

Exhibit A

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Draft Resolution

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

SEPTEMBER RANCH PARTNERS (CARMEL RESERVE LLC) (PLN230299)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

- 1) Consider the certified Final REIR for the September Ranch Subdivision Project (SCH# 1995083033) and Addendum; and
- 2) Approving a Design Approval for one dark green steel 190,000-gallon water storage tank (Requires Planning Commission review pursuant to Condition No. 28 of PLN110173-AMD1).

[PLN230299, CARMEL RESERVE LLC, 2.5 miles east of Highway 1 on the north side of Carmel Valley Road, between Canada Way & Valley Greens Drive, Carmel Valley, Carmel Valley Master Plan (Assessor's Parcel Number: 015-171-017-000)]

The CARMEL RESERVE LLC application (PLN230299) came on for a public hearing before the Monterey County Planning Commission on May 29, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The proposed project is a Design Approval to allow the construction of one dark green steel 190,000-gallon water storage tank. The tank is identified as the “East Ridge Tank” and will serve Phase 1 buildout and fire protection of the subdivision entitled with the name “September Ranch” and currently named “One Carmel.” The water tank design requires Planning Commission review pursuant to

Condition No. 28 of the subdivision entitlement (PLN050001/PLN110173/PLN110173-AMD1). All environmental impacts of the proposed water storage tank were previously analyzed as part of the environmental review for the subdivision and the comprehensive site review conducted in public hearings prior to entitlement. The previous review included the conceptual siting, volume, and use of the water tank. The purpose of this Design Approval is to comply with the Mitigation Monitoring and Reporting Plan (MMRP) for the subdivision, which includes Condition No. 28. The condition was included in the MMRP adopted with certification of the Revised Environment Impact Report (REIR, Board Reso. No. 10-312) to ensure the potential visual and viewshed impacts of the water tank are minimized once staking and flagging is installed, and colors and materials are proposed.

- c) Allowed Use. The property is located 2.5 miles east of Highway 1 on the north side of Carmel Valley Road, between Canada Way & Valley Greens Drive, Carmel Valley within the Carmel Valley Master Plan (Assessor's Parcel Number: 015-171-017-000). The parcel (Parcel D) is zoned Open Space with Design Control and Site Plan Review overlay districts or "O-D-S", which allows water system facilities including wells and storage tanks serving fifteen (15) or more service connections. The water tank is designed to serve up to 99 connections. Therefore, the project is an allowed land use for this site.
- d) Design/Neighborhood and Community Character. Pursuant to Title 21 Chapter 21.44, the project includes a Design Approval to allow for the proposed development. The water storage tank is consistent with the purpose and regulations of the Design Control District because the tank was found to be visually compatible with the character of the valley and immediate surrounding areas. (See Finding 4.)
- e) Site Plan Review pursuant to "S" District. The property is subject to the Site Plan Review "S" overlay zoning district, which is intended to provide regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. The site plan was previously analyzed as part of the REIR for the subdivision. An Administrative Permit was granted to allow up to 100,000 cubic yards of grading in the "S" zoning overlay district for subdivision infrastructure and improvements which included the water tank location. There have been no changes to the siting or the conditions of the water tank location since the REIR. (See Finding 2 and supporting evidence for the Site Suitability discussion.)
- f) Development Standards. The development standards for the "O" zoning district are identified in Title 21 Section 21.38.060. Required setbacks for main structures are 30 feet (front), 20 feet (side), 20 feet (rear), and the minimum distance between main and accessory structures is 10 feet. Required setbacks for accessory structures are 50 feet (front), 6 feet on front one-half of the property; one foot on rear one-half of the property (sides), one foot (rear), and the minimum distance between accessory structures is 6 feet. The maximum allowed height for accessory structures is 15 feet. Pursuant to Title 21 Section 21.38.060.E, the maximum allowed site coverage is 25%. The property is 243 acres

(10,585,080 square feet), which allows site coverage of 2,646,270 square feet. The proposed project results in site coverage of 1,385 square feet which equals 0.05%. Thus, the project coverage is within the maximum threshold allowed. The tank site is located 200 feet from the nearest parcel boundary, which exceeds the minimum setbacks of the zoning district. The height of the proposed tank is 25 feet 6 inches which exceeds the 15 feet height limitation for non-habitable accessory structures. However, pursuant to section 21.62.030.B, towers, poles, water tanks, and similar structures may be erected to a greater height than the limit established for the district in which they are located, subject to securing a Use Permit. This use is part of the entitled development of the subdivision and the size of the water tank has not changed (Board Reso. No. 10-312). Therefore, the project complies with all setbacks, height, and site coverage requirements pursuant to Title 21 of the Monterey County Code.

- g) Appropriate Authority. Pursuant to Title 21 Section 21.44.040, the Chief of Planning is the appropriate authority to review and approve a water storage tank. However, the Mitigation Monitoring and Reporting Plan (MMRP) adopted from the September Ranch Subdivision REIR and Addendum requires the design approval for the proposed water tank to be reviewed by the Planning Commission pursuant to Condition No. 28 of the subdivision entitlement (PLN050001/PLN110173/PLN110173-AMD1). The purpose of the Planning Commission review is to ensure the water tank will not be visible from public viewing areas. Therefore, the Planning Commission is the appropriate authority in this case.
- h) Land Use Advisory Committee (LUAC) Review. The proposed project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC). The location and site review for the project were previously analyzed and measures were applied to reduce the potential impacts on public views (Board Reso. No. 10-312). Staff conducted a viewshed survey on March 25, 2024, and found that there was no potential for the water tank to be in the public viewshed. As proposed, the water tank cannot be seen from Carmel Valley Road, the East Picnic Area, or the Earl Moser Trail within Jack's Peak County Park. Therefore, LUAC review of the project was unnecessary.
- i) The project planner conducted a site inspection on March 25, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230299.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use. Section 4.2 (Geology and Soils) of the September Ranch Subdivision REIR addressed the project's impacts related to grading and trenching involved in the siting of the water tank. Sections 4.3 (Water Supply and Availability) and Section 4.4 (Hydrology and Water Quality) of the REIR addressed the suitability of the water system of which the tank is a part. Sections 4.1.2 (Land Use and Planning Project Impacts) and 5.1.1 (Cumulative Impact Analysis)

of the REIR addressed the project's consistency with applicable General Land Use Policies, Residential Land Use Policies and Open Space Policies of the Carmel Valley Master Plan.

- EVIDENCE:**
- a) The September Ranch Water Distribution System of which the water tank is a part was reviewed for site suitability during project review of PLN050001, September Ranch subdivision. Resource Management Agency, Environmental Health Bureau, Water Resources Agency, and MCRFD reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations and found the site suitable for the development. Conditions recommended were incorporated into PLN050001. The siting was fully analyzed with an REIR.
 - b) PLN110173 extended the subdivision vesting tentative map and related entitlements. Some elements of the water distribution system were updated by the amendment permit PLN110173-AMD1, and the impacts were assessed with an Addendum with testimony received and Board of Supervisors review and decision in a public hearing on March 28, 2023 (Board Reso. No. 23-123). The water tank location, size and type were not amended, however. Condition of Approval No. 28 of PLN110173-AMD1, the operative permit, requires water tank design review prior to construction.
 - c) The site-specific conditions and the scope of work proposed on the site remain the same as when the Final REIR was certified and do not constitute a change from the project as previously analyzed.
 - d) Staff conducted a site inspection on March 25, 2024, to verify that the site remains suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project Files PLN050001, PLN110173, PLN110173-AMD1, and PLN230299.

- 3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The potential for health and safety impact related to the project was previously reviewed (PLN050001, PLN110173 and PLN110173-AMD1) by the following departments and agencies: RMA, HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, Public Works, Facilities and Parks, Water Resources Agency, and MCRFD. Conditions recommended by the respective agencies were incorporated into the project to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the One Carmel subdivision.
 - b) Necessary public facilities will be provided to serve Phase 1 of the One Carmel subdivision. The project is located within the California

American Water Company (Cal-Am) Monterey District service area. However, due to the moratorium on new water connections, the project was prohibited from utilizing water brought in from the Cal-Am system. Instead, the September Ranch Aquifer will supply water, which the Monterey Peninsula Water Management District approved the application for the September Ranch Water Distribution System, to be supplied from the September Ranch Aquifer on November 19, 2011. The Monterey Peninsula Water Management District shall monitor the water as it is routed to the Begonia Water Treatment Plant (System CA2710004) via an existing transmission line running parallel to the subdivision property on the north side of Carmel Valley Road then returned to the subdivision in equal quantity (Board Reso. 23-123). The water system will pump the water to the open space above the top of the developed area of Phase 1, where it will fill the proposed East Ridge water tank. The tank is designed to store 120,000 gallons of water for fire suppression, 55,850 gallons for emergency purposes, and 13,960 gallons for standard operational use.

- c) Staff conducted a site inspection on March 25, 2024, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project Files PLN050001, PLN110173, PLN110173-AMD1, and PLN230299.

4. FINDING: **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Pursuant to Chapter 21.44 of Title 21 of the Monterey County Code, the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) Neighborhood Character. The proposed water storage tank is comparable in size and appearance to other water tanks in neighboring subdivisions such as Del Mesa Carmel and Tehama. The project includes the construction of a 190,000-gallon steel water tank at the top of the developed area of the One Carmel subdivision. Height, setback, and coverage limitations are all complied with (see Finding 1, evidence “e”).
 - c) Material and Color Finishes. The proposed exterior color of the proposed water tank and materials will not negatively impact the area’s setting and surrounding environment. The proposed tank body is brushed steel which will be painted a dark green with a matte finish to blend with the pine trees adjacent to it. During a site inspection, staff found that the trees naturally screen the tank from public views. The tank described above will blend with the surrounding environment and is consistent with the surrounding rural residential neighborhood character.

- d) Visual Resources. The tank site was staked and flagged, and a site visit was conducted to verify the visual integrity of the proposed development. The water tank was found to be subordinate to the natural features of the area. Staking and flagging were not visible when driving from either direction along Carmel Valley Road. The flagging was also not visible from the East Picnic Area and parking lot, or the Earl Moser Trail within Jack’s Peak County Park. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) The project planner conducted a site inspection on March 25, 2024, to verify that the project on the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development are found in Project File PLN230299.

5. FINDING: CEQA (Previous EIR and Addendum) – The September Ranch Subdivision was analyzed for all potential environmental impacts through the preparation of an Environmental Impact Report. The Revised Environmental Impact Report (REIR) included review of all potential impacts related to the water distribution system and this proposed tank site. An Addendum to the previously certified Final REIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes and/or additions in the project that did not cause substantial changes or new information that would require major revisions to the adopted Final REIR.

- EVIDENCE:**
- a) On November 9, 2010, the Board of Supervisors certified a Final Revised Environmental Impact Report (FREIR) for the September Ranch Subdivision Project (SCH# 1995083033, Resolution No. 10-312) and adopted a Mitigation Monitoring and Reporting Plan (MMRP).
 - b) On March 28, 2023, an Addendum to the previously certified September Ranch Subdivision Project Final REIR was prepared pursuant to CEQA Guidelines Section 15164 (CCR, tit. 14, sec. 15164) and adopted by the Board of Supervisors (Board Reso. No. 23-123). The Addendum addressed amendment to two conditions of approval related to where September Ranch Water System water is treated. The Addendum did not propose any changes in the location or design of the proposed water storage tank. There were no changes in circumstances and no new information, not known at the time the Final REIR was certified, that showed the amendment to the MMRP would have a significant environmental effect, a substantial increase in the severity of previously identified significant effects, mitigation measures or alternatives previously thought to be feasible that were found feasible but rejected, or new, feasible mitigation measures that the Board had refused to

adopt. The MMRP was amended in this permit amendment, but Condition No. 28, which required a separate Design Approval for the water tanks, remained unchanged.

- c) The September Ranch REIR and Addendum evaluated the potential environmental effects of the water distribution system required to support the buildout of the subdivision. Section 4.2 (Geology and Soils) of the REIR addressed the project's impacts related to grading and trenching involved in the siting of the water tank. Sections 4.3 (Water Supply and Availability) and Section 4.4 (Hydrology and Water Quality) of the REIR addressed the suitability of the water system of which the tank is a part. Sections 4.1.2 (Land Use and Planning Project Impacts) and 5.1.1 (Cumulative Impact Analysis) of the REIR addressed the project's consistency with applicable General Land Use Policies, Residential Land Use Policies and Open Space Policies of the Carmel Valley Master Plan. This design approval was considered as part of the REIR and by adhering with the MMRP adopted for the subdivision, it is consistent with the previously analyzed environmental impacts for the subdivision.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development are found in Project File PLN230299.

- 6. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
EVIDENCE: a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
b) Staff conducted a site inspection on March 25, 2024, and researched County records to assess if any violation exists on the subject property.
c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230299.
- 7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
EVIDENCE: a) Board of Supervisors. Pursuant to Title 21 Section 21.44.070, an appeal to any action taken by an Appropriate Authority pursuant to this Chapter 21.44 may be appealed to the Board of Supervisors pursuant to Chapter 21.80 of this Title.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Consider the certified Final REIR for the September Ranch Subdivision Project (SCH# 1995083033) and Addendum; and
2. Approve a Design Approval for one dark green steel 190,000-gallon water storage tank. (Requires Planning Commission review pursuant to Condition No. 28 of PLN110173-AMD1).

All of which are in general conformance with the project plans and subject to the conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of May 2024, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Melanie Beretti, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD'S OFFICE ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230299

1. DESIGN APPROVAL - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 015-171-017-000 on May 29, 2024. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD038 - WATER TANK APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit proposed color of water tank and landscaping plans to HCD - Planning for review and approval.

Prior to final inspection or occupancy, the Owner/Applicant shall provide evidence to the Director of HCD - Planning that the water tank has been painted and the landscaping has been installed according to the plans approved by HCD - Planning.

On an on-going basis, the Owner/Applicant shall continuously maintain all landscaped areas and fences; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

OVERALL UTILITY SITE PLAN



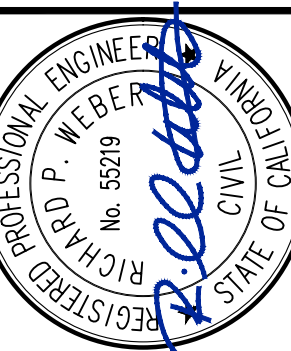
SHEET INDEX

SCALE: 1"=300'

INDEX OF SHEETS

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C6.21	UTILITIES PLAN & PROFILE - PINE GROVE DRIVE
C6.22	UTILITIES PLAN & PROFILE - PINE GROVE DRIVE
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C6.63	UTILITIES STORM DRAIN CROSSINGS
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C8.02	SEWER SYSTEM STANDARD PLANS
C8.04	SEWER SYSTEM LIFT STATION, DETAILS

Civil Engineering
Land Surveying
4 Heron Court
Menlo Park, California
831.449.2225
whitsonengineers.com



SUBMITTAL / REVISION	DATE	DESCRIPTION
3	7/22/20	COUNTY APPROVED IMPROVEMENT PLANS
1	6/25/21	WATER SYSTEM REVISION (REMOVE TREATMENT SYSTEM)
2	6/22/22	WATER SYSTEM REVISION (REMOVE TREATMENT SYSTEM)
3	8/1/22	CAL-AM PLAN CHECK REVISIONS

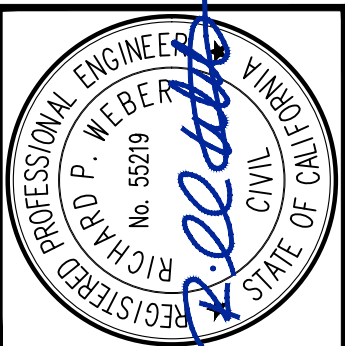
CARMEL VALLEY, CALIFORNIA

SEPTEMBER RANCH PHASE 1 - IMPROVEMENT PLANS UTILITY OVERALL SITE PLAN AND SHEET INDEX

SCALE: 1"=300'
DRAWN: RR
JOB No.: 595.03
SHEET
C6.10
OF 106



T:\Marketing\Projects\SEPTEMBER RANCH\Improvements\Phase 1\Sheet\Index.dwg 8/1/2022 4:02pm



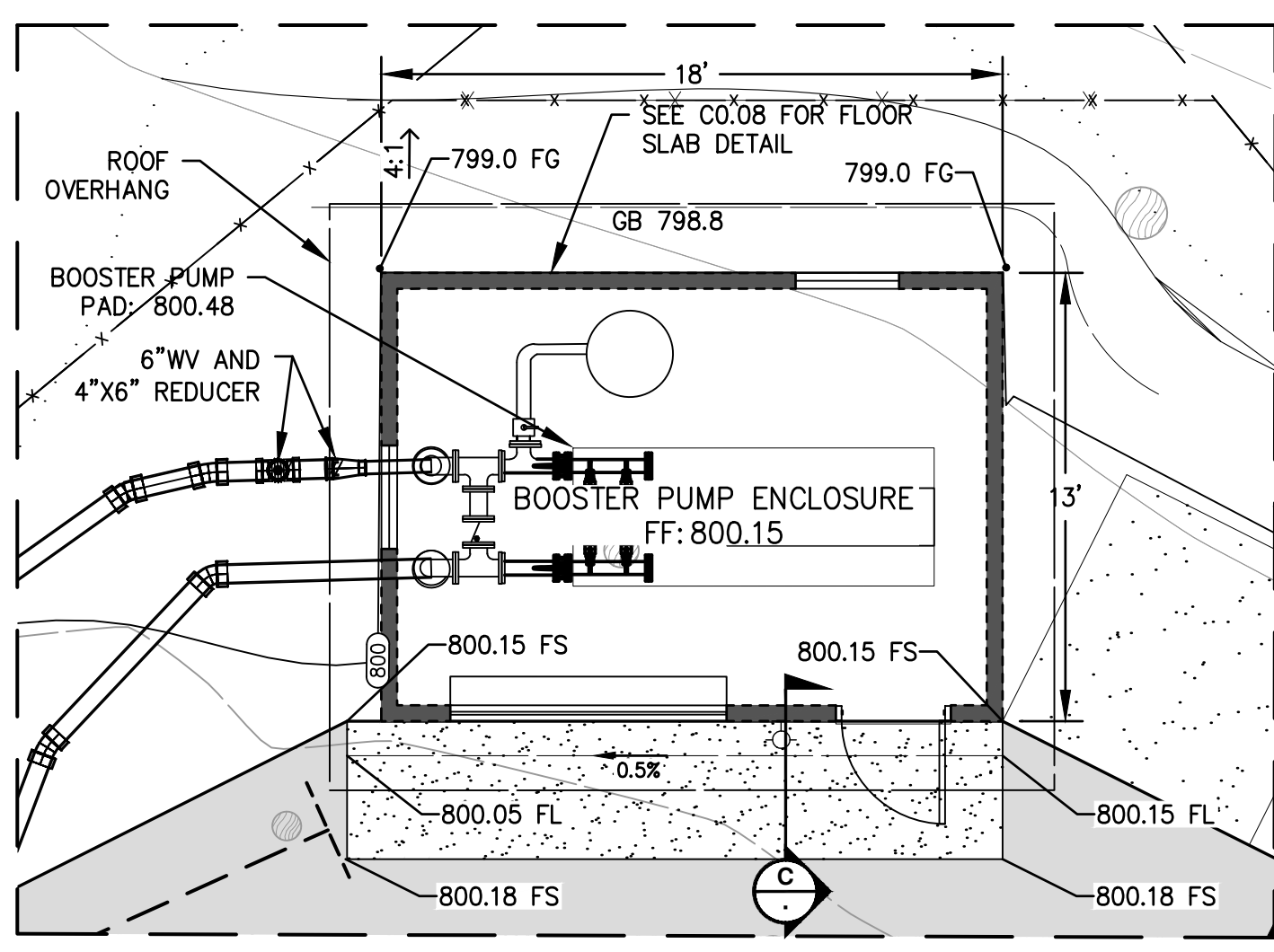
SUBMITTAL / REVISION	DATE	BY	DESCRIPTION
1	2/14/23	RPW	DDW COMMENT REVISIONS
2	5/26/2023	RPW	CAL-AM PLAN CHECK REVISIONS #2
3	8/18/2023	RPW	CAL-AM PLAN CHECK REVISIONS #3
4	10/20/23	RPW	CAL-AM PLAN CHECK REVISIONS #4

CARMEL VALLEY, CALIFORNIA

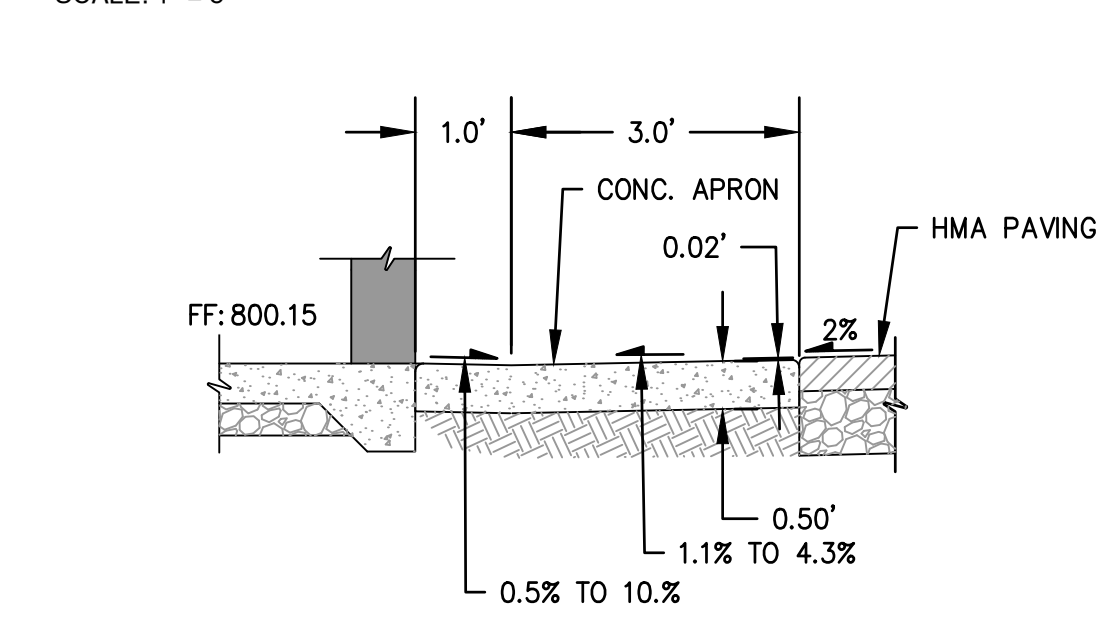
SEPTEMBER RANCH
PHASE 1 - IMPROVEMENT PLANS
WATER TANK SITE PLAN

SCALE: AS SHOWN
DRAWN: RR
JOB No.: 595.03

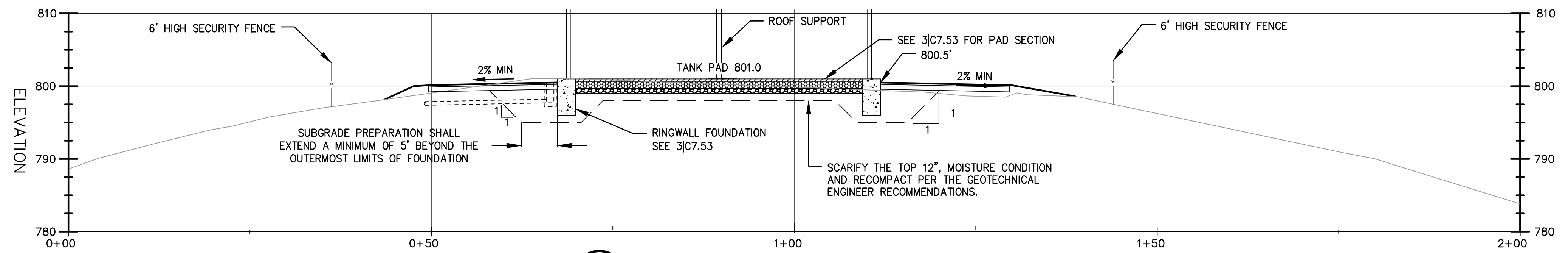
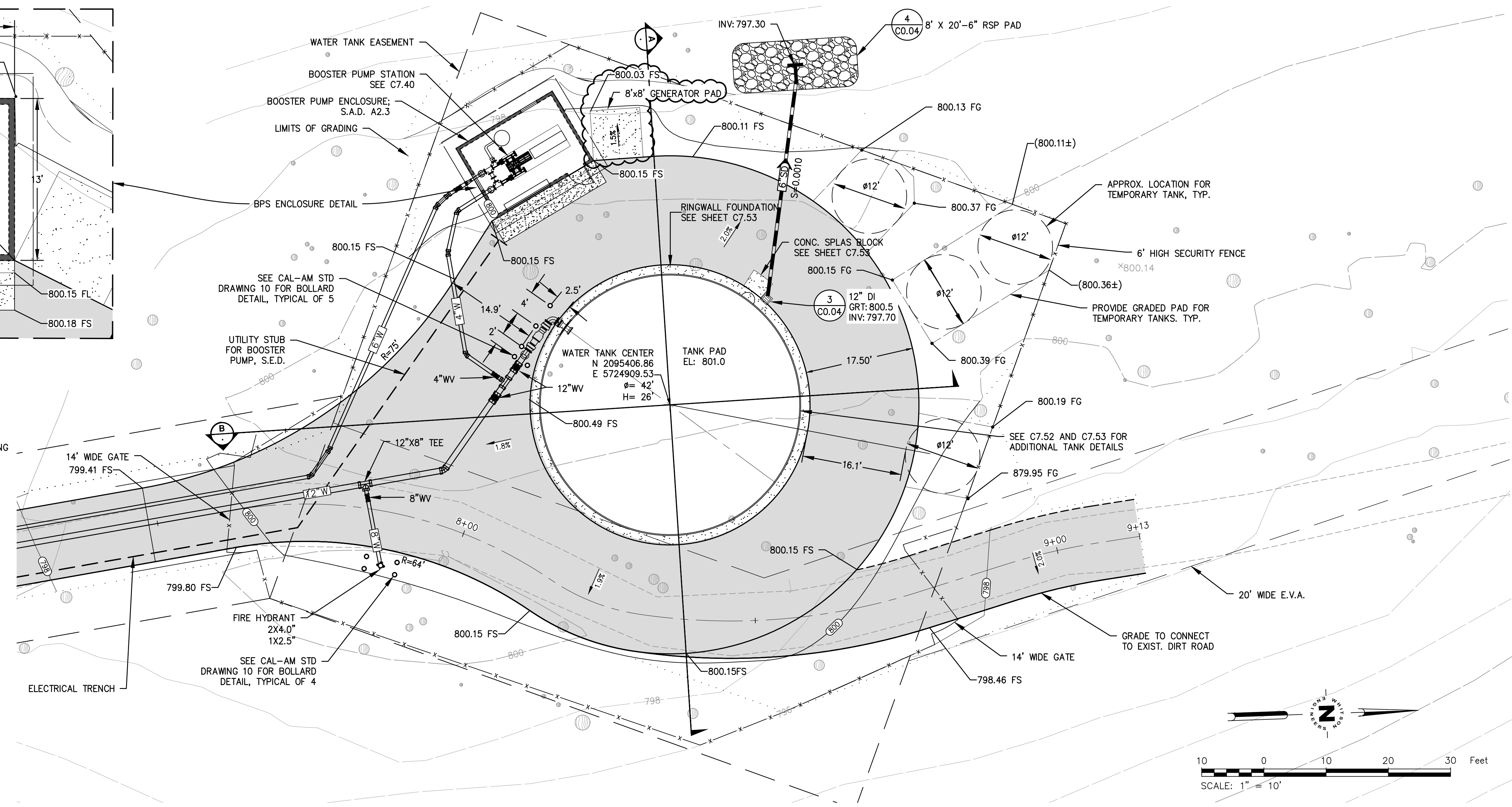
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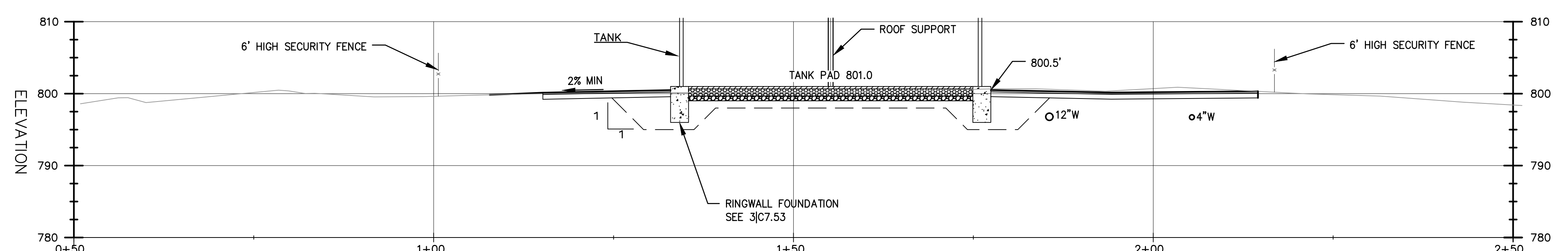
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SECTION - C
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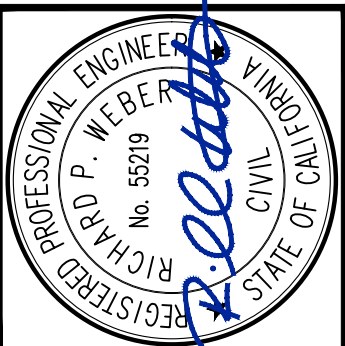


SECTION A
HORIZ SCALE: 1" = 10'
VERT SCALE: 1" = 10'



SECTION B
HORIZ SCALE: 1" = 10'
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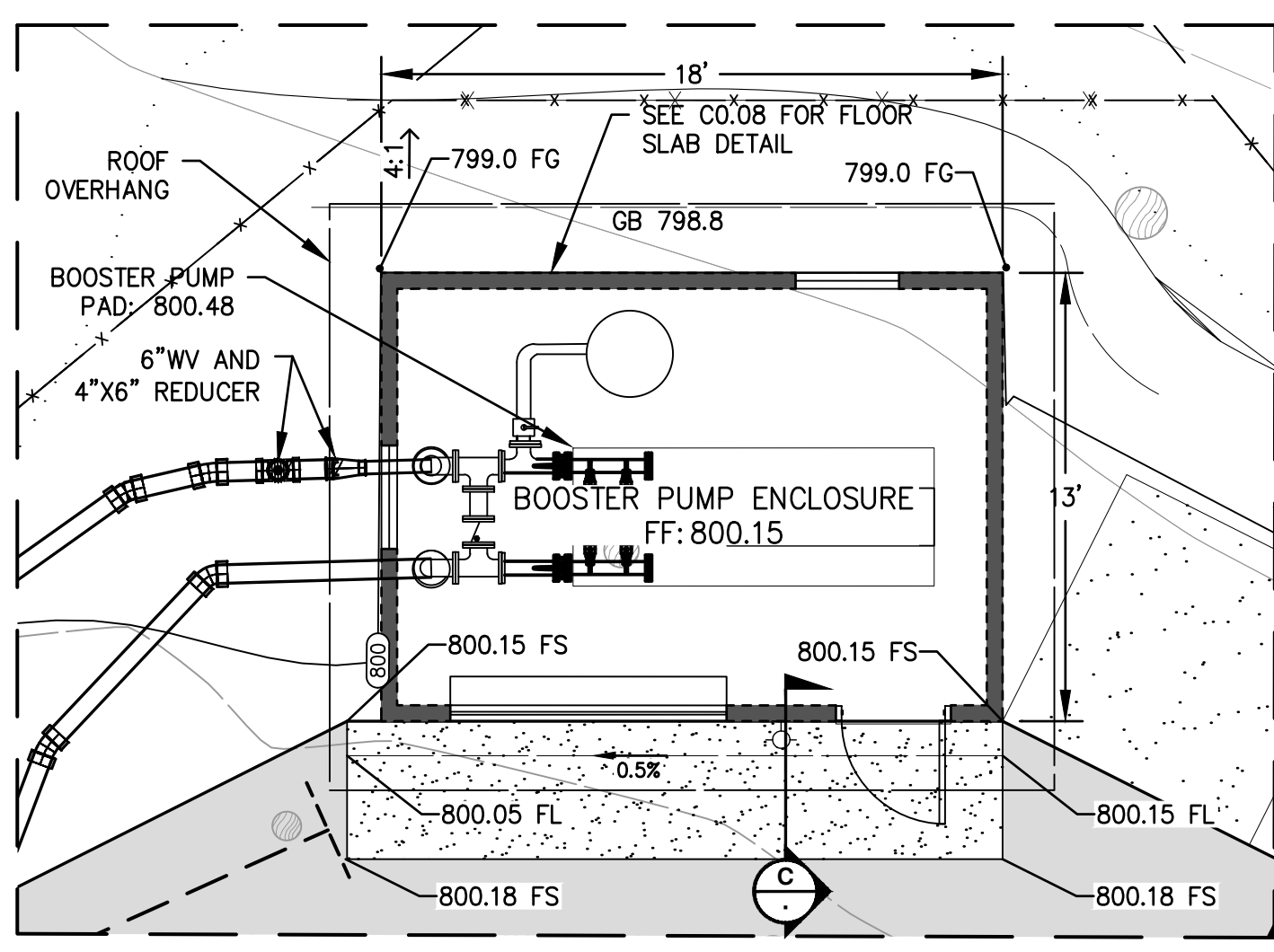


SUBMITTAL / REVISION	DATE	BY	REVISION
1	5/26/2023	RPW	CAL-AM PLAN CHECK REVISIONS #2
2	8/18/2023	RPW	CAL-AM PLAN CHECK REVISIONS #3
3	10/20/23	RPW	CAL-AM PLAN CHECK REVISIONS #4
4	3/5/24	RPW	CAL-AM PLAN CHECK REVISIONS #7

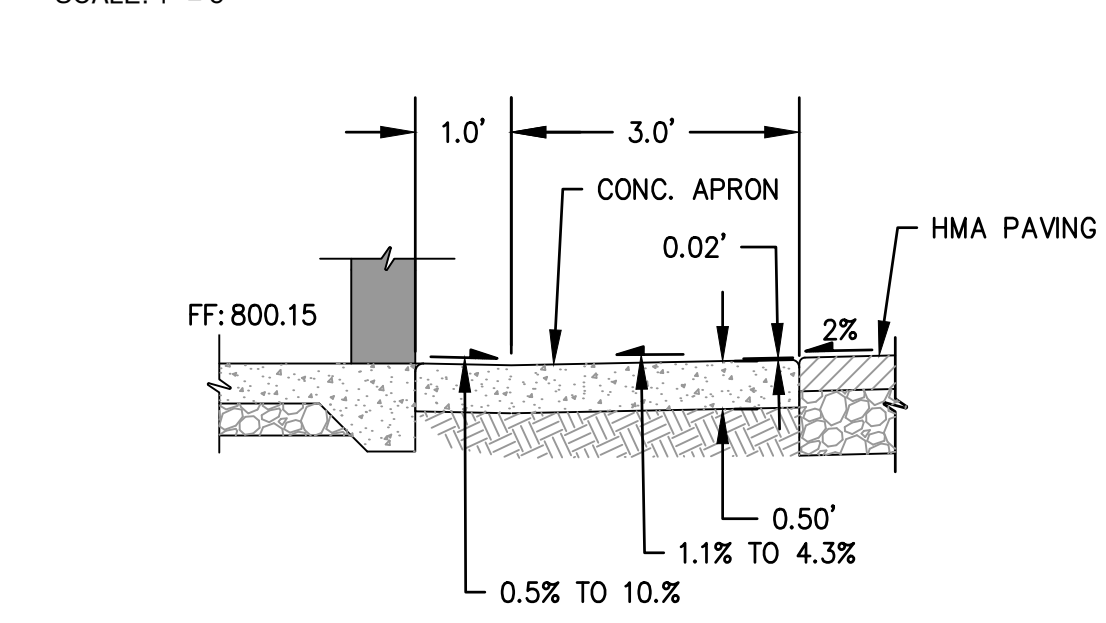
CARMEL VALLEY, CALIFORNIA

SEPTEMBER RANCH
PHASE 1 - IMPROVEMENT PLANS
WATER TANK SITE PLAN

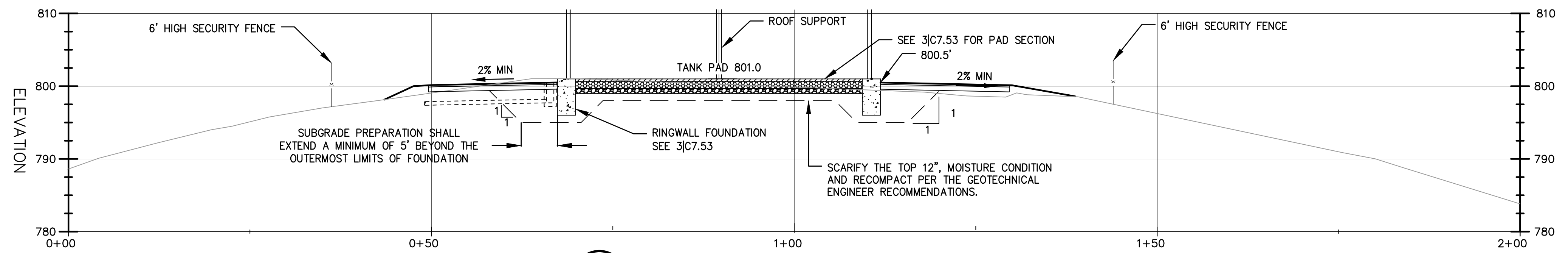
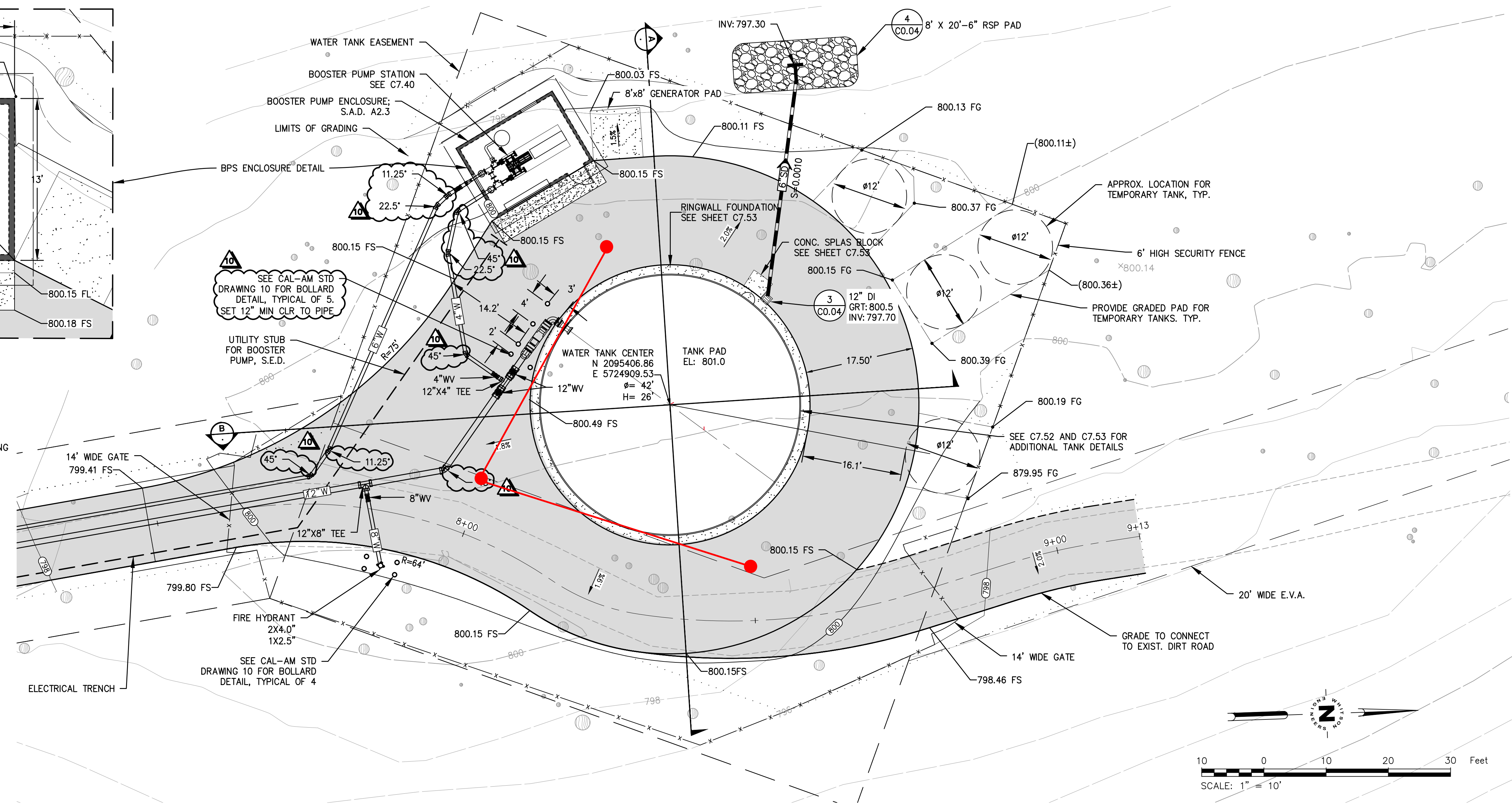
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SHEET	C7.50
OF	109



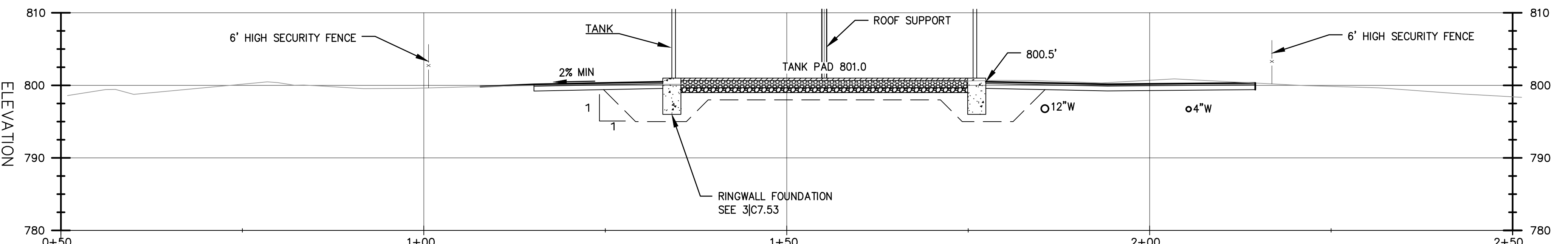
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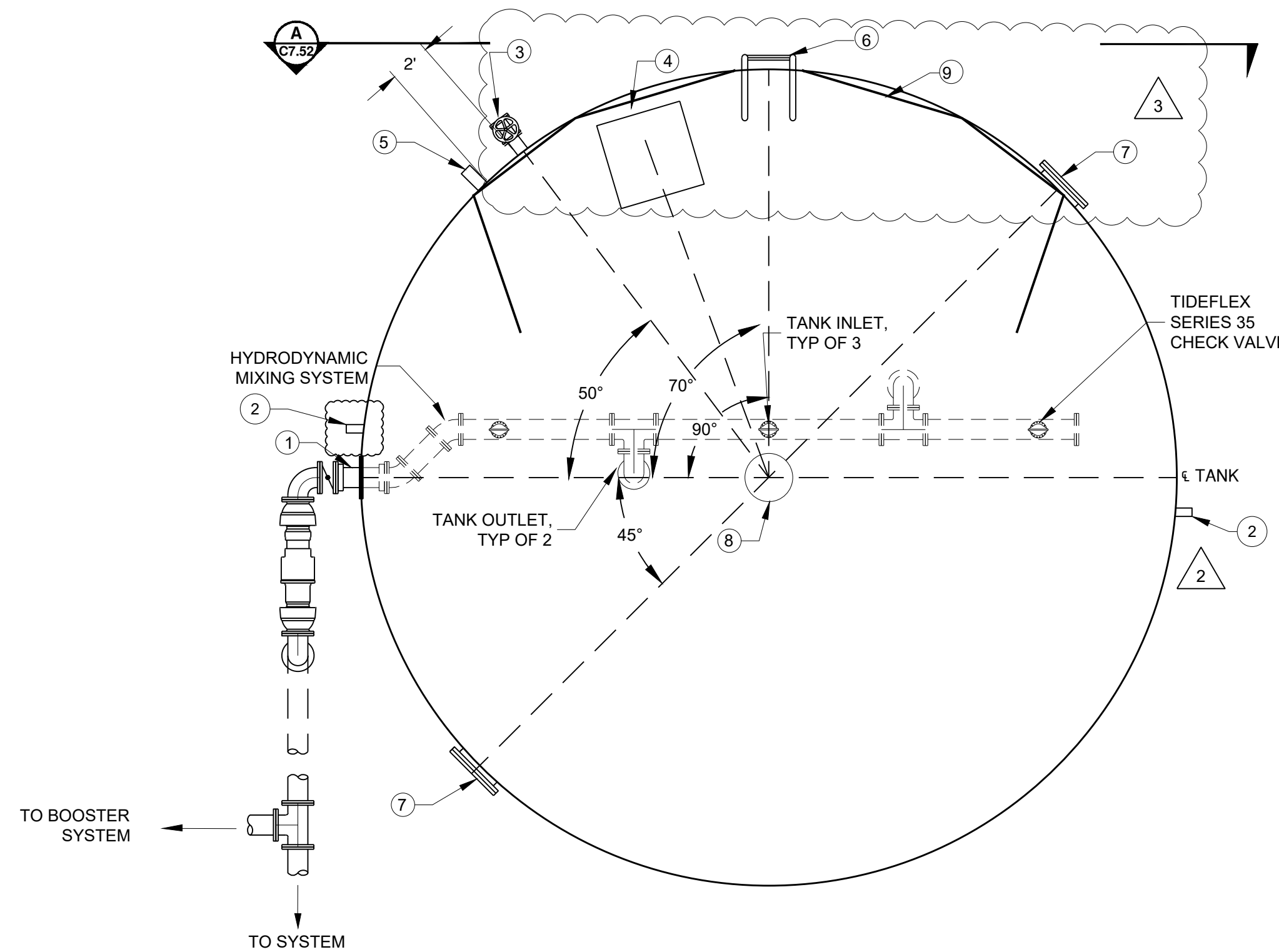
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SECTION B
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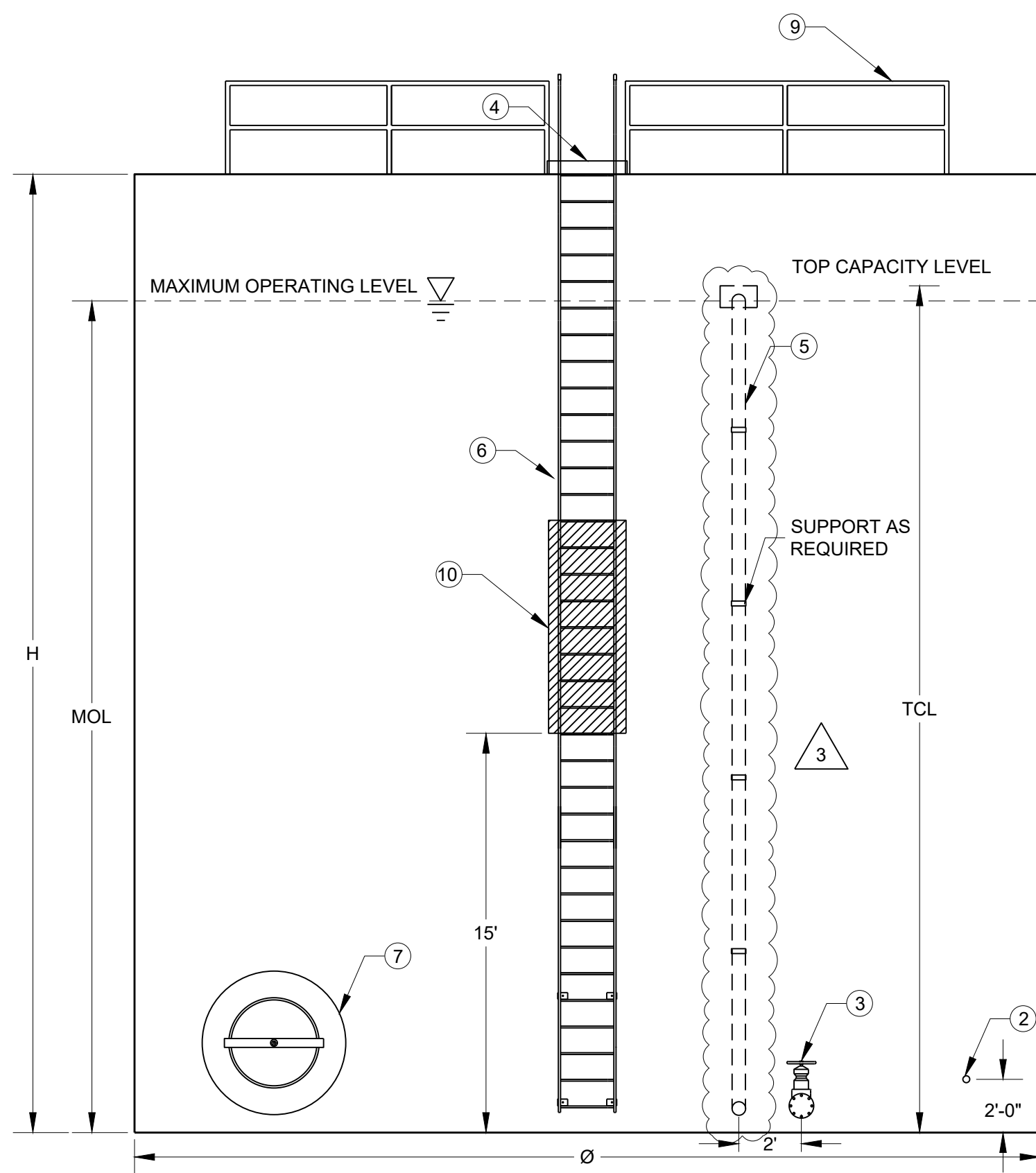
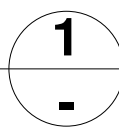
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TANK DIMENSIONS				
	PHASE 1 - EAST RIDGE		PHASE 2 - WEST RIDGE	
	HEIGHT	ELEVATION	HEIGHT	ELEVATION
BASE	0.00	800.50	0.00	920.00
H	25.57	826.07	33.04	953.04
TCL	21.86	822.36	29.65	949.65
MOL	21.61	822.11	29.40	949.40
ε AZIMUTH	N 40° 5' 55"			
CAPACITY	189,800 GAL		166,600 GAL	
Ø	42 FT		34 FT	



TYPICAL TANK SITE

NTS



TYPICAL TANK SECTION

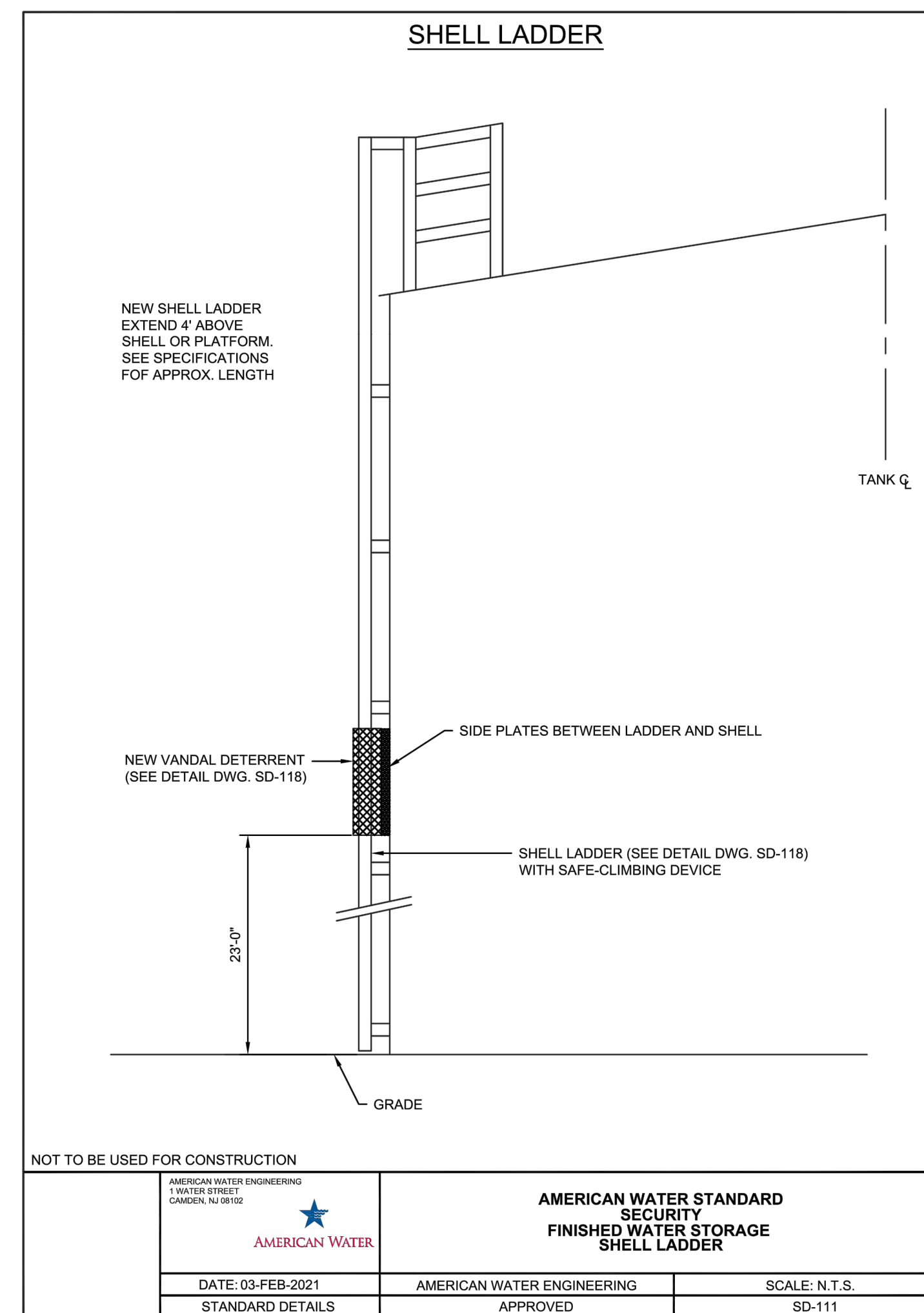
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CALLOUT NOTES:

1. INLET/OUTLET, SEE DETAIL 1/C7.53
2. SAMPLING PORT, SEE DETAIL 4/C7.53
3. TANK DRAIN, SEE DETAIL 5/C7.53
4. ROOF ACCESS HATCH, SEE CAL-AM DETAIL SD-115/C7.58
5. 8" OVERFLOW, PER TANK MANUFACTURER
6. ACCESS LADDER PER TANK MANUFACTURER, SEE CAL-AM DETAIL SD-111 AND 112/C7.52
7. 30" MANWAY, PER TANK MANUFACTURER
8. ROOF VENT, PER TANK MANUFACTURER, SEE CAL-AM DETAIL SD-115/C7.58
9. 43"-44" RAILING, 5-FT LONG (EA. SIDE), SEE CAL-AM DETAIL SD-114/C7.52
10. LADDER VANDAL DETERRENT, SEE CAL-AM DETAIL SD-118/C7.52

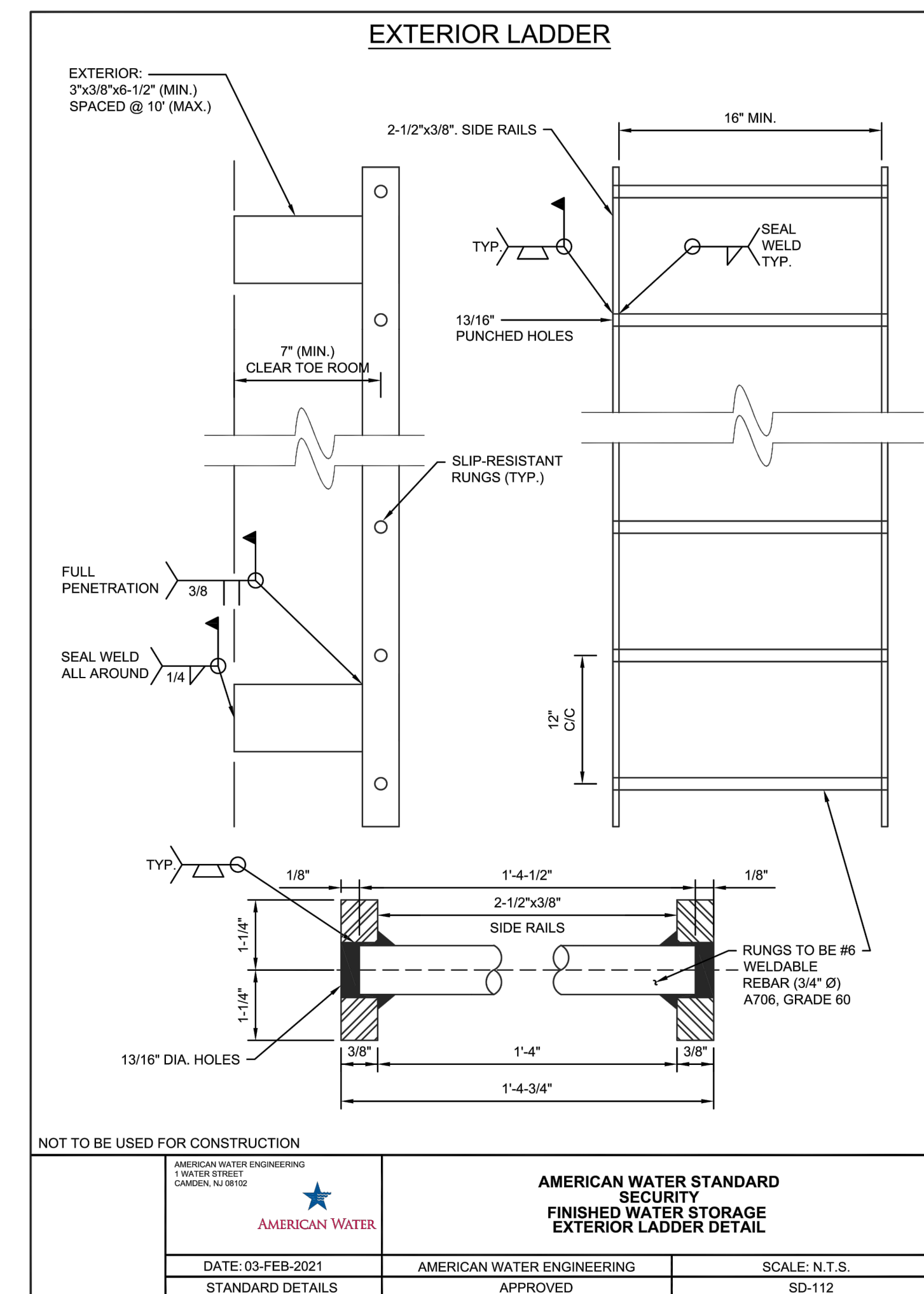
SHELL LADDER



NOT TO BE USED FOR CONSTRUCTION

AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102	AMERICAN WATER STANDARD SECURITY FINISHED WATER STORAGE SHELL LADDER	AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102	SCALE: N.T.S.
DATE: 03-FEB-2021	AMERICAN WATER ENGINEERING APPROVED	DATE: 03-FEB-2021	SD-111
STANDARD DETAILS		STANDARD DETAILS	

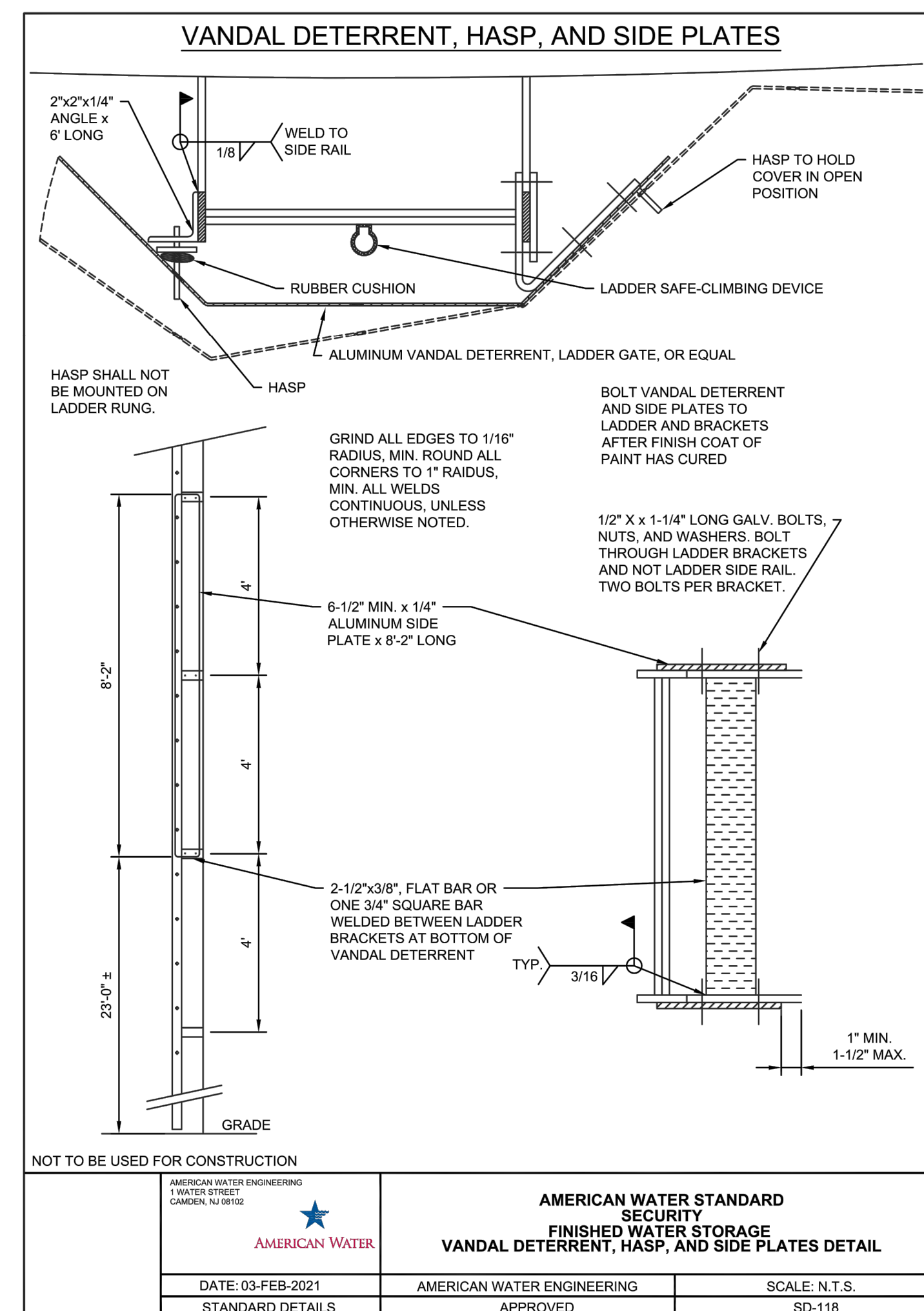
EXTERIOR LADDER



NOT TO BE USED FOR CONSTRUCTION

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DATE: 03-FEB-2021	AMERICAN WATER ENGINEERING APPROVED	DATE: 03-FEB-2021	SD-112
STANDARD DETAILS		STANDARD DETAILS	

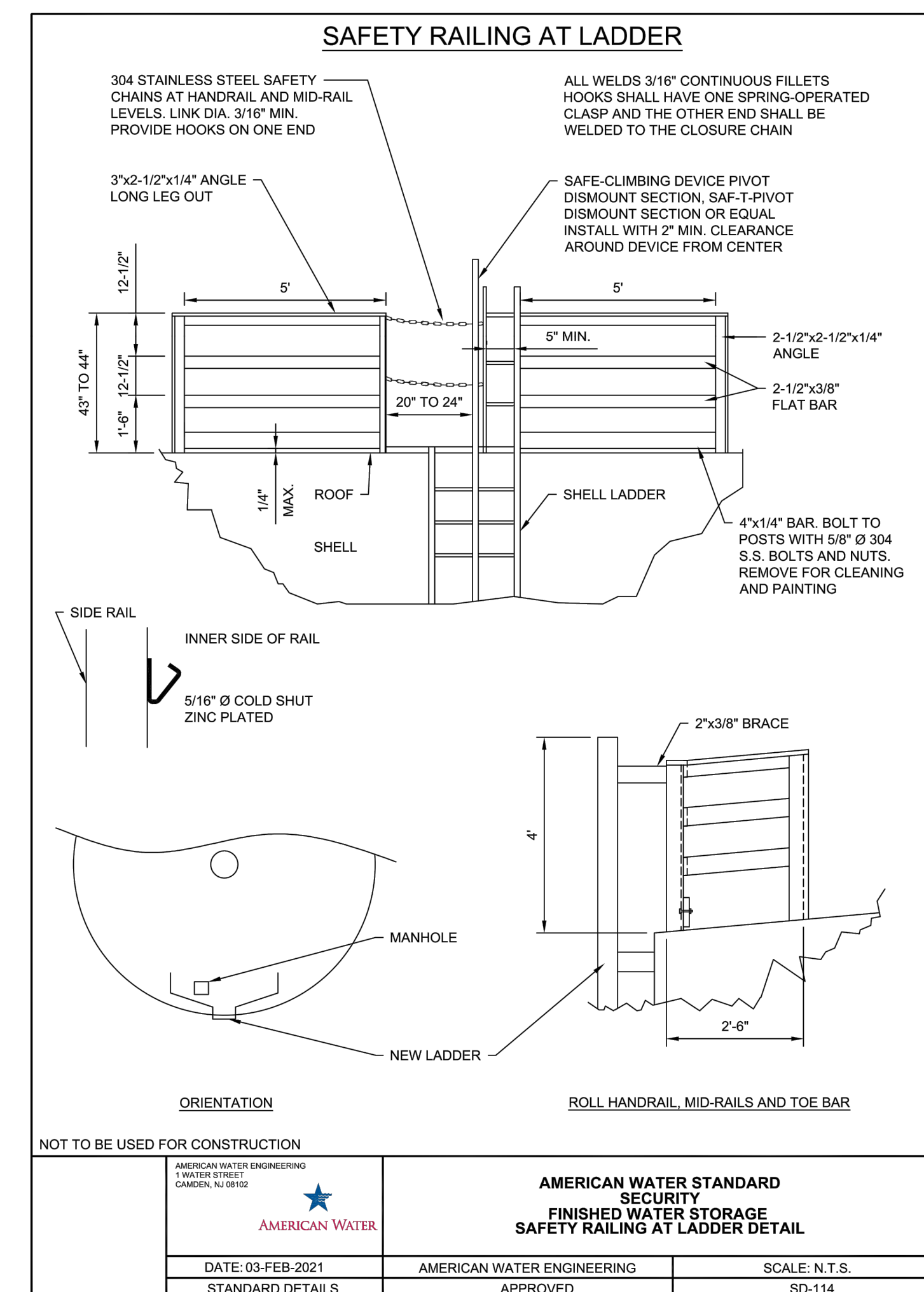
VANDAL DETERRENT, HASP, AND SIDE PLATES



NOT TO BE USED FOR CONSTRUCTION

AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102	AMERICAN WATER STANDARD SECURITY FINISHED WATER STORAGE VANDAL DETERRENT, HASP, AND SIDE PLATES DETAIL	AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102	SCALE: N.T.S.
DATE: 03-FEB-2021	AMERICAN WATER ENGINEERING APPROVED	DATE: 03-FEB-2021	SD-118
STANDARD DETAILS		STANDARD DETAILS	

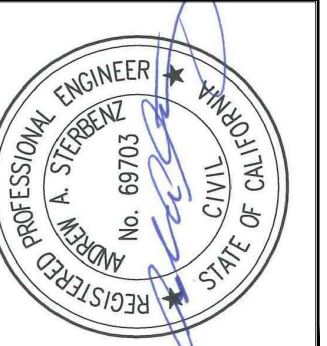
SAFETY RAILING AT LADDER



NOT TO BE USED FOR CONSTRUCTION

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DATE: 03-FEB-2021	AMERICAN WATER ENGINEERING APPROVED	DATE: 03-FEB-2021	SD-114
STANDARD DETAILS		STANDARD DETAILS	

Schaaf & Wheeler
CONSULTING CIVIL ENGINEERS
3 Quail Run Circle, Suite 101
Saltinas, CA 95907-2348
(831) 883-4848



4/10/20	ISSUED FOR SUBDIVISION APPROVAL		
AAS	COUNTY APPROVED IMPROVEMENT PLANS		
7/22/20			
AAS	REVISION #3 UPDATED DETAILS		
09/18/2022			
AAS	REVISION #2 - REPLACED AND UPDATED DETAILS		
07/29/22			
AAS			

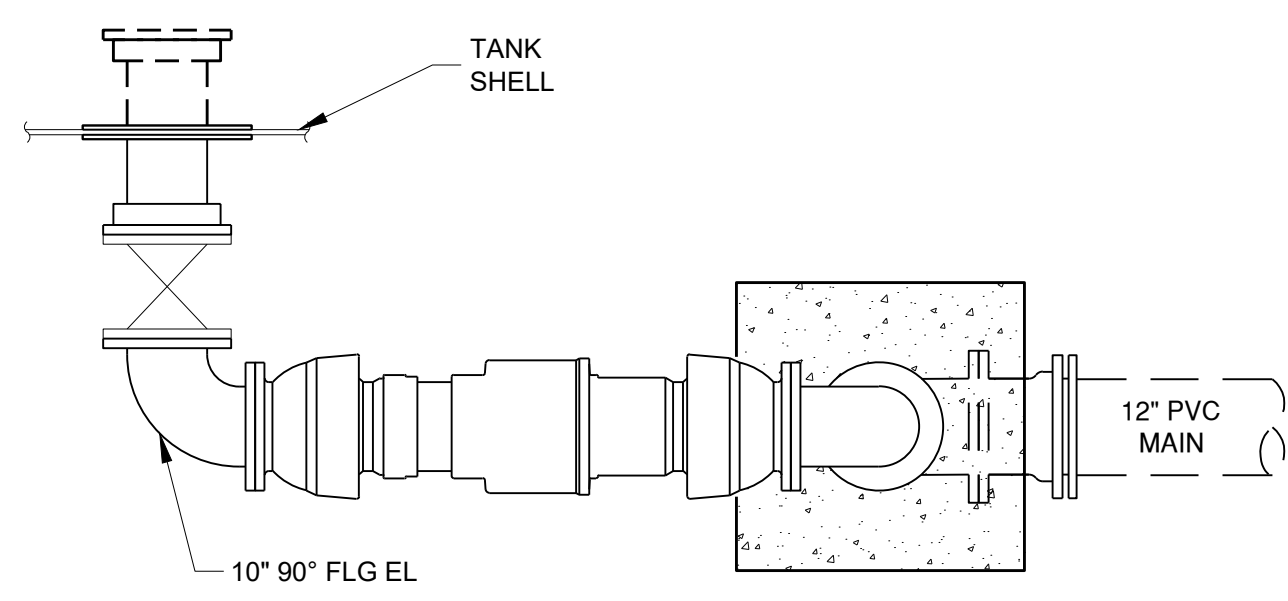
CIVIL PLANS
CARMEL VALLEY, CALIFORNIA

SEPTEMBER RANCH
PHASE 1 IMPROVEMENT PLANS
WATER SYSTEM
TANK PLAN AND SECTION

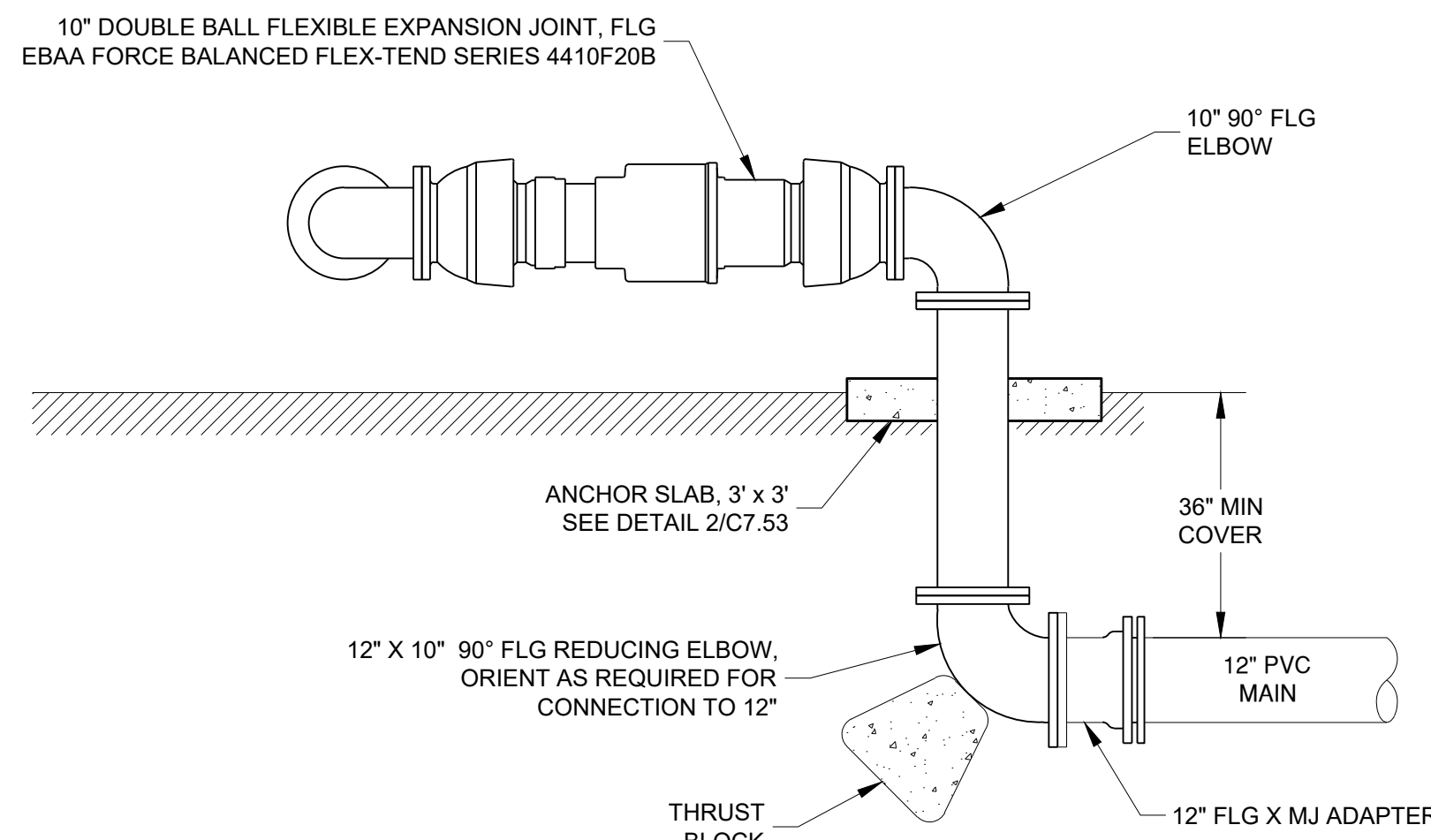
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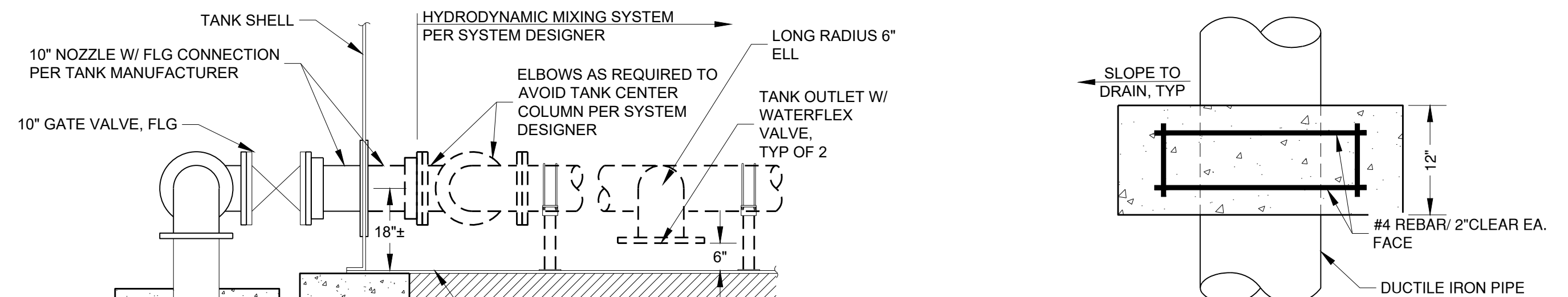


TOP VIEW

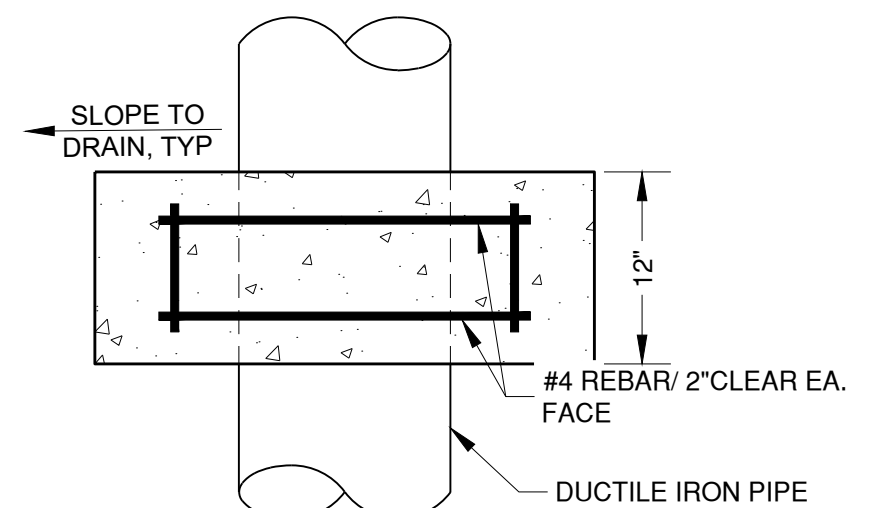


FRONT VIEW

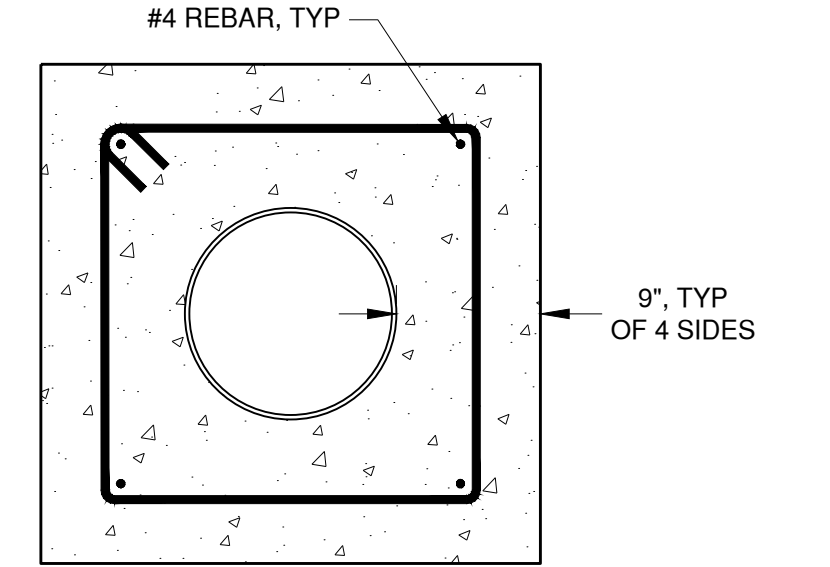
INLET/OUTLET DETAIL
NTS
1
C7.52



SIDE VIEW

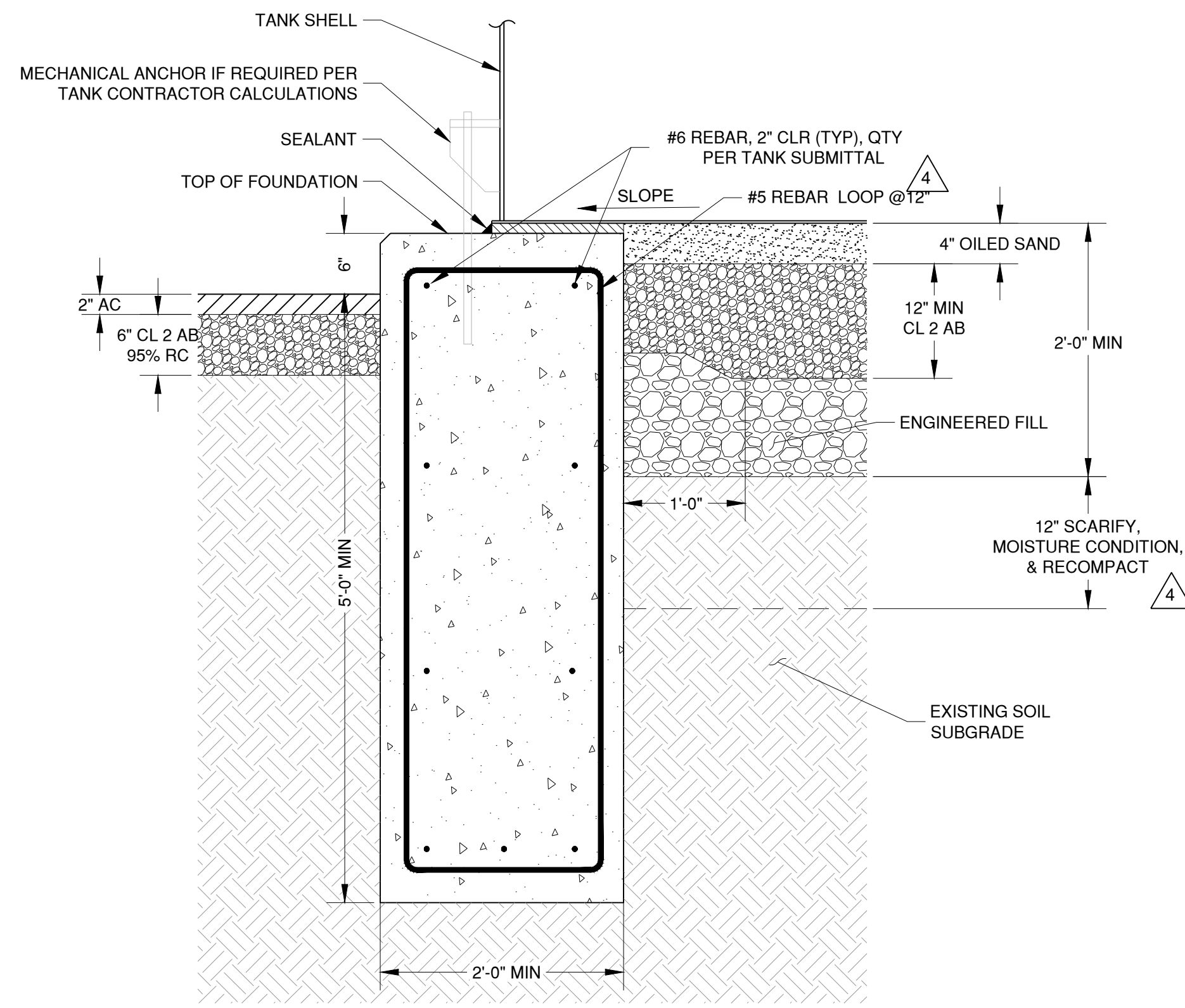


FRONT VIEW



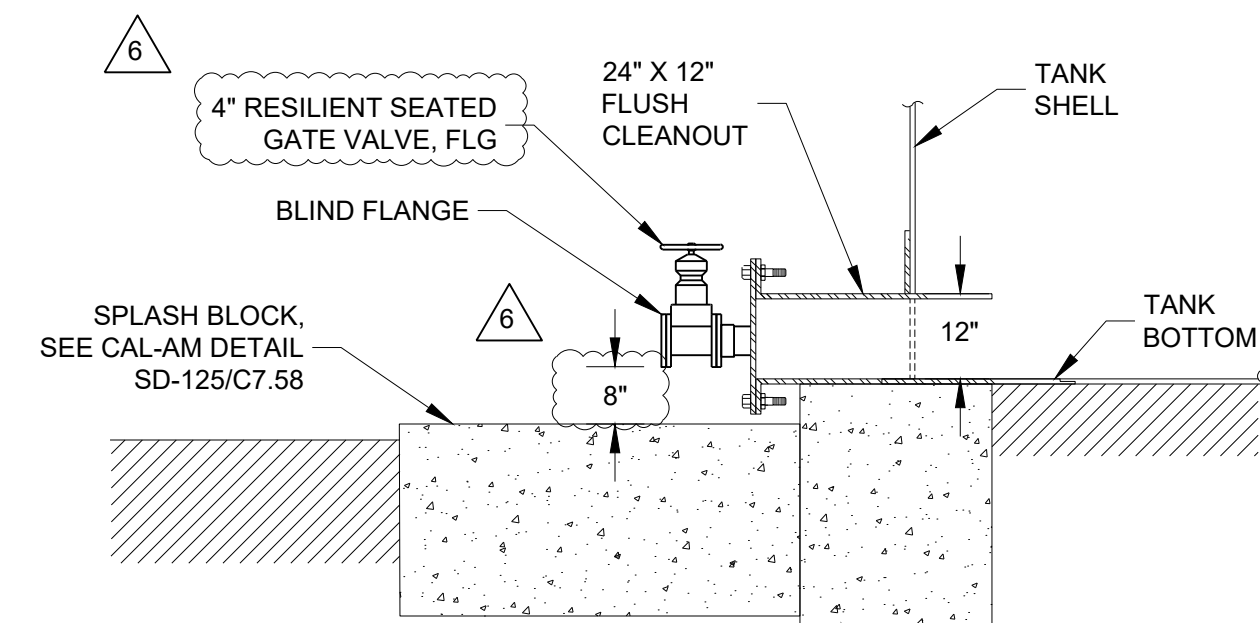
TOP VIEW

CONCRETE COLLAR
NTS
2

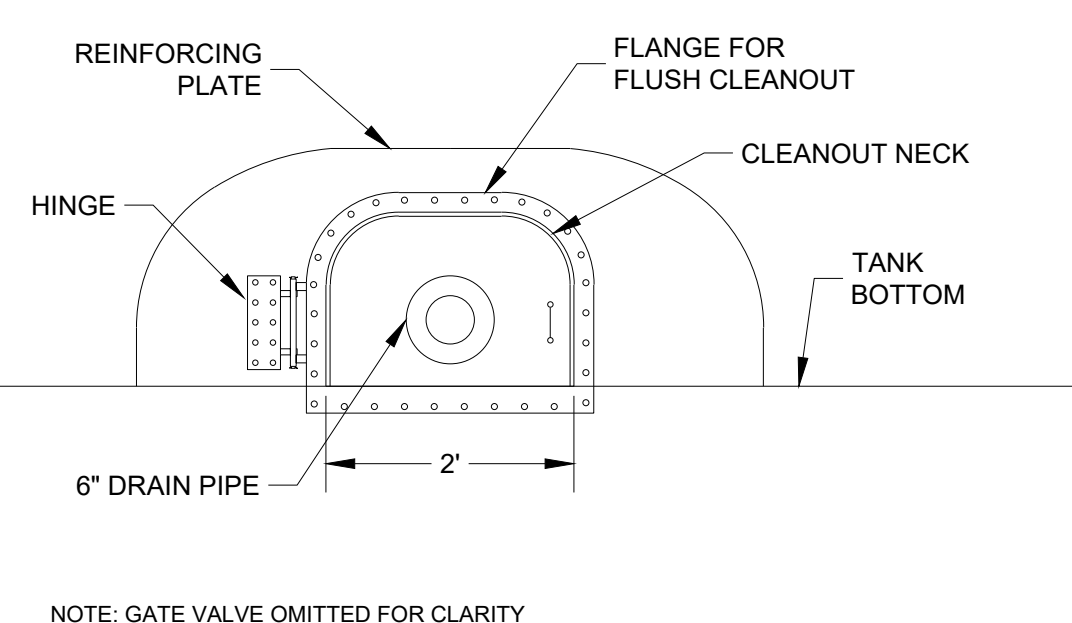


RINGWALL FOUNDATION
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3

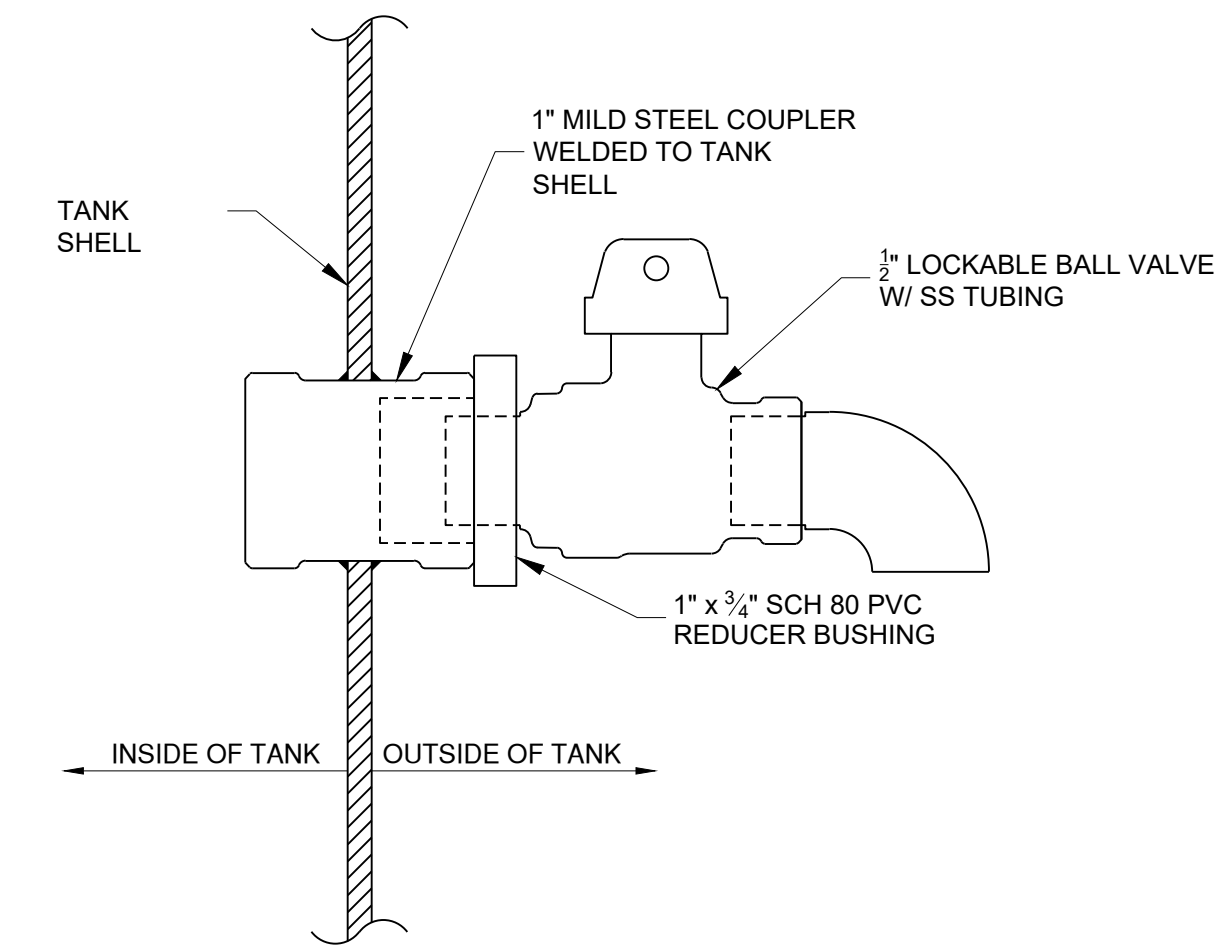
- NOTES:**
- FOUNDATION DESIGN, INCLUDING REINFORCEMENT AND ANY REQUIRED MECHANICAL ANCHORAGE, SHALL BE DESIGNED BY THE TANK CONTRACTOR.
 - FOR SELF-ANCHORED TANKS, THE MATERIAL BETWEEN THE TOP OF THE RINGWALL AND THE TANK BOTTOM PLATE SHALL BE A 1/2 INCH THICK CANE-FIBER JOINT FILLER MEETING THE REQUIREMENTS OF ASTM D1751. AS SUCH, GROUT MAY NOT BE USED TO MEET THE TOLERANCE REQUIREMENTS OF AWWA D100 SECTION 12.6.2. TOLERANCES MUST BE MET BEFORE PLACING THE CANE-FIBER JOINT FILLER.
 - FOR MECHANICALLY ANCHORED TANKS, THE SHELL SHALL BE SUPPORTED ON A STRUCTURAL GROUT WITH A MINIMUM THICKNESS OF 1-INCH AND A MINIMUM WIDTH OF 8-INCHES.
 - COMPACTED OILED SAND SHALL HAVE 6 TO 8 POUNDS OF SC-800 LIQUID ASPHALT PER 100 POUNDS OF SAND.



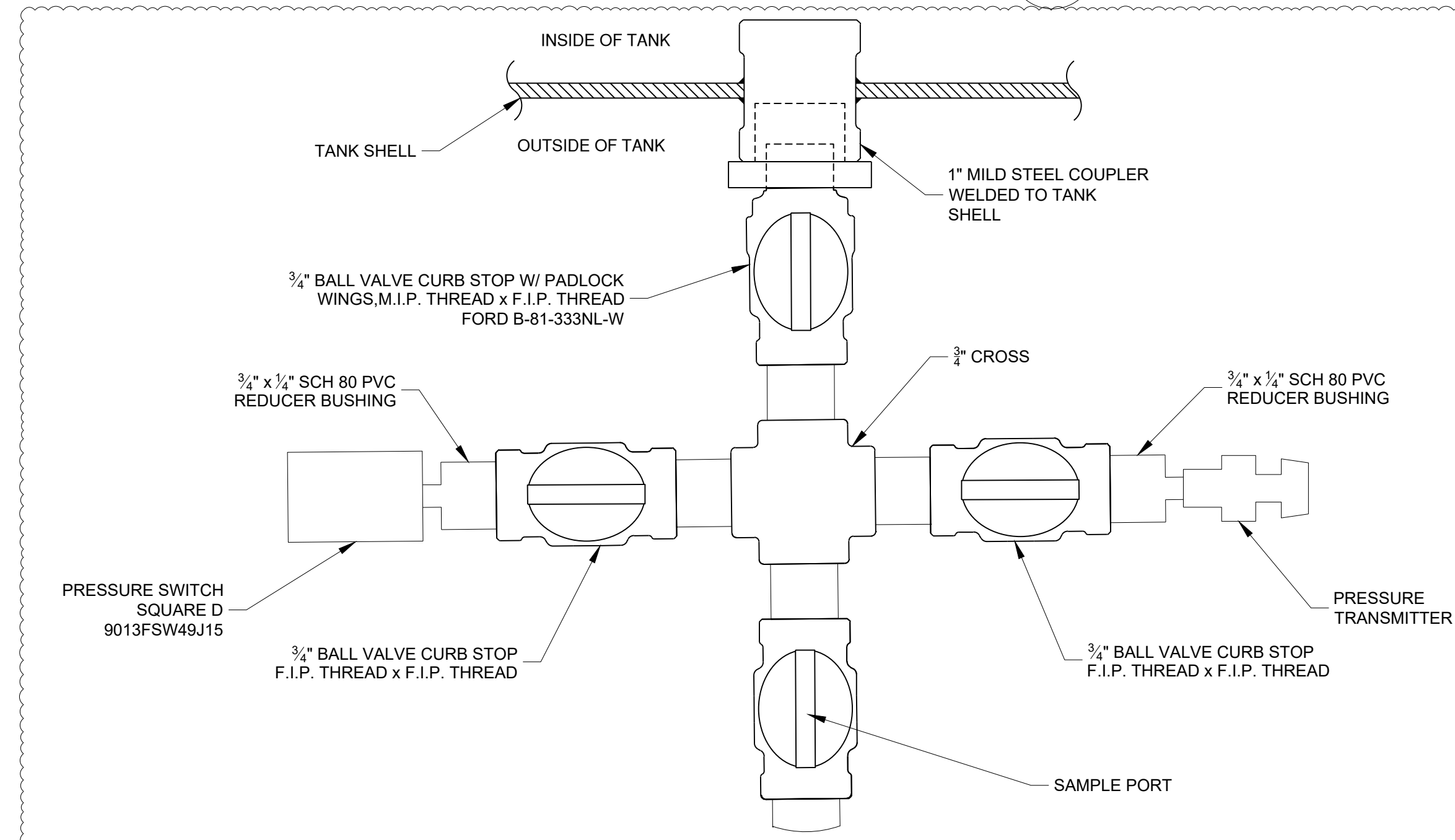
DRAIN DETAIL
NTS
5
C7.52



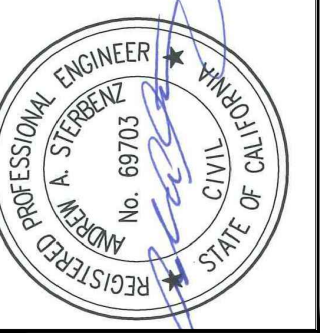
NOTE: GATE VALVE OMITTED FOR CLARITY



SAMPLING PORT DETAIL
NTS
4
C7.52



INSTRUMENT PORT DETAIL
NTS
6
C7.52



DATE	DESCRIPTION
4/10/20	ISSUED FOR SUBDIVISION APPROVAL
7/22/20	COUNTY APPROVED IMPROVEMENT PLANS
10/9/2023	REVISION # 5 - UPDATED DETAILS
2/23/2024	REVISION # 6 - UPDATED DETAILS

SEPTEMBER RANCH
PHASE 1 IMPROVEMENT PLANS
WATER SYSTEM
TANK DETAILS

CARMEL VALLEY, CALIFORNIA
CIVIL PLANS

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4.7.8.1. THE INTERIOR PAINT SHALL BE A THREE-COAT SYSTEM CONSISTING OF AN ORGANIC ZINC-RICH PRIMER, AN INTERMEDIATE EPOXY COAT, AND FINISH EPOXY COAT IN ACCORDANCE WITH AWWA D102 SYSTEM ICS-5. THE INTERIOR FINISH COAT COLOR SHALL BE WHITE AS SPECIFIED.

4.7.8.2. THE INTERIOR COATING SHALL CONSIST OF THE FOLLOWING COATS.

4.7.8.2.1. PRIMER: TNEMEC SERIES 91-H/2O OR 94-H/2O HYDRO-ZINC, DFT 2.5 TO 3.5 MILS

4.7.8.2.2. INTERMEDIATE COAT: TNEMEC SERIES V140F POTA-POX PLUS IN BEIGE COLOR 1255, DFT 4.0 TO 6.0 MILS

4.7.8.2.3. FINISH COAT: TNEMEC SERIES V140F POTA-POX PLUS IN TANK WHITE COLOR 158L, DFT 4.0 TO 6.0 MILS

4.7.8.2.4. TOTAL DFT: 10.5 TO 15.5 MILS

4.7.9. EXTERIOR COATING

4.7.9.1. THE EXTERIOR PAINT SHALL BE A THREE-COAT SYSTEM IN ACCORDANCE WITH AWWA D102 SYSTEM OCS-6. THE SYSTEM SHALL CONSIST OF AN ORGANIC ZINC-RICH PRIMER, AN INTERMEDIATE EPOXY COAT, AND A FINISH POLYURETHANE COAT. THE FINISH EXTERIOR OUTSIDE COLOR SHALL BE FOREST GREEN. CONTRACTOR SHALL SUBMIT A COLOR SAMPLE TO THE OWNER'S FOR APPROVAL.

4.7.9.2. THE EXTERIOR COATING SHALL CONSIST OF THE FOLLOWING COATS.

4.7.9.2.1. PRIMER: TNEMEC SERIES 91-H/2O OR 94-H/2O HYDRO-ZINC, DFT 2.5 TO 3.5 MILS

4.7.9.2.2. INTERMEDIATE COAT: TNEMEC SERIES V69 HI-BUILD EPOXOLINE II, DFT 2.0 TO 3.0 MILS

4.7.9.2.3. FINISH COAT: TNEMEC SERIES 1095 ENDURA-SHIELD, DFT 2.0 TO 3.0 MILS

4.7.9.2.4. TOTAL DFT: 6.5 TO 9.5 MILS

4.8. SURFACE PREPARATION

4.8.1. SURFACE PREPARATION SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF THE STEEL STRUCTURES PAINTING COUNCIL'S SURFACE PREPARATION STANDARDS.

4.8.2. THE INTERIOR SURFACES SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP 10/NACE NO. 2 AND AWWA D102. BLAST-CLEANED SURFACES SHALL HAVE A SURFACE PROFILE THAT IS APPROPRIATE FOR THE SPECIFIC PRIMER AND COATING SYSTEM AS RECOMMENDED BY THE MANUFACTURER OF THE COATING.

4.8.3. EXTERIOR SURFACES SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP 6/NACE NO. 3 AND AWWA D102. BLAST-CLEANED SURFACES SHALL HAVE A SURFACE PROFILE THAT IS APPROPRIATE FOR THE SPECIFIC PRIMER AND COATING SYSTEM AS RECOMMENDED BY THE MANUFACTURER OF THE COATING.

4.8.4. UNLESS OTHERWISE INDICATED, BLAST-CLEANED SURFACES SHALL HAVE A DENSE, UNIFORM AND ANGULAR SURFACE PROFILE OF 2.0 MILS MINIMUM. BLAST MEDIA SHALL BE APPROPRIATE FOR ACHIEVING THE SPECIFIED SURFACE PROFILE AND SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE STEEL STRUCTURES PAINTING COUNCIL ABRASIVE BLAST STANDARDS.

4.8.5. SLAG, WELD SPLATTER AND WELD METAL ACCUMULATION SHALL BE REMOVED BY CHIPPING OR GRINDING. ALL SHARP EDGES SHALL BE PEENED, GROUND OR OTHERWISE BLUNTED AS RECOMMENDED BY THE COATING MANUFACTURER. DURING BLAST CLEANING OPERATIONS, CAUTION SHALL BE EXERCISED TO INSURE THAT EXISTING COATINGS OR PAINT ARE NOT EXPOSED TO ABRASION FROM BLAST CLEANING. ANY EXISTING COATINGS THUS DAMAGED SHALL BE RESTORED TO THEIR PREVIOUS STATE.

4.9. COATING APPLICATION

4.9.1. TANK COATING SHALL INCLUDE PROPER SURFACE PREPARATION AND APPLICATION TECHNIQUES PER COATING MANUFACTURER'S RECOMMENDATIONS.

4.9.2. COATING AND PAINT APPLICATION SHALL CONFORM TO THE REQUIREMENTS OF STEEL STRUCTURES PAINTING COUNCIL PAINTING APPLICATION SPECIFICATION SSPC-PA-1, LATEST REVISION FOR "SHOP, FIELD AND MAINTENANCE PAINTING".

4.9.3. COATINGS SHALL BE APPLIED IN THE CONDITIONS RECOMMENDED BY THE COATING MANUFACTURER. NO COATING OR PAINT SHALL BE APPLIED TO WET OR DAMP SURFACES, IN RAIN, SNOW, FOG, OR MIST, WHEN THE STEEL TEMPERATURE OR SURROUNDING AIR TEMPERATURE IS LESS THAN 5 DEGREES ABOVE THE DEW POINT, NOR IN CONDITIONS NOT RECOMMENDED BY THE MANUFACTURER. IF SUCH CONDITIONS ARE PREVALENT, COATING OR PAINTING SHALL BE DELAYED OR POSTPONED UNTIL CONDITIONS ARE FAVORABLE. THE DAY'S COATING SHALL BE COMPLETED IN TIME TO PERMIT THE FILM SUFFICIENT DRYING TIME PRIOR TO DAMAGE BY ATMOSPHERIC CONDITIONS.

4.9.4. CONTRACTOR SHALL PROVIDE DEHUMIDIFICATION OF THE TANK INTERIOR DURING THE ENTIRE TIME WHEN SURFACE PREPARATION AND COATING APPLICATION IS PERFORMED IN THE TANK INTERIOR. THE CONTRACTOR SHALL USE A DEHUMIDIFIER CAPABLE OF TWO (2) COMPLETE AIR CHANGES PER HOUR AND CAPABLE OF MAINTAINING A RELATIVE HUMIDITY AS RECOMMENDED BY THE COATING MANUFACTURER. AFTER COMPLETION OF THE INTERIOR COATINGS, PROPER CURING PROCEDURES SHALL BE FOLLOWED. ADEQUATE CURE TIME SHALL BE ALLOWED PRIOR TO PERFORMING DISINFECTION AND PRIOR TO FILLING THE TANK FOR THE LEAK TEST.

4.9.5. THINNING SHALL BE PERMITTED AS RECOMMENDED BY THE MANUFACTURER FOR THE CONDITIONS OF APPLICATION.

4.9.6. CARE SHALL BE EXERCISED TO PREVENT COATING OR PAINT FROM BEING SPATTERED ONTO SURFACES THAT ARE NOT TO BE COATED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PAINT OVER-SPRAY OR FUGITIVE DUST FALLOUT CLAIMS.

4.9.7. EACH APPLICATION OF COATING SHALL BE APPLIED EVENLY, FREE OF SAGS AND RUNS, WITH NO EVIDENCE OF POOR WORKMANSHIP. CARE SHALL BE EXERCISED TO AVOID LAPPING ON HARDWARE. COATING SHALL BE SHARPLY CUT TO LINES. FINISHED SURFACES SHALL BE FREE FROM DEFECTS OR BLEMISHES.

4.9.8. AT LEAST ONE SPRAY-BRUSH COAT SHALL BE APPLIED TO IRREGULAR INTERIOR SURFACES SUCH AS UNUSUALLY ROUGH WELDS OR CORNERS.

4.9.9. PRIME COATS MAY BE SHOP APPLIED PER AWWA D102 4.4.1.1 FOR THE INSIDE COATING SYSTEM AND 4.3.1.1 FOR THE OUTSIDE COATING SYSTEM. ANY SHOP PRIMING SHALL BE DONE BY COMPANIES THAT ARE CERTIFIED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) UNDER ITS SOPHISTICATED PAINT ENDORSEMENT (SPE) QUALITY PROGRAM OR BY SSPC UNDER ITS QP 3 QUALITY PROGRAM. SHOPS SHALL BE CERTIFIED TO THE "ENCLOSED SHOP" CATEGORY. ALTERNATIVE TO USING A CERTIFIED SHOP COATING COMPANY, A SSPC QP5 CERTIFIED INSPECTION COMPANY, AT THE

CONTRACTOR'S EXPENSE, MAY BE USED. ANY PRIME COATINGS THAT ARE DAMAGED OR CONTAMINATED DURING FABRICATION, TRANSPORTATION, OR ERECTION SHALL BE THOROUGHLY CLEANED AND TOUCHED UP IN THE FIELD. THE CONTRACTOR SHALL USE REPAIR PROCEDURES THAT INSURE THE COMPLETE PROTECTION OF ALL ADJACENT PRIMER.

4.9.10. ALL SURFACES WHICH WILL BE MADE INACCESSIBLE AFTER ERECTION, INCLUDING BUT NOT LIMITED TO, THE UNDERSIDE OF ROOF PLATES, RAFTERS AND GIRDERS, COLUMN CAPS, AND CONTACT SURFACES OF CONNECTIONS OF THE ROOF STRUCTURE SHALL BE COATED WITH THE COMPLETE INSIDE COATING SYSTEM PRIOR TO ERECTION. INCLUDED ARE THE CONTACT SURFACES BETWEEN ROOF PLATES AND RAFTERS. PRIOR TO COATING, THE SURFACES SHALL BE COMPLETELY BLAST-CLEANED AS REQUIRED BY THE SURFACE PREPARATION REQUIREMENTS OF THESE SPECIFICATIONS.

4.9.11. A STRIPE COAT SHALL BE APPLIED PRIOR TO THE PRIMER AND THE INTERMEDIATE COAT FOR BOTH THE INTERIOR AND THE EXTERIOR COATING SYSTEMS. STRIPE COAT SHALL BE APPLIED TO ALL EDGES, ANGLES, WELD SEAMS, AND OTHER PLACES WHERE INSUFFICIENT FILM THICKNESSES ARE LIKELY TO BE PRESENT. STRIPE COAT SHALL BE OF A CONTRASTING COLOR TO BE EASILY IDENTIFIED BY THE INSPECTOR.

4.9.12. IT IS NOT A REQUIREMENT TO PERFORM SURFACE PREPARATION, PRIMING, OR COATING ON THE UNDERSIDE OF FLOOR PLATES.

4.9.13. CARE HAS BEEN TAKEN TO DELINEATE HEREIN THOSE SURFACES TO BE PAINTED AND THOSE SURFACES NOT TO BE PAINTED. HOWEVER, IF PAINTING REQUIREMENTS HAVE BEEN INADVERTENTLY OMITTED FROM THIS SECTION OR OTHER SECTIONS OF THESE SPECIFICATIONS, ALL EXPOSED FERROUS METAL SURFACES, UNLESS SPECIFICALLY EXEMPTED HEREIN, SHALL RECEIVE PROTECTIVE COATING EQUAL TO THAT GIVEN TO THE SAME TYPE OF SURFACE PURSUANT TO THESE SPECIFICATIONS.

4.10. HEALTH AND SAFETY

4.10.1. IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY OSHA, CAL-OSHA, AND OTHER APPLICABLE REGULATORY AGENCIES AND IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS AND APPROPRIATE TECHNICAL BULLETINS AND MANUALS, THE CONTRACTOR SHALL PROVIDE AND REQUIRE USE OF PERSONAL LIFESAVING EQUIPMENT FOR PERSONS WORKING ON OR ABOUT THE SITE. AS A MINIMUM, PERSONAL LIFESAVING EQUIPMENT SHALL PROPERLY ADDRESS PROTECTION OF THOSE PERSONS IN THE FOLLOWING CATEGORIES:

4.10.1.1. HEAD AND FACE PROTECTION

4.10.1.2. RESPIRATORY DEVICES

4.10.1.3. VENTILATION

4.10.1.4. SOUND LEVELS

4.10.1.5. ILLUMINATION

4.10.1.6. TEMPORARY LADDERS AND SCAFFOLDING

4.10.2. WHEN PERSONNEL, INCLUDING THE COATING INSPECTOR, ARE INSIDE THE TANK DURING THE APPLICATION AND CURING OF INSIDE COATINGS, FORCED AIR VENTILATION SHALL BE MAINTAINED AND PROPER PERSONAL EQUIPMENT SHALL BE PROVIDED.

4.11. COATING INSPECTION AND TESTING

4.11.1. INSPECTION AND TESTING SHALL BE ACCORDING TO AWWA D102 SECTION 5.1.

4.11.2. THICKNESS OF COATINGS SHALL BE CHECKED WITH A NON-DESTRUCTIVE, MAGNETIC TYPE THICKNESS GAUGE. COATING INTEGRITY OF ALL INTERIOR COATED SURFACES SHALL BE TESTED WITH AN APPROVED HOLIDAY DETECTION DEVICE. NON-DESTRUCTIVE HOLIDAY DETECTORS SHALL NOT EXCEED 100 VOLTS NOR SHALL DESTRUCTIVE HOLIDAY DETECTORS EXCEED THE VOLTAGE RECOMMENDED BY THE MANUFACTURER OF THE COATING SYSTEM. FOR THICKNESSES BETWEEN 10 AND 20 MILS (0.25MM AND 0.50MM) A NON-SUSDSING TYPE WETTING AGENT SUCH AS KODAK PHOTO-FLO, SHALL BE ADDED TO THE WATER PRIOR TO WETTING THE DETECTOR SPONGE. ALL PINHOLES SHALL BE MARKED, REPAIRED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED RECOMMENDATIONS AND RE-TESTED. NO PINHOLES OR OTHER IRREGULARITIES WILL BE PERMITTED IN THE FINAL COATING. HOLIDAY DETECTION DEVICES SHALL BE OPERATED IN THE PRESENCE OF THE OWNER'S INSPECTOR.

4.11.3. UNTIL FINAL ACCEPTANCE OF TANK COATING, THE CONTRACTOR SHALL FURNISH AND MAKE AVAILABLE TO THE OWNER'S INSPECTOR DEVICES IN GOOD WORKING CONDITION FOR DETECTION OF HOLIDAYS AND MEASUREMENT OF DRY FILM THICKNESS OF COATING AND PAINT. THE CONTRACTOR SHALL ALSO FURNISH U.S. DEPARTMENT OF COMMERCE, NATIONAL BUREAU OF STANDARDS CERTIFIED THICKNESS CALIBRATION PLATES TO TEST ACCURACY OF DRY-FILM THICKNESS GAUGE. ALL INSPECTION DEVICES SHALL BE IN GOOD WORKING ORDER AND INTENDED TO BE USED WITH THE THICKNESS OF THE COATING SYSTEM TO BE INSPECTED.

4.11.4. SURFACE PREPARATION, COATING, AND RELATED WORK SHALL BE INSPECTED BY A THIRD-PARTY INSPECTOR HIRED BY THE OWNER. CONTRACTOR SHALL COORDINATE WITH AND ALLOW ACCESS TO INSPECTOR.

4.12. WARRANTY AND FIRST-ANNIVERSARY INSPECTION

4.12.1. COATINGS SHALL BE WARRANTED FOR MATERIAL AND WORKMANSHIP FURNISHED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK.

4.12.2. ALL WORK FOUND TO BE DEFECTIVE WITHIN THE WARRANTY PERIOD SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION AND THE SATISFACTION OF THE OWNER IN ORDER TO BRING THE DEFECTIVE AREAS UP TO THE QUALITY LEVEL OF THE ORIGINAL WORK REQUIRED BY THIS SPECIFICATION.

4.12.3. A FIRST-ANNIVERSARY INSPECTION SHALL BE CONDUCTED AND ALL FAILURES IN THE COATING SYSTEM SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. FIRST-ANNIVERSARY INSPECTION SHALL BE CONDUCTED IN CONFORMANCE WITH AWWA D102 SECTION 5.2. THE DATE OF THE INSPECTION SHALL BE ESTABLISHED AND NOTIFICATION GIVEN AT LEAST 30 DAYS IN ADVANCE. THE OWNER WILL DRAIN THE TANK AND MAKE THE TANK READY FOR INSPECTION. CONTRACTOR SHALL PROVIDE THE NECESSARY SCAFFOLDING, LIGHTING AND OTHER EQUIPMENT AS REQUIRED TO IDENTIFY FAILURES IN THE COATING SYSTEM. THE OWNER'S INSPECTOR SHALL INSPECT THE TANK AND IDENTIFY LOCATION AND TYPES OF REPAIRS REQUIRED.

4.12.4. FOLLOWING THE FIRST-ANNIVERSARY INSPECTION AND ANY REQUIRED REPAIRS, CONTRACTOR SHALL DISINFECT THE TANK AND MAKE THE TANK READY FOR RETURN TO SERVICE ACCORDING TO THE REQUIREMENTS OF THESE

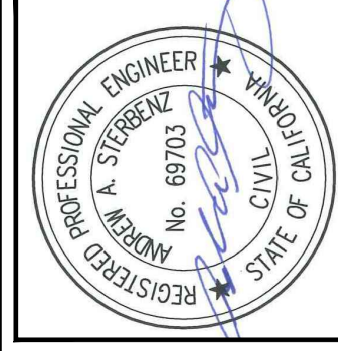
SPECIFICATIONS. IF WATER SAMPLING RESULTS ARE UNSATISFACTORY, CONTRACTOR SHALL REPEAT THE DISINFECTION PROCESS UNTIL ACCEPTABLE TEST RESULTS ARE REPORTED. ANY FOLLOW-UP SAMPLING COSTS SHALL BE BORNE BY THE CONTRACTOR.

4.12.5. CONTRACTOR SHALL DISINFECT AND MAKE THE TEMPORARY TANK AND PIPING READY FOR RETURN TO SERVICE PRIOR TO THE FIRST-ANNIVERSARY INSPECTION. AFTER THE FIRST-ANNIVERSARY INSPECTION, CONTRACTOR SHALL REMOVE THE TEMPORARY SYSTEM, INCLUDING UNDERGROUND PIPING, AS DIRECTED BY THE OWNER.

- 5. BOLTED STEEL TANK**
- 5.1. PROVIDE FACTORY COATED BOLTED CARBON STEEL TANK COMPLETE WITH CONCRETE RINGWALL FOUNDATION AND ALL PIPE CONNECTIONS, ACCESSORIES AND APPURTENANCES AS SHOWN ON THE PLANS AND AS REQUIRED BY APPLICABLE STANDARDS REFERENCED HEREIN. BOLTED STEEL TANK SHALL CONFORM TO THE REQUIREMENTS OF AWWA D103-19, STANDARD FOR FACTORY-COATED BOLTED ~~CARBON STEEL TANKS FOR WATER STORAGE~~.
- 5.1.1. TANK ROOF SHALL BE ALUMINUM DOME PER AWWA D108-19. EXTERIOR FINISH SHALL BE BRUSHED/MATTE (NON-REFLECTIVE).
- 5.2. THE MANUFACTURER SHALL FURNISH, ERECT AND TEST THE TANK, AS REQUIRED BY AWWA D103. THE MANUFACTURER SHALL BE COMPLETELY RESPONSIBLE FOR THE CONSTRUCTION AND SATISFACTORY PERFORMANCE OF THE TANK DURING THE GUARANTEE PERIOD. THE TANK SHALL CONFORM TO AWWA D103 TO THE LATEST EDITION BUILDING CODE, AND TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- 5.3. MATERIALS
- 5.3.1. PLATES AND SHEETS. PLATES AND SHEETS SHALL CONFORM TO APPROPRIATE ASTM DESIGNATION AS SET FORTH IN SECTION 4.4, AWWA D103-19, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 30,000 PSI.
- 5.3.2. STRUCTURAL SHAPES. STRUCTURAL SHAPES SHALL CONFORM TO THE REQUIREMENTS AND ASTM DESIGNATIONS OF AWWA D103-19 SECTION 4.5
- 5.3.3. BOLTS. TANK JOINT BOLTING SHALL BE MINIMUM 3/4" DIAMETER, SHALL MEET THE REQUIREMENTS OF AWWA D103-19 SECTION 4.2.1. AND HAVE TENSILE STRENGTH OF AT LEAST 120,000 POUNDS PER SQUARE INCH.
- 5.3.4. GASKETS AND SEALANT. ALL GASKETS AND SEALANTS USED ON THIS TANK SHALL CONFORM TO THE REQUIREMENTS OF AWWA D103-19 SECTION 4.10.
- 5.4. PROTECTIVE COATING
- 5.4.1. GENERAL: ALL METAL PLATES, SUPPORTS, MEMBERS AND MISCELLANEOUS PARTS, EXCEPT BOLTS, SHALL BE FACTORY COATED IN ACCORDANCE WITH AWWA D103, SECTION 12.4 AND THIS SECTION. FIELD COATING, OTHER THAN TOUCH-UP, WILL NOT BE PERMITTED.
- 5.4.2. SURFACE PREPARATION:
- 5.4.2.1. ALL STEEL SURFACES SHALL BE SHOT BLASTED TO EQUIVALENT OF A SP 10 OR BETTER NEAR WHITE METAL FINISH. THE SURFACE ANCHOR PATTERN SHALL BE NO LESS THAN 1.5 MILS.
- 5.4.3. COATING:
- 5.4.3.1. ALL INTERIOR AND EXTERIOR STEEL SURFACES, SUPPORT MEMBERS AND MISCELLANEOUS PARTS SHALL RECEIVE GLASS FUSED TO STEEL COATING PER AWWA D103-19 SECTION 12.4 AND MEETING NSF 61. HOLIDAY TEST ALL COMPONENTS PRIOR TO SHIPPING AND AFTER ERECTION.
- 5.4.3.2. INTERIOR FINISH COLOR TO BE WHITE. EXTERIOR FINISH TO BE COLOR FOREST GREEN.
- 5.5. FIELD ERECTION OF FACTORY COATED BOLTED STEEL TANKS SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND PERFORMED BY MANUFACTURER'S EMPLOYEES OR CERTIFIED ERECTION CREW TO ALLEVIATE ANY POTENTIAL DISPUTES IN COATING QUALITY OR ERECTION THEREOF. PARTICULAR CARE SHALL BE EXERCISED IN HANDLING AND BOLTING OF THE TANK PLATES, SUPPORTS, AND MEMBERS TO AVOID ABRASION OR SCRATCHING THE COATING. PRIOR TO PLACING WATER IN THE TANK, A "HOLIDAY" INSPECTION OF THE ENTIRE TANK, CORNERS INCLUDED, WILL BE PROVIDED AND PERFORMED BY THE MANUFACTURER IN THE PRESENCE OF THE OWNER. TOUCH-UP COATING SHALL BE DONE PER THE MANUFACTURER'S RECOMMENDATIONS WHERE NEEDED AND AS DIRECTED TO ACHIEVE 100% HOLIDAY-FREE SURFACE.
- 5.6. TESTING AND INSPECTION
- 5.6.1. GENERAL: TEST STORAGE TANK AFTER ERECTION. FLOOR SHALL BE CLEAN AND FREE FROM DIRT, FOREIGN SUBSTANCE AND DEBRIS.
- 5.6.2. TEST BY FILLING WITH WATER TO ELEVATION OF OVERFLOW. COMPLETED STORAGE TANK SHALL SHOW NO LEAKS AT END OF 24 HOUR TEST PERIOD.
- 5.7. WARRANTY
- 5.7.1. THE TANK MANUFACTURER SHALL WARRANT THE TANK AGAINST ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SHIPMENT. IN THE EVENT ANY SUCH DEFECT SHOULD APPEAR, IT SHOULD BE REPORTED IN WRITING TO THE MANUFACTURE DURING THE WARRANTY PERIOD.
- 5.7.2. THE TANK SHALL BE DEEMED ACCEPTED WHEN THE RESERVOIR HAS BEEN PROVEN FREE FROM LEAKS AND OTHER DEFECTS TO THE SATISFACTION OF THE OWNER. THE ACCEPTANCE BY THE OWNER OF THE COMPLETED WORK AS HEREIN SPECIFIED IS SUBJECT TO THE CONTRACTOR'S WARRANTY FOR THE COMPLETED WORK AGAINST DEFECTS IN MATERIALS OR WORKMANSHIP FURNISHED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK.



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DATE	DESCRIPTION
4/10/20	ISSUED FOR SUBDIVISION APPROVAL
7/22/20	COUNTY APPROVED IMPROVEMENT PLANS
5/3/24	REVISED BOLTED TANK COATING
5/15/24	ROOF TYPE ADDED

SEPTEMBER RANCH
PHASE 1 IMPROVEMENT PLANS
WATER SYSTEM
TANK SPECIFICATION, 2 OF 2

SCALE:	NTS
DRAWN:	CJM
JOB No.:	595.03
SHEET	C7.56
	OF 104

PLN230299

DARK GREEN STEEL TANK

