

# Attachment G

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**Before the RMA Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**LA RESACA LLC (PLN160608-AMD1)**

**RESOLUTION NO. 20 - 049**

Resolution by the Monterey County RMA Chief of Planning:

1. Considering the previously adopted Mitigated Negative Declaration; and
2. Approving a Minor and Trivial Amendment to a previously-approved Combined Development Permit (PLN160608) to allow a reduction in the overall footprint size of the previously-approved one-story 2,717 square feet of additions to an existing single-family dwelling and a one-story 1,135 square foot attached 3-car garage. This Minor and Trivial Amendment would allow construction of a one-story 1,412 square foot addition to an existing single-family dwelling and an attached 1,326 square foot two-car garage/storage/utility room with a 1,092 square foot game room above the proposed garage, within the same general footprint and within the parcels existing disturbed and hardscape areas.

3257 17- Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN 008-461-010-000)

**The La Resaca LLC application (PLN160608-AMD1) came on for an administrative hearing before the Monterey County RMA Chief of Planning on November 4, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the RMA Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **PROCESS** - The County has received and processed a minor amendment to RMA-Planning File No. PLN160608.  
**EVIDENCE:**
  - a) An application for a Minor and Trivial Amendment was submitted to RMA-Planning on June 17, 2020.
  - b) On March 28, 2018, the Monterey County Planning Commission approved a Coastal Development Permit (RMA-Planning File No. PLN160608) consisting of a Coastal Administrative Permit and Design Approval for 2,717 square feet of single family dwelling additions with an attached garage; and Coastal Development Permit to allow development within 100 feet of ESHA (Monterey Cypress habitat).
  - c) Pursuant to Section 30603 (d) of the Coastal Act, Monterey County sent the California Coastal Commission (CCC) a Final Local Action Notice

(FLAN) notifying the CCC of the subject Coastal Development Permit approval and CCC's right to appeal.

- d) The CCC appealed Monterey County's decision to approve the project determining that the entire site was Cypress Habitat area and not only the portion outside of the proposed development, as Monterey County had determined. The CCC required the applicant to modify the proposed development by reducing the development to those areas of existing hardscape and structural footprint.
- e) The applicants agreed to scale back the development to CCC recommendations and thus have submitted a Minor and Trivial Amendment application reducing the footprint area of proposed development to existing hardscape and structural footprint areas.
- f) The proposed minor and trivial amendment would reduce the total ground footprint square footage by 1,088 square feet, from 3,852 square feet to 2,764 square feet. With a reduction in size and limited to existing hardscape and existing structural footprint along with no change in development site location on the parcel, the amendment would not result in new impacts not previously considered in the original approval. Therefore, the amendment is of a minor and trivial nature.
- g) All applicable findings, evidence, and conditions of approval from the original entitlement (RMA-Planning File No. PLN160608) have been carried forward to the amended entitlement. As approved and amended, the Minor and Trivial Amendment under RMA-Planning File No. PLN160608-AMD1 will become the operative entitlement, and all conditions of approval will be cleared under PLN160608-AMD1.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the original project and the proposed amendment found in Project File Nos. PLN160608 and PLN160608-AMD1.

2. **FINDING:** **CONSISTENCY / SITE SUITABILITY/NO VIOLATIONS** - The proposed project and/or use, as conditioned, is consistent with the previously-approved permit, as well as policies of the applicable Local Coastal Program (LCP) and other County health, safety, and welfare ordinances related to land use development. Additionally, as amended, the proposed project is consistent with the previously-approved permit pursuant to Monterey County Code (MCC) Sections 20.70.105.A and 20.76.115.A, and does not cause impacts not already assessed in the original permit action. The site is physically suitable for the use proposed, and no violations exist on the property.

**EVIDENCE:** a) The proposed minor amendment is consistent with the original permit action in that both involve the construction of single-family dwelling additions with an attached garage within the existing developed footprint and hardscape on the site. Pursuant to MCC Sections 20.70.105.A and 20.76.115.A, the proposed minor amendment is in keeping with the previous action of the Planning Commission (Resolution No. 18-103; RMA-Planning File No. PLN160608) and is minor and trivial in nature. All potential impacts were already assessed in the original permit action, and the amendment is in keeping with the action of the appropriate authority.

- b) On March 28, 2018, the Monterey County Planning Commission approved a Combined Development Permit (RMA-Planning File No. PLN160608) consisting of a Coastal Administrative Permit and Design Approval for 2,717 square feet of single family dwelling additions with an attached garage; and Coastal Development Permit to allow development within 100 feet of ESHA (Monterey Cypress habitat). This minor and trivial amendment would reduce the total ground footprint square footage by 1,088 square feet - from 3,852 square feet to 2,764 square feet. With a reduction in size and limited to existing hardscape and existing structural footprint along with no change in development site location on the parcel.
- c) The property is located at 3257 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-461-010-000), Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 2.5 acres per unit, Design Control Overlay (Coastal Zone) [LDR/2.5-D (CZ)]. LDR zoning allows residential development as a principle use subject to the granting of a Coastal Administrative Permit. In this case, the County determined that a Minor and Trivial Amendment to the previously-approved Coastal Administrative Permit (RMA-Planning File No. PLN160608) is the applicable and appropriate entitlement to consider the reduction in size of the previously approved residence. The amendment incorporates the use of colors and materials to match existing, clay barrel-tile roof and stucco exterior wall cladding. Therefore, the proposed project is an allowed land use for this site.
- d) Environmentally Sensitive Habitat Area (ESHA)- Indigenous Monterey Cypress Habitat. On March 28, 2018, the Monterey County Planning Commission approved a Combined Development Permit (RMA-Planning File No. PLN160608) also consisting of a Coastal Development Permit to allow development within 100 feet of ESHA. The County had previously determined that a portion of the property fell within the area of the Del Monte Forest delineated as indigenous Monterey Cypress habitat, while the rest of property was outside the mapped boundaries. The County determined the proposed development as approved on March 28, 2018 (PLN160608) was outside of the Monterey Cypress habitat. However, the California Coastal Commission appealed the County's approval of the original project stating that the entire property was in Monterey Cypress habitat and the proposed project's footprint should be reduced to existing hardscape areas and existing structural footprint in order to minimize impacts to the Monterey Cypress habitat. The applicant agreed to reduce the project to existing hardscape and structural footprint areas and therefore, has submitted revised plans demonstrating this with the filing of the minor and trivial amendment. The original project carried seven (7) mitigation measures to mitigate potential impacts to ESHA to a less than significant level, two (2) of which are non-standard conditions protecting wildlife. Therefore, the proposed project, which reduces the size of the proposed additions, continues to be consistent with the mitigation measures for ESHA and these mitigations will be carried over to this minor and trivial amendment.

- e) Historic Resources. The re-design was referred to the Historic resources Review Board (HRRB) on October 1, 2020. At a duly-noticed public meeting at which all persons and interested members of the public had the opportunity to be heard, the HRRB voted 7 - 0 to recommend approval of the re-design and the Minor and Trivial Amendment to the previously-approved Combined Development Permit (HRRB Resolution No. 20-005; the HRRB resolution is attached to the November 4, 2020, staff report to the Chief of Planning as Exhibit D).
- f) No conflicts were found to exist. The County received communications from an interested member of the public during the course of project review indicating inconsistencies with the text, policies, and regulations in the applicable plans and MCC; however, the County finds that the project is consistent with the text, policies, and regulations in the applicable MCC documents.
- g) Pursuant to MCC Section 20.70.105.A and 20.76.115.A the County has determined that the proposed project qualifies as a minor amendment to the previously-approved Combined Development Permit. The amendment is minor in nature as follows:
  - The project would not create new environmental impacts;
  - The project would not increase the severity of environmental impacts identified in the original Permit;
  - The project is in keeping with the action of the appropriate authority regarding development of a single-family dwelling and accessory structures;
  - The project would have an inconsequential effect on land in relation to the approved permit; and
  - The project meets all relevant site development standards.
- h) Review of Development Standards. As proposed, the project meets all required development standards. The structure is setback over 60-feet from the front property line, 20-feet from the side and over 80-feet from the rear property line. The proposed lot coverage, approximately 9.7% is with 15% limitation and the proposed floor area, approximately 10.6% is within the 17.5% limitation. The proposed height of approximately 26-feet is within the 30-foot maximum height.
- i) The 1.24 acre lot (53,884 square feet) was created with the Amended Map of Pebble Beach in Monterey County, filed on October 13, 1911 in the office of the County Recorder of the County of Monterey; Map Book Two "Cities and Towns," pages 31, 31A and 31B. Therefore, the County recognizes the subject property as a legal lot of record.
- j) Under the original permit review, the project planner conducted a site inspection on September 8, 2017, to verify that the project on the subject parcel conforms to applicable plans and MCC, and to verify that the site is suitable for the proposed use. The proposed minor amendment does not change that determination.
- k) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.

- l) The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the current LUAC Guidelines, this project did not warrant referral.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the original project and the proposed amendment found in Project File Nos. PLN160608 and PLN160608-AMD1.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was originally (PLN160608) reviewed by RMA-Planning, Pebble Beach CSD, RMA-Public Works, RMA-Environmental Services, and Water Resources Agency, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities will be provided. For potable water, the parcel will continue to be served by the Cal-AM. For wastewater and collection/treatment the property is served by Pebble Beach Community Services District. As proposed, the minor amendment will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - c) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in RMA-Planning File No. PLN160608-AMD1.

4. **FINDING:** **CEQA (Mitigated Negative Declaration)** - The original CEQA action on the project was a Mitigated Negative Declaration, and this Minor and Trivial Amendment does not require subsequent environmental review pursuant to CEQA Guidelines Section 15162 (a) of the CEQA Guidelines. No unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) Per CEQA Guidelines Section 15162 (a), this minor amendment involves no substantial changes requiring subsequent environmental review, and there is no new information of substantial importance.
  - b) The proposed project involves a reduction in size of the previously-approved project. Based on review of the current application and plans, no new potentially significant issues were identified for the proposed minor amendment. The current proposal does not alter the analysis or conclusions reached under the original permit. The minor amendment is consistent with the Mitigated Negative Declaration.
  - c) No adverse environmental effects were identified during staff review of the development application.

5. **FINDING:** **PUBLIC NOTICE** - Consideration of the request for the minor amendment has been carried out pursuant to Monterey County Code Section 20.84.040.A of Monterey County Code Title 20 (Zoning).
- EVIDENCE:**
- a) Notice of the administrative hearing was published on October 22, 2020, in the Monterey County Weekly.
  - b) On October 21, 2020, notices were mailed to all property owners within 300 feet of the project site and to persons who requested notice.
  - c) On or about October 24, 2020, notices were posted in at least 3 different public places on and near the subject property.
6. **FINDING:** **PUBLIC ACCESS** – The proposed minor amendment is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:** This minor amendment does not raise any access impacts not already assessed in the original permit action. Figure 8 (Major Public Access & Recreational Facilities) of the Del Monte Forest Land Use Plan (DMF LUP) indicates that the subject property is not described as an area where public access is required. This proposed minor amendment does not change that determination.
7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20) states that the proposed project is appealable to the Board of Supervisors.
  - b) Section 20.86.080 of the Monterey County Zoning Ordinance (Title 20) states that the proposed project is subject to appeal by an applicant or an aggrieved person who has exhausted all County appeals, or by any two (2) members of the California Coastal Commission because this project is between the sea and the first public road paralleling the sea.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the RMA Chief of Planning does hereby:

1. Consider the previously adopted Mitigated Negative Declaration; and
2. Approve a Minor and Trivial Amendment to a previously-approved Combined Development Permit (PLN160608) to allow a reduction in the overall footprint size of the previously-approved one-story 2,717 square feet of additions to an existing single-family dwelling and a one-story 1,135 square foot attached 3-car garage. This Minor and Trivial Amendment would allow construction of a one-story 1,412 square foot addition to an existing single-family dwelling and an attached 1,326 square foot two-car garage/storage/utility room with a 1,092 square foot game room above the proposed garage, within the same general footprint and within the parcels existing disturbed and hardscape areas.



All development shall be in general conformance with the attached plans and nineteen (19) conditions of approval (including seven mitigation measures), both being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 4<sup>th</sup> day of November, 2020.



John M. Dugan, FAICP, RMA Deputy Director  
of Land Use and Community Development

COPY OF THIS DECISION MAILED TO APPLICANT ON NOV 09 2020

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

~~NOV 19 2020~~

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160608-AMD1

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Minor and Trivial Amendment (Planning File No. PLN160608-AMD1) to a previously-approved Combined Development Permit (Planning File No. PLN160608) allows a reduction in the overall footprint size of the previously-approved one-story 2,717 square feet of additions to an existing single-family dwelling and a one-story 1,135 square foot attached 3-car garage. This Minor and Trivial Amendment allows construction of a one-story 1,412 square foot addition to an existing single-family dwelling and an attached 1,326 square foot two-car garage/storage/utility room with a 1,092 square foot game room above the proposed garage, within the same general footprint and within the parcels existing disturbed and hardscape areas. The property is located at 3257 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-461-010-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state: "A Minor and Trivial Amendment (Resolution Number 20-049; Planning File No. PLN160608-AMD1) to a previously-approved Combined Development Permit (Planning File No. PLN160608). was approved by the Chief of Planning for Assessor's Parcel Number 008-461-010-000 on November 4, 2020. The permit was granted subject to nineteen (19) conditions of approval which run with the land. A copy of the permit is on file with Monterey County Planning."

Proof of recordation of this notice shall be furnished to Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD005 - FISH & GAME FEE NEG DEC/EIR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (Planning)

**Compliance or Monitoring Action to be Performed:** Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

#### 5. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (Planning)

**Compliance or Monitoring Action to be Performed:** Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to Planning.

#### 6. PD007- GRADING WINTER RESTRICTION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by Building Services. (Planning and Building Services)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant, on an on-going basis, shall obtain authorization from Monterey County Building Services to conduct land clearing or grading between October 15 and April 15.

## 7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by Planning, prior to the issuance of building permits. (Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit an exterior lighting plan as part of the construction plan set to Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 8. PD032(A) - PERMIT EXPIRATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The permit shall be granted for a time period of three (3) years, to expire on November 4, 2023, unless use of the property or actual construction has begun within this period. (Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of Planning. Any request for extension must be received by Planning at least 30 days prior to the expiration date.

## 9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

## 10. MITIGATION MEASURE 1: MONITORING OF GRADING AND CONSTRUCTION ACTIVITIES

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 1: Monitoring of Grading and Construction Activities. In order to ensure grading and construction activities are conducted in accordance with the recommendations contained in the Bailey Tree Assessment and Forest Management Plan (Planning File LIB170359) and the Bailey Biotic Report (Planning File LIB170360), the owner/applicant shall contract with a certified arborist or qualified forester and a qualified biologist to review the construction documents (grading plan, building plan, and construction management plan) for consistency with the preliminary plans and the reports listed above, verify successful installation of tree protection measures, and the monitor grading, construction, and tree pruning activities. Language contained in the contracts shall include verification of compliance with applicable Mitigation Measure Nos. 2 through 7.

**Compliance or Monitoring Action to be Performed:** Mitigation Measure Monitoring Action No. 1a: Prior to the issuance of construction permits for grading or building, the owner/applicant shall submit to Planning a copy of the contract between the owner/applicant and a certified arborist or qualified forester (referred to as the project arborist). The contract shall include provisions for review of the grading, building, and construction management plans; monitoring of construction activities; and verifying that the protection measures outlined in Mitigation Measure Nos. 2 through 7 will be implemented. In addition, the contract shall include the preparation of a final report indicating that the protection measures in place were successful. The contract shall be submitted to Planning for review and approval. Should Planning find the contract incomplete or unacceptable, the contract will be returned to the owner/applicant and a revised contract shall be re-submitted for review and approval.

Mitigation Measure Monitoring Action No. 1b: Prior to the issuance of construction permits for grading or building, the owner/applicant shall submit to Planning a copy of the contract between the owner/applicant and a qualified biologist (referred to as the project biologist). The contract shall include provisions for review of the grading, building, and construction management plans; monitoring of construction activities; and verifying that the protection measures outlined in Mitigation Measure Nos. 2 through 7 will be implemented. In addition, the contract shall include the preparation of a final report indicating that the protection measures in place were successful. The contract shall be submitted to Planning for review and approval. Should Planning find the contract incomplete or unacceptable, the contract will be returned to the owner/applicant and a revised contract shall be re-submitted for review and approval.

## 11. MITIGATION MEASURE 2: BEST MANAGEMENT PRACTICES

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 2: Best Management Practices. In order to ensure construction activities include best management practices that provide overall protection measures for all trees onsite, the following shall be included as a note on the construction plans.

- Depositing fill, parking equipment, or staging construction materials near existing trees shall be prohibited. Trees shall be protected by boards, fencing or other materials to delineate protection zones.
- Pruning shall be conducted so as not to unnecessarily injure the tree. General-principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first.
- Root cutting shall occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- Tree material greater than 3-inches in diameter remaining on site more than one month that is not cut and split into firewood shall be covered with clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- A mulch layer approximately 4-inches deep shall be applied to the ground under selected trees prior to, maintained during, and following construction. Only 1 to 2 -inches of mulch shall be applied within 1 to 2-feet of the trunk. Under no circumstances shall any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

**Compliance or Monitoring Action to be Performed:** Mitigation Measure Monitoring Action No. 2a: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall include a note on the construction plans encompassing the language contained within Mitigation Measure No. 2 to Planning for review and approval.

Mitigation Measure Monitoring Action No. 2b: Prior to final of construction permits for grading and/or building, the owner, applicant, or project arborist shall submit a final report to Planning demonstrating that implementation of the best management practices was successful.

## 12. MITIGATION MEASURE 3: GENERAL TREE PROTECTION STANDARDS

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 3: General Tree Protection Standards. In order to ensure impacts to Monterey Cypress trees during construction are minimized, the following protection measures shall be in place during grading and construction activity shall be implemented in consultation with, and approved by the project arborist and biologist:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment by the use of free standing cross braced temporary fencing and through wrapping of trunks with protective materials. Mulching (4-inch deep) shall be placed in the critical root zone areas within fenced areas.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence.
- Fencing is not to be attached to the tree but free standing with 2x4 wood or metal cross bracing to be self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade and placed to the farthest extent possible from the trees base to protect the area within the trees drip line (typically 10 to 12-feet away from the base of a tree).
- In cases where access or space is limited for tree protection it is permissible to protect the tree within the 10 to 12-foot distance after determination and approval by a qualified forester or arborist.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Areas anticipated to have construction equipment near trees should have root zones mulched with cypress wood chips placed around to spread equipment load and to protect against soil compaction.
- Fenced areas and the trunk protection materials should remain in place during the entire construction period.

**Compliance or Monitoring Action to be Performed:** Mitigation Measure Monitoring Action No. 3a: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall include a note on the construction plans encompassing the language contained within Mitigation Measure No. 3 to Planning for review and approval.

Mitigation Measure Monitoring Action No. 3b: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall submit a tree protection plan consistent with the measures outlined within Mitigation Measure No. 3 to Planning for review and approval.

Mitigation Measure Monitoring Action No. 3c: Prior to final of construction permits for grading and/or building, the owner, applicant, or project arborist shall submit a final report to Planning demonstrating that implementation of the tree protection measures was successful.



### 13. MITIGATION MEASURE 4: TREE PROTECTION STANDARDS DURING GRADING AND EXCAVATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 4: Tree Protection Standards During Grading and Excavation. In order to ensure impacts to cypress trees during excavation, trenching, and construction of foundations are minimized, the following measures shall be implemented and approved by a qualified arborist or forester:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots should be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project architect and qualified arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for retaining walls or footings located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Removal of the organic layer of the upper soil profile for installation of the driveway and motor court shall be done by hand. If any roots encountered are larger than 1 -inch, that shall be preserved within the aggregate base material, subject to evaluation by a certified arborist.
- Installation of utility connections shall be outside cypress driplines to the extent feasible. Trenching shall be accomplished by hand, air, or water, with all roots larger than 1-inch to be preserved to the extent that is compatible with the placement of the utility conveyances into their trenches.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots (over 3-inches in diameter) are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affect the target trees (not anticipated with the present design), the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc.

**Compliance or Monitoring Action to be Performed:** Mitigation Measure Monitoring Action No. 4a: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall include a note on the construction plans encompassing the language contained within Mitigation Measure No. 4 to Planning for review and approval.

Mitigation Measure Monitoring Action No. 4b: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall, in accordance with Mitigation Measure No. 3, submit a tree protection plan to Planning for review and approval. This plan shall also incorporate measures outlined within Mitigation Measure No. 4.

Mitigation Measure Monitoring Action No. 4c: Prior to final of construction permits for grading and/or building, the owner, applicant, or project arborist shall submit a final report to Planning demonstrating that implementation of the tree protection measures was successful.

## 14. MITIGATION MEASURE 5: TREE PRUNING GUIDELINES

**Responsible Department:** RMA-Planning

- Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 5: Tree Pruning Guidelines. Pruning of retained trees is expected for this site and shall be limited to only those areas necessary for a safe working and living environment. In order to ensure long-term health of each individual tree, the owner/applicant shall incorporate these specified guidelines during tree pruning activities.
- Pruning shall be limited to trees that have major deadwood that present significant risk or are exhibiting some structural defect or disease that must be compensated.
  - Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester.
  - Trees shall be pruned first for safety, next for health, and finally, only if necessary, for aesthetics.
  - Type of pruning is determined by the size of branches to be removed. General guidelines for branch removal are:
    - o Fine Detail pruning – Limbs under 2-inches in diameter are removed.
    - o Medium Detail Pruning – Limbs between 2 and 4-inch in diameter.
    - o Structural Enhancement – Limbs greater than 4-inches diameter.
    - o Broken and cracked limbs – Will be removed in high traffic areas of concern.
  - Crown thinning is the cleaning out of or removal of dead diseased, weakly attached, or low vigor branches from a tree crown. All trees will be assessed on how a tree will be pruned from the top down.
    - o Trimmers shall favor branches with strong, U- shaped angles of attachment and where possible remove branches with weak, V-shaped angles of attachment and/or included bark.
    - o Lateral branches shall be evenly spaced on the main stem of young trees and areas of fine pruning.
    - o Branches that rub or cross another branch may be removed where possible.
    - o Lateral branches may be no more than one-half to three-quarters of the diameter of the stem to discourage the development of codominant stems where feasible.
    - o In most cases trimmers shall not remove more than one-quarter of the living crown of a tree at one time. If it is necessary to remove more, it shall be conducted over successive years.
  - Crown raising removes the lower branches of a tree to provide clearance for buildings, vehicles, pedestrians and vistas.
    - o Live branches on at least two-thirds of a tree's total height shall be maintained wherever possible. The removal of many lower branches will hinder the development of a strong stem.
    - o All basal sprouts and vigorous epicormic sprouts shall be removed where feasible.
  - Crown reduction is used to reduce the height and/or spread of trees and is used for maintaining the structural integrity and natural form of a tree.
    - o Crown reduction pruning shall be used only when absolutely necessary. Pruning cuts shall be at a lateral branch that is at least one third the diameter of the stem to be removed wherever possible.
    - o When it is necessary to remove more than half of the foliage from a branch it may be necessary remove the entire branch.

**Compliance or  
Monitoring  
Action to be Performed:**

Mitigation Measure Monitoring Action No. 5a: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall include a note on the construction plans encompassing the language contained within Mitigation Measure No. 5 to Planning for review and approval.

Mitigation Measure Monitoring Action No. 5b: Prior to final of construction permits for grading and/or building, the owner, applicant, or project arborist shall submit a final report to Planning demonstrating that implementation of the tree protection measures was successful.

#### 15. MITIGATION MEASURE 6: DEER MOVEMENT/WILDLIFE MOVEMENT

**Responsible Department:** RMA-Planning

**Condition/Mitigation  
Monitoring Measure:**

Mitigation Measure No. 6: Deer Movement. Recognizing the importance of maintaining effective wildlife movement corridors in urban and developing landscapes, the owner/applicant shall coordinate with the project biologist to design perimeter fencing facilitating unabated movement by wildlife.

**Compliance or  
Monitoring  
Action to be Performed:**

Mitigation Measure Monitoring Action No. 6. Prior to issuance of construction permits for grading and/or building, the owner/applicant shall coordinate with the project biologist to incorporate smart fence and design elements on the project site that will facilitate unabated movement by wildlife – and particularly deer- across the property, or a portion of the property, from 17-Mile Drive and the adjoining (north-side) park lot. Whether this entails permanently removing downed fencing or a newly designed fence, the owner/applicant shall submit a site plan and photographs identifying and illustrating point(s) of passage according to the existing patterns of movement observed by the project biologist.

#### 16. MITIATION MEASURE 7: PROTECTION OF REPTILES, WILDLIFE-FRIENDLY NETTING DESIGN AND PRACTICES

**Responsible Department:** RMA-Planning

**Condition/Mitigation  
Monitoring Measure:**

Mitigation Measure No. 7: Protection of Reptiles, wildlife-friendly netting designs and practices. To minimize wildlife entanglement and plastic debris pollution, choose temporary erosion and sediment control products that either do not contain netting, or that contain netting manufactured from 100% biodegradable non-plastic materials such as jute, sisal, or coir fiber. Local snakes are highly susceptible to entrapment, injury and death when caught in the plastic, nylon and vinyl mesh-netting that is commonly used to bind erosion control materials. In particular, the net-wrapping that typically is used to encase 'coconut rolls' and 'fiber blankets' are dangerous and universally lethal to snakes that become entangled when attempting to move through the netting. There are many temporary erosion and sediment control products available that do not contain plastic netting.

**Compliance or  
Monitoring  
Action to be Performed:**

Mitigation Measure Monitoring Action No. 7a. All erosion and sediment control measures employed by project contractors shall specifically utilize materials that employ natural fiber mesh and netting, exclusively. The owner/applicant shall submit photographs illustrating point(s) of passage according to the existing patterns of movement identified by the project biologist.

Mitigation Measure Monitoring Action No. 7b. When no longer required, temporary erosion and sediment control products should be promptly removed.

## 17. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to Environmental Services for review and approval.

## 18. GEOTECHNICAL CERTIFICATION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geologic Report and Soil Engineering Investigation. (Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall provide Environmental Services a letter from a licensed practitioner certifying that all development has been constructed in accordance with the recommendations in the project Geologic Report and Soil Engineering Investigation.

## 19. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Grading Plan incorporating the recommendations from the project Geologic Report and Soil Engineering Investigation prepared by Landset Engineers Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e.; PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

# BAILEY RESIDENCE REMODEL AND ADDITION

PROJECT NAME:  
**BAILEY REMODEL  
AND ADDITION**

3257 17 MILE DRIVE  
PEBBLE BEACH, CA.  
93953

APN: 008-461-010-000  
JOB NUMBER: 2007



DRAWING RECORD	
DESCRIPTION	ISSUED
MO. CO. PLN. PRE-APP SUBMIT	9/14/2016
PS SUBMITTAL	4/18/2017
MO. CO. PLN. SUBMIT #1	4/20/2017
MO. CO. PLN. RESUBMIT #1	8/28/2017
MO. CO. PLAN CHECK SUBMIT	5/25/2018
MO. CO. PLN. RESUBMIT #2	4/02/2020

PRINT DATE: 4/2/2020

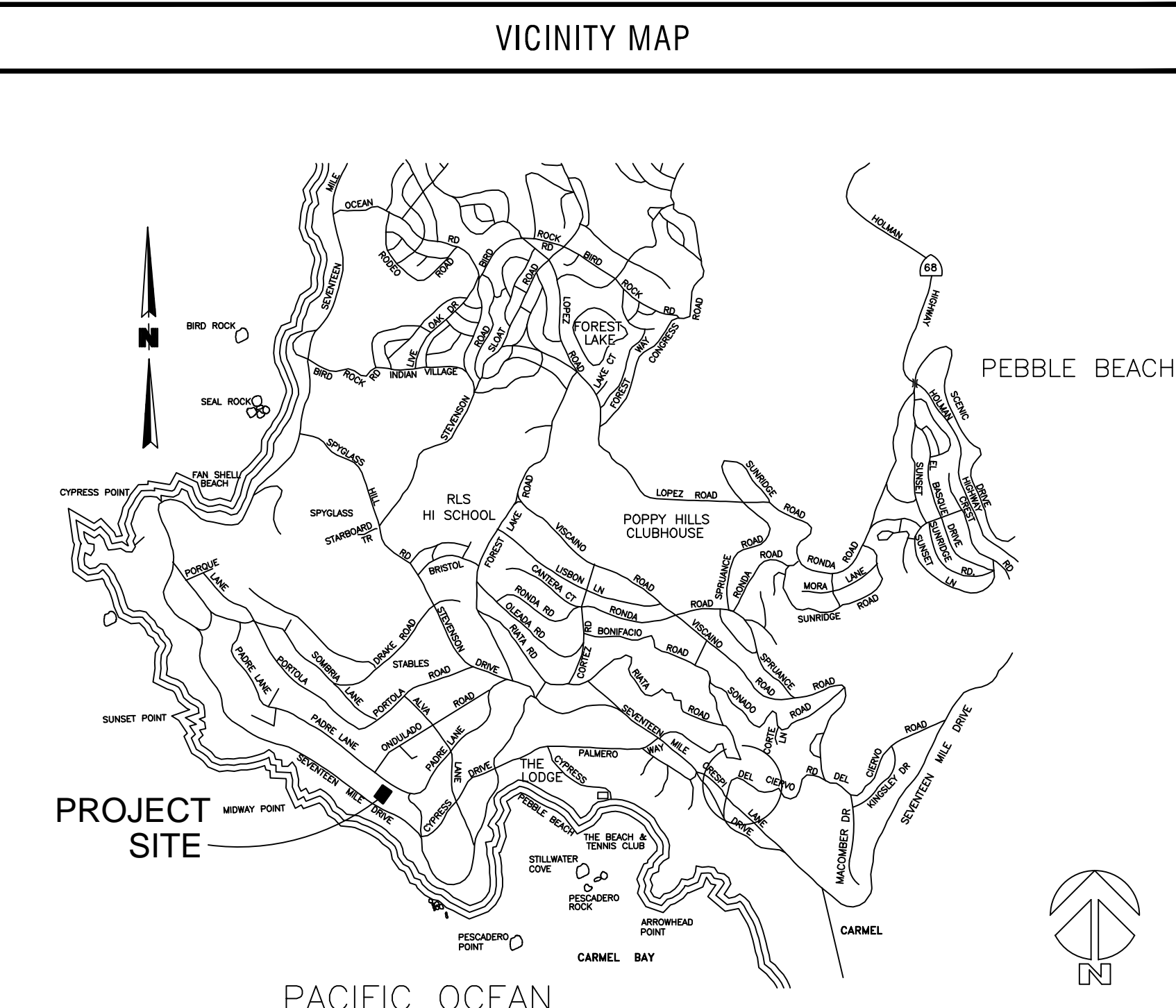
MEMBER

**A | B | D**

AMERICAN INSTITUTE of  
BUILDING DESIGN

GENERAL CONDITIONS	SHEET INDEX	PROJECT DIRECTORY	PROJECT INFORMATION																																																																																																																																																																																																																																																																				
<ol style="list-style-type: none"> <li>Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.</li> <li>Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.</li> <li>Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.</li> <li>Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closures, walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.</li> <li>Materials that are specified by their brand names establish standards of quality and performance. Any request for substitution shall be submitted to Moore Design Inc. and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and manufacturer's specifications and shall be approved by the designer prior to purchase or installation.</li> <li>All construction work architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.</li> <li>All dimensions on construction drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.</li> <li>All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.</li> <li>All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.</li> <li>All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.</li> <li>The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.</li> <li>The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.</li> <li>The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, by assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.</li> <li>The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.</li> <li>The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.</li> <li>All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.</li> <li>Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.</li> <li>All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.</li> <li>Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.</li> <li>Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.</li> </ol>	<table border="1"> <thead> <tr> <th colspan="2">ARCHITECTURAL</th> </tr> </thead> <tbody> <tr> <td>A0.1</td> <td>COVER SHEET, PROJECT INFORMATION</td> </tr> <tr> <td>A0.2</td> <td>FIRE DEPARTMENT NOTES / PLANNING CONDITIONS</td> </tr> <tr> <td>A1.1</td> <td>SITE PLAN</td> </tr> <tr> <td>CIVIL - C1</td> <td>GENERAL NOTES</td> </tr> <tr> <td>CIVIL - C2</td> <td>GRADING PLAN</td> </tr> <tr> <td>CIVIL - C3</td> <td>SEEDMENT CONTROL</td> </tr> <tr> <td>CIVIL - C4</td> <td>CONSTRUCTION MANAGEMENT PLAN</td> </tr> <tr> <td>LANDSCAPE - L-1</td> <td>TITLE &amp; INDEX SHEET</td> </tr> <tr> <td>LANDSCAPE - L-2</td> <td>PLANTING PLAN</td> </tr> <tr> <td>LANDSCAPE - L-3</td> <td>BREAKDOWN PLAN</td> </tr> <tr> <td>LANDSCAPE - L-4</td> <td>LANDSCAPE LIGHTING</td> </tr> <tr> <td>LANDSCAPE - L-5</td> <td>ENTRANCE WALL &amp; GATE</td> </tr> <tr> <td>A2.0</td> <td>EXISTING / DEMOLITION PLAN</td> </tr> <tr> <td>A2.1</td> <td>LEFT FLOOR PLAN</td> </tr> <tr> <td>A2.2</td> <td>RIGHT FLOOR PLAN</td> </tr> <tr> <td>A2.3</td> <td>ROOF PLAN, SCHEDULES</td> </tr> <tr> <td>A4.1</td> <td>EXISTING / PROPOSED ELEVATIONS</td> </tr> <tr> <td>A5.1</td> <td>SECTIONS</td> </tr> <tr> <td>A6.1</td> <td>LEFT ELECTRICAL PLAN</td> </tr> <tr> <td>A6.2</td> <td>RIGHT ELECTRICAL PLAN</td> </tr> <tr> <td>A8.1</td> <td>DETAILS</td> </tr> <tr> <th colspan="2">STRUCTURAL</th> </tr> <tr> <td>S.1</td> <td>STANDARD SPECIFICATIONS</td> </tr> <tr> <td>S.2</td> <td>FOUNDATION PLAN</td> </tr> <tr> <td>S.3</td> <td>FOUNDATION DETAILS</td> </tr> <tr> <td>S.4</td> <td>ROOF FRAMING PLAN</td> </tr> <tr> <td>S.5</td> <td>ROOF FRAMING DETAILS</td> </tr> <tr> <td>S.6</td> <td>DETAILS</td> </tr> <tr> <td>S.7</td> <td>STRONGWALL DETAILS</td> </tr> <tr> <td>S.8</td> <td>RETAINING WALL DETAILS</td> </tr> <tr> <th colspan="2">MECHANICAL</th> </tr> <tr> <td>M0.1</td> <td>NOTES</td> </tr> <tr> <td>M0.2</td> <td>NOTES</td> </tr> <tr> <td>M0.3</td> <td>ENERGY COMPLIANCE</td> </tr> <tr> <td>M0.4</td> <td>MANDATORY MEASURES</td> </tr> <tr> <td>M2.1</td> <td>PARTIAL RADIANT PANEL &amp; TUBE LAYOUT</td> </tr> <tr> <td>M2.2</td> <td>PARTIAL RADIANT PANEL LAYOUT</td> </tr> <tr> <td>M2.3</td> <td>PARTIAL RADIANT TUBING LAYOUT</td> </tr> <tr> <td>M2.4</td> <td>VENTILATION PLAN</td> </tr> <tr> <td>M6.1</td> <td>PIPING SCHEMATIC</td> </tr> <tr> <td>M6.2</td> <td>CONTROLS SCHEMATIC</td> </tr> <tr> <td>M6.3</td> <td>DETAILS</td> </tr> <tr> <td>M6.4</td> <td>ECO WARM INSTALLATION DETAILS</td> </tr> <tr> <td>M6.5</td> <td>HEAT SOURCE VENTING</td> </tr> </tbody> </table>	ARCHITECTURAL		A0.1	COVER SHEET, PROJECT INFORMATION	A0.2	FIRE DEPARTMENT NOTES / PLANNING CONDITIONS	A1.1	SITE PLAN	CIVIL - C1	GENERAL NOTES	CIVIL - C2	GRADING PLAN	CIVIL - C3	SEEDMENT CONTROL	CIVIL - C4	CONSTRUCTION MANAGEMENT PLAN	LANDSCAPE - L-1	TITLE & INDEX SHEET	LANDSCAPE - L-2	PLANTING PLAN	LANDSCAPE - L-3	BREAKDOWN PLAN	LANDSCAPE - L-4	LANDSCAPE LIGHTING	LANDSCAPE - L-5	ENTRANCE WALL & GATE	A2.0	EXISTING / DEMOLITION PLAN	A2.1	LEFT FLOOR PLAN	A2.2	RIGHT FLOOR PLAN	A2.3	ROOF PLAN, SCHEDULES	A4.1	EXISTING / PROPOSED ELEVATIONS	A5.1	SECTIONS	A6.1	LEFT ELECTRICAL PLAN	A6.2	RIGHT ELECTRICAL PLAN	A8.1	DETAILS	STRUCTURAL		S.1	STANDARD SPECIFICATIONS	S.2	FOUNDATION PLAN	S.3	FOUNDATION DETAILS	S.4	ROOF FRAMING PLAN	S.5	ROOF FRAMING DETAILS	S.6	DETAILS	S.7	STRONGWALL DETAILS	S.8	RETAINING WALL DETAILS	MECHANICAL		M0.1	NOTES	M0.2	NOTES	M0.3	ENERGY COMPLIANCE	M0.4	MANDATORY MEASURES	M2.1	PARTIAL RADIANT PANEL & TUBE LAYOUT	M2.2	PARTIAL RADIANT PANEL LAYOUT	M2.3	PARTIAL RADIANT TUBING LAYOUT	M2.4	VENTILATION PLAN	M6.1	PIPING SCHEMATIC	M6.2	CONTROLS SCHEMATIC	M6.3	DETAILS	M6.4	ECO WARM INSTALLATION DETAILS	M6.5	HEAT SOURCE VENTING	<table border="1"> <tbody> <tr> <td>PROPERTY OWNER:</td> <td>CAROLINE BAILEY 7 MIDDEN LANE TUBURON, CA 94920 415-609-6106</td> </tr> <tr> <td>DISKNER:</td> <td>MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 TEL (831) 642-9732 FAX (831) 401-3292 EMAIL: john@mooredesign.org</td> </tr> <tr> <td>SURVEYOR &amp; CIVIL ENGINEER:</td> <td>H.D. Pross Co., Inc. CONTACT: Allen Stinson 119 Central Ave. Salinas, CA. 93901 TEL (831) 424-5861 al@hdpross.com</td> </tr> <tr> <td>STRUCTURAL ENGINEER:</td> <td>STRUCTURES INC. CONTACT: William Coler 1678 Fremont Blvd, Suite G Seaside, CA 93955 TEL (831) 393-4460 email: wcoler@structuresenginc.com LIC # C-24247</td> </tr> <tr> <td>LANDSCAPE ARCHITECT:</td> <td>HALL LANDSCAPE DESIGN CONTACT: SCOTT HALL 582 LEITCHFIELD AVE, SUITE 4 PACIFIC GROVE, CA 93950 TEL (831) 655-3808 FAX (831) 655-3854 scott@halllandscape.com</td> </tr> <tr> <td>HISTORIAN:</td> <td>PAST CONSULTANTS CONTACT: SETH BERGSTEN P.O. Box 721 PACIFIC GROVE, CA 93950 TEL (415) 515-6224 seth@pastconsultants.com</td> </tr> <tr> <td>GEOTECHNICAL ENGINEER:</td> <td>LANISET ENGINEERS, INC. CONTACT: BRIAN PAPPARELLO 529 CRAWLEY HORSE RD. SALINAS, CA 93907 TEL (831) 443-0970 FAX (831) 443-3801 bpapparello@landseteng.com</td> </tr> <tr> <td>BIOLOGIST:</td> <td>JEFFREY B. FROKE, Ph.D. CONTACT: JEFF FROKE CELL (831) 224-8395 jbfroke@mac.com</td> </tr> <tr> <td>ARCHAEOLOGIST:</td> <td>ARCHAEOLOGICAL CONSULTING CONTACT: CARY BRISCHINI PO BOX 3377 SALINAS, CA 93912 TEL (831) 422-4912 FAX (831) 422-4913</td> </tr> <tr> <td>GENERAL CONTRACTOR:</td> <td>KEVIN RAPH CONSTRUCTION CONTACT: KEVIN RAPH 642 PINE STREET PACIFIC GROVE, CA 93940 TEL (831) 643-2819 FAX (831) 643-0740 EMAIL: kmconstruct@yahoo.com LIC. # 555255</td> </tr> </tbody> </table>	PROPERTY OWNER:	CAROLINE BAILEY 7 MIDDEN LANE TUBURON, CA 94920 415-609-6106	DISKNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 TEL (831) 642-9732 FAX (831) 401-3292 EMAIL: john@mooredesign.org	SURVEYOR & CIVIL ENGINEER:	H.D. Pross Co., Inc. CONTACT: Allen Stinson 119 Central Ave. Salinas, CA. 93901 TEL (831) 424-5861 al@hdpross.com	STRUCTURAL ENGINEER:	STRUCTURES INC. 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WATER SYSTEM:	CAL AM																																																																																																																																																																																																																																																																						
SEWER SYSTEM:	PBCSD																																																																																																																																																																																																																																																																						
TREE REMOVAL:	NONE																																																																																																																																																																																																																																																																						
TOPOGRAPHY:	GENTLY SLOPING UPWARD (LESS THAN 2%)																																																																																																																																																																																																																																																																						
GRADING:	180 CUBIC YDS. OF CUT FOR GARAGE AND ADDITION FOUNDATIONS																																																																																																																																																																																																																																																																						
LOT SIZE:	1.24 ACRES / 54,014 SF																																																																																																																																																																																																																																																																						
BUILDING SITE COVERAGE	EXISTING	DEMO	ADDITIONS	TOTAL																																																																																																																																																																																																																																																																			
RESIDENCE	1,903	-18	1,412	3,297																																																																																																																																																																																																																																																																			
COVERED FRONT PORCH	451	-60	0	391																																																																																																																																																																																																																																																																			
GARAGE/STORAGE/UTILITY ROOM	0	0	1,332	1,332																																																																																																																																																																																																																																																																			
BALCONY AT GARAGE	0	0	216	216																																																																																																																																																																																																																																																																			
SUB-TOTAL	2,354 SF	-78 SF	2,764 SF	5,256 SF																																																																																																																																																																																																																																																																			
ALLOWED 15% = 8,102 SF	PROPOSED 9.7% = 5,256 SF																																																																																																																																																																																																																																																																						
FLOOR AREA	EXISTING	DEMO	ADDITIONS	TOTAL																																																																																																																																																																																																																																																																			
RESIDENCE	1,903	-18	1,412	3,297																																																																																																																																																																																																																																																																			
GARAGE/STORAGE/UTILITY ROOM	0	0	1,332	1,332																																																																																																																																																																																																																																																																			
GAME ROOM ABOVE GARAGE	0	0	1,092	1,092																																																																																																																																																																																																																																																																			
SUB-TOTAL	1,903 SF	-18 SF	3,856 SF	5,741 SF																																																																																																																																																																																																																																																																			
ALLOWED 17.5% = 9,452.5 SF	PROPOSED 10.6% = 5,741 SF																																																																																																																																																																																																																																																																						
HARDCAPED AREAS	EXISTING	DEMO	NEW	TOTAL																																																																																																																																																																																																																																																																			
DRIVEWAY	5,784	-5,784	0	0																																																																																																																																																																																																																																																																			
PATIO / WALK	1,899	-1,899	130	130																																																																																																																																																																																																																																																																			
SUB-TOTAL	7,683 SF	-7,683 SF	130 SF	130 SF																																																																																																																																																																																																																																																																			
TOTAL BLDG & HARDCAPED AREAS	10,037 SF			5,170 SF																																																																																																																																																																																																																																																																			
PERMEABLE AREAS NOT COUNTED ABOVE	NEW																																																																																																																																																																																																																																																																						
DRIVEWAY	3,950																																																																																																																																																																																																																																																																						
PATIO / WALKS	2,082																																																																																																																																																																																																																																																																						
TOTAL	6,032 SF																																																																																																																																																																																																																																																																						

ABBREVIATIONS AND SYMBOLS	
APPROX. APPROXIMATE	O.C. ON CENTER
BLK. BLOCK	O.D. OUTSIDE DIAMETER
CLD. CLOSET	PLYWD PLYWOOD
CONC. CONCRETE	REF. REFRIGERATOR
CONT. CONTIGUOUS	R.O. ROUGH OPENING
DS DOWNSPOUT	SHWR SHOWER
DW DOWNWASHER	SMH SMOKE
(E) EXISTING	SL SKYLIGHT
F.O.C. FACE OF CONCRETE	TKG TONGUE AND GROOVE
F.O.S. FACE OF STUD	T.O.P. TOP OF PLATE
GALV. GALVANIZED	TYP. TYPICAL
G.P. GYPSUM	U.O.N. UNLESS OTHERWISE
G.W.B. GYPSUM WALLBOARD	NOTED
FLOOR FLOOR	WP WATERPROOF
H.W.D. HARDWOOD	W/ WITH
N.C. NOT IN CONTRACT	WO WITHOUT
N.T.S. NOT TO SCALE	W.C. WALK IN CLOSET
(1) WALL LINE	(SECTION) SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
(A) NUMBERS VERTICAL	(ELEVATION) ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
(L) LETTERS HORIZONTAL	(REVISIONS) REVISIONS NUMBERS CLOUD AROUND REVISION OPTIONAL
(1) DOORS SYMBOL NUMBERS	(4'-8" 0") CEILING HEIGHT
(1) WINDOW TYPE NUMBERS	
(1) DETAIL NUMBER SHEET WHERE DETAIL IS LOCATED	
(1) SHEET NOTE	



- ### CAL GREEN NOTES
- Irrigation Controllers: Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.504.1
  - Rodent Proofing: Protect annular spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.408.1
  - Construction Waste Management: Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1
  - Covering of Mechanical Equipment & Ducts: Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1
  - Adhesives, sealants and caulks: Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1
  - Paint and Coatings: Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGBC 4.504.2.2
  - Aerosol paints and coatings: Aerosol paints and coatings used on the project shall be compliant with product weighted MR limits for VOC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided.
  - Carpet Systems: All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.3
  - Resilient Floor Systems: 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4
  - Composite Wood Products: Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5
  - Foundation: Capillary Break: A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.600.2.1
  - Moisture Content of Building Materials: Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be stacked when the framing members exceed 19% moisture content. CGBC 4.505.3
  - Bathroom Exhaust Fans: Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1
  - Heating and Air Conditioning System Design: HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.

- ### BUILDING DEPARTMENT NOTES
- No person may tap into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey county health department.
  - All boxes used in connection with any construction activities shall be equipped with a nozzle shut-off, when an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose to use, the nozzle shall be an automatic shut-off nozzle.
  - No potable water may be used for compaction or dust control purposes in construction activities when there is a reasonably available source of reclaimed or other sub-potable water approved by the Monterey county health department and appropriate for such use.
  - The use of solder containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SR 184).
  - Provide non-removable backflow devices at all hosebills.

### PREVIOUSLY SUBMITTED CALCULATIONS

LOT COVERAGE CALCS:	ALLOWED (15%) = 8,102 SF / PROPOSED (11.3%) 6,128 SF
BUILDING SITE COVERAGE	EXISTING DEMO ADDITIONS TOTAL
RESIDENCE	1,903 -18 2,717 4,602
COVERED FRONT PORCH	451 -60 0 391
GARAGE/STORAGE/UTILITY ROOM	0 0 1,135 1,135
SUB-TOTAL	2,354 SF -78 SF 3,852 SF 6,128 SF

HARDCAPED AREAS	EXISTING	DEMO	NEW	TOTAL
DRIVEWAY	5,784	-5,784	0	0
PATIO / WALK	1,899	-1,899	130	130
SUB-TOTAL	7,683 SF	-7,683 SF	130 SF	130 SF
TOTAL BLDG & HARDCAPED AREAS	10,037 SF			6,258 SF

PERVIOUS AREAS NOT COUNTED ABOVE	NEW
DRIVEWAY	4,270
PATIO / WALK	1,828
TOTAL	6,098 SF

- ### CONTRACTOR NOTES
- Gas-lin certificates shall be copied to the building department.
  - At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.
  - All construction shall be in accordance with soils investigations by xxxxxx, project # xxxxxx, dated xx-xx-xxxx.
  - Contractor to provide two copies completed & signed of the CPER LITG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.

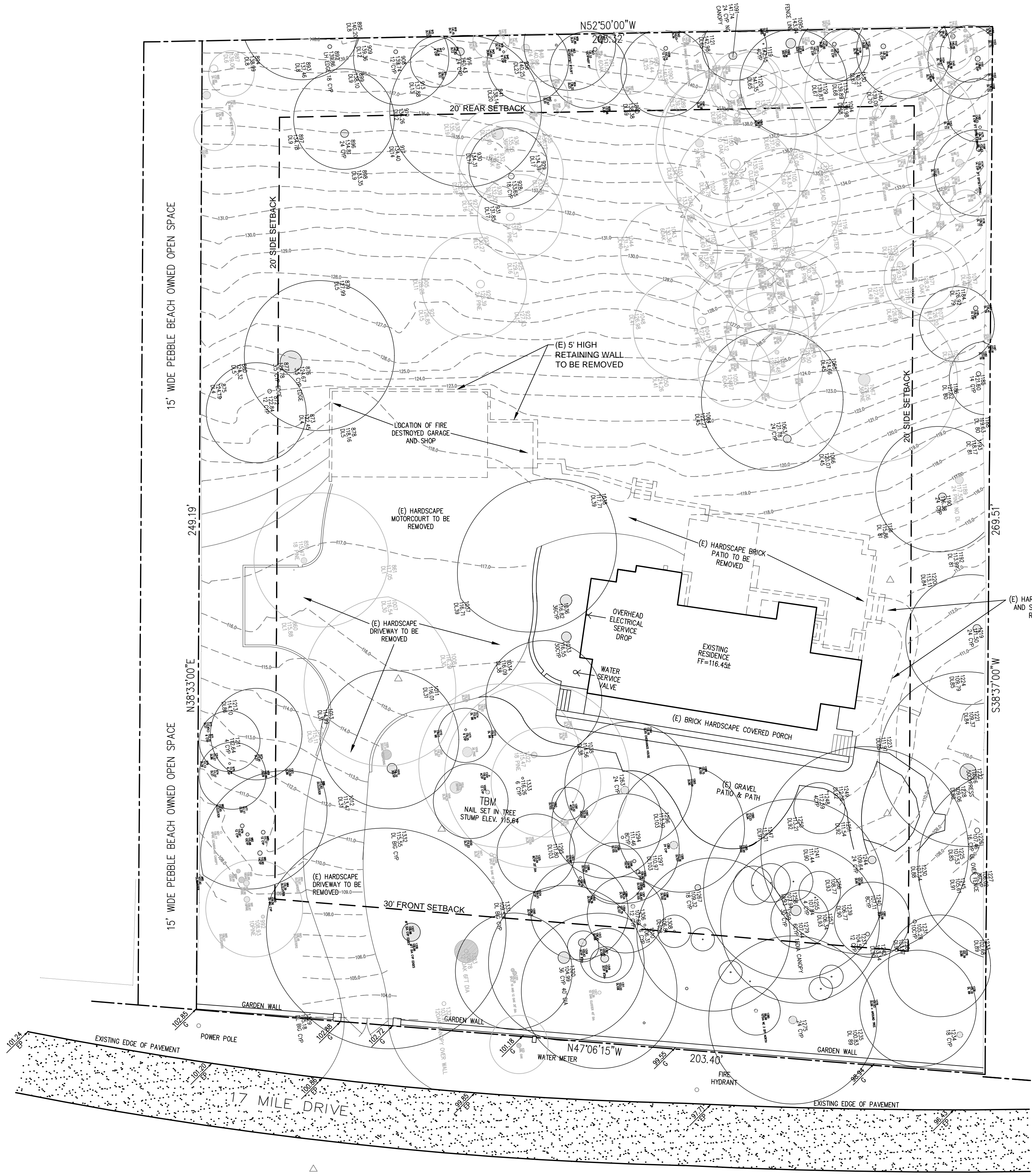
- ### DEFERRED APPROVALS / SPECIAL INSPECTIONS
- GAS LINE - Contractor to submit gas line sizing for county & utility approval before inspection.
  - FIRE SPENKERS - Plans for the sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.
  - Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.
  - Epoxy Anchorage - See structural drawings for locations (CR 1704.7)
  - Show wall nailing 'C' - See structural drawings for locations

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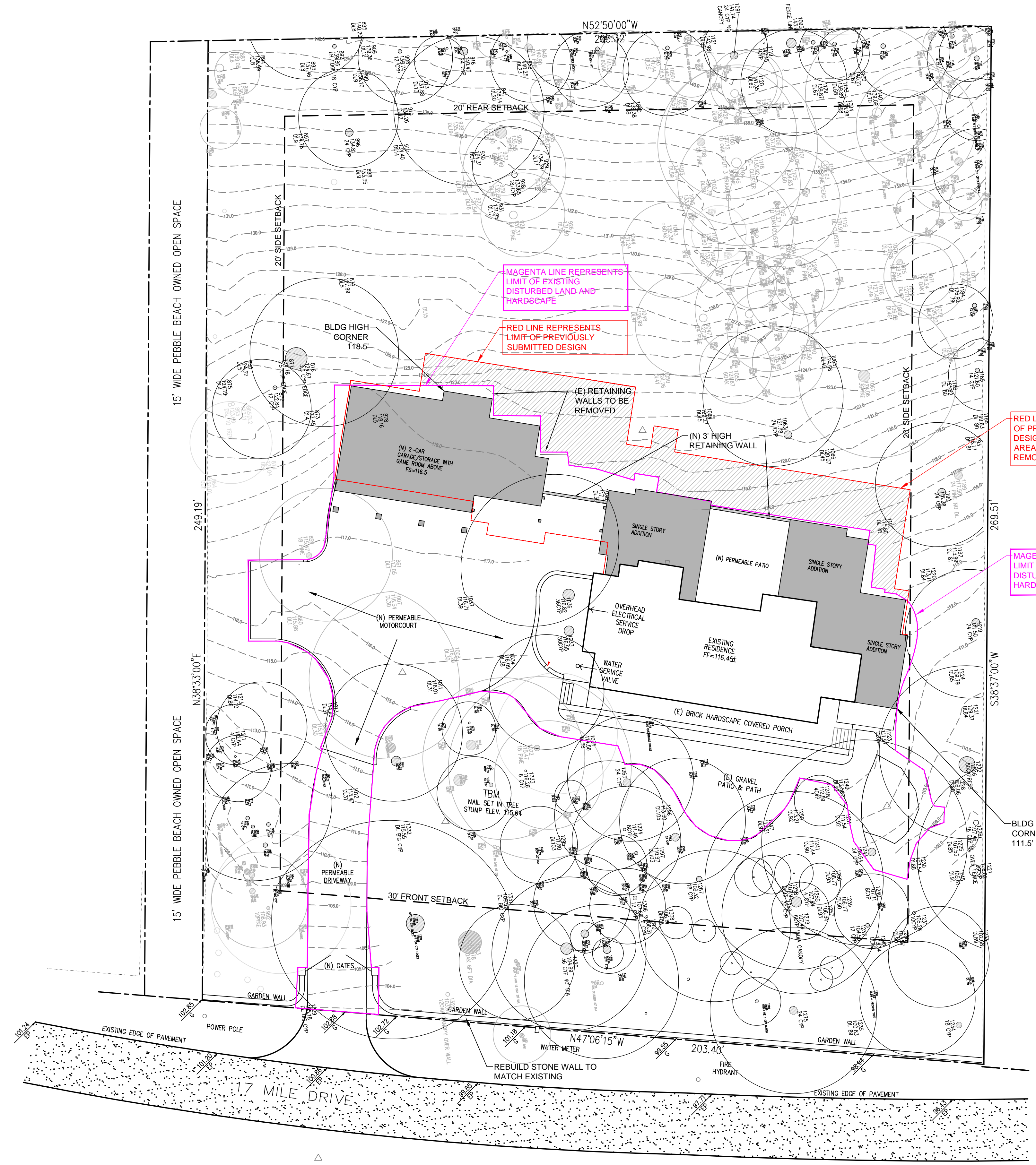
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:  
**COVER SHEET / PROJECT INFO**

SHEET NUMBER:  
**A0.1**



EXISTING SITE PLAN  
 SCALE: 1/16" = 1'-0"



PROPOSED SITE PLAN  
 SCALE: 1/16" = 1'-0"

PROJECT NAME:  
**BAILEY REMODEL AND ADDITION**  
 3257 17 MILE DRIVE  
 PEBBLE BEACH, CA.  
 93953  
 APN: 008-461-010-000  
 JOB NUMBER: 2007

*Moore Design Inc.*  
**MOORE DESIGN Inc.**  
 RESIDENTIAL PLANNING &  
 CONSTRUCTION ADMINISTRATION  
 225 CANNERY ROW, SUITE 1  
 MONTEREY, CA. 93940  
 831.642.9732 FAX 831.401.3292  
 john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
MO. CO. PLAN PRE-APP SUBMIT	9/14/2016
PS SUBMITTAL	4/18/2017
MO. CO. PLAN SUBMITTAL	4/20/2017
MO. CO. PLAN RESUBMIT #1	8/28/2017
MO. CO. PLAN CHECK SUBMIT	5/25/2018
MO. CO. PLAN RESUBMIT #2	4/02/2020

PRINT DATE: 4/2/2020  
**MEMBER**  
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SHEET TITLE:  
**SITE PLANS**

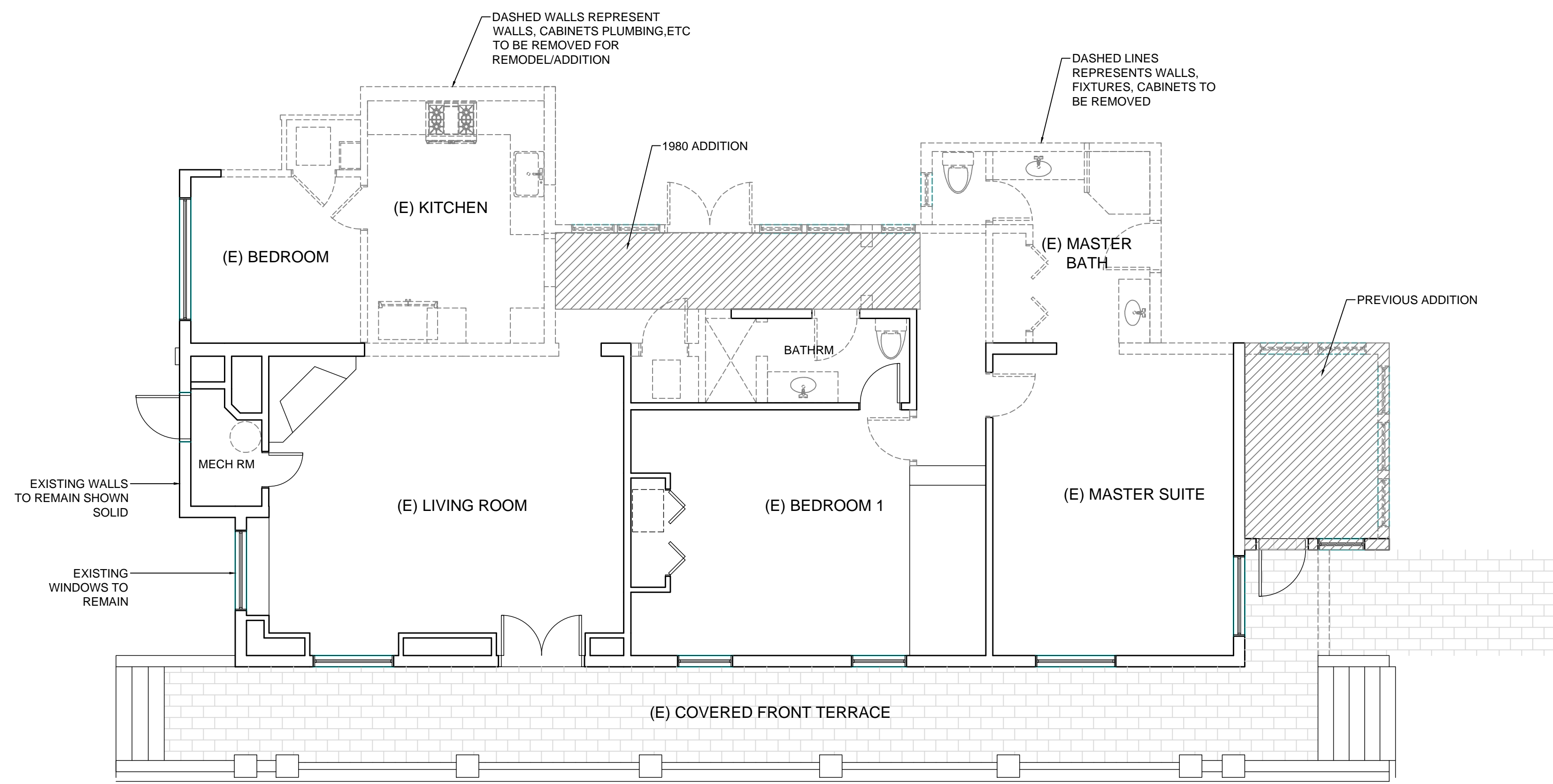
SHEET NUMBER:  
**A1.1**

PROJECT NAME:  
**BAILEY REMODEL  
 AND ADDITION**  
 3257 17 MILE DRIVE  
 PEBBLE BEACH, CA.  
 93953  
 APN: 008-461-010-000  
 JOB NUMBER: 2007

*John Moore*  
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 225 CANNERY ROW, SUITE 1  
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 831.642.9732 FAX 831.401.3292  
 john@mooredesign.org

DRAWING RECORD	
DESCRIPTION	ISSUED
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PB SUBMITTAL	4/18/2017
MO. CO. PLN. SUBMITTAL	4/20/2017
MO. CO. PLN. RESUBMIT #1	8/28/2017
MO. CO. PLAN CHECK SUBMIT	5/25/2018
MO. CO. PLN. RESUBMIT #2	4/02/2020

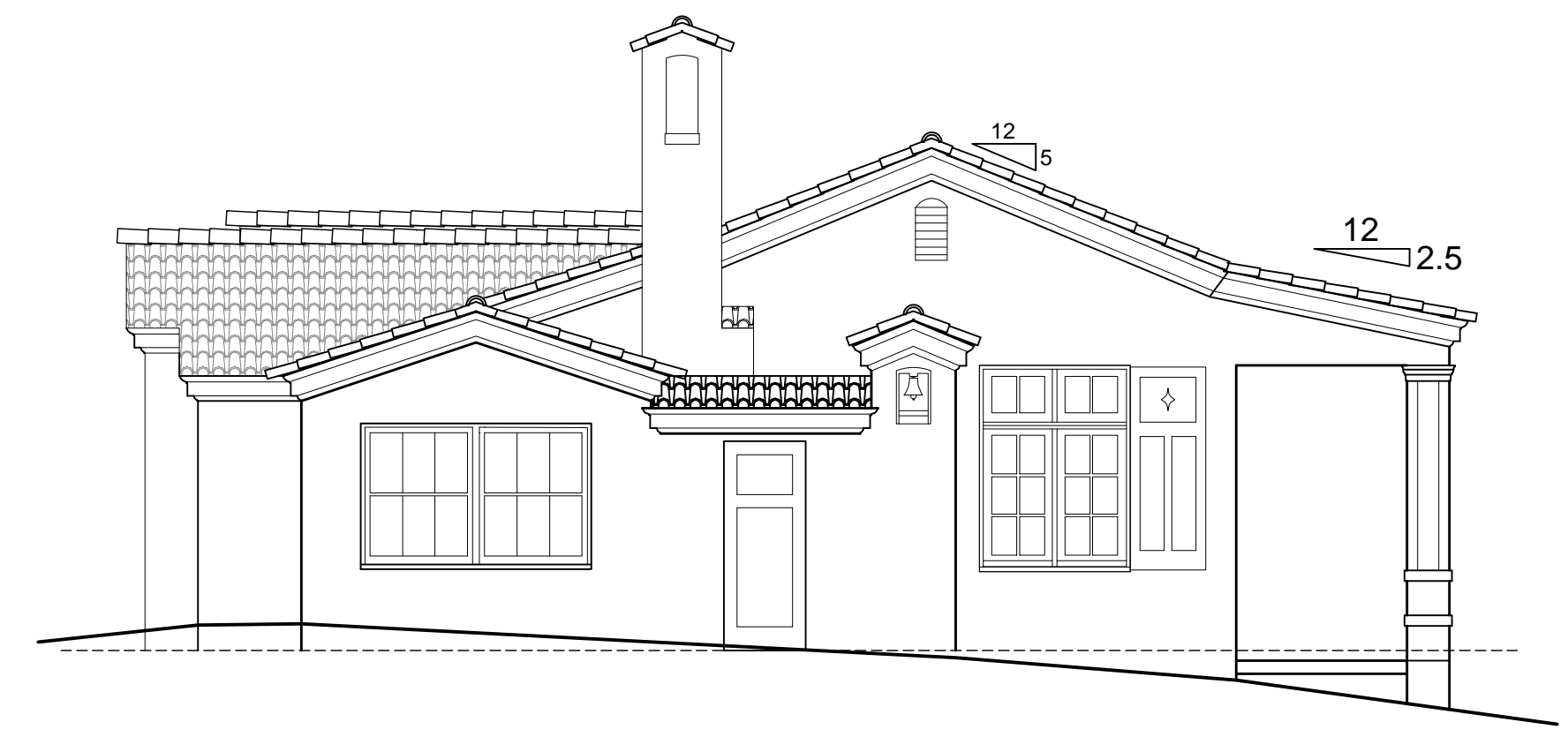
PRINT DATE: 4/2/2020  
**MEMBER**  
**A | B | D**  
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 BUILDING DESIGN



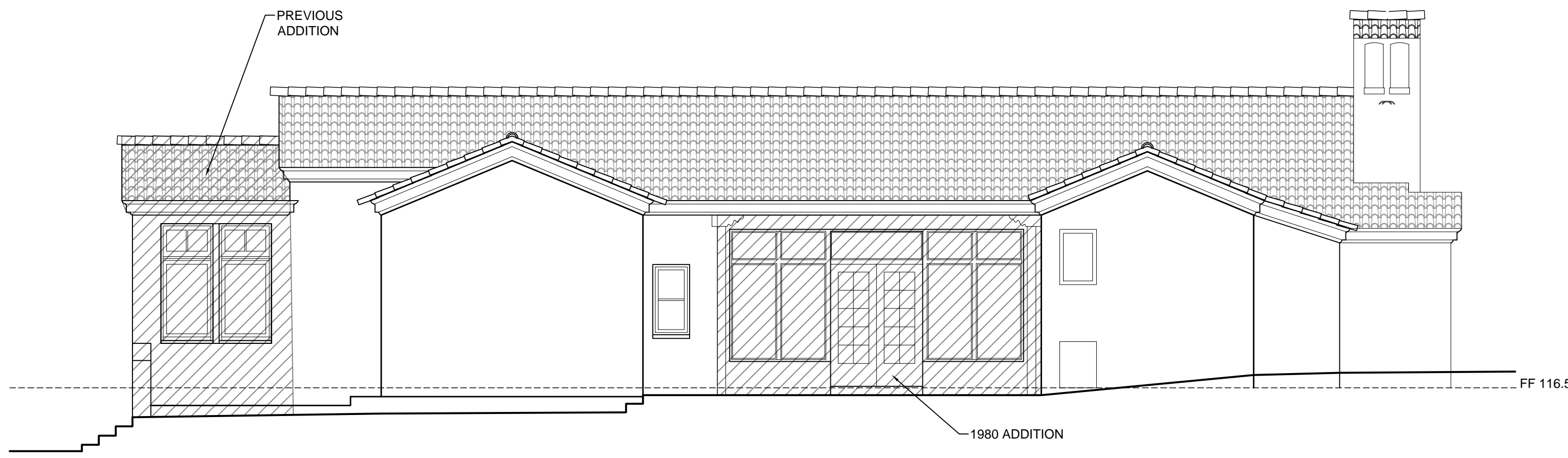
**EXISTING DEMOLITION FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



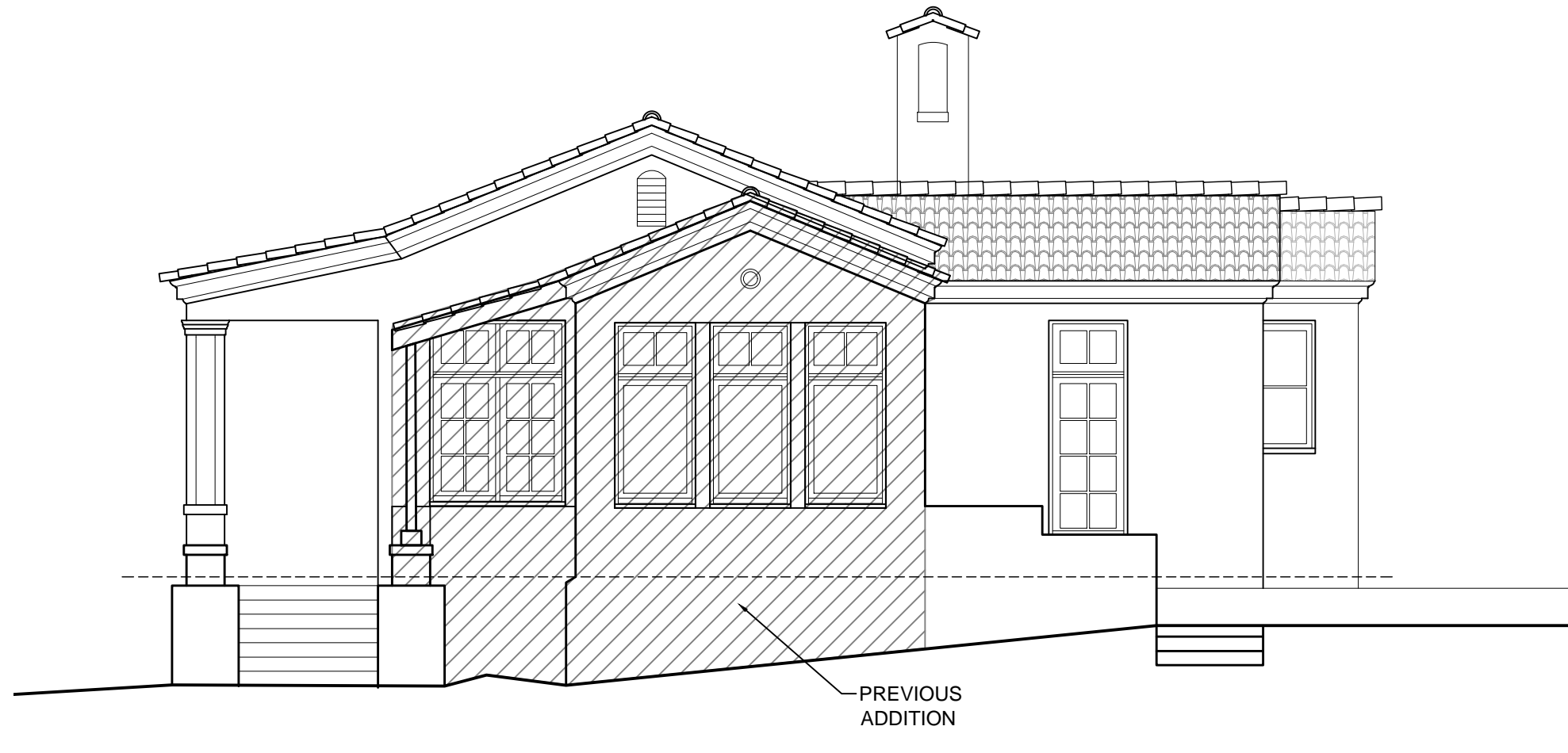
**1 EXISTING WEST ELEVATION**  
 1/8" = 1'-0"



**2 EXISTING NORTH ELEVATION**  
 1/8" = 1'-0"



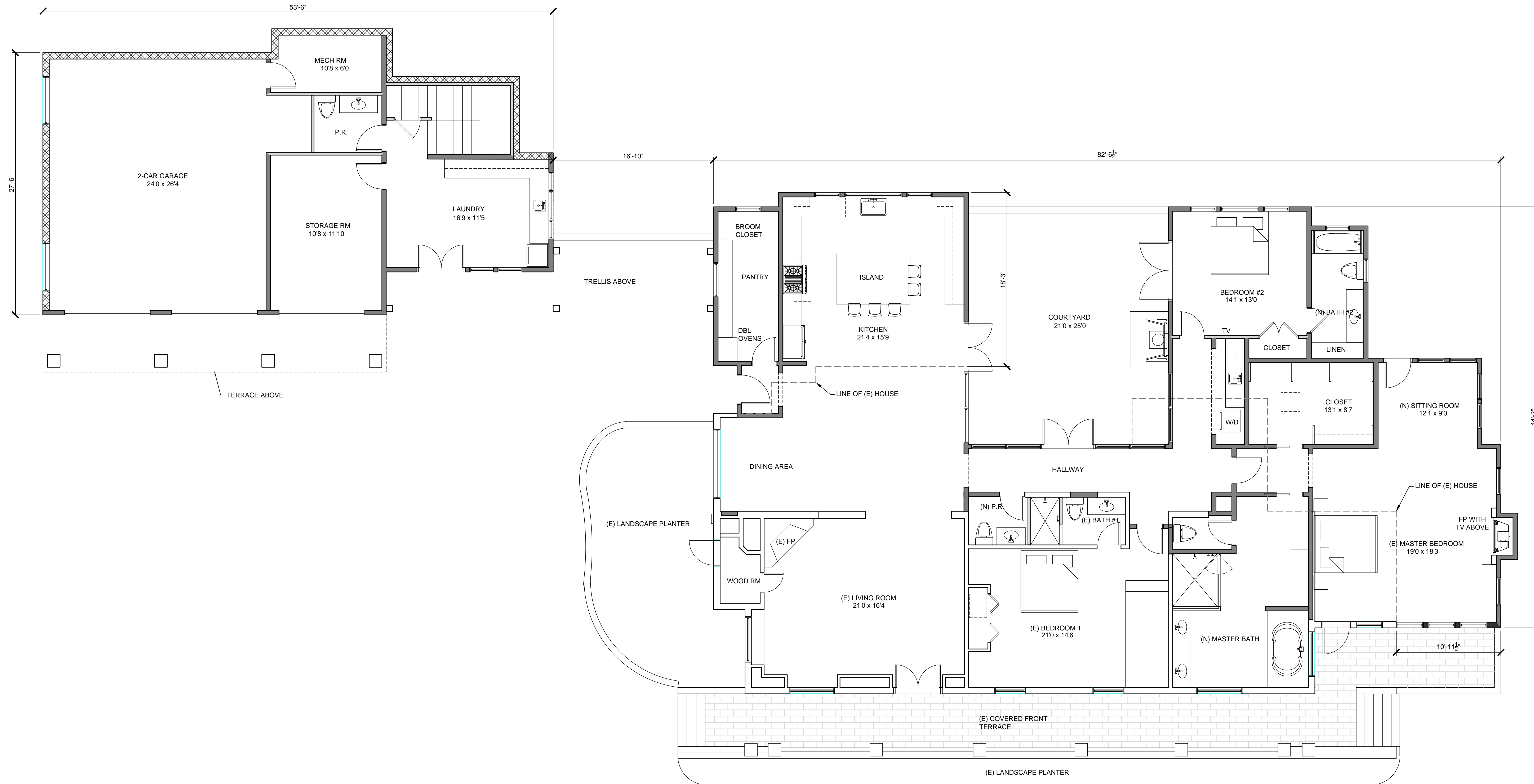
**3 EXISTING EAST ELEVATION**  
 1/8" = 1'-0"



**4 EXISTING SOUTH ELEVATION**  
 1/8" = 1'-0"

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SHEET TITLE:  
**EXIST PLAN AND  
 ELEVATIONS**  
 SHEET NUMBER:  
**A2.0**



PROJECT NORTH

MAIN LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

**SHEET NOTES**

- Floor elevations at the required Egress Door (1 required) (CRC 011.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for inswing or sliding doors. Non-egress doors (CRC 011.3.2) - landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for inswing, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC 011.3) - min. depth 36" min. width shall be not less than the width of the door served, landing may have a slope not to exceed 2% (1/4" vertical in 12' horizontal).
- Terraces and patios- slope at min. 1/8" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cdc 803.3.7.
- Fire separation wall (CRC 032.6)- provide 5/8 type "x" gyp. bd. over framing at walls and ceiling
- Garage Floor- Provide:
  - concrete slab & control joints per structural drawings
  - seal concrete with concrete sealer
  - slope toward garage doors for drainage (min. 2")
  - 4" curb at all walls for termite and water protection
  - protect finish slab during construction with protection board
- Boiler & holding water holding tank with recirculating pump
- Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances
- Skylight- see roof plan for size and detail location
- Crawlspace access through the floor shall be a minimum of 18"x24" (CRC 408.4)
- Attic space and access (CRC 407.1) attic opening shall be min. 22" x 30" with 30" min. head clearance and is required when an attic area exceeds 30' sq and has a vertical height of 30" or greater.
- Kitchen sink with garbage disposal- owner to select make and model
- Vegetable/bar sink- owner to select make & model
- Casework- 24" base cabinet with 14" upper cabinet, owner to select finish, countertop & layout.
- Casework- Island with drawers and cabinets below, owner to select finish, countertop and layout.
- Casework- full height linen cabinet with adjustable shelves
- Casework- slide out trash/recycle center
- Casework- custom pantry cabinets with adjustable shelves, owner to select finish and layout
- Deep laundry sink- owner to select make & model
- Casework- 24" base cabinet, owner to select finish, countertop and layout
- 24" dishwasher- low flow per standards- owner to select make & model
- Range top- 48" wide with drawers below, owner to select make & model
- Oven with convection microwave- 30" wide- owner to select make & model
- Refrigerator- 48" wide, provide recessed plumbing for ice maker- owner to select make & model
- Shower- provide:
  - 24" wide minimum (outswing) tempered glass door, door optional
  - shampoo recess, soap shelf & seat per owner's specifications
  - impervious surface to 72" minimum above drain inlet
  - 2"x6" wall for thermostatic valve
  - Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. (CPC 408.6)
- Jacuzzi tub - owner to select make & model of tub, contractor to adjust tub deck height accordingly. For additional notes see jacuzzi notes under general building notes, provide 12" x 12" minimum access panel for jacuzzi tub, locate access door as close to tub pump as possible for inspection and maintenance.
- Toilet- 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Dry vanity- base cabinet, (with open area for stool and drawers), countertop, mirror per owner's specifications
- Washing machine- verify make and model with owner (provide plumbing connections recessed in wall)
- Clothes dryer- vent to exterior with 4" pipe, 14'-0" maximum horizontal run with (2) 90° bends maximum, minimum 3'-0" away from any opening into the building
- Fireplace- 60" masonry firebox, hearth and metalbestos flue, hearth extension shall be at least 20" in front of, and at least 12" beyond each side of, the fireplace opening, provide operable metal framed doors with tempered glass
- Fireplace- direct vent with metalbestos flue, owner to select model
- Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
- Electrical meter
- Gas meter

**Floor Plan Notes:**

- Refer to general building notes on A0.2 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A3.1

**WALL LEGEND**

---	DEMO WALLS
---	EXISTING WALLS
---	NEW 2x4 WALLS
---	NEW 2x6 WALLS
---	NEW 2x8 WALLS

- EXTERIOR WALLS: 2x STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL: 2x STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CRC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

PROJECT NAME:  
**BAILEY REMODEL AND ADDITION**  
 3257 17 MILE DRIVE  
 PEBBLE BEACH, CA.  
 93953  
 APN: 008-461-010-000  
 JOB NUMBER: 2007



**DRAWING RECORD**

DESCRIPTION	ISSUED
MO. CO. PLN. PRE-APP SUBMIT	9/14/2016
PS SUBMITTAL	4/18/2017
MO. CO. PLN. SUBMITTAL	4/20/2017
MO. CO. PLN. RESUBMIT #1	8/28/2017
MO. CO. PLAN CHECK SUBMIT	5/25/2018
MO. CO. PLN. RESUBMIT #2	4/02/2020

PRINT DATE: 4/2/2020

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SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.1**



**SHEET NOTES**

- Floor elevations at the required Egress Door (1 required) (CRC (311.3.1) landings or floors at the required egress door shall not be more than 1-1/2" lower than the top of the threshold for outswing doors and 7-3/4" for inswing or sliding doors. **Non-egress doors** (CRC (311.3.2) - landings or floors shall be not more than 7-3/4" lower than the top of the threshold for opening, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC (311.3) - min. depth 36" min. width shall be not less than the width of the door served, landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
- Terraces and patios- slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cdc 803.3.7.
- Fire separation wall (CRC (302.6)- provide 5/8 type "x" gyp. bd. over framing at walls and ceiling
- Garage Floor Provide:
  - concrete slab & control joints per structural drawings
  - seal concrete with concrete sealer
  - slope toward garage doors for drainage (min. 2")
  - 48" curbs at all walls for termite and water protection
  - protect finish slab during construction with protection board
- Boiler & holding water holding tank with recirculating pump
- Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances
- Skylight- see roof plan for size and detail location
- Crawlspace access through the floor shall be a minimum of 18"x24" (CRC 408.4)
- Attic space and access (IRC R607.1) attic opening shall be min. 22" x 30" with 30" min. head clearance and be required when an attic area exceeds 30' sq and has a vertical height of 30" or greater.
- Kitchen sink with garbage disposal- owner to select make and model
- Vegetable/bar sink- owner to select make & model
- Casework- 24" base cabinet with 14" upper cabinet, owner to select finish, countertop & layout.
- Casework- Island with drawers and cabinets below, owner to select finish, countertop and layout.
- Casework- full height linen cabinet with adjustable shelves
- Casework- slide out trash/recycle center
- Casework- custom pantry cabinets with adjustable shelves, owner to select finish and layout
- Deep laundry sink- owner to select make & model
- Casework- 24" base cabinet, owner to select finish, countertop and layout
- 24" dishwasher- low-flow per standards- owner to select make & model
- Range top- 48" wide with drawers below, owner to select make & model
- Oven with convection microwave- 30" wide- owner to select make & model
- Refrigerator- 48" wide, provide recessed plumbing for ice maker- owner to select make & model
- Shower- provide:
  - 24" wide minimum (outswing) tempered glass door, door optional
  - shampoo recess, soap shelf & seat per owner's specifications
  - impervious surfaces to 72" minimum above drain inlet
  - 2"x6" wall for thermostatic valve
  - Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. (IPC 408.6)
- Jacuzzi tub - owner to select make & model of tub, contractor to adjust tub deck height accordingly. For additional notes see jacuzzi notes under general building notes, provide 12" x 12" minimum access panel for jacuzzi tub, locate access door as close to tub pump as possible for inspection and maintenance.
- Toilet- 1.28 gallons per flush w.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Dry vanity- base cabinet, (with open area for stool and drawers), countertop, mirror per owner's specifications
- Washing machine- verify make and model with owner (provide plumbing connections recessed in wall)
- Clothes dryer- vent to exterior with 4" pipe, 14'-0" maximum horizontal run with (2) 90° bends maximum, minimum 3'-0" away from any opening into the building.
- Fireplace- 60" masonry firebox, hearth and metalbestos flue, hearth extension shall be at least 20" in front of, and at least 12" beyond each side of, the fireplace opening, provide operable metal framed doors with tempered glass
- Fireplace- direct vent with metalbestos flue, owner to select model
- Provide a shelf and closet pole system at all wardrobe closets, owner to specify locations for double pole and/or additional shelving/drawer systems
- Electrical meter
- Gas meter

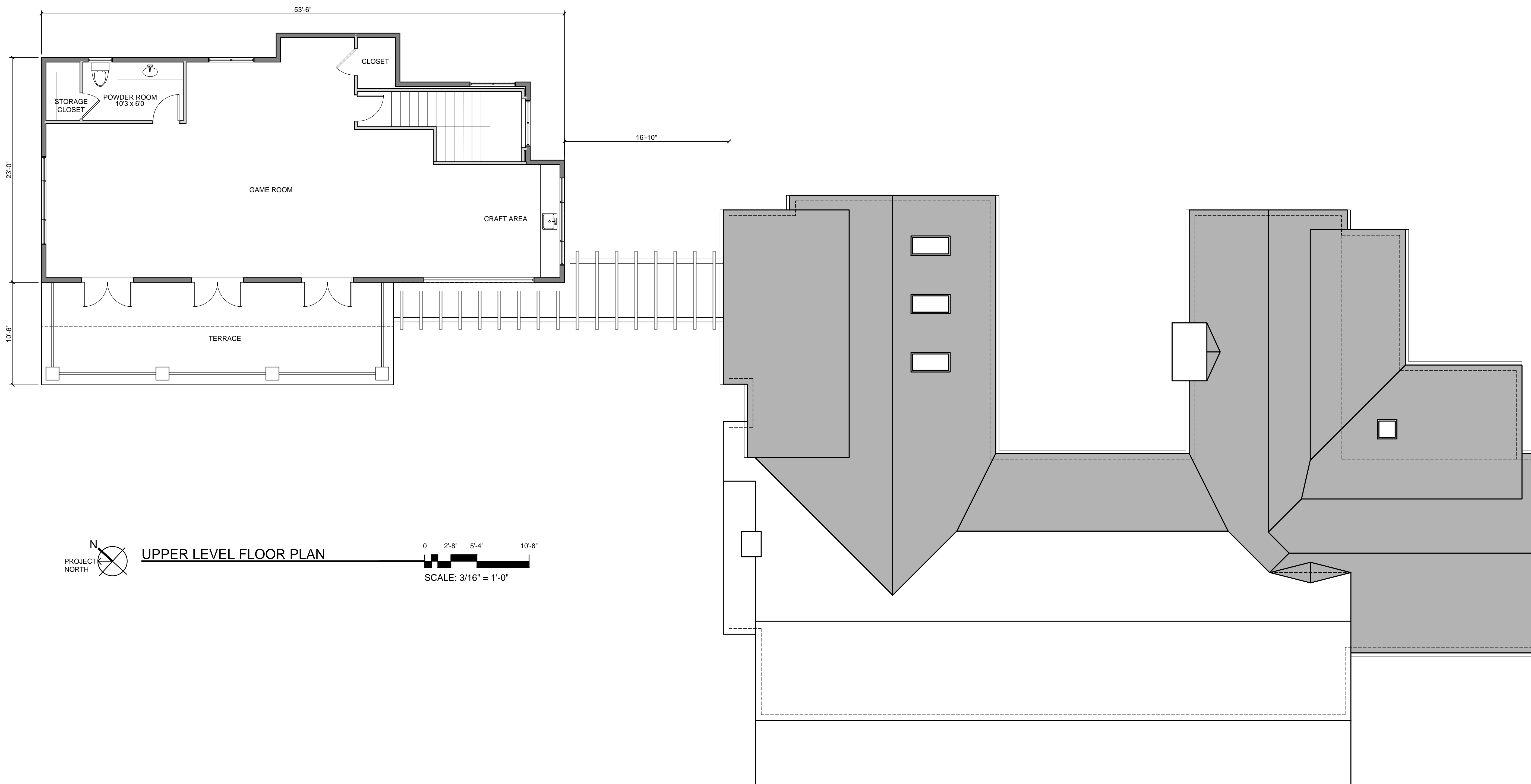
**Floor Plan Notes:**

- Refer to general building notes on A0.2 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A3.1

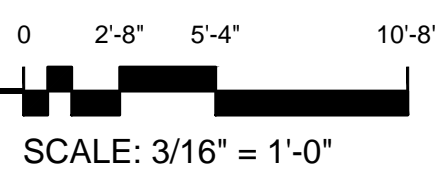
**WALL LEGEND**

- DEMO WALLS
- EXISTING WALLS
- ===== NEW 2x4 WALLS
- ===== NEW 2x6 WALLS
- ===== NEW 2x8 WALLS

- EXTERIOR WALLS: 2x STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL: 2x STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.



**UPPER LEVEL FLOOR PLAN**



PROJECT NAME:

**BAILEY REMODEL AND ADDITION**

3257 17 MILE DRIVE  
PEBBLE BEACH, CA.  
93953

APN: 008-461-010-000  
JOB NUMBER: 2007



**MOORE DESIGN Inc.**  
RESIDENTIAL PLANNING &  
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225 CANNERY ROW, SUITE 1  
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831.642.9732 FAX 831.401.3292  
john@mooredesign.org

**DRAWING RECORD**

DESCRIPTION	ISSUED
MO. CO. PLN. PRE-APP SUBMIT	9/14/2016
PRE SUBMITTAL	4/18/2017
MO. CO. PLN. SUBMITTAL	4/20/2017
MO. CO. PLN. RESUBMIT #1	8/28/2017
MO. CO. PLAN CHECK SUBMIT	5/25/2018
MO. CO. PLN. RESUBMIT #2	4/02/2020

PRINT DATE: 4/2/2020

**MEMBER**



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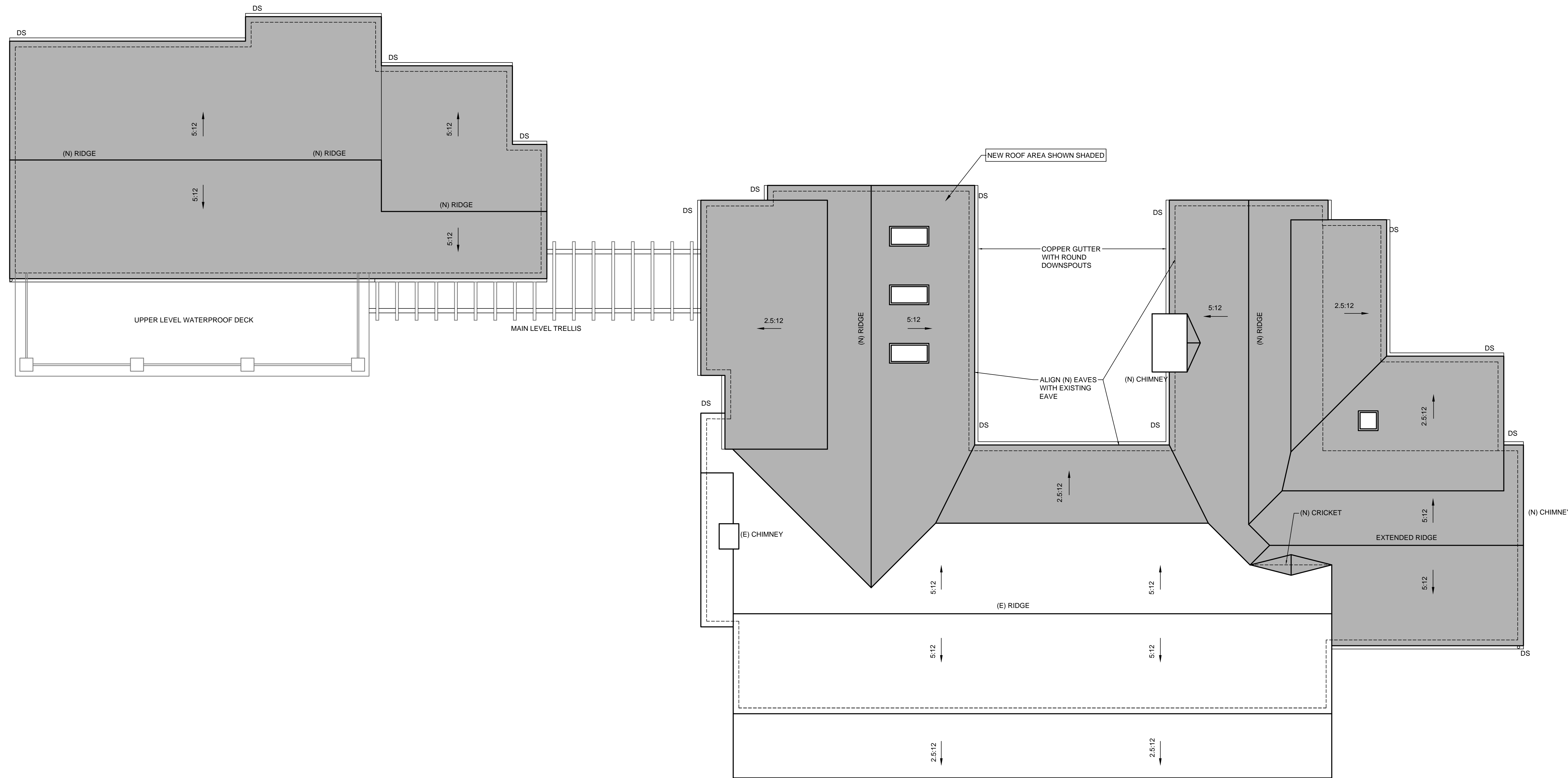
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SHEET TITLE:

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SHEET NUMBER:

**A2.2**



**ROOF PLAN**  
 1/8" = 1'-0"  
 SCALE: 3/16" = 1'-0"

PROJECT NAME:  
**BAILEY REMODEL AND ADDITION**  
 3257 17 MILE DRIVE  
 PEBBLE BEACH, CA.  
 93953  
 APN: 008-461-010-000  
 JOB NUMBER: 2007

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SHEET TITLE:  
**ROOF PLAN**  
 SHEET NUMBER:  
**A2.3**

**DRAWING RECORD**

DESCRIPTION	ISSUED
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PS SUBMITTAL	4/18/2017
MO. CO. PLN. SUBMITTAL	4/20/2017
MO. CO. PLN. RESUBMIT #1	8/28/2017
MO. CO. PLN. CHECK SUBMIT	5/25/2018
MO. CO. PLN. RESUBMIT #2	4/02/2020

PRINT DATE: 4/2/2020

**MEMBER**

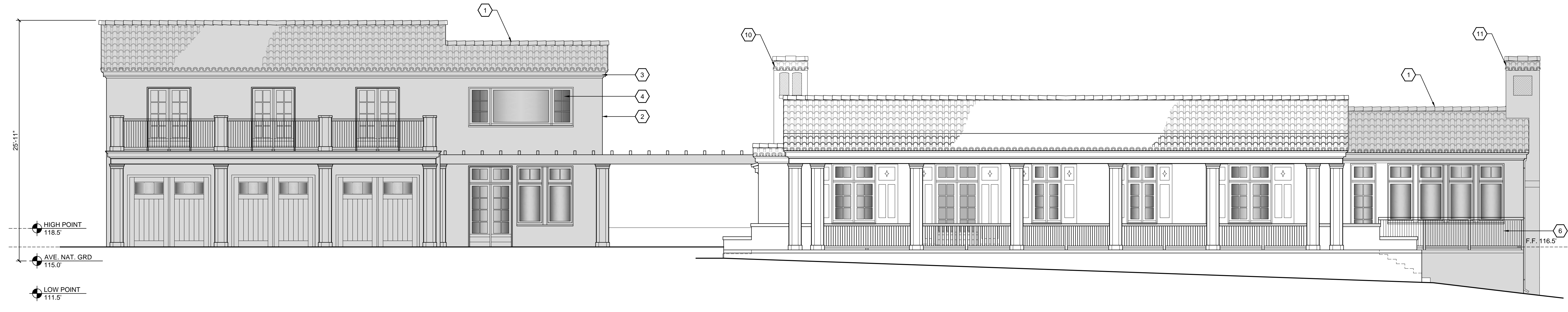
**A | B | D**

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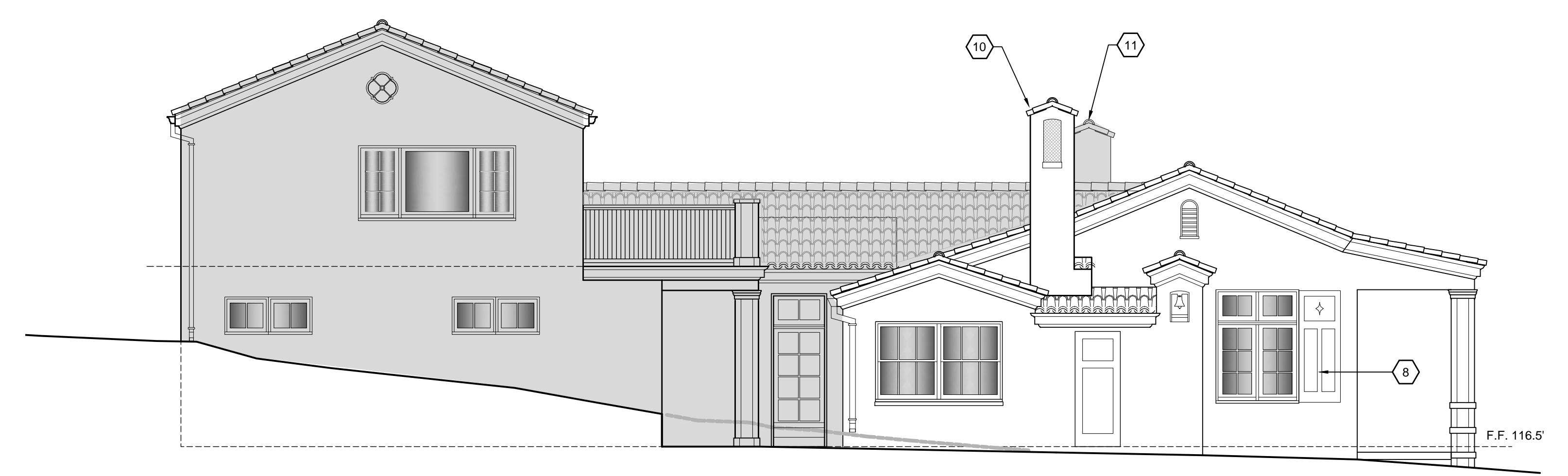


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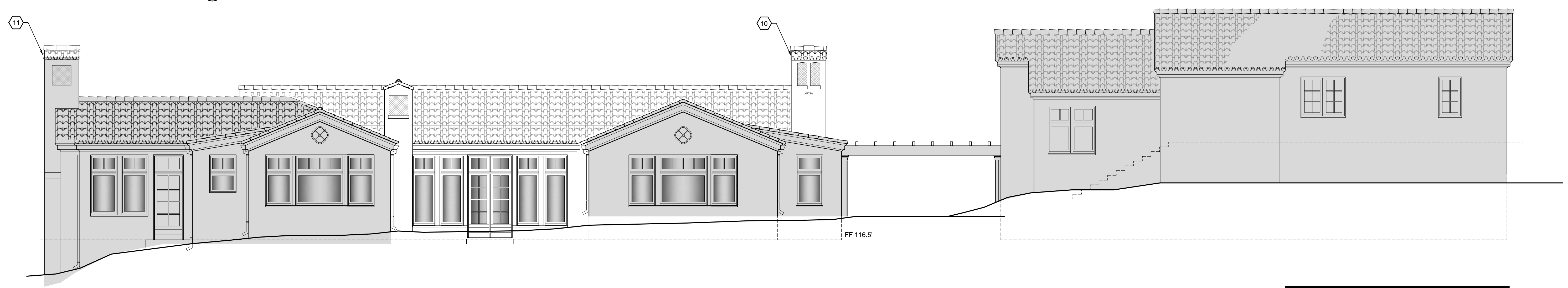
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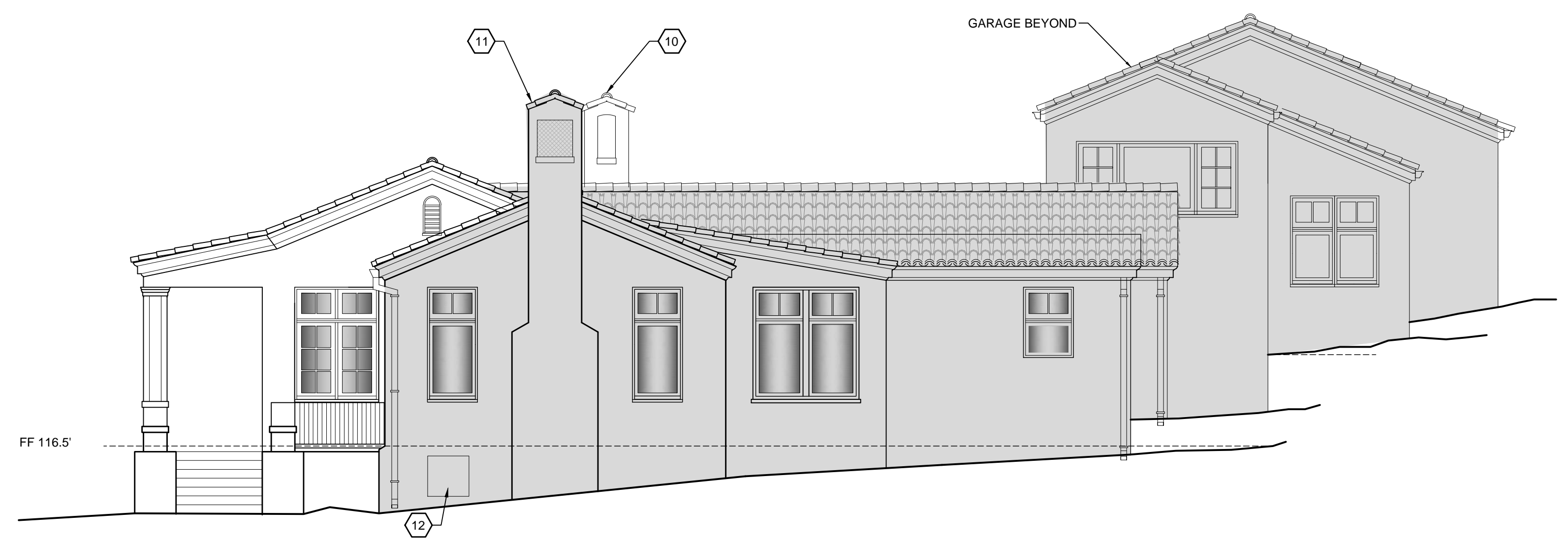
**1 WEST ELEVATION**  
 3/16" = 1'-0"



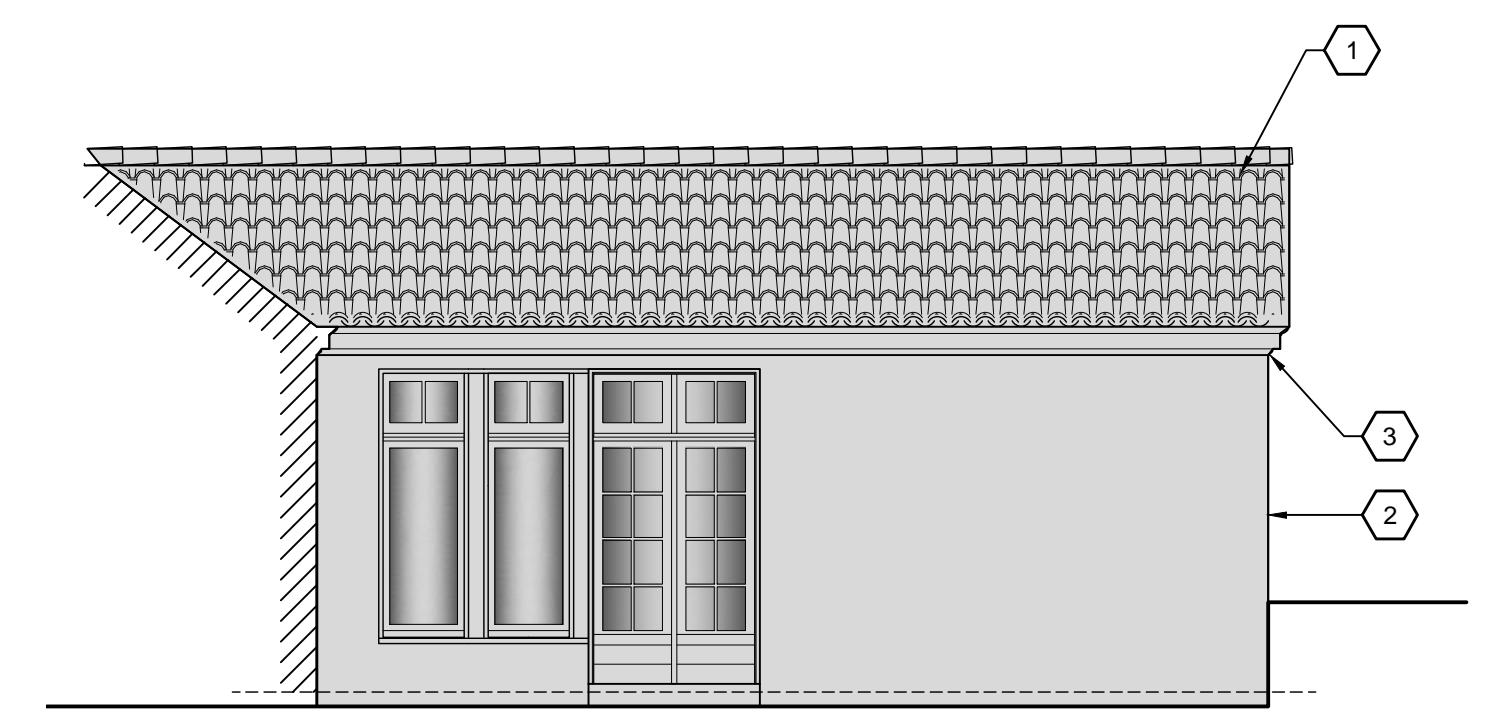
**2 NORTH ELEVATION**  
 3/16" = 1'-0"



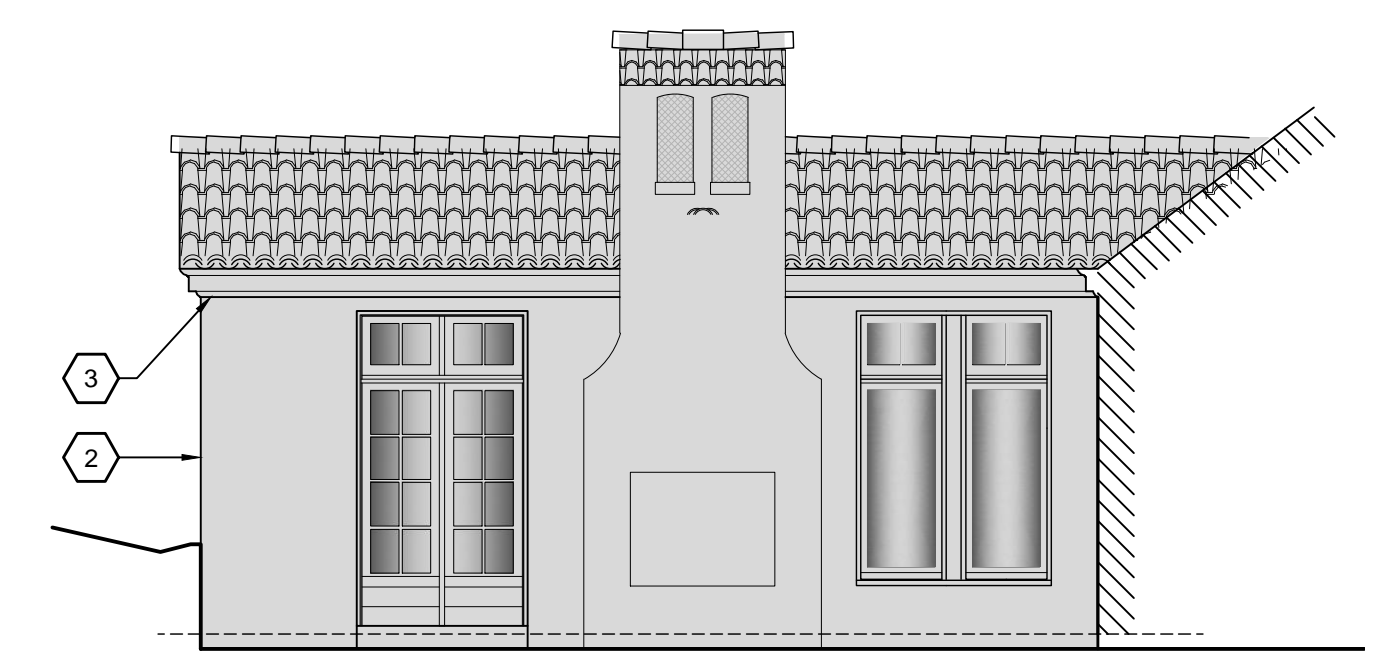
**3 EAST ELEVATION**  
 3/16" = 1'-0"



**4 SOUTH ELEVATION**  
 3/16" = 1'-0"



**5 COURTYARD NORTH ELEVATION**  
 3/16" = 1'-0"



**6 COURTYARD SOUTH ELEVATION**  
 3/16" = 1'-0"

**AREAS OF ADDITION OR  
 REBUILDING SHOWN SHADED**

**SHEET NOTES**

1. ROOF - 2-PIECE MISSION CLAY TILE (REDLANDS 2000 SERIES).
2. WALLS - PAINT (PRIMER & 2 COAT COLOR) OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE BLDG. PAPER.
3. EAVE DETAIL - PAINTED WOOD CORNICE MOULDING.
4. WINDOWS - PAINTED WOOD DOUBLE PANE WINDOWS.
5. GUTTERS - COPPER SQUARE GUTTERS WITH 3" SQUARE DOWNSPOUTS.
6. GUARDRAILS - POWDER COATED STAINLESS STEEL.
7. SKYLIGHT
8. PAINTED WOOD SHUTTER
9. PAINTED WOOD GARAGE DOORS
10. EXISTING CHIMNEY
11. NEW CHIMNEY
12. CRAWLSPACE ACCESS

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