

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, September 17, 2025

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on September 17, 2025 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, September 16, 2025. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaría asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDED MATTERS**1. PLN250135 - CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY)**

Administrative hearing to consider a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation.

Project Location: 407 Old Stage Road, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)

[Exhibit A - Draft Resolution](#)

[Exhibit B - Vicinity Map](#)

[Exhibit C - Extension Letter, dated February 13, 2025](#)

[Exhibit D - Planning Commission Resolution No. 83-279, dated August](#)

[Exhibit E - Proof of Mining Yield, dated June 12, 2025](#)

[Exhibit F - Notice of Appeal, dated September 2, 1983](#)

[Exhibit G - BOS Reso for Appeal 920](#)

[Exhibit H - Board of Supervisors Resolution, dated October 11, 1983](#)

2. PLN250150 - ZHANG YU & XIHUA LUO TRS

Administrative hearing to consider the construction of a 5,997 square foot single-family dwelling, attached 610 square foot garage, and a 1,172 square foot accessory dwelling unit; and removal of 104 Monterey Pine and 1 Live Coast Oak.

Project Location: 1461 Lisbon Ct, Pebble Beach, Del Monte Forest Land Use Plan.

Proposed CEQA action: Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan, and find the project consistent with the FEIR, which does not warrant an addendum pursuant to CEQA Guidelines section 15162.

Attachments: [Staff Report](#)

[Exhibit A - Draft Resolution](#)

[Exhibit B - Vicinity Map](#)

3. PLN240278 - HARTLEY CAITLIN

Administrative hearing to consider demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single family dwelling with attached 626 square foot garage and associated site improvements.

Project Location: 308 Calle De Los Agrinemsors, Carmel Valley, 93924

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to

CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

Attachments: [Staff Report](#)

[Exhibit A - Draft Resolution](#)

[Exhibit B - Vicinity Map](#)

4. PLN250193 - CLARK COLONY WATER CO AND KIRK ANGELA J & KIRK CAMERON TRS ET AL

Public hearing to allow a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel 1), and a 47.40 acre parcel (Adjusted Parcel 2).

Project Location: Located near Arroyo Seco Road, Greenfield

Proposed CEQA action: Find the project categorically exempt from CEQA pursuant to CEQA Guidelines section 15305, and there are no exceptions pursuant to Section 15300.2

Attachments: [Staff Report](#)

[Exhibit A - Draft Resolution](#)

[Exhibit B - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Legistar File Number: AP 25-047

September 17, 2025

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Introduced: 9/5/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250135 - CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY)

Administrative hearing to consider a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation.

Project Location: 407 Old Stage Road, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation [CA Mine ID #91-27-0005].

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 1 condition of approval.

PROJECT INFORMATION

Agent: Riley Gustafson

Property Owner: Chemical Lime Company of Arizona

APNs: 211-023-001-000, 211-023-003-000, 211-031-016-000 and 211-031-019-000

Zoning: Split-zoned High Industrial and Farmland 40-acre minimum or “HI” and “F/40”

Plan Area: Greater Salinas Area Plan

Planner: Kayla Nelson, Associate Planner
nelsonk@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a fifty-year Permit Extension to a previously approved Use Permit (proposed term to expire on August 10, 2083), subject to the findings and evidence in the attached Resolution (see Exhibit A). Please read the resolution carefully and contact the planner if you have any questions. The applicant will be required to satisfy all permit conditions of PC04745 prior to the issuance of a building/grading permit and/or commencement of the approved use.

On September 17, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the County of Monterey Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

Prepared by: Kayla Nelson, Associate Planner, x6408

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Condition of Approval

Exhibit B - Vicinity Map

Exhibit C - Extension Letter, dated February 13, 2025

Exhibit D - Planning Commission Resolution No. 83-279, dated August 10, 1983

Exhibit E - Proof of Mining Yield, dated June 12, 2025

Exhibit F - Notice of Appeal, dated September 2, 1983

Exhibit G - Board of Supervisors Resolution for Appeal, dated September 20, 1983

Exhibit H - Board of Supervisors Resolution, dated October 11, 1983

cc: Front Counter Copy; North County Fire Protection District; Monterey County Regional HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Kayla Nelson, Planner; Fionna Jensen, Principal Planner; Chemical Lime Company of Arizona, Property Owner; Riley Gustafson, Agent; Kartikeya Parkeh, Interested Party; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250135



County of Monterey

Item No.1

Administrative Permit

Legistar File Number: AP 25-047

September 17, 2025

Introduced: 9/5/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250135 - CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY)

Administrative hearing to consider a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation.

Project Location: 407 Old Stage Road, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation [CA Mine ID #91-27-0005].

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 1 condition of approval.

PROJECT INFORMATION

Agent: Riley Gustafson

Property Owner: Chemical Lime Company of Arizona

APNs: 211-023-001-000, 211-023-003-000, 211-031-016-000 and 211-031-019-000

Zoning: Split-zoned High Industrial and Farmland 40-acre minimum or “HI” and “F/40”

Plan Area: Greater Salinas Area Plan

Planner: Kayla Nelson, Associate Planner
nelsonk@countyofmonterey.gov

SUMMARY

Staff is recommending approval of a fifty-year Permit Extension to a previously approved Use Permit (proposed term to expire on August 10, 2083), subject to the findings and evidence in the attached Resolution (see Exhibit A). Please read the resolution carefully and contact the planner if you have any questions. The applicant will be required to satisfy all permit conditions of PC04745 prior to the issuance of a building/grading permit and/or commencement of the approved use.

On September 17, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the County of Monterey Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

Prepared by: Kayla Nelson, Associate Planner, x6408

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Condition of Approval

Exhibit B - Vicinity Map

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cc: Front Counter Copy; North County Fire Protection District; Monterey County Regional HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Kayla Nelson, Planner; Fionna Jensen, Principal Planner; Chemical Lime Company of Arizona, Property Owner; Riley Gustafson, Agent; Kartikeya Parkeh, Interested Party; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250135

Exhibit A

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DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY) (PLN250135)

RESOLUTION NO. 25-043

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation [CA Mine ID #91-27-0005].

[PLN250135 Chemical Lime Company of Arizona, 407 Old Stage Rd, Salinas, CA 93908, Greater Salinas Area Plan (Assessor's Parcel Numbers 211-023-003-000, 211-031-016-000 & 211-031-019-000)]

The CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY) application (PLN250135) came on for an administrative hearing before the County of Monterey Chief of Planning on September 17, 2025. Having considered all the written and documentary evidence, the Chief of Planning finds and decides as follows:

RECITALS

WHEREAS, on August 10, 1983, a Use Permit (HCD-Planning File No. PC04745) was approved by the County of Monterey Planning Commission through Resolution No. 83-279. The approved Use Permit allowed for an expanded mining operation consisting of a processing plant for aggregate [CA Mine ID #91-27-0005]. In accordance with that resolution, the entitlement was set to expire on August 10, 2033;

WHEREAS, on September 2, 1983, an appeal was filed by neighboring properties claiming that they were not properly notified of the public hearing held by the Planning Commission on August 10, 1983. The reason for the appeal regarded the broadly written language of the conditions of approval. On September 20, 1983, the Board of Supervisors voted to set a hearing date to hear the appeal on October 11, 1983;

WHEREAS, on October 11, 1983, the Board of Supervisors voted to deny the appeal. The reason for the denial was that proper notice was given in the newspaper, the posting of the notice was on the project site, and notices were mailed to the neighbors on May 11, 1983. The County completed an Initial Study, which indicated that potentially significant impacts are mitigated by

implementation of the Reclamation Plan. All provisions of the Reclamation Plan were made conditions of approval for the Use Permit. Additionally, certain conditions were written broadly to account for mining timetables and market conditions. However, at the hearing, the Board voted to continue the hearing to October 18, 1983. At the continued hearing, the Board of Supervisors denied the appeal based on findings and evidence that the project was properly noticed to the public and impacts to the environment are addressed through the adopted Mitigated Negative Declaration;

WHEREAS, consistent with Title 21 section 21.74.110, the applicant submitted a written request for an additional fifty-year permit extension on February 13, 2025, more than thirty (30) days prior to the expiration date of the Use Permit. The written request for the extension was filed by the applicant's agent, Patrick Mitchell. The granting of this extension was requested due to the upcoming expiration date of the Use Permit, and the operation has not reached the maximum allowed yield that was approved in the Mitigated Negative Declaration. This fifty-year expiration will become effective on August 10, 2033, extending the term of the Use Permit to August 10, 2083;

WHEREAS, this extension does not change the previously approved Use Permit, and all findings previously made in the Planning Commission Resolution No. 83-279 continue to apply to this extension;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property;

WHEREAS, the conditions of approval contained in Resolution No. 83-279 continue to apply, except that this extension modifies the expiration date of the Use Permit from August 10, 2033 to August 10, 2083;

WHEREAS, the extension is Categorically Exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines section 15301, and none of the exceptions under Section 15300.2 apply. Section 15301 Categorically Exempts existing facilities involving negligible or no expansion of an existing or former use. This permit only extends the duration of the Use Permit (HCD-Planning File No. PC04745), without changing the mining operation's intensity or resulting in physical changes that would increase or change the mining operation's environmental impact. Therefore, this extension to the Use Permit is Categorically Exempt pursuant to section 15301 of the CEQA Guidelines; and

WHEREAS, pursuant to Title 21 section 21.80.040.A, the discretionary decisions of the Chief of Planning are appealable to the Planning Commission. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey Chief of Planning does hereby:

- 1) Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a fifty-year permit extension to a previously approved Use Permit (No. 2970; HCD-Planning File No. PC04745) that allowed the removal of natural materials, including an expanded mining and processing operation.

PASSED AND ADOPTED this 17th day of September 2025.

Melanie Beretti, AICP,
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250135

1. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A fifty-year permit extension to the expiration date of a previously approved (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Numbers 211-023-001-000, 211-023-003-000, 211-031-016-000 and 211-031-019-000 on September 17, 2025. The permit was granted subject to 1 condition of approval which runs with the land. A copy of the permit is on file with Monterey County HCD - Planning."

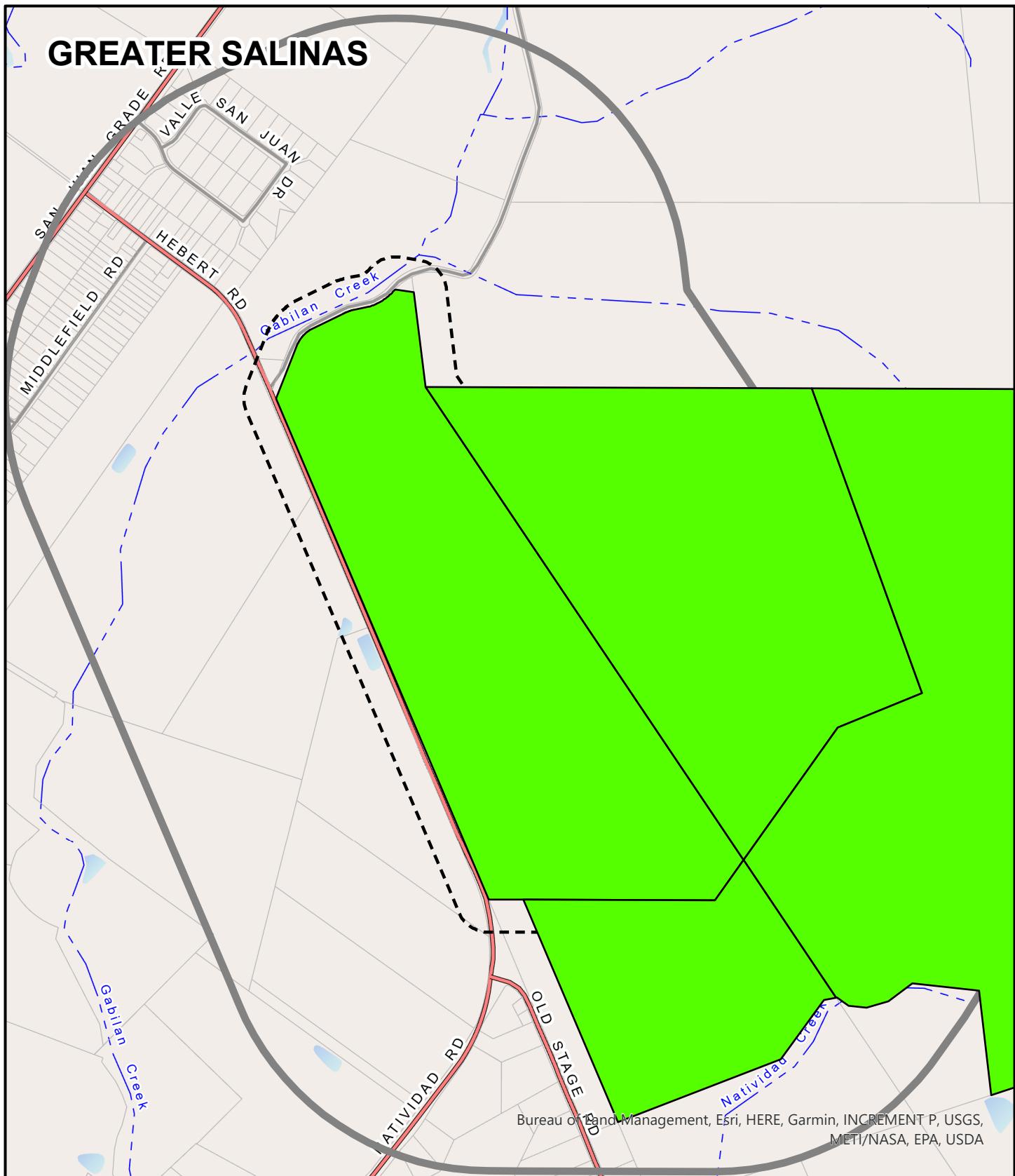
Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

Exhibit B

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GREATER SALINAS



APPLICANT: CHEMICAL LIME COMPANY OF ARIZONA (NATIVIDAD QUARRY)

APN: 211023001000, 211023003000, 2

FILE # PLN250135

Project Site

300 FT Buffer

2500 FT Buffer

N

0 600
Feet

Exhibit C

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Patrick G. Mitchell
pmitchell@mitchellchadwick.com
916-462-8887
916-788-0290 Fax

February 13, 2025

VIA EMAIL:

Riley Gustafson
Environmental Manager – Natividad, Western Region
Lhoist North America
11771 Old Stage Road
Salinas, California 93908
Email: riley.gustafson@lhoist.com

**Re: Fifty-Year Time Extension is Covered by the CEQA Existing Facilities Exemption
and is Not a Substantial Deviation under SMARA**

Dear Riley:

This letter is prepared for Lhoist North American Mining Company (“Lhoist”) regarding the Natividad Quarry, which operates under Conditional Use Permit No. 2970 (PC-4745) (the “CUP”) in Monterey County (“County”) with a 1982 Reclamation Plan (“RP”). Lhoist proposes to extend the Natividad CUP and RP until August 10, 2083 (an additional fifty years) (“Extension Project”).

The Natividad CUP will expire on August 10, 2033. The proposed application to Monterey County related to this letter proposes to extend operations for an additional fifty years. In approving the Natividad CUP, the County Planning Commission found that the CUP “conditions should be broadly written to allow operational flexibility with respect to mining time tables and marketing conditions,” and that Lhoist should initiate requests for modifications of the use permit conditions “[w]hen material . . . changes of operations . . . become necessary due to unforeseen events occurring during the life time of the . . . use permit (including . . . significant changes in market demand or significant changes in ratios of extraction).”¹ Lhoist seeks to confirm this right by submitting a CUP and RP extension application. All other aspects of existing operations will remain the same during the extension period.

This letter is in preparation to provide the County with support from Lhoist that the Extension Project falls within the California Environmental Quality Act (“CEQA”) Guidelines, Section 15301 Existing Facilities categorical exemption. This letter also supplies recent examples where other California counties approved extensions of existing mines using the Existing Facilities CEQA Exemption, under Section 15301. Further, this letter provides support that the Extension

¹ August 10, 1983, County Planning Commission Resolution No. 83-279 for Use Permit No. 2970 (APNs 211-031-016 and 211-031-019), Section 3 of the Findings of Fact.

Project would not result in a substantial deviation under SMARA regulations 14 CCR 3502(d) nor County Code Section 16.04.110.

I. The Proposed Extension Request is CEQA Exempt.

A. The Proposed Time Extension is Exempt Under CEQA Per The 14 CCR 15301 Existing Facilities Exemption.

The County can rely on the Class 1 Existing Facilities categorical exemption, which covers:

[O]peration, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.²

Several courts have upheld the use of the Class 1 Existing Facilities categorical exemption for time extensions of existing approvals.³

The Class 1 Existing Facilities categorical exemption applies here because extending the Natividad CUP does not expand an existing use. Instead, the same operations would continue for another fifty years and the same environmental impacts would occur as compared to the CEQA baseline.⁴ Accordingly, the County can rely on the Class 1 Existing Facilities exemption to comply with CEQA for the Extension Project.

B. Applicable Case Law Applying the 15301 Existing Facilities Exemption.

In *North Coast Rivers Alliance v. Westlands Water Dist.* (2014) 227 Cal.App.4th 832 (“*Rivers Alliance*”) the Court held that “once a correct environmental baseline is applied to assess the project’s impacts, it is clear that petitioners have failed to meet the requirement of showing a reasonable possibility of a *significant effect* on the environment.”⁵ The Court reasoned that the “baseline principle means that a proposal to continue existing operations without change would generally have no cognizable impact under CEQA.”⁶

The baseline under CEQA consists of existing conditions on the ground, which includes existing operations.⁷ Consequently, “a proposal to continue **existing operations without change would generally have no cognizable impact under CEQA.**”⁸ The California Appellate Court

² 14 CCR § 15301 (Emphasis added).

³ See, e.g., *World Business Academy v. California State Lands Commission* (2018) 24 Cal.App.5th 476, 493-97 (use of Class 1 categorical exemption for 7-year extension of lease); *North Coast Rivers Alliance, supra*, 227 Cal.App.4th at 868 (use of Class 1 categorical exemption for 2-year extension of contract).

⁴ “Where a project involves ongoing operations or a continuation of past activity, the established levels of a particular use and the physical impacts thereof are considered to be part of the existing environmental baseline.” (*North Coast Rivers Alliance v. Westlands Water Dist.* (2014) 227 Cal.App.4th 832, 872 (citations omitted).)

⁵ *Id.* at p. 871.

⁶ *Id.* at p. 872-873.

⁷ “Where a project involves ongoing operations or a continuation of past activity, the established levels of a particular use and the physical impacts thereof are considered to be part of the existing environmental baseline.” (*North Coast Rivers Alliance v. Westlands Water Dist.* (2014) 227 Cal.App.4th 832, 872 (citations omitted).)

⁸ *Id.* at p. 872-873.

explained that “thousands of permits are renewed each year for the ongoing operation of regulated facilities, and we discern no legislative or regulatory directive to make each such renewal an occasion to examine past CEQA compliance. . . .”⁹ Under this CEQA concept, the County is not required to conduct any further environmental review when extending the CUP for Lhoist’s existing operations. Extending the Natividad CUP will not result in any changes to the existing environment because the existing operations would not change.

Likewise, in *World Business Academy v. California State Lands Commission* (2018) 24 Cal.App.5th 476 (2018) (“*World Business*”), the Court held that the record supported the application of CEQA Exemption, Section 15301, existing facilities to the replacement lease, where the owner and operator of the nuclear power plant had leased land from the State Lands Commission for 50 years. The Court held that the Objectors were improperly relying on the “plant’s current impact on the environment rather than potential future effects due to the lease replacement.”¹⁰ The Court reasoned that the preexisting effects are part of the baseline, for which the Objectors failed to point “to any substantial evidence indicating that they will become worse due to the lease replacement.”¹¹

The *World Business* Court held “that existing facilities do not create substantial, adverse changes in their surrounding environments.”¹² In determining whether the Existing Facilities Exemption applies, “[t]he key consideration is whether the project involves negligible or no expansion of an existing use.”¹³ In addition, “The existing facilities exemption does not include a time limit.”¹⁴

C. Examples of California counties application of CEQA Exemption, Section 15301, Existing Facilities to extend the life of existing mine permits.

1. On February 10, 2022, Lake County issued a Notice of Exemption, under Section 15301, for a 20-year extension of a Use Permit (which was valid April 17, 2001 to April 17, 2021, a 100%-time extension),¹⁵ to allow continued operation of a quarry, including crushing, sorting, and a concrete batch plant.¹⁶
2. On November 10, 2021, San Joaquin County issued a Notice of Exemption, under Section 15301, which extended the life of a quarry permit for an additional 15 years (original CUP was from April 17, 2003, to December 31, 2029, an

⁹ *Bloom v. McGurk* (1994) 26 Cal.App.4th 1307, 1315.

¹⁰ *Ibid.*

¹¹ *Ibid.* (Emphasis added).

¹² *Ibid.*

¹³ *Ibid.*

¹⁴ *Id.* at p. 502.

¹⁵ December 15, 2022, Lake County Staff Report:

<https://countyoflake.legistar.com/View.ashx?M=F&ID=11517070&GUID=D9C84D13-9832-47AC-9F8E-293180D6E994>

¹⁶ See Notice of Exemption, available at: https://files.ceqanet opr.ca.gov/276158-1/attachment/EjYeeMJUqtJnlzK_oO_bf5t-n7flpVY7fbS8koCopK0p3Pu8NZ9lhoJEh6mqex4XwBY8cvvn_ChxorM0 (posted by the State Clearinghouse on February 23, 2022); see also State Clearinghouse CEQA project portal, available at: <https://ceqanet opr.ca.gov/2022020518>.

approximate 58%-time extension).¹⁷ The mine operator sought to extend the life of the quarry permit “Due to the current economic market conditions the applicant is requesting to extend the life of both Quarry Excavation permits.”¹⁸

3. On June 24, 2010, Placer County approved a Notice of Exemption, under Section 15301, for an extension of the operational life of a gravel pit for 10 years to complete the mining of gravel and decomposed granite deposits and to complete mine reclamation.¹⁹ The County reasoned that the project was exempt because the continued operation of the mine in accordance with the approved Reclamation Plan would not result in new or significant impacts.
4. On July 20, 2009, Sacramento County approved a Notice of Exemption, under Section 15301, which extended the Use Permit by 12 years (original Use Permit was from March 5, 1997 to March 5, 2009, a 100%-time extension).²⁰

Lhoist respectfully requests that the County grant the requested Extension Project, since (1) the above county examples approved a CEQA Exemption for time extensions (ranging from 58% to 100%), and (2) there will be no change to the existing environment.

II. The Extension Project is Not a Substantial Deviation Under SMARA or the County Code.

The Surface and Mining Reclamation Act (“SMARA”) defines a “substantial deviation” “as a change or expansion to a surface mining operation that substantially affects the completion of the previously approved reclamation plan, or that changes the end use of the approved plan to the extent that the scope of the reclamation required for the surface mining operation is substantially changed.”²¹ Monterey County Code Section 16.04.110 defines “substantial deviation” as “increases in size, depth, production, and/or end use; as determined by the Director of the Planning and Building Inspection Department.”²² In our view, neither of these have been triggered by the proposed Extension Project.

Under the SMARA regulations, the following six factors are considered in determining whether a change or expansion by an operator constitutes a “substantial deviation.”²³ Each factor is discussed below with respect to the proposed Extension Project.

¹⁷ See Notice of Exemption, available at: https://files.ceqanet opr.ca.gov/274113-1/attachment/m-qRJjaNaYE41LwmIiWAPxQ-7V_6L568L1_So_ERQFSixTxZB7G3eHOX7ij8kvRZVowwls-8G2xL1PjX0; see also State Clearinghouse CEQA project portal, available at: <https://ceqanet opr.ca.gov/2021110187>; see also October 21, 2021, San Joaquin County Planning Commission Staff Report, p. 5: <https://www.sjgov.org/commdev/cgi-bin/cdyn.exe/file/Planning/PC/Past%20Meetings/Agenda%20Packet/2021/2021-10-21.pdf>.

¹⁸ October 21, 2021; San Joaquin County Planning Commission Staff Report, p. 5: <https://www.sjgov.org/commdev/cgi-bin/cdyn.exe/file/Planning/PC/Past%20Meetings/Agenda%20Packet/2021/2021-10-21.pdf>

¹⁹ See State Clearinghouse CEQA document portal, available at: <https://ceqanet opr.ca.gov/2010068266>.

²⁰ See Notice of Exemption, available at: <https://ceqanet opr.ca.gov/2009078127>

²¹ California Code of Regulations, Title 14, section 3502(d).

²² County Code Section 16.04.110

²³ See 14 CCR 3502, subd. (d).

1. No substantial increase in the disturbance of the surface area of mining.²⁴

The proposed Extension Project will not include any increase of the surface area disturbed by mining; thus, there is no substantial deviation under this factor.

2. No substantial increase in the maximum depth of mining.²⁵

The proposed Extension Project will not increase the maximum depth of mining; thus, there is no substantial deviation regarding the mining depth.

3. No substantial extension of the termination date of the mining operation as set out in the approved reclamation plan.²⁶

The RP includes the end of the reclamation as Phase 11, which is to end by 2030.²⁷ Thus, the 50-year Extension Project would extend the RP to 2080. In approving the subject RP, the Monterey County Planning Commission found that modifications were likely to occur upon “significant changes in market demand or significant changes in ratios of extraction,”²⁸ which Lhoist is now seeking to do.

Monterey County Code Section 16.04.110, regarding substantial deviation does not include the substantial extension of the termination date of the mining operation factor as one of its factors in determining whether there is a substantial deviation.²⁹

The following are examples of four different counties’ analysis of SMARA 14 CCR Section 3502(d)(2)’s time extension factor:

- a. *Alameda County found that while the time extension of mining operations constituted a substantial extension, the project as a whole did not constitute a substantial deviation:*

In 2010, an applicant who had been mining for 46 years in Alameda County sought a 20-year permit extension beyond the termination date outlined in their 1990 reclamation plan.³⁰ While the County determined that the 20-year extension, a 44% increase in time, constituted a substantial extension under Section 3502(d)(2), the County still approved the application, finding that the only substantive change was the extension of time for mining and reclamation activities; thus, the application therefore, did not constitute a substantial deviation because the extension

²⁴ 14 CCR 3502, subd. (d)(1).

²⁵ 14 CCR 3502, subd. (d)(1).

²⁶ 14 CCR 3502; subd. (d)(2).

²⁷ 1982 RP at p. 46.

²⁸ August 10, 1983, County Planning Commission Resolution No. 83-279 for Use Permit No. 2970 (APNs 211-031-016 and 211-031-019), Section 3 of the Findings of Fact.

²⁹ On January 17, 2025, via a call between Austin Turner at Mitchell Chadwick and Hya Honorato, Assistant Planner from the Planning Department, she explained that she would research the County’s stance on substantial deviation further. However, Hya did state that the County would usually rely on its Municipal Code when determining whether a proposed project constitutes a substantial deviation, and since the time extension factor is not in the County Code that it is less likely that the County would give much weight to this time factor.

³⁰ See Alameda County Planning Department Staff Report, p. 2:

[https://www.acgov.org/cda/meetings/documents/SMP-28\(SheridanQuarry\)StaffReport.pdf](https://www.acgov.org/cda/meetings/documents/SMP-28(SheridanQuarry)StaffReport.pdf)

would not interfere with the existing reclamation plan's end goal of reclaiming the site back to agricultural land use.

b. San Luis Obispo County found that a 20-year extension for a mining operation to a previously approved permit for a 21-year mining operation was not a substantial deviation:

On October 10, 2013, San Luis Obispo County reviewed an applicant's request to extend mining operations by 20 years (a 95%-time increase), through a modification to the approved reclamation plan.³¹ In applying 14 CCR Section 3502(d), the County found that the project did not represent a substantial deviation from the approved Reclamation Plan, and that the project was consistent with the previously adopted CEQA Mitigated Negative Declaration.³²

c. Siskiyou County found that an eight-year extension was not a substantial deviation from the existing reclamation plan:

On December 16, 2020, Siskiyou County approved an 8 year extension to a Reclamation Plan for the pit from December 31, 2020 (approved on February 6, 2008), to December 31, 2028 (an approximate 67%-time increase).³³ In determining whether this extension constituted a substantial deviation, the County analyzed the six factors under 14 CCR Section 3502(d), finding that the Reclamation Plan extension was not a substantial deviation from the originally approved Reclamation Plan for the following reasons:

- (1) The requested amendment is to extend the expiration date of the Reclamation Plan and would not substantially increase the disturbance of surface area or maximum depth.
- (2) While the amendment is requesting to extend the termination date of mining operations eight years, mining operations have been limited in their operations and harvested significantly less than originally anticipated for the Little Lynn Pit operations. It should be noted that SMARA does not provide quantitative standards that outline a substantial extension of the termination date and leaves this discretion to local governments. In addition, it is known that economic factors dictate quarry operations and quantities of harvested materials. Generally, Reclamation Plans are required to include an approximate end date of mining operations, and due to economic factors, Reclamations Plans are commonly amended to extend the end date of mining operations. Due to this, staff finds the requested extension of eight years for the Reclamation Plan expiration to be a non-substantial deviation.³⁴

³¹ See County of San Luis Obispo Planning Commission Staff Report, p. 3 and 17: https://slocounty.granicus.com/MetaViewer.php?view_id=50&clip_id=1619&meta_id=271551; [Mine site was originally approved in 1992, which was set to expire in 2013, which is why applicant sought to extend its' mining activity by 20 years to 2033.]

³² *Id.* at p. 3-4.

³³ Siskiyou County Planning Commission Staff Report and Resolution PC 2020-030 at p. 2 (Dec. 16, 2020).

³⁴ *Id.* at p. 4-5.

d. Shasta County found a project substantially deviated from the reclamation plan:

On October 13, 2022, the Shasta County Planning Commission determined that an 84-year extension (original Reclamation Plan was for 20 years, from 1993-2013), thus a requested 420% time increase and an expansion of the reclamation boundary, constituted a substantial deviation.³⁵ Shasta County found that “the proposed expansion of the reclamation boundary and extension of the estimated date of reclamation constituted a substantial deviation from the approved reclamation plan pursuant to SMARA Regulations.³⁶

These counties which found no substantial deviation under SMARA for time extensions ranging from 44% to 95% of the original Use Permit/Reclamation Plan term are instructive here, and support that Lhoist’s request for a 50-year extension is not a substantial deviation under SMARA. Likewise, as provided above in Section I.C., the counties found time extensions ranging from 58% to 100% were CEQA Exempt under the CEQA Guidelines Section 15301 Class 1 Existing Facilities Exemption.

Therefore, the Extension Project would not be a substantial extension of the termination date of the mining operation. Furthermore, “time” or the “substantial extension of the termination date” are not included in the County Code definition of “substantial deviation.”³⁷

4. No changes that would substantially affect the approved end use of the site as established in the reclamation plan.³⁸

The RP states that “By the end of the quarry operation, all of the approximately 700 acres disturbed by excavation of raw material and deposit of by-product will have been returned to a condition similar to the surrounding hills, with no evidence of the operation remaining.”³⁹ The proposed Time Extension Project will not change the end use of the RP; thus, this factor does not support a finding of substantial deviation.

5. The consistency of any proposed change to the operation with the previously adopted environmental determinations.⁴⁰

The Extension Project is consistent with the previously adopted environmental determination (MND) because there are no proposed changes to the operation. Thus, there is no substantial deviation under this factor.

6. Any other changes that the lead agency deems substantial deviations as defined in this subsection.⁴¹

The Extension Project will not substantially change the production, completion, or end use of the RP; thus, the County should not find a substantial deviation under this factor.

³⁵ Shasta County Resolution No. 2022-034, p. 1.

³⁶ *Id.*

³⁷ County Code Section 16.04.110

³⁸ 14 CCR 3502, subd. (d)(3).

³⁹ 1982 RP at p. 1.

⁴⁰ 14 CCR 3502, subd. (d)(4).

⁴¹ *Id.*, subd. (d)(4).

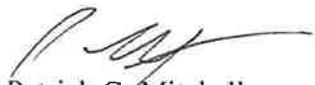
February 13, 2025
Page 8

For the above reasons, the proposed 50-year Extension Project would not cause a substantial deviation from the RP.

This letter is in support of the request that the County grant the Extension Project. If you have any questions or would like to discuss these issues further, please feel free to contact me.

Sincerely yours,

MITCHELL CHADWICK LLP



Patrick G. Mitchell

Cc: John Hewson (Lhoist)
Kart Parekh (Lhoist)
Austin Turner (MC)

Exhibit D

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PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA

RESOLUTION NO. 83-279

USE PERMIT NO. 2970

A.P. # 211-031-16 and 19

In the matter of the application of

KAISER REFRactories (PC-4745)

for a Use Permit in accordance with Title 20 (Zoning) Chapter 20.96 (Use Permits) of the Monterey County Code, to allow removal of natural materials, located on Parcel B and portion of Lot 3 of Sub A of Lot 28, Assessor's Map of Natividad Rancho, Natividad area, fronting on and northerly of Old Stage Road, and

came on regularly for hearing before the Planning Commission on August 10, 1983

Said Planning Commission, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. That the establishment, maintenance, or operation of the use or building applied for will not under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
2. Kaiser Refractories or predecessor corporations have continuously mined dolomite at the Natividad Quarry site since circa 1900. Kaiser Refractories currently operate under use permits issued by the County of Monterey and now seek to expand mining and processing operations into newly purchased adjoining parcels. The operations conducted by Kaiser Refractories at the site have significant economic impacts in the County of Monterey and have significant national defense and national industrial impact. The operations have been conducted by the company in good faith compliance with use permit conditions.
3. The Kaiser operations have resulted in large white-colored highly visible mining scars and production pilings which have substantial adverse aesthetic impact in the Salinas Valley which affects the property values and economic stability of the surrounding communities. The white prominence is especially notable from the City of Salinas, the Toro Area of Development Concentration and some parts of Moss Landing. Due to the population growth of surrounding areas, the present high visibility of the processing and materials makes a significantly larger impact upon the general welfare of the County than when the operations initially commenced. The natural rolling landforms and hills impart an ambiance and immediate visual escape from moments of congestion and overcrowding and warrant protection, so far as practicable, of the natural topographic conditions.
4. The Planning Commission finds that the importance of the operations coupled with their ongoing nature warrant a long term use permit. The Planning Commission further finds that the aesthetic impacts of the existing operations and the anticipated operations warrant imposition of stringent and diligently enforced reclamation and aesthetic conditions. The Planning Commission further finds that due to the technical nature of much of the operations and the need for flexibility with respect to mining of various grades of extracted minerals, it is very difficult to create conditions based upon precise mining location, precise extraction time tables or precise amounts of removable minerals. Consequently, the Planning Commission finds that use permit conditions should be broadly written to allow operational flexibility with respect to mining time tables and marketing conditions. In turn, the Planning Commission finds that the burden of establishing the need for changes in any of the use permit conditions should rest primarily with the applicant. When material or substantial changes of operations or reclamation processes become necessary due to unforeseen

events occurring during the life time of the proposed use permit (including technological improvements, significant changes in market demand or significant changes in rates of extraction) the applicant should initiate requests for modifications of use permit conditions. If it is uncertain whether operational or reclamation process modifications will be material or significant, the uncertainty should be resolved in favor of Planning Commission review.

DECISION

THEREFORE, it is the decision of said Planning Commission that said application for a Use Permit be granted, subject to the following conditions:

1. All provisions of the Reclamation Plan for the Maitland Quarry of Kaiser Refactories including the Appendices, dated December 1982 and/or as revised by future agreements with the Monterey County Planning Department shall be complied with in a timely and orderly manner as outlined in that plan.
2. An update of the status of mining and reclamation activities shall be submitted to the Planning Department every five years or upon request of the Department but no more frequently than every two years. The update shall include description and aerial photographs of suitable scale of all quarry expansion and reclamation accomplished since the previous report and cumulatively to the date of the report.
3. An evaluation of the mineral extraction operation shall be submitted by the applicant to the Planning Department every five years or upon request of the Department but no more frequently than every two years. This evaluation shall be supported by the applicant's qualified geotechnical consultants with such recommendations as they deem appropriate. The evaluation shall include:
 - A. An indication as to whether or not the geotechnical portion of the reclamation plan is still adequate to comply with the conditions imposed in this use permit,
 - B. An indication as to any new or modified extraction method or actions which may be deemed necessary or advisable, and
 - C. Description of any new features which would affect the geotechnical aspect of the operations.

Any recommendations agreed to by the Director of Planning shall thereupon become on-going conditions of the use permit.

4. The applicant shall maintain enough fill material on site throughout the term of its operations so as to have sufficient material to backfill against all final cut faces regardless of when operations may terminate and regardless of market demand for the fill material. Information regarding the status of this shall be included with the update required in Condition 2 of this Use Permit. Should market demand for the fill material become sufficiently great that the applicant seeks to use backfill material not procured at the quarry site, application shall be made to the Planning Director for modification of the adopted reclamation plan.
5. The applicant shall, whenever feasible, conduct its extraction operations in a sequence which preserves aesthetic views.
6. The existing HHS pile shall continue to function as an active sorting and stockpile area for aggregate material shipped off the site. Slopes shall be hydromulched at such time as stockpiling and loading is relocated to the top of the HHS fill. The by-product material to the south shall be hydro-mulched prior to the end of Phase 1.
7. As outlined in the reclamation plan, during the three-year period of Phase 1, provision shall be made to convey primary material to the base of the active primary by-product pile, all of the existing slopes of the primary pile shall be hydromulched (except where the material is being conveyed), and the berm shall be constructed at the future toe of the active primary pile. Once a substantial section of the berm has been completed, the surplus flow of by-product shall be placed behind the berm in a manner to best conceal it from view until the entire berm is in place. Upon completion of the berm, by-product shall be placed behind it, to be followed by successive lifts as described in the reclamation plan.
8. Each year, any newly constructed final berms or pond embankments shall be hydromulched by late October, subject to suitable weather conditions.

9. If any alterations to the mining or reclamation phases of the project are proposed that would impact historic sites AC-285-2 or AC-285-3, these sites shall be tested by a qualified archaeologist to determine the nature, extent and significance of the sub-surface resources. A report of these findings shall be submitted to the Planning Department for development of additional conditions or mitigations for those sites. Such conditions and mitigations shall, upon approval of the Director of Planning, become ongoing conditions of the use permit.
10. If any alterations are proposed in the method of operations which would have a noticeable effect upon the visible appearance during operations or upon the final appearance of the site as proposed in the reclamation plan, a revised reclamation plan shall be prepared. Such alterations to the operations shall be deemed to include major changes in the sequence of excavation for filling, or changes which would materially effect the volume of by-product to be disposed on the site or removed from the site. The revised reclamation plan shall become a condition of the use permit upon approval of the Director of Planning.
11. The operation shall comply with the requirements of the California Regional Water Quality Control Board.
12. In the event that any of the specific conditions heretofore stated conflict with any provisions of the Reclamation Plan for the Maitividad Quarry as submitted by Kaiser Refractories, the specific conditions stated in this use permit shall prevail.
13. At such time as the Planning Commission may deem a bond to be clearly required to assure completion of any phase of the reclamation plan, the Planning Commission may set the conditions for posting such a bond or equivalent security.
14. Should any conditions of the reclamation plan adopted by Resolution No. 83-280 not be complied with, this use permit shall be subject to possible revocation, as provided for in Section 20.96.060 of Chapter 20.96 of Title 20 of the Monterey County Code.
15. That this use permit expire on August 10, 2033.
16. Modifications to the reclamation plan may be made by the Director of Planning upon application, but if the Director determines that such modifications may be significant or substantial, the Director shall refer the matter to the Planning Commission for modification of the resolution with respect to these matters.

PASSED AND ADOPTED this 10th day of August, 1983, by the following vote:

AYES: Cailotto, Calcagno, Glau, Hendrick, Jimenez, Riddle, Varga

NOES: None

ABSENT: Reeves

ABSTAIN: Mill

ROBERT SLIPTON, JR.
Acting Secretary of the Planning Commission

Copy of this decision was mailed to the applicant on August 24, 1983.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE SEPTEMBER 3, 1983.

PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA

RESOLUTION NO. 83-280

A.P. # 211-023-01 and 03,
211-031-16 and 19

FINDINGS AND DECISION

In the matter of the application of

KAISER REFRactories (PC-4745)

for a Reclamation Plan in accordance with Title 16 (Environment) 16.04 (Surface Mining and Reclamation) of the Monterey County Code and came on regularly for hearing before the Planning Commission on August 10, 1983.

Said Planning Commission, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. Kaiser Refractories or predecessor corporations have continuously mined dolomite at the Matividia Quarry site since circa 1900. Kaiser Refractories currently operate under use permits issued by the County of Monterey and now seek to expand mining and processing operations into newly purchased adjoining parcels. The operations conducted by Kaiser Refractories at the site have significant economic impacts in the County of Monterey and have significant national defense and national industrial impact. The operations have been conducted by the company in good faith compliance with use permit conditions.
2. The Kaiser operations have resulted in large white-colored highly visible mining scars and production pilings which have substantial adverse aesthetic impact in the Salinas Valley which affects the property values and economic stability of the surrounding communities. The white prominence is especially notable from the City of Salinas, the Toro Area of Development Concentration and some parts of Moss Landing. Due to the population growth of surrounding areas, the present high visibility of the processing and materials makes a significantly larger impact upon the general welfare of the County than when the operations initially commenced. The natural rolling landforms and hills impart an ambiance and immediate visual escape from moments of congestion and overcrowding and warrant protection, so far as practicable, of the natural topographic conditions.
3. The Planning Commission finds that the importance of the operations coupled with their ongoing nature warrant a long term use permit. The Planning Commission further finds that the aesthetic impacts of continuing operations and the anticipated operations warrant imposition of stringent and diligently enforced reclamation and aesthetic conditions. The Planning Commission further finds that due to the technical nature of most of the operations and the need for flexibility with respect to mining of various grades of extracted minerals, it is very difficult to create conditions based upon precise mining location, precise extraction time tables or precise amounts of removable minerals. Consequently, the Planning Commission finds that use permit conditions should be broadly written to allow operational flexibility with respect to mining time tables and marketing conditions. In turn, the Planning Commission finds that the burden of establishing the need for changes in any of the use permit conditions should rest primarily with the applicant. When material or substantial changes of operations or reclamation processes become necessary due to unforeseen events occurring during the life time of the proposed use permit (including technological improvements, significant changes in market demand or significant changes in rates of extraction) the applicant should initiate requests for modifications of use permit conditions. If it is uncertain whether operational or reclamation process modifications will be material or significant, the uncertainty should be resolved in favor of Planning Commission review.

DECISION

THE REPORT, it is the decision of said Planning Commission that said application for a Reclamation Plan be approved, subject to the following conditions:

1. The reclamation plan shall be defined as both Volume 1 Reclamation Plan for the Natividad Quarry of Kaiser Refractories and Volume 2 Appendices to the Reclamation Plan for the Natividad Quarry of Kaiser Refractories, dated December 1982.
2. A detailed revegetation plan shall be prepared and submitted to the Planning Department prior to December 29, 1983. Prior to each new phase as outlined in the Reclamation Plan, updates to the re-vegetation plan shall be submitted to the Planning Department. The re-vegetation plan shall become a condition of this resolution upon approval of the Director of Planning. Modifications to the re-vegetation plan may be made by the Director of Planning upon application, but if the Director determines that such modifications may be significant or substantial, the Director shall refer the matter to the Planning Commission for modification of this resolution with respect to those matters. All re-vegetation of the site shall be done in a timely and orderly manner as outlined in the reclamation plan.
3. Topsoil which has been excavated shall be stockpiled until such time that test results show whether it is required to promote re-vegetation. Any topsoil stockpiles or areas of redistributed topsoil should be stabilized by hydromulching prior to the onset of winter rains.
4. All conveyor systems which may be built to carry material to the new primary pile shall be as visibly inconspicuous as possible. The location and design of each conveyor system shall be approved by the Director of Planning prior to commencement of construction of such conveyor.
5. Provide adequate erosion control, including the use of water bars, culverts, and sediment traps.
6. All permanent down drains for erosion control and/or transport of ponding water shall be of a color and nature to be visibly inconspicuous and subject to the approval of the Director of Planning.
7. Surface-water catchment ponds shall be installed in appropriate areas to reduce runoff from disturbed areas.
8. As fills are placed in lifts behind berms, adequate provision should be made for drainage, to avoid ponding of water on the fill, and to prevent scouring of the fill face where the water drops to a lower level.
9. When the two easterly knobs are excavated, water shall be prevented from flowing off the sides by installation of a perimeter berm. A small detention pond on each shelf would aid in controlling runoff.
10. The existing settling ponds shall be returned to agricultural use, by grading the pond to create a slight incline, laying down a 6-inch base of #57 material for drainage, then resurfacing available soil material.
11. Routing of haul roads shall avoid the existing areas of oak woodland in the expansion zone.
12. In accordance with the Reclamation Plan two spring-fed cisterns shall be installed to provide drinking water for wildlife. The cisterns shall be located in wooded areas near the creek drainage along the southern boundary of the property. Should the spring pipes become clogged, the water shall be supplied to the cisterns by other means.

The following conditions apply to the primary by-product pile:

13. The reclaimed by-product pile shall not be developed nor contain structures for human habitation.
14. The configuration of the by-product pile shall be constructed as shown in Figure I-3 of the geotechnical report of the reclamation plan. The toe key and berm shall be constructed as shown in Figure I-8 of the same document.
15. The berm shall be constructed with a 3:1 front slope and a 2:1 rear slope, and shall be constructed at the most forward point of the planned by-product pile extension.
16. The berm for the primary by-product pile shall be constructed prior to the end of Phase 1.
17. The soil beneath the berm shall be stripped to a depth of approximately 4 feet (depth may be modified as field conditions dictate).
18. The berm shall be constructed to the design grades by compacting the waste material to a minimum of 90% relative compaction as determined by the ASIM D1557 test method.
19. Filling behind the compacted berm can be by loose dumping; the final slope shall be 3:1 or flatter.

20. A subdrain shall be constructed beneath the berm, and shall be excavated to a depth necessary to reach the upper most granular soil horizon, approximately 12 feet. The drain trench shall be lined with an acceptable filter fabric and filled with permeable rock.
21. A berm shall be present at the periphery of the final by-product pile. A permanent setback zone of at least 110 feet shall be established between the toe of the berm and any future development.
22. Recompact and replant the surface where cracking and slumping has occurred. This shall be done on an annual basis prior to the rainy season.
23. A qualified geotechnical consultant shall make supplemental recommendations if unforeseen conditions are exposed during the placement of the subdrain or stripping of the berm area.
24. A qualified geotechnical consultant shall be retained by Kaiser Refractories to observe and test the construction of the subdrain and berm.
25. A qualified geotechnical consultant shall be retained by Kaiser Refractories to observe compliance with all the above requirements.
26. The proposed future by-product pile and ponds shall be constructed as shown on the drawings of Environ, and the construction sequence described in their December, 1982 report shall be implemented.

The following conditions apply to the future primary by-product pile and process water ponds:

27. The reclaimed by-product pile, designated as IIA in the geotechnical report, shall be utilized as undeveloped open space, and shall not contain structures for human habitation.
28. Slopes for the by-product pile shall not exceed 3:1, except for locally steeper slopes (1 1/2:1) where the by-product materials are compacted and will not influence the stability of the outer slope.
29. A berm shall be constructed for the primary by-product pile of approximately 50 feet wide. The height of the initial berm shall be 10 feet, with filling continuing until the entire area is leveled, and then a new berm approximately 25 feet wide shall be constructed.
30. The outer berms shall have an approximate height of 10 feet and a width of 25 feet (except for the initial berm of 50 feet wide) and shall be constructed by compacting the by-product materials to a minimum of 90% relative compaction as determined by the ASTM D1557 test method.
31. Slopes proposed inside the 3:1 outer berms may be steepened locally to 1 1/2:1 if the outer 25 feet of materials are compacted.
32. The soils in the areas adjacent to the toe of the by-product pile for a distance of approximately 100 feet upstream shall be stripped to a depth of approximately 4 feet (depth may be modified as field conditions dictate).
33. Subdrains shall be installed in the positions shown of Figure II-2 and according to the details shown on Figure II-6 of the geotechnical report. The subdrain must be installed in the bottom of the stream channels as the filling operation progresses upstream and into the spring areas.
34. A toe drain shall be constructed in the approximate position shown on Figure II-2 and according to the details on Figure II-5 of the geotechnical report.
35. The specific design details for the subdrain and the toe drain systems shall be provided by the project civil engineer.
36. A berm shall always be at the periphery of the area being filled. The final slopes shall conform to those designed by Environ and evaluated in the reclamation plan.
37. A setback distance from the toe of the final slopes shall be established for all development below the by-product pile.
38. The future process water ponds shall be constructed in compliance with the Statutes and Regulations of the Commonwealth of Massachusetts, or supervision of Dams and Reservoirs, 1982, or the Division of Safety of Dams. The ponds shall be constructed parallel to the land contour and in such a manner as to avoid subsurface erosion or water loss.
39. The embankments for the ponds shall be constructed at a slope of 3:1 by compacting the fill materials to a minimum of 90% relative compaction as determined by ASTM test method D1557.
40. A qualified geotechnical consultant shall observe and test the construction of the toe drain, subdrain, compaction of the berms, and the compaction of the embankments for the ponds.

The following conditions apply to the restoration of the mined out quarry:

41. The reclaimed area shall remain permanent open space, and no structures for human habitation are to be allowed in this area.

4

42. The height of the fill in the reclaimed area shall not exceed approximately 600 feet and the inclination shall not exceed 35 degrees final slope.
43. The fill shall be compacted to a minimum of 90% relative compaction as determined by ASTM method D1557.
44. An outer berm shall be constructed behind which filling can occur. Spilling of material on the edge shall be avoided. The fill shall be properly drained and outer slopes shall be planted in conformance with the recommendations of the revegetation plan required by the use permit.

PASSED AND ADOPTED this 10th day of August, 1983 by the following vote:

AYES: Caliutto, Calzadino, Giam, Hendrick, Jimenez, Rickle, Vargas

NOES: None

ABSENT: Reeves

ABSTAIN: Mill

ROBERT ELIJAH JR., ACTING SECRETARY
OF THE PLANNING COMMISSION

Copy of this decision was mailed to the applicant on August 24, 1983.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE OR BEFORE SEPTEMBER 3, 1983.

Exhibit E

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Nelson, Kayla

From: GUSTAFSON Riley <Riley.GUSTAFSON@lhoist.com>
Sent: Thursday, June 12, 2025 12:49 PM
To: Nelson, Kayla; HEWSON John
Cc: pmitchell@mitchellchadwick.com; PAREKH Kart
Subject: RE: Lhoist Natividad Use Permit Extension - PLN250135
Attachments: 1_91-27-0005_Natividad - 2024 NOCI-1_Signed.pdf; 2_91-27-0005_Natividad - 2024 MRRC-1_Signed.pdf

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]
Hi Kayla,

In the table below, I've pulled together several years of production data from available records and compared them to values stated in the Reclamation Plan. This should demonstrate that actual production has been about half of what was forecasted in the 1983 Plan. I've also attached the 2024 Notice of Completion of Inspection which indicates the operation was found to be consistent SMARA and the previously approved Reclamation Plan during the most recent annual inspection. The annual inspection report is also attached, which indicates that the mining operation's development is in between Phase 6 and Phase 7 of the approved reclamation plan (page 5, section VIII A), which corresponds to years 26-33 (or 2008-2015) out of the 50 years between 1983 and 2033 described in the reclamation plan.

Do you have any additional information to share or data needs following last week's interagency meeting?

Year	Raw Material Removed from Quarry			All Products		
	Actual Tons	Tons Estimated in 1983 Plan	Percent	Actual Tons	Tons Estimated in 1983 Plan	Percent
2024	698,456	2,000,000	35%	285,915	931,000	31%
2023	1,021,231	2,000,000	51%	330,882	931,000	36%
2022	684,983	2,000,000	34%	388,792	931,000	42%
2021	989,397	2,000,000	49%	422,315	931,000	45%
2020	1,314,578	2,000,000	66%	427,262	931,000	46%
2019	1,080,737	2,000,000	54%	1,146,710	931,000	123%
2018	1,142,397	2,000,000	57%	NA	931,000	NA
2017	1,040,954	2,000,000	52%	507,028	931,000	54%
2016	920,369	2,000,000	46%	442,612	931,000	48%
2015	764,432	2,000,000	38%	478,005	931,000	51%
2014	729,555	2,000,000	36%	416,049	931,000	45%
2013	753,750	2,000,000	38%	392,745	931,000	42%
2012	NA	2,000,000	NA	348,444	931,000	17%
2011	NA	2,000,000	NA	322,523	931,000	16%
Total	11,140,839	24,000,000	46%	5,238,315	11,172,000	47%

Thank you,
Riley

Riley Gustafson
Environmental Manager – Natividad, Western Region

Exhibit F

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MONTEREY



RECEIVED

11 00 AM 1983

ESTATE OF THE BAGGINS

DEPUTY

COUNTY

NOTICE OF APPEAL

Monterey County Code

Title 19 (Subdivisions)

Title 20 (Zoning)

No appeal will be accepted until a written decision is given. If you wish to file an appeal, you must do so on or before _____

1. Please give the following information:

- your name Mr. L. D. Brunning
- address 630 Old Stage Rd.
- phone number 449-6226

2. Indicate your interest in the decision by checking the appropriate box

a) applicant
 b) neighbor
 c) other (please state) _____

3. If you are not the applicant, please give the applicant's name.

Ronnie Rebackes

4. What is the file number of the application that is the subject of this appeal?

	TYPE OF APPLICATION	AREA
a) PC- 441115	Use Permit	Woodward Area
b) ZA-		
c) MS-		

5. What is the nature of your appeal?

a) Are you appealing the approval or the denial of an application? (Check appropriate box)

b) If you are appealing one or more conditions of appeal, list the condition number and state the condition(s) you are appealing (Attach extra sheet if necessary)

Condition no. 83-20 1# 3 # Recruit # 2
A. 25 4.35 1.35
Resolution no. 83-279 - #2

① Cleaning permission finds that the present regulations should be broadly rewritten to allow operation.
② A detailed reorganization plan shall be prepared and submitted to the Planning Dept. prior to Dec 20, 1983.
(③ A qualified professional consultant shall be retained to review the Rawel (4) & specific design details for substation & tie drains?

6. Check the appropriate box(es) to indicate which of the following reasons form the basis for your appeal:

a) there was a lack of fair or impartial hearing; or
 b) the findings or decision or conditions are not supported by the evidence; or
 c) the decision was contrary to law.

You must next give a brief and specific statement in support of each of the bases for appeal that you have checked above. The Board of Supervisors will not accept an application for appeal that is stated in generalities, legal or otherwise. If you are appealing specific conditions, you must list the number of each condition and the basis for your appeal. (Attach extra sheets if necessary)

(a) the immediate neighbors of Kaisis Patel were not notified (Planning finding on Fairie #3) It seems that neighbors should have been involved in this public meeting.

7. As part of the application approval or denial process, findings were made by the decision making body (Planning Commission, Zoning Administrator, or Minor Subdivision Committee). In order to file a valid appeal, you must give specific reasons why you disagree with the findings made. (Attach extra sheets if necessary)

and proper notification of neighbors making it a illegal meeting. Planning commission fee requirement pertaining to minor subdivision did not require a Environmental Impact Report.

8. You are required to submit stamped addressed envelopes for use in notifying interested persons that a public hearing has been set for the appeal. The Planning Department will provide you with a mailing list.

* 9. Your appeal is accepted when the Clerk to the Board of Supervisors accepts the appeal as complete on its face, receives the filing fee and stamped addressed envelopes, and places the appeal on the Board of Supervisors agenda so that the Board may set the matter for a public hearing.

APPELLANT SIGNATURE

ACCEPTED

CLERK TO THE BOARD OF SUPERVISORS

Copies: Original to Clerk to the Board
One Copy to the Planning Department

DATE Sept. 2, 1983

DATE Sept. 2, 1983

Resolution # 83-280

#3 The planning Commission finds that the use permit Conditions Should be broadly written to allow Operational flexibility

Decision

#2 A detailed vegetation plan Shall be prepared and Submitted to the planning Dept. Prior to Dec. 29, 1983

#25 A qualified geotechnical Consultant Shall be retained by Kaiser Refractories to observe, Compliance with all the above requirements

#35 The specific design details for the subdrain and the toe drain Systems, Shall be provided by the project civil engineers.

#38 Statutes and Regulations pertaining to Supervision of Dams & Reservoirs 1982

Resolutions # 83-279

Decision

#2 An update of the Status of mining and reclamation activities Shall be Submitted to the Planning Dept every five years.

Exhibit G

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***Before the Board of Supervisors in and for the
County of Monterey, State of California.***

Hearing Set on Appeal from LaVina)
Cummings from Decision of Planning)
Commission Granting Use Permit)
(PC-4745) to Kaiser Refractories)
to Allow Removal of Natural)
Materials on Property Located in)
the Natividad Area, District)
No. 1.

WHEREAS, LaVina Cummings has appealed to the Board of Supervisors from the decision of the Planning Commission granting a Use Permit (PC-4745) to Kaiser Refractories to allow removal of natural materials on property located on Parcel B and portion of Lot 3 of Sub A of Lot 28, Assessor's Map of Natividad Rancho, Natividad area, fronting on and northerly of Old Stage Road, District No. 1.

NOW, THEREFORE, BE IT RESOLVED that Tuesday, the 11th day of October, 1983, at the hour of 11:15 a.m., in the Chambers of this Board be, and it hereby is fixed as the time and place for a public hearing on said proposed Use Permit, at which time and place any and all interested persons may appear and be heard thereon.

BE IT FURTHER RESOLVED that the Clerk of the Board give notice of said hearing by causing a notice thereof to be published in the SALINAS CALIFORNIAN, a newspaper printed in said county and that a similar notice also be posted conspicuously on the property involved or adjacent thereon, at least ten days prior to said hearing.

PASSED AND ADOPTED this 20th day of September, 1983,
upon motion of Supervisor Del Piero, seconded by Supervisor
Shipnuck, and unanimously carried.

I, ERNEST A. MAGGINI, County Clerk and ex-officio Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof at page 50 of minute Book 50, on Sept. 20, 1983.

ERNEST A. MAGGINI, County Clerk and ex-officio
Clerk of the Board of Supervisors, County of Monterey
State of California.

By Anne Drii Deputy.

Exhibit H

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Report to Monterey County Board of Supervisors

SUBJECT	CONSIDER THE APPEAL FROM LAVENA CUMMINGS FROM THE DECISION OF THE PLANNING COMMISSION GRANTING A USE PERMIT (PC-4745) TO KAISER REFRACTORIES TO ALLOW REMOVAL OF NATURAL MATERIALS, NATIVIDAD AREA, DISTRICT 1.	BOARD MEETING DATE	AGENDA NUMBER
DEPARTMENT	PLANNING	OCTOBER 11, 1983 11:15a.m.	AGENDA # 7
<u>RECOMMENDATION</u>			

Deny the appeal from LaVena Cummings from the decision of the Planning Commission granting a Use Permit (PC-4745) to Kaiser Refractories to allow removal of natural materials in the Natividad Area.

JUSTIFICATION

The appellant states that the immediate neighbors of Kaiser were not notified of the public meeting.

The County noticed the public hearing as required by law, including newspaper notice, mailed notices to adjacent property owners, and posting on the project site. This notice was given for the May 11, 1983 public hearing. Continued public hearings on May 25, June 29, July 27 and August 10 did not require additional notice.

The appellant questions why the Planning Commission did not require an Environmental Impact Report.

The County completed an Initial Study which indicated that potentially significant impacts are mitigated by implementation of Kaiser's Reclamation Plan. All of the provisions of the Reclamation Plan were made conditions of approval for the Use Permit or the Reclamation Plan Resolution, and Kaiser must comply with them.

The appellant appeals the finding #3 of Resolution No. 83-280 which mentions that the conditions be "broadly written."

Finding #3 states that the only conditions that are to be "broadly written" are those which refer to mining time tables and market conditions. The Use Permit contains 16 conditions and the Reclamation Plan Resolution contains 44 conditions. The Planning Commission's intent is to assure that the mining operation complies with the Reclamation Plan and with the County's Policies. It is not their intent to regulate mining time tables and marketing conditions. These factors do change and that is why the Planning Commission is requiring an update of the operation at least every 5 years, or sooner if necessary. (Use Permit 2970 conditions 2 and 3.)

Appeal from Lavena Cummings (Kaiser Refractories)
October 11, 1983
Agenda #7

The appellant appeals condition #2 of Resolution 83-280 which requires a revegetation plan prior to December 29, 1983.

This condition must be met before operations can begin on the additional property. The December 29 date gives Kaiser sufficient time to test the effectiveness of various hydro-seeding methods. A preliminary vegetation study is available in the Reclamation Plan on file in the County Planning Department.

The appellant appeals condition #25 of Resolution 83-280 which requires a Geotechnical Consultant to be retained by Kaiser.

Although the Geotechnical Consultant will be retained by Kaiser, the County will review the consultant's work as required by condition #3 of the Use Permit, when an evaluation of the operation is submitted to the County at least every 5 years.

The appellant appeals conditions #35 and #38 of Resolution 83-280 which provide requirements for the construction of water process ponds.

The ponds, subdrains and toedrains will be designed by a registered Civil Engineer and be tested by a qualified Geotechnical Consultant. The general design and location of the ponds is shown in the Reclamation Plan on Figures II-2 and 6. The County again has the opportunity to review this work when the updates of the operation are submitted.

The appellant appeals condition #2 of Resolution 83-279 which requires an evaluation of the operation every 5 years or upon the request of the department, but no more frequently than every 2 years.

The Planning Commission felt that this timetable is reasonable on a 50-year Use Permit. Planning may consider a violation of a condition of approval at any time.

A copy of the Reclamation Plan is available at the Planning Department for your reference. Copies of the Use Permit and Resolution adopting the Reclamation Plan attached.

Robert Slimmon
ROBERT SLIMMON JR., DIRECTOR OF PLANNING

CMS:jc

Attachments

cc: Applicant
Michael Johnson, Assistant County Administrative Officer Intergovernmental Affairs
News Media
County Counsel
Board Secretary

111
**Before the Board of Supervisors in and for the
County of Monterey, State of California**

Appeal from LaVena Cummings from the Decision)
of the Planning Commission Granting a Use Permit)
(PC-4745) to Kaiser Refractories to Allow)
Removal of Natural Materials on Property Located)
In the Natividad Area, District No. 1, Held;)
Appeal Partially Granted; Use Permit Approved)
with Conditions

A public hearing is held on an appeal from LaVena Cummings from the decision of the Planning Commission granting a Use Permit (PC-4745) to Kaiser Refractories to allow removal of natural materials on property located on Parcel B and portion of Lot 3 of Sub A of Lot 28, Assessor's Map of Natividad Rancho, Natividad area, fronting on and northerly of Old Stage Road, District No. 1.

Bob Slimmen, Planning Director, explains Kaiser has removed minerals from this area for many years. He states Kaiser Refractories currently operate under use permits issued by the County of Monterey, and now seek to expand mining and processing operations into newly purchased adjoining parcels. He states the Planning Commission as well as granting a Use Permit, approved the Reclamation Plan which is in accordance with Title 16 (Environment) 16.04 (Surface Mining and Reclamation) of the Monterey County Code, and is available at the Planning Department for reference.

Various persons address the Board on the circumstances surrounding the appeal. They address the conditions placed on the Use Permit by the Planning Commission, and make suggested modifications.

After discussion, and upon motion of Supervisor Del Piero, seconded by Supervisor Shipnuck, and unanimously carried by those members present, the Board hereby partially grants the appeal, thereby approving the Use Permit, subject to the following findings and conditions:

***Before the Board of Supervisors in and for the
County of Monterey, State of California.***

Hearing on Appeal from LaVena Cummings from)
the Decision of the Planning Commission Granting)
a Use Permit (PC-4745) to Kaiser Refractories)
to Allow Removal of Natural Materials on Property)
Located in the Natividad Area, District No. 1,)
Continued to Tuesday, October 18, 1983 at 2:00)
p.m.

Upon motion of Supervisor Peters, seconded by Supervisor Del Piero, and unanimously carried, the Board hereby continues the hearing on appeal from LaVena Cummings from the decision of the Planning Commission granting a Use Permit (PC-4745) to Kaiser Refractories to allow removal of natural materials on property located in the Natividad Area, District No. 1, to Tuesday, the 18th day of October, 1983 at the hour of 2:00 p.m.

I, ERNEST A. MAGGINI, County Clerk and ex-officio Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors, duly made and entered in the minutes thereof at page _____ of Minute Book _____, on OCTOBER 17, 1983.

Dated: October 11, 1983

ERNEST A. MAGGINI, County Clerk and ex-officio
Clerk of the Board of Supervisors, County of Monterey,
State of California.

By Nancy Lukensell Deputy.

FINDINGS OF FACT

1. Kaiser Refractories or predecessor corporations have continuously mined dolomite at the Natividad Quarry site since circa 1900. Kaiser Refractories currently operate under use permits issued by the County of Monterey and now seek to expand mining and processing operations into newly purchased adjoining parcels. The operations conducted by Kaiser Refractories at the site have significant economic impacts in the County of Monterey and have significant national defense and national industrial impact. The operations have been conducted by the company in good faith compliance with use permit conditions.
2. The Kaiser operations have resulted in large white-colored highly visible mining scars and production pilings which have substantial adverse aesthetic impact in the Salinas Valley which affects the property values and economic stability of the surrounding communities. The white prominence is especially notable from the City of Salinas, the Toro Area of Development Concentration and some parts of Moss Landing. Due to the population growth of surrounding areas, the present high visibility of the processing and materials makes a significantly larger impact upon the general welfare of the County than when the operations initially commenced. The natural rolling landforms and hills impart an ambiance and immediate visual escape from moments of congestion and overcrowding and warrant protection so far as practicable, of the natural topographic conditions.
3. The Planning Commission finds that the importance of the operations coupled with their ongoing nature warrant a long term use permit. The Planning Commission further finds that the aesthetic impacts of the operations and the anticipated operations warrant imposition of stringent and diligently enforced reclamation and aesthetic conditions. The Planning Commission further finds that due to the technical nature of much of the operations and the need for flexibility with respect to mixing of various grades of extracted minerals, it is very difficult to create conditions based upon precise mining location, precise extraction time tables or precise amounts of removable minerals. Consequently, the Planning Commission finds that use permit conditions should be broadly written to allow operational flexibility with respect to mining time tables and marketing conditions. In turn, the Planning Commission finds that the burden of establishing the need for changes in any of the use permit conditions should rest primarily with the applicant. When material or substantial changes of operations or reclamation processes become necessary due to unforeseen events occurring during the life time of the proposed use permit (including technological improvements, significant changes in market demand or significant changes in rates of extraction) the applicant should initiate requests for modifications of use permit conditions. If it is uncertain whether operational or reclamation process modifications will be material or significant, the uncertainty should be resolved in favor of Planning Commission review.

4. The proposed reclamation plan and quarry expansion is found to be consistent with the Monterey County General Plan. In particular the General Plan states "The plan shows that existing industrial sites in the County should be retained, including the Kaiser dolomite quarry. The plan proposed ...eastward expansion of the Kaiser dolomite quarry..." (p. 163).
5. The proposed reclamation plan is in conformance with Chapter 16.04, Monterey County Code (Surface Mining and Reclamation).

DECISION

THEREFORE, it is the decision of said Board of Supervisors that said application for a Reclamation Plan be approved, subject to the following conditions:

1. The reclamation plan shall be defined as both Volume 1 Reclamation Plan for the Natividad Quarry of Kaiser Refractories and Volume 2 Appendices to the Reclamation Plan for the Natividad Quarry of Kaiser Refractories, dated December, 1982.
2. A detailed revegetation plan shall be prepared and submitted to the Planning Department prior to December 29, 1983. Prior to each new phase as outlined in the Reclamation Plan, updates to the revegetation plan shall become a condition of this resolution upon approval of the Director of Planning. Modifications to the revegetation plan may be made by the Director of Planning upon application but if the Director determines that such modifications may be significant or substantial, the Director shall refer the matter to the Planning Commission for modification of this resolution with respect to these matters. All revegetation of the site shall be done in a timely and orderly manner as outlined in the reclamation plan.
3. Topsoil which has been excavated shall be stockpiled until such time that test results show whether it is required to promote revegetation. Any topsoil stockpiles or areas of redistributed topsoil shall be stabilized and revegetated prior to the onset of winter rains.
4. All conveyor systems or roads which may carry material to the new primary pile shall be as visibly inconspicuous as possible. The location and design of each conveyor system or road shall be approved by the Director of Planning prior to the commencement of construction. No such material, other than that to be commercially exported from the site, shall be hauled on County roads.
5. Provide adequate erosion control, including the use of water bars, culverts, and sediment traps.
6. All permanent down drains for erosion control and/or transport of ponding water shall be of a color and nature to be visibly inconspicuous and subject to the approval of the Director of Planning.
7. Surface-water catchment ponds shall be installed in appropriate areas to reduce runoff from disturbed areas.
8. As fills are placed in lifts behind berms, adequate provision shall be made for drainage to avoid ponding of water on the fill and to protect scouring of the fill face where the water drops to a lower level.
9. When the two easterly knobs are excavated, water shall be prevented from flowing off the sides by installation of a perimeter berm. A small detention pond on each shelf would aid in controlling runoff.
10. The existing settling ponds shall be returned to agricultural use, by grading the pond to create a slight incline, laying down



County of Monterey

Item No.2

Board Report

Legistar File Number: AP 25-048

September 17, 2025

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Introduced: 9/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250150 - ZHANG YU & XIHUA LUO TRS

Administrative hearing to consider the construction of a 5,997 square foot single-family dwelling, attached 610 square foot garage, and a 1,172 square foot accessory dwelling unit; and removal of 104 Monterey Pine and 1 Live Coast Oak.

Project Location: 1461 Lisbon Ct, Pebble Beach, Del Monte Forest Land Use Plan.

Proposed CEQA action: Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan, and find the project consistent with the FEIR, which does not warrant an addendum pursuant to CEQA Guidelines section 15162.

RECOMMENDATION:

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project consistent with the Final Environmental Impact Report, which does not warrant an addendum pursuant to CEQA Guidelines section 15162; and
- b. Approve a Coastal Administrative Permit and Design Approval to allow the construction of a 5,986 square foot single family dwelling, a 610 square foot attached garage, associated site improvements, and a 1,172 square foot accessory dwelling unit with the removal of 91 Monterey Pine trees and 1 Coast Live Oak.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval, subject to 9 conditions of approval.

PROJECT INFORMATION:

Agent: Louie Leu

Property Owner: Zhang Yu & Xihua Luo Trs

APN: 008-031-030-000

Parcel Size: 1.42 acres

Zoning: Low Density Residential with a Building Site 6 overlay and Design overlay or "LDR/B-6-D"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: No

Project Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

SUMMARY

Staff is recommending approval of a Coastal Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services

Environmental Health Bureau

HCD - Environmental Services

Pebble Beach Community Services District

Prepared by: Jade Mason, Assistant Planner

Reviewed and approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Planner; Fionna Jensen, Principal Planner; Zhang Yu & Xihua Luo Trs, Property Owners; Louie Leu, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240150



County of Monterey

Item No.2

Administrative Permit

Legistar File Number: AP 25-048

September 17, 2025

Introduced: 9/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250150 - ZHANG YU & XIHUA LUO TRS

Administrative hearing to consider the construction of a 5,997 square foot single-family dwelling, attached 610 square foot garage, and a 1,172 square foot accessory dwelling unit; and removal of 104 Monterey Pine and 1 Live Coast Oak.

Project Location: 1461 Lisbon Ct, Pebble Beach, Del Monte Forest Land Use Plan.

Proposed CEQA action: Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan, and find the project consistent with the FEIR, which does not warrant an addendum pursuant to CEQA Guidelines section 15162.

RECOMMENDATION:

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project consistent with the Final Environmental Impact Report, which does not warrant an addendum pursuant to CEQA Guidelines section 15162; and
- b. Approve a Coastal Administrative Permit and Design Approval to allow the construction of a 5,986 square foot single family dwelling, a 610 square foot attached garage, associated site improvements, and a 1,172 square foot accessory dwelling unit with the removal of 91 Monterey Pine trees and 1 Coast Live Oak.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval, subject to 9 conditions of approval.

PROJECT INFORMATION:

Agent: Louie Leu

Property Owner: Zhang Yu & Xihua Luo Trs

APN: 008-031-030-000

Parcel Size: 1.42 acres

Zoning: Low Density Residential with a Building Site 6 overlay and Design overlay or "LDR/B-6-D"

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: No

Project Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

SUMMARY

Staff is recommending approval of a Coastal Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD - Engineering Services

Environmental Health Bureau

HCD - Environmental Services

Pebble Beach Community Services District

Prepared by: Jade Mason, Assistant Planner

Reviewed and approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Planner; Fionna Jensen, Principal Planner; Zhang Yu & Xihua Luo Trs, Property Owners; Louie Leu, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240150

Exhibit A

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EXHIBIT A **DRAFT RESOLUTION**

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

ZHANG YU & XIHUA LUO TRS (PLN250150)
RESOLUTION NO. 25-044

Resolution by the Monterey County Chief of Planning:

- 1) Considering the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, and finding the project consistent with the FEIR, which does not warrant an addendum pursuant to Section 15162 of the CEQA Guidelines; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow construction of a 5,997 square foot single-family dwelling with an attached 610 square foot garage and a detached 1,172 square foot accessory dwelling unit, and associated site improvements including the removal of 91 Monterey pine and 1 Coast live oak.

[PLN250150, Zhang Yu & Xihua Luo Trs, 1461 Lisbon Ct, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-031-030-000)]

The Zhang Yu & Xihua Luo Trs application (PLN250150) came on for an administrative hearing before the Monterey of County Chief of Planning on September 17th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 5 (DMF CIP); and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1461 Lisbon Court, Pebble Beach (Assessor's Parcel Number 008-031-030-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential with a Building Site 6 overlay and Design overlay or "LDR/B-6-D", which allows for the construction of a new single-family dwelling with an attached garage, and an accessory dwelling unit as a principally allowed use, subject to a Coastal Administrative Permit. Pursuant to Title 20 section 21.44, the development in the underlying zoning district is also subject to a Design Approval. Therefore, the project is an allowed land use for this site. The project involves the construction of an approximately 5,997 square foot one-story single-family dwelling inclusive of a 610 square foot attached two-car garage and the construction of a 1,172 square foot Accessory Dwelling Unit (ADU). The project also includes the removal of 91 Monterey pine trees and 1 Coast live oak; however, permits required for tree removal have been obtained through the creation of the residential lot (see Finding 5). Therefore, the development is an allowed use for this site. The parcel is vacant and located within the Poppy 2 Subdivision. The proposed project includes 1,218 square feet of covered porches, entries, and patios. Grading will involve approximately 1,005 cubic yards of cut and 920 cubic yards of fill.
- c) Lot Legality. The parcel (Assessor's Parcel Number 008-031-030-000, 1.42 acres) is shown in its current configuration at Lot 11 of the Poppy 2 (Area I-2) Subdivision (Tract 1516), recorded as Volume 24, Page 37 of the Cities & Towns Map. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Del Monte Forest Land Use Plan (DMF LUP) Policy 48 indicates that new development within visually prominent settings, as illustrated on the Del Monte Forest Visual Resources Map (Figure 3), shall be sited and designed in such a manner that will not take away the scenic value of the area. Policy 53 is enforced by DMF CIP section 20.147.070.B.3, adding that adequate setbacks and minimal tree removal shall be required, and that architectural design, material, and color be consistent with the nature of the Plan area. According to Figure 3, the subject property is designated as being in the viewshed from Point Lobos; however, the subject property is not seen from Point Lobos and is not visible from a common public viewing area due to intervening vegetation and topography. Residences within the Pebble Beach area are eclectic in architecture, ranging from modern to California-ranch and Spanish-style. The proposed exterior finishes blend with the surrounding environment and are consistent with the surrounding residential neighborhood character. Retained Pine and Oak

trees will also continue to surround the property and shield the development from any public views. The project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- e) Development Standards and Impervious Coverage. Title 20 section 20.14.060 establishes the site development standards applicable to structures within the LDR zoning district. Pursuant to Title 20 section 20.42.030.F, the minimum requirements contain a lot size of at least 1 acre, a front setback of 30 feet, side setbacks equal to 10 percent of the lot width (up to a maximum of 20 feet), and a rear setback of 20 feet. The garage is attached to the proposed residence and therefore, is subject to the same site development standards as the main structure pursuant to Title 20 section 20.62.040.K. As proposed, the residence and attached accessory structure will be over 30 feet from the front, over 20 feet from the side, over 20 feet from the rear, and a proposed height of 21 feet 9 inches for the residence as measured from average natural grade. The proposed habitable accessory structure (ADU) is subject to a 50-foot front setback, 6-foot side and rear setback, and a 15-foot maximum height, pursuant to Title 20 sections 20.14.060.C.2 and 20.64.030.C. As proposed, the accessory dwelling unit will meet the minimum setbacks and height requirements, as it has an over 50-foot front setback, over 6-foot side and rear setback, and a height of 15 feet. The subject property has an allowable building site coverage of 15 percent, and as proposed, the lot coverage will be 12.5 percent. There is a floor area ratio requirement of not over 20 percent, as proposed, the structures will be 12.5 percent. Pursuant to Del Monte Forest LUP Policy 77, the impervious surface of the proposed development shall not exceed 9,000 square feet of site coverage. As proposed, the development will contain 8,986 square feet of impervious surface. Therefore, the property complies with the required site development standards based on the applicable LDR zoning district.
- f) Tree Removal. The proposed project involves the removal of 92 protected trees. However, as detailed in Finding No. 5 and supporting evidence, the proposed tree removal is the minimum required under the circumstances, and the removal will not involve a risk of adverse environmental impacts. The previously approved PBC Concept Plan (HCD Planning File No. PLN100138; Board Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the DMF Coastal Zone. Poppy 2 Subdivision (Area I-2), a standard subdivision was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a coastal development permit to allow tree removal; therefore, subsequent coastal development permits to allow tree removal are not required provided the proposed development is consistent with the parameters of the Concept Plan. Therefore, in this case, a subsequent coastal development permit to allow tree removal is not required.
- g) Cultural Resources. According to Monterey County Geographic Information System (GIS) records identifies the subject property to be within a moderate archaeological sensitivity area and is not within a

known or potential archaeological resource area. Therefore, an archaeological report is not required under the DMF CIP section 20.147.080.B.1. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction

- h) Driveway. The DMF LUP Policy 1 and Coastal Implementation Plan (CIP) Section 20.147.090.A.2 (Land Use and Development) require new residential driveways to minimize surface length and width and provide simple and direct access. Based on topography, fire access requirements, and minimization of tree removal on the parcel, the proposed driveway and parking area meet these requirements. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes impacts to trees and other vegetation on the project site, and provides the minimum required parking for the proposed ADU and single-family dwelling.
- i) Public Access. As demonstrated in Finding 7, the development is consistent with public access policies of the DMF LUP.
- j) Accessory Dwelling Unit. As demonstrated in Finding 8, the development is consistent with the accessory dwelling unit regulation in Title 20 section 20.64.030.
- k) Land Use Advisory Committee. The project does not involve a public hearing Design Approval, a Lot Line Adjustment in the Coastal Zone, preparation of an Initial Study, or a Variance. Therefore, the project was not referred to the North County Land Use Advisory Committee (LUAC) for review as outlined in the LUAC Guidelines contained in Board Order Resolution No. 15-043.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250150.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The following reports have been prepared:
 - “(Addendum to) Tree Assessment/Forest Management Plan 1461 Lisbon Ct” (LIB250181) prepared by Frank Ono, Pacific Grove, CA on January 15, 2025.
 - “Geotechnical Investigation for the Proposed Single Family Residence with Attached Garage and Accessory Dwelling Unit

with Attached Garage, 1461 Lisbon Ct" (LIB250182) prepared by Soils Surveys Group Inc, Salinas, CA on April 25, 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250150.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) All necessary public facilities are available to the subject property. Sewer service will be provided by Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal. The subject parcel is located outside of any identified FEMA Flood Zones, floodways, and recharge areas. No graywater/rainwater catchment systems are proposed as part of the project. Potable water will be provided by the California American Water Company using water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (HCD-Planning File No. PLN100138). A water entitlement from the Monterey Peninsula Water Management District was included in the application for the subject property for domestic water use.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250150.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a virtual site inspection and researched County records to assess if any violation exists on the subject property.

c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250150.

5. FINDING: **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

EVIDENCE:

- a) Consistent with section 20.147.050 of the DMF CIP, a Tree Assessment and Forest Management Plan (County of Monterey Library No. LIB250181) was submitted to evaluate the proposed tree removal and address potential impacts.
- b) The project includes the removal of 92 protected trees, including 1 Coast live oak and 90 Monterey pines, 1 of which is dead. Of the 92 trees, there are 3 landmark Monterey pines proposed for removal. The parcel is located within the Poppy 2 Subdivision (Area I-2), a standard subdivision was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a coastal development permit to allow tree removal; therefore, subsequent coastal development permits to allow tree removal are not required provided the proposed development is consistent with the parameters of the Concept Plan.
- c) The subject lot is densely forested, containing 186 trees onsite. The trees are evenly scattered across the whole property. Avoiding tree removal is not feasible for developing this lot, especially with the size of the proposed project. The arborist report shows that the densest tree cover is in the north and east areas of the property. Consistent with DMF CIP section 20.147.050.C.4 and DMF LUP Policy 33, the applicants sited their development outside of these densely forested areas to impact as few trees as possible.
- d) The original design required the removal of 105 trees to accommodate the development. Staff reviewed this request and encouraged the applicant to reduce the overall size of the project to reduce tree removal. Minimizing tree removal is required by Policy 33 of the DMF LUP, which states that “Siting, design, and land use concepts that minimize removal and damage should be applied and are preferred”. The Applicant returned with a reduced scope of work and a request to remove 92 trees. After multiple reductions, the applicants have minimized the tree removal to the maximum extent. Ninety-two trees are the minimum amount to be removed under the circumstances.
- e) To accommodate the proposed single-family residence, 1 landmark Monterey pine will be removed. This removal is necessary due to the placement of the proposed structure. Two landmark Monterey pine trees will be impacted due to the placement of the driveway and auto court. Eighty-eight (88) Monterey pines and one (1) Coast live oak are considered to be in a fair or poor condition. Due to the slight sloping topography of the property, excavation is required on the eastern portion of the property to create a level building surface. Additional grading is necessary for proper slope and grade transitions and other amenities (walkways, staircases, retaining walls, outdoor recreation, or meeting areas) surrounding the structure and driveway footprint. Of these trees

impacted by grading, two Oaks and two Pines are in poor condition. Trees proposed for removal associated with grading and driveway impacts have been minimized as required by DMF LUP Policy 35. Many of the trees proposed for removal were noted as having a shallow roots and root uplift, leading to high potential for wind throw failure.

- f) The arborist confirmed the proposed tree removal will not have adverse impacts on forest resources. The lot has many trees, and over 50% of them will remain untouched by the project. There are no confirmed environmentally sensitive habitat areas (ESHA) on-site. As the tree removal is occurring outside of any ESHA, the project is consistent with section 20.147.050.C.3.a of the DMF CIP.
- g) Pursuant to DMF CIP section 20.147.050.B.1, a Forest Management Plan was submitted to the County for review. This plan can be found on sheet A-1.2 of the attached plan set. It identifies the different fuel management zones and lists maintenance practices to minimize fuel onsite while maintaining a healthy forest.
- h) Existing trees within the vicinity of the project site that are not being removed will be protected throughout construction. Protective fencing will be installed around the drip line of the protected trees to ensure no development occurs within the critical root zone. This measure has been implemented as a Condition of Approval, Condition No. 4.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN250150.

6. FINDING: **CEQA / Previously-Certified Environmental Impact Report (EIR) –**
 The project is consistent with the previously-certified Final Environmental Impact Report for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the CEQA Guidelines, the HCD Chief of Planning finds that the project does not require a subsequent EIR based on the following findings:

- No substantial changes are proposed by the project which will require major revisions to the previous EIR due to new significant environmental effects;
- No substantial changes occurred with respect to the circumstances under which the project is undertaken which will require major revisions to the previous EIR due to the involvement of new significant environmental effects; or
- No new information of substantial importance has been provided which was not known at the time of the previous EIR

EVIDENCE: a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review. None of the

conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

- b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for the associated Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel was part of the PBC Concept Plan development proposal.
- c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
- d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.
- e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
- f) The project proposes residential development on a 1.42-acre lot identified in the Poppy 2 (Area I-2) as Lot 11, which was part of the certified EIR for the LCP Amendment and the PBC Concept Plan development proposal. The Final EIR identifies the lot to be impacted by up to 15,000 square feet of structural, hardscape, and landscape residential development. Tree removal proposed as part of this project was analyzed in the Final EIR and mitigated for off-site replacement. No mitigation measures from the Final EIR are required to be applied to this project.
- g) The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a new significant effect, or development that would result in a new cumulative significant impact.
- h) No adverse environmental effects were identified during staff review of the development application, and there are not any significant adverse impacts associated with this project that have not been adequately mitigated in the conditions of the PBC Concept Plan.

7. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE: a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130.

- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where Major Public Access & Recreational Facilities requires visual or physical public access (Figure 8, DMF LUP).
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250150.

8. FINDING: **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20 section 20.64.030.

EVIDENCE:

- a) Title 20 section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 1,172 square foot Accessory Dwelling Unit (ADU) that includes independent living facilities as shown in the attached plans.
- b) The ADU is below the maximum 1,200 square foot floor area and will be the first ADU on the subject property. The ADU is to be sited along the northwest side of the parcel, approximately 50 feet away from the front property line and 10 feet away from the rear property line (see attached plans and Finding 1, Evidence “e”).
- c) As defined in Title 20, Section 20.58.040, the ADU requires one parking space. Consistent with this requirement, the ADU will have two parking spaces located on the auto court as shown in the attached plans.
- d) The ADU meets the required site development standards and design criteria as defined in Title 20 Section 20.12.060 and Chapter 20.44 (See Finding 1, Evidence “d” and “e”).
- e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities, and no further comments or conditions were provided (See Finding 3).
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN250150.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE:

- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) Coastal Commission. This project is not appealable through the Coastal Commission as it is not fit the coastal permit descriptions described in 20.86.080.A.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project consistent with the Final Environmental Impact Report, which does not warrant an addendum pursuant to CEQA Guidelines section 15162; and
2. Approve the Coastal Administrative Permit and Design Approval to allow the construction of a 5,986 square foot single family dwelling, a 610 square foot attached garage, associated site improvements, and a 1,172 square foot accessory dwelling unit with the removal of 91 Monterey Pine trees and 1 Coast Live Oak.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 17th day of September 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250150

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN250150) allows the construction of a 5,986 square foot single family dwelling, a 610 square foot attached garage, associated site improvements, and a 1,172 square foot accessory dwelling unit with the removal of 91 Monterey Pine trees and 1 Coast Live Oak. The property is located at 1461 Lisbon Court, Pebble Beach (Assessor's Parcel Number 008-031-030-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-031-030-000 on September 17, 2025. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

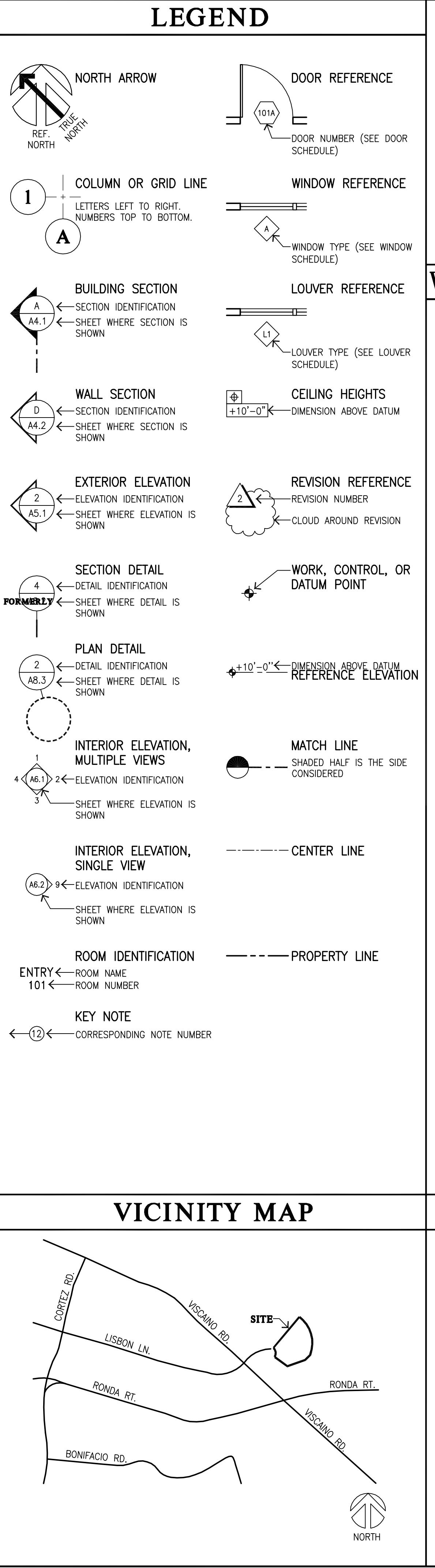
9. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

ABBREVIATIONS	
&	And
L	Angle
@	At
¢	Centerline
Ø	Diameter or Round
¶	Perpendicular
#	Pound or Number
(E)	Existing
ACOUS.	Acoustical
A.D.	Area Drain
ADJ.	Adjustable
AGGR.	Aggregate
AL.	Aluminum
APPROX.	Approximate
ARCH.	Architectural
ASPH.	Asphalt
BD.	Board
BITUM.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
BOT.	Bottom
CAB.	Cabinet
C.B.	Catch Basin
CEM.	Cement
CER.	Ceramic
C.I.	Cast Iron
CLG.	Ceiling
CLO.	Closet
CLR.	Clear
COL.	Column
CONC.	Concrete
CONN.	Connection
CONSTR.	Construction
CONT.	Continuous
CORR.	Corridor
CTSK.	Countersunk
CNTR.	Counter
CTR.	Center
DBL.	Double
DEPT.	Department
D.F.	Drinking Fountain
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DISP.	Dispenser
DN.	Down
D.O.	Door Opening
DR.	Door
DWR.	Drawer
DS.	Downspout
D.S.P.	Dry Standpipe
DWG.	Drawing
E.	East
EA.	Each
E.J.	Expansion Joint
EL.	Elevation
ELEC.	Electrical
EMER.	Emergency
ENCL.	Enclosure
E.P.	Electrical Panelboard
EQ.	Equal
EQPT.	Equipment
E.W.C.	Electric Water Cooler
EXIST.	Existing
EXPO.	Exposed
EXP.	Expansion
EXT.	Exterior
F.A.	Fire Alarm
F.B.	Flat Bar
F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cabinet
F.H.C.	Fire Hose Cabinet
FIN.	Finish
FL.	Floor
FLASH.	Flashing
FLUOR.	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Studs
FPRF.	Fireproof
F.S.	Full Size
FT.	Foot or Feet
FTG.	Footing
FURR.	Furring
FUT.	Future
GA.	Gauge
GALV.	Galvanized
G.B.	Grab Bar
GL.	Gloss
CND.	Ground
GR.	Grade
GYP.	Gypsum
H.B.	Hose Bibb
H.C.	Hollow Core
HDWD.	Hardwood
HDWE.	Hardware
HORIZ.	Horizontal
HR.	Hour
HGT.	Height
ID.	Inside Diameter (Dim.)
INSUL.	Insulation
INT.	Interior
JAN.	Janitor
JT.	Joint
KIT.	Kitchen
LAB.	Laboratory
LAM.	Laminate
LAV.	Lavatory
LKR.	Locker
LT.	Light
MAX.	Maximum
M.C.	Medicine Cabinet
MECH.	Mechanical
MEMB.	Membrane
MET.	Metal
MFR.	Manufacturer
MH.	Manhole
MIN.	Minimum
MIR.	Mirror
MISC.	Miscellaneous
M.O.	Masonry Opening
MTD.	Mounted
MUL.	Mullion
N.	North
N.I.C.	Not in Contract
NO. or #	Number
NOM.	Nominal
N.T.S.	Not to Scale
OA.	Overall
OBS.	Observe
O.C.	On Center
O.D.	Outside Diameter (Dim.)
OFF.	Office
OPNC.	Opening
OPP.	Opposite
PR.	Pan
PT.	Point
P.T.D.	Paper Towel Dispenser
P.T.D./R	Combination Paper Towel Dispenser & Receptacle
PTN.	Partition
P.T.R.	Paper Towel Receptacle
PT.	Point
PTC.	Pre-cast
PL.	Plate
P. LAM.	Plastic Laminate
PLAS.	Plaster
PLYWD.	Plywood
PR.	Pan
PT.	Point
P.T.D.	Paper Towel Dispenser
P.T.D./R	Combination Paper Towel Dispenser & Receptacle
PTN.	Partition
P.T.R.	Paper Towel Receptacle
PT.	Point
Q.T.	Quarry Tile
R.	Riser
RAD.	Radius
R.D.	Roof Drain
REF.	Reference
REFR.	Refrigerator
RCTR.	Register
REINF.	Reinforced
REQ.	Required
RESIL.	Resilient
RM.	Room
R.O.	Rough Opening
RWD.	Redwood
R.W.L.	Rain Water Leader
S.	South
S.C.	Solid Core
S.C.D.	Seat Cover Dispenser Schedule
SCHED.	Schedule
S.D.	Soap Dispenser
S.F.	Square Feet
SECT.	Section
SECT.	Section
SH.	Shelf
SHR.	Shower
SHT.	Sheet
SIM.	Similar
S.N.D.	Sanitary Napkin Dispenser
S.N.R.	Sanitary Napkin Receptacle
SPEC.	Specification
SQ.	Square
SST.	Stainless Steel
S.S.K.	Service Sink
STA.	Station
STD.	Standard
STL.	Steel
STOR.	Storage
STRUCT.	Structural or Structure
SUSP.	Suspended
SYM.	Symmetrical
TRD.	Tread
T.B.	Towel Bar
T.C.	Top of Curb
TEL.	Telephone
TER.	Terrazzo
T.G.C.	Tongue and Groove
THK.	Thickness
T.P.	Top of Pavement
T.P.D.	Toilet Paper Dispenser
T.V.	Television
T.W.	Top of Wall
TYP.	Typical
UNF.	Unfinished
U.O.N.	Unless Otherwise Noted
UR.	Urinal
VERT.	Vertical
VEST.	Vestibule
W.	West
W/	With
W.C.	Water Closet
WD.	Wood
W/O	Without
WP.	Waterproof
WSCT.	Wainscot
WT.	Weight



VICINITY MAP		APPLICABLE CODES		SHEET INDEX		PROJECT DIRECTORY	
		2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA REFERENCE STANDARDS CODE (CRSC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODES (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA GREEN BUILDING STDS. CODE (CA GREEN) MANDATORY MEASURES ONLY		ARCHITECTURAL A0.0 TITLE SHEET A1.1 SITE PLAN A1.2 FIRE PROTECTION MANAGEMENT PLAN A1.3 AREA CALCULATIONS A2.1 FLOOR PLAN A3.1 SECTIONS A3.2 SECTIONS A4.1 ELEVATIONS A4.2 ELEVATIONS A5.1 ROOF PLAN A6.2 EXTERIOR LIGHTING PLAN A11.1 ADU FLOOR PLAN A11.2 ADU SECTIONS A11.3 ADU ELEVATIONS A11.4 ADU ROOF PLAN	CIVIL C1 CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN C2 GRADING SECTIONS C3 EROSION & SEDIMENT CONTROL PLAN C4 CONSTRUCTION MANAGEMENT PLAN	OWNER RICHARD ZHANG 1461 LISBON COURT PEBBLE BEACH, CA 93953 (831) 443-6970 rzhang2403@hotmail.com ggirardo@landseng.com	CIVIL ENGINEER: LANDSET ENGINEERS 520 CRAZY HORSE CANYON RD. SUITE B SALINAS, CA 93907 (831) 443-6970 ggirardo@landseng.com

ZHANG RESIDENCE
1461 LISBON COURT
PEBBLE BEACH, CA 93953
APN: 008-031-030

WILDLAND URBAN INTERFACE NOTES

DEFERRED APPROVAL

PROJECT DESCRIPTION

1. PHOTOVOLTAIC

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

2. FIRE SPRINKLERS

FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD.

SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO SUBMITTAL TO THE LOCAL FIRE JURISDICTION OR BUILDING DEPARTMENT FOR THEIR REVIEW AND APPROVAL.

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN ALLOWABLE FIRE-FLOW APPENDIX TABLE B105.1, OR ADDITIONS EXCEEDING FIFTY (50) PERCENT OF THE EXISTING LIVING AREA. (EXISTING SQ. FT. CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT) AND/OR ADDITIONS EXCEEDING 750 SQ. FT. WHEN AUTOMATIC FIRE SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. SEE MUNICIPAL CODE SECTION R313.2

THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUANCE DATE OF PAST ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE

ALL FIRE SPRINKLER PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION & APPROPRIATE FEES SHALL BE SUBMITTED DIRECTLY TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A CALIFORNIA STATE LICENSED C-16 FIRE PROTECTION CONTRACTOR PER CRC SEC. 313.2 AS ADOPTED & AMENDED BY LAMC

THE OWNER(S), OCCUPANT(S) OR ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. THE CALIFORNIA WATER SERVICE REQUIRES DOUBLE CHECK VALVES INSTALLED ON BUILDINGS EQUIPPED WITH FIRE SPRINKLERS

PROPOSED FLOOR AREA - 20% MAXIMUM F.A.R.

(SEE A1.2 AREA CALCULATIONS)

MAIN HOUSE 5,986 S.F.

GARAGE 610 S.F.

TOTAL FLOOR AREA 6,596 S.F.

F.A.R: 62,128/6,596 = 9.4% F.A.R.

BUILDING SITE COVERAGE - 15% MAXIMUM

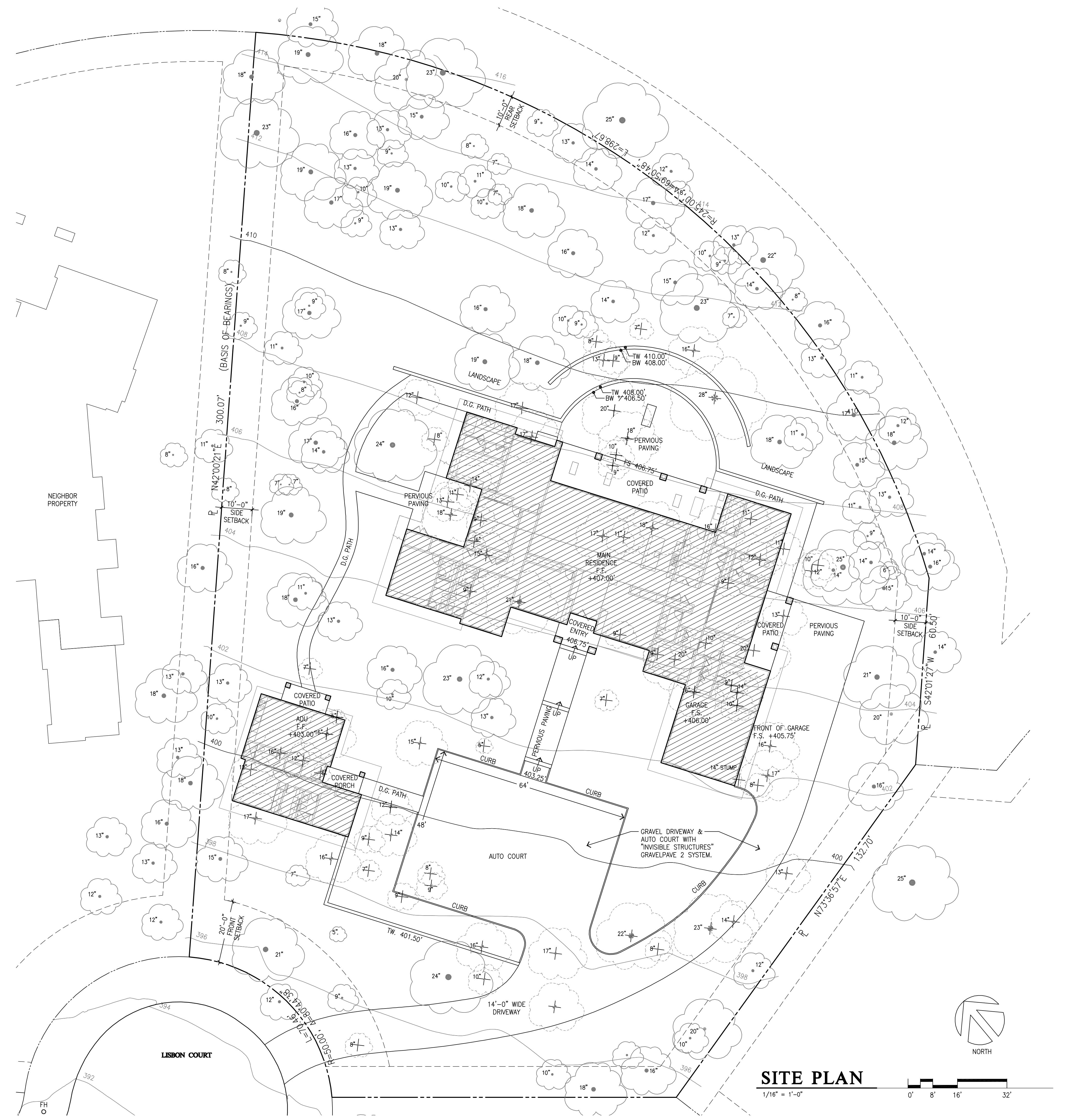
(SEE A1.2 AREA CALCULATIONS)

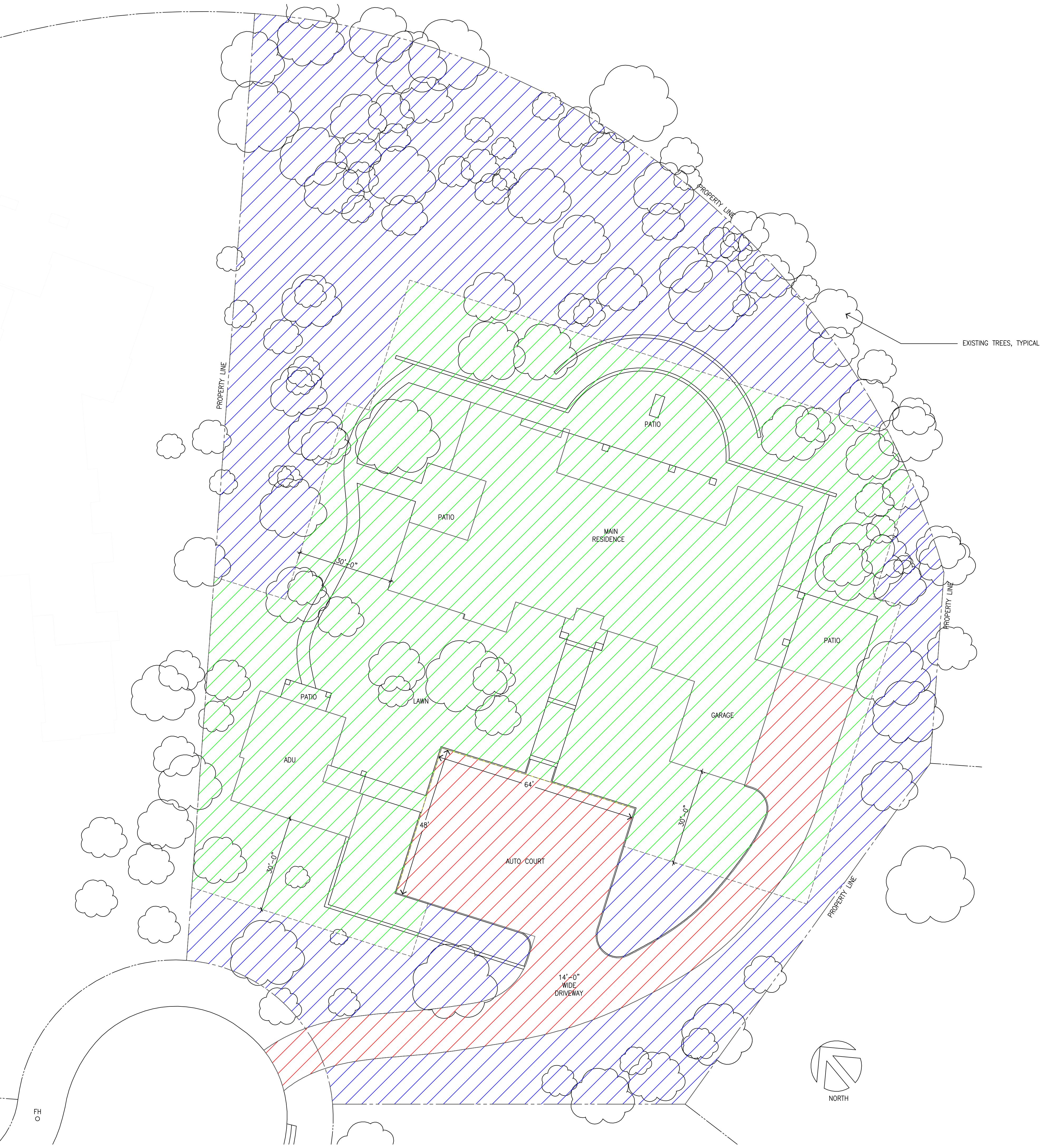
MAIN HOUSE 5,986 S.F.

GARAGE 610 S.F.

ADU 1,172 S.F.

TOTAL BUILDINGS 7,768 S.F.





LEGEND

-  "GREEN ZONE"
SEE NOTES BELOW
-  "MANAGEMENT ZONE"
SEE NOTES BELOW
-  "EMERGENCY VEHICLE ACCESS"
DRIVEWAY SLOPE: 8.4% MAX.
WIDTH: 14 FEET
SURFACE: CONCRETE

FIRE PROTECTION MANAGEMENT PLAN

1. CALIFORNIA LAW (PRC 4291) REQUIRES PROPERTY OWNERS TO CREATE AND MAINTAIN ADEQUATE DEFENSIBLE SPACE AROUND HOMES AND BUILDINGS. DEFENSIBLE SPACE IS CREATED THROUGH PROPER IMPLEMENTATION OF FUEL MODIFICATION AND MANAGEMENT PRACTICES AROUND STRUCTURES. THIS INCLUDES THE REMOVAL OF HIGHLY FLAMMABLE AND DEAD VEGETATION, THE THINNING AND PROPER SPACING OF DENSELY VEGETATED AREAS TO DISRUPT THE CONTINUITY OF COMBUSTIBLE FUEL LOADS, AND THE PROPER EXECUTION OF FIREWISE LANDSCAPING PRACTICES AND PRINCIPLES. FIREWISE OR FIRESAFE LANDSCAPING PRACTICES INCLUDE UTILIZING VARIOUS TYPES, PLANTING CONFIGURATIONS AND ARRANGEMENTS, AND LANDSCAPING MATERIALS AND DESIGN CONCEPTS THAT ARE LESS COMBUSTIBLE AND MORE FIRE RESISTANT THAT WILL ASSIST IN REDUCING THE ABILITY OF FIRE TO SPREAD HORIZONTALLY AND VERTICALLY. FOR EXAMPLE, A FIREWISE LANDSCAPE SHOULD CONSIST OF PROPERLY SPACED AND MAINTAINED SHRUBS AND TREES, AS WELL AS LOWER GROWING NATIVE PERENNIAL GRASSES, GROUNDCOVERS (INCLUDING MULCHES) AND/OR HERBACEOUS PERENNIALS THAT ARE GENERALLY LESS FLAMMABLE. ADDITIONALLY, MORE COMBUSTIBLE MASS PLANTINGS AND DENSE VEGETATION GROUPINGS SHOULD BE AVOIDED.
2. THE GREEN ZONE IS THE AREA 0-30 FEET IMMEDIATELY SURROUNDING THE HOME. HOME REMODEL AND LANDSCAPE IMPROVEMENT ACTIVITIES IN THIS GREEN ZONE AREA WILL CONSIST OF FIRESAFE LANDSCAPE MATERIALS AND LOW COMBUSTIBILITY DROUGHT TOLERANT FLORA, INCLUDING SOME EXISTING ORNAMENTAL VEGETATION THAT WILL BE SELECTIVELY RETAINED. THIS FIRESAFE LANDSCAPE WILL BE DESIGNED AND MAINTAINED IN A MANNER TO PROVIDE PROPER HORIZONTAL AND VERTICAL SPACING BETWEEN VARIOUS VEGETATION TYPES, AND LARGER GROWING TREES AND SHRUBS WILL BE MAINTAINED TO REMOVE DEAD AND HEALTHY COMBUSTIBLE MATERIALS.
3. THE MANAGEMENT ZONE (AKA, REDUCED FUEL ZONE) IS THE AREA 30-100 FEET (OR TO THE PROPERTY LINE) AROUND THE HOME. PRIOR TO THE DRY SEASON HIGHLY COMBUSTIBLE NON-NATIVE ANNUAL GRASSES WILL BE MOVED TO A HEIGHT OF 4 INCHES. DEAD MATERIALS THAT POSE A FIRE HAZARD WILL BE REMOVED AND PROPERLY DISPOSED; SHRUBS WILL BE THINNED AND MAINTAINED TO PROVIDE ADEQUATE HORIZONTAL AND VERTICAL SEPARATION (AMOUNT OF SPACE BETWEEN SHRUBS AND PLANT GROUPINGS DEPENDS ON STEEPNESS OF SLOPE AND SIZE AND TYPE OF PLANTS); AND DEAD, UNHEALTHY AND/OR STRUCTURALLY PROBLEMATIC TREE LIMBS WILL BE REMOVED TO A HEIGHT OF 6 FEET ABOVE GRADE OR TO 3X THE HEIGHT OF UNDERSTOREY VEGETATION (WHICHEVER IS HIGHER) TO REMOVE POTENTIALLY HAZARDOUS LADDER FUELS. AVOID EXCESSIVE PRUNING AND REMOVAL OF HEALTHY AND STRUCTURALLY SOUND LIMBS, PARTICULAR LIMBS THAT ARE 6 INCHES DIAMETER OR GREATER.
4. FOR LANDSCAPE IMPROVEMENTS AND ENHANCEMENT, USE NATIVE OR NON-INVASIVE ORNAMENTAL PLANTS THAT ARE APPROPRIATE TO THE SITE. PLANTS AND MATERIALS SELECTED FOR LANDSCAPING OPERATIONS SHOULD BE OF LOWER COMBUSTIBILITY AND VOLATILITY, DROUGHT TOLERANT, AND SHOULD NOT BE POTENTIALLY DEGRADING (E.G., INVASIVE) TO SURROUNDING HABITAT. INDIGENOUS FLORA OCCURRING ON THE PROPERTY SHOULD BE RETAINED AND PRESERVED. REMOVE AND MANAGE HIGHLY COMBUSTIBLE AND HABITAT DEGRADING EXOTIC INVASIVE WEEDS, AND PROMOTE THE ESTABLISHMENT OF NATIVE VEGETATION THAT GENERALLY TENDS TO BE LESS FLAMMABLE.
5. REMOVE DRY LEAVES AND PINE NEEDLES FROM ROOF AND RAIN GUTTERS, MAINTAIN ADEQUATE CLEARANCE AROUND STRUCTURE, AND KEEP TREE BRANCHES A MINIMUM 10 FEET AWAY FROM CHIMNEY OR STOVE OUTLETS.

ZHANG RESIDENCE

Project No: 22417

LOUIE LEU ARCHITECT, INC.

1461 LISBON COURT, PEBBLE BEACH, CA 93953

FIRE PROTECTION MANAGEMENT PLAN

Scale: 1/16" = 1'-0"

Date/Revisions:
03-20-25 PROGRESS

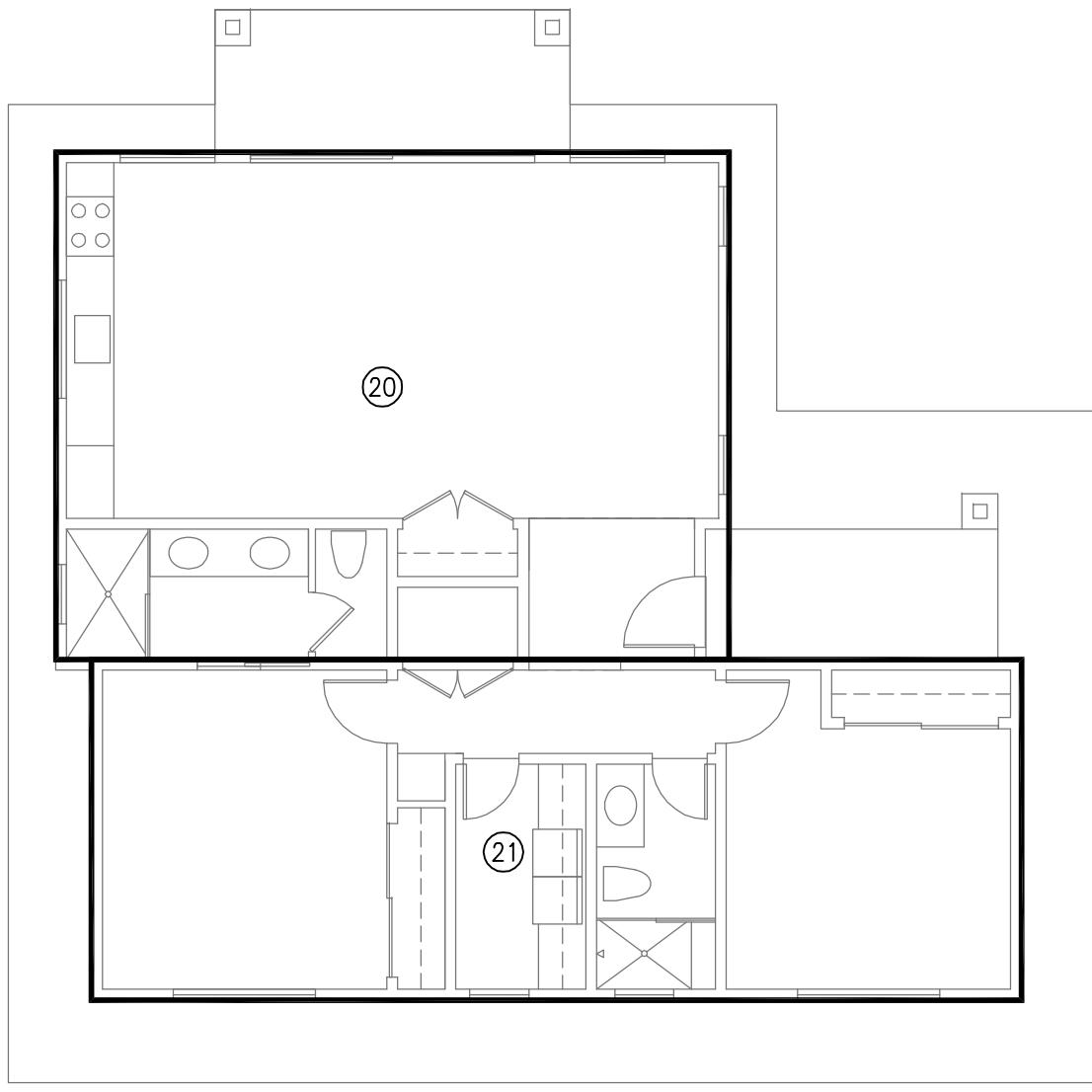
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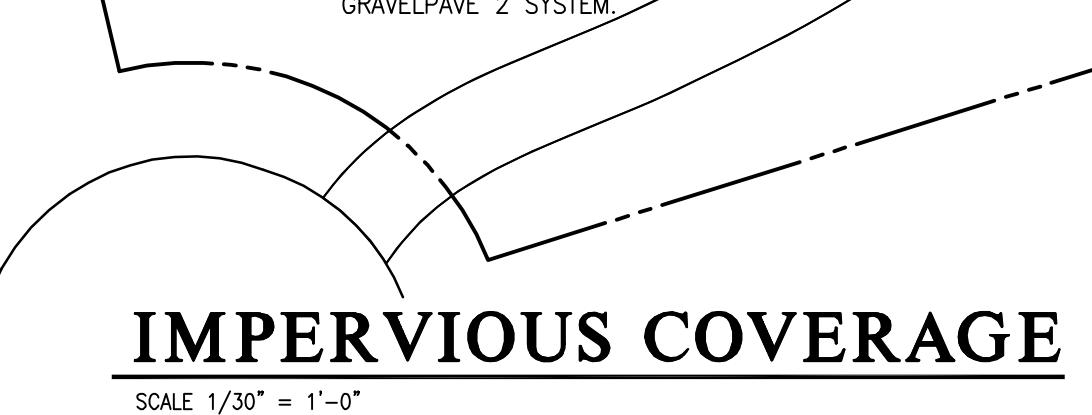
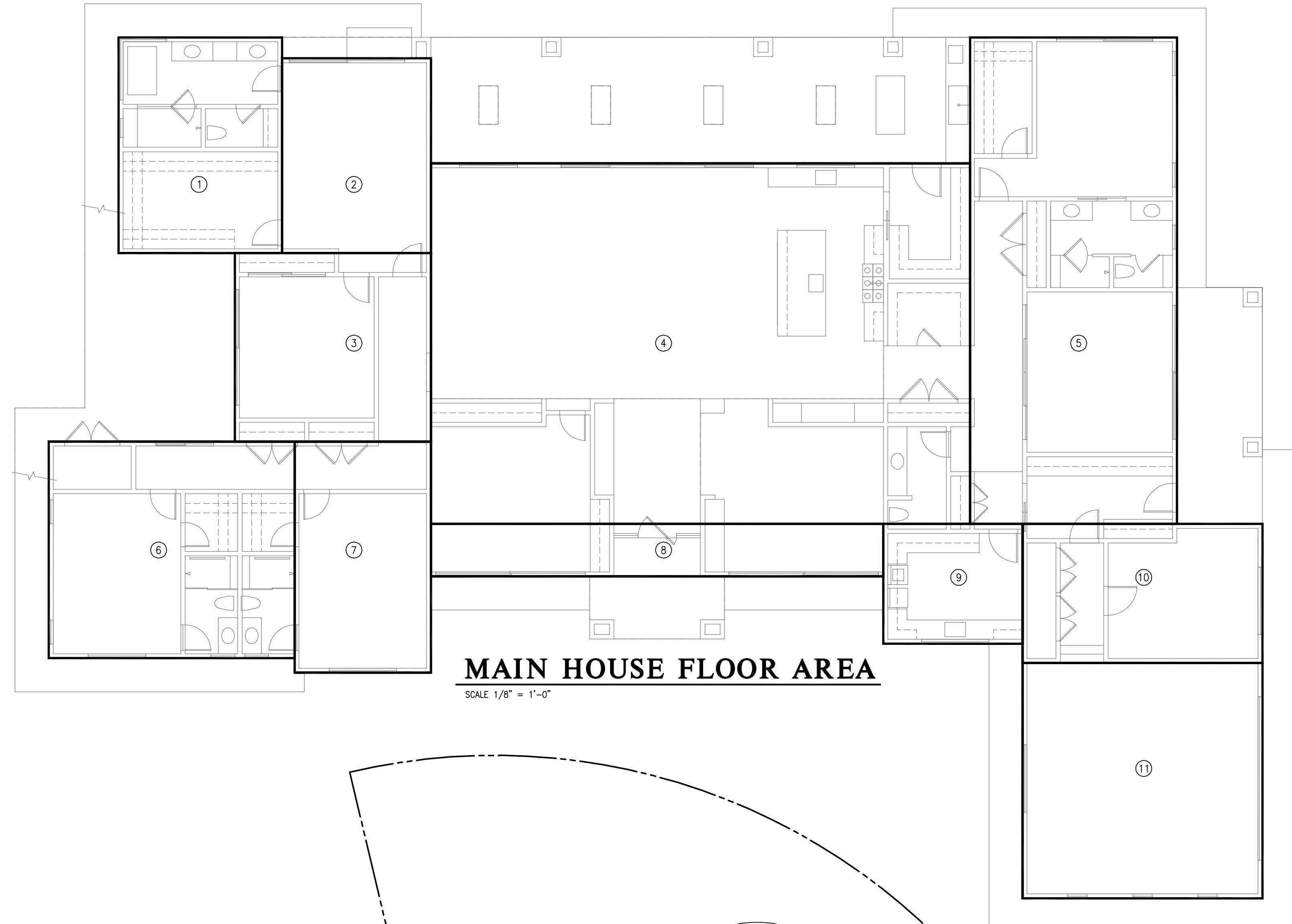
DESIGN FOR LIVING

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.



ADU FLOOR AREA

SCALE 1/8" = 1'-0"



ZHANG RESIDENCE

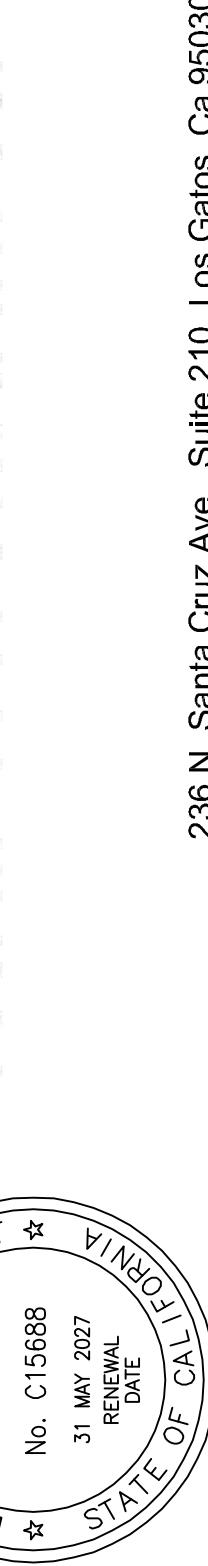
Project No: 22417

1461 LISBON COURT, PEBBLE BEACH, CA 93953

AREA CALCULATIONS

Date/Revisions:
03-20-25 PROGRESS
Sheet No:
A - 1.3

LOUIE LEU ARCHITECT INC.



236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030

Ph. (408) 359-2222 Fax (408) 359-2223 www.louiseluarch.com

PROPOSED FLOOR AREA		
TAG #	CALCULATION	AREA
MAIN HOUSE		
1	17'-0" x 22'-5"	381 SQ. FT.
2	15'-6" x 20'-3"	313 SQ. FT.
3	20'-4" x 19'-7"	398 SQ. FT.
4	56'-0" x 37'-5"	2,096 SQ. FT.
5	21'-6" x 50'-6"	1,086 SQ. FT.
6	25'-6" x 22'-6"	575 SQ. FT.
7	14'-2" x 24'-0"	340 SQ. FT.
8	47'-0" x 5'-5"	256 SQ. FT.
9	14'-5" x 12'-6"	180 SQ. FT.
10	24'-11" x 14'-6"	361 SQ. FT.
	TOTAL HOUSE	5,986 SQ. FT.
GARAGE		
11	24'-11" x 24'-6"	610 SQ. FT.
	TOTAL GARAGE	610 SQ. FT.
	TOTAL FLOOR AREA (20% MAX FAR.)	6,596 SQ. FT. (10.6%)
	SITE AREA	62,128 SQ. FT.
ACCESSORY DWELLING UNIT (ADU)		
20	28'-5" x 21'-5"	609 SQ. FT.
21	39'-3" x 14'-4"	563 SQ. FT.
	TOTAL ADU	1,172 SQ. FT.
BUILDING SITE COVERAGE		
	MAIN HOUSE	5,986 SQ. FT.
	GARAGE	610 SQ. FT.
	TOTAL HOUSE	6,596 SQ. FT.
	A.D.U.	1,172 SQ. FT.
	TOTAL BUILDING SITE COVERAGE (15% MAX)	7,768 SQ. FT. (12.5%)
	SITE AREA	62,128 SQ. FT.

IMPERVIOUS COVERAGE		
TAG #		AREA
B1	MAIN HOUSE	5,986 SQ. FT.
B2	GARAGE	610 SQ. FT.
B3	A.D.U.	1,172 SQ. FT.
	TOTAL BUILDING SITE COVERAGE	7,768 SQ. FT.
P1	MAIN HOUSE COVERED ENTRY PORCH	91 SQ. FT.
P2	GREAT ROOM COVERED PATIO	733 SQ. FT.
P3	REC ROOM COVERED PATIO	218 SQ. FT.
P4	MASTER BEDROOM PATIO	21 SQ. FT.
P5	A.D.U. COVERED PATIO	90 SQ. FT.
P6	A.D.U. COVERED ENTRY PORCH	65 SQ. FT.
	TOTAL COVERED PATIOS	1,218 SQ. FT.
	TOTAL IMPERVIOUS COVERAGE (9,000 SQ.FT. MAX)	8,986 SQ. FT.
	SITE AREA	62,128 SQ. FT.

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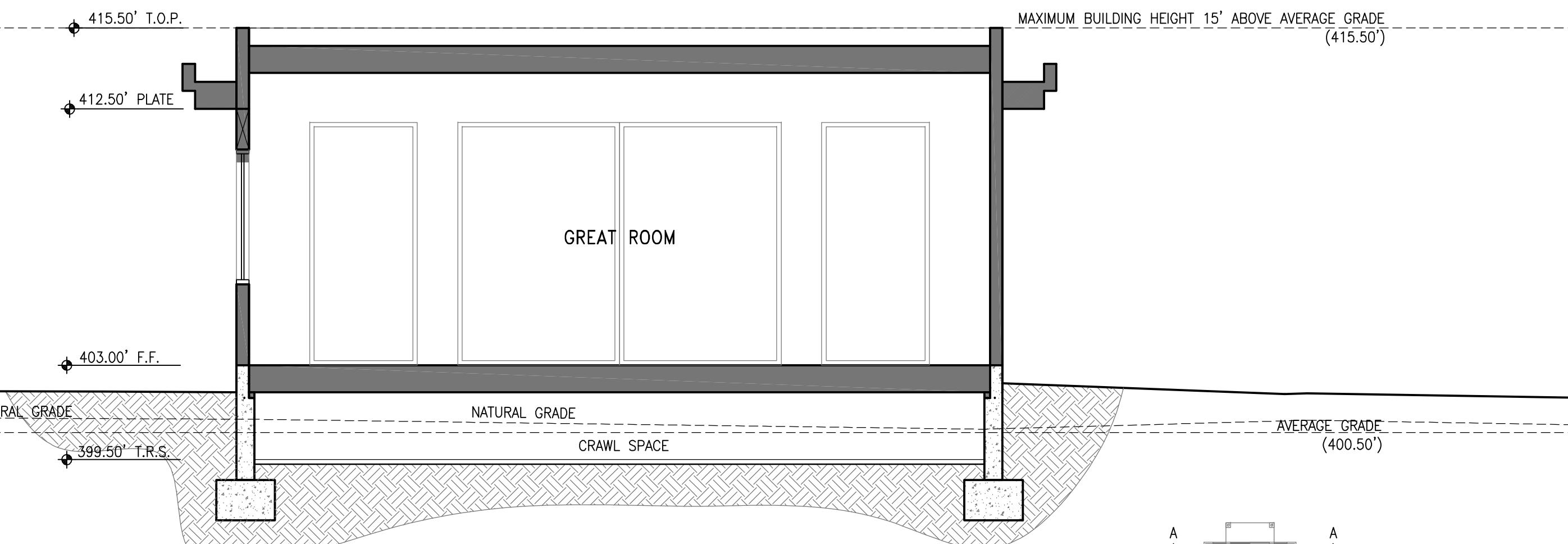
DESIGN FOR LIVING

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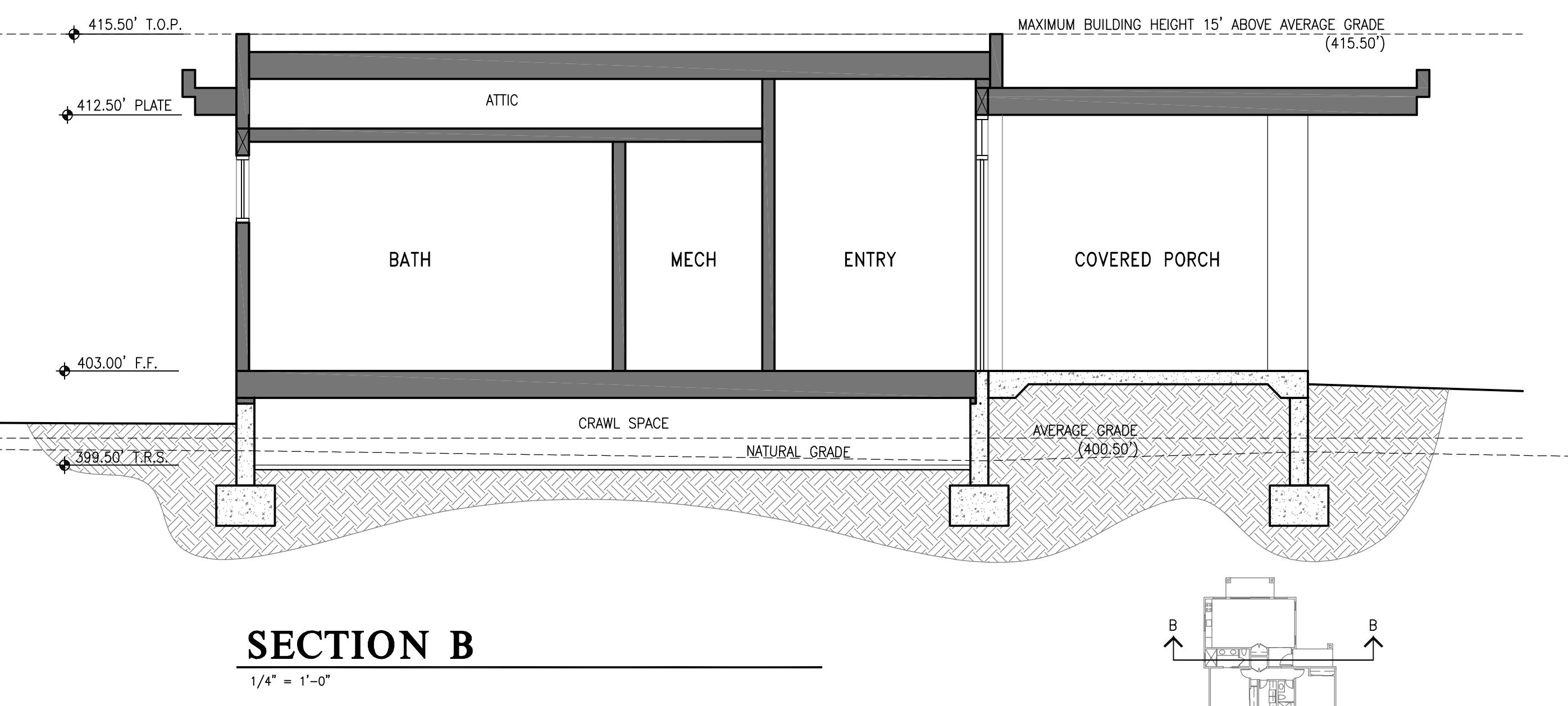
SECTION C

1/4" = 1'-0"



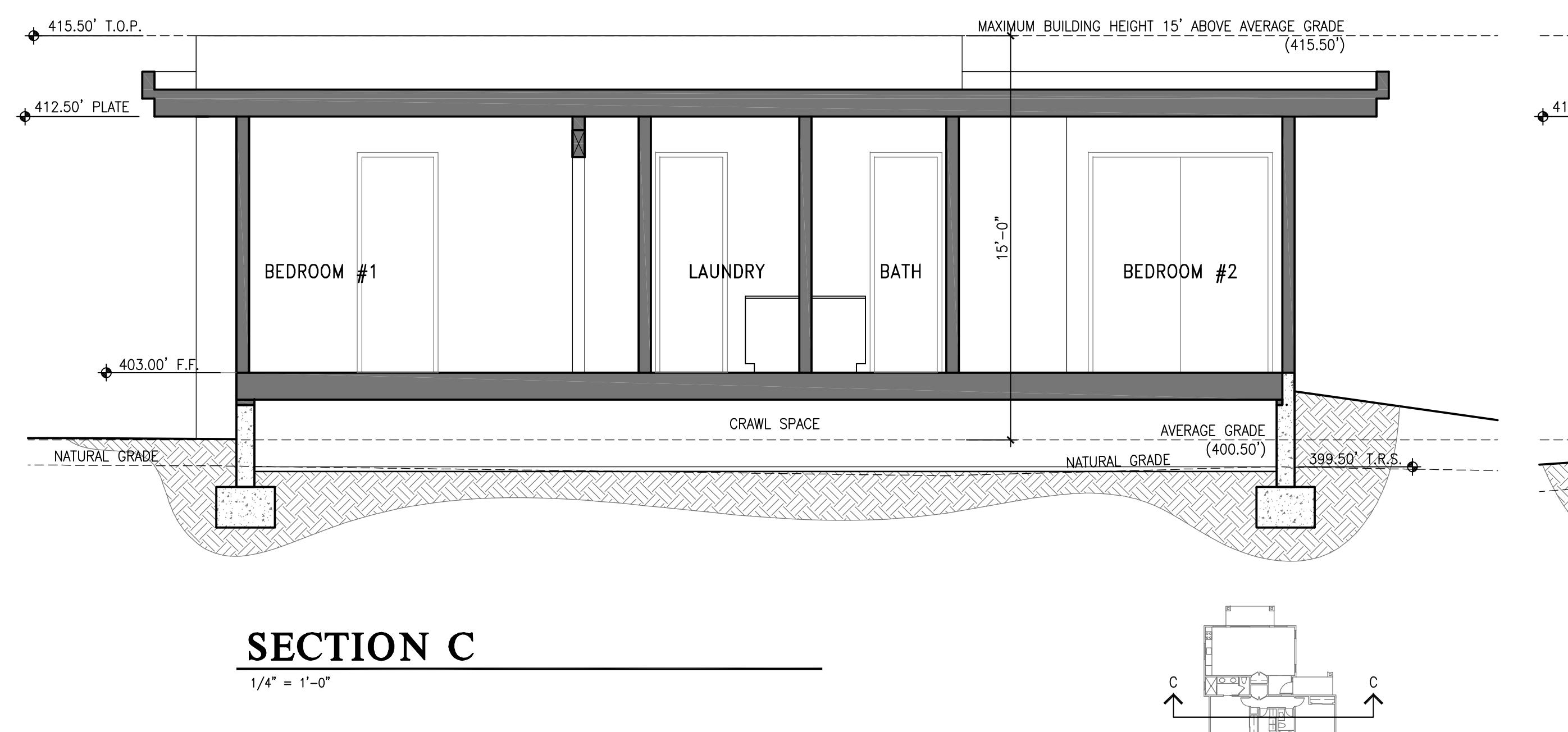
SECTION A

1/4" = 1'-0"



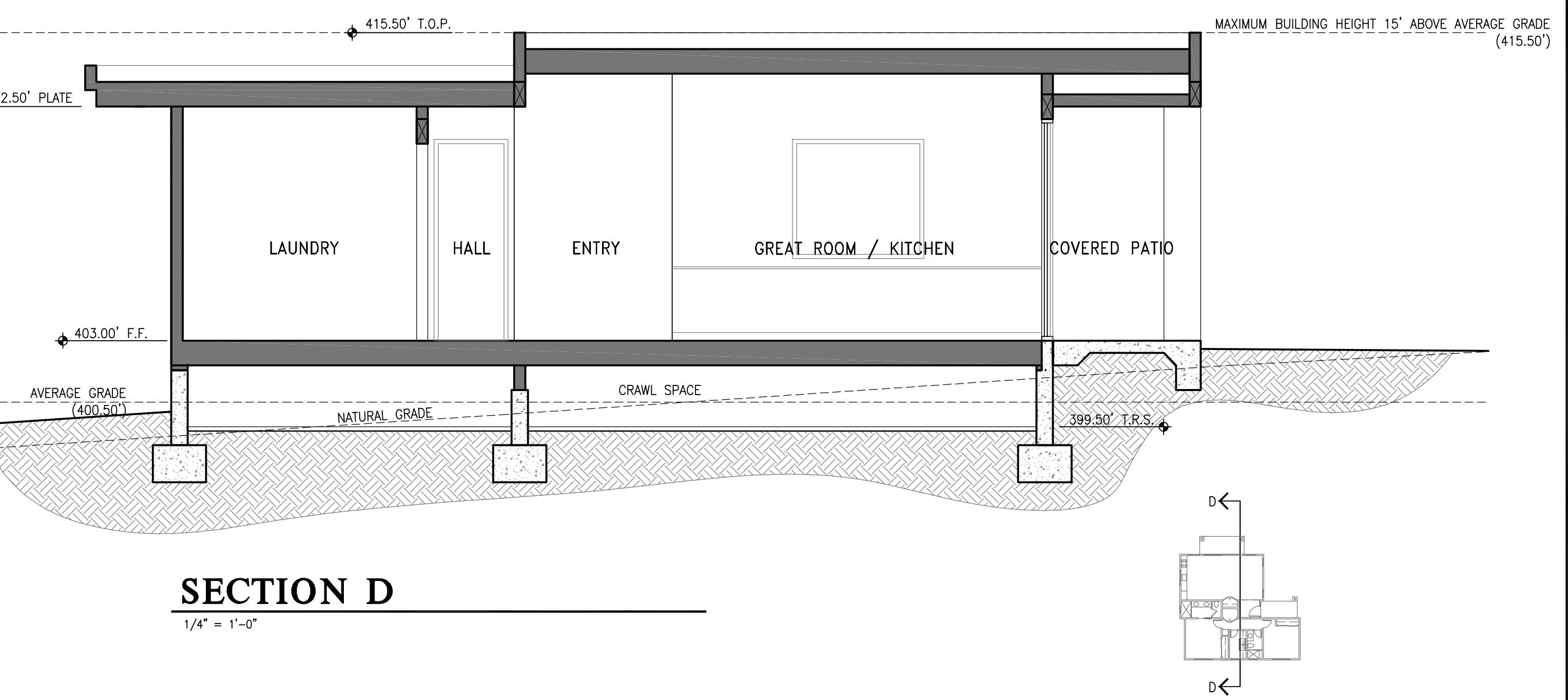
SECTION B

1/4" = 1'-0"



SECTION D

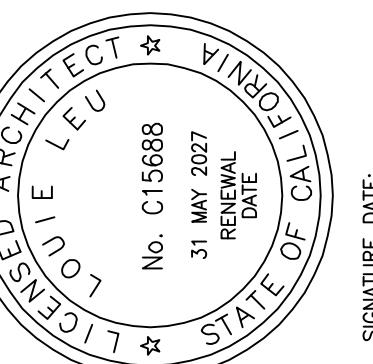
1/4" = 1'-0"



GENERAL NOTES

- A. PROVIDE FIREBLOCKING IN SPACES OF WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING LEVELS @ 10' MAX. INTERVALS, HORIZONTALLY & VERTICALLY.
- B. SEE STRUCTURAL DRAWINGS FOR DETAILS AND ADDITIONAL INFORMATION
- C. CONTRACTOR TO HAVE BLDG. ELEVATION HEIGHTS SURVEYED BY R.C.E. OR LLS OF RECORD FOR CONFORMANCE W/ HEIGHT RESTRICTIONS, PRIOR TO COMMENCEMENT OF UPPER FLOOR WALL AND ROOF FRAMING
- D. SEE J&K/A-9.4 DETAILS FOR UNDERFLOOR VENTILATION CALCS
- E. UNDERFLOOR PROTECTION (SECTION R337.7), THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS OR SHALL BE ENCLOSED TO GRADE.
- F. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR, AND UNDERSIDE OF APPENDAGES SHALL BE PROTECTED BY ONE OF THE FOLLOWING (SECTION R337.7.6, SECTION R337.7.7, SECTION R337.7.8, SECTION R337.7.9): A) NONCOMBUSTIBLE MATERIAL B) IGNITION-RESISTANT MATERIAL C) ONE LAYER OF 5/8" TYPE X DRYWALL ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK D) 1-HOUR RATED ASSEMBLY E) HORIZONTAL ASSEMBLIES THAT MEET THE TEST PROCEDURES SET FORTH IN ASTM E2957 F) HORIZONTAL ASSEMBLIES THAT MEET THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.
- G. DECKING (SECTION R337.9), WHEN WITHIN 10 FEET OF THE PRIMARY STRUCTURE, THE CONSTRUCTION OF DECKING SURFACES, STAIR TREADS AND RISERS AND LANDING OF DECKS, PORCHES AND BALCONIES SHALL COMPLY WITH ONE OF THE FOLLOWING: A) IGNITION RESISTANT, B) FIRE RETARDANT TREATED WOOD, C) NON-COMBUSTIBLE D) ANY MATERIAL THAT COMPLIES WITH SFM 12-7A-4A.

LOUIE LEU ARCHITECT INC.



ZHANG RESIDENCE

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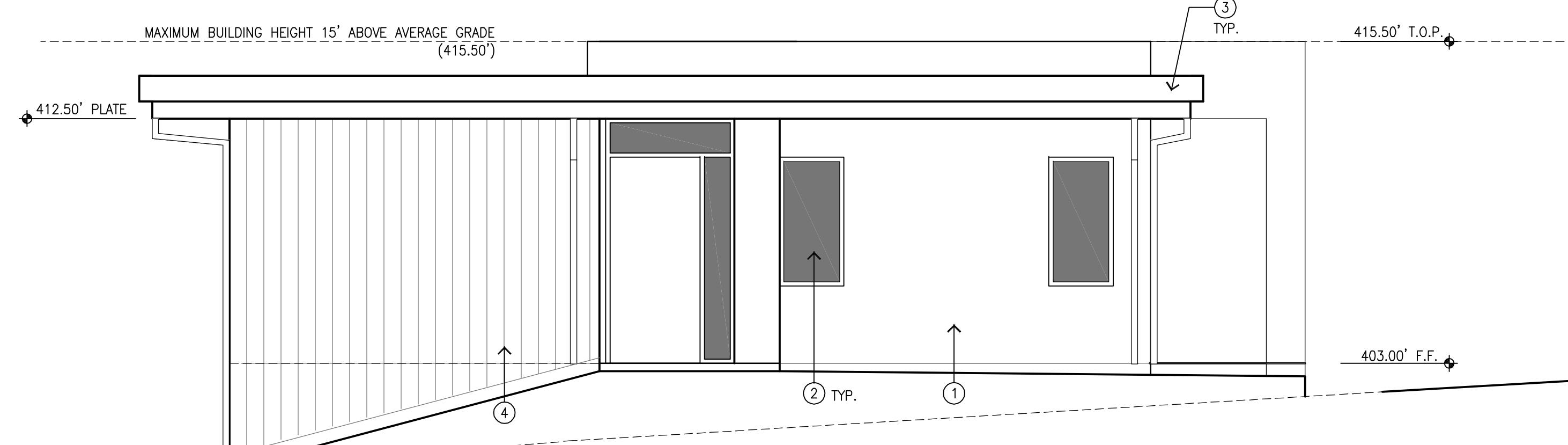
SECTIONS - ADU

Date/Revisions:

03-20-25 PROGRESS
09-03-25 ADU HEIGHT

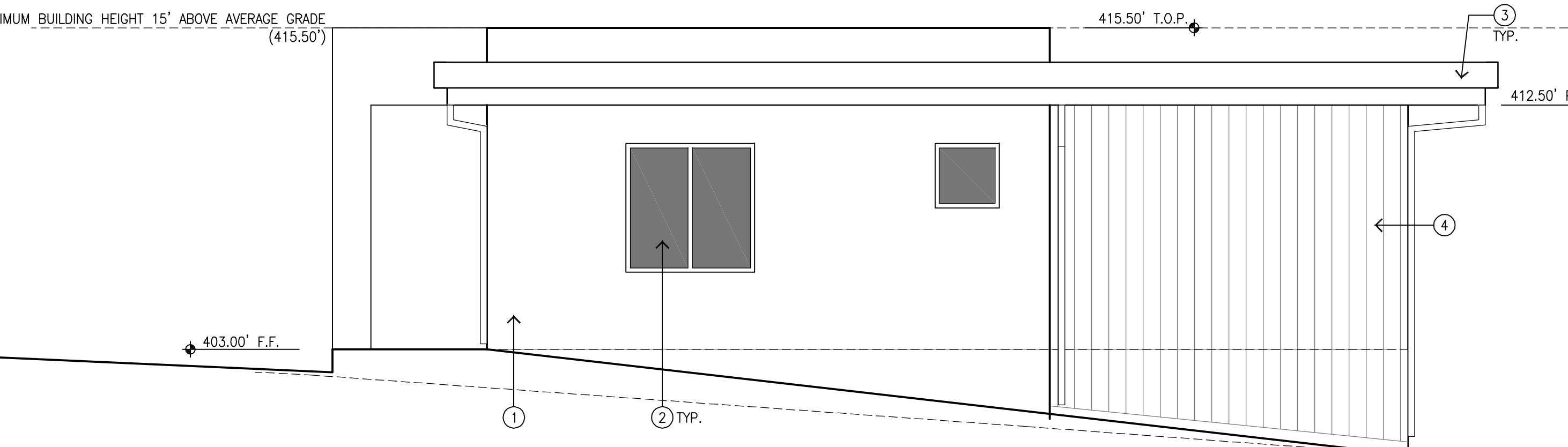
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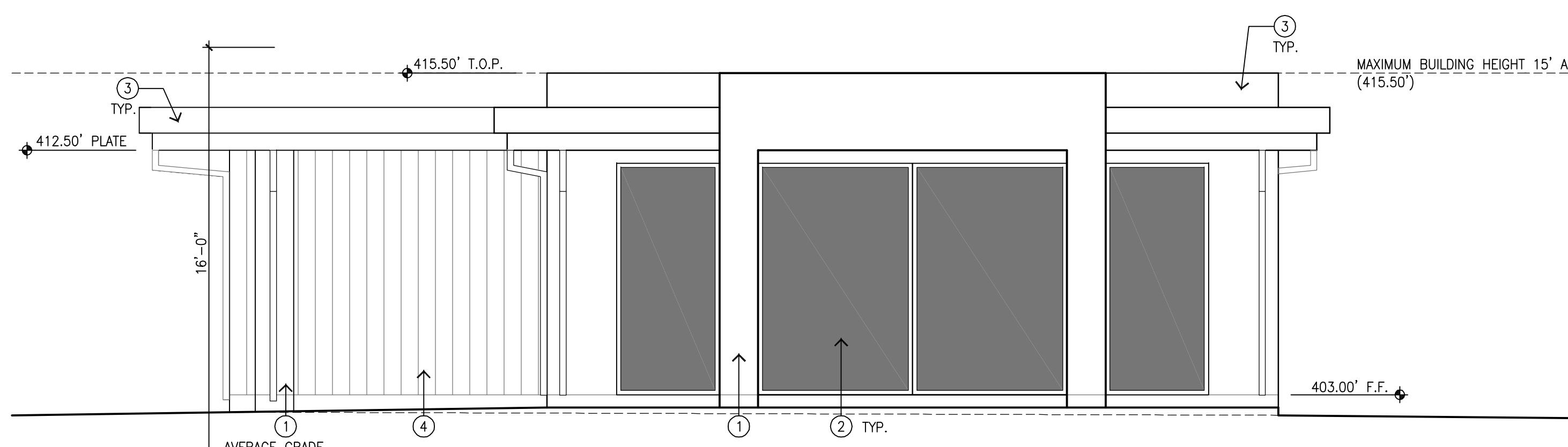
EAST ELEVATION

1/4" = 1'-0"



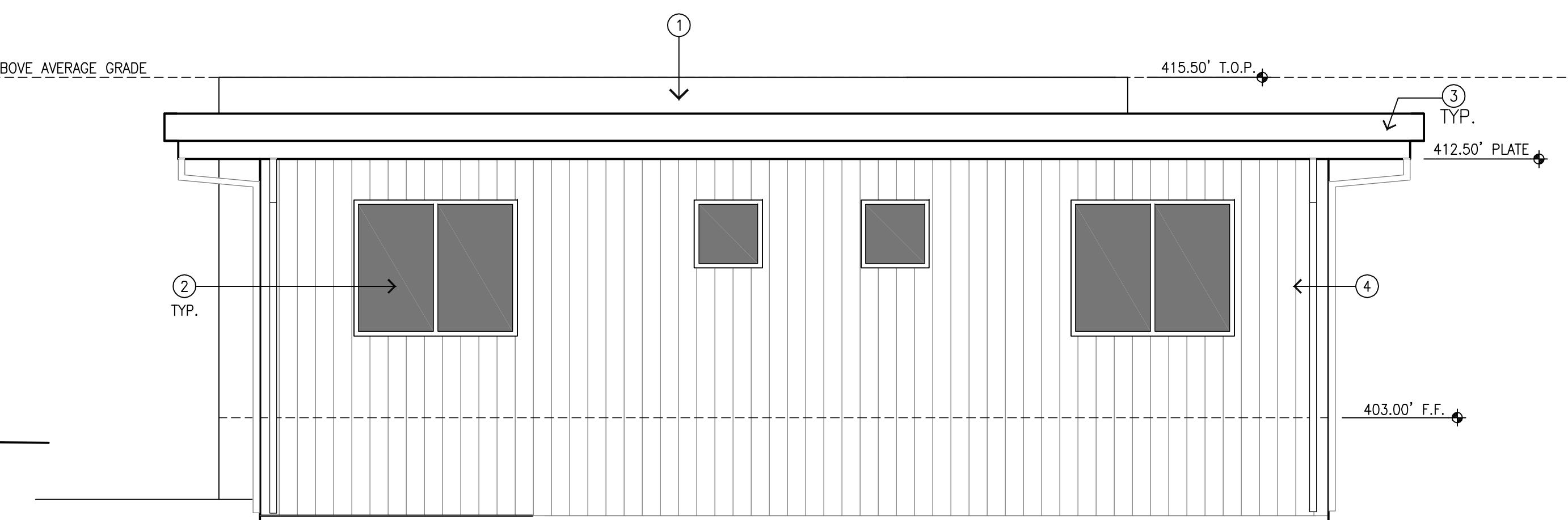
WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

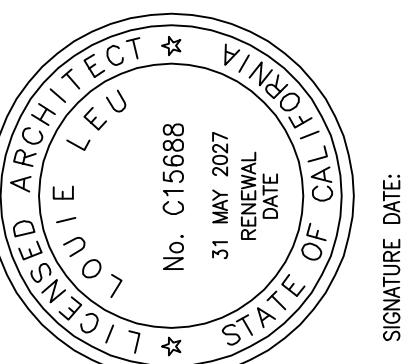
1/4" = 1'-0"

EXTERIOR MATERIALS

- (1) CEMENT PLASTER, COLOR DE6214, DUNN EDWARDS OR EQ. LRV 43
- (2) METAL WINDOWS & DOORS, COLOR DARK BRONZE
- (3) METAL FASCIA, MATCH METAL WINDOWS
- (4) LAP SIDING, TRESPA "PURA" COLOR TROPICAL IPE

EXTERIOR MATERIALS LEGEND
2022 CBC CH. 7A STATE FIRE MARSHAL MATERIALS & CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE

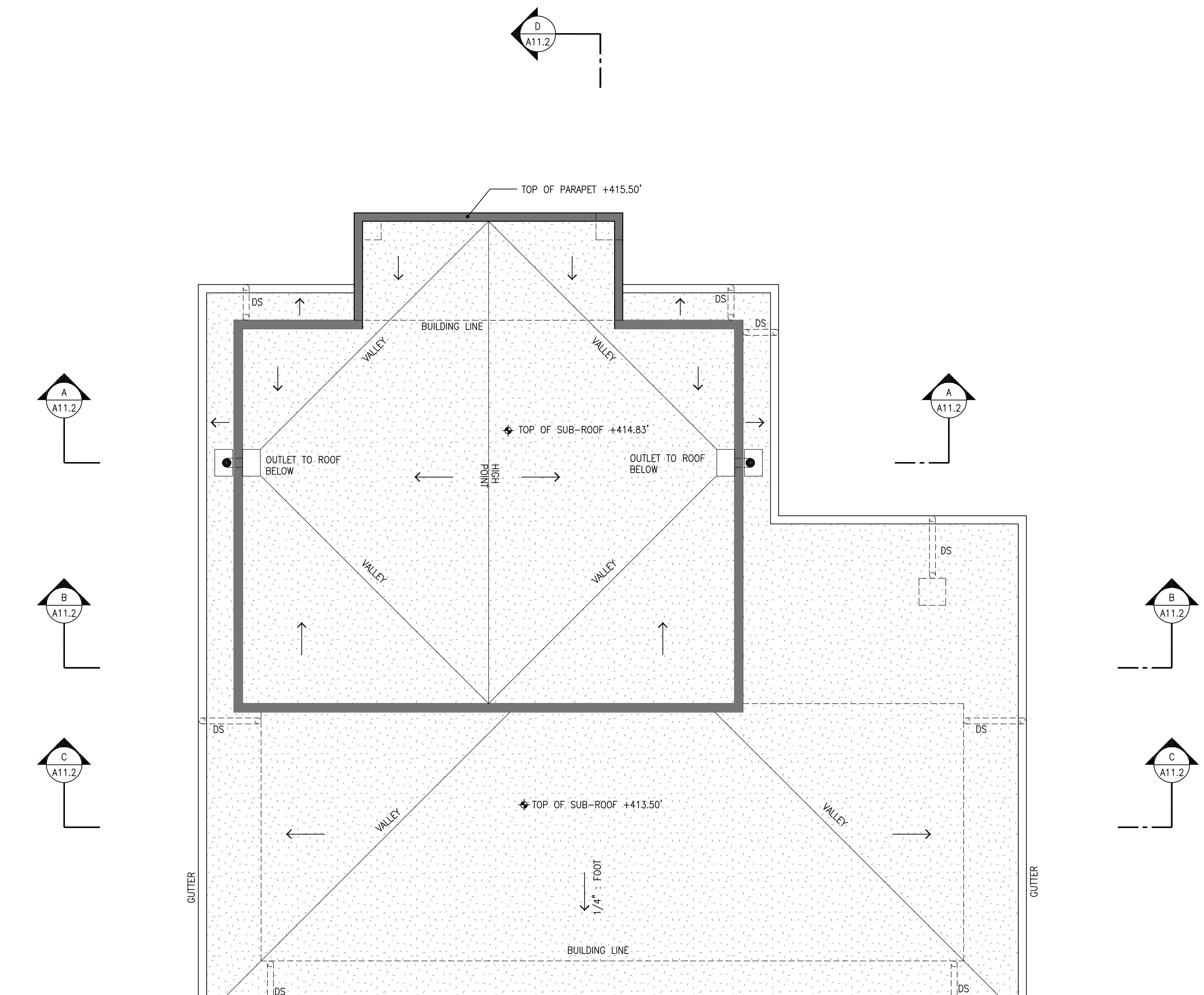
CBC 7A COMPLIANCE	EXTERIOR MATERIAL	METHOD / NOTES
705A	ROOF MEMBRANE	80 MIL. SINGLE PLY PVC ROOF BY IB ROOF SYSTEMS – CLASS 'A' RATED O/ TAPERED INSULATION SLOPE 1/4" FT. MIN.
707A.3	EXTERIOR WALLS: ADHERED STONE	NON COMBUSTIBLE MATERIAL: 1 1/2" NOMINAL THICKNESS ADHERED STONE OVER 3/4" MORTAR OVER 15# BUILDING PAPER.
707A.3	EXTERIOR WALLS: TRESPA PURA	NON COMBUSTIBLE MATERIAL INSTALLED OVER 5/8" GYP. SHEATHING: TRESPA PURA NFC IS A CLASS A FIRE RATED MATERIAL PER THE ASTM E84
707A.3	EXTERIOR WALLS: PLASTER	NON COMBUSTIBLE MATERIAL: 3 COAT 7/8" CEMENT PLASTER ASSEMBLY
707A.6	SOFFITS: PLASTER	NON COMBUSTIBLE MATERIAL: SOFFITS ARE 3/4" CEMENT PLASTER ASSEMBLY
708A2.1	EXTERIOR WINDOWS & GLAZED DOORS & SKYLIGHTS	CONSTRUCTED WITH MULTI-PANE TEMPERED GLAZING.
708A.3	EXTERIOR DOORS	THE EXTERIOR SURFACE OR CLADDING SHALL BE NON-COMBUSTABLE OR IGNITION-RESISTANT MATERIAL OR, SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS: -STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8 INCHES THICK. -RAISED PANELS SHALL NOT BE LESS THAN 1 1/4 INCHES THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK.
708A.4	GARAGE DOOR PERIMETER GAP	EXTERIOR GARAGE DOOR PERIMETER GAPS SHALL BE LIMITED TO 1/8" BY ONE OF THE METHODS LISTED BELOW. 1. PROVIDE WEATHER-STRIPPING PRODUCT MEETING SPECIFIC ASTM STANDARDS IN ACCORDANCE WITH CBC 708A.4(1) 2. DOOR OVERLAPS ONTO JAMBS AND HEADERS 3. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING.



DESIGN FOR LIVING

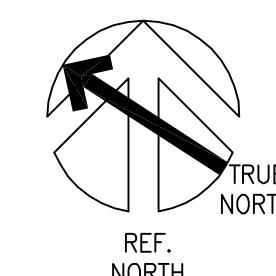
PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

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ROOF PLAN ADU

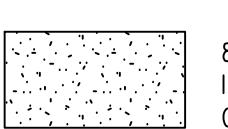
1/4" = 1'-0"
0' 2' 4' 8'



GENERAL NOTES

A. VENTS AT THE ROOF MUST BE A MINIMUM OF 3' ABOVE OR 10' HORIZONTALLY AWAY FROM OPERABLE SKYLIGHTS PER CPC 906.2

LEGEND



80 MIL. SINGLE PLY PVC ROOF BY
IB ROOF SYSTEMS - CLASS 'A' RATED
O/ TAPERED INSULATION
MIN. SLOPE 1/4" FT. MIN.
COLOR: GRAY

ROOF DRAIN & OVERFLOW ASSEMBLY , SEE
DETAIL

◆ INDICATES TOP OF ROOF PLYWOOD SUB-
DECK, (BENEATH TAPERED ROOF INSULATION)

ZHANG RESIDENCE

Project No: 22417

1461 LISBON COURT, PEBBLE BEACH, CA 93953

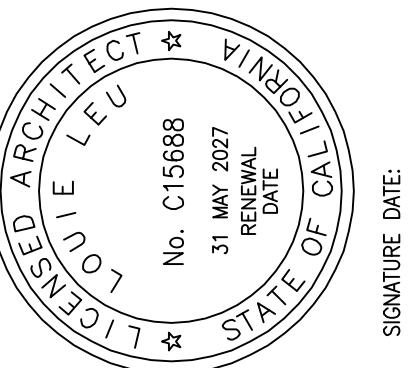
ROOF PLAN ADU

Date/Revisions:
03-20-25 PROGRESS
09-03-25 ADU HEIGHT

Sheet No:

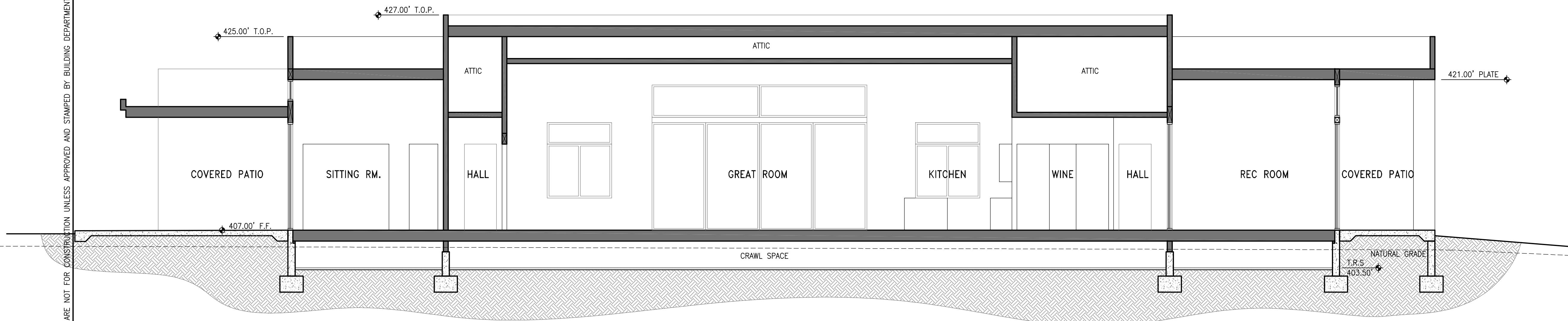
A - 11.4

LOUIE LEU ARCHITECT INC.



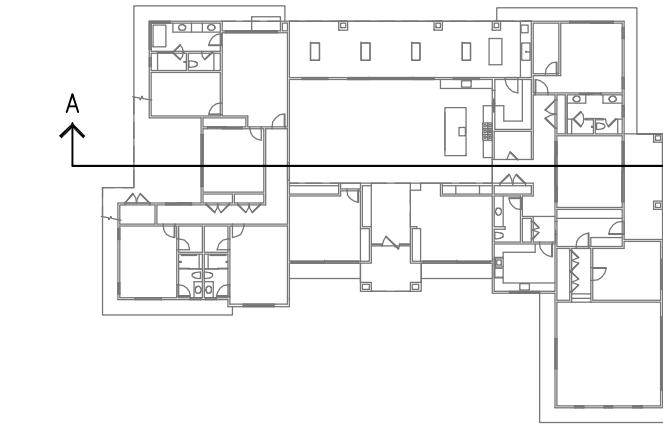
236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
Ph. (408) 359-2222 Fax (408) 359-2223 www.louiselauarch.com

Scale: 1/4" = 1'-0"

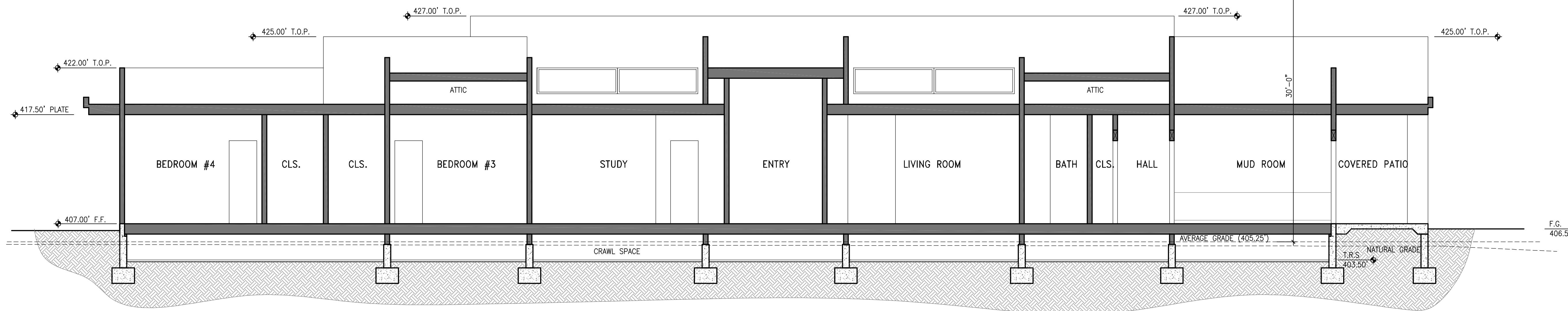


SECTION A

3/16" = 1'-0"

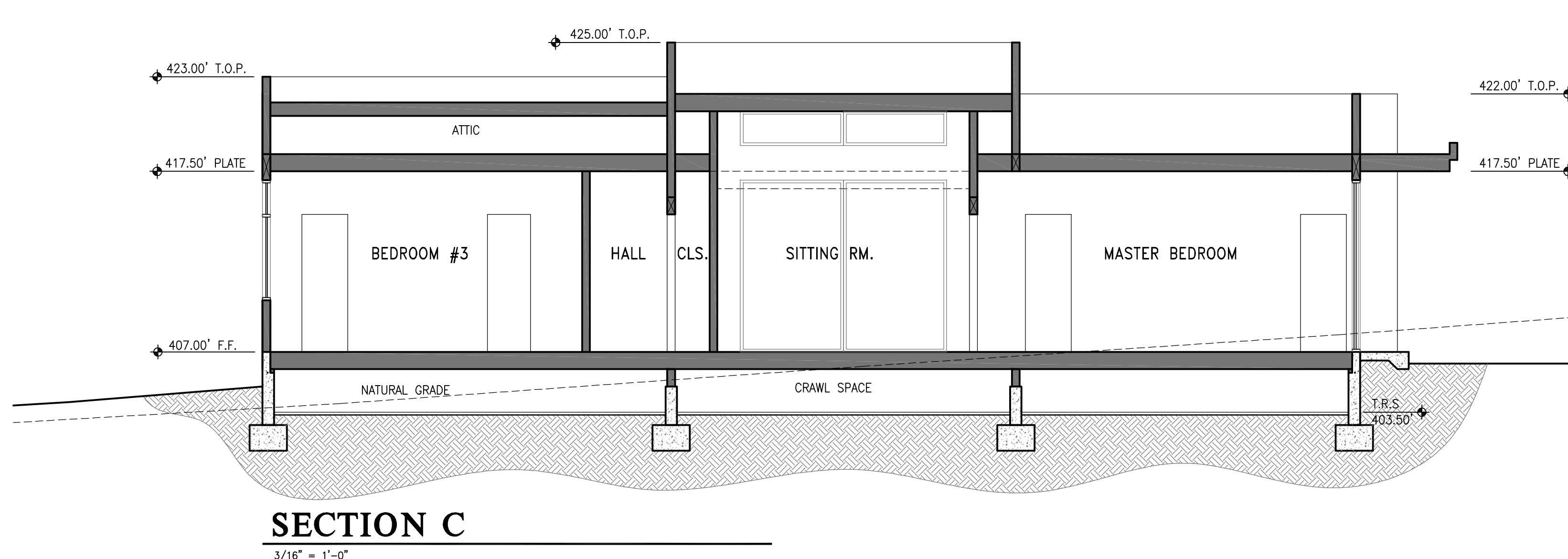
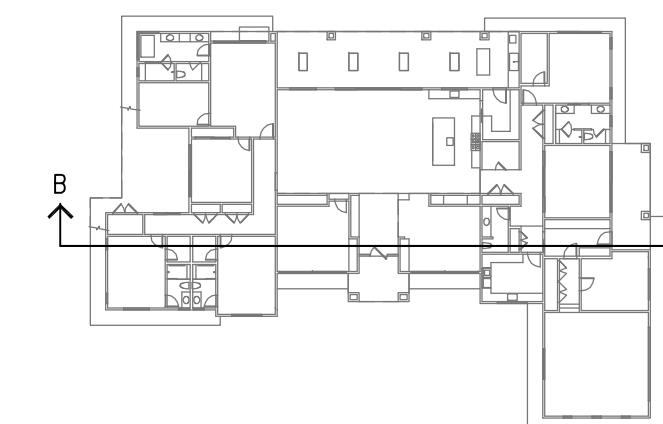


MAX. BUILDING HEIGHT 30' ABOVE AVERAGE GRADE (435.25')



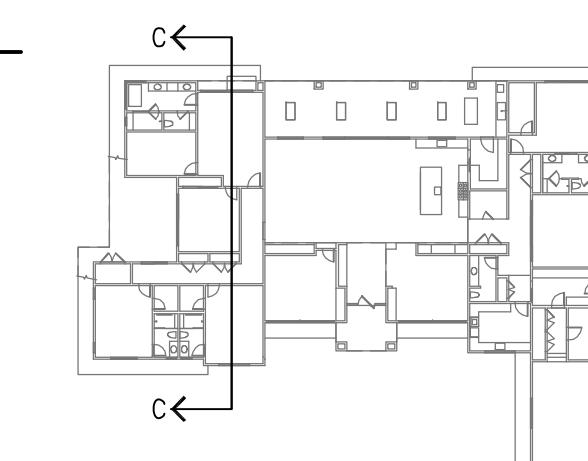
SECTION B

3/16" = 1'-0"



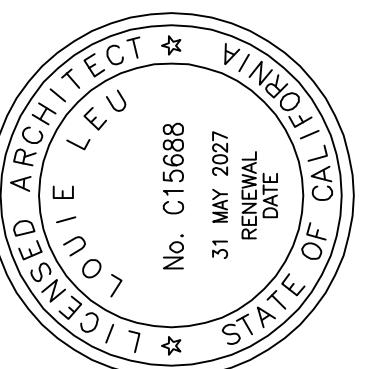
SECTION C

3/16" = 1'-0"

**GENERAL NOTES**

- A. PROVIDE FIREBLOCKING IN SPACES OF WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT CEILING LEVELS @ 10' MAX. INTERVALS, HORIZONTALLY & VERTICALLY.
- B. SEE STRUCTURAL DRAWINGS FOR DETAILS AND ADDITIONAL INFORMATION.
- C. CONTRACTOR TO HAVE BLDG. ELEVATION HEIGHTS SURVEYED BY R.C.E. OR LLS OF RECORD FOR CONFORMANCE W/ HEIGHT RESTRICTIONS, PRIOR TO COMMENCEMENT OF UPPER FLOOR WALL AND ROOF FRAMING.
- D. SEE J&K/A-9.4 DETAILS FOR UNDERFLOOR VENTILATION CALCS.
- E. UNDERFLOOR PROTECTION (SECTION R337.7), THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS OR SHALL BE ENCLOSED TO GRADE.
- F. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR, AND UNDERSIDE OF APPENDAGES SHALL BE PROTECTED BY ONE OF THE FOLLOWING (SECTION R337.7.6, SECTION R337.7.7, SECTION R337.7.8, SECTION R337.7.9): A) NONCOMBUSTIBLE MATERIAL B) IGNITION-RESISTANT MATERIAL C) ONE LAYER OF 5/8" TYPE X DRYWALL ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK D) 1-HOUR RATED ASSEMBLY E) HORIZONTAL ASSEMBLIES THAT MEET THE TEST PROCEDURES SET FORTH IN ASTM E2957 F) HORIZONTAL ASSEMBLIES THAT MEET THE TEST PROCEDURES SET FORTH IN SFS STANDARD 12-7A-4A.
- G. DECKING (SECTION R337.9), WHEN WITHIN 10 FEET OF THE PRIMARY STRUCTURE, THE CONSTRUCTION OF DECKING SURFACES, STAIR TREADS AND RISERS AND LANDING OF DECKS, PORCHES AND BALCONIES SHALL COMPLY WITH ONE OF THE FOLLOWING: A) IGNITION RESISTANT, B) FIRE RETARDANT TREATED WOOD, C) NON-COMBUSTIBLE D) ANY MATERIAL THAT COMPLIES WITH SFS 12-7A-4A.

LOUIE LEU ARCHITECT INC.
 236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
 Ph. (408) 359-2222 Fax (408) 359-2223 www.louieleuarch.com



Project No: 22417

Scale: 3/16" = 1'-0"

ZHANG RESIDENCE

1461 LISBON COURT, PEBBLE BEACH, CA 93953

SECTIONS

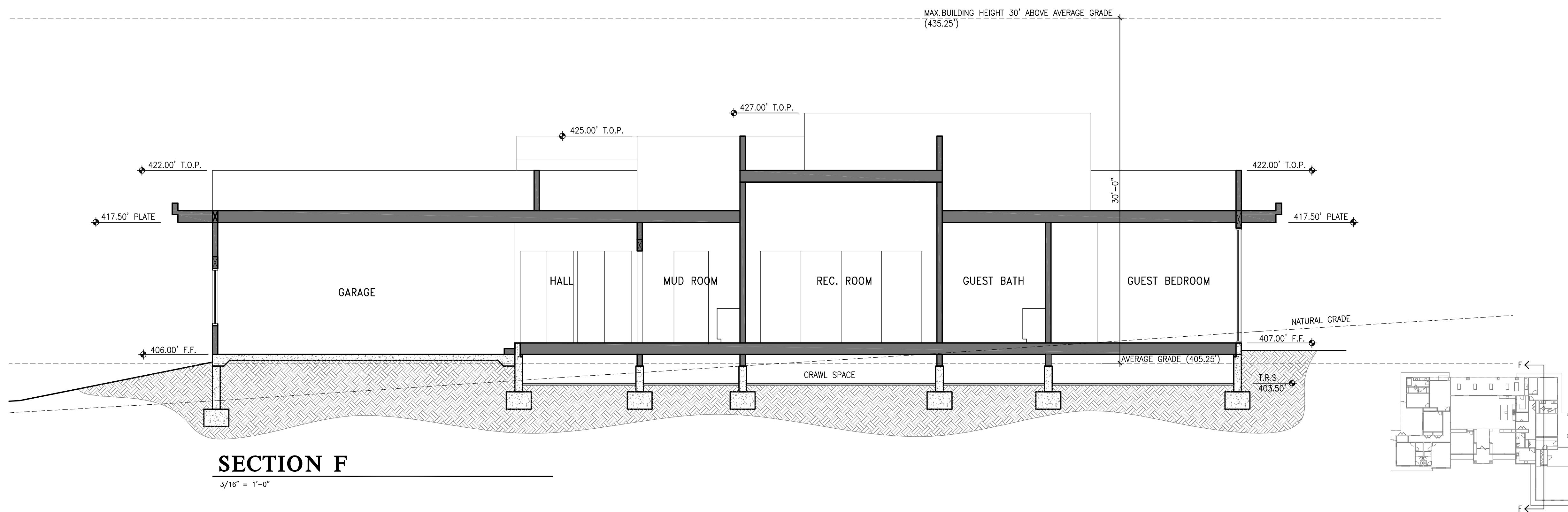
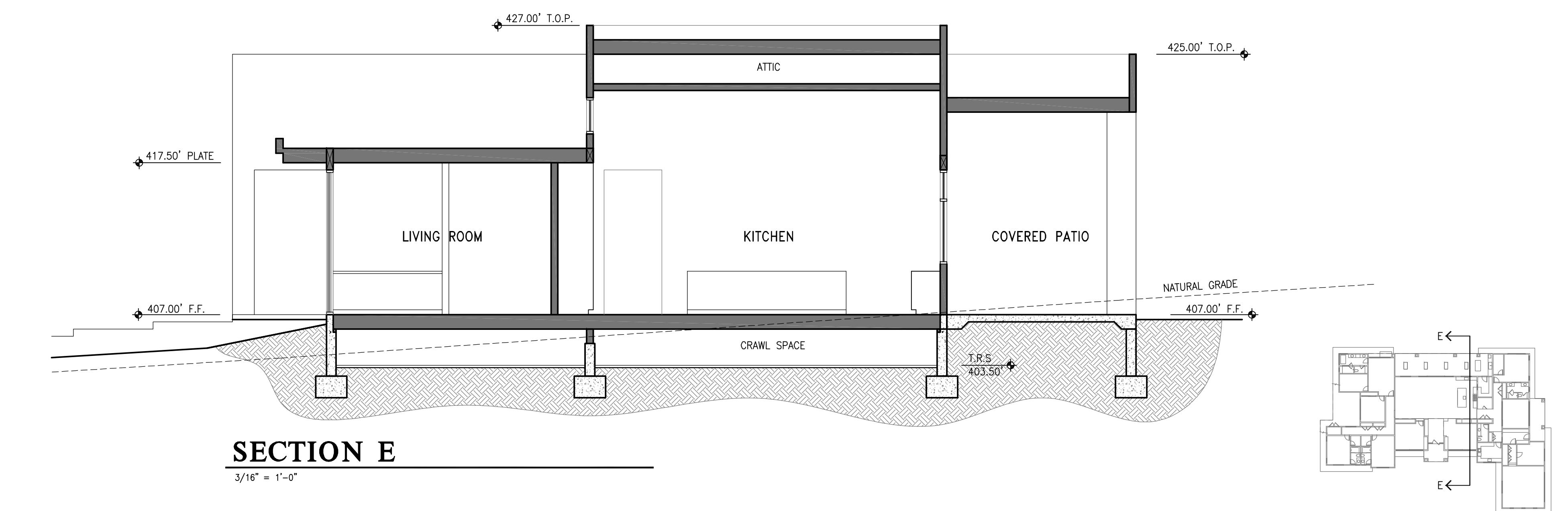
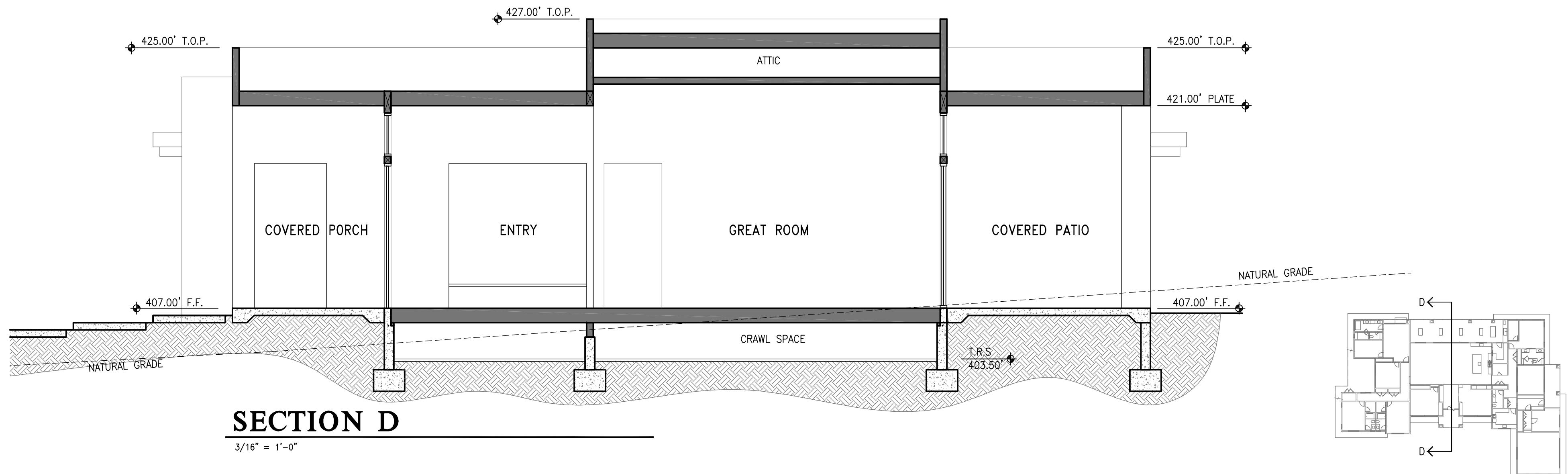
Date/Revisions:
03-20-25 PROGRESS

Sheet No:

A - 3.1

DESIGN FOR LIVING

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.



GENERAL NOTES

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ZHANG RESIDENCE

Project No: 22417

1461 LISBON COURT, PEBBLE BEACH, CA 93953

SECTIONS

Date/Revisions:
03-20-25 PROGRESS

Sheet No:

A - 3.2

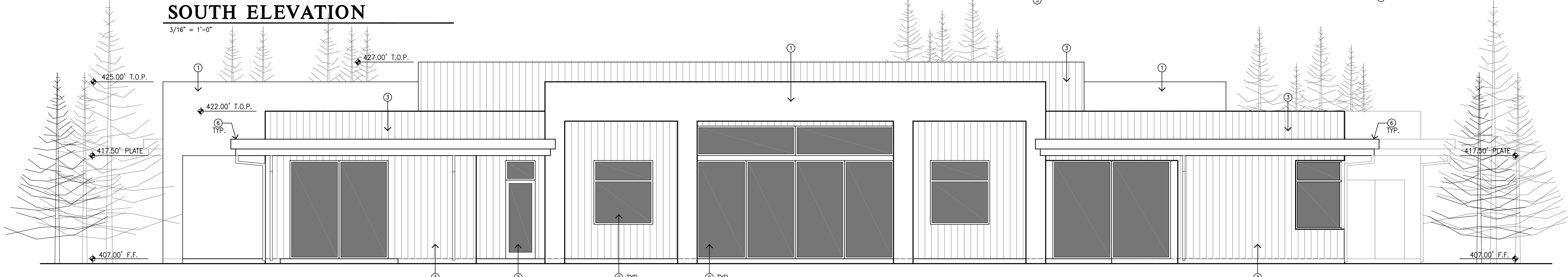
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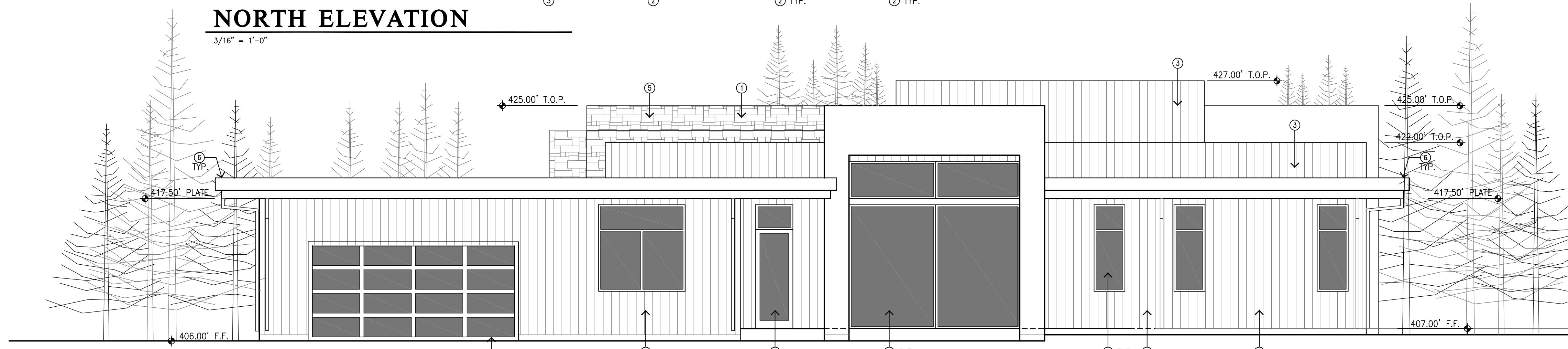
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SOUTH ELEVATION

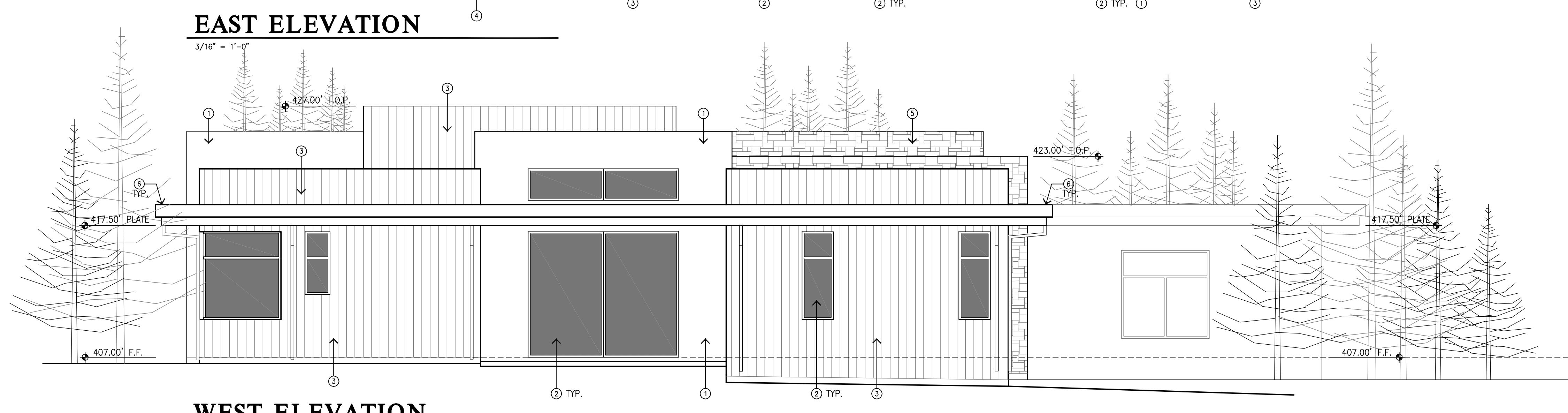


NORTH ELEVATION



EXTERIOR MATERIALS

- ① CEMENT PLASTER, COLOR DE6214, DUNN EDWARDS OR EQ. LRV 43
- ② METAL WINDOWS & DOORS, COLOR DARK BRONZE
- ③ LAP SIDING, TRESPA "PURA" COLOR TROPICAL IPE
- ④ METAL GARAGE DOOR
- ⑤ STONE VENEER, AAA NATURAL STONE, COLOR REGENT BUFF.
- ⑥ METAL FASCIA, MATCH METAL WINDOWS



WEST ELEVATION

EXTERIOR MATERIALS LEGEND		
2022 CBC CH. 7A STATE FIRE MARSHAL MATERIALS & CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE		
CBC 7A COMPLIANCE	EXTERIOR MATERIAL	METHOD / NOTES
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707A.3	EXTERIOR WALLS: PLASTER	NON COMBUSTIBLE MATERIAL: 3 COAT 7/8" CEMENT PLASTER ASSEMBLY
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ZHANG RESIDENCE

Project No: 22417

ELEVATIONS

1461 LISBON COURT, PEBBLE BEACH, CA 93953

Date/Revisions:	03-20-25 PROGRESS
Sheet No:	
A - 4.1	



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

ZHANG RESIDENCE

Project No: 22417

1461 LISBON COURT, PEBBLE BEACH, CA 93953

ELEVATIONS

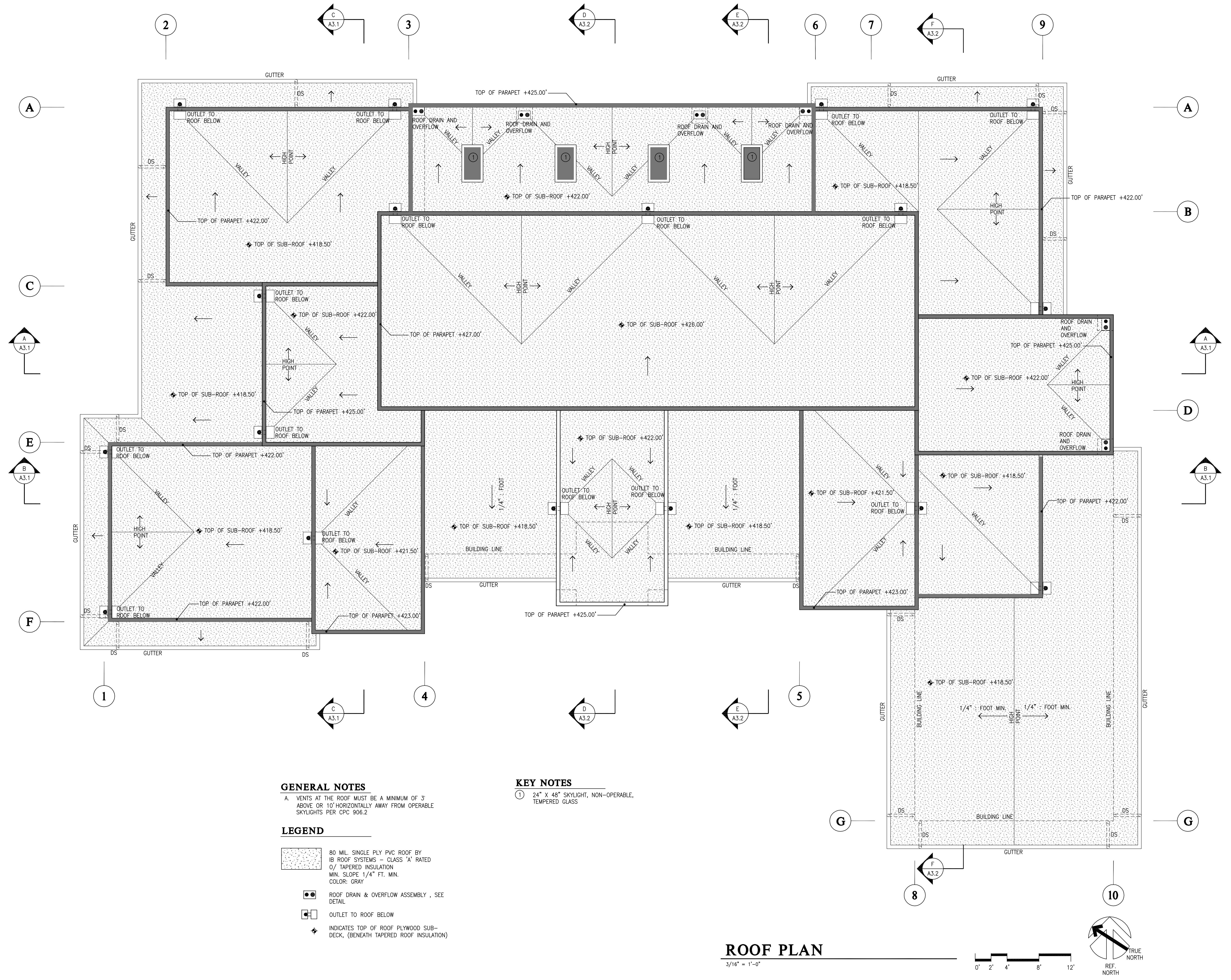
Date/Revisions:
03-20-25 PROGRESS

Sheet No:

A - 4.2

DESIGN FOR LIVING

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.



ZHANG RESIDENCE

Project No: 22417

1461 LISBON COURT, PEBBLE BEACH, CA 93953

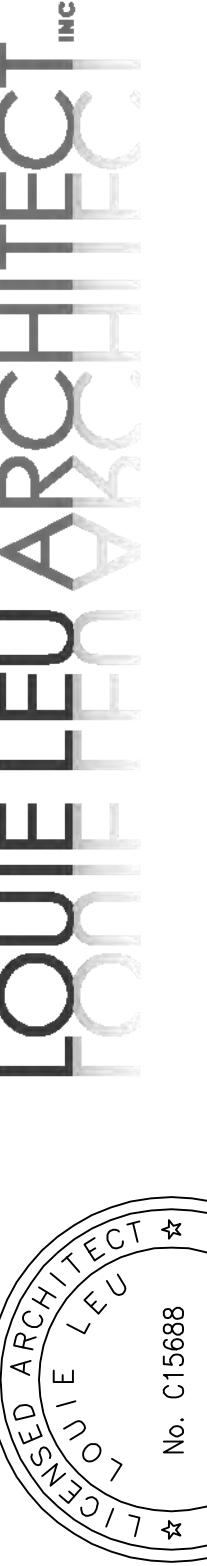
ROOF PLAN

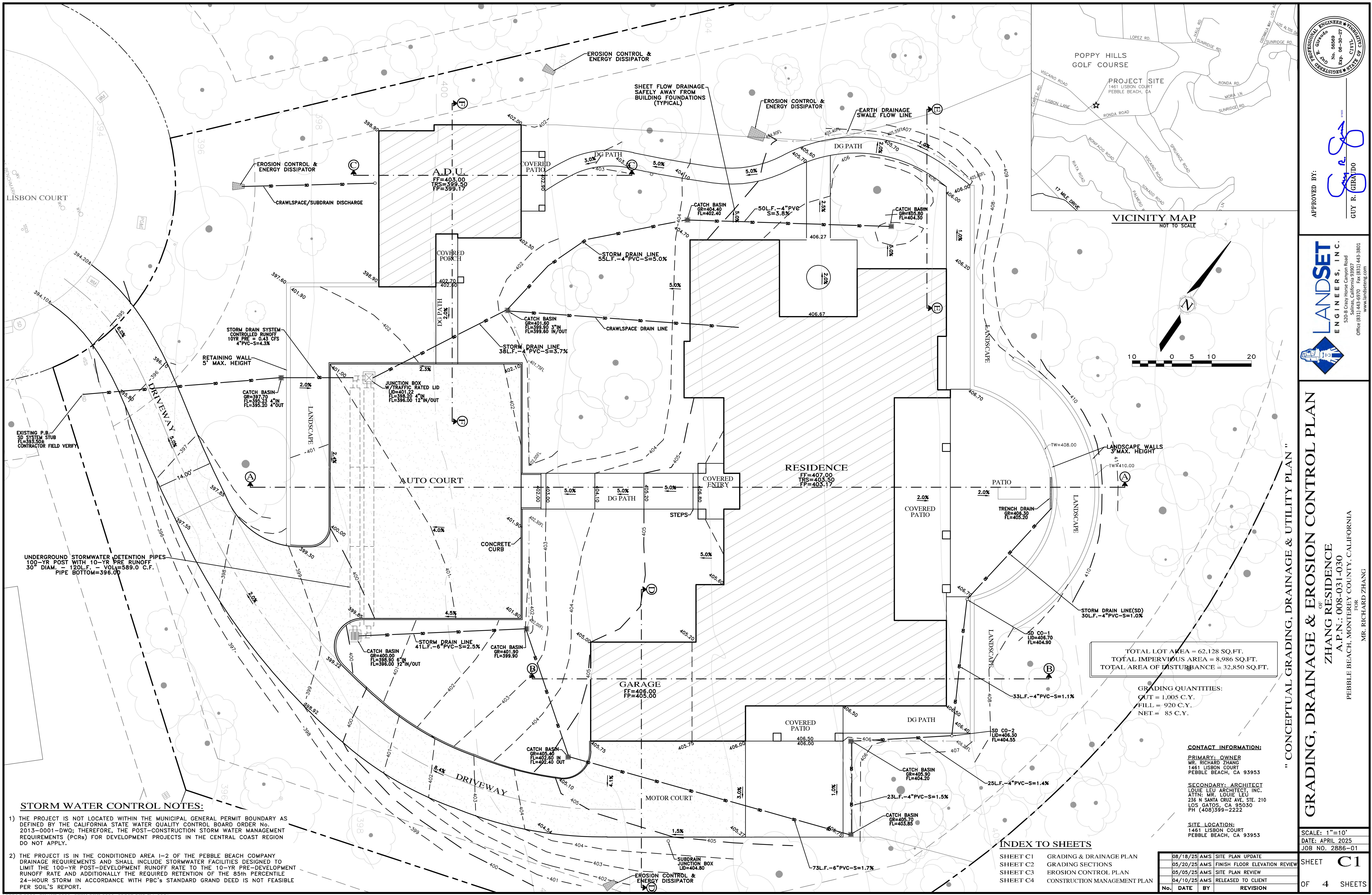
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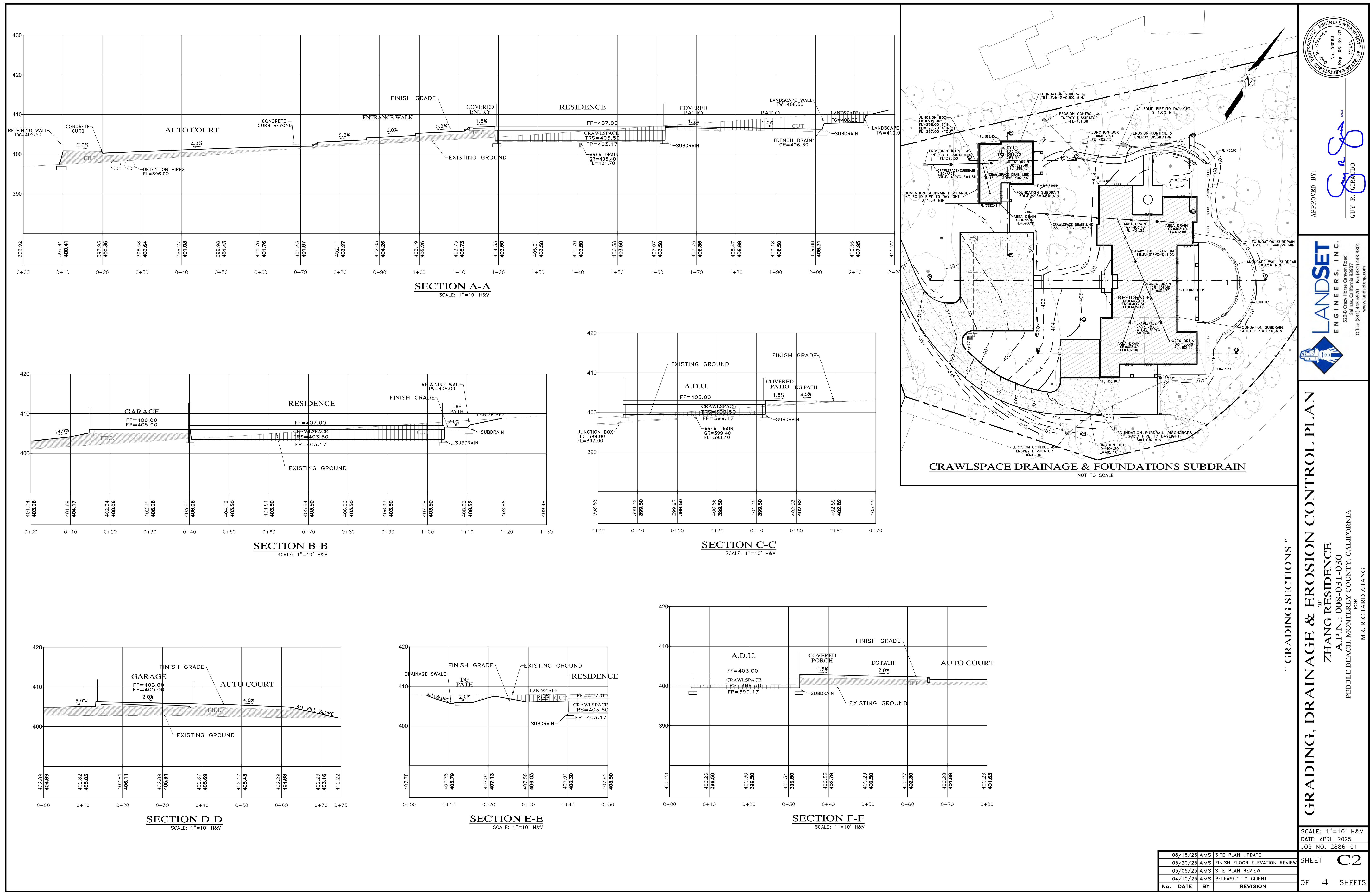
Date/Revisions:
03-20-25 PROGRESS

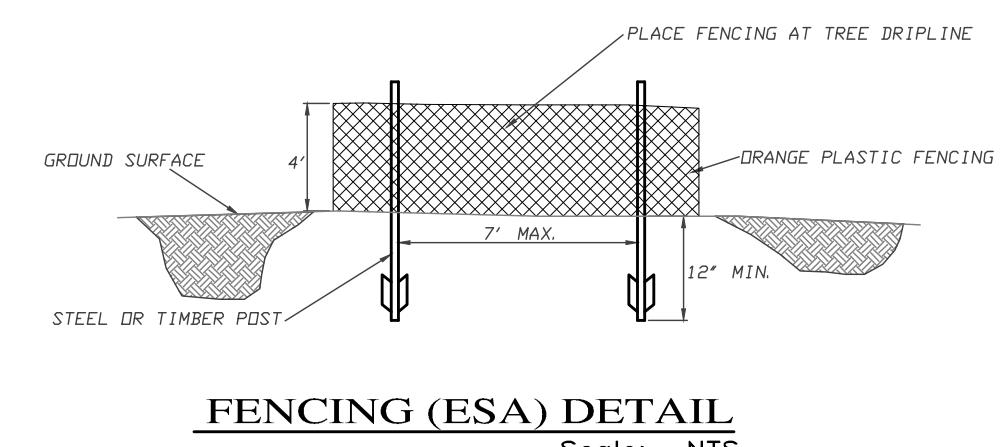
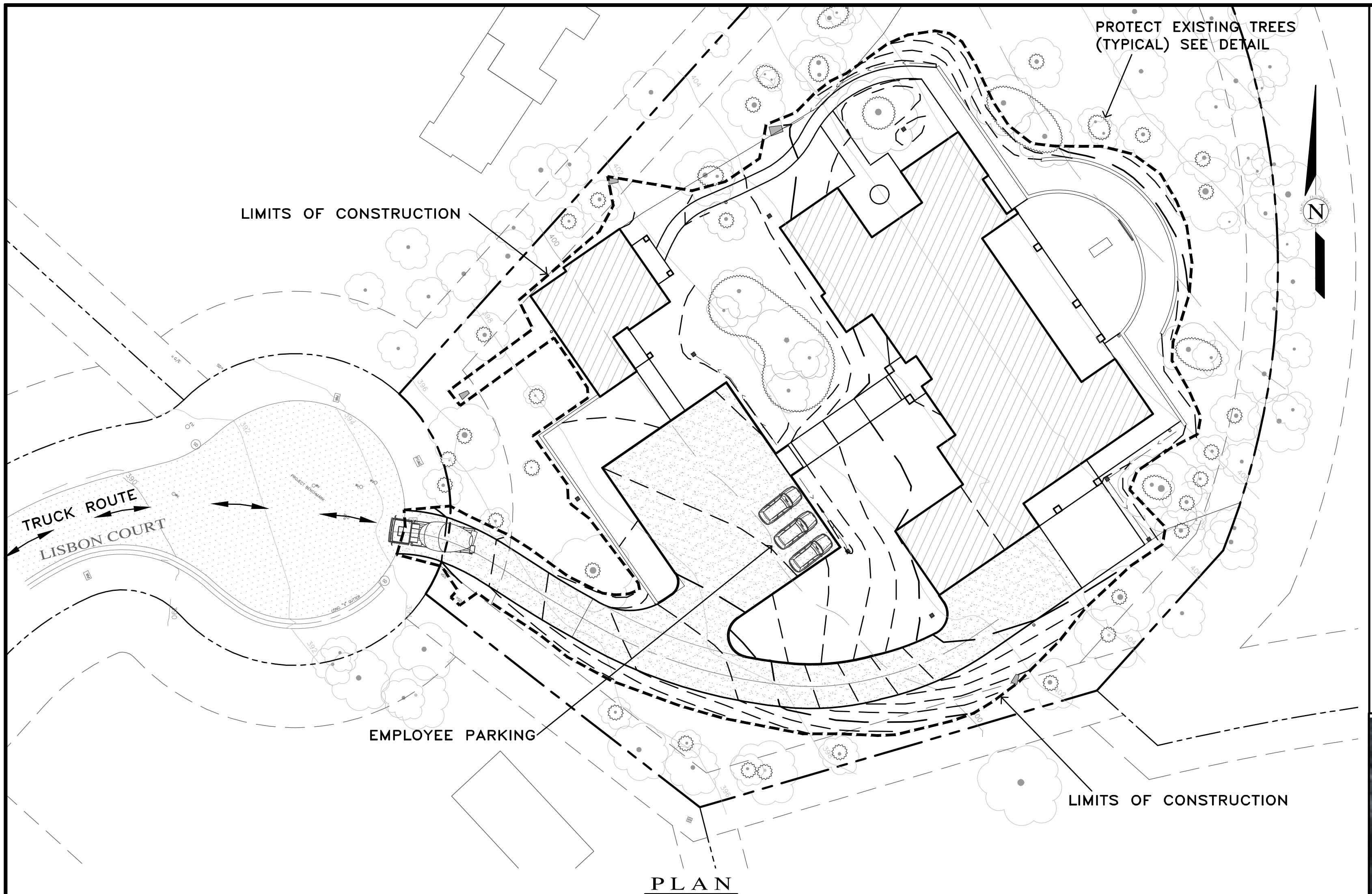
Sheet No:

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EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
1,005 CY CUT
920 CY FILL

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR & GRAB..
- B. SITE GRADING.
- C. UTILITY INSTALLATION.
- D. CONSTRUCT STRUCTURE.
- E. INSTALL PERVIOUS DRIVEWAY AND MOTOR COURT AND LANDSCAPING.
- F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE LISBON COURT AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL ROUTES ENTER THE SITE FROM THE HIGHWAY 1 TO 17 MILE DRIVE TO SUNRIDGE ROAD TO RONDA ROAD TO VISCAINO ROAD TO LISBON COURT. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE ON THE LISBON COURT. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B, C AND D, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREET ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE LISBON COURT, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

(A) CONSTRUCTION STAGING PLAN

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	4	4
GRADING & SOIL REMOVAL (EXPORT)	4	2
ENGINEERING MATERIALS (IMPORT)	1	1
TOTALS	9	7

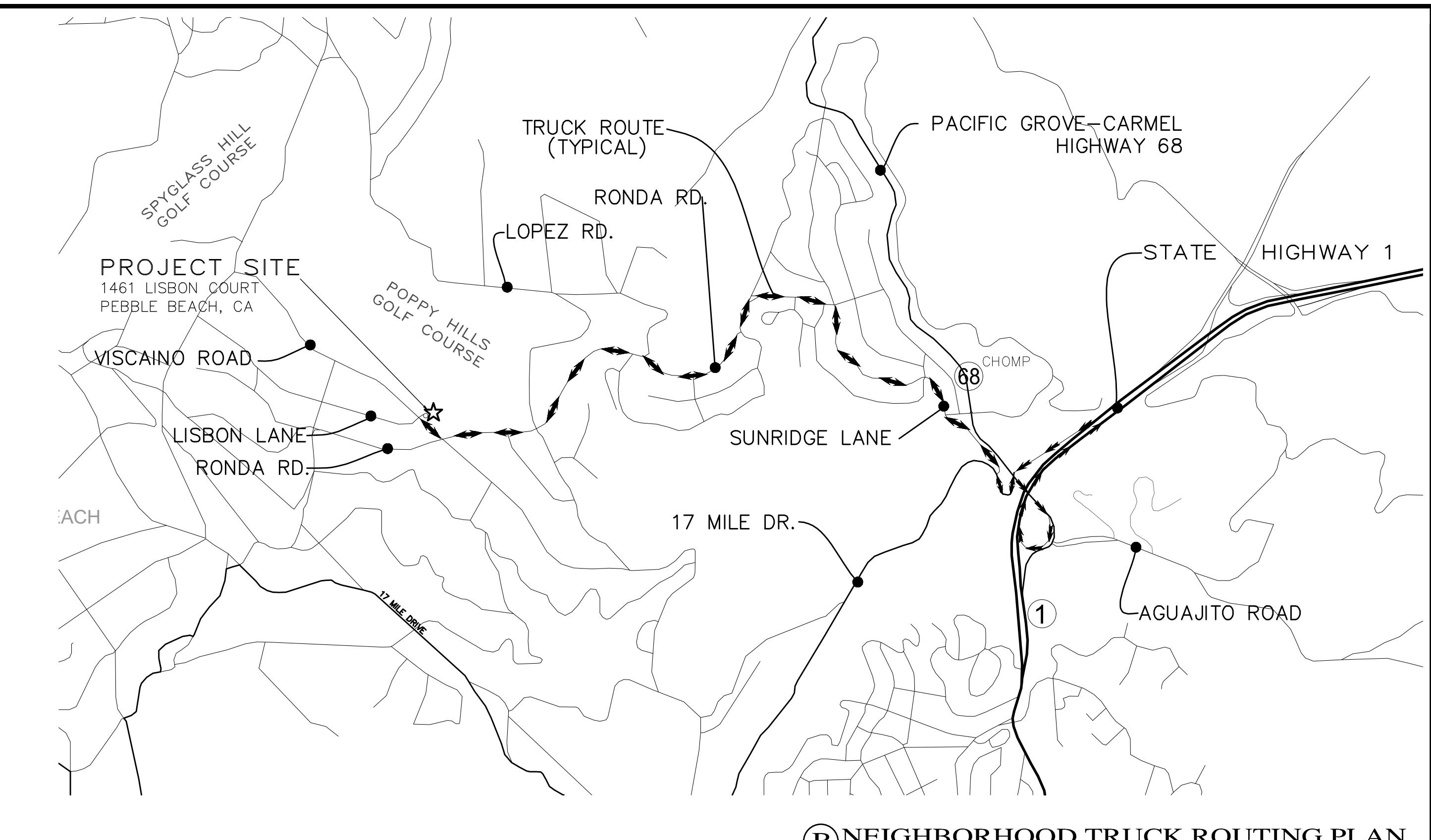
TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
2. THERE ARE 85 C.Y. OF SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 100 & 160 CUBIC YARDS.

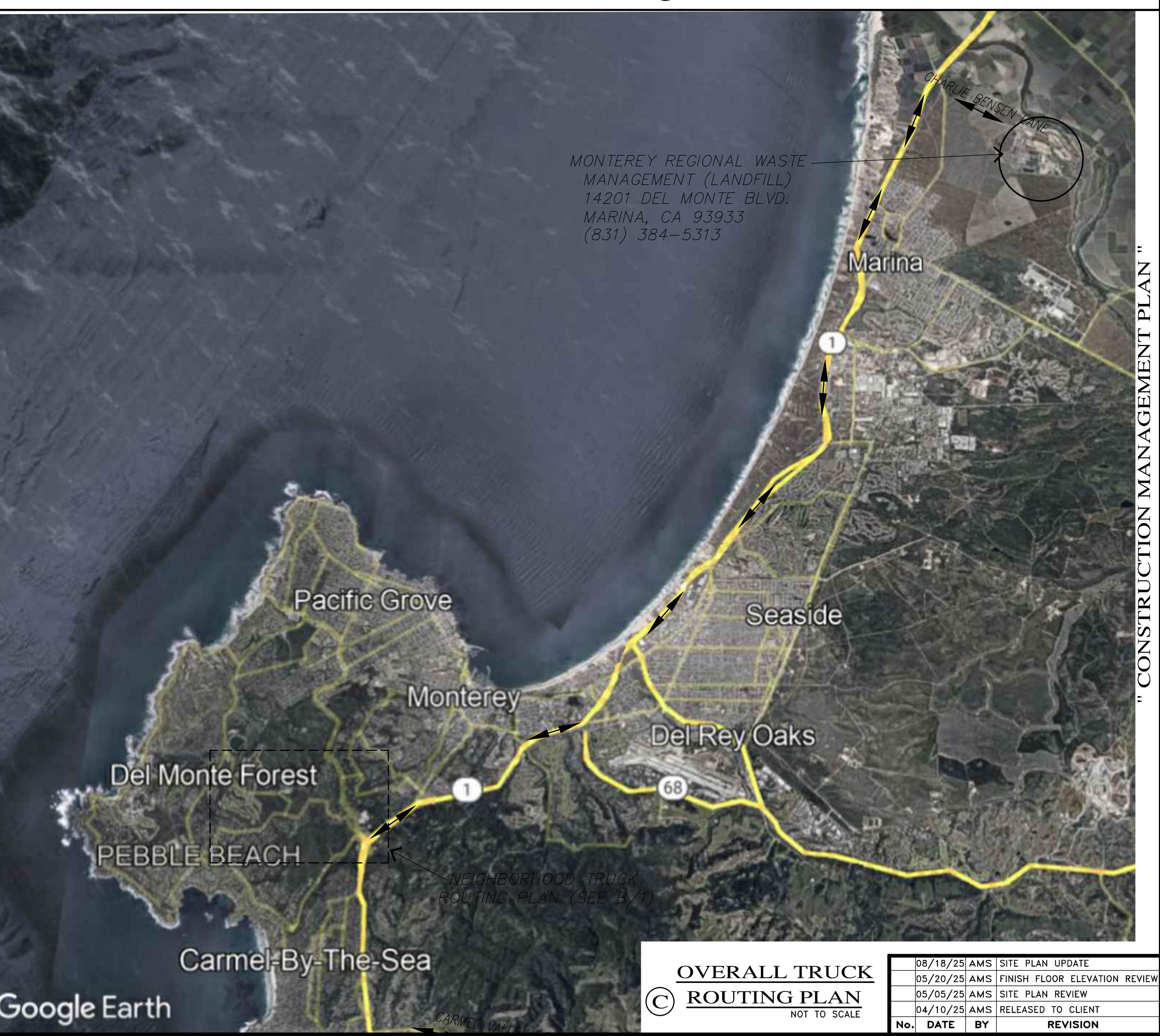
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 15 SEPTEMBER 2025, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 18 MONTHS.



(B) NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

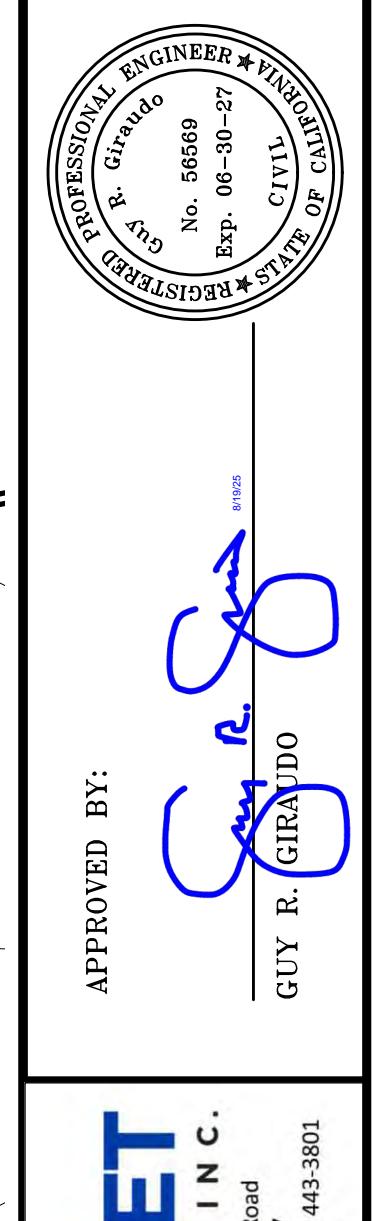
08/18/25 AMS	SITE PLAN UPDATE
05/20/25 AMS	FINISH FLOOR ELEVATION REVIEW
05/05/25 AMS	SITE PLAN REVIEW
04/10/25 AMS	RELEASED TO CLIENT
No. DATE BY	REVISION

GRADING, DRAINAGE & EROSION CONTROL PLAN

ZHANG RESIDENCE
OF
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

A.P.N.: 008-031-030
FOR
MR. RICHARD ZHANG

"CONSTRUCTION MANAGEMENT PLAN"



LANDSET
ENGINEERS, INC.
520 B CRAZY HORSE CANYON ROAD
Salinas, California 93907 Fax (831) 448-3801
Office (831) 448-6970 www.landsetinc.com

SCALE: AS SHOWN
DATE: APRIL 2025
JOB NO. 2886-01
SHEET C4
OF 4 SHEETS

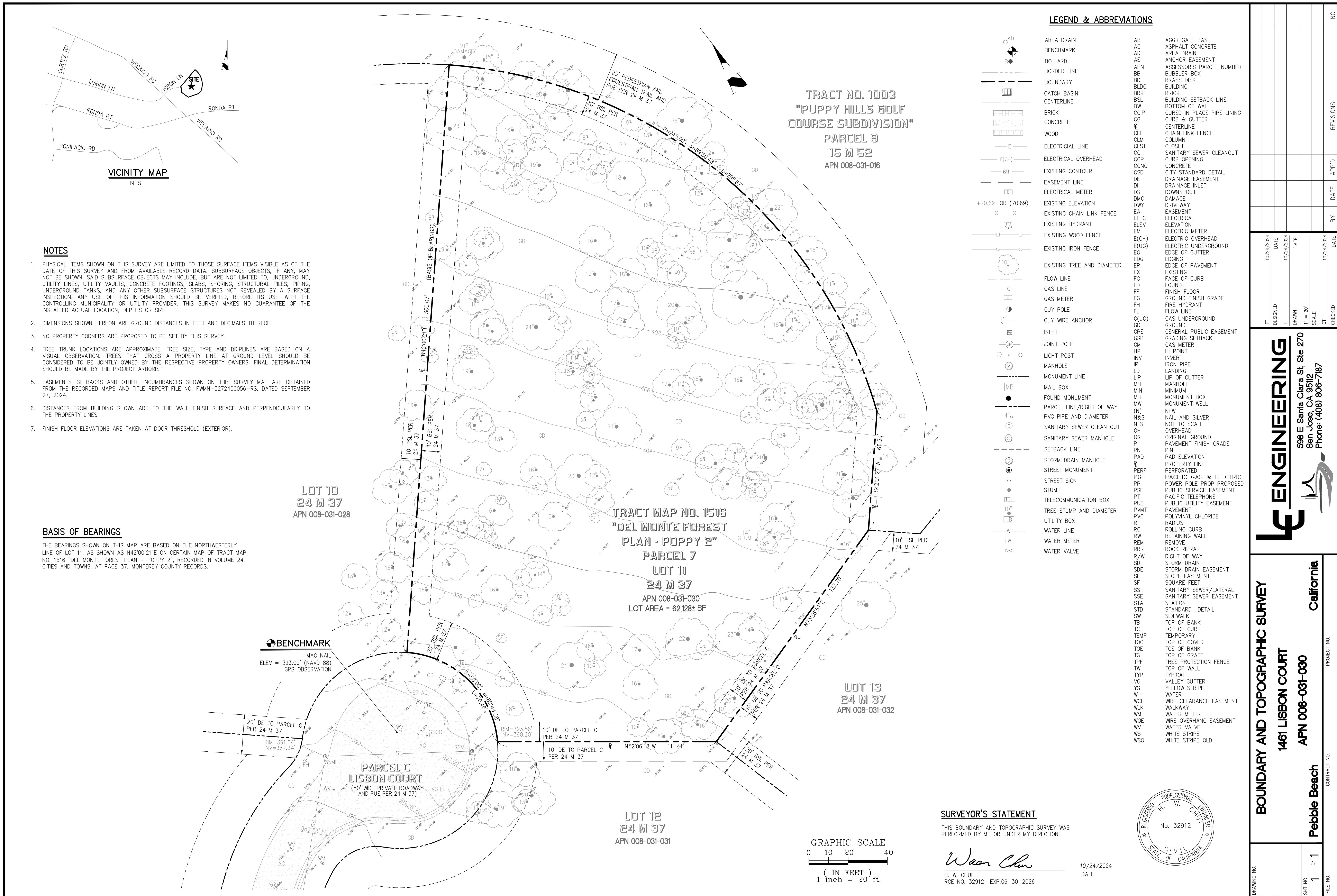
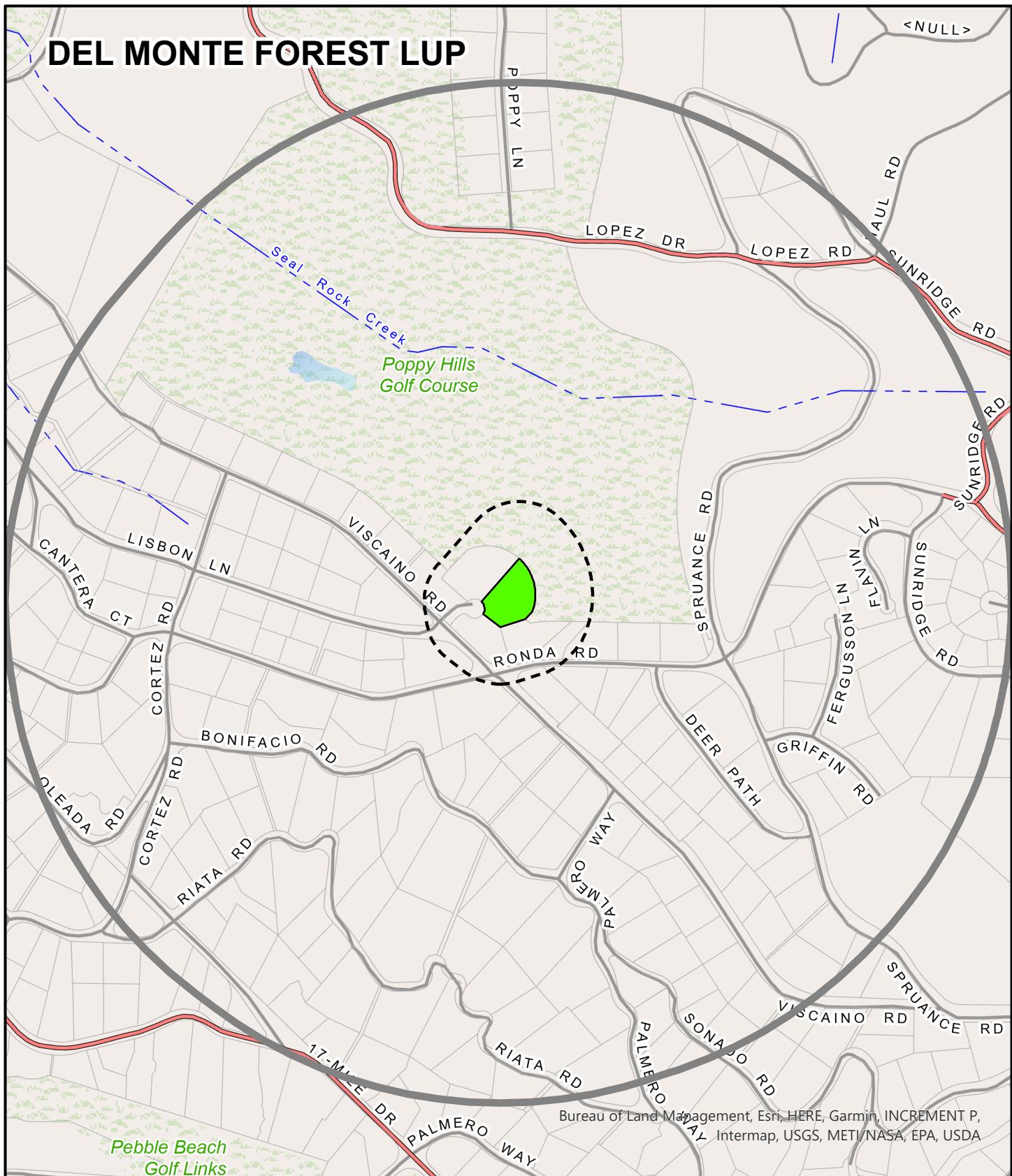


Exhibit B

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DEL MONTE FOREST LUP



APPLICANT: ZHANG YU & XIHUA LUO TRS

APN: 008031030000

FILE # PLN250150





County of Monterey

Item No.3

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Board Report

Legistar File Number: AP 25-049

September 17, 2025

Introduced: 9/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240278 - HARTLEY CAITLIN

Administrative hearing to consider demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single family dwelling with attached 626 square foot garage and associated site improvements.

Project Location: 308 Calle De Los Agrinemsors, Carmel Valley, 93924

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to section 15300.2; and
- b. Approve an Administrative Permit and Design Approval allow demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single family dwelling with attached 626 square foot garage and associated site improvements including 624 square feet of decks and refinishing of the existing asphalt driveway.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Samuel Pitnick

Property Owner: Caitlin Hartley

APN: 189-421-011-000

Parcel Size: 3.433 acres

Zoning: LDR/2.5-D-S-RAZ

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

Project Planner: Jordan Evans-Polockow, Assistant Planner

Evans-PolockowJ@countyofmonterey.gov, (831)755-7065

SUMMARY

Staff is recommending approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17th, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services

Environmental Health Bureau

HCD-Environmental Services

Monterey County Regional Fire Protection District

Prepared by: Jordan Evans-Polockow Assistant Planner, x7065

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations, Colors & Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Planner; Fionna Jensen, Principal Planner; Caitlin Hartley, Property Owner; Samuel Pitmick, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240278



County of Monterey

Item No.3

Administrative Permit

Legistar File Number: AP 25-049

September 17, 2025

Introduced: 9/8/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240278 - HARTLEY CAITLIN

Administrative hearing to consider demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single family dwelling with attached 626 square foot garage and associated site improvements.

Project Location: 308 Calle De Los Agrinemsors, Carmel Valley, 93924

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to section 15300.2; and
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The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 8 conditions of approval.

PROJECT INFORMATION

Agent: Samuel Pitnick

Property Owner: Caitlin Hartley

APN: 189-421-011-000

Parcel Size: 3.433 acres

Zoning: LDR/2.5-D-S-RAZ

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

Project Planner: Jordan Evans-Polockow, Assistant Planner

Evans-PolockowJ@countyofmonterey.gov, (831)755-7065

SUMMARY

Staff is recommending approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17th, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services

Environmental Health Bureau

HCD-Environmental Services

Monterey County Regional Fire Protection District

Prepared by: Jordan Evans-Polockow Assistant Planner, x7065

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations, Colors & Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Planner; Fionna Jensen, Principal Planner; Caitlin Hartley, Property Owner; Samuel Pitmick, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240278

Exhibit A

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EXHIBIT A
DRAFT RESOLUTION

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

HARTLEY CAITLIN (PLN240278)

RESOLUTION NO. 25-045

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single-family dwelling with attached 626 square foot garage and associated site improvements including 624 square feet of decks and refinishing of the existing asphalt driveway.

[PLN240278 HARTLEY, 308 Calle De Los Agrinemsors, Carmel Valley (APN: 189-421-011-000)]

The HARTLEY application (PLN240278) came on for an administrative decision before the County of Monterey Chief of Planning on September 17th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan (General Plan);
 - Carmel Valley Master Plan (CVMP); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) Allowed Use. The property is located at 308 Calle Des Los Agrinemsors, Carmel Valley, Carmel Valley Master Plan (Assessor's Parcel Number: 189-421-011-000). The parcel is zoned Low Density Residential, with a density of 2.5 acre per unit, Design Control, Site Plan Review, and Residential Allocation Zoning overlays or "LDR/2.5-D-S-RAZ", which allows for the establishment of a first single-family dwelling and accessory structures as principally allowed uses. The Site Plan Review overlay requires an Administrative Permit for all construction of structures, additions, and the deposit or removal of materials. The Design Control overlay requires the granting of a Design Approval for all structures. The project involves the demolition of all existing structures (943 square foot single-family dwelling, 493 square foot second single family dwelling, a 365 square foot detached garage, and a shed) and the construction of a 2,729 square foot two-story single-family dwelling with attached 626 square foot garage and associated site improvements including 624 square foot of composite wood decks, refinishing of the existing asphalt driveway, a new septic system, and retaining walls. The project involves approximately 107.5 cubic yards of cut and 120 cubic yards of fill. Therefore, the project is an allowed land use for this site.

The site plans included in this project illustrate an approximately 1,200 square foot Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the construction of an ADU is not a part of this discretionary application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans.

c) Lot Legality. The subject property (149,541.48 square feet; 3.43 acres), APN: 189-421-011-000, is identified in its current configuration as Parcel A on a Final Map within Rancho Laureles and Sections 10 and 11, recorded on January 8th, 2010 (Volume 31 of Surveys, Page 2). Therefore, the County recognizes the subject property as a legal lot of record.

d) Design/Neighborhood and Community Character. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. The proposed development includes colors and materials consisting of brown-stained vertical wood siding, aluminum corrugated metal siding, red brick siding, a composite slate roof, and a light brown wooden trim. The proposed colors and materials are compatible with the surrounding environment and are consistent with the surrounding neighborhood character. Exterior lighting shall be consistent with the Design Guidelines for Exterior Lighting adopted by the Board of Supervisors pursuant to Title 21 Section 21.63.020. The exterior lighting will be approved prior to the issuance of building or grading permits and shall be implemented through the County's

standard condition. The proposed design is consistent with the neighboring development and assures protection of the public viewshed.

e) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which provides regulations for development, with by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application, and an Administrative Permit application has been received and reviewed pursuant to these regulations. An archeological report was included in the application; this parcel did not have any archaeological resources identified on the property (see subsequent Evidence “g”). A fuel management plan was included in the application, which included measures to maintain vegetation surrounding the development area to reduce fire hazards. Development has been sited and designed to avoid tree removal, and the County’s standard condition has been incorporated, requiring the applicant to install and maintain tree protection fencing during construction activities. The applicants provided a grading and erosion control plan to demonstrate the feasibility of their proposed project. A geotechnical report and geological report were also prepared, which analyzed the soil and geological conditions of the site and determined it was suitable for the development of the proposed project. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans and specifications. Staff reviewed County records and data from the California Department of Fish and Wildlife; there are no known resources located within the subject property. Also see Finding 2, Evidence “b”.

f) Development Standards. The property is subject to the site development standards for the LDR zoning district , which are identified in Title 21 section 21.14.060. Required setbacks for main structures and structurally attached accessory structures are 30 feet (front), 15 feet (side), and 20 feet (rear). As proposed, the single-family dwelling with attached garage complies with these requirements. The allowed height for main structures is 30 feet; the proposed structure has a height of 26 feet 11 inches from average natural grade. Allowed maximum site coverage is 25% on lots of 20,000 square feet or more. The project will result in 3,993.5 square feet of coverage or 2.6%. Therefore, the proposed project meets the required site development standards for the LDR zoning district.

g) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property to a high archaeological sensitivity. Pursuant to General Plan section OS-6.3 and Title 21 section 21.66.050.C.1.a, a Phase I Archaeological Survey (County of Monterey Library No. LIB250091) was prepared. The survey found no indicators of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County’s standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- h) Historical Resources. Due to the age of the existing residence (constructed in 1946), a Phase I Historic Assessment (County of Monterey Library No. LIB250093) was prepared to determine whether the residence retained any historical significance. The report determined that the circa-1946 residence and accessory structures do not retain any historical significance as the property has no historic associations and the existing residence is not an outstanding example of a type, construction period, or architectural design.
- i) Development on Slopes. Less than 399 square feet of development on slopes in excess of 25% will occur to accommodate the footings of the proposed exterior deck and the northern portion of the residence. No discretionary permit is required to allow development pursuant to General Plan Policy OS-3.5(1)(c). The siting of the residence is to accommodate the required 50-foot setback from a nearby fault.
- j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The following reports have been prepared:
 - “Phase I Archaeological Assessment in Support of the 308 Calle de Los Agrinemsors Project, Carmel Valley, Monterey County, CA” (County of Monterey Library No. LIB250091) prepared by Susan Morley, Marina, California, October 2024.
 - “Geotechnical and Percolation Investigation” (County of Monterey Library No. LIB250092) prepared by Belinda and Jeffrey Taluban, Salinas, California, January 28, 2025.
 - “Phase One Historic Assessment for 308 Calle De Los Agrinemsors” (County of Monterey Library No. LIB250093) prepared by Seth A. Bergstein, Pacific Grove, California, March 24, 2025. ‘
 - “Geological Report for 308 & 308A Calle De Los Agrinemsors” (County of Monterey Library No. LIB250302) prepared by CapRock Geology Inc., Aromas, California, July 3, 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) A Geotechnical Report (County of Monterey Library No. LIB250092) was prepared for this project, where the qualified civil engineer made multiple recommendations for the development, including reinforced spread footing foundations, concrete slabs-on-grade, site drainage, and a septic system drain field system using conventional leaching fields is possible at the project site. The report concluded the site is suitable for the proposed project. Pursuant to Chapter 16.08 section 16.08.110 of the Monterey County Code, the recommendations included in geotechnical reports shall be incorporated in the grading plans and specifications. Therefore, as proposed and designed, the site is found to be suitable for the development.
- d) A Geological Report (County of Monterey Library No. LIB250302) was prepared due to the project site's location with 660 feet of an active or potentially active fault (Tularcitos). Based on a review of the published maps, the Project Geologist found that a discontinuous, well-constrained splay of the Monterey Bay-Tularcitos Fault is mapped crossing the property 45 to 50 feet west of the existing main single-family residence. This splay is underlain by granite and is not a lithologic contact. No geomorphic or textural evidence indicates the fault location. The existing house was built in the 1940s and shows no signs of foundation cracking or other evidence of active fault movement. The main trace of the Monterey Bay-Tularcitos fault is mapped approximately 200 feet to the east of the subject property. The Geologist's observations during their site visit and aerial photo interpretation did not reveal the existence of any geomorphic expression or tonal lineaments indicating the fault location crossing the subject property. Given the well-constrained location of the splay of the Tularcitos fault, the Project Geologist determined that a fault setback of 45-50 feet is considered prudent. General Plan Policy S-1.5 and Title 21 section 21.66.040(C)(2) requires that habitable development be sited at least 50 feet from active faults. The proposed residence is sited 50 feet from the mapped trace and therefore complies with the requirements of the General Plan, Zoning Ordinance, and the recommendation of the Geologist. As sited and required to comply with County Code and California Building Code, the site is physically suitable, the development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property (General Plan Policies S-1.7 and S-1.8).
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240278.

3. FINDING:

HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to

property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) All necessary public facilities are currently available to the subject property. California American Water (Cal-Am) provides potable water, and the subject property contains an On-site Wastewater Treatment System (OWTS). The proposed project includes the installation of a new OWTS to increase the property's wastewater disposal. EHB will review and approve an OWTS Permit concurrent with issuance of the required construction permit.
- c) See Finding No. 2, Evidence "c" and "d."
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240278.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240278.

5. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) As detailed in Finding 1, evidence "b", the applicants propose a single-family dwelling and an ADU. However, under Title 21 section 21.64.030 and Government Code section 65852.2, the ADU is being processed ministerially. CEQA Guidelines section 15268(d) declares that "[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA." In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Chief of Planning's discretionary authority is limited to consideration of the proposed residence and garage, the proposed residence, garage, and ADU are subject to CEQA. The project involves the construction of the

first single-family dwelling, with an attached garage and a detached accessory dwelling unit on a residentially zoned property.

- b) California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
- c) The replacement structures will have the same residential purpose and capacity as the original structures. The replacement structures will be on substantially the same footprint as the existing structures and will be located on the same site. Therefore, the proposed project meets the Class 2 Categorical Exemption requirements.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The historical report concluded that the existing main residence has no historical significance or integrity, the Phase I archaeological report concludes no impact to archaeological resources with implementation of the project. Construction of the proposed residential development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240278.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appeal authority to consider appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to Section 15300.2; and
2. Approve the Administrative Permit and Design Approval to allow demolition of an existing 943 square foot single family dwelling, 493 square foot second single family dwelling, and a 365 square foot detached garage, and construction of a 2,729 square foot two-story single-family dwelling with attached 626 square foot garage and associated site improvements including 624 square feet of decks and refinishing of the existing asphalt driveway.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 17th day of September 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240278

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval (PLN240278) to allow for the demolition of an existing 943 square foot house, 493 square foot house and 365 square foot detached garage; and construction of a 2,729 square foot two-story single family dwelling with attached 626 square foot garage, a 1,200 square foot accessory dwelling unit, 624 square foot of new composite wood decks, refinish existing asphalt driveway. The property is located at 308 Calle De Los Agrinemsors, Carmel Valley (Assessor's Parcel Number 189-421-011-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A [Type of Permit] (Resolution Number _____) was approved by [Name of Hearing Body] for Assessor's Parcel Number 189-421-011-000 on September 17th, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PW0006 - CARMEL VALLEY

Responsible Department:	Public Works
Condition/Mitigation Monitoring Measure:	The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)
Compliance or Monitoring Action to be Performed:	Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department:	Public Works
Condition/Mitigation Monitoring Measure:	Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.
Compliance or Monitoring Action to be Performed:	Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department:	Public Works
Condition/Mitigation Monitoring Measure:	The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project. CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)
Compliance or Monitoring Action to be Performed:	<ol style="list-style-type: none">1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

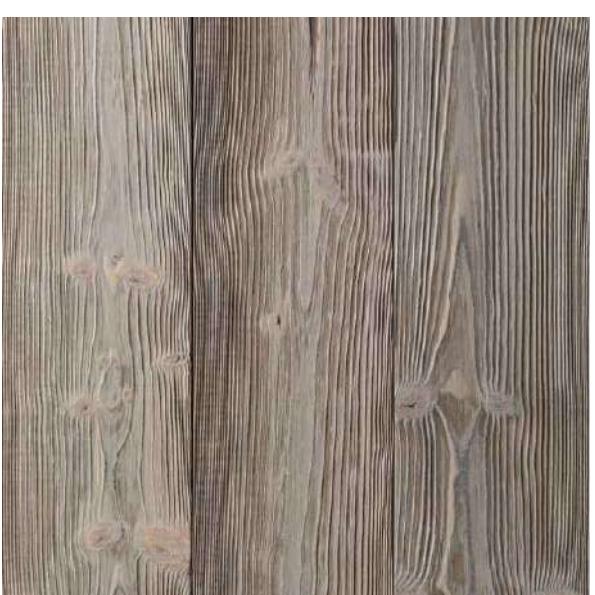
PROPOSED MATERIALS



COMPOSITE SLATE ROOF - GRAY/BROWN
BY 'DAVINCI'



VINYL WINDOWS & DOORS -
BLACK



VERTICAL WOOD SIDING - BROWN
BY 'HEWN ELEMENTS - RUSTIC
RECLAIMED'



CORRUGATED METAL SIDING



BRICK VENEER - RED/BROWN
BY 'GLEN-GERY - MT. RUSHMORE'

EXISTING SITE PHOTOS



STREET VIEW OF (E) HOUSE & GARAGE



REAR VIEW OF 2ND (E) HOUSE & STORAGE SHED

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
4. SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
5. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
6. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
7. CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

AVERAGE NATURAL GRADE CALCULATIONS

PROPOSED HOUSE:

HIGHEST ELEVATION = 793.5'
LOWEST ELEVATION = 782.0'

$(793.5+782.0)/2 = 787.75'$ AVERAGE NATURAL GRADE (A.N.G.)

ALLOWABLE HEIGHT ABV. A.N.G. = 30'-0" OR 817.75'
PROPOSED HEIGHT ABV. A.N.G. = 26'-2" OR 813.91"

PROPOSED A.D.U.:

HIGHEST ELEVATION = 777.0'
LOWEST ELEVATION = 774.0'

$(777.0+774.0)/2 = 775.5'$ AVERAGE NATURAL GRADE (A.N.G.)

ALLOWABLE HEIGHT ABV. A.N.G. = 16'-0" OR 791.5'
PROPOSED HEIGHT ABV. A.N.G. = 14'-9" OR 790.25"

SHEET INDEX

G1.0	PROJECT INFORMATION
G1.1	CONSTRUCTION MANAGEMENT PLAN
G1.2	GRADING PLAN
G1.3	FUEL MANAGEMENT PLAN
A1.0	SURVEY / EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	PROPOSED SITE LIGHTING
A2.0	PROPOSED FIRST FLOOR PLAN
A2.1	PROPOSED SECOND FLOOR PLAN
A2.4	PROPOSED ROOF PLAN
A2.5	PROPOSED A.D.U. FLOOR PLAN
A2.7	PROPOSED A.D.U. ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS
A3.3	BUILDING ELEVATIONS
A4.0	DOOR & WINDOW SCHEDULES

SCOPE OF WORK

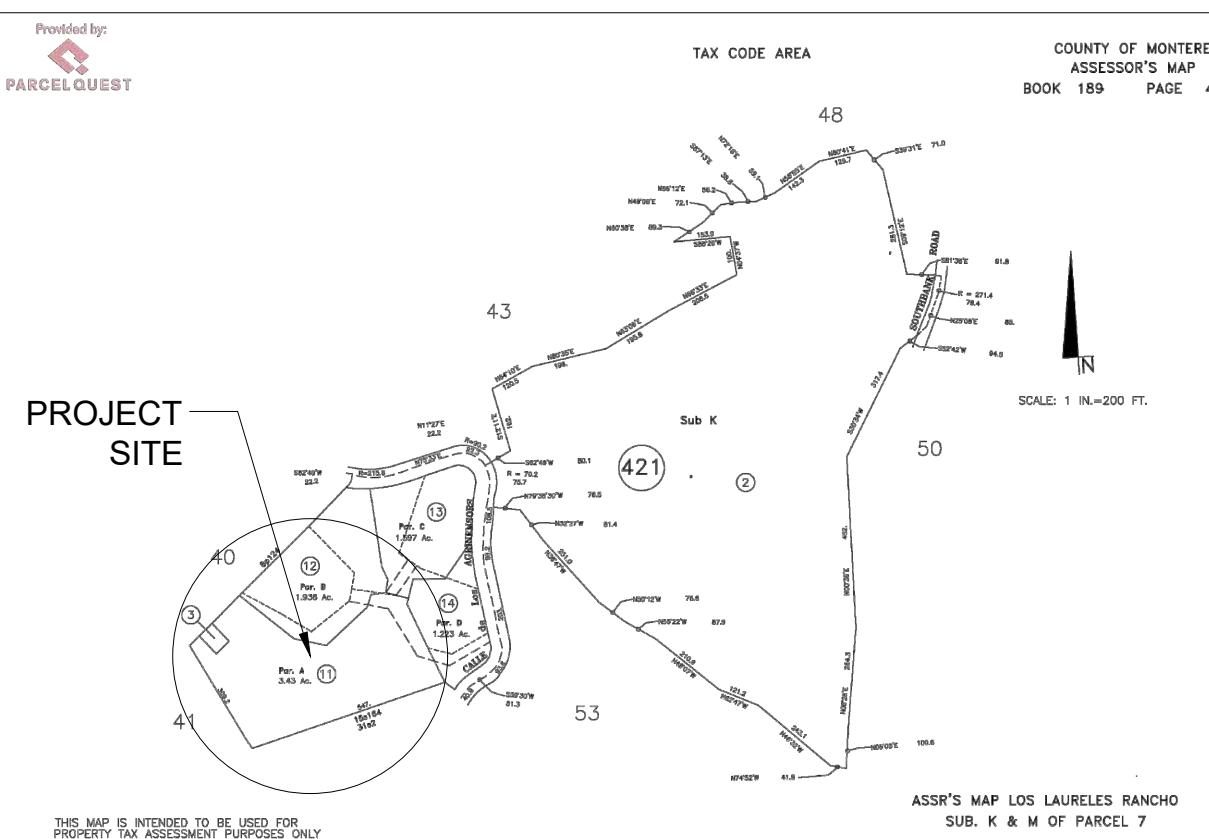
DEMOLITION OF AN (E) 943 SF HOUSE, (E) 493 SF HOUSE, AND (E) 365 SF DETACHED GARAGE.

CONSTRUCTION OF A NEW 2,774 SF TWO STORY SINGLE FAMILY HOUSE WITH ATTACHED 626 SF GARAGE. CONSTRUCTION OF A NEW 1,200 SF ACCESSORY DWELLING UNIT. CONSTRUCT 623.5 SF OF NEW COMPOSITE WOOD DECKS. REFINISH (E) ASPHALT DRIVEWAY 12' WIDE & 120'-0" LONG. NO LANDSCAPING PROPOSED.

VICINITY MAP



PARCEL MAP



BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC, AND CHAPTER 3, SECTION 337R OF THE 2022 CRC.

PROJECT TEAM

OWNER	CAITLIN HARTLEY 308 CALLE DE LOS AGRINEMORS CARMEL VALLEY, CA 93924
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUEL.PITNICK@GMAIL.COM
SURVEYOR	LANDSET ENGINEERS INC. 520 CRAZY HORSE CANYON RD B SALINAS, CA 93907 PHONE: (831) 443-6970
ARCHAEOLOGIST	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE MARINA, CA 93933 PHONE: (831) 277-9071
GEOTECHNICAL ENGINEER	SOIL SURVEYS GROUP, INC. 103 CHURCH STREET, SALINAS, CA 93901 PHONE: (831) 757-2172
SEPTIC DESIGN	TALUBAN ENGINEERING, INC. P.O. BOX 292, SALINAS, CA 93902 PHONE: (831) 754-0545

PROJECT INFORMATION

PROPERTY ADDRESS	308 CALLE DE LOS AGRINEMORS CARMEL VALLEY, CA 93924
APN	189-421-011-000
ZONING	LDR/2.5-D-S-RAZ
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
YEAR BUILT	1946

BUILDING INFORMATION & LOT COVERAGE

LOT SIZE	149,410 SF (3.43 ACRES)
(E) FLOOR AREA:	
(E) HOUSE #1	943 SF
(E) HOUSE #2	493 SF
(E) GARAGE	365 SF
TOTAL	1,801 SF
(P) FLOOR AREA:	
(P) FIRST FLOOR	1,534 SF
(P) SECOND FLOOR	1,240 SF
(P) GARAGE	626 SF
SUB-TOTAL	3,400 SF
(P) A.D.U.	1,200 SF
TOTAL	4,555 SF

ALLOWABLE SITE COVERAGE 25% OR 37,352 SF

(E) SITE COVERAGE:	
(E) STRUCTURES	1,801 SF
(E) EAVES > 30"	162 SF
(E) DECKS/PATIOS > 24"	556 SF
TOTAL	2,519 SF OR 1.6%

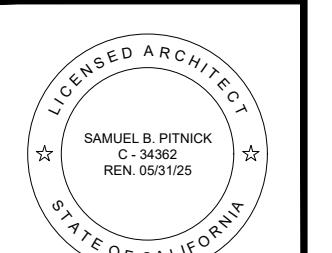
(P) SITE COVERAGE:	
(P) STRUCTURES	3,360 SF
(P) EAVES > 30"	10 SF
(P) DECKS/PATIOS > 24"	623.5 SF
TOTAL	3,993.5 SF OR 2.6%

MISCELLANEOUS

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEPTIC
TREES TO BE REMOVED	NONE
GRADING ESTIMATES:	
(P) CUT	107.5 CU.YDS.
(P) FILL	119.5 CU YDS.
(P) NET CUT/FILL	12 CU. YDS. FILL
(E) PARKING	2 SPACES (COVERED)
(P) PARKING	3 SPACES (COVERED)
(E) BUILDING SPRINKLERED	NO
(P) BUILDING SPRINKLERED	YES

HARTLEY RESIDENCE

308 CALLE DE LOS AGRINEMORS
CARMEL VALLEY, CA 93924



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-1895
EMAIL: SAMUEL.PITNICK@GMAIL.COM

ARCHITECTURAL

PROJECT INFORMATION

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.0

01/03/2025



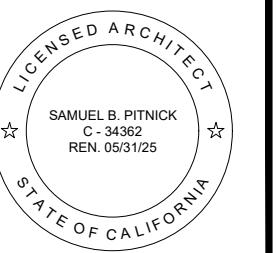
1 FUEL MANAGEMENT PLAN
SCALE: 3/32"=1'-0"



SAMUEL PITNICK ARCHITECTS

P.O. BOX 2242, CARMEL, CA 93922
PHONE: (831) 241-8895
EMAIL: SAMUEL.PITNICK@GMAIL.COM

**HARTLEY
RESIDENCE**
308 CALLE DE LOS
AGRINEMOSORS
CARMEL VALLEY, CA
93923



REVISIONS DATE

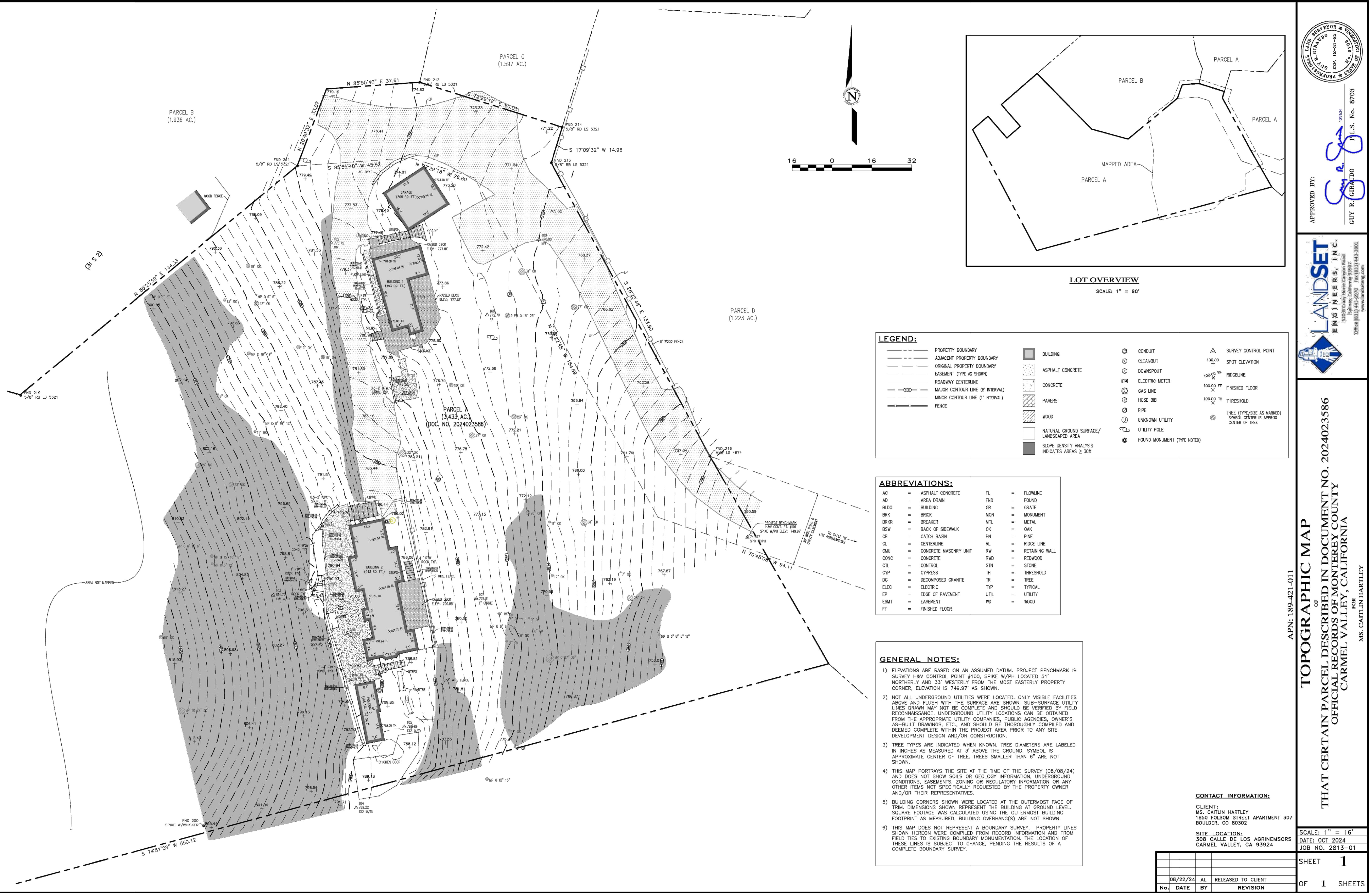
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FUEL
MANAGEMENT
PLAN

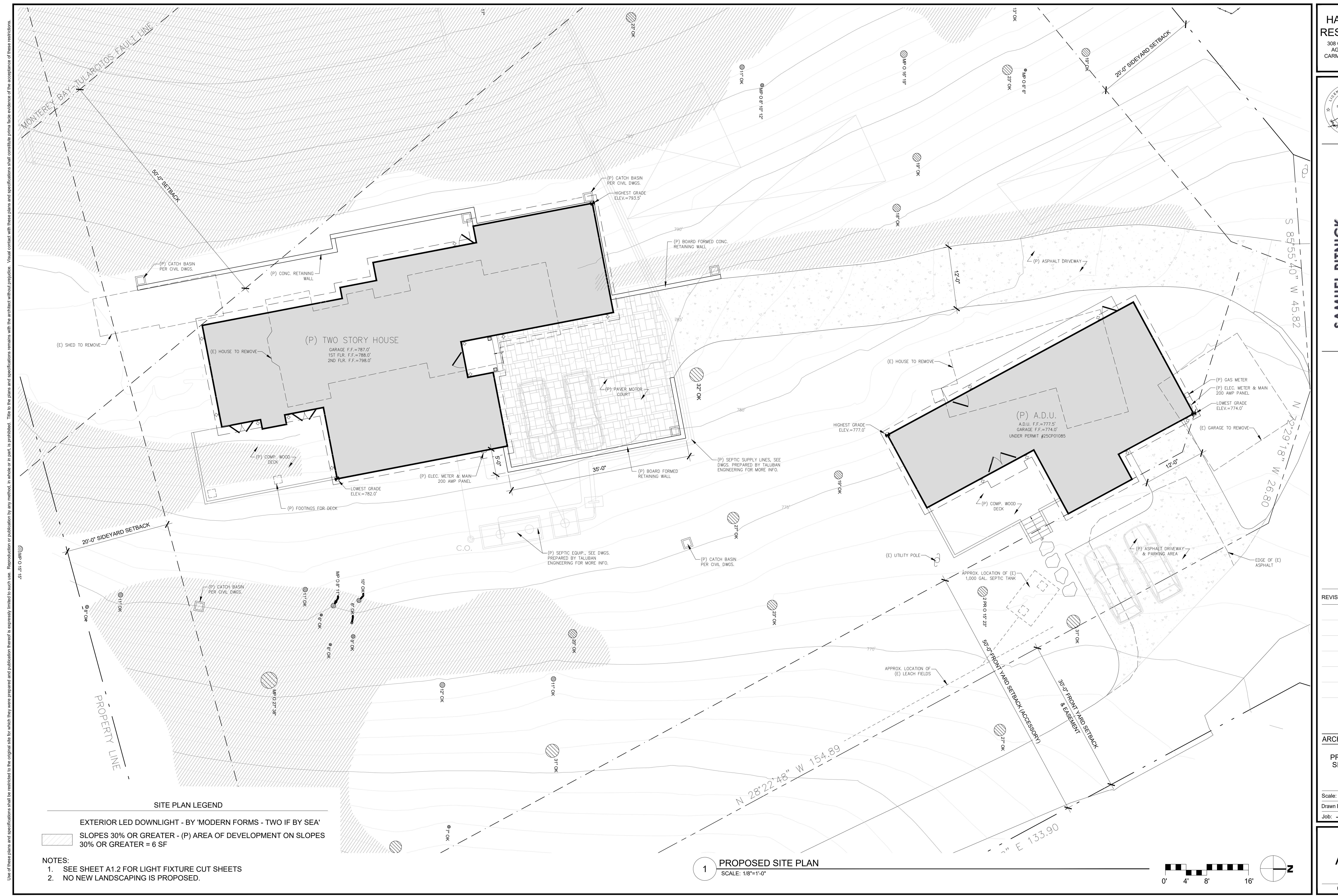
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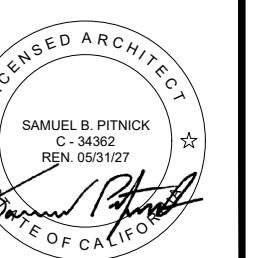


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HARTLEY
RESIDENCE
8 CALLE DE LOS
AGRINEMSORS
CARMEL VALLEY, CA
93923

8 CALLE DE LOS
AGRINEMSONS
MEL VALLEY, CA
93923



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922

PHONE: (831) 241-1895
EMAIL: SAMUEL.PITTNICK@GMAIL.COM

ARCHITECTURAL PROPOSED SITE PLAN

e: SEE DWG.
n By: SBP

e: SEE DWG.
n By: SBP

A1.1

09/02/2025

Lightology

Two If By Sea Outdoor Wall Sconce
ITEM NUMBER MFR833767



BRAND Modern Forms

DESCRIPTION

The Two If By Sea Outdoor Wall Light features aluminum hardware with clear hammered seeded glass for a soft glow on all sides of this geometric wall sconce. Down light illumination.



Shown in: Black / Clear

SHADE COLOR	Clear
BODY FINISH	Black
WATTAGE	15W
DIMMER	Low Voltage Electronic
DIMENSIONS	5.875W x 11.887H x 4.575D
LAMP	1 x LED/15W/200V LED
Technical Information	
LUMINOUS FLUX	870 lumens
LUMENS/WATT	58.00
LAMP COLOR	3000 K
COLOR RENDERING	90 CRI
ITEM NUMBER	MFR833767

COMPANY PROJECT FIXTURE TYPE APPROVED BY DATE

LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM

Apr 05, 2021 | 1.866.954.4489

1 PROPOSED EXTERIOR WALL SCONCE
SCALE: N.T.S.

REVISIONS DATE

ARCHITECTURAL

PROPOSED SITE LIGHTING

Scale: SEE DWG.
Drawn By: SBP
Job: -

A1.2

01/03/2025

HARTLEY RESIDENCE
308 CALLE DE LOS AGRENEMOSRS CARMEL VALLEY, CA 93923



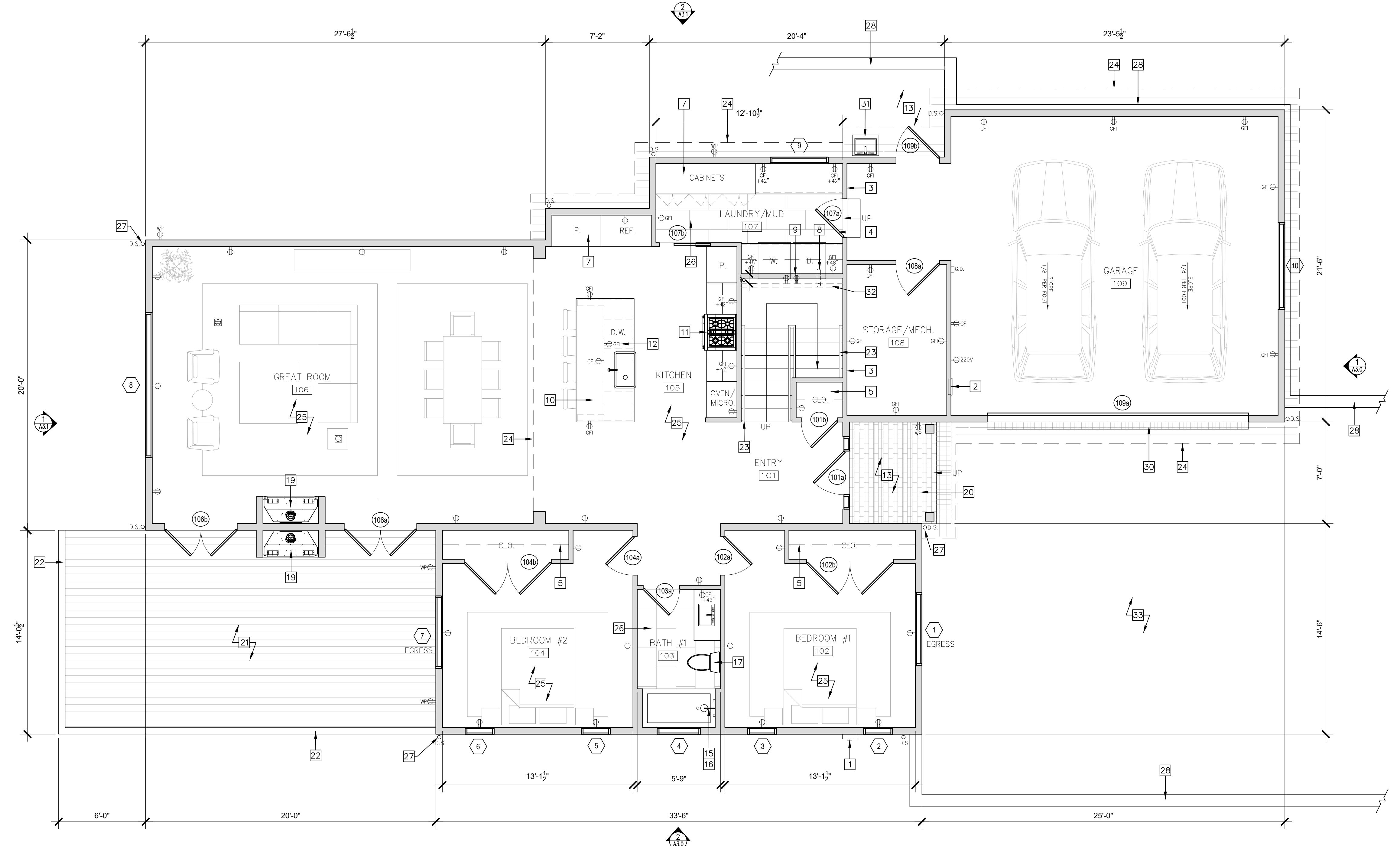
SAMUEL PITNICK ARCHITECT
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-895
EMAIL: SAMUEL.PITNICK@GMAIL.COM

FLOOR PLAN KEYNOTES

1 ELEC. METER & MAIN 200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
2 200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
3 PROVIDE 1" TYPE 'X' GYPSUM WALL BOARD ALONG WALLS BETWEEN GARAGE & HOUSE
4 20-MIN FIRE RATED RATED DOOR W/ SELF-CLOSING & SELF-LATCHING HARDWARE
5 WOOD CLOSET SHELF & ALUM. CLOTHES ROD
6 CUSTOM CLOSET BUILT-INS, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
7 CUSTOM BUILT-IN CABINETRY, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
8 DRYER VENT & 4" DIA. METAL DUCT, SEE DETAILS SHEET FOR MORE INFORMATION
9 PROVIDE GAS HOOKUP & 240V OUTLET AT CLOTHES DRYER
10 36"H KITCHEN ISLAND W/ EAT-IN COUNTER
11 30" GAS RANGE TOP W/ EXHAUST FAN ABV., DUCTED TO OUTSIDE, MIN. 5"DIA. FLEX DUCT & MAX 35' LONG, W/ A MIN. 100 CFM VENTILATION RATE
12 PROVIDE GFCI POWER BELOW SINK FOR GARBAGE DISPOSAL AND DISHWASHER
13 PROVIDE LEVEL LANDING @ EA. GRADE LEVEL EXIT THAT IS THE WIDTH OF THE DOOR AND A MIN. 36" IN THE DIRECTION OF TRAVEL. [CRC R311.3]
14 1" TEMPERED SHOWER GLASS DOOR
15 SHOWERHEAD, 1.8 GPM
16 PRESSURE BALANCED, THERMO-STATIC MIXING VALVES THAT PROVIDES SCALD & THERMAL SHOCK PROTECTION FOR SHOWER
17 TOILET, 1.28 GPF
18 FREESTANDING BATHTUB & TUB FILLER
19 'KOZY HEAT - CARLTON' 46" WIDE DIRECT VENT GAS FIREPLACE, OR APPV'D EQUAL, PROVIDE GAS & POWER PER MANUF.
20 BRICK PATIO/LANDING, SLOPED TO DRAIN
21 COMPOSITE WOOD DECK, CLASS 'A' FIRE RATED
22 GUARDRAIL, 42"H MIN., SEE DETAILS FOR MORE INFO.
23 HANDRAIL/GUARDRAIL, 36" AFF
24 ROOF/STRUCTURE ABOVE
25 ENGINEERED HARDWOOD FLOORING
26 PORCELAIN TILE FLOORING
27 PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS, TYP.
28 RETAINING WALL / SITE WALL, SEE DETAILS FOR MORE INFO.
29 MECH./PLUMBING EQUIP., REFER TO SHEETS PREPARED BY MONTEREY ENERGY GROUP FOR MORE INFO.
30 6"W TRENCH DRAIN
31 OUTDOOR UTILITY SINK, EXTEND ROOF ABOVE FOR COVER
32 FRAME WALL BELOW STAIRS TO RECESSED WASHER/DRYER
33 SAND-SET PAVER MOTOR COURT

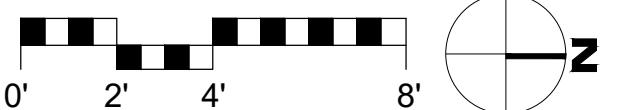
FLOOR PLAN SYMBOLS LEGEND

□ TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
□ TAMPER RESISTANT SWITCHED DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. U.N.O.
□ TAMPER RESISTANT QUAD OUTLET
□ 220V TAMPER RESISTANT DUPLEX OUTLET
□ TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARING
□ GROUND FAULT CIRCUIT INTERRUPT OUTLET
□ WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT, RECESSED INTO WALL
□ TAMPER RESISTANT FLOOR OUTLET
□ TAMPER RESISTANT SWITCHED FLOOR OUTLET
□ GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
□ THERMOSTATIC CONTROL FOR HEATING SYSTEM
□ HOSE BIBB W/ ANTI-SIPHON DEVICE, RECESSED INTO WALL



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



REVISIONS DATE

ARCHITECTURAL

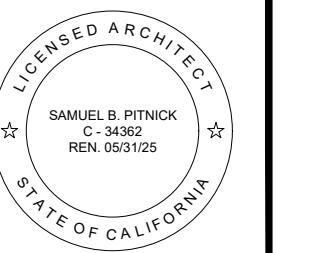
PROPOSED FIRST FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

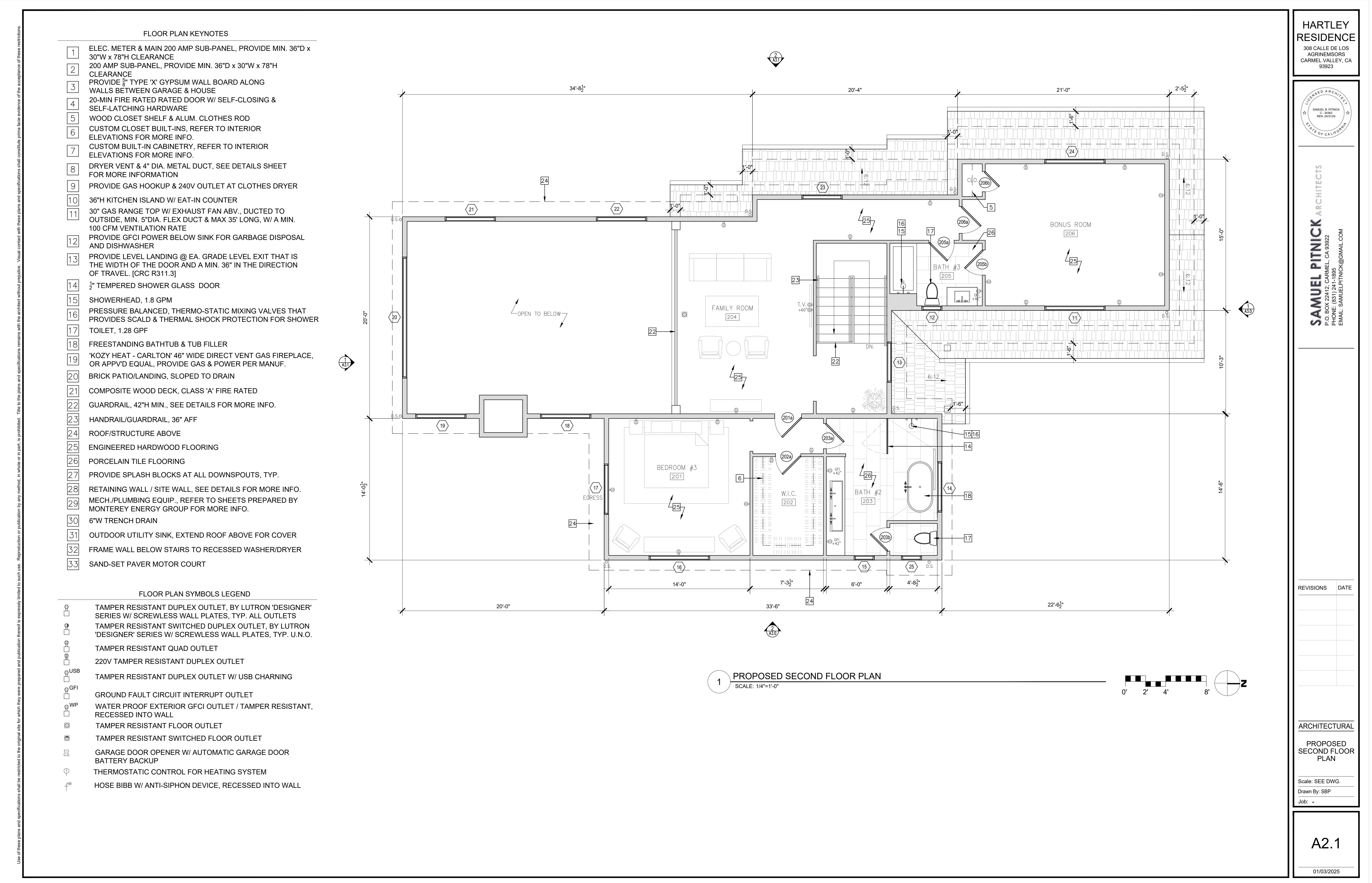
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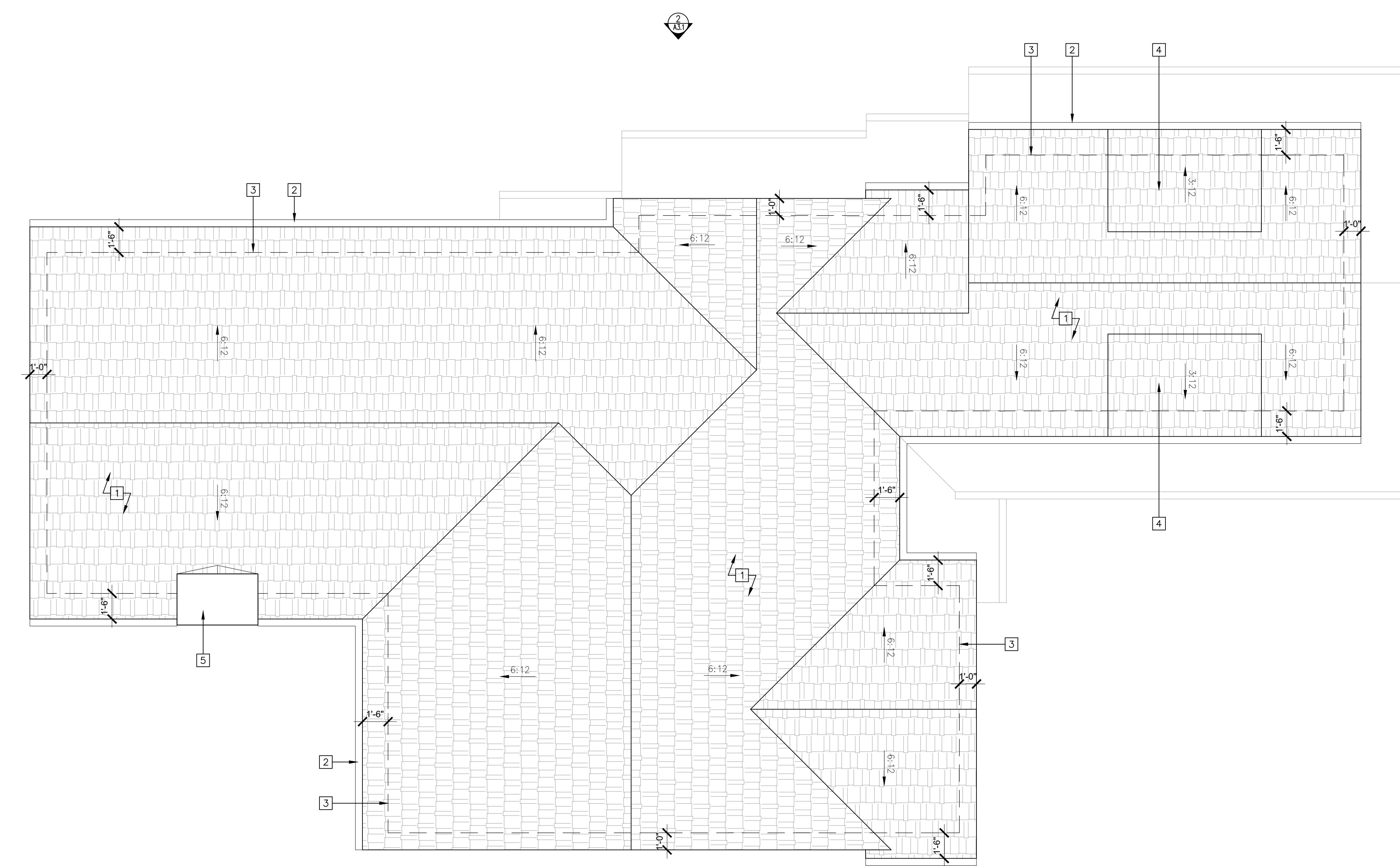
01/03/2025

HARTLEY RESIDENCE
308 CALLE DE LOS AGRENEMOS
CARMEL VALLEY, CA 93923

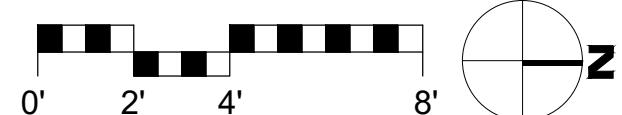


SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-885
EMAIL: SAMUEL.PITNICK@GMAIL.COM





1 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

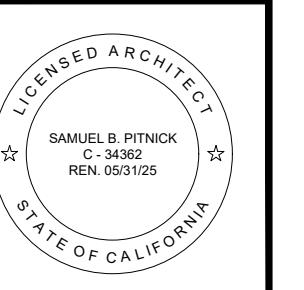


ROOF PLAN NOTES

- [1] COMPOSITE SLATE ROOF, CLASS 'A' FIRE RATED
- [2] HALF-ROUND ALUMINUM GUTTER, PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
- [3] STRUCTURE BELOW
- [4] SHED ROOF OVER DORMER WINDOW BELOW
- [5] BRICK CLAD CHIMNEY & ALUMINUM CHIMNEY CAP

ADDITIONAL NOTES:
1. THE CONTRACTOR SHALL LOCATE ALL VENT PIPES & OTHER ROOF PENETRATIONS TO MINIMIZE VISIBILITY FROM THE PRIMARY OUTDOOR SPACES & FRONT ELEVATION.

HARTLEY
RESIDENCE
308 CALLE DE LOS
AGRINEMOS
CARMEL VALLEY, CA
93923



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-885
EMAIL: SAMUEL.PITNICK@GMAIL.COM

REVISIONS	DATE

ARCHITECTURAL
PROPOSED ROOF PLAN
Scale: SEE DWG. Drawn By: SBP Job: -

A2.4

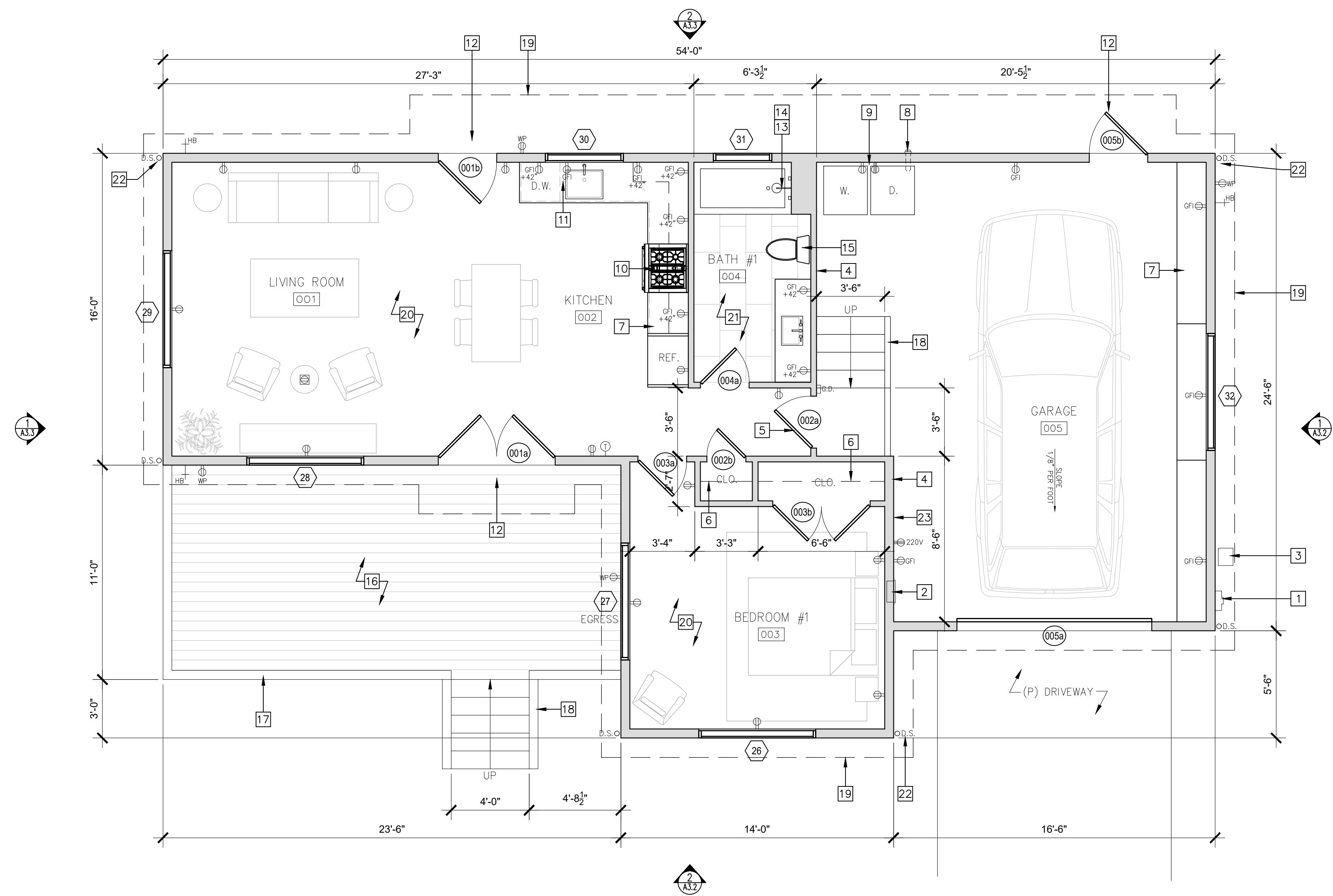
01/03/2025

A.D.U. FLOOR PLAN KEYNOTES

- 1 ELECTRICAL METER & 200 AMP MAIN PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
- 2 200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
- 3 GAS METER
- 4 PROVIDE 5" TYPE 'X' GYPSUM WALL BOARD ALONG WALLS BETWEEN GARAGE & HOUSE
- 5 20-MIN FIRE RATED RATED DOOR W/ SELF-CLOSING & SELF-LATCHING HARDWARE
- 6 WOOD CLOSET SHELF & ALUM. CLOTHES ROD
- 7 CUSTOM BUILT-IN CABINETRY, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
- 8 DRYER VENT & 4" DIA. METAL DUCT, SEE DETAILS SHEET FOR MORE INFORMATION
- 9 PROVIDE GAS HOOKUP & 240V OUTLET AT CLOTHES DRYER
- 10 30" GAS RANGE W/ EXHAUST FAN ABV., DUCTED TO OUTSIDE, MIN. 5"DIA. FLEX DUCT & MAX 35' LONG, W/ A MIN. 100 CFM VENTILATION RATE
- 11 PROVIDE GFCI POWER BELOW SINK FOR GARBAGE DISPOSAL AND DISHWASHER
- 12 PROVIDE LEVEL LANDING @ EA. GRADE LEVEL EXIT THAT IS THE WIDTH OF THE DOOR AND A MIN. 36" IN THE DIRECTION OF TRAVEL. [CRC R311.3]
- 13 SHOWERHEAD, 1.8 GPM
- 14 PRESSURE BALANCED, THERMO-STATIC MIXING VALVES THAT PROVIDES SCALD & THERMAL SHOCK PROTECTION FOR SHOWER
- 15 TOILET, 1.28 GPF
- 16 COMPOSITE WOOD DECK, CLASS 'A' FIRE RATED
- 17 GUARDRAIL, 42"H MIN., SEE DETAILS FOR MORE INFO.
- 18 HANDRAIL/GUARDRAIL, 36" AFF
- 19 ROOF ABOVE
- 20 ENGINEERED HARDWOOD FLOORING
- 21 PORCELAIN TILE FLOORING
- 22 PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS, TYP.
- 23 CRAWL SPACE ACCESS IN WALL, MIN. 16"X24" PER CRC R408.4
- 24 MECH./PLUMBING EQUIP., REFER TO SHEETS PREPARED BY MONTEREY ENERGY GROUP FOR MORE INFO.

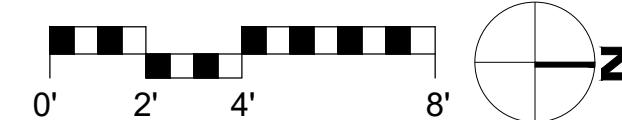
FLOOR PLAN SYMBOLS LEGEND

- Tamper Resistant Duplex Outlet, by Lutron 'Designer' Series w/ Screwless Wall Plates, TYP. All Outlets
- Tamper Resistant Switched Duplex Outlet, by Lutron 'Designer' Series w/ Screwless Wall Plates, TYP. U.N.O.
- Tamper Resistant Quad Outlet
- 220V Tamper Resistant Duplex Outlet
- Tamper Resistant Duplex Outlet w/ USB Charging
- GFI
- WP Water Proof Exterior GFCI Outlet / Tamper Resistant, Recessed into Wall
- FLOOR Tamper Resistant Floor Outlet
- FLOOR Tamper Resistant Switched Floor Outlet
- GDO Garage Door Opener w/ Automatic Garage Door Battery Backup
- THERM Thermostatic Control for Heating System
- HB Hose Bibb w/ Anti-Siphon Device, Recessed into Wall



1 PROPOSED A.D.U. FLOOR PLAN

SCALE: 1/4"=1'-0"



REVISIONS DATE

ARCHITECTURAL
PROPOSED
A.D.U.
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

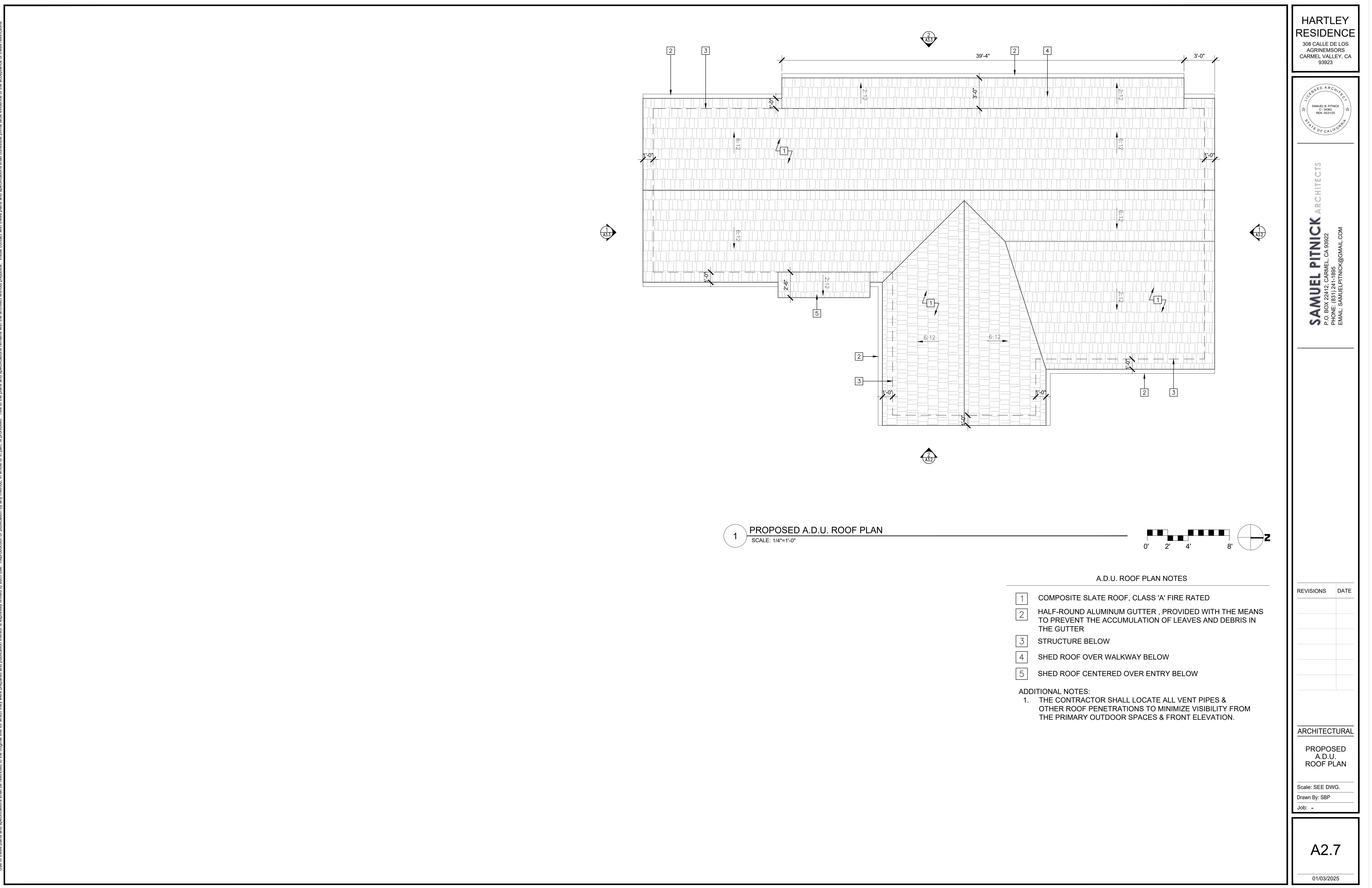
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01/03/2025

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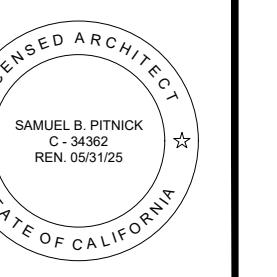


SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93923
PHONE: (831) 241-885
EMAIL: SAMUEL.PITNICK@GMAIL.COM





HARTLEY RESIDENCE
308 CALLE DE LOS AGRENEMOS
CARME VALLEY, CA 93923



SAMUEL PITNICK ARCHITECTS

P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-885
EMAIL: SAMUEL.PITNICK@GMAIL.COM

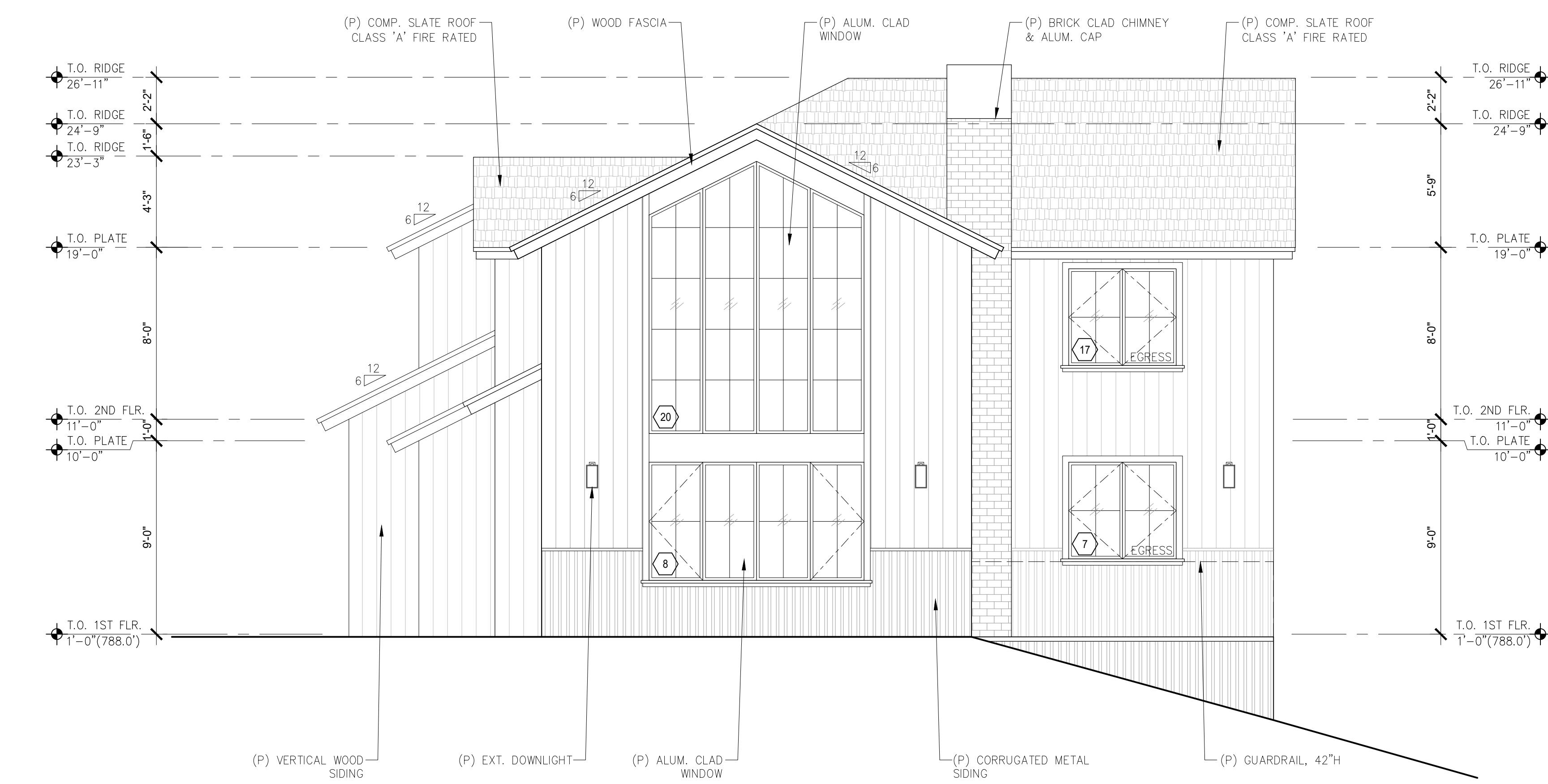
REVISIONS	DATE

ARCHITECTURAL BUILDING ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

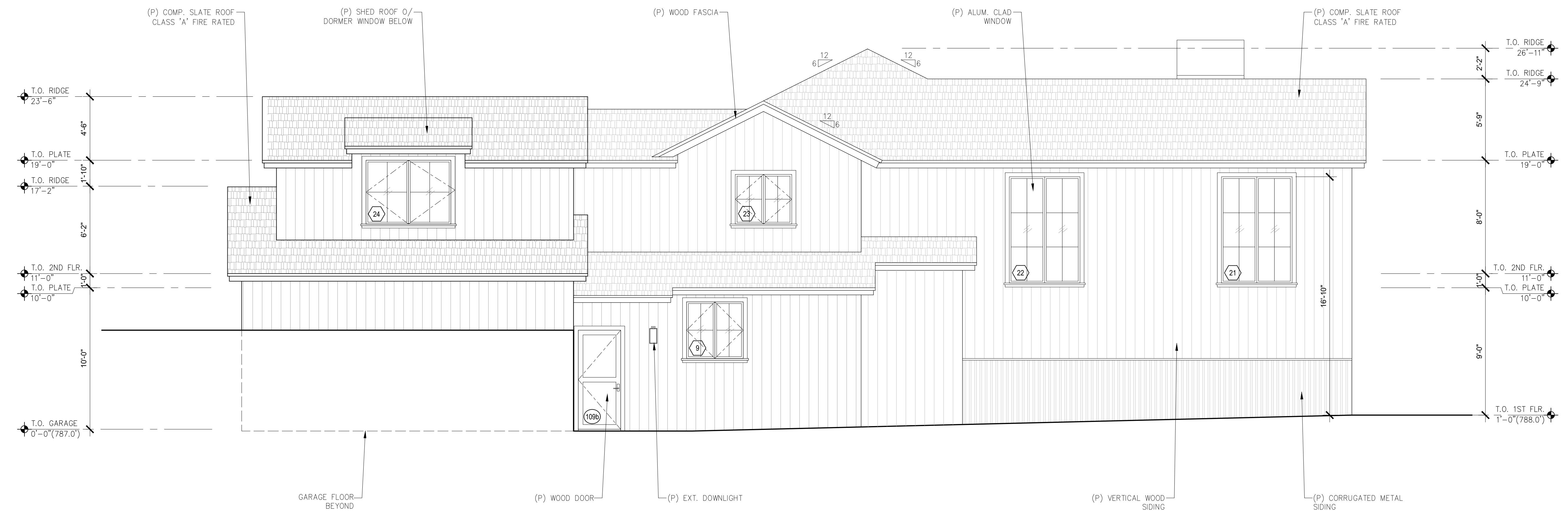
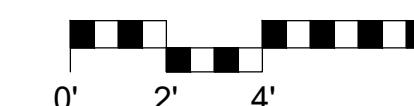
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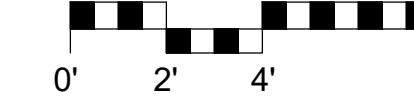
1 PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"

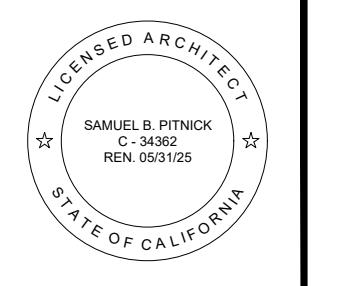


2 PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"



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SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-885
EMAIL: SAMUEL.PITNICK@GMAIL.COM

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**ARCHITECTURAL
BUILDING ELEVATIONS**

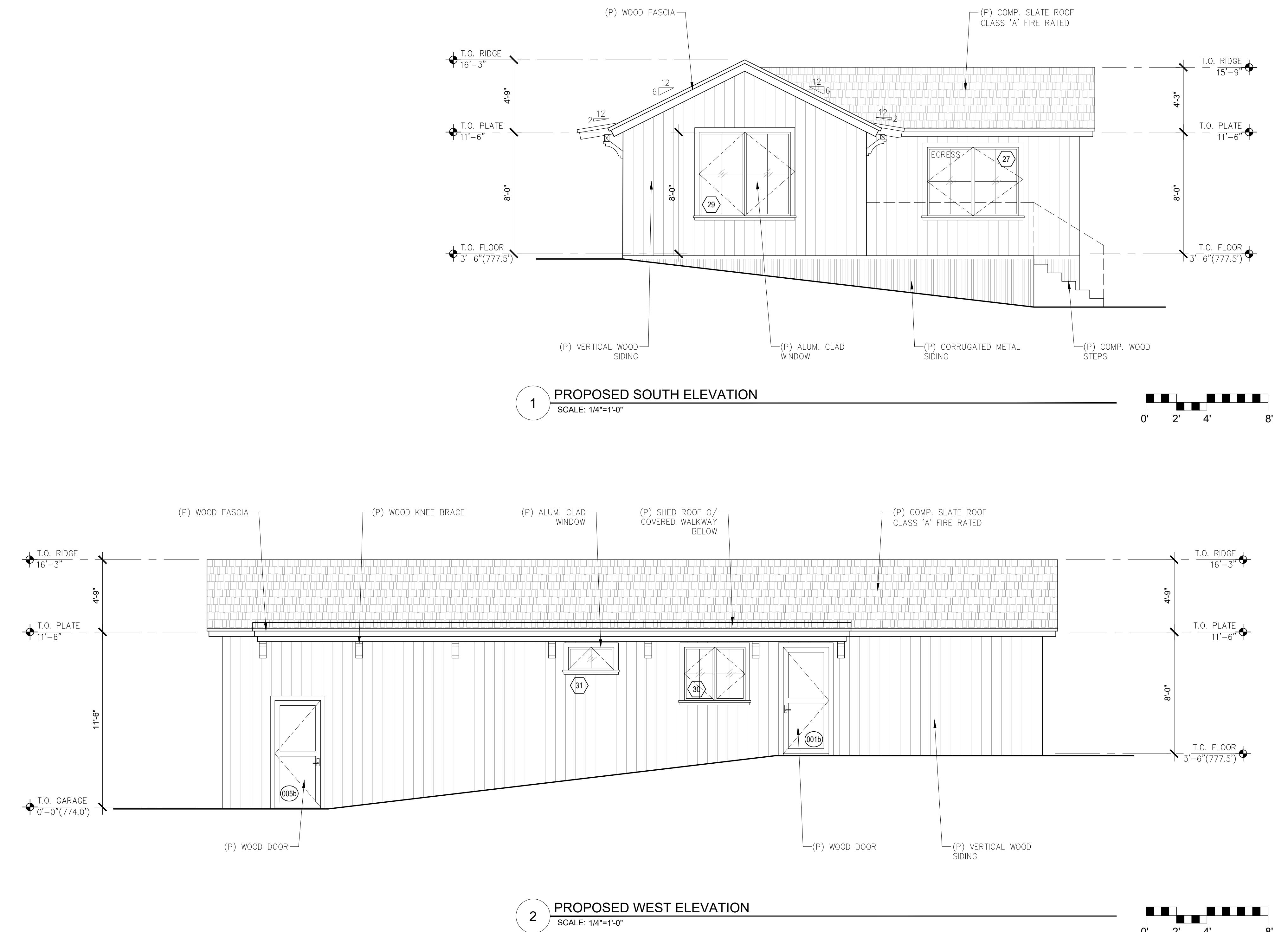
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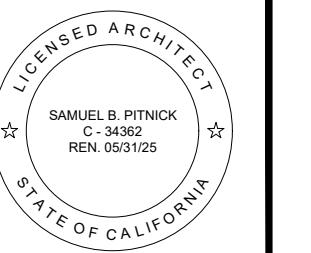


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AGRINEMSORS
CARMEL VALLEY, CA
93923



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-1895

PHONE: (831) 241-1895
EMAIL: SAMUELPTTICK@GMAIL.COM

A3.3

01/03/2025

A.D.U. EXTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001a	6'-0"	7'-0"	-	VINYL/GLASS	VINYL	FRENCH	TEMPERED GLAZING
001b	3'-0"	7'-0"	-	WOOD	WOOD	SWING	
005a	10'-0"	10'-6"	-	WOOD/GLASS	WOOD	GARAGE-SECTIONAL	TEMPERED GLAZING
005b	3'-0"	7'-0"	-	WOOD	WOOD	SWING	

A.D.U. INTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
002a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	20-MIN. FIRE RATED, SELF-CLOSING, SELF-LATCHING
002b	2'-0"	7'-0"	1.75"	WOOD	WOOD	SWING	
003a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
003b	5'-0"	7'-0"	1.75"	WOOD	WOOD	FRENCH, CLOSET	
004a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	

A.D.U. WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
26	5'-11"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
27	6'-0"	4'-6"		GLASS	VINYL	CASEMENT, EGRESS	TEMPERED GLAZING
28	6'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
29	6'-0"	5'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
30	4'-0"	3'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
31	3'-0"	1'-6"		GLASS	VINYL	AWNING	TEMPERED GLAZING, OBSCURED
32	6'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING

MAIN HOUSE EXTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
101a	3'-0"	7'-0"	-	WOOD	WOOD	SWING	W/ 10" SIDELITES, TEMPERED GLAZING
106a	5'-0"	8'-0"	-	VINYL/GLASS	VINYL	FRENCH	TEMPERED GLAZING
106b	5'-0"	8'-0"	-	VINYL/GLASS	VINYL	FRENCH	TEMPERED GLAZING
109a	18'-0"	8'-0"	-	WOOD/GLASS	WOOD	GARAGE-SECTIONAL	TEMPERED GLAZING
109b	3'-0"	7'-0"	-	WOOD	WOOD	SWING	

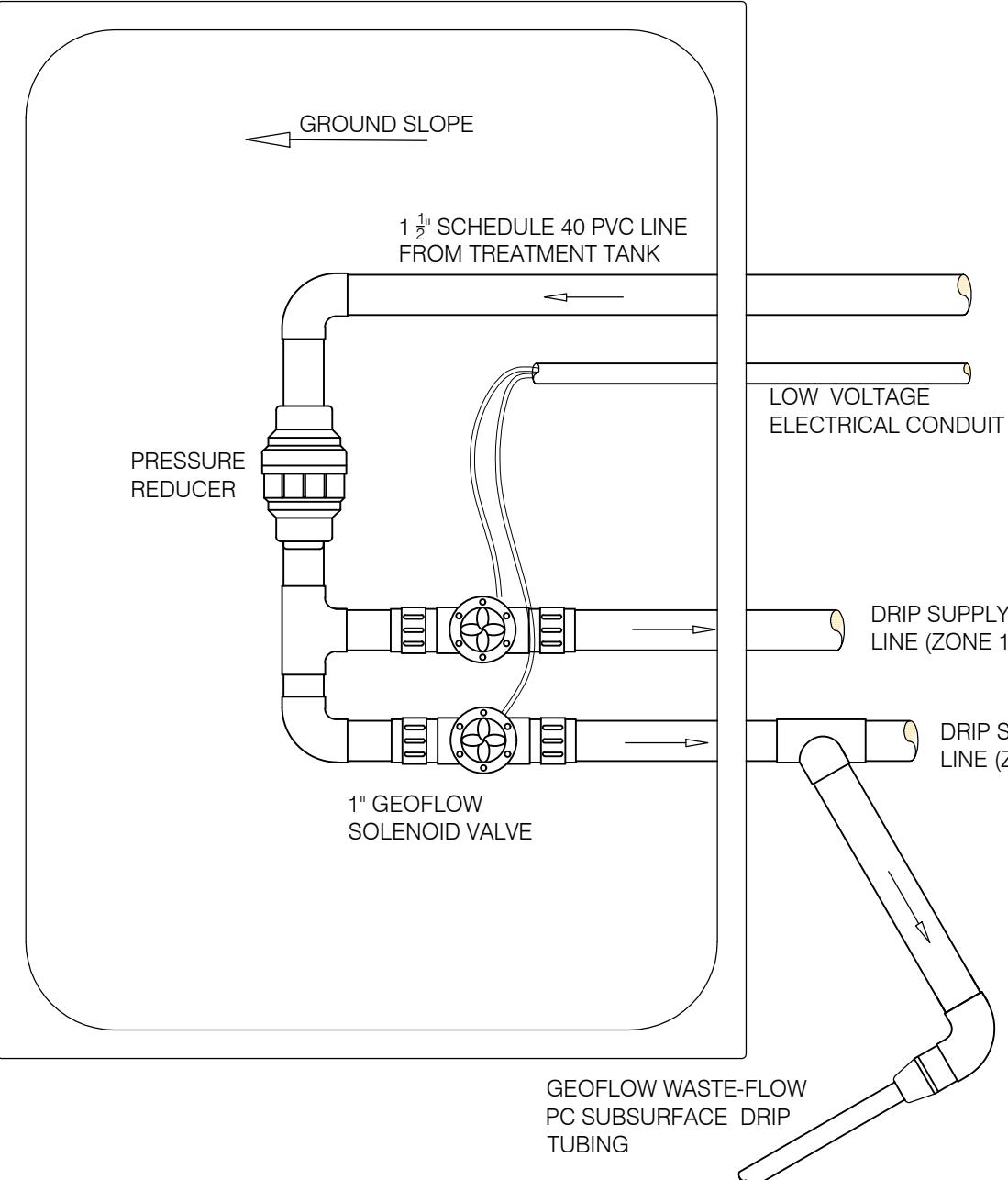
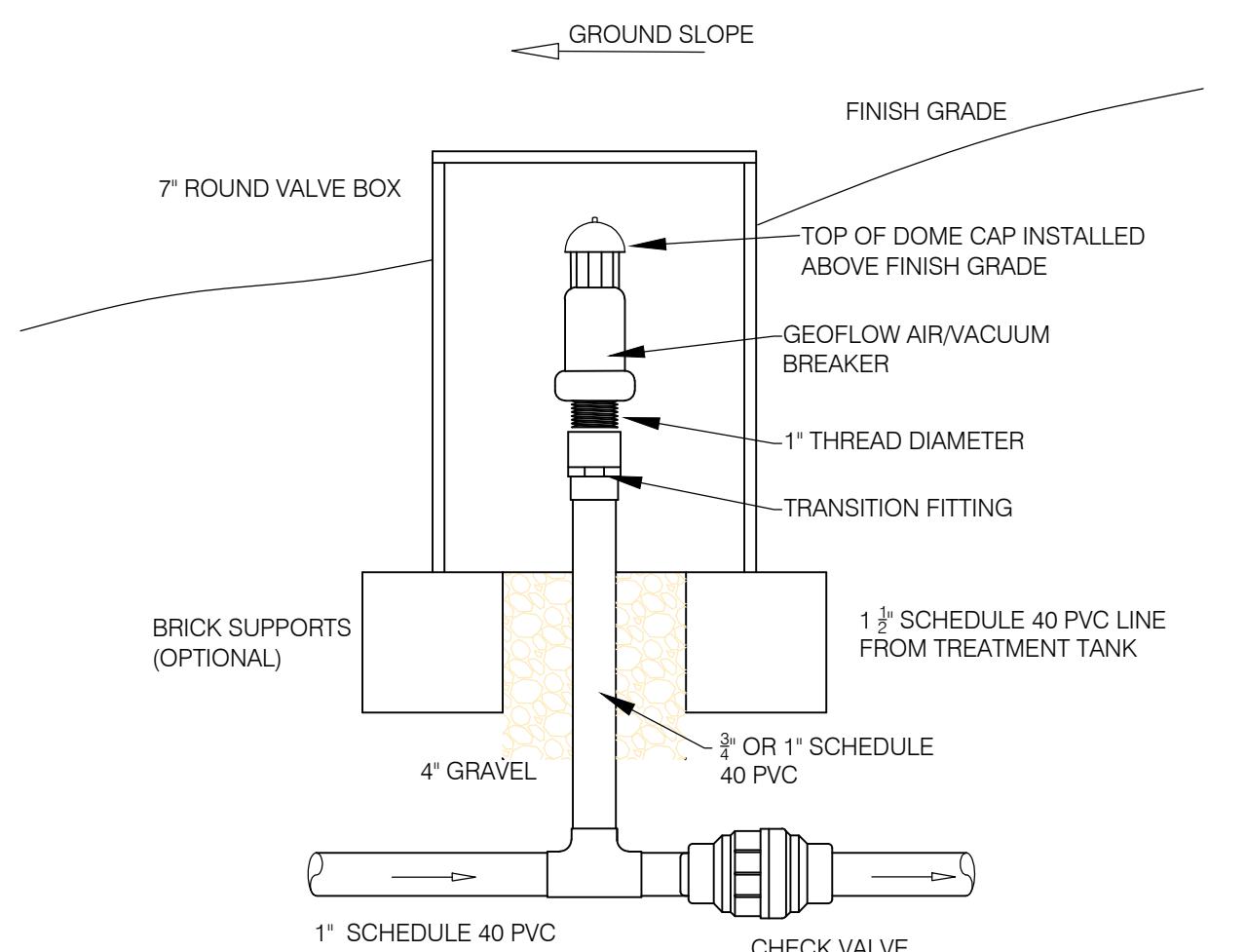
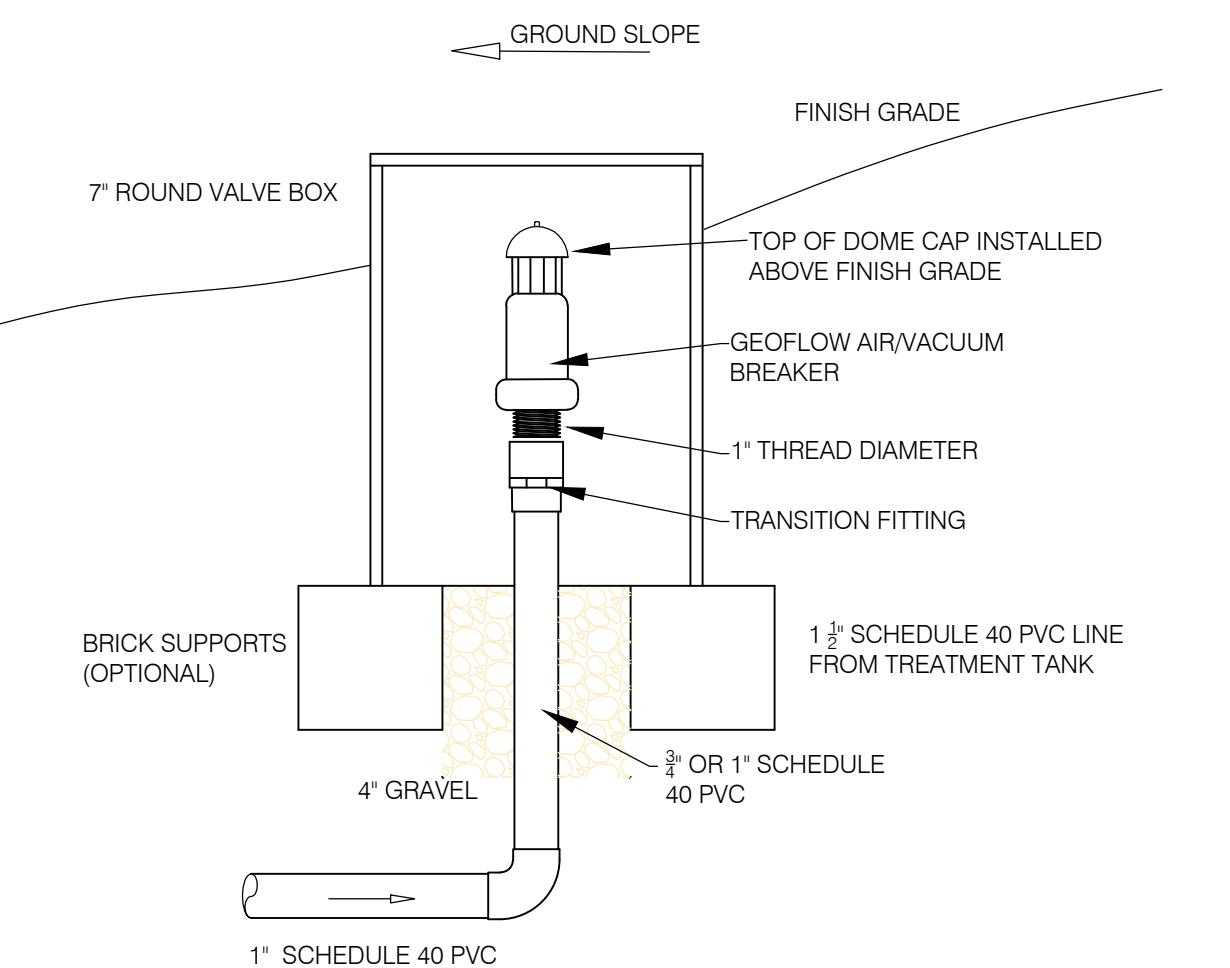
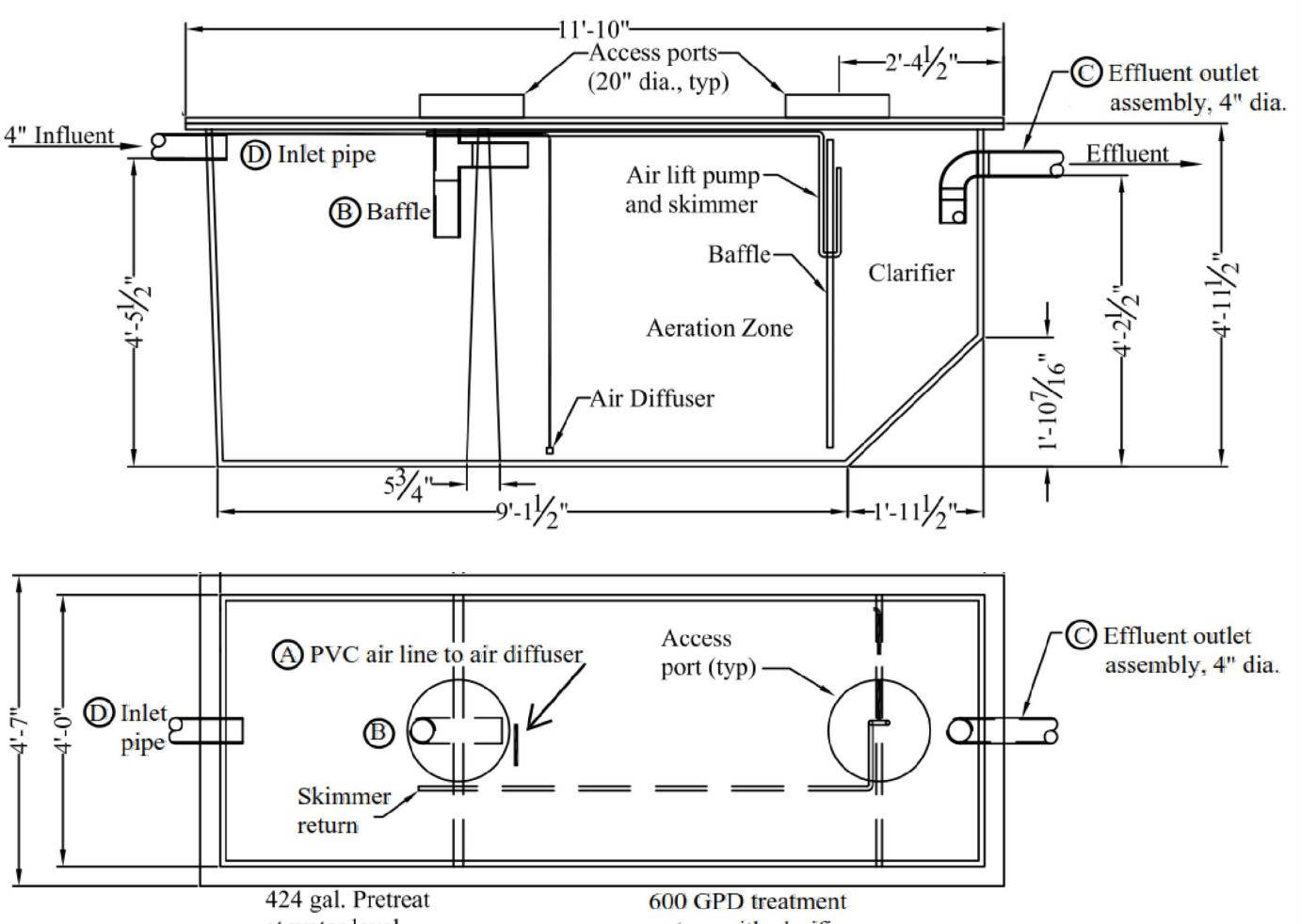
MAIN HOUSE INTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
101b	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
102a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	
102b	6'-0"	7'-0"	1.75"	WOOD	FRENCH, CLOSET		
103a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
104a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	
104b	6'-0"	7'-0"	1.75"	WOOD	FRENCH, CLOSET		
107a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	20-MIN. FIRE RATED, SELF-CLOSING, SELF-LATCHING
107b	2'-8"	7'-0"	1.75"	WOOD	WOOD	POCKETING	
108a	3'-0"	7'-0"	1.75"	WOOD	WOOD	SWING	
201a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	
202a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
203a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
203b	2'-4"	7'-0"	1.75"	WOOD	WOOD	SWING	
205a	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
205b	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	
206a	2'-8"	7'-0"	1.75"	WOOD	WOOD	SWING	
206b	2'-6"	7'-0"	1.75"	WOOD	WOOD	SWING	

MAIN HOUSE WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	5'-0"	4'-6"		GLASS	VINYL	CASEMENT, EGRESS	TEMPERED GLAZING
2	2'-0"	5'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
3	2'-0"	5'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
4	3'-0"	1'-6"		GLASS	VINYL	AWNING	TEMPERED GLAZING
5	2'-0"	5'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
6	2'-0"	5'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
7	5'-0"	4'-6"		GLASS	VINYL	CASEMENT, EGRESS	TEMPERED GLAZING
8	10'-0"	5'-6"		GLASS	VINYL	X-O-O-X	TEMPERED GLAZING
9	4'-0"	4'-0"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
10	6'-0"	3'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
11	6'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
12	2'-0"	3'-0"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
13	4'-0"	3'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
14	5'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
15	2'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
16	6'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
17	5'-0"	4'-6"		GLASS	VINYL	CASEMENT, EGRESS	TEMPERED GLAZING
18	5'-0"	7'-6"		GLASS	VINYL	FIXED	TEMPERED GLAZING
19	5'-0"	7'-6"		GLASS	VINYL	FIXED	TEMPERED GLAZING
20	10'-0"	VARIABLES		GLASS	VINYL	FIXED	TEMPERED GLAZING
21	5'-0"	7'-6"		GLASS	VINYL	FIXED	TEMPERED GLAZING
22	5'-0"	7'-6"		GLASS	VINYL	FIXED	TEMPERED GLAZING
23	4'-0"	3'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
24	6'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING
25	2'-0"	4'-6"		GLASS	VINYL	CASEMENT	TEMPERED GLAZING

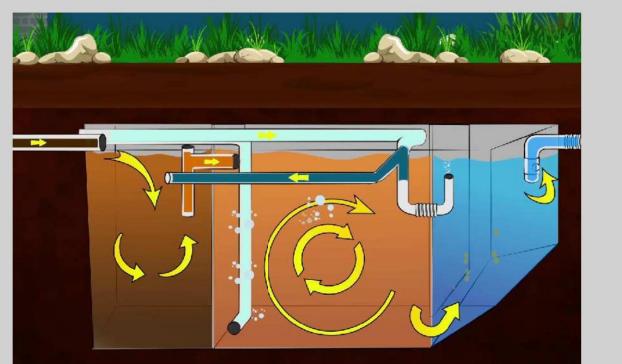
WINDOW & EXTERIOR DOOR NOTES

- WINDOWS & DOORS ARE BY 'MILGARD' (OR APPV'D EQUAL) GLAZING: DUAL GLAZING, ARGON GAS, LOWE2 MTL: VINYL OR FIBERGLASS - BLACK
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET ; AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
 - GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER.
- MIN. U-VALUE = SEE TITLE 24 REPORT.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [SR327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [SR327.8.3]

HARTLEY RESIDENCE
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"A" VALVE BOX DETAIL**"B" MID-FIELD CHECK VALVE****"C" AIR/VACUUM RELIEF DETAIL****AquaKlear Model AK6S245F****ANSI/NSF Std 245 Certified**

Our accelerated biological process produces high quality treated water



- 97% Reduction CBOD5
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- 60%+ Reduction Total Nitrogen
- E.coli <14 MPN/100 mL with UV

Benefits of AquaKlear

- ✓ Addresses difficult site constraints including high groundwater, steep slopes, poor soils & small lots
- ✓ Preserves property values, the health of your family & the community by protecting land quality & groundwater
- ✓ A family of four can save more than 100,000 gallons of irrigation water each year with subsurface drip
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SYSTEM OPERATION:

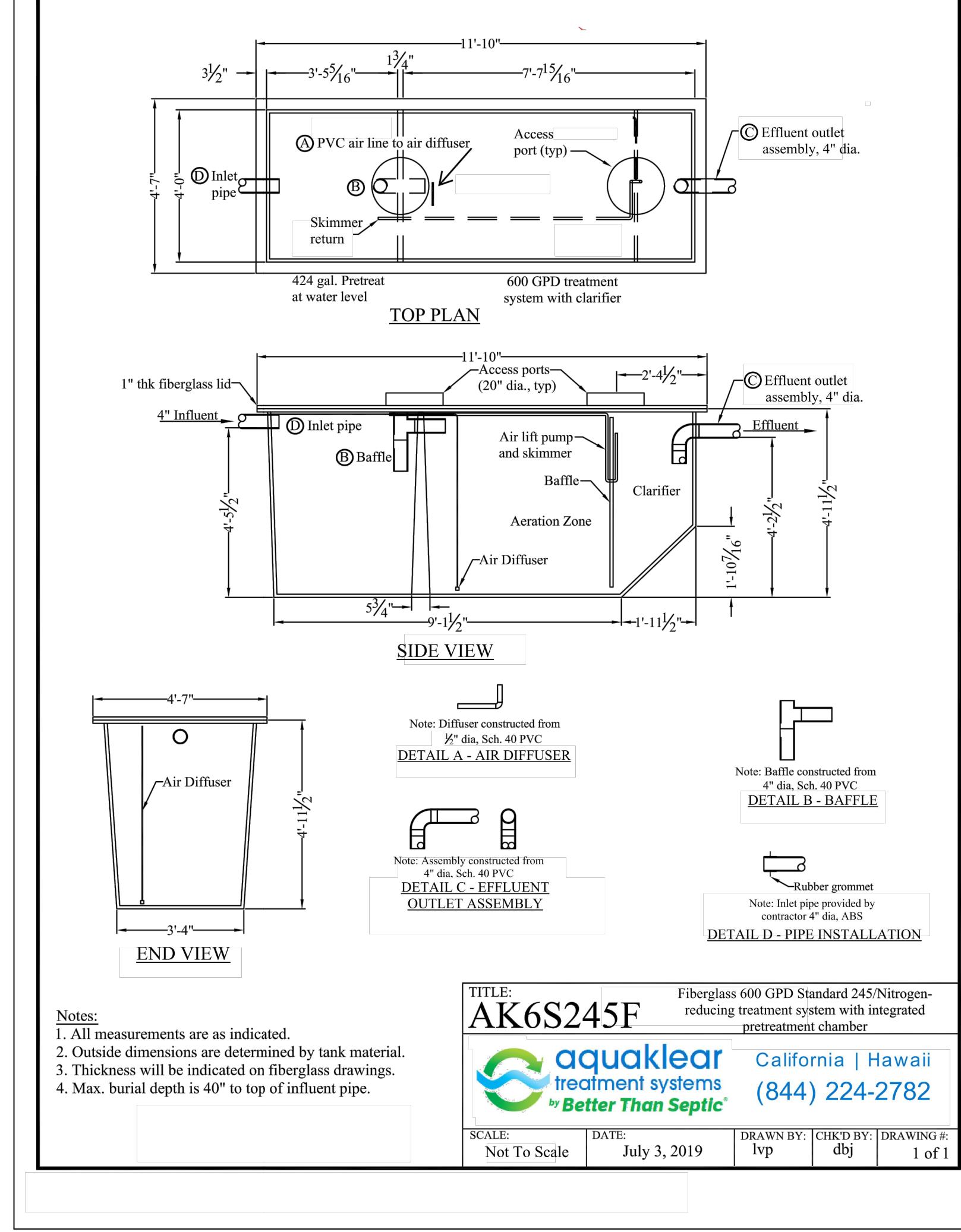
1. THE SPECIFIED WASTEWATER TREATMENT AND DISPERSAL SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S OPERATION AND MAINTENANCE MANUAL. PERIODIC MAINTENANCE SERVICING OF THE AQUAKLEAR SYSTEM BY A QUALIFIED TECHNICIAN IS REQUIRED.
2. MANAGEMENT AND REMOVAL OF FATS, OILS AND GREASE (FOG) PRIOR TO ENTERING THE SYSTEM IS CRITICAL FOR THE PROPER FUNCTIONING AND LIMITING SERVICING OF THE FILTERING SYSTEMS.
3. THE TREATMENT SYSTEM IS ALIVE WITH MICROORGANISMS PERFORMING OXIDATION AND REDUCTION OF THE CONTENTS. DO NOT DISPOSE OF THE FOLLOWING TOXICS OR CHEMICALS INTO THE WASTEWATER SYSTEM AS THEY MAY DISRUPT THE REQUIRED BIOLOGICAL PROCESS:
 - PHARMACEUTICALS
 - EXCESSIVE AMOUNTS OF BATH OR BODY OILS
 - WATER SOFTENER BACKWASH
 - FLAMMABLE OR TOXIC PRODUCTS
 - HOUSEHOLD CLEANERS, ESPECIALLY FLOOR WAX AND RUG CLEANERS
 - CHLORINE BLEACH, CHLORIDES, AND POOL OR SPA PRODUCTS
 - PESTICIDES, HERBICIDES, AGRICULTURAL CHEMICALS, OR FERTILIZERS
 - RV TANK ODOR CONTROLLERS AND DISINFECTANTS
 - PAINT THINNER, PAINT
 - MOTOR OIL
4. WATER SOFTENERS BRINE DISCHARGE IS STRICTLY PROHIBITED FROM BEING DISCHARGED INTO THE TREATMENT SYSTEM. FAILURE TO ADHERE TO THIS POLICY WILL VOID THE WARRANTY FOR THE SYSTEM.
5. DO NOT FLUSH THE FOLLOWING DOWN THE DRAINS:
 - EGG SHELLS, CANTALOUPE SEEDS, GUM, COFFEE GROUNDS
 - TEA BAGS, CHEWING TOBACCO, CIGARETTE BUTTS
 - CONDOMS, DENTAL FLOSS, SANITARY NAPKINS, DIAPERS
 - PAPER WELLS, NEWSPAPERS, CANDY WRAPPERS
 - RAGS, LARGE AMOUNTS OF HAIR
 - BABY WIPES, MEDICATED WIPES, CLEANING WIPES
6. DO NOT USE SPECIAL ADDITIVES THAT ARE TOUTED TO ENHANCE THE PERFORMANCE OF OUR TANK OR SYSTEM. ADDITIVES CAN CAUSE GREAT DAMAGE TO OTHER AREAS IN THE COLLECTION SYSTEM. THE NATURAL MICROORGANISMS THAT GROW IN THE SYSTEM GENERATE THEIR OWN ENZYMES THAT ARE SUFFICIENT FOR BREAKING DOWN AND DIGESTING NUTRIENTS IN THE WASTEWATER STREAM.
7. DO NOT ENTER YOUR TANK. KEEP THE TANK ACCESS LIDS SECURE TO THE RISER AT ALL TIMES. IF THE TANK LID BECOMES DETACHED FROM THE RISER OR IF THE LIDS OR RISER BECOMES DAMAGED, BLOCK ACCESS TO THE TANK OPENING IMMEDIATELY AND KEEP CHILDREN AWAY UNTIL ALL REPAIRS ARE COMPLETED.
8. DO NOT DRIVE OVER YOUR TANK OF ANY BURIED COMPONENTS IN YOUR SYSTEM UNLESS THEY ARE EQUIPPED WITH SPECIAL TRAFFIC RATED RISERS AND LIDS. IF SYSTEM MAY BE SUBJECT TO POSSIBLE TRAFFIC, IT IS THE OWNER'S RESPONSIBILITY TO INSTALL BARRICADES TO LIMIT TRAFFIC ACCESS.
9. NO NOT DUMP RV WASTE INTO THE WASTEWATER SYSTEM.
10. DO NOT CONNECT RAIN GUTTERS OR STORM DRAINS IN THE SEWER OR ALLOW SURFACE WATER INTO THE WASTEWATER TREATMENT SYSTEM.
11. THE OWNER SHOULD FAMILIARIZE THEMSELVES WITH THE LOCATION OF THE WASTEWATER SYSTEM AND ELECTRICAL CONTROL PANEL. THE OWNER SHALL MAKE ARRANGEMENTS WITH A RELIABLE SERVICE PERSON OR COMPANY TO PROVIDE REGULAR MONITORING AND MAINTENANCE. THE SERVICE PROVIDER'S CONTACT INFORMATION ON THE CONTROL PANEL FOR EASY ACCESS.
12. NEVER TURN OFF THE MAIN CIRCUIT BREAKER TO THE WASTEWATER PUMPS WHEN GOING ON VACATION.

GENERAL NOTES:

1. THE INSTALLER IS REQUIRED TO FULLY READ AND UNDERSTAND THE MANUFACTURE'S INSTALLATION MANUALS PRIOR TO THE COMMENCEMENT OF WORK. THE SPECIFIED COMPONENTS SHALL BE INSTALLED BY A LICENSED CONTRACTOR EXPERIENCED IN THE INSTALLATION OF AQUAKLEAR PRODUCTS.
2. A PRE-CONSTRUCTION SITE CONFERENCE WITH THE DESIGNER, MONTEREY COUNTY ENVIRONMENTAL HEALTH INSPECTOR AND THE CONTRACTOR SHALL BE ARRANGED PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM. REGULAR CONSTRUCTION INSPECTIONS, WATERTIGHT TANK TEST INSPECTION, AQUAKLEAR INSTALLATION INSPECTION, SEEPAGE PITS, AND PERFORATED PIPE INSPECTIONS AND FINAL OPERATION OF SYSTEM SHALL BE SCHEDULED BY THE INSTALLER. THE INSTALLER SHALL GIVE AT LEAST 24 HOURS NOTICE FOR ALL INSPECTIONS REQUESTED.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, INSTALLER AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSION, LINES AND ELEVATIONS INDICATED. PROPER FIT AND CONNECTION OF ALL PARTS IS REQUIRED TO ENSURE PROPER FUNCTION OF THE SYSTEM. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT.
4. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN THE SPECIFIC TRADE. SPECIFICALLY, WORK SHALL COMPLY WITH THE 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, MONTEREY COUNTY LAMP AND ALL OTHER APPLICABLE STATE AND/OR LOCAL CODES AND ORDINANCES.
5. ALL NOTES AND REFERENCES IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY REQUESTING CLARIFICATION. PLAN CHANGES OR REVISIONS SHALL ONLY BE MADE AFTER CONSULTATION WITH AND APPROVAL BY THE ENGINEER.
6. ALL SPECIFIED EQUIPMENT AND COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURE'S INSTALLATION GUIDELINES AND SPECIFICATIONS. TANK INSTALLATION SHALL INCLUDE ANTI-BUOYANCY OR ANTI-FLOATATION MEASURES (DEADMEN, STRAPS, COLLARS, ETC) ACCORDING TO MANUFACTURE'S RECOMMENDATIONS.
7. ALL TANKS SHALL BE MADE WATERTIGHT TO THE GROUND SURFACE AND DEMONSTRATED TO BE WATERTIGHT PRIOR TO FINAL INSPECTION OR APPROVAL.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL ASSOCIATED AND INCIDENTAL MATERIALS AND COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION AND FULLY FUNCTIONAL SYSTEM. ALL MATERIALS AND COMPONENTS SHALL BE U/L LISTED AND LABELED FOR USE IN FOR THIS SYSTEM.
9. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE AND SHALL BE PERFORMED UNDER A PERMIT WITH INSPECTIONS FROM THE LOCAL JURISDICTION. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE CONTROL PANEL, INCLUDING THE PHONE/DATA LINE WITH CAT6 WIRING IS INSTALLED AND FULLY FUNCTIONAL. TELEMETRY CONNECTION SHALL BE DEMONSTRATED PRIOR TO FINAL APPROVAL AND OPERATION.
10. THE INSTALLATION OF ALL GRAVITY FLOW SANITARY SEWER LINES SHALL BE FULLY COORDINATED WITH THE BUILDING PLUMBING CONTRACTOR TO ENSURE PROPER CONNECTIONS AND SLOPE TO THE OWS SYSTEM.
11. DO NOT CONNECT RAIN GUTTERS OR STORM DRAINS IN THE SEWER OR ALLOW SURFACE WATER INTO THE WASTEWATER TREATMENT SYSTEM.
12. NEVER TURN OFF THE MAIN CIRCUIT BREAKER TO THE WASTEWATER PUMPS WHEN GOING ON VACATION.

AQUAKLEAR SPECIFICATION:

1. SEWER LINE COLLECTION:
 - 1.1 PROPERLY VENTED 4" SOLID SEWER LINES SHALL BE INSTALLED COLLECTING ALL WASTEWATER FIXTURES TO THE OWS SEPTIC TANK. ALL GRAVITY FLOW LINES SHALL MAINTAIN A MINIMUM 2% CONTINUOUS GRADIENT. CLEAN-OUTS ALONG THE BUILDING SEWER LINE SHALL BE PROVIDED AS SPECIFIED IN THE CURRENT EDITION OF THE CALIFORNIA PLUMBING CODE.
2. SEPTIC TANK
 - 2.1 A NEW AQUAKLEAR "AK6S245F" TREATMENT TANK, (OR APPROVED EQUAL), SHALL BE INSTALLED TO SERVE AS THE PROCESSING TANK. THE PROCESSING TANK WILL GRAVITY FLOW FROM THE TANK TO A 500 GALLON PUMP VAULT. THE 500 GALLON PUMP VAULT WILL HAVE A PUMP TO DISCHARGE TO A WASTEFLOW HEADWORKS TO DOSE TWO 280 MINIMUM SUBSURFACE DISPERSAL AREAS. ALL RISERS SHALL BE INSTALLED ON THE NEW TANK AS NECESSARY FOR OPERATION AND MAINTENANCE. ALL RISERS, TANKS, AND COVERS SHALL BE TRAFFIC RATED.
 - 2.2 TANK ACCESS RISERS SHALL BE 20"-30" IN DIAMETER AND CONSTRUCTED WATERTIGHT. RISER INSTALLATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE RISERS SHALL BE ATTACHED TO THE TANKS SUCH THAT A WATERTIGHT SEAL IS PROVIDED.
 - 2.3 IN ORDER TO DEMONSTRATE TANK AND RISER ARE WATERTIGHT, TANKS SHALL BE TESTED ON-SITE PRIOR TO ACCEPTANCE. AFTER INSTALLATION IS COMPLETED AND BEFORE BACK FILLING, COMPLETELY FILL THE TANK WITH WATER TO A LEVEL TWO INCHES INTO THE RISER. WAIT A MINIMUM OF TWO HOURS (OR AS REQUIRED BY THE LOCAL JURISDICTION) AND INSPECT FOR LEAKS. THERE SHOULD BE NO DROPS IN THE LIQUID LEVEL AND NO VISUAL LEAKAGE FROM SEAMS, PINHOLE, OR OTHER IMPERFECTIONS OR CONNECTIONS. OBTAIN A WATERTIGHT INSPECTION BY THE LOCAL JURISDICTION DISTRIBUTOR OR ENGINEER. ONE THE TANK IS PROVEN TO BE WATERTIGHT, DROP THE WATER LEVEL IN THE TANK BELOW THE INVERT.
3. AQUAKLEAR TREATMENT SYSTEM
 - 3.1 THE AQUAKLEAR TREATMENT SYSTEM INCLUDES A "AK6S245F" PROCESSING TANK WITH GRAVITY FLOW TO THE PUMP VAULT. A 500 GALLON PUMP VAULT, WITH PUMP DISCHARGE TO 2 ZONES, HEADWORKS, SUPPLY LINES, RETURN LINES, PUMPS, CONTROL PANEL, DRIP SYSTEM, CHECK VALVES, AIR RELIEF VALVES, ALARMS, TELEMETRY AND ALL OTHER ACCESSORIES.

**SEPTIC SYSTEM DETAILS**

RESIDENCE REMODEL ADDITION
308 CALLE DE LOS AGNEMOS
CARMEL VALLEY, CALIFORNIA

SW.2
SHEET 2
OF 2

REVISIONS

RECORDED IN THE OFFICE OF THE CLERK OF THE COUNTY OF MONTEREY, CALIFORNIA, ON THIS 20TH DAY OF APRIL, 2019, AND INDEXED IN THE RECORDS OF THE CLERK'S OFFICE.

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Exhibit B

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CARMEL VALLEY MASTER PLAN

Garland Ranch Regional Park

The map displays a detailed street layout in a rural or semi-rural area. Key streets include: BURGESS RD, CALLE DE LOS OSOS, CALLE DE LOS PIEDRAS, CALLE DE LOS BLANCAS, CALLE DE LOS QUIILINES, A EL RIO RD, HEMMORRO, CALLE DE QUIEN SABE, CALLE DE LA VENTANA, PUNTA DEL MONTE, Robles del Rio, CAMINO DE TRAVESIA, A EL CUENCO, CALLE DE LOS GRINEMORS, and CUMMING DR. A large, irregularly shaped green area is highlighted in the center, representing the park. A dashed black line outlines a specific section of the park boundary. The map is framed by a thick black circle. The text "Garland Ranch Regional Park" is repeated in the bottom left corner. The bottom right corner contains the copyright notice: "Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA".

APPLICANT: CAITLIN HARTLEY

APN: 189421011000

FILE # PLN240278



Project Site

300 FT Buffer

2500 FT Buffer



County of Monterey

Item No.4

Board Report

Legistar File Number: AP 25-050

September 17, 2025

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Introduced: 9/11/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250193 - CLARK COLONY WATER CO AND KIRK ANGELA J & KIRK CAMERON TRS ET AL

Public hearing to allow a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel 1), and a 47.40 acre parcel (Adjusted Parcel 2).

Project Location: Located near Arroyo Seco Road, Greenfield

Proposed CEQA action: Find the project categorically exempt from CEQA pursuant to CEQA Guidelines section 15305, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Planning Commission adopt a resolution to:

- a. Find that the Lot Line Adjustment qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines section 15305, and find that none of the exceptions set forth in CEQA Guidelines section 15300.2 apply; and
- b. Approve a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel 1), and a 47.40 acre parcel (Adjusted Parcel 2).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Nancy Isakson

Property Owner: Clark Colony Water Company and Angela Kirk

APNs: 109-481-009-000, and 109-492-003-000

Parcel Size: 320.46 acres (Parcel A), and 53.25 acres (Parcel B)

Zoning: Permanent Grazing, 40 acres a unit, and Farmland, 40 acres a unit

Plan Area: Central Salinas Valley Area Plan

Flagged and Staked: Not required because the proposed lot line adjustment does not involve any structural development.

Planner: Jordan Evans-Polockow, Assistant Planner

Evans-PolockowJ@countyofmonterey.gov (831) 755-7065

SUMMARY

Staff is recommending approval of a Lot Line Adjustment subject to the findings and evidence in the attached Resolution (see Exhibit A), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17th, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following County agencies or departments reviewed this project:

HCD - Engineering Services

HCD - Environmental Services

Environmental Health Bureau

Mission Soledad Rural Fire Protection District

Greenfield Fire Protection District

Prepared by: Jordan Evans-Polockow, Assistant Planner, x7065

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Lot Line Adjustment Plan

Exhibit B - Vicinity Map

cc: Front Counter Copy; Planning Commission; California Coastal Commission; Carmel Highlands Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Assistant Planner; Fionna Jensen, Principal Planner; Kirk Angela J & Cameron TRS, Property Owners; Clark Colony Water Co, Property Owners; Nancy Isakson, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250193



County of Monterey

Item No.4

Administrative Permit

Legistar File Number: AP 25-050

September 17, 2025

Introduced: 9/11/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250193 - CLARK COLONY WATER CO AND KIRK ANGELA J & KIRK CAMERON TRS ET AL

Public hearing to allow a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel 1), and a 47.40 acre parcel (Adjusted Parcel 2).

Project Location: Located near Arroyo Seco Road, Greenfield

Proposed CEQA action: Find the project categorically exempt from CEQA pursuant to CEQA Guidelines section 15305, and there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the Planning Commission adopt a resolution to:

- a. Find that the Lot Line Adjustment qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines section 15305, and find that none of the exceptions set forth in CEQA Guidelines section 15300.2 apply; and
- b. Approve a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel 1), and a 47.40 acre parcel (Adjusted Parcel 2).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval, subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Nancy Isakson

Property Owner: Clark Colony Water Company and Angela Kirk

APNs: 109-481-009-000, and 109-492-003-000

Parcel Size: 320.46 acres (Parcel A), and 53.25 acres (Parcel B)

Zoning: Permanent Grazing, 40 acres a unit, and Farmland, 40 acres a unit

Plan Area: Central Salinas Valley Area Plan

Flagged and Staked: Not required because the proposed lot line adjustment does not involve any structural development.

Planner: Jordan Evans-Polockow, Assistant Planner

Evans-PolockowJ@countyofmonterey.gov (831) 755-7065

SUMMARY

Staff is recommending approval of a Lot Line Adjustment subject to the findings and evidence in the attached Resolution (see Exhibit A), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On September 17th, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, September 16th, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following County agencies or departments reviewed this project:

HCD - Engineering Services

HCD - Environmental Services

Environmental Health Bureau

Mission Soledad Rural Fire Protection District

Greenfield Fire Protection District

Prepared by: Jordan Evans-Polockow, Assistant Planner, x7065

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Lot Line Adjustment Plan

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cc: Front Counter Copy; Planning Commission; California Coastal Commission; Carmel Highlands Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Assistant Planner; Fionna Jensen, Principal Planner; Kirk Angela J & Cameron TRS, Property Owners; Clark Colony Water Co, Property Owners; Nancy Isakson, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250193

Exhibit A

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EXHIBIT A DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

CLARK COLONY WATER CO AND KIRK ANGELA J & KIRK CAMERON TRS ET AL (PLN250193)

RESOLUTION NO. 25-046

Resolution by the County of Monterey Chief of Planning:

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15305, and none of the exceptions under Section 15300.2 apply; and
- 2) Approving a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31-acre parcel (Adjusted Parcel 1), and a 47.40-acre parcel (Adjusted Parcel 2).

[(PLN250193), Kirk Angela J & Cameron TRS Clark Colony Water Co, Arroyo Seco Road, Greenfield, Central Salinas Valley Area Plan (APNs: 109-481-009-000, and 109-492-003-000)]

The Kirk Angela J & Cameron TRS Clark Colony Water Co (PLN250193) Lot Line Adjustment came on for an administrative decision before the County of Monterey Chief of Planning on September 17th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan (General Plan);
 - Central Salinas Valley Area Plan (CSVAP);
 - Monterey County Subdivision Ordinance (Title 19); and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project involves a Lot Line Adjustment (LLA) of two legal lots of record: Parcel A (320.46 acres) and Parcel B (53.25 acres), resulting in two parcels of 326.31 acres (Adjusted Parcel A) and 47.40 acres (Adjusted Parcel B). The adjustment is proposed to better accommodate a habitat restoration grant project on Parcel A. See also Finding No 1, Evidence “f”.
- c) Allowed Use. The properties are located off Arroyo Seco Road with no assigned address in Greenfield, Central Salinas Valley Area Plan (APNs: 109-481-009-000, and 109-492-003-000). Parcels A and B are split zoned Permanent Grazing, 40 unit per acre (PG/40) (40-160 Ac Min) and Farmlands with a density of 40 acres per unit (F/40) (40-160 Ac Min). Parcel A has two single-family dwellings and a barn, and Parcel B is vacant, with the Land Use designation of grazing terrain, as well as rivers and water bodies. The lot line adjustment proposes to exchange 5.85 acres between Parcel A, owned by the Clark Colony Water Company, and Parcel B, owned by Angela Kirk in her capacity as the trustee of the Riva Family Trust. The newly configured parcels (Parcel A becomes Adjusted Parcel 1, and Parcel B becomes Adjusted Parcel 2) will maintain their respective historical use, and no new land uses are proposed with this Lot Line Adjustment. The reconfiguration of the parcels will not otherwise intensify water use, create new building areas, or development potential beyond what currently exists. Therefore, the project is an allowed land use for this site, as it is consistent with the property’s underlying zoning. See Finding No. 6 and supporting evidence.
- d) Lot Legality. The subject properties, comprised of two lots, are Parcel A and Parcel B. Parcel A – 320.46 acres (Assessor’s Parcel Number 109-481-009-000) is shown in its current size and configuration as the Book 106 of Deeds, Page 125 of Patents, recorded on February 8th, 1909. Parcel B – 53.25 acres (Assessor’s Parcel Number 109-492-003-000) is shown in its current size and configuration in a portion of the Rancho Arroyo Seco by Grant Deed recorded on November 27, 1941, in Volume 750 at Page 53, pinpointed in Grant Deed Document No. 2010009604 dated January 21st, 2010. Therefore, the subject properties are legal lots of record.
- e) On-site Utilities. The 2010 General Plan Policy LU-1.15 indicates that lot line adjustments that compromise the location of wells or OWTS should not be approved. The Environmental Health Bureau (EHB) reviewed the project and determined that the resulting lots would not compromise the location of any wells, water utilities, or OWTS systems. The minimum building site size for both Farmland and

Permanent Grazing zoning is 40 acres unless otherwise shown.

Therefore, the adjusted configuration complies with Policy LU-1.15.

- f) Development Standards. There is a minimum site requirement of 40 acres for the PG zoning district pursuant to Title 21 section 21.34.060.A, as well as for the F zoning district pursuant to Title 21 section 21.30.060.A. Parcel A contains 320.46 acres with two existing single-family dwellings and a barn in conformance with zoning requirements. Adjusted Parcel 1 will be 326.31 acres and continue to contain two single family dwellings. Parcel B, 53.25 acres, contains a high-water dam, diversion and head gates, and associated concrete diversion structures along the river, but is otherwise undeveloped. Adjusted Parcel 2 will be 47.40 acres and will be vacant. The project is proposed to better accommodate the habitat restoration grant project that Clark Colony Water Company (CCWC) is working on with the California Department of Fish and Wildlife (CDFW). This project includes improvements to the CCWC water system's dam headgate and fish screens, which are currently located on a portion of the property owned by the Riva Family Trust. With implementation, Adjusted Parcels A and B will exceed the 40-acre minimum lot size and continue to comply with other site development standards, including setbacks and site coverage.
- g) LUAC. The project was not referred to a Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it does not involve a lot line adjustment in the coastal zone, does not involve a Design Approval or a Variance, and is exempt from environmental review (see Finding 5 and supporting evidence).
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development found in Project File PLN250193.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: Housing and Community Development Planning Services, South Monterey County Fire Protection District, Housing and Community Development Engineering Services, Housing and Community Development Environmental Services and Environmental Health Bureau. County staff reviewed the application materials to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. There has been no indication from these

departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development found in Project File PLN250193.

3. FINDING:

HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by the Housing and Community Development Planning Services, Mission Soledad Rural Fire Protection District, Greenfield Fire Protection District, Housing and Community Development Engineering Services, Housing and Community Development Environmental Services and Environmental Health Bureau (EHB). EHB has recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) EHB determined that as long as none of the dwellings on the property that are served by the onsite well are leased, rented, or offered for remuneration, CCWC's water distribution system is exempt from Chapter 15.04 of the Monterey County Code, and is not required to obtain a water system permit. In the event that any of the dwellings on the property are leased, rented, or offered for remuneration, a water system permit shall be required from EHB. This condition is to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development are found in Project File PLN250193.

4. FINDING:

NO VIOLATIONS – The adjustment of the parcels is consistent with Section 66412 of the California Government Code (Subdivision Map Act) and Title 19 (Subdivision ordinance – Inland) of the Monterey County Code. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County Housing and Community Development Planning Services and Building Services records and is not aware of any violations existing on subject property.
b) There are no known violations on the subject parcels.
c) The application, plans and supporting materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development are found in Project File PLN250193.

5. FINDING: **CEQA (Exempt)** – The project is a lot line adjustment, which is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: a) California Environmental Quality Act (CEQA) Guidelines Section 15305(a) categorically exempts minor lot line adjustments that do not result in the creation of any new parcel.
b) The subject application for a lot line adjustment is between two parcels, is minor in nature, and will not result in the creation of any new parcel. Therefore, the project meets the criteria for a Class 5 Categorical Exemption.
c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The properties are not located within an area where an environmental resource of hazardous or critical concern has been designated or precisely mapped by a federal, state, or local agency. The project does not involve a designated historical resource, a hazardous waste site, development located near, or unusual circumstances that would result in a significant effect or involves development that would result in a cumulative significant impact. No development is proposed, and the parcels will not be altered under any capacity through the granting of this discretionary permit. The lot line adjustment is an equal exchange, does not intensify the combined level of development or substantially alter the development potential of any of the resulting lots, and would not result in a cumulative impact or impact on the viewshed. It will not impact environmentally sensitive habitats or resources and therefore wouldn't contribute to any cumulative environmental effects. There are no unusual circumstances associated with the undertaking of the project that would create a reasonable possibility that the project would have a significant effect on the environment (See Findings 1, 2, 3 and supporting evidence).
d) The application, project plans, and related support materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development found in Project File PLN250193.

6. FINDING: **LOT LINE ADJUSTMENT** – The adjustment of the parcels is consistent with Section 66412 of the California Government Code

(Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code, stating that lot line adjustments may be granted based upon the following findings:

1. The lot line adjustment is between four (or fewer) existing adjoining parcels;
2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment, as three contiguous separate legal parcels of record will be adjusted, resulting in three contiguous legal parcels of record; and
3. The parcels resulting from the lot line adjustment conform to the County's general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

EVIDENCE:

- a) The subject parcels are zoned Permanent Grazing 40 units per acre (PG/40), and Farmlands 40 acres a unit (F/40).
- b) The Lot Line Adjustment is between two legal lots of record, consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B and containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31-acre parcel (Adjusted Parcel 1), and a 47.40-acre parcel (Adjusted Parcel 2).
- c) The Lot Line Adjustment will not create a greater number of parcels than originally existed. Two contiguous separate legal parcels of record will be adjusted, resulting in two contiguous legal parcels of record.
- d) The lot line adjustment is consistent with applicable policies in the 2010 General Plan and regulations outlined for the zoning district in Title 21. County staff has verified that the subject properties are in compliance with all rules and regulations pertaining to the use of the property, and no violations exist on the property (See Finding Nos. 1, 2, and 4, and supporting evidence).
- e) As an exclusion to the Subdivision Map Act, the Lot Line Adjustment does not require the recordation of a map. To appropriately document the boundary changes, the Owner/Applicant shall record a deed for the respective parcels to reflect the adjustment (Condition No. 5), and a Certificate of Compliance for each new lot shall be filed per a standard condition of approval (Condition No. 4).
- f) A condition has been applied requiring the applicant to update the legal description of the properties and record new Certificates of Compliance with the Monterey County Recorder's Office (Condition No. 4).
- g) The application, plans and supporting materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed development are found in Project File PLN250193.

7. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: In accordance with Title 19 section 19.16.025 an appeal may be made by any person aggrieved by a decision of an appropriate authority other than the Board of Supervisors. Title 19 section 19.16.020.A designates the Board of Supervisors as the appropriate authority to consider appeals of decisions of the Chief of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Housing and Community Development Chief of Planning does hereby:

- 1) Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305, and that none of the exceptions under Section 15300.2 apply; and
- 2) Approving a Lot Line Adjustment between two legal lots of record consisting of Parcel A containing 320.46 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B containing 53.25 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31-acre parcel (Adjusted Parcel 1), and a 47.40-acre parcel (Adjusted Parcel 2).

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 17th day of September 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County Housing and Community Development Planning Services Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250193

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit (PLN250193) allows a Lot Line Adjustment between two (2) legal lots of record consisting of: Parcel A containing 320 acres (Assessor's Parcel Number 109-481-009-000), and Parcel B and containing 53 acres (Assessor's Parcel Number 109-492-003-000), resulting in a 326.31 acre parcel (Adjusted Parcel A), and an 47.40 acre parcel (Adjusted Parcel B). The property is located near Arroyo Seco Road, Greenfield (Assessor's Parcel Number 109-481-009-000, and 109-492-003-000), Central Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "An Administrative Permit (Resolution Number _____) was approved by [Name of Hearing Body] for Assessor's Parcel Numbers 109-481-009-000 and 109-492-003-000 on September 17th, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. EHSP01 - DEED RESTRICTION: DECLARATION FOR AN UNREGULATED DOMESTIC WATER SYSTEM (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau (EHB) has determined that as long as none of the dwellings on the property that are served by the onsite well are leased, rented, or offered for remuneration, the water distribution system is exempt from Chapter 15.04 of the Monterey County Code, and is not required to obtain a water system permit. In the event that any of the dwellings on the property are leased, rented, or offered for remuneration a water system permit shall be required from EHB. The applicant shall submit evidence that the approved deed restriction has been recorded with the County of Monterey Recorder's Office.

Compliance or Monitoring Action to be Performed: Prior to recordation of Certificates of Compliance, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

The property owner shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

4. PD045 - COC (LOT LINE ADJUSTMENTS)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to HCD -Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

5. LOT LINE ADJUSTMENT DEED (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Owner(s)/Applicant(s) shall prepare, execute and record deeds that reflect the lot line adjustment as required by California Government Code §66412(d) and request an unconditional Certificate of Compliance for each of the adjusted parcels. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

1. An updated title report (current within 30 days) for each subject parcel of the lot line adjustment.
2. Draft legal descriptions, plats and closure calculations for each newly adjusted parcel of the lot line adjustment for which a Certificate of Compliance will be issued. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B."
3. Draft deeds for all adjustment parcels, being all areas being conveyed by Owners in conformance to the approved lot line adjustment. The deeds shall contain a legal description and plat of the areas to be conveyed in conformance to the approved lot line adjustment. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B." The deed shall comply with the Monterey County Recorder's guidelines as to form and content.
 - a. The Owner(s)/Applicant(s) shall be responsible for ensuring the accuracy and completeness of all parties listed as Grantor and Grantee on the deeds.
 - b. Each deed shall state in the upper left corner of the document the party requesting the recording and to whom the recorded document shall be returned.
 - c. The purpose of the deed shall be stated on the first page of the deed, as follows:
"The purpose of this deed is to adjust the parcel boundaries in conformance to the lot line adjustment approved by the County of Monterey, PLN230138. This deed is being recorded pursuant to §66412(d) of the California Government Code and shall reconfigure the subject parcels in conformance to said approved lot line adjustment."

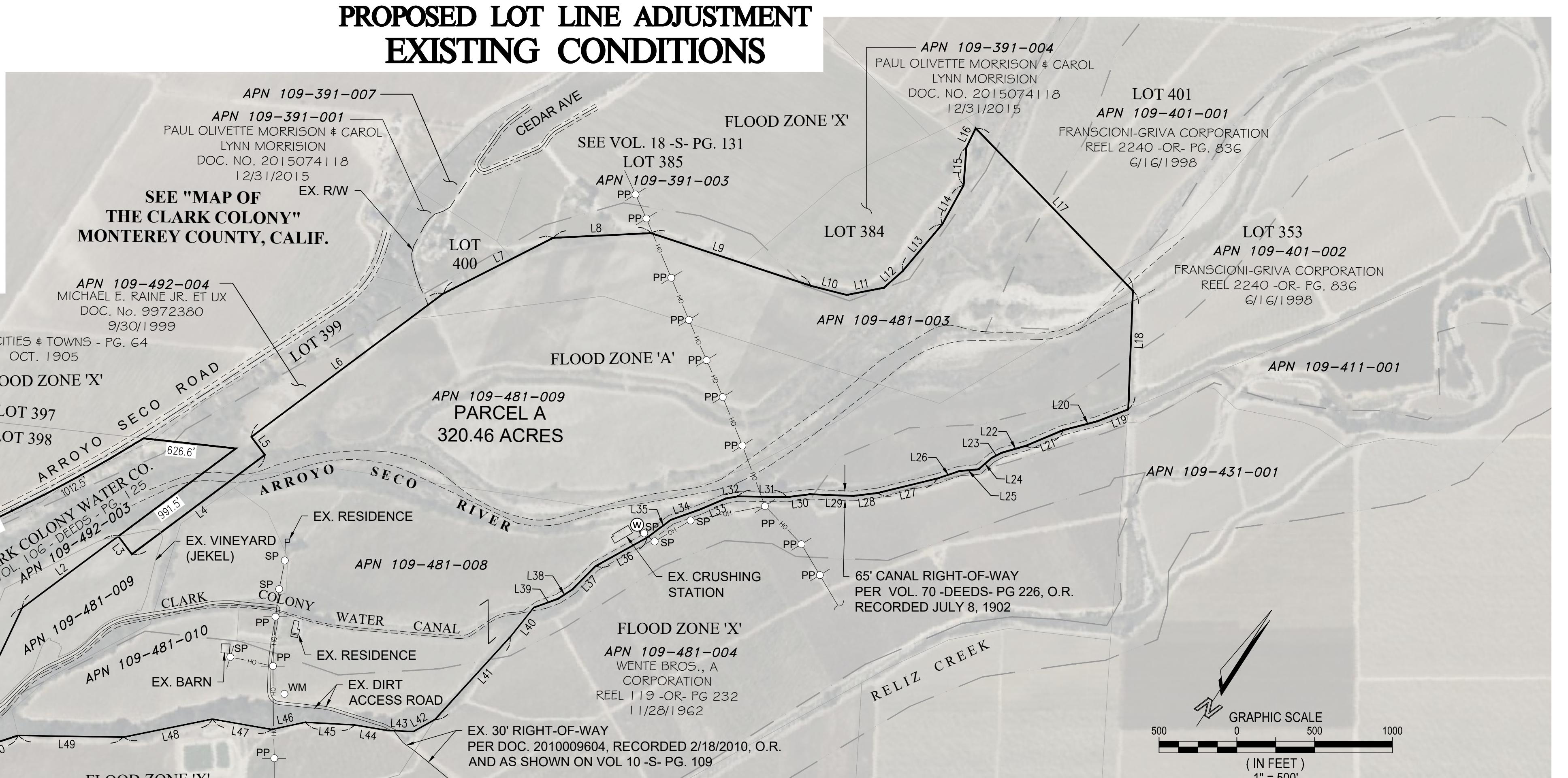
PLEASE NOTE: Owner(s) is/are responsible for securing any reconveyance, partial reconveyance and/or subordination in connection with any loan, mortgage, lien or other financial obligation on all property being transferred between parties.

4. Following review and any corrections of the legal descriptions and plats by County Surveyor:
 - a. Owner/Applicant submit copies of the fully executed and acknowledged deed(s) for the adjustment parcels to the project planner for review & approval by County Surveyor
 - b. Owner/Applicant shall submit the legal description and plat for each Certificate of Compliance to HCD-Planning for final processing.
 - c. Using a title company, execute the deeds before a notary public, and have the deeds recorded.
 - d. Owner/Applicant shall submit copies of all recorded deeds to the project planner.

PROPOSED LOT LINE ADJUSTMENT EXISTING CONDITIONS

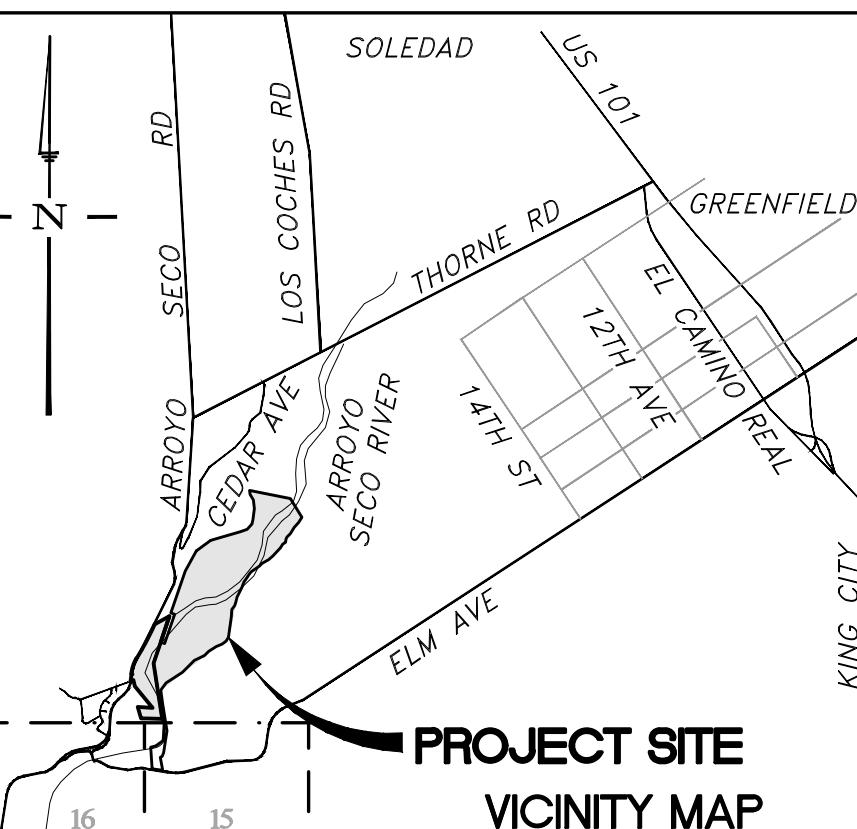
LEGEND:
THE BORDER LINE SHOWN THUS INDICATES THE EXTERIOR BOUNDARIES OF THE LAND INCLUDED WITHIN THIS SURVEY.

LOT LINE	
RANCHO LINE	
SECTION LINE	
ASSESSORS LINE	
EXISTING OVERHEAD POWER LINE	
FLOOD ZONE	
EXISTING WATER WELL	
EXISTING POWER POLE	
EXISTING SERVICE POLE	
EXISTING WINDMILL	



PER TITLE REPORT
FWMN-TO24000235
DATED FEB. 20, 2024

LINE DATA		
LINE	BEARING	DISTANCE
L1	N09°1'22" W	2064.07'
L2	N18°58'38" E	810.34'
L3	S71°01'22" E	151.53'
L4	N18°58'38" E	1119.99'
L5	N71°01'22" W	151.53'
L6	N18°58'38" E	1617.39'
L7	N28°51'56" E	831.60'
L8	N52°57'58" E	660.00'
L9	N73°57'53" E	1134.65'
L10	N69°59'58" E	249.38'
L11	N44°49'58" E	255.94'
L12	N14°14'58" E	166.03'
L13	N05°59'58" E	414.76'
L14	N05°30'02" W	301.88'
L15	N30°00'02" W	259.22'
L16	N08°00'02" W	141.10'
L17	S78°17'54" E	1525.71'
L18	S32°01'29" E	800.31'
L19	S34°39'33" W	227.79'
L20	S41°23'33" W	232.83'
L21	S32°59'33" W	278.34'
L22	S39°45'33" W	166.58'
L23	S28°11'33" W	75.13'
L24	S14°27'33" W	117.54'
L25	S50°47'33" W	129.24'
L26	S37°05'33" W	159.11'
L27	S42°09'33" W	415.04'
L28	S48°43'33" W	165.16'
L29	S58°02'33" W	289.17'
L30	S48°50'33" W	158.19'
L31	S56°27'33" W	331.96'
L32	S45°38'33" W	80.79'
L33	S32°50'33" W	191.75'
L34	S36°07'33" W	206.54'
L35	S19°01'33" W	200.14'
L36	S26°39'33" W	398.90'
L37	S10°40'33" W	221.31'
L38	S22°30'33" W	116.04'
L39	S35°55'33" W	173.09'
L40	S04°25'33" W	254.43'
L41	S08°06'34" W	754.01'
L42	S26°40'49" W	166.79'
L43	S58°18'19" W	177.60'
L44	S65°08'34" W	219.40'
L45	S58°54'30" W	334.33'
L46	S43°35'50" W	232.80'
L47	S65°42'50" W	405.21'
L48	S44°17'55" W	614.49'
L49	S56°37'30" W	708.07'
L50	S37°46'25" W	333.97'
L51	S07°58'04" E	497.43'
L52	S09°20'30" E	1008.98'
L53	S10°19'05" W	333.42'
L54	S08°57'00" W	457.58'
L55	S19°07'00" W	137.78'
L56	S64°18'30" W	84.26'
L57	S11°55'41" E	492.67'
L58	N80°54'21" W	390.16'
L59	N04°54'22" W	788.58'
L60	N75°42'38" E	205.63'
L61	N54°45'38" E	318.43'
L62	N02°53'38" E	604.91'
L63	N16°40'22" W	189.66'



COUNTY OF MONTEREY

BENCHMARK:

U.S. ENGINEERING DEPARTMENT / 2 INCH BRASS DISK SET IN THE SOUTHWEST CORNER BRIDGE (#320) ABUTMENT (GREEN BRIDGE ON ELM AVE. OVER ARROYO SECO RIVER).
ELEVATION = 378.02 FEET NGVD 1929

FLOOD PLAIN:

THIS PROPERTY LIES IN FEMA FLOOD ZONE "A" (SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). ACCORDING TO THE NFIP, FLOOD INSURANCE RATE MAP NUMBER 06053C0825G EFFECTIVE APRIL 2, 2009.

PROPERTY INFO

COMMUNITY: SOLEDAD UNINCORPORATED
PLANNING AREA: CENTRAL SALINAS VALLEY
LAND USE DESIGNATION: RIVERS AND WATER BODIES, FARMLANDS 40-160 AC MIN. PERMANENT GRAZING 10-160 AC MIN.
WILLIAMS ACT CONTRACT: NONE
AG CONSERVATION EASEMENT: NONE
IMPORTED FARMLAND: NONE
GRAZING AND FARMLAND OF STATEWIDE IMPORTANCE, UNIQUE FARMLAND, OTHER LAND
SLOPES > 25%: YES
ARCHEOLOGY SENSITIVITY: HIGH
ZONING: F/40 | PG/40
ZONING NOTES: NONE
WATER MANAGEMENT AGENCY: NONE

NOTE:
DISTANCES AND DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT:
THIS IS TO CERTIFY THAT THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON RECORD DATA IN CONFORMANCE WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA, PROFESSIONAL LAND SURVEYORS ACT, AT THE REQUEST OF CLARK COLONY WATER COMPANY IN JUNE, 2025.

PHILIP L. PEARMAN, L.S. 4448
LICENSE EXPIRES 09/30/25

PLN APPLICATION MAP PROPOSED LOT LINE ADJUSTMENT

SITUATE IN:
PORTION OF LOT NO. 37 OF
FRACTIONAL TOWNSHIP 19 SOUTH, RANGE 6 EAST, M.D.M.
AND PORTION OF RANCHO ARROYO SECO
COUNTY OF MONTEREY
STATE OF CALIFORNIA

SITE ADDRESS
38115 ELM AVENUE
GREENFIELD, CA 93927

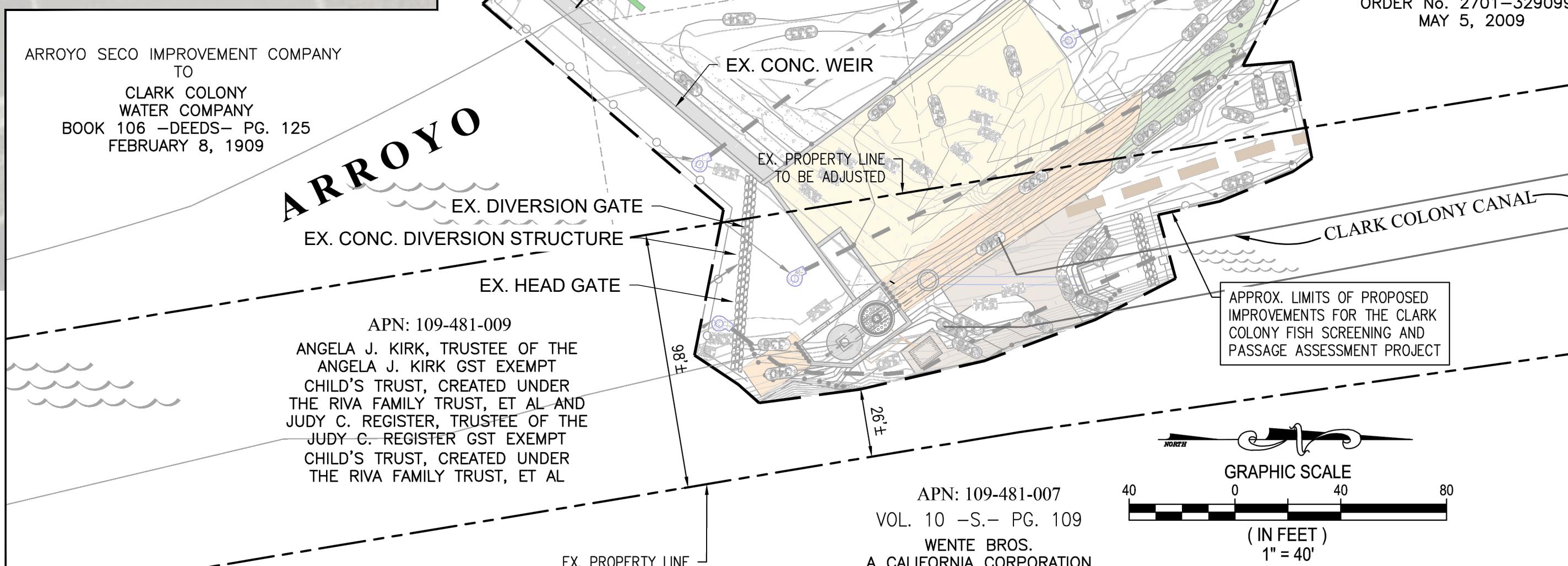
OWNER: APN 109-492-003
CLARK COLONY WATER COMPANY
MICHAEL GRIVA, PRESIDENT

33 EL CAMINO REAL
GREENFIELD, CA 93927

OWNER: APN 109-481-009
ANGELA J. KIRK GST EXEMPT CHILDS TRUST
THE RIVA FAMILY TRUST UTA DTD. 03-13-80
ANGELA J. KIRK TRUSTEE
3764 RUSTON LN.
NAPA, CA 94558

AGENT:
NANCY ISAKSON
(831) 224-2879
NISAKSON@MBAY.NET AND/OR
GRANDMANI@GMAIL.COM

SCALE:	AS SHOWN	SHEET
DATE:	2025-07-07	1
FILE:	25-005 EX-ROTATED	OF TWO



DETAIL 1 - PROPOSED IMPROVEMENT LIMITS DETAIL

ARROYO SECO CLARK COLONY FISH SCREENING AND
PASSAGE ASSESSMENT PROJECT
PREPARED BY
WATERWAYS CONSULTING INC. SANTA CRUZ, CALIF.
100% DESIGN SUBMITTAL DATED 3/15/2023

RECAPITULATION OF AREAS: EXISTING LEGAL PARCELS		
PARCEL PER TITLE REPORT	DOCUMENT	AREA
PARCEL A	PARCEL 1 PER TITLE REPORT GUARANTEE NUMBER FWMN-TO24000235 BY CHICAGO TITLE INSURANCE COMPANY DATED FEB. 20, 2024	320.46 AC ±
PARCEL B	SUBDIVISION A AND C OF LOT 398 OF CLARK COLONY PER MAP SHOWING SUB-DIVISION OF LOT 398 CLARK COLONY, FILED FOR RECORD JUNE 1906, O.R. MONTEREY CO.	53.25 AC ±
	TOTAL ACREAGE:	373.71 AC ±

RECAPITULATION OF AREAS: PROPOSED PARCELS	
PARCEL PER THIS MAP	AREA
PARCEL I	326.31 AC ±
PARCEL II	47.40 AC ±
TOTAL ACREAGE:	373.71 AC ±

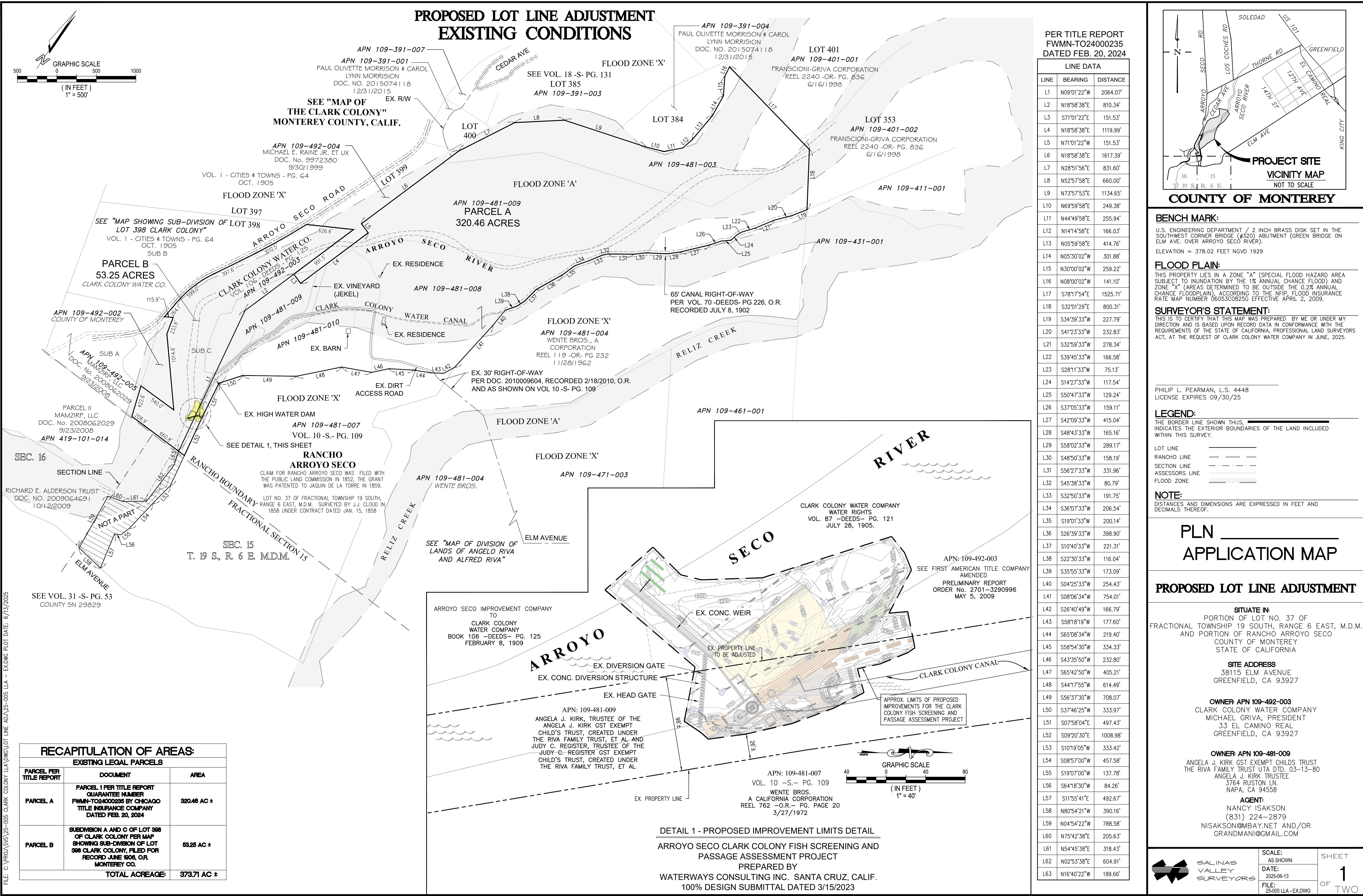
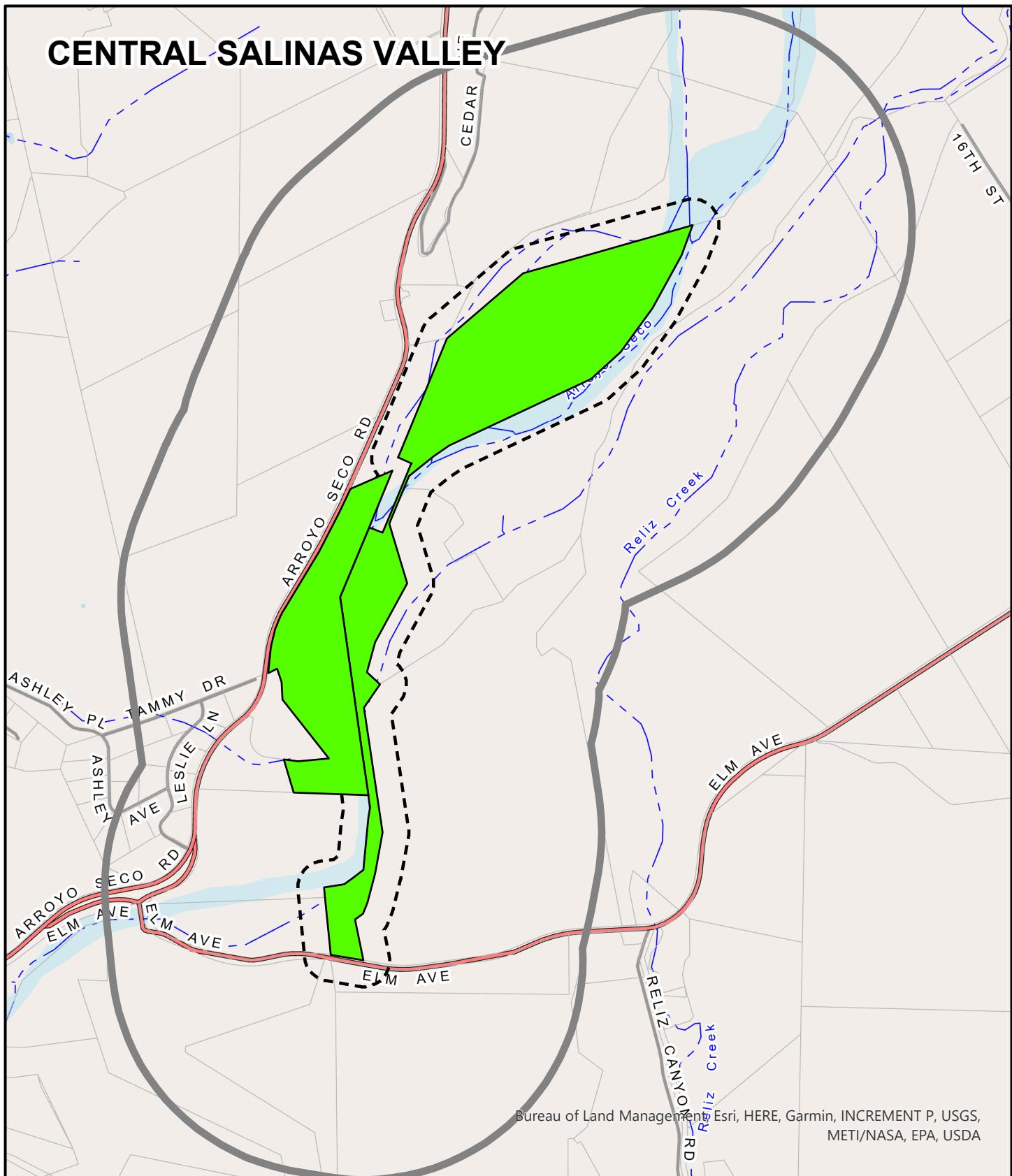


Exhibit B

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CENTRAL SALINAS VALLEY



APPLICANT: CLARK COLONY WATER COMPANY

APN: 109481009000, 109492003000

FILE # PLN250193

Project Site

300 FT Buffer

2500 FT Buffer



0 600
Feet