

# Exhibit C

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## **DRAFT RESOLUTION**

### **Before the Planning Commission in and for the County of Monterey, State of California**

In the matter of the application of:

**BORDONARO MARC (PLN180032)**

**RESOLUTION NO. ---**

Resolution by the Monterey County Planning  
Commission:

1. Finding that the project involves the construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of a:
  - a. Use Permit and Design Approval to allow construction of an approximately 3,530 square foot two-story single family dwelling with an attached two-car garage in a visually sensitive zoning district, with grading of approximately 1,300 cubic yards of cut and 280 cubic yards of fill;
  - b. Use Permit to allow development on slopes in excess of 25%;
  - c. Use Permit to allow ridgeline development; and
  - d. Use Permit to allow the removal of (four) 4 Oak trees.

[PLN180032, Marc Bordonaro, 257 San Benancio Road, Unit #A Salinas (Assessor's Parcel Number 416-293-003-000), Toro Area Plan]

**The BORDONARO application (PLN180032) came on for a public hearing before the Monterey County Planning Commission on July 31, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) The project has been reviewed for consistency with the text, policies, and regulations in:

- 2010 Monterey County General Plan (General Plan);
- Toro Area Plan (Area Plan); and
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. The subject property is not located within the coastal zone; therefore, the 1982 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property is located at 257 San Benancio Road, Unit #A Salinas (Assessor's Parcel Number 416-293-003-000), Toro Area Plan and is zoning Low Density Residential with a maximum density of 5 acres per unit with a Visually Sensitivity Overlay or "LDR/5-VS." Title 21 Section 21.14.030.A allows for the first single family dwelling per lot not subject to any entitlements; however, the development, after staking and flagging, has the potential to create a visual impact when viewed from a common public viewing area (San Benancio Road). Therefore, a Use Permit is required per Title 21 Section 21.46.030.D.1. The project is to construct an approximately 3,530 square foot two-story single family with an attached two-car garage. The single family dwelling will have an approximately 2,084 square foot main level, 790 square foot lower level and a 656 square foot attached two-car garage. The project also includes the construction of an approximately 5,480 square foot driveway, 95 square foot porch and 665 square foot deck. A Combined Development Permit, with entitlements for development of a single family dwelling in a visually sensitive zoning district, located on slopes in excess of 25%; constituting "ridgeline development", and involving removal of four (4) Oak trees is required for the project. The project is an allowed use and the criteria to grant the Combined Development Permit has been met in this case.
- c) Lot Legality. The subject property is a vacant lot created through the Bordonaro Subdivision recorded on a parcel map filed December 4, 2006. Therefore, the subject property is a legal lot. The parcel map identified two building envelopes for the property, a northern and southern envelope. These two building envelopes allows the applicant to identify which envelope would better suit any development while taking into account the County policies and regulations for the zoning district. The development would be constrained on either building envelope due to the topography of the parcel, having slopes in excess of 25%, existing trees and aesthetic concerns.
- d) Cultural Resources. The subject property is in an area identified in the Monterey County Geographic Informational System (GIS) as having a high archaeological sensitivity. In accordance with Title 21 Section



21.66.050, an archaeological report was provided for the project (see Finding 2, Evidence “c”). The report was conducted in October 2018 and concluded that there is no evidence of archaeological remains. The closest archaeological site is approximately 2.5 miles northwest of the subject property. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition of approval (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- e) Design Review. The project site and surrounding area are designated as a Visually Sensitive “VS” zoning district, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area (San Benancio Road). As further discussed in Finding 9, the project would have the potential to create a substantially adverse visual impact; however, has been conditioned to reduce this impact. The applicant is constructing an approximately 3,530 square foot two-story single family dwelling with an attached two-car garage. The single family dwelling consists of an approximately 2,084 square foot main level, 790 square foot lower level and a 656 square foot attached two-car garage. The colors and materials have a modern ranch architectural style consisting of: tan stucco siding with dark brown eaves and trim, ivory and carmel stone veneer columns within dark bronze clad windows and doors, and charcoal composition roofing. The neighborhood consists of mainly ranch style homes similar with features. The exterior finishes blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. Therefore, the project is consistent with neighborhood character and will not detract from the surrounding environment.
- f) Review of Development Standards. The development standards for the LDR zoning district are identified in Title 21 Section 21.14.060. Required setbacks for main structures are 30 feet (front), 20 feet (rear), and 10 percent of the average lot width (side) or a maximum required 20 feet. TAP Policy T-3.3 requires a 100 foot setback for areas designated within the critical viewshed as shown on the Toro Scenic Highway Corridors and Visual Sensitivity Map. As discussed in Finding 9, the subject property is shown as visually sensitive on this map; therefore, the special setback of 100 feet from San Benancio Road would be applicable. The single family dwelling has a front setback of 341 feet, a rear setback of approximately 300 feet, and side setback of 151 feet. The height of the main structure will be at 27-6 feet, below the allowed height for this zoning district, which is 30 feet.

The site coverage maximum is 35%. The subject property is 6.11 acres which would allow site coverage of 93,153 square feet. The project results in structural site coverage of 3.37% or 8,970 square feet. Therefore, the project is consistent with the development standards as outline in Title 21 and identified in TAP Policy T-3.3.

- g) Ridgeline Development. As demonstrated in Finding 6 below, the project is consistent with the applicable standards for ridgeline development.
- h) Slopes in Excess of 25%. As demonstrated in Finding 7 below, the project is consistent with the applicable regulations for development on slopes in excess of 25%.
- i) Tree Removal. As demonstrated in Finding 8 below, the project is consistent with the applicable regulations for removal of protected trees.
- j) Visual Sensitivity. As demonstrated in Finding 9 below, the project is consistent with the applicable regulations for development within a Visual Sensitivity “VS” zoning district.
- k) Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Toro LUAC for review on May 28, 2019. The LUAC recommended approval of the project with concerns and comments. The LUAC suggested for the height of the structure to be lowered to where it is not visible above the ridgeline, had concerns about storm-water run-off and erosion resulting from development on slopes greater than 25% and recommended for a tree replacement ratio of 5:1 with mixed native species.

The height is below the maximum allowed per the LDR zoning district (see Evidence “F” above) and the applicant does not desire to reduce the height of the single family dwelling. Although the project results in ridgeline development as discussed in Finding 6 the visual impact is not substantially adverse as the single family dwelling is screened by existing vegetation and is conditioned to provide additional vegetation screening from San Benancio Road. Further, Title 21 allows for development on slopes in excess of 25% provided there are no alternative feasible options (see Finding 7 below), which in this case is applicable. The project is conditioned for a stormwater control and erosion plan (see Finding 3 below). To allow for maximum growth and adequate spacing, the 5:1 ratio recommended by the LUAC was not applied. The arborist recommended a replanting ratio of 1:1 for the replacement of the 4 oak trees. Staff is recommending an additional 2:1 to allow for adequate screening of the single family dwelling from San Benancio Road. This results in a 3:1 ratio resulting in 12 trees to be replanted (See attached conditions and Findings 6 and 8 below).

- l) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the project on the subject property conforms to the plans attached.
- m) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN180032.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed use.

**EVIDENCE:**

- a) The project includes a new single family dwelling associated with an established residential use in a residential neighborhood. Therefore, the use is suitable for the site.
- b) The project was reviewed by RMA-Planning, Monterey Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- c) The following reports have been prepared and submitted with the application:

- Preliminary Archaeological Assessment (LIB180432) prepared by Susan Morley, M.A., Marina, CA in October 208
- Geotechnical Evaluation (LIB180433) prepared by Grice Engineering, Salinas, CA on October 1, 2018
- Geotechnical Evaluation (LIB190149) prepared by Landset Engineering, Salinas, CA on April 2, 2019
- Tree Assessment/Forest Management Plan prepared by Frank Uno, Urban Forester, Pacific Grove on August 10, 2018

County staff independently reviewed these reports and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.

- d) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the site is suitable for this use.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN180032.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA-Planning, Monterey Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau (EHB). Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Potable water is provided through an existing well that was approved through the subdivision of the property and wastewater is conducted through an On-site Wastewater Treatment System (OWTS). The EHB has reviewed the project and has worked with the applicant to ensure the design of the OWTS meets the applicable regulations. Further, water quality results were collected which indicated that arsenic was over the maximum containment level of 10 parts per billion pursuant to Section 601.1 of the Uniform Plumbing Code. A non-standard condition of approval for a deed restriction has been incorporated into that project stating that the water supply does not meet drinking water standards and requires treatment prior to domestic (potable) use (Condition No. 8). The water treatment shall be installed at the wellhead and meet the standards of Monterey County Code Chapter 15.04 (Condition No. 9).
  - c) The project includes grading of approximately 1,300 cubic yards of cut, 280 cubic yards of which will be filled on site and the remaining 1,020 cubic yards will be utilized for landscape purposes. A grading plan would be necessary as a part of the construction permit requirements to ensure the recommendations within the Geotechnical Report are incorporated into the plan.
  - d) RMA-Environmental Services has reviewed the project and applied a standard condition of approval for a stormwater control plan (Condition No. 11) to ensure the stormwater run-off is properly dispersed on-site and off-site. An erosion control plan would be required as a part of the construction permit to ensure compliance with Monterey County Code Chapter 16.12, which is intended to eliminate and prevent conditions of accelerated erosion that have led to, or could lead to, degradation of water quality, loss of fish habitat, damage to property, loss of topsoil or vegetation cover, disruption of water supply, or increased danger from flooding.
  - f) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN180032.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.
- b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN180032.

5. **FINDING:** **CEQA (Categorically Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the project.

- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a) categorically exempts the construction of new single family dwellings in residential zones. The project is to construct an approximately 3,530 square foot two-story single family dwelling with an attached two-car garage; therefore, the project qualifies for a Class 3 categorical exemption pursuant to Sections 15303 (a) of the CEQA guidelines.
- b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. No adverse environmental effects were identified during staff review of the development application.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the development found in Project File PLN180032.

6. **FINDING:** **RIDGELINE DEVELOPMENT** – The siting, location, size and design would not create a substantially adverse visual impact when from a common public viewing area.

- EVIDENCE:** a) The General Plan Policy OS-1.3 states that ridgeline development shall not be allowed to be able to preserve the County's scenic qualities. An exception to this policy may be made provided that the ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area; and either, the proposed development better achieves the goals and policies of the General Plan; or there is no feasible alternative to the ridgeline development. Title 21 Section 21.66.010 provides development standards for ridgeline development, which would be subject to a Use Permit. These development standards are similar to the policy language within the General Plan, stating that ridgeline development may be approved provide that substantial evidence indicates that project would not create a substantial adverse visual impact when viewed from a common public viewing area. After staking and flagging of the development, the project has the potential to create a

- visual impact when viewed from a common public viewing area – San Benancio Road, resulting in ridgeline development.
- b) As discussed in Finding 1, Evidence “b,” the subject parcel was created through a subdivision that identified two building envelopes for development. Each envelope is constrained by existing topography, slopes in excess of 25%, existing trees and aesthetic concerns. Two geotechnical evaluations prepared by Grice Engineering and Landset Engineers (Finding 2, Evidence “c”) were provided for the development. Grice Engineering stated that “...making the northern building envelope unfeasible for development...the southern envelope *[where the development is currently proposed]* will provide for a more stable development and with less concern of slope erosion and effects from other site characteristics.” The subsequent evaluation prepared by Landset Engineers supported the conclusion of Grice Engineering. Therefore, the northern building envelope, as illustrated in the attached plans, would not be a feasible alternative for development, from a geotechnical perspective.
  - c) The building envelopes created at the time of the subdivision (PLN030613) did not address any issues related to visibility concerns. In fact, the report concluded that the subdivision conforms with the requirements of the Monterey County Code 21.46 for the VS district, and that future development of one single family dwelling on each of the parcels created would be consistent with the site zoning of LDR/5-VS. The applicant also staked and flagged the northern envelope in the most viable location for any development. The development in the northern building envelope would also have the potential to create a substantial adverse visual impact when viewed San Benancio Road, and unlike the southern envelope, there aren’t any existing vegetation lessening the impact. The visual impact of the development on the northern building envelope is similar to the impact, if not more, on the southern building envelope.
  - d) The standards identified in Title 21 Section 21.66.010 states that ridgeline development may be approved provided it does not create a substantial adverse visual impact when viewed from a common public viewing area. The visual impacts are relatively similar in both the northern and southern building envelopes; however, geotechnical evaluations identify the southern being more feasible and the applicant desires to build on the southern envelope. This visual impact on the southern envelope is reduced to a non-substantial level with the implementation of a non-standard condition of approval (Condition No. 4) for the applicant to plant two trees for every one tree being removed along the southwestern and southeastern portions of the single family dwelling, in addition to the recommendation of the arborist. This results in a total 12 trees to be planted (see Finding 8). Staff explored the option of additional excavation to lower the house profile (i.e.: create

partially subterranean levels) and reduce the ridgeline impacts. However, in this specific case, further excavating to lower the house could cause undue risk of slope failure due to additional encroachment into slopes in excess of 25% and is not recommended by staff. Due to the fact that neither ridgeline development or slopes can be fully avoided, the project has been balanced to reasonably minimize impacts to both of these resources. In this case, the development does not have any alternative feasible options and as conditioned, would not create a substantial visual impact when viewed from San Benancio Road.

- e) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the project on the subject property conforms to the plans attached.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the development found in Project File PLN180032.

7. **FINDING:**

**SLOPES IN EXCESS OF 25%** – The project has no feasible alternative option which would allow for development to occur on slopes less than 25%.

- EVIDENCE:**
- a) General Plan Policy OS-3.5 states that development on slopes in excess of 25% shall be prohibited except where there is no feasible alternative or the proposed development better achieves the goals and policies of the General Plan and Area Plan. Development on slopes in excess of 25% is subject to a Use Permit as outlined in Title 21 Section 21.64.230, which also provides regulations similar to the criteria listed in the General Plan. When the subject parcel was created, a Conservation and Scenic Easement was recorded on areas of the parcel that identified slopes in excess of 30%. Since this time, County regulations have changed and now require specific findings and entitlements for slopes in excess of 25%. The Monterey County Geographic Informational System (GIS) identifies the subject parcel to have slopes in excess of 25% and the applicant has also provided a site plan (see attached) that illustrates this information.
  - b) The two approved building envelopes (Finding 1, Evidence “c”) have been evaluated by licensed professionals which indicate the northern envelope to not be feasible for development, leaving the southern envelope as the only alternative option. As illustrated in the attached site plans, each building envelope is constrained with more than 50% of the envelope with slopes in excess of 25%. The southern envelope has a minimal area of slopes less than 25% which is where a portion of the development is sited. The northern envelope has less of a building area when taking into consideration the setbacks from the existing easement and ridge line. The applicant has staked and flagged and provided a diagram that indicates the location of the development if it were to be on the northern building envelope. The development on the northern

envelope would be entirely on slopes in excess of 25% as opposed to the southern envelope.

Alternatively, Grice Engineering explained that the characteristics of a ridge are defined by the presence of a specific type of soil called capstone. These soils, overtime, are exposed through natural weather and can result in a change of slope to the land. As depicted in the attached plans and discussed in the geotechnical evaluations (Finding 2, Evidence “c”), the ridge line lies on the south of the southern envelope on areas less than 25% in slopes. Moving the development further south, towards this ridge line, away from slopes in excess of 25%, would not only be closer to the ridge but also create a more visual impact from San Benancio Road (see Finding 9). The development is sited in a manner to create less erosion by following the topography of the land to a create a less damage to the ground and to reduce the amount of erosion, avoid slopes in excess of 25% to the intent feasible, and avoid the development near the ridge. Staff explored the option of additional excavation to lower the house profile (i.e.: create partially subterranean levels) and reduce the ridgeline impacts. However, in this specific case, further excavating to lower the house could cause undue risk of slope failure due to additional encroachment into slopes in excess of 25% and is not recommended by staff. Due to the fact that neither ridgeline development or slopes can be fully avoided, the project has been balanced to reasonably minimize impacts to both of these resources. Based off of staff’s site visit, the building envelopes, the geotechnical evaluations, the Monterey County GIS and plans provided by the applicant, and given the similarities between the two envelopes, development on the southern envelope has been found to be appropriate in this circumstance.

- c) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the project on the subject property conforms to the plans attached.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN180032.

8. **FINDING:** **TREE REMOVAL** – The siting, location, size and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

**EVIDENCE:** a) TAP Policy T-3.7 states that the removal of healthy, native oak trees in the Toro Planning Area shall be discouraged. Title 21 Section 21.64.260 provide regulations for the preservation of oak and other protected trees. The project includes the removal of four (4) Oak trees and pursuant to Title 21 Section 21.64.260.D.3.b, a Tree Assessment/Forest Management Plan was provided by Frank Ono



(Finding 2, Evidence “c”), Urban Forester. The assessment concluded that the site is vegetated with a mixed oak woodland and Coastal scrub type. The mixture contains scattered Coast live oaks, poison oak, Sticky Monkey Flower and Coyote Brush. The oak trees are mostly located within the building area and range in health condition from dead to fair.

- b) The project includes removal of four (4) Oak trees. Three Oak trees, 8 inch, 13 inch and 11 inch in diameter, are within the driveway footprint, and the remaining Oak tree, approximately 9 inch in diameter, is within the building footprint. Staff has analyzed the proposed tree removal relative to siting of development and minimizing removal. The siting of the single family dwelling is located within the approved building envelope away from the ridge line as recommended by the licensed professional and to reduce visibility from San Benancio Road. The proposed driveway is constructed in a manner to follow the topography of the land, meet fire safety regulations and lessen the impact of erosion. If the development were to be constructed on the northern building envelope, it would result in removal of more trees. Therefore, development on the southern building envelope better supports the policy and regulation of requiring the minimum tree removal for development.
- c) Further, the Monterey County GIS indicates subject property to be within a very high fire hazard. A fuel management plan has been provided as a part of the application material (see attached plans). The fuel management plan indicates two zones for defensible space. The replanting of the trees recommended by the arborist and by the non-standard condition of approval are to be replanted within zone 1 and according to the fuel management plan and requirements by the state and county, this area is required to be maintained and would not conflict with the fuel management plan. The applicant would be required to maintain and trimmed of all dead and dying foliage.

The Forest Management Plan has listed several recommendations that have been incorporated as conditions of approval or are included within the site plans (see attached plans). The arborist recommended a tree replanting ratio of 1:1, for a total of four (4) five-gallon or larger trees. Additional trees shall be replanted on top of the arborist’s recommendation to provide more vegetative screening for the project when viewed from San Benancio Road. This results in a 3:1 ratio, for a total of 12 trees to be replanted rather than 4. The trees will be placed in areas that allow for maximum sunlight and are a minimum ten (10) feet apart in spacing as recommended by the arborist. This placement will ensure that the additional trees will not create overcrowding. The arborist’s recommended replacement ratio is the minimum needed to conform to County Code section 21.64.260.4, which requires a 1:1 ratio. Typically, arborist recommendations for tree replanting do not consider adding trees for the purpose of visual screening, as visual

impacts are generally not within the purview of an arborist. In this case, staff analyzed the overall project in conjunction with the arborist report and given the parameters (i.e.: 10 foot spacing with open sunlight), there is sufficient space on the parcel to accommodate the eight (8) additional trees to provide enhanced screening for the development.

- d) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the project on the subject property conforms to the plans attached.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN180032.

9. **FINDING:** **VISUAL SENSITIVITY** – The project does not create adverse visual impacts when viewed from a common public viewing area or as defined in the Title 21.

**EVIDENCE:** a) TAP Policy T-3.1 states that development in areas designated as “visually sensitive” on the Toro Scenic Highway Corridors and Visual Sensitivity Map, may be permitted if the developed is located and designed in a manner that will enhance the scenic value of the area. Figure 16 of the TAP illustrates the subject property within a visually sensitive area and the project site and surrounding area are zoning as Visually Sensitive or “VS.” Title 21 Chapter 21.46 is intended to regulate development that would substantially adverse visual impact when viewed from a common public viewing area. As discussed in the sections and shown in the figures above, the subject property is visible from San Benancio Road, which is designated as an existing Scenic route on Figure 16 of the TAP.

Staking and flagging of development was erected on both the northern and southern building envelopes. Staff conducted a site inspection to ascertain the potential for aesthetic impacts on the two potential building locations. During review, staff determined that, in both circumstances, development would be located on the crest of a ridge and silhouetted against the sky when viewed from San Benancio Road (ridgeline development). In both cases, the home is located more than 300 off San Benancio Road and Oak trees will aid in screening views of the home but staking and flagging are visible behind the Oak trees. The southern building envelope actually provides more existing vegetation that screens the development versus the northern building envelope due to less existing vegetation.

- b) The applicant is constructing an approximately 3,530 square foot two-story single family with an attached two-car garage. The single family dwelling consists of an approximately 2,084 square foot main level, 790 square foot lower level and a 656 square foot attached two-car garage. The colors and materials are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the

neighborhood (Finding 1, Evidence “e”). Further, TAP Policy T-3.5 states that exterior lighting shall be located, designed, and enforced to minimize light sources and preservice the quality of darkness. The project has been conditioned to ensure the lighting fixtures are consistent with the County’s Exterior Lighting Guidelines. Therefore, the siting and location of the development, as conditioned, is consistent with neighborhood character, would not detract from the surrounding environment and would not create a substantial visual impact.

- c) Staff conducted site inspections on January 25, 2019 and June 26, 2019 to verify that the project on the subject property conforms to the plans attached.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180032.

10. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.  
**EVIDENCE:** Board of Supervisors. Pursuant to Title 21 Section 21.80.050, an appeal of the Planning Commission’s approval for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project involves the construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a:
  - a. Use Permit and Design Approval to allow construction of an approximately 3,530 square foot two-story single family dwelling with an attached two-car garage in a visually sensitive zoning district, with grading of approximately 1,300 cubic yards of cut and 280 cubic yards of fill;
  - b. Use Permit to allow development on slopes in excess of 25%;
  - c. Use Permit to allow ridgeline development; and
  - d. Use Permit to allow the removal of (four) 4 protected trees.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31<sup>st</sup> day of July 2019 upon motion of Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS NOT LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180032

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN180032) consisting of a: 1) Use Permit and Design Approval to allow construction of an approximately 3,530 square foot two-story single family dwelling with an attached two-car garage, with grading of approximately 1,300 cubic yards of cut and 280 cubic yards of fill. ; 2) Use Permit to allow development on slopes in excess of 25%; 3) Use Permit to allow ridgeline development; and 4.) Use Permit to allow the removal of (four) 4 Oak trees. The property is located at 257 San Benancio Road, Unit #A Salinas (Assessor's Parcel Number 416-293-003-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "A Combined Development Permit (Resolution Number \*\*\*) was approved by Monterey County Planning Commission for Assessor's Parcel Number 416-293-003-000 on July 31, 2019. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the RMA Chief of Planning prior to issuance of construction permits. (RMA - Planning)

**Compliance or** Prior to the issuance of construction permits, the Owner/Applicant shall provide proof  
**Monitoring** of recordation of this notice to the RMA - Planning.  
**Action to be Performed:**

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or  
**Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or** The Owner/Applicant shall adhere to this condition on an on-going basis.  
**Monitoring**  
**Action to be Performed:**

Prior to the issuance of construction permits, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. TREE PLANTING (NON-STANDARD CONDITION)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** To ensure development is screened from a common public viewing area, the applicant/owner/agent shall plant trees along the southwestern and southeastern side of the single family dwelling, which is visible from San Benancio Road, with a 2:1 ratio in addition to what has been recommended within the August 10, 2018 Tree Assessment Report (LIB180339) prepared by Frank Ono, Urban Forester. This is a total of eight (8) trees to be planted in addition to the four (4) trees to be replanted as recommended by the Urban Forester - see Condition No. 6. The trees shall be seedlings and of mixed native species. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the final of a construction permit -  
The Owner/Applicant shall submit evidence of tree planting to RMA-Planning for review and approval. Evidence shall be a receipt for the purchase of the new tree(s) and photos of the new tree(s) being planted along the southwestern and southeastern side of the single family dwelling.

Six months after the planting of the tree(s), the Owner/Applicant shall submit evidence demonstrating that the tree(s) are in a healthy, growing condition.

One year after the planting of the tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the tree(s) and whether or not the tree was successful or if follow-up remediation measures or additional permits are required.

#### 5. PD049 - TREE AND ROOT PROTECTION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to construction, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to RMA-Planning for review and approval.

After construction and prior to the final building inspection, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to RMA-Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

## 6. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall replace each tree approved (total of 4) for removal as follows:

**Monitoring Measure:**

- Replacement trees should be five-gallon stock or larger, if available and replanted on a 1:1 ratio for a total of four (4) trees to be replanted. Trees should be planted in those areas with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Spacing between trees should be at least 10 feet. There is enough room to plant the four (4) trees on the remainder of the parcel, as many as possible should be replaced. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. Grinding of stumps onsite is permissible. (RMA - Planning)

See Condition No. 4 for additional trees for vegetation screening.

**Compliance or  
Monitoring  
Action to be Performed:**

Prior to the final of a construction permit, the Owner/Applicant shall submit evidence of tree replacement to RMA-Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.



## 7. CC01 INDEMNIFICATION AGREEMENT

**Responsible Department:** County Counsel

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of a construction permit, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Monterey County Resource Management Agency - Planning.

## 8. EHSP01 – DEED RESTRICTION FOR ARSENIC

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The applicant shall record a deed notification with the Monterey County Recorder for parcel 416-293-003-000 indicating that: "The water supply serving this parcel (EH Well Permit #02-01121) does not meet primary drinking water standards for Arsenic and requires treatment prior to domestic (potable) use. (Environmental Health)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of construction permits, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permits, the property owner shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

## 9. EHSP02 – COUNTY PERMITTED WATER SYSTEM IMPROVEMENTS

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** Design the water system improvements to meet the standards as found in Chapter 15.04 of the Monterey County Code, Titles 17 and 22 of the California Code of Regulations and as found in the Residential Subdivision Water Supply standards. Submit engineered plans for the water improvements, including plans for primary and secondary treatment at the wellhead, and any associated fees to the Direction of Environmental Health for review and approval prior to installing (or bonding) the improvements. Water treatment units shall be regenerated off site unless otherwise approved by the Director of Environmental Health. (Environmental Health)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of construction permits, the applicant shall submit engineered plans for the water system improvements, including plans for primary and secondary treatment at the wellhead, and any associated fees to the Direction of Environmental Health for review and approval prior to installing (or bonding) the improvements.

## 10. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a grading plan incorporating the recommendations in the project Geotechnical Report prepared by Grice Engineering, Inc., dated October 1, 2018. The grading plan shall include contour lines and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

## 11. STORMWATER CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a stormwater control plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and below any septic leach fields. Erosion control shall be provided at each outlet. Drainage improvements shall be constructed in accordance with plans approved by RMA-Environmental Services. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permits, the applicant shall submit a stormwater control plan to RMA-Environmental Services for review and approval.

## 12. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permits, the Owner/Applicant shall pay Monterey County RMA Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the Development Services.



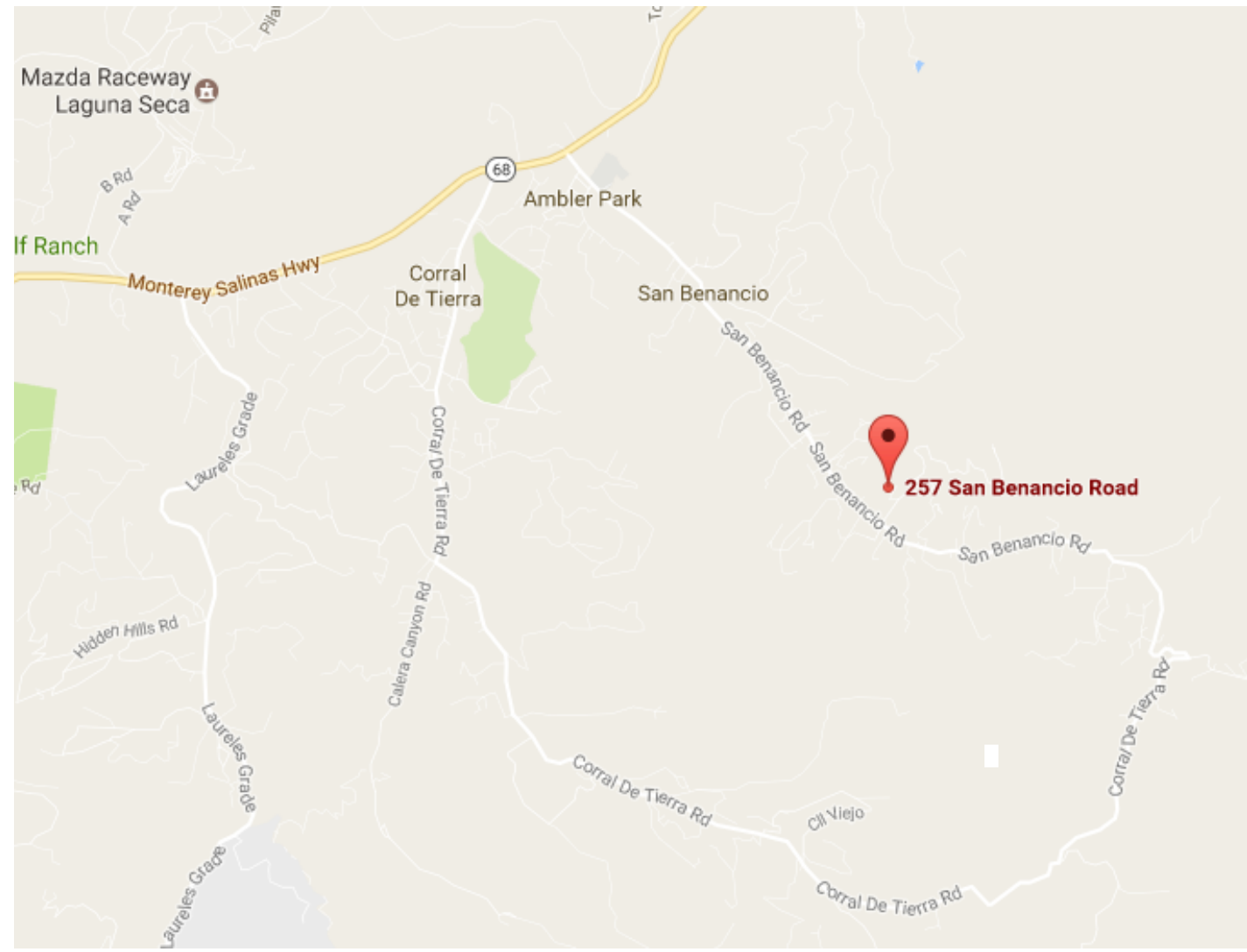
# New Residence for Mr. Bordonaro

257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA 93908

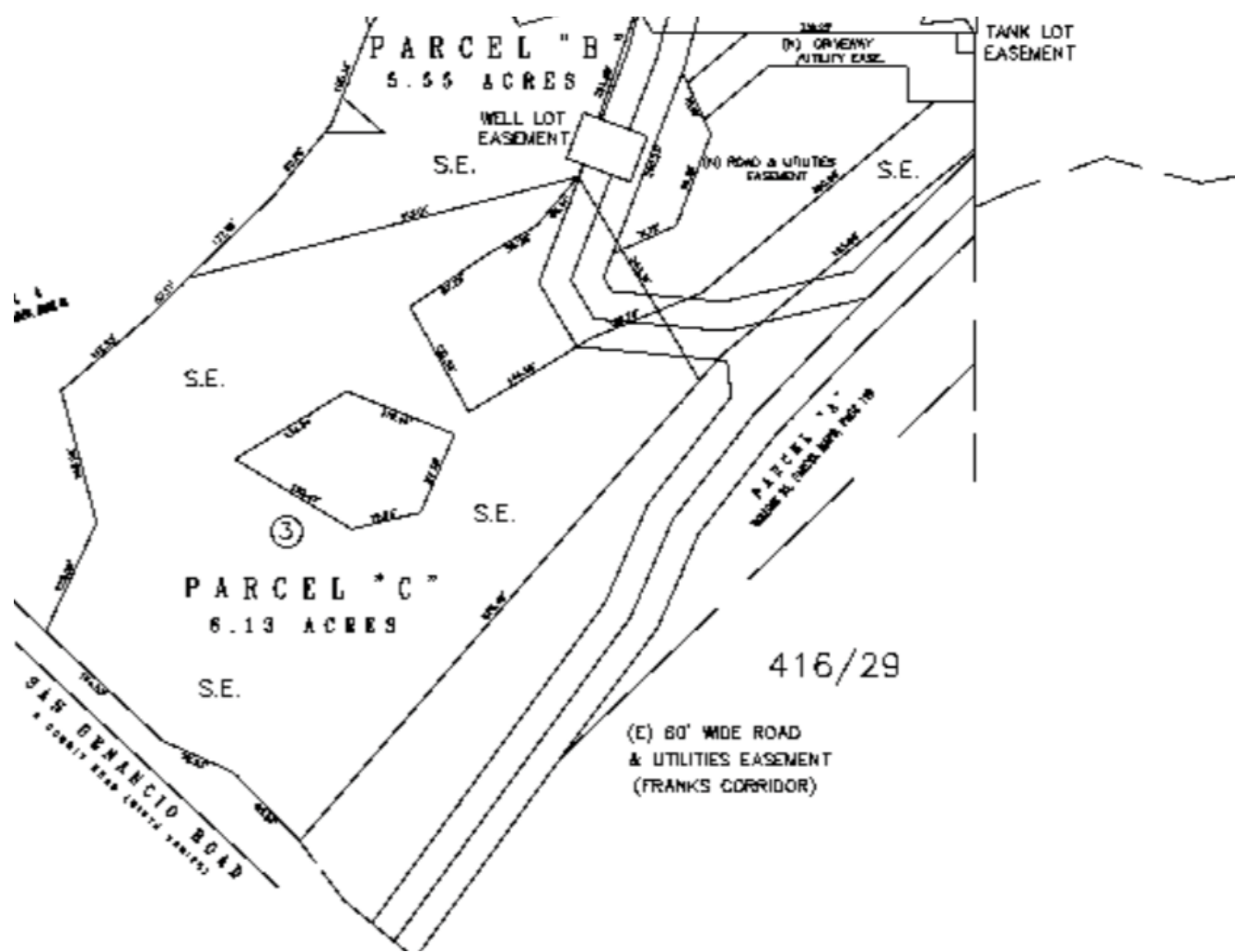
AST

DESIGN GROUP  
957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PHONE: (831) 578-3450

## VICINITY MAP



## ASSESSORS MAP



## SHEET INDEX

A1.0	COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP
A1.1	ENTIRE SITE PLAN
A1.1.1	PARTIAL SITE PLAN
A1.2	LANDSCAPE & FUEL MANAGEMENT PLAN
A1.3	CONSTRUCTION MANAGEMENT PLAN
C1	GRADING COVER SHEET
C2	GRADING (SITE OVERVIEW)
C3	GRADING, DRAINAGE & UTILITY PLAN (RESIDENCE)
C4	GRADING, DRAINAGE & UTILITY PLAN (DRIVEWAY TURNOUT)
C5	GRADING, DRAINAGE & UTILITY PLAN (DRIVEWAY BEGINNING)
C6	SITE SECTIONS
C7	EROSION & SEDIMENT CONTROL PLAN
C8	EROSION & SEDIMENT CONTROL PLAN
A1.4	NEW FLOOR PLAN (MAIN LEVEL), NOTES
A1.5	NEW FLOOR PLAN (LOWER LEVEL), NOTES
A1.6	EXTERIOR ELEVATIONS
A1.7	EXTERIOR ELEVATIONS
A1.8	ROOF PLAN

## PROJECT DATA

<b>PROJECT ADDRESS</b>	257 SAN BENANCIO ROAD SALINAS, CALIFORNIA 93908
<b>PARCEL NUMBER:</b>	416-293-003-000
<b>MONTEREY COUNTY ZONING:</b>	LDR / 5-VS
<b>SITE AREA:</b>	6.11 ACRES (266,151 S.F.)
<b>CONSTRUCTION TYPE:</b>	V-B
<b>OCCUPANCY TYPE:</b>	R-3
<b>STORIES:</b>	TWO STORY
<b>SEWER SYSTEM:</b>	NEW SEPTIC SYSTEM
<b>SQUARE FOOTAGE:</b>	
(N) RESIDENCE (MAIN LEVEL):	2,083 S.F.
(N) RESIDENCE (LOWER LEVEL):	790 S.F.
(N) ATTACHED 2-CAR GARAGE:	656 S.F.
<b>TOTAL:</b>	3,529 S.F.

<b>SITE COVERAGE:</b>	
(N) RESIDENCE FOOTPRINT:	2,739 S.F.
(N) DECKING:	662 S.F.
(N) COVERED PORCH:	91 S.F.
(N) DRIVEWAY:	5,478 S.F.
<b>TOTAL:</b>	8,970 S.F. (3.37% SITE COVERAGE)
<b>TREES TO BE REMOVED:</b>	(4) TREES TO BE REMOVED (SEE REPORT)
<b>MAXIMUM HEIGHT:</b>	30'-0" FROM AVG. NATURAL GRADE
<b>FIRE SPRINKLER REQUIREMENT:</b>	<b>SPRINKLERS REQUIRED</b>
<b>GRADING CALCULATIONS:</b>	
TOTAL CUT:	1,300 C.Y.
TOTAL FILL:	280 C.Y.
	1,020 C.Y. EXPORT USED FOR EMBANKMENTS & LANDSCAPE PURPOSES ON SITE

## GENERAL NOTES

TYPICAL CONSTRUCTION REQUIREMENTS OF THE **2016 CRC** SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.

**SITE FAMILIARIZATION:** CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.

**CONSTRUCTION DETAILS:** NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.

**DEMOLITION:** COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.

**GLAZING:** ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.

**MECHANICAL AND PLUMBING:** IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.

**GFI PROTECTION:** ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION.

**SMOKE DETECTORS:** AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).

NAILING TO BE IN COMPLIANCE WITH **2016 CALIFORNIA RESIDENTIAL CODE** TABLE.

ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).

NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.

ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.

ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.

**CARBON MONOXIDE DETECTORS:** AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).

## FIRE DEPARTMENT NOTES

**FIRE007 - DRIVEWAYS**  
DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT, WHERE THE GRADE EXCEEDS 8 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.

**FIRE011 - ADDRESSES FOR BUILDINGS**  
ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

**FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)**  
MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

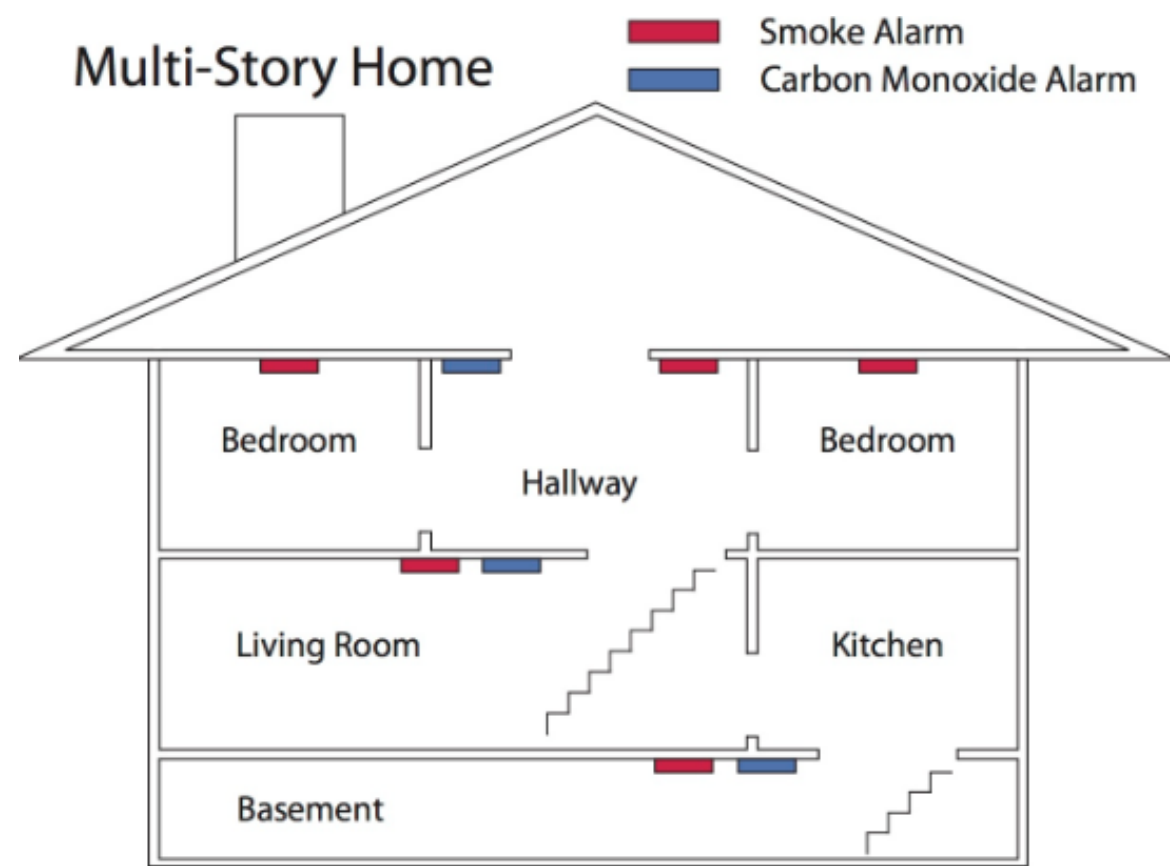
**FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (HAZARDOUS CONDITIONS)**  
THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

**FIRE029 - ROOF CONSTRUCTION**  
ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.

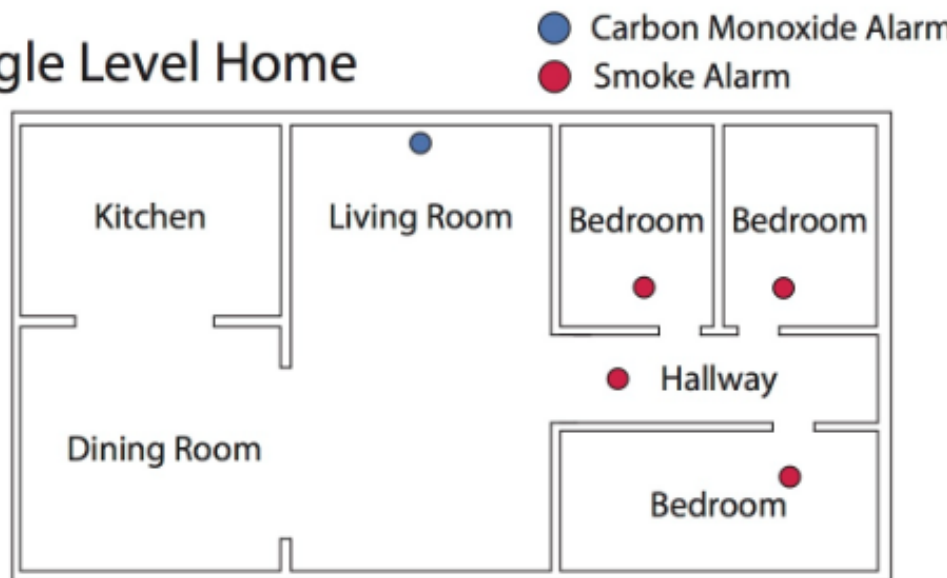
## ARCHAEOLOGICAL RESOURCES NOTE:

IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED ON THE PROJECT PARCEL UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE APPROVAL OF THE LEAD AGENCY, AND IMPLEMENTED.

## SMOKE & CARBON MONOXIDE LOCATIONS



## Single Level Home



## SCOPE OF WORK

- NEW 2,873 S.F. SINGLE FAMILY DWELLING
- NEW ATTACHED 656 S.F. 2-CAR GARAGE
- NEW 662 S.F. DECKING
- NEW 91 S.F. ATTACHED COVERED PORCH
- NEW 5,478 S.F. ASPHALT DRIVEWAY

## APPLICABLE CODES

**THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:**

- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 TITLE 24 ENERGY COMPLIANCE
- 2016 CALIFORNIA GREEN BUILDING CODE

NEW RESIDENCE  
FOR:

**BORDONARO  
RESIDENCE**

257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA  
A.P.N.: 416-293-003

**DRAWINGS:**  
PROJECT DATA  
SHEET INDEX  
SCOPE OF WORK  
NOTES  
APPLICABLE CODES  
ASSESSORS MAP  
VICINITY MAP

**DRAWN BY:** AST  
**DRAWING DATE:** Sept. 3, 2018  
**REVISION DATES:**  
December 10, 2018 (Planning Rev.)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTRACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

**A1.0**



AST

DESIGN GROUP

957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE  
FOR:

BORDONARO  
RESIDENCE

257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA  
A.P.N.: 416-293-003

DRAWINGS:  
ENTIRE SITE PLAN

DRAWN BY: AST

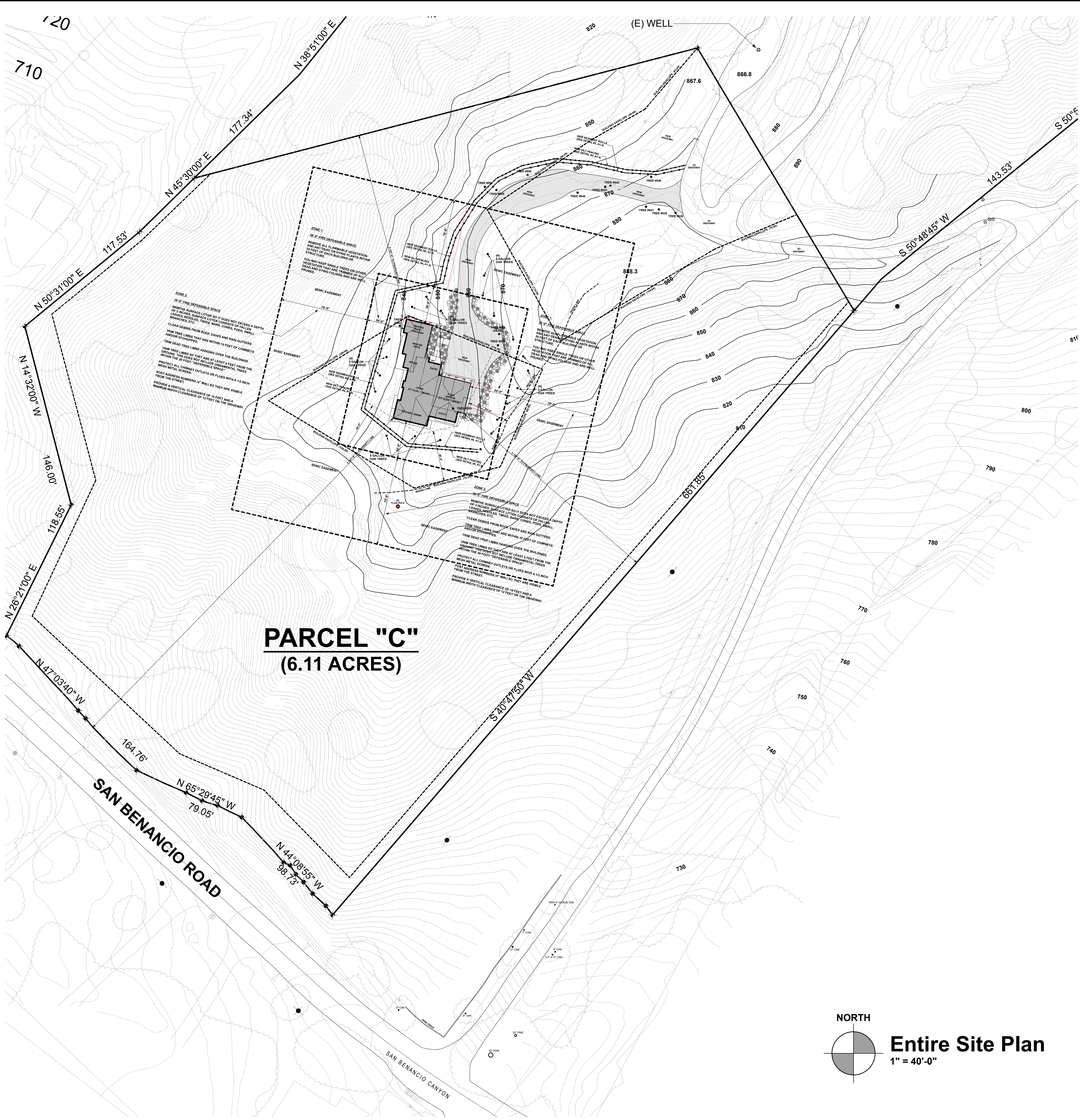
DRAWING DATE: Sept. 3, 2018

REVISION DATES:  
December 10, 2018 (Planning Rev.)  
June 26, 2019 (Planning Rev.)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTRACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

A1.1



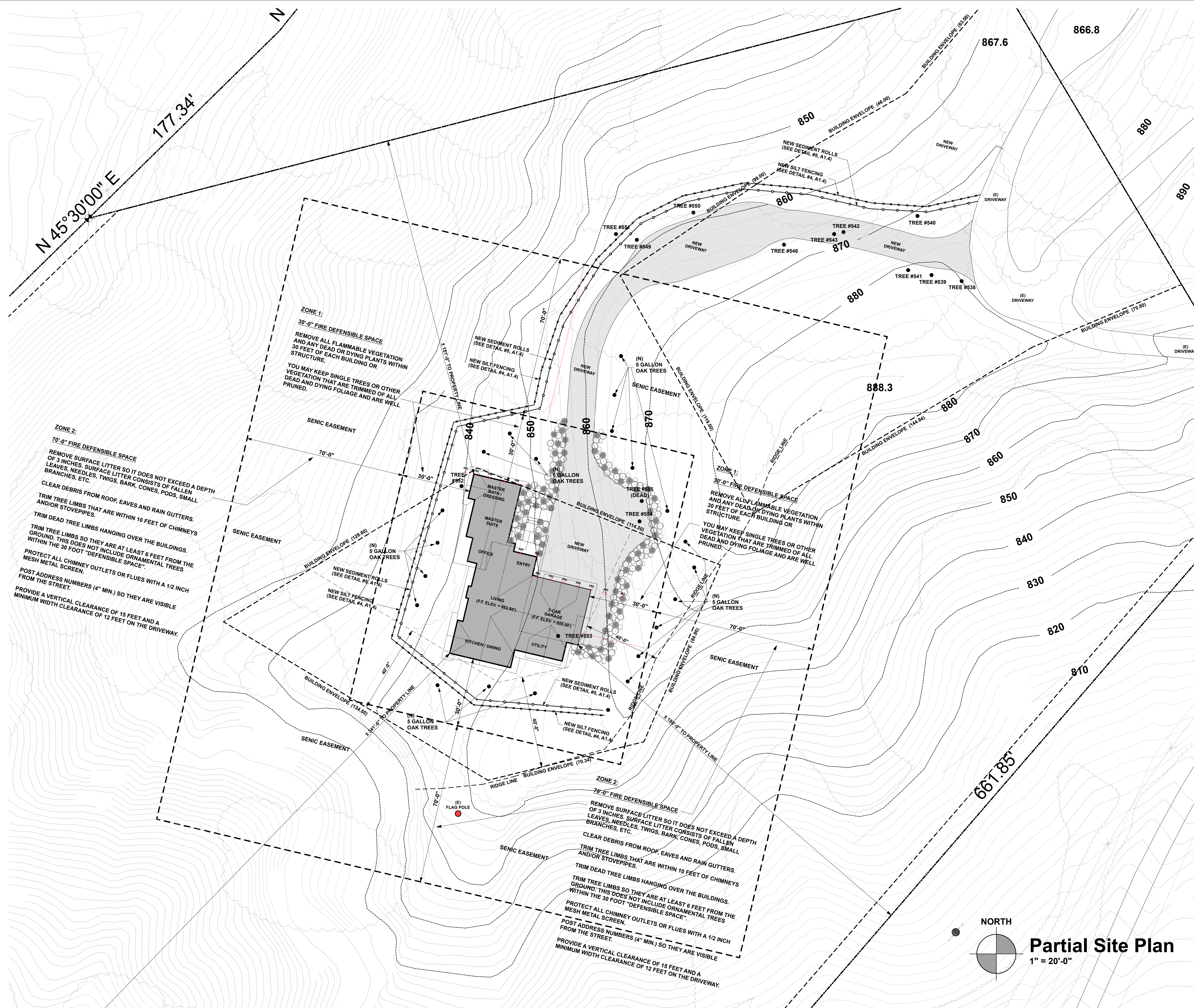


**BORDONARCO  
RESIDENCE**

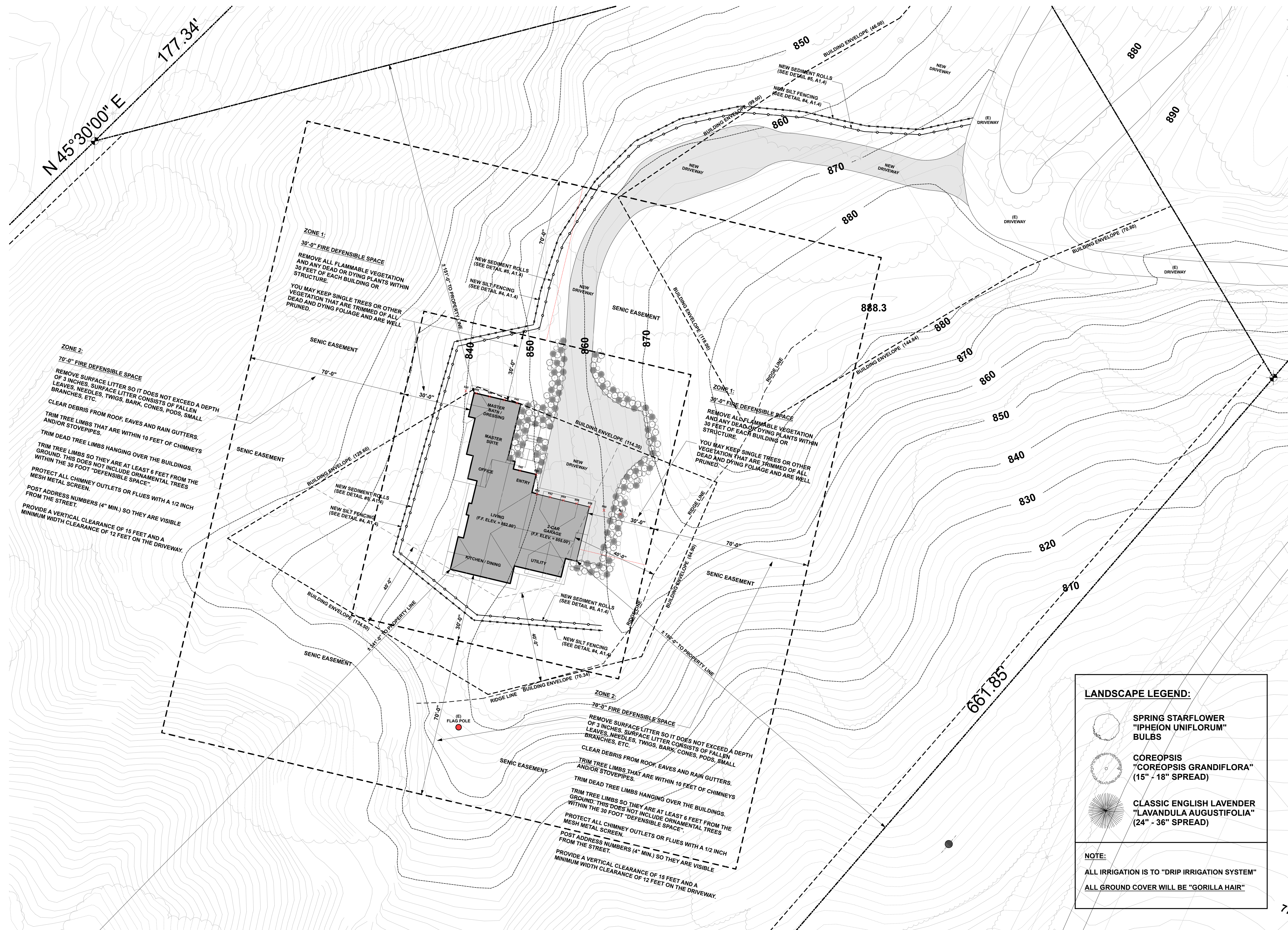
**DRAWINGS:**  
PARTIAL SITE PLAN

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISITORS CONTRACT WITH THEM CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

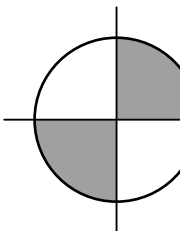
### A1.1.1







NORTH



**Landscape & Fuel Management Plan**  
1" = 20'-0"





**1" = 30'-0"**

### A1.3



GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
BORDONARO RESIDENCE  
APN: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP  
NOT TO SCALE

GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE BASE TOPOGRAPHIC INFORMATION AND THE SITE PLAN FOR THE BORDONARO RESIDENCE PREPARED BY AST DESIGN GROUP, ON JANUARY 3, 2018.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2016 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 1,300 C.Y. OF CUT AND 280 C.Y. OF FILL WITH AN EXPORT OF 1,020 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS WHICH OUTLET INTO LANDSCAPE AREAS AND/OR PERVIOUS PAVERS OR CONNECTED INTO THE SITE STORM DRAIN SYSTEM AS SHOWN. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL-VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAIN AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- 13) SUBSURFACE DRAINAGE FOR RETAINING WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.
- 14) THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS SHALL BE CHRISTY PRODUCTS, V1 & V12 WITH CAST IRON GRATE FOR LANDSCAPE AREAS, V64 WITH TRAFFIC RATED GRATE FOR PAVED AREA. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- 15) ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.

- 16) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.
- 17) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 18) NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- 19) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 20) THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 21) IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

SANITARY SEWER NOTES:

- 1) ALL RELATED SEPTIC SYSTEM DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST COUNTY OF MONTEREY HEALTH DEPARTMENT STANDARDS.
- 2) SANITARY SEWER CLEANOUTS SHALL BE INSTALLED AT THE EXIT OF THE BUILDING AND AT HORIZONTAL BENDS IN THE CONVEYANCE LINES FOR GRAVITY SYSTEM.
- 3) SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE(P.V.C.) PLASTIC GRAVITY SEWER PIPE WITH INTERNAL WALL BELL AND SPIGOT JOINTS FOR THE CONVEYANCE OF DOMESTIC SEWAGE. ALL SOLID WALL PIPE AND FITTINGS IN 4" THROUGH 15" DIAMETERS SHALL CONFORM TO ASTM D3034 SDR 21 MINIMUM WALL THICKNESS. 2" FORCE LINE PIPE AND FITTINGS SHALL BE SCHEDULE 80 PVC.
- 4) ALL PIPES SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID THERMOPLASTIC SEWER PIPE.
- 5) THE MINIMUM SLOPE FOR A 4" PIPE SHALL BE 2%.
- 6) THE MINIMUM COVER FOR ALL SANITARY SEWER LINES SHALL BE 2'.
- 7) ALL SEEPAGE PITS AND SEPTIC TANK SHALL HAVE A MINIMUM OF 18" OF COVER (FIN. GRADE TO TOP OF PIPE / NATIVE GRD. TO TOP PIPE). THE PRIMARY AND THE SECONDARY SYSTEMS SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS
- 8) THE SITE LAYOUT IS APPROXIMATE ONLY. THE SEPTIC TANK AND CORRESPONDING SEEPAGE PITS MAY BE ADJUSTED SLIGHTLY TO BETTER ACCOMODATE SITE AND CONSTRAINTS.
- 9) THE SEPTIC TANK AND SEEPAGE PITS HAVE BEEN DESIGNED BASED UPON THE RESIDENCE HAVING 3 BEDROOMS/3 BATHROOMS.

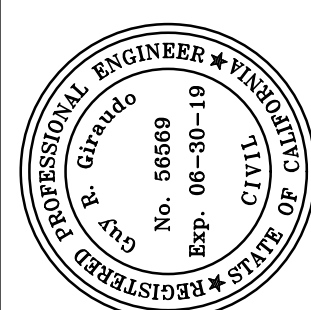
CONTACT INFORMATION:

PRIMARY: OWNER  
MR. MARC BORDONARO  
P.O. BOX 22313  
CARMEL, CA 93922

SECONDARY: ARCHITECT  
AST DESIGN GROUP  
ATTN: MR. AARON TOLLEFSON  
957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PH (831)578-3450

SITE LOCATION:  
257 SAN BENANCIO RD.  
SALINAS, CA

	10/08/18	AMS	GROUND SLOPE ANALYSIS		
	05/01/18	AMS	RELEASED TO CLIENT		
No.	DATE	BY	REVISION		



APPROVED BY:

GUY R. GIRAUDO



GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
BORDONARO RESIDENCE  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA

MR. MARC BORDONARO

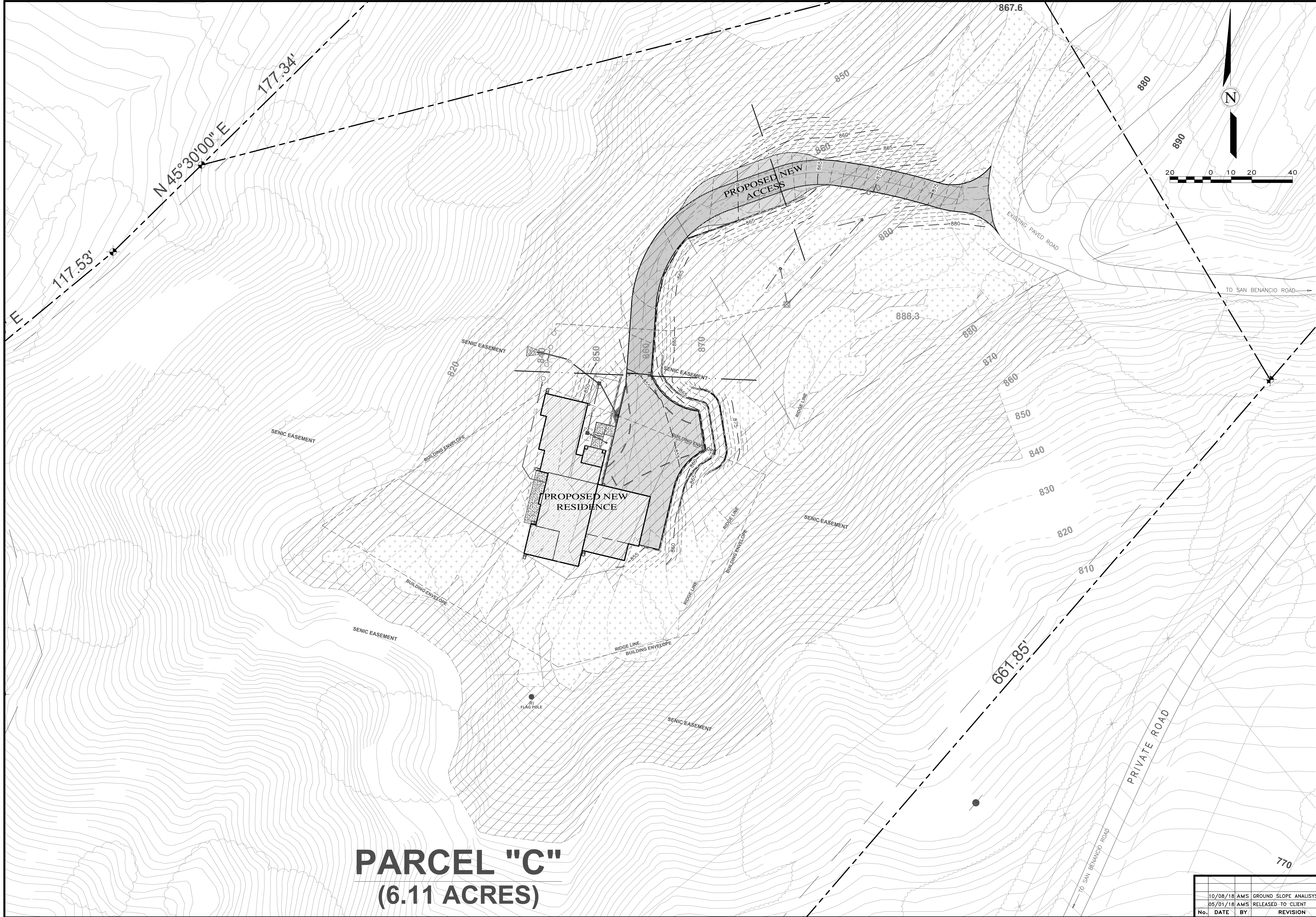
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DATE: APRIL 2018  
JOB NO. 1780-01

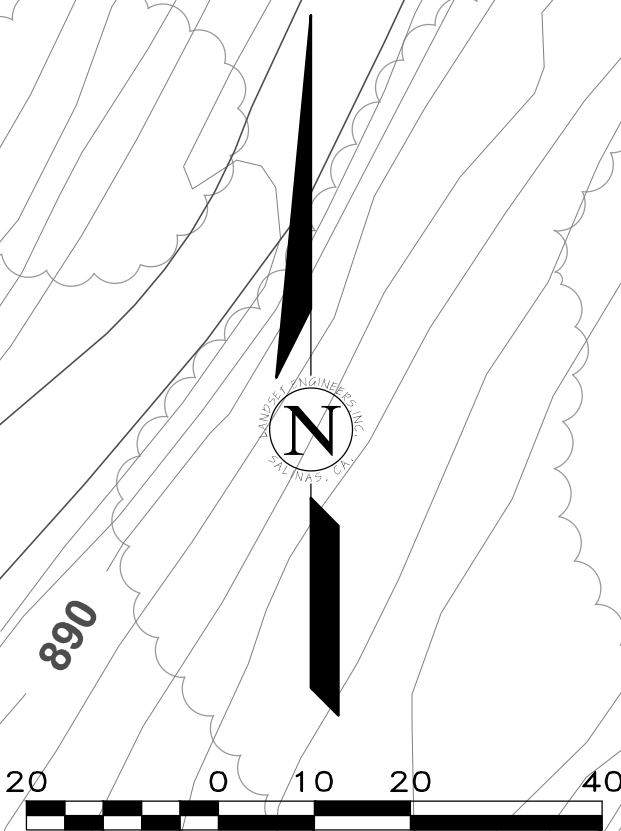
SHEET C1

OF 8 SHEETS





**PARCEL "C"**  
**(6.11 ACRES)**



" SITE OVERVIEW "

**CONCEPTUAL GRADING & DRAINAGE PLAN**

OF  
**BORDONARO RESIDENCE**  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA

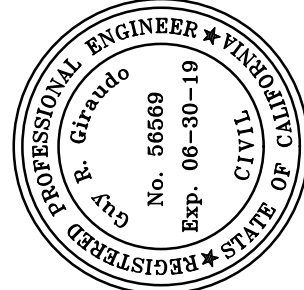
MR. MARC BORDONARO



**LANDSET**  
**ENGINEERS, INC.**  
520-B Crazy Horse Canyon Road  
Salinas, California 93907  
Office (831) 443-6970 Fax (831) 443-3801  
www.landseteng.com

APPROVED BY:

GUY R. GIRAUDO

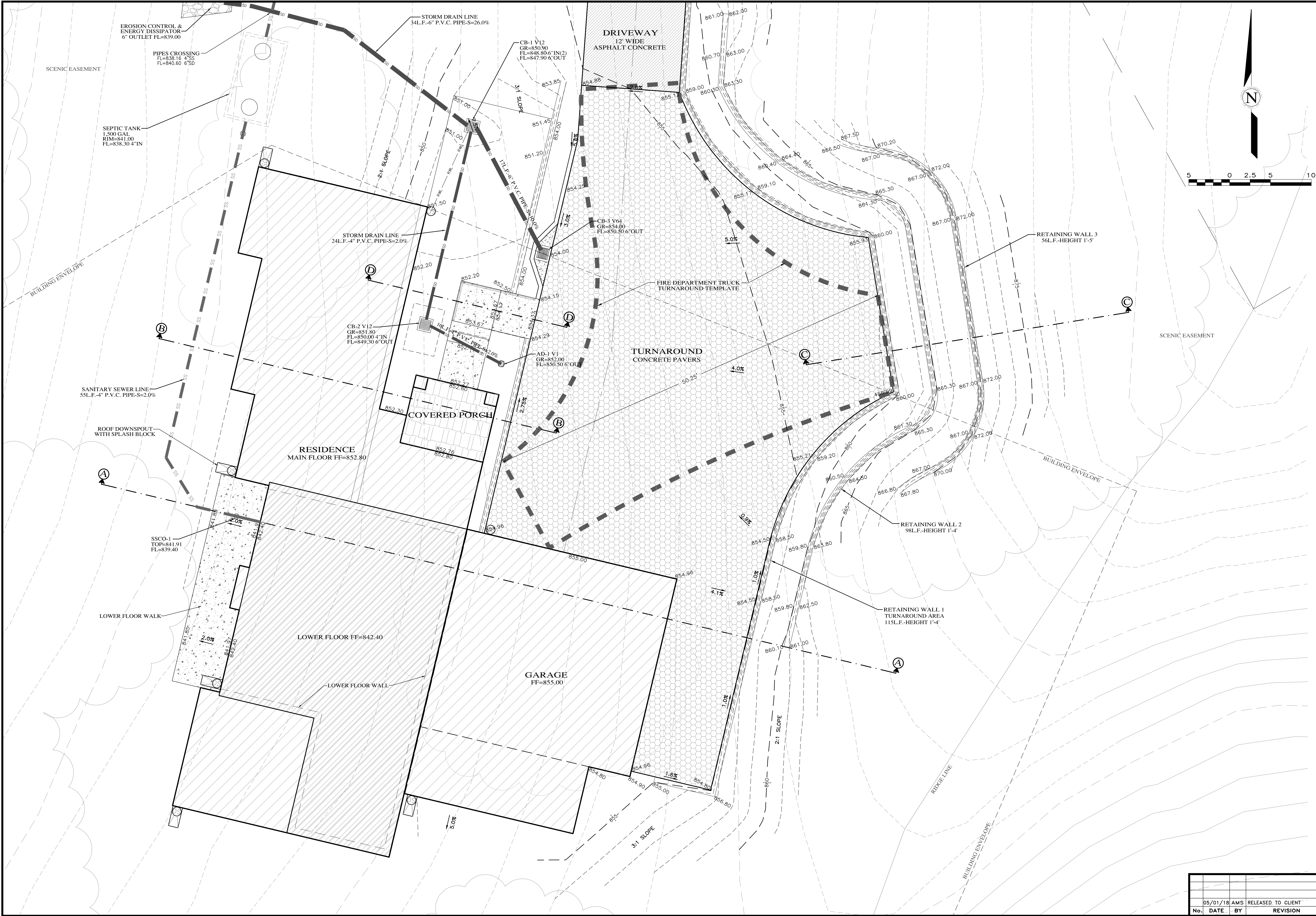


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DATE: APRIL 2018  
JOB NO. 1780-01

No.	DATE	BY	REVISION
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05/01/18	AMS		RELEASED TO CLIENT

SHEET **C2**  
OF 8 SHEETS





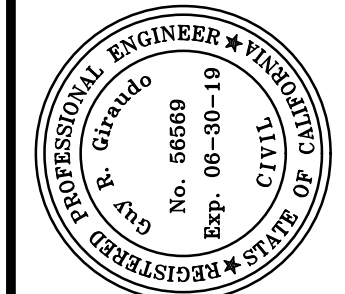
" GRADING, DRAINAGE & UTILITY PLAN - RESIDENCE "

# CONCEPTUAL GRADING & DRAINAGE PLAN

OF  
BORDONARO RESIDENCE  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA  
FOR  
MR. MARC BORDONARO

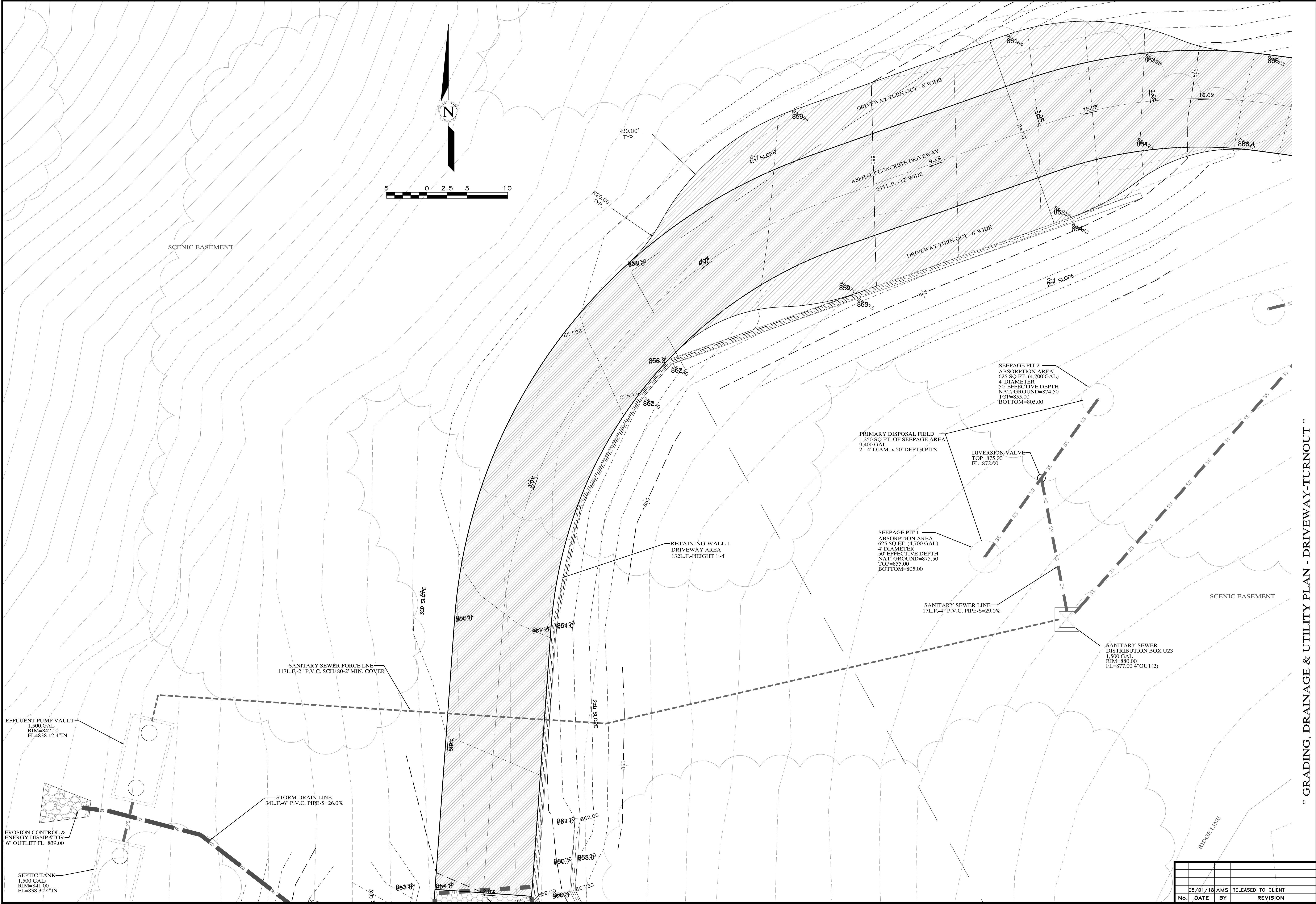


APPROVED BY:  
  
GUY R. GIRAUDO

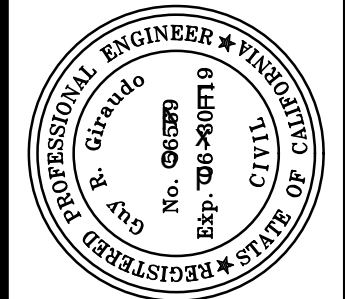


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DATE: APRIL 2018			
JOB NO. 1780-01			
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OF 8 SHEETS			
No.	DATE	BY	REVISION
05/01/18	AMS	RELEASED TO CLIENT	





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APPROVED BY:  
CUTD R. BORDONARO



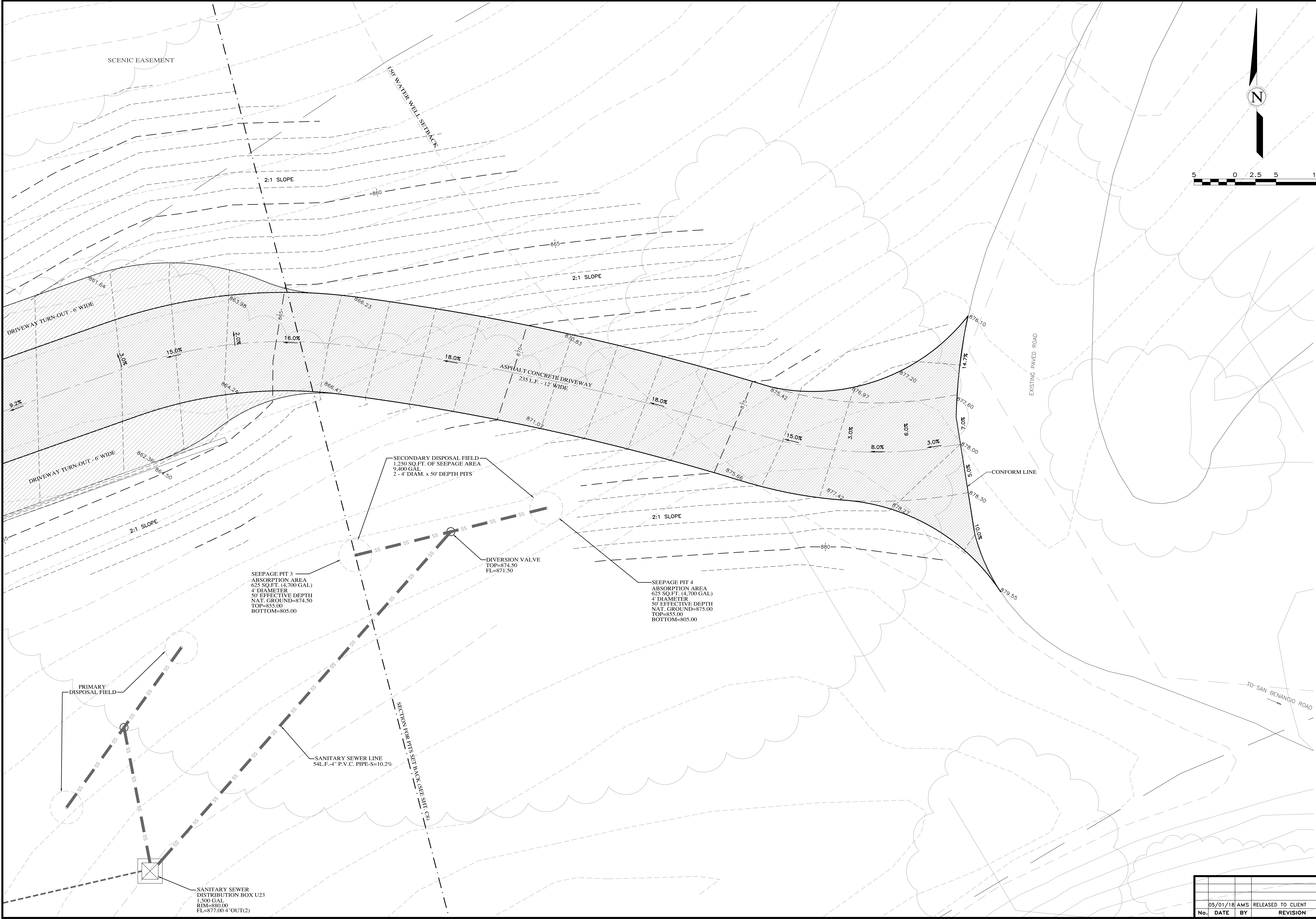
" GRADING, DRAINAGE & UTILITY PLAN - DRIVEWAY-TURNOUT "

CONCEPTUAL GRADING & DRAINAGE PLAN

OF  
BORDONARO RESIDENCE  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA  
FOR  
MR. MARC BORDONARO

SCALE: 1"=5'			
DATE: APRIL 2018			
JOB NO. 1780-01			
SHEET C4			
OF 8 SHEETS			
No.	DATE	BY	REVISION
05/01/18	AMS	RELEASED TO CLIENT	





" GRADING, DRAINAGE & UTILITY PLAN - DRIVEWAY BEGINNING "

CONCEPTUAL GRADING & DRAINAGE PLAN

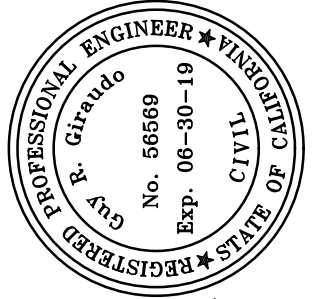
BORDONARO RESIDENCE  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA

FOR  
MR. MARC BORDONARO



APPROVED BY:

GUY R. GIRAUDO

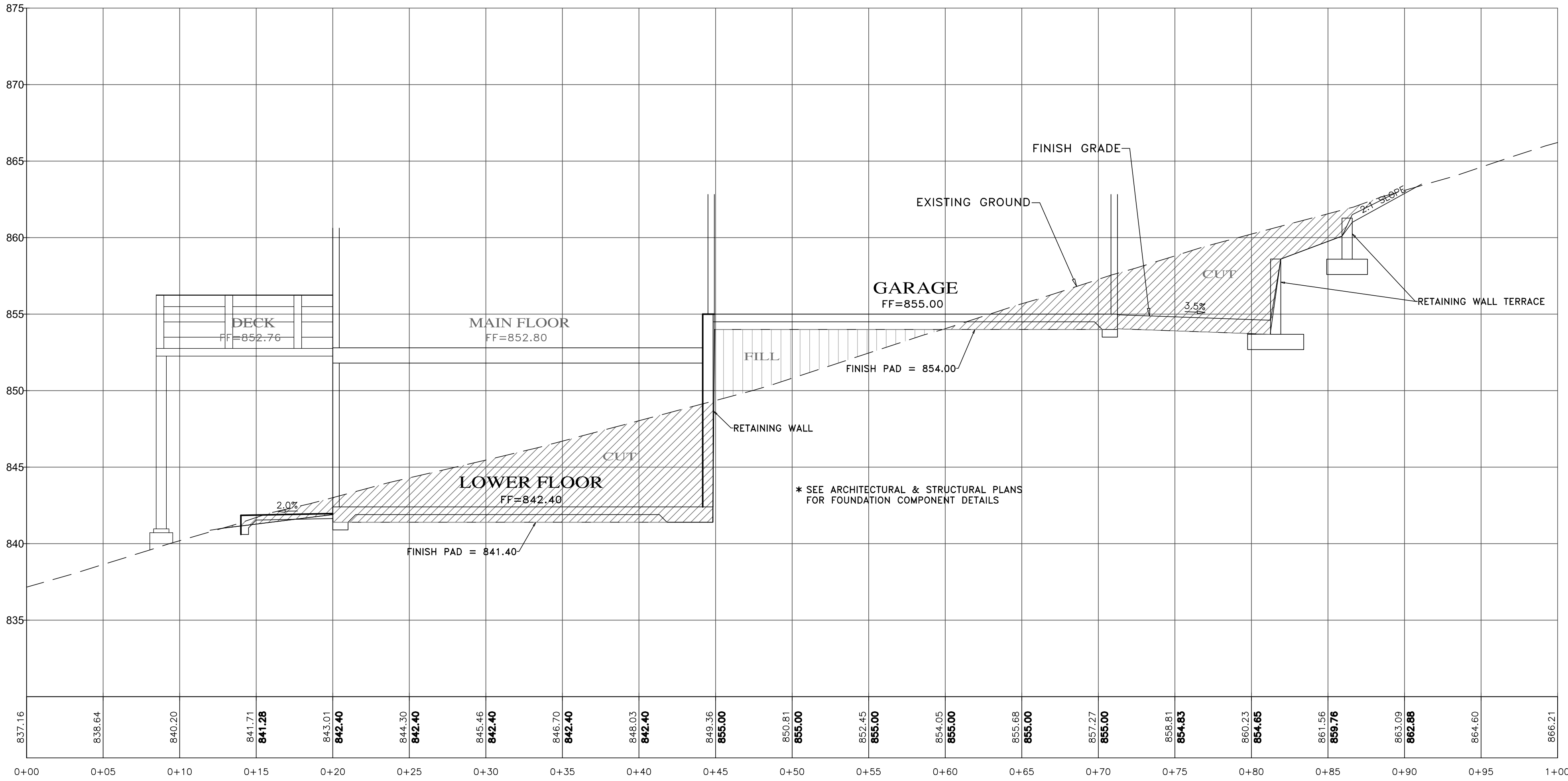


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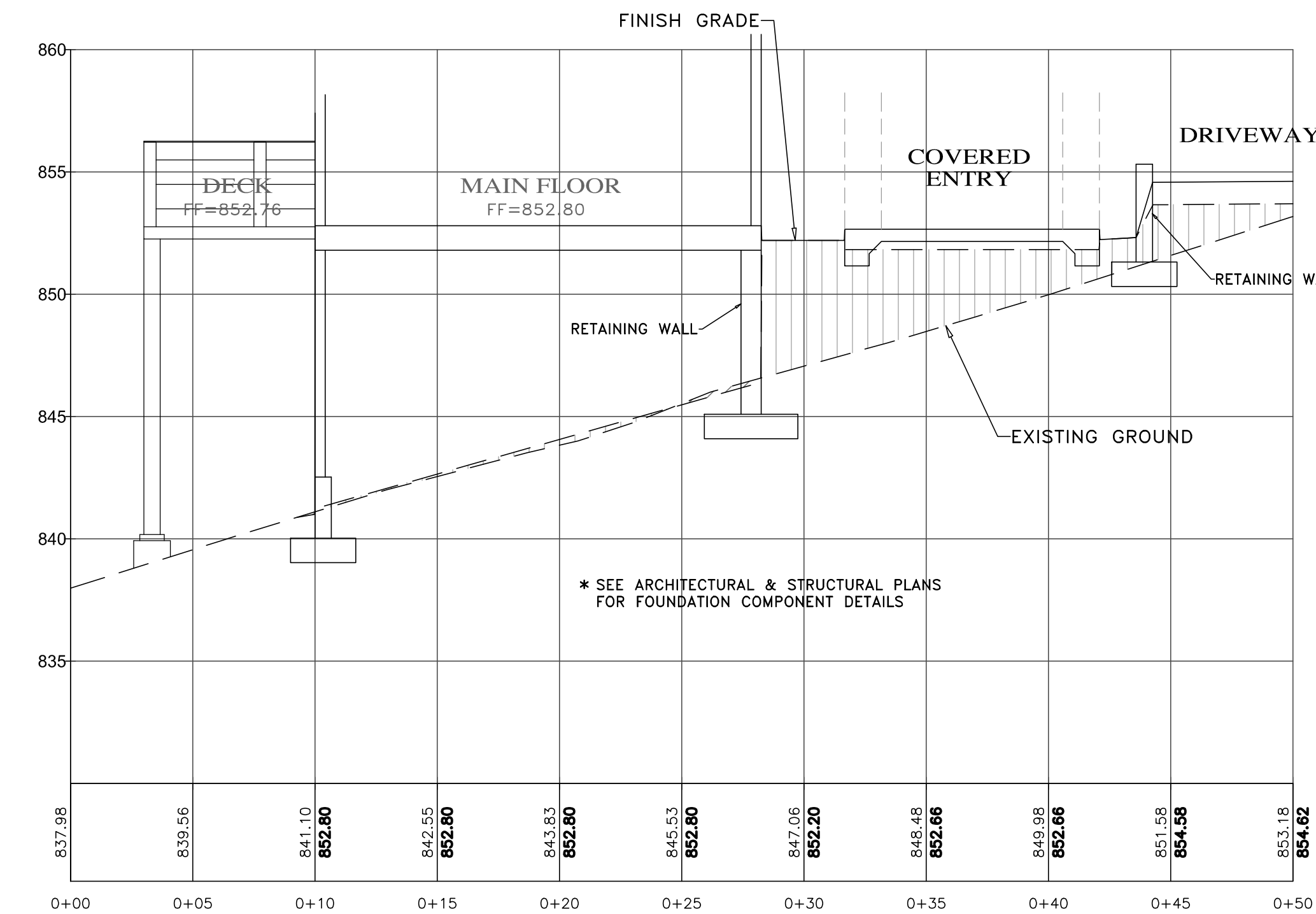
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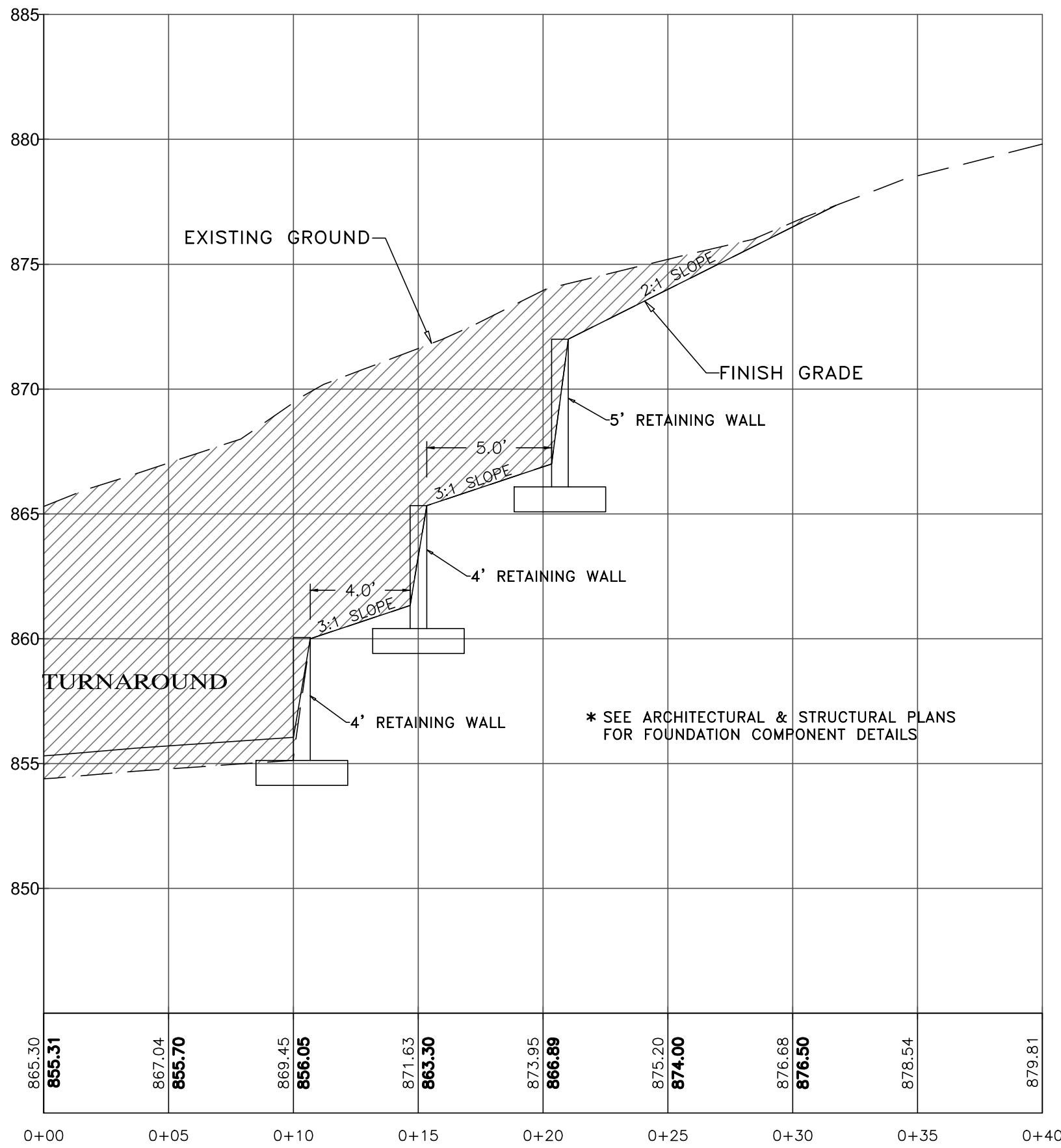




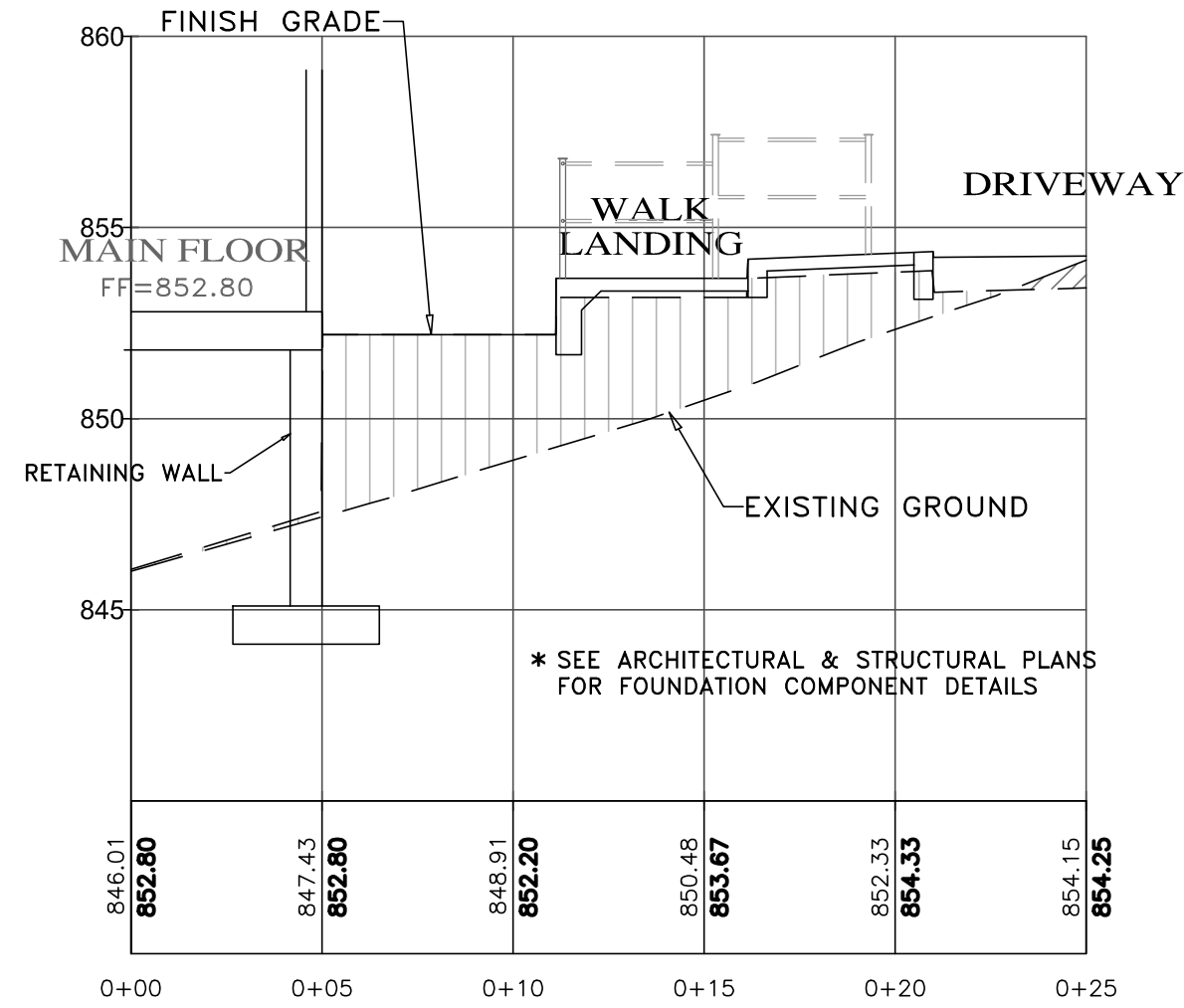
SECTION A-A  
SCALES: 1"=5' H&V



SECTION B-B  
SCALES: 1"=5' H&V



SECTION C-C  
SCALES: 1"=5' H&V



SECTION D-D  
SCALES: 1"=5' H&V

" SECTION "

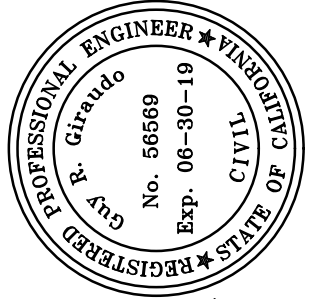
CONCEPTUAL GRADING & DRAINAGE PLAN

OF  
BORDONARO RESIDENCE  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA  
FOR  
MR. MARC BORDONARO



APPROVED BY:

GUY R. GIRAUDO



SCALE: 1"=5' H&V

DATE: APRIL 2018

JOB NO. 1780-01

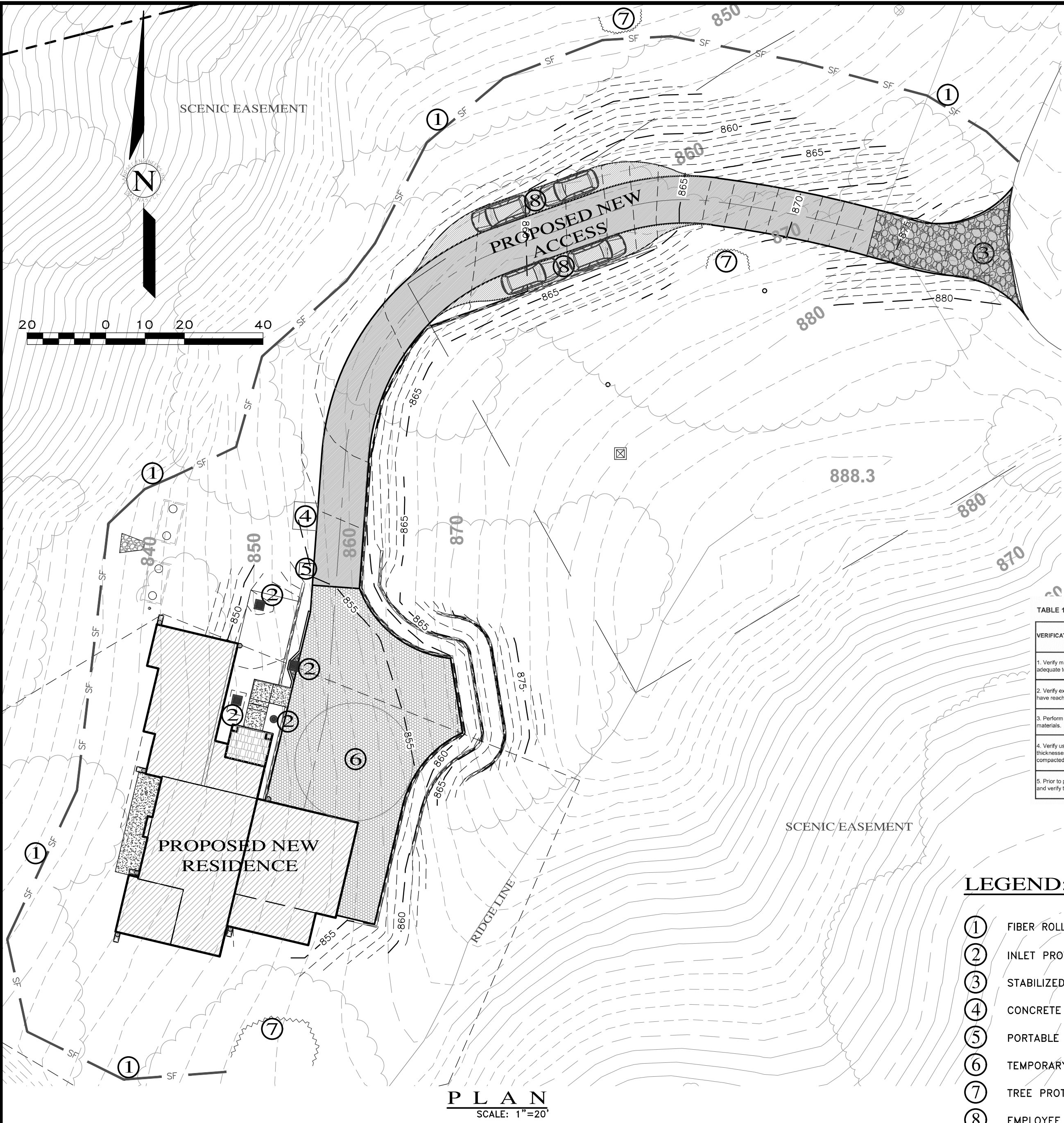
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C6

OF 8 SHEETS

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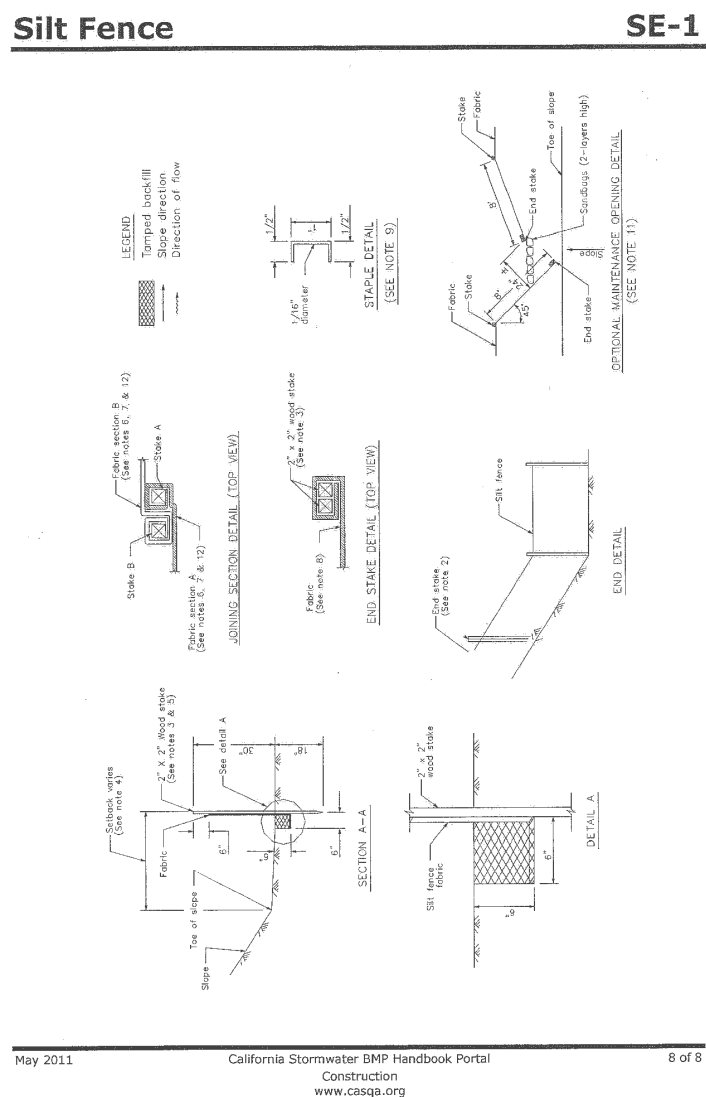




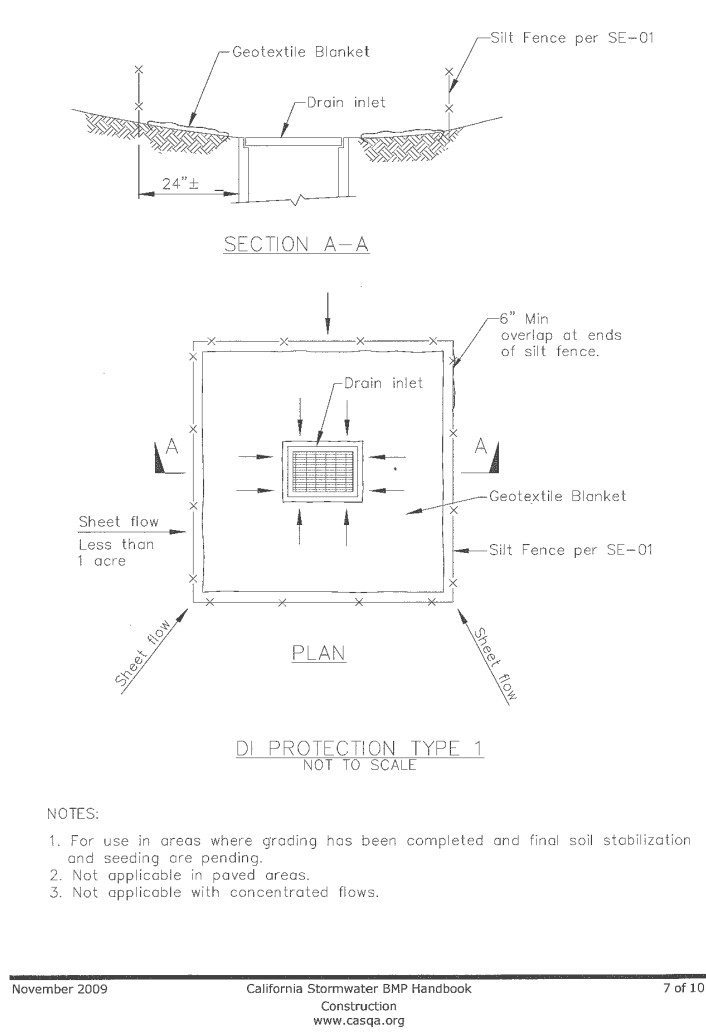
### EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMUS GLAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

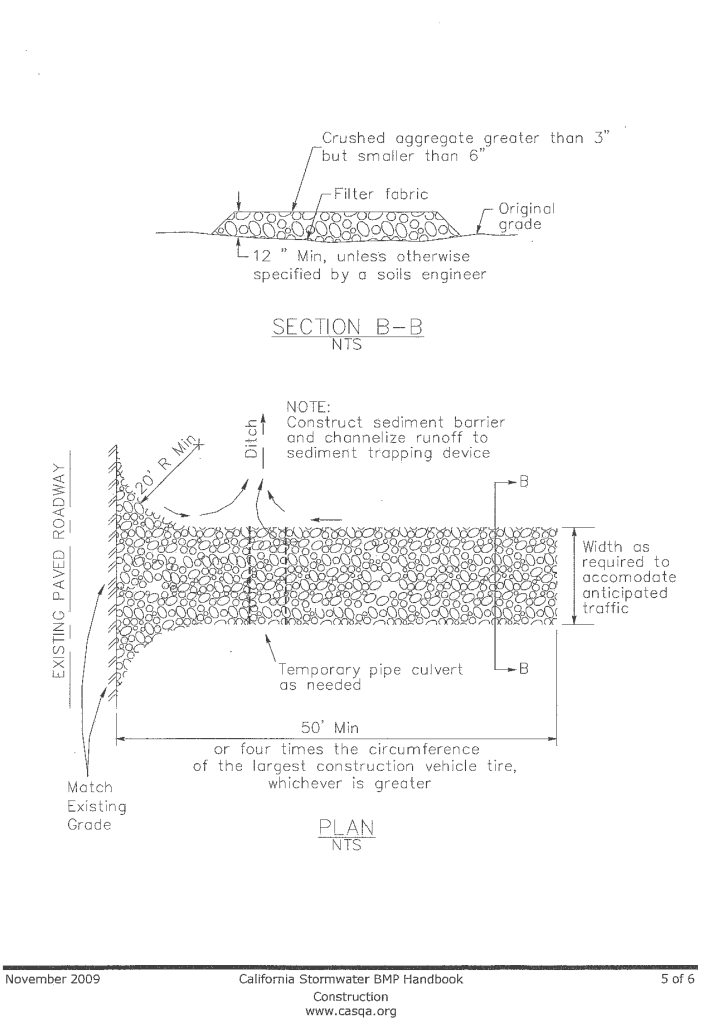
### Silt Fence SE-1



### Storm Drain Inlet Protection SE-10



### Stabilized Construction Entrance/Exit TC-1



### Concrete Waste Management WM-8

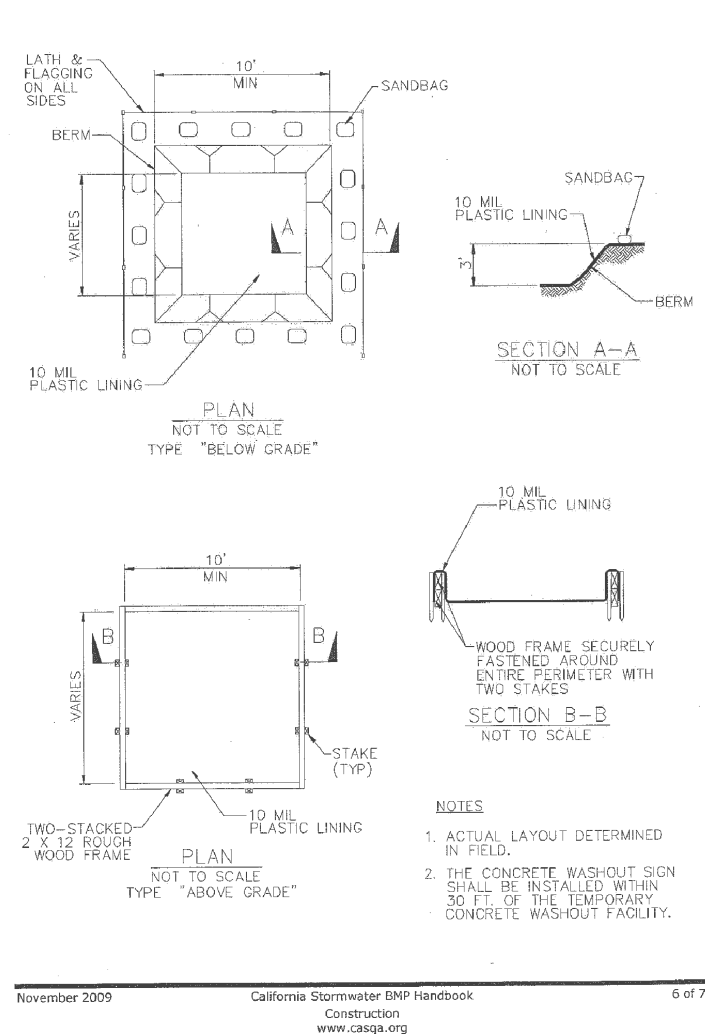


TABLE 1705.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	—	X
2. Verify excavations are extended to proper depth and have reached proper material.	—	X
3. Perform classification and testing of compacted fill materials.	—	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	—
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	—	X

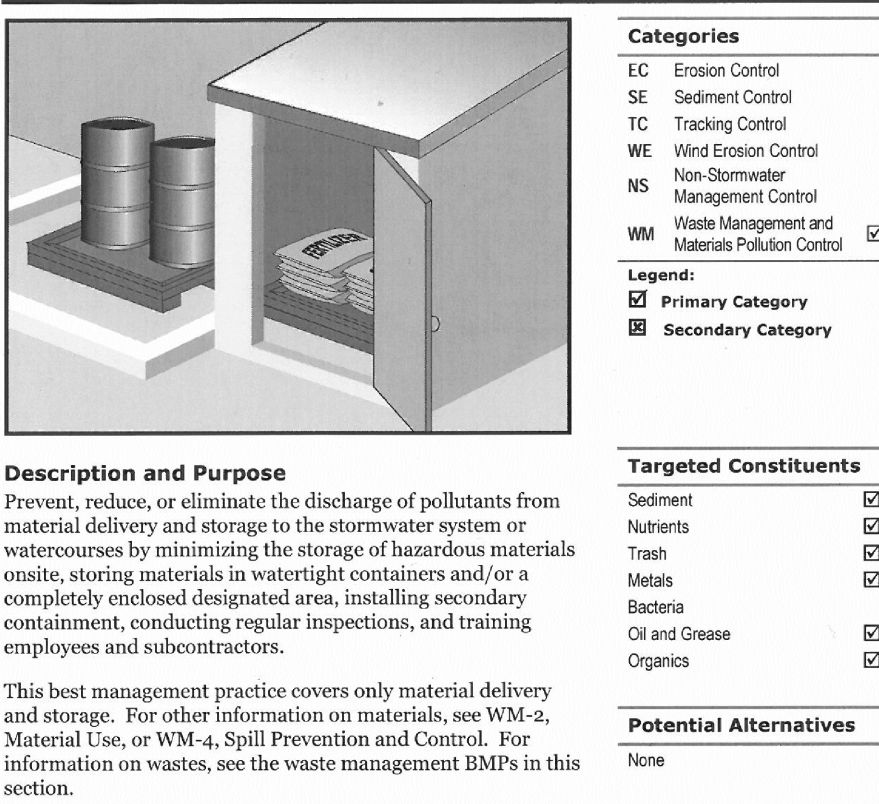
### LEGEND: (SEE B.M.P. DETAILS PER C.O.S. STD. PLANS 59A & 59B)

- ① FIBER ROLL AND/OR SILT FENCE.
- ② INLET PROTECTION. USE GRAVEL/SAND BAGS.
- ③ STABILIZED CONSTRUCTION ENTRANCE.
- ④ CONCRETE WASHOUT FACILITY.
- ⑤ PORTABLE SANITATION FACILITY
- ⑥ TEMPORARY STOCKPILE AREA
- ⑦ TREE PROTECTION
- ⑧ EMPLOYEE PARKING AREA

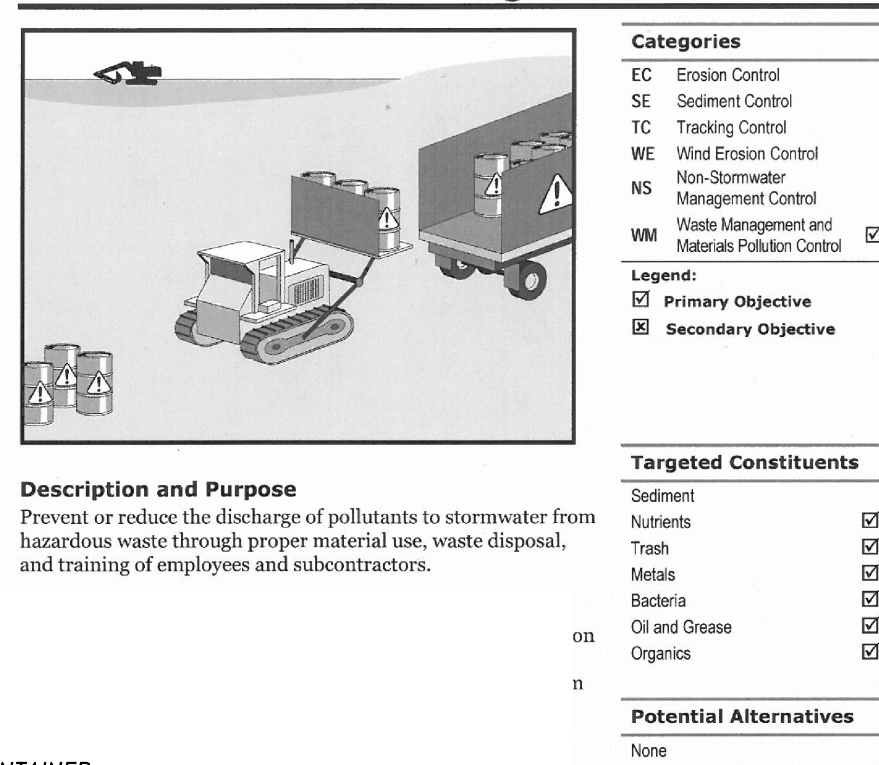
### CONSTRUCTION MANAGEMENT NOTES:

- PAINTING:**
1. MINIMIZE USE OF OIL-BASED PAINTS.
  2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
  3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
  4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
  5. CASQA BMP HANDBOOK – HAZARDOUS WASTE MANAGEMENT WM-6
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
  2. CONSERVE MATERIALS. DO NOT MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
  3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
  4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
  5. CASQA BMP HANDBOOK – CONCRETE WASTE MANAGEMENT WM-8
- READY-MIXED CONCRETE:**
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
  2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
  3. PLACE ALL SPILLED CONCRETE AND GROUT WASH WATER IN THE DEPRESSION.
  4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BACH PLANT FOR TREATMENT/RECYCLING.
  5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
  6. CASQA BMP HANDBOOK – CONCRETE WASTE MANAGEMENT WM-8
- EARTH MOVING/GRADING:**
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
  2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN.
  3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
  4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
  5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
  6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
  7. CASQA BMP HANDBOOK – EROSION CONTROL
- PORTABLE SANITATION FACILITY:**
1. LOCATE AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION.
  2. MUST BE EQUIPPED WITH CONTAINMENT TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAINAGE SYSTEM.
  3. WASTEWATER SHOULD NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
  4. TEMPORARY SANITARY FACILITIES THAT DISCHARGE TO THE SANITARY SEWER SYSTEM SHOULD BE PROPERLY CONNECTED TO AVOID ILLICIT DISCHARGES.
  5. SANITARY & SEPTIC FACILITIES SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
  6. ONLY REPUTABLE, LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED.
  7. CASQA BMP HANDBOOK – SANITARY/SEPTIC WASTE MANAGEMENT WM-9
- NOTES:**
1. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULLING, WATER CONSERVATION PRACTICES, VEHICLE AND EQUIPMENT CLEANING, VEHICLE AND EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION AND CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
  2. REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

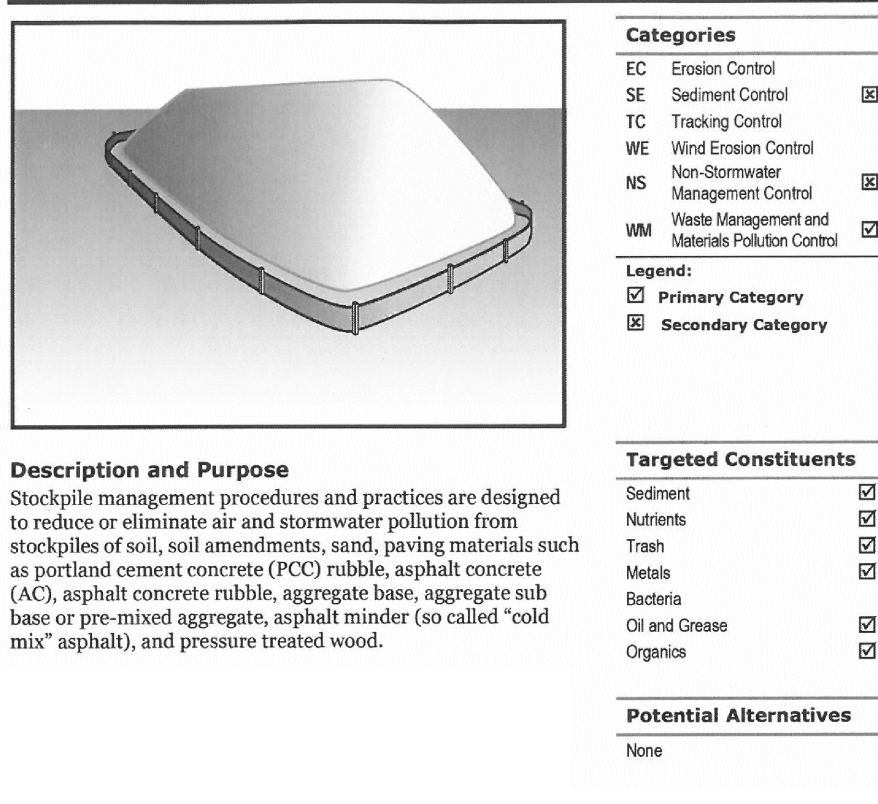
### Material Delivery and Storage WM-1



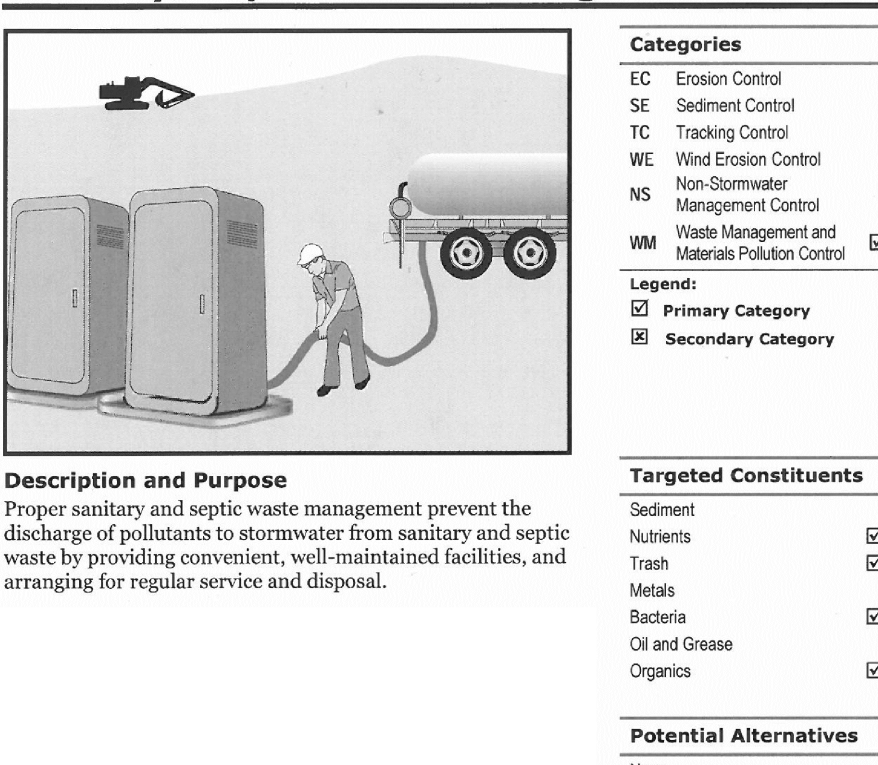
### Hazardous Waste Management WM-6



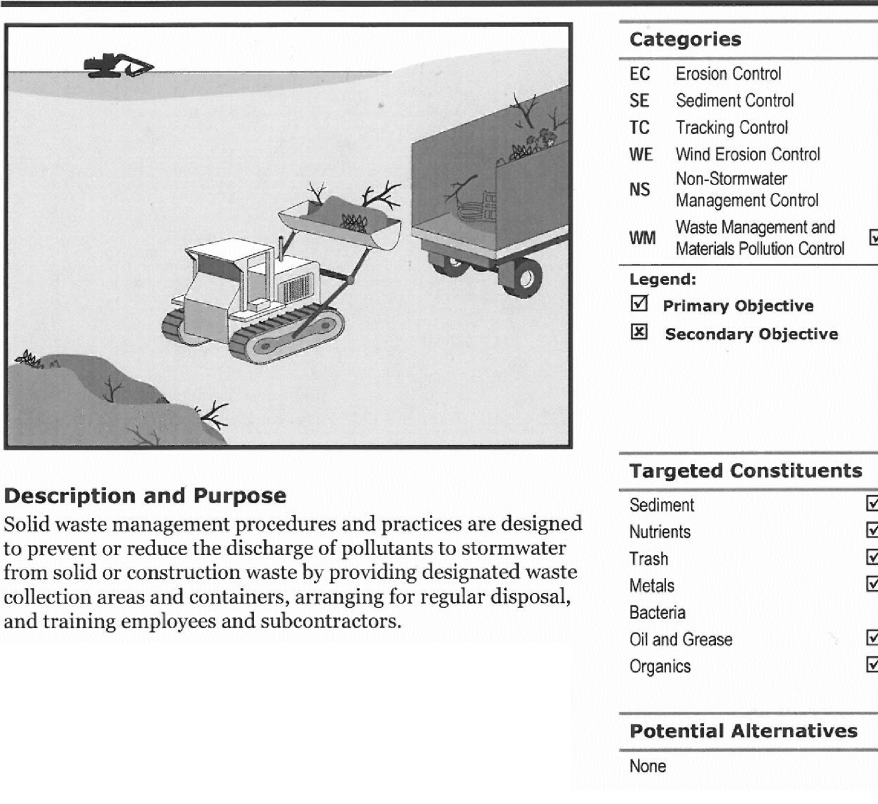
### Stockpile Management WM-3



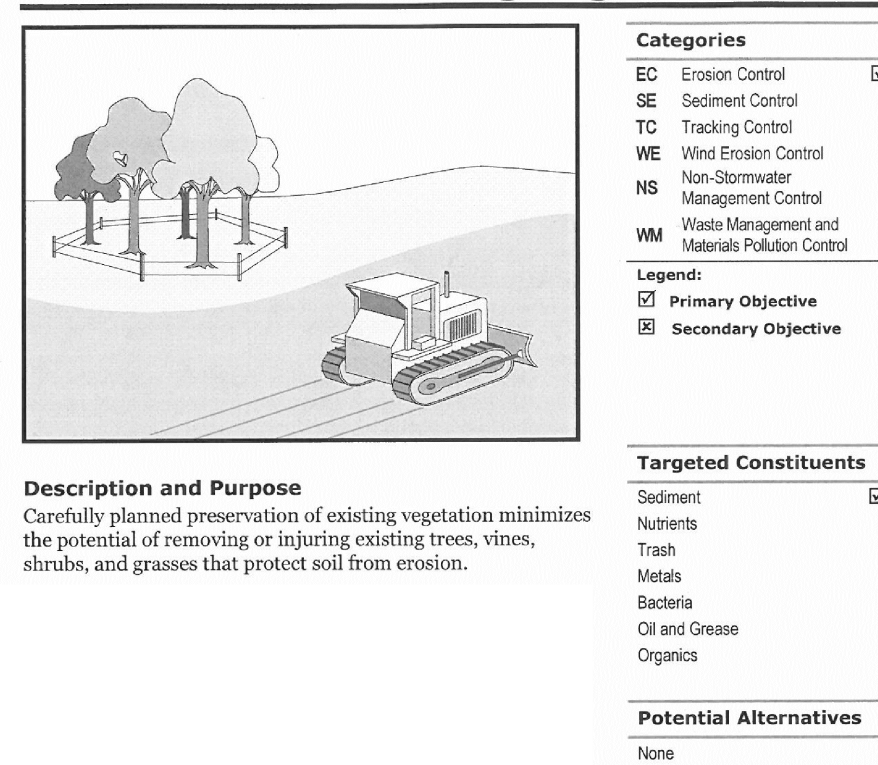
### Sanitary/Septic Waste Management WM-9



### Solid Waste Management WM-5



### Preservation Of Existing Vegetation EC-2



### NOTES

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- D- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- E- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
- F- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- G- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.

### " EROSION & SEDIMENT CONTROL PLAN "

### CONCEPTUAL GRADING & DRAINAGE PLAN

### BORDONARO RESIDENCE

### A.P.N.: 416-293-003

### SALINAS, MONTEREY COUNTY, CALIFORNIA

### FOR MR. MARC BORDONARO

### APPROVED BY:

### GUY R. GIRAUDO

### PROFESSIONAL ENGINEER #17010

### NO. 56669

### EXP. 06-30-19

### SCALE: AS SHOWN

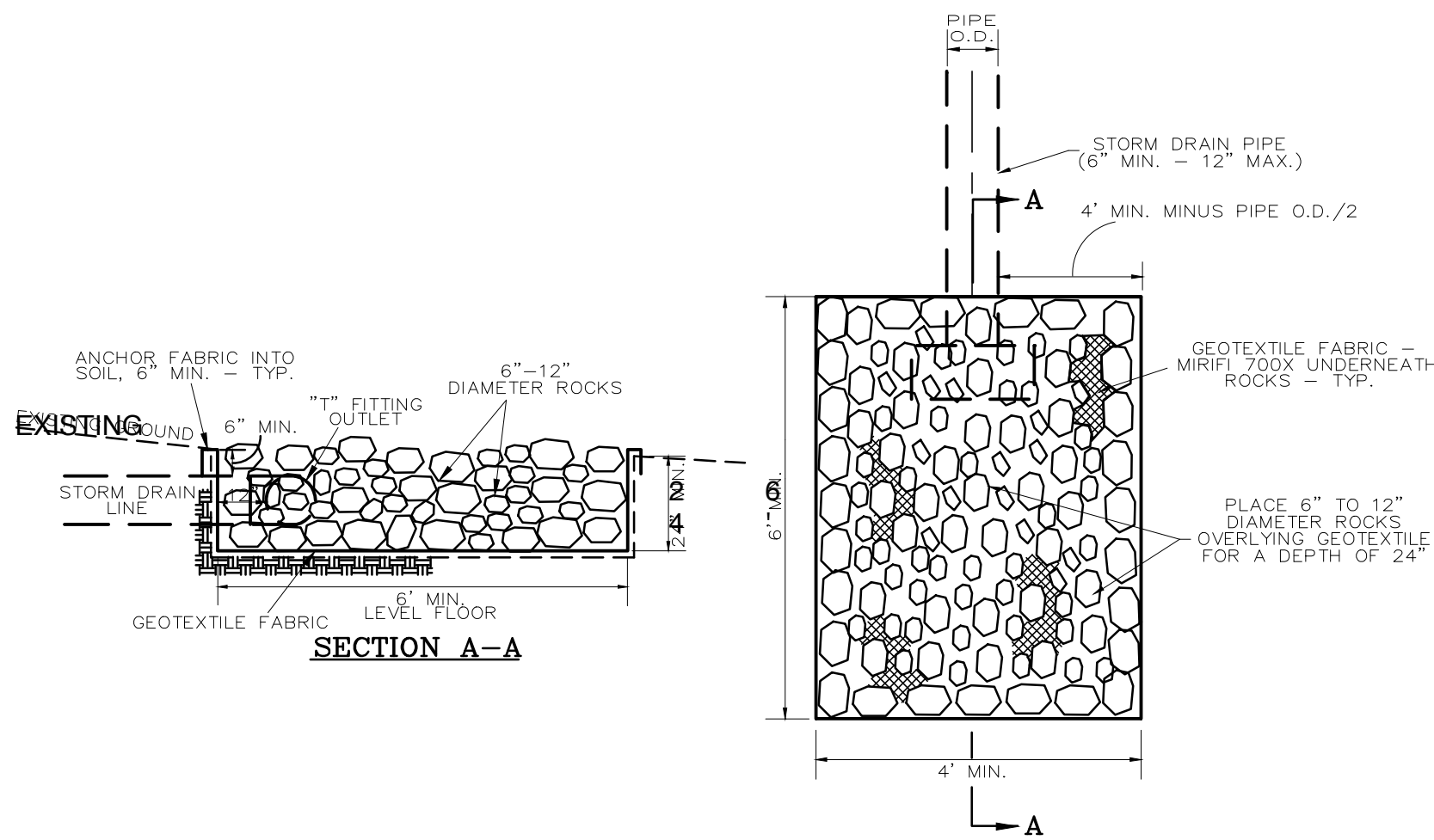
### DATE: APRIL 2018

### JOB NO. 1780-01

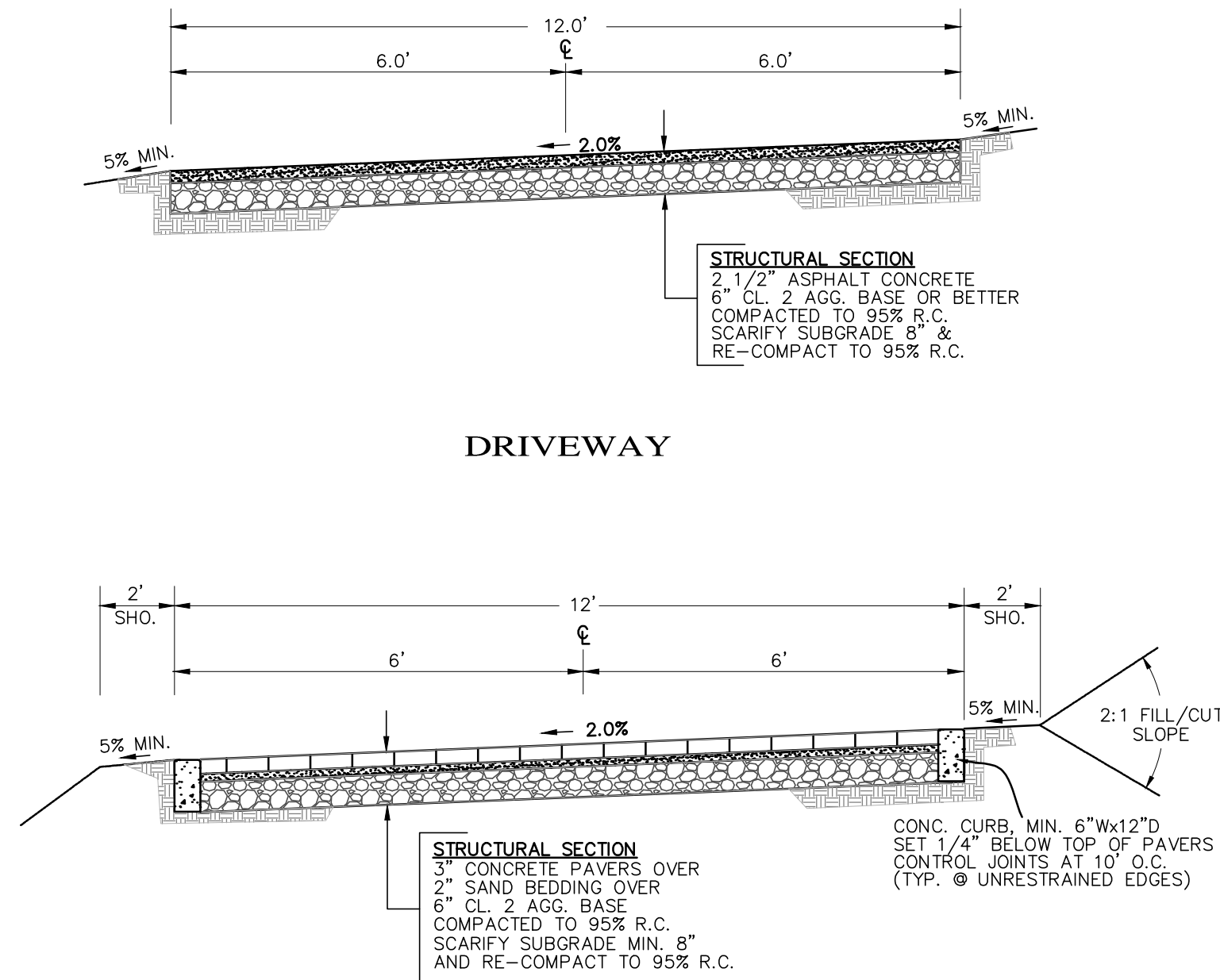
### SHEET C7

### OF 8 SHEETS

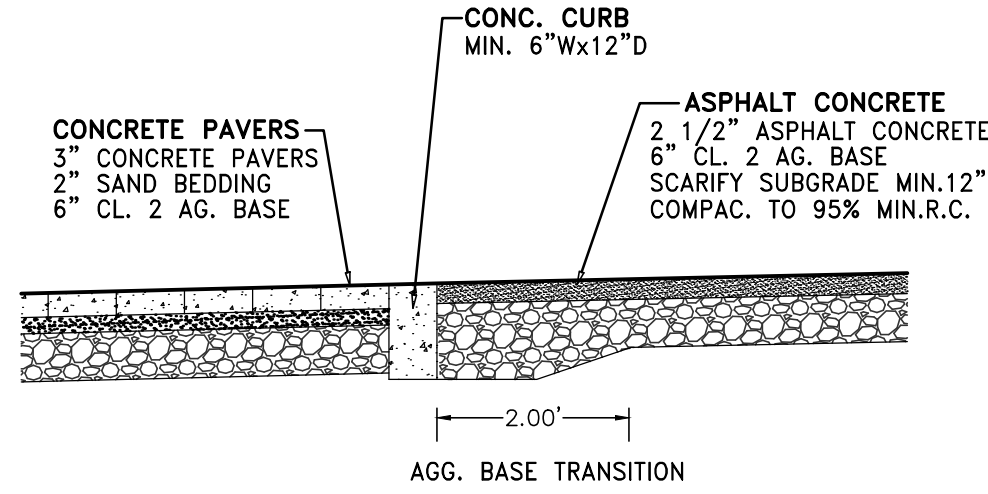




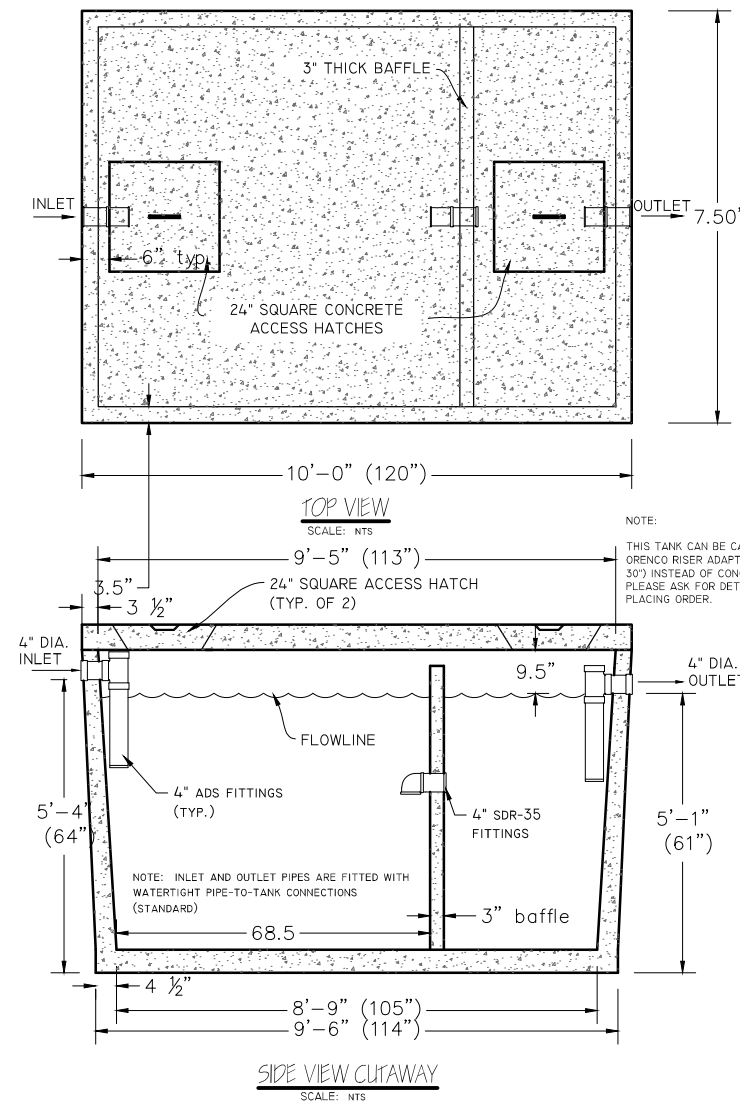
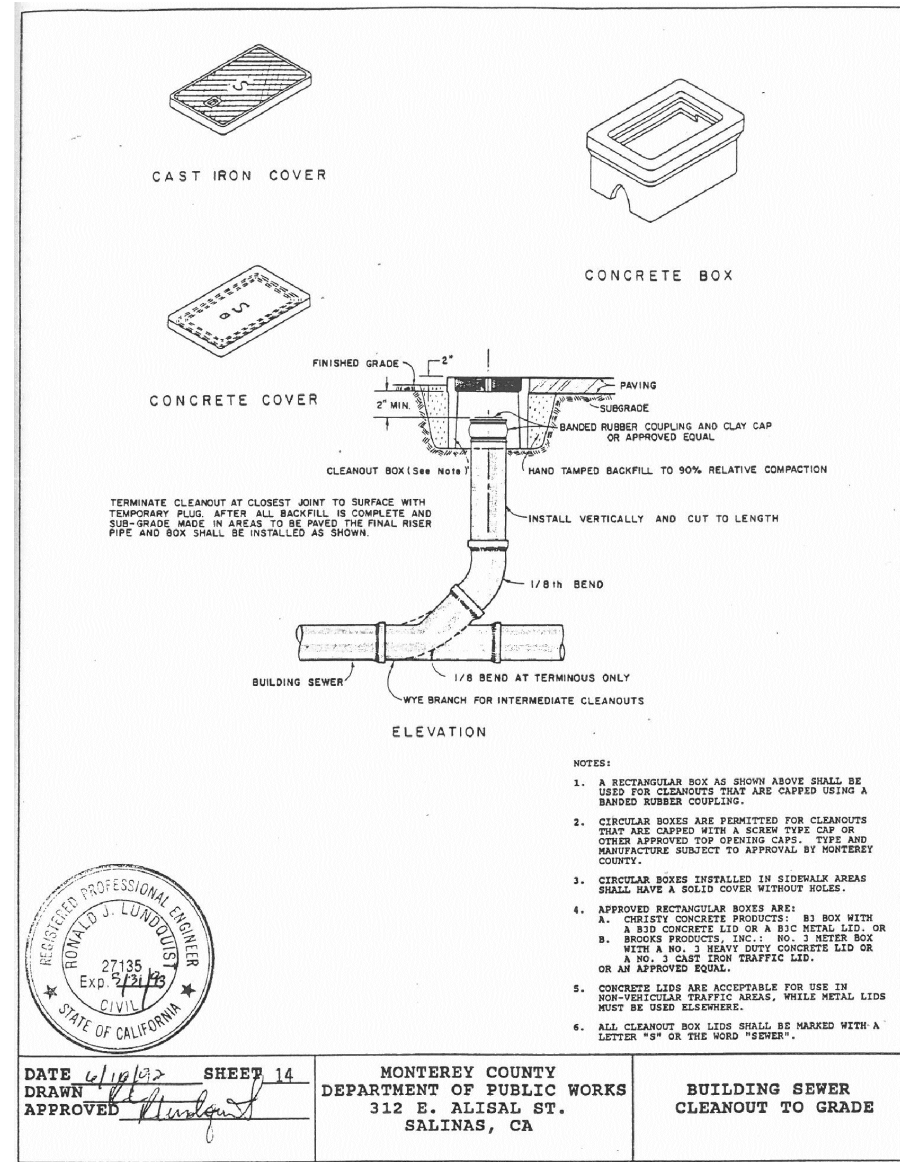
**EROSION CONTROL & ENERGY DISSIPATOR**  
NOT TO SCALE



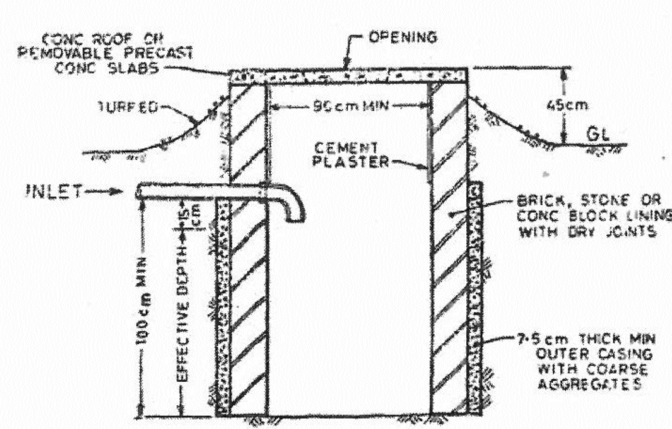
**PAVEMENT TYPICAL SECTIONS**  
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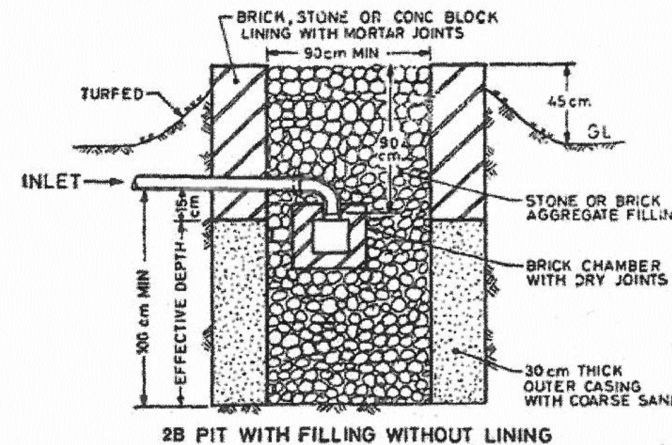
**PAVEMENT TYPE TRANSITION**  
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**SEPTIC TANK**  
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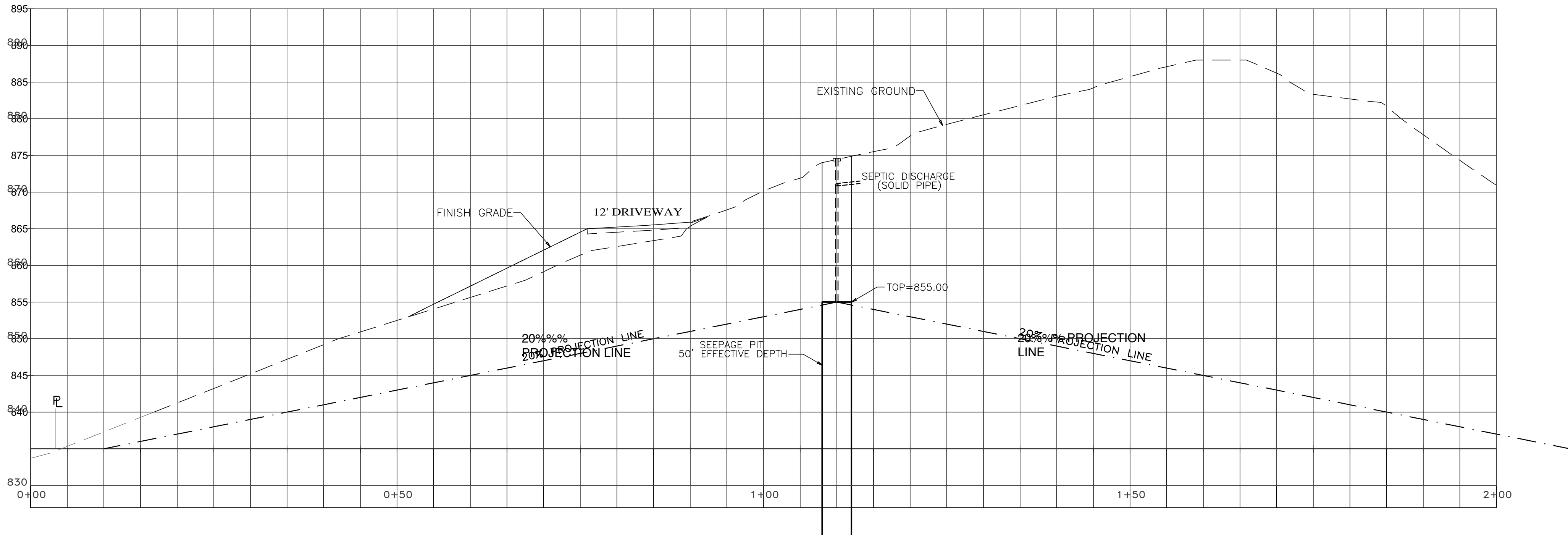


**2A EMPTY PIT WITH LINING**

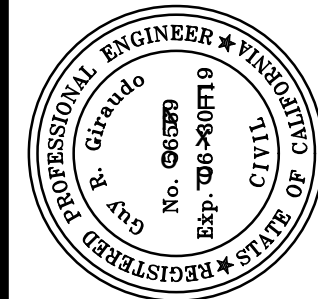


**2B PIT WITH FILLING WITHOUT LINING**

**SEEPAGE PIT**  
NOT TO SCALE



**SEEPAGE PIT DOWNHILL EMBANKMENT SET BACK**  
SCALE: 1"=10' H&V



APPROVED FOR:

CITY OF BORDONARO



**" EROSION & SEDIMENT CONTROL PLAN "**  
**CONCEPTUAL GRADING & DRAINAGE PLAN**  
OF  
**BORDONARO RESIDENCE**  
A.P.N.: 416-293-003  
SALINAS, MONTEREY COUNTY, CALIFORNIA  
FOR  
**MR. MARC BORDONARO**

SCALE: AS SHOWN  
DATE: APRIL 2018  
JOB NO. 1780-01

No.	DATE	BY	REVISION

SHEET **C8**  
OF 8 SHEETS



NOTES:

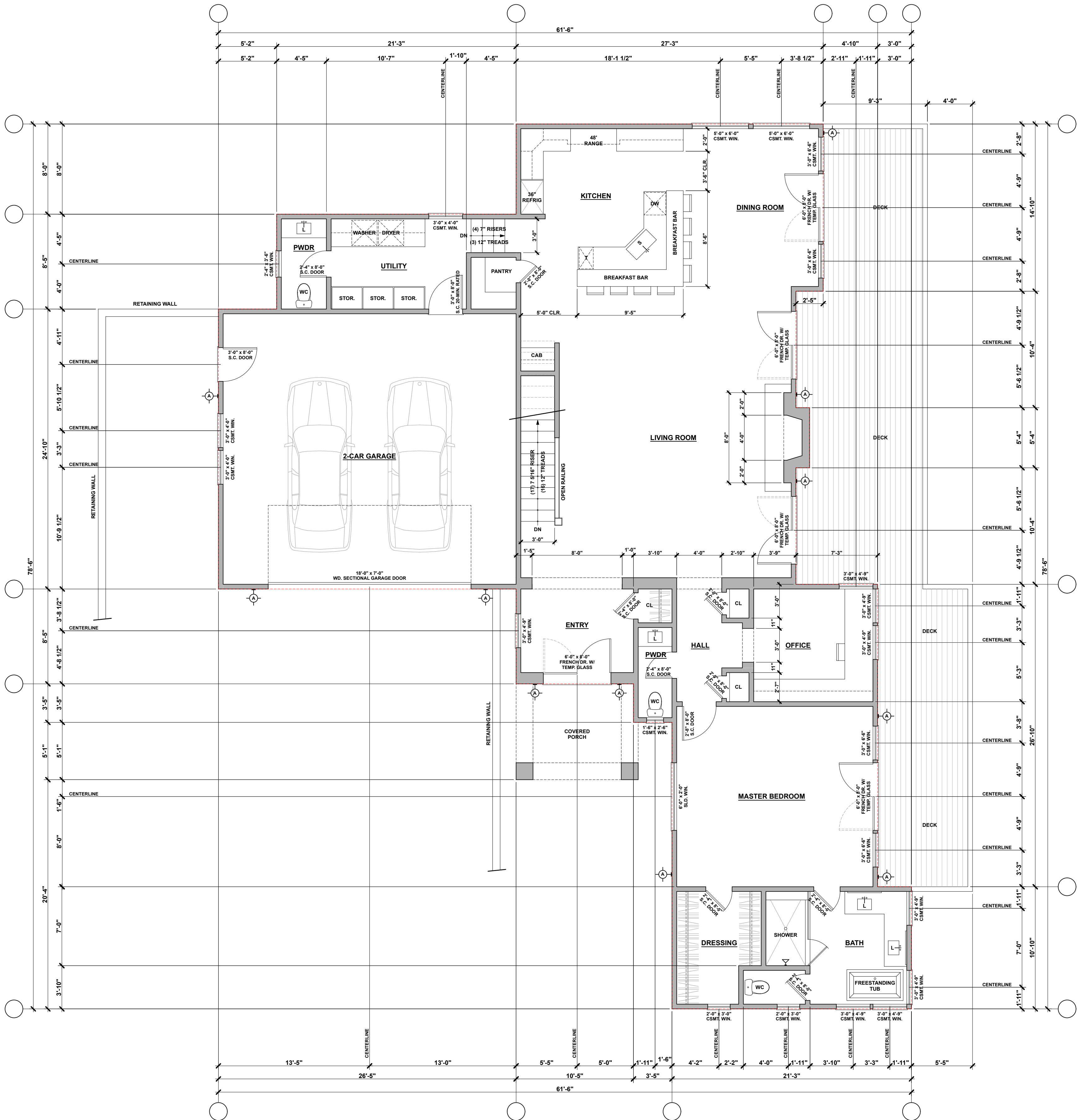
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MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT  
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH  
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11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
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ROOM FINISH MATERIAL NOTES:

1. ALL WALLS AND CEILINGS OF ALL ROOMS ARE TO BE THIN-COAT PLASTER SMOOTH FINISH UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4 HARDWOOD, TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.

GREEN BUILDING REQUIREMENTS:

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2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.  
CARPET ADHESIVE = 50 (VOC LIMIT)  
CARPET PAD ADHESIVE = 50 (VOC LIMIT)  
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)  
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)  
DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:  
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.



New Floor Plan (Main Level)  
3/16" = 1'-0"

AST

DESIGN GROUP

957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE  
FOR:

BORDONARO  
RESIDENCE

257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA  
A.P.N.: 416-293-003

DRAWINGS:  
NEW FLOOR PLAN (MAIN LEVEL)

DRAWN BY: AST  
DRAWING DATE: Sept. 3, 2018  
REVISION DATES:  
December 10, 2018 (Planning Rev.)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTRACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

A1.4



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GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.  
CARPET ADHESIVE = 50 (VOC LIMIT)  
CARPET PAD ADHESIVE = 50 (VOC LIMIT)  
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)  
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)  
DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:  
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.



Features:

- Seeded glass shades replicate the look of colonial glass
- Made of aluminum
- Suitable for installation in wet locations
- Requires (1) 100 watt Medium (E26) bulb(s) - not included

Dimensions:

- Height: 12.25"
- Width: 8"
- Extension: 9"
- Backplate Width: 5"
- Backplate Height: 8"
- Product Weight: 4 lbs

Electrical Specifications:

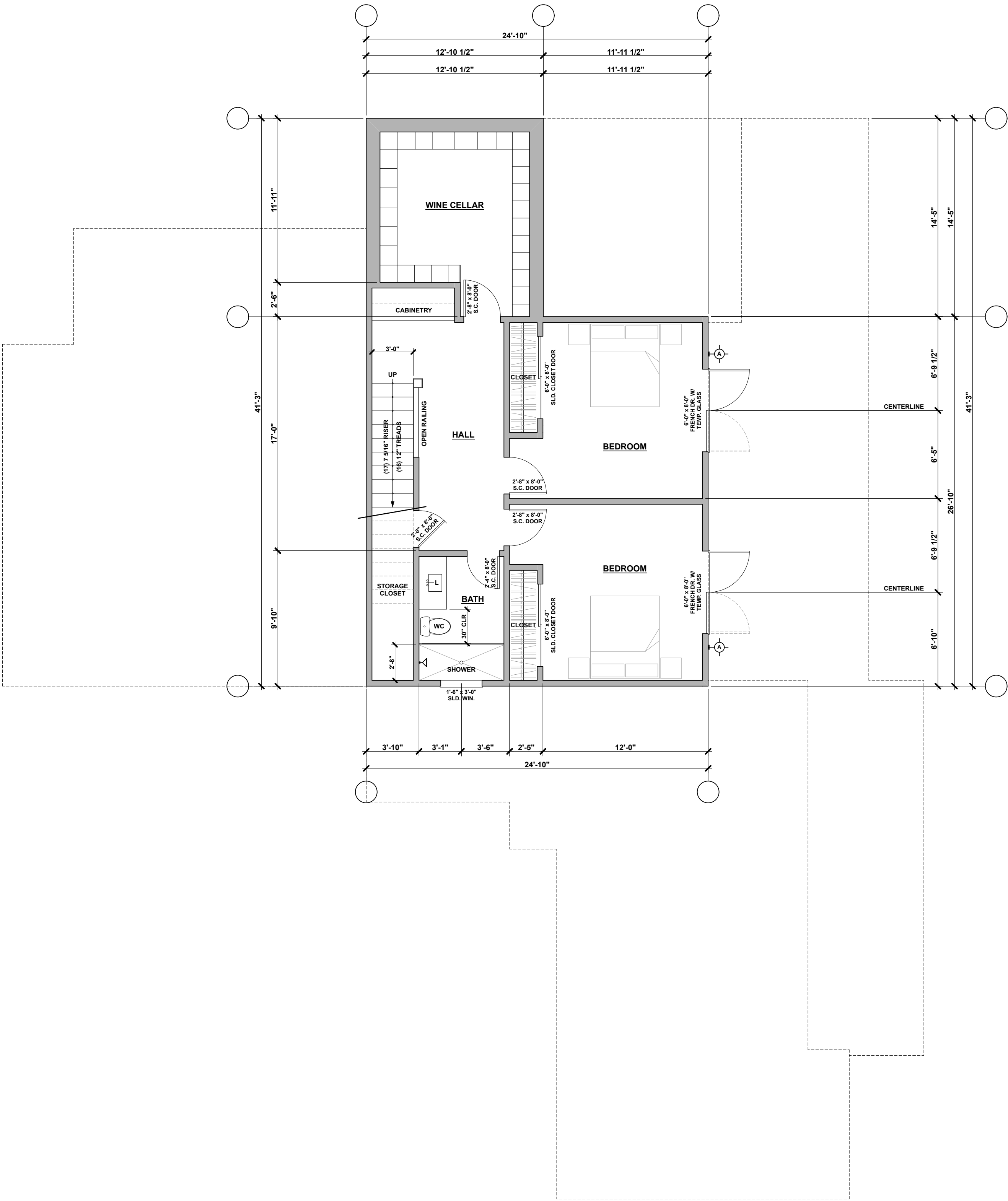
- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 100
- Wattage: 100
- Voltage: 120v

Compliance:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

Since 1922, Hinkley Lighting has been driven by a passion to blend design and function in creating quality products that enhance your life. Hinkley is continually recommended by interior and exterior designers, and is available to you through premier lighting showrooms across the country. They pride themselves in delivering superior customer service that is second to none. They know that you have goals when it comes to your home's design, and they care about helping you achieve the final outcome you are looking for in every aspect. Find the perfect wall sconce to fit in with your personal style, and to fit into any space of your home design environment.

EXTERIOR LIGHTING SPECIFICATION **FIXT. "A"**



New Floor Plan (Lower Level)  
3/16" = 1'-0"

**AST**  
DESIGN GROUP  
957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE  
FOR:

**BORDONARO  
RESIDENCE**

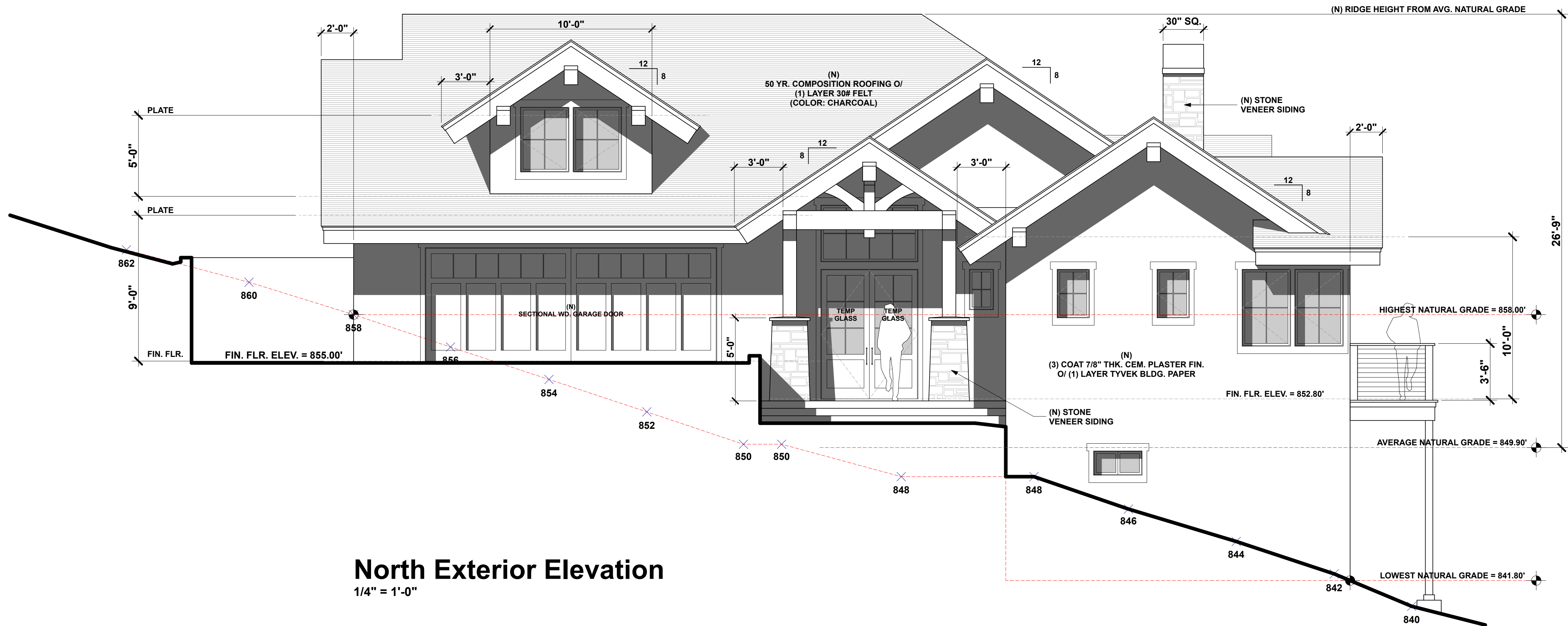
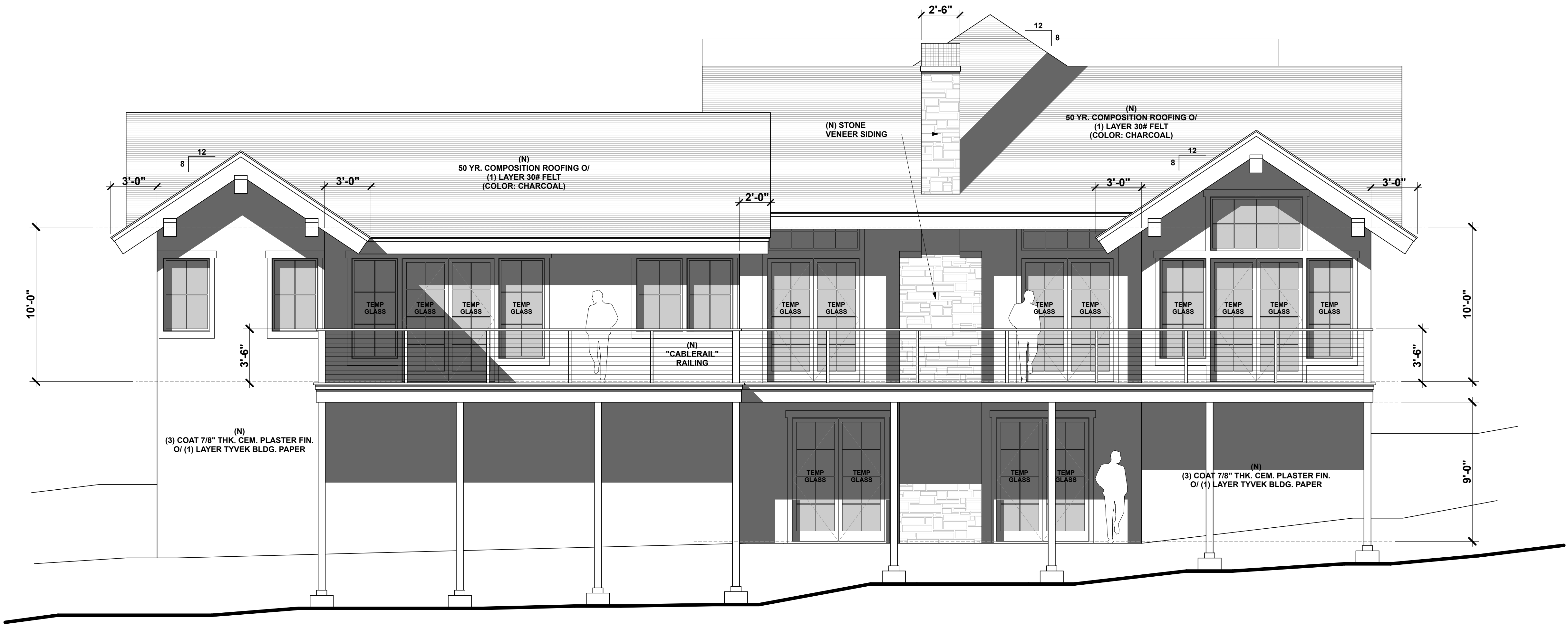
257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA  
A.P.N.: 416-293-003

DRAWINGS:  
NEW FLOOR PLAN (LOWER LEVEL)

DRAWN BY: AST  
DRAWING DATE: Sept. 3, 2018  
REVISION DATES:  
December 10, 2018 (Planning Rev.)

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SHEET  
**A1.5**







NEW RESIDENCE  
FOR:

BORDONARO  
RESIDENCE

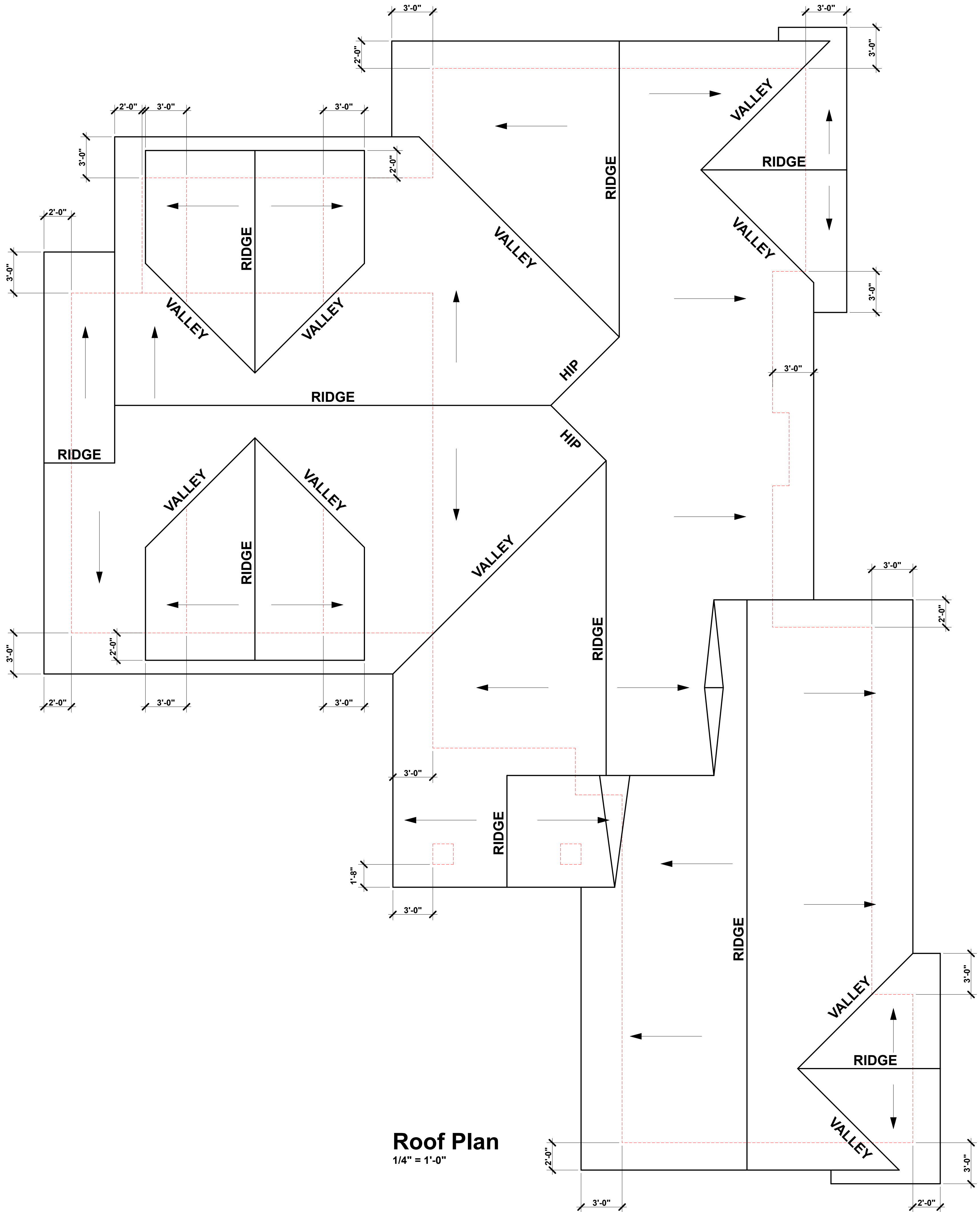
257 SAN BENANCIO ROAD  
SALINAS, CALIFORNIA  
A.P.N.: 416-293-003

DRAWINGS:  
ROOF PLAN  
DETAILS

DRAWN BY: AST  
DRAWING DATE: Sept. 3, 2018  
REVISION DATES:  
December 10, 2018 (Planning Rev.)

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SHEET  
A1.8



# BORDONARO RESIDENCE

257 SAN BENANCIO ROAD  
SALINAS, CA 93908  
A.P.N. = 416-293-003

## FINISH MATERIALS



STUCCO SIDING  
BODY COLOR: TAN  
TRIM & EAVES: DARK BROWN



COMPOSITION ROOFING  
COLOR: CHARCOAL



SIERRA PACIFIC: CLAD WINDOWS & DOORS  
COLOR: DARK BRONZE



STONE VENEER COLUMNS &  
CHIMNEY