

Exhibit B

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MINUTES
Greater Monterey Peninsula Land Use Advisory Committee
Monday, March 3, 2025

1. Meeting called to order by Ron DeHoff at 3:00 pm

2. Roll Call

Members Present:

Ron DeHoff, Joy Jakobs, Molly McGee

Members Absent:

None

3. Approval of Minutes:

A. NONE minutes

Motion: _____ (LUAC Member's Name)

Second: _____ (LUAC Member's Name)

Ayes: _____

Noes: _____

Absent: _____

Abstain: _____

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

None

7. Meeting Adjourned: 3:50 _____ pm

Minutes taken by: Molly McGee _____

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County HCD Planning
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Greater Monterey Peninsula

1. **Project Name:** HETHERINGTON ROY & MARIA TRS
File Number: PLN240222
Project Location: 259-092-020-000
Assessor's Parcel Number: 8125 CARINA, CARMEL, CA 93923
Project Planner: Christina Vu
Area Plan: Greater Monterey Peninsula Area Plan
Project Description: An application for a Combined Development Permit consisting of: 1) Design Approval to allow construction of a 7,811 square foot single-family residence with an attached three-car garage, a 1,199 square foot accessory dwelling unit over a 742 square foot two-car garage, and a 2,640 square foot barn and associated site improvements; 2) a Use Permit to allow the removal of 12 Oak trees; and 3) a Use Permit to allow development on slopes in excess of 25%.

Was the Owner/Applicant/Representative present at meeting? YES x NO

(Please include the names of the those present)

Architects Eric Miller, Carla Hoshimoto, Hannah Miller

Was a County Staff/Representative present at meeting? McKenna Bowling (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
None			

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LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
None		

ADDITIONAL LUAC COMMENTS

None

RECOMMENDATION:

Motion by: Ron DeHoff (LUAC Member's Name)

Second by: Joy Jakobs (LUAC Member's Name)

- ☒ Support Project as proposed
- ☐ Support Project with changes
- ☐ Continue the Item

Reason for Continuance:

Continue to what date:

Ayes: Molly McGee, Joy Jakobs, Ron DeHoff

Noes: None

Absent: None

Abstain: None

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County HCD Planning
1441 Schilling Place 2nd Floor
Salinas CA 93901
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Advisory Committee: Greater Monterey Peninsula

2. **Project Name:** EVERS TODD M & SHARYN F
File Number: PLN240261
Project Location: 173-074-004-000
Assessor's Parcel Number: 423 ESTRELLA DORO, MONTEREY, CA 93940
Project Planner: McKenna Bowling
Area Plan: Greater Monterey Peninsula Area Plan
Project Description: An application for Design Approval to allow construction of a 5,516 square foot single family residence with an attached garage, 400 square foot detached accessory dwelling unit, 224 square foot patio and associated site improvements including the removal of three (3) Oak trees.

Was the Owner/Applicant/Representative present at meeting? YES x NO

(Please include the names of the those present)

Todd Evers, Owner & Contractor

Was a County Staff/Representative present at meeting? McKenna Bowling (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
None			

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
None		

ADDITIONAL LUAC COMMENTS

None

RECOMMENDATION:

Motion by: Molly McGee (LUAC Member's Name)

Second by: Joy Jacobs (LUAC Member's Name)

- ☒ Support Project as proposed
☐ Support Project with changes
☐ Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: Molly McGee, Joy Jacobs, Ron DeHoff

Noes: None

Absent: None

Abstain: None
