

# Exhibit A

This page intentionally left blank.

**EXHIBIT A**  
**DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**FARHAT MUSTAFA SHAWKI TR (PLN250074)**

**RESOLUTION NO. ----**

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Coastal Administrative Permit to allow the construction of a 7,326 square foot single family dwelling with an attached 920 square foot garage, 1,124 square feet of covered patios, a detached 1,600 square foot workshop, and associated site improvements.

[PLN250074 FARHAT MUSTAFA SHAWKI TR, 2791 Summerland Road, Aromas, North County Land Use Plan (APN: 181-261-033-000 and 181-261-041-000)]

**The FARHAT MUSTAFA SHAWKI TR application (PLN250074) came on for an administrative hearing before the County of Monterey Chief of Planning on January 7<sup>th</sup>, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 Monterey County General Plan;
  - North County Land Use Plan;
  - North County Coastal Implementation Plan (NC CIP); and
  - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) Allowed Use. The property is located at 2791 Summerland Road in Aromas, North County Land Use Plan (APNs: 181-261-033-000 and 181-261-041-000). The parcel is zoned Rural Density Residential, 5 acres per

unit, Coastal Zone, or “RDR/5(CZ)”, which allows for the establishment of a first single-family dwelling as a principally allowed use as identified in Title 20 section 20.16.040.A, subject to the granting of a Coastal Administrative Permit. The proposed project includes the construction of a 7,326 square foot single family dwelling with an attached 920 square foot garage, 1,124 square feet of covered patios, a detached 1,600 square foot workshop, and associated site improvements. Associated site improvements include 3,519 square feet of hardscape, 7,691 square feet of pavers, onsite utilities, and 1600 cubic yards of grading cut and fill. All development is proposed on APN: 181-261-033-000. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property (78,219 square feet), APNs: 181-261-033-000 and 181-261-041-000, is shown in its current configuration as Lot 2 on a Final Map within Rancho Los Carneros and Logan Knolls Subdivision, recorded in May of 1995 (Volume 19 of Surveys, Page 62). A storm drain and natural drainage easement is conveyed over the rear of the property (APN: 181-261-041-000). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Visual Resources. The subject property zoning district does not include a Design Control Overlay and therefore is not subject to the regulations outlined in Title 20.44 (Design Control Zoning Overlay). However, the NC LUP establishes policies that require the protection of public views. NC CIP section 20.144.020.SSS defines the “Public Viewshed” as views visible from Highway 1, Highway 156, Elkhorn Slough Road, Elkhorn and Moro Cojo Sloughs, beaches, dunes, and wetlands, and views to and along the ocean shoreline from Highway 1. NC LUP Policy 2.2.2.1 protects views to and along the ocean shoreline from these public vantage points. The subject property is not visible from any of these viewpoints and will not block views to the ocean which was assessed based on the distance and intervening topography surrounding the subject property. The colors and materials proposed include going brown-gray trim, creamy grey heron cement plaster, roughcut eldorado stone finishes, Milgrad Tuscany windows and exterior doors, with gray clay tile roofing. Therefore, the proposed development will not conflict with NC LUP Visual Resource policies.
- e) Development Standards. The proposed project meets all the required development standards for the Rural Density Residential zoning district, which are identified in Title 20 section 20.16.060. Pursuant to Title 20, section 20.16.060.C, development within this district of main structures shall meet the required setbacks of 30 feet (front), 20 feet (side), and 20 feet (rear), unless otherwise indicated on a final map. The subject property’s final map indicates required setbacks of 60 feet (front), 15 feet (side), and 40 feet (rear). The proposed single-family dwelling will have setbacks of 138 square feet (front), 27 feet 10 inches (side), 24 feet (side), and 140 feet 2 inches (rear). The RDR zoning district allows a maximum height of 30 feet for main structures, and the proposed single-family dwelling will have a height of 21 feet 1 inch from average natural grade.

Pursuant to Title 20 section 20.16.060.C, development within this district of accessory non-habitable structures shall meet the required setbacks of 50 feet (front), 6 feet on the front one-half of the property, and one foot on the rear half of the property (side), and 1 foot (rear) unless otherwise indicated on a final map, which are described above. The proposed detached workshop will have setbacks of over 186 square feet (front), 27 feet 10 inches (side), and 170 feet (rear). The RDR zoning district allows a maximum height of 15 feet for non-habitable accessory structures, and the proposed detached workshop will have a height of 15 feet. The RDR zoning district allows the minimum distance between accessory and main structures to be 10 feet, and the proposed distance between the single-family dwelling and the workshop is 26 feet. The RDR zoning district allows a maximum building site coverage of 25%. The proposed project will have a building site coverage of 11,060 square feet or 14.1%. Therefore, the project meets all required development standards for the RDR zoning district.

- f) Geological Hazards. The project site is in an area of known geological hazard. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB250331), this site is suitable for the residential use this project proposes; there are no geological or seismic hazards that would preclude this property from being developed. See Finding 2, evidence "c".
- g) Land Use Advisory Committee (LUAC) Review. Based on the LUAC guidelines, the project was not referred to the North County Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- h) The project planner conducted a virtual site inspection on December 10<sup>th</sup>, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:**

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Aromas Tri-County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The following reports have been prepared:
  - "Geologic Evaluation" (County of Monterey Library No. LIB250331) prepared by Craig S. Harwood, Ben Lomond, CA, June 2025.

- “Geotechnical and Percolation Investigation Report” (County of Monterey Library No. LIB250332) prepared by Belinda Taluban P.E., Salinas, CA, March 25<sup>th</sup>, 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Geological Hazards. According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to NC CIP section 20.144.100.A.1.b., a Geological Hazards Assessment (County of Monterey Library No. LIB250331) and Geotechnical Report (LIB250332) were prepared to address the property’s known geological hazards. Per the geologist’s research, site reconnaissance, review of previous subsurface data, and review of stereo aerial photography and LiDAR imagery, there was no evidence indicative of active faults at or immediately adjacent to the building footprint areas. The report states the nearest fault line is the Zayante-Vergeles Fault, located 0.5 miles southwest of the site, while a second subsidiary trace of the fault is approximately 80 feet north of the proposed residence footprint. In accordance with this policy, the proposed development has been sited greater than 50 feet from the identified fault trace. Additionally, the project site did not reveal any surface features, including a fault rupture that has occurred at the site. The proposed structures, driveways and roads do not reveal any strain, which would be attributable to subsurface, lateral or vertical displacement, resulting from a fault slip. Therefore, surface rupture from fault activity across the site is considered improbable. Further, the project site is underlain by relatively strong soils and bedrock at a shallow depth. These materials are considered resistant to collateral spreading and as such, surface rupture from lateral spreading is considered improbable. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB250331), this site is suitable for the residential use this project proposes, and there are no geological or seismic hazards that would preclude this property from being developed. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.D.
- d) Staff conducted a virtual site inspection on December 10<sup>th</sup>, 2025, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

### 3. FINDING:

**HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:**

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Aromas Tri-County Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) All necessary utilities will be provided. Domestic water will be served by the Aromas Water District. The project proposes the installation of a new septic system. EHB commented that the conceptual onsite wastewater treatment system design meets the minimum requirements established in Monterey County Code 15.20.
- c) Staff conducted a virtual site inspection on December 10<sup>th</sup>, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

**4. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

**EVIDENCE:**

- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a virtual site inspection on December 10<sup>th</sup>, 2025, and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

**5. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

**EVIDENCE:**

- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction of limited numbers of new structures.
- b) The proposed project involves the construction of a 7,326 square foot single family dwelling with an attached 920 square foot garage, 1,124 square feet of covered patios, a detached 1,600 square foot workshop, and associated site improvements. Therefore, the project is consistent with the Class 3 categorical exemption requirements of CEQA Guidelines section 15303.
- c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact

without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- d) No adverse environmental effects were identified during staff review of the development application during a virtual site visit on December 10<sup>th</sup>, 2025.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

**6. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

**EVIDENCE:** a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in NC CIP Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.  
b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.  
c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 6, North County General Plan Shoreline Access/Trails, in the NC LUP).  
d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250074.

**7. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors, and not the California Coastal Commission.

**EVIDENCE:** a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.  
b) Coastal Commission. This project is not appealable to the California Coastal Commission as it is not located between the sea and the first through public road, or within 300 feet of the beach, mean high tide line or coastal bluff, nor is not within 100 feet of any wetland and does not include a conditionally allowed use.

## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and none of the exceptions apply under Section 15300.2;
2. Approve the Coastal Administrative Permit to allow the construction of a 7,326 square foot single family dwelling with an attached 920 square foot garage, 1,124 square feet of covered patios, a detached 1,600 square foot workshop, and associated site improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 7th day of January 2026.

---

Melanie Beretti, AICP  
Chief of Planning

**COPY OF THIS DECISION MAILED TO APPLICANT ON DATE**

**THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE**

**THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION.**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250074

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative permit (PLN250074) allows the construction of a 7,326 square foot single family dwelling with an attached 920 square foot garage, 1,124 square feet of covered patios, a detached 1,600 square foot workshop, and associated site improvements. The property is located at 2791 Summerland Road, Aromas (Assessor's Parcel Numbers 181-261-033-000 and 181-261-041-000), North County Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state: "A Coastal Administrative Permit (Resolution Number \_\_\_\_\_) was approved by the Chief of Planning for Assessor's Parcel Number's 181-261-033-000 and 181-261-041-000 on January 7th, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: [https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee\\_Implementation\\_Worksheet.xlsx](https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee_Implementation_Worksheet.xlsx)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 7. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

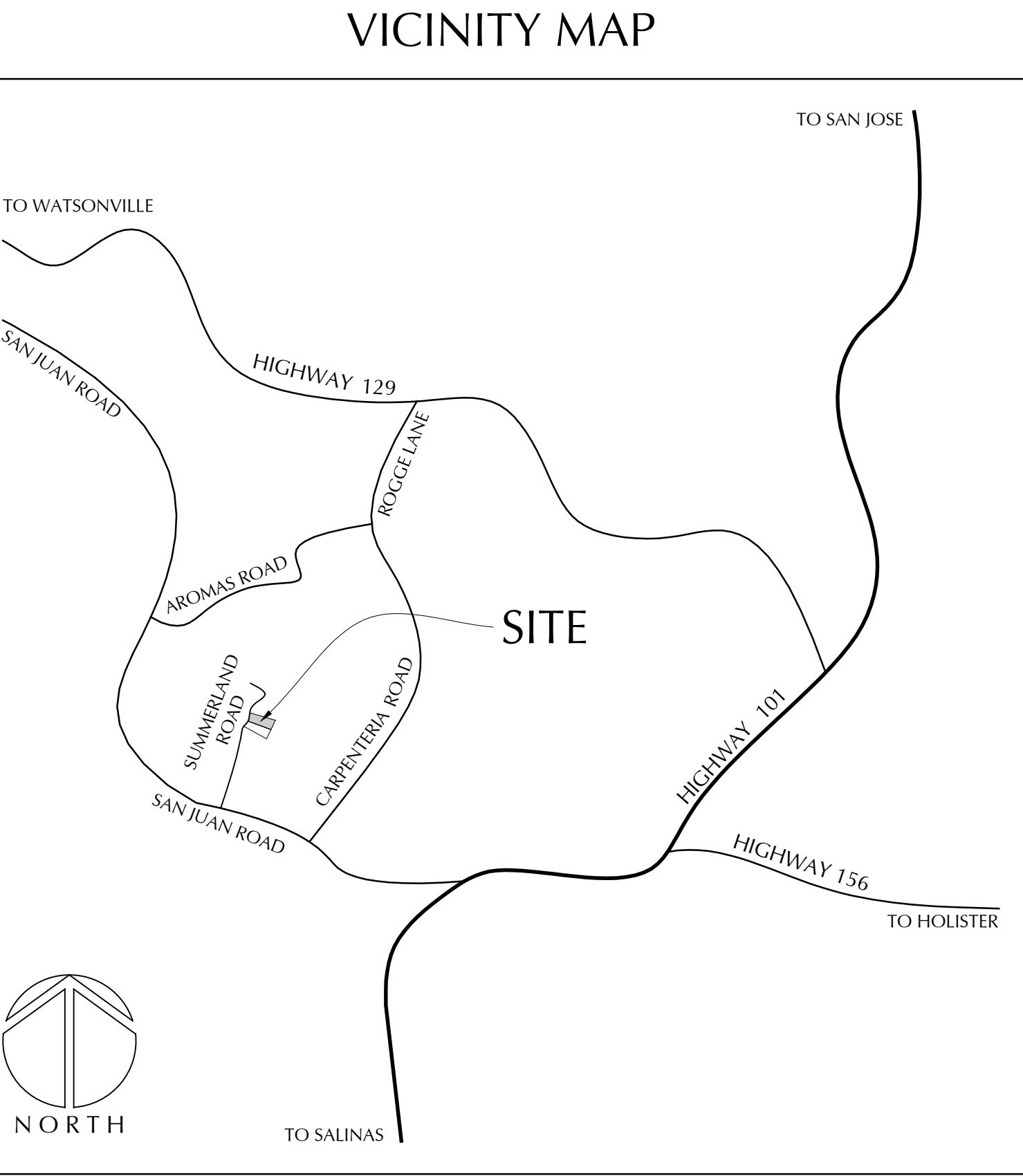
**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. The fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138985/638884451861730000>

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOLLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA



WILLIAM C. KEMPF  
ARCHITECTS  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831 459-0951  
[www.wckempf.com](http://www.wckempf.com)

VICINITY MAP		CONSULTANTS	SHEET INDEX	PROJECT DATA SUMMARY
	<p><b>ARCHITECT:</b> WILLIAM C. KEMPF, ARCHITECTS 105 LOCUST STREET, SUITE B SANTA CRUZ, CA 95060 BILL KEMPF: 831 459-0951</p> <p><b>CIVIL ENGINEER:</b> ROPER ENGINEERING 48 MANN AVENUE CORRALITOS, CA 95076 JEFF ROPER: 831 724-5300</p> <p><b>STRUCTURAL ENGINEER:</b> R3 ENGINEERING 105 LOCUST STREET, SUITE A SANTA CRUZ, CA 95060 CHARLIE PROGRACE: 831 588-7628</p> <p><b>GEOTECHNICAL ENGINEER:</b> SOIL SURVEYS GROUP, INC. 103 CHURCH STREET SALINAS, CA 93901 BELINDA TALUBAN: 831 757-2172</p> <p><b>GEOLOGIST:</b> CRAIG HARWOOD, GEOLOGIST 239 PARK DRIVE BEN LOMOND, CA 95005 831 325-9327</p> <p><b>SEPTIC ENGINEERING:</b> MYER ENGINEERING, INC. 1796 LAUREL GLEN ROAD SOQUEL, CA 95073 PAUL MYER: 831 800-2244</p> <p><b>LANDSCAPE &amp; IRRIGATION:</b> KAREN AITKEN &amp; ASSOCIATES 8262 RANCHO REAL GILROY, CA 95020 408 857-6275</p>	<p>A1.1 COVER SHEET AND PROJECT DATA A2.1 SITE PLAN A2.2 STAKING PLAN &amp; PHOTOS A3.1 GROUND FLOOR PLAN A3.2 ROOF PLAN A5.1 EXTERIOR ELEVATIONS</p> <p>C1 CIVIL SITE PLAN C2 GRADING PLAN C3 SITE SECTION C4 SECTIONS &amp; ELEVATIONS C5 EROSION CONTROL PLAN</p> <p>WW1 COVER SHEET WW2 EXISTING SITE LAYOUT WW3 WASTEWATER SYSTEM DESIGN WW4 WASTEWATER SYSTEM SCHEMATIC &amp; DETAILS WW5 WASTEWATER SYSTEM SPECIFICATIONS</p> <p>L-1 PLANTING PLAN L-2 PLANTING PLAN L-4 PLANTING PLAN L-6 WATER CALCS L-7 PLANTING &amp; IRRIGATION DETAILS</p>	<p>OWNER: KAMILAH DEYN DEVELOPMENT 734 E. LAKE AVENUE #9 WATSONVILLE, CA 95076 MIKE FARHAT: 831 247-5340</p> <p>PROJECT SITE: 2791 SUMMERLAND ROAD AROMAS, CALIFORNIA</p> <p>CROSS STREET: SAN JUAN ROAD</p> <p>ASSESSORS PARCEL NUMBER: 181-261-33 &amp; 41</p> <p>ZONING: RDR/5 (CZ)</p> <p>LOT AREA: 78,219 S.F. , ±1.80 ACRES</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY: R-3 &amp; U</p> <p>FIRE SPRINKLERS: YES, NFPA 13D THROUGHOUT</p> <p>FIRE PROTECTION ZONE: SRA = HIGH, AROMAS TRI-COUNTY FPD WUI COMPLIANCE REQUIRED</p> <p>PARKING CALCULATION: REQUIRED: 2 SPACES PROPOSED: 3 IN GARAGE, MANY ON SITE</p> <p>UTILITIES: ELECTRICITY: PG&amp;E NATURAL GAS: PG&amp;E WATER: AROMAS WATER DISTRICT WASTEWATER: ON-SITE SEPTIC SYSTEM</p> <p>TREE REMOVAL: NONE EXISTING OR REQUIRED</p> <p>REFERENCE CODES: 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA GREEN BLDG. STDS. CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE MONTEREY COUNTY CODE AMENDMENTS</p>	
WILDLAND-URBAN INTERFACE	GENERAL NOTES	BUILDING AREAS		
<p><b>REFER TO 2022 CBC CHAPTER 7A &amp; 15</b></p> <p><b>703A STANDARDS OF QUALITY</b> • BUILDING MATERIAL, SYSTEMS, ASSEMBLIES AND METHODS OF CONSTRUCTION USED IN THIS CHAPTER SHALL BE IN ACCORDANCE WITH SECTION 703A.</p> <p><b>705A ROOFING</b> • ROOF ASSEMBLY SHALL BE CLASS 'A' RATED AND INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTRUCTIONS. • WHERE AN AIR SPACE IS PROVIDED UNDER THE ROOF COVERING, A CLASS 'A' FIRE RATED ROOF UNDERLayment SHALL BE UTILIZED, OR EXPOSED SHEATHING SHALL CONSIST OF EXTERIOR FIRE-RETARDANT-TREATED WOOD. • WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET. • ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.</p> <p><b>706A VENTS</b> • VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL</p> <p><b>707A EXTERIOR COVERINGS</b> • EXTERIOR COVERINGS INCLUDE: EXTERIOR WALL COVERING MATERIAL, EXTERIOR WALL ASSEMBLY, EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE OVERHANGS, EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE SOFFITS, EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS, EXTERIOR EXPOSED UNDERSIDE OF FLOOR PROJECTIONS, AND EXTERIOR UNDER FLOOR AREAS. • EXTERIOR COVERINGS SHALL BE: NONCOMBUSTIBLE MATERIAL, OR AN IGNITION-RESISTANT MATERIAL, OR SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4", OR LOG WALL CONSTRUCTION. • IF THE EXTERIOR CLADDING DOES NOT MEET ONE OF THE ABOVE REQUIREMENTS ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING. • EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR THE ENCLOSURE ABOVE. • FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS, SOLID WOOD RAFTER TAILS AND BLOCKING WITH A MIN. NOMINAL DIMENSION OF 2", MAY REMAIN EXPOSED WITHOUT PROTECTION. • THE UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES MUST MAINTAIN THE SAME IGNITION-RESISTANCE OF EXTERIOR WALLS OR BE ENCLOSED TO GRADE.</p> <p><b>708A EXTERIOR WINDOWS, SKYLIGHTS AND DOORS</b> • ALL EXTERIOR GLAZING MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED GLASS BLOCK. • OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WHERE THE DIMENSIONS OF THE OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/8". • EXTERIOR DOORS MUST BE NONCOMBUSTIBLE, OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING. ANY GLAZING IN EXTERIOR DOOR SHALL MEET THE ABOVE REQUIREMENTS. • GAPS AT EXTERIOR GARAGE DOORS SHALL NOT EXCEED 1/8". GAPS LARGER THAN 1/8" ARE ALLOWED IF THE DOOR OVERLAPS ONTO JAMBS AND HEADERS, OR THE GAP IS COVERED WITH METAL FLASHING.</p> <p><b>709A DECKING</b> • A MINIMUM OF A 6" METAL FLASHING, APPLIED VERTICALLY ON THE EXTERIOR OF THE WALL, SHALL BE INSTALLED AT ALL DECK-TO-WALL INTERSECTIONS. • DECK, PORCH, AND BALCONY SURFACES WITHIN 10 FEET OF THE PRIMARY STRUCTURE MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED, OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.</p>	<p>LOT AREA: 78,219 S.F.</p> <p>CONDITIONED AREA: 7,326 S.F. UNCONDITIONED AREA: 920 S.F. COVERED AREA: 1,214 S.F. SHOP BUILDING: 1,600 S.F. GROSS AREA: 11,060 S.F.</p> <p>LOT COVERAGE: EXISTING: 0 S.F. 0.0% PROPOSED: 11,060 S.F. 14.1% MAXIMUM: 19,555 S.F. 25.0%</p> <p>IMPERVIOUS AREA: EXISTING: 0 S.F. STRUCTURES: 11,060 S.F. FLATWORK: 3,519 S.F. GROSS AREA: 14,579 S.F.</p> <p>PAVERS: 7,691 S.F.</p> <p>SLOPES OVER 25%: NONE</p> <p>GRADING QUANTITIES: CUT: ±1,600 C.Y. FILL: ±1,600 C.Y.</p>	<p>PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AND DETACHED SHOP BUILDING ON AN EXISTING VACANT LOT IN THE LOGAN KNOLLS DEVELOPMENT</p> <p><b>DEFERRED SUBMITTALS</b></p> <p>DEFERRED SUBMITTAL: FIRE SPRINKLER DRAWINGS THE FIRE SPRINKLER SYSTEM SHALL BE PERFORMED AS A DESIGN/BUILD SUB-CONTRACT. THE SPRINKLER CONTRACTOR SHALL SECURE ALL PERMITS AS REQUIRED FOR THEIR SCOPE OF WORK AND THEY MUST BE LICENSED TO PERFORM THIS WORK. SPRINKLER SYSTEM SHALL COMPLY WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13D AND CHAPTER 35 OF THE CALIFORNIA BUILDING CODE AND ADOPTED STANDARDS OF THE AUTHORITY HAVING JURISDICTION.</p> <p>DEFERRED SUBMITTAL: HVAC MANUALS D, J AND S OR EQUIVALENT COMPLETE HEATING AND COOLING SYSTEM DESIGN WITH DOCUMENTATION SHOWING ALL HEATING AND COOLING APPLIANCE MODELS, SPECIFICATIONS, AND BTU VALUES AND THE ENERGY ANALYSIS. EQUIPMENT MAY BE SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> <li>1) HEAT LOSS AND HEAT GAIN ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.</li> <li>2) DUCT SYSTEMS SIZED ACCORDING TO ACCA 29-D MANUAL D, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.</li> <li>3) EQUIPMENT SELECTED ACCORDING TO ACCA 36-S MANUAL S OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. CGBC 4.507.2</li> </ol> <p>NOTE: ALL DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING OFFICIAL HAS APPROVED THE DESIGN AND SUBMITTAL DOCUMENTS OR THE CONSTRUCTION PROJECT WILL BE DELAYED.</p> <p>DEFERRED SUBMITTAL: SOLAR POWER PHOTOVOLTAIC SYSTEM THE DEFERRED SUBMITTAL WILL NEED TO BE REVIEWED AND APPROVED BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN OF THE BUILDING PRIOR TO SUBMITTING THEM TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. A LETTER FROM THE ARCHITECT SHALL BE INCLUDED WITH THE SUBMITTAL.</p>		

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOULLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA  
COVER SHEET AND PROJECT DATA

DRAWING DATE:  
JANUARY 31, 2025

---

A.P.N.  
181-261-33 & 41

---

CLIENT NAME:  
MIKE FARHAT

---

PROJECT NAME:  
LOT 2 - 2791 SUMMERLAND

STAMP

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

STAMP

## DISCLAIMER

SHEET

## A1.1



WILLIAM C. KEMPF  
ARCHITECTS  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831 459-0951  
[www.wckempf.com](http://www.wckempf.com)

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOLLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA

DRAWING DATE:  
JANUARY 31, 2025  
P.N.  
181-261-33 & 41  
ELEMENT NAME:  
MIKE FARHAT  
PROJECT NAME:  
LOT 2 - 2791 SUMMERLAND

REVISIONS	
DESCRIPTION	DATE
PLANNING	8/8/25

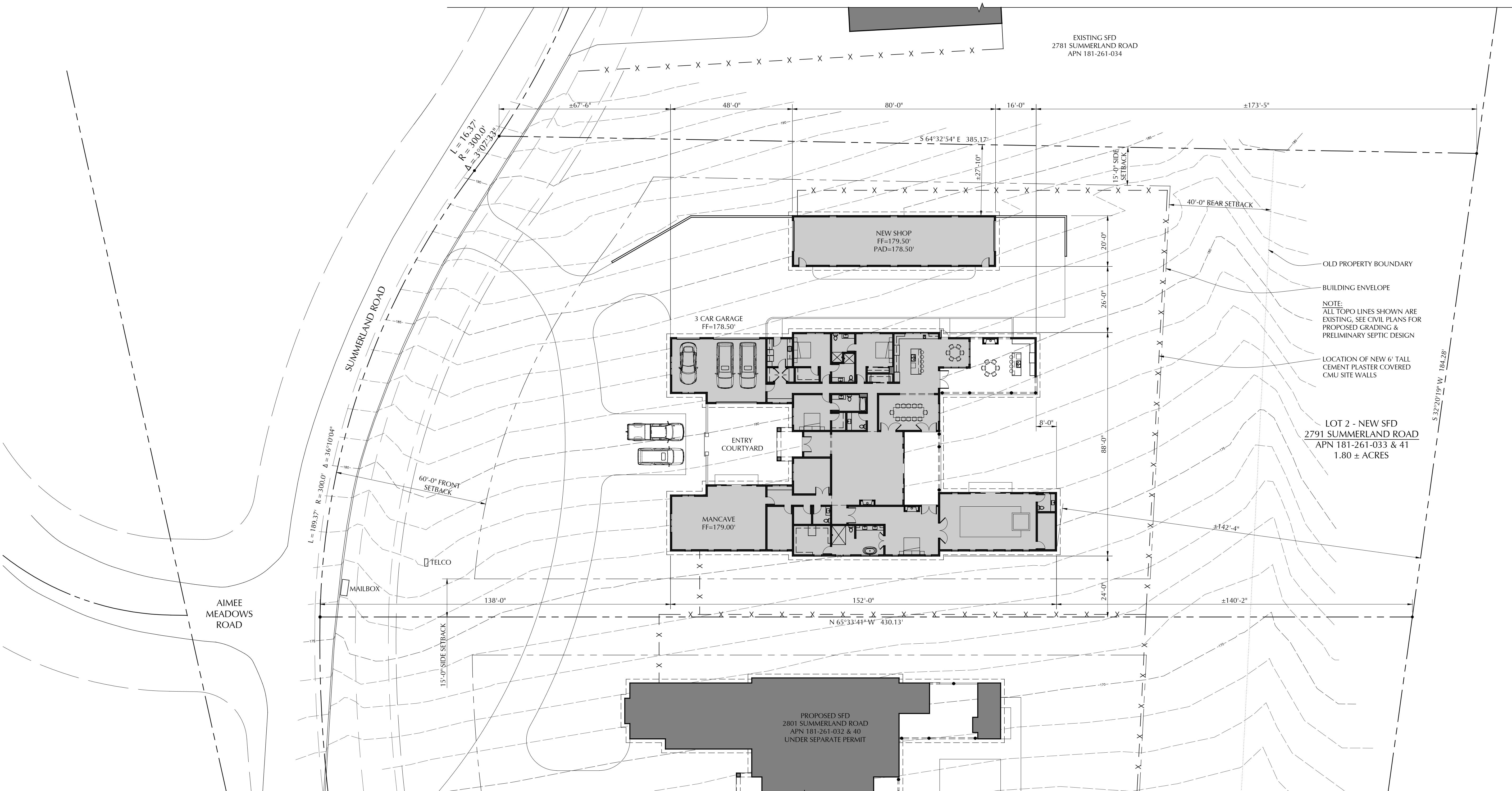
P

# PRELIMINARY NOT FOR CONSTRUCTION

P

## DISCLAIMER

THE DATA SET FORTH ON THIS SHEET IS  
THE PROPERTY OF WILLIAM C. KEMPF,  
ARCHITECTS. IT IS AN INSTRUMENT OF  
SERVICE AND MAY NOT BE ALTERED,  
REPRODUCED, OR USED WITHOUT THE  
SENTENT OF THE ARCHITECT. THE PROPER  
ELECTRONIC TRANSFER OF DATA SHALL  
BE THE USER'S RESPONSIBILITY WITHOUT  
LIABILITY TO THE ARCHITECT.  
UNAUTHORIZED USE IS PROHIBITED.



1

## SITE PLAN

SCALE: 1" = 20'-0"

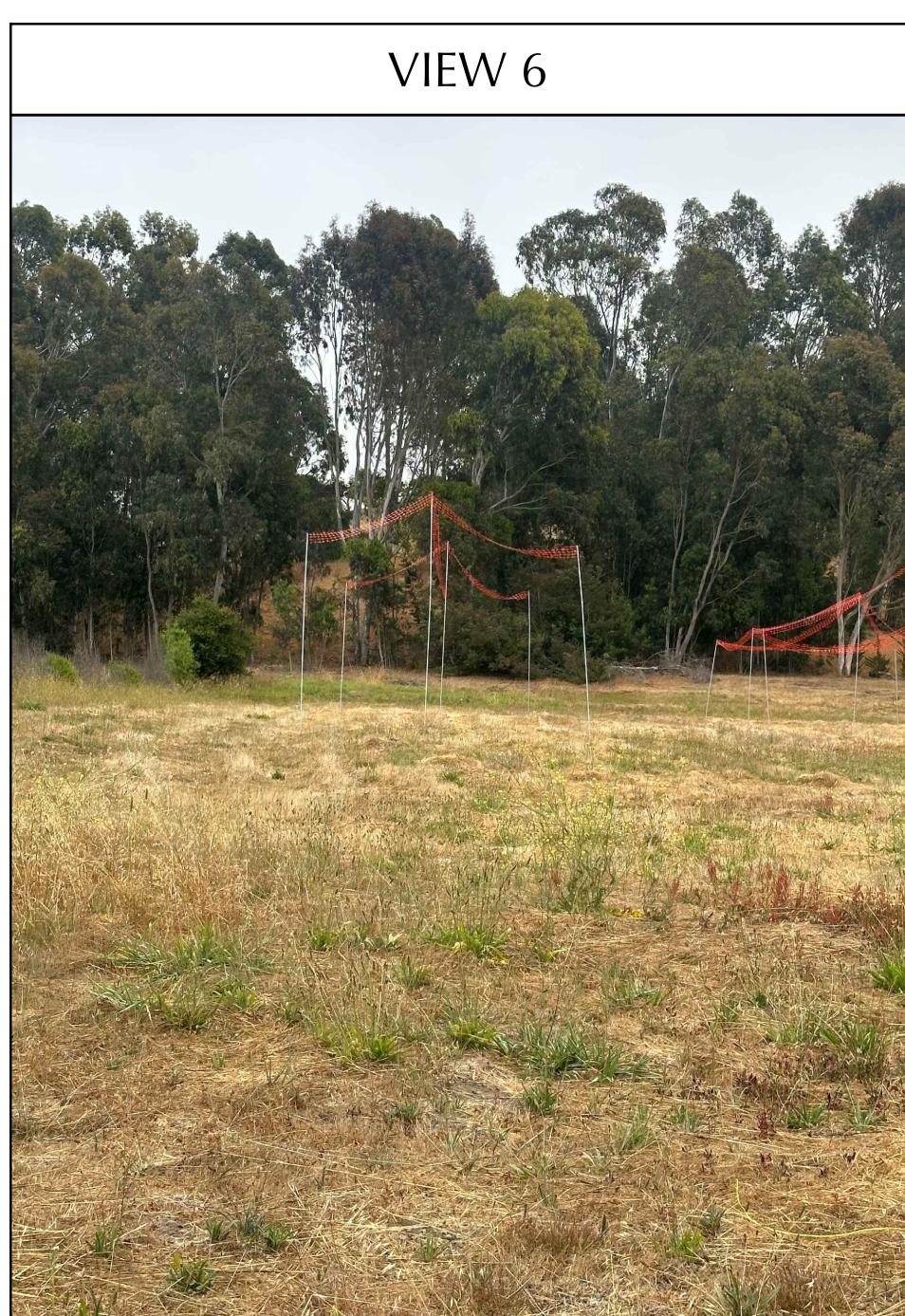
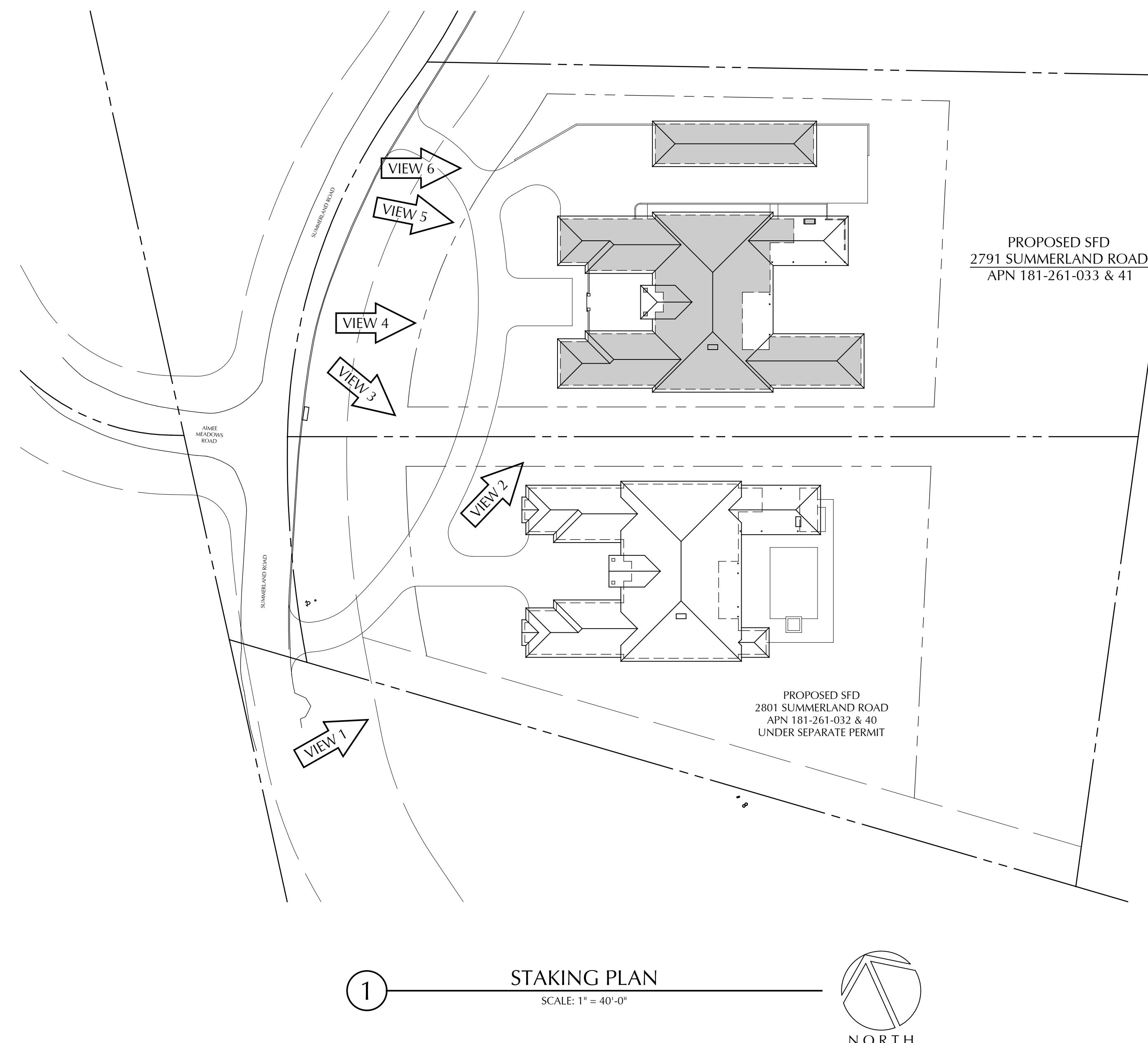


ET  
A2.1



WILLIAM C. KEMPF  
ARCHITECTS  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831 459-0951  
www.wckempf.com

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOLLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA  
STAKING PLAN AND PHOTOS



DRAWING DATE:  
JANUARY 31, 2025  
A.P.N.  
181-261-33 & 41  
CLIENT NAME:  
MIKE FARHAT  
PROJECT NAME:  
LOT 2 - 2791 SUMMERLAND

REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	8/8/25

STAMP  
PRELIMINARY  
NOT FOR  
CONSTRUCTION

STAMP

DISCLAIMER  
THE DATA SET FORTH ON THIS SHEET IS  
THE PROPERTY OF WILLIAM C. KEMPF  
ARCHITECTS. IT IS AN INSTRUMENT OF  
SERVICE AND IS NOT TO BE COPIED,  
REPRODUCED, OR USED WITHOUT THE  
CONSENT OF THE ARCHITECT. THE PROPER  
USE AND MAINTENANCE OF THIS SHEET  
WILL BE THE USER'S RESPONSIBILITY WITHOUT  
LIABILITY TO THE ARCHITECT.  
UNAUTHORIZED USE IS PROHIBITED.

SHEET

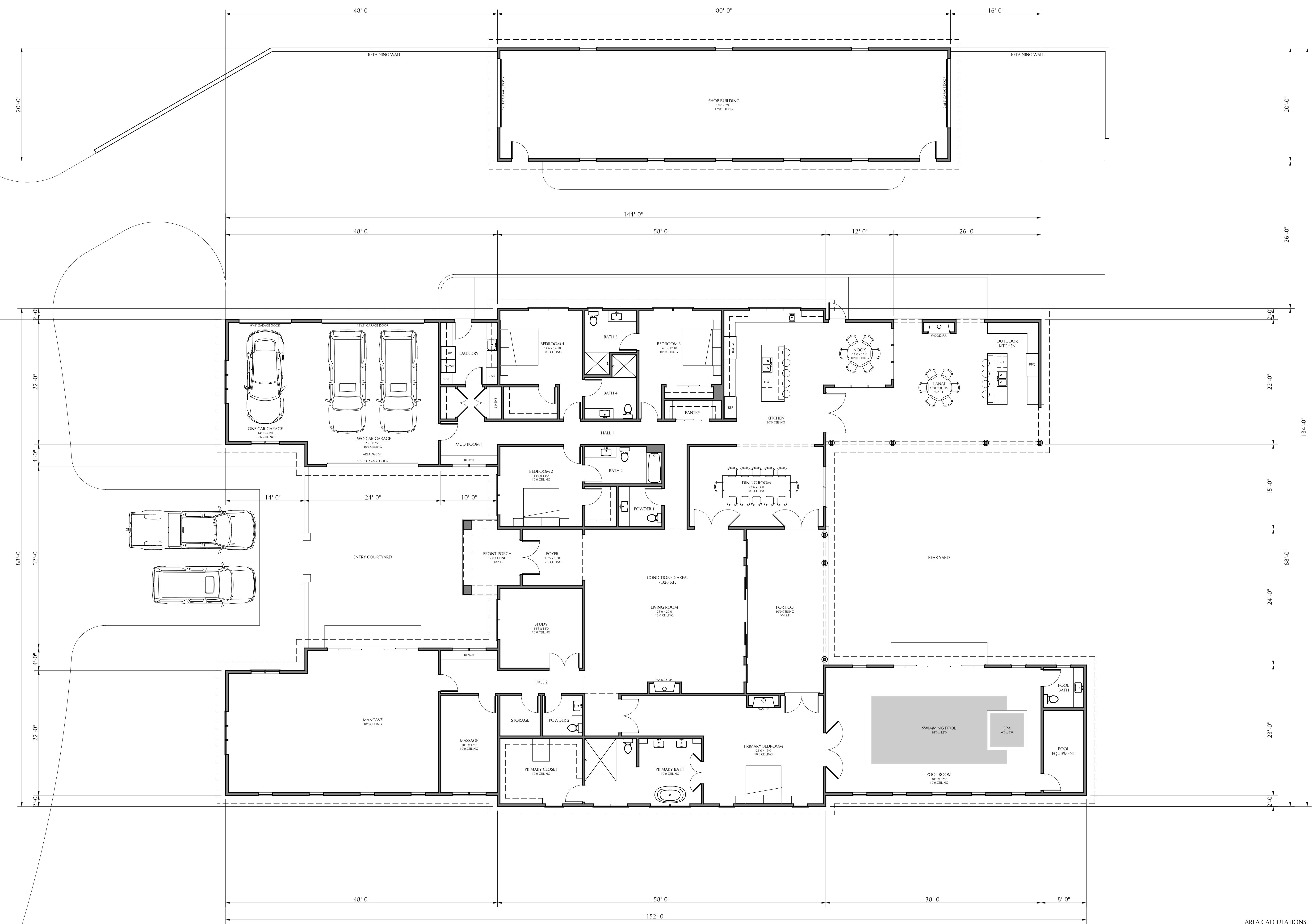
A2.2



WILLIAM C. KEMPF  
ARCHITECTS  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831 459-0951  
www.wckempf.com

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOLLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA

MAIN FLOOR PLAN



DRAWING DATE:  
JANUARY 31, 2025  
A.P.N.  
181-261-33 & 41  
CLIENT NAME:  
MIKE FARHAT  
PROJECT NAME:  
LOT 2 - 2791 SUMMERLAND

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	8/8/25

PRELIMINARY  
NOT FOR  
CONSTRUCTION

STAMP

DISCLAIMER

SHEET

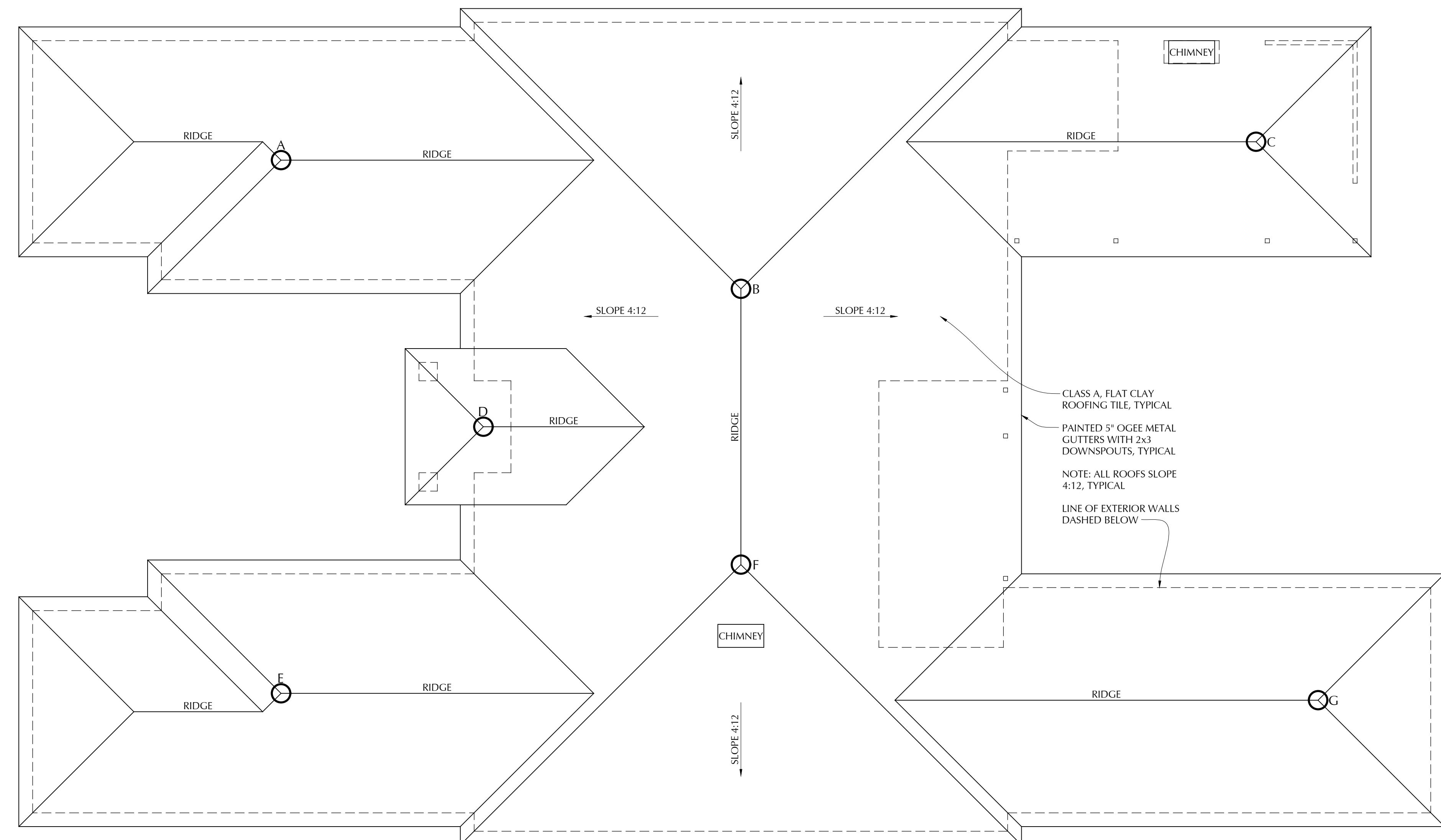
A3.1



WILLIAM C. KEMPF  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831.459.0951  
www.wckempf.com

NEW SINGLE FAMILY RESIDENCE  
**LOGAN KNOLLS - LOT 2**  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA

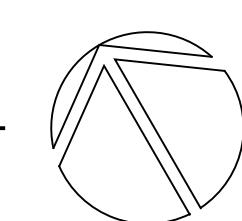
ROOF PLAN



1

ROOF PLAN

SCALE: 1/8" = 1'-0"



ROOF HEIGHT MATRIX				
POINT	(E) GRADE ELEV. AT POINT	(P) ROOF ELEV. AT POINT	HEIGHT ABOVE GRADE	HEIGHT ABOVE PAD
A	181.9	197.4'	15.5'	16.4'
B	180.0'	202.6'	22.6'	21.6'
C	179.5'	197.4'	17.9'	16.4'
D	179.2'	199.2'	20.0'	18.2'
E	176.8'	197.4'	20.6'	16.4'
F	177.3'	202.6'	25.3'	21.6'
G	175.5'	197.4'	21.9'	16.4'
H	185.1'	200.8'	13.7'	17.8'
I	183.8'	200.8'	15.0'	17.8'

ROOF HEIGHT MATRIX NOTES  
1. SEE CIVIL PLANS FOR EXISTING & PROPOSED GRADES  
2. TOP OF SLAB ELEVATION AT THE HOUSE IS 182.0', PAD ELEV. IS 181.0'  
3. HIGHEST ELEVATION OF SHOP SLAB IS 182.0', PAD ELEV. IS 181.0'

DRAWING DATE:	JANUARY 31, 2025	
A.P.N.	181-261-33 & 41	
CLIENT NAME:	MIKE FARHAT	
PROJECT NAME:	LOT 2 - 2791 SUMMERLAND	

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	8/8/25

PRELIMINARY  
NOT FOR  
CONSTRUCTION

STAMP

DISCLAIMER  
THE DATA SET FORTH ON THIS SHEET IS  
THE PROPERTY OF WILLIAM C. KEMPF  
ARCHITECTS. IT IS AN INSTRUMENT OF  
SERVICE AND IS NOT TO BE COPIED,  
REPRODUCED, OR USED WITHOUT THE  
CONSENT OF THE ARCHITECT. THE PROPER  
USE AND MAINTENANCE OF THIS SHEET  
WILL BE THE USER'S RESPONSIBILITY. LIABILITY  
TO THE ARCHITECT  
UNAUTHORIZED USE IS PROHIBITED.

STAMP

A3.2

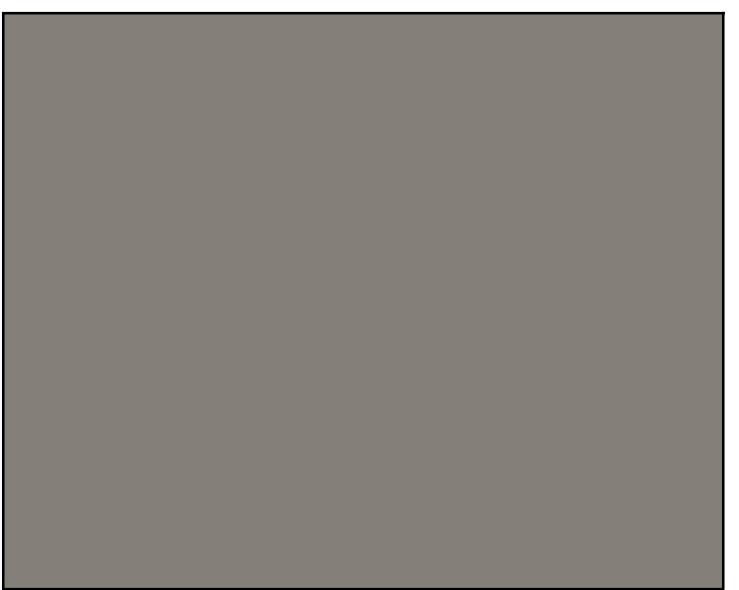


WILLIAM C. KEMPF  
ARCHITECTS  
105 Locust Street, Suite B  
Santa Cruz, CA 95060  
831 459-0951  
www.wckempf.com

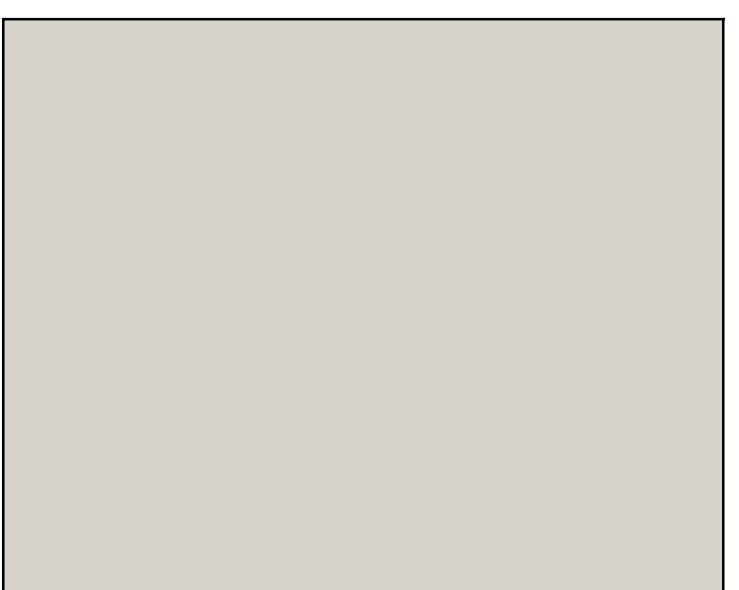
NEW SINGLE FAMILY RESIDENCE  
LOGAN KNOLLS - LOT 2  
2791 SUMMERLAND ROAD, AROMAS, CALIFORNIA  
EXTERIOR ELEVATIONS



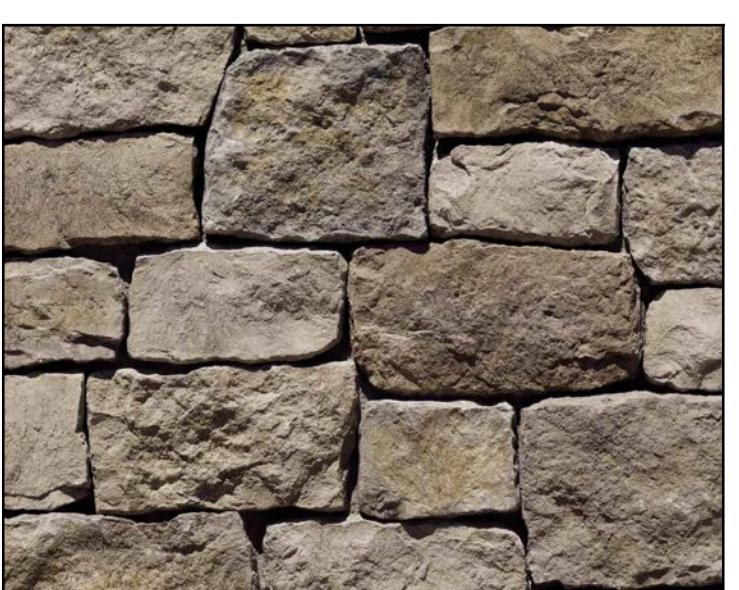
CLAY TILE ROOFING  
MOUNT DORA BLEND (49655) BY EAGLE ROOFING



PAINTED ROOF EDGE, DOOR, WINDOW TRIM & GUTTERS  
GOING GREY (SW 9554) BY SHERWIN WILLIAMS



PAINTED CEMENT PLASTER FINISH EXTERIOR  
GREY HERON (SW 9566) BY SHERWIN WILLIAMS



EXTERIOR STONE FINISH  
ROUGHCUT MOONLIGHT BY ELDORADO STONE

DRAWING DATE:  
JANUARY 31, 2025  
A.P.N.  
181-261-33 & 41  
CLIENT NAME:  
MIKE FARHAT  
PROJECT NAME:  
LOT 2 - 2791 SUMMERLAND

REVISIONS  
No. DESCRIPTION DATE  
△ PLANNING 8/8/25

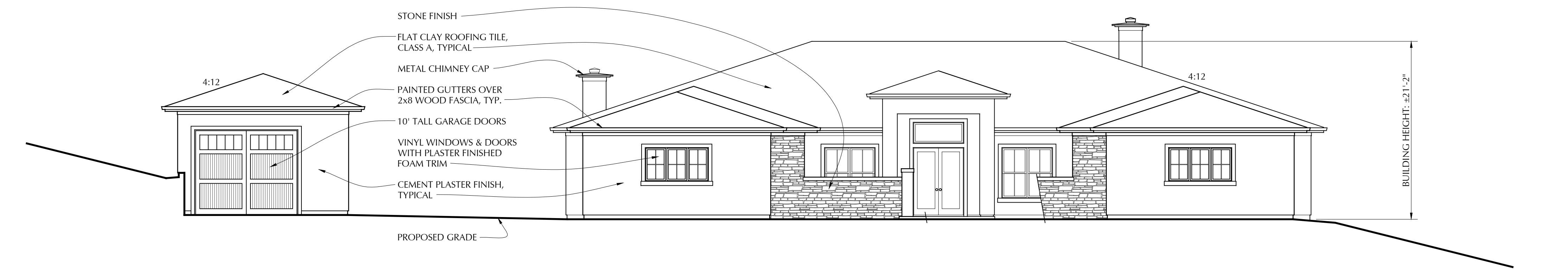
STAMP  
PRELIMINARY  
NOT FOR  
CONSTRUCTION

STAMP

DISCLAIMER  
THE DATA SET FORTH ON THIS SHEET IS  
THE PROPERTY OF WILLIAM C. KEMPF  
ARCHITECTS. IT IS AN INSTRUMENT OF  
SERVICE AND IS NOT TO BE COPIED,  
REPRODUCED, OR USED WITHOUT THE  
CONSENT OF THE ARCHITECT. THE PROPER  
USE AND MAINTENANCE OF THIS SHEET  
WILL BE THE USER'S RESPONSIBILITY WITHOUT  
LIABILITY TO THE ARCHITECT.  
UNAUTHORIZED USE IS PROHIBITED.

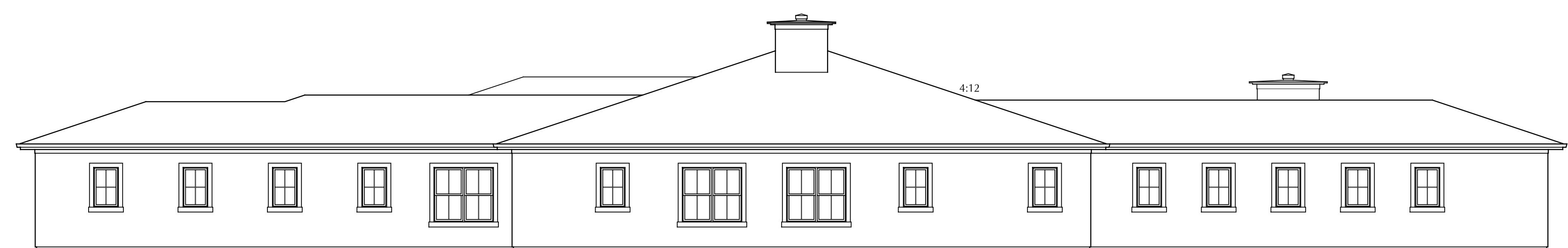
STAMP

A5.1



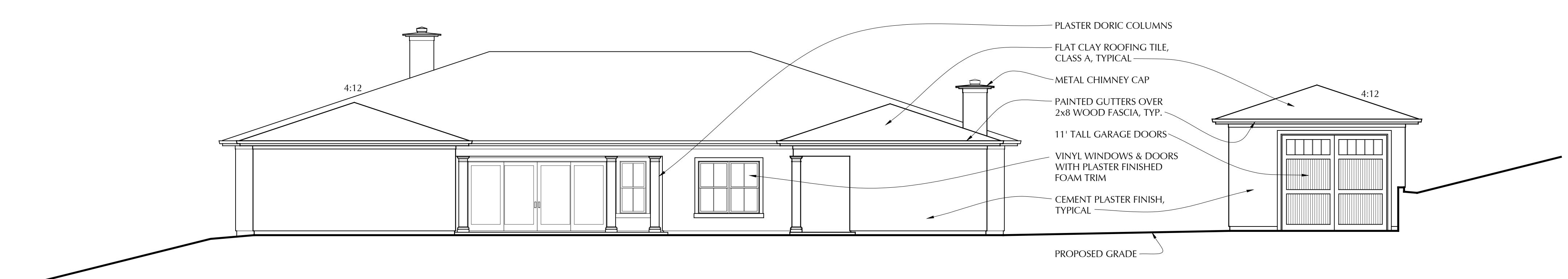
1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 EAST ELEVATION

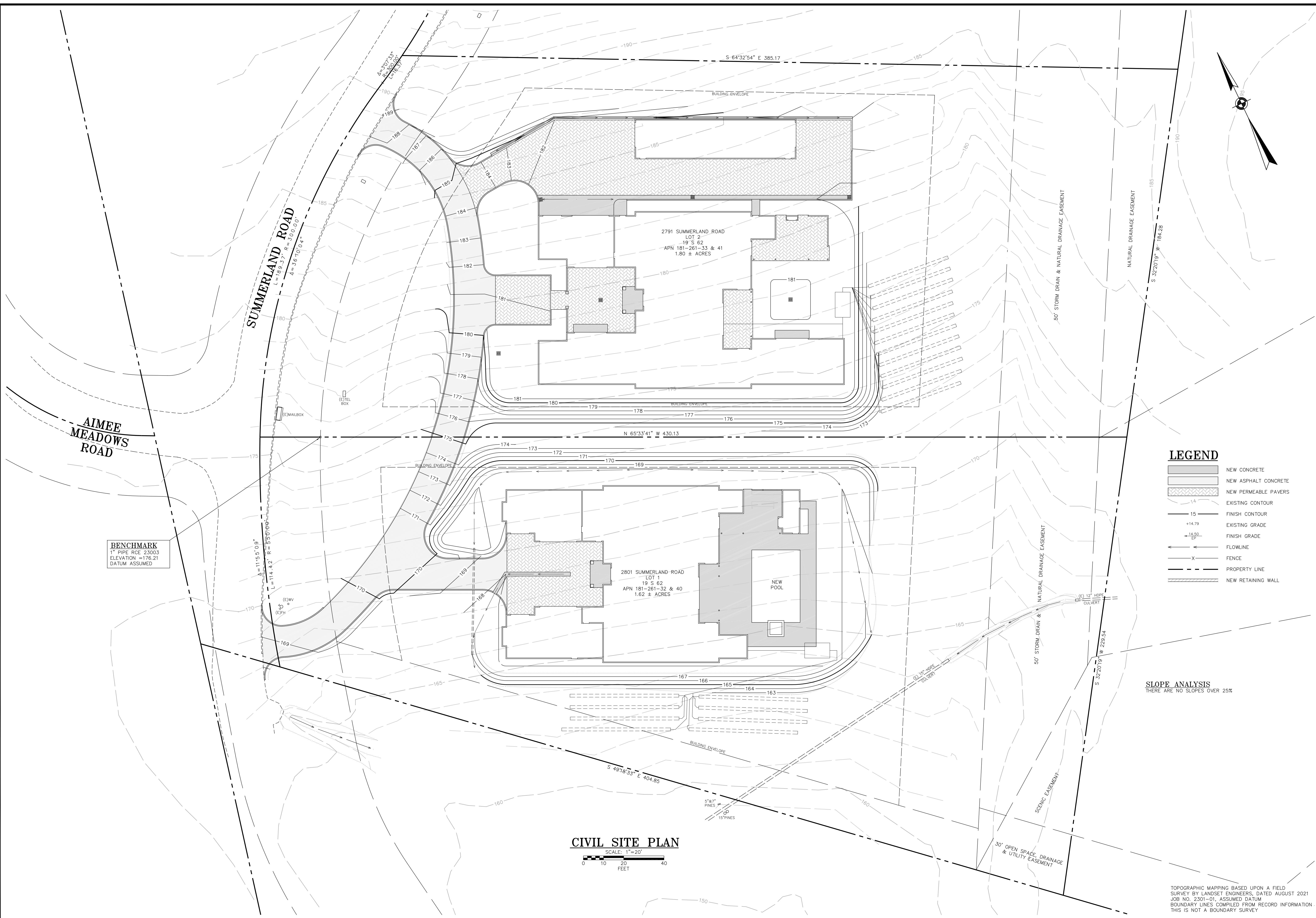
SCALE: 1/8" = 1'-0"



WINDOWS & EXTERIOR DOORS  
MILGARD TUSCANY SERIES IN ESPRESSO



GARAGE DOORS  
RESERVE WOOD LIMITED EDITION BY CLOPAY



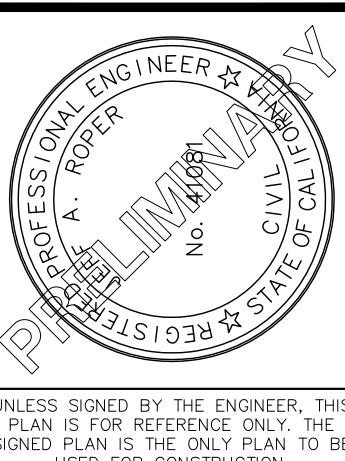
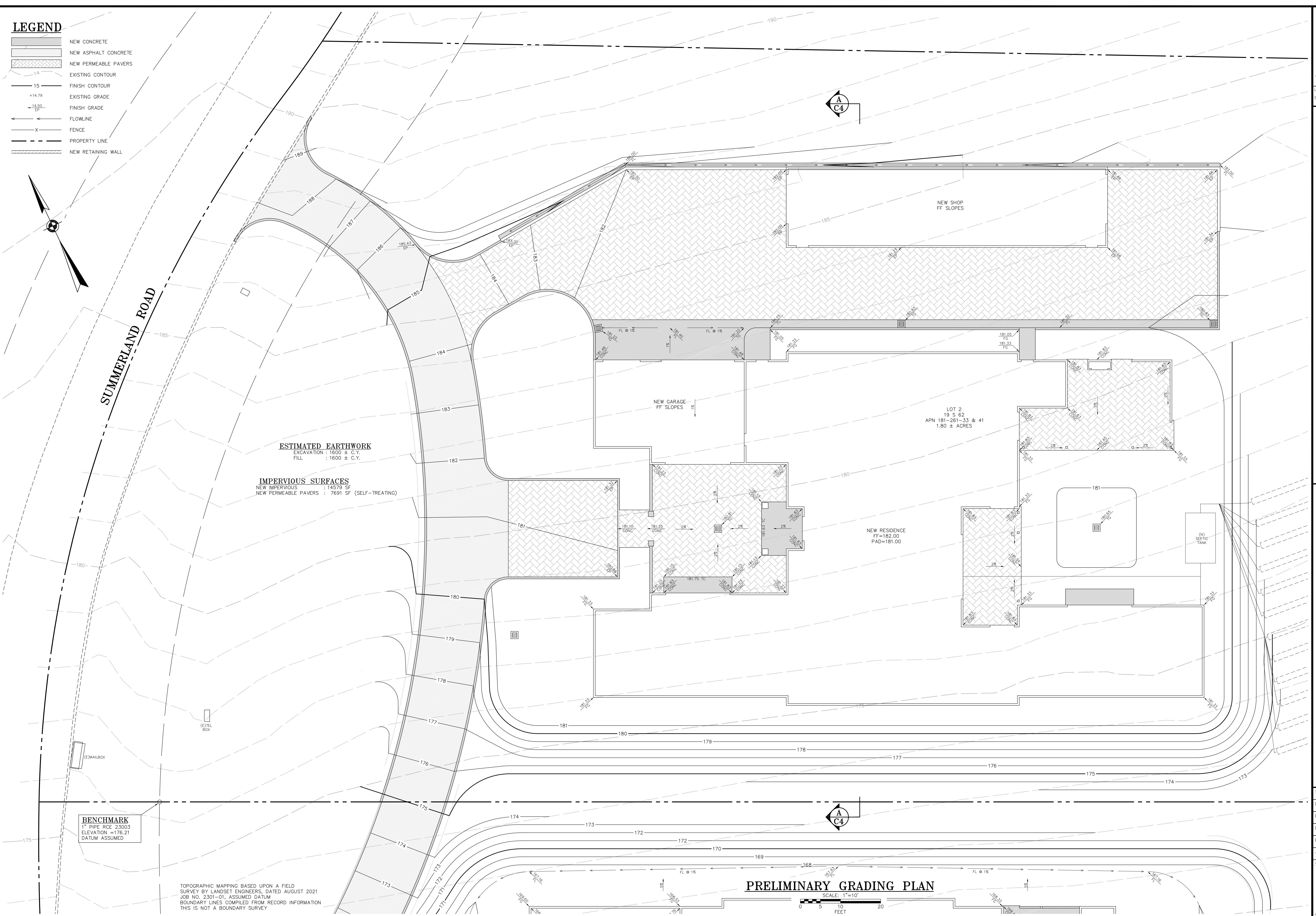
**NEW RESIDENCES FOR  
MIKE FARHAT  
2791 SUMMERLAND ROAD AROMAS APN 181-261-33 & 4  
CIVIL SITE PLAN**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	AUG. 8, 2025
REVISED:	
JOB NO.:	22031
SHEET	

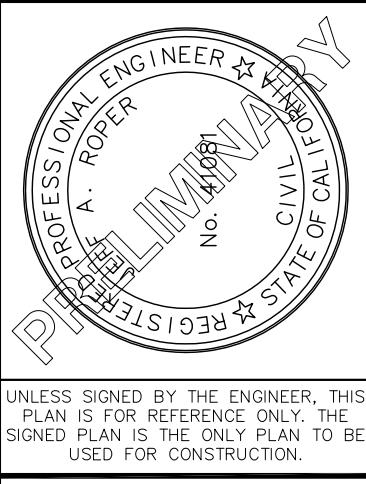
C 1

# ROPER ENGINEERING IVIL, ENGINEERING & LAND SURVEYING

48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 jeff@properengineering.com



**ROPER ENGINEERING**  
CIVIL ENGINEERING & LAND SURVEYING  
48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 jeff@roperengineering.com



UNLESS SIGNED BY THE ENGINEER, THIS  
PLAN IS FOR REFERENCE ONLY. THE  
SIGNED PLAN IS THE ONLY PLAN TO BE  
USED FOR CONSTRUCTION.

# ROPER ENGINEERING

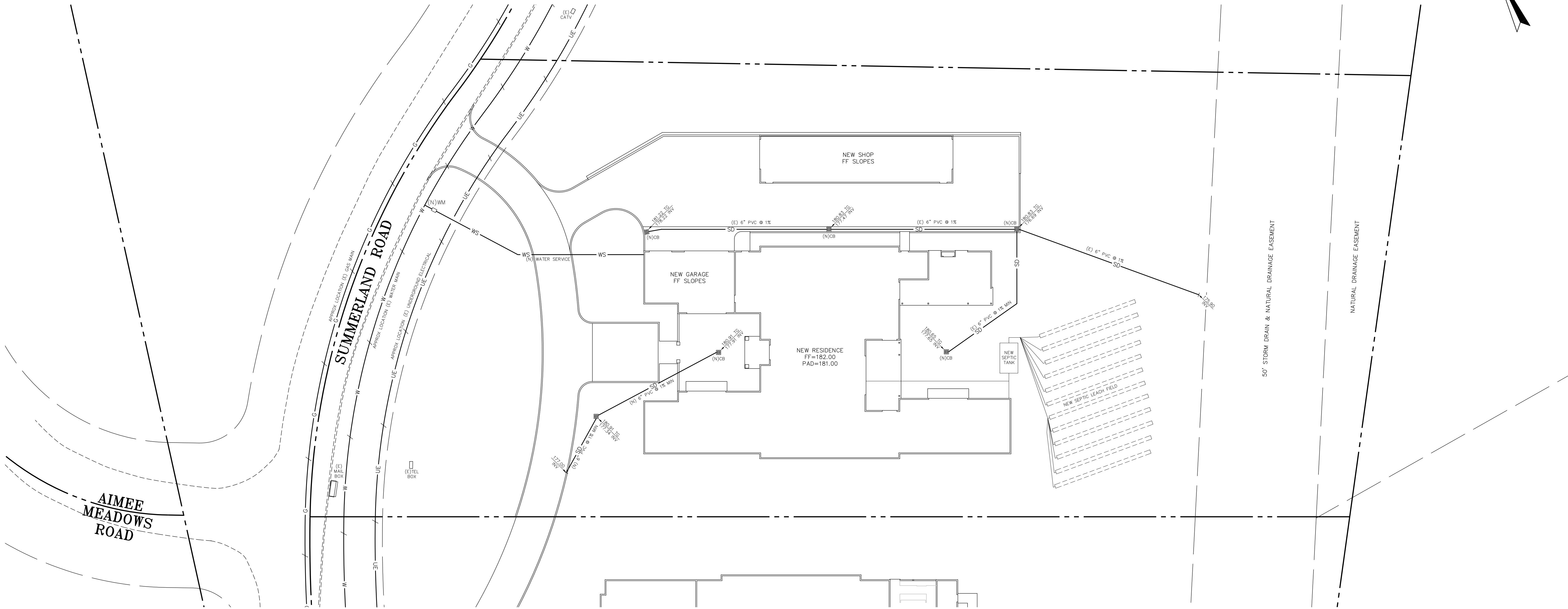
## CIVIL ENGINEERING & LAND SURVEYING

A stylized letter 'W' logo, rendered in a bold, black, blocky font. The letters are interconnected, creating a sense of depth and structure. The logo is positioned in the upper left corner of the slide.

**NEW RESIDENCES FOR  
MIKE FARHAT  
SUMMERLAND ROAD AROMAS APN 181-261-  
PRELIMINARY UTILITY PLAN**

SCALE: AS NOTED  
DESIGNED BY: JR  
DRAWN BY: JR  
DATE: AUG. 8, 2025  
REVISED:  
JOB NO.: 22031

C3



## PRELIMINARY UTILITY PLAN

SCALE: 1"=20'

0 10 20

## LEGEND

— / — G — / —	EXISTING GAS MAIN
— — SD — —	NEW STORM DRAIN
— / — UE — / —	EXISTING UNDERGROUND ELECTRICAL
— / — W — / —	EXISTING WATER MAIN
— — WS — —	NEW WATER SERVICE

# AIMEE MEADOW ROAD

**SUMMERLAND** *APPROX LOCATION (E) GAS MAIN*

NEW RESID  
EE 182

50' STORM DRAIN & NATURAL DRAINAGE EASEMENT

## NATURAL DRAINAGE EASEMENT

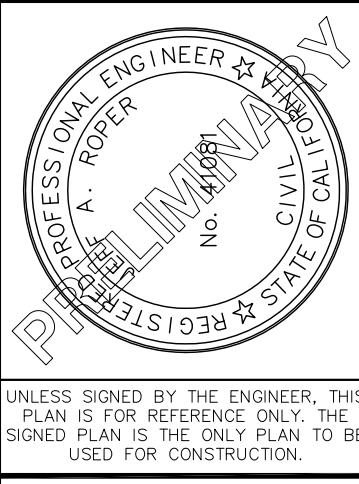
# ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING

W

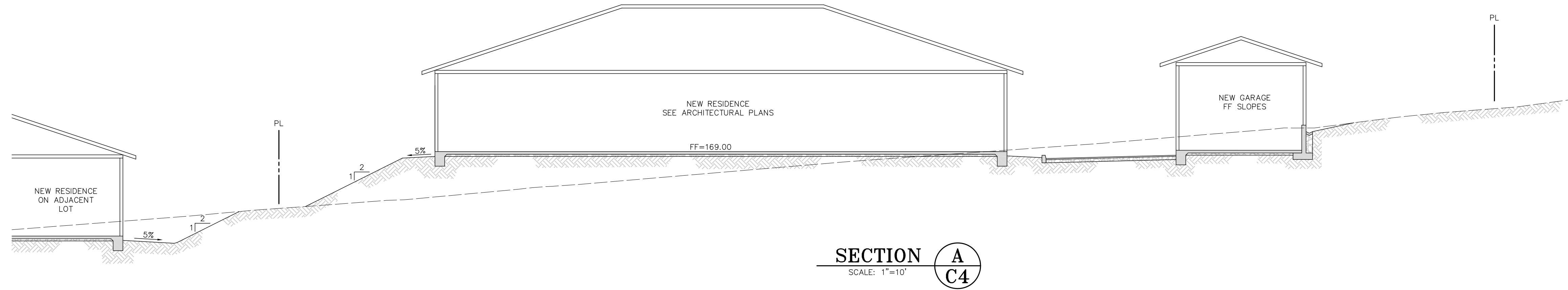
**NEW RESIDENCES FOR  
MIKE FARHAT  
SUMMERLAND ROAD AROMAS APN 181-261-  
PRELIMINARY UTILITY PLAN**

SCALE: AS NOTED  
DESIGNED BY: JR  
DRAWN BY: JR  
DATE: AUG. 8, 2025  
REVISED:  
JOB NO.: 22031

C3



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS UNCONSTRUCTED. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.



GEOTECHNICAL INSPECTION SCHEDULE				
ITEM	TO BE INSPECTED BY	WHEN	INSPECTED BY	DATE
1 PRIORITY TO GRADING				
PRE-GRADING MEETING	GEOTECHNICAL ENGINEER/REPRESENTATIVE	PRIOR TO START OF GRADING		
RETRIEVE SOIL SAMPLE		PRIOR TO START OF GRADING		
2 FILL/CUT SLOPE CONSTRUCTION				
OBSERVE DRIVEWAY EXCAVATION	GEOTECHNICAL ENGINEER/REPRESENTATIVE	WHEN EXCAVATED, PRIOR TO PLACING FILL		
TEST FILL MATERIAL		ON GOING		
OBSERVE CUT SLOPES FOR COMPLIANCE WITH GRADIENTS		WHEN EXCAVATED		
3 BUILDING PAD PREPARATION				
OBSERVE BOTTOM OF OVER-EXCAVATION AT BUILDING PAD	GEOTECHNICAL ENGINEER/REPRESENTATIVE	WHEN EXCAVATED PRIOR TO PLACING FILL		
OBSERVE STABILIZATION FABRIC PLACEMENT		PRIOR TO PLACING FILL		
OBSERVE AND TEST FILL MATERIAL	GEOTECHNICAL ENGINEER/REPRESENTATIVE	ON GOING		
OBSERVE FOUNDATION EXCAVATIONS AT STRUCTURE		PRIOR TO REINFORCEMENT		
4 RETAINING WALL CONSTRUCTION				
OBSERVE FOUNDATION EXCAVATIONS	GEOTECHNICAL ENGINEER/REPRESENTATIVE	PRIOR TO PLACING REINFORCEMENT		
OBSERVE RETAINING WALL DRAIN AND OUTLET		AFTER PIPE IS IN PLACE, PRIOR TO BACKFILLING		
OBSERVE AND TEST RETAINING WALL BACKFILL		DURING FILL PLACEMENT, ON GOING		
5 SUBDRAIN CONSTRUCTION	GEOTECHNICAL ENGINEER/REPRESENTATIVE			
OBSERVE SUBDRAIN CONSTRUCTION		AFTER PIPE IS IN PLACE, PRIOR TO BACK FILLING		
6 DRIVEWAY CONSTRUCTION				
OBSERVE OVEREXCAVATION	GEOTECHNICAL ENGINEER/REPRESENTATIVE	WHEN EXCAVATED, PRIOR TO PLACING FILL		
TEST SUBGRADE		DURING FILL PLACEMENT AND PRIOR TO PLACING BASEROCK		
TEST BASEROCK		IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO PAVING		
7 UTILITY TRENCHES	GEOTECHNICAL ENGINEER/REPRESENTATIVE	ON GOING		
OBSERVE UTILITY BACKFILL				
8 SITE DRAINAGE	GEOTECHNICAL ENGINEER/REPRESENTATIVE	PRIOR TO FINAL		
OBSERVE SITE DRAINAGE				

### GRADING NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTION TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 6" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTION TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 39-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE GEOTECHNICAL INVESTIGATION PREPARED BY SOIL SURVEYS GROUP FOR FARHAT CONSTRUCTION DATED DECEMBER 31, 2021 JOB NO. 7973 SHALL BE STRICTLY ADHERED TO DURING THE GRADING AND CONSTRUCTION OF THIS PROJECT.

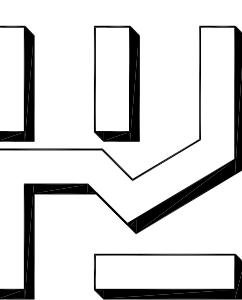
NEW RESIDENCES FOR  
MIKE FARHAT  
2791 SUMMERLAND ROAD AROMAS APN 181-261-33 & 41  
SECTIONS & NOTES

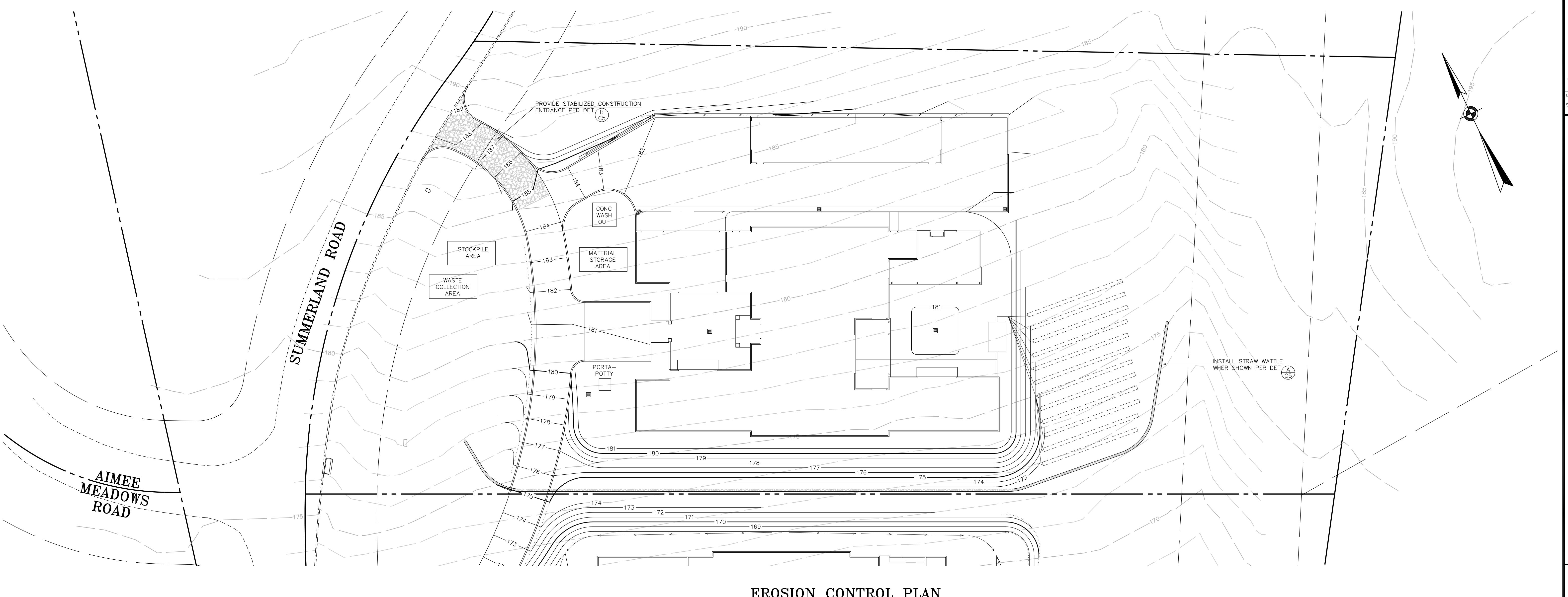
SCALE: AS NOTED  
DESIGNED BY: JR  
DRAWN BY: JR  
DATE: AUG. 8, 2025  
REVISED:  
JOB NO.: 22031  
SHEET

C4

OF 5 SHEETS

ROPER ENGINEERING  
CIVIL ENGINEERING & LAND SURVEYING  
48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 jeff@roperengineering.com





EROSION CONTROL PLAN

SCALE: 1"=20'  
0 10 20 40  
FEET

CONSTRUCTION MATERIALS

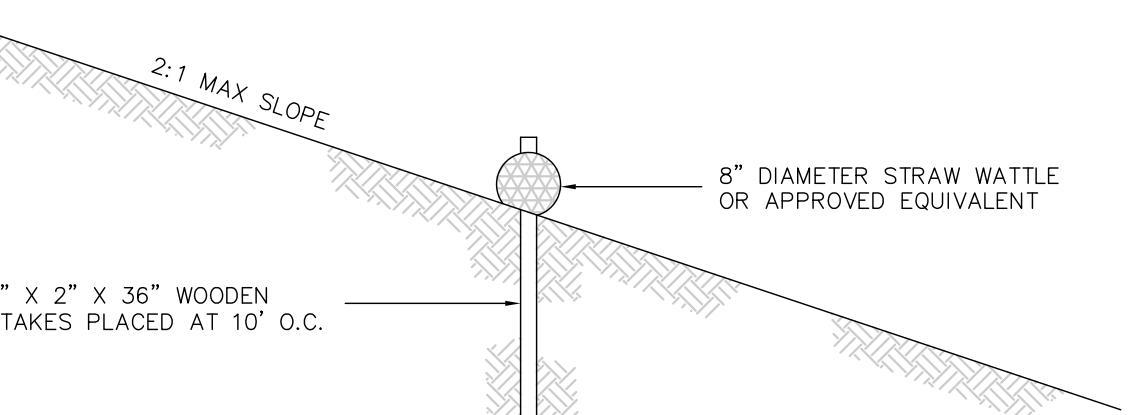
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

SITE HOUSEKEEPING REQUIREMENTS

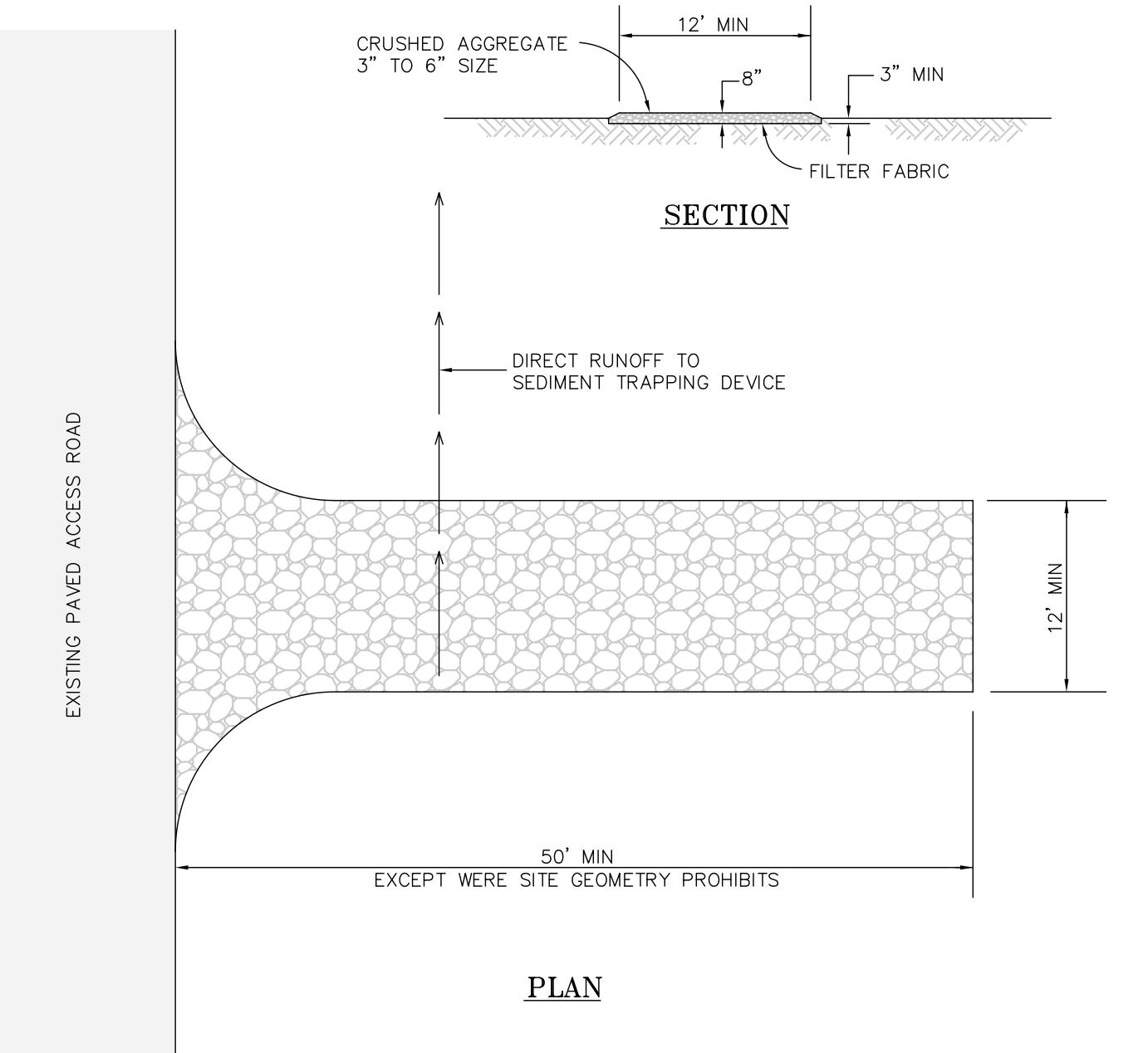
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

MONTEREY COUNTY EROSION CONTROL NOTES

- ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH.)  YES  NO
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMITY, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.



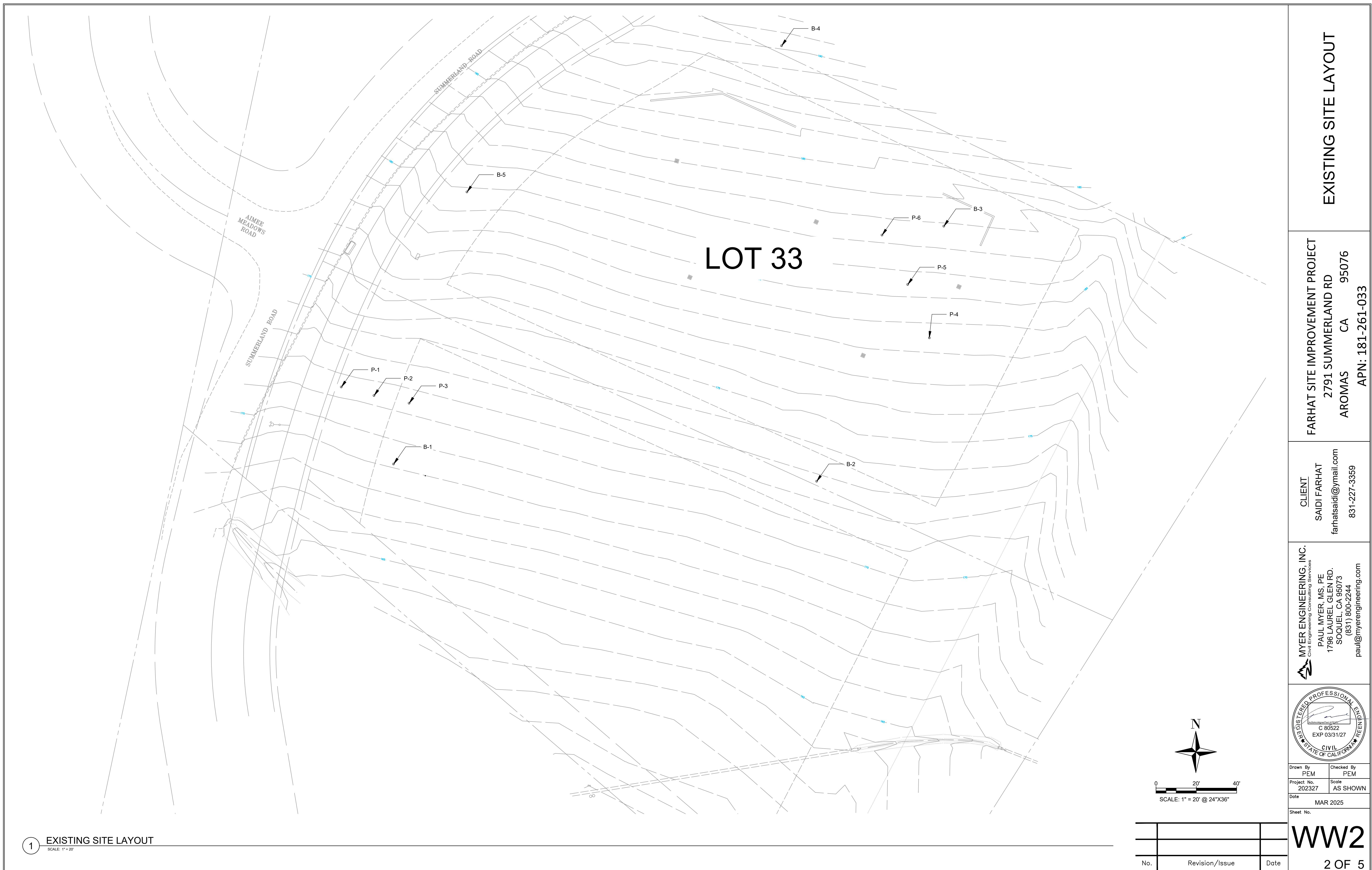
STRAW WATTLE DETAIL A  
C5



SECTION  
PLAN  
C5

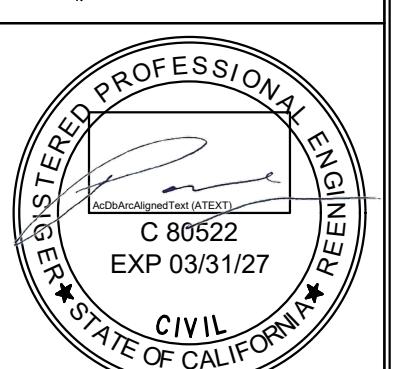
STABILIZED CONSTRUCTION ENTRANCE B  
C5





# WASTEWATER SYSTEM PLAN

FARHAT SITE IMPROVEMENT PROJECT  
2791 SUMMERLAND RD  
AROMAS CA 95076  
APN: 181-261-033



Drawn By PEM  
Checked By PEM  
Project No. 202327  
Scale AS SHOWN  
Date MAR 2025  
Sheet No.

WW3  
3 OF 5

0 20' 40'  
SCALE: 1" = 20' @ 24"X36"

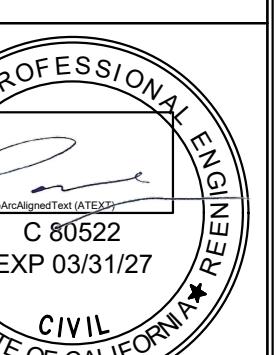
No.	Revision/Issue	Date



# WASTEWATER SYSTEM SCHEMATIC AND DETAILS

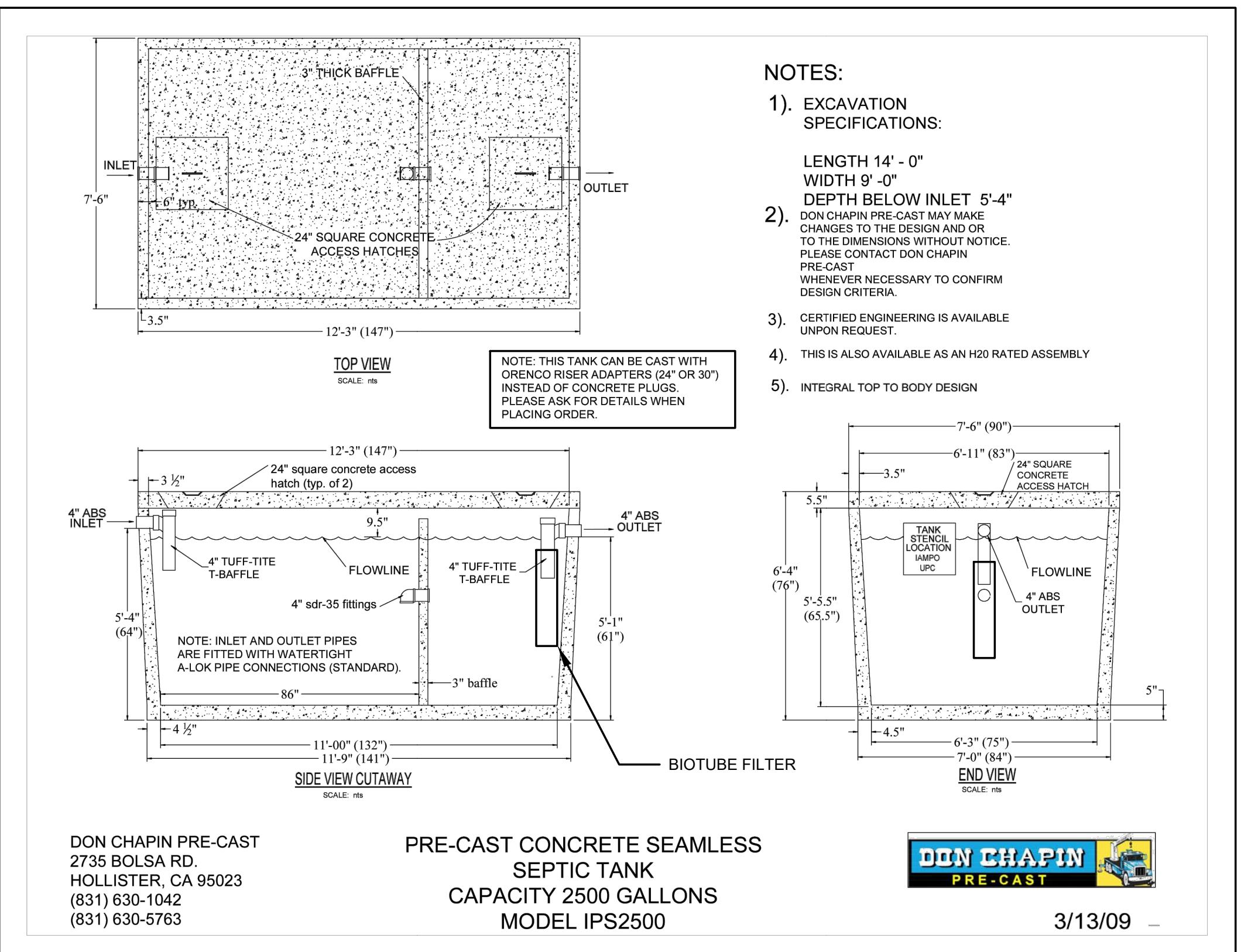
FARHAT SITE IMPROVEMENT PROJECT  
2791 SUMMERLAND RD  
AROMAS CA 95076  
APN: 181-261-033

MYER ENGINEERING, INC.  
Civil Engineering Consulting Services  
PAUL MYER, MS, PE  
1736 LAUREL GLEN RD.  
SCOEUL, CA 95073  
(831) 800-2244  
paul@myerengineering.com

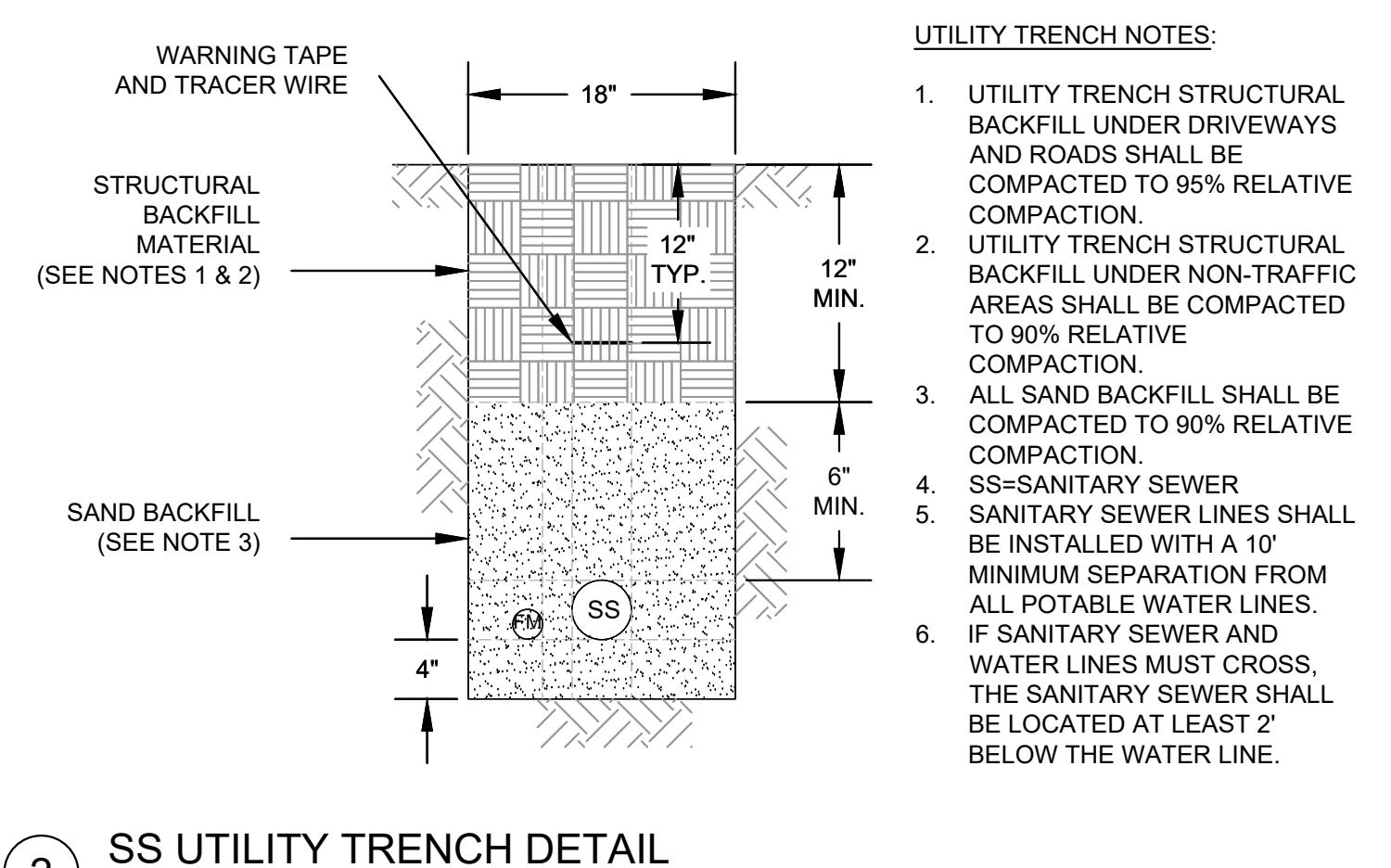


Drawn By PEM  
Checked By PEM  
Project No. 202327  
Scale AS SHOWN  
Date MAR 2025  
Sheet No.

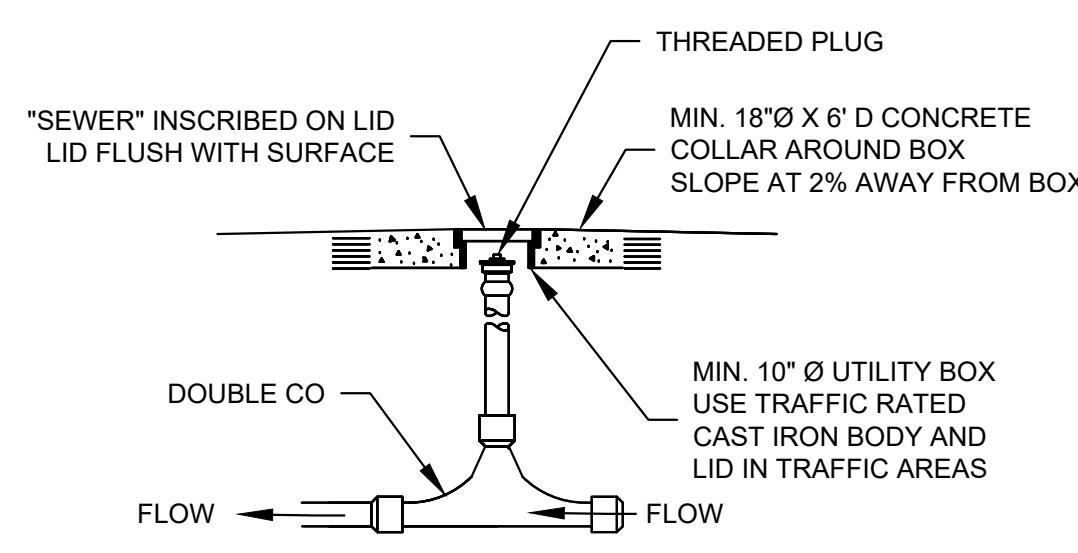
WW4  
4 OF 5



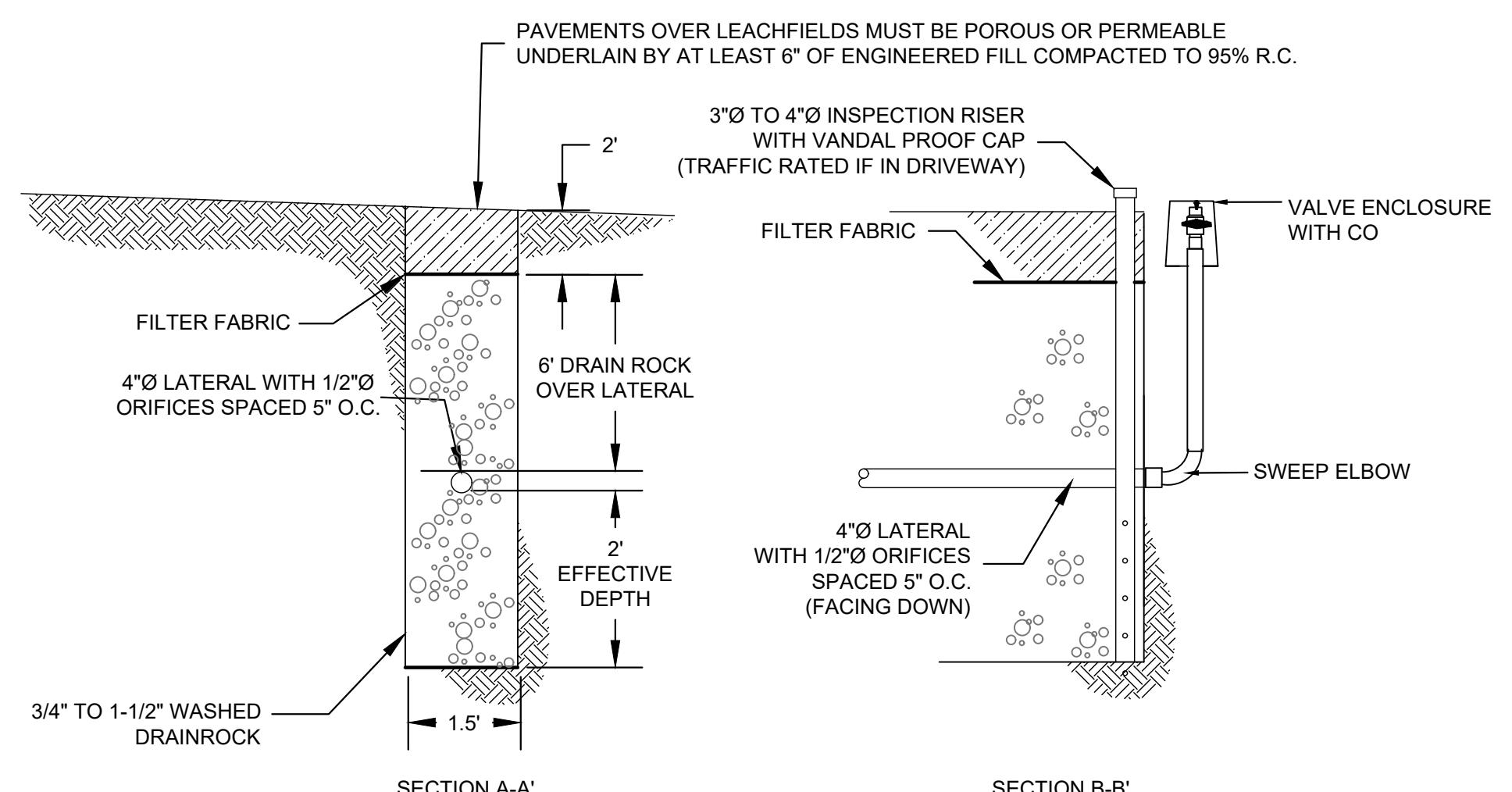
1 2,500 GAL SEPTIC TANK WITH ORENCO RISERS AND BIOTUBE EFFLUENT FILTER



2 SS UTILITY TRENCH DETAIL



3 SS CLEANOUT



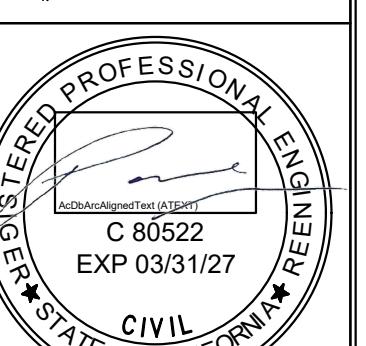
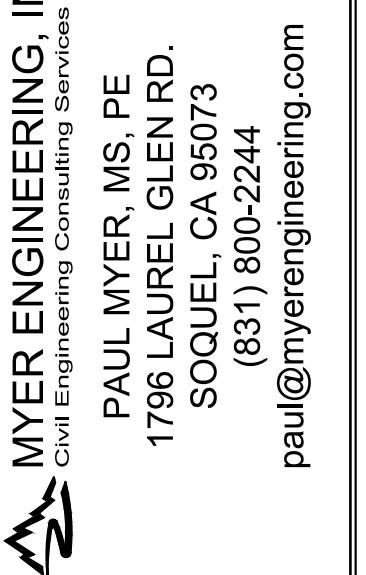
4 CONVENTIONAL LEACHFIELD

<b>CLIENT</b> SAIDI FARHAT farhatsaidi@gmail.com 831-227-3359	<b>FARHAT SITE IMPROVEMENT PROJECT</b> 2791 SUMMERLAND RD AROMAS CA 95076 APN: 181-261-033
<p><b>MYER ENGINEERING, INC.</b> Civil Engineering Consulting Services PAUL MYER, MS, PE 1736 LAUREL GLEN RD. SCOEUL, CA 95073 (831) 800-2244 paul@myerengineering.com</p> <p><b>CIVIL ENGINEERING PROFESSIONAL REGISTRATION</b> C 80522 EXP 03/31/27</p> <p>Drawn By PEM Checked By PEM Project No. 202327 Scale AS SHOWN Date MAR 2025 Sheet No.</p> <p>WW4 4 OF 5</p>	

# WASTEWATER SYSTEM SPECIFICATIONS

FARHAT SITE IMPROVEMENT PROJECT  
2791 SUMMERLAND RD  
AROMAS CA 95076  
APN: 181-261-033

CLIENT  
SAIDI FARHAT  
farhatsaidi@gmail.com  
831-227-3359



Drawn By **PEM** Checked By **PEM**  
Project No. **202327** Scale **AS SHOWN**  
Date **MAR 2025**  
Sheet No. **WW5**

5 OF 5

## GENERAL SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE FOR THE INSTALLATION OF THE ENHANCED WASTEWATER TREATMENT SYSTEM AT THE LOCATION SPECIFIED IN THE BORDER OF THESE DESIGN PLANS. THE ACCOMPANIED PLANS PRESENT THE GENERAL LAYOUT, PLUMBING CONFIGURATION, AND CONSTRUCTION DETAILS.

## MATERIAL SPECIFICATIONS

THE FOLLOWING ARE MATERIAL SPECIFICATIONS FOR THE WASTEWATER SYSTEM COMPONENTS. ALL MATERIALS USED FOR THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND AS DESCRIBED IN THE ACCOMPANIED PLANS OR AN ENGINEER APPROVED EQUIVALENT.

### 1. SUBSURFACE TANKS

THE SUBSURFACE TANKS INCLUDE THE 2,500 GALLON CONCRETE WATER-TIGHT SEPTIC TANK.

1.1. 2,500 GALLON CONCRETE WATER-TIGHT SEPTIC TANK. THE SYSTEM SHALL BE CAPABLE OF TREATING DESIGN FLOW OF AT LEAST 600 GPD, DIMENSIONS, FITTING SIZES AND LOCATIONS, AND OPTIONAL ACCESSORIES SHALL BE INCLUDED AS SHOWN ON TANK DRAWINGS. THE TANK SHALL BE WATERTIGHT AND TESTED IN THE FIELD AFTER INSTALLATION.

1.2. PRODUCT STORAGE. THE SUBSURFACE TANKS SHALL BE CAPABLE OF STORING SEPTAGE LIMITED TO THE COLLECTION AND STORAGE OF HUMAN SOLID OR LIQUID ORGANIC WASTE.

1.3. PIPING. SDR35 PVC PIPE, SCHEDULE 40 PVC PIPE, OR ABS PIPE SHALL BE USED FOR INLET AND OUTLET PIPING AS SHOWN ON DRAWINGS. ALL PIPING SHALL BE FACTORY SEALED TO ENABLE FIELD TIGHTNESS TESTING WITH AT LEAST ONE PIPE OPENING PROVIDED WITH A THREADED FITTING FOR CONNECTING A PRESSURE TEST MANIFOLD.

1.4. ACCESS OPENINGS. ALL ACCESS OPENINGS SHALL BE 30 INCHES IN DIAMETER OR LARGER AS SHOWN ON THE PLANS. SHALL BE MANUFACTURED OF FIBERGLASS, CONCRETE OR CAST IRON WITH RESPECT TO SPECIFIED TRAFFIC RATING. LOCATIONS SHALL BE AS SHOWN ON TANK DRAWINGS. EACH MANHOLE SHALL HAVE A WATERTIGHT RISER TO FINISH GRADE.

1.5. RISERS. RISERS SHALL BE REQUIRED FOR ACCESS TO INTERNAL VAULTS AND ACCESS INTO THE TANKS FOR MAINTENANCE. RISERS SHALL BE CONSTRUCTED WITH WATERTIGHT SEALS PROVIDED. RISERS SHALL BE A MINIMUM OF 30" IN NOMINAL DIAMETER WHEN THE DEPTH OF BURY IS 36" OR GREATER, TO ENSURE PRODUCT COMPATIBILITY. RISERS, LIDS, AND ATTACHMENT COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER AND, WHERE APPLICABLE, SHALL BE FACTORY EQUIPPED WITH THE FOLLOWING:

1.5.1. ADHESIVE. WHEN BONDING TO THE RISER RINGS, AN EPOXY PROVIDED BY THE MANUFACTURER SHALL BE USED. ADHESIVES AND SEALANTS SHALL BE WATERPROOF, CONFORMING TO THE REQUIREMENT OF THE INTERNAL RISER. THE RISER-TO-TANK CONNECTION SHALL BE WATERTIGHT AND STRUCTURALLY SOUND. THE RISER-TO-TANK CONNECTION SHALL BE CAPABLE OF WITHSTANDING A VERTICAL UPLIFT OF 5,000 POUNDS TO PREVENT RISER SEPARATION DUE TO TANK SETTLEMENT, FROST HEAVE, AND VEHICLE TRAFFIC OVER THE TANK.

1.5.2. LIDS. ONE LID SHALL BE FURNISHED WITH EACH ACCESS RISER. LIDS SHALL BE WATERPROOF, CORROSION RESISTANT, AND RUST RESISTANT. LIDS SHALL BE FLAT, WITH NO NOTCHES, AND WHEN DUG UP, THEY SHALL ALLOW WATER TO POUR OUT OF THEM. LIDS SHALL FORM A WATERTIGHT SEAL WITH THE TOP OF RISER. TRAFFIC-RATED LIDS SHALL BE CAPABLE OF WITHSTANDING A TRUCK WHEEL LOAD (68 SQUARE INCHES) OF 2500 POUNDS FOR 60 MINUTES WITH A MAXIMUM VERTICAL DEFLECTION OF 1-1/2". LIDS SHALL BE PROVIDED WITH TAMPER-RESISTANT STAINLESS STEEL FASTENERS AND A TOOL FOR FASTENER REMOVAL. TAMPER-RESISTANT FASTENERS INCLUDE RECESSED DRIVES, SUCH AS HEX, TORX, AND SQUARE. FASTENERS THAT CAN BE REMOVED WITH COMMON SCREWDRIVERS, SUCH AS SLOTTED AND PHILLIPS, OR FASTENERS THAT CAN BE REMOVED WITH HANDLED TOOLS, SUCH AS PIERS OR CRESCENT WRENCHES, ARE NOT CONSIDERED TAMPER-RESISTANT. TO PREVENT A TRIPPING HAZARD, FASTENERS SHALL NOT EXTEND ABOVE THE SURFACE OF THE LID.

1.5.3. RISER INSTALLATION. RISER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### 2. PIPING AND FITTINGS

THE TYPE OF PIPE MATERIALS AND FITTINGS SHALL BE AS DESIGNATED ON THE PLANS AND SHALL COMPLY WITH THE FOLLOWING:

#### 2.1. FITTINGS AND COUPLINGS

THE FITTINGS AND COUPLINGS FOR PVC PIPES SHALL BE THREADED OR SLIP-FITTED TAPERED SOCKET SOLVENT WELD. THREADED ADAPTERS SHALL BE PROVIDED WITH SOCKET PIPE FOR CONNECTIONS TO THREADED PIPE.

#### 3. VALVES

3.1. GENERAL  
VALVES SHALL BE OF THE SIZE, TYPE, AND CAPACITY DESIGNATED ON THE PLANS OR IN THE SPECIFICATIONS AND SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN. ALL VALVES ON THE SPECIFIED PORTION OF THE SYSTEM SHALL BE CAPABLE OF SATISFACTORY PERFORMANCE AT WORKING PRESSURES UP TO 150 PSI. ALL VALVES ON CARRYING PORTIONS OF THE SYSTEM SHALL BE RATED AT LEAST TWICE THE ESTIMATED STATIC HEAD ABOVE THE VALVE. VALVES SHALL BE DESIGNED TO PERMIT DISASSEMBLY TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE, SUCH AS TRUE UNION BALL VALVES AND CHECK VALVES.

#### 4. PUMP SYSTEMS

ALL PUMP SYSTEMS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

#### 5. ADDITIONAL COMPONENTS

ALL COMPONENTS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

#### 6. LEACHFIELDS

THE LEACHFIELD SYSTEM SHALL PROVIDE ADDITIONAL TREATMENT AND DISPOSAL OF THE WASTEWATER. THE SYSTEM SHALL BE CONSTRUCTED AS SHOWN ON PLANS.

#### 6.1. CLEAN DRAIN ROCK

THE DRAIN ROCK SHALL BE LOCATED AS SHOWN IN THE ACCOMPANYING PLANS. THE ROCK SHALL BE CLEAN, DOUBLE WASHED GRAVEL RANGING FROM 3/4"Ø TO 1-1/2"Ø WITH FINES LESS THAN 1%.

#### 6.2. FILTER FABRIC

THE FILTER FABRIC SHALL BE PLACED ON TOP OF THE GRAVEL ROCK BED. THE FABRIC SHALL BE A GEOTEXTILE SYNTHETIC FILTER FABRIC SUCH AS MIRAFI 110N, DUPONT TYPAR (4 OR 6 OZSQ YD), OR APPROVED EQUIVALENT. THE FABRIC SHALL COVER AN AREA SUCH THAT IT EXTENDS 1 FOOT BEYOND THE TRENCH IN EACH DIRECTION.

#### 6.3. SOIL COVER

THE SOIL COVER SHALL BE PLACED OVER THE LEACHFIELDS TO REDUCE EROSION AND SLOPE INSTABILITY. THE SOIL SHALL BE A SANDY LOAM TO INCREASE THE POTENTIAL FOR AIR THROUGH THE DEPTH OF THE SOIL. THE SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION IN LANDSCAPE AREAS AND 95% RELATIVE COMPACTION IN DRIVEWAYS AND ROADWAYS.

## CONSTRUCTION SPECIFICATIONS

THE CONSTRUCTION OF THE PROJECT SHALL CONFORM TO THE PLANS AND FOLLOWING SPECIFICATIONS. ALL NECESSARY CONSTRUCTION PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ALL SITE WORK.

### 1. PRECONSTRUCTION CONFERENCE

THE CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE ENGINEER AND OWNER AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF SITE WORK. THE ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO THE MEETING CONFERENCE. THE MEETING SHOULD BE CONDUCTED TO REVIEW THE DESIGN,

MATERIAL, AND CONSTRUCTION SPECIFICATIONS. ALL CONTRACTOR PROPOSED REVISIONS IN THE DESIGN SHALL BE APPROVED BY THE ENGINEER. THE INSTALLATION MUST BE INSPECTED BY THE ENGINEER FOR CONFORMANCE TO THE DESIGN.

### 2. STAKING

THE CONTRACTOR WILL PROVIDE SUFFICIENT HORIZONTAL AND VERTICAL CONTROL FOR INSTALLATION OF THE WORK AT DATUM POINTS NECESSARY TO ESTABLISH ALIGNMENT AND GRADE. THE PROTECTION AND CARE OF THE STAKES ONCE SET, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

### 3. EXCAVATION

ALL EXCAVATION WORK SHALL BE MADE TO THE LINES, GRADES AND DIMENSIONS SHOWN IN THE ACCOMPANIED PLANS. EXCAVATIONS SHALL BE PERFORMED IN THE DAY AND IN A MANNER THAT MINIMIZES EROSION, FLOODING AND SEDIMENTATION. EXCAVATED SOILS THAT ARE TO BE STOCKPILED ON-SITE SHALL BE PLACED IN A LOCATION AND MANNER THAT MINIMIZES EROSION AND CONTROLS SEDIMENTATION.

### 4. POLLUTION CONTROL

#### 4.1. WATER POLLUTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITTING REQUIREMENTS RELEVANT TO THE CONSTRUCTION OF THE PROJECT ARE MET AT ALL TIMES. ACTIONS BY THE CONTRACTOR, THE SUBCONTRACTORS OR EMPLOYEES THEREOF RESULTING IN NONCOMPLIANCE OF PERMITTING REQUIREMENTS MAY BE GROUNDS FOR TERMINATION OF THIS CONTRACT.

#### 4.2. NOISE POLLUTION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP NOISE POLLUTION, DUE TO THESE CONSTRUCTION ACTIVITIES, AS LOW AS POSSIBLE.

#### 4.3. SOIL CONTAMINATION

THE CONTRACTOR SHALL NOT ALLOW REGULATED MATERIALS TO SPILL ON THE PROJECT SITE. ANY SPILLAGE OR REGULATED MATERIALS RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

#### 4.4. STORAGE OF REGULATED MATERIALS

THE STORAGE AND USE OF ANY REGULATED MATERIALS SHALL MEET ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE REQUIREMENTS OF ANY REGULATORY AGENCY FOR THE STORAGE, MONITORING, USAGE, TRANSPORTATION, SAFETY, REPORTING, OR ANY OTHER REQUIREMENTS REGARDING THE MANAGEMENT OF REGULATED MATERIALS ON AND OFF THE PROJECT SITE.

#### 5. SITE WORK

##### 5.1. MOBILIZATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARATORY WORK AND PLACEMENT OF MATERIALS IN A STAGING AREA REQUIRED FOR CONSTRUCTION OPERATIONS INCLUDING, BUT NOT LIMITED TO THOSE NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE; FOR THE ESTABLISHMENT OF FACILITIES NECESSARY FOR WORK ON THE PROJECT; PROVIDING POLLUTION CONTROL MEASURES; AND FOR ALL OTHER WORK AND OPERATIONS WHICH MUST BE PERFORMED.

##### 5.2. CLEARING AND GRUBBING

CLEAR THE SITE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION. CLEARING AND GRUBBING SHALL CONSIST OF ALL WORK INCLUDING, BUT NOT LIMITED TO, SALVAGED MATERIALS REMOVAL, PROVIDING AND INSTALLING TEMPORARY EROSION CONTROL, AND PLACEMENT OF TREES, TREE BRANCHES, TREE STUMPS, BRUSH, ROOTS, BOULDERS, SHRUBS, SEDIMENT, AND ALL OBJECTIONABLE MATERIALS IN AN AGREED UPON LOCATION ADJACENT TO THE WORK SITE.

##### 5.3. EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THE WORK OF THIS SECTION WILL BE PERFORMED.

EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THE WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS DETERMINAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

##### 5.4. ALL WASTES DISPOSAL SHALL BE CONDUCTED AS FOLLOWS:

- A. REMOVE WASTE FROM CLEARING OPERATIONS.
- B. DISPOSE OF WASTE FROM THE SITE IN A LEGAL MANNER.
- C. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE JOB SITE.
- D. DO NOT BURN DEBRIS AT THE SITE.

#### 6. DELETERIOUS MATERIALS

MATERIALS CONTAINING AN EXCESS OF 5% (BY WEIGHT) OF VEGETATION OR OTHER DELETERIOUS MATTER MAY BE UTILIZED IN AREAS OF LANDSCAPING OR OTHER NON-STRUCTURAL FILLS. DELETERIOUS MATERIAL INCLUDES ALL VEGETATIVE AND NON-MINERAL MATTER, AND ALL NON-REDUCIBLE STONE, RUBBLE AND/OR MINERAL MATTER OF GREATER THAN 6 INCHES.

#### 7. UTILITY TRENCHES

A. A SELECT, NON-CORROUSIVE, GRANULAR, EASILY COMPAKTED MATERIAL SHOULD BE USED AS BEDDING AND SHADING IMMEDIATELY AROUND UTILITY PIPES. THE SITE SOILS MAY BE USED FOR TRENCH BACKFILL ABOVE THE SELECT MATERIAL. IF OBTAINING COMPACTION IS DIFFICULT WITH THE SITE SOILS, USE OF A MORE EASILY COMPAKTED SAND MAY BE DESIRABLE. THE UPPER FOOT OF BACKFILL IN LANDSCAPED OR OTHER OPEN AREAS SHOULD CONSIST OF NATIVE MATERIAL TO REDUCE THE POTENTIAL FOR SEEPAGE OF WATER INTO THE BACKFILL.

B. TRENCH BACKFILL IN THE UPPER 12 INCHES OF SUBGRADE BEATHNE AREAS TO RECEIVE PAVEMENT SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY. TRENCH BACKFILL IN OTHER AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY. JETTING OF UTILITY TRENCH BACKFILL SHOULD NOT BE ALLOWED.

#### 8. PIPE INSTALLATION

##### 8.1. GENERAL

PIPE SHALL BE JOINED BY SOCKET TYPE SOLVENT-WELDED FITTINGS OR THREADED FITTINGS. PLASTIC PIPE SHALL BE CUT SQUARE, EXTERNALLY CHAMFERED APPROXIMATELY 10 TO 15 DEGREES, AND ALL BURRS AND FINS REMOVED. SOLVENT-WELDED JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2855. THE SOLVENT RECOMMENDED BY THE MANUFACTURER SHALL BE USED.

CARE SHALL BE EXERCISED IN ASSEMBLING A PIPELINE WITH SOLVENT WELDED JOINTS SO THAT STRESS ON PREVIOUSLY MADE JOINTS IS AVOIDED. HANDLING OF THE PIPES FOLLOWING JOINTING, SUCH AS LOWERING THE ASSEMBLED PIPELINE INTO THE TRENCH, SHALL NOT OCCUR PRIOR TO THE SET TIMES SPECIFIED BY THE MANUFACTURER.

SOLVENTS SHALL BE APPLIED TO PIPE ENDS IN SUCH A MANNER THAT NO MATERIAL IS DEPOSITED ON THE INTERIOR SURFACE OF THE PIPE OR EXTRUDED INTO THE INTERIOR OF THE PIPE DURING JOINTING. EXCESS CEMENT ON THE EXTERIOR OF THE JOINT SHALL BE WIPE CLEAN IMMEDIATELY AFTER ASSEMBLY.

THREADED PIPE JOINTS SHALL BE MADE USING TEFLON TAPE OR OTHER APPROVED JOINTING MATERIAL. SOLVENT SHALL NOT BE USED WITH THREADED JOINTS. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED, OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. PLASTIC PIPE SHALL BE SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW 1 FOOT OF EXPANSION AND CONTRACTION PER 100 FEET OF STRAIGHT RUN.

THE PIPELINE SHALL NOT BE EXPOSED TO WATER FOR 24 HOURS AFTER THE LAST SOLVENT-WELDED JOINT IS MADE.

##### 8.2 GRAVITY PIPE

GRAVITY PIPE FOR WASTEWATER SHALL PROVIDE 2 FT VERTICAL AND 10 FT HORIZONTAL CLEARANCE FROM WATER LINES, AND SHALL CROSS SUCH LINES AS NEARLY AS POSSIBLE TO 90 DEGREES, IF CROSSING CAN NOT BE AVOIDED.

PIPE SLOPES SHALL NOT BE LESS THAN 2% FOR 4"Ø PIPE. PIPES SHALL ENTER AND LEAVE CONNECTIONS AS CLOSE TO PARALLEL AS POSSIBLE, BUT IN NO WAY TO EXCEED AN ANGLE OF 45°. 90° TEE CONNECTIONS ARE NOT ALLOWED.

**8.3 GENERAL TRENCHING**  
EXCAVATION OF PIPE TRENCHES SHALL FOLLOW NEAT AND PARALLEL LINES, WITH TRENCH WIDTH, IN GENERAL, TO BE ONE FOOT, WITH SUCH WIDENING, AS REQUIRED TO PLACE VALVES AND FITTINGS WITH A MINIMUM OF 4-INCH CLEARANCE TO TRENCH WALL. THE TRENCH SHALL BE NO LESS THAN 24 INCHES DEEP, EXCEPT WHEN IT IS NECESSARY, TO AVOID UNDERGROUND OBSTRUCTIONS OR ROCKY CONDITIONS. IN ALL CASES, THE PIPE SHALL BE PLACED ON A BEDDING OF IMPORTED OR NATIVE MATERIAL PROVIDING CONTINUOUS SUPPORT THROUGHOUT ITS LENGTH.

BACKFILL FOR THE PIPE TO THE TOP OF THE PIPE PLUS 4 INCHES SHALL BE SELECTED OR IMPORTED SANDY MATERIAL, FREE OF STONE, CLAY, LIMBS OR OTHER DELETERIOUS MATERIALS IN EXCESS OF 1/2 INCH MAXIMUM DIMENSION, PLACED AND TAMPED AND/OR PADDED ABOUT THE PIPE TO ENSURE PROPER BEDDING PRIOR TO COMPLETION OF TRENCH FILL. THE REMAINING BACKFILL SHALL BE PLACED AT 90% RELATIVE COMPACTION.

#### 9. FLUSHING AND TESTING

AFTER COMPLETION, ALL PIPELINES SHALL BE THOROUGHLY FLUSHED TO REMOVE DIRT, SCALE, OR OTHER MATERIAL. AFTER FLUSHING, THE LINE SHALL BE PRESSURE TESTED. ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM THE TESTS SHALL BE FURNISHED BY THE CONTRACTOR AND ALL TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER OR ENGINEER.

THE CONTRACTOR SHALL PERFORM A TEST TO DEMONSTRATE THAT THE TANKS AND BASINS ARE WATER TIGHT. THE INLET AND OUTLET PIPES OF THE TANKS SHALL BE CAPPED AND THE TANKS SHALL BE COMPLETED FILLED WITH WATER. THE WATER LEVEL SHALL REMAIN CONSTANT FOR MORE THAN 24 HOURS, OR DURATION BY THE REVIEWING AGENCY JURISDICTION, WHICHEVER IS GREATER, TO DETERMINE IF IT IS WATER TIGHT.

#### 10. OPERATIONAL TEST

THE PERFORMANCE OF ALL COMPONENTS OF THE SYSTEMS SHALL BE EVALUATED BY THE CONTRACTOR.

DURING THE TEST PERIOD AND AT LEAST 15 DAYS PRIOR TO FINAL INSPECTION, THE SYSTEM SHALL OPERATE SATISFACTORILY DURING SUCH PERIOD. ALL NECESSARY REPAIRS, REPLACEMENTS, AND ADJUSTMENTS SHALL BE MADE UNTIL ALL EQUIPMENT, ELECTRICAL WORK, CONTROLS, AND INSTRUMENTATION ARE FUNCTIONING IN ACCORDANCE WITH THE CONTRACTOR'S DOCUMENTS OR MANUFACTURER SPECIFICATIONS.

#### 11. AS-BUILT DRAWINGS

REVISIONS BY



KAREN AITKEN & ASSOCIATES  
LANDSCAPE ARCHITECTS  
8262 RANCHO REAL GILROY CA. 95020  
CALIF. REG.#2239 (408) 851-6215  
KAREN@KAA.DESIGN

FARHAT RESIDENCE  
2791 & 2801 SUMMERLAND ROAD, AROMAS, CA.  
PLANTING PLAN



DATE 09/02/25  
SCALE 1"=20'-0"  
DRAWN SL  
JOB FARHAT

L-1

SCALE 1"=20'  
0 20 40

\* NOTES (E) = EXISTING



# SUMMERLAND ROAD



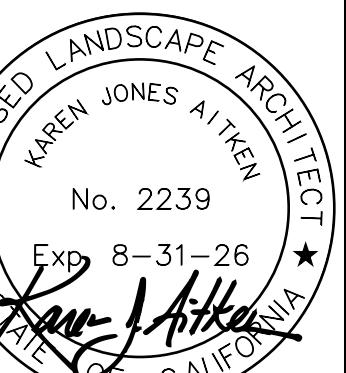
## REVISIONS BY



---

# LANDSCAPE ARCHITECTS

# HAI RESIDEN IMERLAND ROAD, AROMA PLANTING PLAN



DATE 28-02-25

415 1"=10'-0"

DRAFT - 61

DRAWN 52

DRAFT

L-2

\* NOTES (E) = EXISTING

KAREN AITKEN & ASSOCIATES - THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT KAREN AITKEN & ASSOCIATES. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE architect. The proper electronic transfer of data shall be the user's responsibility without liability to the landscape architect. Owner shall assume responsibility for compliance with all easements, setback requirements and property lines. Owner shall acquire all necessary permits required to perform work shown on plans. Base information has been PROVIDED BY THE OWNER. KAREN AITKEN & ASSOCIATES ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

PROVIDED BY THE OWNER. KAREN AITKEN & ASSOCIATES ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.







## IRRIGATION NOTES

1. THE IRRIGATION SYSTEM IS TO BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES.

2. THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT. FOR GRAPHIC CLARITY, PIPING MAY BE SHOWN OUTSIDE OF PLANTING AREAS BUT SHOULD BE INSTALLED IN BEDS WHENEVER POSSIBLE.

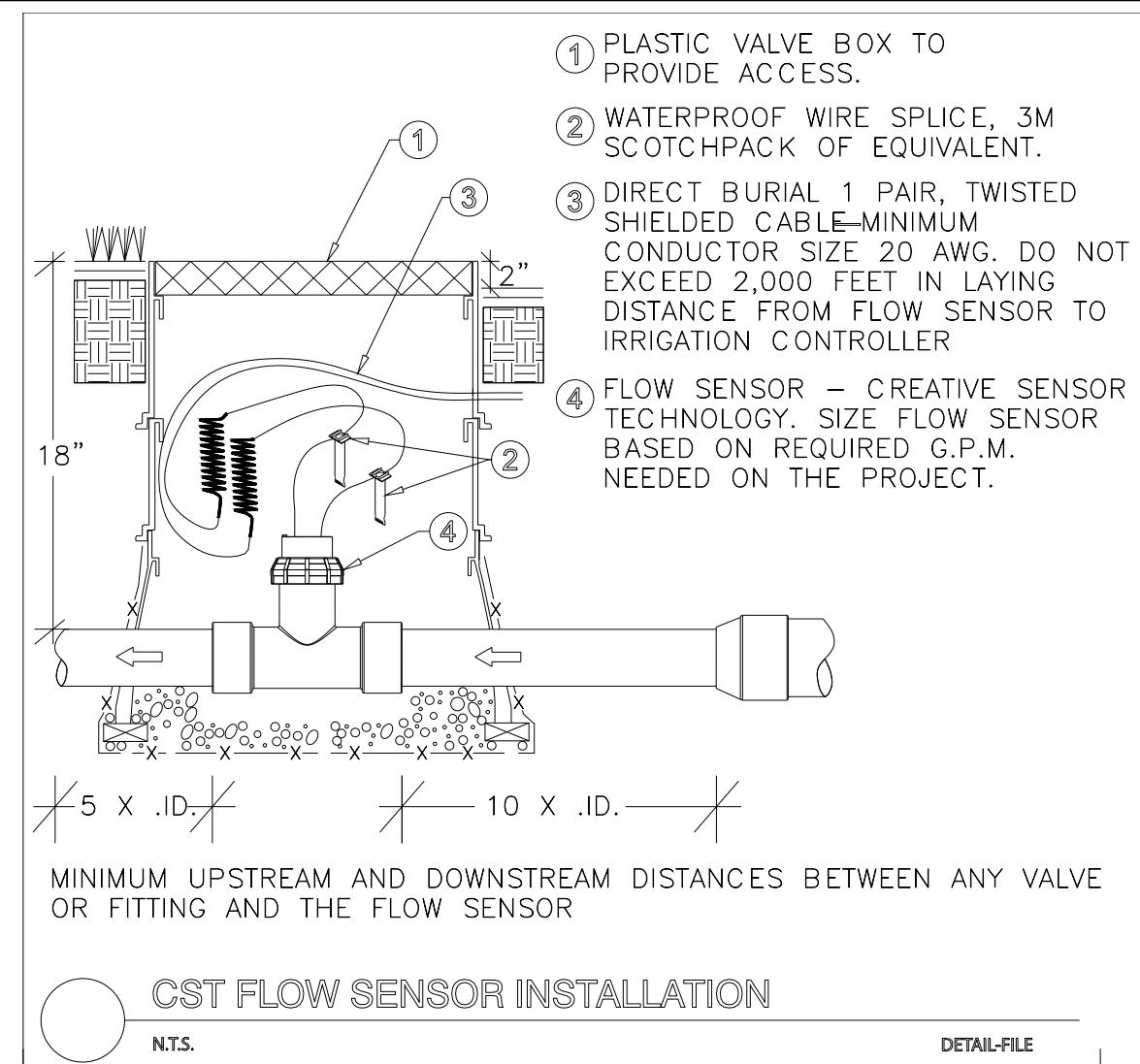
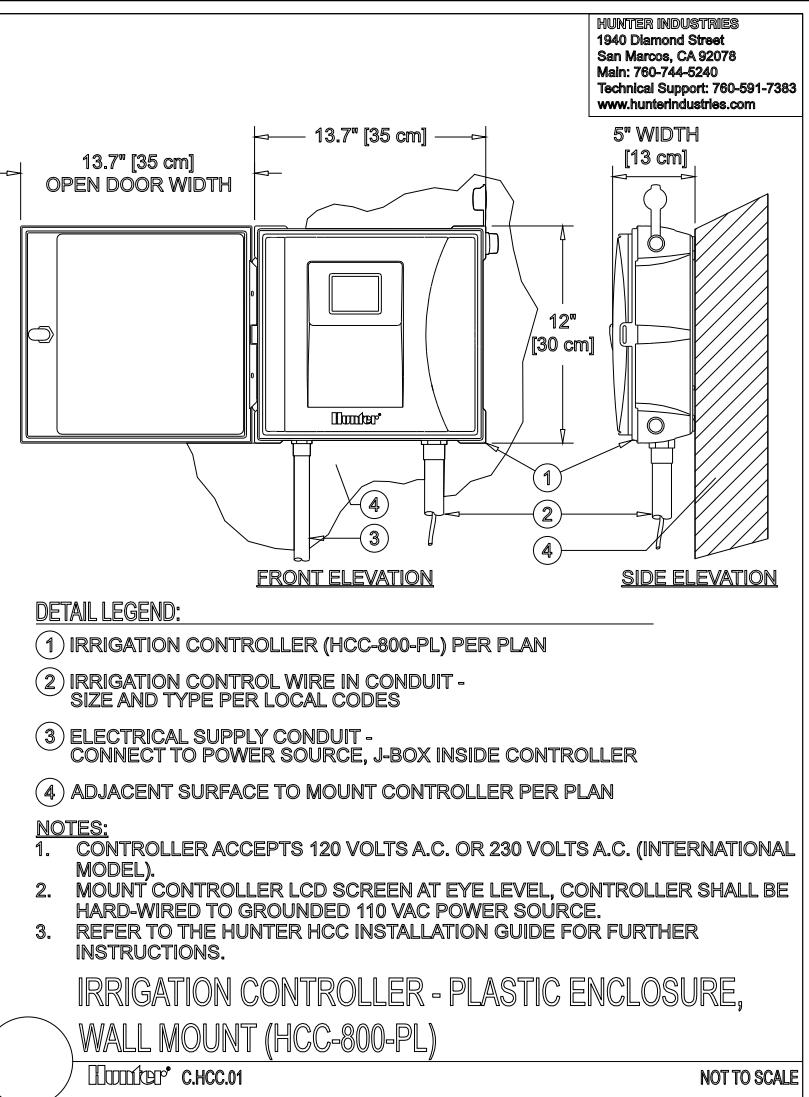
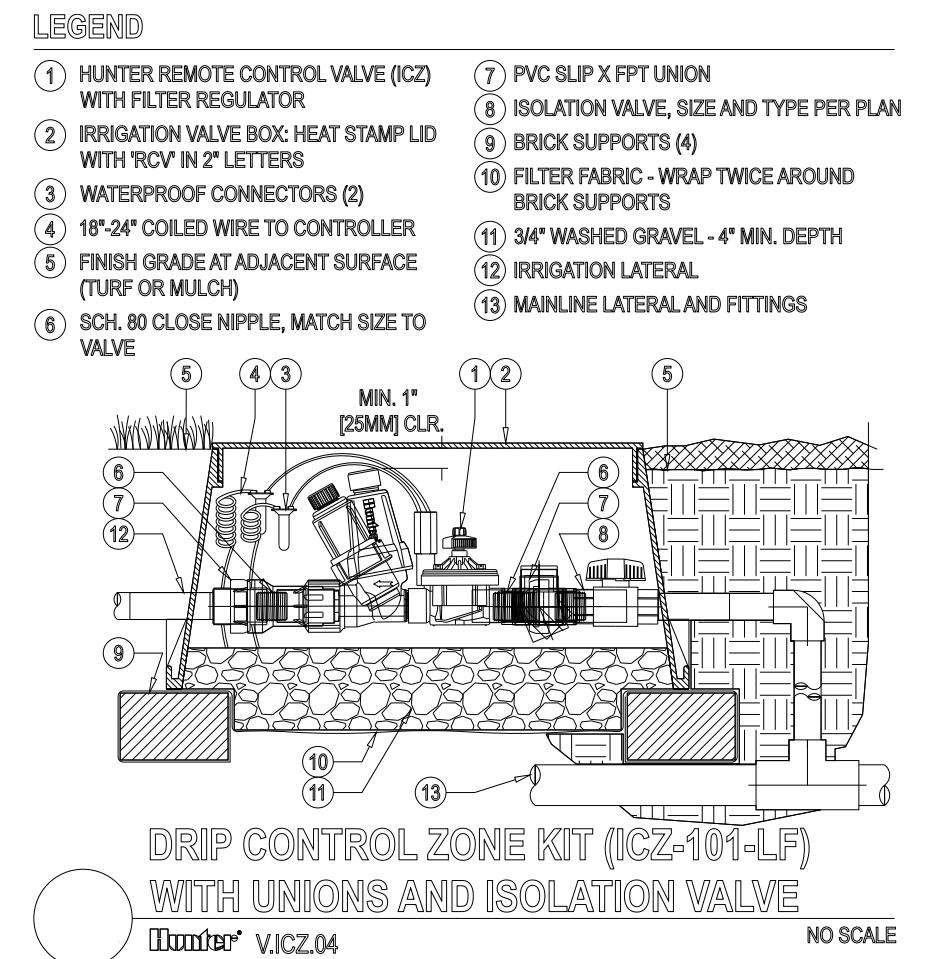
3. REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY. USE EXISTING VALVE BOXES WHERE POSSIBLE.

4. WHERE PIPE PASSES UNDER DRIVING SURFACES, AND WALKS PROVIDE PVC SLEEVES AS NOTED ON PLANS. CONTRACTOR TO USE EXISTING SLEEVING WHEN POSSIBLE AND IS TO LOCATE ON SITE.

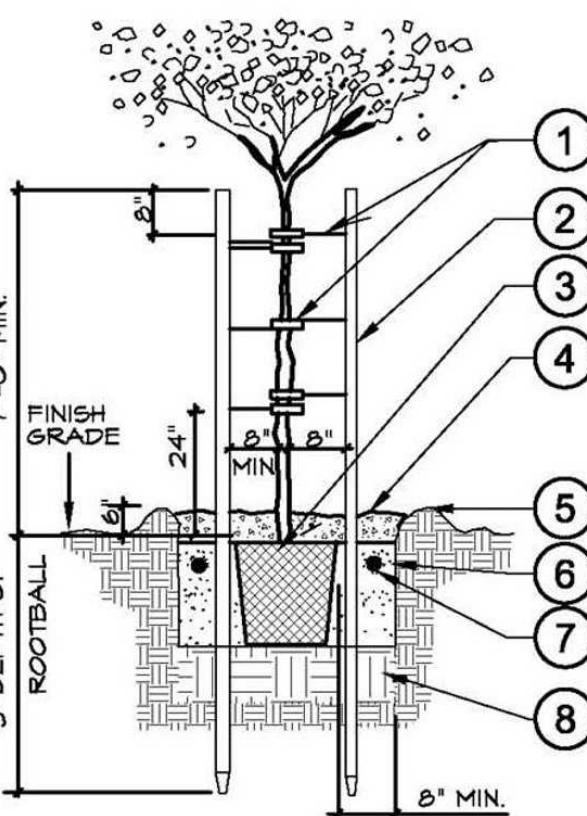
5. CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK NO EXTRA COST TO THE OWNER.

6. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

7. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED BY A CERTIFIED IRRIGATION AUDITOR AT THE TIME OF FINAL INSPECTION.



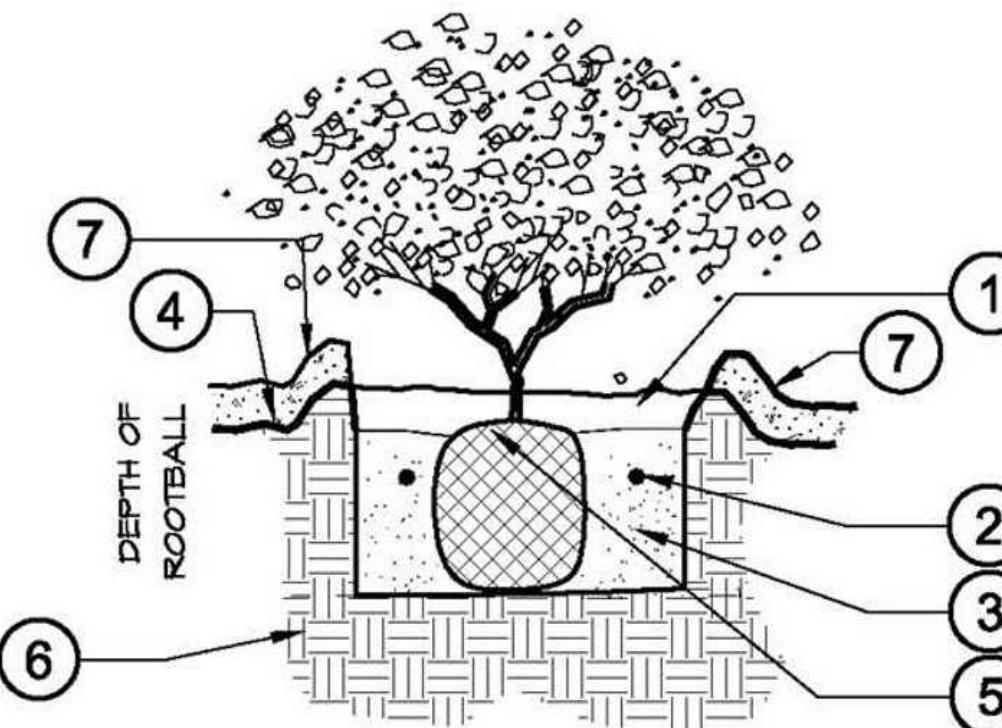
NOTES:  
 ALL TREES 5' OR CLOSER TO HARDSCAPE SURFACE OR BUILDING SHALL HAVE ROOT-BARRIER PANELS INSTALLED PER MANUFACTURE SPECIFICATIONS AND EXTEND 10' IN EACH DIRECTION FROM TREE TRUNK. SEE ROOT BARRIER DETAIL ON THIS SHEET.



## LEGEND

- 1. "CINCH-TIE" TREE TIE - WRAP WIRE AROUND OUTSIDE OF STAKE, SECURE TO STAKE PER MANUFACTURER'S RECOMMENDATIONS, PLACE BELOW BRANCHING YOKE OF TREE
- 2. LODGE POLE PINE STAKES - 3 POLES FOR 36" BOX IN TRIANGLE ARRANGEMENT
- 3. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
- 4. 2" SHREDDED BARK MULCH (APPROX. 3' DIA. RING)
- 5. WATER BASIN (SHRUB AREAS ONLY)
- 6. BACKFILL MIX - 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH
- 7. AGRIFORM 20-10-5 PLANTING FERTILIZER TABLETS- 4 PER 24" BOX
- 8. NATIVE SOIL SUBLGRADE - EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.

## TREE PLANTING WITH DOUBLE STAKE (24"BOX)



- 1. WATER BASIN WITH 2" X 2" SHREDDED BARK MULCH.
- 2. AGRIFORM 20-10-5 PLANTING FERTILIZER TABLETS- 3 PER 15 GALLON, 2 PER 5 GALLON, 1 PER 1 GALLON
- 3. BACKFILL MIX - 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH.
- 4. FINISH GRADE
- 5. ROOTBALL 1"-2" ABOVE FINISH GRADE
- 6. NATIVE SOIL SUBLGRADE - EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.
- 7. 3" MULCH LAYER

## TYPICAL SHRUB PLANTING

## SOIL PREPARATION, MULCH AND AMENDMENTS

THE FOLLOWING CRITERIA SHALL BE USED IN THE PREPARATION OF ON-SITE SOILS AND FOR MULCHING PROCEDURES:

A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPAKTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT.

B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

C) FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.

D) A MINIMUM THREE INCH (3") LAYER OF BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDED.

