

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

MAUSE PATRICK W & ROBIN M RILEY TRS (PLN240231)

RESOLUTION NO. 25-031

Resolution by the County of Monterey Planning
Commission:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and that none of the exceptions set forth in Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval to allow construction of a 2,265 square foot two-story single-family dwelling with a detached 740 square foot garage and associated site improvements; and
 - b. Use Permit to allow development on slopes in excess of 25%.

[PLN240231 MAUSE, 28007 MERCURIO RD,
CARMEL, CARMEL VALLEY AREA PLAN
(APN: 169-081-008-000)]

The MAUSE PATRICK W & ROBIN M RILEY TRS application (PLN240231) came on for a public hearing before the Planning Commission on August 27, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; AND
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The subject property is a one-acre undeveloped parcel and the last undeveloped parcel within the Mercurio Subdivision, which is a 17-

parcel subdivision that was approved in 1978. The proposed project includes a new two-story 2,265 square foot single-family dwelling with a detached 740 square foot garage. Associated site improvements include 677 square feet of decking and an on-site waste treatment facility.

- c) Allowed Use. The property is located at 28007 Mercurio Rd, Carmel, (Assessor's Parcel Number [APN]: 169-081-008-000), within the Carmel Area Master Plan, in unincorporated Carmel. The parcel is zoned as Low Density Residential with Building Site-6, Design Control, Site Plan Review, and Residential Allocation Zoning District overlays [LDR/B-6-D-S-RAZ], which allows the first single-family dwelling on a legal lot of record (Title 21 section 21.14.030) subject to an Administrative Permit and Design Approval. A Use Permit is required to allow development on slopes in excess of 25% (see Finding 5 and supporting evidence). The proposed project involves construction of a single-family dwelling, detached garage, and site improvements. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property is shown in its present size (1.0 acre) and configuration as Lot 2 within Tract No. 908 of the Mercurio Subdivision, recorded on February 1979 (Volume 14, "Cities & Towns), page 43). Therefore, the County recognizes it as a legal lot of record.
- e) Development Standards. The development standards for the LDR zoning are codified in Title 21 Section 21.14.060. Development standards for the B-6 zoning overlay district are codified in Title 21 Chapter 21.42. The project is consistent with the applicable standards for setbacks, building site coverage, and height. For main structures, the B-6 zoning overlay requires the project to be consistent with the B-4 setbacks, requiring a minimum of a 30 foot front setback, a 20 foot rear setback, and 10% of the average lot width (17 feet 3 inches) for the side setbacks. However, the final map for the Mercurio Subdivision (see Finding 1, Evidence "d") establishes scenic easements throughout the parcel that supersede the setbacks resulting in a 0.22 acre building envelope. The remaining portions of the easements also serve as the required side setbacks (50 foot scenic easement along the southeast property line and a 60 foot scenic easement along the northwest property line) and rear setback (40 foot scenic easement along the south property line). The front setback remains at 30 feet. All development is within the required building envelope. The maximum allowable height for main structures is 30 feet. The proposed height above average natural grade for the single-family dwelling is 24 feet 8 inches. The property is 43,560 square feet (1.0 acres), and the maximum allowable building site coverage is 35% (15,246 square feet) while the proposed coverage is 7% (3,201 square feet). Overall, the project meets all height, coverage, density, and setback requirements set forth in the development standards of the LDR zoning district.
- f) Design and Visual Resources. The subject parcel and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay) and pursuant to Title 21 Chapter 21.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the public viewshed and neighborhood character. The

proposed project includes a light brown cement board finish with natural stone accents for exterior walls, Class-A standing-seam roof in dark gray, and natural stone site walls. Development within the subject subdivision includes large custom homes. The proposed project would have a comparatively similar layout, bulk, and mass to other residences in the vicinity, and thus will not have a detrimental effect on the existing neighborhood character. Per staff's site visit, the proposed single-family dwelling will not be visible from Carmel Valley Road or any other common public viewing area. The architectural style and massing will be consistent with the surrounding residential development. Prior to issuance of building permit(s), exterior lighting plan shall be approved by HCD-Planning pursuant to Title 21 section 21.14.060 and will be controlled by use of the County's standard condition.

- g) Site Plan Review. The property is subject to the Site Plan Review "S" Zoning district pursuant to Title 21 Chapter 21.45, which provides regulations for development, with by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application, and an Administrative Permit application has been received and reviewed pursuant to these regulations. The proposed project includes the construction of a single-family dwelling. A fuel management plan was included in the application, which included measures to maintain vegetation surrounding the development area to reduce fire hazards. The applicants provided draft grading and erosion control plans to demonstrate the feasibility of their proposed project. No other hazards or impacts to resources were identified during staff's review of the project (See Findings 2 and 3 and supporting evidence).
- h) Residential Allocation Zoning. Pursuant to Title 21 Chapter 21.52, the Residential Allocation Zoning District limits the number of lots and/or units within specific areas. Pursuant to the Carmel Valley Master Plan Policy CV-1.6, existing lots with less than 5 acres may have the first single family dwelling but are prohibited from having additional units. As proposed, the subject lot will remain the same size and will have a single-family dwelling on the property. Therefore, there are no changes to the number of lots and/or units for the proposed development.
- i) Development on slopes in excess of 25%. The proposed project includes approximately 313 cubic yards of cut and fill, which includes 2,455 square feet of development on slopes in excess of 25%. Pursuant to General Plan OS-3.5, development on slopes in excess of 25% may be allowed pursuant to a Use Permit. Therefore, the project is subject to the granting of a Use Permit. The project meets the required findings to allow existing and proposed development on slopes in excess of 25%, as demonstrated in Finding No. 5 and supporting evidence.
- j) Cultural Resources. The site is in an area identified in County records as having high archaeological sensitivity. In accordance with Title 21 section 21.66.050.C, an archaeological report was prepared to analyze the potential of the project to impact archaeological resources. A Phase I Archaeological Assessment (County of Monterey Library No. LIB250105 – see Finding 2, Evidence "b") was prepared by Achasta Archaeological Services (Achasta) in December 2024. The assessment

included a records search that was negative for previously recorded resources within the proposed development. The assessment also included a field survey of the subject property and archival research to determine if resources extend into the project site. Achasta's pedestrian survey of the Project Area produced negative results and indicated that there would be no impact on cultural resources, resulting in no effect on the environment. Their analysis also indicated that a search for cultural resources yielded positive results for areas within the vicinity; however, no further action is necessary at this time. No further archeological investigation was recommended. Therefore, impacts on cultural resources are limited and will be controlled by application of the County's standard condition, which requires the applicant to stop work if any cultural resources or human remains are identified during grading and construction.

- k) Land Use Advisory Committee (LUAC) Review. The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on August 4, 2025, however, the meeting was continued to August 18, 2025. A neighbor brought up concerns about privacy and the agent verbally acknowledged that the applicant is willing to provide additional vegetative screening and plans to plant trees immediately adjacent to the neighbor's property, and a non-standard landscaping condition has been incorporated to ensure that the agreement is executed prior to the issuance of building permits to allow time for the trees to mature prior to occupancy. The LUAC voted unanimously to support the project with the recommendation to provide additional screening for privacy.
- l) The project planner conducted a site inspection on August 5, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240231.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to soils, geological, slope stability, and cultural resources. The following reports have been prepared:
 - "Phase 1 Architectural Assessment" (County of Monterey Library No. LIB250105) prepared by Achasta Archaeological Services, Marina, CA, December 2024.

- “Geologic Hazards Evaluation” (County of Monterey Library No. LIB250106) prepared by Craig S. Harwood, Ben Lomond, CA, December 9, 2024.
- “Geotechnical and Percolation Report” (County of Monterey Library No. LIB250107) prepared by Soil Surveys Group, Inc., Salinas, CA, March 24, 2023.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on August 5, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240231.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Applicant provided a service verification letter from California American Water dated December 10, 2024, indicating its ability to provide potable water service to the property, which will be managed through the Monterey Peninsula Water Management District. The Environmental Health Bureau reviewed the application and found it acceptable with no conditions.
 - c) The project proposes a septic system and leach fields to service the proposed single-family dwelling. The EHB has reviewed the preliminary onsite wastewater treatment system (OWTS) plans and percolation report (County of Monterey Library No. LIB250107 – see Finding 2, Evidence “b”) and found them appropriate.
 - d) A fuel management plan is attached to the project plans and shall be adhered to on an on-going basis to ensure implementation and use of the proposed development reduces fire hazards and complies with California Public Resource Code 4291.
 - e) Geological Hazards. In accordance with Title 21 section 21.66.040, a geologic report shall be required if the project site is in any area of known or suspected geologic hazards. The GIS records show that the Navy Fault is within proximity of the project site. A Geological Hazards Evaluation (County of Monterey Library No. LIB250106 – see Finding

2, Evidence “b”) confirmed that the potential for surface-fault rupture or seismically-induced landslides is considered low and does not pose a threat to the proposed development. The project site is still susceptible to seismic shaking; however, design measures shall be incorporated to resist damage associated with very severe shaking in accordance with current building codes and design standards. Title 16 section 16.08.100 require that recommendations of the geotechnical report and geological report implemented into the final construction plans. Accordingly, potential geologic hazards will be reduced to an acceptable level pursuant to General Plan Policy S-1.6. Finally, evidence submitted demonstrates that the site is physically suitable for development and the development will neither create nor significantly contribute to geologic instability or geologic hazards (General Plan Policy S-1.8).

- f) Staff conducted a site inspection on August 5, 2025 to verify that the site is suitable for this use.
- g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240231.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on August 5, 2025 and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240231.
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5. **FINDING:** **DEVELOPMENT ON SLOPES IN EXCESS OF 25% -** The Proposed Project is located in the most feasible location, minimizes development on slopes in excess of 25 percent, and better measures the resource protection goals and policies of the 2010 General Plan and Carmel Valley Master Plan (CVMP).
- EVIDENCE:** a) The project consists of grading approximately 313 cubic yards of cut and fill to accommodate the construction of a single-family dwelling and detached garage. The one-acre property is heavily sloped, with the majority of the sloped areas within scenic easements (see Finding 1, Evidence “d”), therefore limiting any development to a small flat area at the center of the parcel. The proposed main residence and detached garage will be located in this flatter area; however, the driveway and portions of the garage will be on steeper slopes. The project includes 2,455 square feet of grading that will occur on slopes in excess of 25%. Pursuant to General Plan Policy OS-3.5, a Use Permit is required. In this case, the criteria to grant said permit have been met.
- b) As proposed, the main house and detached garage avoid potential impacts to trees. The proposed development on slopes better protects

forest resources by minimizing tree removal. The CVMP Policy CV-3.11 discourages the removal of healthy trees. The proposed driveway configuration is within the steeper sloped areas of the parcel and allows access to the flattest portion of the property. The proposed garage and single-family dwelling are sited in the flattest areas of the property and the most appropriate location that avoids tree removal. Portions of the garage will be located on slopes in excess of 25%. There is no development on steeper slopes associated with the main residence as its entry patio and bridge (connecting to the garage) are cantilevered over the steeper slopes. Siting the garage entirely on less steep slopes would impact native trees and require a longer driveway and additional development on slopes in excess of 25%, which would conflict with CVMP Policy CV-3.4, which requires that “alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements.” Further, due to the forested and sloped nature of the property, there is not an adequate area to site the residence, garage, and required primary and secondary leach fields without impacting steeper slopes or trees. Avoiding impacts to native trees complies with CV-3.11. Therefore, the proposed development better achieves the goals, policies, and objectives of the County of Monterey General Plan and Carmel Valley Master Plan.

- c) The proposed development on slopes, specifically the siting of the driveway, better balances the forest resource and hillside protection policies of the General Plan and Carmel Valley Master Plan. The topography of the land leaves no opportunity for development on less steep slopes and requires that trees be removed in order to access the flattest building site location. Therefore, the proposed project meets the required criteria of General Plan Policy OS-3.5
- d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240231.

6. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 allows the construction of new residences and accessory structures on residentially zoned properties. Therefore, the proposed single-family dwelling, garage, and associated site improvements qualify as a Class 3 Categorical Exemption pursuant to section 15303 of the CEQA Guidelines.
 - b) None of the exceptions under CEQA Guidelines section 15300.2 apply. The proposed project does not impact environmental resources of hazardous or critical concern where designated (see Findings 1 and 2, and supportive evidence); the project does not contribute to any cumulative environmental; there is no reasonable possibility that the project would cause an impact due to unusual circumstances (see Findings 1 and 2, and supportive evidence); based on the project location, and its topographical relationship to visual public access points

in the area, the proposed development is not visible along Carmel Valley Road without aided vision due to distance, topography, and existing mature vegetation, including several trees that are surrounding the parcel; is not a hazardous waste site or any list compiled pursuant to Government Code section 65962.5; and does not involve any identified historical resources. The proposed tree removal will not contribute to any environmental impacts.

- c) No adverse environmental effects were identified during staff review of the development application during a site visit on August 5, 2025.
- d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240231.

7. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Pursuant to Title 21 section 21.80.040.D, the project is subject to appeal to the Board of Supervisors because it requires the Planning Commission to make a discretionary decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions set forth in Guidelines section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval to allow construction of a 2,265 square foot two-story single-family dwelling with a detached 740 square foot garage and associated site improvements; and
 - b. Use Permit to allow development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of August, 2025.

DocuSigned by:

Melanie Beretti

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Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **SEPTEMBER 8, 2025.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **SEPTEMBER 18, 2025.**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240231

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240231) allows the construction of a 2,265 square foot single-family dwelling with a detached 740 square foot garage and associated site improvements including a driveway, 677 square feet of decks, and development on slopes in excess of 25%. The property is located at 28007 Mercurio Rd. Carmel Valley (Assessor's Parcel Number 169-081-008-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 25-031) was approved by the Planning Commission for Assessor's Parcel Number 169-081-008-000 on August 27, 2025. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection to Mercurio Road. The design and construction is subject to the approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

9. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

11. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

**Condition/Mitigation
Monitoring Measure:**

The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (As applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - o Types of construction vehicles and number of truck and/or vehicle trips/day.
 - o Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - o Hours of operation.
 - o Project scheduling (dates) and duration of construction.
- Map illustrating:
 - o Location of project (vicinity map).
 - o Proposed route for hauling material.
 - o Location of Sensitive Receptors (schools, hospitals, etc.) along haul route.
 - o Location of stockpiles and parking for construction vehicles.
 - o Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc.) where no parking, stockpiling, construction will occur.
- The CMP shall:
 - o Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
 - o Prohibit blocking of access roads or driveways.
 - o Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - o Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - o Provide adequate storage and staging areas. Staging and storage areas shall be on-site to maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
- Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

Compliance or Monitoring Action to be Performed: Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.

On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase yes, they of the project.

12. PDSP001 - LANDSCAPE AND MAINTENANCE PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of building permits, an electronic copy of a landscaping plan shall be submitted to the Director of HCD-Planning to address screening concerns with the adjacent downhill neighbor. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include native trees as vegetative screening and an irrigation plan. Before issuance of building permits, landscaping used for vegetative screening shall be installed and proof of installation shall be submitted to HCD-Planning. All landscaped areas and fences shall be continuously maintained in a litter-free, weed-free, healthy growing condition. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD-Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan and/or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor shall submit one (1) set landscape plans approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor shall submit proof that the vegetative screening has been installed to HCD-Planning.

On an ongoing basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



NOT FOR CONSTRUCTION

★
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△ REVISION #

MAUSE & RILEY
2807 MERCURIO RD.
CARMEL VALLEY, CA 93923

ARCHITECTURAL
RENDERING

Scale: @ 24x36
Drawn By: DP
Job: 2312

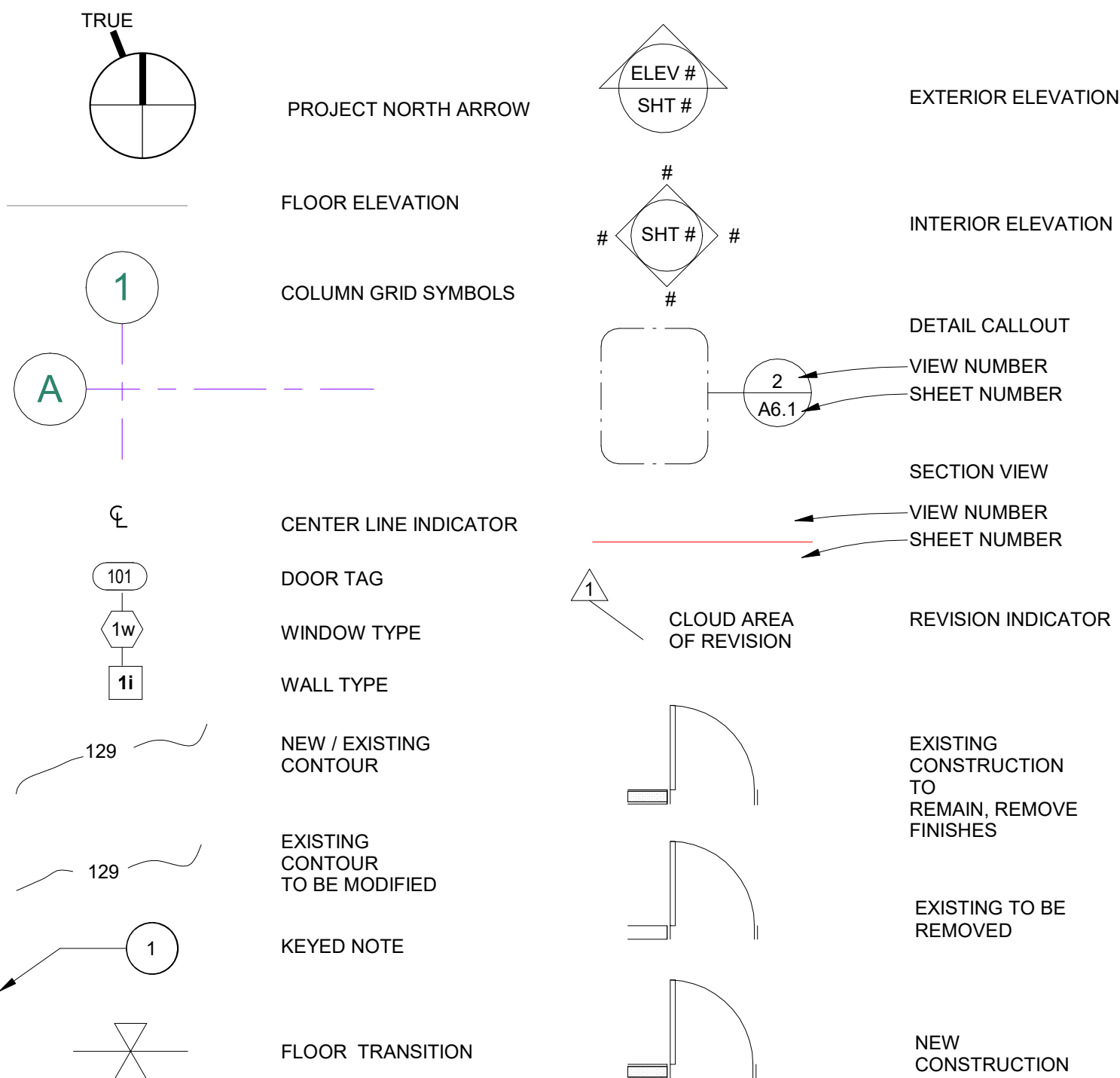
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ARCHITECTURAL ABBREVIATIONS

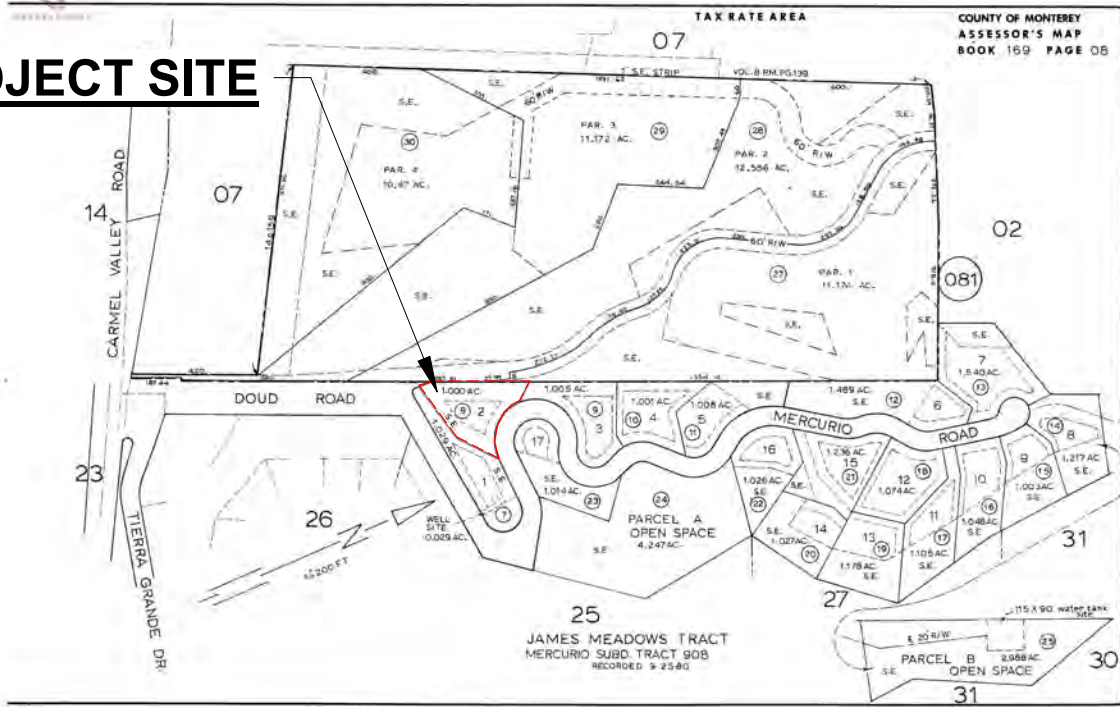
&	AND	DKG.	DECKING	HTR.	HEATER	REF.	REFRIGERATOR
<	ANGLE	DN.	DOWN	HVAC.	HEATING	REIN.F.	REINFORCED
@	AT	DWG.	DRAWING	VENT.	VENTILATION	RES.	RESIN
"	DIAMETER	D.O.	DOOR OPENING	& AIR	& AIR CONDITIONING	REV.	REVISED(ION)
2CP	2 COAT PLASTER	DR.	DOOR	HW	HOT WATER	REQD.	REQUIRED
3CP	3 COAT PLASTER	D.S.	DOWNSPOUT			RM.	ROOM
		DTL.	DETAIL			R.O.	ROUGH OPENING
AB.	AGGREGATE	E	EAST	IB	IMPERIAL BOARD	S	SOUTH
BASE		(E)	EXISTING	I.D.	INSIDE DIAMETER	SAFB	SOUND ATTENUATION FIRE
A.B.T	ANCHOR BOLT	EA.	EACH	IN.	INCHES	BLANKET	
AC.	AIRCONDITIONER	E.J.	EXPANSION JOINT	INSL.	INSULATION	SC	SEALED CONCRETE SOLID
ACD.	ACCESS DOOR	EL.	ELEVATION	INV.	INVERT	CORE	
ACT.	ACOUSTIC TILE	ELEC.	ELECTRICAL	JAN.	JANITOR	SCH.	SCHEDULE
AD.	AREA DRAIN	ELEV.	ELEVATOR	JT.	JOINT	SCP	SKIM COAT PLASTER
A.D.A	AMERICANS WITH DISABILITIES ACT	EMER.	EMERGENCY	L	ANGLE	SEC.	SECTION
ADJ.	ADJUSTABLE	E.M.R	ELEVATOR MACHINE RM.	LB.	POUND	S.F.	SQUARE FEET
A.F.F.	ABOVE FINISH	ENCL.	ENCLOSURE, ENCLOSED	LG.	LONG LENGTH	SHT.	SHEET
FLOOR		ENGR.	ENGINEER	LAM.	LAMINATE(ION)	SIG.	SOUND INSULATING GLASS
AL.	ALUMINUM	ENTR.	ENTRANCE	LAV.	LAVATORY	SIM.	SIMILAR
ANOD.	ANODIZED	EQ.	EQUAL	LLH	LONG LEG HORZ.	SIP	Structural Insulated Panel
A.P.	ACCESS PANEL	EOP.	EQUIPMENT	LLV	LONG LEG VERT.	S.J.	SCORED JOINT
ARCH.	ARCHITECTURAL	EST.	ESTIMATE	LTV	LIGHT(ING)	SPKLR	SPRINKLER
AVG.	AVERAGE	EX.	EXISTING	LVR.	LOUVER	SPKR	SPEAKER
		EXH.	EXHAUST			SQ.	SQUARE
BO.	BOARD	EXP.	EXPANSION			S.S.	STAINLESS STEEL
BITUM.	BITUMINOUS	EXT.	EXTERIOR			SMI	SEE MANUFACTURERS
BLDG.	BUILDING					INSTR.	INSTRUCTIONS
BLK.	BLOCKING	F.A.I.	FRESH AIR INTAKE	MACH.	MACHINE	SED	SEE ENGINEERING DRAWINGS
BM.	BEAM	F.D.	FLOOR DRAIN	MECH.	MECHANICAL	SSD	SEE STRUCTURAL DRAWINGS
B.M.	BENCH MARK	FDN.	FOUNDATION	MFR.	MANUFACTURER	ST	STONE TILE / STONE
B.O.	BOTTOM OF	F.E.	FIRE EXTINGUISHER	MH.	MAN HOLE	STL	STEEL
BR.	BRASS	FF.	FINISH FLOOR OR	MIN.	MINIMUM	STC.	SOUND TRANSMISSION
BRK.	BRICK	FINISHED FACE		MISC.	MISCELLANEOUS	COEFFICIENT	
B.S.	BOTH SIDES	F.G.	FINISH GRADE	M.O.	MASONRY OPENING	STD.	STANDARD
BSMT.	BASEMENT	FGL.	FIBERGLASS	MTD.	MOUNTED	STOR.	STORAGE
B.U.R.	BUILT-UP ROOF	F.H.	FIRE HYDRANT, FLAT	MTG.	MEETING	STRUCT.	STRUCTURAL
		HEAD		MTL.	METAL	SUSP.	SUSPENDED
CAB.	CABINET	F.H.C.	FIRE HOSE CABINET			SW.	STAINED WOOD
CAP.	CAPACITY	FIN.	FINISH	N	NORTH		
CAT.	CATALOG	FLR.	FLOOR	NAT.	NATURAL	T	TREAD
C.C.F.I.	CLOSED CELL FOAM INSULATION	FL.	FLUORESCENT	N.I.C.	NOT IN CONTRACT	TB.	TILE BACKER BOARD
		F.O.	FACE OF	NO.	NUMBER	T.C.	TERRA COTTA
C.B.	CATCH BASIN	F.O.C.	FACE OF CONC.	NOM.	NOMINAL	TEL.	TELEPHONE
CE.	CEDAR	F.O.M.	FACE OF MASONRY	NRC	NOISE REDUCTION	TEMP.	TEMPORARY
CEM.	CEMENTITIOUS	F.O.S	FACE OF STUD		COEFFICIENT	TERR.	TERRACE
CER.	CERAMIC	F.P.	FIRE PROOFING	N.T.S.	NOT TO SCALE	T&G	TONGUE AND GROOVE
CFM.	CUBIC FEET/MIN.	FR.	FRAME / FIRE RATED			THK.	THICK
CAST IRON		F.S.	FULL SIZE/SCALE	O/	OVER	THRU.	THROUGH
C.L.	CENTERLINE	FT.	FOOT/FEET	O.C.	ON CENTER	TMPO	TEMPERED
CLG.	CEILING	FTG.	FOOTING	O.D.	OUTSIDE DIAMETER	(T)	TEMPERED
CLOS.	CLOSET	FXTR.	FIXTURE	OFF.	OFFICE	T.O.P.	TOP OF PLATE
CLR.	CLEAR	GA	GAUGE	O.H.	OPPOSITE HAND	T.O.S	TOP OF SLAB
CLW.	CLEAR FINISH	GALV.	GALVANIZED	OPG.	OPENING	T.O.W.	TOP OF WALL
WOOD		G.C	GENERAL CONTRACTOR	OPP.	OPPOSITE	T.S.S.	TOP OF STRUCTURAL STEEL
C.J.	CONTROL JOINT	GEN.	GENERAL	OVHD.	OVERHEAD	TYP.	TYPICAL
CMU.	CONC. MASONRY UNIT	GFCI.	GROUND FAULT CIRCUIT INTERRUPTER			TZ	TERRAZZO
CNTR.	COUNTER	G.I.	GLASS	PERF.	PERFORATED	UNF.	UNFINISHED
C.O.	CLEANOUT	GL.	GLASS	PL.	PLATE	U.N.O	UNLESS NOTED OTHERWISE
CONF.	CONFERENCE	GLM	GLUELAM	PLAS.	PLASTER	UPD.	UPHOLSTERED
COL.	COLUMN	GLZ.	GLAZING	PLBG.	PLUMBING		
COMM.	COMMUNICATION	GMT.	GLASS MOSIAC TILE	PLG.	PANELLING	VENT.	VENTILATION
CONC.	CONCRETE	GR.	GRAVEL	PLY	PLYWOOD	VERTICAL	VERTICAL
CONST.	CONSTRUCTION	GT.	GLASS TILE	PM.	PERF. MTL.	VEST.	VESTIBULE
		GWB.	GYPSON WALL BOARD	POL.	POLISH(ED)	VIF.	VERIFY IN FIELD
CONT.	CONTINUOUS	GYP.	GYPSON	PR.	PAIR	V.R.	VENEER PLASTER
CORR.	CORRIDOR			PT.	PAINTED	V.P.	VENETIAN PLASTER
CPT.	CARPET	HC	HOLLOW CORE	PTN.	PARTITION		
CRS.	COURSE	HD(R)	HEADER	PW.	PAINTED WOOD	W	WIDE, WIDTH
CT.	CERAMIC TILE	HDWD.	HARDWOOD			W(O)	WITH (OR WITHOUT)
CTR.	CENTER	HDWR.	HARDWARE	QT.	QUARRY TILE	WA.	WALNUT
CW	COLD WATER	H.M.	HOLLOW MTL.	QTY.	QUANTITY	W.C.	WATER CLOSET
		HORZ.	HORIZONTAL			WD.	WOOD
DBL.	DOUBLE	HR.	HOUR	R	RADIUS / RISER	WDW.	WINDOW
DEMO.	DEMOLITION	H.S.	HEADED STUD	R.A.	RETURN AIR	WLP.	WALL PAPER
DET.	DETAIL	HT.	HEIGHT	R.D.	ROOF DRAIN	W.P.	WATERPROOFING
DF.	DOUGLAS FIR	HTG.	HEATING			WT.	WEIGHT
DIA.	DIAMETER					YD	YARD

ARCHITECTURAL SYMBOLS

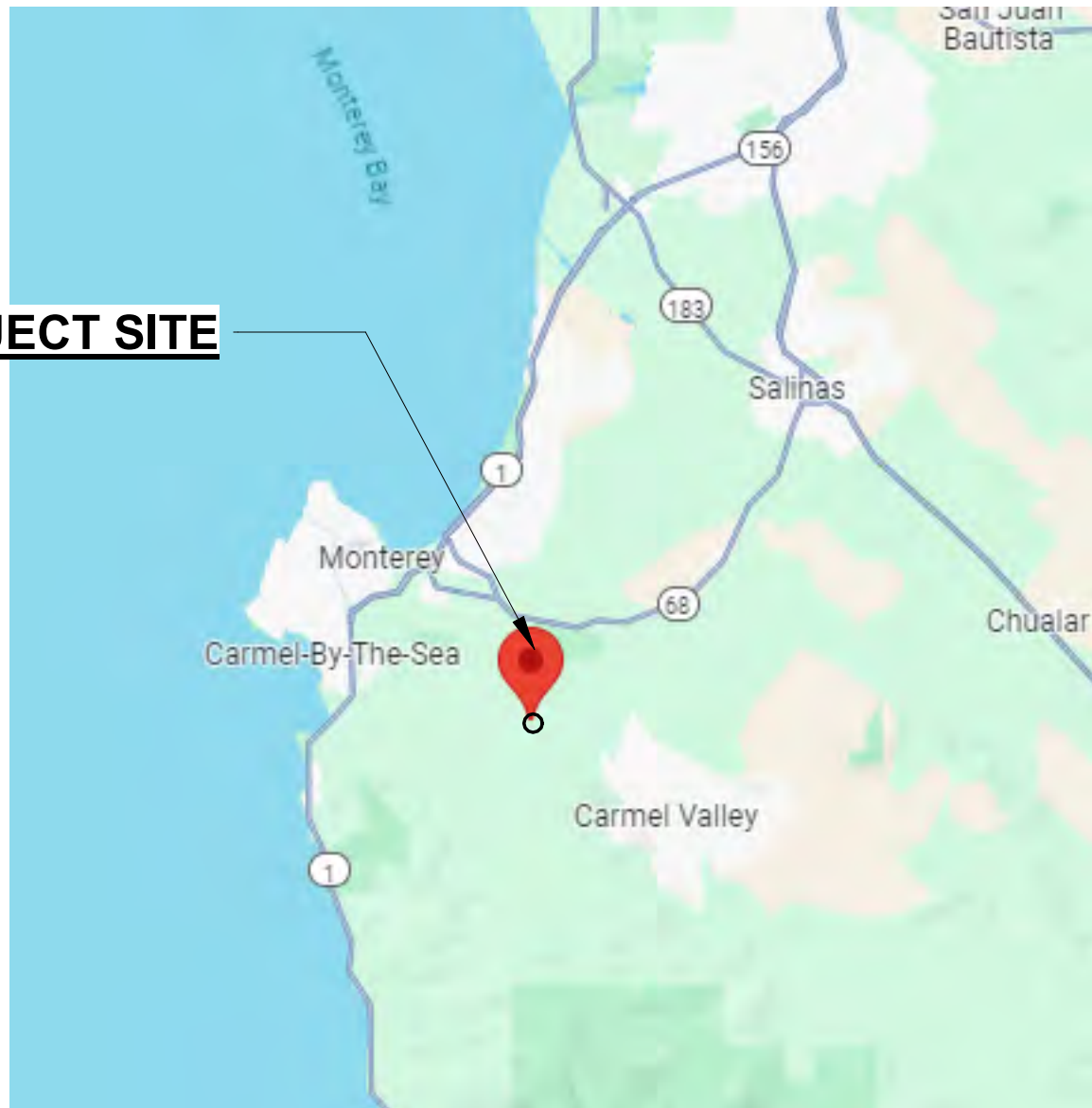


PARCEL MAP

PROJECT SITE



VICINITY MAP



SHEET INDEX

R.1	RENDERING
G1.0	COVER SHEET
G1.2	SURVEY
G1.5	EROSION CONTROL / CONSTRUCTION MGMNT PLAN
G1.6	EROSION CONTROL / CONSTRUCTION MGMNT NOTES
G1.7	GRADING & DRAINAGE PLAN
G1.8	HOUSE & GARAGE SECTION
G1.10	FUEL MANAGEMENT PLAN
A1.0	SITE PLAN
A2.0	LEVEL 2 FLOOR PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	PROPOSED ROOF
A2.3	GARAGE FLOOR & ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
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A3.2	GARAGE ELEVATIONS
A3.3	BUILDING SECTIONS
A3.4	BUILDING SECTIONS
A3.5	BUILDING SECTIONS - GARAGE
A8.1	WALL DETAILS
SW.1	SEPTIC SYSTEM SITE PLAN
SW.2	SEPTIC SYSTEM DETAILS

SCOPE OF WORK

CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED GARAGE. NEW SEPTIC SYSTEM, WATER, GAS, AND ELECTRICAL INFRASTRUCTURE.

NO LANDSCAPING IS PROPOSED

PROJECT TEAM

OWNER	PATRICK MAUSE & ROBIN RILEY C/O ARCHITECT
ARCHITECT	STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 E-mail: robert@studiocarver.com Contact: Robert Carver, AIA, LEED AP
SURVEYOR	LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON ROAD Salinas, CA 93907 Phone: (831) 443-6970 Fax: (831) 443-3801 Contact: Guy R. Giraudo
STRUCTURAL	DUCKBREW INC. PO Box 831 Carmel Valley, CA 93924 Phone: (831) 659-3825 E-mail: duckcfrc@yahoo.com
MECHANICAL	SEACHANGE ENGINEERING INC. 659 Abrego St Ste 2 Monterey, CA 939403238 Phone: (831) 601-4456 E-mail: matt@seachange.engineering Contact: Matt Reistetter

BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC),
THE 2022 CALIFORNIA MECHANICAL CODE (CMC)
THE 2022 CALIFORNIA PLUMBING CODE (CPC)
THE 2022 CALIFORNIA ELECTRICAL CODE (CEC)
THE 2022 CALIFORNIA ENERGY CODE (CEC)

PROJECT INFORMATION

PROPERTY ADDRESS	28007 MERCURIO RD, CARMEL VALEY, CA 93923
APN	169-081-008-000
ZONING	LDR/B-6-D-S-RAZ
GENERAL PLAN LAND USE DESIGNATION	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
WILDLAND URBAN INTERFACE AREA (ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC)	YES
AVERAGE NATURAL GRADE	ELEV. = 82' - 3"
ALLOWED HEIGHT LIMIT ABOVE A.N.G	30' - 0" ELEV. = 112' - 3"
(P) HEIGHT ABOVE A.N.G	24' - 8" ELEV. = 106' - 11"
PERMIT #	PLN240231

BUILDING AREA

(P) RESIDENCE	
LEVEL 1	1,116 SF
LEVEL 2	1,149SF
SUB TOTAL (HOUSE)	2,265SF
DETACHED GARAGE	740 SF
FLOOR AREA TOTAL	3,005 SF
DECKS (24" abv grade)	677 SF

LOT COVERAGE

LOT SIZE	1 ACRES (43,565 SF)
ALLOWABLE LOT COVERAGE	35% OR 15,248 SF
PROPOSED LOT COVERAGE:	
RESIDENCE	1,116 SF
DETACHED GARAGE	740 SF
DECKS (24" abv grade)	677 SF
ROOF OVERHANGS	620 SF
TOTAL	3,153 SF OR 7.2%

GRADING ESTIMATES

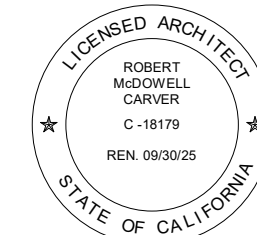
GRADING CUT	322 CU.YDS.
GRADING FILL	322 CU.YDS.
GRADING NET EXPORT	0 CU.YDS.
ALL CUT TO BE BALANCED ON SITE	

MISCELLANEOUS

WATER SOURCE	CAL AM
SEWER SYSTEM	SEPTIC
TREES TO BE REMOVED	0
REQUIRED PARKING	2 SPACES/UNIT
PROPOSED PARKING	4 SPACES (2 COVERED)

DEFERRED SUBMITTALS

SPRINKLERS	YES
SOLAR SYSTEM	YES



PLANNING PERMIT

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REVISION

1 8/6/2025 PLANNING

MAUSE & RILEY
28007 MERCURIO RD,
CARMEL VALLEY, CA 93923

ARCHITECTURAL COVER SHEET

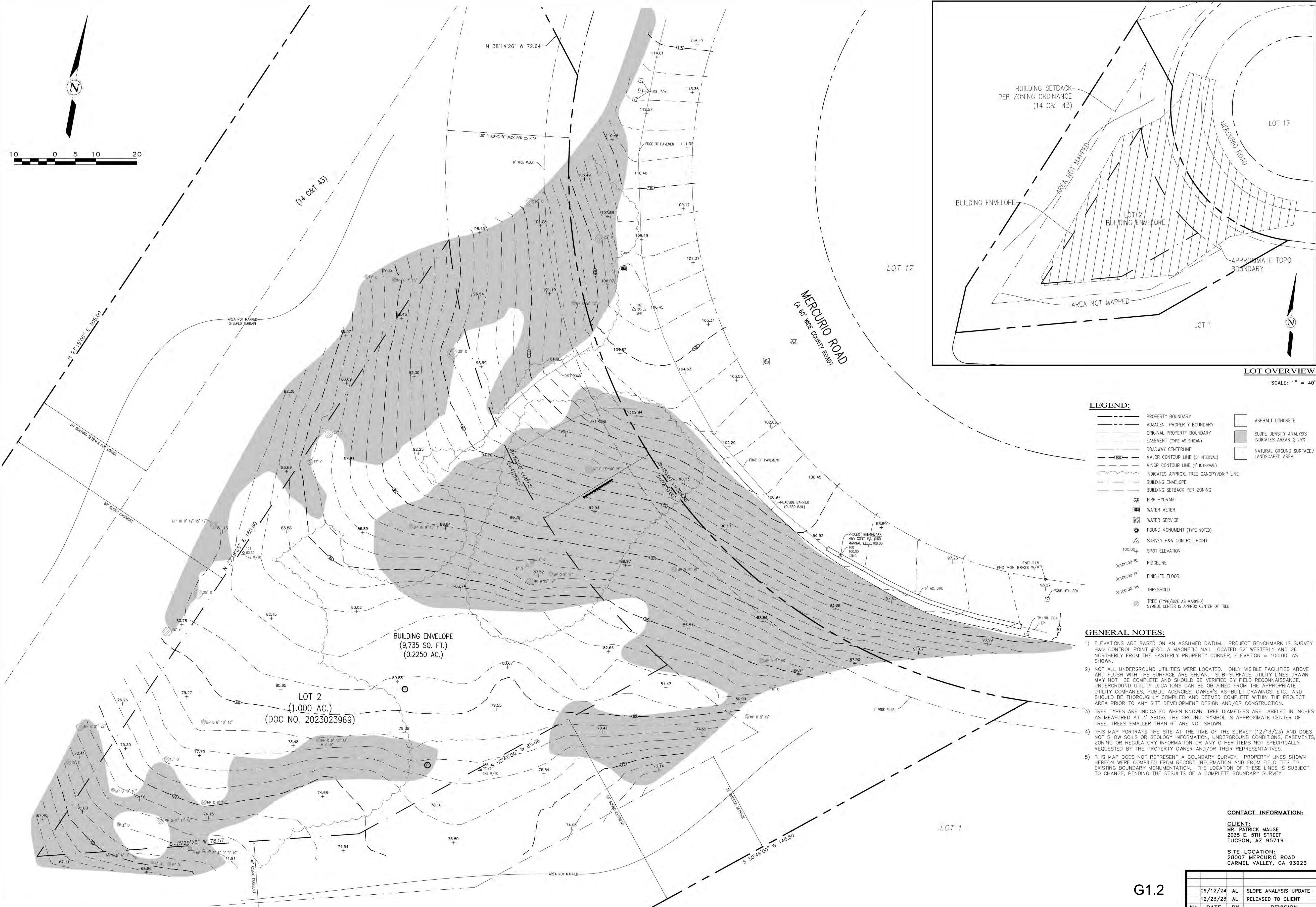
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Job: 2312

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NOT FOR CONSTRUCTION



- LEGEND:**
- PROPERTY BOUNDARY
 - ADJACENT PROPERTY BOUNDARY
 - ORIGINAL PROPERTY BOUNDARY
 - EASEMENT (TYPE AS SHOWN)
 - ROADWAY CENTERLINE
 - MAJOR CONTOUR LINE (5' INTERVAL)
 - MINOR CONTOUR LINE (1' INTERVAL)
 - INDICATES APPROX. TREE CANOPY/DRIP LINE
 - BUILDING ENVELOPE
 - BUILDING SETBACK PER ZONING
 - FIRE HYDRANT
 - WATER METER
 - WATER SERVICE
 - FOUND MONUMENT (TYPE NOTED)
 - SURVEY H&V CONTROL POINT
 - SPOT ELEVATION
 - RIDGELINE
 - FINISHED FLOOR
 - THRESHOLD
 - TREE (TYPE/SIZE AS MARKED)
 - SYMBOL CENTER IS APPROX CENTER OF TREE
 - ASPHALT CONCRETE
 - SLOPE DENSITY ANALYSIS INDICATES AREAS ≥ 25%
 - NATURAL GROUND SURFACE/LANDSCAPED AREA

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100. A MAGNETIC NAIL LOCATED 52' WESTERLY AND 26' NORTHERLY FROM THE EASTERLY PROPERTY CORNER, ELEVATION = 100.00' AS SHOWN.
 - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
 - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
 - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/13/23) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
 - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

CLIENT:
MR. PATRICK MAUSE
2035 E. 5TH STREET
TUCSON, AZ 85719

SITE LOCATION:
28007 MERCURIO ROAD
CARMEL VALLEY, CA 93923

APPROVED BY:

GUY R. GIRARDO
P.L.S. No. 8703

LANDSET ENGINEERS, INC.
5200 Canyon Blvd
Salinas, California 95077
Office: (831) 443-6970 Fax: (831) 443-3901
www.landseteng.com

APN: 169-081-008

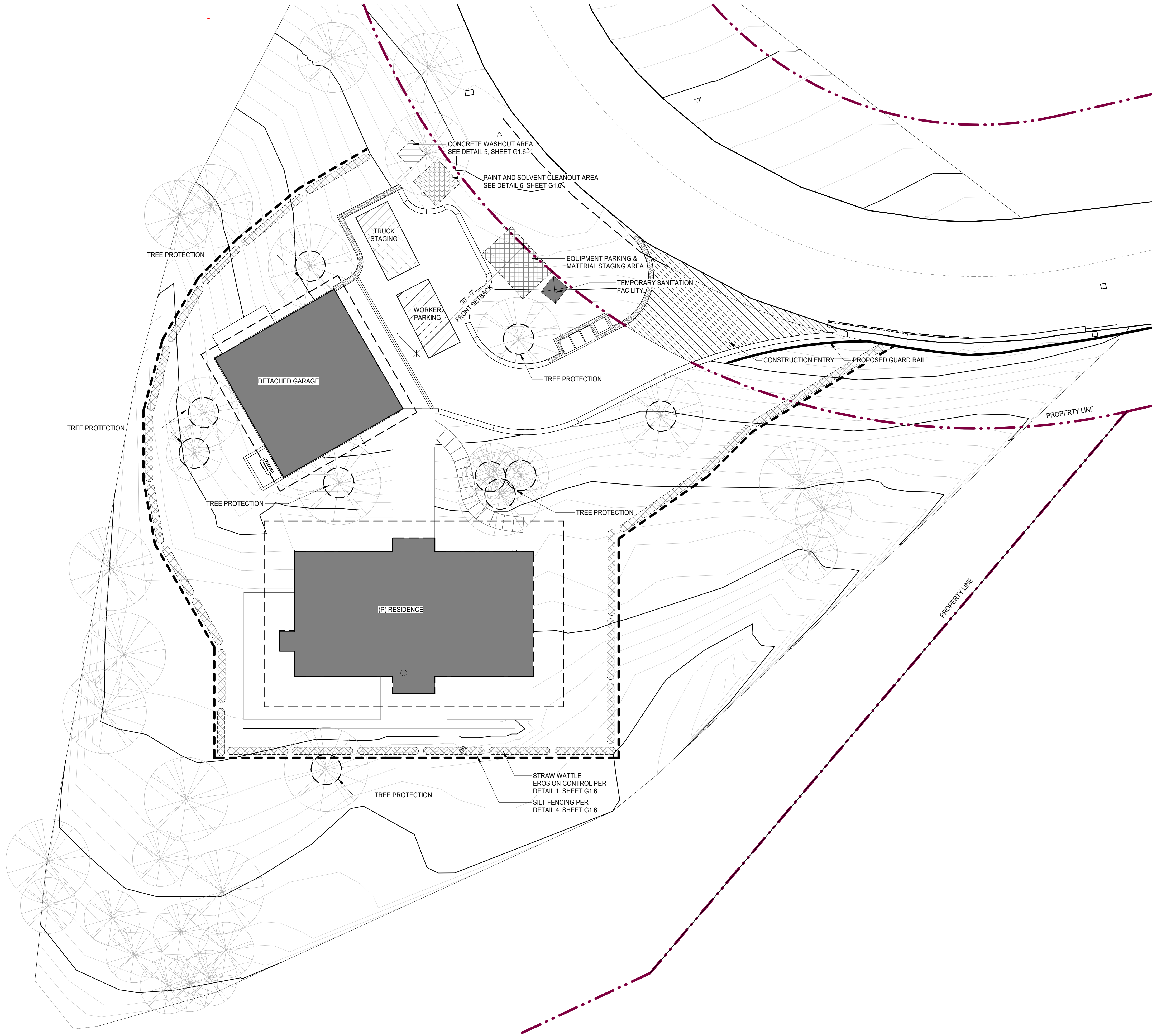
TOPOGRAPHIC MAP
OF
THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2023023969
OFFICIAL RECORDS OF MONTEREY COUNTY
CARMEL VALLEY, CALIFORNIA
FOR
MR. PATRICK MAUSE

SCALE: 1" = 10'
DATE: DEC 2023
JOB NO. 2740-01

SHEET **1**
OF 1 SHEETS

L:\PROJECTS - LANDSET ENGINEERS\2740 - Mause Property\2740-01 Site Topo\DWG\2740-TOPO.dwg

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CONSTRUCTION MANAGEMENT NOTES

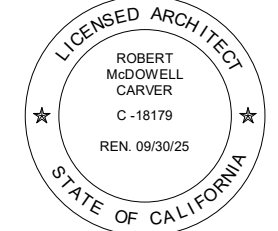
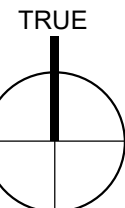
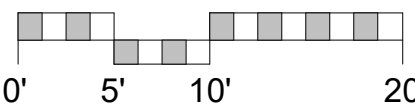
1. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
2. DURATION OF CONSTRUCTION IS ESTIMATED TO BE 24-36 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
3. WORK HOURS ARE LIMITED FROM 7 AM TO 7 PM MONDAY THROUGH FRIDAY AND 8 AM TO 6 PM SATURDAYS. NO WORK SHALL BE PERFORMED ON SUNDAYS AND HOLIDAYS. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR). THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
5. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
6. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
7. DUST SHALL BE CONTROLLED BY DUST PALLIATIVE AND/OR WATERING VIA THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
8. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
9. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
10. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.
11. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
12. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

CONSTRUCTION MANAGEMENT LEGEND

	CONSTRUCTION ENTRY		CONCRETE WASHOUT AREA
	WORKER PARKING		TREE AND ROOT PROTECTION MEASURES PER ARBORIST
	EQUIPMENT PARKING AND MATERIAL STAGING AREA		STRAW WATTLE EROSION CONTROL
	TRUCK STAGING		TRAFFIC
	PAINT AND SOLVENT CLEANOUT AREA		SILT FENCE

1 EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN
1" = 10'-0"

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ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
MGMNT PLAN

Scale: @ 24x36
Drawn By: DP
Job: 2312

G1.5
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This site plan illustrates the layout of a residential property, featuring a detached garage and a main residence. The plan includes detailed annotations for existing and proposed vegetation, topographic features, and easements.

Vegetation and Tree Callouts:

- 23" OAK
- 11" OAK
- 30" OAK
- 96' - 0"
- 17" OAK
- 8" OAK
- 25" OAK
- 26" OAK
- 1" OAK
- 11" OAK
- 11" OAK
- 6" OAK

Structures and Features:

- DETACHED GARAGE
- (P) RESIDENCE
- SCENIC EASEMENT

Grades and Elevation:

- HIGHEST GRADE
- LOWEST GRADE 79' - 5"

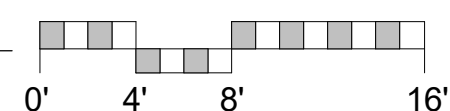
Proposed and Existing Conditions:

- CUT
- FILL
- MP O 11" 12"
- MP O 11" 19" 24"
- MP O 11" 15"
- MP O 11" 15"
- MP O 8" 11"
- MP O 15" 19"
- MP O 6" 13" 13" 5 X 10"
- MP O 8" 15"
- MP TR 8" 12" 15" 19"
- MP TR 9" 10" 11"
- MP O 6" 10" 13"
- MP O 11" 19" 24"
- MP O 11" 15"
- MP O 8" 12"

Other Annotations:

- 2 A3.3
- 3 A3.3
- 2 G1.7

2 DRIVEWAY SECTION
1/8" = 1'-0"



	25% SLOPE OR GREATER		DRIVEWAY
	MAN-MADE SLOPE 25% OR GREATER		STRAW WATTLE EROSION CONTROL
	PROPOSED CUT		TRAFFIC
	PROPOSED FILL		SILT FENCE

GRADING CUT	322	CU.YDS.
GRADING FILL	322	CU.YDS.
GRADING NET EXPORT	0	CU.YDS.
ALL CUT TO BE BALANCED ON SITE		



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GRADING &
DRAINAGE PLAN

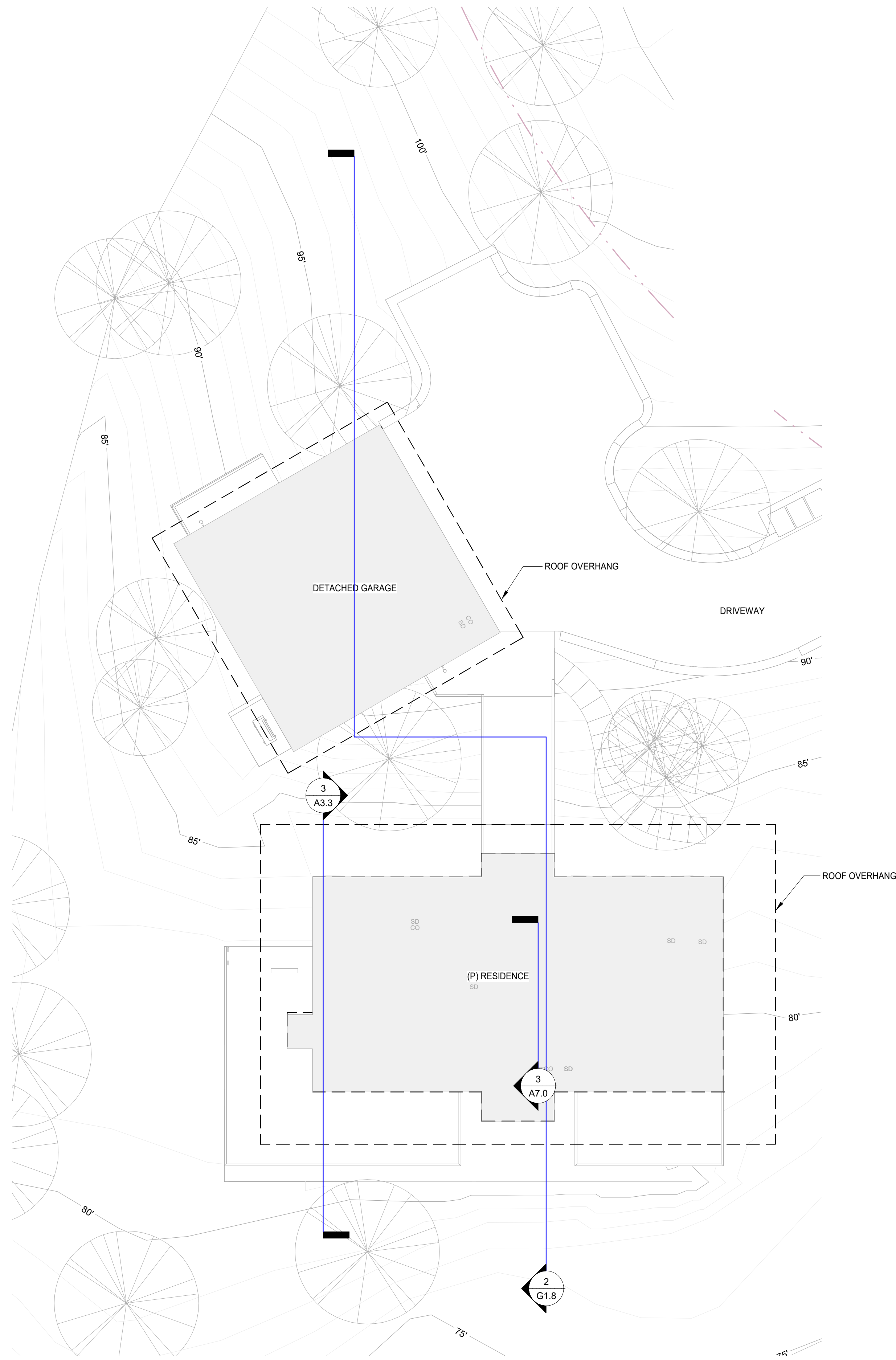
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Job: 2312

G1.7

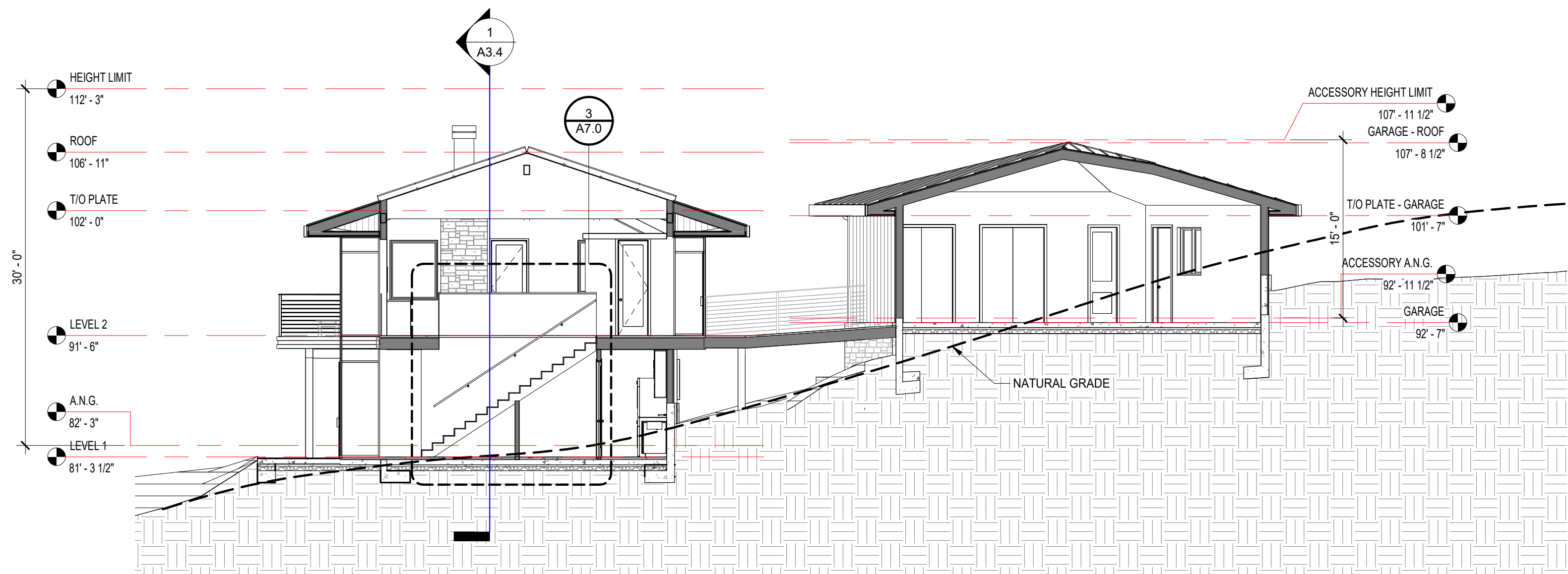
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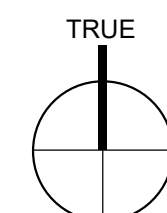
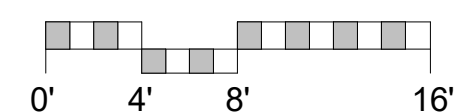
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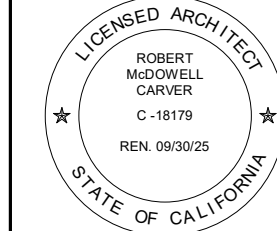
1 ENLARGED SITE PLAN
1/8" = 1'-0"



2 N/S SECTION
1/8" = 1'-0"



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ARCHITECTURAL
HOUSE &
GARAGE
SECTION

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Drawn By: DPI/JP
Job: 2312

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1 FUEL MANAGEMENT PLAN
1" = 10'-0"

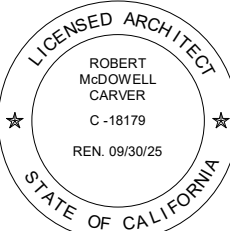
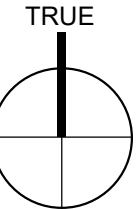
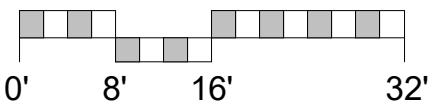
DEFENSIBLE SPACE GUIDELINES

1. MAINTAIN A FIREBREAK BY REMOVING AND CLEARING AWAY ALL FLAMMABLE VEGETATION AND OTHER COMBUSTIBLE GROWTH WITHIN 30 FEET OF EACH BUILDING OR STRUCTURE, WITH CERTAIN EXCEPTIONS PURSUANT TO PRC §4291(A). SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL- SPACED, WELL- PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
2. DEAD AND DYING WOODY SURFACE FUELS AND AERIAL FUELS WITHIN THE REDUCED FUEL ZONE SHALL BE REMOVED. LOOSE SURFACE LITTER, NORMALLY CONSISTING OF FALLEN LEAVES OR NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES, SHALL BE PERMITTED TO A DEPTH OF 3 INCHES. THIS GUIDELINE IS PRIMARILY INTENDED TO ELIMINATE TREES, BUSHES, SHRUBS AND SURFACE DEBRIS THAT ARE COMPLETELY DEAD OR WITH SUBSTANTIAL AMOUNTS OF DEAD BRANCHES OR LEAVES/NEEDLES THAT WOULD READILY BURN.
3. DOWN LOGS OR STUMPS ANYWHERE WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE, WHEN EMBEDDED IN THE SOIL, MAY BE RETAINED WHEN ISOLATED FROM OTHER VEGETATION. OCCASIONAL (APPROXIMATELY ONE PER ACRE) STANDING DEAD TREES (SNAGS) THAT ARE WELL-SPACE FROM OTHER VEGETATION AND WHICH WILL NOT FALL ON BUILDINGS OR STRUCTURES OR ON ROADWAYS/DRIVEWAYS MAY BE RETAINED.
4. WITHIN THE REDUCED FUEL ZONE, ONE OF THE FOLLOWING FUEL TREATMENTS (4A. OR 4B.) SHALL BE IMPLEMENTED. PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER CLEARING TREATMENTS. COMBINATIONS OF THE METHODS MAY BE ACCEPTABLE UNDER §1299(C) AS LONG AS THE INTENT OF THESE GUIDELINES IS MET.
4A. REDUCED FUEL ZONE: FUEL SEPARATION
 5. IN CONJUNCTION WITH GENERAL GUIDELINES 1., 2., AND 3., ABOVE, MINIMUM CLEARANCE BETWEEN FUELS SURROUNDING EACH BUILDING OR STRUCTURE WILL RANGE FROM 4 FEET TO 40 FEET IN ALL DIRECTIONS, BOTH HORIZONTALLY AND VERTICALLY.
 6. CLEARANCE DISTANCES BETWEEN VEGETATION WILL DEPEND ON THE SLOPE, VEGETATION SIZE, VEGETATION TYPE (BRUSH, GRASS, TREES), AND OTHER FUEL CHARACTERISTICS (FUEL COMPACTION, CHEMICAL CONTENT ETC.). PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER SEPARATION.
 7. GRASS GENERALLY SHOULD NOT EXCEED 4 INCHES IN HEIGHT. HOWEVER, HOMEOWNERS MAY KEEP GRASS AND OTHER FORBS LESS THAN 18 INCHES IN HEIGHT ABOVE THE GROUND WHEN THESE GRASSES ARE ISOLATED FROM OTHER FUELS OR WHERE NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.
 8. CLEARANCE REQUIREMENTS INCLUDE:
 - A. HORIZONTAL CLEARANCE BETWEEN AERIAL FUELS, SUCH AS THE OUTSIDE EDGE OF THE TREE CROWNS OR HIGH BRUSH, HORIZONTAL CLEARANCE HELPS STOP THE SPREAD OF FIRE FROM ONE FUEL TO THE NEXT.
 - B. VERTICAL CLEARANCE BETWEEN LOWER LIMBS OF AERIAL FUELS AND THE NEAREST SURFACE FUELS AND GRASS/WEEDS. VERTICAL CLEARANCE REMOVES LADDER FUELS AND HELPS PREVENT A FIRE FROM MOVING FROM THE SHORTER FUELS TO THE TALLER FUELS.

- 4B. REDUCED FUEL ZONE: DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY**
1. TO ACHIEVE DEFENSIBLE SPACE WHILE RETAINING A STAND OF LARGER TREES WITH A CONTINUOUS TREE CANOPY APPLY THE FOLLOWING TREATMENTS:
 2. GENERALLY, REMOVE ALL SURFACE FUELS GREATER THAN 4 INCHES IN HEIGHT. SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL-SPACED, WELL-PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
 3. REMOVE LOWER LIMBS OF TREES ("PRUNE") TO AT LEAST 6 FEET UP TO 15 FEET (OR THE LOWER 1/3 BRANCHES FOR SMALL TREES). PROPERTIES WITH GREATER FIRE HAZARDS, SUCH AS STEEPER SLOPES OR MORE SEVERE FIRE DANGER, WILL REQUIRE PRUNING HEIGHTS IN THE UPPER END OF THIS RANGE.
- DEFENSIBLE SPACE: REDUCED FUEL ZONE**
4. 30 FT. REDUCED FUEL ZONE.
 5. 30 FT. TO 100 FT.
 6. BETWEEN FUELS: FOR EXAMPLE, PROPERTIES ON STEEP SLOPES HAVING LARGE SIZED VEGETATION WILL REQUIRE GREATER SPACING BETWEEN INDIVIDUAL TREES AND BUSHES (SEE PLANT SPACING GUIDELINES AND CASE EXAMPLES BELOW). GROUPS OF VEGETATION (NUMEROUS PLANTS GROWING TOGETHER LESS THAN 10 FEET IN TOTAL FOLIAGE WIDTH) MAY BE TREATED AS A SINGLE PLANT. FOR EXAMPLE, THREE INDIVIDUAL MANZANITA PLANTS GROWING TOGETHER WITH A TOTAL FOLIAGE WIDTH OF EIGHT FEET CAN BE "GROUPED" AND CONSIDERED AS ONE PLANT AND SPACED ACCORDING TO THE PLANT SPACING GUIDELINES IN THIS DOCUMENT.
 - 7.

ALL ROOFS TO BE CLASS A RATED ASSEMBLIES
ALL EXTERIOR WALLS TO HAVE FIRE RESISTIVE FINISH
ALL EXTERIOR WINDOWS TO BE DOUBLE PANE OR TEMPERED GLASS

- 'MANAGEMENT ZONE' & REDUCED FUEL ZONE 30' TO 100' FROM STRUCTURES
- 'GREEN ZONE' & FIREBREAK 30' FROM STRUCTURES
- 'NON COMBUSTIBLE ZONE' 10' FROM STRUCTURES



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ARCHITECTURAL
FUEL
MANAGEMENT
PLAN

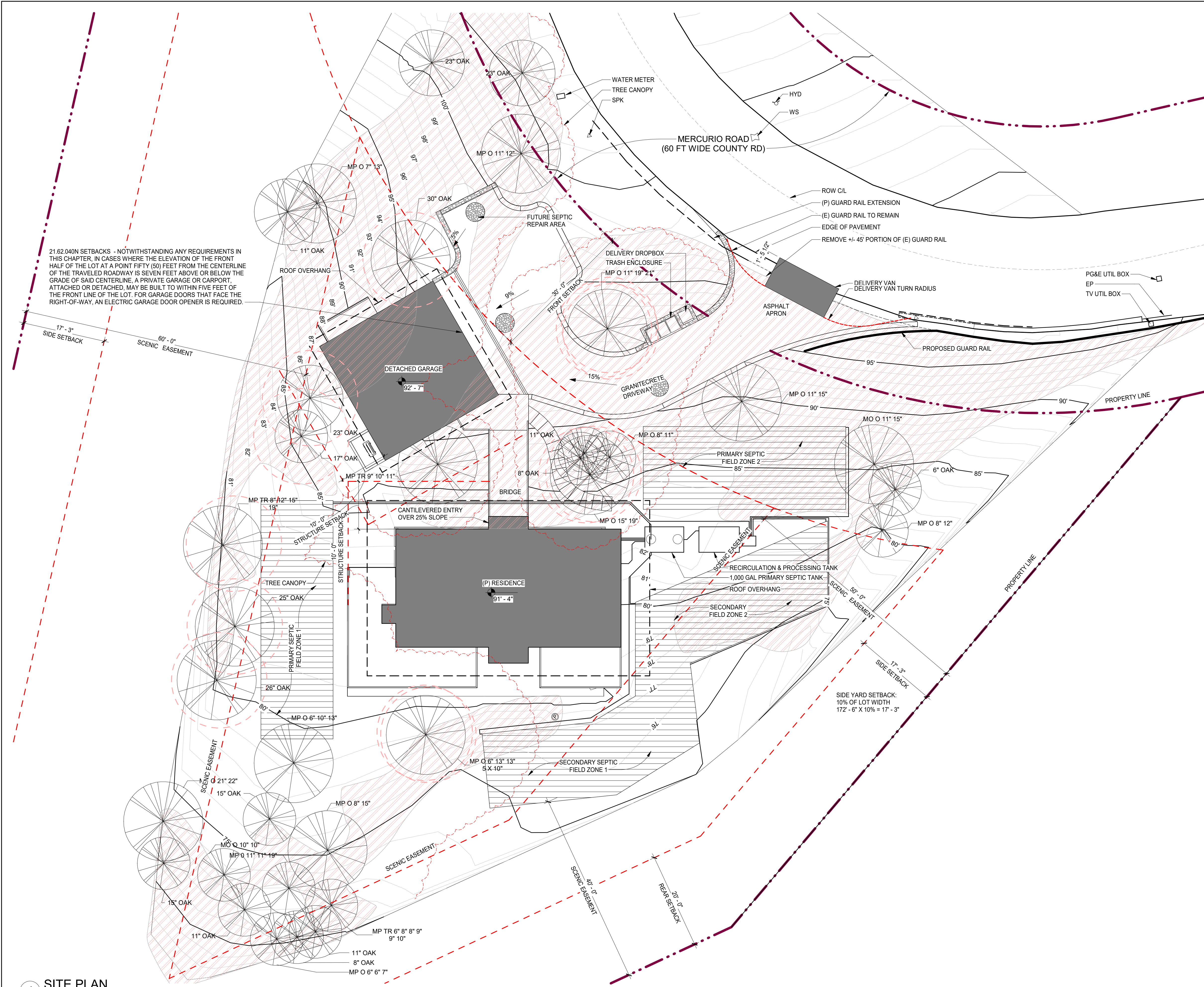
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1 SITE PLAN
1" = 10'-0"

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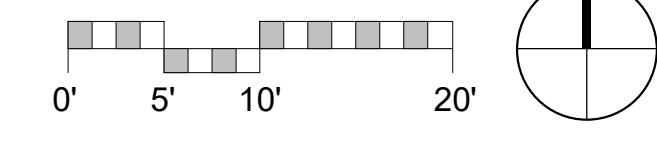
- ### GENERAL NOTES
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
 - ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD THAT SHALL NOT EXCEED 1-1/2" IN HEIGHT.
 - CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
 - SEE SHEET G1.1 GENERAL PLUMBING NOTE 11 FOR MAX FLOW RATES
 - SEE CIVIL DRAWINGS FOR DRIVEWAY DETAILS.

SITE PLAN NOTES

SLOPE DENSITY ANALYSIS INDICATES AREAS ≥ 25%

25% SLOPE DEVELOPMENT

290 SF	STRUCTURES
1,200 SF	DRIVEWAY
1,053 SF	SEPTIC / LEACH FIELD



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ARCHITECTURAL
SITE PLAN

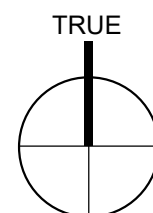
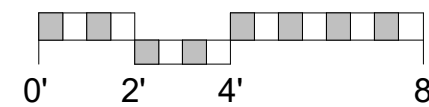
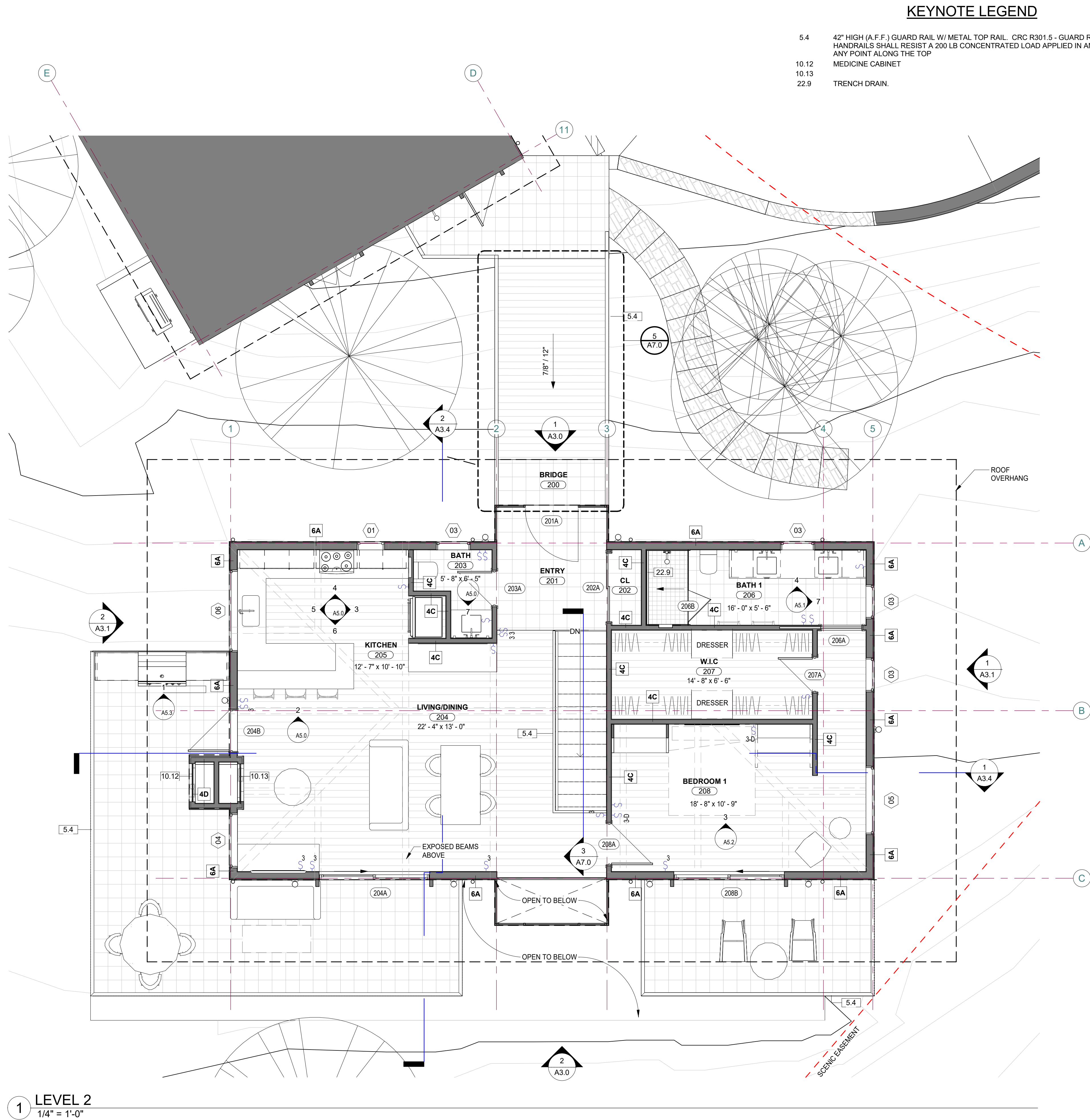
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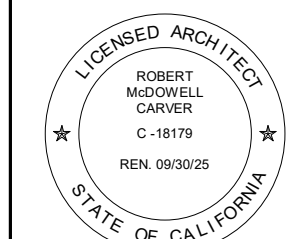
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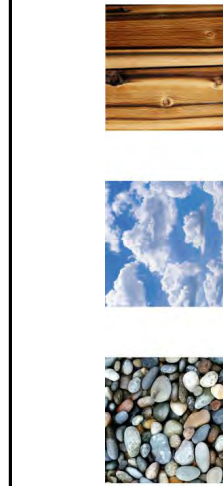
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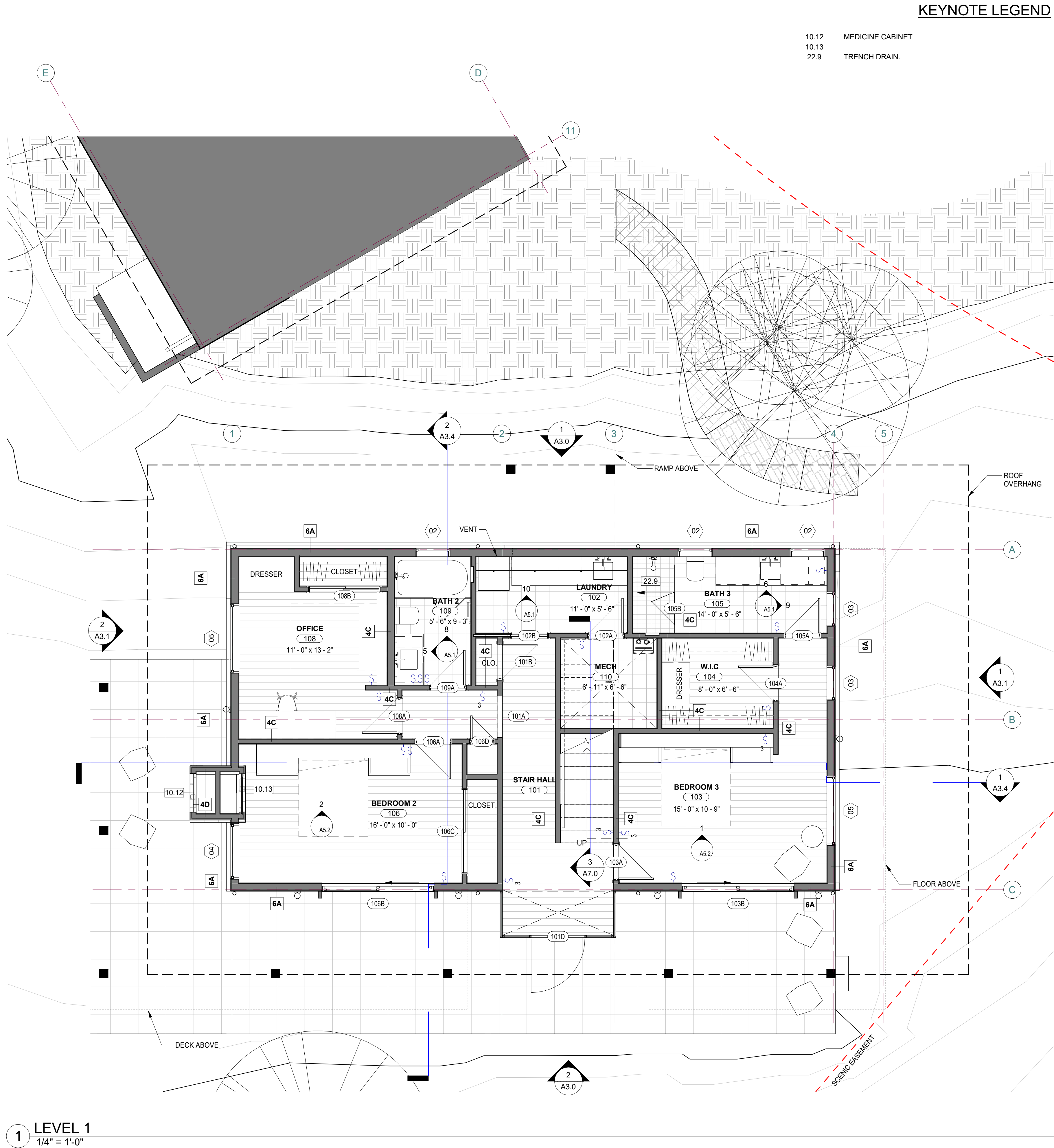
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**ARCHITECTURAL
LEVEL 2 FLOOR
PLAN**

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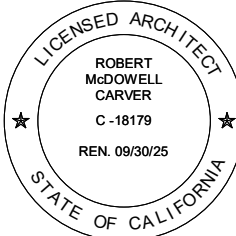


KEYNOTE LEGEND

- 10.12 MEDICINE CABINET
10.13 TRENCH DRAIN.
22.9

WALL SCHEDULE

Type Mark	Description	Note
4C	1/2" GYP. BOARD, 2X4 STUDS @ 16" O.C.; 1/2" GYP. BOARD	
6A	HARDIE PANEL SIDING PANEL; RAIN SCREEN; GRACE ICE & WATER SHIELD SELF ADHERED WRB; FIRE RATED CDX PLYWOOD; 2X8 STUDS @ 16" O.C.; R21 BATT INSULATION; 1/2" GYP. BOARD W/ VENEER PLASTER FINISH	



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ARCHITECTURAL
LEVEL 1 FLOOR
PLAN

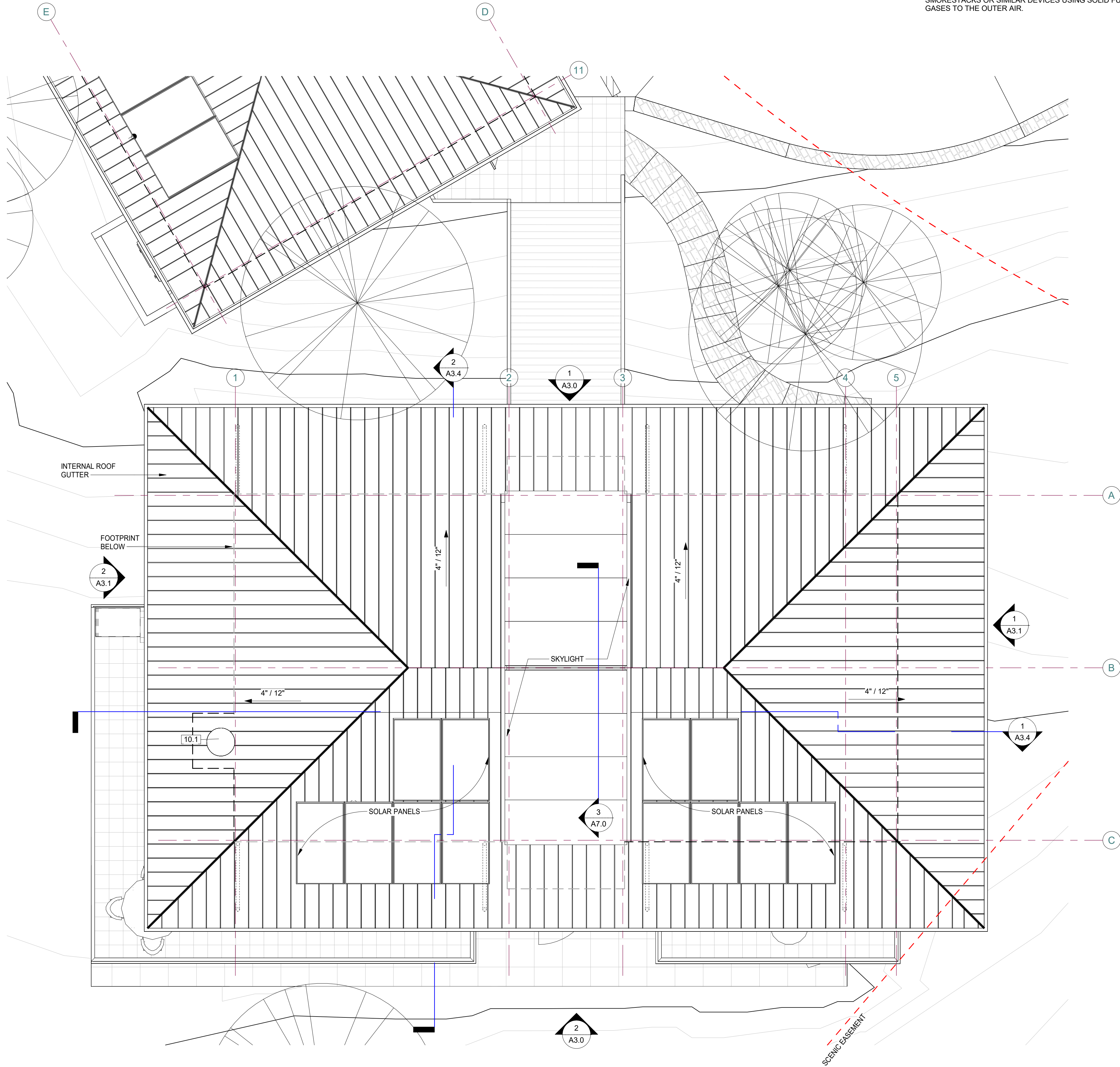
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1 ROOF
1/4" = 1'-0"

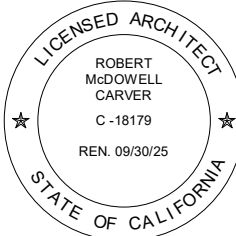
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KEYNOTE LEGEND

- 10.1 CRC R1001 - FIREPLACES SHALL TERMINATE AT LEAST 3 FEET ABOVE THE ROOF AND 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN A HORIZONTAL DISTANCE OF 10 FEET. AN APPROVED SPARK ARRESTER SHALL BE INSTALLED ON ALL CHIMNEYS, INCINERATORS, SMOKESTACKS OR SIMILAR DEVICES USING SOLID FUEL FOR CONVEYING SMOKE OR HOT GASES TO THE OUTER AIR.

ROOF NOTES

1. FASCIA BOARDS SHALL BE MINIMUM 2" NOMINAL THICKNESS.
2. ALL FLASHING, SHEET METAL, VENT STACKS, AND PIPES SHALL BE COPPER OR PAINTED TO MATCH THE ADJACENT ROOFING MATERIAL.
3. PIPES AND VENTS SHALL BE COMBINED FOR MINIMUM ROOF PENETRATIONS. PENETRATIONS SHALL KEPT TO NORTH SIDE OF ROOF WHERE LEAST VISIBLE.
4. ALL ROOF ASSEMBLIES TO BE CLASS A FIRE RATED



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ARCHITECTURAL
PROPOSED
ROOF

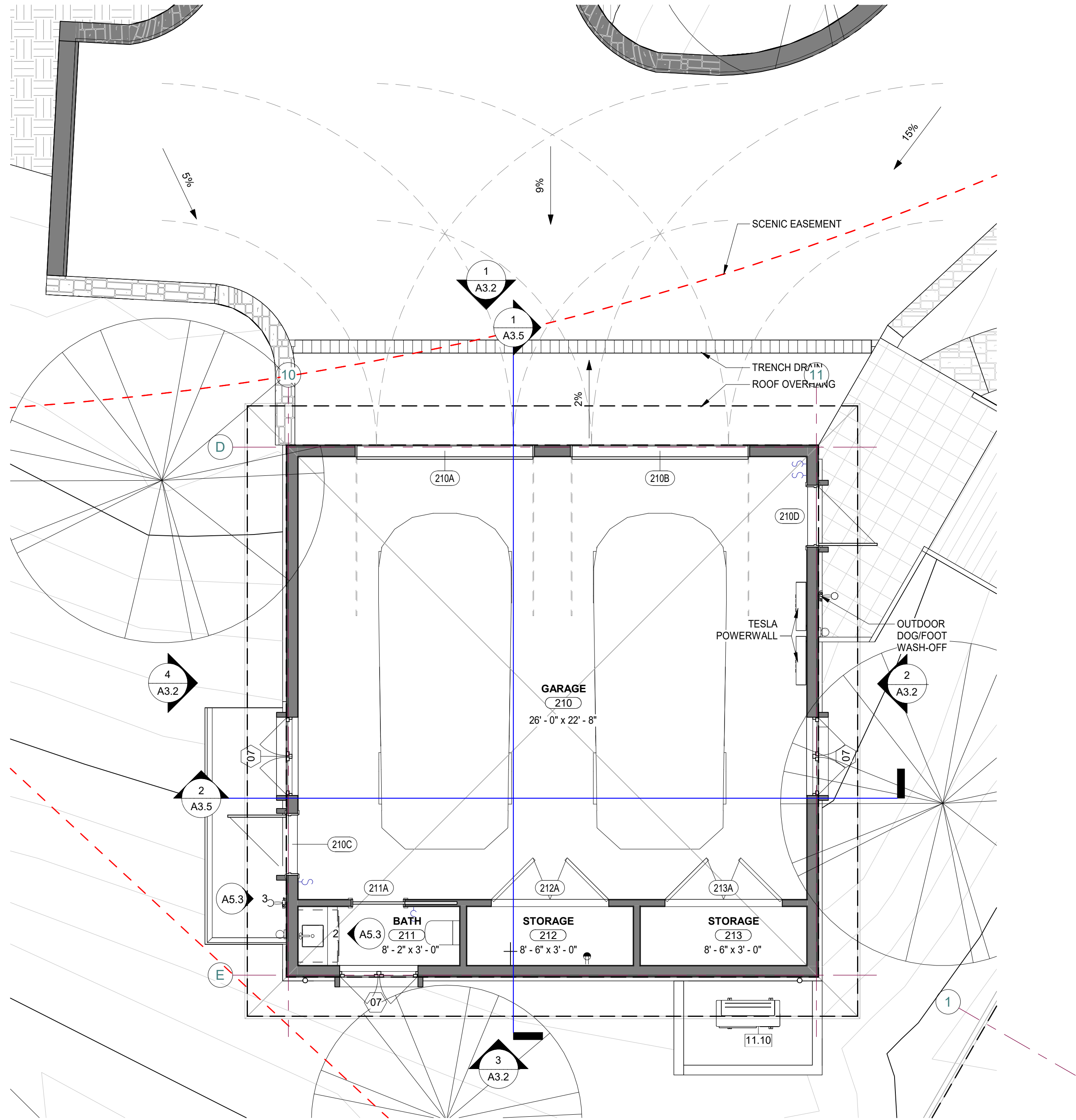
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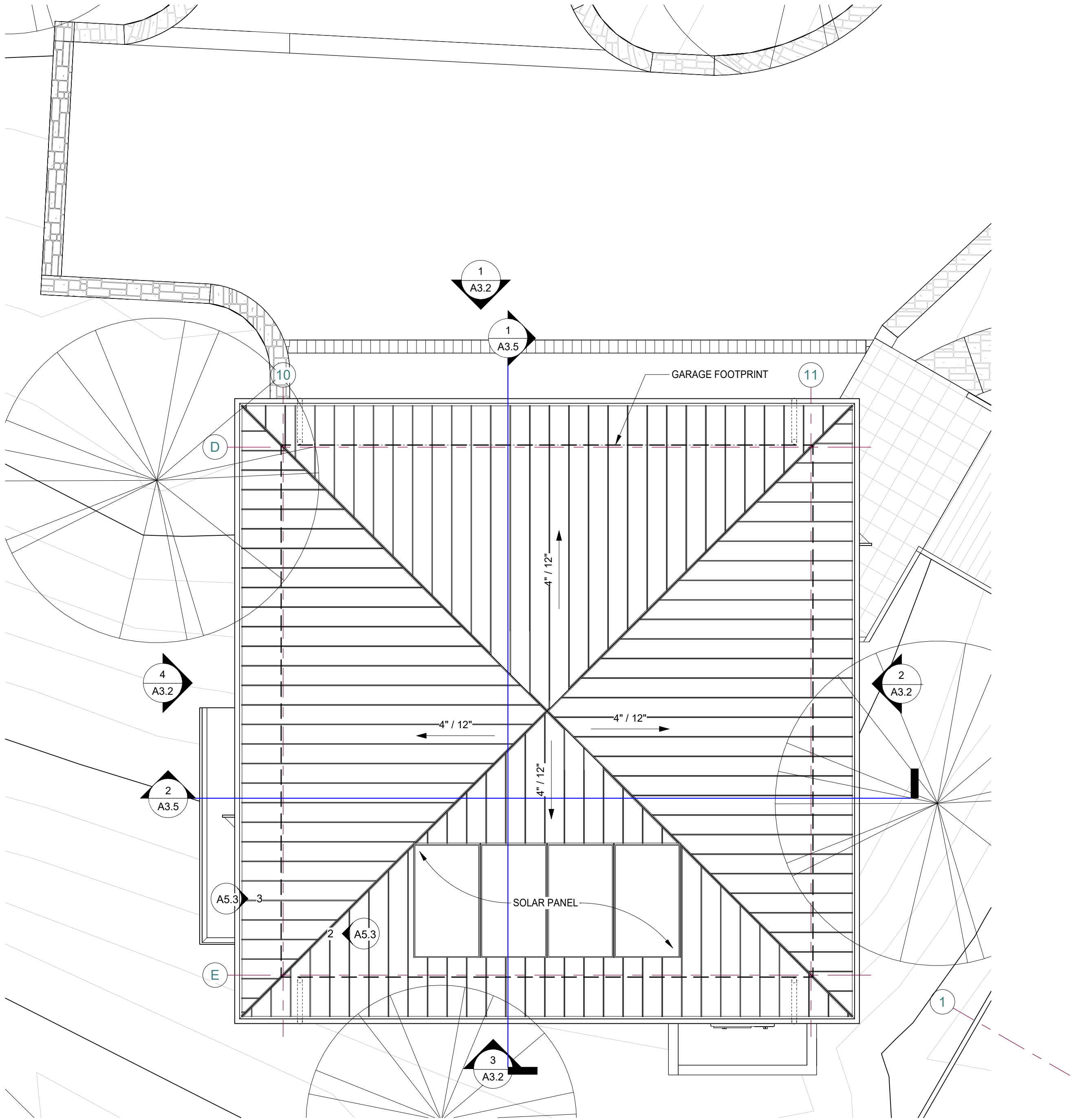
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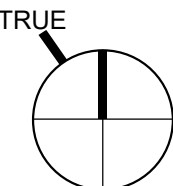
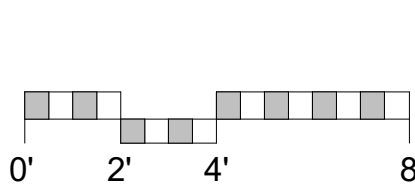
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1 GARAGE
1/4" = 1'-0"



2 GARAGE ROOF
1/4" = 1'-0"



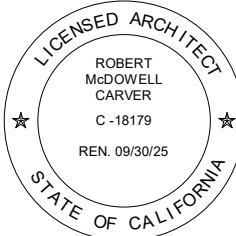
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KEYNOTE LEGEND

11.10 HEAT PUMP

WALL SCHEDULE

Type Mark	Description	Note
4C	1/2" GYP. BOARD; 2X4 STUDS @ 16" O.C.; 1/2" GYP. BOARD	
6A	HARDIE PANEL SIDING PANEL; RAIN SCREEN; GRACE ICE & WATER SHIELD SELF ADHERED WRB; FIRE RATED CDX PLYWOOD; 2X6 STUDS @ 16" O.C.; R21 BATT INSULATION; 1/2" GYP. BOARD W/ VENEER PLASTER FINISH	



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2807 MERCURIO RD.
CARNIEL VALLEY, CA 93923

ARCHITECTURAL
GARAGE FLOOR
& ROOF PLAN

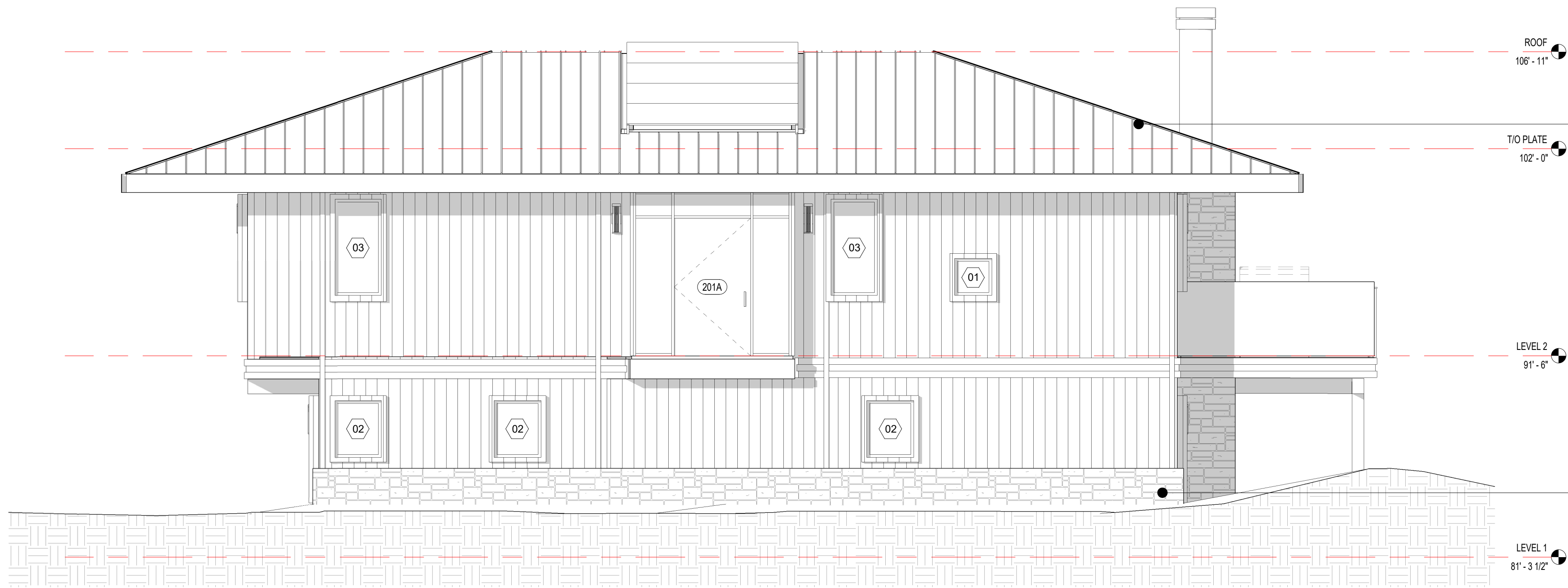
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Drawn By: DP/JP
Job: 2312

A2.3

3/31/2025

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1 NORTH ELEVATION
1/4" = 1'-0"



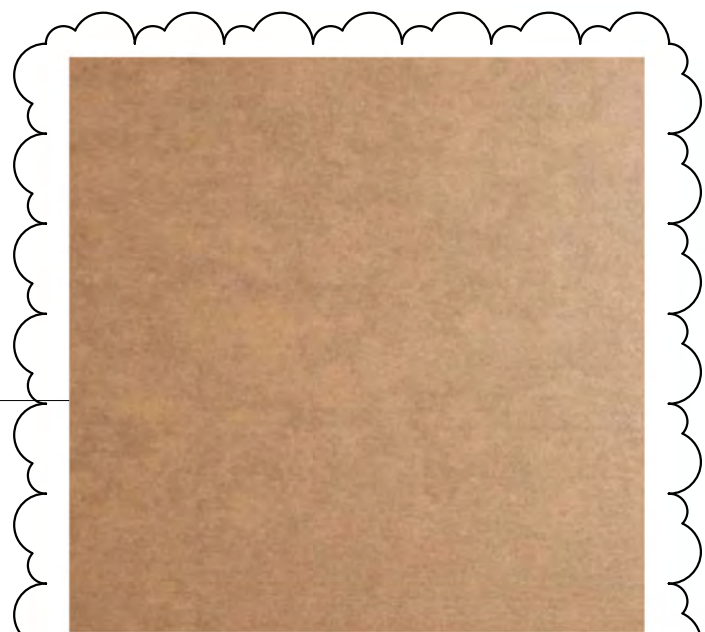
2 SOUTH ELEVATION
1/4" = 1'-0"



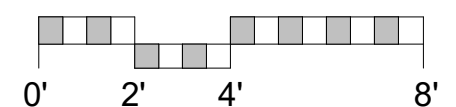
STANDING SEAM METAL
GRAPHITE GREY



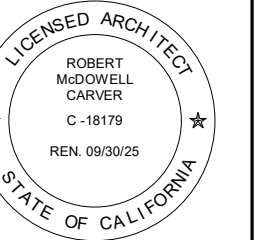
TUSCAN BLEND RUBBLE



LIGHT BROWN FIBER CEMENT
SIDING, DOORS & WINDOWS



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1 8/6/2025 PLANNING

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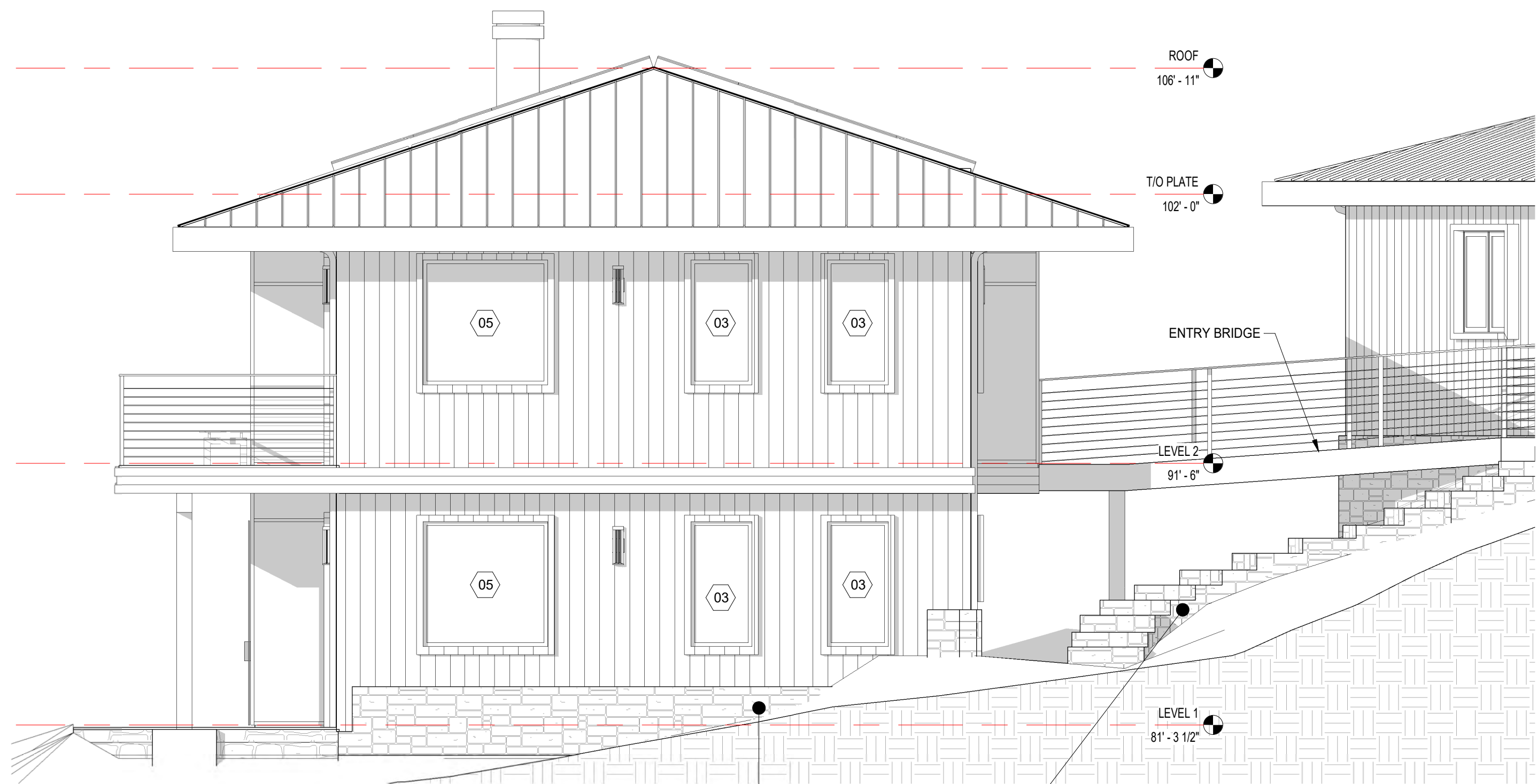
ARCHITECTURAL
EXTERIOR
ELEVATIONS

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Drawn By: DP/JP
Job: 2312

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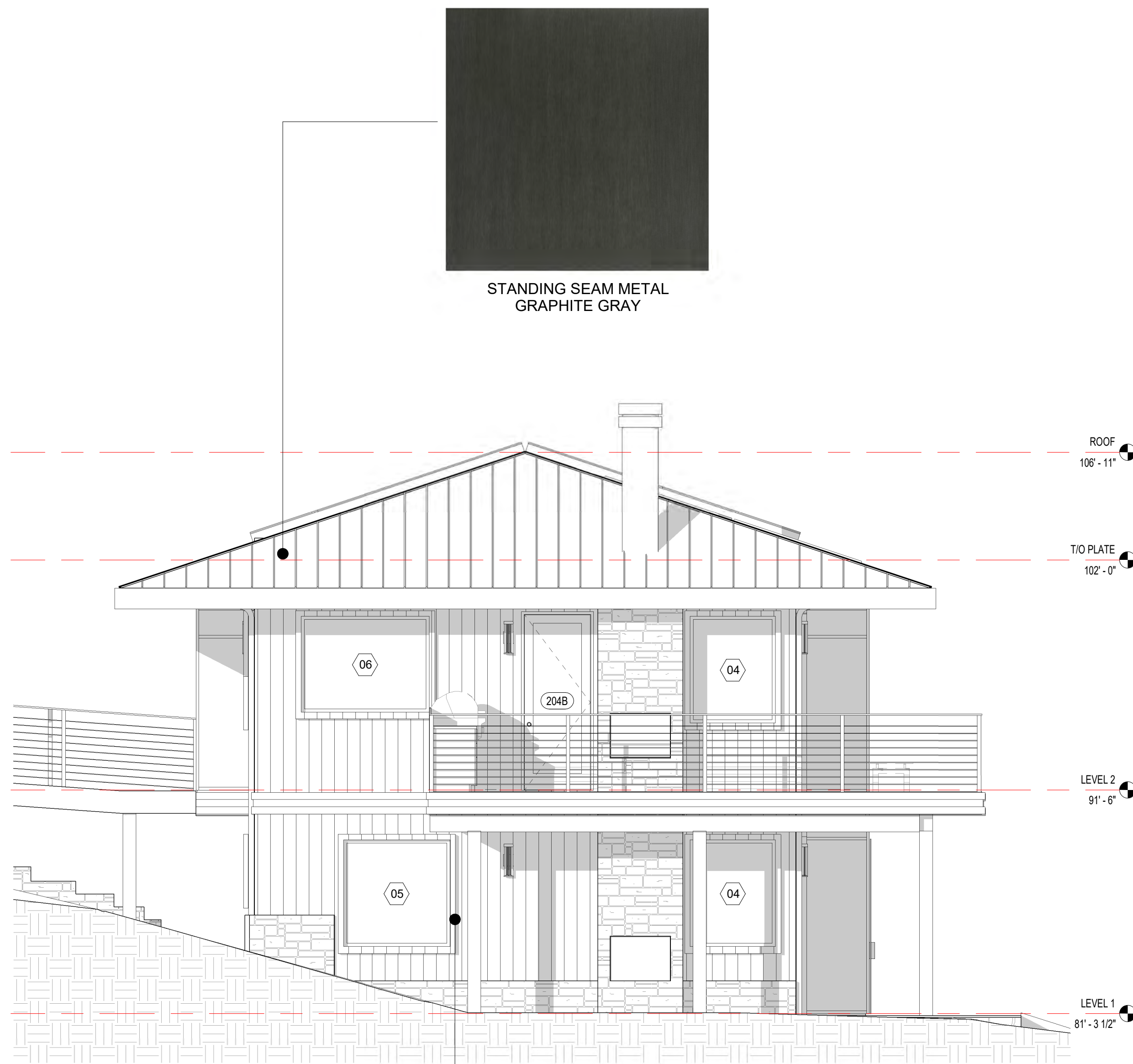
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1 EAST ELEVATION
1/4" = 1'-0"



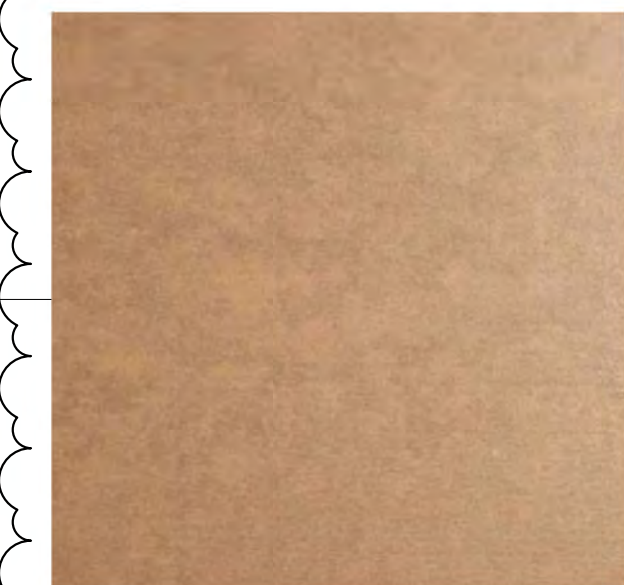
TUSCAN BLEND RUBBLE



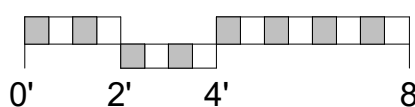
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1/4" = 1'-0"



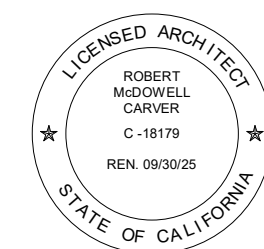
STANDING SEAM METAL
GRAPHITE GRAY



LIGHT BROWN FIBER CEMENT
SIDING, DOORS & WINDOWS



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ARCHITECTURAL
EXTERIOR
ELEVATIONS

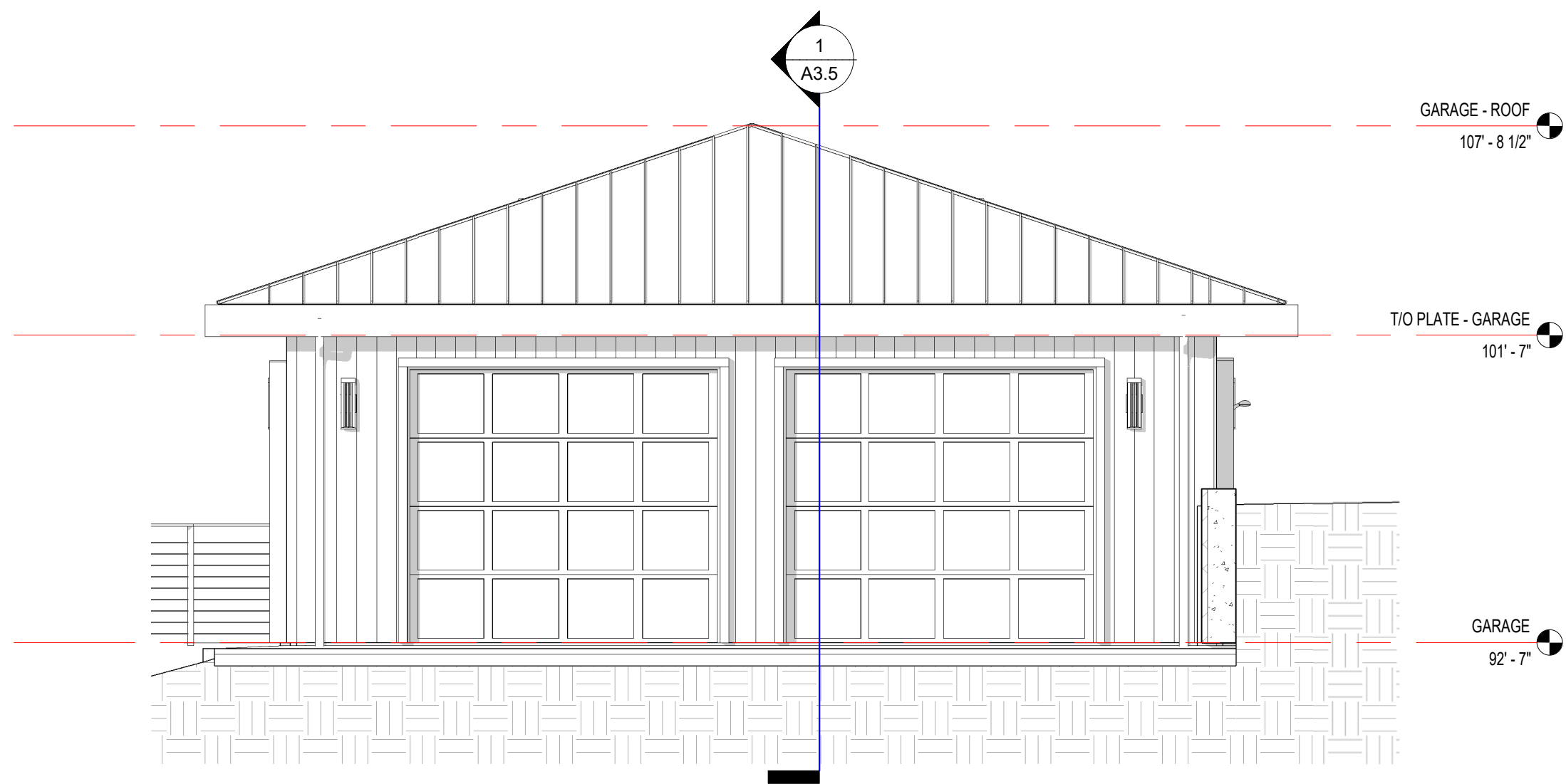
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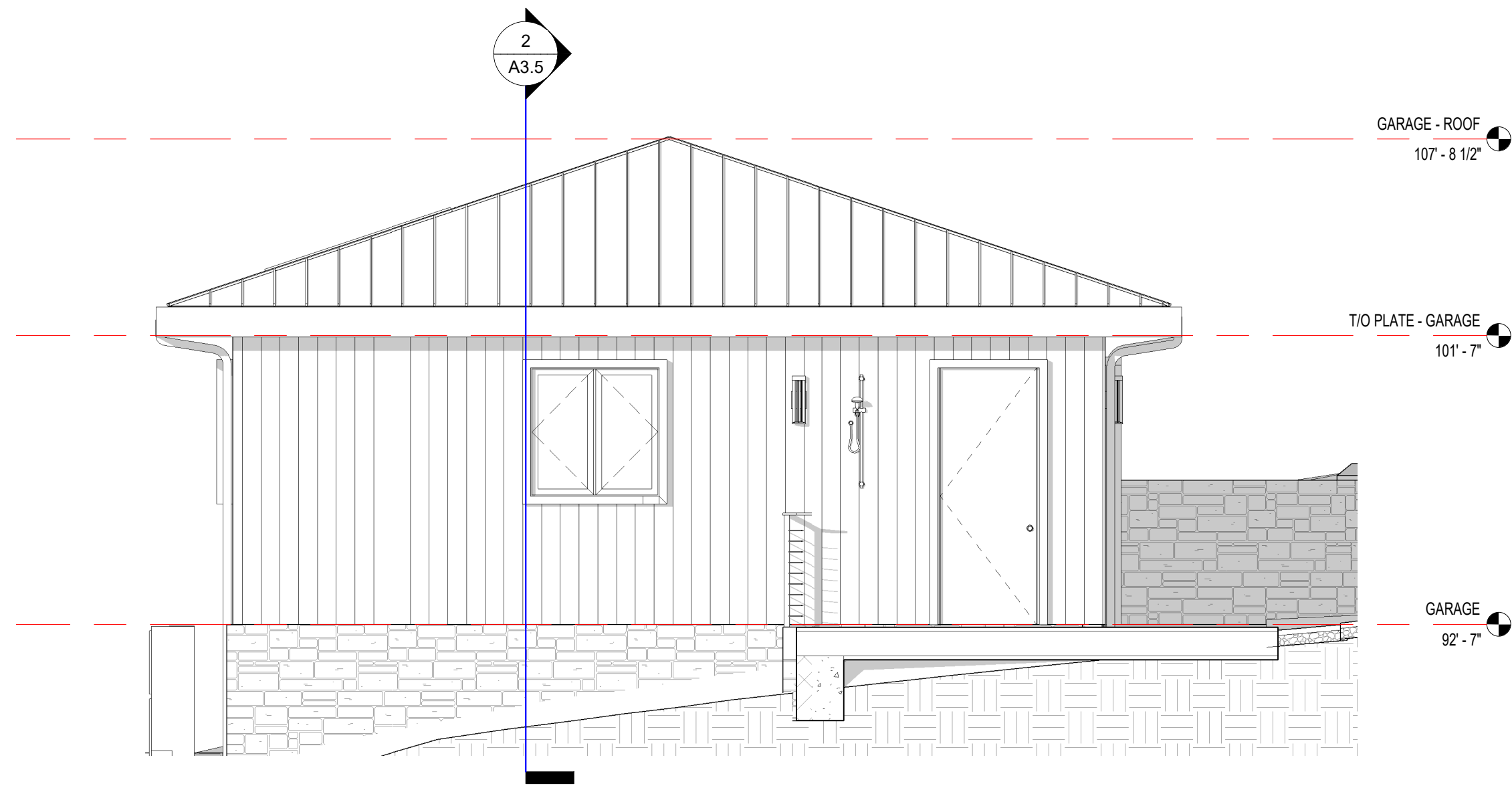
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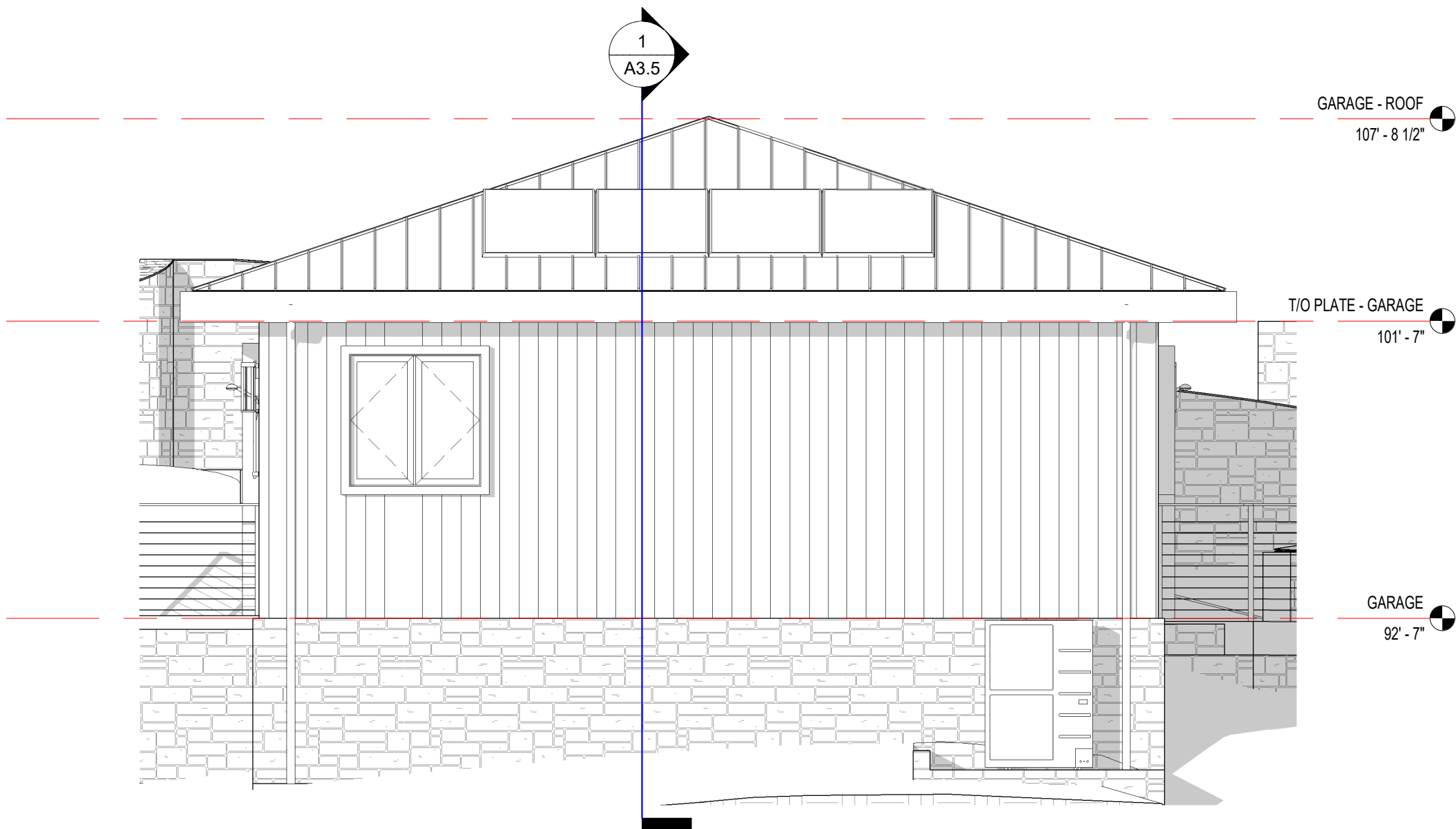
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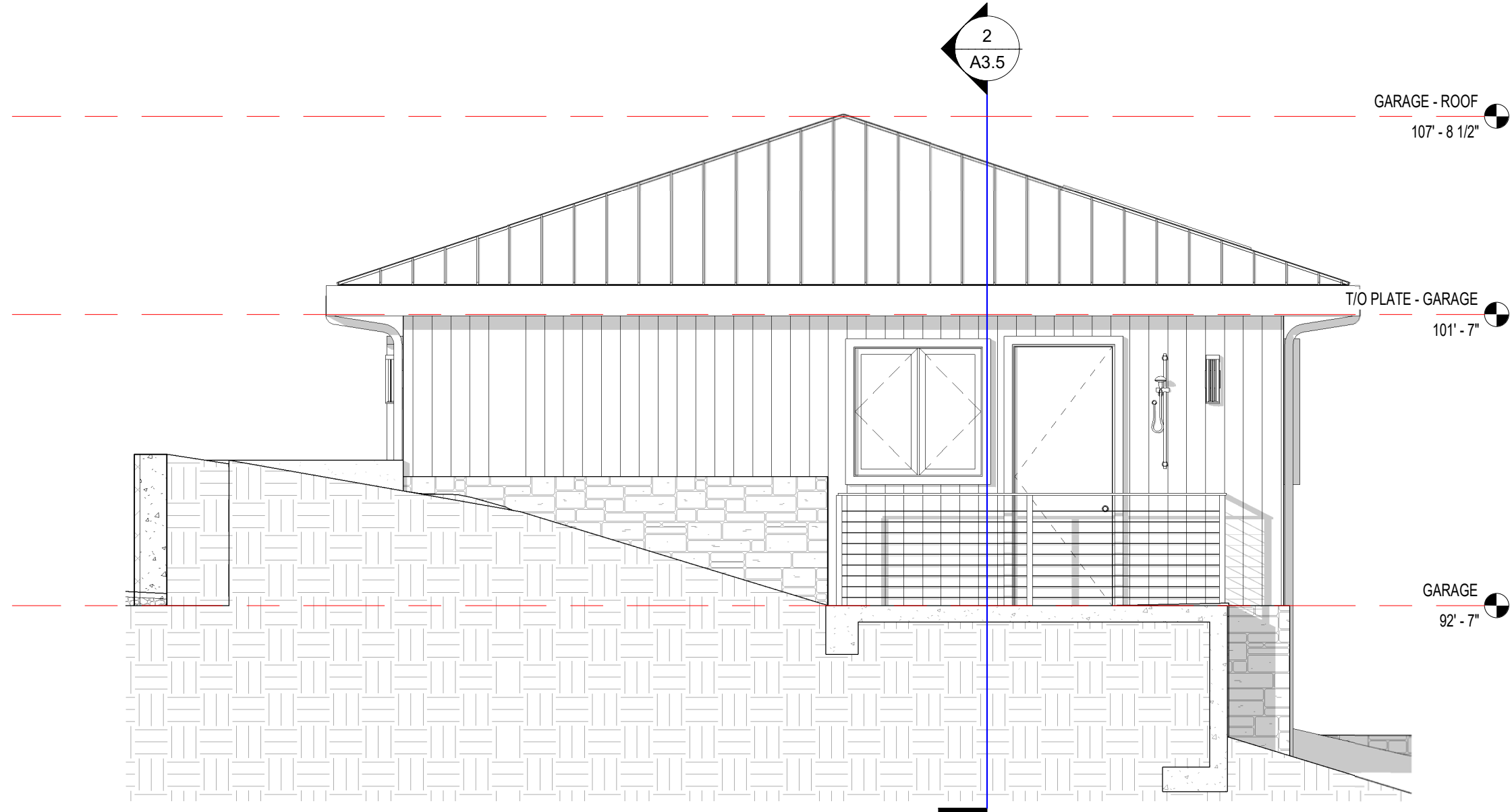
1 GARAGE - NORTH
1/4" = 1'-0"



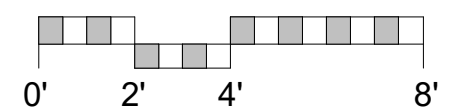
2 GARAGE - EAST
1/4" = 1'-0"



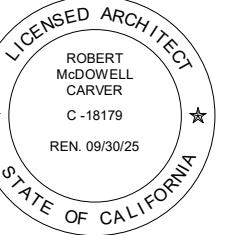
3 GARAGE - SOUTH
1/4" = 1'-0"



4 GARAGE - WEST
1/4" = 1'-0"



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ARCHITECTURAL
GARAGE
ELEVATIONS

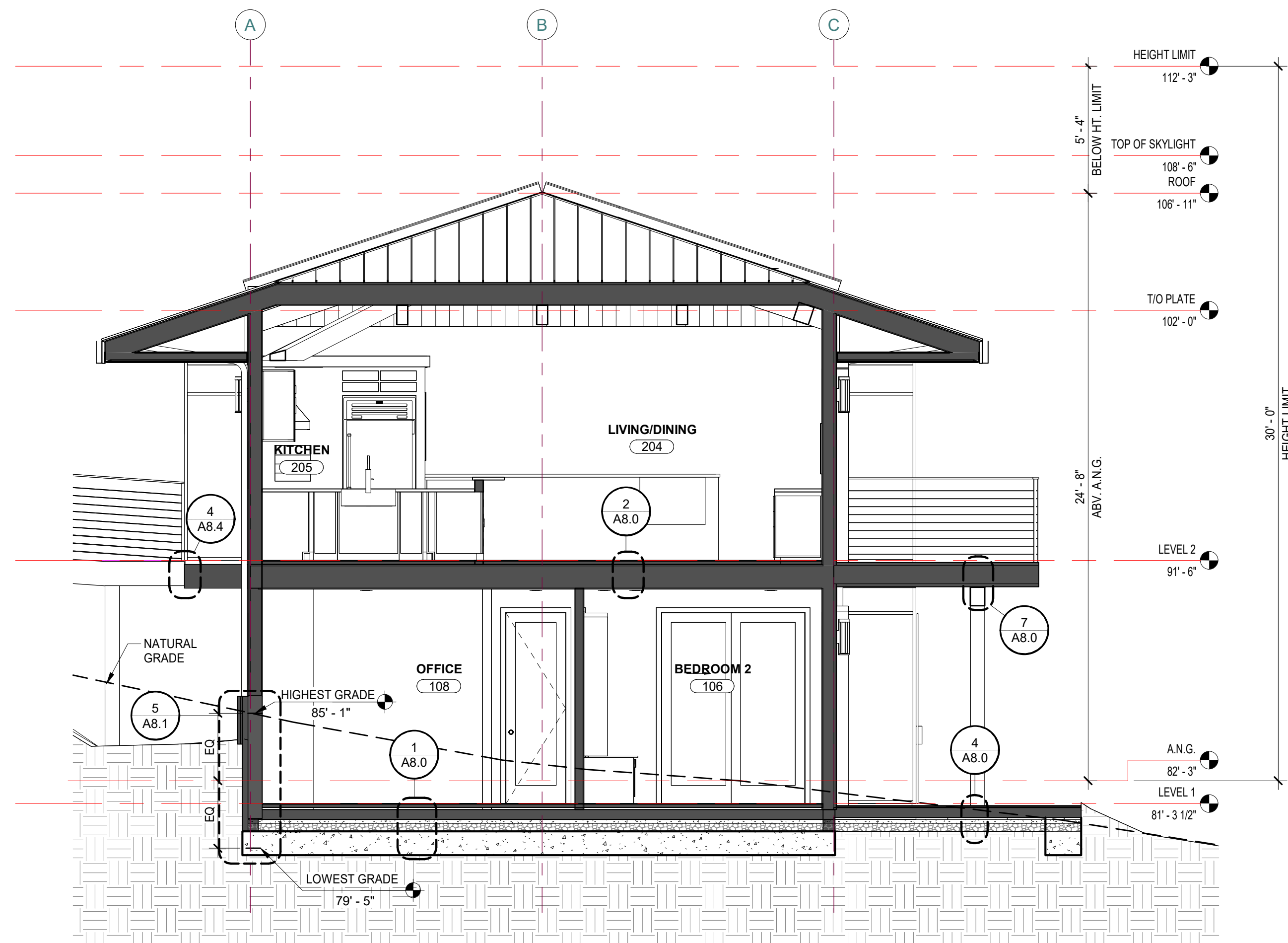
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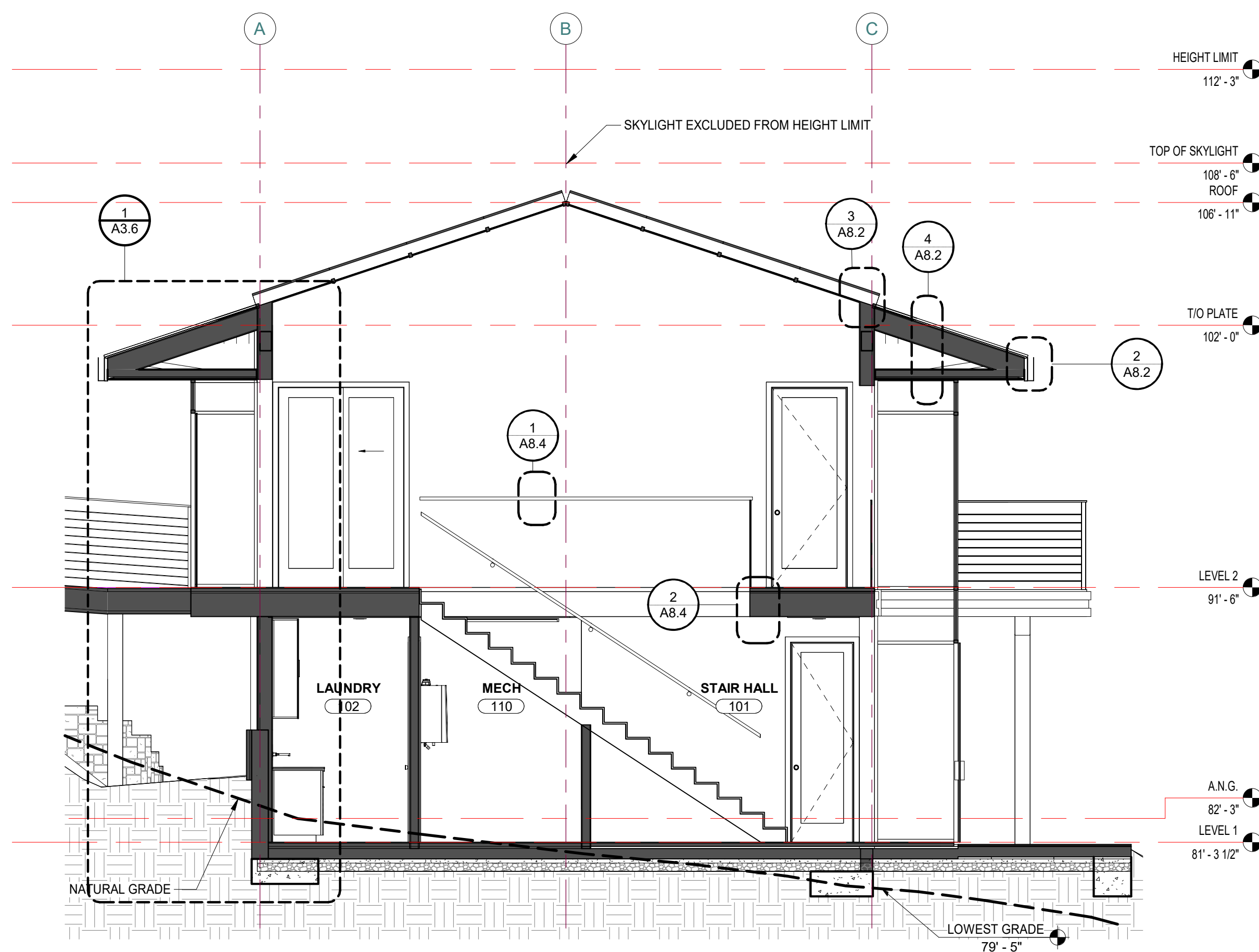
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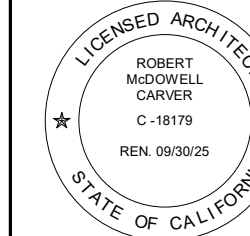


3 N/S SECTION 1
1/4" = 1'-0"



2 N/S SECTION 2
1/4" = 1'-0"

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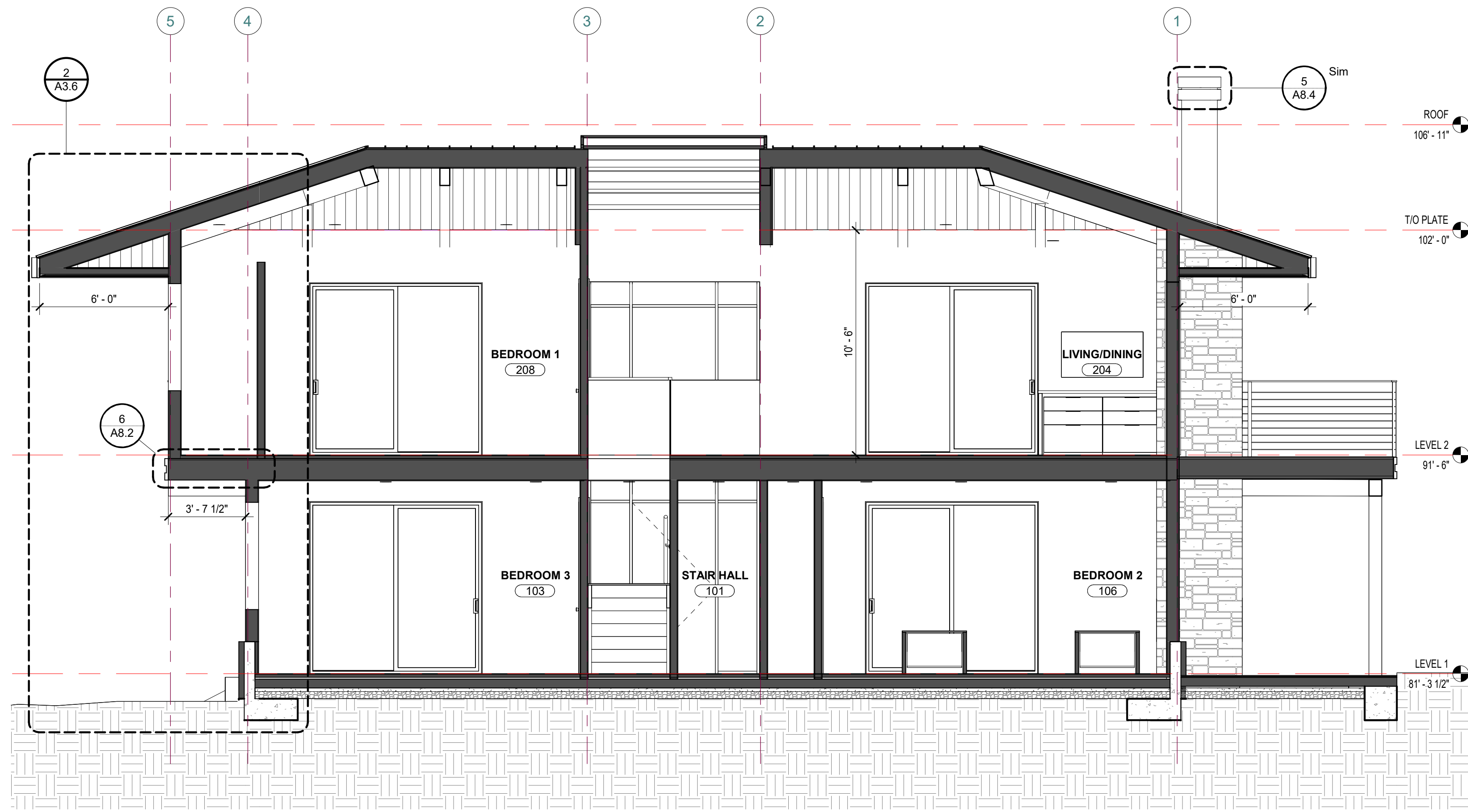
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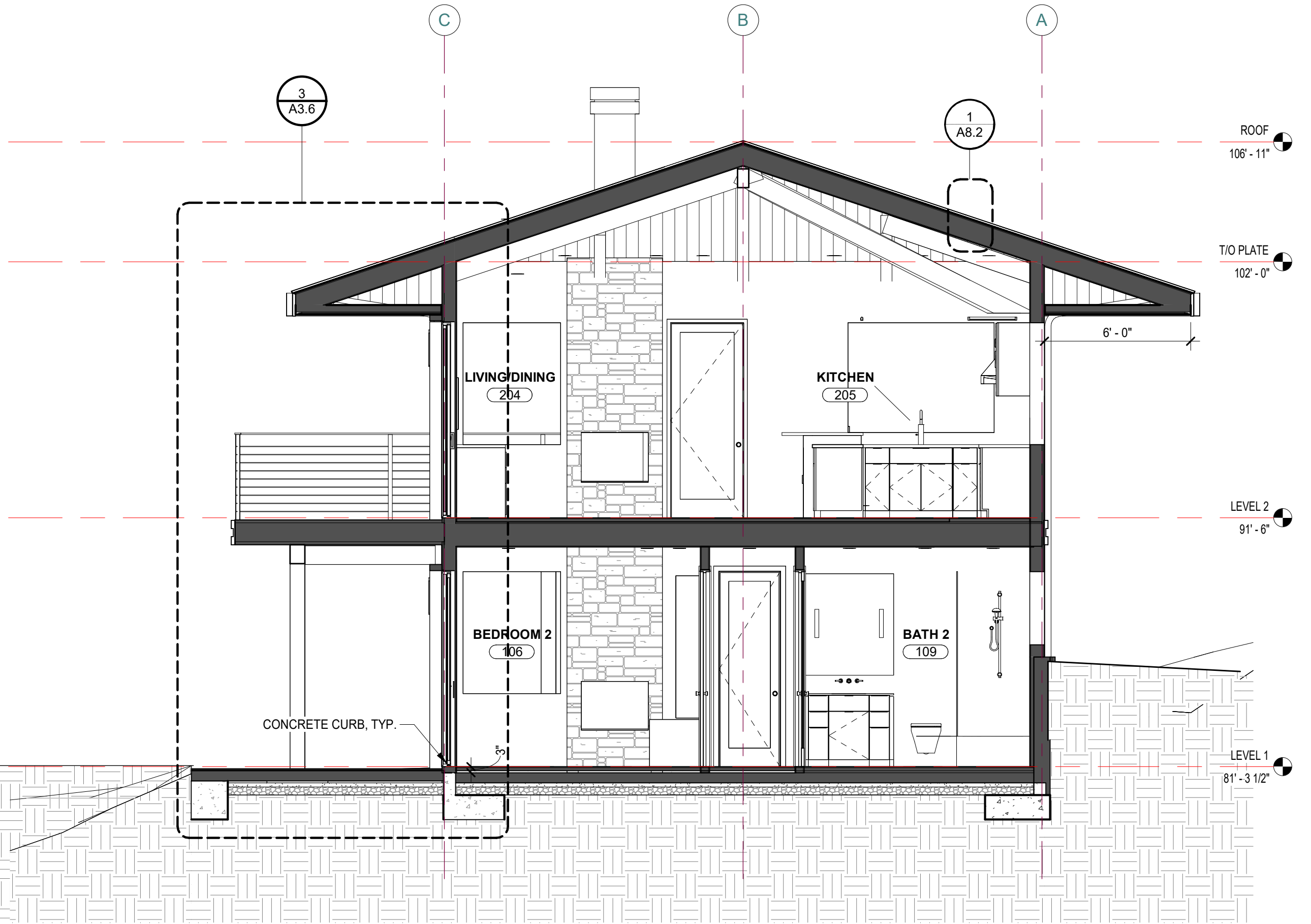
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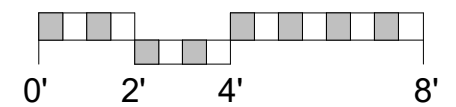
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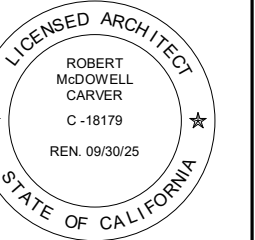
1 S/N SECTION
1/4" = 1'-0"



2 N/S SECTION
1/4" = 1'-0"



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ARCHITECTURAL
BUILDING
SECTIONS

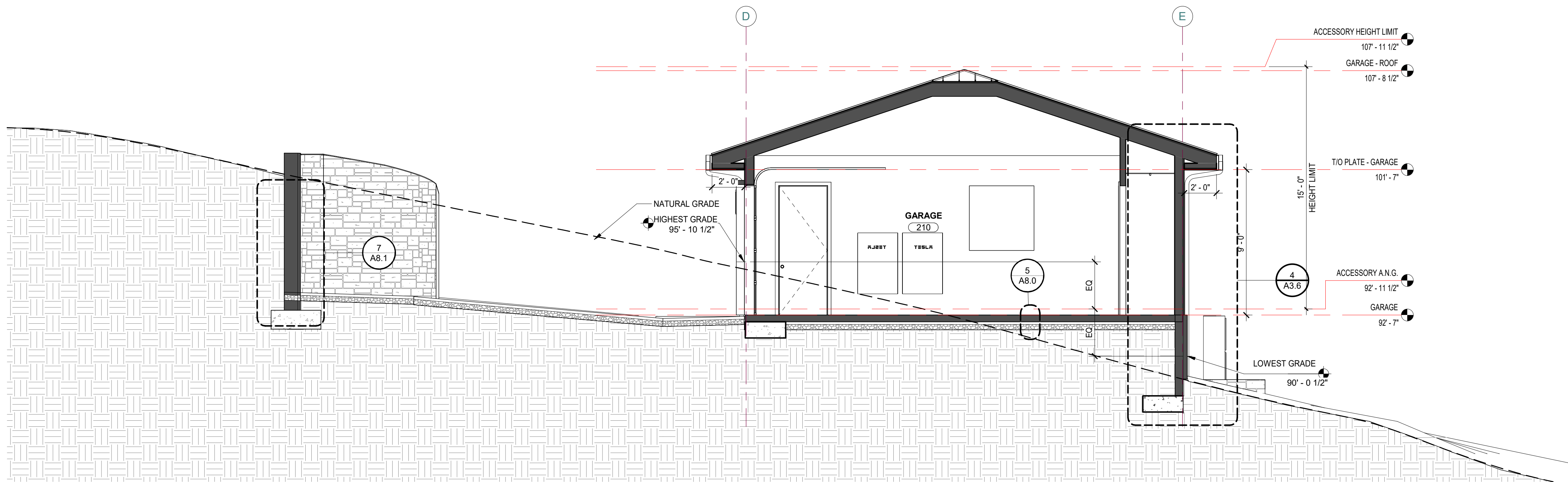
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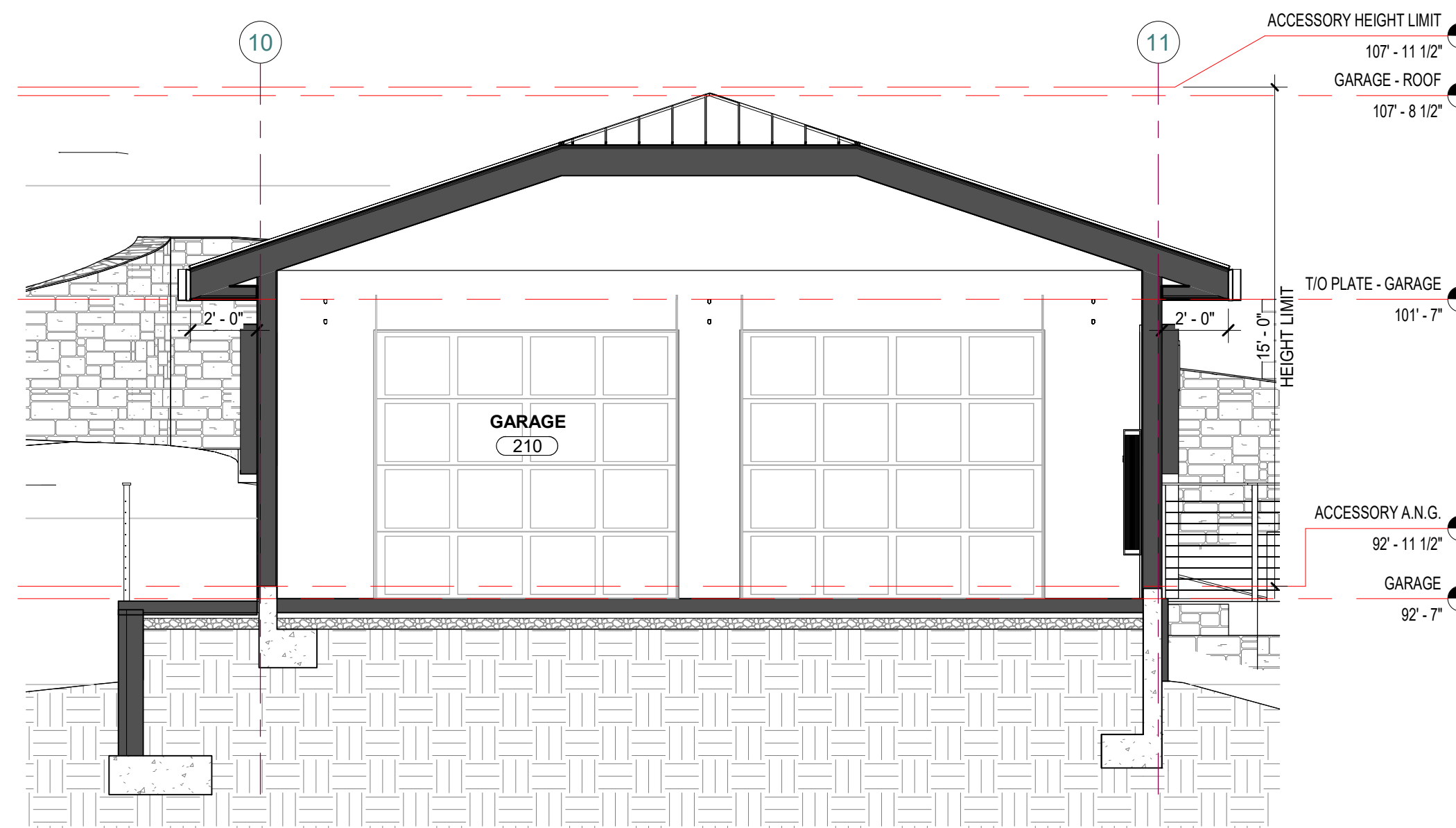
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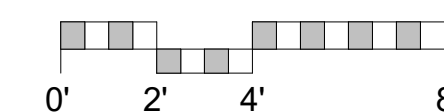
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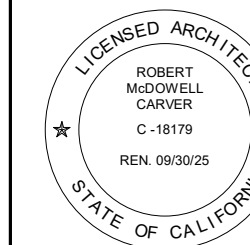
1 N/S SECTION - GARAGE
1/4" = 1'-0"



2 E/W SECTION - GARAGE
1/4" = 1'-0"



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ARCHITECTURAL
BUILDING
SECTIONS -
GARAGE

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2312

A3.5

3/31/2025

8/19/2025 4:04:39 PM



VICINITY MAP

NOT TO SCALE

PROJECT INFORMATION

PROPERTY OWNER: PATRICK MAUSE AND ROBIN RILEY
28007 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA 93924

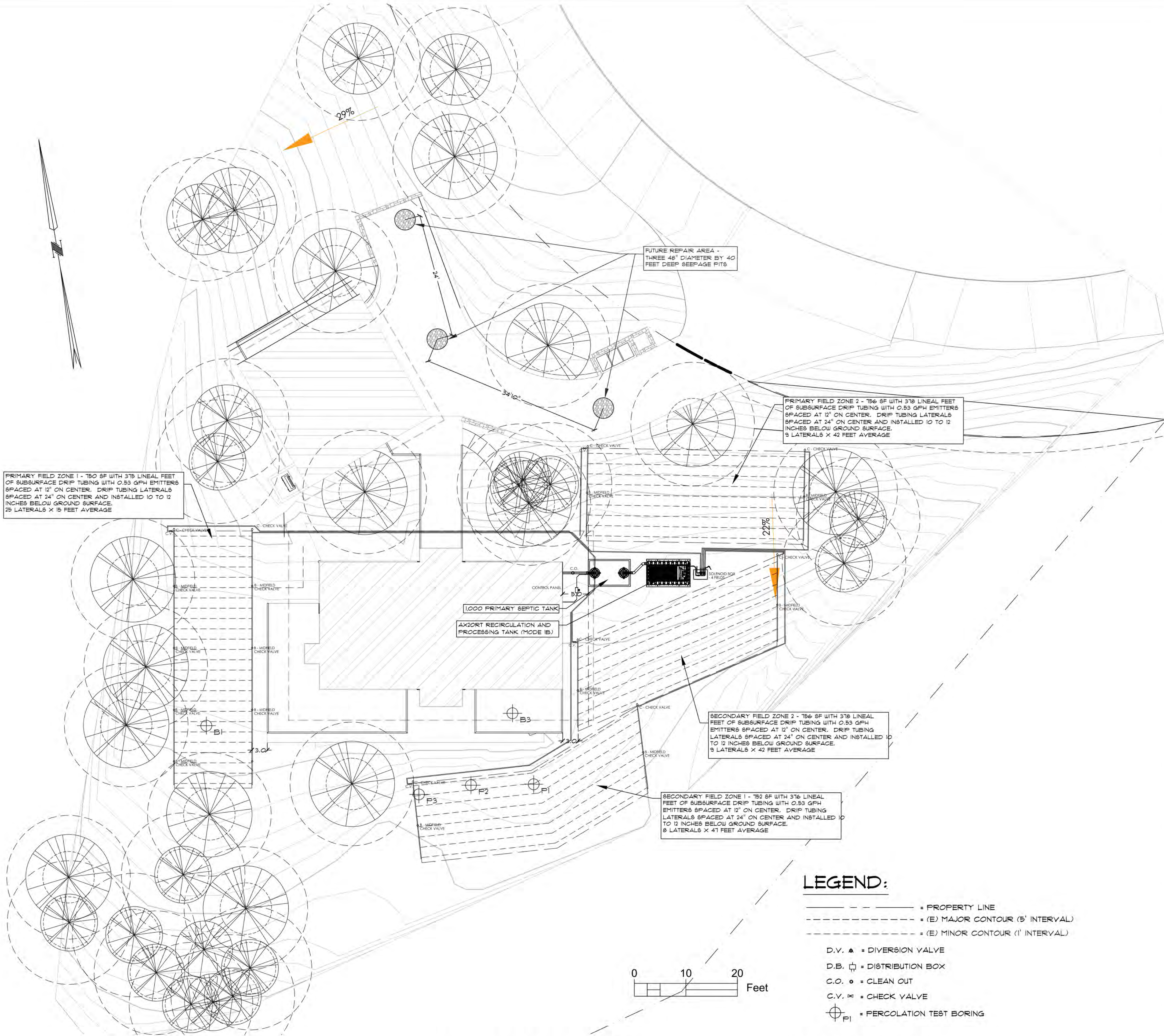
JURISDICTION: COUNTY OF MONTEREY
ASSESSORS PARCEL NO: 169-081-008-000
DESCRIPTION: 28007 MERCURIO ROAD, CARMEL VALLEY

BASIS OF SEPTIC DESIGN:

- THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY SEPTIC ORDINANCE. THE PARCEL IS NOT LOCATED IN A GROUNDWATER RECHARGE AREA. THE LOT AREA IS 1.013 ACRES THAT ALLOWS A MAXIMUM OF 40.52 TOTAL GRAM OF NITROGEN DAILY. THE PROPOSED DEVELOPMENT IS 50 GRAMS OF NITROGEN. A REDUCTION OF 18.96 PERCENT IS REQUIRED TO MEET THE NITROGEN LOADING REQUIREMENTS.
- THE NEW ADVANCED OWTS SYSTEM IS SIZED FOR A 4 BEDROOM RESIDENCE. THE ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS PER DAY FOR THE PROPOSED RESIDENCE.
- PER THE SITE GEOTECHNICAL AND PERCOLATION INVESTIGATION REPORT BY SOIL SURVEYS GROUP, INC., DATED MARCH 24, 2023, JOB #8290, THE AVERAGE PERCOLATION RATES FOR THE SUBSURFACE DRIP SYSTEM DISPERSAL IS 50.00 MINUTES PER INCH IN BORING P-3 AT A DEPTH OF 3.11 FEET.
- NO GROUND WATER WAS ENCOUNTERED DURING THE PERCOLATION TESTING. THE GROUND WATER MONITOR BORING WAS INVESTIGATED TO A DEPT OF 30 FEET ON THE DATE OF DRILLING.
- PER TABLE 5-4, SOIL APPLICATION RATES AS DETERMINED FROM STABILIZED PERCOLATION RATES, THE MAXIMUM SOIL APPLICATION RATE IS 0.3 GALLONS PER DAY PER SQUARE FOOT. BASED ON THE AVERAGE PERCOLATION RATE OF 50.00 MINUTES PER INCH.
- THE ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS. $450 / 0.3 = 1,500$ SF -CONVENTIONAL LEACH FIELD DO NOT FIT ON THE SITE FOR THE ANTICIPATED FLOW. -10 FEET DEEP LEACH FIELD DO NOT FIT ON THE SITE WITH THE REQUIRED 10' SEPARATION. DRIP SYSTEM AREA OF 1500 SF CAN BE PLACED IN THE AREAS OF LEAST SLOPE. DUE TO THE CONFIGURATION, EACH FIELD CONSISTS OF 2 ZONES OF APPROXIMATELY THE SAME SIZE.
PRIMARY FIELD: ZONE 1 = 750 SF (375 LF TUBING)
PRIMARY FIELD ZONE 2 = 756 SF (378 LF TUBING)
SECONDARY FIELD ZONE 1 = 752 SF (376 LF TUBING)
SECONDARY FIELD ZONE 2 = 756 SF (378 LF TUBING)
- THE VERTICAL CLEARANCE TO GROUND WATER IS ESTIMATED TO BE 28 FEET (30 FT - 2 FT DISPERSAL DEPTH) WHICH IS GREATER THAN THE MINIMUM VERTICAL SEPARATION OF 3 FEET PER TABLE 12 OF THE LAMP.
- TO FACILITATE FUTURE INSPECTION OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS SHALL BE INSTALLED AT THE END OF EACH TRENCH.
- THE LEACH FIELDS SHALL NOT BE DEEPER THAN TEN FEET.
- THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.

SEPTIC NOTES:

- THE ON-SITE WASTEWATER TREATMENT SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY LAMP FOR OWTS FOR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL THE PRIMARY AND SECONDARY LEACH FIELDS, DIVERTER VALVES, DISTRIBUTION BOXES, ETC. AT THE INITIAL INSTALLATION OF THE SEPTIC SYSTEM.
- THE INSTALLATION OF THE SEPTIC TANK AND LEACH FIELDS SHALL BE INSPECTED AND APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENTS PRIOR TO COVERING OR PLACEMENT OF THE DRAIN ROCK.
- THE SEPTIC TANK SHALL BE EQUIPPED WITH AN EFFLUENT FILTER.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE LOCAL UTILITY COMPANIES, PUBLIC OR PRIVATE AND/OR PROPERTY OWNERS.
- THIS TOPOGRAPHY BASE MAP HAS BEEN PROVIDED BY LANDSET ENGINEERS, INC.



LEGEND:

- = PROPERTY LINE
- - - = (E) MAJOR CONTOUR (5' INTERVAL)
- - - = (E) MINOR CONTOUR (1' INTERVAL)
- D.V. ▲ = DIVERSION VALVE
D.B. □ = DISTRIBUTION BOX
C.O. ● = CLEAN OUT
C.V. ∞ = CHECK VALVE
⊕ P1 = PERCOLATION TEST BORING

SCOPE OF WORK

INSTALL ADVANCED OWTS WITH PRIMARY AND SECONDARY LEACH FIELDS.

THE NEW OWTS SYSTEM SHALL INCLUDE A 1000 GALLON SEPTIC TANK AND "AX20RT" ADVANCED TREATMENT PROCESSING TANK WITH PUMPS TO PROCESS AND CONVEY EFFLUENT TO THE SUBSURFACE DRIP FIELDS. PRIMARY FIELD SHALL HAVE TWO ZONES AND THE SECONDARY FIELD SHALL HAVE TWO ZONES AS SHOWN ON THE PLAN. THE PROCESSING TANK SHALL BE CONFIGURED FOR MODE 3 NITROGEN REDUCTION. THE SYSTEM SHALL PUMP DISCHARGE TO A PRIMARY AND SECONDARY LEACH FIELD. ALL THE WIRES, PUMPING, CONNECTORS, PUMPS, CONTROL PANEL, SPLITTER VALVES, SOLENOIDS, AND FITTINGS SHALL BE INCLUDED.

REVISIONS

TALUBAN ENGINEERING, INC.
103 CHURCH STREET
SALINAS, CALIFORNIA 93901
P.O. BOX 732, SALINAS, CALIFORNIA, 93902
talubaneabcglobal.net



SEPTIC SYSTEM SITE PLAN

PROPOSED RESIDENCE
28007 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA

DATE: 02/10/25

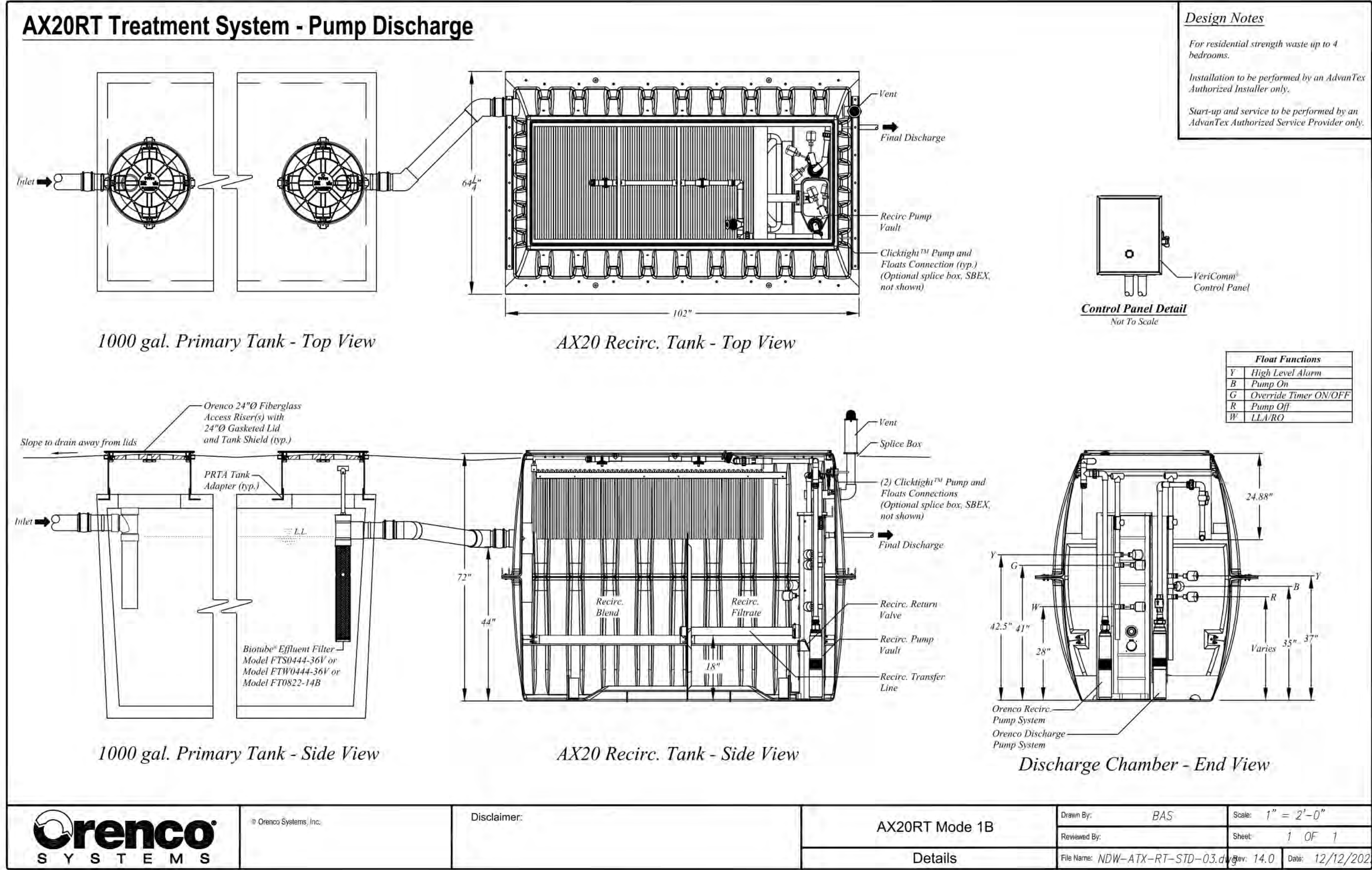
SCALE: AS SHOWN

DRAWN: BT

JOB: 24-043

APN: 169-081-008-000

SHEET
SW.1
OF SHEETS



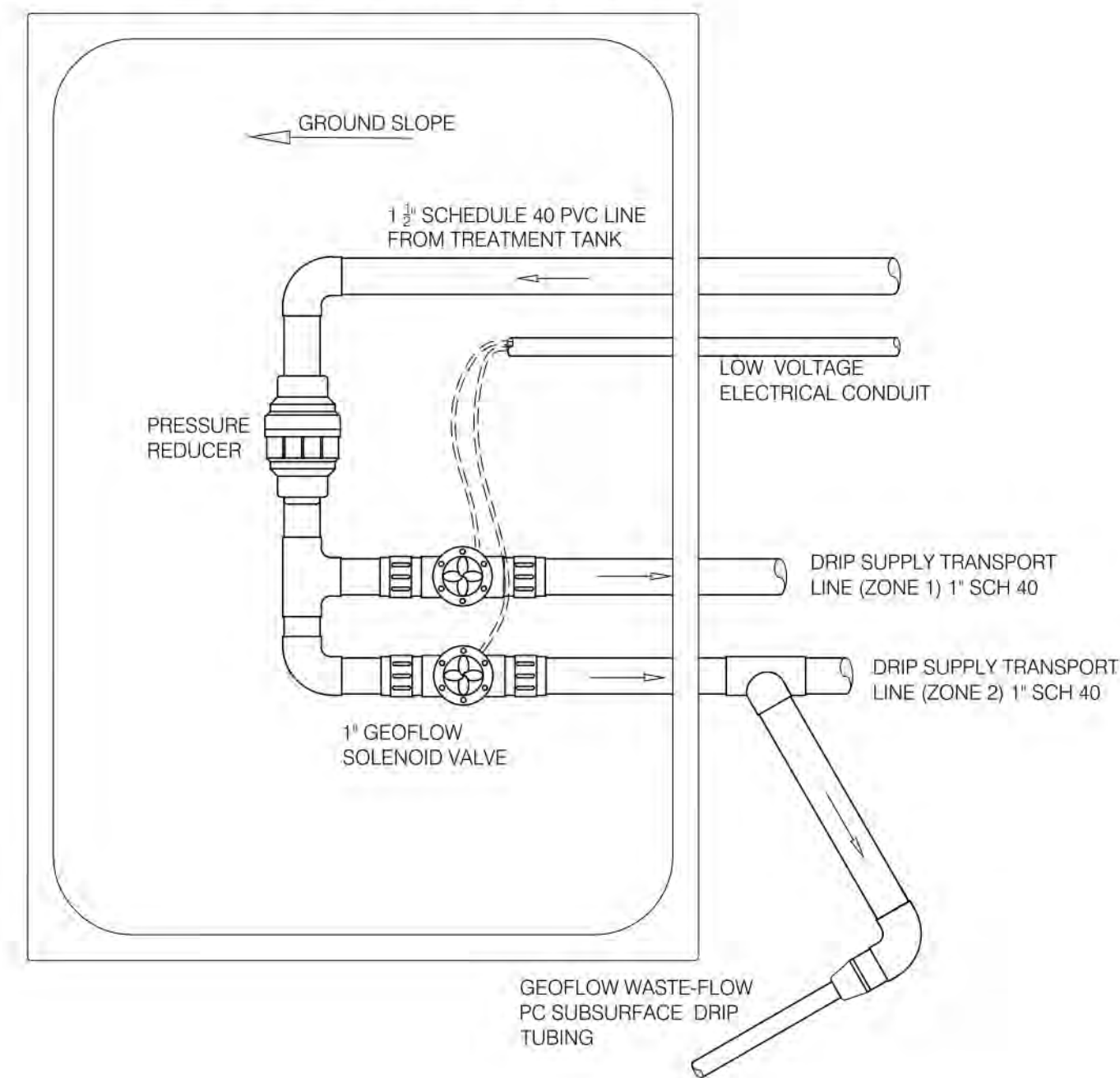
ADVANTEX GENERAL NOTES:

1. THE INSTALLER IS REQUIRED TO FULLY READ AND UNDERSTAND THE MANUFACTURE'S INSTALLATION MANUALS PRIOR TO THE COMMENCEMENT OF WORK. THE SPECIFIED COMPONENTS SHALL BE INSTALLED BY A LICENSED CONTRACTOR EXPERIENCED IN THE INSTALLATION OF ADVANTEX PRODUCTS. CONTRACTORS SHALL BE CERTIFIED BY ORENCO SYSTEMS, INC. OR AN AUTHORIZED DEALER AS AN "AUTHORIZED ADVANTEX INSTALLER".
 2. A PRE-CONSTRUCTION SITE CONFERENCE WITH THE DESIGNER, MONTEREY COUNTY ENVIRONMENTAL HEALTH INSPECTOR AND THE CONTRACTOR SHALL BE ARRANGED PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM. REGULAR CONSTRUCTION INSPECTIONS, WATERTIGHT TANK TEST INSPECTION, ADVANTEX INSTALLATION INSPECTION, LEACH FIELD AND PERFORATED PIPE INSPECTIONS AND FINAL OPERATION OF SYSTEM SHALL BE SCHEDULED BY THE INSTALLER. THE INSTALLER SHALL GIVE AT LEAST 24 HOURS NOTICE FOR ALL INSPECTIONS REQUESTED.
 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, INSTALLER AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSION, LINES AND ELEVATIONS INDICATED. PROPER FIT AND CONNECTION OF ALL PARTS IS REQUIRED TO ENSURE PROPER FUNCTION OF THE SYSTEM. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT.
 4. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN THE SPECIFIC TRADE. SPECIFICALLY, WORK SHALL COMPLY WITH THE 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, MONTEREY COUNTY LAMP AND ALL OTHER APPLICABLE STATE AND/OR LOCAL CODES AND ORDINANCES.
 5. ALL NOTES AND REFERENCES IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY REQUESTING CLARIFICATION. PLAN CHANGES OR REVISIONS SHALL ONLY BE MADE AFTER CONSULTATION WITH AND APPROVAL BY THE ENGINEER.
 6. ALL SPECIFIED EQUIPMENT AND COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURE'S INSTALLATION GUIDELINES AND SPECIFICATIONS. TANK INSTALLATION SHALL INCLUDE ANTI-BUOYANCY OR ANTI-FLOATATION MEASURES (DEADMEN, STRAPS, COLLARS, ETC) ACCORDING TO MANUFACTURE'S RECOMMENDATIONS.
 7. ALL TANKS SHALL BE MADE WATERTIGHT TO THE GROUND SURFACE AND DEMONSTRATED TO BE WATERTIGHT PRIOR TO FINAL INSPECTION OR APPROVAL.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL ASSOCIATED AND INCIDENTAL MATERIALS AND COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION AND FULLY FUNCTIONAL SYSTEM. ALL MATERIALS AND COMPONENTS SHALL BE U.L. LISTED AND LABELED FOR USE IN FOR THIS SYSTEM.
 9. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE AND SHALL BE PERFORMED UNDER A PERMIT WITH INSPECTIONS FROM THE LOCAL JURISDICTION. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE CONTROL PANEL INCLUDING THE PHONE/DATA LINE WITH CAT6 WIRING IS INSTALLED AND FULLY FUNCTIONAL. TELEMETRY CONNECTION SHALL BE DEMONSTRATED PRIOR TO FINAL APPROVAL AND OPERATION.
 10. THE INSTALLATION OF ALL GRAVITY FLOW SANITARY SEWER LINES SHALL BE FULLY COORDINATED WITH THE BUILDING PLUMBING CONTRACTOR TO ENSURE PROPER CONNECTIONS AND SLOPE TO THE OWTs SYSTEM.
- SYSTEM OPERATION:**
1. THE SPECIFIED WASTEWATER TREATMENT AND DISPERSAL SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S OPERATION AND MAINTENANCE MANUAL. PERIODIC MAINTENANCE SERVICING OF THE ADVANTEX SYSTEM BY A QUALIFIED TECHNICIAN IS REQUIRED.
 2. MANAGEMENT AND REMOVAL OF FATS, OILS AND GREASE (FOG) PRIOR TO ENTERING THE SYSTEM IS CRITICAL FOR THE PROPER FUNCTIONING AND LIMITING SERVICING OF THE FILTERING SYSTEMS.
 3. THE TREATMENT SYSTEM IS ALIVE WITH MICROORGANISMS PERFORMING OXIDATION AND REDUCTION OF THE CONTENTS. DO NOT DISPOSE OF THE FOLLOWING TOXICS OR CHEMICALS INTO THE WASTEWATER SYSTEM AS THEY MAY DISRUPT THE REQUIRED BIOLOGICAL PROCESS:
 - PHARMACEUTICALS
 - EXCESSIVE AMOUNTS OF BATH OR BODY OILS
 - WATER SOFTENER BACKWASH
 - FLAMMABLE OR TOXIC PRODUCTS
 - HOUSEHOLD CLEANERS, ESPECIALLY FLOOR WAX AND RUG CLEANERS
 - CHLORINE BLEACH, CHLORIDES, AND POOL OR SPA PRODUCTS
 - PESTICIDES, HERBICIDES, AGRICULTURAL CHEMICALS, OR FERTILIZERS
 - RV TANK ODOR CONTROLLERS AND DISINFECTANTS
 - PAINT THINNER, PAINT
 - MOTOR OIL
 4. WATER SOFTENERS BRINE DISCHARGE IS STRICTLY PROHIBITED FROM BEING DISCHARGED INTO THE TREATMENT SYSTEM. FAILURE TO ADHERE TO THIS POLICY WILL VOID THE WARRANTY FOR THE SYSTEM.
 5. DO NOT FLUSH THE FOLLOWING DOWN THE DRAINS:
 - EGG SHELLS, CANTALOUPE SEEDS, GU, COFFEE GROUNDS
 - TEA BAGS, CHEWING TOBACCO, CIGARETTE BUTTS
 - CONDOMS, DENTAL FLOSS, SANITARY NAPKINS, DIAPERS
 - PAPER TOWELS, NEWSPAPERS, CANDY WRAPPERS
 - RAGS, LARGE AMOUNTS OF HAIR
 - BABY WIPES, MEDICATED WIPES, CLEANING WIPES
 6. DO NOT USE SPECIAL ADDITIVES THAT ARE TOUTED TO ENHANCE THE PERFORMANCE OF OUR TANK OR SYSTEM. ADDITIVES CAN CAUSE MAJOR DAMAGE TO OTHER AREAS IN THE COLLECTION SYSTEM. THE NATURAL MICROORGANISMS THAT GROW IN THE SYSTEM GENERATE THEIR OWN ENZYMES THAT ARE SUFFICIENT FOR BREAKING DOWN AND DIGESTING NUTRIENTS IN THE WASTEWATER STREAM.
 7. DO NOT ENTER YOUR TANK. KEEP THE TANK ACCESS LIDS SECURE TO THE RISER AT ALL TIMES. IF THE TANK LID BECOMES DETACHED FROM THE RISER OR IF THE LIDS OR RISER BECOMES DAMAGED, BLOCK ACCESS TO THE TANK OPENING IMMEDIATELY AND KEEP CHILDREN AWAY UNTIL ALL REPAIRS ARE COMPLETED.
 8. DO NOT DRIVE OVER YOUR TANK OF ANY BURIED COMPONENTS IN YOUR SYSTEM UNLESS THEY ARE EQUIPPED WITH SPECIAL TRAFFIC RATED RISERS AND LIDS. IF SYSTEM MAY BE SUBJECT TO POSSIBLE TRAFFIC, IT IS THE OWNERS RESPONSIBILITY TO INSTALL BARRICADES TO LIMIT TRAFFIC ACCESS.
 9. NO NOT DUMP RV WASTE INTO THE WASTEWATER SYSTEM.
 10. DO NOT CONNECT RAIN GUTTERS OR STORM DRAINS IN THE SEWER OR ALLOW SURFACE WATER INTO THE WASTEWATER TREATMENT SYSTEM.
 11. THE OWNER SHOULD FAMILIARIZE THEMSELVES WITH THE LOCATION OF THE WASTEWATER SYSTEM AND ELECTRICAL CONTROL PANEL. THE OWNER SHALL MAKE ARRANGEMENTS WITH A RELIABLE SERVICE PERSON OR COMPANY TO PROVIDE REGULAR MONITORING AND MAINTENANCE. THE SERVICE PROVIDER'S CONTACT INFORMATION ON THE CONTROL PANEL FOR EASY ACCESS.
 12. NEVER TURN OFF THE MAIN CIRCUIT BREAKER TO THE WASTEWATER PUMPS WHEN GOING ON VACATION.

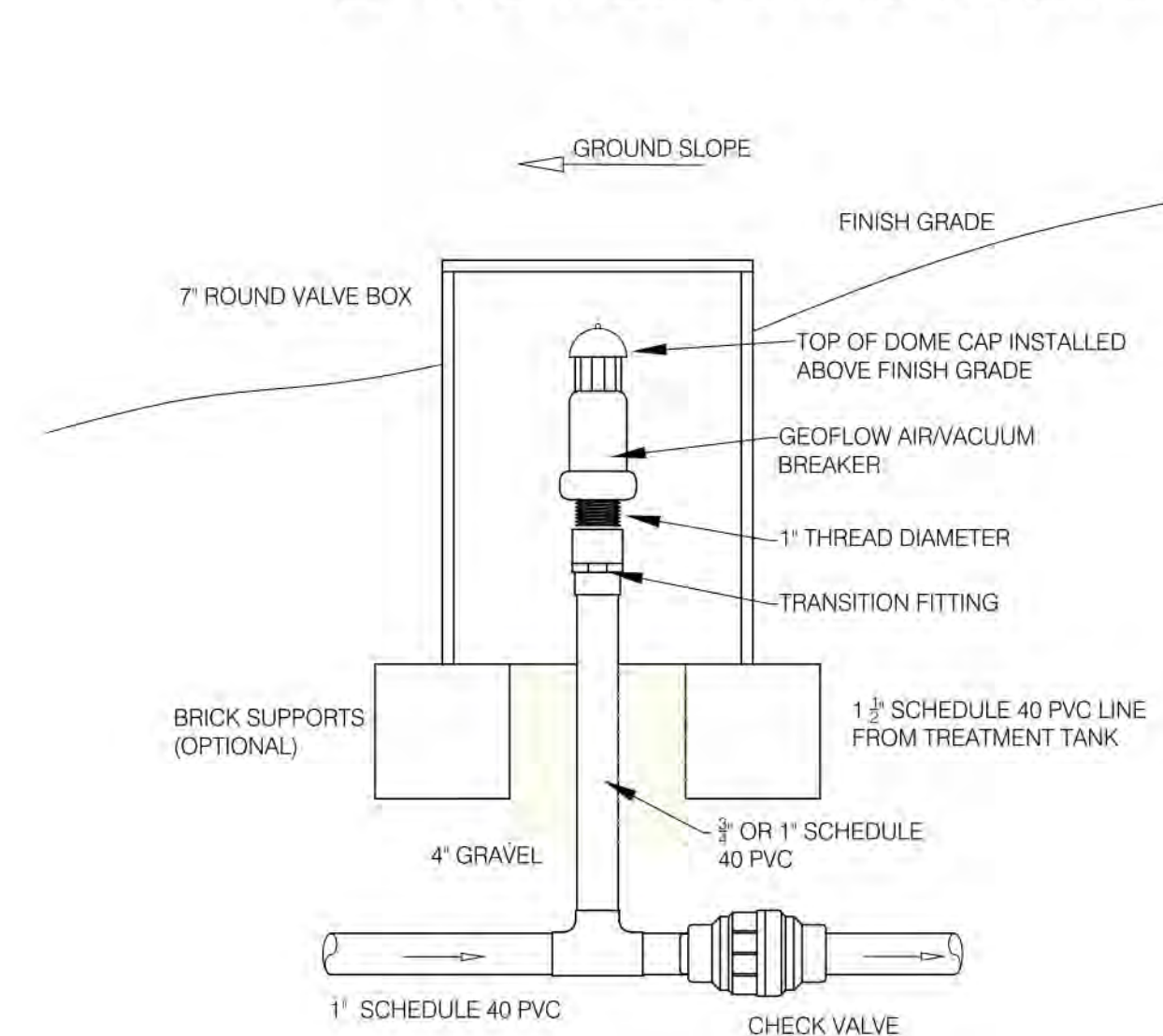
ADVANTEX SPECIFICATION:

1. SEWER LINE COLLECTION:
 - 1.1 PROPERLY VENTED 4" SOLID SEWER LINES SHALL BE INSTALLED COLLECTING ALL WASTEWATER FIXTURES TO THE OWTs SEPTIC TANK. ALL GRAVITY FLOW LINES SHALL MAINTAIN A MINIMUM 2% CONTINUOUS GRADIENT. CLEAN-OUTS ALONG THE BUILDING SEWER LINE SHALL BE PROVIDED AS SPECIFIED IN THE CURRENT EDITION OF THE CALIFORNIA PLUMBING CODE. EFFLUENT FROM THE EXISTING RESIDENCE SEPTIC TANK SHALL BE PLUMBED INTO A 750 GALLON PUMP VAULT AND PUMPED TO THE NEW PROCESSING TANK ADJACENT TO THE NEW ADU.
2. SEPTIC TANK
 - 2.1 A NEW 1000 GALLON TANK SHALL BE INSTALLED TO SERVE AS THE PRIMARY TANK THAT IS CONNECTED TO AN "AX20RT" PROCESSING / RECIRCULATION TANK. THE PROCESSING TANK SHALL DISCHARGE TO FOUR SUBSURFACE DRIP ZONES (750 MIN SQUARE FOOTAGE) ORENCO RISERS SHALL BE INSTALLED TO ALLOW FOR ROUTINE OPERATION AND MAINTENANCE.
 - 2.2 TANK ACCESS RISERS SHALL BE 20"-30" IN DIAMETER AND CONSTRUCTED WATERTIGHT. RISER INSTALLATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS. THE RISERS SHALL BE ATTACHED TO THE TANKS SUCH THAT A WATERTIGHT SEAL IS PROVIDED.
 - 2.3 IN ORDER TO DEMONSTRATE TANK AND RISER ARE WATERTIGHT, TANKS SHALL BE TESTED ON-SITE PRIOR TO ACCEPTANCE. AFTER INSTALLATION IS COMPLETED AND BEFORE BACK FILLING, COMPLETELY FILL THE TANK WITH WATER TO A LEVEL TWO INCHES INTO THE RISERS. WAIT A MINIMUM OF TWO HOURS (OR AS REQUIRED BY THE LOCAL JURISDICTION) AND INSPECT FOR LEAKS. THERE SHOULD BE NO DROP IN THE LIQUID LEVEL AND NO VISUAL LEAKAGE FROM SEAMS, PINHOLES, OR OTHER IMPERFECTIONS OR CONNECTIONS. OBTAIN A WATERTIGHT INSPECTION BY THE LOCAL JURISDICTION, DISTRIBUTOR OR ENGINEER. ONE THE TANK IS PROVEN TO BE WATERTIGHT, DROP THE WATER LEVEL IN THE TANK BELOW THE INVERT.
3. ADVANTEX TREATMENT SYSTEM
 - 3.1 THE ADVANTEX TREATMENT SYSTEM INCLUDES A 1000 GALLON PRIMARY SEPTIC TANK, "AX20RT" PROCESSING TANK, RECIRCULATING SPLITTER VALVE, A BIOTUBE PUMP PACKAGE FOR RECIRCULATION, AND TELEMETRY-ENABLED CONTROL PANEL. ALL CONTROL VALVES, PIPING, FILTERS, EMITTERS, AND ASSOCIATED PARTS AND HARDWARE ARE INCLUDED.

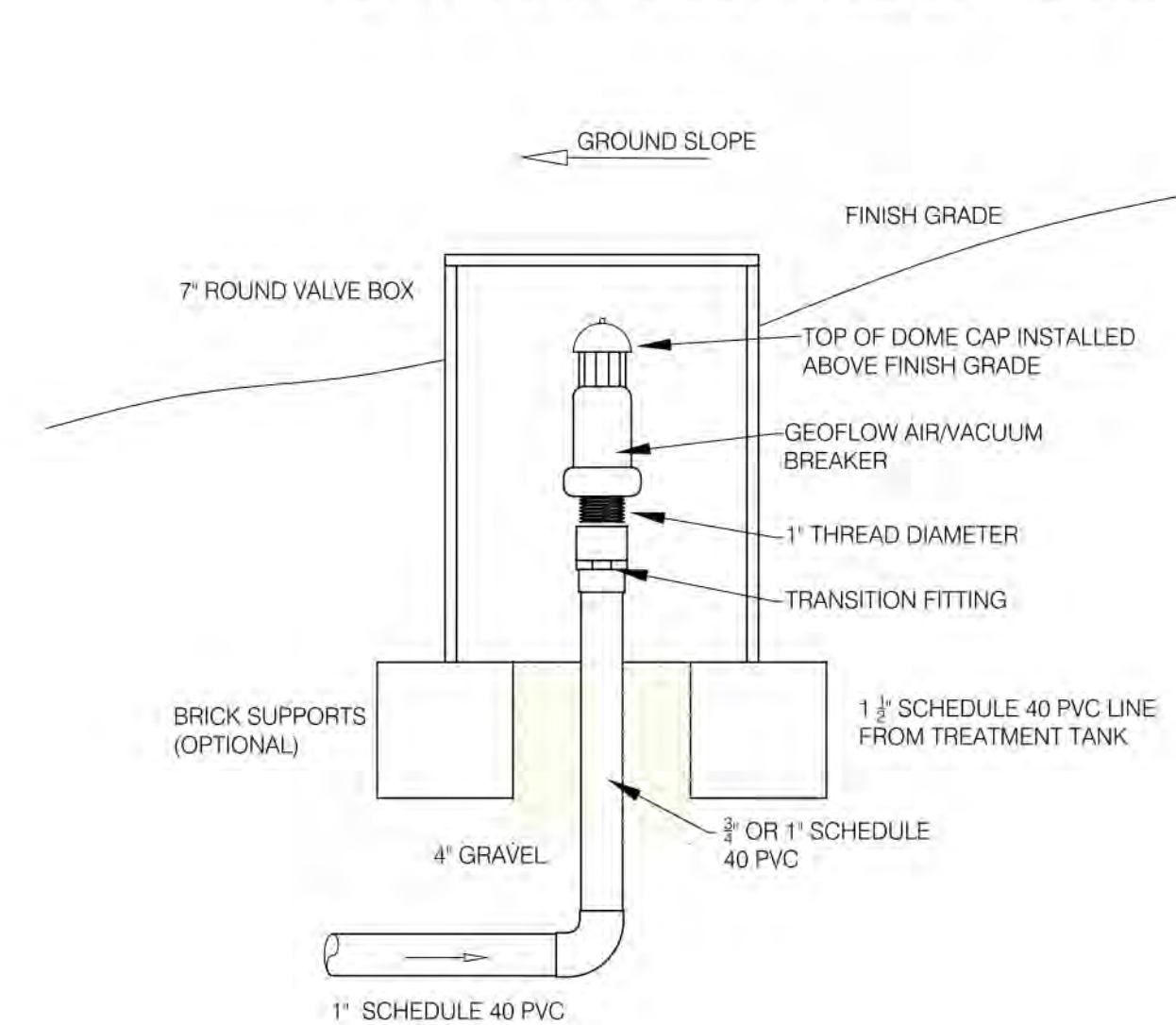
"A" VALVE BOX DETAIL



"B" MID-FIELD CHECK VALVE



"C" AIR/VACUUM RELIEF DETAIL



REVISIONS

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SEPTIC SYSTEM DETAILS

PROPOSED RESIDENCE
28001 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA

DATE: 01/25/25
SCALE: AS SHOWN
DRAWN: BT
JOB: 24-043
APN: 169-081-008-000
SHEET
SW.2
OF SHEETS