

Exhibit B

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**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

CONANT (PLN200300)

RESOLUTION NO. 21-

Resolution by the Monterey County Planning Commission:

- 1) Finding that the project qualifies for a Class 3 and Class 31 Categorical Exemption pursuant to Sections 15303 and 15331 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a. A Coastal Development Permit and Design Approval to allow repair and alteration of siding, doors, and windows on a historic single-family dwelling and garage;
 - b. A Coastal Development Permit for the demolition of a detached two-story guesthouse including after the fact approval of the demolition of the second story and completion of the demolition of the lower-level;
 - c. A Coastal Administrative Permit and Design Approval to allow the construction of a new 422 square foot guesthouse and 422 square foot pool house in the same location as guesthouse being demolished and property improvements consisting of construction of a new outdoor pool and outdoor garden area; and
 - d. A Coastal Development Permit to allow development within 750 feet of archaeological resources.

48158 Highway 1, Coastlands, Big Sur Coast Land Use Plan, Coastal Zone (APN: 420-171-014-000)

The CONANT application (PLN200300) came on for a public hearing before the Monterey County Planning Commission on August 11, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 1982 General Plan, Big Sur Coast Land Use Plan, Big Sur Coastal Implementation Plan – Part 3, Monterey County Zoning Ordinance - Coastal (Title 20), and other County health, safety, and welfare ordinances related to land use development.

- EVIDENCE:**
- a) **Project:** The proposed project involves repair and alteration of siding, doors, and windows on a historic single-family dwelling and a new garage roof and door; demolition of a detached two-story guesthouse that specifically includes the after-the-fact demolition of 425 square feet of upper level detached (non-historic) guesthouse and the proposed demolition of 515 square foot of bottom level detached (non-historic) guesthouse. The project also proposes the construction of a new 422 square foot guesthouse, a 422 square foot pool house in the same (approx.) location as the guesthouse being demolished, and property improvements consisting of the construction of a new outdoor lap pool and outdoor garden area.
 - b) **Plan Conformance:** The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan;
 - Big Sur Coastal Implementation Plan (Part 3); and
 - Monterey County Zoning Ordinance - Coastal (Title 20)

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code.

- c) **Allowed Use:** The property is located at 48158 Highway 1, Coastlands, Big Sur (Assessor's Parcel Number 420-171-014-000), Big Sur Coast Land Use Plan (LUP), Coastal Zone. The parcel is zoned Rural Density Residential, 40 acres per unit, with a Design Control zoning overlay (Coastal Zone) [RDR/40-D (CZ)].

The project, as described in evidence a above, includes alterations and repairs to an existing single family dwelling, replacement of a guesthouse, a new pool and pool house, and landscape improvements. The single family dwelling, and accessory structures to that use, is a principally permitted use in the RDR zone. Alterations to historic resources are subject to a Coastal Development Permit pursuant to Section 20.145.110 of the Big Sur Land Use Plan. Therefore, a Coastal Development Permit is required. Evidence (f) further details the Historic Assessment results.

The development of a guesthouse is an allowable use in the RDR district per Monterey County Code (MCC) 20.16.040(B) if the structure also meets the development standards of Section 20.64.020 (Regulations for guesthouses). The subject proposal involves a guesthouse that meets these development standards, as further detailed in Evidence (j) Site Development Standards.

- d) Archaeological Resources: The Big Sur Land Use Plan, Section 20.145.120 specifies that any project that proposes development within 750 feet of a known resource shall be required to obtain a Coastal Development Permit. This project is in an area identified in County records as having a high archaeological sensitivity; and a Preliminary Cultural Resources Reconnaissance archaeological survey (LIB210036) prepared in March 2021 for the site and proposed project indicated that the nearest archeological site is within 650 feet from the parcel. However, the report concluded that there is no surface evidence of potentially significant archaeological resources at the project parcel either historic or prehistoric in nature and due to those negative findings that there is no reason to delay the project due to archeological concerns. Also, the majority of the footprint area of proposed development has been disturbed by previous landscape development. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard condition (Condition No. 3) that requires the contractor to stop work if previously unidentified resources are discovered during construction.
- e) Design Review: Zoning on this property includes a Design Control zoning overlay which is intended to ensure review of projects for size, configuration, materials and colors, and to assure the project fits within the character of the site and surroundings. Staff, the Historic Resources Review Board, and the Big Sur Land Use Advisory committee have reviewed the project and found that it is appropriate to protect the historic integrity of the existing home and is appropriately sited and designed to on the site and within the neighborhood. The proposed guesthouse will be located in the same location as the guesthouse removed, will have a lower profile than the original structure and the new siding and building materials are appropriate and will blend with the existing character of the property. The proposed new guesthouse will use a tone of redwood in color with the material of corrugated steel for wall siding, bronze aluminum clad wood windows, and standing seam copper roof. Garage siding and roof replacements will consist of the same color and materials as the proposed guesthouse. Colors and materials for the new structures on the property and the main home blend in and compliment the existing structures which are mostly wood, brick, and stone. Repairs to the main house will include using weathered redwood for siding, composite shingles for roof repairs (which already occurred), and redwood windows and doors matching the existing colors and materials on that structure.
- f) Lot Legality The County has previously approved building permits at this property as recently as this year. Existing development on the parcel includes a 1,897 square foot single-family dwelling, a garage, and a guesthouse. The structures were originally constructed in 1933 (main house), 1952 (guesthouse), and 1947 (garage).

- g) HHRB review. This project was referred to the Historic Resources Review Board (HHRB) because the existing single-family residence at the site was built in 1933 and is eligible for listing on the Monterey County Register of Historic Resources. On April 1, 2021, the HHRB found the project in conformance with the Secretary of the Interior Standards for Rehabilitation and unanimously recommended approval of the project as proposed by a 4-0 vote. The guesthouse proposed for demolition was not found to be historic.
- h) Historic Resources Zoning Overlay: In order to comply with the Big Sur Coastal Implementation Plan, Section 20.145.110(c)(4) and Big Sur Land Use Policies, a Condition of Approval (Condition 6- Historic Resources- Zoning District) was added to this project requiring that the property owner consent to adding a Historic Resources (“HR”) zoning overlay to the property. The policy requires that where development is approved on parcels with an identified historical site, the parcel shall be rezoned, as a condition of approval. Rezoning does not necessitate an amendment to the Land Use Plan.
- i) LUAC Review. On April 13, 2021, the project was heard by the Big Sur Land Use Advisory Committee (LUAC). The LUAC unanimously recommended approval of the project as presented by a 4-0 vote.
- j) Visual Sensitivity. This property is located within the critical viewshed and is partially visible from Highway 1. Small portions of the existing home and guesthouse are visible from Highway 1 amongst a dense group of trees and vegetation. The site has existing structures that were originally built between the 1930s and 1950s. The Big Sur Coastal Implementation Plan, Section 20.145.030.A.2.f addresses improvements to existing structures within the viewshed. That policy states:
“When a structure is to be replaced, resiting or redesign should be required as necessary in order to better conform with the Intent of this section. Replacement or enlargement of existing structures, or structures lost in fire or natural disaster within the critical viewshed shall be permitted on the original location on the site, provided no other less visible portion of the site is acceptable to the property owner, and provided the replacement or enlargement does not increase the visibility of the structure.”
 The project was staked and flagged and photos were taken at various angles on and off the property, including from Highway 1- the nearest public road. Detailed elevations of the project, including the transposition of the existing two-level guesthouse with the proposed one story guesthouse were also provided to illustrate the visual impacts as seen from Highway 1. Additionally, the Project Planner conducted a site area visit on July 25, 2021, to check if the home was visible from pullouts off of Highway 1 in close proximity to the home and was not able to see the staking and flagging. There is no change to the mass or location of the historic dwelling and the repairs and improvements to the home will not affect visibility. The guesthouse will be replaced within the same location as the old guesthouse, which is an appropriate location for the development on the site. The

new guesthouse will maintain a lower profile than the original guesthouse by decreasing the existing two-story structure *from 14 feet and 11 inches* from average natural grade (or approximately 17 feet and 2 inches in height from top of the roof to the finished floor level) before demolition *to 8 feet and 7 inches* from average natural grade (approximately 11 feet and 10 inches from top of roof to finished floor level) as proposed. This constitutes a redesign of a replaced structure as required in the CIP and will reduce visibility of structures within the viewshed. Small areas of the development will remain visible amongst dense forest vegetation. As proposed, the project would not result in any increase to a visual impact, and the project is consistent with the applicable visual resource policies of the Big Sur Coast Land Use Plan.

- k) Development Standards. The development standards for the Rural Density Residential (RDR) zoning district are identified in Monterey County Code Section 20.16.060. As proposed, the project meets all required development standards.

Required setbacks for the main structure in the RDR district are 30 feet (front), 20 feet (sides), and 20 feet (rear). The existing single-family home will have the same footprint and will not be expanded. The height will also remain the same at approximately 11 feet and 2 inches from the top of the roof to finished floor (or 9 feet and 3 inches from average natural grade).

The required setbacks for habitable accessory structures in the RDR district are 50 feet (front), 6 feet (sides), and 6 feet (rear). However, the existing guesthouse is located in close proximity to the main home as required for detached guesthouses per MCC 20.64.020(c)(2). Setbacks for accessory structures are 10 feet from accessory to main structure. The proposed guesthouse/ pool house will be located slightly further back from the existing guesthouse as a ground level garden area will be included in between the main home and the proposed guesthouse/ poolhouse. The existing guesthouse is approximately 15 feet from the main home and 11 feet from the garage, with a significant setback distance from the rear. The proposed guesthouse will be approximately 24 feet from the main residence, approximately 103 feet from the rear property line, approximately 151 feet from the side of the property line, and approximately 112 feet from the front property line.

The maximum allowed height for an accessory structure in the RDR district is 15 feet. However, per MCC Section 20.64.020 the maximum height allowed for guesthouses is 12 feet. The proposed guesthouse would have a height of approximately 8 feet and 7 inches from average natural grade. The allowed structural site coverage maximum is 25 percent. The building site is approximately 2.09 acres, or 91,040 square feet, which would allow structural site coverage of 22,760 square feet. As proposed, the project would result

in total structural site coverage of 5,374 square feet (5.9%) which is well below the allowed coverage for the subject parcel.

2. **FINDING:** **SITE SUITABILITY / NO VIOLATIONS** – The site is physically suitable for the development proposed, and no violations exist on the property.

EVIDENCE: a) The project has been reviewed for site suitability by HCD-Planning, HCD-Development Services, HCD-Environmental Services, CalFire Coastal (Fire Protection District), and the Environmental Health Bureau. County staff reviewed the application materials and plans, and relevant information, to verify that the proposed project conforms to the applicable regulations, and that the site is suitable for the proposed development.

- b) The following technical reports have been prepared for this project:
- Geotechnical Investigation (LIB210045) prepared on September 9, 2020;
 - Historical Report (LIB210037) Focused Phase II Historic Assessment) prepared by Kent Seavey, December 28, 2020, and amended with supplemental information in regard to the guesthouse on March 10, 2021 ; and
 - Preliminary Cultural Resources Reconnaissance (LIB210036) prepared by Susan Morley, March 1, 2021.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed, and all development shall be in accordance with these reports.

- c) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN200300.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by HCD-Planning, HCD-Development Services, HCD-Environmental Services, CalFire Coastal (Fire Protection District), and Environmental Health Bureau (EHB), and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Residential use of the property exists and is not proposed to change in this permit.
- c) All necessary public facilities are available to the project site. Water service is provided to the property by the Coastlands Mutual Water System, and wastewater treatment is provided by an on-site

wastewater treatment system. The number of bedrooms will remain unchanged meaning that there is no anticipated increase in wastewater. Minor increases in water will be required due to the addition of the proposed pool however adequate quality and capacity exist within the Coastlands Water System. The Monterey County Environmental Health Bureau reviewed the project application and did not recommend any conditions of approval.

- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN200300.

4. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempts one single-family residence, second dwelling units, and accessory structures. This project includes repairs to an existing single family dwelling and new accessory structures (guesthouse/pool house, pool, and landscaping). Therefore, the project qualifies for this exemption.
 - b) The project has also been found to be consistent with the Secretary of the Interior’s Standards for Rehabilitation qualifying the minor changes to the historic structure for a class 31 categorical exemption pursuant to Section 15331 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there are no conditions that distinguish the project from the exempt class. The project would repair and replace existing structures within a previously developed footprint and would reduce visibility of structures within a scenic corridor.
 - d) No other potential adverse environmental effects were identified during staff review of the development application.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN200300.

5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan (Part 3) can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

- c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Trails Plan, in the Big Sur Coast Land Use Plan).
- d) The project planner reviewed site plans and pictures to verify that the proposed project would not impact public access. Project Planner conducted a site visit on July 25, 2021 to Coastlands Road, the private road where the project is located off of Highway 1, as well as the vicinity area, including turn outs in close proximity to the site. Access to the site is via a gated private road. As proposed, the project will not adversely impact the public viewshed or scenic character in the project vicinity and is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan (See Finding 1).
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200300.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., Highway 1). Also, the project involves development permitted in the underlying zone as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies for a Class 3 and Class 31 Categorical Exemption pursuant to Sections 15303 and 15331 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of:
 - a) A Coastal Development Permit and Design Approval to allow repair and alteration of siding, doors, and windows on a historic single-family dwelling and garage;
 - b) A Coastal Development Permit for the demolition of a detached two-story guesthouse including after the fact approval of the demolition of the second story and completion of the demolition of the lower-level;
 - c) A Coastal Administrative Permit and Design Approval to allow the construction of a new 422 square foot guesthouse and 422 square foot pool house in the same

location as guesthouse being demolished and property improvements consisting of construction of a new outdoor pool and outdoor garden area; and

- d) A Coastal Development Permit to allow development within 750 feet of archaeological resources; in general conformance with the attached plans and subject to 7 conditions, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 11th day of August, 2021, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Erik V. Lundquist, AICP, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200300

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation This Combined Development Permit (PLN200300) consisting of:

Monitoring Measure:

- 1) Coastal Development Permit to allow for repairs and alterations to an historic single-family dwelling including replacement of siding, doors, windows, a new garage roof and door garage door;
- 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
- 3) Coastal Administrative Permit and Design Approval to allow for demolition of a detached two-story guesthouse including after-the-fact approval of the demolition of the second story and completion of the demolition of the lower-level; construction of a new 844 square foot guesthouse/pool house in the same location as the guesthouse being demolished, and construction of a new outdoor pool and garden area.

The property is located at 48158 Highway 1 (Assessor's Parcel Number 420-171-014-000), Big Sur Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD- Planning)

Compliance or The Owner/Applicant shall adhere to conditions and uses specified in the permit on an
Monitoring ongoing basis unless otherwise stated.
Action to be
Performed:

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 420-171-014-000 on August 11, 2021. The permit was granted subject to seven conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. Historic Resources- zoning district

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall request a rezoning of the parcel to add an 'HR' (Historical Resources) zoning district to the existing zoning of the parcel. However, the rezoning shall not necessitate an amendment to the Land Use Plan or coastal zoning ordinance. (Big Sur Coastal Implementation Plan: 20.145.110(c)(4) and Big Sur Land Use Policies: Policy 3.10.4)

Compliance or Monitoring Action to be Performed: The parcel shall be rezoned, as a condition of approval to be completed prior to issuance of building or grading permits to a district combining the HR(CZ) district with the parcel's existing zoning. The owner/applicant shall submit request to the Monterey County HCD -Planning.

7. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

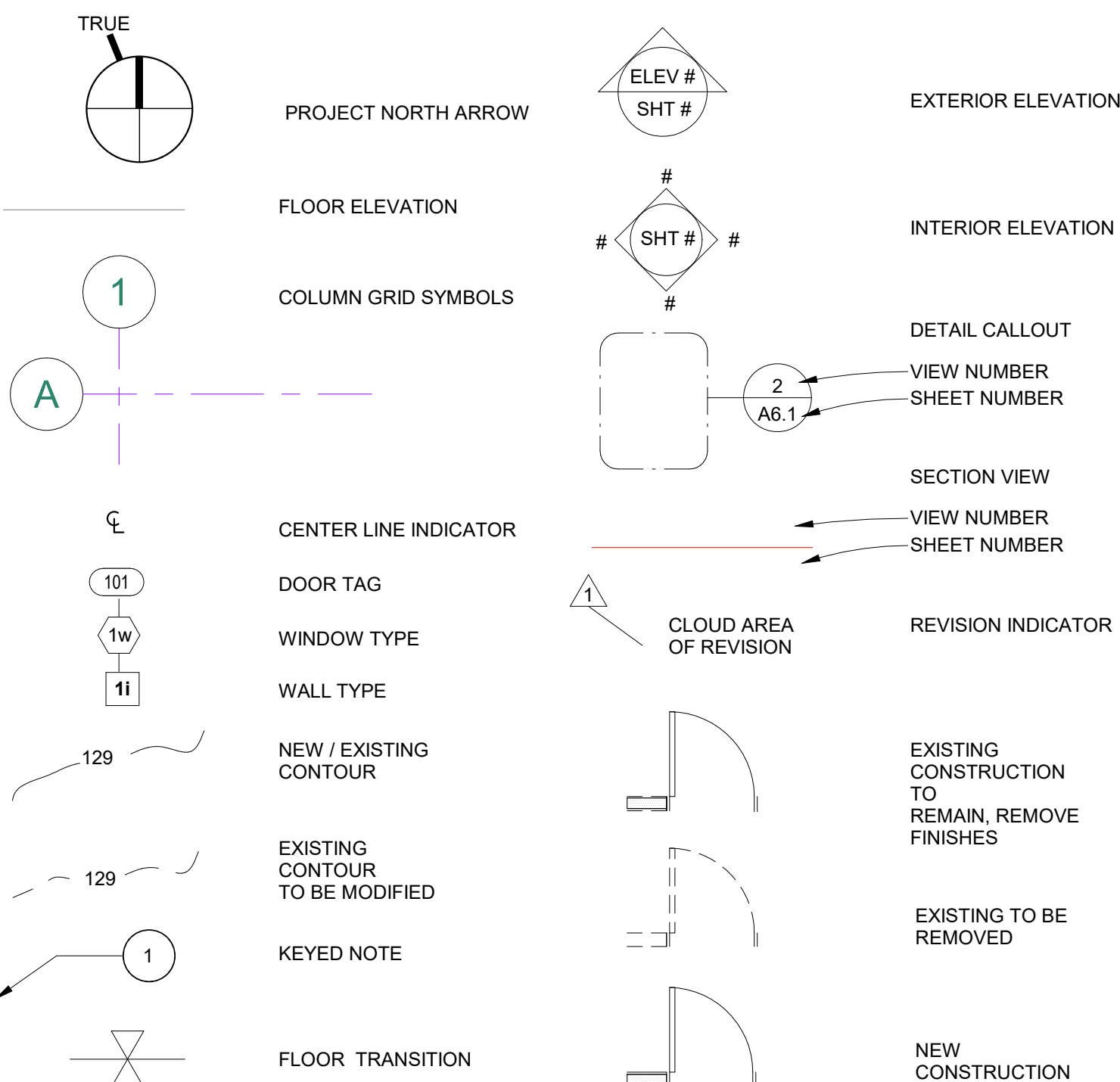
Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

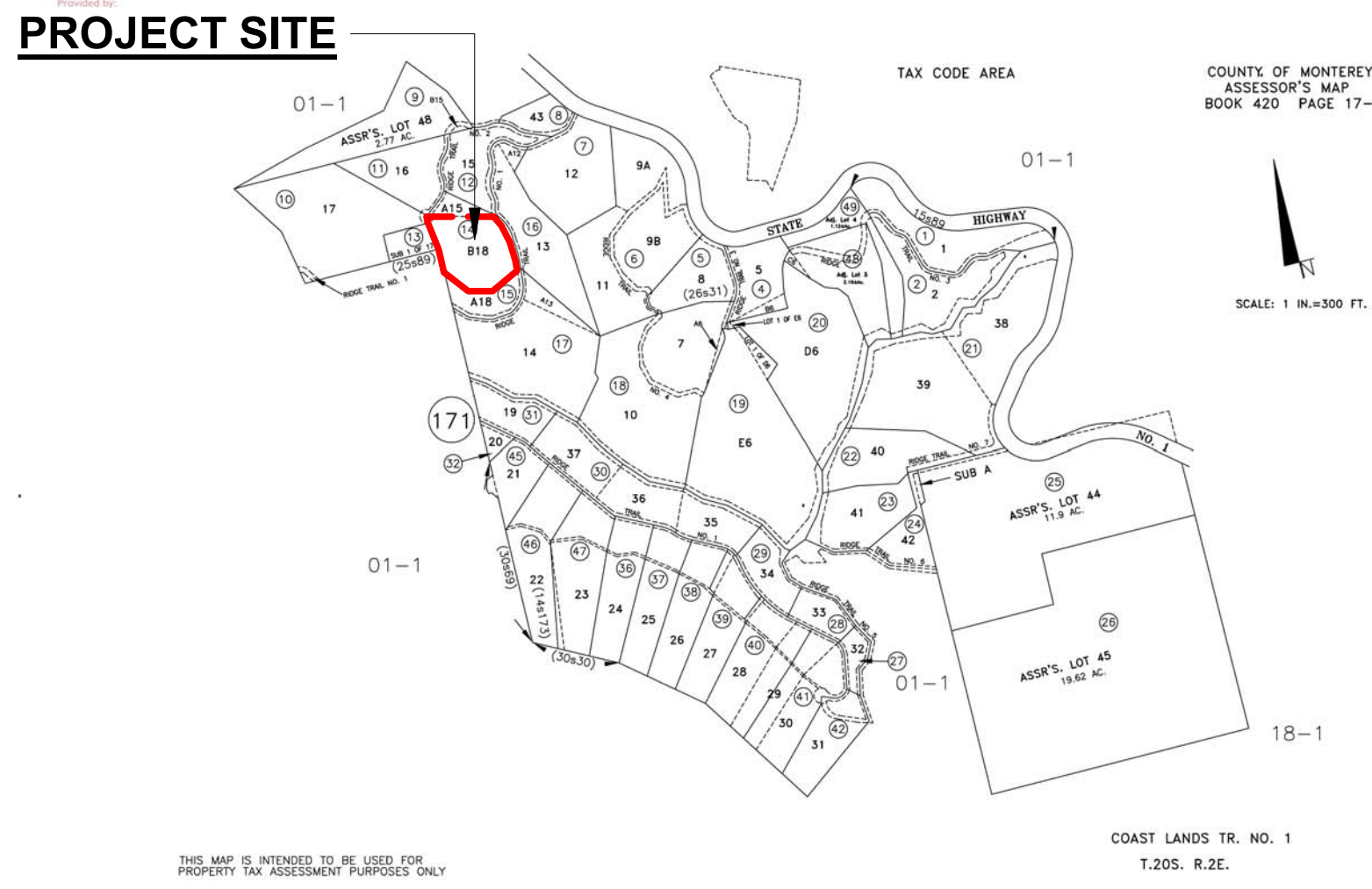
ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations including terms like AND, ANGLE, AT, DIAMETER, etc., with their corresponding symbols and full names.

ARCHITECTURAL SYMBOLS



PARCEL MAP



VICINITY MAP



SHEET INDEX

Table listing sheet numbers and titles, such as G1.0 COVER SHEET, G1.1 SURVEY, G1.2 SURVEY COMPLETE, etc.

PROJECT INFORMATION

Table containing project details: PROPERTY ADDRESS (48158 HIGHWAY 1, BIG SUR, CA 93920), APN (420-171-014-000), ZONING (RDR/40-D(CZ)), etc.

PROJECT TEAM

Table listing project team members: OWNER (PAM CONANT), ARCHITECT (STUDIO CARVER ARCHITECTS), CONTRACTOR (RIDER CONSTRUCTION), SURVEYOR (L&S SURVEYING, INC.), STRUCTURAL (SEZEN & MOON STRUCTURAL ENG.), MECHANICAL (MONTEREY ENERGY GROUP).

BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), THE 2019 CALIFORNIA MECHANICAL CODE (CMC), THE 2019 CALIFORNIA PLUMBING CODE (CPC), THE 2019 CALIFORNIA ELECTRICAL CODE (CEC), THE 2019 CALIFORNIA ENERGY CODE (CEC).

BUILDING CODE DATA

Table showing building code data: SPRINKLERS (YES FOR GUEST HOUSE/POOL HOUSE), GRADING ESTIMATES (GRADING CUT 24.00 CU.YDS., GRADING FILL 61.40 CU.YDS., GRADING NET 37.40 CU.YDS.).

BUILDING AREA

Table showing building area details: (E) BUILDING AREA (RESIDENCE 1,897 SF, GARAGE 305 SF, etc.), REMODELED BUILDING AREA (RESIDENCE 1,897 SF, GARAGE 305 SF, etc.).

LOT COVERAGE

Table showing lot coverage details: LOT SIZE (2.092 ACRES), ALLOWABLE LOT COVERAGE (25% OR 22,783 SF), (E) LOT COVERAGE (RESIDENCE 1,897 SF, GARAGE 305 SF, etc.), (P) LOT COVERAGE (REMODELED M.RESIDENCE GARAGE & DECKS 3,308 SF, etc.).

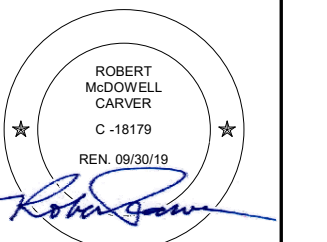
MISCELLANEOUS

Table showing miscellaneous information: WATER SOURCE (COASTLANDS WATER CO.), SEWER SYSTEM ((E) SEPTIC), TREES TO BE REMOVED (0), REQUIRED PARKING (2 SPACES/UNIT), EXISTING PARKING (2 SPACES (1 COVERED)).

NOT FOR CONSTRUCTION

CONANT

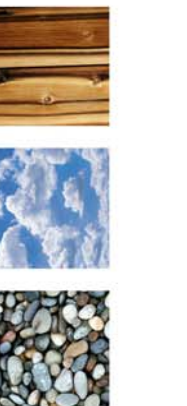
48158 HIGHWAY 1, BIG SUR, CA 93920



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STUDIO CARVER ARCHITECTURE + PLANNING + INTERIOR DESIGN



REVISION #

2 04/27/2021 (N) GUEST HOUSE/POOL HOUSE

ARCHITECTURAL COVER SHEET

Scale: As indicated @ 24x36 Drawn By: MB/JP Job: 2006

G1.0

06/10/2021

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GENERAL FIRE DEPARTMENT NOTES

- 1. FIRE007 - DRIVEWAYS: DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED...
2. FIRE008 - GATES: ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY...
3. FIRE011 - ADDRESSES FOR BUILDINGS: ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241...
4. FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL): FOR DEVELOPMENT OF STRUCTURES TOTALING LESS THAN 3,000 SQUARE FEET...
5. FIRE015 - FIRE HYDRANTS/FIRE VALVES: A FIRE HYDRANT OR FIRE VALVE IS REQUIRED...
6. FIRE016 - SETBACKS: ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR NEW BUILDINGS...
7. FIRE017 - DISPOSAL OF VEGETATION AND FUELS: DISPOSAL, INCLUDING CHIPPING, BURYING, OR REMOVAL TO A LANDFILL SITE APPROVED BY THE LOCAL JURISDICTION...
8. FIRE018 - GREENBELTS: SUBDIVISIONS AND OTHER DEVELOPMENTS, WHICH PROPOSE GREENBELTS AS A PART OF THE DEVELOPMENT PLAN...
9. FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS): REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 5 FEET OF STRUCTURES...
10. FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS): THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S)...
11. FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING): THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM...
12. FIRE025 - SMOKE ALARMS - (SINGLE FAMILY DWELLING): WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGALAR ALARM SYSTEM IS INSTALLED...
13. FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE): ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD...

GENERAL NOTES

- 1. SPECIAL INSPECTIONS, BY GEOTECH ENGINEER, ARE REQUIRED FOR EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS...
2. DEVELOPMENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL REMOVAL OR PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE PROHIBITED ON SLOPES GREATER THAN OR EQUAL TO 30%...
3. THE SLOPE OF CUT AND FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE...
4. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS...
5. ALL FILL MATERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557...
6. A "FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION...
7. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, AIA DOCUMENT A201-2007 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION...
8. ANY DISCREPANCIES / QUESTIONS SHALL BE REFERRED TO ARCHITECT VIA A WRITTEN R.F.I. PRIOR TO COMMENCEMENT OF WORK...
9. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS...
10. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE THE WORK TO EXPEDITE COMPLETION OF THE WORK...
11. DIMENSIONS ARE TO THE BUILDING GRID LINES OR THE FACE OF CONCRETE/ FACE OF STUD UNLESS OTHERWISE NOTED...
12. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS...
13. CALIFORNIA BUILDING STANDARDS CODE, 2016 EDITION: AS APPLICABLE, ALL MATERIALS, WORKMANSHIP, AND METHODS SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE...
14. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND O.S.H.A. SAFETY REGULATIONS...
15. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE...
16. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED...
17. TREES LOCATED OVERHANGING THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE...
18. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR...
19. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER...
20. ALL HOSES USED FOR ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE...
21. GLAZING USED IN DOORS, PANELS OF SHOWER AND TUB ENCLOSURES AND GLASS GUARD RAILS SHALL BE FULLY TEMPERED GLASS OR LAMINATED SAFETY GLASS...
22. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R...
23. IN ADDITION TO THE REQUIRED PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE...
24. THE CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTION TO AVOID GALVANIC REACTION IN ALL METAL COMPONENTS...
25. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR CASEWORK, MILLWORK, STRUCTURAL STEEL, STAIRS AND OTHER ITEMS...
26. ALL MATERIALS TO BE NEW...
27. IN ADDITION TO THE DEMOLITION SPECIFICALLY SHOWN, CONTRACTOR SHALL CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND WORK TO PROCEED...
28. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CASEWORK, FIXTURES, ELECTRICAL ITEMS, RESTROOM ACCESSORIES...
29. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS INCLUDING THE BUILDING PERMIT...
30. ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD NOT EXCEED 1-1/2" IN HEIGHT.

GENERAL ELECTRICAL NOTES

- 1. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS...
2. A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTACLE OUTLETS IN THE LAUNDRY ROOM...
3. A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTACLE OUTLETS IN THE BATHROOMS...
4. RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS...
5. AT LEAST ONE GFCI RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN...
6. ALL 120-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES...
7. AT LEAST ONE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER...
8. ALL OUTLETS SERVING KITCHEN COUNTERTOPS, INCLUDING THOSE AT ISLANDS AND PENINSULA COUNTERS, SHALL HAVE BOTH GFCI AND AFCI PROTECTION...
9. OUTLET BOXES INSTALLED FOR LUMINAIRES OR LIGHTING SHALL BE PERMITTED TO SUPPORT 50 POUNDS OR LESS...
10. PROVIDE SEPARATE 20-AMP BRANCH CIRCUITS FOR FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS WASHING MACHINES...
11. PROVIDE OUTSIDE GFCI PROTECTED WEATHERPROOF 120-VOLT RECEPTACLE AT FRONT AND REAR OF DWELLING UNIT...
12. OUTLET LOCATIONS:
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE...
- RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12 INCHES OR WIDER...
13. KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND & PENINSULA COUNTERTOPS, SHALL:
- HAVE GFCI AND AFCI PROTECTION
- BE INSTALLED IN EACH COUNTER WALL 12 INCHES OR WIDER SO NO POINT ALONG THE WALL IS MORE THAN 24 INCHES...
14. GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED BASEMENTS, CRAWL SPACES...
15. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF...
16. A 15 OR 20 AMP RECEPTACLE SHALL BE INSTALLED WITHIN 25' AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT...
17. OVERCURRENT [DISCONNECTS] DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER AT ITS HIGHEST POSITION IS NOT MORE THAN 6'-7" ABOVE FLOOR OR WORKING SURFACE...
18. CLEAR WORKING SPACE DIMENSIONS AT ALL ELECTRICAL PANELS...
19. PER 2016 CALIFORNIA ENERGY CODE, SECTION 150(K), ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A...
20. LUMINAIRES RECESSED INTO CEILINGS MUST BE SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING...
21. LUMINAIRES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF...
22. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCED JOINT APPROVED DOWNLIGHT LUMINAIRES...
23. AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR...
24. MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE AUTOMATIC CONTROL FUNCTIONS...
25. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT...
26. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS"...
27. RECESSED LIGHT FIXTURES REQUIRE A 3" SPACE BETWEEN THE FIXTURE AND CLOSED CELL SPRAY APPLIED INSULATION...
28. FOR LIGHTING AND LIGHTING CONTROL SEE CEILING AND LIGHTING PLAN...
29. CRC R314 SMOKE DETECTORS SHALL BE LOCATED IN THE FOLLOWING AREAS PER CRC R314: 1. IN EACH SLEEPING ROOM...
30. CRC R315 CARBON MONOXIDE DEVICES/ALARMS SHALL BE LOCATED IN THE FOLLOWING AREAS: 1. OUTSIDE OF EACH SEPARATE SLEEPING AREA...
31. NOTE: INSPECTOR TO COLLECT REGISTERED CF-3R FORM PRIOR TO FINAL

GENERAL PLUMBING NOTES

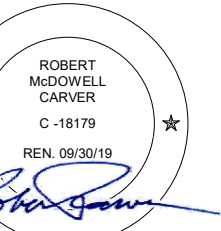
- 1. ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY...
2. THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES...
3. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE...
4. PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303.3 OF CGCS...
5. CPC 402.5 SETTING. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL...
6. CPC 408.6 SHOWER COMPARTMENTS. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES...
7. CPC 408.3 INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES, SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES...
8. CPC 408.9 LOCATION OF VALVES AND HEADS. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS...
9. EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS...
10. SHOWER VALVES SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET...
11. PER CPC 2019, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL BE:
TOILET 1.28 GAL
SINK FAUCET 1.2 GPM
SHOWER VALVE 2.0 GPM
KITCHEN FAUCET 1.8 GPM
DISHWASHER 2.0 GPM
CLOTHES WASHER 2.0 GPM

GENERAL CAL GREEN NOTES

- 1. MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED...
2. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING...
3. LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS, LOW FORMALDEHYDE WOOD...
4. CAL GREEN 4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES...
5. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED...
A. MOISTURE CONTENT MUST BE VERIFIED IN COMPLIANCE WITH ALL OF THE FOLLOWING:
a. MOISTURE CONTENT MUST BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT TYPE MOISTURE METER;
b. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END TO BE VERIFIED;
c. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO INSPECTOR...

CONANT

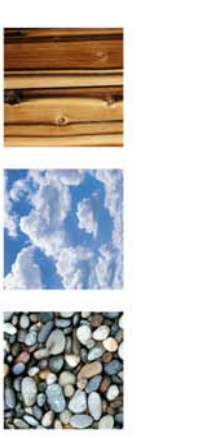
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REVISION #

ARCHITECTURAL GENERAL NOTES

Scale: 1/2" = 1'-0" @ 24x36 Drawn By: DP Job: 2006

G1.1 06/10/2021

NOT FOR CONSTRUCTION

UPPER
COASTLANDS
ROAD

LEGEND

- PROPERTY LINE
- - - EASEMENT
- - - 400 MAJOR CONTOUR
- - - MINOR CONTOUR
- WIRE FENCE
- WOOD FENCE
- CONCRETE CURB/GUTTER
- BUILDING OVERHANG/EVE
- UPPER DECK

- ⊠ WATER METER
- ⊠ WATER VALVE
- ⊠ HOSE BIB
- ⊠ FIRE DEPARTMENT CONNECTION
- ⊠ IRRIGATION CONTROL VALVE
- ⊠ JOINT POLE
- ⊠ LIGHT POLE
- ⊠ ELECTRICAL METER
- ⊠ GAS VALVE
- ⊠ GAS METER
- ⊠ DOWNSPOUT
- ⊠ SEWER CLEANOUT
- ⊠ SEWER MANHOLE
- ⊠ STORM DRAIN CLEANOUT
- ⊠ STORM DRAIN MANHOLE

- AC PAVEMENT
- CONCRETE
- BRICK
- PAVERS
- GREATER THAN 30% SLOPE

ABBREVIATIONS

- BR BOTTOM OF RAMP
- BS BOTTOM OF STAIR
- CONC CONCRETE
- CYP CYPRESS TREE
- EX EXISTING
- EL ELEVATION
- FC FACE OF CURB
- FF FINISH FLOOR
- FP FINISH PAVEMENT
- FW FACE OF WALL
- GB GRADE BREAK
- O OAK TREE
- P PINE TREE
- PLNTR PLANTER
- RR RAILROAD
- TC TOP OF CURB
- TR TOP OF RAMP
- TS TOP OF STAIR
- T TREE

- NOTES:
- BOUNDARY LOCATIONS SHOWN WITH THE BENEFIT OF A FIELD SURVEY. THIS IS NOT A BOUNDARY SURVEY.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 4" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - A LOCAL BENCHMARK FOR THIS PROJECT IS A SET CONCRETE NAIL AND SHINER IN AC PAVEMENT OF PROJECT DRIVEWAY AS SHOWN HEREON, HAVING AN ELEVATION OF 361.74 BASED UPON AN ASSUMED DATUM.

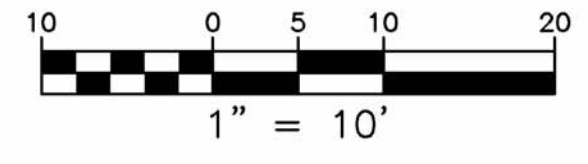
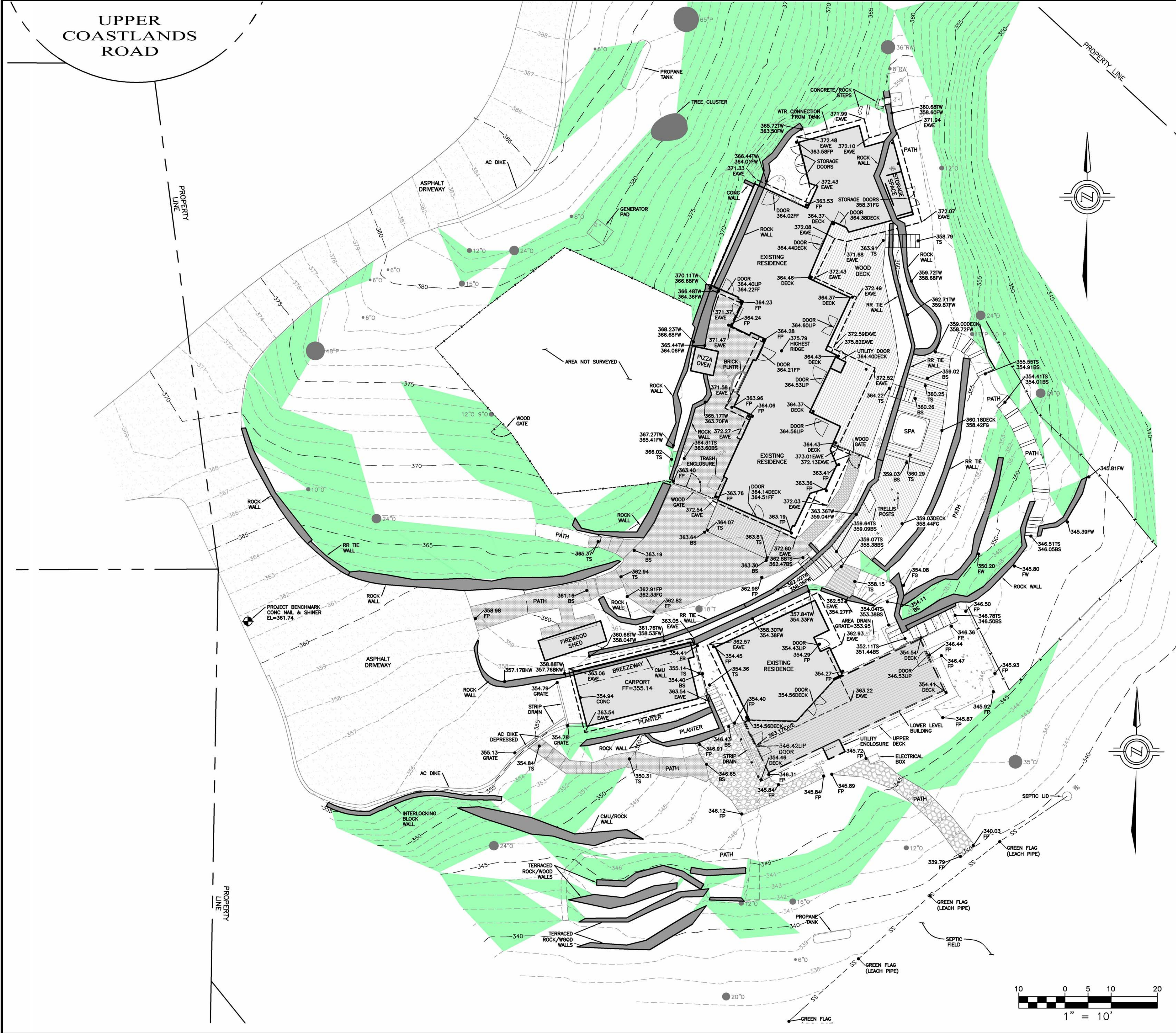
LS ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandsEngineers.com

DRAWN BY: N/A
 DESIGNED BY: 6/15/20
 SCALE: 1" = 10'
 JOB NUMBER: 20-28
 LAST REVISED: 6/23/20
 REVISED BY: BM

PREPARED FOR:
STUDIO CARVER ARCHITECTS, INC.
 DANIEL PETERSON
 3640 THE BARNYARD, SUITE C-32
 CARMEL, CA 93923

TOPOGRAPHIC SURVEY
 14 UPPER COASTLANDS
 BIG SUR, CA 93920
 APN: 420-171-014

SHEET 1
 OF
 2 SHEETS



G1.2



- NOTES:**
- BOUNDARY LOCATIONS SHOWN WITH THE BENEFIT OF A FIELD SURVEY. THIS IS NOT A BOUNDARY SURVEY.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - A LOCAL BENCHMARK FOR THIS PROJECT IS A SET CONCRETE NAIL AND SHINER IN AC PAVEMENT OF PROJECT DRIVEWAY AS SHOWN ON SHEET 1 OF 2.
 - EASEMENTS SHOWN ARE SHOWN WITH THE BENEFIT OF THE PRELIMINARY TITLE REPORT. PER THE PRELIMINARY TITLE REPORT, THERE ARE NUMEROUS EASEMENTS THAT ARE NOT PLOTTABLE AND HENCE ARE NOT SHOWN ON THE SURVEY.



DRAWN BY:	BM	N/A
DESIGNED BY:		
DATE:		6/15/20
SCALE:		1" = 10'
JOB NUMBER:		20-28
LAST REVISED:		6/23/20
REVISED BY:	BM	

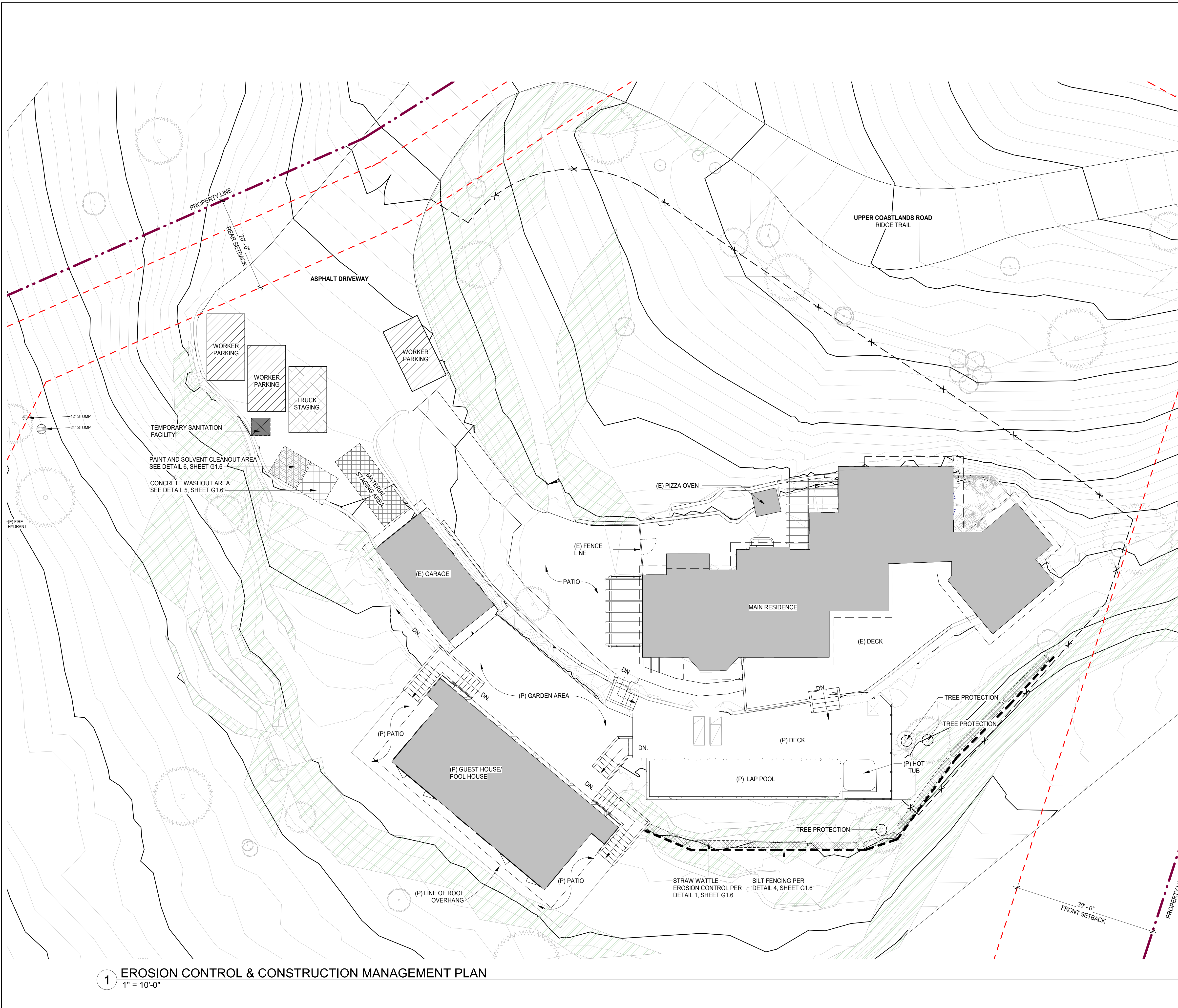
PREPARED FOR:
STUDIO CARVER ARCHITECTS, INC.
 DANIEL PETERSON
 3640 THE BARNYARD, SUITE C-32
 CARMEL, CA 93923

OVERALL SITE
 14 UPPER COASTLANDS
 BIG SUR, CA 93920
 APN: 420-171-014

SHEET 2
 OF
 2 SHEETS

G1.3

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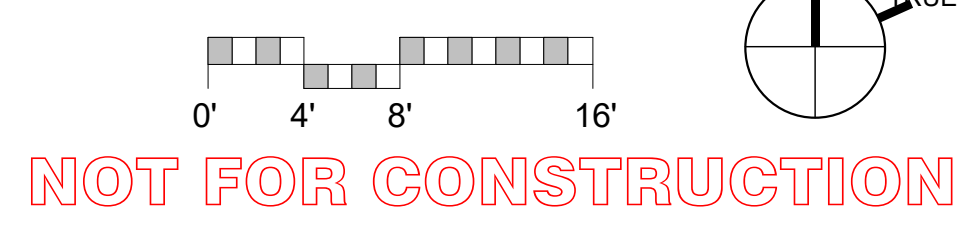
CONSTRUCTION MANAGEMENT NOTES

1. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
2. DURATION OF CONSTRUCTION IS ESTIMATED TO BE 12-18 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
3. WORK HOURS ARE LIMITED FROM 7 AM TO 7 PM MONDAY THROUGH FRIDAY AND 8 AM TO 6 PM SATURDAYS. NO WORK SHALL BE PERFORMED ON SUNDAYS AND HOLIDAYS. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR). THE NUMBER OF WORKERS WILL VARY THROUGHOUT THE CONSTRUCTION. WORKERS ON-SITE WILL RANGE FROM 2 TO 12.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
5. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
6. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
7. DUST SHALL BE CONTROLLED BY DUST PALLIATIVE AND/OR WATERING VIA THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
8. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
9. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
10. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.
11. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
12. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

CONSTRUCTION MANAGEMENT LEGEND

	CONSTRUCTION ENTRY		CONCRETE WASHOUT AREA
	WORKER PARKING		TREE AND ROOT PROTECTION MEASURES PER ARBORIST
	EQUIPMENT PARKING AND MATERIAL STAGING AREA		STRAW WATTLE EROSION CONTROL
	TRUCK STAGING		TRAFFIC
	PAINT AND SOLVENT CLEANOUT AREA		SILT FENCE

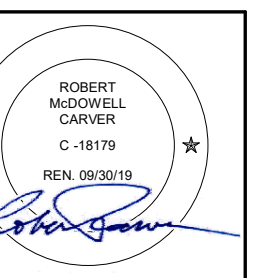
1 EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN
1" = 10'-0"



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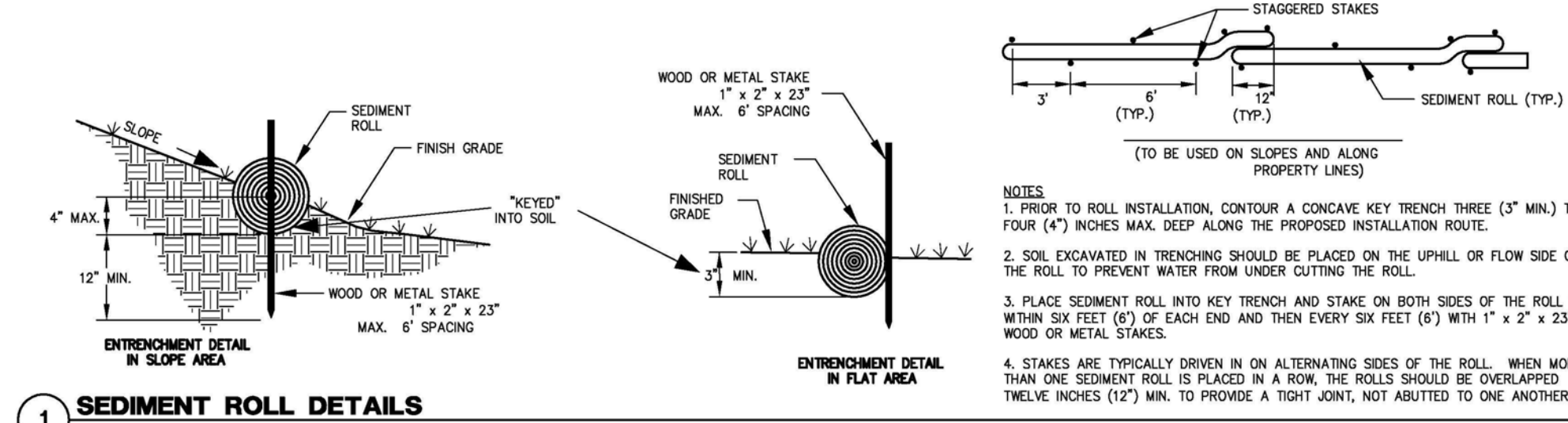
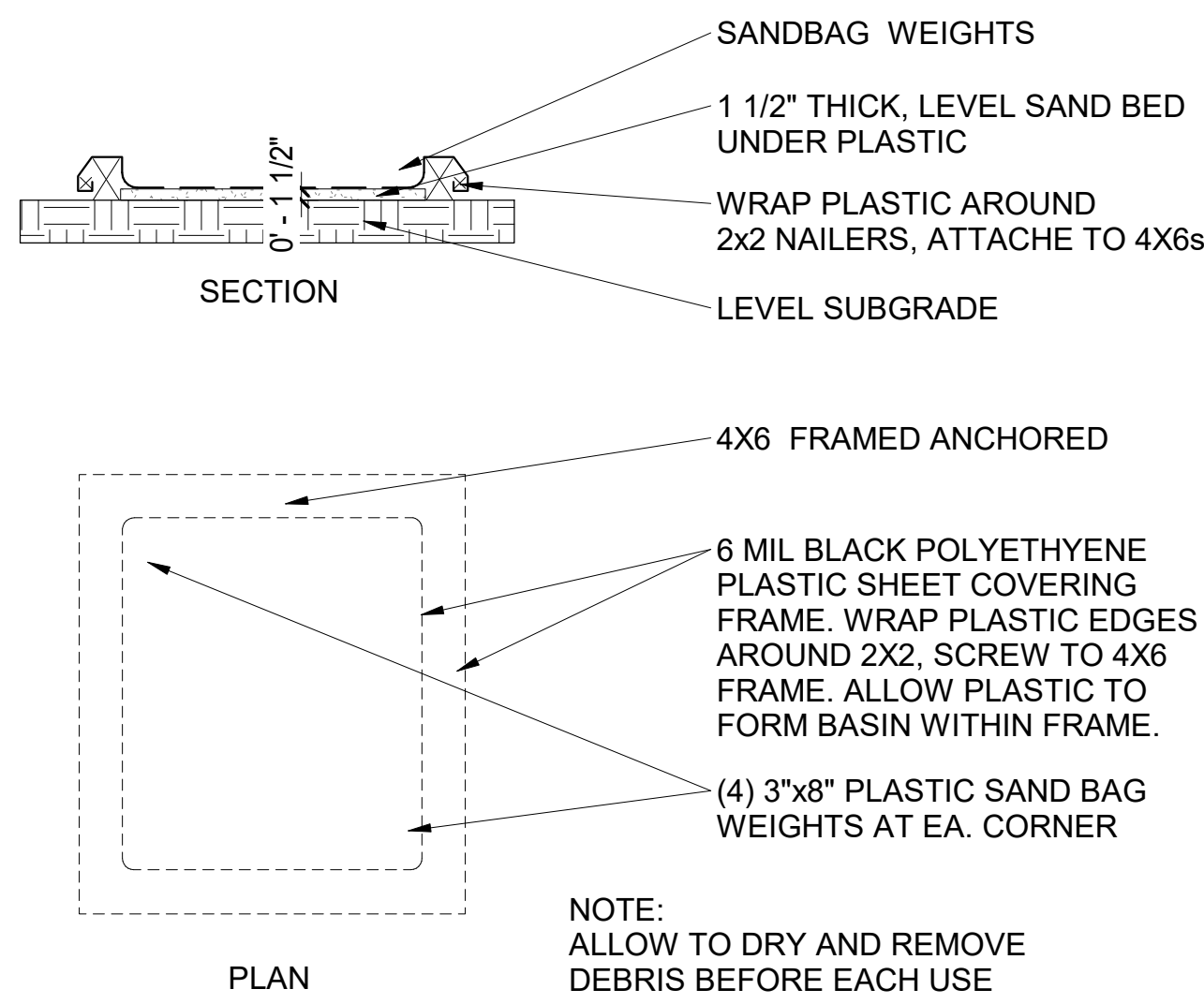
ARCHITECTURAL EROSION CONTROL / CONSTRUCTION MGMT PLAN

Scale: As indicated @ 24x36
Drawn By: DP
Job: 2006

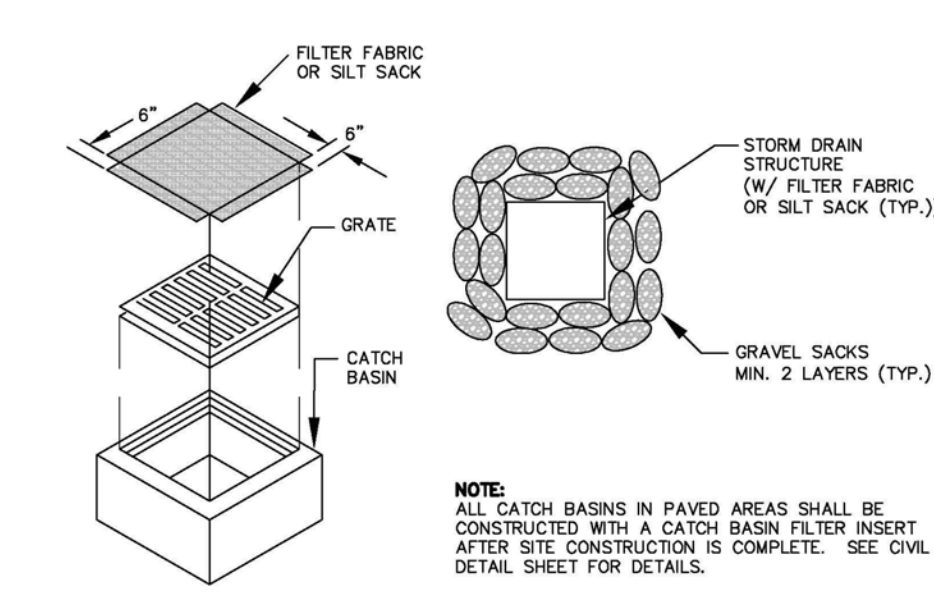
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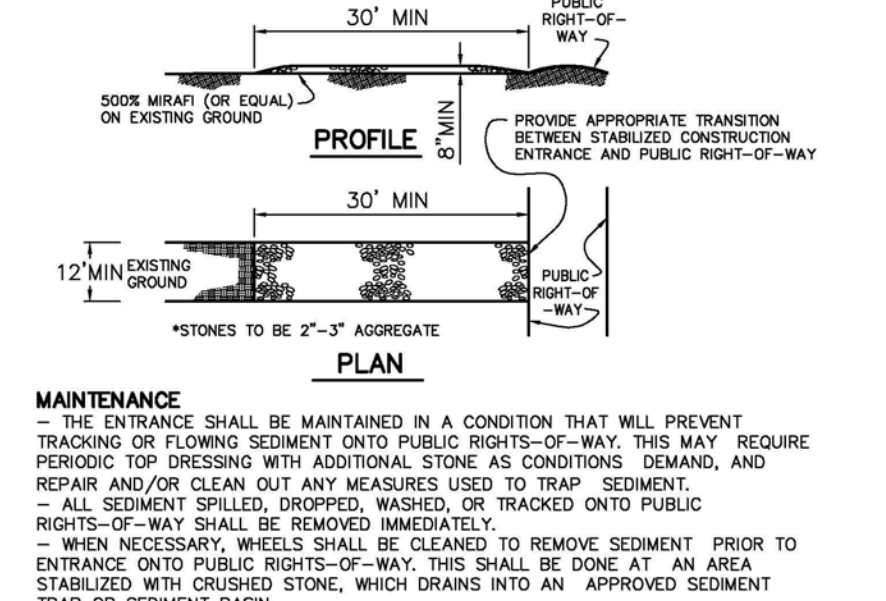
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1 SEDIMENT ROLL DETAILS
NO SCALE

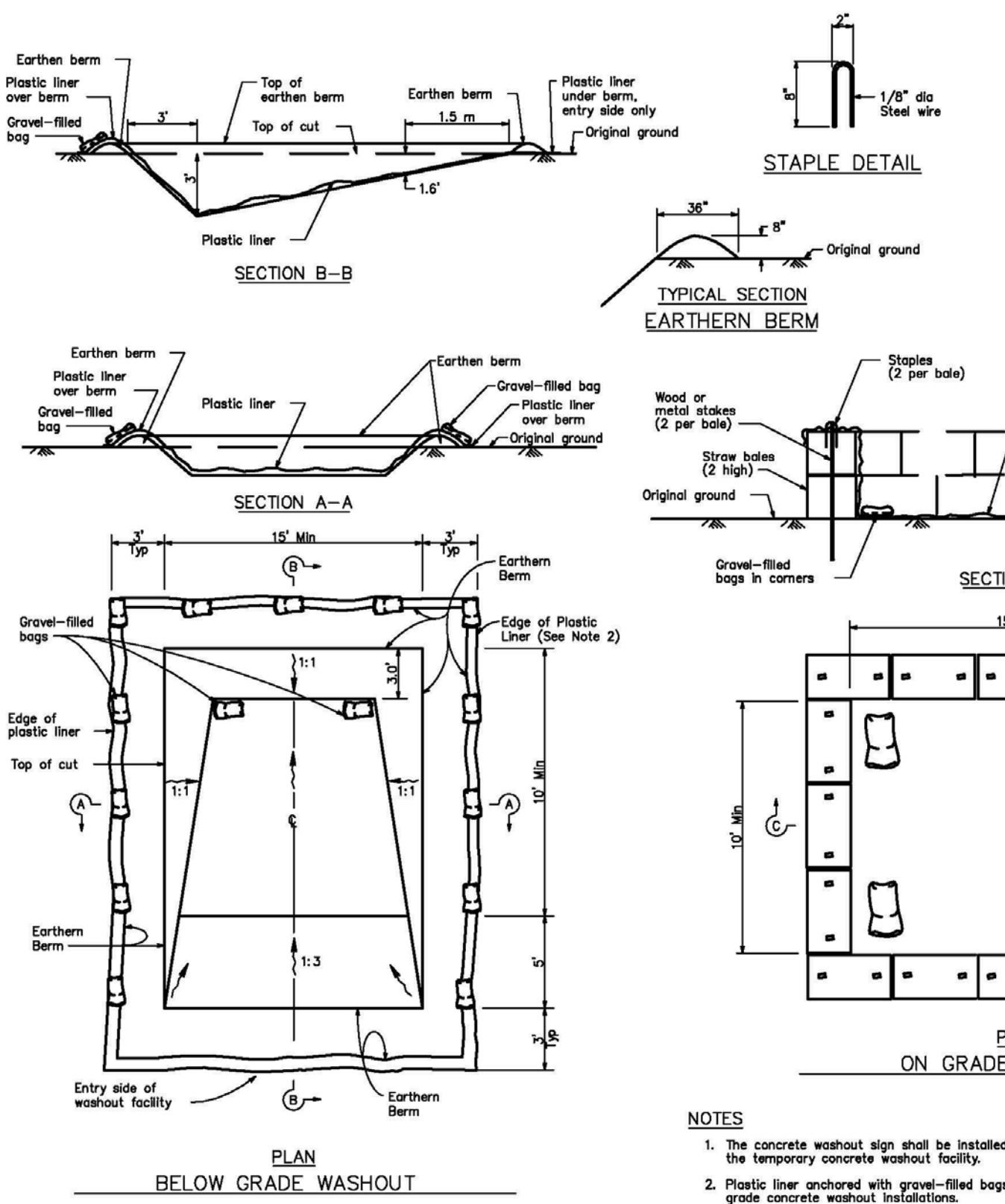


2 FABRIC INLET PROTECTION
NO SCALE



3 CONSTRUCTION ENTRANCE
NO SCALE

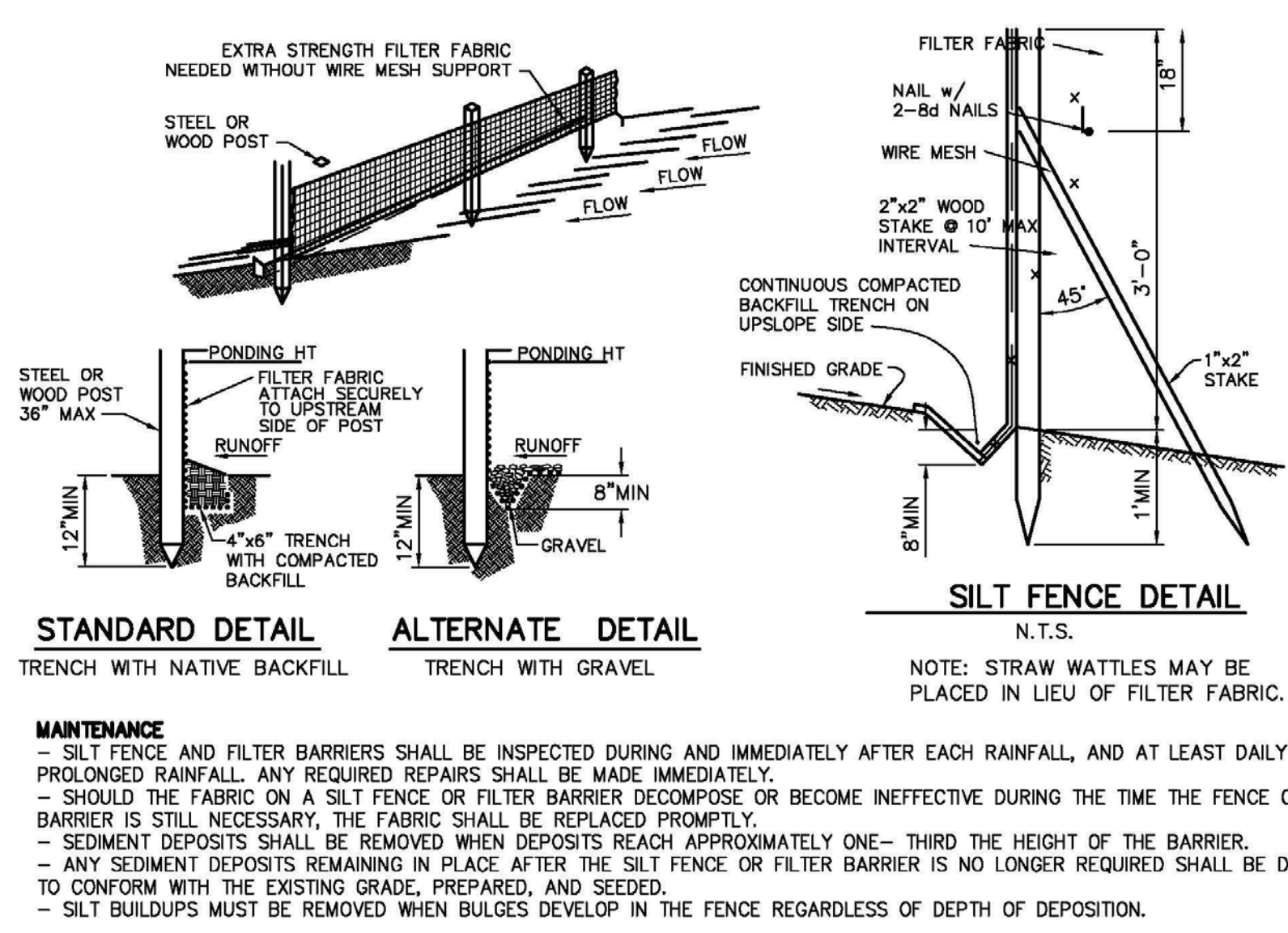
6 PAINT AND SOLVENT CLEANOUT AREA
1/2" = 1'-0"



5 CONCRETE WASHOUT AREA
NO SCALE

NOTES
1. The concrete washout sign shall be installed within 33 feet of the temporary concrete washout facility.
2. Plastic liner anchored with gravel-filled bags is optional for below grade concrete washout installations.

4 SILT FENCE DETAIL
NO SCALE



EROSION & SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO APRIL 15. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND APRIL 15.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
- CONSTRUCTION PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER. BETWEEN OCTOBER 15 AND APRIL 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- INSPECTION - PRIOR TO LAND DISTURBANCE THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- INSPECTION - DURING ACTIVE CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- INSPECTION - FOLLOWING ACTIVE CONSTRUCTION, PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- INSPECTION - FOLLOWING ACTIVE CONSTRUCTION, PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- EMPLOYEE TRAINING**
STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
A. SPILL PREVENTION AND RESPONSE;
B. LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
C. GOOD HOUSEKEEPING;
D. FINES AND PENALTIES;
E. MATERIAL MANAGEMENT PRACTICES
- NON-STORM WATER DISCHARGES**
1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
A. FIRE HYDRANT FLUSHING;
B. IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
C. PIPE FLUSHING AND TESTING,
D. WATER TO CONTROL DUST,
E. UNCONTAMINATED GROUND WATER FROM DEWATERING.
F. OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
A. THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
B. THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
C. THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
D. THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMP'S REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NON-STORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
E. THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
F. THE DISCHARGER IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
G. THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.
- OBSERVATION AND MAINTENANCE**
TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
1. VISUALLY OBSERVE BMP'S AS FOLLOWS:
A. WEEKLY, AND
B. WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
C. WITHIN 48 HOURS AFTER EACH STORM EVENT.
2. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
D. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMP'S BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
E. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE OR SHALL BE DISPOSED OFF-SITE.
F. TRASH AND DEBRIS SHALL BE REMOVED FROM BMP'S DURING SCHEDULED INSPECTIONS.
G. REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACK WALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.
H. STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

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Drawn By: DP
Job: 2006

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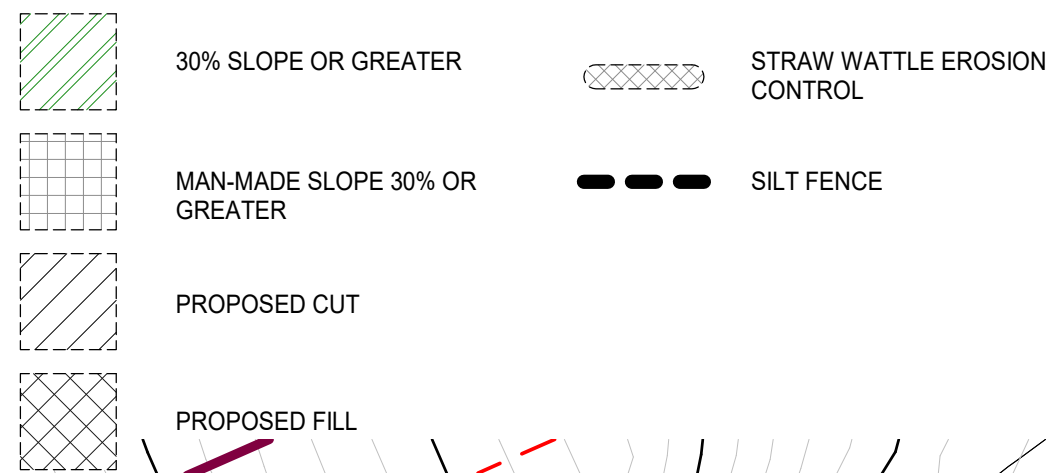
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GRADING LEGEND



GRADING ESTIMATES

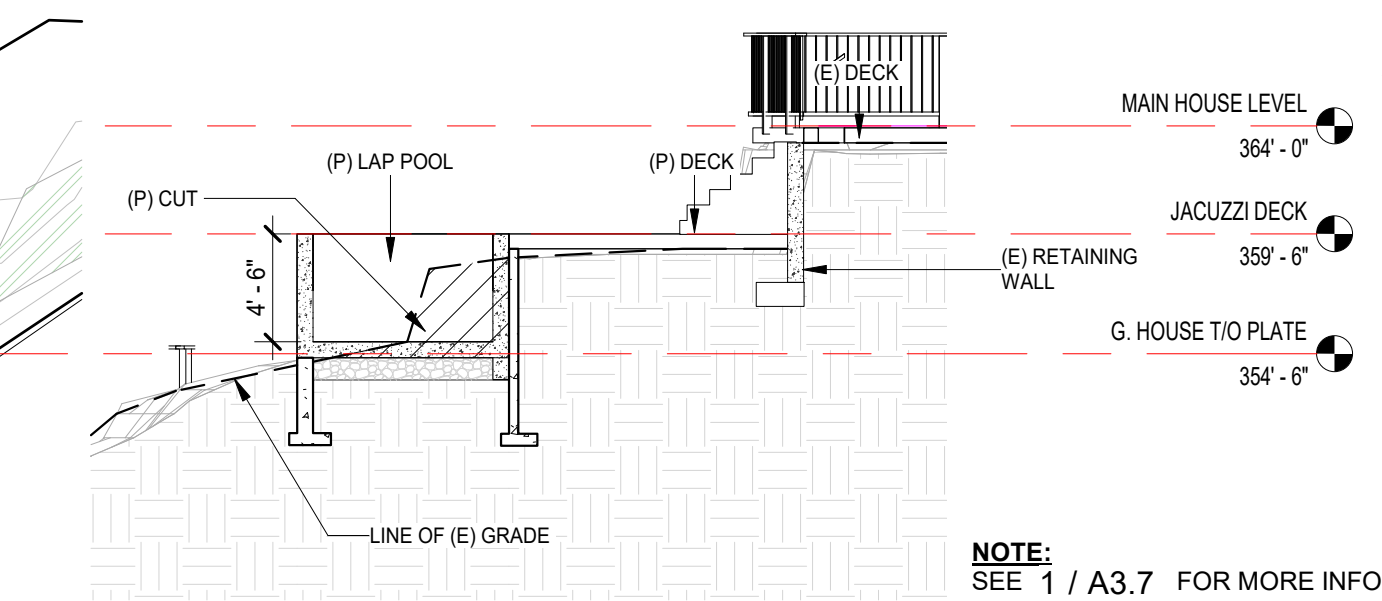
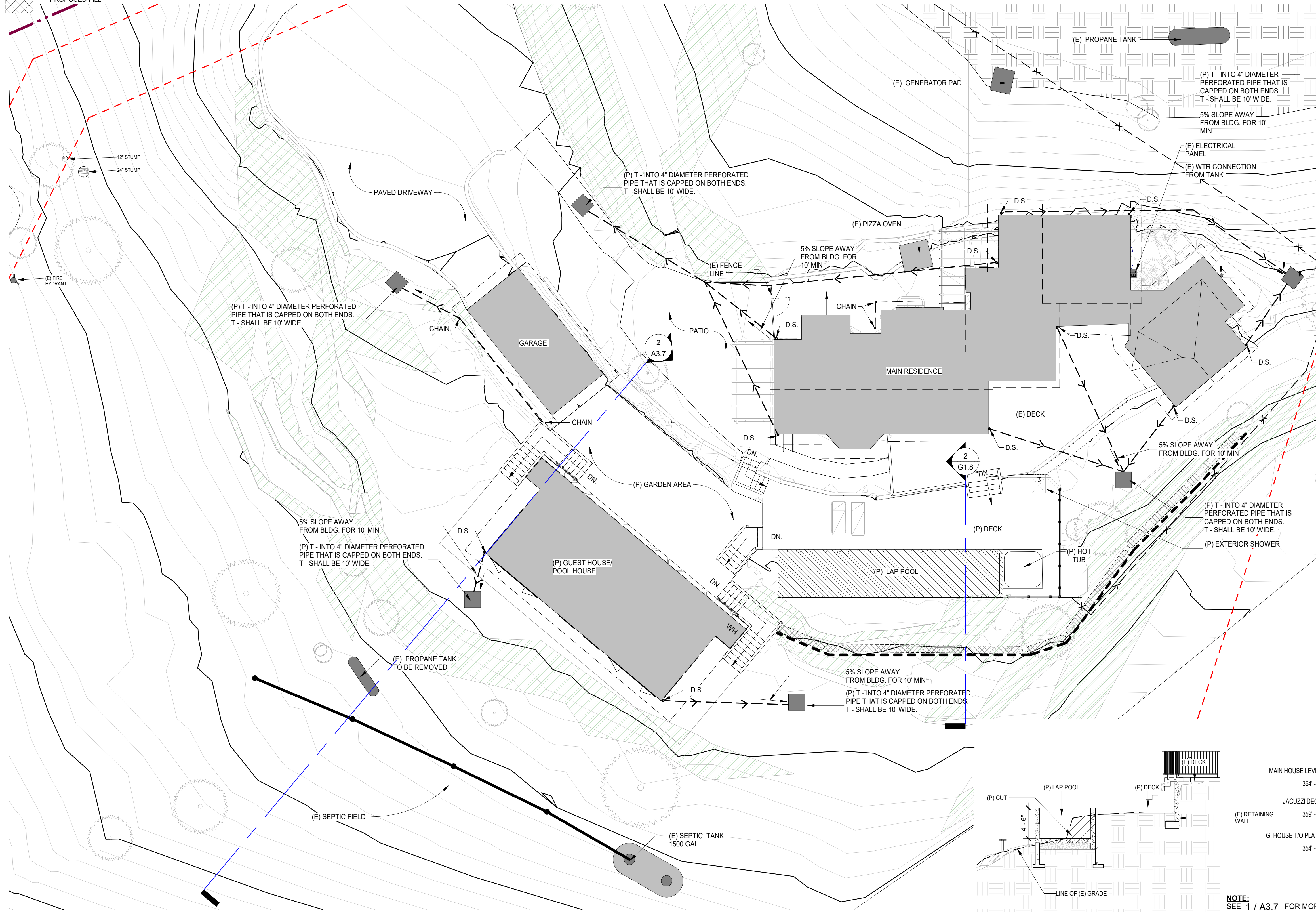
GRADING CUT	24.00	CU.YDS.
GRADING FILL	61.40	CU.YDS.
GRADING NET	37.40	CU.YDS.
ALL CUT TO BE BALANCED ON SITE		

GEOTECHNICAL ENGINEER INSPECTION SCHEDULE

When the inspection is to be completed	Who will conduct the inspection	Description of the required inspection	Name	Date
Pre-Construction Meeting	Geotechnical Engineer			
Completion of Over-Excavation	Geotechnical Engineer	Observation and testing		
Placement of Fill	Geotechnical Engineer	Observation and testing		

GRADING NOTES

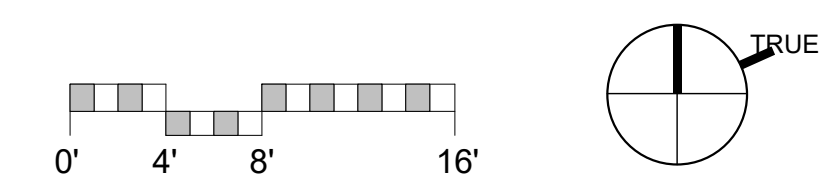
- ISSUANCE OF A BUILDING PERMIT BY THE COUNTY OF MONTEREY DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. THE CONTRACTOR SHOULD CONTACT THE COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- PRIOR TO PERFORMING ANY WORK IN THE COUNTY PUBLIC RIGHTS-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM PUBLIC WORKS.
- ALL WORK SHALL CONFORM TO SECTION 7.0. THE PROJECT GEOTECHNICAL REPORT PREPARED BY BUTANO GEOTECHNICAL ENGINEERING, INC. DATED SEPTEMBER 2020 AND SPECIAL REQUIREMENTS OF THE PERMIT.
- GRADING NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 7.2.4.
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING RIDGE TRAIL VIA HIGHWAY 1.
- 0 ESTIMATED NUMBER OF TRUCK TRIPS.
- APPROVED SHORING, DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
- CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE CHIEF BUILDING OFFICIAL.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED". GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL EROSION. (MCC 16.08.300 C-1)
- POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDINGS AND SLOPE AREAS.
- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEVED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. COUNTY BUILDING SERVICES MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY COUNTY BUILDING SERVICES.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOTECHNICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO COUNTY BUILDING SERVICES FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM COUNTY BUILDING SERVICES PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO COUNTY BUILDING SERVICES FOR APPROVAL.
- AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATION MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
- A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTOR.
- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, ARCHITECT, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- GEOTECHNICAL CERTIFICATION:** PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.



NOTE: SEE 1 / A3.7 FOR MORE INFORMATION

1 GRADING / SLOPE / DRAINAGE PLAN
1" = 10'-0"

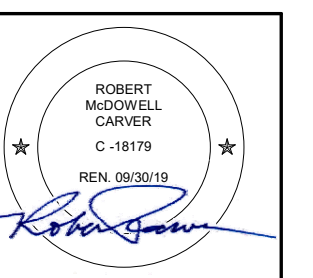
2 GRADING CROSS SECTION
1/8" = 1'-0"



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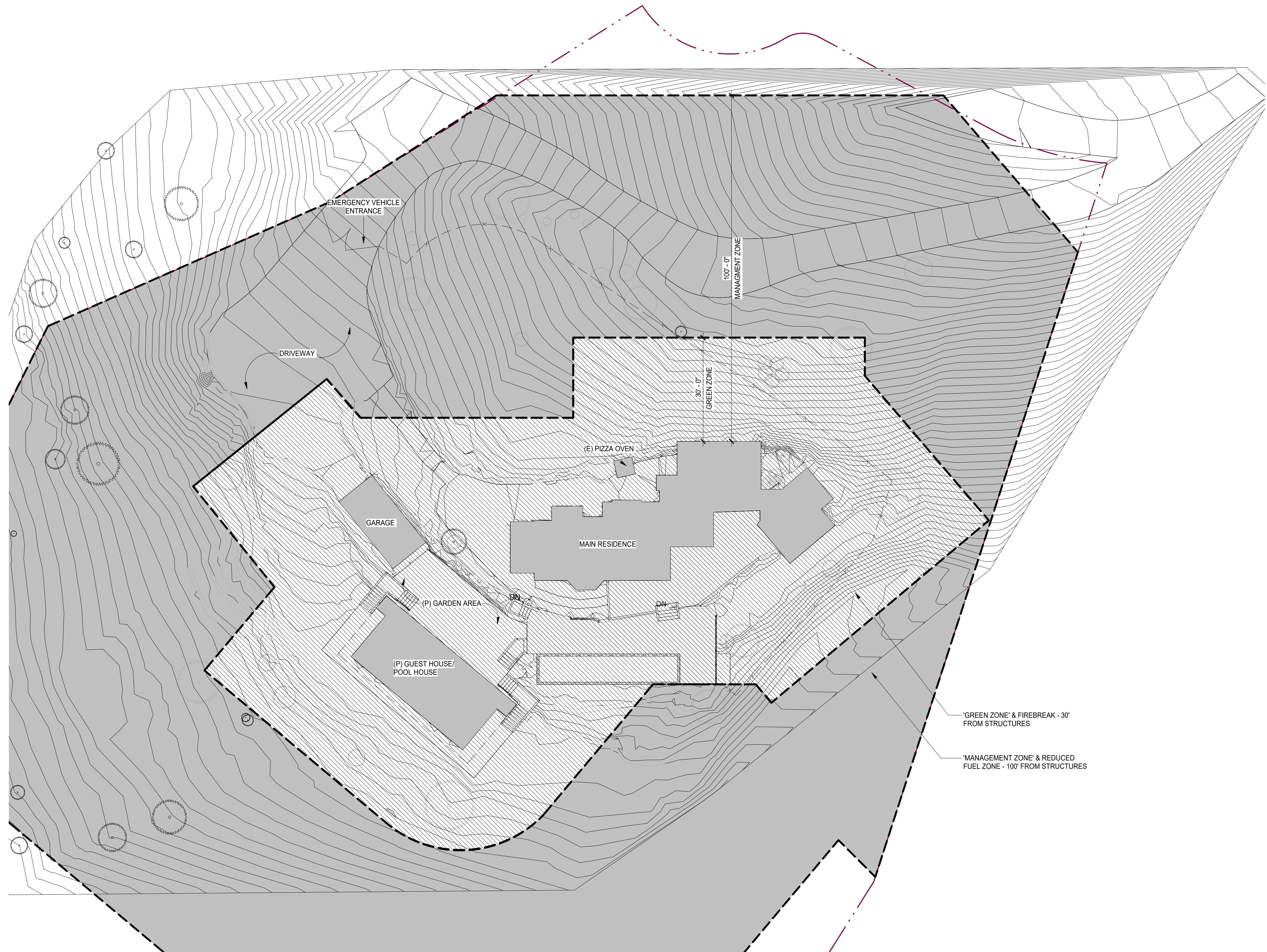
ARCHITECTURAL GRADING/SLOPE MAP & DRAINAGE PLAN

Scale: As indicated @ 24x36
Drawn By: MBI/JP
Job: 2006

G1.8
06/10/2021

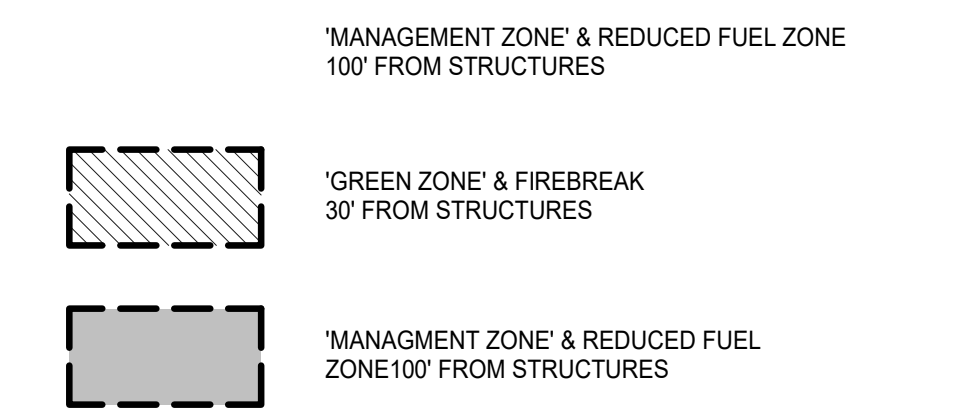
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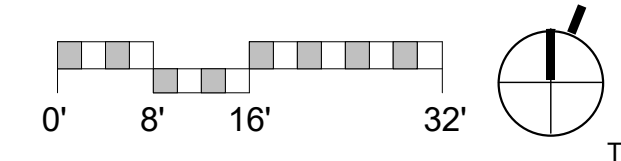


DEFENSIBLE SPACE GUIDELINES

1. MAINTAIN A FIREBREAK BY REMOVING AND CLEARING AWAY ALL FLAMMABLE VEGETATION AND OTHER COMBUSTIBLE GROWTH WITHIN 30 FEET OF EACH BUILDING OR STRUCTURE, WITH CERTAIN EXCEPTIONS PURSUANT TO PRC §4291(A). SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL- SPACED, WELL- PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
 2. DEAD AND DYING WOODY SURFACE FUELS AND AERIAL FUELS WITHIN THE REDUCED FUEL ZONE SHALL BE REMOVED. LOOSE SURFACE LITTER, NORMALLY CONSISTING OF FALLEN LEAVES OR NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES, SHALL BE PERMITTED TO A DEPTH OF 3 INCHES. THIS GUIDELINE IS PRIMARILY INTENDED TO ELIMINATE TREES, BUSHES, SHRUBS AND SURFACE DEBRIS THAT ARE COMPLETELY DEAD OR WITH SUBSTANTIAL AMOUNTS OF DEAD BRANCHES OR LEAVES/NEEDLES THAT WOULD READILY BURN.
 3. DOWN LOGS OR STUMPS ANYWHERE WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE, WHEN EMBEDDED IN THE SOIL, MAY BE RETAINED WHEN ISOLATED FROM OTHER VEGETATION. OCCASIONAL (APPROXIMATELY ONE PER ACRE) STANDING DEAD TREES (SNAGS) THAT ARE WELL-SPACE FROM OTHER VEGETATION AND WHICH WILL NOT FALL ON BUILDINGS OR STRUCTURES OR ON ROADWAYS/DRIVEWAYS MAY BE RETAINED.
 4. WITHIN THE REDUCED FUEL ZONE, ONE OF THE FOLLOWING FUEL TREATMENTS (4A. OR 4B.) SHALL BE IMPLEMENTED. PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER CLEARING TREATMENTS. COMBINATIONS OF THE METHODS MAY BE ACCEPTABLE UNDER §1299(C) AS LONG AS THE INTENT OF THESE GUIDELINES IS MET.
 - 4A. REDUCED FUEL ZONE: FUEL SEPARATION**
 - 5. IN CONJUNCTION WITH GENERAL GUIDELINES 1, 2, AND 3, ABOVE, MINIMUM CLEARANCE BETWEEN FUELS SURROUNDING EACH BUILDING OR STRUCTURE WILL RANGE FROM 4 FEET TO 40 FEET IN ALL DIRECTIONS, BOTH HORIZONTALLY AND VERTICALLY.
 - 6. CLEARANCE DISTANCES BETWEEN VEGETATION WILL DEPEND ON THE SLOPE, VEGETATION SIZE, VEGETATION TYPE (BRUSH, GRASS, TREES), AND OTHER FUEL CHARACTERISTICS (FUEL COMPACTION, CHEMICAL CONTENT ETC.). PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER SEPARATION.
 - 7. GRASS GENERALLY SHOULD NOT EXCEED 4 INCHES IN HEIGHT. HOWEVER, HOMEOWNERS MAY KEEP GRASS AND OTHER FORBS LESS THAN 18 INCHES IN HEIGHT ABOVE THE GROUND WHEN THESE GRASSES ARE ISOLATED FROM OTHER FUELS OR WHERE NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.
 - 8. CLEARANCE REQUIREMENTS INCLUDE:
 - A. HORIZONTAL CLEARANCE BETWEEN AERIAL FUELS, SUCH AS THE OUTSIDE EDGE OF THE TREE CROWNS OR HIGH BRUSH, HORIZONTAL CLEARANCE HELPS STOP THE SPREAD OF FIRE FROM ONE FUEL TO THE NEXT.
 - B. VERTICAL CLEARANCE BETWEEN LOWER LIMBS OF AERIAL FUELS AND THE NEAREST SURFACE FUELS AND GRASS/WEEDS. VERTICAL CLEARANCE REMOVES LADDER FUELS AND HELPS PREVENT A FIRE FROM MOVING FROM THE SHORTER FUELS TO THE TALLER FUELS.
 - 4B. REDUCED FUEL ZONE: DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY**
 - 1. TO ACHIEVE DEFENSIBLE SPACE WHILE RETAINING A STAND OF LARGER TREES WITH A CONTINUOUS TREE CANOPY APPLY THE FOLLOWING TREATMENTS:
 - 2. GENERALLY, REMOVE ALL SURFACE FUELS GREATER THAN 4 INCHES IN HEIGHT. SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL-SPACED, WELL-PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
 - 3. REMOVE LOWER LIMBS OF TREES ("PRUNE") TO AT LEAST 6 FEET UP TO 15 FEET (OR THE LOWER 1/3 BRANCHES FOR SMALL TREES). PROPERTIES WITH GREATER FIRE HAZARDS, SUCH AS STEEPER SLOPES OR MORE SEVERE FIRE DANGER, WILL REQUIRE PRUNING HEIGHTS IN THE UPPER END OF THIS RANGE.
- DEFENSIBLE SPACE: REDUCED FUEL ZONE**
4. 30 FT. REDUCED FUEL ZONE.
 5. 30 FT. TO 100 FT.
 6. BETWEEN FUELS. FOR EXAMPLE, PROPERTIES ON STEEP SLOPES HAVING LARGE SIZED VEGETATION WILL REQUIRE GREATER SPACING BETWEEN INDIVIDUAL TREES AND BUSHES (SEE PLANT SPACING GUIDELINES AND CASE EXAMPLES BELOW). GROUPS OF VEGETATION (NUMEROUS PLANTS GROWING TOGETHER LESS THAN 10 FEET IN TOTAL FOLIAGE WIDTH) MAY BE TREATED AS A SINGLE PLANT. FOR EXAMPLE, THREE INDIVIDUAL MANZANITA PLANTS GROWING TOGETHER WITH A TOTAL FOLIAGE WIDTH OF EIGHT FEET CAN BE "GROUPED" AND CONSIDERED AS ONE PLANT AND SPACED ACCORDING TO THE PLANT SPACING GUIDELINES IN THIS DOCUMENT.
- ALL ROOFS TO BE CLASS A RATED ASSEMBLIES
 ALL EXTERIOR WALLS TO HAVE FIRE RESISTIVE FINISH
 ALL EXTERIOR WINDOWS TO BE DOUBLE PANE OR TEMPERED GLASS



1 FUEL MANAGEMENT PLAN
 1/16" = 1'-0"



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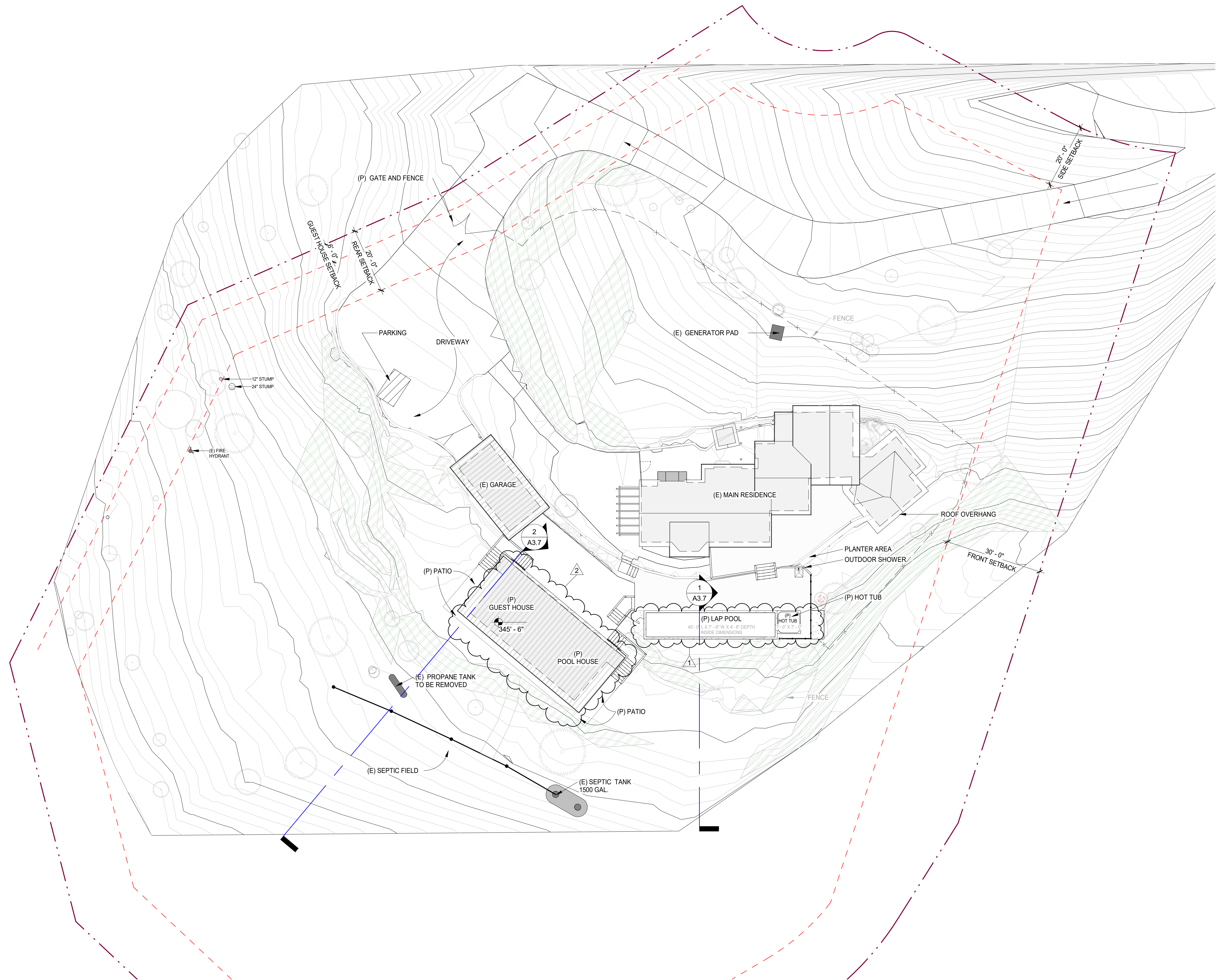
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ARCHITECTURAL
 FUEL
 MANAGEMENT
 PLAN

Scale: As indicated
 @ 24x36
 Drawn By: DP
 Job: 2006

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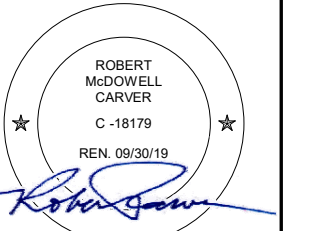


GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD THAT SHALL NOT EXCEED 1-1/2" IN HEIGHT.
4. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: *STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED*.

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- 1 03/18/2021 TREE REMOVAL AND POOL
- 2 04/27/2021 (N) GUEST HOUSE/POOL HOUSE

ARCHITECTURAL
(P) SITE PLAN

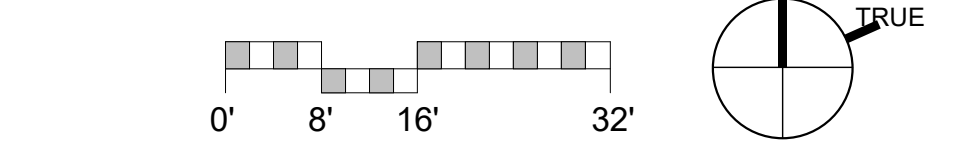
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Job: 2006

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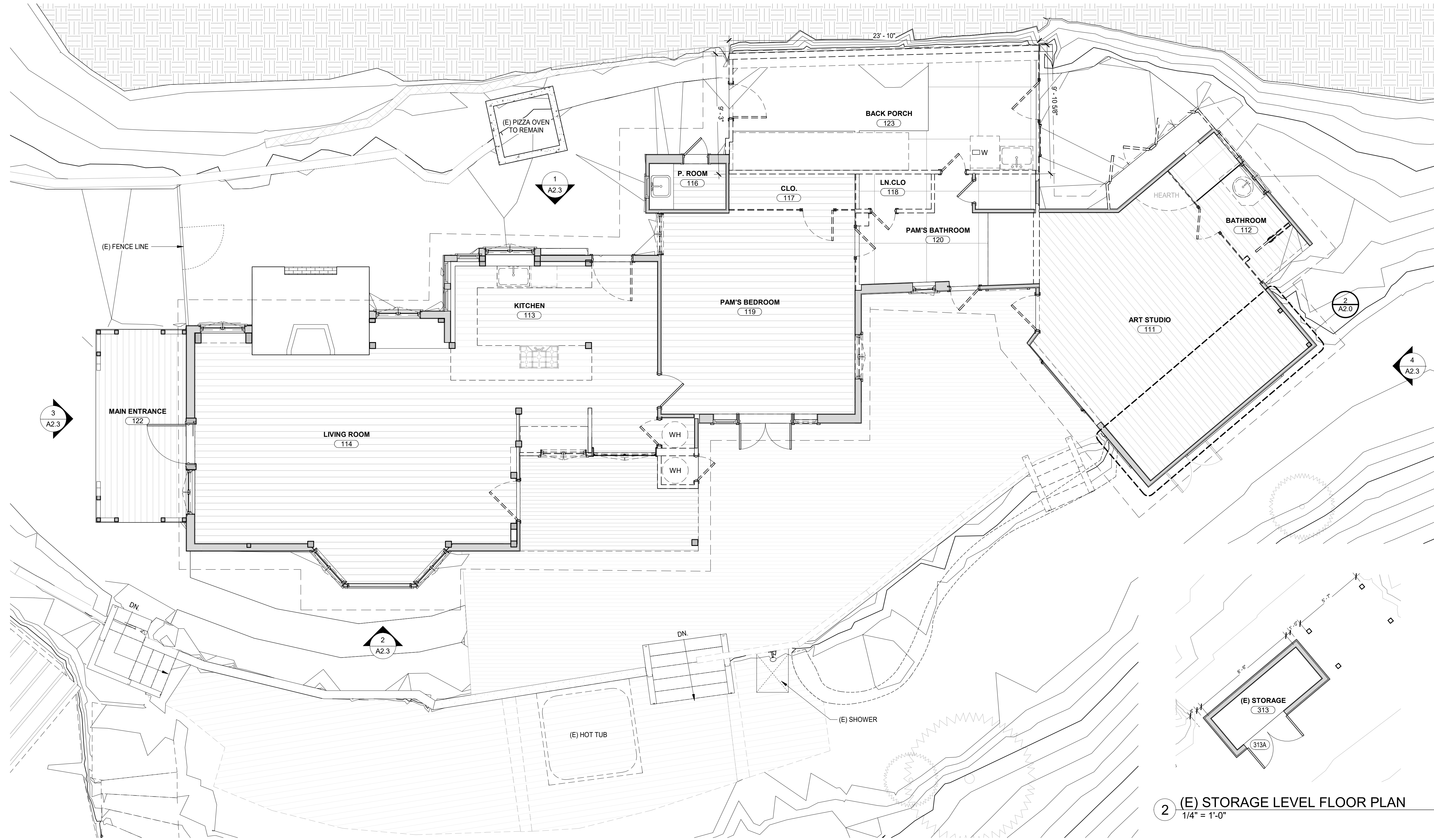
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1 (P) SITE PLAN
1/16" = 1'-0"



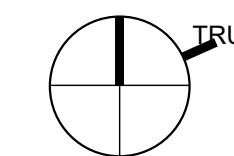
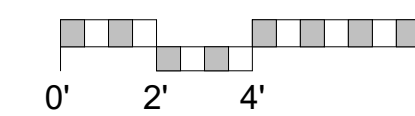
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1 (E) / DEMO MAIN RESIDENCE FLOOR PLAN
1/4" = 1'-0"

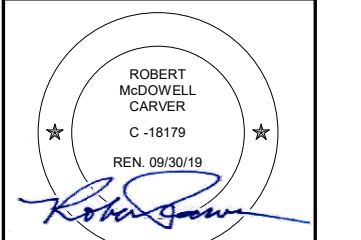
2 (E) STORAGE LEVEL FLOOR PLAN
1/4" = 1'-0"



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RESIDENCE
FLOOR PLAN

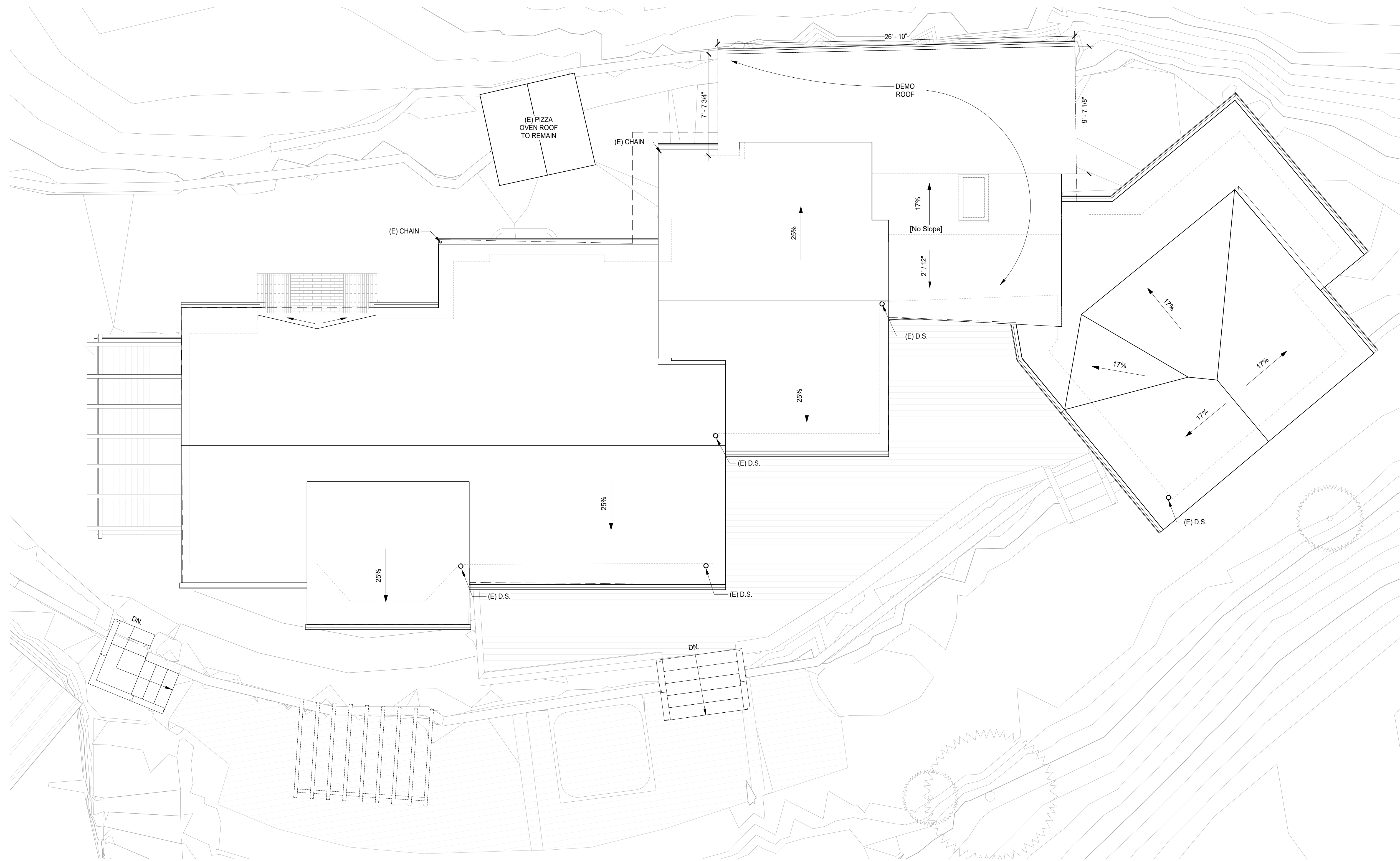
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@ 24x36
Drawn By: DP/MB
Job: 2006

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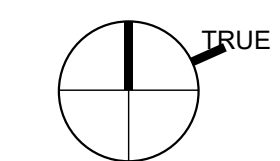
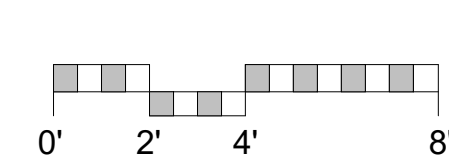
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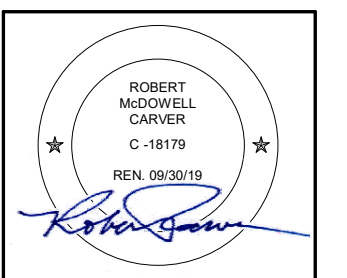
1 (E) / DEMO MAIN RESIDENCE ROOF PLAN
1/4" = 1'-0"



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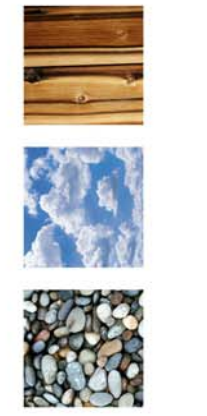
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@ 24x36
Drawn By: MB/JP
Job: 2006

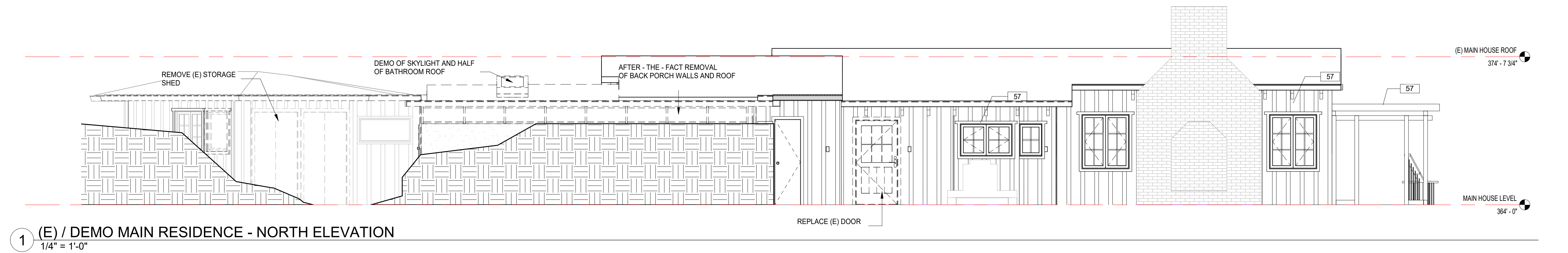
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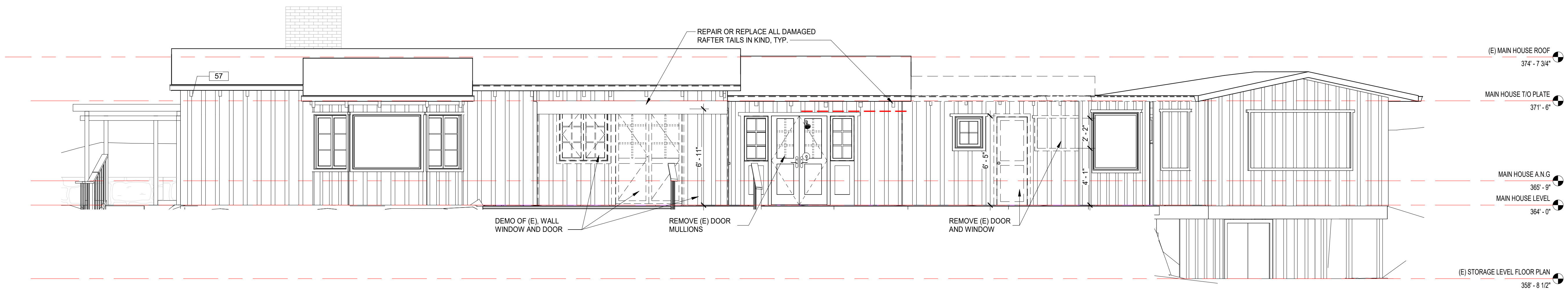
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KEYNOTE LEGEND

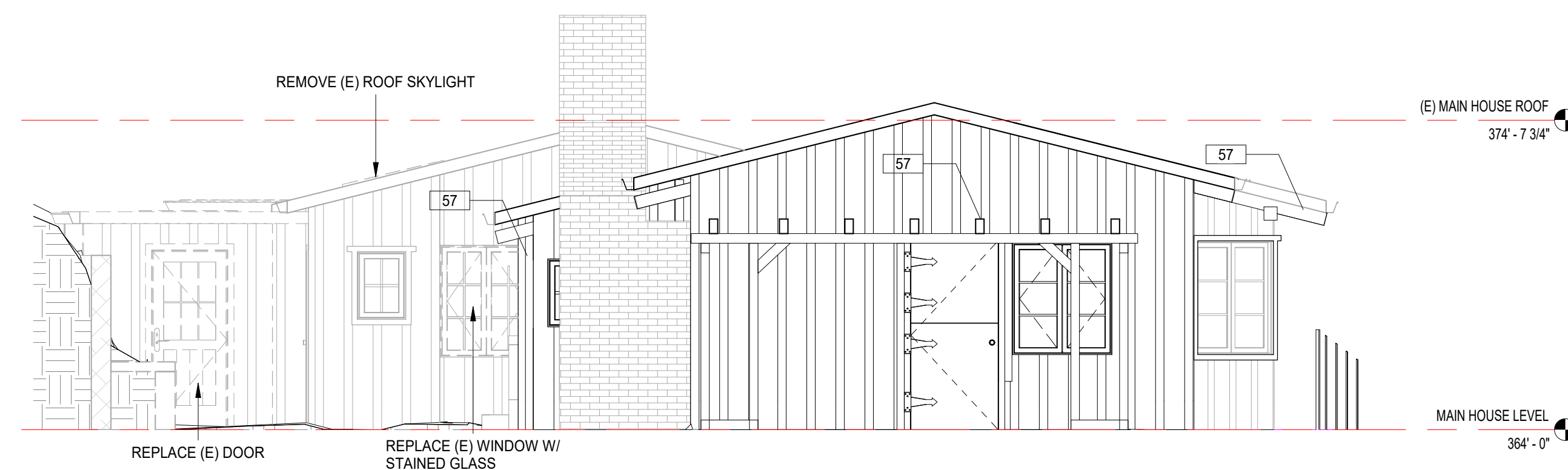
57 REPAIR EXTERIOR WOOD DAMAGE (BEAMS, RAFTERS, & SIDING) OR REPLACE IN KIND



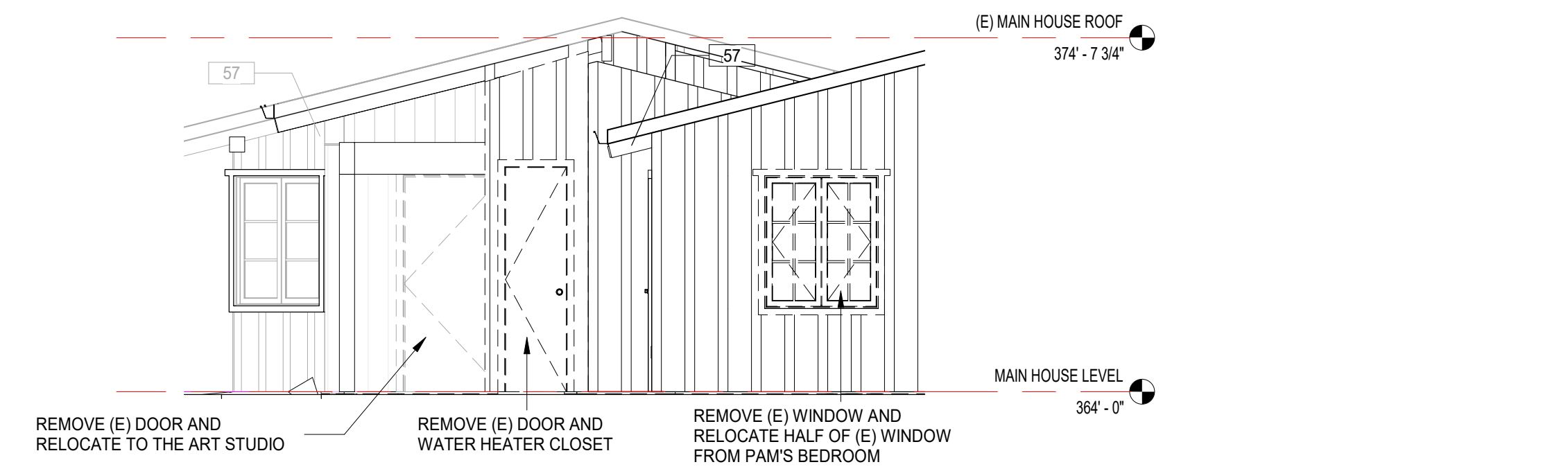
1 (E) / DEMO MAIN RESIDENCE - NORTH ELEVATION
1/4" = 1'-0"



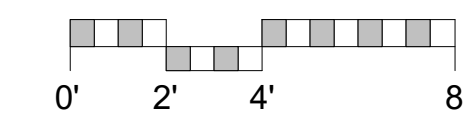
2 (E) / DEMO MAIN RESIDENCE - SOUTH ELEVATION
1/4" = 1'-0"



3 (E) / DEMO MAIN RESIDENCE - WEST ELEVATION
1/4" = 1'-0"



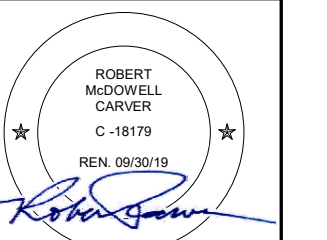
4 (E) / DEMO MAIN RESIDENCE - EAST ELEVATION
1/4" = 1'-0"



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ARCHITECTURAL
(E) / DEMO MAIN
RESIDENCE
ELEVATIONS

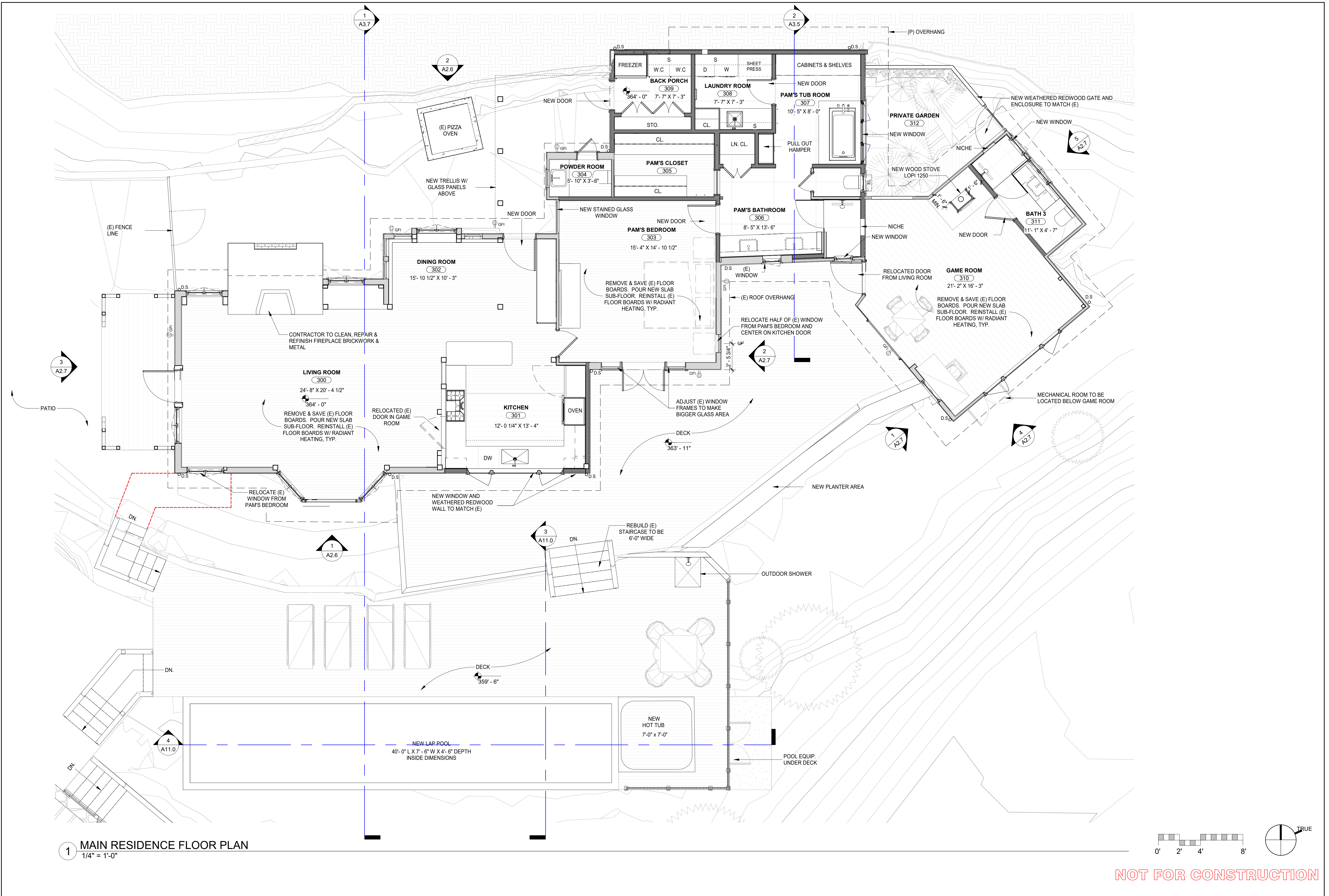
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@ 24x36
Drawn By: MB/JP
Job: 2006

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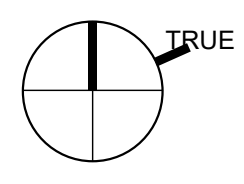
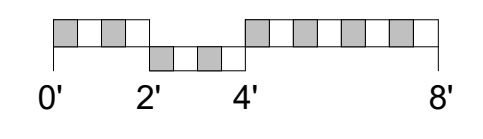
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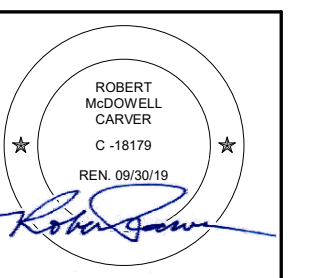
1 MAIN RESIDENCE FLOOR PLAN
1/4" = 1'-0"



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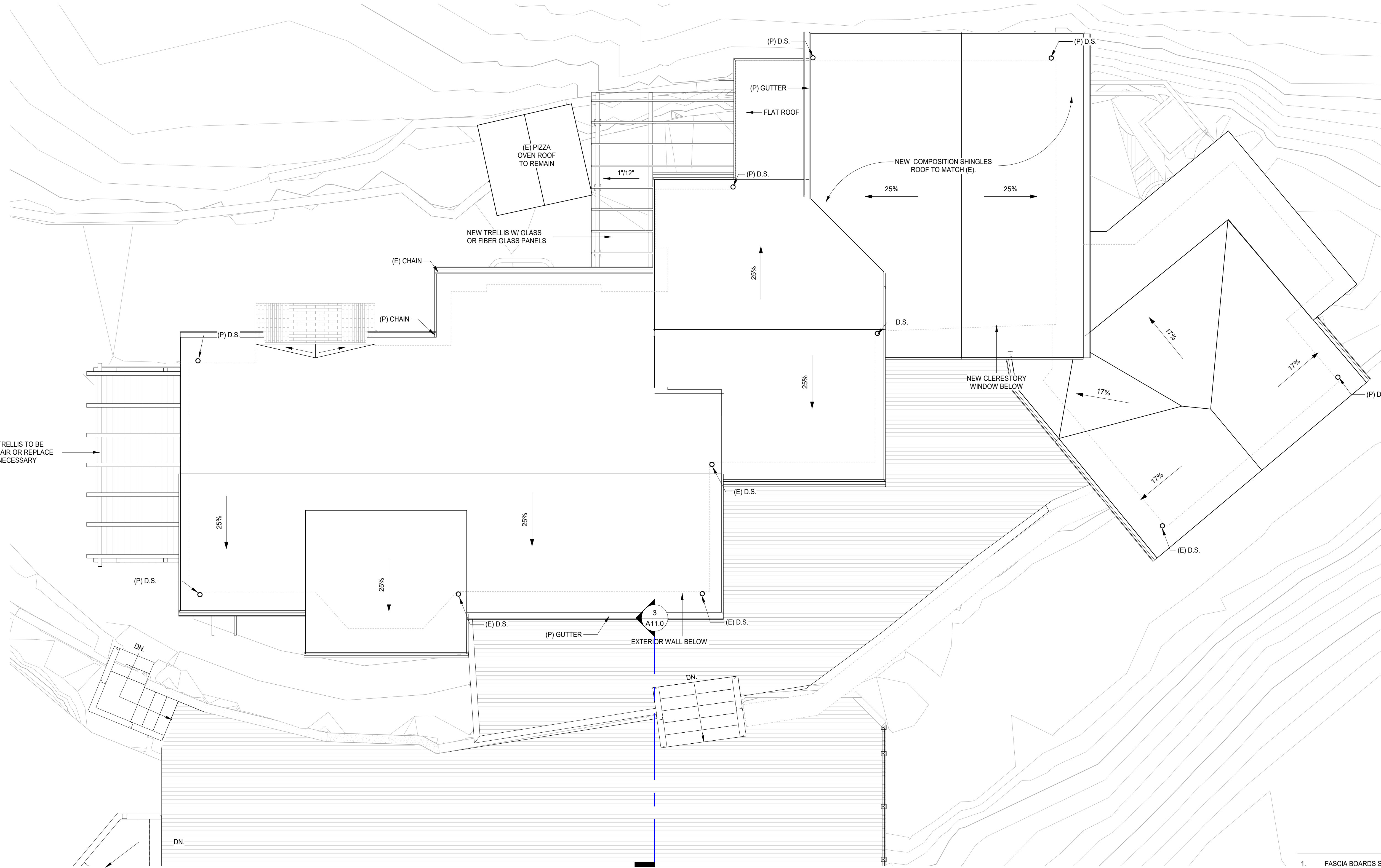
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ARCHITECTURAL
(P) MAIN
RESIDENCE
FLOOR PLAN

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB
Job: 2006

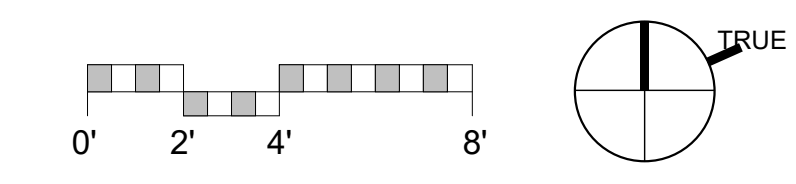
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1 MAIN RESIDENCE ROOF PLAN
1/4" = 1'-0"

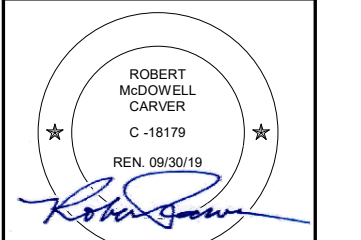
- ROOF NOTES**
1. FASCIA BOARDS SHALL BE MINIMUM 2" NOMINAL THICKNESS.
 2. ALL FLASHING, SHEET METAL, VENT STACKS, AND PIPES SHALL BE COPPER.
 3. PIPES AND VENTS SHALL BE COMBINED FOR MINIMUM ROOF PENETRATIONS. PENETRATIONS SHALL KEPT TO NORTH SIDE OF ROOF WHERE LEAST VISIBLE.
 4. ALL ROOF ASSEMBLIES TO BE CLASS A FIRE RATED



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ROOF PLAN

Scale: As indicated
@ 24x36
Drawn By: MBI/JP
Job: 2006

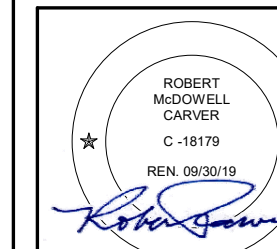
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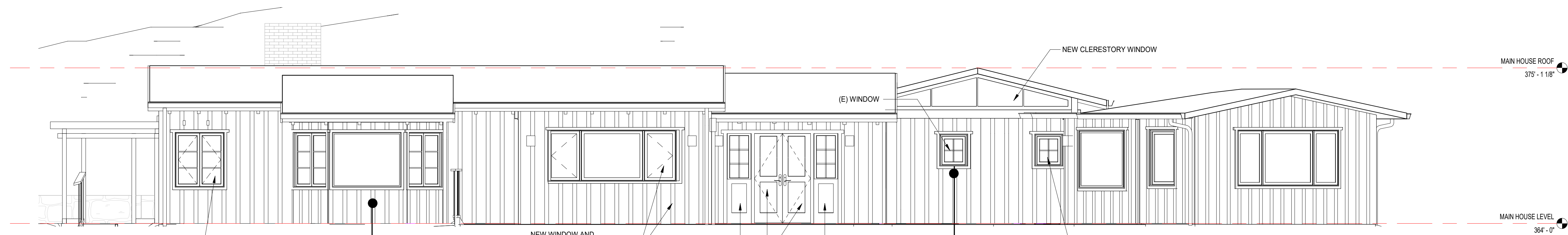
ARCHITECTURAL
(P) MAIN
RESIDENCE
EXTERIOR
ELEVATIONS

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

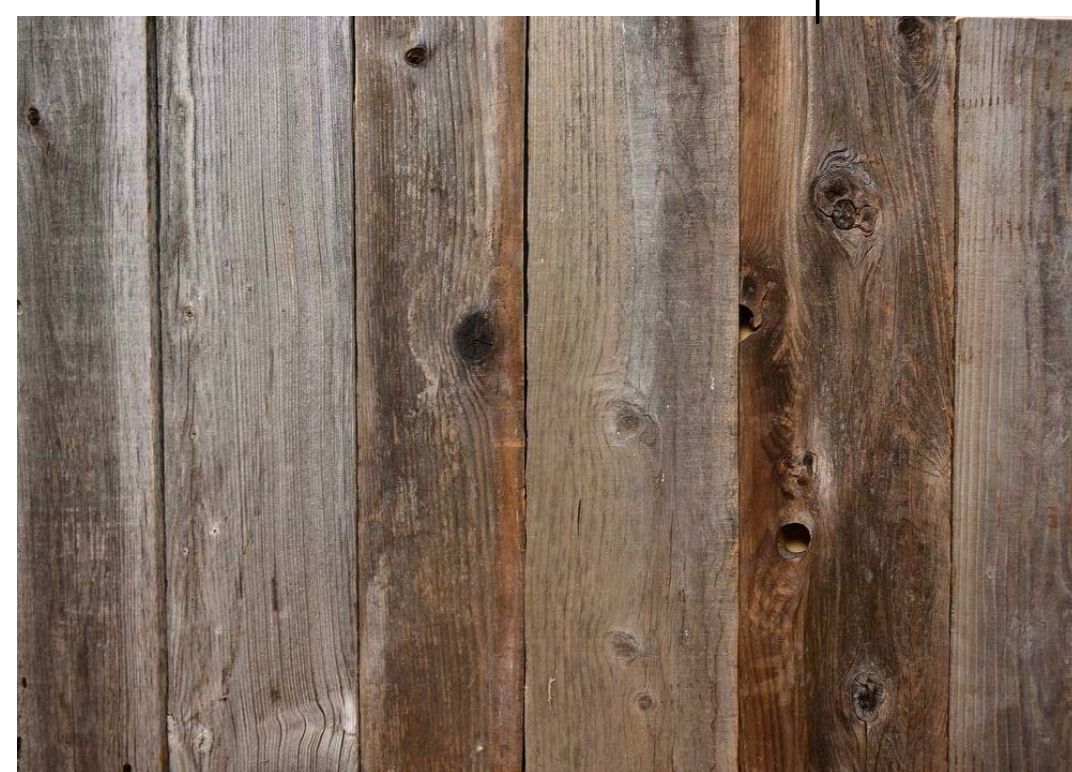
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1 MAIN RESIDENCE - SOUTH ELEVATION
1/4" = 1'-0"



WEATHERED REDWOOD



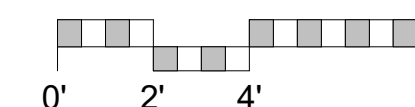
COMPOSITION SHINGLES



REDWOOD WINDOWS AND DOORS

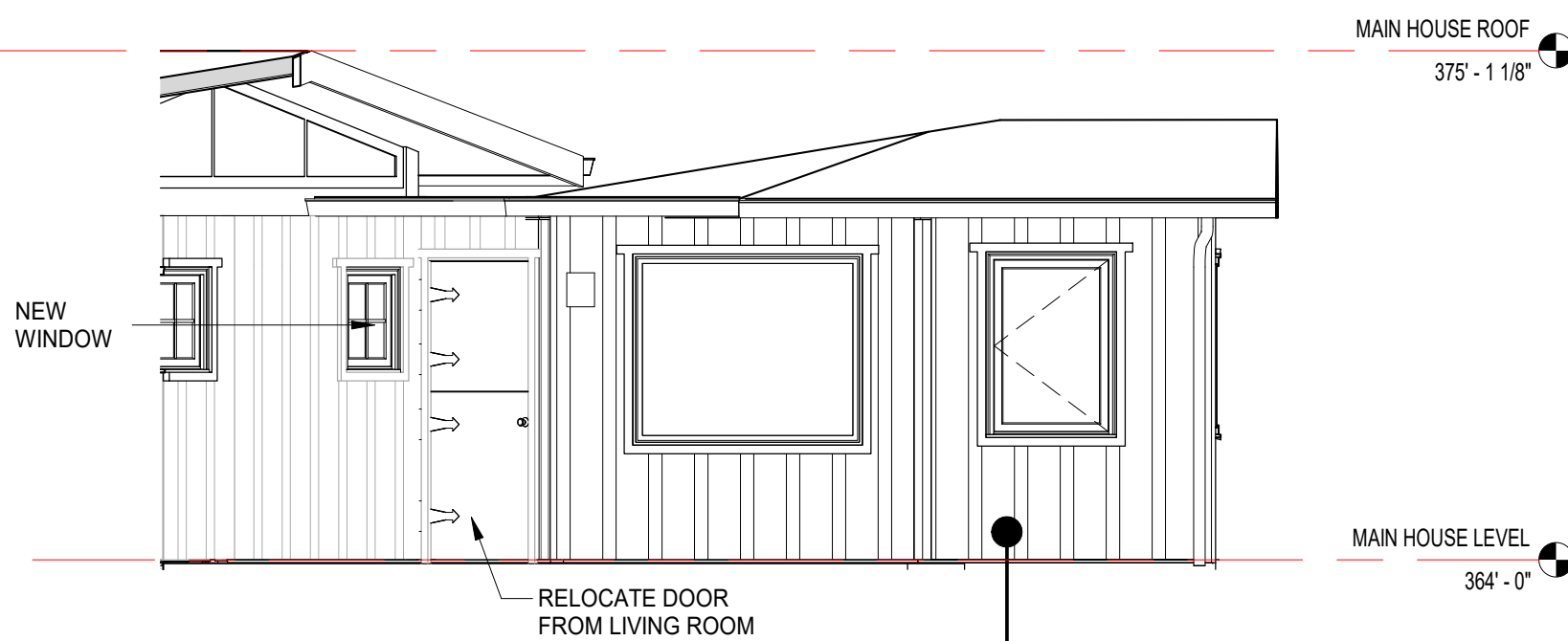


2 MAIN RESIDENCE - NORTH ELEVATION
1/4" = 1'-0"

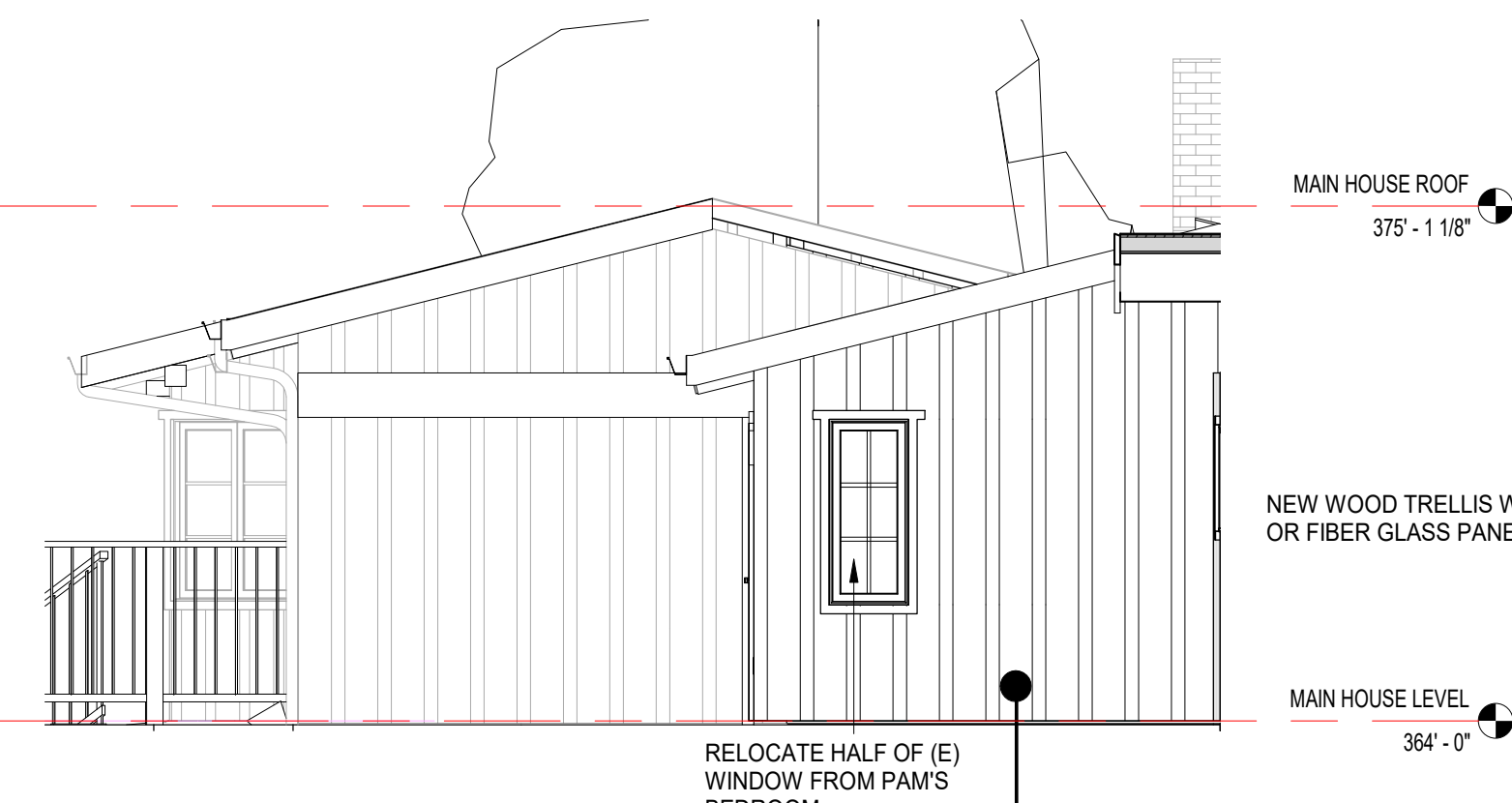


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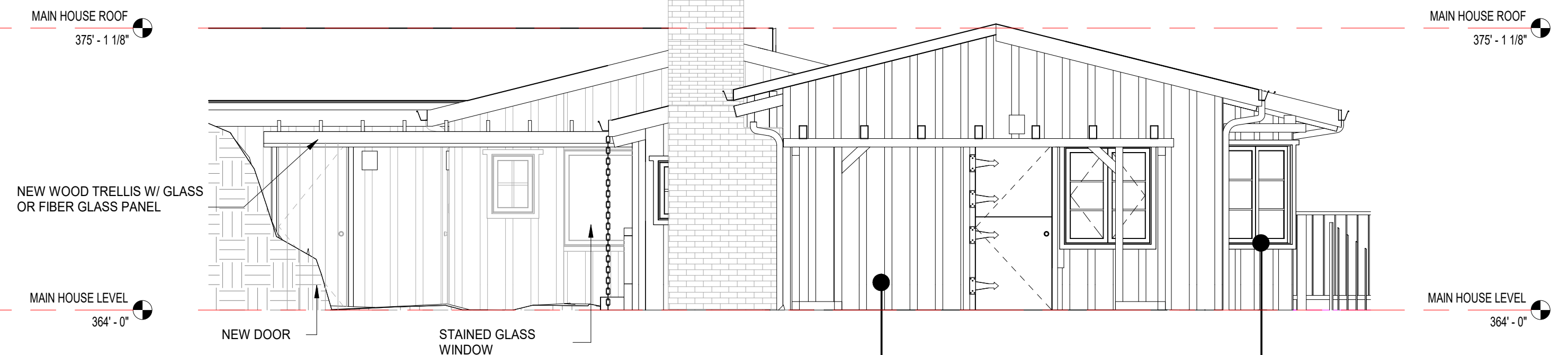
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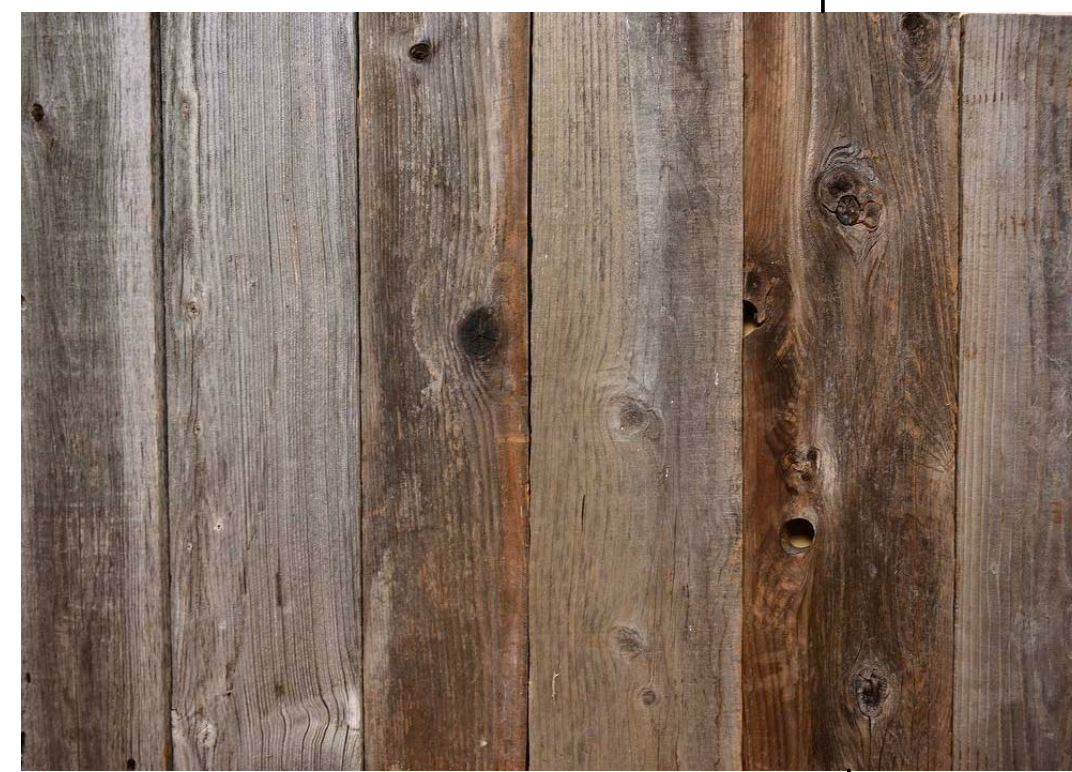
1 GAME ROOM - WEST ELEVATION
1/4" = 1'-0"



2 MAIN RESIDENCE - EAST ELEVATION
1/4" = 1'-0"



3 MAIN RESIDENCE - WEST ELEVATION
1/4" = 1'-0"



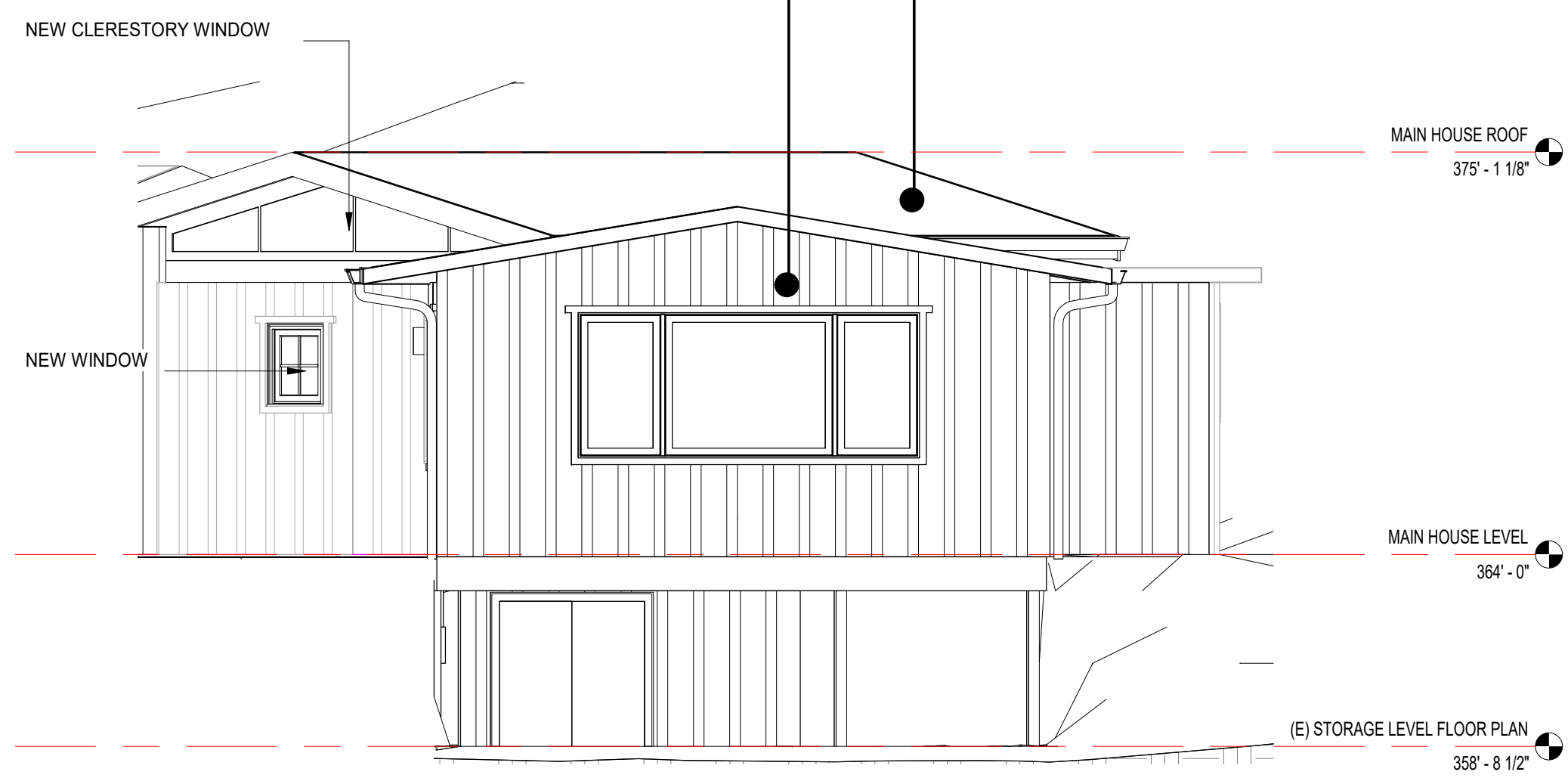
WEATHERED REDWOOD



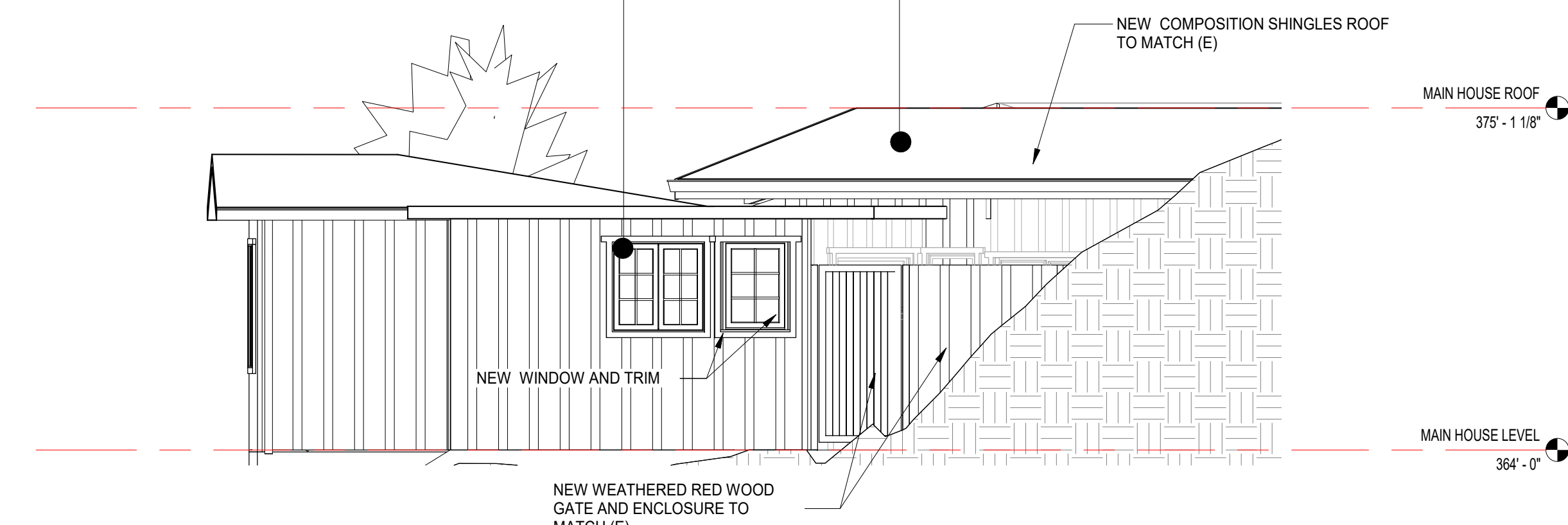
COMPOSITION SHINGLES



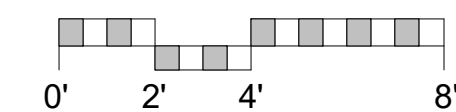
REDWOOD WINDOWS AND DOORS



4 GAME ROOM - SOUTH EAST ELEVATION
1/4" = 1'-0"



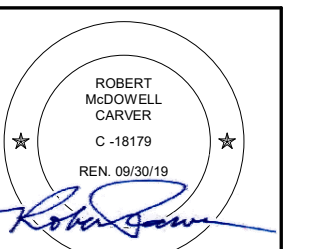
5 GAME ROOM - NORTH ELEVATION
1/4" = 1'-0"



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ARCHITECTURAL
(P) MAIN
RESIDENCE
EXTERIOR
ELEVATIONS

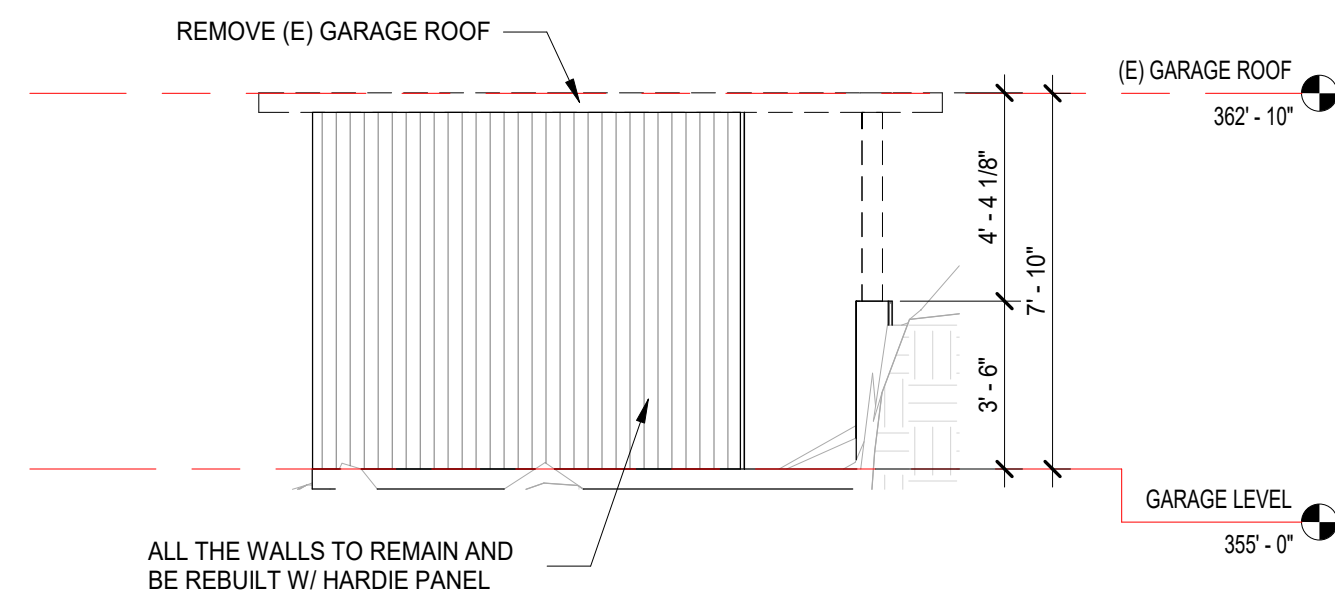
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A2.7

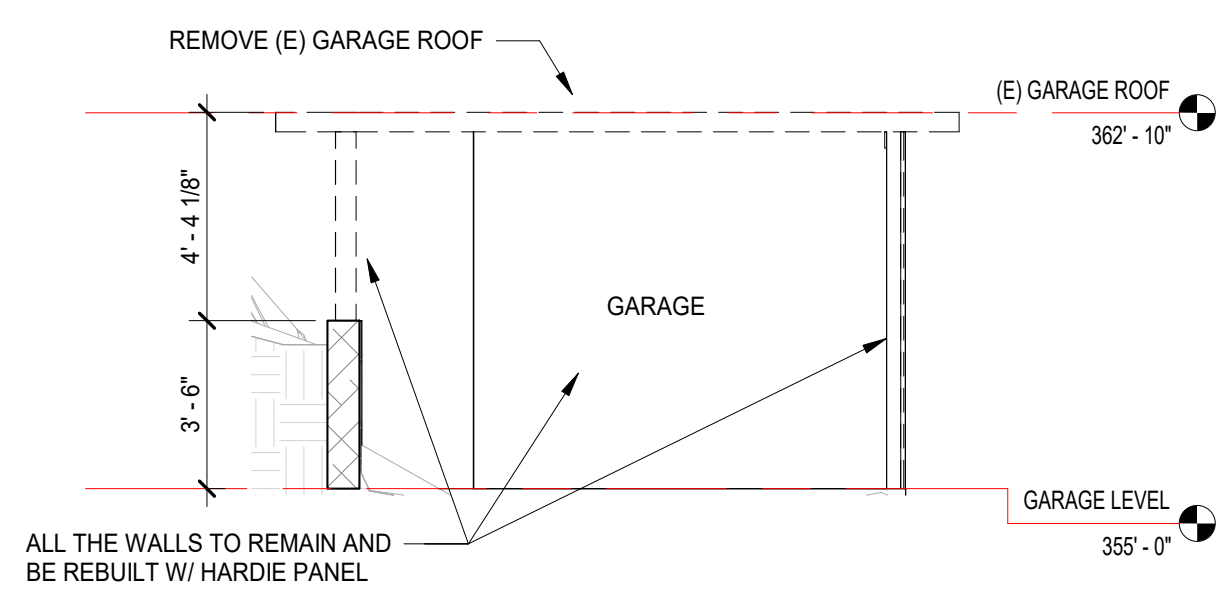
06/10/2021

6/11/2021 4:44:36 PM

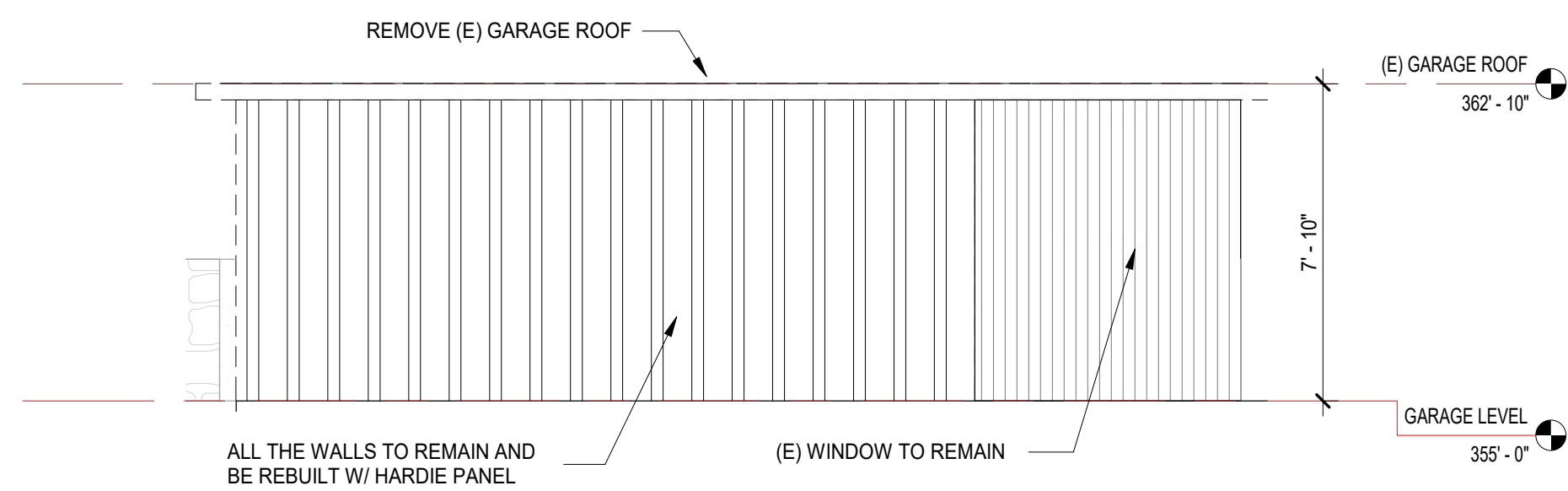
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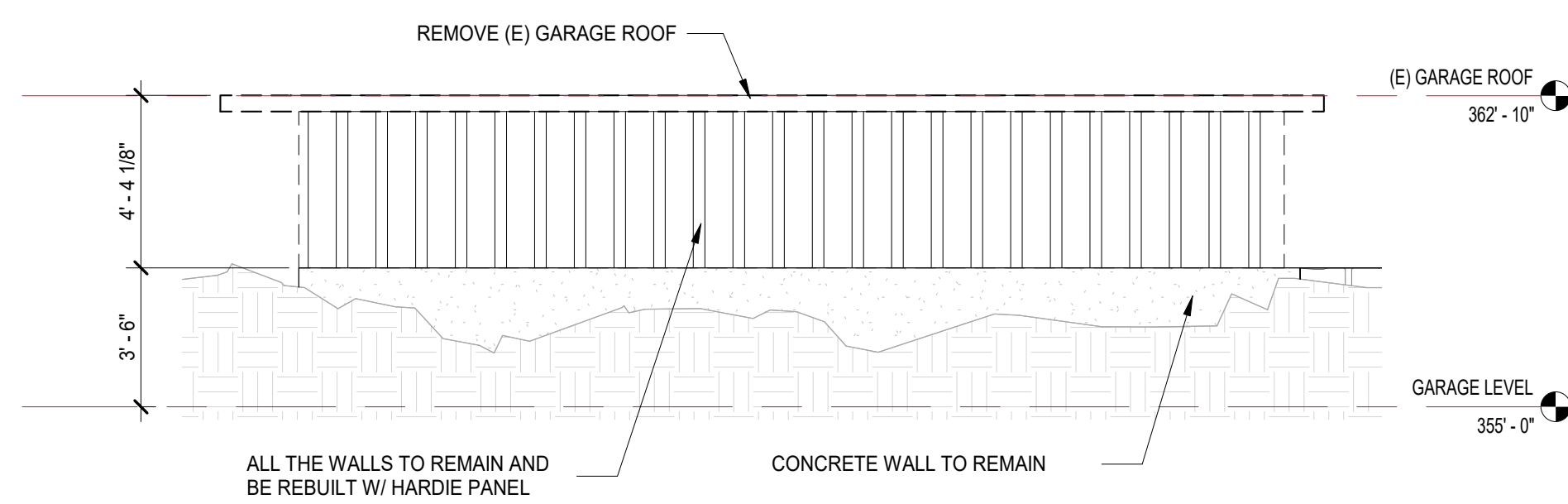
1 (E) GARAGE EAST ELEVATION
1/4" = 1'-0"



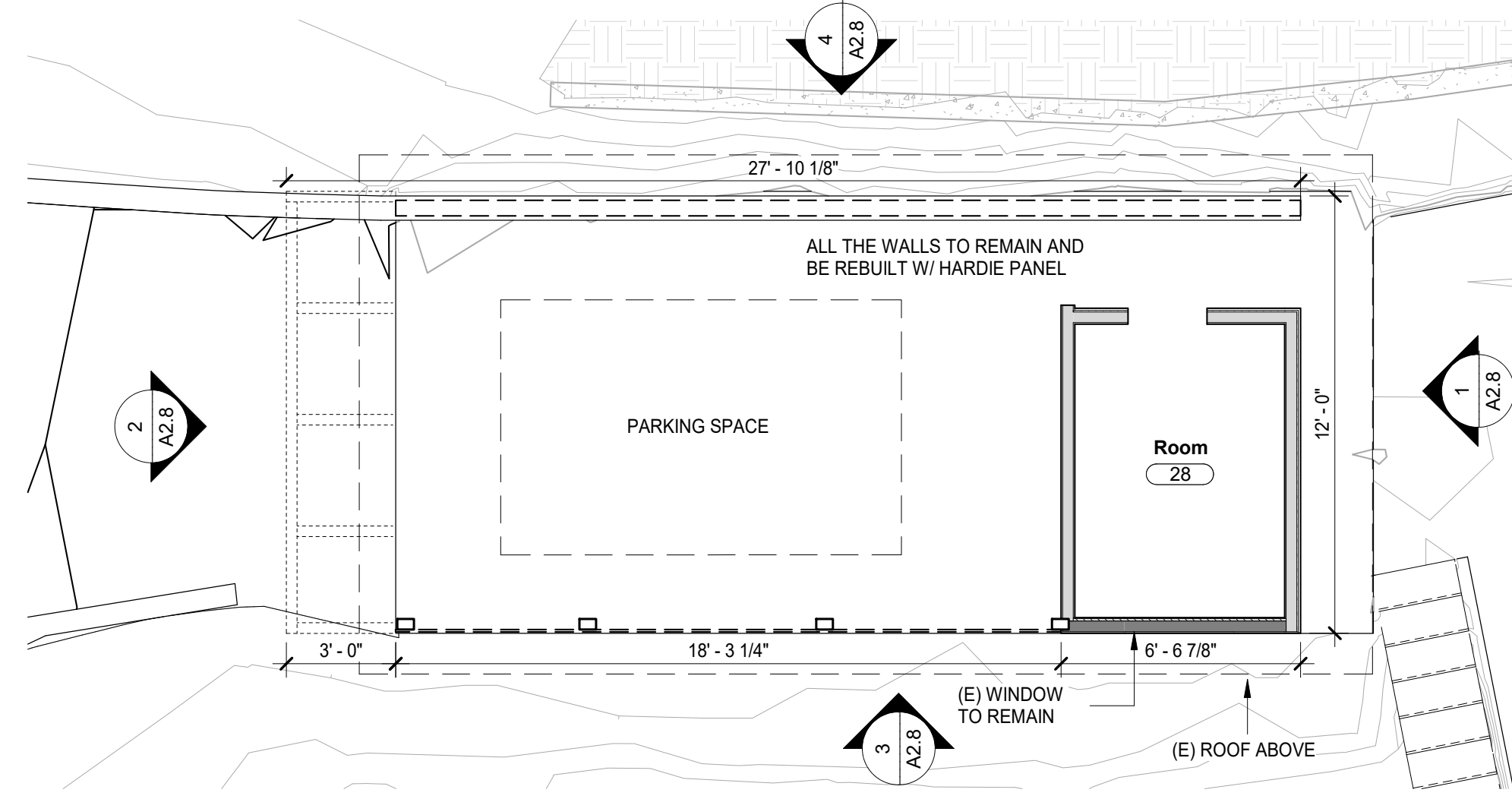
2 (E) GARAGE WEST ELEVATION
1/4" = 1'-0"



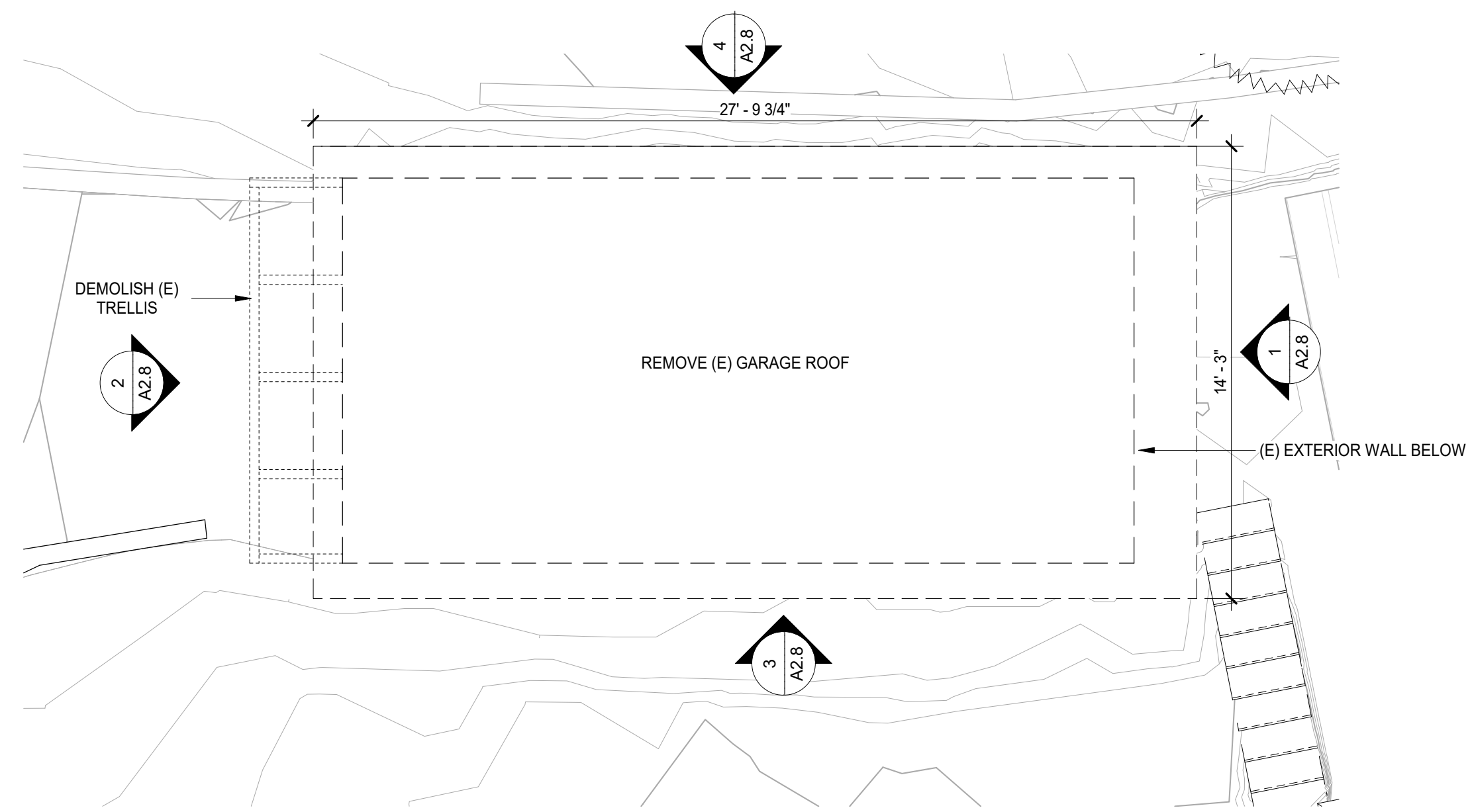
3 (E) GARAGE SOUTH ELEVATION
1/4" = 1'-0"



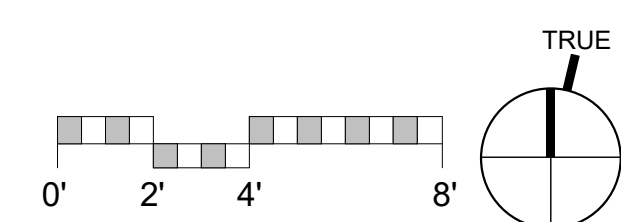
4 (E) GARAGE NORTH ELEVATION
1/4" = 1'-0"



5 (E) GARAGE FLOOR PLAN
1/4" = 1'-0"



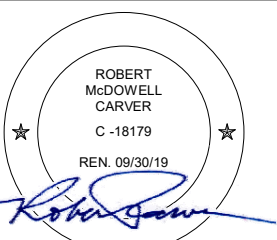
6 (E) GARAGE ROOF PLAN
1/4" = 1'-0"



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ARCHITECTURAL
(E) GARAGE
FLOOR, ROOF
PLANS &
ELEVATIONS

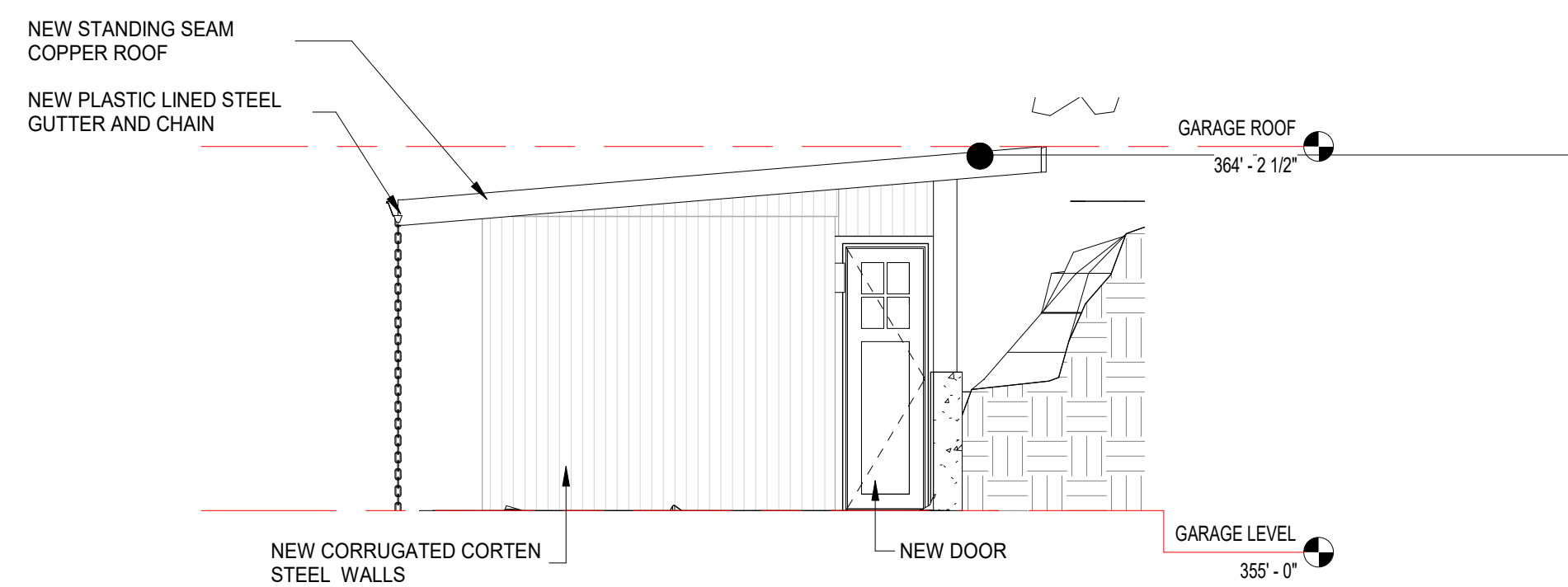
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MBI/JP
Job: 2006

A2.8

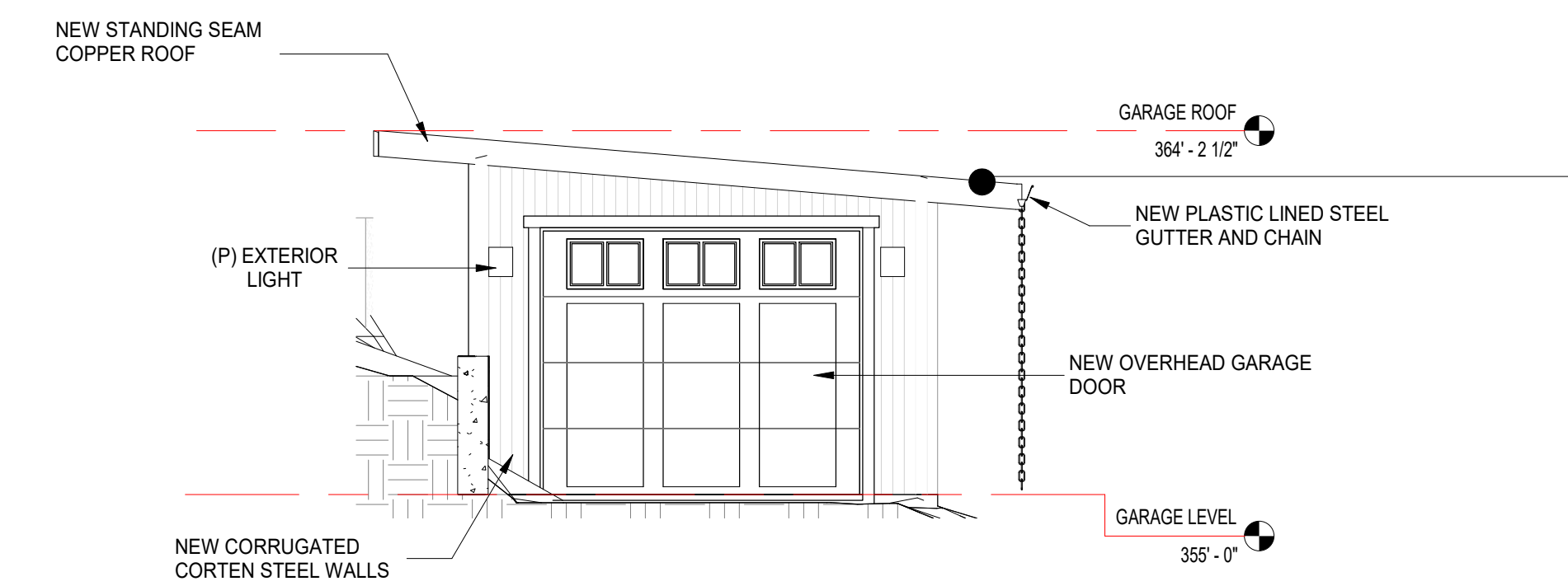
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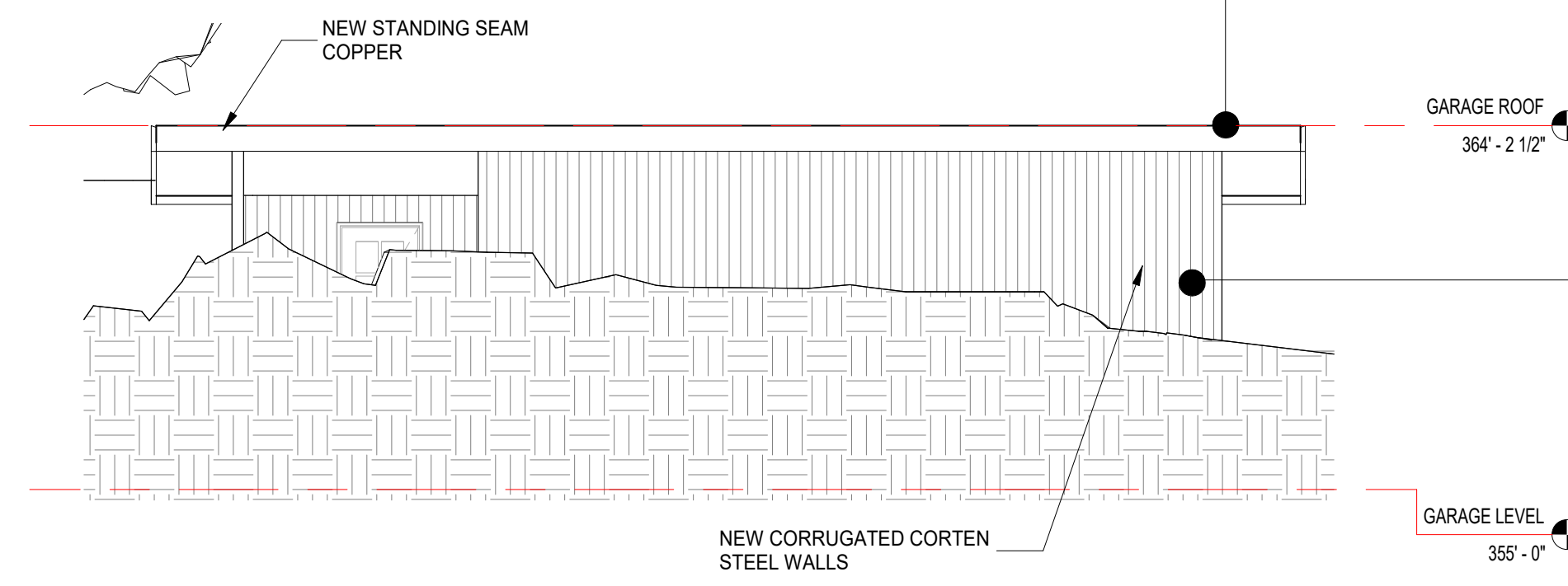
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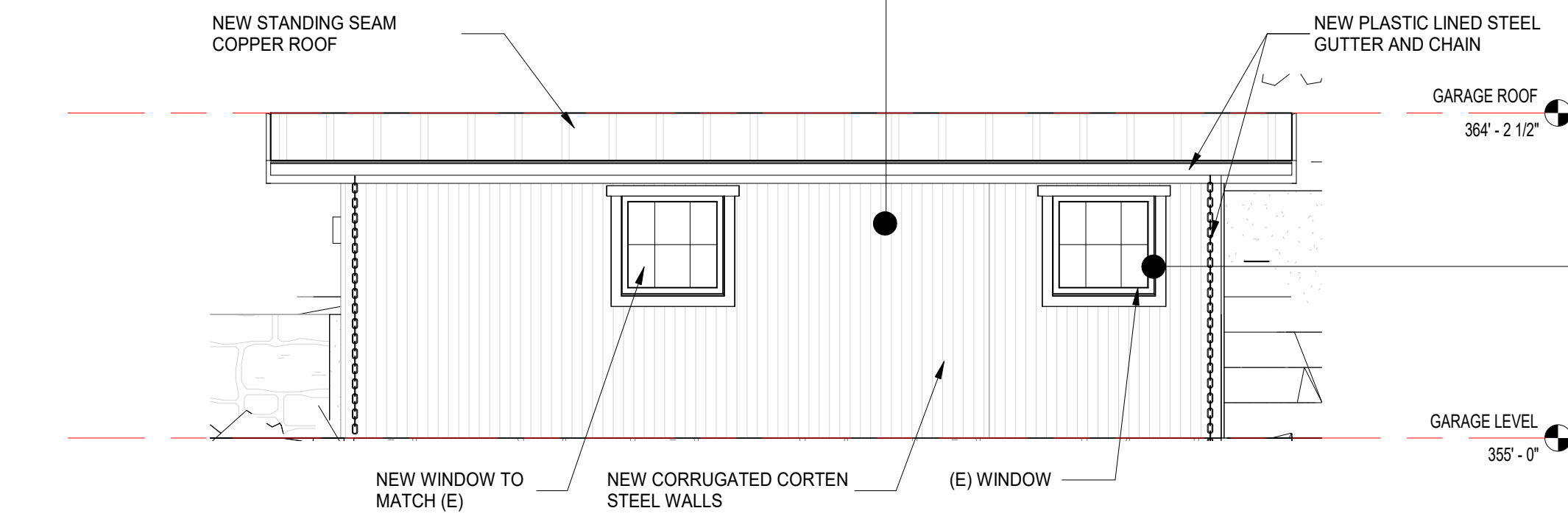
1 GARAGE - EAST ELEVATION
1/4" = 1'-0"



2 GARAGE - WEST ELEVATION
1/4" = 1'-0"



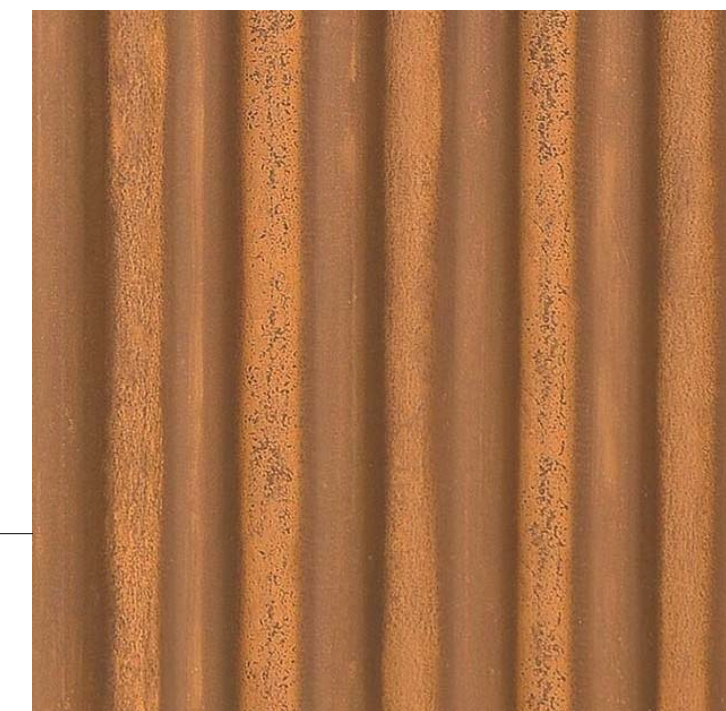
3 GARAGE - NORTH ELEVATION
1/4" = 1'-0"



4 GARAGE - SOUTH ELEVATION
1/4" = 1'-0"



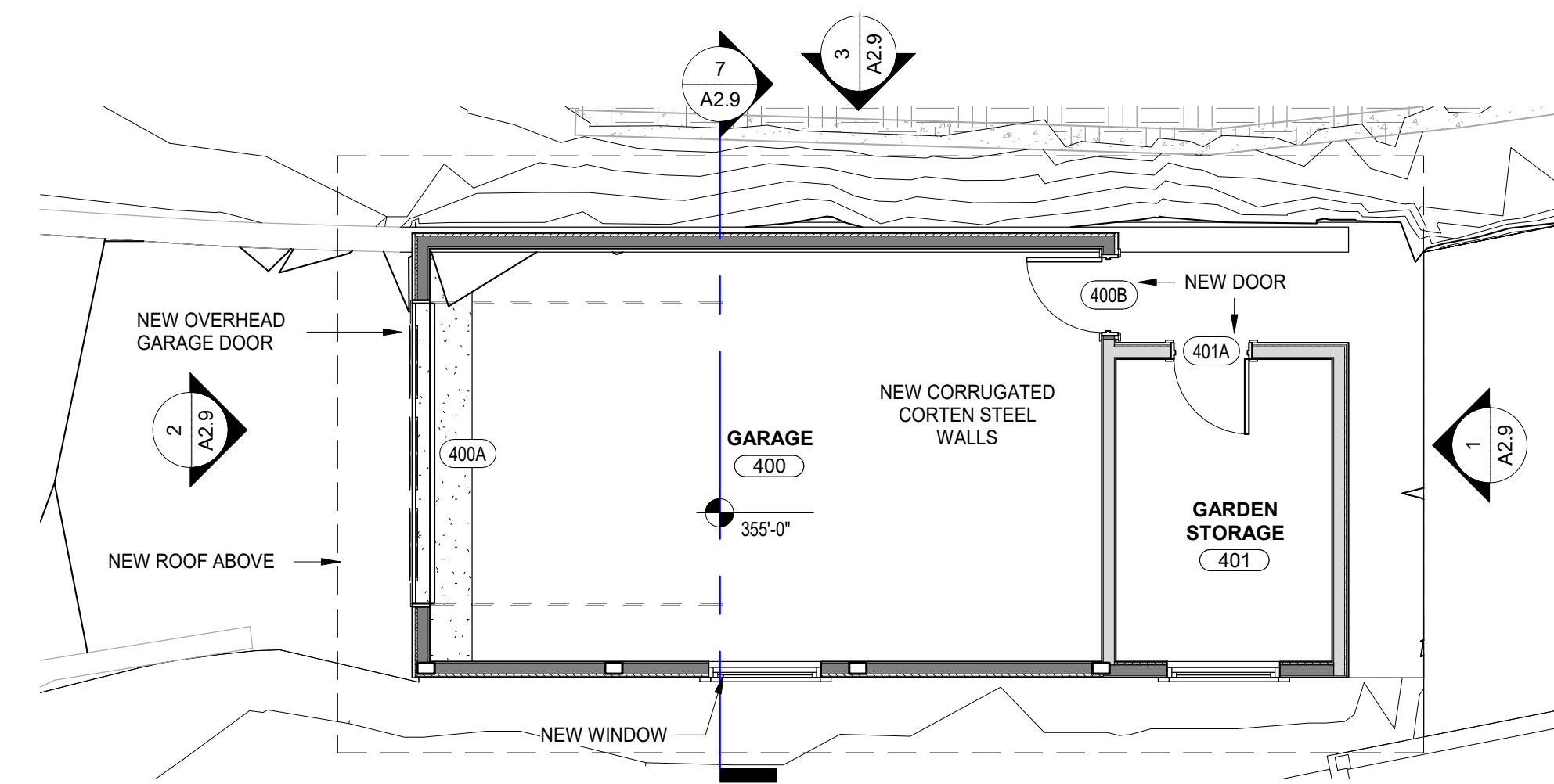
STANDING SEAM COPPER ROOF



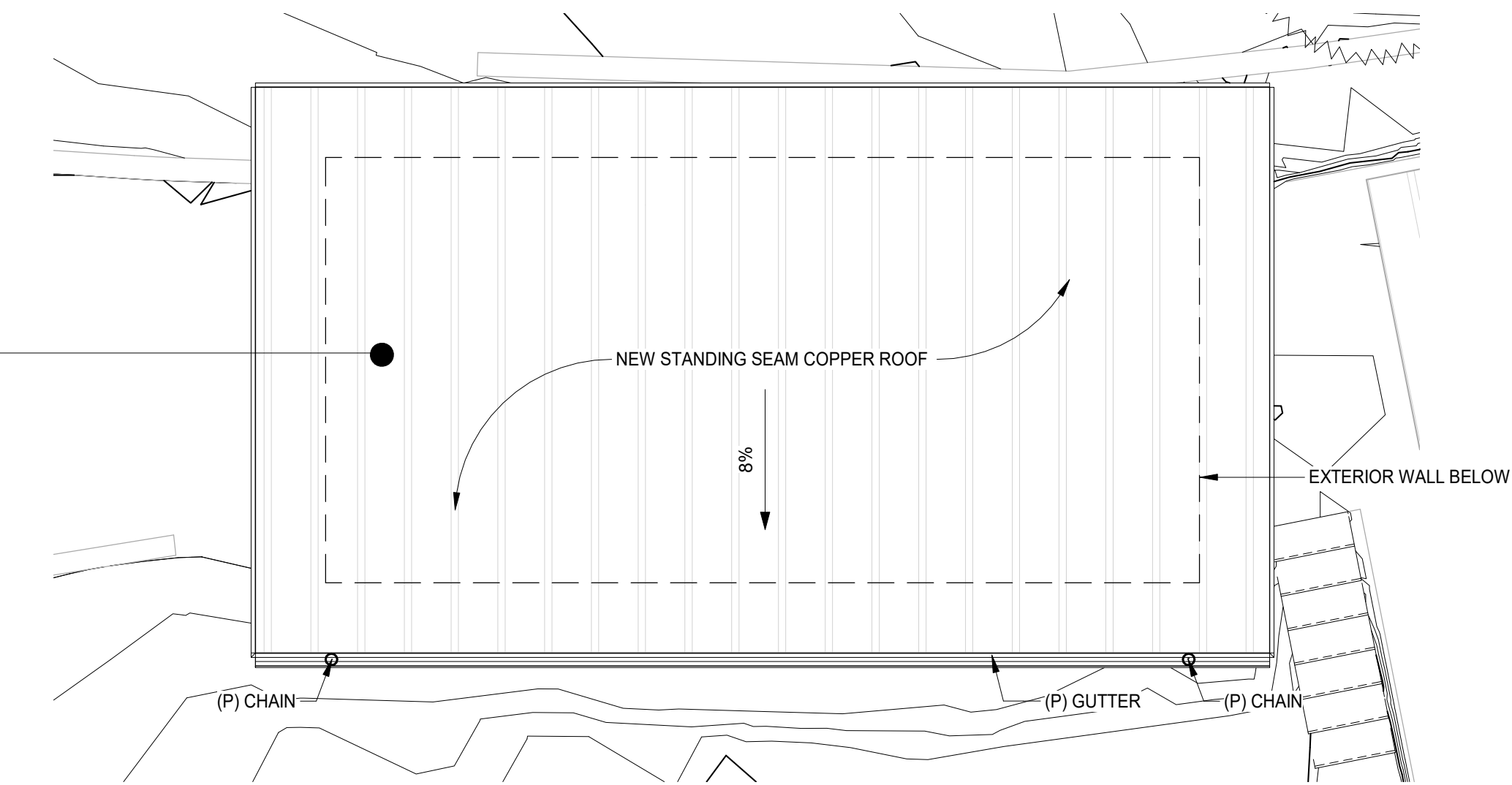
CORRUGATED CORTEN STEEL WALLS



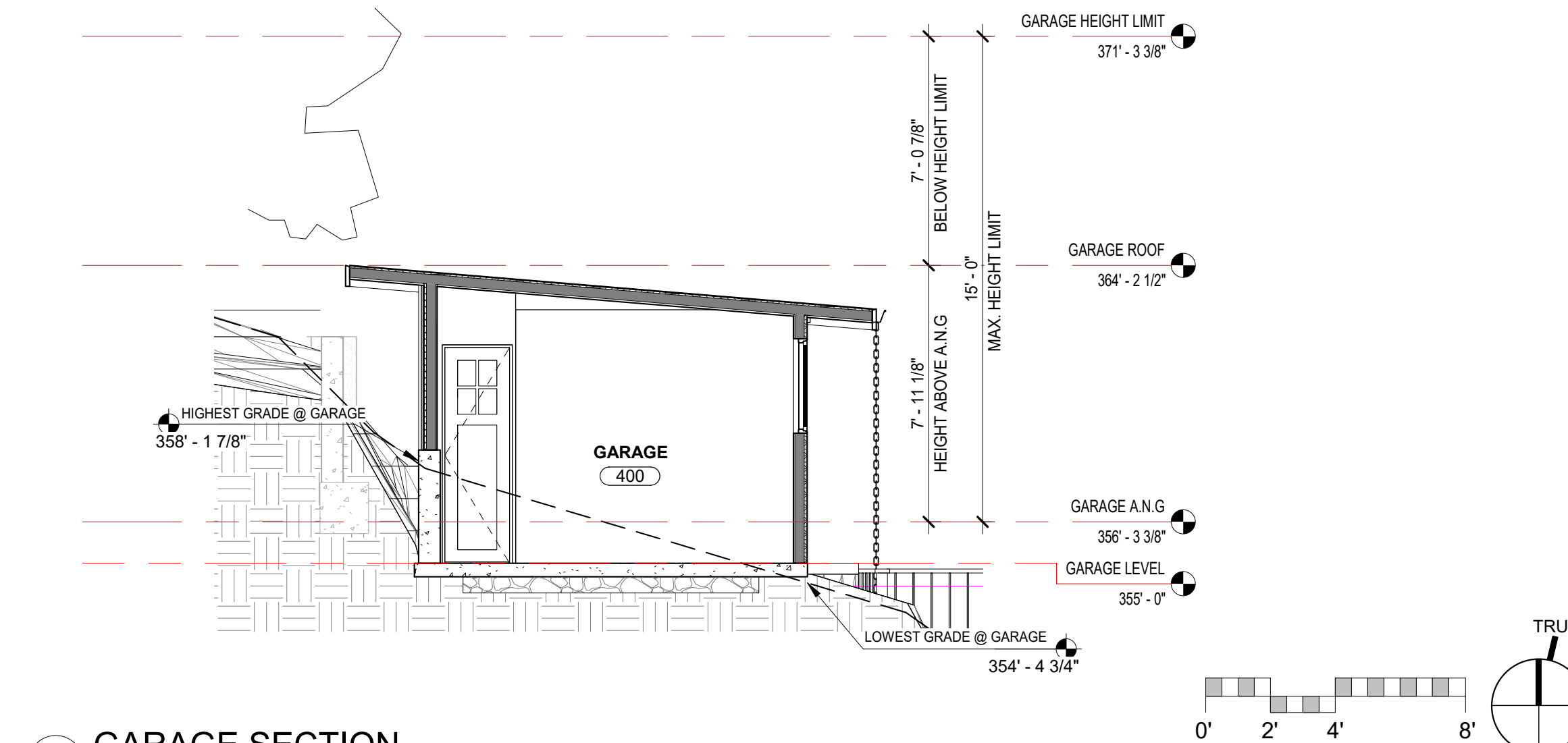
BRONZE ALUMINUM CLAD WOOD WINDOWS



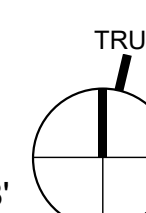
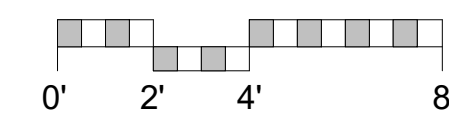
5 GARAGE FLOOR PLAN
1/4" = 1'-0"



6 GARAGE ROOF PLAN
1/4" = 1'-0"



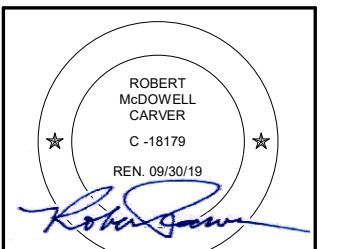
7 GARAGE SECTION
1/4" = 1'-0"



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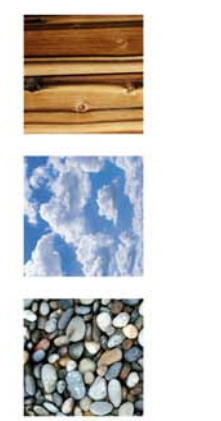
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(P) GARAGE FLOOR, ROOF PLANS & ELEVATIONS

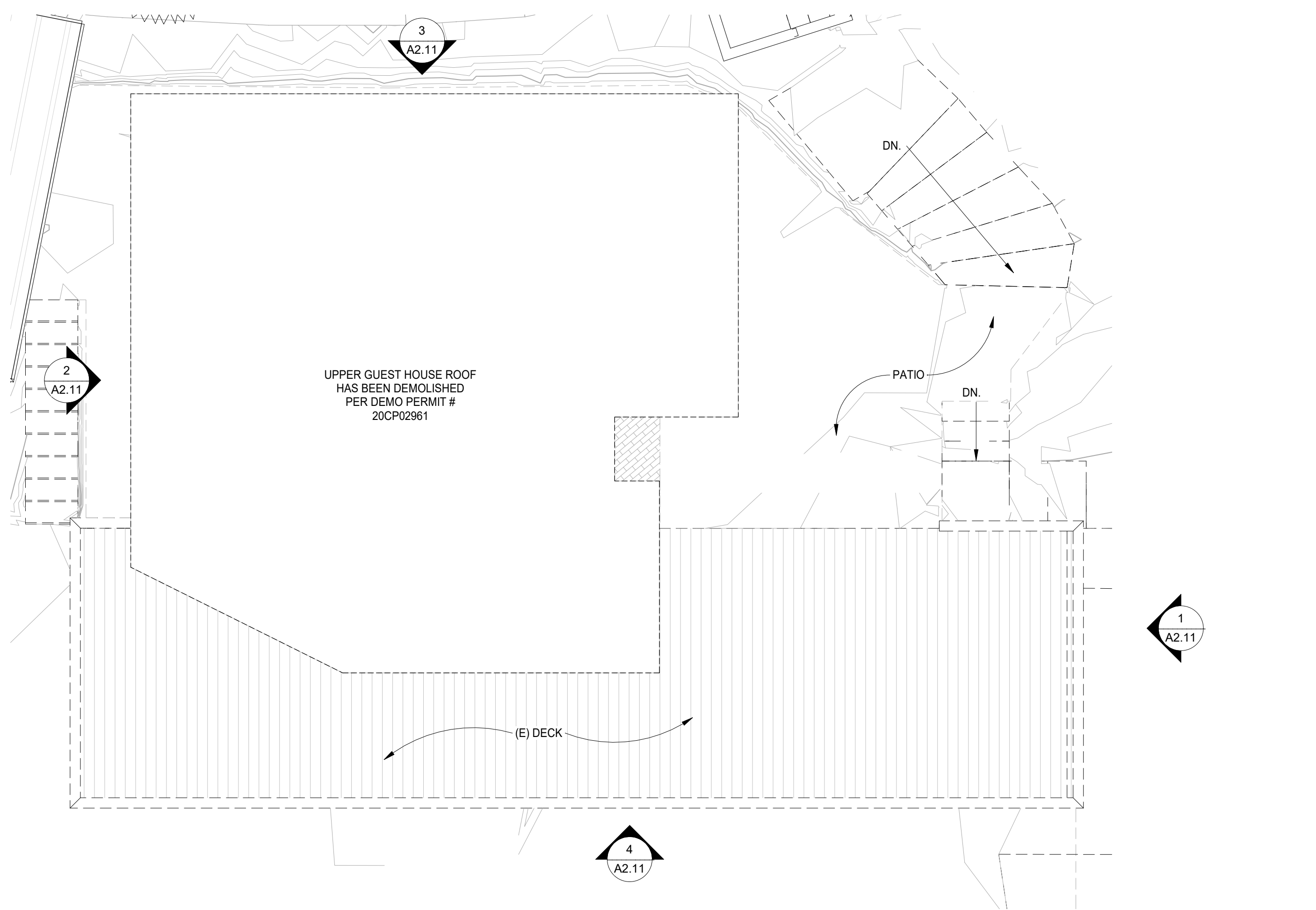
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MBIJP
Job: 2006

A2.9

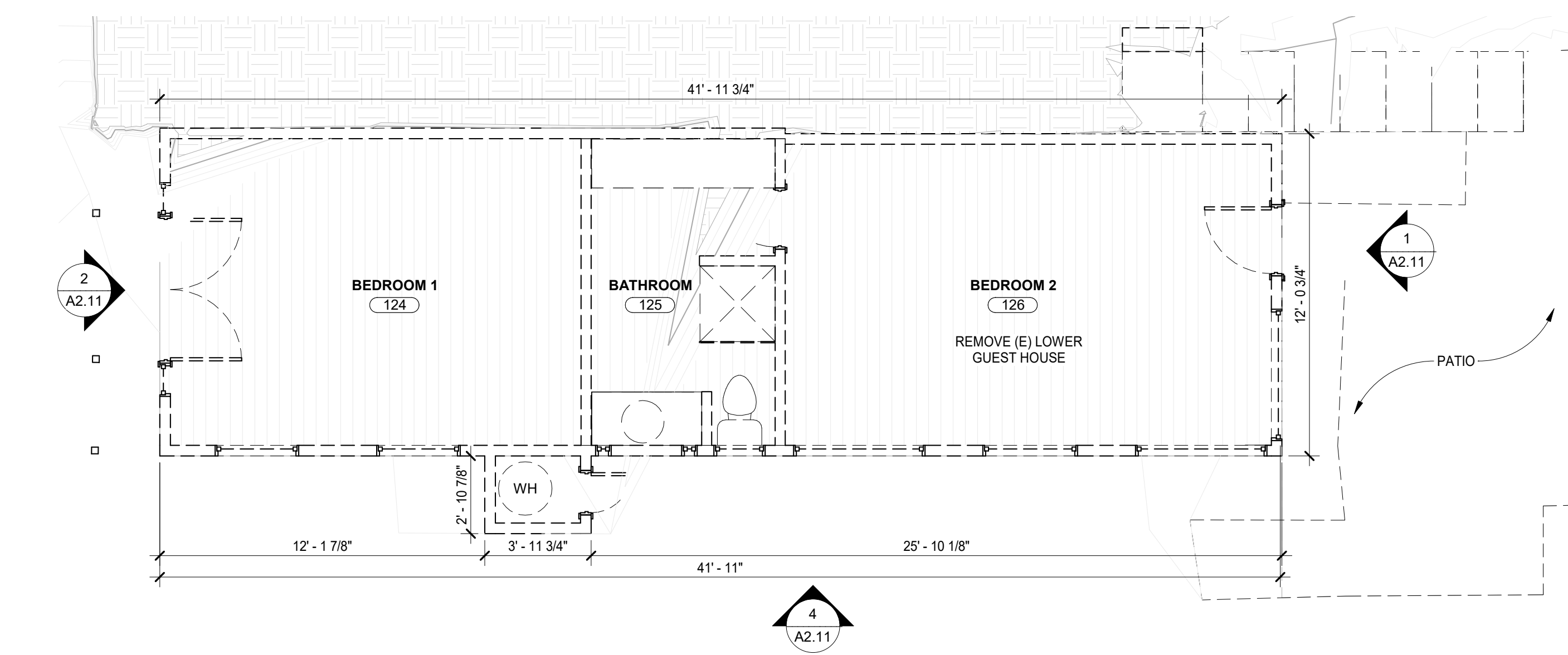
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6/11/2021 4:44:40 PM

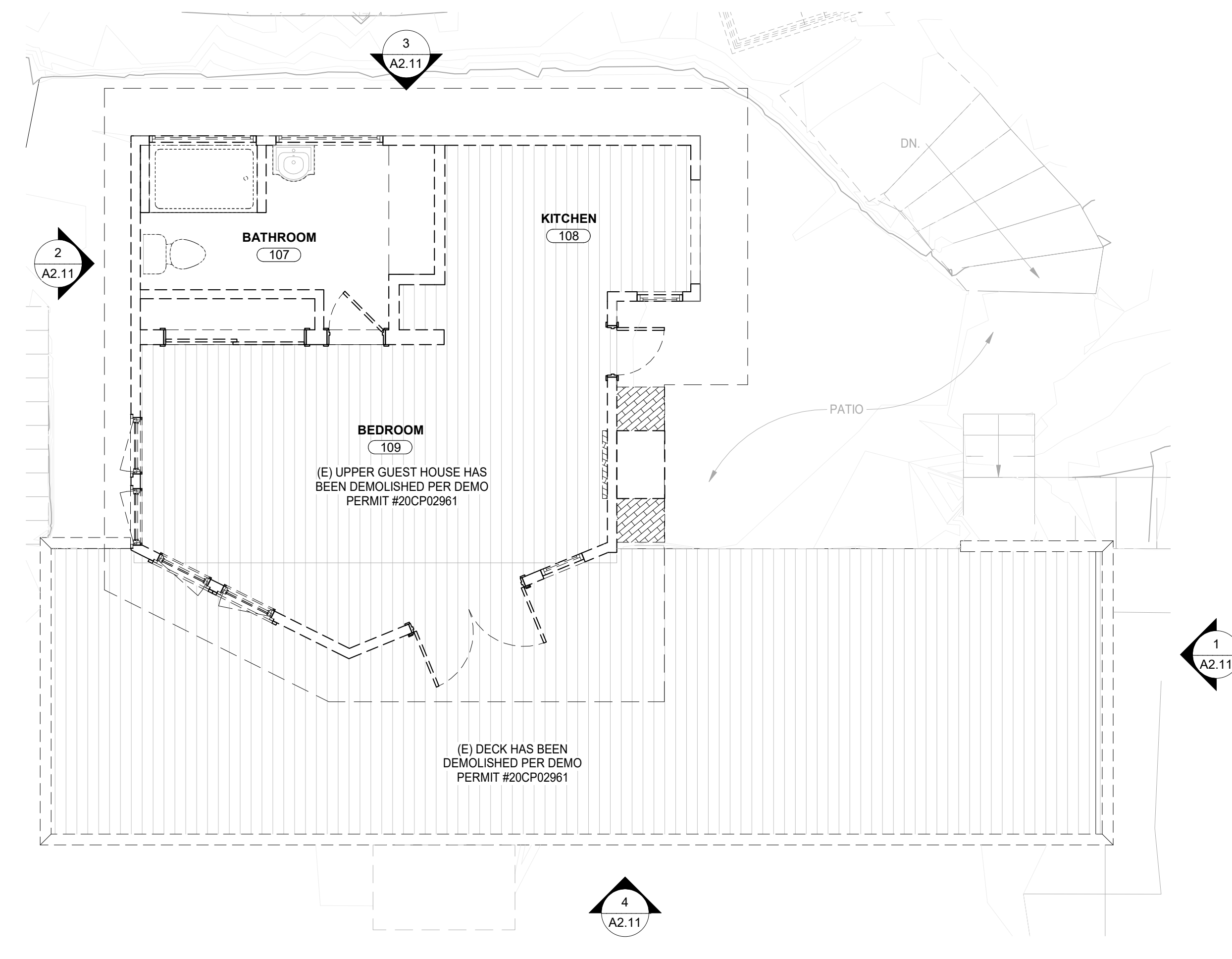
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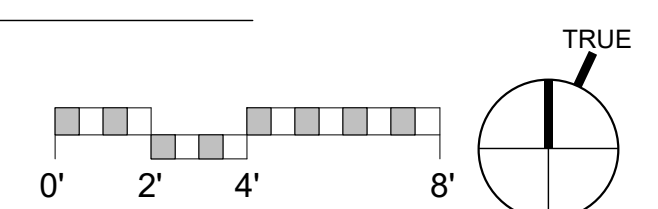
1 (E) / DEMO UPPER GUEST HOUSE ROOF
1/4" = 1'-0"



2 (E) / DEMO LOWER GUEST HOUSE
1/4" = 1'-0"



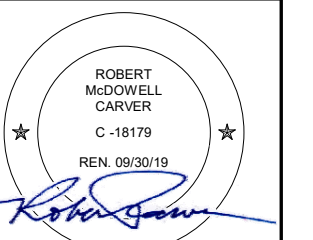
3 (E) / DEMO UPPER GUEST HOUSE
1/4" = 1'-0"



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(E) / DEMO
GUEST HOUSE
FLOOR & ROOF
PLAN

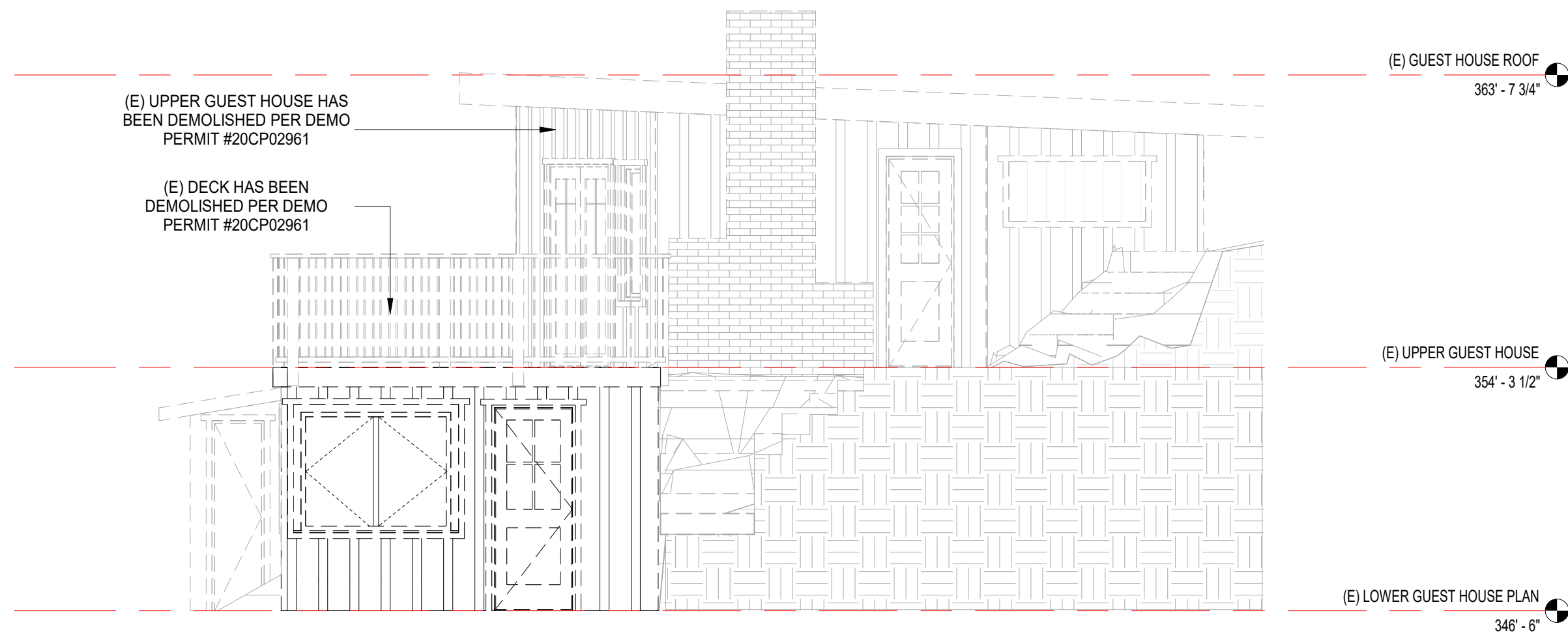
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MBI/JP
Job: 2006

A2.10

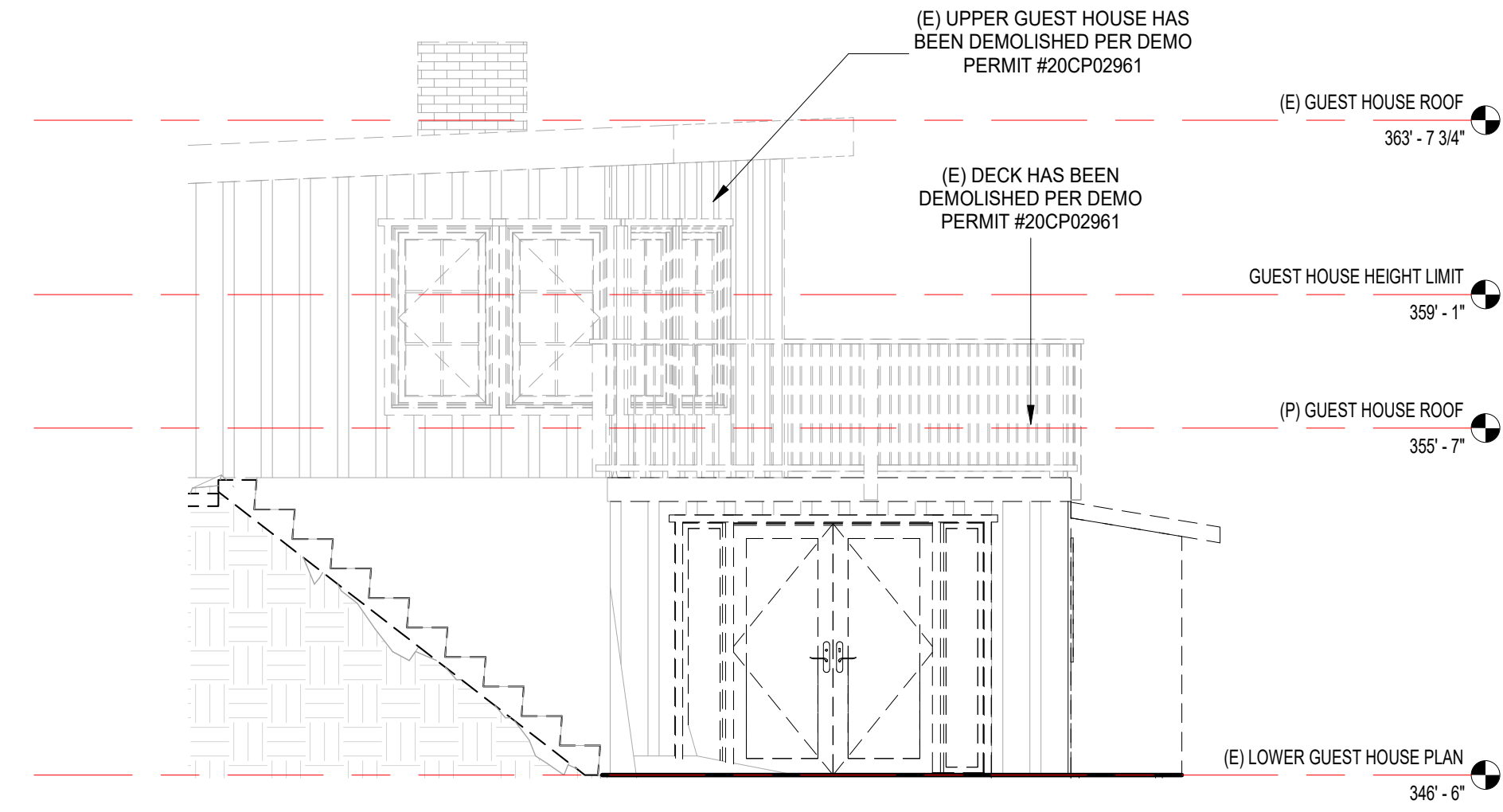
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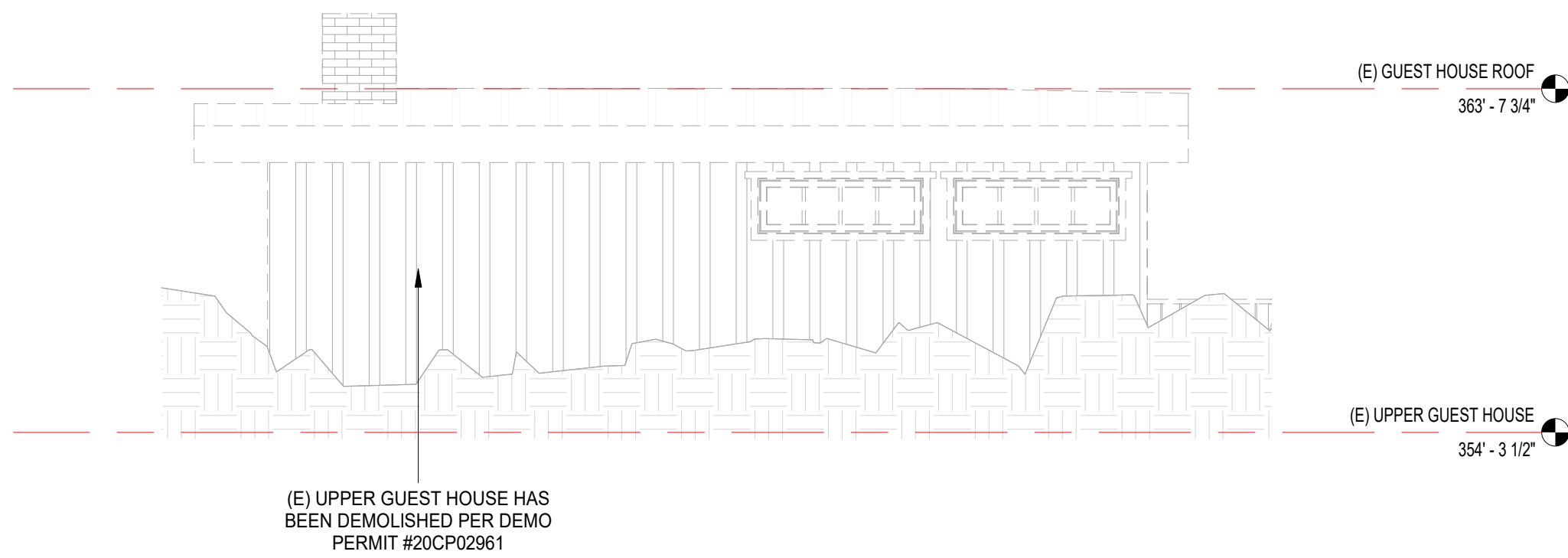
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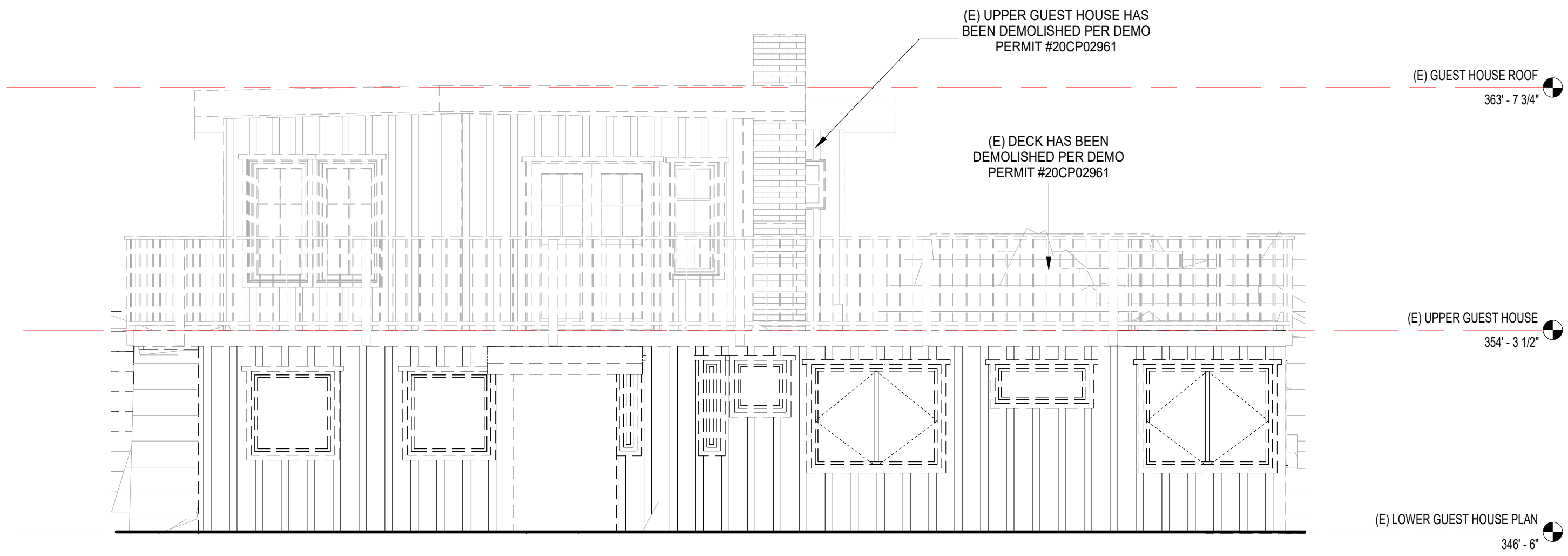
1 (E) / DEMO GUEST HOUSE - EAST ELEVATION
1/4" = 1'-0"



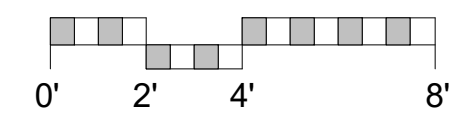
2 (E) / DEMO GUEST HOUSE - WEST ELEVATION
1/4" = 1'-0"



3 (E) / DEMO GUEST HOUSE - NORTH ELEVATION
1/4" = 1'-0"



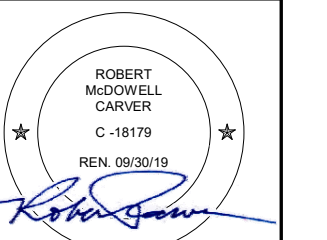
4 (E) / DEMO GUEST HOUSE - SOUTH ELEVATION
1/4" = 1'-0"



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(E) / DEMO
GUEST HOUSE
ELEVATIONS

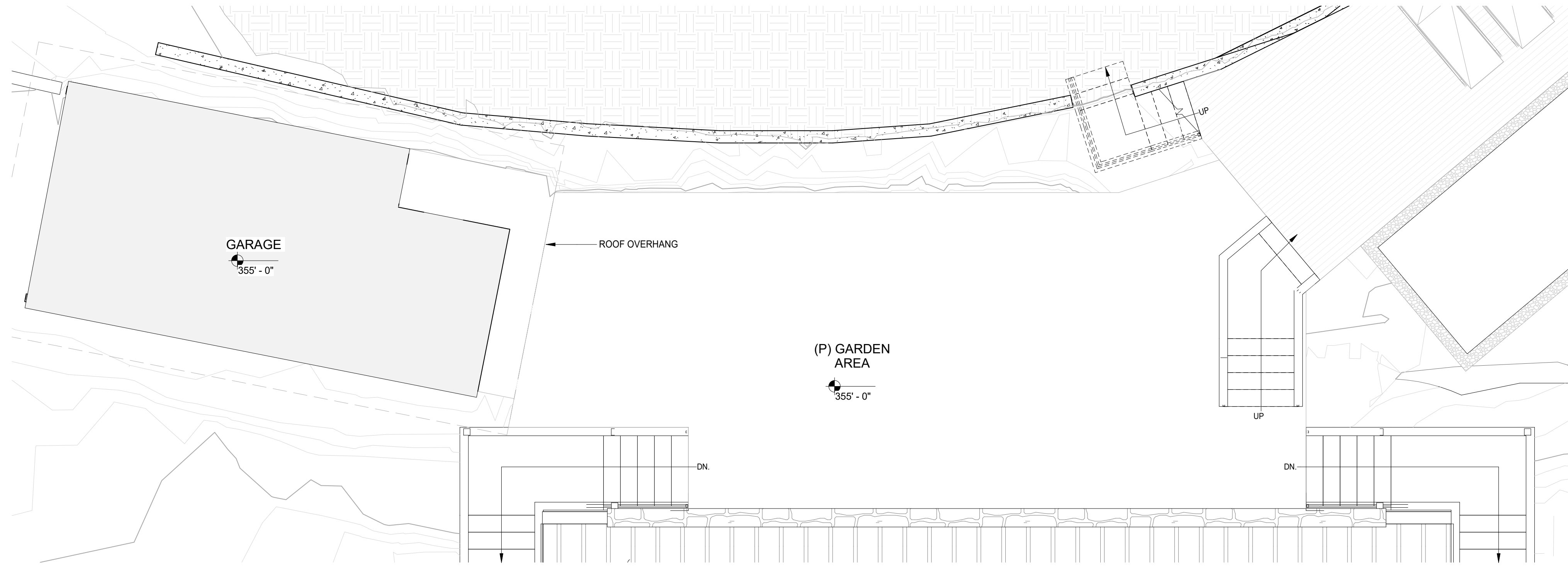
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A2.11

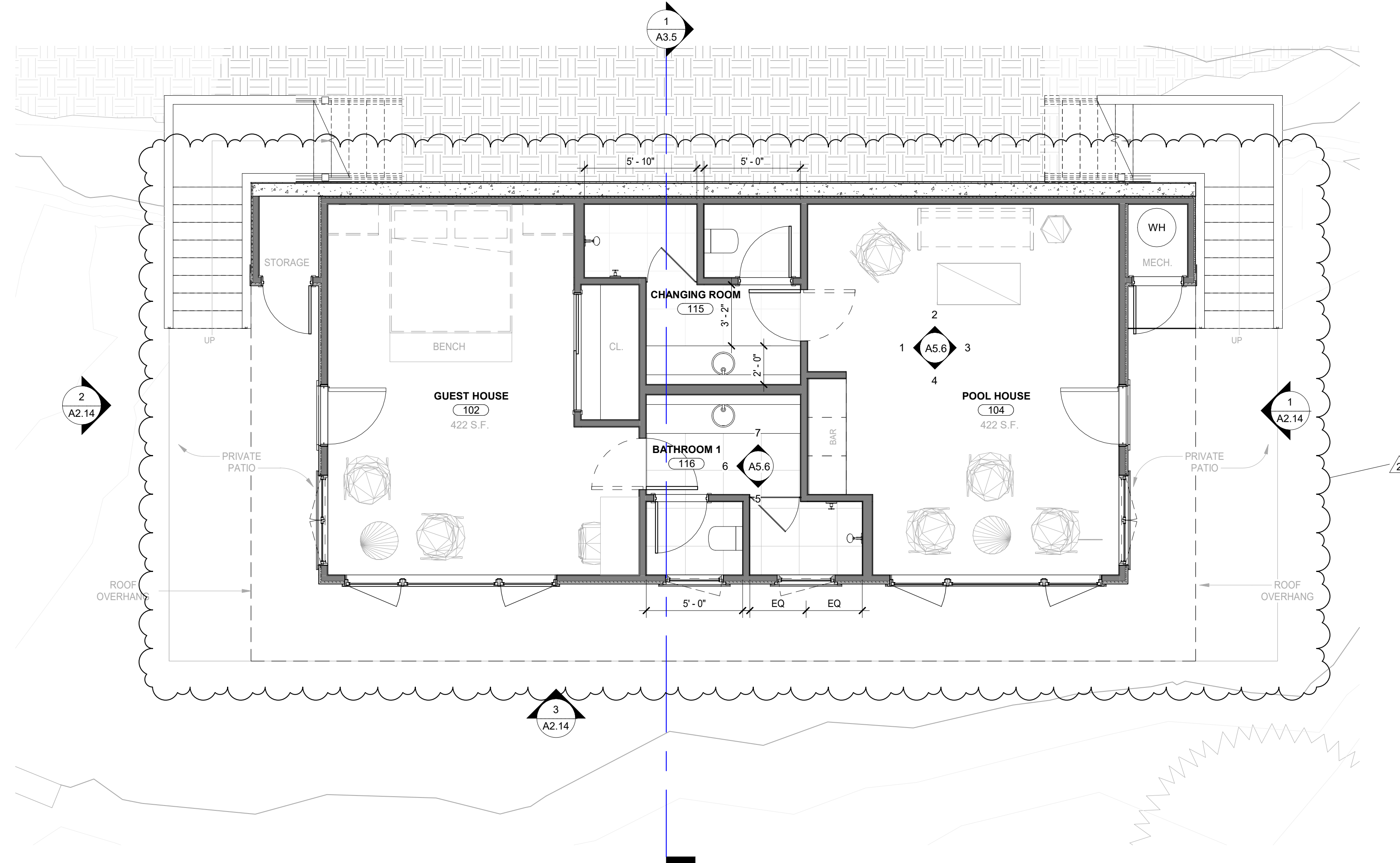
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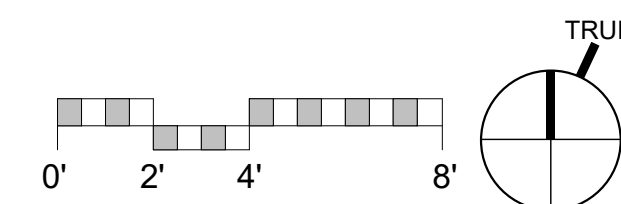
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1 GARDEN PLAN
1/4" = 1'-0"



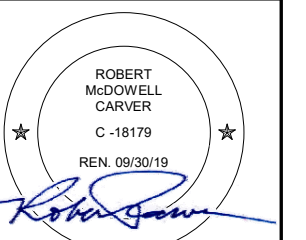
2 (P) GUEST HOUSE/POOL HOUSE PLAN
1/4" = 1'-0"



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2 04/27/2021 (N) GUEST HOUSE/POOL HOUSE

ARCHITECTURAL
(P) GUEST HOUSE/POOL HOUSE

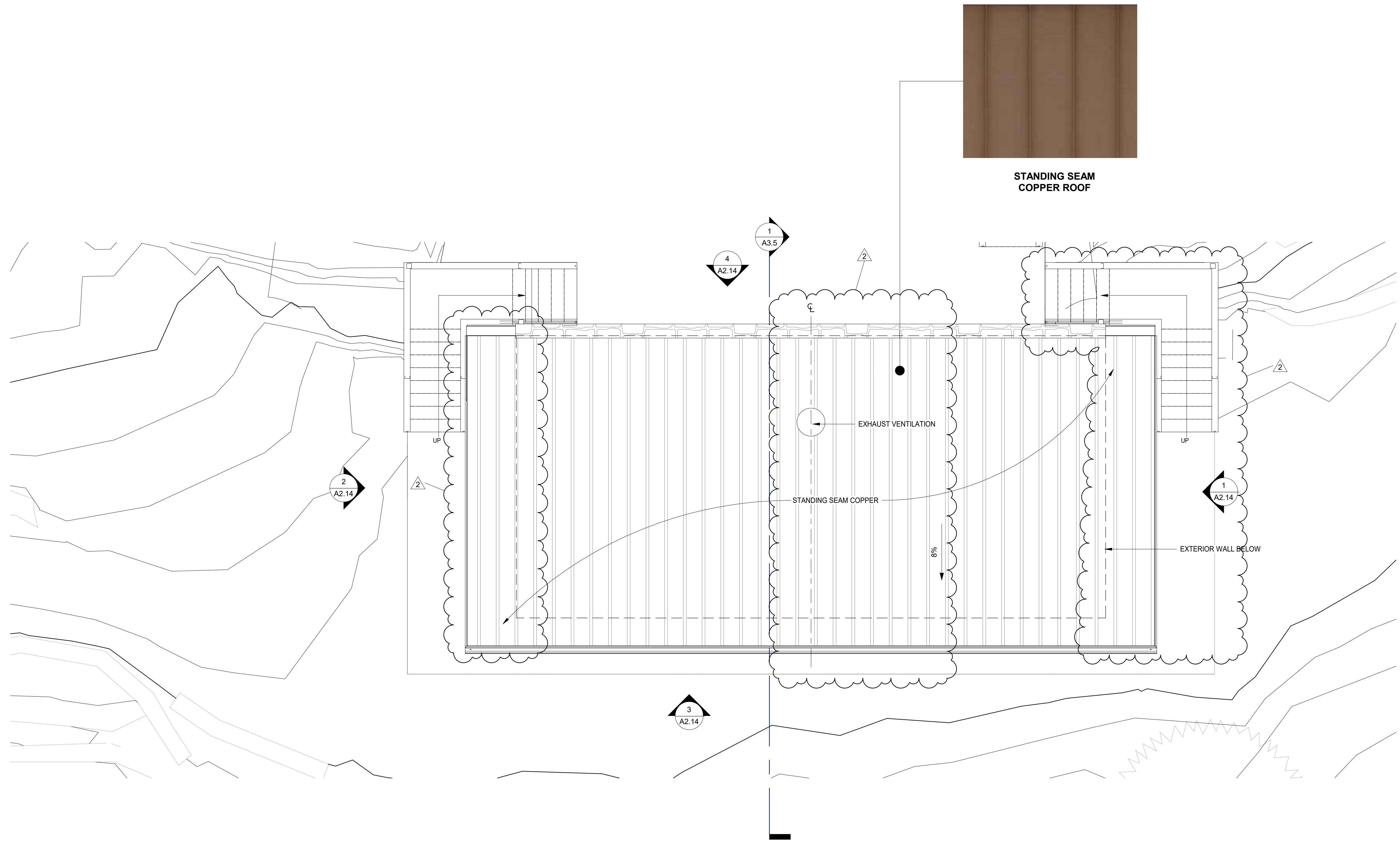
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A2.12

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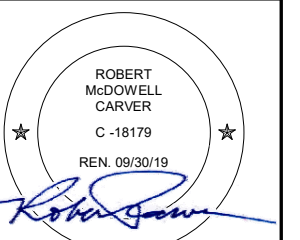
1 (P) GUEST HOUSE/POOL HOUSE ROOF PLAN
1/4" = 1'-0"



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2 04/27/2021 (N) GUEST
HOUSE/POOL
HOUSE

ARCHITECTURAL
(P) GUEST
HOUSE/POOL
HOUSE ROOF
PLAN

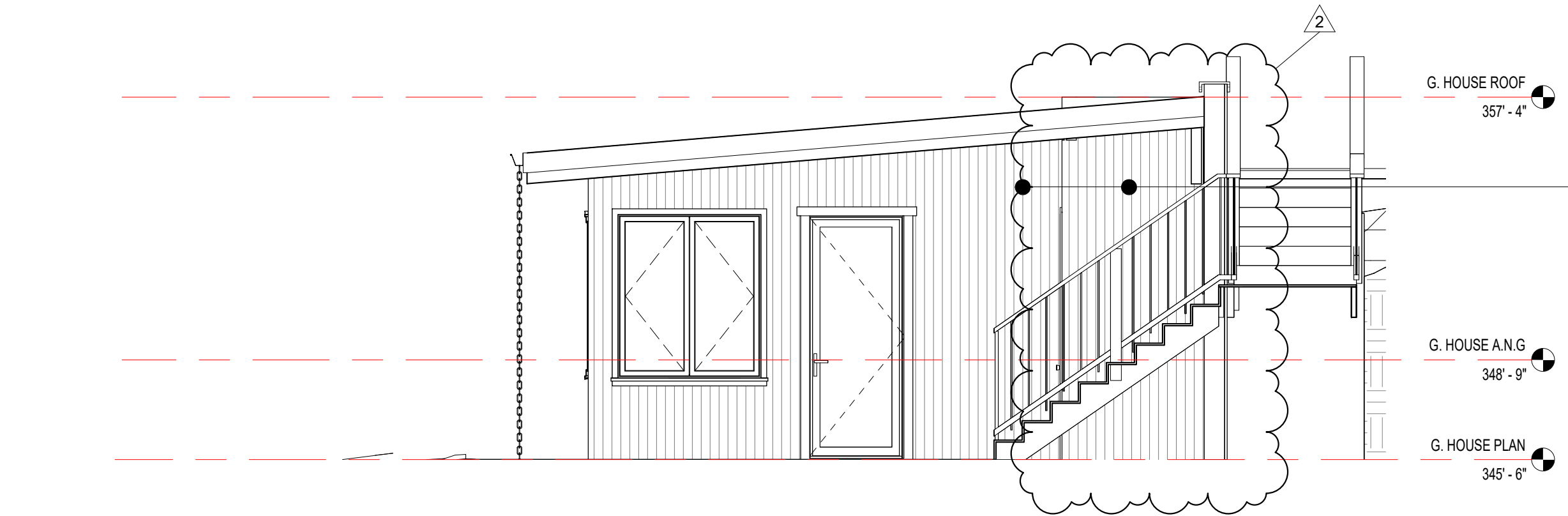
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A2.13

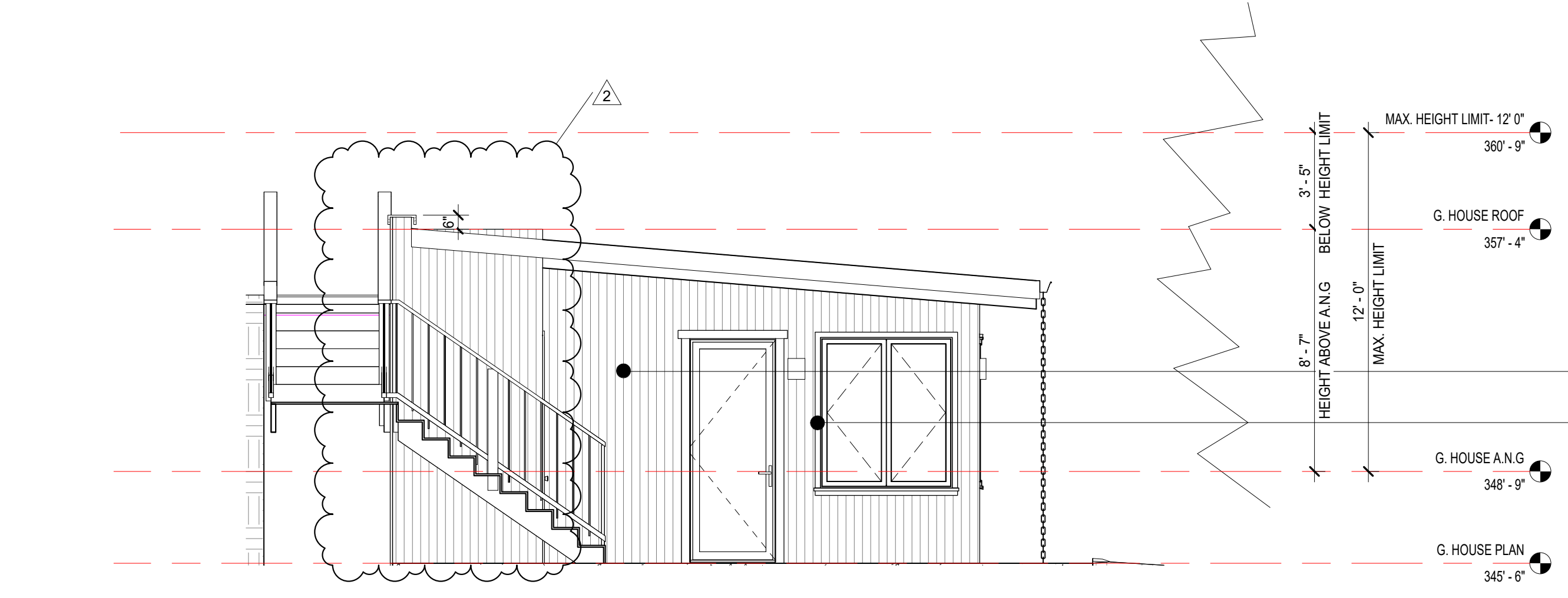
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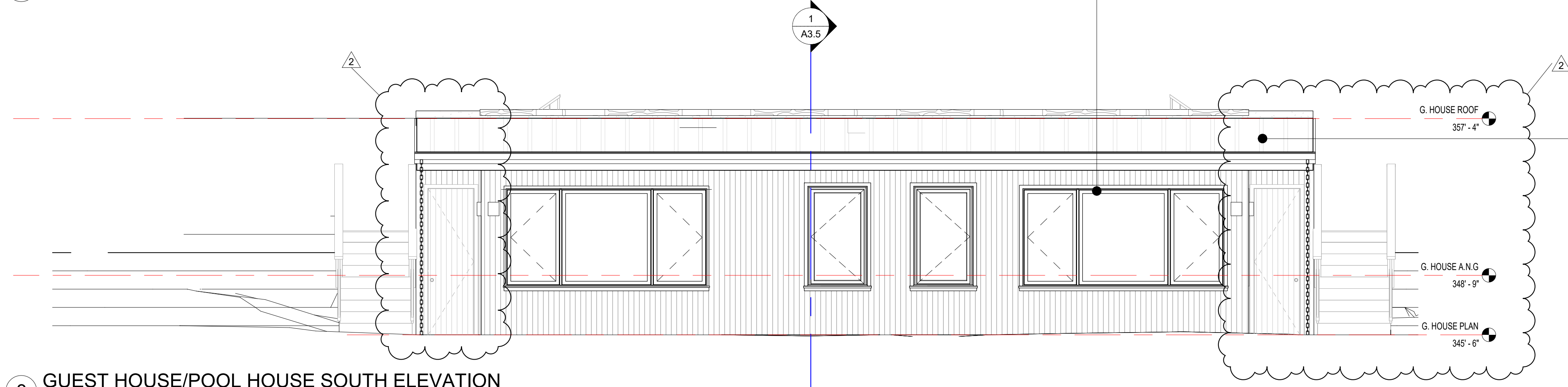
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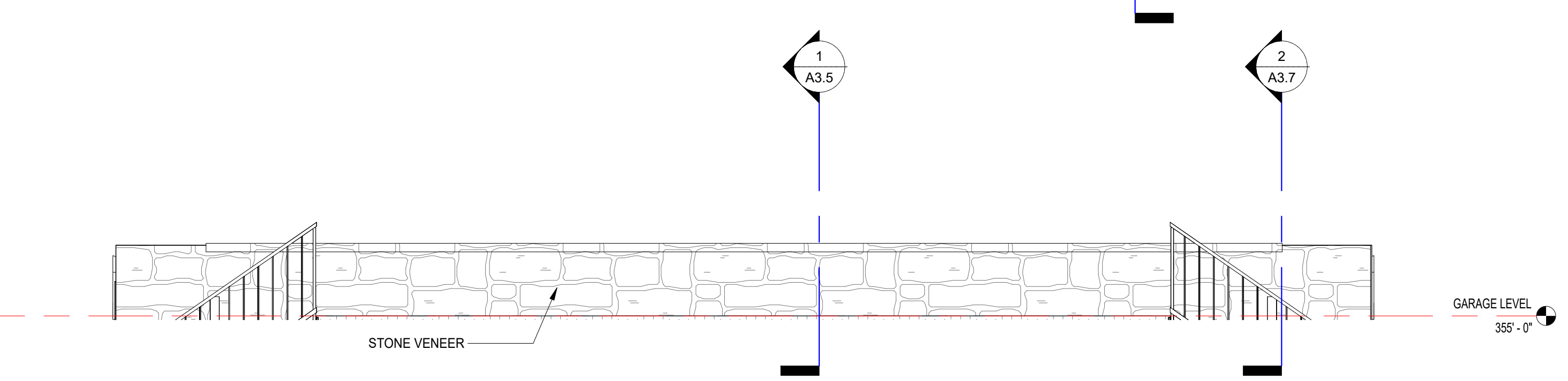
1 GUEST HOUSE/POOL HOUSE EAST ELEVATION
1/4" = 1'-0"



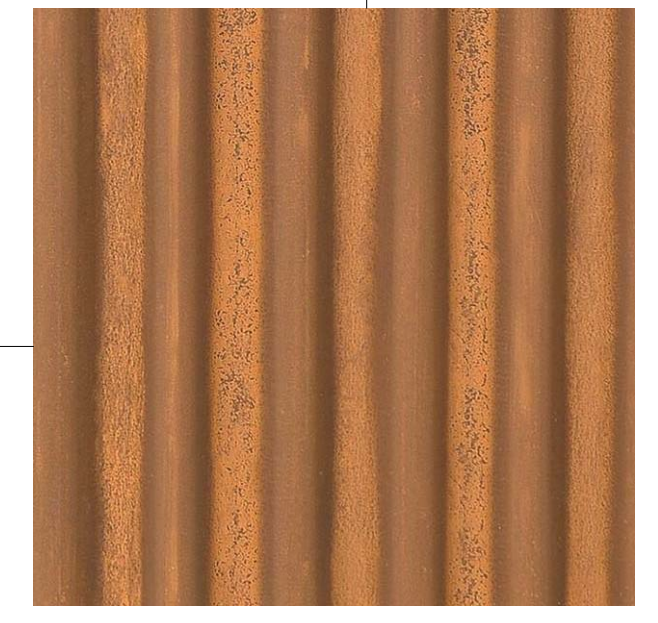
2 GUEST HOUSE/POOL HOUSE WEST ELEVATION
1/4" = 1'-0"



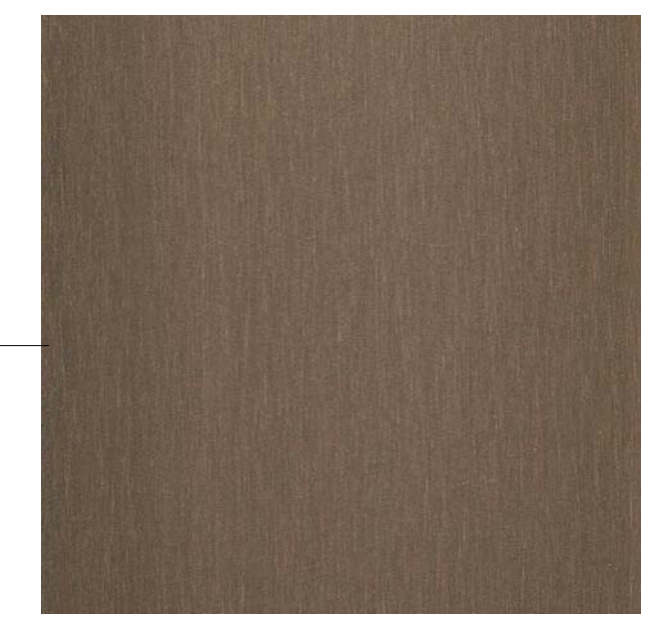
3 GUEST HOUSE/POOL HOUSE SOUTH ELEVATION
1/4" = 1'-0"



4 GUEST HOUSE/POOL HOUSE NORTH ELEVATION
1/4" = 1'-0"



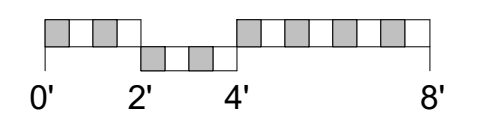
**CORRUGATED CORTEN
STEEL WALLS**



**BRONZE ALUMINUM CLAD
WOOD WINDOWS**



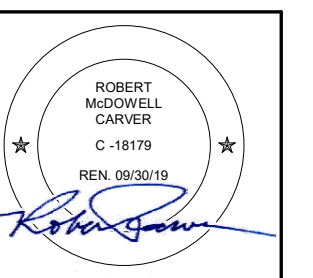
**STANDING SEAM
COPPER ROOF**



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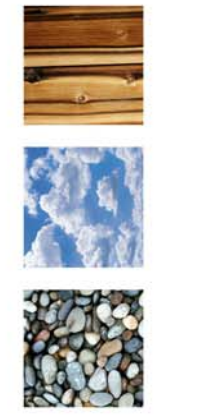
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2 04/27/2021 (N) GUEST
HOUSE/POOL
HOUSE

**ARCHITECTURAL
(P) GUEST
HOUSE/POOL
HOUSE
ELEVATIONS**

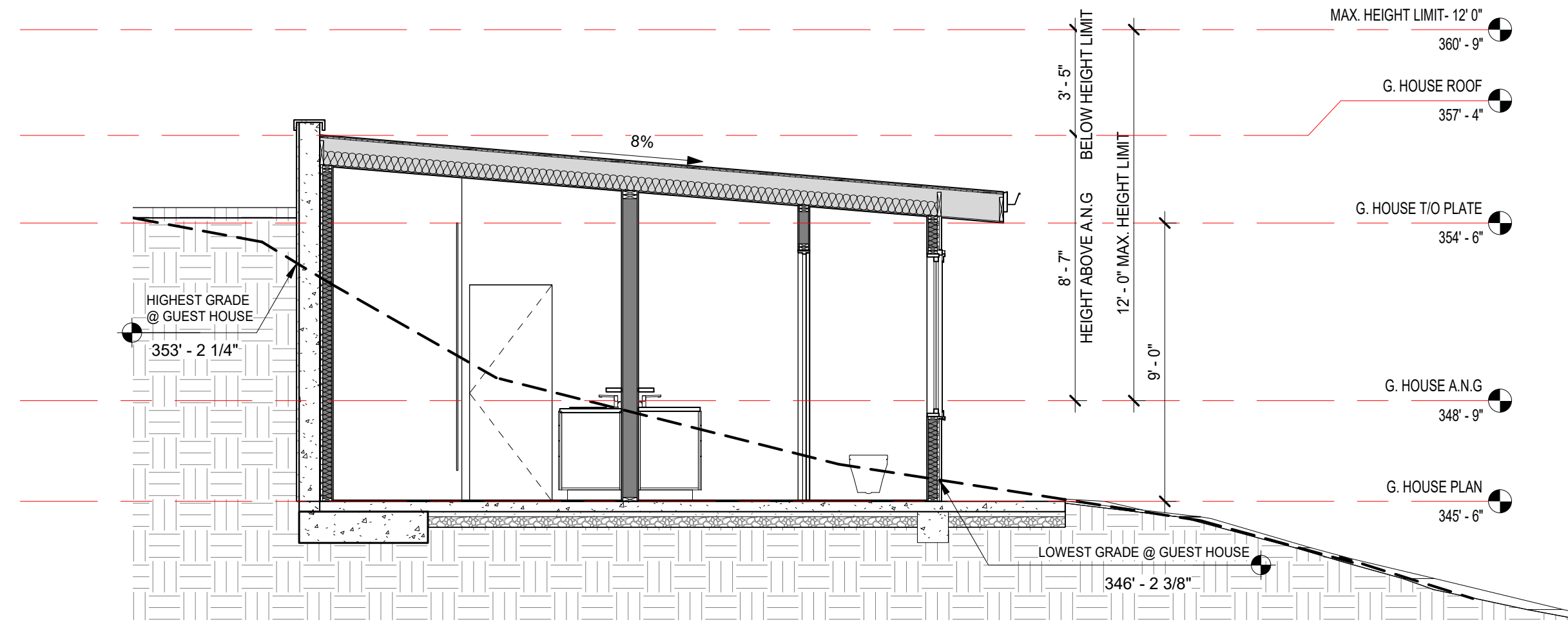
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A2.14

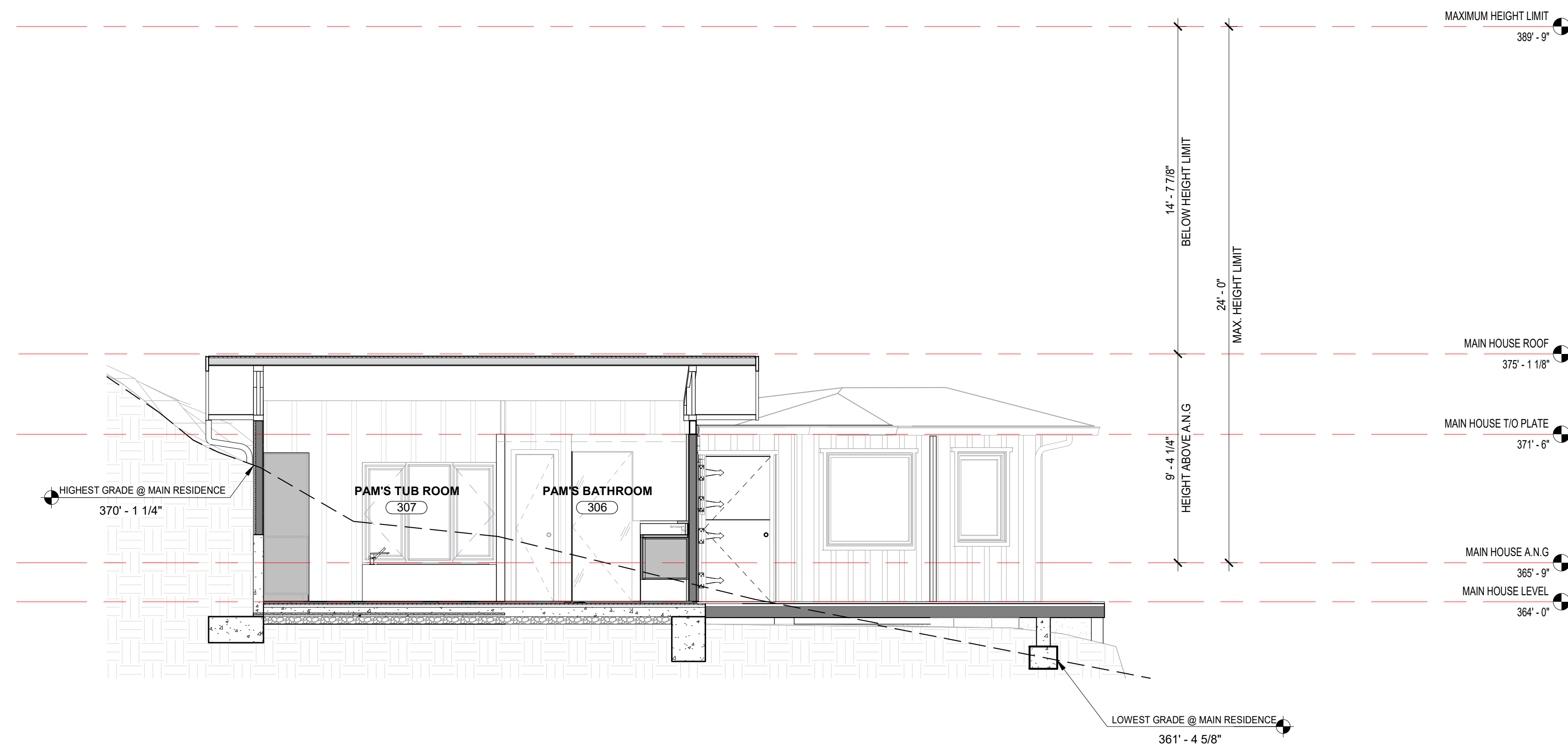
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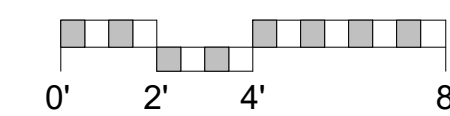
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1 GUEST HOUSE/POOL HOUSE
1/4" = 1'-0"



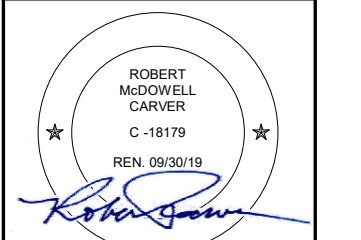
2 MAIN HOUSE N/S SECTION
1/4" = 1'-0"



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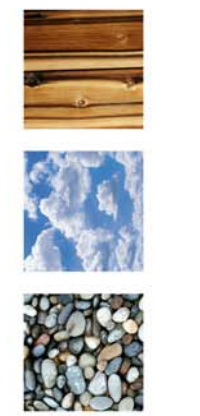
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△ REVISION #

ARCHITECTURAL
BUILDING
SECTIONS

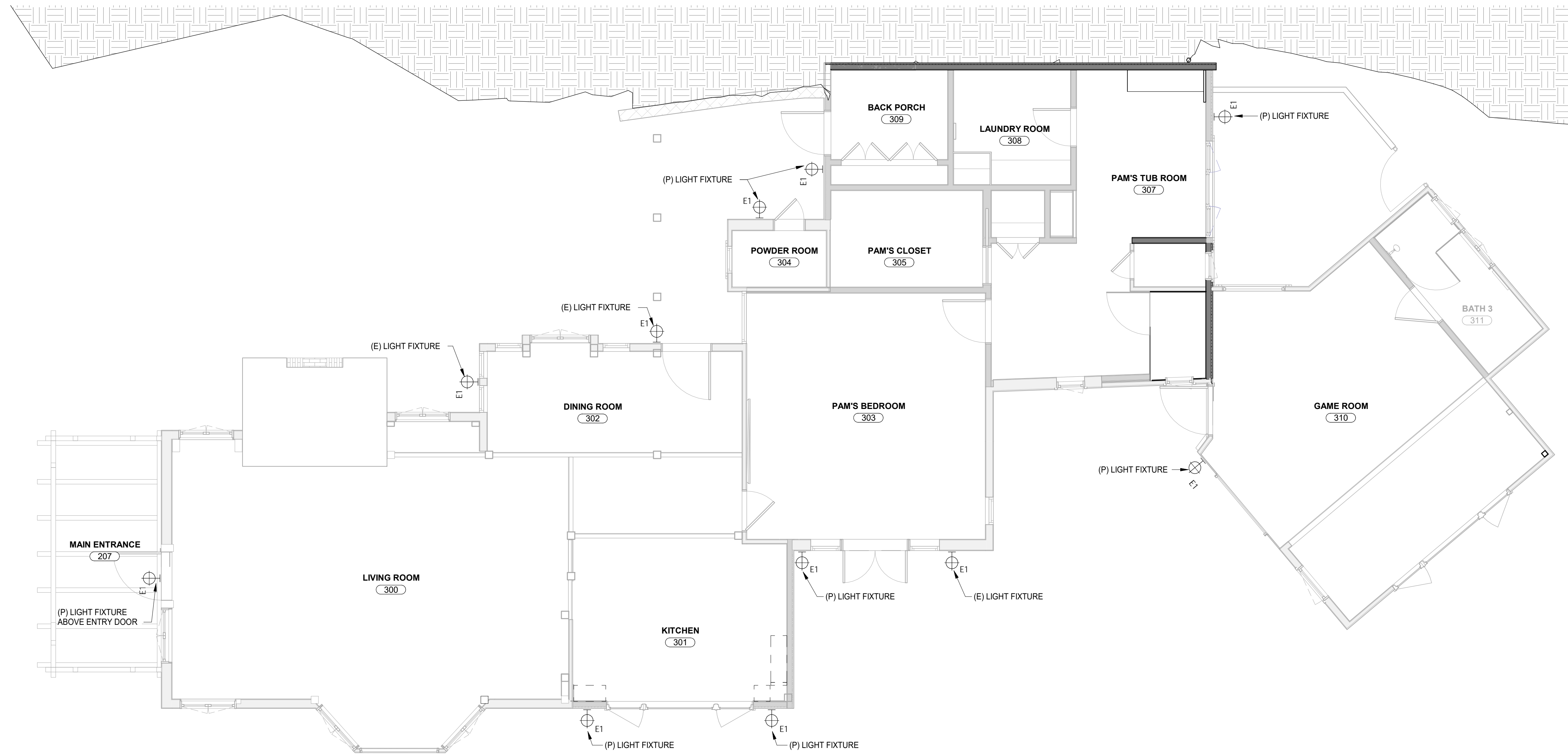
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB/JP
Job: 2006

A3.5

06/10/2021

6/11/2021 4:44:53 PM

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EXTERIOR LIGHTING FIXTURES

- E1 EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT
QUANTITY = 14 TOTAL
- E2 EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT
QUANTITY = 4 TOTAL
- L5 L.E.D. STRIP LIGHT = 28 TOTAL

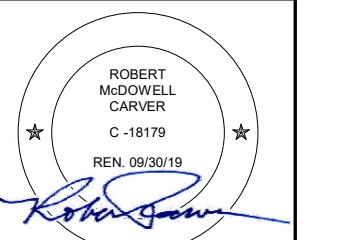


MISSION ARCHED ARM OUTDOOR WALL SCONCE
 MANUFACTURER: ARROYO CRAFTSMAN
 PRODUCT OPTIONS SHADE COLOR: RAW COPPER
 DIMENSIONS MINI OPTION FIXTURE: MEDIUM OPTION FIXTURE: HEIGHT 11.62", TOP TO CENTER
 4.12", WIDTH 7.25", DEPTH 10.25"
 LIGHTING UTILIZES ONE 150 WATT 120 VOLT

1 MAIN RESIDENCE - EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"

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ARCHITECTURAL
 MAIN RESIDENCE
 EXTERIOR
 LIGHTING PLAN

Scale: 1/4" = 1'-0"
 @ 24x36
 Drawn By: MB
 Job: 2006

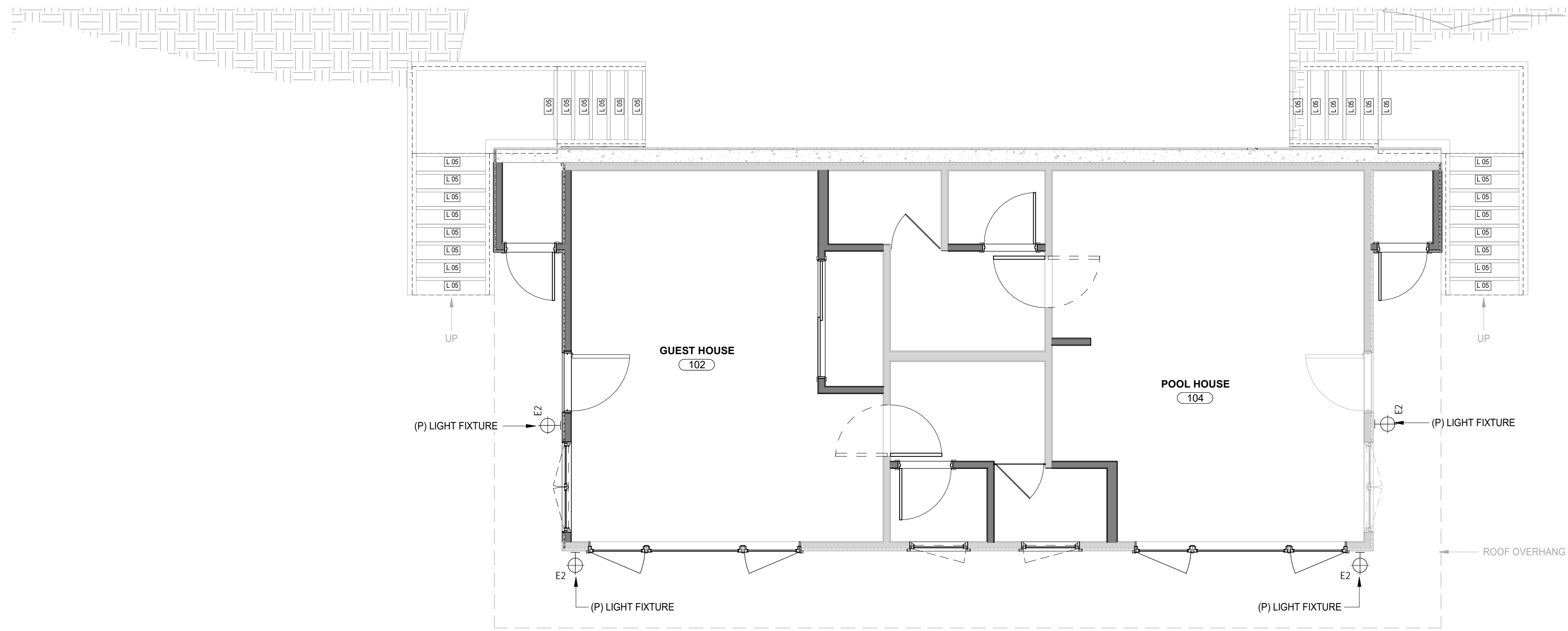
A6.1

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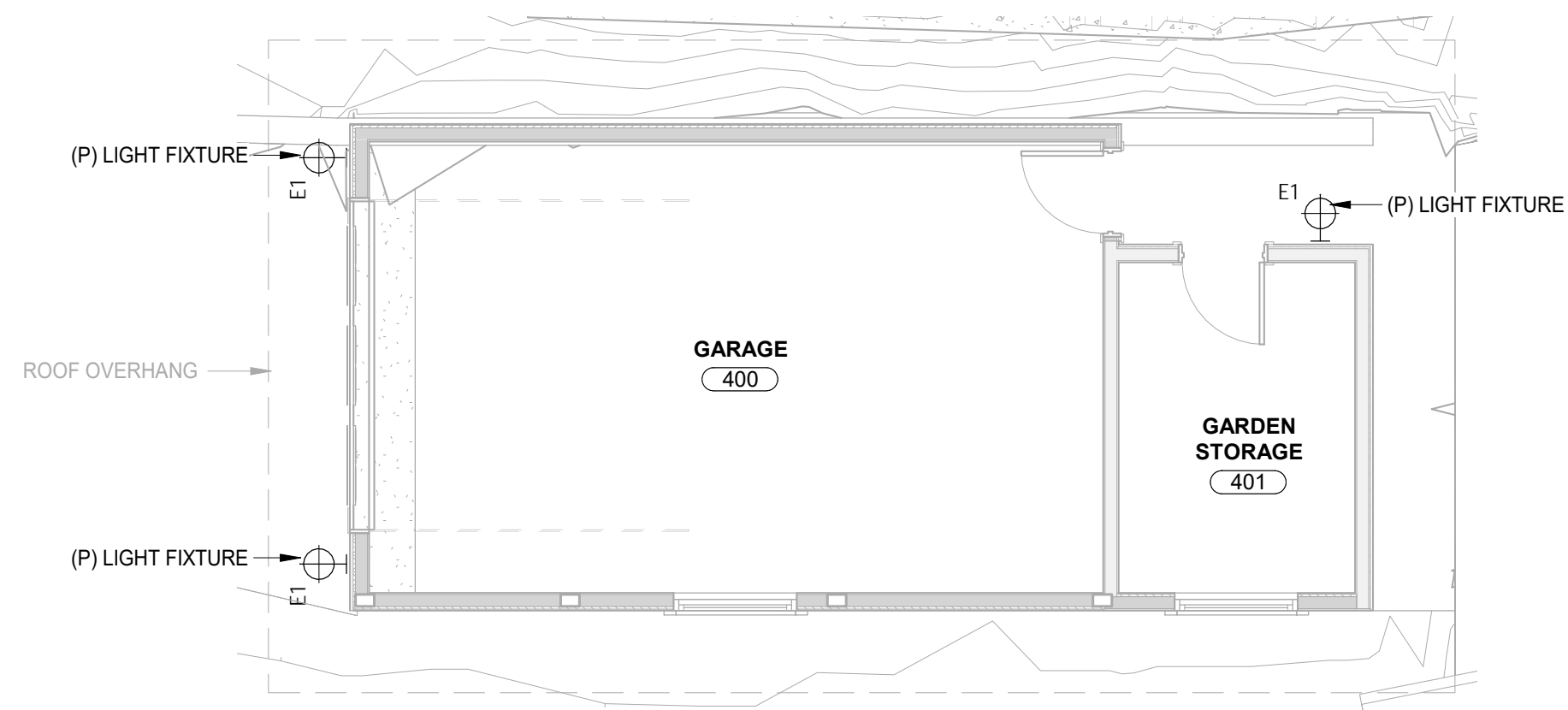
EXTERIOR LIGHTING FIXTURES

- E1 EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT
QUANTITY = 14 TOTAL
- E2 EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT
QUANTITY = 4 TOTAL
- L5 L.E.D. STRIP LIGHT= 28 TOTAL

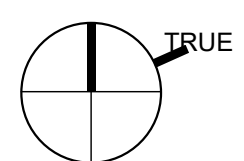
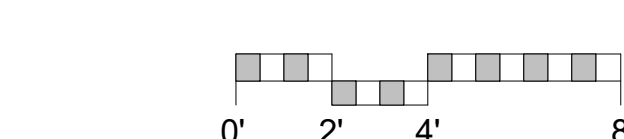


EVERETT NARROW LED WALL SCONCE
 PRODUCT OPTIONS SHADE COLOR: OLD BRASS
 DIMENSIONS MINI OPTION FIXTURE: WIDTH 4-5/8", OVERALL HEIGHT 11-1/8", DEPTH 3-5/8", WATTAGE 12W

2 GUEST HOUSE/POOL HOUSE - EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"



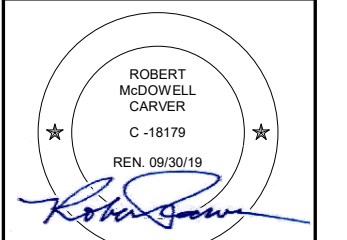
3 GARAGE - EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"



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**ARCHITECTURAL
GUEST HOUSE &
GARAGE
EXTERIOR
LIGHTING PLAN**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: MB
Job: 2006

A6.2
06/10/2021

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MAIN RESIDENCE - BACK PORCH - N/W ELEVATION



MAIN RESIDENCE - BACK PORCH - N/E ELEVATION



GARAGE - SOUTH ELEVATION



GARAGE - INTERIOR



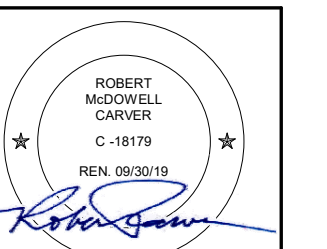
MAIN RESIDENCE - SOUTH ELEVATION



MAIN RESIDENCE - WEST ELEVATION

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ARCHITECTURAL
(E) MAIN
RESIDENCE &
GARAGE
PHOTOS

Scale: @ 24x36
Drawn By: MB
Job: 2006

A10.1

06/10/2021

6/11/2021 4:44:53 PM

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GUEST HOUSE LOWER LEVEL - EAST ELEVATION



GUEST HOUSE LOWER LEVEL - S/E ELEVATION



GUEST HOUSE UPPER LEVEL - EAST ELEVATION



GUEST HOUSE LOWER LEVEL - SOUTH ELEVATION



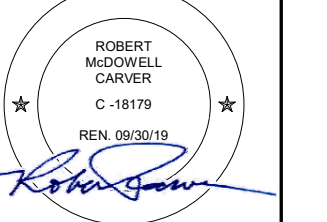
GUEST HOUSE LOWER LEVEL - S/W ELEVATION



GUEST HOUSE UPPER LEVEL - S/E ELEVATION

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2 04/27/2021 (N) GUEST
HOUSE/POOL
HOUSE

ARCHITECTURAL
(E) GUEST
HOUSE PHOTOS

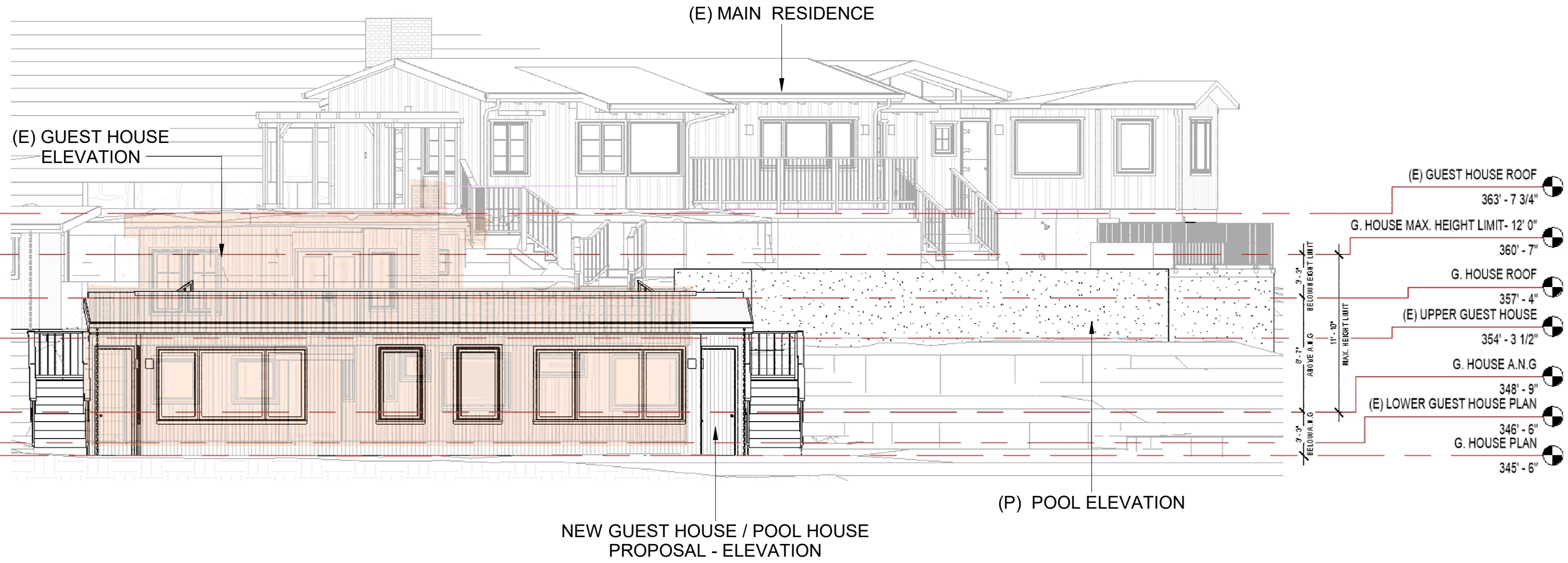
Scale: @ 24x36
Drawn By: MB
Job: 2006

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A10.2

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6/11/2021 4:45:03 PM

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PLANNING
DEPARTMENT
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7/8/2021 6:00:45 PM

Date: 07/08/2021
Scale: @ 11" x 17"
Drawn By: MB
Job: 2006

(E) GUEST HOUSE AND NEW GUEST HOUSE - POOL HOUSE PROPOSAL
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