
 - b. Coastal Administrative Permit and Design Approval to allow a 1,763 square foot addition to a single family dwelling and associated site improvements;
 - c. Coastal Administrative Permit and Design Approval to allow construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN230020, Johnson L Edward Jr Tr & Mcdermott Karen Tr, 1148 Porque Lane, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-282-004-000)]

The JOHNSON L EDWARD JR TR & MCDERMOTT KAREN TR APPLICATION (PLN230020) came on for an administrative hearing before the Monterey County Chief of Planning on December 6, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
 - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1148 Porque Lane, Pebble Beach, (APN: 008-282-004-000), within the Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 1 unit per 1.5 acres and Design Control overlay district in the Coastal Zone “LDR/1.5-D (CZ)”, which allows a single family dwelling and accessory dwelling unit (Title 20 section 20.14.040.A and W). The project consists of a 1,109 square foot addition to the existing single family dwelling with associated site improvements and construction of a 1,200 square foot accessory dwelling unit (ADU) with an attached 264 square foot covered porte cochere and a 391 square foot attached covered loggia and development within 750 feet of known archaeological resources. The project also includes restoration on Monterey pine trees (see subsequent Evidence “g” and Finding 4 and supporting evidence). Therefore, the project is an allowed use.
- c) Lot Legality. The property is shown in its current configuration as the lot labeled “1730 Official Records 137” on the Parcel Map of A.P. NO. 8-281-09 and 10 in Rancho El Pescadero, Pebble Beach, Monterey County, filed with the Recorder’s Office on June 7, 1974. Therefore, the County recognizes it as a legal lot of record.
- d) Site Inspection. The project planner conducted a site inspection on June 14, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations contained in Title 20 Chapter 20.44, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The proposed development will update and enhance the existing residence. Off-white exterior stucco walls are proposed for the additions to the single family dwelling and ADU to match the existing structure on the property. Charcoal grey roof shingles will replace the existing shingles of the single family dwelling and will be used for the ADU. Charcoal grey rain gutters, sills, gable ends and outriggers are also proposed for both structures. White exterior door and window frames will be installed in both structures to contribute to the consistent design of the dwellings. The proposed development will not interfere with views of the ocean from public viewing areas, and it will blend in with the existing neighborhood character.

- f) Development Standards. Development standards for Low Density Residential zoning can be found in Title 20, section 20.14.060. The proposed development is consistent with all applicable development standards. The existing site coverage is 3,208 square feet (5%), the proposed addition and ADU will bring the total site coverage to 5,893 (9%), well below the allowed 9,886 square feet (15%). This project is not located within the Pescadero watershed and therefore is not subject to the 9,000 maximum impervious coverage regulation under section 20.147.030 of the DMF CIP. The proposed Floor Area Ratio (FAR) is 7.6% (4,982 square feet), consistent with the allowed 17.5% (11,534 square feet). The additions to the single family dwelling will not encroach into any required setbacks; the structure will remain over 20 feet away from each side of the property, over 30 feet away from the front property line and over 20 feet from the rear property line. The height of the single family dwelling will not change and will remain consistent with the required 30 foot height limit at a height of 13 feet and 10 inches from the average natural grade. The proposed ADU is consistent with the development standards within section 20.64.030 of Title 20. The proposed ADU will have a floor area of 1,200 square feet, which is the maximum allowed. It will also have a height of 14 feet and 7 inches which is below the maximum allowed 16 foot height limit. The proposed structure will exceed the minimum 4 foot side and rear setback with side setbacks of over 20 feet and a rear setback of over 75 feet. Consistent with Title 20 section 20.14.060, the ADU will be constructed over 10 feet away from the main dwelling.
- g) Tree Restoration. During review of the application, staff received correspondence from the California Coastal Commission (CCC) staff that there appeared to be, based on historical satellite imagery, a noticeable amount of tree removal on the property over the past 15 years. After some investigation into past permits, staff determined the majority of the tree removal occurred without the benefit of a permit. Although the current owners were not the owners at the time of the tree removal, and there was no open code enforcement case on the property. However, they have agreed to bring the property back into conformance, pursuant to section 20.90.130 of Title 20, and restore the property by replanting 25 Monterey pine trees as recommended by the project arborist. See finding 4 and supporting evidence and in the attached Restoration and Forest Management Plan.
- h) Cultural Resources. County Geographic Information System records identified the proposed project site is within 750 feet of known archaeological resources. Pursuant to DMF CIP section 20.147.080.B, an archaeological report was prepared for this property to assess the potential for impacts to archaeological resources due to the proposed development (LIB230129, see Finding 2, Evidence “b”). This report concluded that no indicators that define cultural resources were present on the project parcel, and therefore construction should not be delayed due to concern for cultural resources. No further investigation was recommended. A standard condition of approval has been applied required construction work be halted if cultural resources are accidentally uncovered.

- i) The application, project plans and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230020.
2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (PBCSD), HCD-Environmental Services and the Environmental Health Bureau (EHB). There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to potentially historical and archaeological resources. The following report was evaluated:
 - “Phase I Archaeological Assessment” (LIB230129) prepared by Susan Morely, Marina, California, April 1, 2023.
 - “Geotechnical Report” (LIB230130) prepared by Lawrence Grice, Salinas, California, March 10, 2023
 - “Forest Management Plan” (LIB230301) prepared by Frank Ono, Pacific Grove, California, October 11, 2023

The above-mentioned technical report by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed this report and concurs with its conclusions.
 - c) Staff conducted a site inspection on June 14, 2023 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230020.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (PBCSD), HCD-Environmental Services and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The EHB reviewed the submitted utility bills and confirmed the property currently receives water and wastewater services from the PBCSD. The property will continue to be served by PBCSD following the proposed development. New water or wastewater systems are not proposed so “Can and Will Serve” letters were not requested.

- c) EHB did not add any conditions of approval to the proposed development permit.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230020.

4. **FINDING:** **NO VIOLATIONS** – There is no open code enforcement case on the subject property. However, it appears tree removal occurred without benefit of the proper permit and therefore it is not in compliance with all rules and regulations pertaining to zoning uses and other applicable provisions of the County’s zoning ordinance. Approval and implementation of the Restoration Plan will address the violation on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services records to assess if any violation exists on the subject property, there are no open code enforcement cases for the property.
 - b) During review of the application, staff determined that unpermitted tree removal occurred on the property prior to the current owners purchasing the property. The owners have agreed to restore the property to pre-violation state.
 - c) A Restoration and Forest Management Plan was prepared by an outside consultant (see attached) to determine the appropriate amount of trees to be replanted in order to restore the forest resources on the property. Based on site surveys and review of satellite imagery, the arborist was able to estimate 25 replacement Monterey pine trees would be able to restore the forest habitat on the property.
 - d) A tree replacement condition (Condition No. 4) has been incorporated to ensure the owners will plant 25 Monterey pine trees on the property and monitor their growth over 3 years to ensure a 100% survival rate. Recommendations have been included in the Restoration and Forest Management Plan to help meet the 100% survival rate and a Notice of Report (Condition No. 5) has been incorporated to ensure all recommendations within the Restoration and Forest Management Plan are followed.
 - e) By restoring the forest habitat, the owners will address the tree removal violation and bring the property back into compliance with all applicable County policies and regulations.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230020.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15301 categorically exempts minor alterations to existing structures provided the alterations result in negligible or no expansion of the use. The current use is residential, and the proposed use is also residential, therefore, there will be no expansion. The ADU is exempt

from CEQA review pursuant to Section 15303 which categorically exempts the construction of new, small structures.

- b) This project qualifies for Class 1 and Class 3 exemptions because it includes an addition to an existing single family dwelling and the construction of an ADU. The addition will not increase the floor area by 50% or 2,500 square feet and the ADU will be the second dwelling on the property and no aspects of the project will impact important environmental resources.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of the project site is not considered an environmentally sensitive area and there are no none environmentally sensitive species that occur within the site;
 - Successive projects of the same type and in the same place (additions to an existing structure) would not contribute to a significant cumulative impact;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1 and 2);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230020.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. This project is appealable to the California Coastal Commission pursuant to Title 20 section 20.86.080.A.3, as it includes development that is permitted in the underlying zone as a conditional use. The project includes development within 750 feet of known archaeological resources. This circumstance falls under conditional uses which require a coastal development permit.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Consider the project is categorically exempt pursuant to Section 15301, Existing Structures, and Section 15303, New Structures of the CEQA Guidelines; and
2. Approve a:
 - a. Restoration Plan to abate unpermitted tree removal;
 - b. Coastal Administrative Permit and Design Approval to allow a 1,763 square foot addition to a single family dwelling and associated site improvements;
 - c. Coastal Administrative Permit and Design Approval to allow construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia; and
 - d. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 6th day of December, 2023:

Melanie Beretti, AICP
HCD Acting Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

3. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230020

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Coastal Administrative Permit and Design Approval (PLN230020) allows construction of a a 1,109 square foot addition to a single family dwelling and associated site improvements including Pine forest restoration, and construction of a 1,200 square foot accessory dwelling unit with an attached 264 square foot covered patio and an attached 391 square foot covered loggia. The property is located at 1148 Porque Lane, Pebble Beach (Assessor's Parcel Number 008-282-004-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-282-004-000 on December 6, 2023. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final, the applicant shall replace and or relocate each tree removed as follows:
- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: 1:1
- Other: 25 Monterey pines total
Replacement tree(s) shall be located in areas recommended by the project arborist.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

Three years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

5. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A Forest Management Plan (Library No. LIB230301), was prepared by Frank Ono on October 11, 2023 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

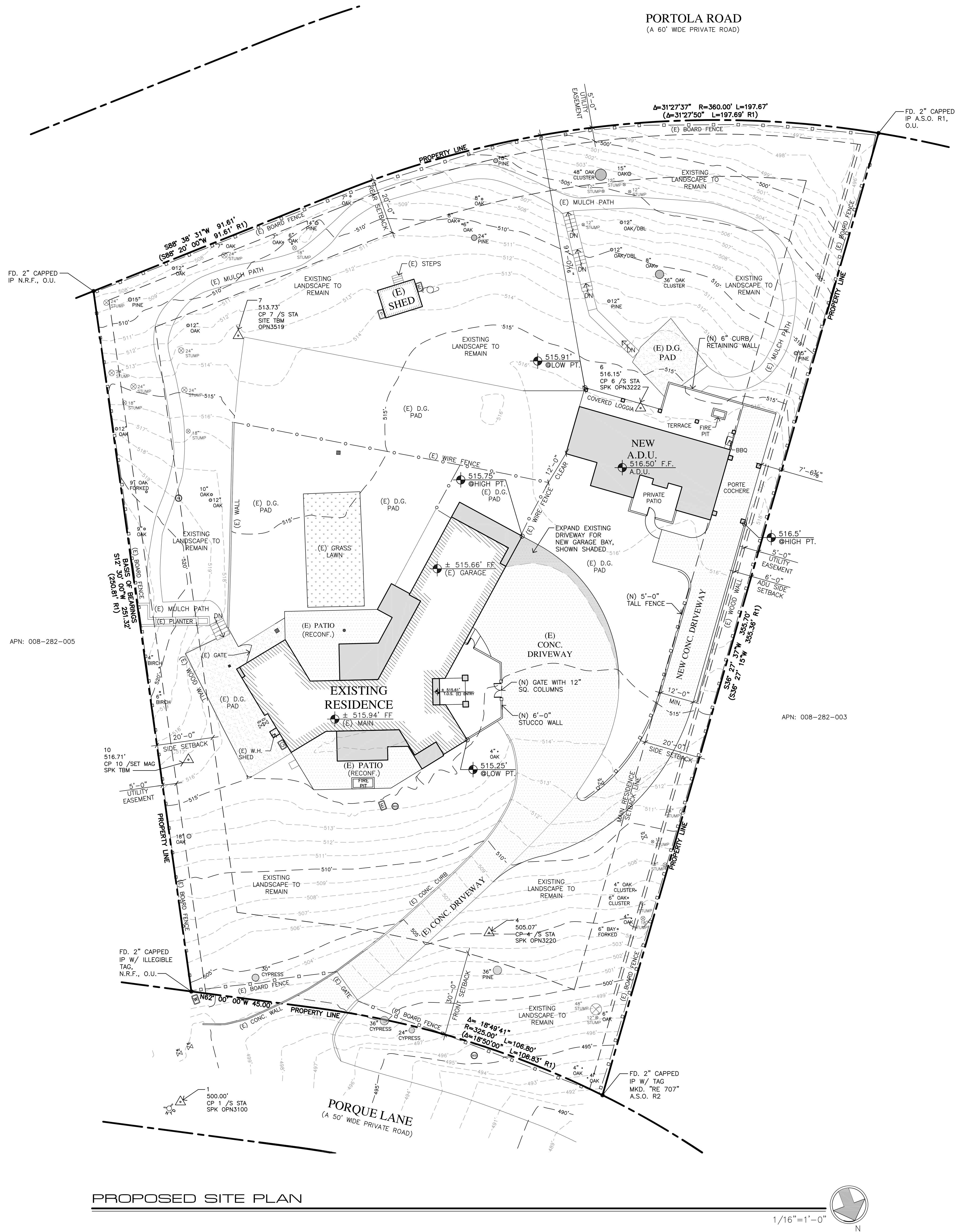
Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.



PLANNING INFO.

- PROPERTY OWNER:
KAREN McDERMOTT
PO BOX 1064
PEBBLE BEACH, CA. 93953
PH. (408) 314-2673
- PROJECT ADDRESS:
1148 PORQUE LANE
PEBBLE BEACH, CA.
- PROJECT SCOPE:
• EXISTING MAIN HOUSE:
• 514 SF INTERIOR REMODEL AND ADDITION OF 708 SF TO EXISTING SINGLE FAMILY RESIDENCE.
• ADDITION OF 309 SF TO EXISTING GARAGE.
• REBUILD AND ADDITION OF 92 SF TO EXISTING COVERED ENTRY.
• RECONFIGURE EXISTING SOUTH BRICK PATIO AND NORTH BRICK PATIO AND NEW FIREPIT.
• REPLACE ALL EXTERIOR DOORS AND WINDOWS.
• NEW 1,200 SF ACCESSORY DWELLING UNIT WITH ATTACHED 264 SF PORTE COCHERE.
• NEW 391 SF COVERED LOGGIA WITH NEW BUILT-IN BBQ AND FIREPIT.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-282-004
- LEGAL DESC.: LOT: BLOCK:
- ZONE: LDR/1.5-D(CZ)
- STORIES: ONE
- MAX BLDG. HT: 30 FT
- GRADING: 140 CY CUT/ 45 CY FILL; SEE CIVIL PLANS
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE:
2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2019 CALIFORNIA ENERGY CODE

- LOT AREA: 65,908.84 S.F. (1.51 Ac.)
- LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
BUILDINGS	2,765	1,017	0	3,782
COVERED ENTRY	41	92	-23	110
COVERED PATIO	140	0	-140	0
MECH./STORAGE	56	0	-49	7
SHED	139	0	0	139
DOG RUN	67	0	-67	0
A.D.U.	0	1,200	0	1,200
COVERED LOGGIA	0	391	0	391
PORTE COCHERE	0	264	0	264
TOTAL	3,208	2,964	-279	5,893

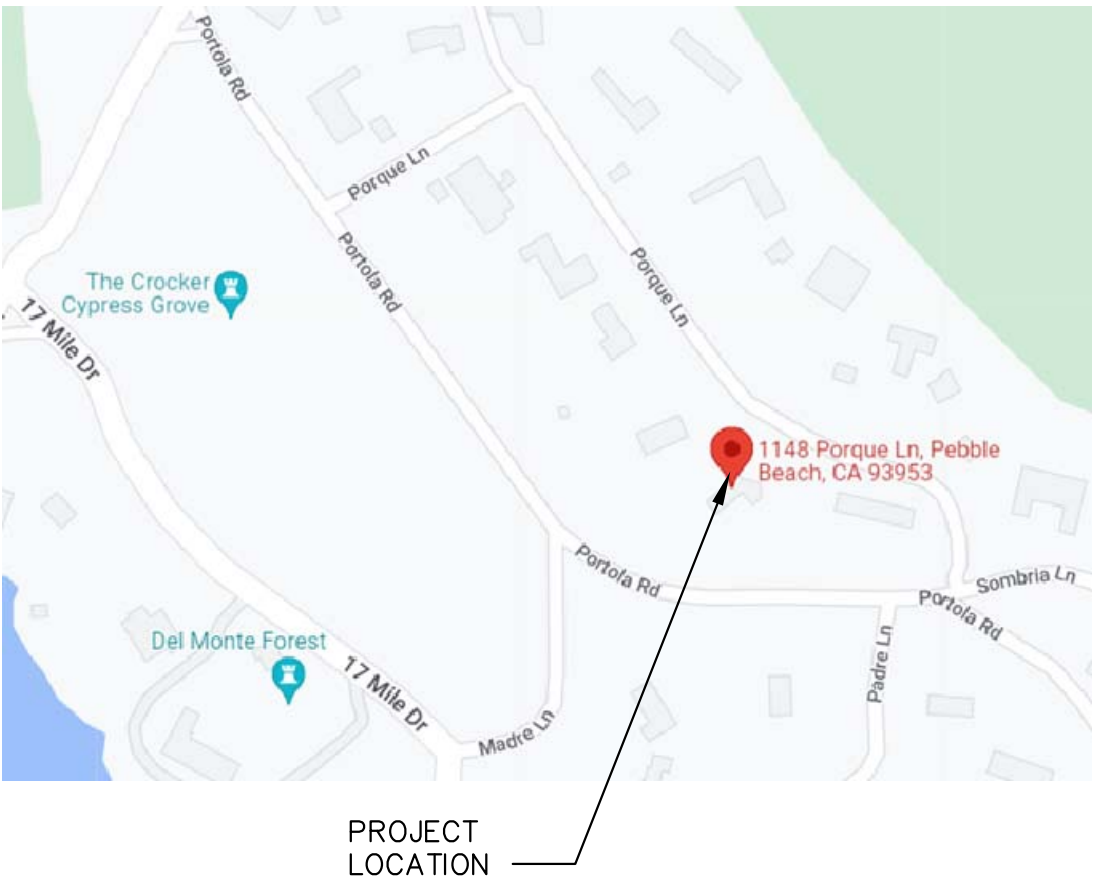
- LOT COVERAGE ALLOWED: 9,886.4 SF (15%)
- LOT COVERAGE PROPOSED: 5,893 SF (8.94%)

■ F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING				
MAIN FLOOR	2,131	708	0	2,839
GARAGE	634	309	0	943
A.D.U.	0	1,200	0	1,200
TOTAL	2,765	2,217	0	4,982

- F.A.R. ALLOWED: 11,534 SF (17.5%)
- F.A.R. PROPOSED: 4,982 SF (7.56%)

VICINITY MAP



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, DEVELOPED AND CONSIDERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE OFFICE. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ACCURATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

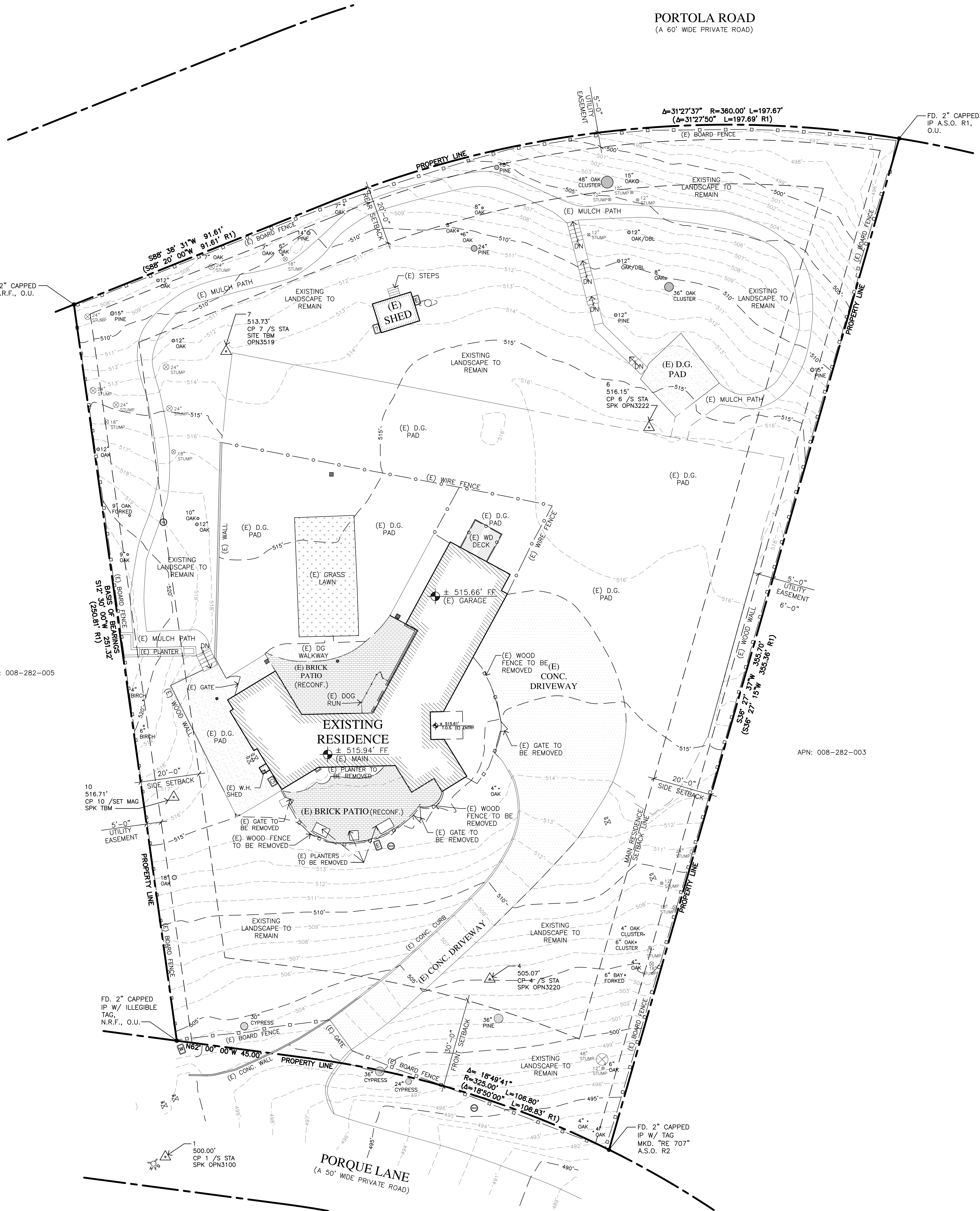
REVISIONS:

- △ FEBRUARY 14, 2023
PB ARB SUBMITTAL
△ MARCH 31, 2023
PB ARB SUBMITTAL
△ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
△
△
△

SITE
PLAN

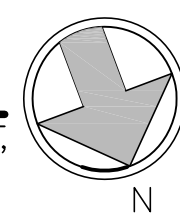
SHEET NO.

A1.0

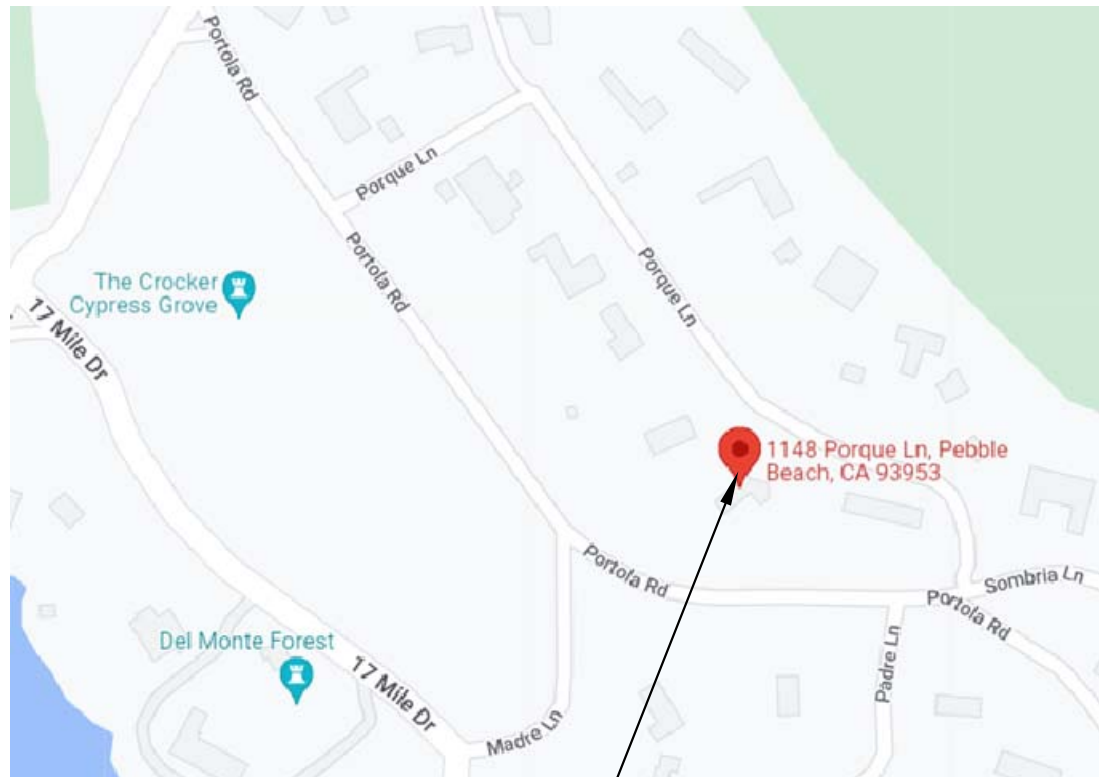


EXISTING SITE PLAN

1/16"=1'-0"



VICINITY MAP



PROJECT LOCATION

JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idg.net
WEB: idg.net

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STAMPS:

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023

APPLICATION REQUEST SUB.

REVISIONS:

△	FEBRUARY 14, 2023
△	PB ARB SUBMITTAL
△	MARCH 31, 2023
△	PB ARB SUBMITTAL
△	APRIL 6, 2023
△	PLANNING DEPT. SUBMITTAL
△	
△	
△	

EXISTING
SITE PLAN

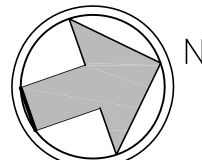
SHEET NO.

A1.1



MAIN LEVEL PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLANO, AIA



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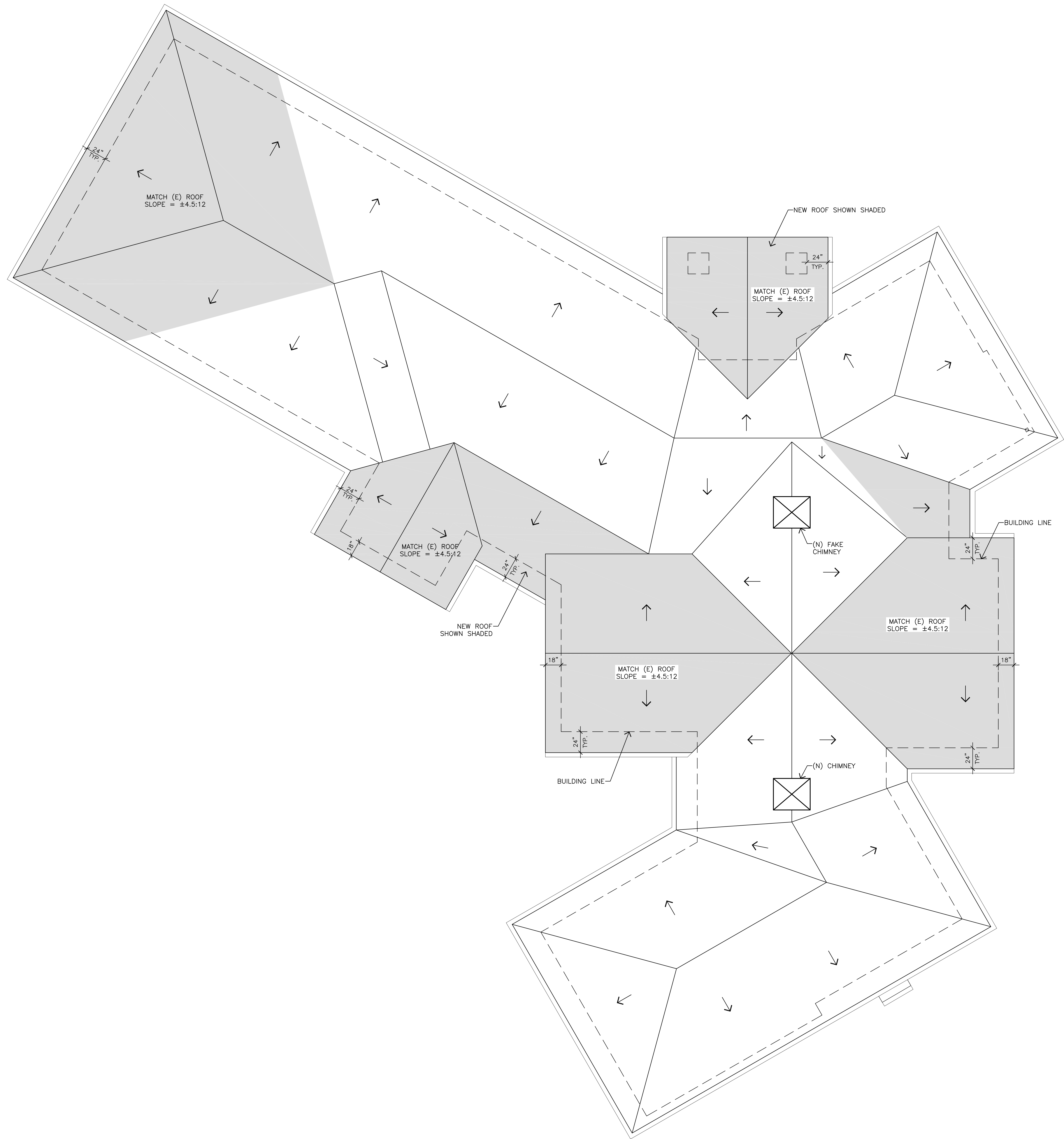
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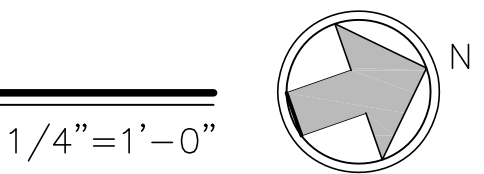
MAIN LEVEL
PLAN

SHEET NO.

A2.0



ROOF PLAN



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**KAREN
McDERMOTT**

PROJECT ADDRESS:

**1148 PORQUE LANE
PEBBLE BEACH, CA
93953**

APN: 008-282-004

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**ROOF
PLAN**

SHEET NO.
A5.0

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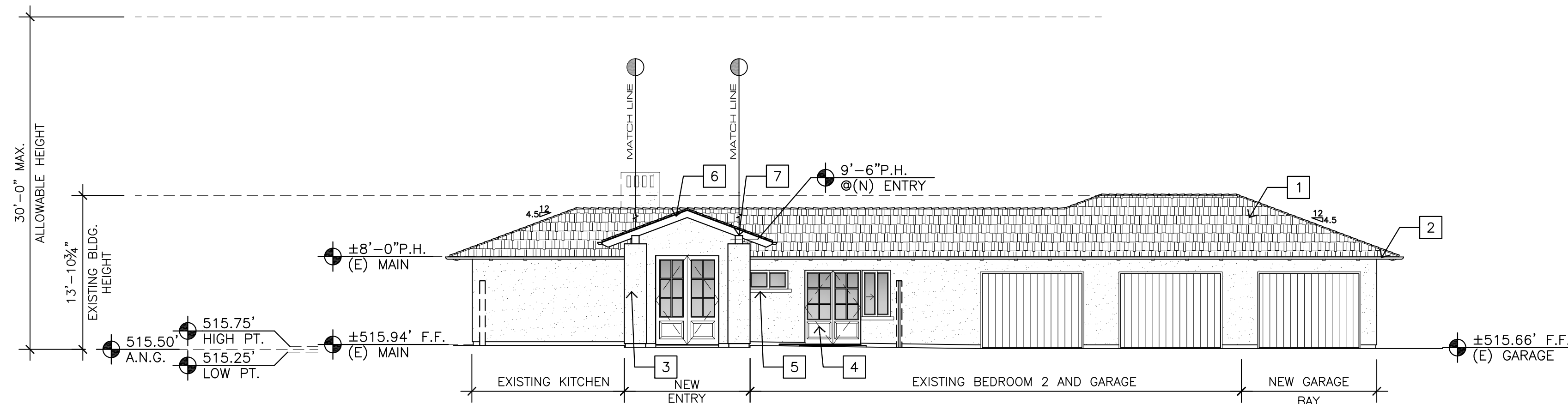
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△	
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ELEVATIONS

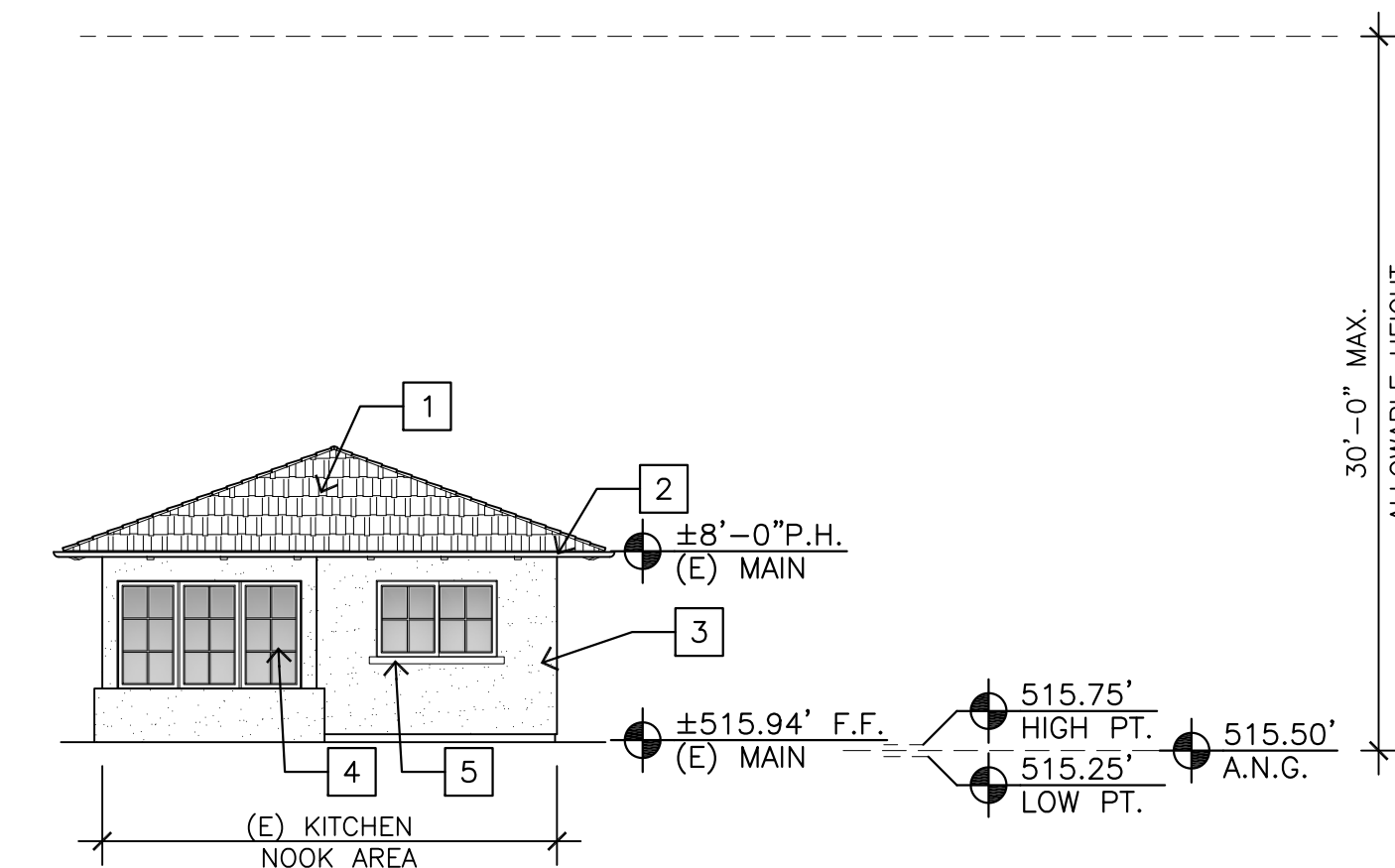
SHEET NO.

A6.0



NORTH WEST ELEVATION

1/8"=1'-0"

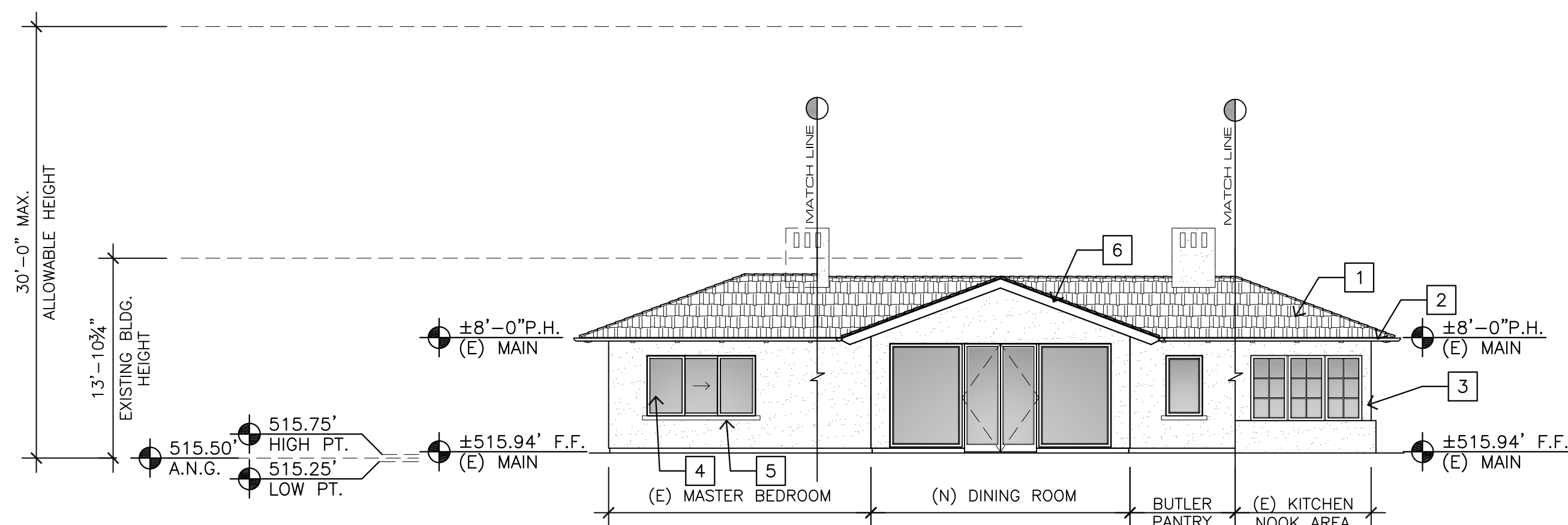


NORTH ELEVATION

1/8"=1'-0"

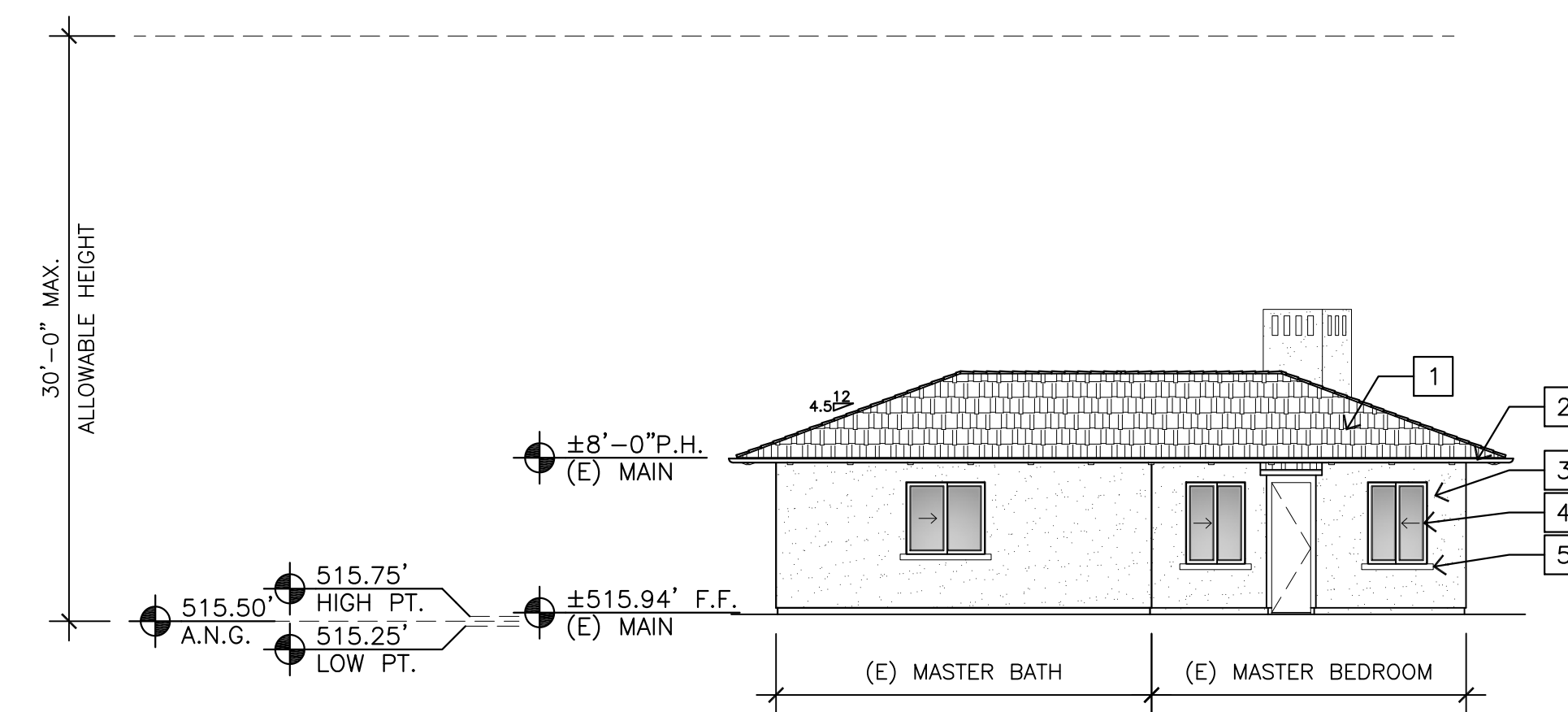
EXTERIOR FINISH LEGEND

- 1 COMPOSITE SHINGLE ROOF/CHARCOAL GREY
- 2 PAINTED GALVANIZED 5" HALF ROUND GUTTER
- 3 EXTERIOR STUCCO SMOOTH FINISH
- 4 WOOD EXTERIOR DOORS AND WINDOWS
- 5 4X4 SHAPED REDWOOD SILL
- 6 3X8 REDWOOD GABLE END
- 7 8X10 REDWOOD OUTRIGGER



NORTH EAST ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

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STAMPS:


$$1/8'' = 1' - 0''$$

$$1/8'' = 1' - 0''$$

1	COMPOSITE SHINGLE ROOF/CHARCOAL GREY
2	PAINTED GALVANIZED 5" HALF ROUND GUTTER
3	EXTERIOR STUCCO SMOOTH FINISH
4	WOOD EXTERIOR DOORS AND WINDOWS
5	4X4 SHAPED REDWOOD SILL
6	3X8 REDWOOD GABLE END
7	8X10 REDWOOD OUTRIGGER


$$\underline{\underline{1/8'' = 1' - 0''}}$$

$$1/8'' = 1' - 0''$$

PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

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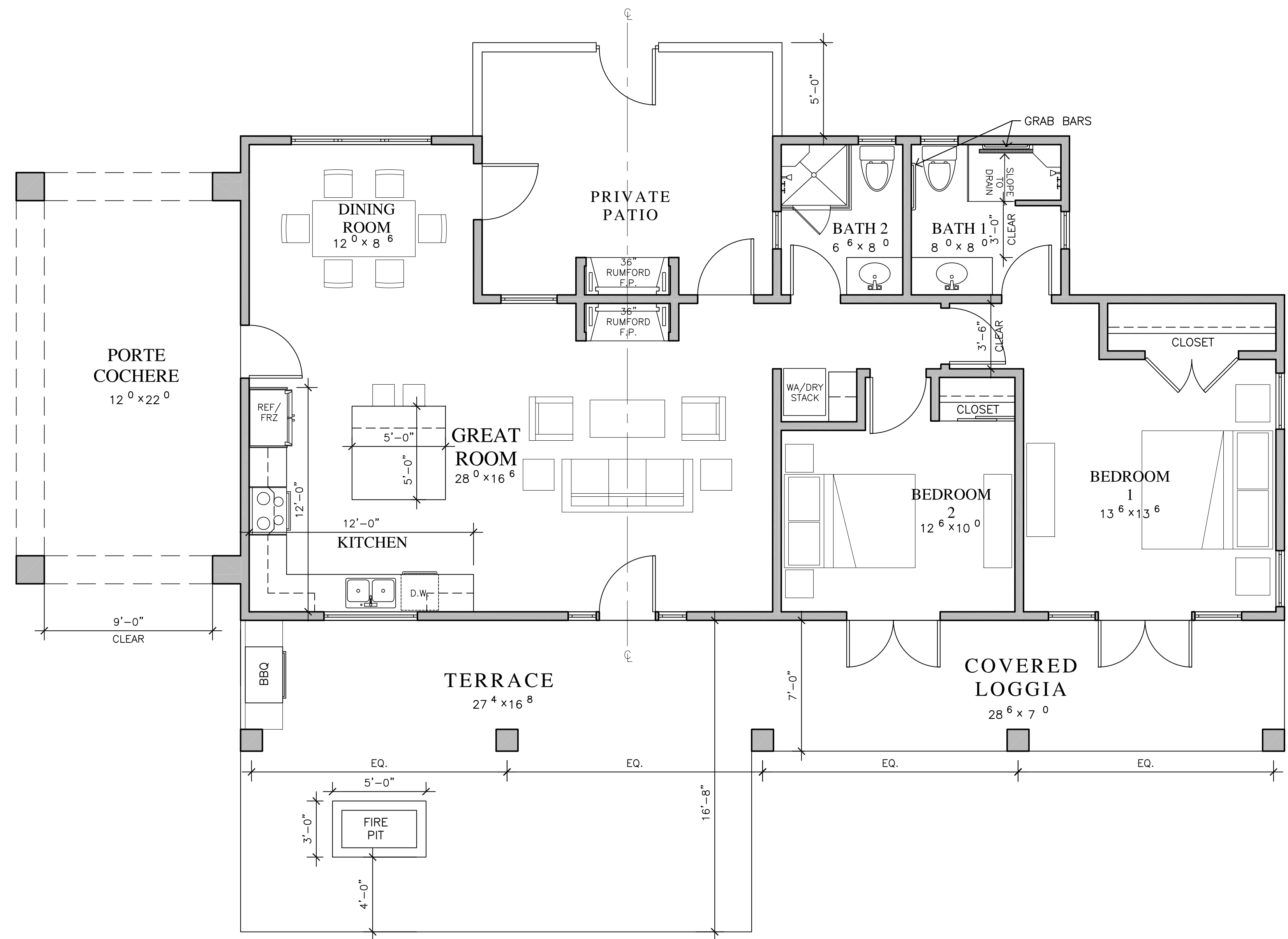
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④	PR ARB SUBMITTAL
⑤	APRIL 6, 2023
⑥	PLANNING DEPT. SUBMITTAL
⑦	
⑧	
⑨	
⑩	

ELEVATIONS

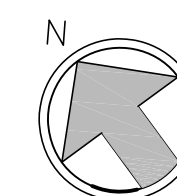
SHEET NO.

A6.1



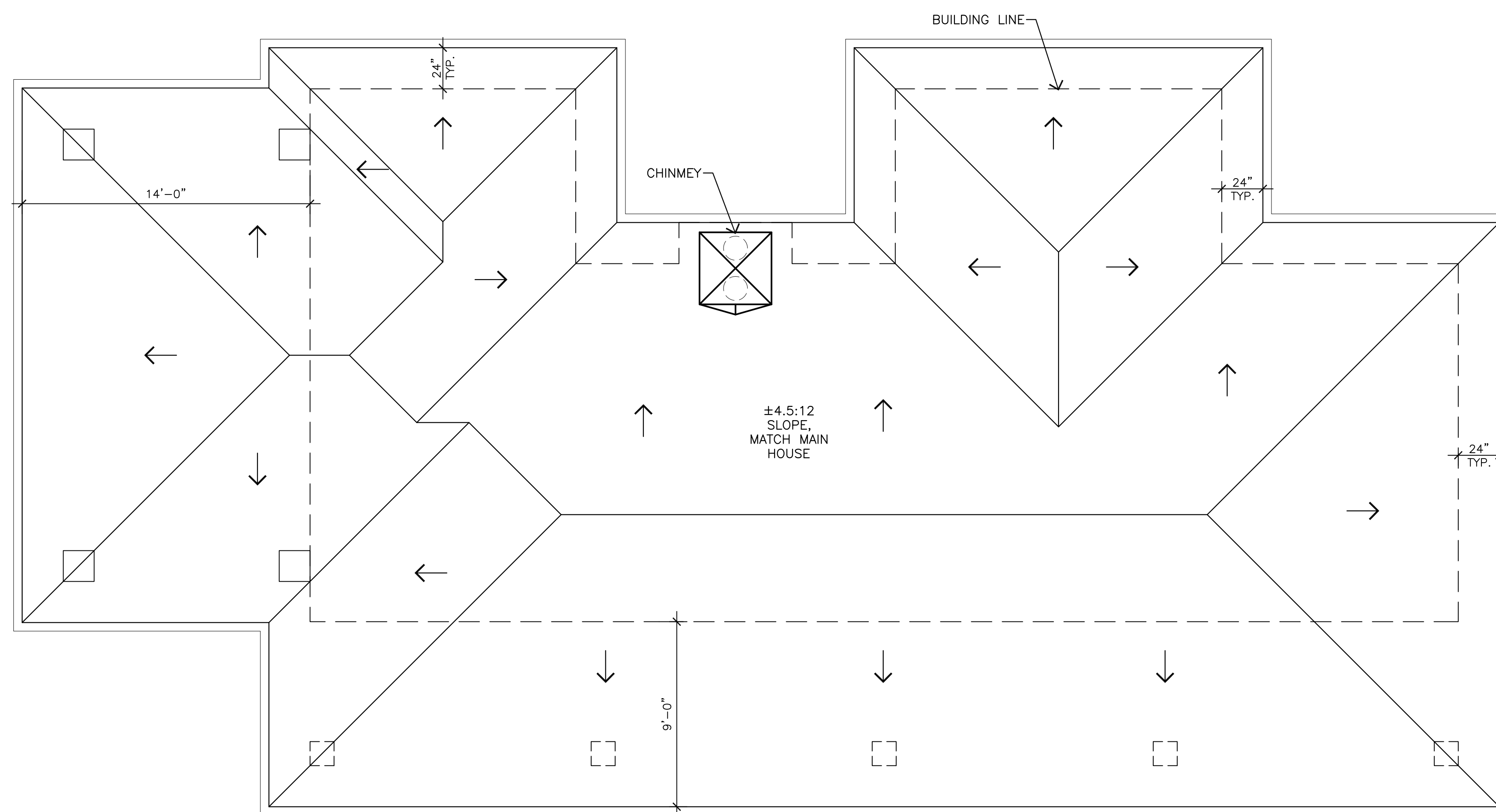
ACCESSORY DWELLING UNIT PLAN

1/4"=1'-0"



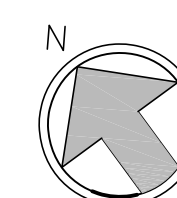
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



ACCESSORY DWELLING UNIT PLAN - ROOF PLAN

1/4"=1'-0"



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PROJECT/CLIENT:

KAREN
McDERMOTT

PROJECT ADDRESS:

1148 PORQUE LANE
PEBBLE BEACH, CA
93953

APN: 008-282-004

DATE: JANUARY 13, 2023
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- △ APRIL 6, 2023
PLANNING DEPT. SUBMITTAL
- △
- △
- △

ACCESSORY
DWELLING UNIT

SHEET NO.

ADU2.0

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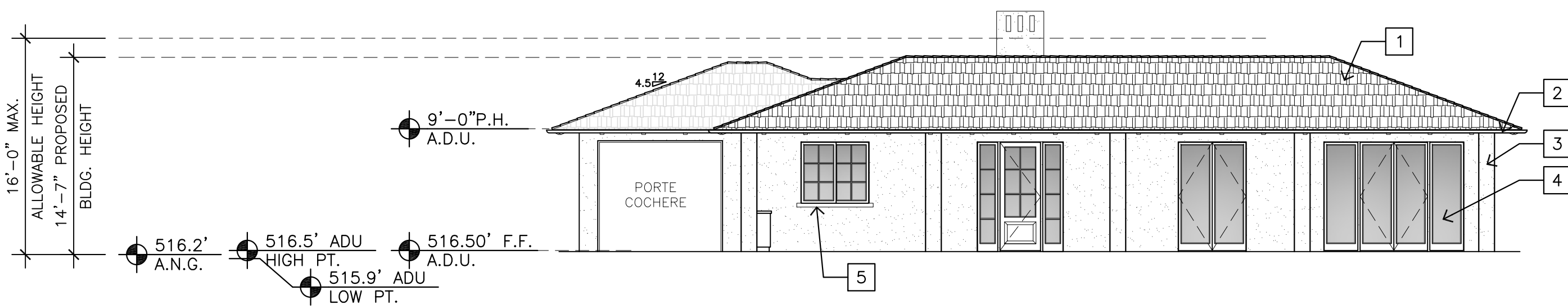
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PLANNING DEPT. SUBMITTAL
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ACCESSORY
DWELLING UNIT
ELEVATION

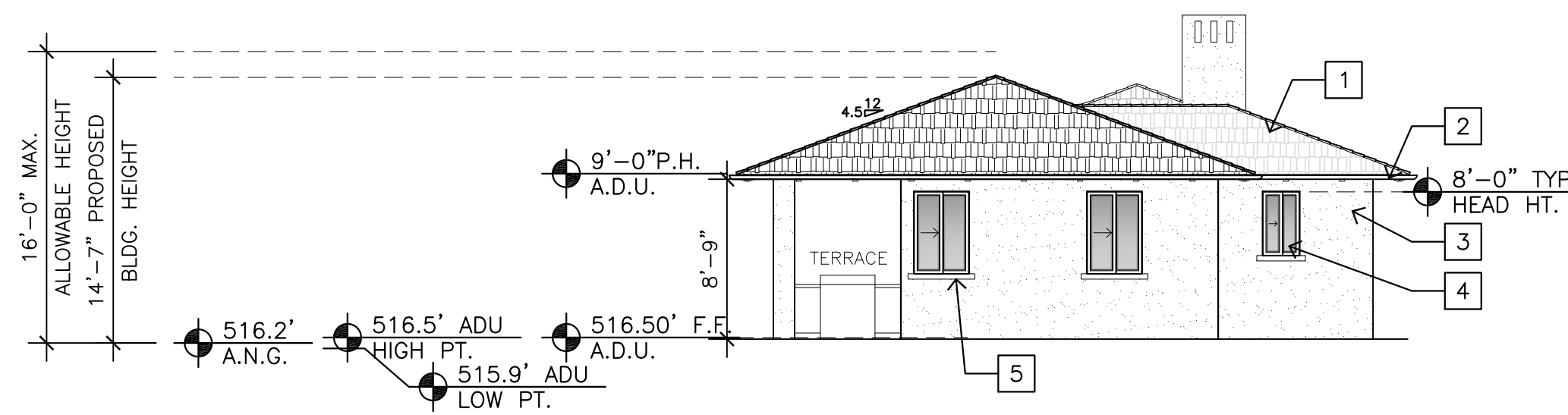
SHEET NO.

ADU6.0



SOUTH WEST ELEVATION

1/8"=1'-0"

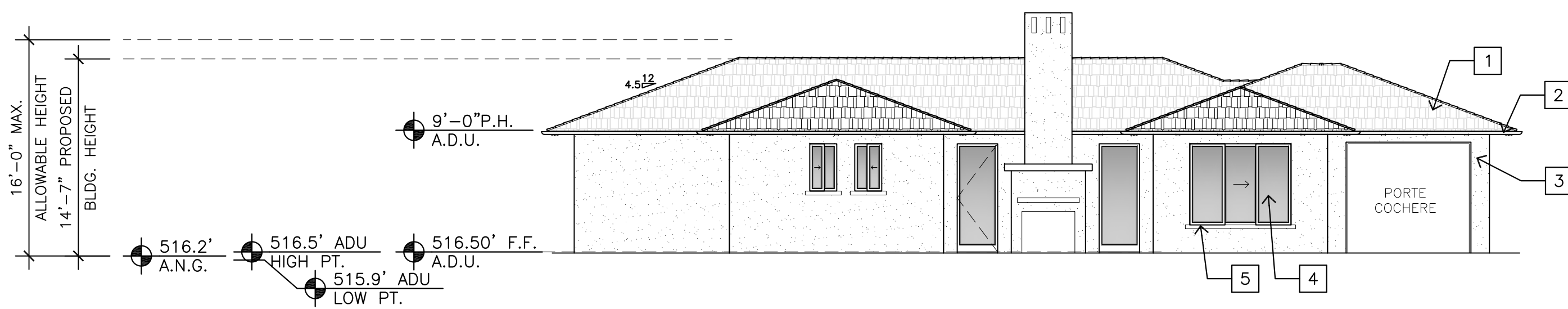


SOUTH EAST ELEVATION

1/8"=1'-0"

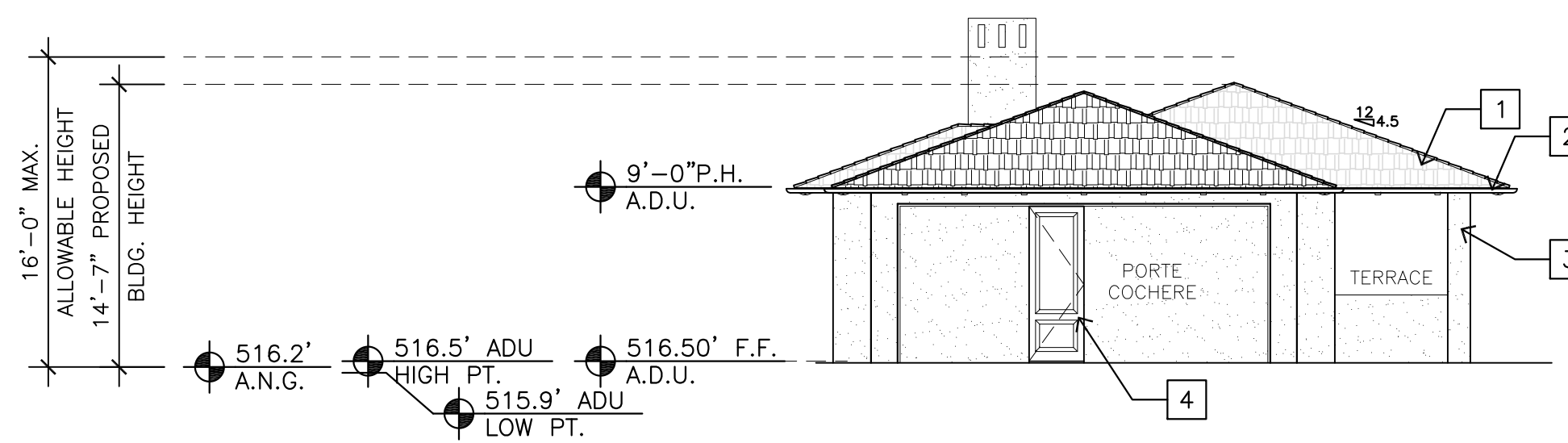
EXTERIOR FINISH LEGEND

- 1 COMPOSITE SHINGLE ROOF/CHARCOAL GREY
2 PAINTED GALVANIZED 5" HALF ROUND GUTTER
3 EXTERIOR STUCCO SMOOTH FINISH
4 WOOD EXTERIOR DOORS AND WINDOWS
5 4X4 SHAPED REDWOOD SILL
6 3X8 REDWOOD GABLE END
7 8X10 REDWOOD OUTRIGGER



NORTH EAST ELEVATION

1/8"=1'-0"



NORTH WEST ELEVATION

1/8"=1'-0"

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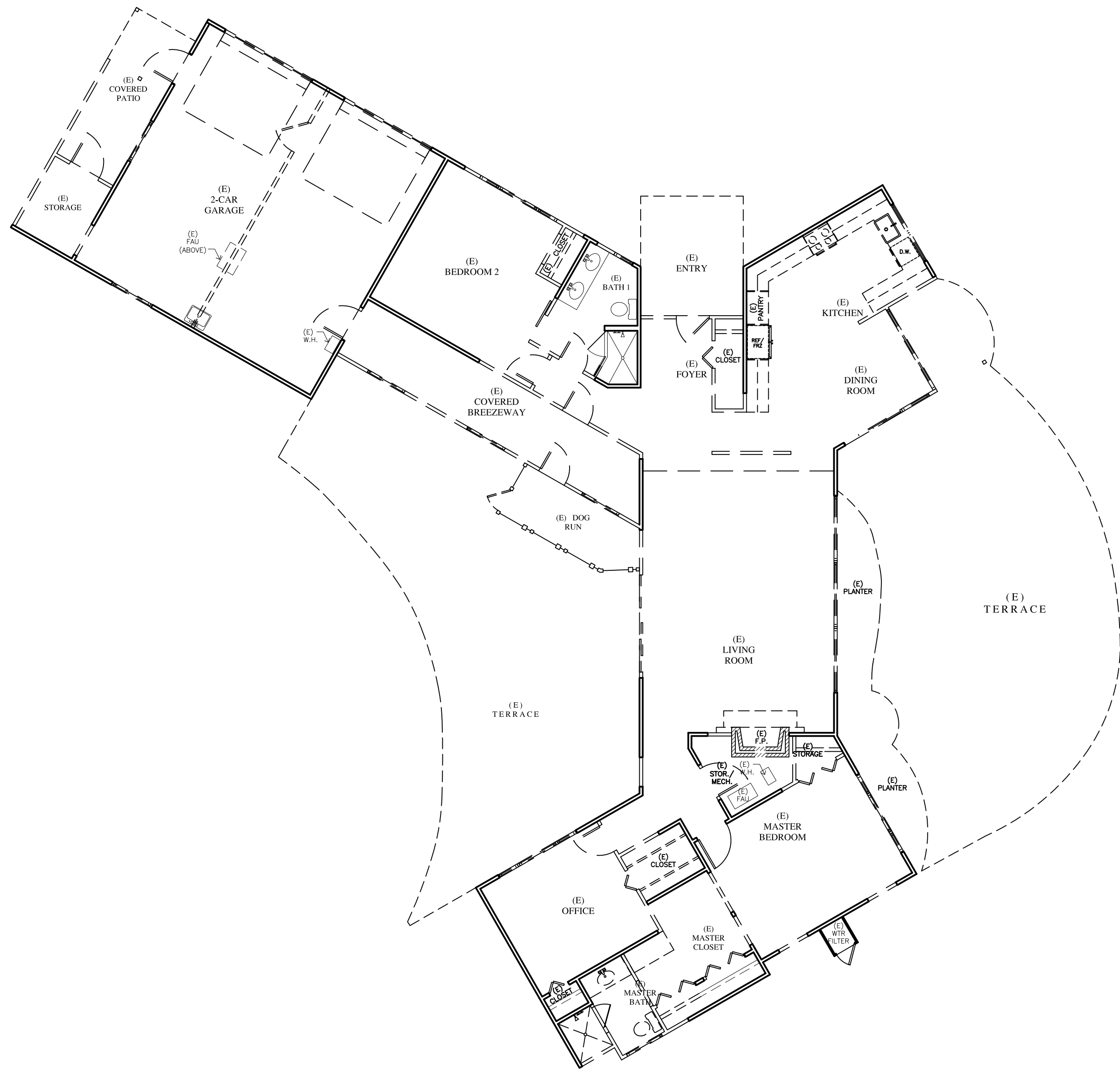
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MAIN LEVEL
EXISTING / DEMO

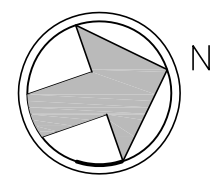
SHEET NO.

D1.0



MAIN LEVEL EXISTING-DEMOLITION PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
- - - -	(E) DOOR OR WINDOW TO BE REMOVED
□ □ □ □	2X EXISTING WALL TO BE REMOVED

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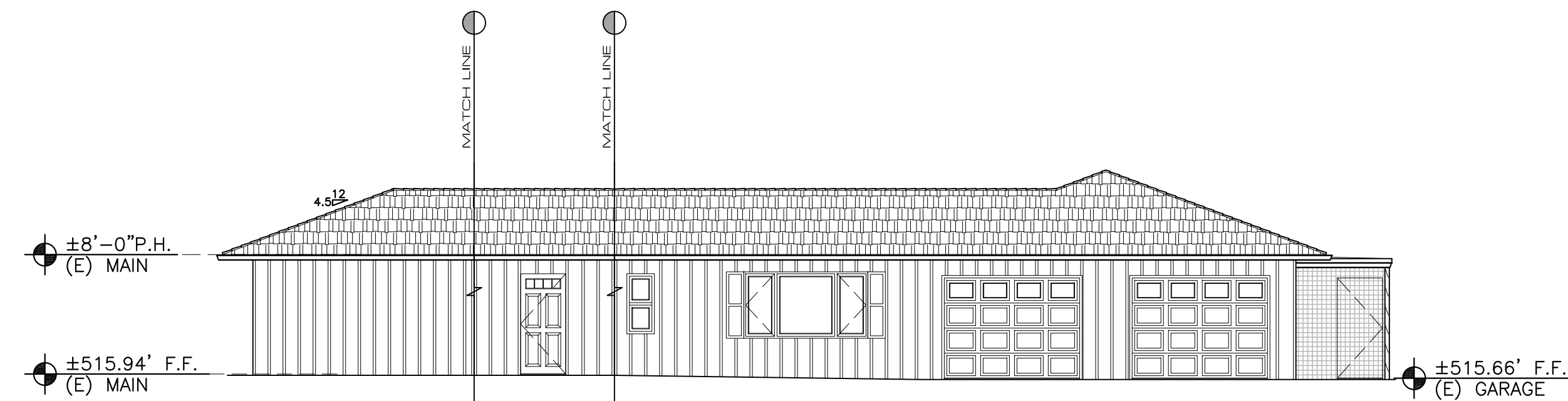
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EXISTING
ELEVATIONS

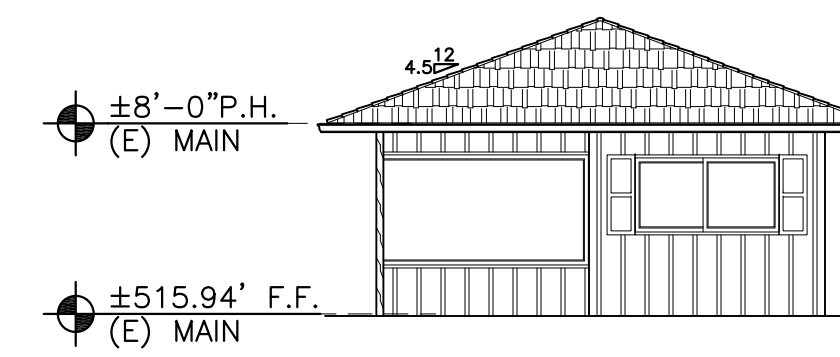
SHEET NO.

D3.0



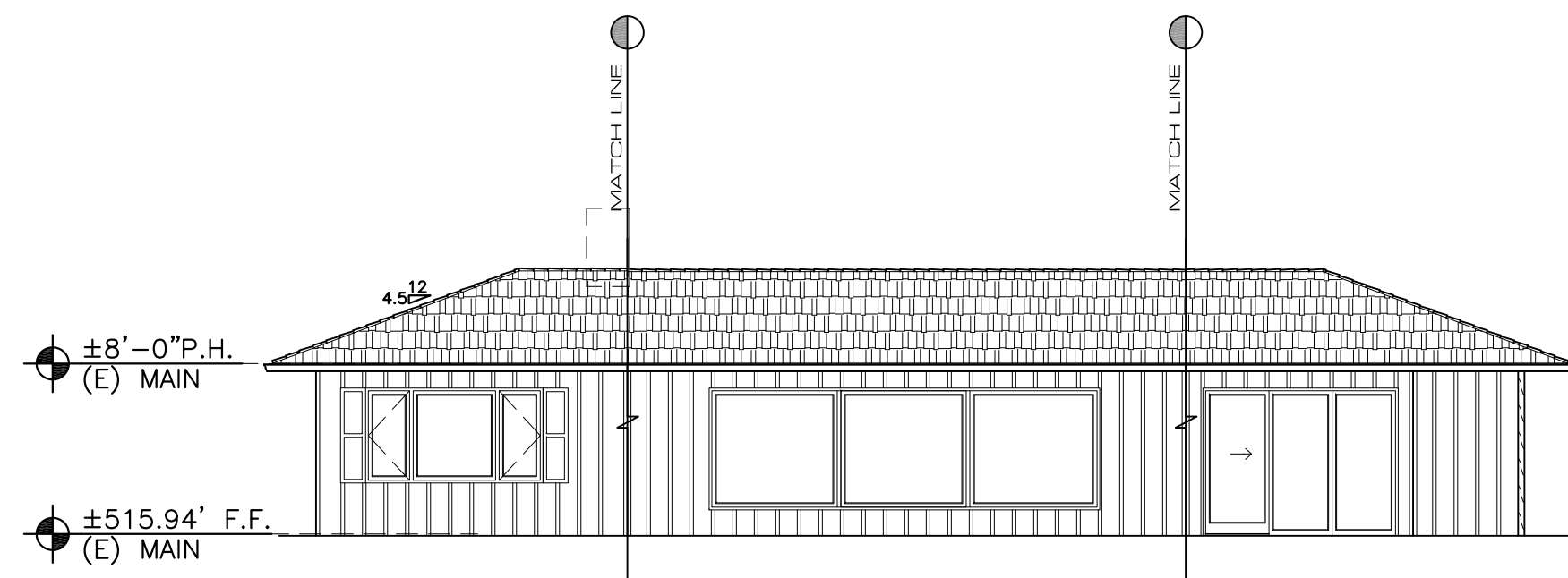
NORTH WEST ELEVATION

1/8"=1'-0"



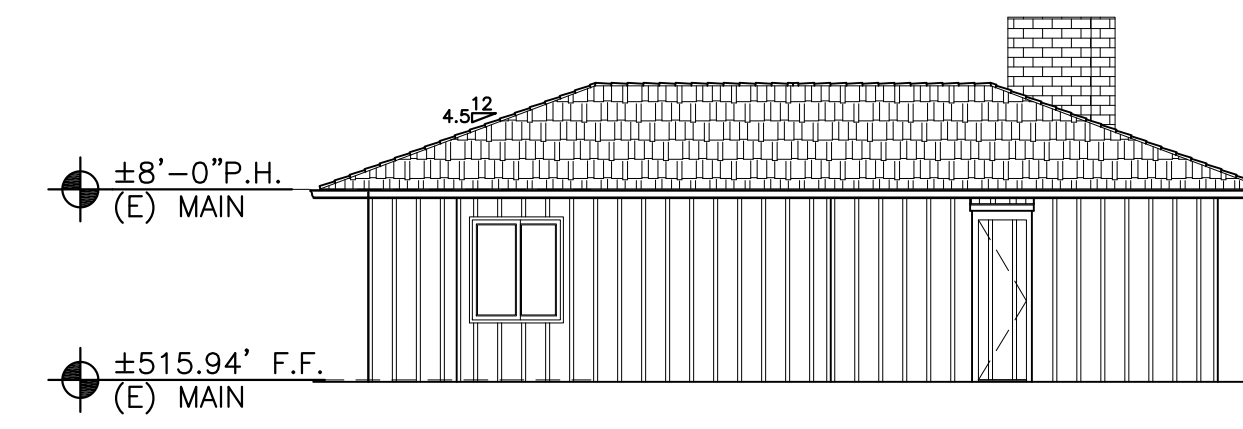
NORTH ELEVATION

1/8"=1'-0"



NORTH EAST ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

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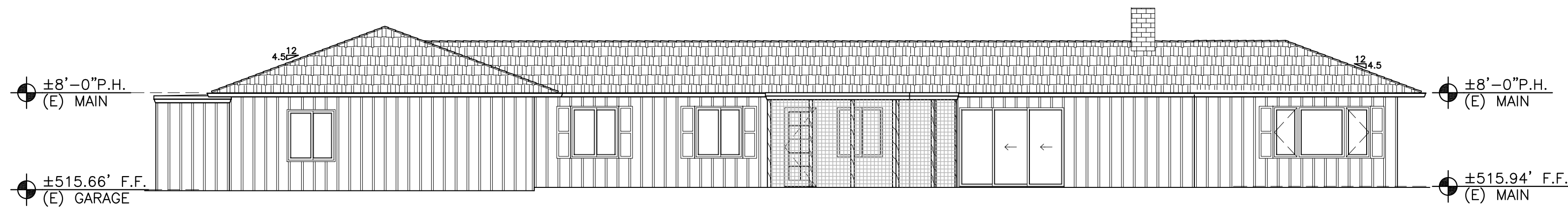
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EXISTING
ELEVATIONS

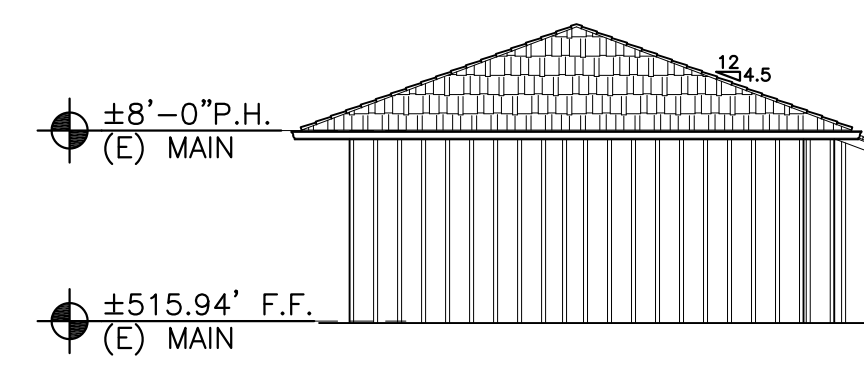
SHEET NO.

D3.1



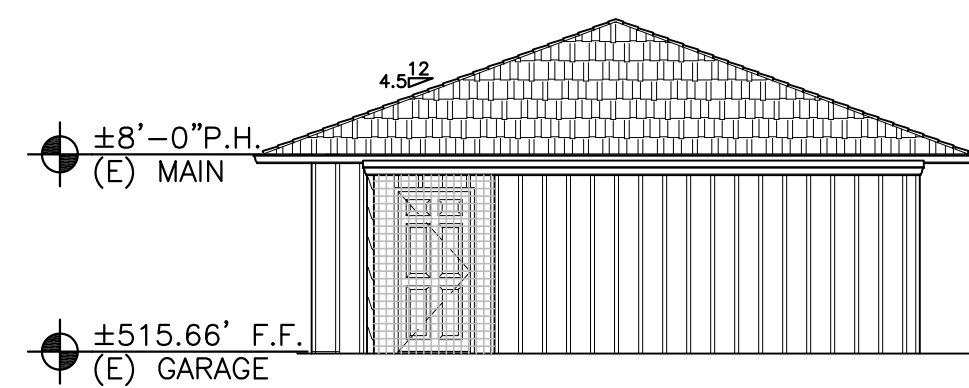
SOUTH ELEVATION

1/8"=1'-0"



SOUTH EAST ELEVATION

1/8"=1'-0"



SOUTH WEST ELEVATION

1/8"=1'-0"

COLOR AND MATERIAL SAMPLES FOR
McDERMOTT RESIDENCE
1148 PORQUE LANE, PEBBLE BEACH, CA
APN: 008-282-004

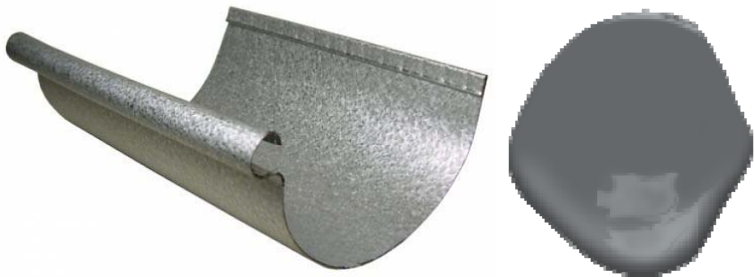


**CLASS ‘A’ COMPOSITE
SHINGLE**



CHARCOAL GREY

**PAINTED HALF-ROUND
GALVANIZED
GUTTERS & DOWNSPOUTS**



MAIN COLOR:
BENJAMIN MOORE:
CHARCOAL SLATE HC 178

**STAINED SILLS, GABLE ENDS,
AND OUTRIGGERS**



MAIN COLOR:
BEHR
SEMI-TRANSPARENT
“WEDGEWOOD” ST-107

**PAINTED EXTERIOR
STUCCO WALLS**



MAIN COLOR:
BENJAMIN MOORE:
CAMEO WHITE OC-147

**WOOD EXTERIOR
DOORS AND WINDOWS**
Kolbe Heritage Series or Equal



Color:
Ultra Pure White





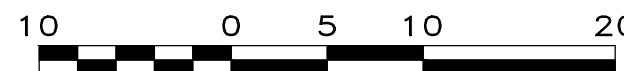
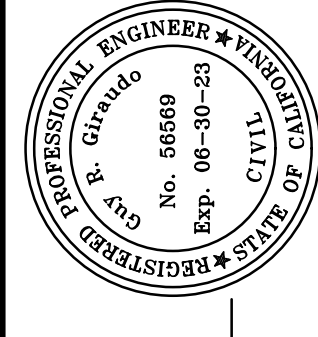
"GRADING & DRAINAGE PLAN"
OF
GRADING, DRAINAGE, & EROSION CONTROL PLAN
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA

KAREN MCDERMOTT



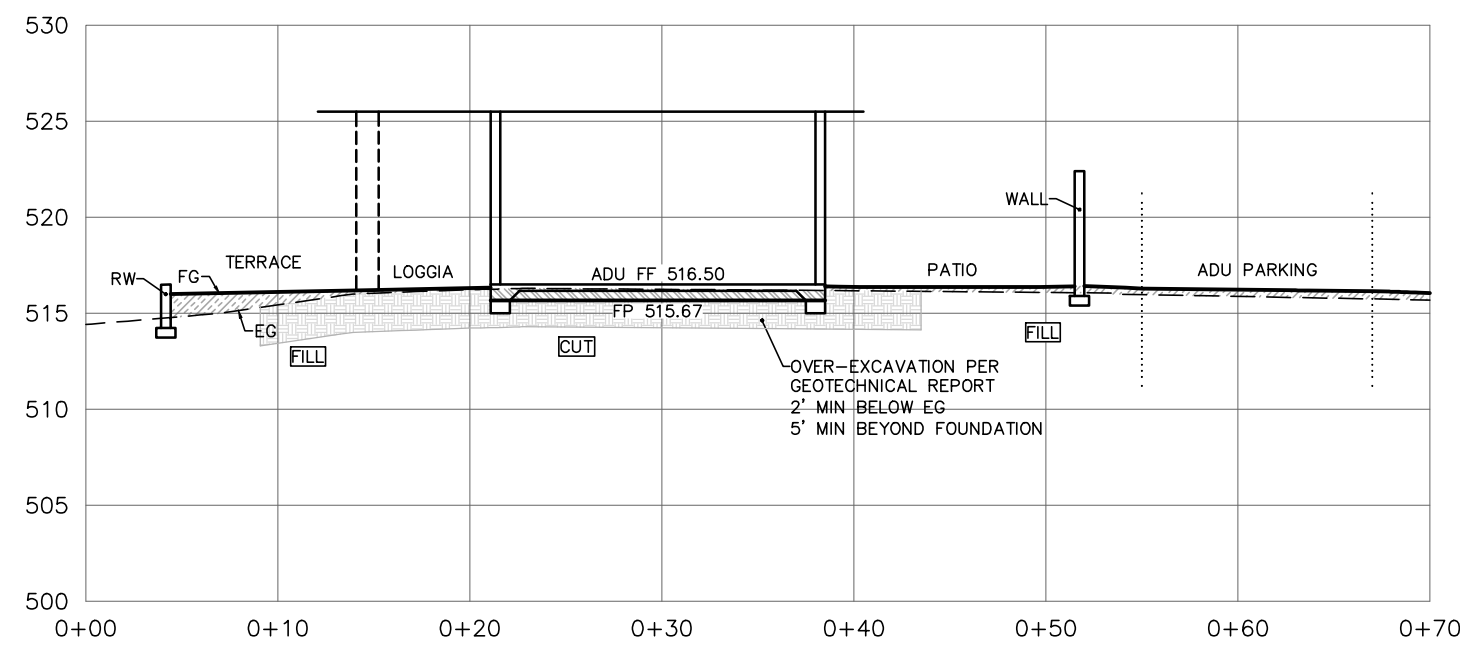
APPROVED BY:

GUY R. GIRARDINO
No. 66609
Exp. 06-30-23
CIVIL
5/1/23

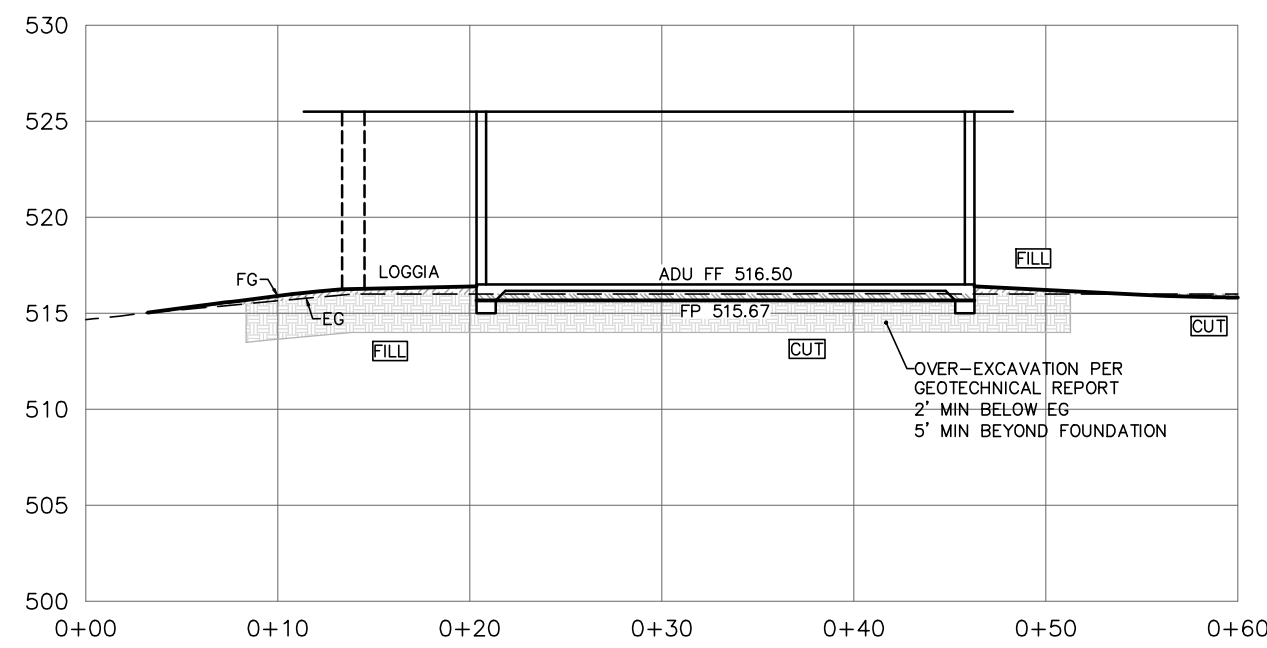


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05/01/23	JAN	RELEASED TO CLIENT	

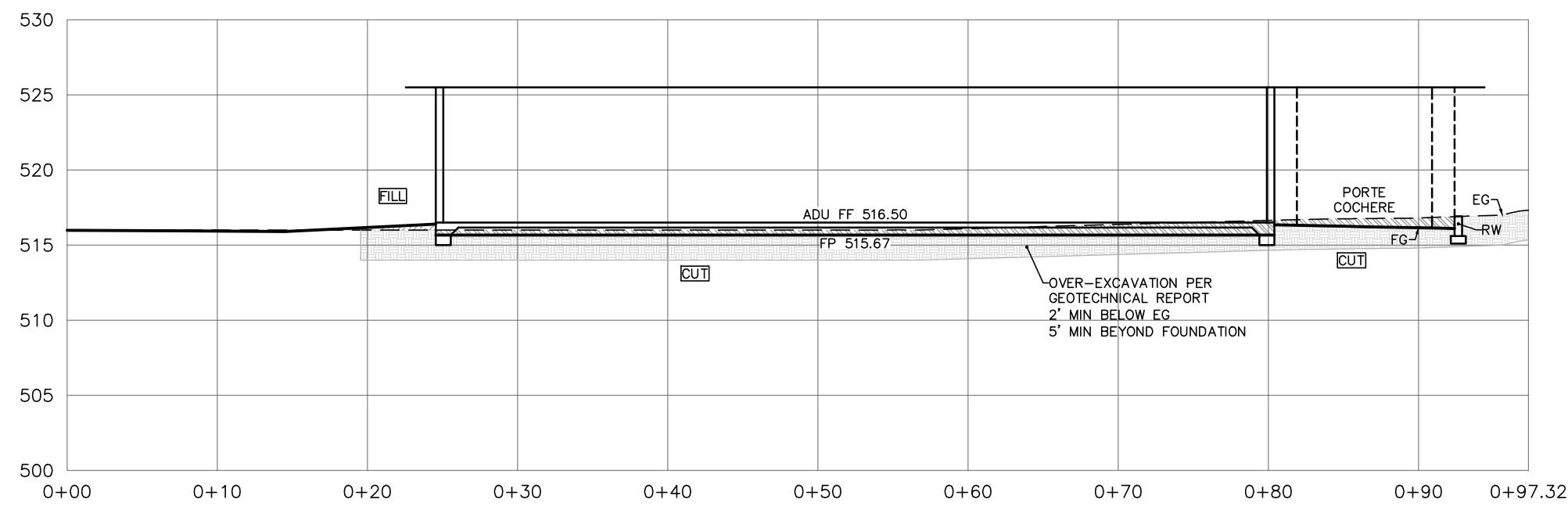
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DATE: MAY 2023
JOB NO. 2614-01
SHEET C2
OF 7 SHEETS



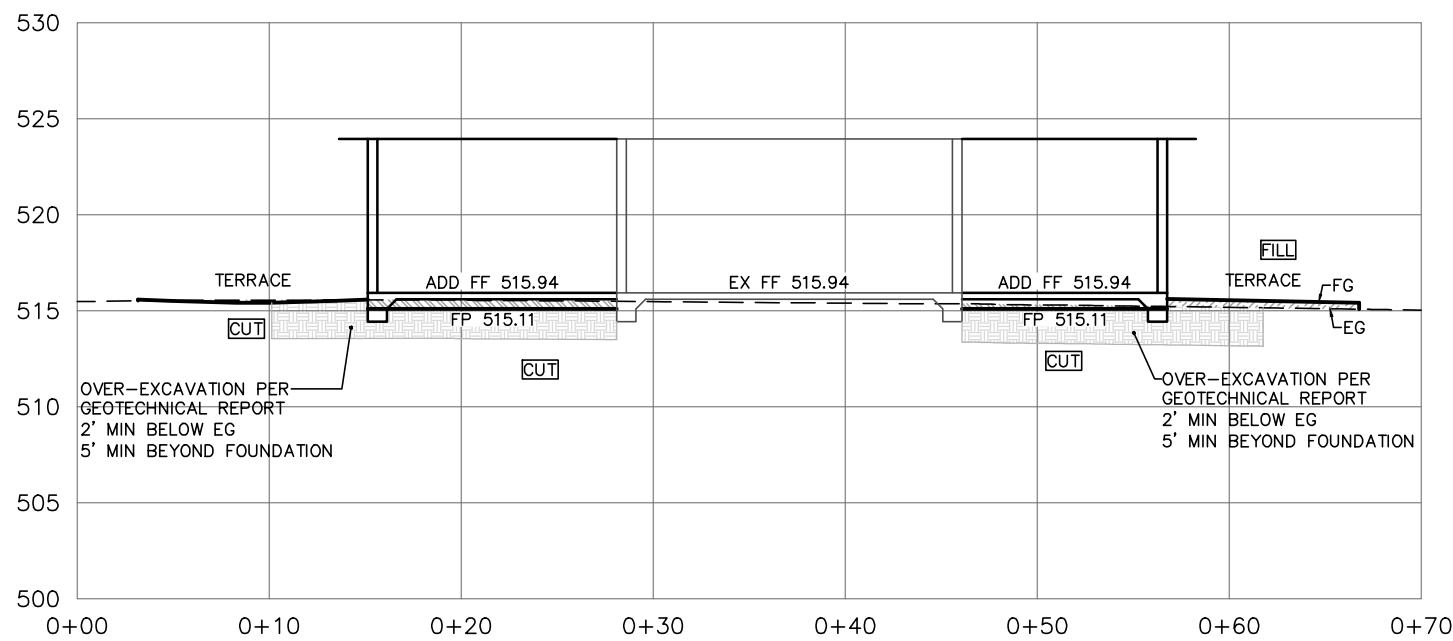
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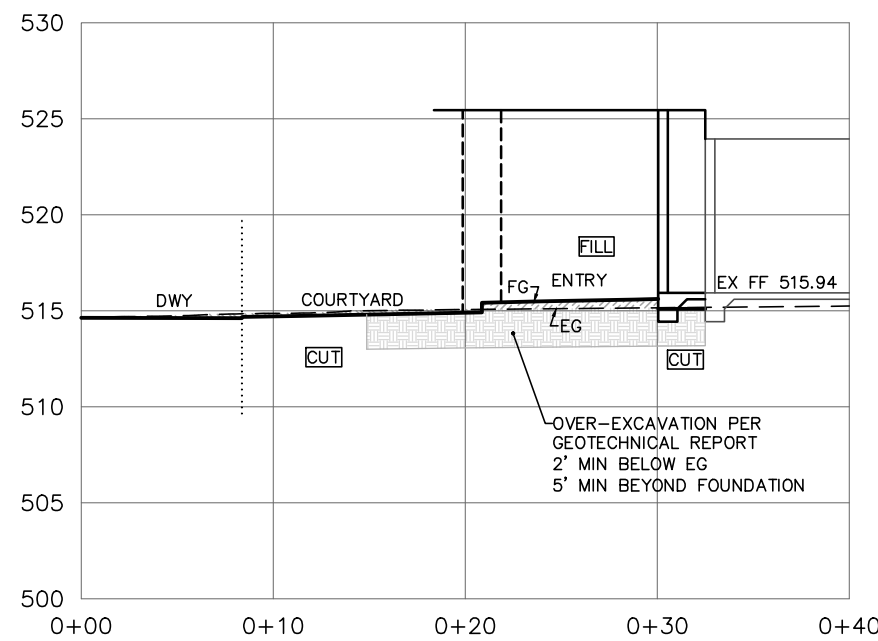
SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V



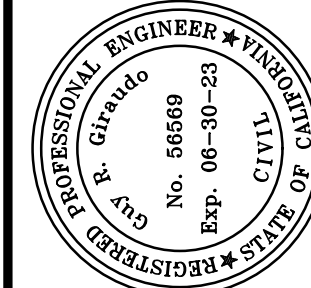
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"GRADING SECTIONS & DETAILS"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

No.	DATE	BY	REVISION
	05/01/23	JAN	RELEASED TO CLIENT

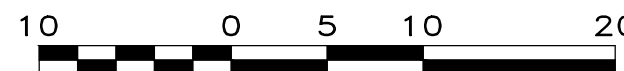
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OF 7 SHEETS



APPROVED BY:

GUY R. GIRARDO





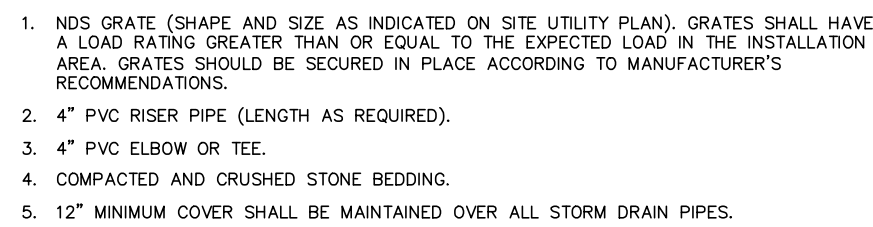
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"UTILITY PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

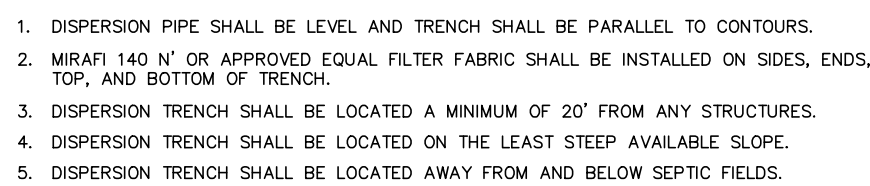
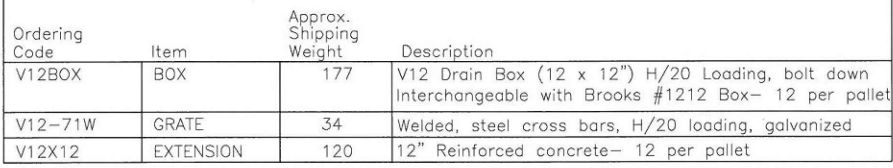
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SHEET C4
OF 7 SHEETS



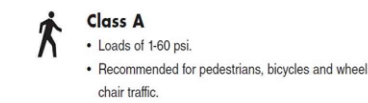
APPROVED BY:
GUY R. GIRARDINO
Professional Engineer #19888 State of CA
No. 86669 Exp. 06-30-23
CIVIL



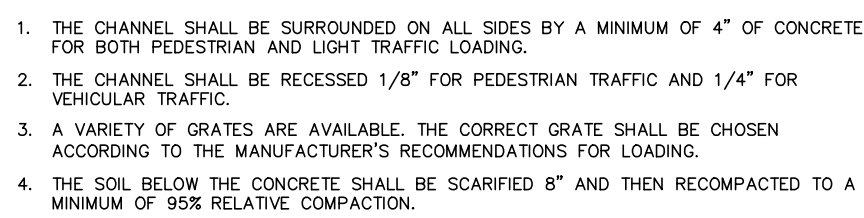
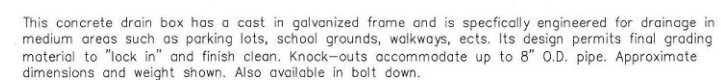
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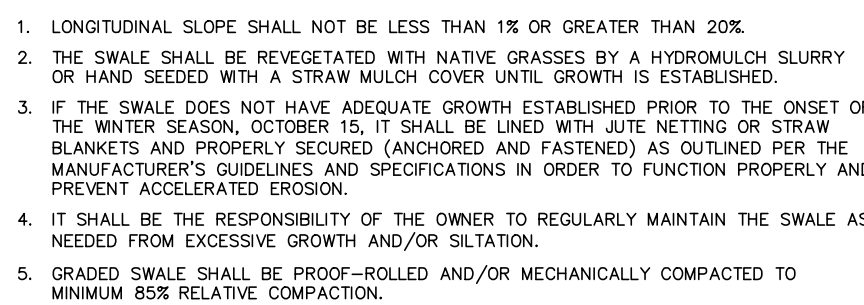
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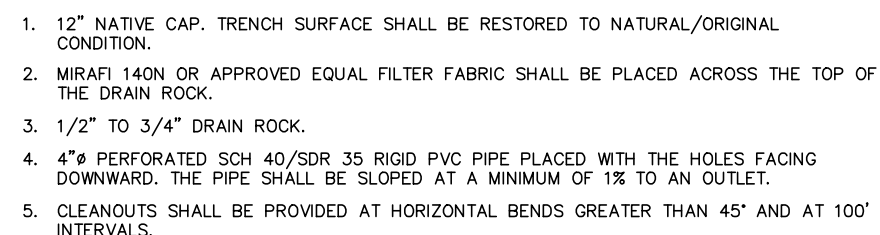
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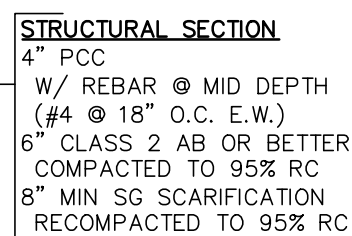
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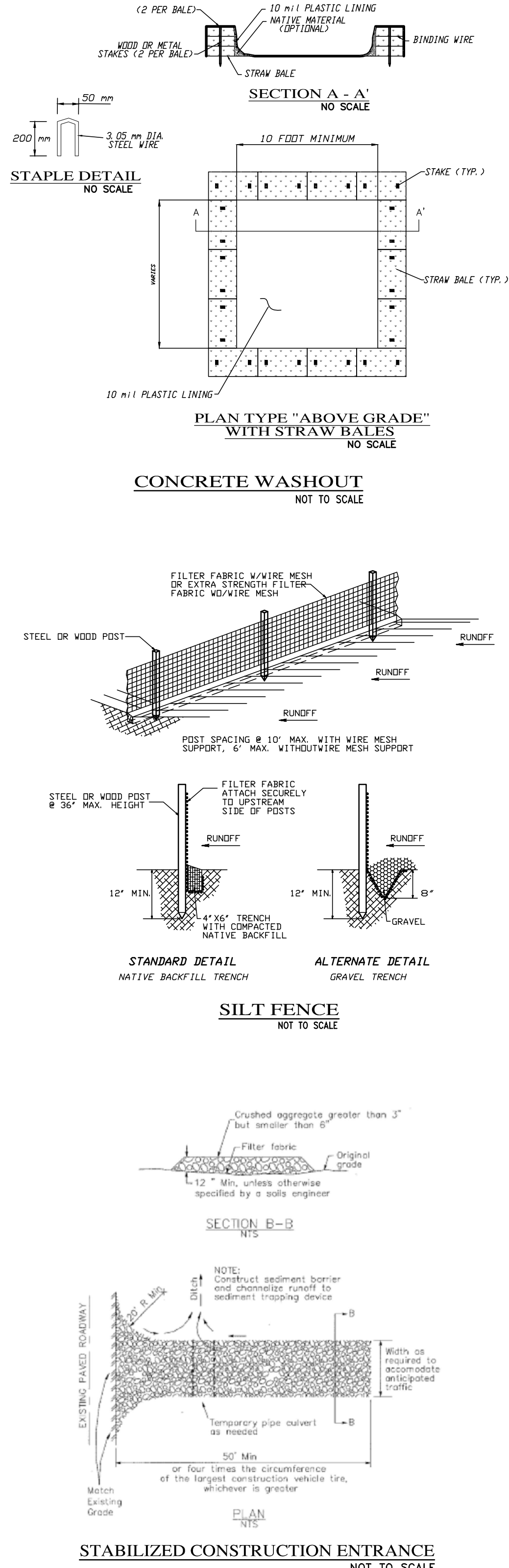


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EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHIANTHERUM (MEADOW BARLEY), FESTUCA RUNRIMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE ALL EROSION HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

- 1) FR
- 2)
- 3)
- 4)
- 5)
- 6)
- 7)
- 8) SF
- 9) N/A FOR INFORMATION ONLY
- 10) TRASH RECYCLE
- 11)

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.

SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

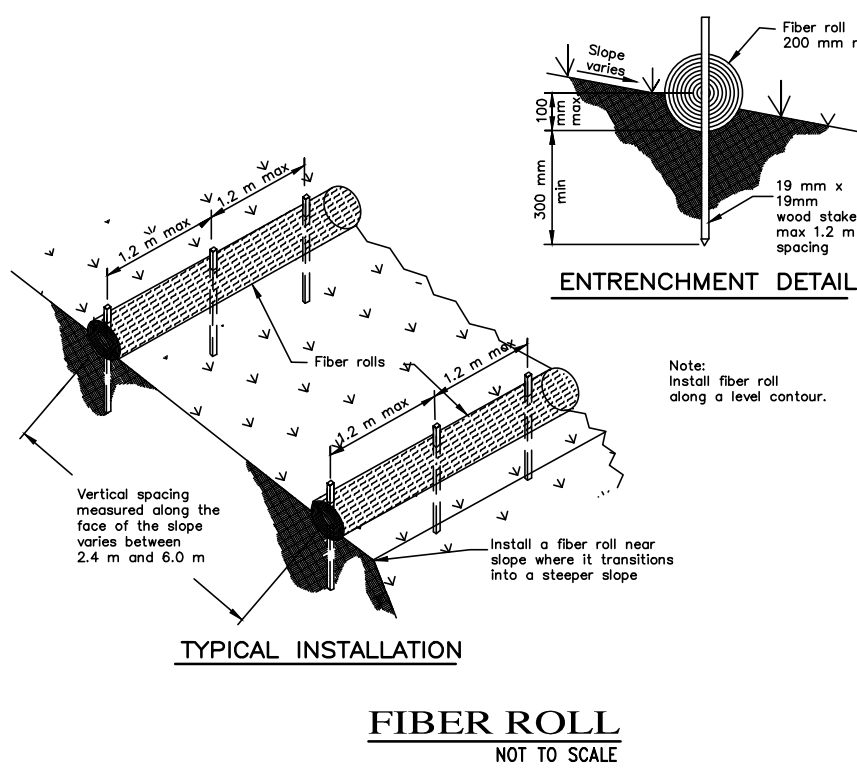
- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

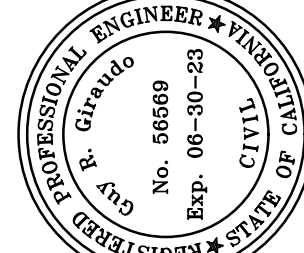
None

Description and Purpose

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



FIBER ROLL NOT TO SCALE



APPROVED BY:

GUY R. GIRAUDO



"EROSION & SOURCE CONTROL PLAN"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF THE MCDERMOTT RESIDENCE

A.P.N.: 008-282-004

PEBBLE BEACH, CALIFORNIA

KAREN MCDERMOTT

SCALE: AS SHOWN

DATE: MAY 2023

JOB NO. 2614-01

SHEET C6

OF 7 SHEETS

No.	DATE	BY	REVISION
05/01/23	JAN	RELEASED	TO CLIENT

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 140 CY OF CUT & 45 CY OF FILL.

- CONSTRUCTION STAGING:
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK INTO THE SITE FROM PORQUE LN. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON PORQUE LN. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B OF THIS SHEET, FROM PORQUE LN TO SOMBRIA LN TO PORTOLA RD TO 17 MILE DR TO CA HWY 68 TO NORTHBOUND CA HWY 1. FLAGGERS SHALL BE STATIONED ON PORQUE LN AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON PORQUE LN. TRUCKS SHALL QUEUE ON SITE (SEE DETAIL A, THIS SHEET).

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG PORQUE LN AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

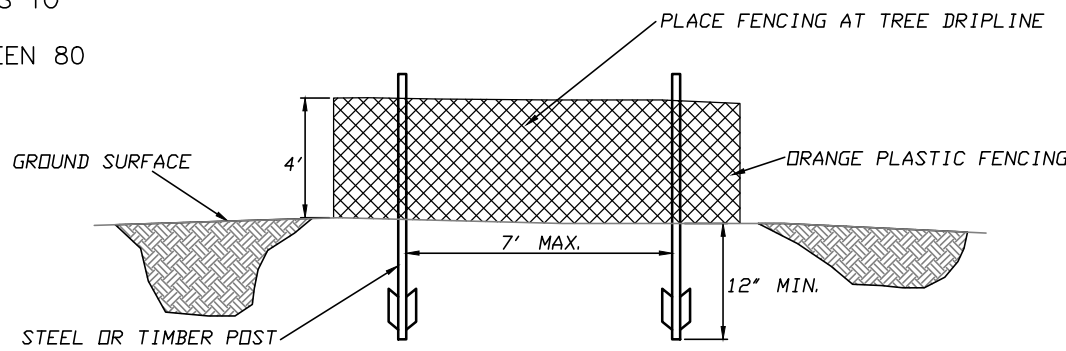
PROJECT SCHEDULING: PROJECTED START DATE IS JUNE 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

TRUCK TRIP GENERATION CHART:

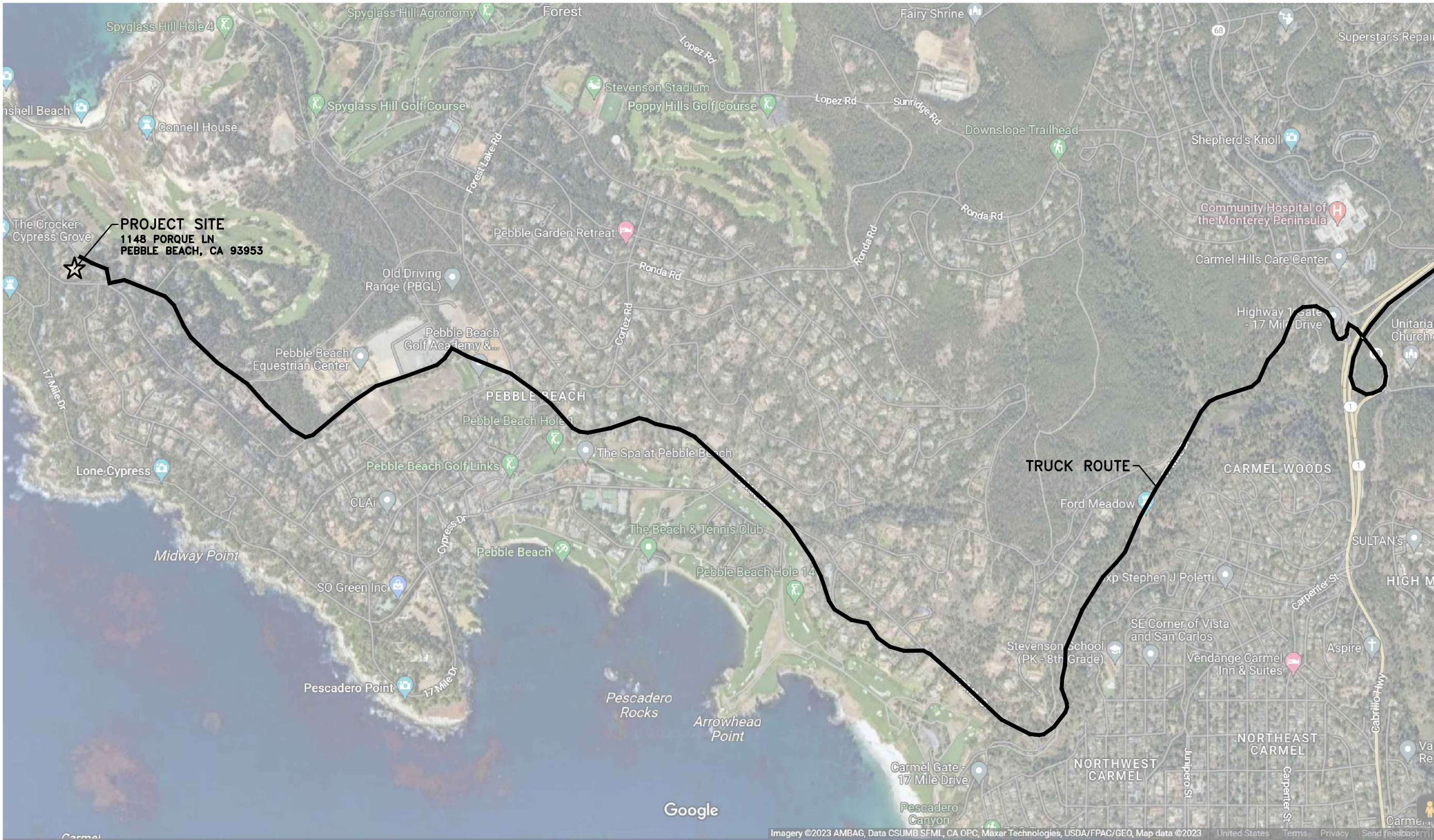
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	8	2
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	12	10

TRUCK TRIP GENERATION NOTES:

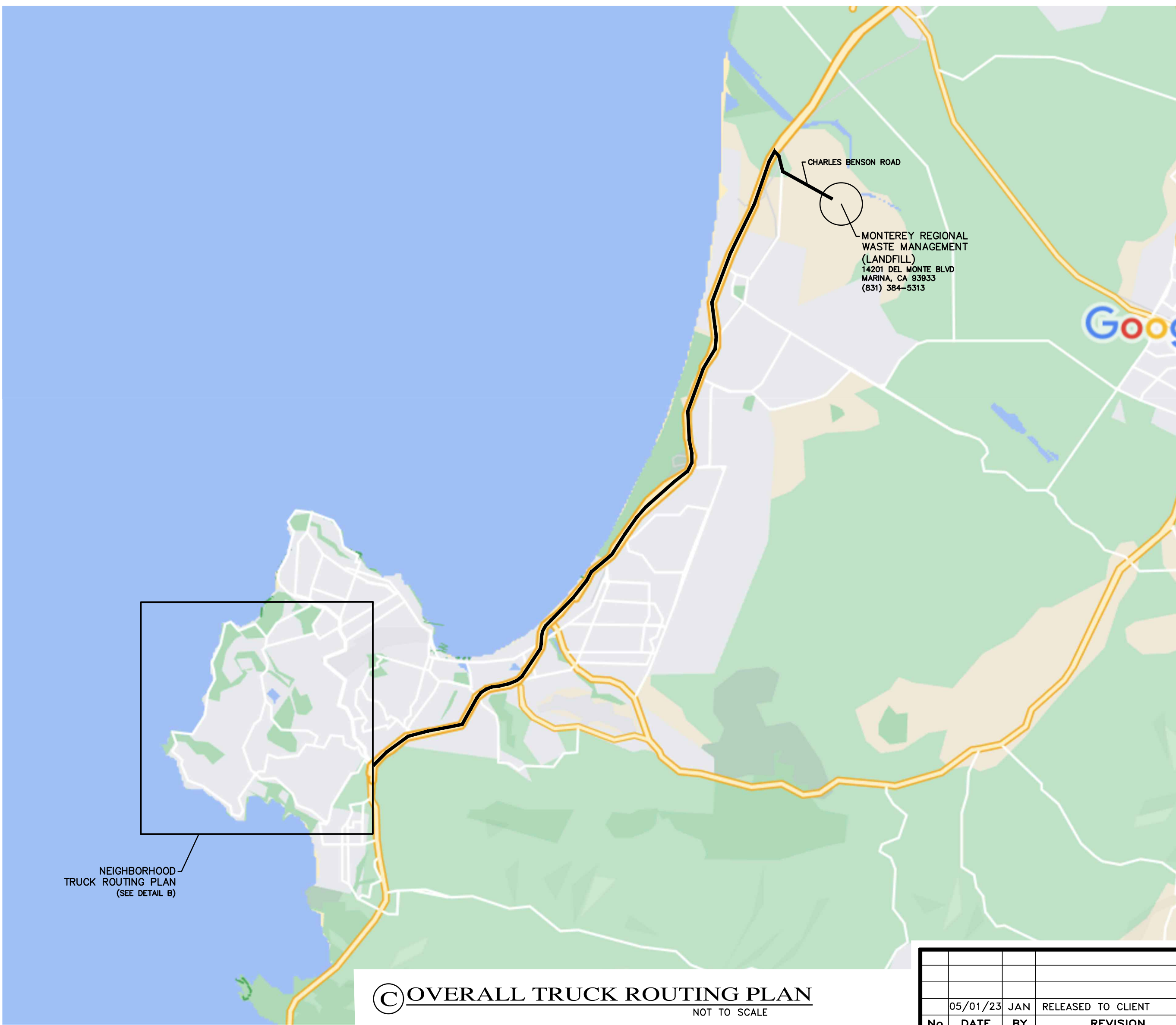
- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 95 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE

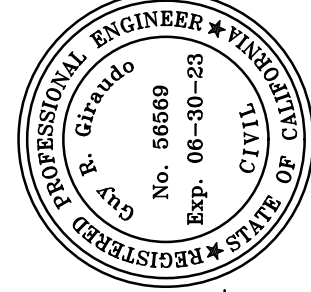


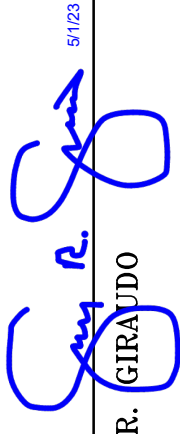
B NEIGHBORHOOD TRUCK ROUTING PLAN
NOT TO SCALE



C OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
	05/01/23	JAN	RELEASED TO CLIENT



APPROVED BY: 
GUY R. GIRARDO



"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE MCDERMOTT RESIDENCE
A.P.N.: 008-282-004
PEBBLE BEACH, CALIFORNIA
KAREN MCDERMOTT

SCALE: AS SHOWN
DATE: MAY 2023
JOB NO. 2614-01

SHEET C7

OF 7 SHEETS

McDermott
Forest Management Plan
1148 Porque Lane, Pebble Beach CA

Prepared for:

Karen McDermott

Prepared by:

Frank Ono
Urban Forester
Member Society of American Foresters #48004
ISA Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

October 11, 2023

Owner:

Mrs. Karen McDermott
1148 Porque Lane
Pebble Beach, CA 93953

Forester and Arborist

Frank Ono, Member SAF #48004, ISA Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

This forest management plan (FMP) is prepared as a tree restoration plan (TRP) in response to a request by the County of Monterey and Coastal Commission questions regarding tree removal on this property. To satisfy the County, a replanting/restoration and monitoring plan will be implemented for the replacement of permitted removed trees from this property. The restoration plan not only identifies the recorded pine tree resources that have been removed but also the stumpage observed from prior tree removals. The restoration plan lists recommendations for replanting of 25 pine trees for forest restoration on this site to allow transitions from heavily forested areas and to replenish corridors for wildlife and bird activity.

INTRODUCTION

This report is prepared for Karen McDermott, the owner of the property located at 1148 Porque Lane by Frank Ono, Urban Forester and Certified Arborist (member Society of American Foresters #48004 and International Society of Arboriculture Certified Arborist #536) due to the previous tree removal and now the restoration of the removed trees. The previous tree removal occurred at this residence, 1148 Porque Lane permitted by the Monterey County Planning Department (now the Monterey County Resource Housing and Community Development (HCD)) under the following section:

20.147.050 FOREST RESOURCES (d) Any native tree that has been determined by a certified Forester/Arborist to be a hazard because it exhibits extreme failure potential that could lead to loss or damage of life or property, and that hazard cannot be abated by methods other than removal of the tree, may be removed subject to the coastal development permit criteria of Section 20.147.050.A (and may qualify for an emergency coastal development permit under Chapter 20.79).

It is my understanding that four trees were removed in 2008, then three trees were removed in 2016. It became apparent that before these trees were removed additional trees were observed to have been removed. The Del Monte Forest Land Use Plan and Monterey County Zoning Ordinance Title 20, identify native Monterey pine trees as species requiring protection and special consideration for management as stated in section 20.147.050. Consequently, the replanting of 20 five-gallon (or larger) Monterey pine trees along with monitoring for success will be required based on a replacement formula ratio of 1:1 for removed trees.

ASSIGNMENT/SCOPE OF PROJECT

Monterey pine trees forested this and surrounding sites in heavy concentrations. The County considers the removal of protected Monterey pine trees as a development that has occurred on this site. To ensure the protection of the existing tree resources on-site, a plan for the restoration of protected removed trees on this property is prepared. To accomplish this assignment, the following tasks have been completed;

- Review the site and other documents related to this property.
- Recommend mitigation requirements for those found to be removed.
- Consider facts of the case presented by the property owner as to why replanting in the same areas is (or is not) not satisfactory.
- Document findings in the form of a report as required by the County of Monterey Planning Department.

LIMITATIONS

This assignment is limited to several reviews of the site on September 12, 2023, and October 5, 2023, to assess the site and the effects of the previous treatment of trees. An assessment has been made of this site, adjacent sites, and the two reports that were found for trees on this property. Only minor grading and erosion details are discussed in this report as they relate to tree health.

PURPOSE

This forest restoration management plan is prepared for this parcel due to proposed land treatment activities located at 1148 Porque Lane, Pebble Beach, CA. A forest management plan is to identify all aspects of the tree/forest resources: whether the trees are part of a forest, whether the forest or portions of it are considered ESHA, and how forest resources are to be preserved, maintained, and managed for property or properties where development is proposed as well as the immediate surrounding area. The plan is permanent and binding regardless of a change in ownership. The purpose of this report is to verify the number of permitted and/or unpermitted tree removals as well as to offer a remediation/re-forestation and monitoring plan for those that are found removed. Monterey pine trees are considered protected trees as defined by the County of Monterey, Title 20 Monterey County Zoning Ordinance.

GOAL

The goal of this plan is to protect and maintain the Del Monte Forest Land Use Area forested resources through adherence to development standards, which allow the protection and maintenance of its forest resources. Furthermore, it is the intended goal of this plan to aid in planning to offset any potential effects of proposed treatments on the property to encourage forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity. The LUP states that; where removal of native trees is allowed for development, such removal shall be mitigated through replanting or forest preservation either on- or off-site, whichever is better overall for forest resources. Replacement trees shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree(s), may be performed consistent with the terms and conditions of the approved coastal development permit and the Forest Management Plan.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 008-282-004-000.
- 2) Location: 1148 Porque Lane, Pebble Beach CA.
- 3) Parcel size: approximately 1.6 acres.
- 4) Existing Land Use: The parcel is developed, zoned LDR/1.5D(CZ)
- 5) Slope: The parcel slopes range from level terraced benches; no slopes are over 25%.
- 6) Soils: The parcel is located on a soil classified by the Monterey County Soils report as Narlon soil. This is a gently sloping and moderately sloping soil on dissected marine terraces. According to the NRCS, it has the profile described as representative of the series. The clay subsoil is at a depth of 15 to 20 inches. Slopes are mostly 3 to 6 percent. Runoff is slow to medium, and temporary shallow ponds form in swales in wet winters. The erosion hazard is moderate. The seedling mortality is low, and the wind throw hazard is severe. The soil has moderate productivity for Monterey pine (site index averages about 75, meaning that a 50-year-old tree would average 75 feet tall).
- 7) Vegetation: The vegetation on site is disturbed, it is a closed cone sparsely forested site composed primarily of Monterey pine/Monterey cypress. Its related understory is now composed of plantings of ceanothus and ornamental olive trees. The property sits over 200 feet from an established ESHA area where the Monterey cypress and its related understory are protected.
- 8) Forest Condition and Health: The stand of trees and health are evaluated with the use of the residual trees combined with surrounding adjacent trees as a complete stand. The site is developed, and though the surrounding forest canopy is dense, the pine tree stand on this property is fragmented and open-crowned in contrast to the surrounding stand to the south of the property which is a dense mixture of dominant Monterey pine that transitions to an almost pure stand of Monterey cypress trees. Other than some pine tree branch dieback from pine pitch canker, no other significant signs of forest pests or diseases were observed at the time of the site inspection.

BACKGROUND

I was contacted in August by Mrs. Karen McDermott, regarding the preparation of a restoration plan at this address, 1148 Porque Lane, Pebble Beach CA. After an informal conversation with Mrs. McDermott, a site visit to the property was taken to understand the scope of what has occurred on this property and to collect information to prepare and document a report for restoration that will work in conjunction with other remedies. A previous report dated September 15, 2023, was prepared from public records and personal experiences but upon submittal did not take into consideration additional unrecorded tree removals that have occurred on the property. This resulted in further site visits and inspections of the property that revealed the need for additional planting of replacement trees, therefore, this restoration report focuses on the location of the previous tree removal and replacement areas.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on-site, discussions, or comments presented, that summarize details during this stage of the planning process.

- The site is developed with an existing structure and a hardscaped parking area. The site has an aspect to the northwest and is located on a softened rise exposed to the prevailing west winds common in this area.
- The site is located in the Coastal Zone on approximately 1.6 acres near Cypress Point, however, is outside the environmentally sensitive habitat area (ESHA) known as the Crocker cypress grove.
- The site was at one time heavily forested. It appears, by observation of time-lapse aerial photographs that trees declined and were removed, either because they were dead/dangerous or fell on their own during storm activities. I do not know the history other than what I could find in public records, personal experiences, and ground truthed.
- In reviewing the site and previous documents, two reports were prepared on dead or hazardous trees.
 - The first report was prepared by Russ Chapman, Urban Lumberjacks and Forest Care, for the removal of four (4) dead or hazardous Monterey pine trees (two are landmark-sized –24” or in diameter) located along the west property line.
 - The second report was prepared by Frank Ono, F.O. Consulting, for the removal of three (3) dead or hazardous Monterey pine trees (one (1) is a landmark-sized tree.
- Walking around the site revealed that an additional 15 pine stumps were found where there are no records for tree removal and that previously replanted trees have not survived, and large open spaces exist where tree replanting may occur.

CONCLUSION/PROJECT ASSESSMENT

The County has previously approved that seven trees could be removed and replaced as mandated through PLN080561 and TRM160358. Because these plantings do not appear to be successful, new planting must take place because ample space for revegetating exists on the site. Additionally, another 15 pine tree stumps were found where there is no record for removal that will need to be replaced. The trees should be replaced in select areas This entails the re-planting of six (6) five-gallon Monterey pine trees to satisfy PLN080561 and four (4) five-gallon Monterey pines to satisfy TRM160358 and an additional 15 Monterey pines for those tree remnants observed. Replanting shall take place adjacent to the south perimeter of the property and the west perimeter of the property near the edges of pre-existing trees far away from the structure.

RECOMMENDED PLANTING PLAN

Tree Planting

Replacement of all removed protected trees (native trees 6 inches in diameter or greater) is required unless shown to be a hardship or detrimental to the long-term health of the remaining habitat. There is sufficient available space (approximately .5 acres) to plant 25 replacement Monterey pine trees (consideration was given to planting Monterey cypress but abandoned due to the potential of gene pool pollution of the Monterey cypress ESHA nearby). The long-term objective of replacement is at a 1:1 ratio to accomplish a combined tree total (25 new trees and 26 existing trees) of 51 trees within the entire site.

Trees shall be planted in areas with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight, concentrating in the southern area of the property between the home and the Cypress ESHA. Replacement trees shall be 5-gallon nursery stock or larger. Spacing will need to be approximately 10-20 feet apart. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. Grinding of stumps onsite is not permissible.

Three-Year Success Criteria for Plant Re-establishment

Implementation of the success criteria is recommended to be a condition of restoration approval to ensure the survivability and proper growth of the replacement or relocation of trees. Replant success criteria will be defined to meet a 100% survival rate or better and implemented as follows.

A qualified professional monitors newly planted trees for three years after planting for the following:

- Tree health and growth rates of new planting must be assessed by a qualified forester or certified arborist.
- Trees suffering poor growth rates or declining health are to be identified and documented as to the reason it was not successful.
- Invigoration treatments if feasible will be recommended and implemented.
- Dead trees or trees identified in an irreversible state of decline will be replaced after a written recommendation is made by a qualified forester or certified arborist identifying the type and location of a new replacement. Trees found that need replacement will be replaced on a 1:1 ratio with at least a five-gallon size.
- Near the end of the monitoring period, the status of the new plantings will be again assessed to make certain that success criteria have been met and all mitigation trees planted are performing well.
- At the end of the monitoring period, a report shall be prepared by a qualified forester or arborist and submitted to the Planning Department for review and approval by the Director of Planning describing reforestation activities, success rates, and adjustments for previous failures or unsuccessful transplanting.

Tree Pruning

It is to be understood that the pruning of retained trees may be expected for this site. Pruning shall conform to the following standards:

- Clear the crown of diseased, crossing, weak, and dead wood to a minimum size of 1-1/2 inch in diameter;
- Remove stubs, cutting outside the wound wood tissue that has formed around the branch;
- Interior branches shall not be stripped out.
- Reduce end weight on heavy, horizontal branches by selectively removing small-diameter branches, no greater than 3 inches, near the ends of the scaffolds. In some cases, larger diameters may be removed depending on the situation (where critical for safety).
- Pruning cuts larger than 4 inches in diameter, except for deadwood, shall be avoided, unless deemed crucial for safety (broken, cracked, crossing, rubbing, etc.).
- Pruning cuts that expose heartwood shall be avoided whenever possible.
- Pruning shall not be performed during periods of flight of adult boring insects because fresh wounds attract pests (generally spring). Pruning shall be performed only when the danger of infestation has passed.
- All pruning shall be performed by a qualified arborist or under the supervision of an ISA Certified Arborist or Tree Worker. Arborists are required to have a State of California Contractors License for Tree Service (C-61/D49) and provide proof of worker's compensation and general liability insurance.
- All pruning shall follow the Tree Pruning Guidelines (International Society of Arboriculture) and/or the ANSI A300 Pruning Standard (American National Standard for Tree Care Operations) and adhere to the most recent edition of ANSI Z133.1.
- No more than 20 percent of live foliage shall be removed within the trees.
- Brush shall be chipped, and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 6 inches, leaving the trunk clear of mulch.

Tree Maintenance Guidelines

The following recommendations are for the general maintenance of trees within the restored area of the property.

Tree Protection

Fencing is the most effective way to protect trees from human activity or deer browsing by utilizing stakes in the ground and then using woven-wire fencing or field fences. Fencing is not to be attached to the tree. Fencing shall be rigidly supported and shall stand a minimum height of four feet above grade and placed to the farthest extent possible from the tree's base protecting the tree's drip line area (typically 10-12 feet away from the base of a tree). Rodent control in the form of wire baskets will also be mandatory as the southern section of the property where most of the new trees will be planted is heavily populated by gophers and or ground squirrels.

Maintenance Watering of Established Trees

Native trees are adapted to the long dry summers of California and normally do not need supplemental irrigation. Newly planted trees should be at minimum watered thoroughly once per week for the first six months and twice per month for one year after that until established. Supplemental watering during drought periods may help maintain tree vigor and resistance to insect attack but irrigation should be restricted to the outer two-thirds of the root zone. Occasional light overhead watering may be required to wash off the dust from accumulation over time.

Fertilizing

Undisturbed native trees should not require supplemental fertilizing; as they receive natural fertilizer from detritus leaf litter. Trees under stress due to disease, root pruning, or lack of natural fertilizer may benefit from the annual fertilizer application. Nitrogen is the nutrient most often found to be deficient in trees and should be applied only in the outer two-thirds of the root zone where feeding roots exist. Nitrogen application typically should be at a rate of two to four pounds of actual nitrogen per one thousand square feet.

Best Management Practices to Observe (BMP)

The following best management practices must be adhered to:

- A) Tree Service Contractors will verify animal or bird nesting before tree work. If the nesting activity of migratory birds is found, work must stop, and a wildlife biologist consulted before commencing work (the typical bird nesting season ranges from February 22 to August 1).
- B) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak root fungus (*Armillaria mellea*).
- C) Pruning (if performed) shall be conducted so as not to injure the tree. General-Principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- D) Native live trees are not adapted to summer watering and may develop root crowns or root rot as a result. Do not regularly irrigate within the drip line of established oaks.
- E) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur from February through May.
- F) Tree material greater than 2 inches in diameter remaining on-site for more than one month that is not cut and split into firewood must be covered with thick clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- G) A mulch layer up to approximately 4 inches deep should be applied to the ground around planted trees. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on-site.
- H) If trees are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

FUEL MANAGEMENT PLAN

The area will be restored in compliance with the requirements of California State Defensible Space Regulations conforming to California Public Resource Code (PRC) 4291. Before planting, the restored area must be prepared and maintained. The following are management measures to be taken and maintained for trees surrounding the disturbed area.

- Cut dry and dead grass to a maximum height of 4 inches. The exceptions are grasses and forbs which are isolated from other fuels or those necessary to minimize erosion and may be maintained at a height of 18 inches.
- Cut or remove any noxious weeds or genista that is growing in this area.
- Dead plants should be cut to ground level, do not remove as roots may still be present to minimize potential soil erosion. Maintain all remaining live landscape plants with regular water, keeping dead branches, leaves, and needles removed.
- Horizontal Clearances (within 100 feet of structures)
 - Trees- must have a spacing of at least 10 feet between crowns on shallow or almost level slopes (one exception is that trees growing as clusters may be treated as individual trees).
 - Shrubs- must have four-foot clearance on shallow or almost level slopes.
- Vertical Clearances of trees and large shrubs (within 100 feet of structures)
 - Trees and shrubs must have a vertical clearance of at least 6 feet from ground fuels on shallow or almost level slopes. Remove all limbs within 6 feet of ground fuel from the ground fuel's highest point and trim dead portions of tree limbs up to 10 feet.
 - Shrubs- must have four-foot clearance on shallow or almost level slopes. Where slopes are steep (over 40 %) the clearance must be 40 feet from ground fuels.
- Remove from the area dead fallen material unless embedded in the soil.
- Remove all cut material from the area or chip and spread on site.

AGREEMENT BY LANDOWNER

The following standard conditions are made a part of all Monterey County Forest Management Plans:

A. Management Objectives

1. Minimize erosion to prevent soil loss and siltation.
2. Preserve natural habitat including native forest, understory vegetation, and associated wildlife.
3. Prevent forest fire.
4. Preserve scenic forest canopy as located within the Critical View shed (any public viewing area).
5. Preserve landmark trees to the greatest extent possible as defined below.

B. Management Measures

1. Tree Removal: No tree will be removed without a Forest Management Plan or an Amended Forest Management Plan.

2. Application Requirements: Trees proposed for removal will be conspicuously marked by flagging or by paint. The proposed removal of native trees greater than six inches will be the minimum necessary for the proposed development. Any removal not necessary for the proposed development will be limited to that required for the overall health and long-term maintenance of the forest, as verified in this plan or subsequent amendments to this plan.

3. Landmark Trees: All landmark trees will be protected from damage if not permitted to be removed as a diseased tree, which threatens to spread the disease to nearby healthy trees, or as a dangerous tree, which presents an immediate danger to human life or structures. Landmark oaks are trees that are visually, historically, or botanically significant specimens or are greater than 24 inches or more in diameter at breast height (DBH), or more than 1,000 years old.

4. Dead Trees: Because of their great value for wildlife habitat (particularly as nesting sites for insect-eating birds) large dead trees will normally be left in place. Smaller dead trees will normally be removed to reduce the fire hazard. Dead trees may be removed at the convenience of the owner.

5. Thinning: Trees less than six inches in diameter breast height may be thinned to promote the growth of neighboring trees, without first developing a Forest Management Plan.

6. Protection of Trees: All trees other than those approved for removal shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree, may be performed wherever necessary in the judgment of the owner, particularly to reduce personal safety and fire hazards. Retained trees that are located close to the construction site shall be protected from inadvertent damage by construction equipment through wrapping of trunks with protective materials, bridging or tunneling under major roots where exposed in foundation or utility trenches, and other measures appropriate and necessary to protect the well-being of the retained trees.

7. Fire prevention: In addition to any measures required by the local California Department of Forestry fire authorities, the owner will;

- A) Maintain a spark arrester screen atop each chimney.
- B) Maintain spark arresters on gasoline-powered equipment.
- C) Establish a "greenbelt" by keeping vegetation in a green growing condition to a distance of at least 50 feet around the house.
- D) Break up and clear away any dense accumulation of dead or dry underbrush or plant litter, especially near landmark trees and around the greenbelt.

8. Use of fire (for clearing, etc.): Open fires will be set or allowed on the parcel only as a forest management tool under the direction of the Department of Forestry authorities, pursuant to local fire ordinances and directives.

9. Clearing Methods: Brush and other undergrowth, if removed, will be cleared through methods that will not materially disturb the ground surface. Hand grubbing, crushing, and mowing will normally be the methods of choice.

10. Irrigation: To avoid further depletion of groundwater resources, prevent root diseases, and otherwise maintain favorable conditions for the native forest, the parcel will not be irrigated except within developed areas. Caution will be exercised to avoid over-watering around trees.

11. Exotic Plants: Care will be taken to eradicate and to avoid introduction of the following pest species:

- A) Pampas grass
- B) Genista (Scotch broom, French broom)
- C) Eucalyptus (large types)

AMENDMENTS

The Monterey County Director of Planning may approve amendments to this plan, provided that such amendments are consistent with the provisions of the discretionary permit or building submittal. Amendments to this Forest Management Plan will be required for proposed tree removal not shown as part of this Plan when the proposed removal falls within the description of a Forest Management Plan or Amendment to an existing Forest Management Plan.

Amended Forest Management Plan

A) An amended Forest Management Plan shall be required when:

- 1. The Monterey County Director of Planning has previously approved a Forest Management Plan for the parcel.
- 2. The proposed tree removal as reviewed as part of a development has not been shown in the previously approved Forest management plan

B) At a minimum, the Amended Forest Management Plan shall consist of:

- 1. A plot showing the location, type, and size of each tree proposed for removal, as well as the location and type of trees to be replanted,
- 2. A narrative describing reasons for the proposed removal, alternatives to minimize the amount and impacts of the proposed tree removal, tree replanting information, and justification for the removal of trees outside of the developed area is proposed.

Compliance

It is further understood that failure to comply with this Plan will be considered as failure to comply with the conditions of the Use Permit.

Transfer of Responsibility

This plan is intended to create a permanent forest management program for the site. It is

understood, therefore, that in the event of a change of ownership, this plan shall be as binding on the new owner as it is on the present owner. As a permanent management program, this Plan will be conveyed to the future owner upon sale of the property.

Report Prepared By:



Frank Ono, SAF member #48004 and ISA Certified Arborist #536

October 11, 2023

Date

Recommendations Agreed to by the landowner:

Landowner

Date

Forest Management Plan approved by:

Director of Planning

Date

PHOTOGRAPHS

The following photographs are typical of the barren areas and stumps found while walking the site, note not all stumps are pictured.













