

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

FAY LAURA J & MATT ABELSON (PLN230226)

RESOLUTION NO. 24--

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302 and no exceptions to the exemptions pursuant to section 15300.2 can be made;
- 2) Approving a Coastal Administrative Permit and Design Approval to allow demolition of an existing 1,958 square foot two-story single family residence and a 330 square foot detached non-habitable accessory structure; and construction of an approximately 2,904 square foot two-story residence inclusive of an attached underground two-car garage;
- 3) Approving a Coastal Administrative Permit and Design Approval to allow construction of a 179 square foot attached guesthouse; and
- 4) Approving a Coastal Administrative Permit to allow one parking space within the front setback.

[PLN230226 FAY LAURA J & MATT ABELSON,
24723 GUADALUPE STREET, CARMEL,
CARMEL AREA LAND USE PLAN (APN: 009-
141-022-000)]

The FAY LAURA J & MATT ABELSON application (PLN230226) came on for public hearing before the County of Monterey Zoning Administrator on October 31, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 County of Monterey General Plan;
 - Carmel Area Land Use Plan;

- County of Monterey Coastal Implementation Plan, Part 4, Regulations for Development in the Carmel Area Land Use Plan (CAR CIP); and
- County of Monterey Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 24723 Guadalupe Street, Carmel (APN: 009-141-022-000), in the Carmel Area Land Use Plan. The parcel is zoned Medium Density Residential, 2 units per acre, with a Design Control overlay in the Coastal Zone or “MDR/2-D(CZ)”, which allows for the construction of the first single-family dwelling on a legal lot of record and guesthouses meeting the development standards contained in Title 20 section 20.64.020, both subject to the approval of a Coastal Administrative Permit (Title 20 section 20.12.040). Additionally, construction of any structure within the Design Control “D” district requires a Design Approval (Title 20 section 20.44.030). The project consists of the demolition of an existing 1,958 square foot two-story single family residence and a 330 square foot detached non-habitable accessory structure; and construction of an approximately 2,904 square foot two-story residence inclusive of an attached underground two-car garage and storage room, an approximately 179 square foot attached guesthouse, allow one parking space within the front setback and associated site improvements. Therefore, the project is an allowed land use for this site, subject to the granting of a Coastal Administrative Permit and Design Approval.
- c) Lot Legality. The subject property (0.10 acres in size), APN: 009-141-022-000, is identified in its current size and configuration as Parcel B in the Assessor’s Parcel Map dated 1964, Book 9 Pg 14. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20 Chapter 20.44, the property is subject to the Design Control or “D” district zoning regulations. The Design Control district requires design review of structures to assure protection of the public viewshed, neighborhood characteristic, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. The other residences in the vicinity of the project site include an eclectic range of homes that range from cottages to craftsman and contemporary modern architecture. As proposed, the single-family dwelling with an underground garage will remain comparable to the bulk and mass of other dwellings in the surrounding neighborhood, as well as the existing residence. The development is designed to reflect a shingle cottage style of architecture that blends with the surrounding neighborhood. The proposed exterior colors and materials are consistent with the area’s surrounding residences. The proposed colors and material include weathered gray stain shingle siding, stone veneer, grey standing seam metal roofing, green sage colored clad wood windows, doors, white color wood guardrails and gray gutters and downspouts. Condition No. 4 has been applied to ensure that the final exterior lighting plans include downlit, shielded, and unobtrusive fixtures that are compatible with the

surrounding area. Based on the evidence described above, the proposed structures and uses are consistent with the surrounding character (i.e., structural design features, colors, and material finishes) and scale of development in the vicinity.

- e) Development Standards. The project is consistent with the development standards of the MDR zoning district, which are identified in Title 20 section 20.12.060. Structures within MDR are limited to setbacks of 20 feet for the front setback, 5 feet for the side setback, and 10 feet for the rear setback. As proposed, the structure is sited with a front setback of approximately 35 feet 4 inches, side setbacks of approximately 5 feet, and a rear setback of approximately 10 feet. The maximum allowed height for main structures in this MDR district is 30 feet above average natural grade. As proposed, the single-family dwelling is approximately 28 feet 2 inches above average natural grade. The total building site coverage for the proposed project is 33%, which is below the allowable limit of 35%. The total floor area ratio for the proposed project is 45%, which is within the allowable limit. Pursuant to Title 20 section 20.62.040.K, any accessory structure structurally attached to the main structure shall be subject to the same setback and height requirements as the main structure. Therefore, the proposed guesthouse is subject to the development standards required of the main structure in MDR. As proposed, the guesthouse is situated within the setback and height of the main structure. The project size, height, and setbacks are all within the allowed limits of the development standards of the MDR zoning district. Therefore, as proposed, the project meets all required development standards of Title 20 section 20.12.060.
- f) Historic Resource. The project site does not contain any structures or features that may be considered historical resources eligible for listing. The project will not impact any historic built environment resources, and no recommendations are warranted. A Historic Resource Evaluation Report (County of Monterey Document No. LIB240110, see Finding 2, Evidence “b”) was prepared for existing residence that was built in 1946 and a detached garage built in 1961. The report concluded that neither the house nor the detached garage building is associated with a known architectural style or local Vernacular within Carmel. No architect, builder, or landscape architect is associated with the house or associated landscape. As such, an architectural context is not required and the property has no historic significance. Therefore, implementation of the project would not result in an impact to a historical resource.
- g) Cultural Resources. According to County of Monterey Geographic Information System (GIS), the subject parcel has a moderate archaeological sensitivity and is not within 750 feet of a known archaeological resource. Pursuant to CAR CIP Section 20.146.090.B, an archaeological survey report was not prepared for the proposed project because although the site has a moderate archaeological sensitivity, the project does not require environmental review (see Finding 5 and supporting evidence). The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County’s standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during

construction.

- h) Parking Requirement. Pursuant to Title 20 section 20.58.040, the proposed development requires two parking spaces for the single family dwelling and an additional parking space for the proposed guesthouse. As proposed, there are two parking spaces in the attached garage for the main dwelling and an additional parking space for the guesthouse on the driveway within the front setback. Title 20 section 20.58.050.E states parking spaces which are located within the required front setback shall not count toward the amount of required parking unless a Coastal Administrative Permit is first secured. Therefore, with the granting of this Coastal Administrative Permit, the required guesthouse parking space shall be allowed within the required front setback.
- i) Land Use Advisory Committee (LUAC) Review. The project was brought before the Carmel Unincorporated/Highlands Land Use Advisory Committee on September 16, 2024. The committee unanimously recommended support of the application as proposed. Comments from the public were made at this meeting; the next door neighbor had concerns regarding the height of the proposed building which after clarification, the neighbor understood the height was within the county regulation. Another concern was about a 50 year old oak tree whose roots crossed property lines and potentially be compromised during the construction of a retention wall. The applicant dug a trench to expose potential roots and hired an arborist to assess the ongoing longevity of the tree should it be impacted by proposed construction. Both neighbors agreed on the importance of the tree's viability. The applicant produced an arborist's report indicating that there were three tree roots which would be impacted by proposed construction but would not adversely impact the longevity of the tree.
- j) The project planner conducted a site inspection on May 10, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230226.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to a historical resource and protected trees. The following technical report was prepared:
 - Historic Resource Evaluation (LIB240110), prepared by Stacey De Shazo M.A., Sebastopol, CA.
 - Arborist Report (LIB240238), prepared by Richard Gessner,

Felton, CA.

County staff has independently reviewed the reports and concurs with the conclusions.

- c) The plans indicate a patio and retaining wall is proposed approximately seven feet from the adjacent property coast live oak. An arborist report, prepared by Richard Gessner, concluded that the proposed construction is expected to moderately affect the tree and some pruning and root loss are to occur. However, the coast live oak is a species known to be tolerant of construction impacts. To ensure that the development is in accordance with the recommendations of the arborist staff has added a condition (Condition #8), that requires the owner to record a notice of report.
- d) Staff conducted a site inspection on May 10, 2024, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230226.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities currently serve the existing residence and will continue to be provided to the proposed residence. Domestic water service is provided by California American Water and sewer service is provided by Carmel Area Wastewater District. The project was reviewed by the Environmental Health Bureau which found the existing services adequate to serve the project.
 - c) Staff conducted a site inspection on May 10, 2024, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230226.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.

- b) Staff conducted a site inspection on May 10, 2024, and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230226.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts the replacement or reconstruction of an existing structure where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
 - b) This project qualifies for a Class 2 exemption because the project involves the demolition and replacement of a single-family dwelling on a residentially zoned parcel within a developed neighborhood. The replacement dwelling is located in generally the same area as the existing residence and will serve the same purpose (single family dwelling).
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on May 10, 2024.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230226.

6. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Carmel Area Coastal Implementation Plan section 20.146.130, can be demonstrated.
 - b) The subject property is not described as an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the

proposed development found in Project File PLN230226.

7. **FINDING:** **GUESTHOUSE** – The project meets the established regulations and standards as identified in Title 20 section 20.64.020.
- EVIDENCE:**
- a) Title 20 section 20.64.020 establishes regulations and standards for which a Guesthouse, a sleeping facility not integral to the main dwelling, may be permitted. The project includes the construction of an approximately 178 square foot attached guesthouse.
 - b) The proposed guesthouse is the only guesthouse proposed for the subject parcel, has no cooking facilities, and shall not be separately rented. Staff has applied the standard coastal guesthouse deed restriction as Condition No. 6.
 - d) As defined in Title 20 section 20.58.040, the guesthouse requires one parking space. Consistent with this requirement, the guesthouse will have one parking space located on the driveway.
 - e) The guesthouse meets the required site development standards and design criteria as defined in Title 20 section 20.12.060 and Chapter 20.44. The guesthouse has been designed to be visually consistent and compatible with the main residence.
 - f) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the guesthouse. The guesthouse will share the same utilities as the main residence. EHB made the determination that the project has adequate public facilities, and no further comments or conditions were provided (See Finding 3)
 - g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230226.
8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to County of Monterey Zoning Ordinance (Title 20) section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is not subject to appeal by/to the California Coastal Commission because the first single family dwelling unit is considered a principal use and is not in a location that would warrant appealability.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Zoning Administrator does hereby:

1. Find that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302;
2. Approve a Coastal Administrative Permit and Design Approval to allow Demolition of an existing 1,958 square foot two-story single family residence and a 330 square foot detached non-habitable accessory structure; and construction of an approximately 2,904 square foot two-story residence inclusive of an attached underground two-car garage and storage room;
3. Approve a Coastal Administrative Permit and Design Approval to allow construction of a 179 square foot attached guesthouse; and
4. Approve a Coastal Administrative Permit to allow one parking space within the front setback.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 31st day of October, 2024.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230226

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit (PLN230226) allows the demolition of an existing 1,958 square foot two-story single family residence and a 330 square foot detached non-habitable accessory structure; and construction of an approximately 2,904 square foot two-story residence inclusive of an attached underground two-car garage and storage room, an approximately 179 square foot attached guesthouse, allow one parking space within the front setback, and associated site improvements. The property is located at 24723 Guadalupe Street, Carmel (Assessor's Parcel Number 009-141-022-000), Carmel Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 009-141-022-000 on October 31, 2024. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
 - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
 - The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
 - The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
 - The guesthouse shall not exceed 425 square feet of livable floor area.
 - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
 - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
 - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
 - The guesthouse height shall not exceed 12 feet nor be more than one story.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of HCD-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the HCD-Planning.

7. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

8. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (Library No. LIB240238), was prepared by Richard Gessner on September 12, 2024 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. PW0031 – BOUNDARY SURVEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the northwesterly and southeasterly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the northwesterly and southeasterly boundary line of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

11. GEOLOGIC REPORT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Prior to issuance of the permit, the applicant shall provide a project-specific geologic report that includes a fault investigation study, prepared by a licensed professional geologist registered in the State of California, in accordance with California Geological Survey's Special Publication 42. The report shall address the potential for surface fault rupture and secondary fracturing adjacent to the fault zone, and include data identifying the location, recency, and nature of faulting with potential to affect the site. The report shall also include recommendations and conclusions, including setback distances of proposed structures and additional construction measures, as applicable.

Because the fault is located less than 1/8 miles from a mapped Quaternary Fault, the site is located within a county fault regulatory hazard zone. The purpose of this fault regulatory zone is to trigger the need for a geologic evaluation of fault hazards for the project.

Compliance or Monitoring Action to be Performed: Prior to issuance of a permit, the applicant shall submit a project-specific geologic report to HCD-Environmental Services for review and approval.



**METRO
DESIGN
GROUP**

ARCHITECTURE- PLANNING- INTERIORS

1475 S. BASCOM AVE SUITE 208
CAMPBELL, CA 95008
(408) 871-1071 phone
www.metroarchitects.com

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PROJECT NAME

**ABELSON & FAY
RESIDENCE**

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION

COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 7/24/2024

SCALE : AS-NOTED

DRAWN BY : C.S. T.S.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 23724

SHEET NUMBER

A-0.0

GENERAL NOTES

1. CODES AND REGULATIONS
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES,
2022 CALIFORNIA BUILDING CODE (C.B.C.)
2022 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
2022 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2022 CALIFORNIA PLUMBING CODE (C.P.C.)
2022 CALIFORNIA MECHANICAL CODE (C.M.C.)
2022 CALIFORNIA FIRE CODE (C.F.C.)
2022 CALIFORNIA ENERGY CODE (C.E.C.)
2022 CALIFORNIA GREEN CODE (C.G.C.)
NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.

2. SITE VERIFICATION
GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.

3. MEASUREMENTS
CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.

4. DIMENSIONS
DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.

5. DISCREPANCIES
MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

6. MANUFACTURER'S SPECIFICATIONS
CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURER'S FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.

7. WINDOWS AND DOORS
CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

8. CALGREEN STANDARDS
ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PER CGBC SEC. 4.504.2.4

PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE COUNTY OF MONTEREY BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504.



AREA TABULATIONS

1. SITE AREA -

GROSS AREA:	4,340 SF (0.10 ACRES)
NET AREA :	4,340 SF (0.10 ACRES)

2. AVERAGE SITE SLOPE -

	8%.
--	-----

FLOOR AREA

ALLOWABLE FLOOR AREA:	45% = 1,953 SF
PROPOSED FLOOR AREA (FAR)	45% = 1,953 SF

BUILDING SITE COVERAGE

BUILDING SITE COVERAGE (ALLOW)	35% = 1,519 SF
BUILDING SITE COVERAGE (PROP)	33% = 1,433 SF

3. FLOOR AREA

PROPOSED FLOOR AREA

MAIN FLOOR LEVEL	946.8 SF
GUEST HOUSE	178.8 SF
UPPER FLOOR LEVEL	826.9 SF
TOTAL FLOOR AREA (PROPOSED)	1,952.5 SF

BELOW GRADE FLOOR AREA

GARAGE AND STORAGE LEVEL	1,130.7 SF
--------------------------	-------------------

EXISTING FLOOR AREA

MAIN FLOOR LEVEL	1,131.21 SF
UPPER FLOOR LEVEL	826.44 SF
ACCESSORY BUILDING	329.88 SF
TOTAL FLOOR AREA (EXISTING)	2,287.53 SF

3. IMPERVIOUS COVERAGE

2,585 sf	60% SITE COVERAGE
1,755 sf	40% OPEN SPACE

AREA TABULATIONS

OPEN AREA / PLANTING	1,755 SF
BUILDING COVERAGE	1,126 SF
PATIO	911 SF
WALKWAY	275 SF
DRIVENWAY	247 SF
TOTAL AREA	4,340 SF

PROJECT INFORMATION

PROPERTY OWNERS MATT ABELSON AND LAURA FAY

PHONE (408) 674-6643

MAILING ADDRESS 14524 OAK STREET
SARATOGA, CA 95070

PROJECT ADDRESS 24723 GUADALUPE STREET
CARMEL, CA 93923

A.P.N. 009-141-022

ZONING MDR/2 - D (CZ)

LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA NO

SETBACK REQUIREMENTS

REQUIRED FRONT:	20'-0"
SIDE:	5'-0"
REAR:	10'-0"

PROPOSED

FRONT:	20'-0"
LEFT SIDE:	5'-0"
RIGHT SIDE:	5'-0"
REAR:	10'-0"

MAX HEIGHT

ALLOWABLE / PROPOSED	ALLOWED	PROPOSED
	30'-0"	28'-6.5"

STORIES 2 2

CONSTRUCTION TYPE V-B

OCCUPANCY R-3/U

FIRE SPRINKLERS REQUIRED (NFPA-13D)

EXISTING USE EXISTING SINGLE FAMILY RESIDENCE

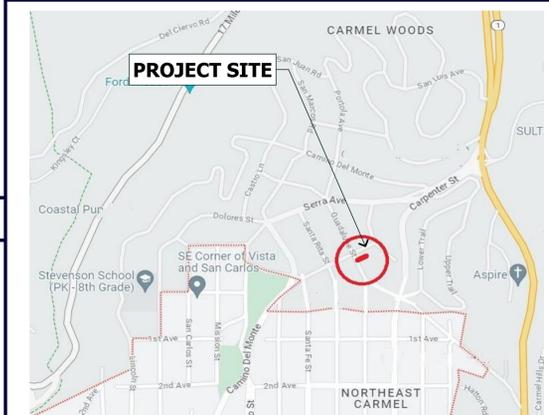
PROJECT DESCRIPTION

DEMOLITION OF AN EXISTING TWO-STORY, SINGLE FAMILY RESIDENCE AND CONSTRUCTION OF A NEW TWO-STORY, SINGLE FAMILY RESIDENCE THAT INCLUDES AN ATTACHED GUEST HOUSE. THE HOME IS SHINGLE-STYLE WITH STONE AND SHINGLE WALLS AND A STANDING SEAM ROOF.

SHEET INDEX

A-0.0	COVER SHEET
A-0.1	FUEL MANAGEMENT PLAN
A-0.2	CONSTRUCTION MANAGEMENT PLAN
A-0.3	EXISTING FLOOR PLANS
C-0.1	EXISTING SITE PLAN
C-1.0	GRADING PLAN
C-2.0	GRADING NOTES - SITE CROSS SECTION
C-3.0	DRAINAGE DETAILS
C-4.0	EROSION CONTROL PLAN & DETAILS
A-1.0	PROPOSED SITE PLAN
A-2.0	PROPOSED MAIN FLOOR PLAN
A-2.1	PROPOSED UPPER FLOOR PLAN
A-2.2	PROPOSED LOWER FLOOR PLAN
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-4.0	ROOF PLAN BUILDING SITE COVERAGE CALCULATION
L-1	PRELIMINARY LANDSCAPE PLAN

VICINITY MAP



CONSULTANT DIRECTORY

ARCHITECT	METRO DESIGN GROUP CONTACT :TOM SLOAN 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE	LANDSCAPE	METRO DESIGN GROUP CONTACT :TOM SLOAN 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE
TOPO SURVEY & BOUNDARIES	LANDSET ENGINEERS, INC. LS 8703 520-B CRAZY HORSE CANYON ROAD SALINAS, CALIFORNIA 93907 (831) 443 6970	GEOTECHNICAL GEOLOGIC CONSULTANTS	C2 EARTH 523 CAPITOLA AVE, SUITE B CAPITOLA, CALIFORNIA 93907 (831) 425-5436



METRO
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ABELSON & FAY RESIDENCE

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CARMEL, CA 93923
APN 009-141-022

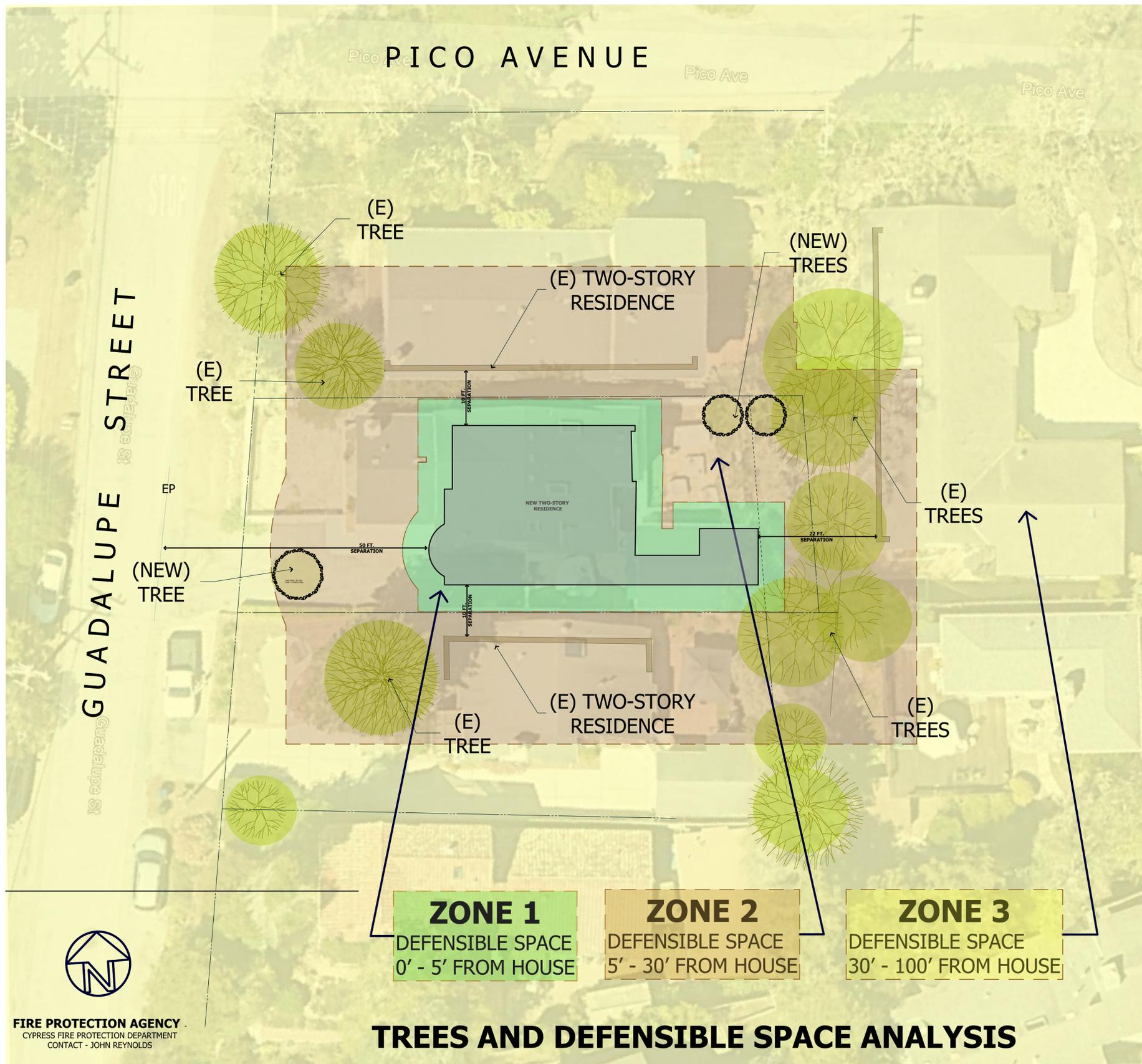
REVISIONS	

FUEL MANAGEMENT PLAN

DATE : 7/24/2024
 SCALE :
 DRAWN BY : T.S.
 CHECKED BY : TS
 ARCHITECT : TOM SLOAN
 PROJECT NO : 23724

SHEET NUMBER

A-0.1





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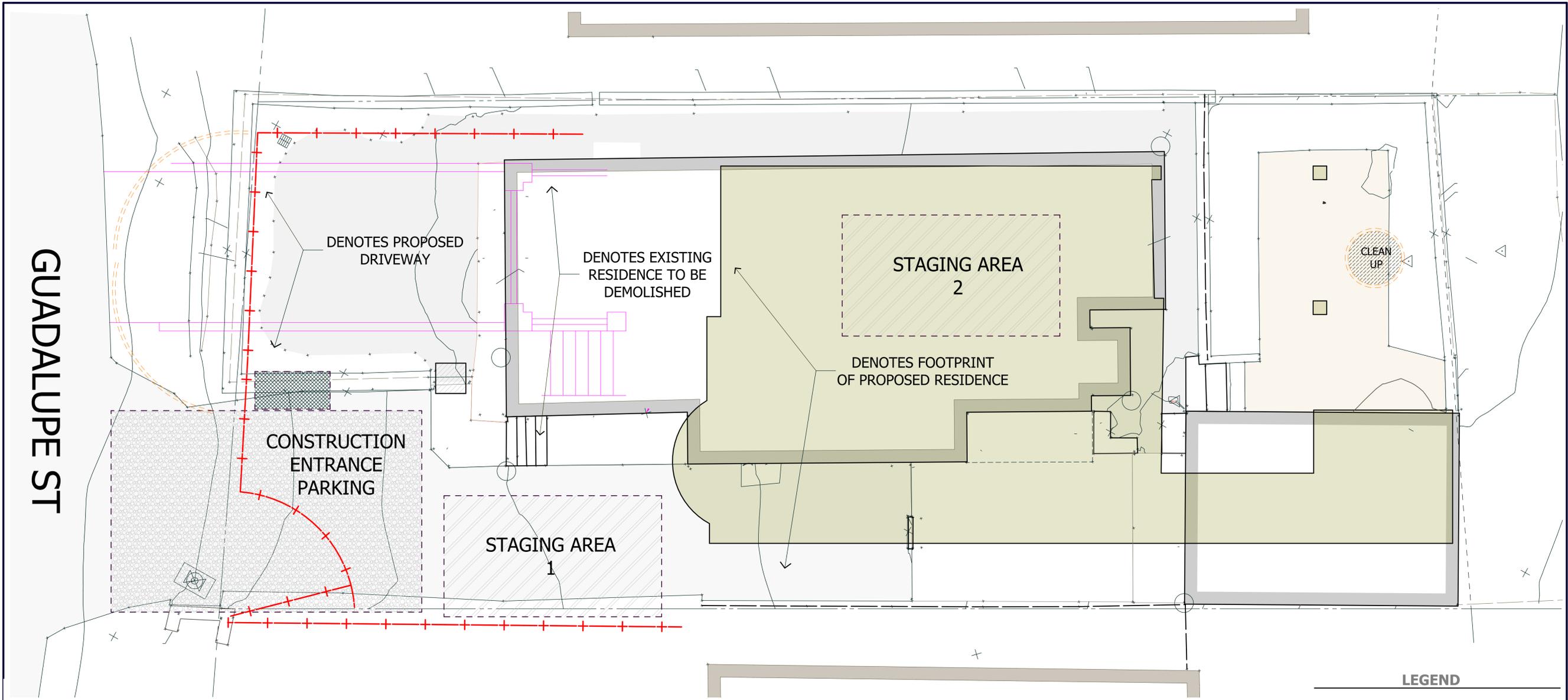
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**ABELSON & FAY
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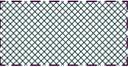
24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION



LEGEND

-  PROPOSED BUILDING
-  DENOTES CONSTRUCTION VEHICLE PARKING (1-1/2" DRAINROCK)
-  DENOTES SANITARY FACILITIES
-  DENOTES CLEAN UP AREA SEE DETAIL 1 THIS SHEET
-  DENOTES DEBRIS BOX
-  DENOTES STORAGE AREA FOR CONSTRUCTION MATERIALS
-  DENOTES SECURITY FENCE
-  DENOTES FIBER ROLLS



September 26, 2023

Construction Management Plan

Abelson/Fay Residence
24723 Guadalupe Street
Carmel, CA 93923

Plan created by:

Bonsai Builder Construction
1610 Dell Avenue, Unit B
Campbell, CA 95008
408-374-4115 (office)

Contact persons during construction:

- Ernest Culp (owner of Bonsai Builder Construction): 408.892.1850 cell
- Nina Urzi: Project coordinator: 408.691.3249 cell

Projected project construction dates:

- Start of Construction: April 2024
- Completion of Construction: December 2025

Bonsai Builder Construction project work hours:

- Monday through Friday 8:00AM to 5:00PM
- No work on weekends and holidays unless specifically requested

Tree protection:

- All trees will be protected as specified by the County of Monterey prior to the start of construction
- The specified trees will be clearly identified on the construction site plan if applicable.

1610 DELL AVE UNIT B CAMPBELL CA 95008 ■ 408.374.4115 ■ BONSAIBUILDER.COM

Site Management:

- The project will be fenced and a gate will be placed to the front right and left for truck access during construction.
- Compacted fill will be placed at the front of the construction site along Guadalupe Street during the construction process and maintained throughout construction. All erosion control measures will be followed and maintained throughout the construction process as well.
- Please refer to sheets C-0.1 thru C-4.0 as well as the construction management plan.
- All erosion control is to be maintained in compliance with sheet C-4.0.
- All site clean-up is to be directed by detail 1. Temporary Clean-up and Washing Facilities, sheet C-2.0.

Grading:

- Grading will take place during regular working hours: Monday thru Friday 8:00AM to 5:00PM only
- Dust will be managed during the grading process by keeping the soil damp, but not saturated, only
- Grading equipment will be kept within the footprint of the property and behind the construction fencing at the end of each day. No grading equipment will be parked along Guadalupe Street at any time.
- All construction related vehicles will be parked on site during the day.

Path to and away from the construction site:

To: Hwy 1 to Carpenter Street to Valley Way to 24723 Carpenter Street.
From: Guadalupe Street to Valley Way to Hwy 1

1610 DELL AVE UNIT B CAMPBELL CA 95008 ■ 408.374.4115 ■ BONSAIBUILDER.COM

Location of Sensitive Receptors:

- Closest school to Guadalupe Street:
4380 Carmel Valley Road
Carmel CA 93922
831-624-1546
- Closest hospital to Guadalupe Street:
3625 Holman Hwy
Monterey CA 93940
- Closest Fire Station to Guadalupe Street:
Rancho San Carlos Road
Carmel CA 93923
831-624-7334

1610 DELL AVE UNIT B CAMPBELL CA 95008 ■ 408.374.4115 ■ BONSAIBUILDER.COM

**CONSTRUCTION
MANAGEMENT
PLAN**

DATE : 7/24/2024

SCALE :

DRAWN BY : E.C. T.S.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 23724

SHEET NUMBER

A-0.2



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DESIGN
GROUP**
ARCHITECTURE · PLANNING · INTERIORS

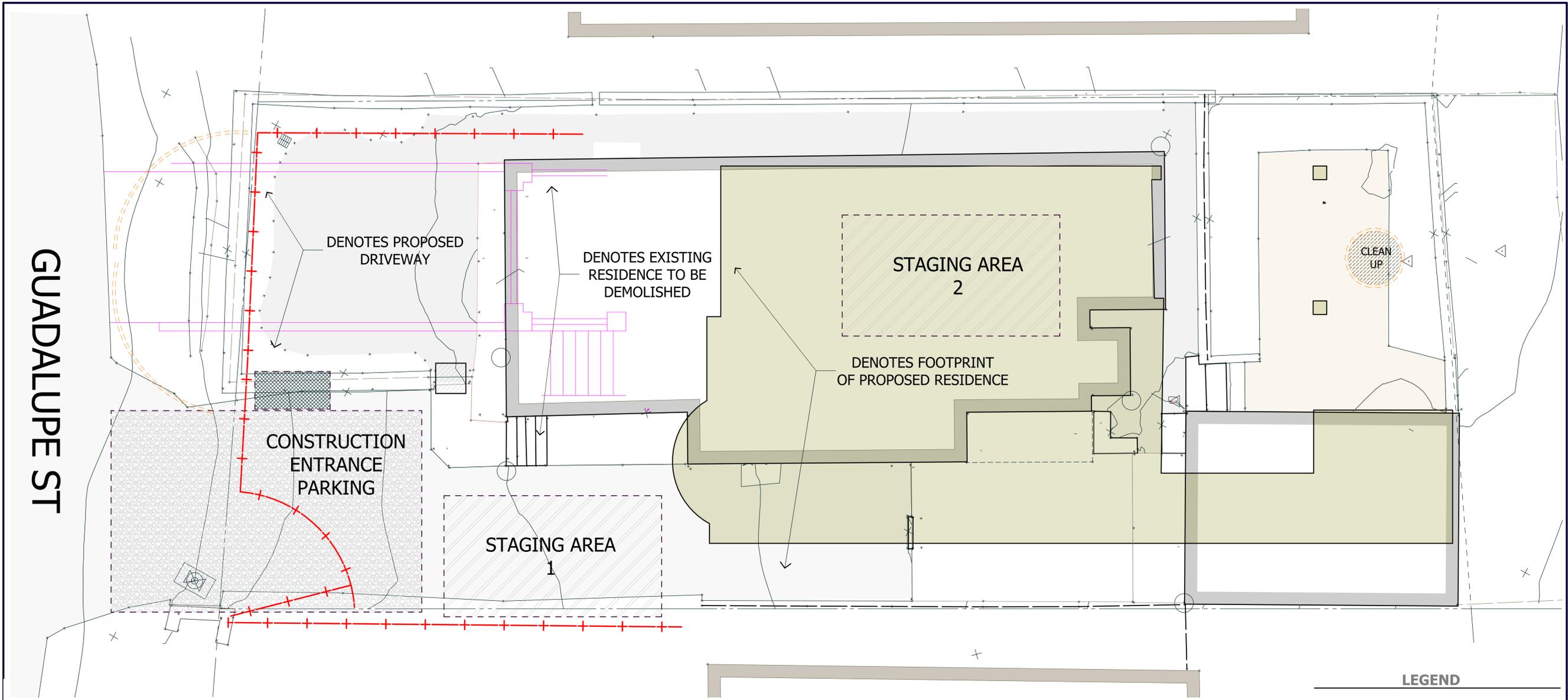
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PROJECT NAME
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24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS	



GUADALUPE ST



September 26, 2023

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LEGEND

- PROPOSED BUILDING
- DENOTES CONSTRUCTION VEHICLE PARKING (1-1/2" DRAINROCK)
- DENOTES SANITARY FACILITIES
- DENOTES CLEAN UP AREA SEE DETAIL 1 THIS SHEET
- DENOTES DEBRIS BOX
- DENOTES STORAGE AREA FOR CONSTRUCTION MATERIALS
- DENOTES SECURITY FENCE
- DENOTES FIBER ROLLS

**CONSTRUCTION
MANAGEMENT
PLAN**

DATE : 7/24/2024
SCALE :
DRAWN BY : E.C. T.S.
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER

A-0.2



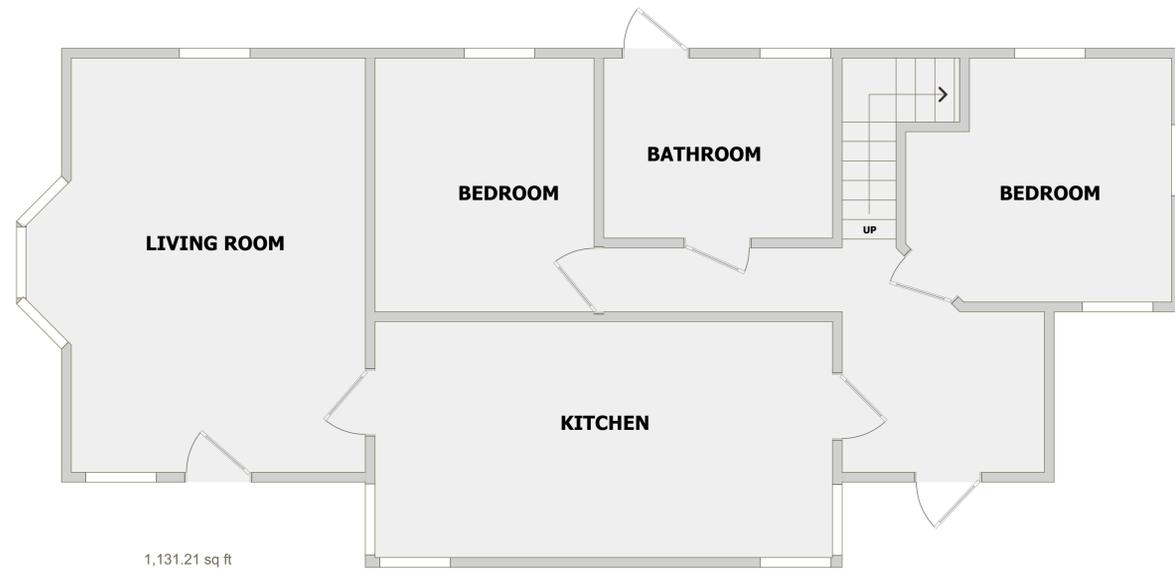
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**ABELSON & FAY
RESIDENCE**
24723 GUADALUPE STREET
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APN 009-141-022

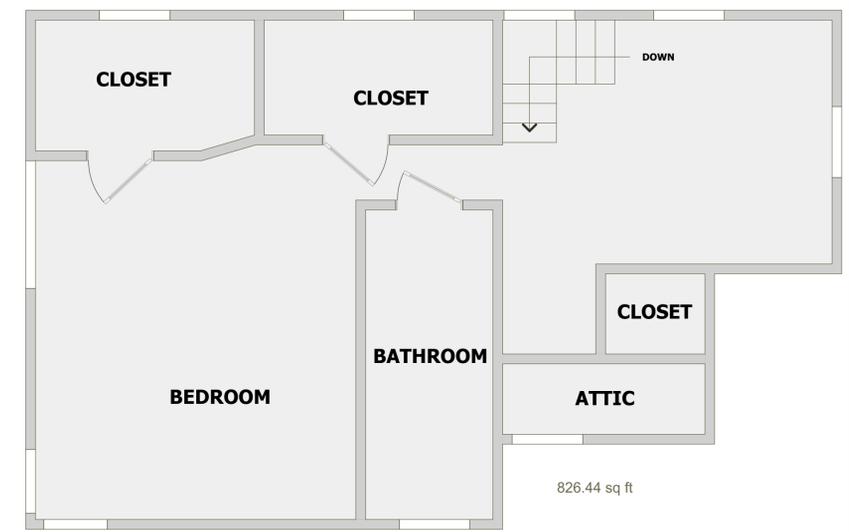
REVISIONS	



**MAIN FLOOR AND
ADU PLAN**

EXISTING FLOOR AREA

UPPER LEVEL	826.44 SF
MAIN LEVEL	1,131.21 SF
ACCESSORY BUILDING	329.88 SF
TOTAL	2,287.53 SF



UPPER FLOOR PLAN

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: EXISTING ACCESSORY BUILDING - NORTHWEST ELEVATION

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: STREET ELEVATION - FROM GUDALUPE STREET

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: LOOKING TOWARD REAR PROPERTYLINE AND PROPERTY CORNERS - OAK TREES

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: EXISTING RESIDENCE LEFT SIDE - NORTH WEST ELEVATION

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: RIGHT SIDE - SOUTHEAST ELEVATION

PROJECT FILE NO. _____ PHOTOGRAPHS

Date: June 26 2023 Site Address: 24723 Guadalupe Street Planner: _____
Description: LOOKING AT REAR - NORTH EAST ELEVATION AND ADU AND PATIO AREA

**EXISTING
FLOOR PLANS
&
CONDITIONS**

DATE : 7/24/2024
SCALE :
DRAWN BY : C.S.
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER
A-0.3

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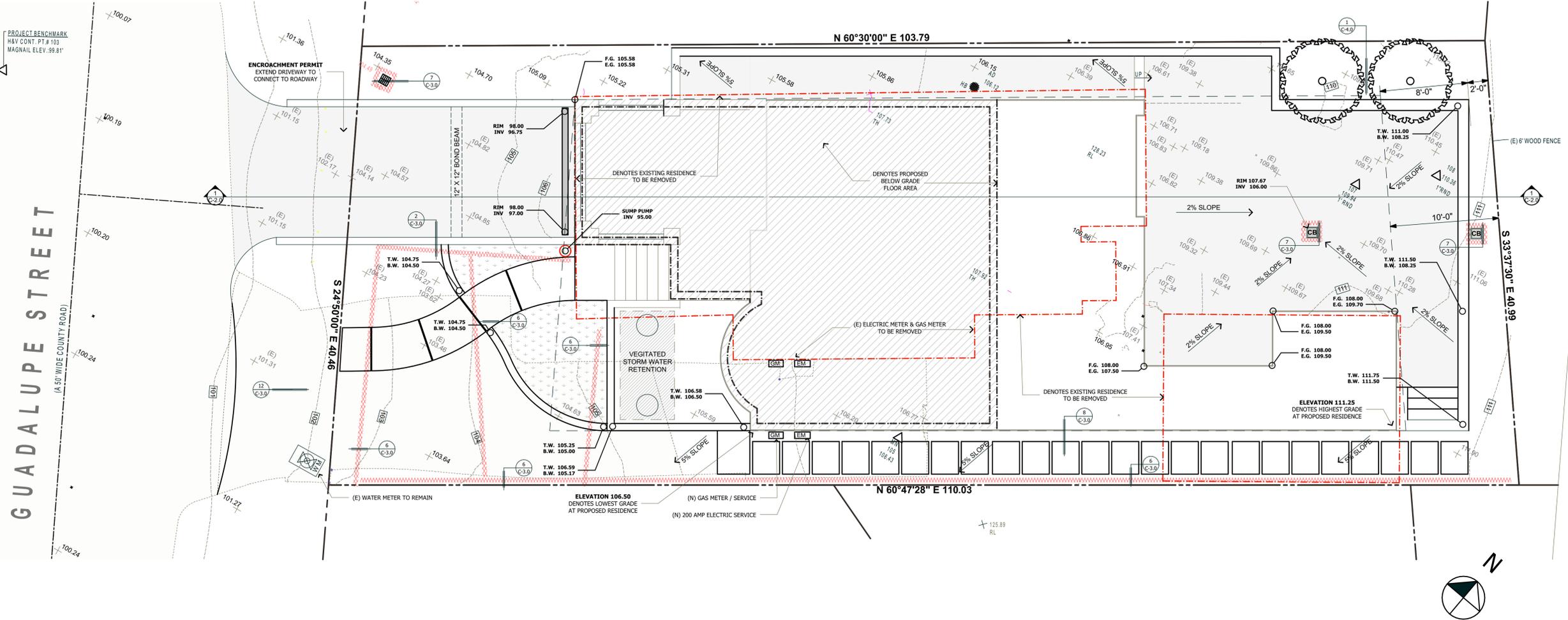
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PROJECT NAME
ABELSON & FAY RESIDENCE

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION



LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTER LINE	---
SECTION LINE	---
EDGE OF PAVEMENT	---
CURB AND GUTTER	---
DRAINAGE FLOW DIRECTION	---
FENCE (TYPE)	---
SANITARY SEWER LINE	---
STORM DRAIN LINE	---
SANITARY MANHOLE	---
STORM MANHOLE	---
SUBDRAIN	---
GAS LINE	---
WATER LINE	---
GRADE ELEVATION	---
GRATE INLET W/ FIBER ROLLS	---
DOWNSPOUT	---
TREE TO REMAIN	---
TREE TO BE REMOVED	---
PROPOSED TREE	---
SPOT ELEVATION	---
PROTECTIVE TREE FENCING	---
TEMPORARY FIBER ROLLS	---

ABBREVIATIONS

A.B.	AGGREGATE BASE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	MON.	MONUMENT
B.C.	BEGINNING OF CURVE (HORIZ.)	M.V.C.	MIDDLE OF VERTICAL CURVE
B.O.	BLOW OFF	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.	PROPOSED
C.B.	CATCH BASIN	P.C.C.	PORTLAND CEMENT CONCRETE
C.L.	CENTERLINE	P.C.R.	POINT ON CURB RETURN
C.O.	CLEAN OUT	P.V.C.	POLYVINYL CHLORIDE
CONT.	CONTINUOUS	P.V.I.	POINT OF VERTICAL INTERSECTION
D.I.P.	DUCTILE IRON PIPE	R	RADIUS
D.S.	DOWN SPOUTS	R.C.P.	REINFORCED CONCRETE PIPE
D/W	DRIVEWAY	R/W	RIGHT OF WAY
E.C.	END OF CURVE (HORIZ.)	S	SLOPE
ELEV.	ELEVATION	S.D.	STORM DRAIN
E.	EXISTING	S.D.M.H.	STORM DRAIN MANHOLE
E.V.C.	END OF VERTICAL CURVE	S.F.	SQUARE FEET
F.F.	FINISHED FLOOR ELEVATION	SHT.	SHEET
F.G.	FINISHED GRADE	S.S.	SANITARY SEWER
F.H.	FIRE HYDRANT	S.S.M.H.	SANITARY SEWER MANHOLE
F.C.	FACE OF CURB	STD.	STANDARD
F.L.	FLOW LINE	S/W	SIDEWALK
F.S.	FINISHED SURFACE	T.C.	TOP OF CURB
G.B.	GRADE BREAK	TW	TOP OF RETAINING WALL
G.V.	GATE VALVE	TYP.	TYPICAL
H.P.	HIGH POINT	U.N.O.	UNLESS NOTED OTHERWISE
I.D.	INSIDE DIAMETER	V.C.	VERTICAL CURVE
INV.	INVERT	W.C.P.	VITRIFIED CLAY PIPE
L.F.	LINEAR FEET	W.	WATER
L.P.	LOW POINT	W.M.	WATER METER
MAX.	MAXIMUM	W.V.	WATER VALVE
M.H.	MANHOLE	W.S.	WATER SERVICE

EARTHWORK QUANTITIES

TYPE OF WORK	LOCATION	CUT	FILL	EXCAVATION	TOTAL
EXCAVATION	GARAGE LEVEL	370 C.Y.	0 C.Y.	370 C.Y.	370 C.Y.
EXCAVATION	ACCESSORY STR.	28 C.Y.	0 C.Y.	28 C.Y.	28 C.Y.
GRADING	DRIVEWAY	38 C.Y.	0 C.Y.	38 C.Y.	38 C.Y.
GRADING	WALKS & PATIO	71 C.Y.	0 C.Y.	71 C.Y.	71 C.Y.
TOTAL	-	507 C.Y.	0 C.Y.	507 C.Y.	507 C.Y.
EXPORT	-	-	-	-	507 C.Y.
MAXIMUM	-	11'-0"	0 C.Y.	11'-0"	-

GRADING QUANTITY OUTSIDE OF BUILDING AREA - 109 CY
EXCAVATION QUANTITY BELOW BUILDING FOOTPRINT 398 CY

NOTE:
EARTH WORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

NOTE: GEOTECHNICAL FIELD INSPECTION -
THE GEOTECHNICAL CONSULTANT SHALL INSPECT, TEST (AS NEEDED), AND APPROVE ALL GEOTECHNICAL ASPECTS OF THE PROJECT CONSTRUCTION. THE INSPECTIONS SHOULD INCLUDE, BUT NOT NECESSARILY BE LIMITED TO: SITE PREPARATION AND GRADING, SITE SURFACE AND SUBSURFACE DRAINAGE IMPROVEMENTS AND EXCAVATIONS FOR FOUNDATIONS AND RETAINING WALLS PRIOR TO THE PLACEMENT OF STEEL AND CONCRETE. THE CONSULTANT SHALL VERIFY THAT FILL MATERIALS PLACED ON SLOPING GROUND ARE PROPERLY KEYED AND BENCHED INTO SUPPORTIVE MATERIALS, AS NECESSARY.

NOTES:
RAIN WATER DISCHARGE AT DOWNSPOUTS MUST BE DIRECTED INTO SOLID PIPE TO CARRY AWAY THE EXCESS WATER AND PREVENT WATER FROM COLLECTING IN THE SOIL ADJACENT TO THE FOUNDATION. NO STORMWATER SHALL BE DIRECTED TOWARD ADJACENT PROPERTIES.

DUST CONTROL PLAN GUIDELINES

- 1 ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTAINED IN SUCH MANNER AS TO PREVENT ANY SIGNIFICANT NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS. EQUIPMENT AND MATERIALS ON SITE SHOULD BE USED IN SUCH MANNER AS TO AVOID EXCESSIVE DUST. A "DUST CONTROL PLAN" MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
 - 2 A DUST PALLIATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE COUNTY. THE TYPE AND RATE OF APPLICATION SHALL BE AS RECOMMENDED BY THE SOIL ENGINEER AND APPROVED BY THE DIRECTOR OF PUBLIC WORKS, ENVIRONMENTAL HEALTH OFFICER, AND ANY APPROPRIATE STATE AGENCY.
- OFF - SITE HAULING INFORMATION**
SIZE OF TRUCKS WILL BE END DUMPS AND TRANSFERS. HAUL ROUTES WILL BE .DUST WILL BE CONTROLLED WITH THE USE OF A WATER TRUCK. THE TIME AND FREQUENCY OF THE HAULING OPERATIONS WILL BE BETWEEN 7:30 AM TO 3:30 PM, WORST CASE EVERY 15-20 MINUTES.

STANDARD GRADING PLAN NOTES

- 1 PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK/ GRADING ACTIVITIES, THE PERMITEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE COUNTY OF MONTEREY GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH- WORK/GRADING ACTIVITIES.
- 2 APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH. THIS APPROVAL DOES NOT CONFER ANY RIGHT OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
- 3 IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- 4 THE PERMITEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT OF WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN SAFE AND USABLE CONDITION.
- 5 ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICLES.
- 6 THIS PLAN SHALL NOT APPROVE THE REMOVAL OF ANY TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 7 THE PROJECT ARCHITECT, TOM SLOAN HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY: BULIANO GEOTECHNICAL ENGINEERING, INC. (831) 724-2612 PROJECT NO. 22-270-M
- 8 ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- 9 ALL CONSTRUCTION SITE ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE BY OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- 10 GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:00 AM TO 5:30 PM.

GRADING PLAN

DATE : 7/24/2024
SCALE : 1' = 5'
DRAWN BY : C.S. T.S.
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER
C-1.0



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GROUP**
ARCHITECTURE - PLANNING - INTERIORS

1475 S. BASCOM AVE SUITE 208
CAMPBELL, CA 95008
(408) 871-1071 phone
www.metroarchitects.com

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PROJECT NAME

**ABELSON & FAY
RESIDENCE**

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CARMEL, CA 93923
APN 009-141-022

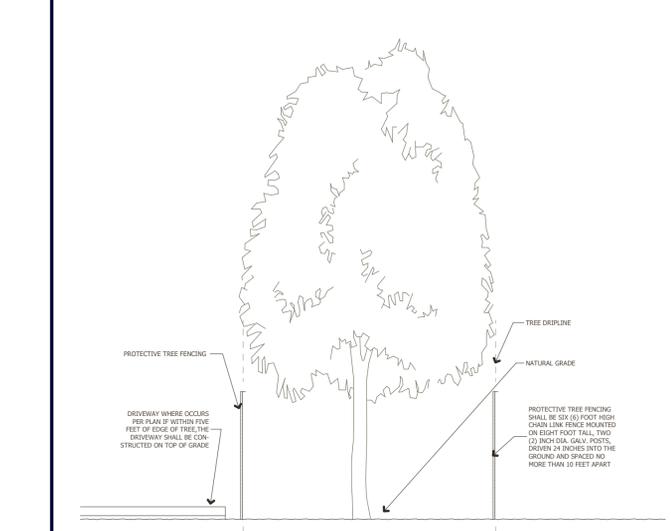
NO.	REVISIONS

**SITE &
DRAINAGE
DETAILS**

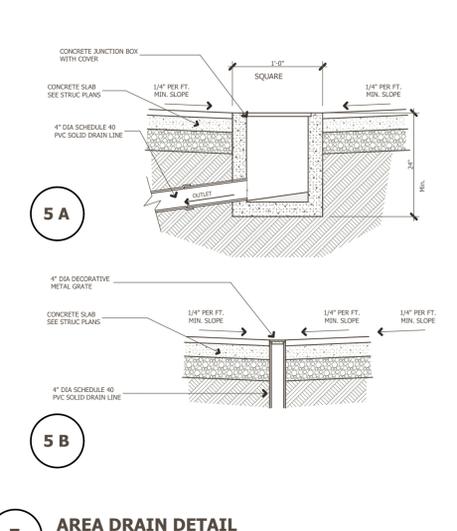
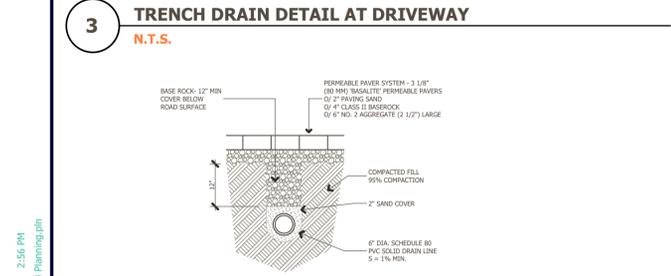
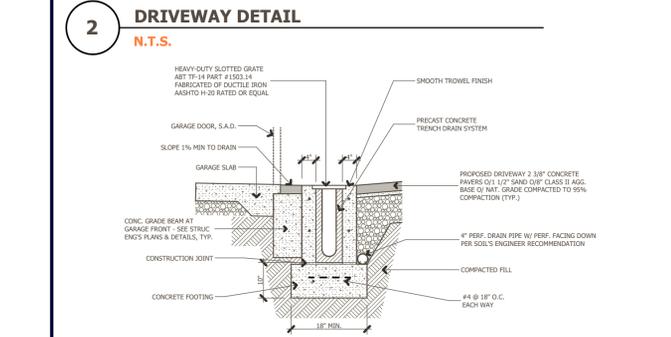
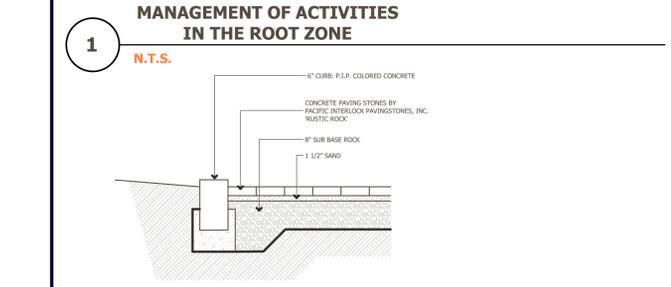
DATE : 7/24/2024
SCALE :
DRAWN BY : T.S.
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER

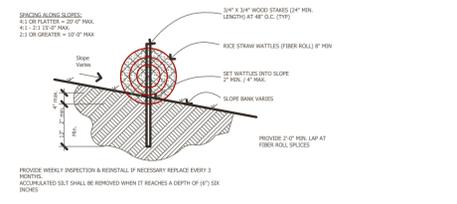
C-3.0



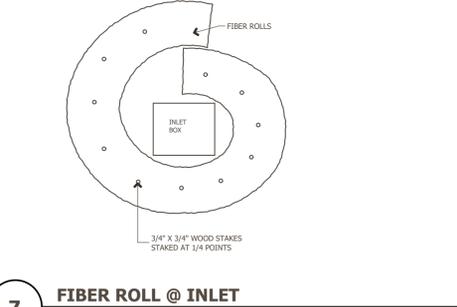
- NOTES:**
- TREE PROTECTIVE FENCING SHALL BE INSPECTED AND APPROVED PRIOR TO OBTAINING BUILDING DIVISION PERMITS.
 - NO EXCAVATION SHALL OCCUR WITHIN FIVE FEET OF TREE CANOPIES FOR INSTALLATION OF UTILITIES OR DRIVEWAY.
 - NO FILL SOIL SHALL BE PLACED ANY CLOSER THAN FIVE FEET OUTSIDE THE EDGE OF THE CANOPY OF ANY TREE ON PROPERTY.
 - UNLESS OTHERWISE APPROVED, ALL CONSTRUCTION ACTIVITIES MUST BE CONDUCTED OUTSIDE THE DESIGNATED FENCED AREA (EVEN AFTER FENCING IS REMOVED). THESE ACTIVITIES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: DEMOLITION, GRADING, TRENCHING, EQUIPMENT CLEANING, STOCKPILING AND DUMPING MATERIALS (INCLUDING SOIL FILL), AND EQUIPMENT/VEHICLE OPERATION AND PARKING.
 - THE DISPOSAL OF HARMFUL PRODUCTS, INCLUDING BUT NOT LIMITED TO CHEMICALS, PAINT RINSE WATER, FUEL, CEMENT WATER RINSE, HERBICIDES, OR OTHER MATERIALS, IS PROHIBITED BENEATH TREE CANOPIES OR ANYWHERE ON SITE THAT ALLOWS DRAINAGE BENEATH TREE CANOPIES.



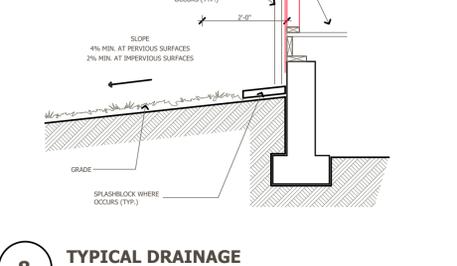
5 AREA DRAIN DETAIL
N.T.S.



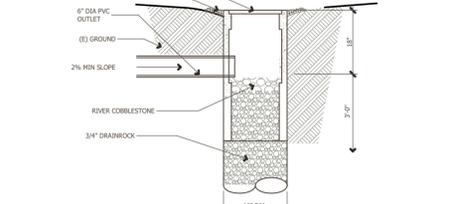
6 FIBER ROLL SECTION
N.T.S.



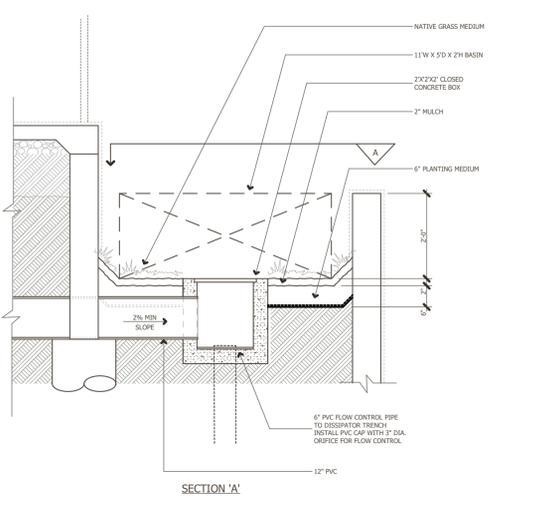
7 FIBER ROLL @ INLET
N.T.S.



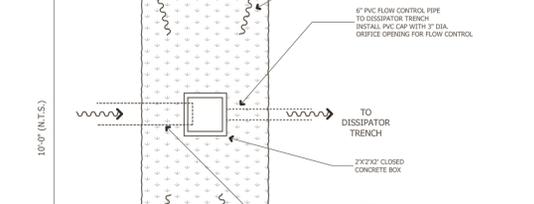
8 TYPICAL DRAINAGE
N.T.S.



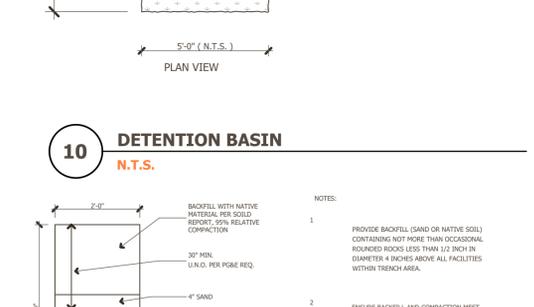
9 BUBBLER DETAIL
N.T.S.



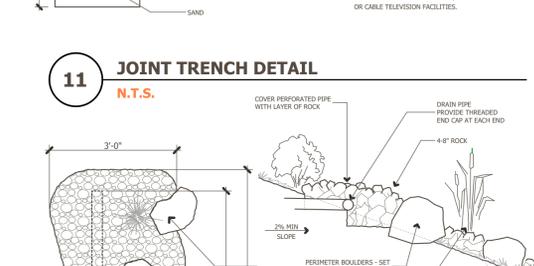
10 DETENTION BASIN
N.T.S.



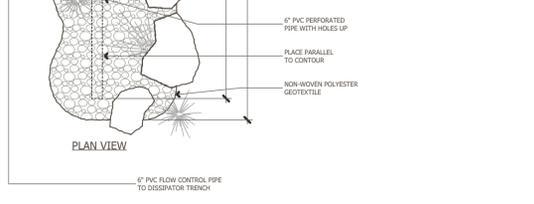
11 JOINT TRENCH DETAIL
N.T.S.



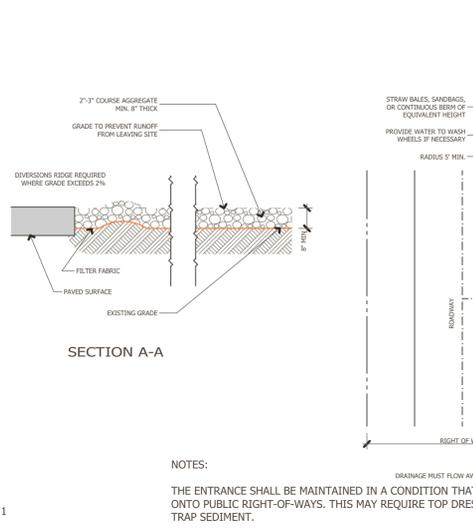
12 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
N.T.S.



13 RETAINING WALL DRAINAGE DETAIL
N.T.S.



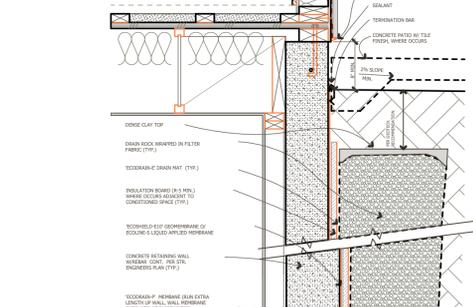
14 DISSIPATOR TRENCH
N.T.S.



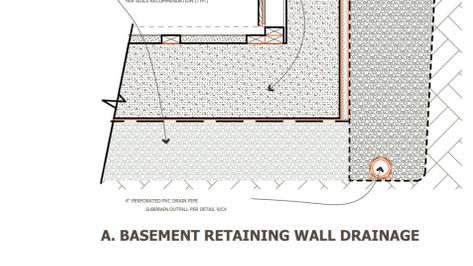
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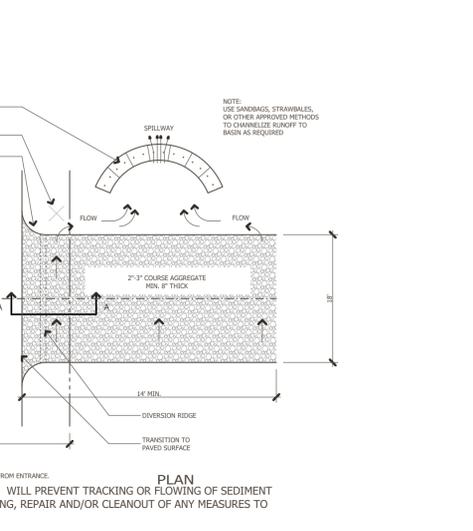
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SECTION A-A



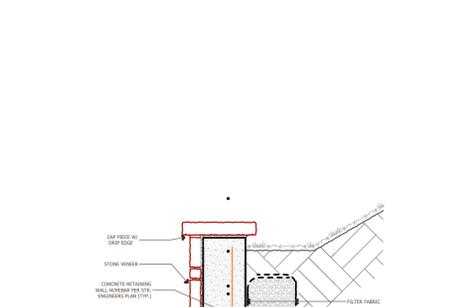
SECTION A-A



SECTION A-A



SECTION A-A



SECTION A-A



SECTION A-A



SECTION A-A



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1475 S. BASCOM AVE SUITE 208
CAMPBELL, CA 95008
(408) 871-1071 phone
www.metroarchitects.com

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PROJECT NAME
**ABELSON & FAY
RESIDENCE**

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CARMEL, CA 93923
APN 009-141-022

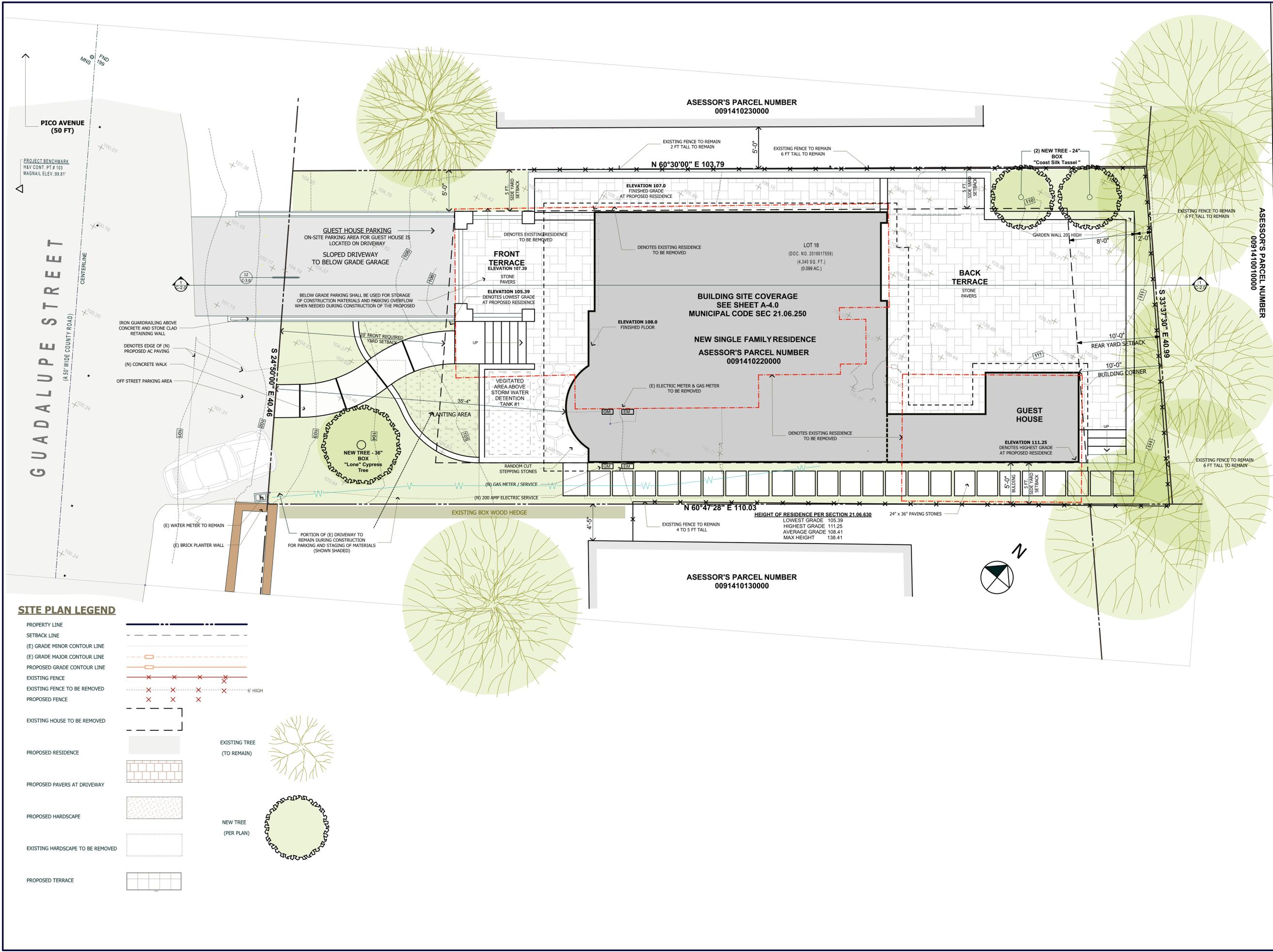
REVISIONS	

SITE PLAN

DATE : 8/2/2024
 SCALE : 1" = 5'-0"
 DRAWN BY : TS
 CHECKED BY : TS
 ARCHITECT : TOM SLOAN
 PROJECT NO : 23724

SHEET NUMBER

A-1.0

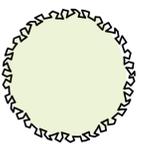


SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) GRADE MINOR CONTOUR LINE
- (E) GRADE MAJOR CONTOUR LINE
- PROPOSED GRADE CONTOUR LINE
- EXISTING FENCE
- EXISTING FENCE TO BE REMOVED
- PROPOSED FENCE
- EXISTING HOUSE TO BE REMOVED
- PROPOSED RESIDENCE
- PROPOSED PAVERS AT DRIVEWAY
- PROPOSED HARDSCAPE
- EXISTING HARDSCAPE TO BE REMOVED
- PROPOSED TERRACE

EXISTING TREE
(TO REMAIN)

NEW TREE
(PER PLAN)





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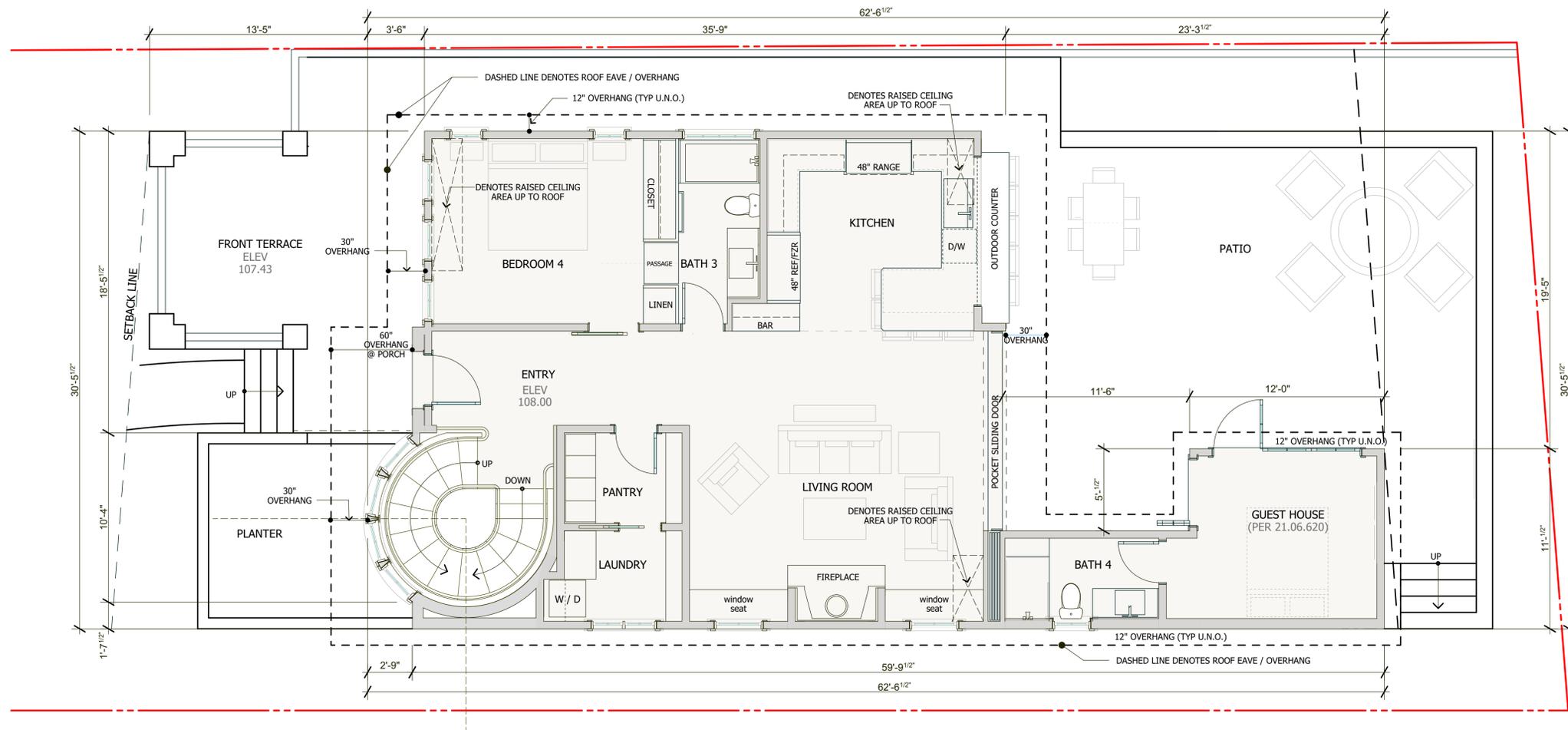
PROJECT NAME

**ABELSON & FAY
RESIDENCE**

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION



MAIN FLOOR PLAN



FLOOR PLAN LEGEND

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES WALL W/ SOUND INSULATION
- INDICATES CEILING TRANSITION
- INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
- INDICATES CROSS SECTION MARKER SEE A-6 SHEETS
- INDICATES NOTE REFERENCE SEE SHEET A3 FOR FLOOR PLAN NOTES
- INDICATES NEW WINDOW
- INDICATES NEW DOOR
- INDICATES NEW CABINETRY
- INDICATES NEW PLUMBING FIXTURE

AREA TABULATIONS

1. FLOOR AREA

PROPOSED FLOOR AREA	
MAIN FLOOR LEVEL	946.8 SF
GUEST HOUSE	178.8 SF
UPPER FLOOR LEVEL	826.9 SF
TOTAL FLOOR AREA (PROPOSED)	1,952.5 SF
BELOW GRADE FLOOR AREA	
GARAGE AND STORAGE LEVEL	1,130.73 SF
EXISTING FLOOR AREA	
MAIN FLOOR LEVEL	1,131.21 SF
UPPER FLOOR LEVEL	826.44 SF
ACCESSORY BUILDING	329.88 SF
TOTAL FLOOR AREA (EXISTING)	2,287.53 SF

**MAIN
FLOOR
PLAN**

DATE : 7/24/2024

SCALE : 1/4" = 1'-0"

DRAWN BY : TS

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 23724

SHEET NUMBER

A-2.0



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CAMPBELL, CA 95008
(408) 871-1071 phone
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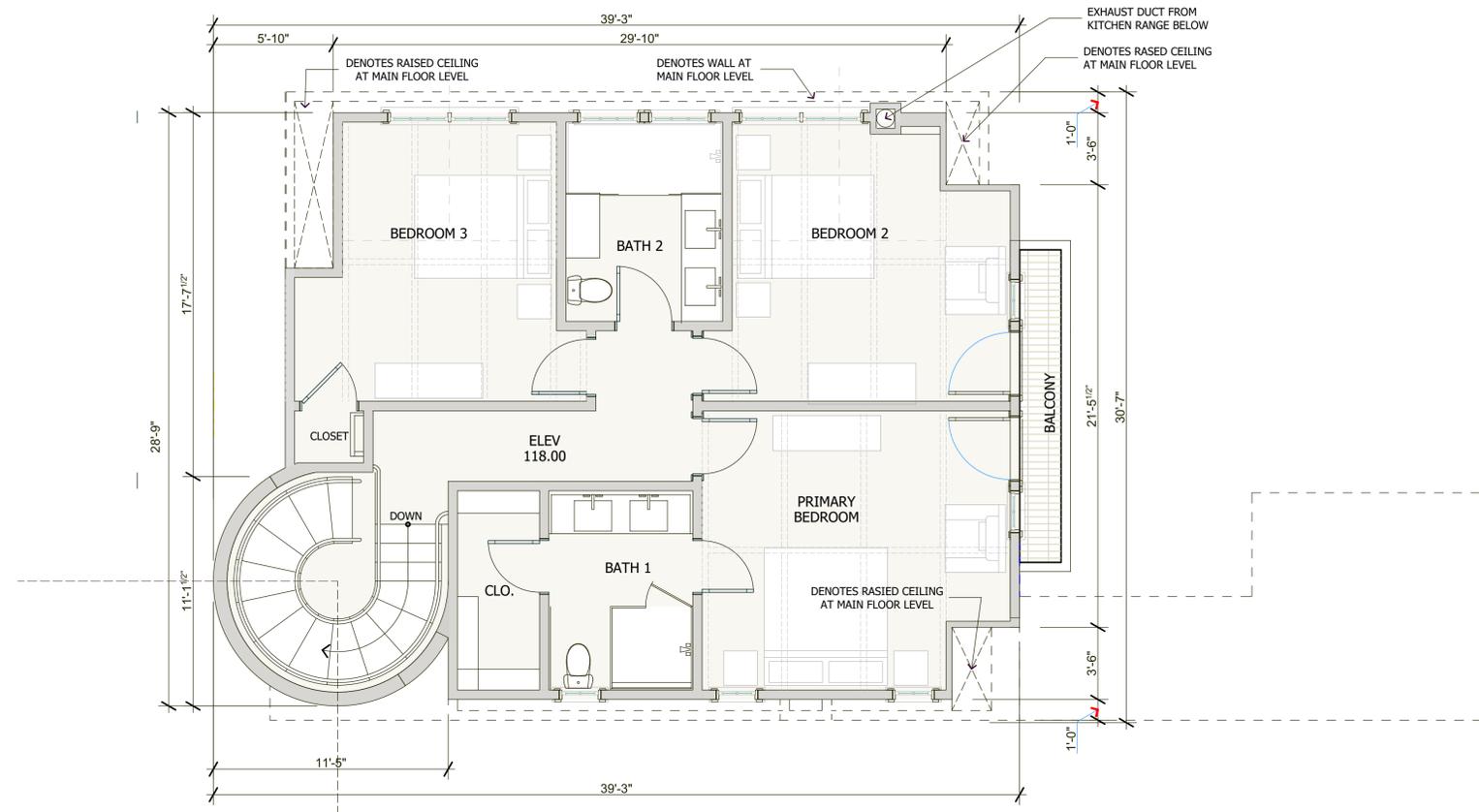
PROJECT NAME

**ABELSON & FAY
RESIDENCE**

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION



UPPER FLOOR PLAN



FLOOR PLAN LEGEND

(N)	INDICATES NEW FEATURES
==	INDICATES NEW 2x4 WALLS
---	INDICATES NEW 2x6 WALLS
---	INDICATES WALL W/ SOUND INSULATION
- - -	INDICATES CEILING TRANSITION
⬠	INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
⬠	INDICATES CROSS SECTION MARKER SEE A-6 SHEETS
#	INDICATES NOTE REFERENCE SEE SHEET A3 FOR FLOOR PLAN NOTES
1	INDICATES NEW WINDOW
6	INDICATES NEW DOOR
☐	INDICATES NEW CABINETRY
🚽	INDICATES NEW PLUMBING FIXTURE

AREA TABULATIONS

1. FLOOR AREA

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TOTAL FLOOR AREA (PROPOSED)	1,952.5 SF

BELOW GRADE FLOOR AREA	
GARAGE AND STORAGE LEVEL	1,130.73 SF

EXISTING FLOOR AREA	
MAIN FLOOR LEVEL	1,131.21 SF
UPPER FLOOR LEVEL	826.44 SF
ACCESSORY BUILDING	329.88 SF
TOTAL FLOOR AREA (EXISTING)	2,287.53 SF

**UPPER
FLOOR
PLAN**

DATE : 7/24/2024

SCALE : 1/4" = 1'-0"

DRAWN BY : TS

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 23724

SHEET NUMBER

A-2.1



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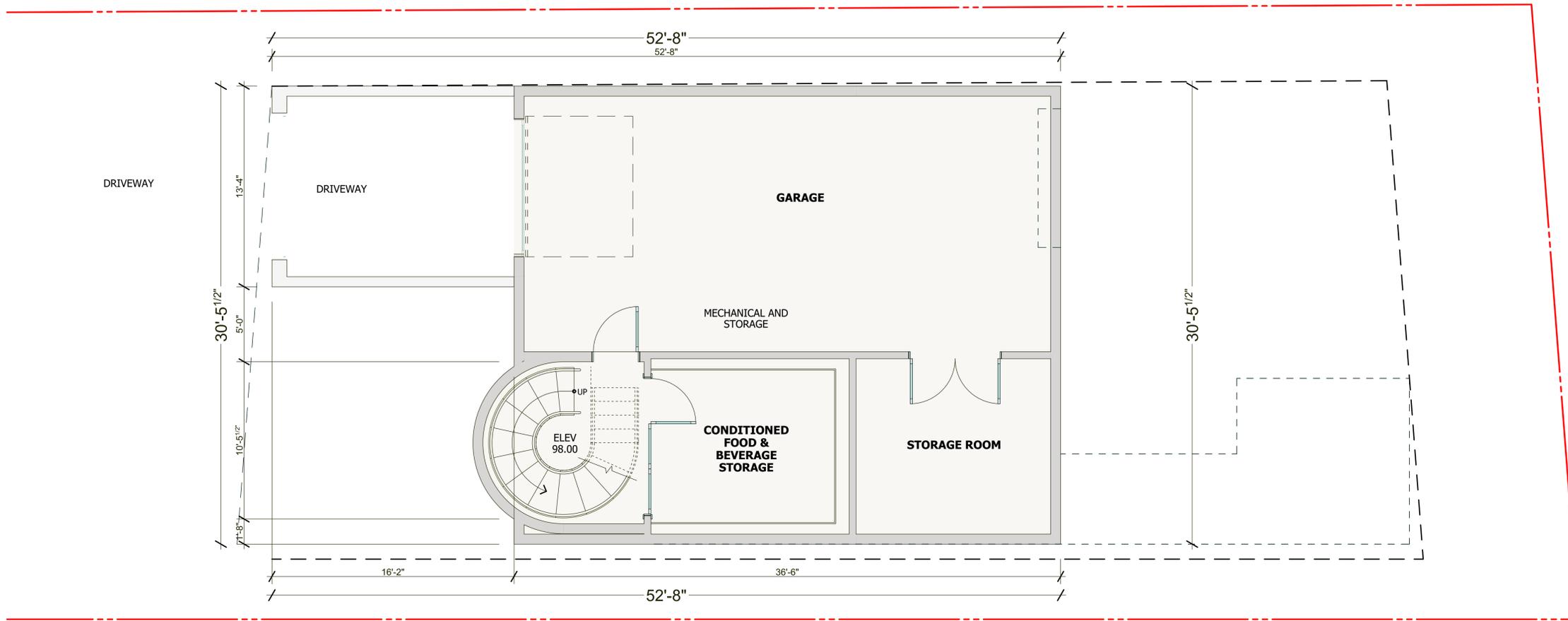
PROJECT NAME

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APN 009-141-022

REVISIONS

NO.	DESCRIPTION



LOWER FLOOR PLAN
ENTIRELY BELOW GRADE



FLOOR PLAN LEGEND

(N)	INDICATES NEW FEATURES
=====	INDICATES NEW 2x4 WALLS
=====	INDICATES NEW 2x6 WALLS
=====	INDICATES WALL W/ SOUND INSULATION
----	INDICATES CEILING TRANSITION
◆ A-2 ◆	INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
△ #	INDICATES CROSS SECTION MARKER SEE A-6 SHEETS
#	INDICATES NOTE REFERENCE SEE SHEET A3 FOR FLOOR PLAN NOTES
◇ 1	INDICATES NEW WINDOW
◇ 6	INDICATES NEW DOOR
□	INDICATES NEW CABINETRY
○	INDICATES NEW PLUMBING FIXTURE

AREA TABULATIONS

1. FLOOR AREA

PROPOSED FLOOR AREA	
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MAIN FLOOR LEVEL	1,131.21 SF
UPPER FLOOR LEVEL	826.44 SF
ACCESSORY BUILDING	329.88 SF
TOTAL FLOOR AREA (EXISTING)	2,287.53 SF

**LOWER
FLOOR
PLAN**

DATE : 7/24/2024
SCALE : 1/4" = 1'- 0"
DRAWN BY : TS
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER

A-2.2



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PROJECT NAME

**ABELSON & FAY
RESIDENCE**

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CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION

**EXTERIOR
ELEVATIONS**

NORTHEAST ELEVATION
SOUTHWEST ELEVATION

DATE : 7/24/2024

SCALE : 1/4" = 1'-0"

DRAWN BY : CS

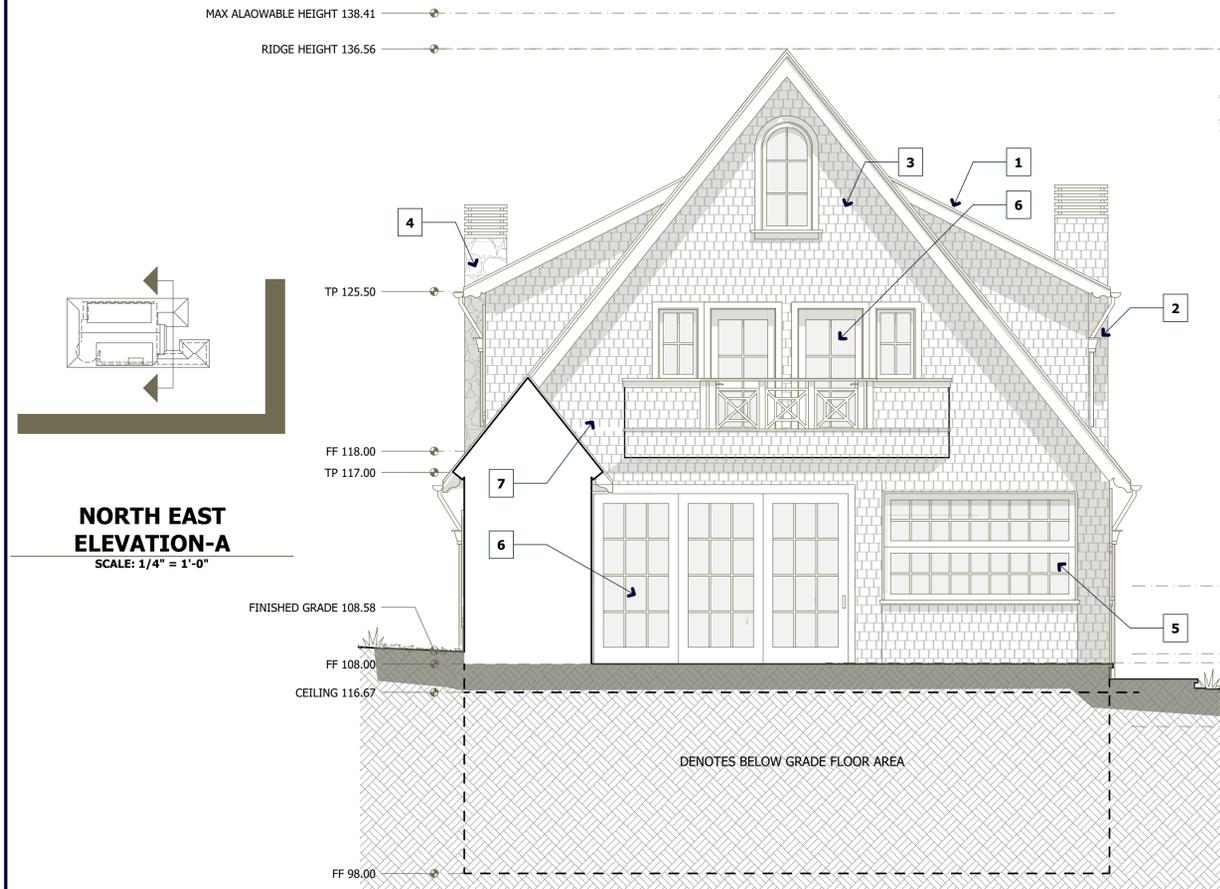
CHECKED BY : TS

ARCHITECT : TOM SLOAN

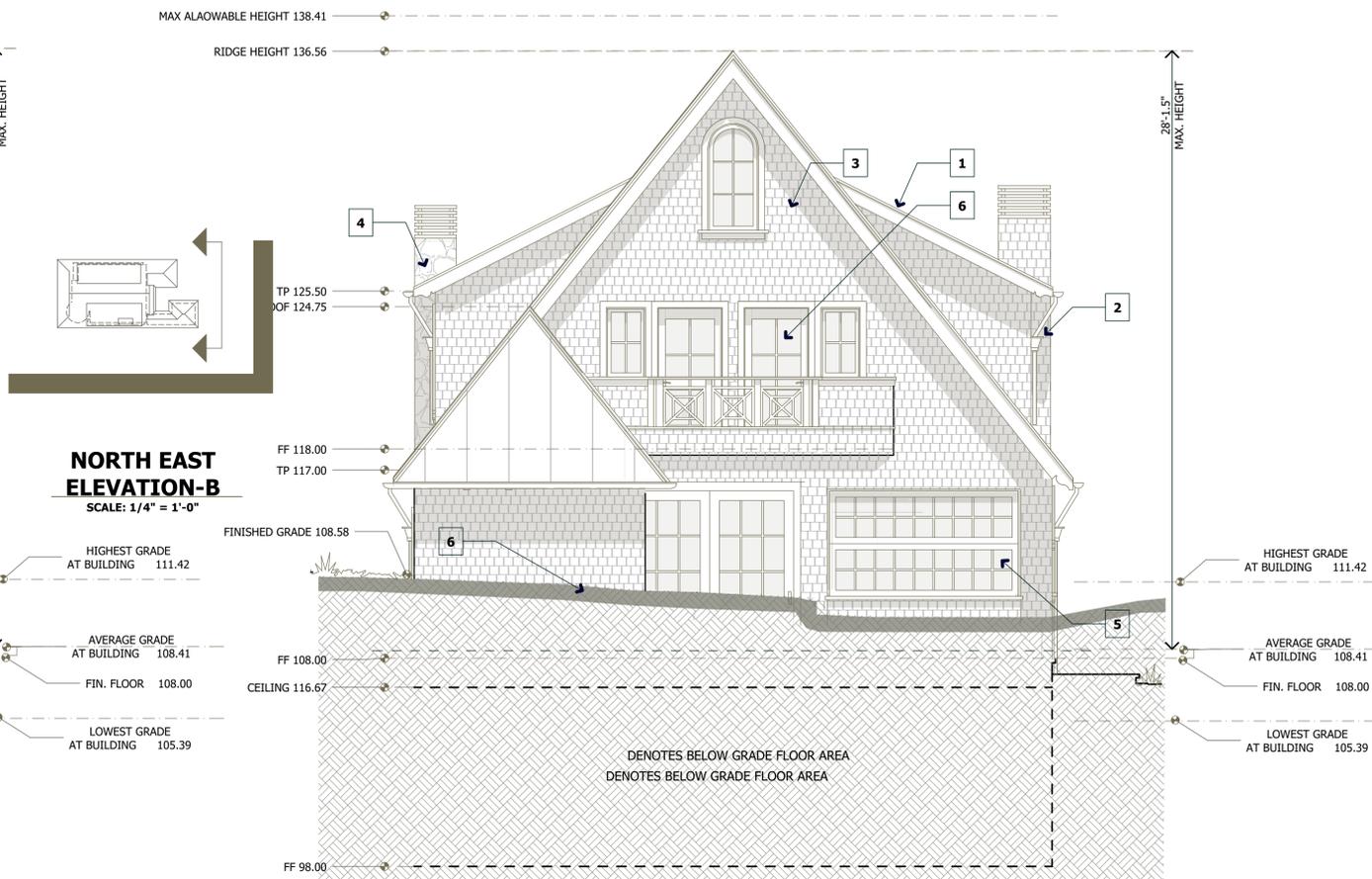
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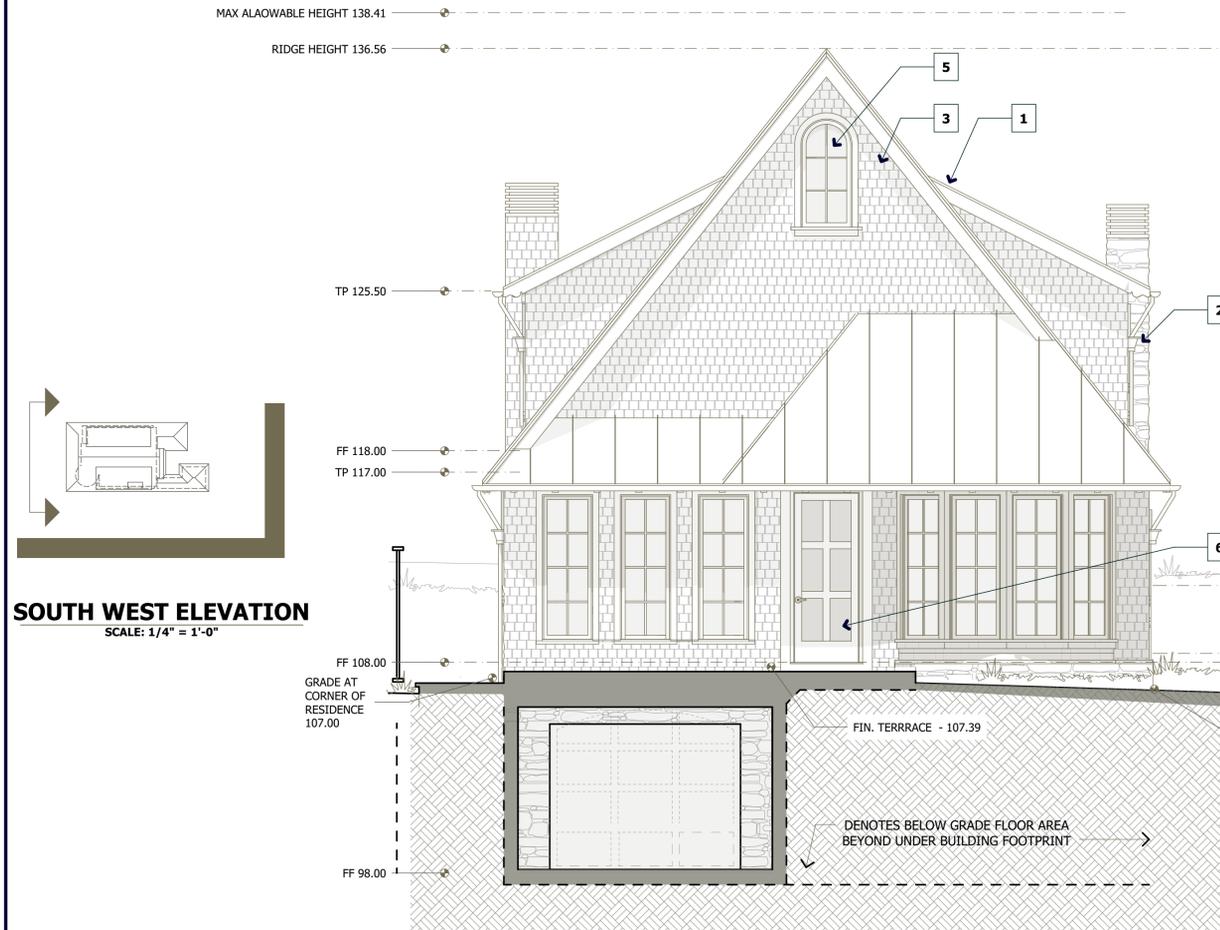
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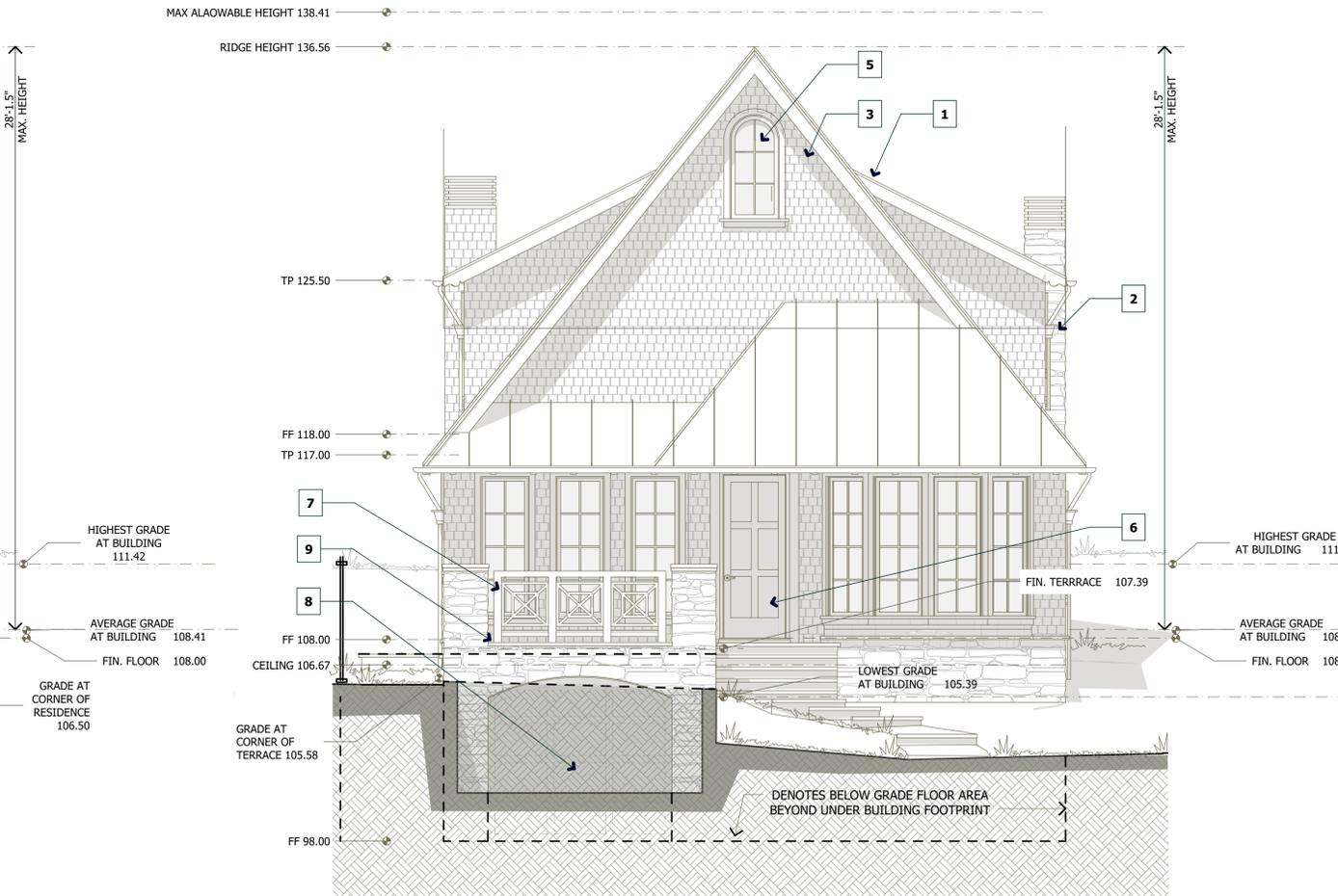
**NORTH EAST
ELEVATION-A**
SCALE: 1/4" = 1'-0"



**NORTH EAST
ELEVATION-B**
SCALE: 1/4" = 1'-0"



SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0"



7/24/2024 2:56 PM
ABELSON GABRIEL 7-24 Planning.rvt



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(408) 871-1071 phone
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PROJECT NAME

**ABELSON & FAY
RESIDENCE**

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DESCRIPTION

**PROPOSED
ROOF PLAN**

DATE : 7/24/2024

SCALE : 1/4" = 1'-0"

DRAWN BY : CS TS

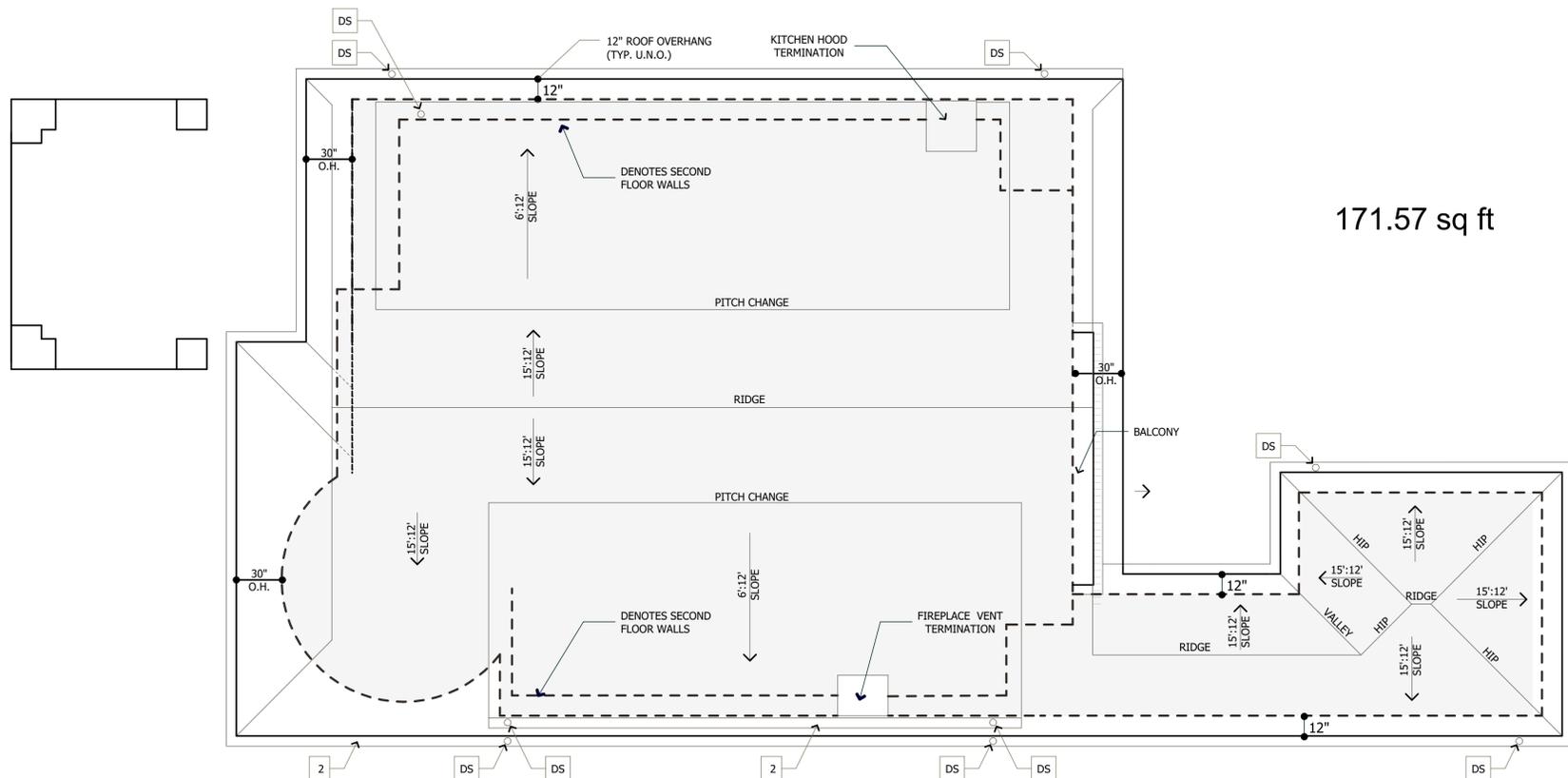
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 23724

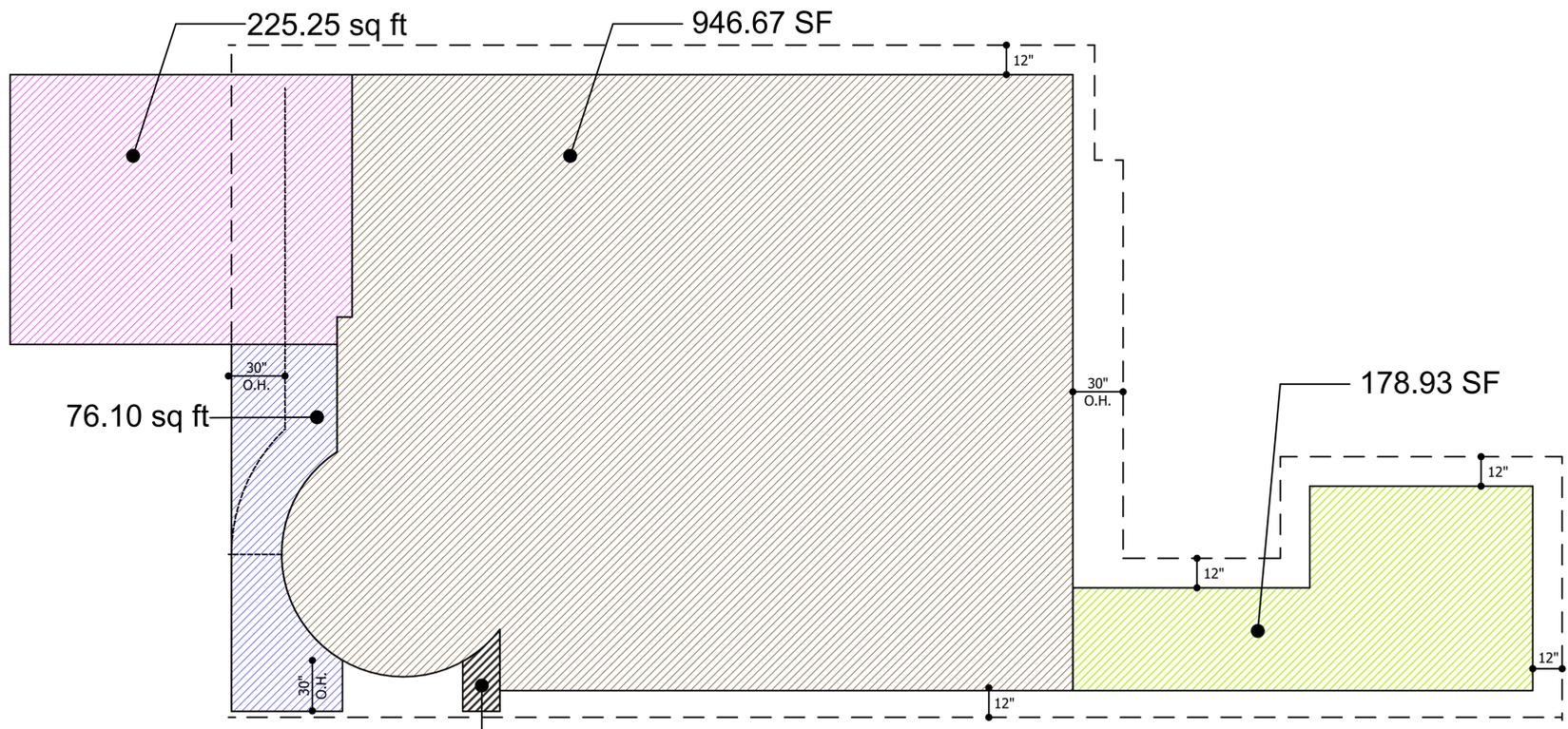
SHEET NUMBER

A-4.0



171.57 sq ft

ROOF PLAN



1,432.77 SF TOTAL BUILDING COVERAGE

- 946.67 SF AREA OF MAIN RESIDENCE FOOTPRINT
- 225.25 SF AREA BELOW FRONT TERRACE
- 178.93 SF AREA OF GUEST HOUSE
- 79.10 SF AREA OF FRONT OVERHANG (LESS 30" OVERHANG)
- 5.82 SF AREA OF FRONT OVERHANG (LESS 30" OVERHANG)

BUILDING SITE COVERAGE



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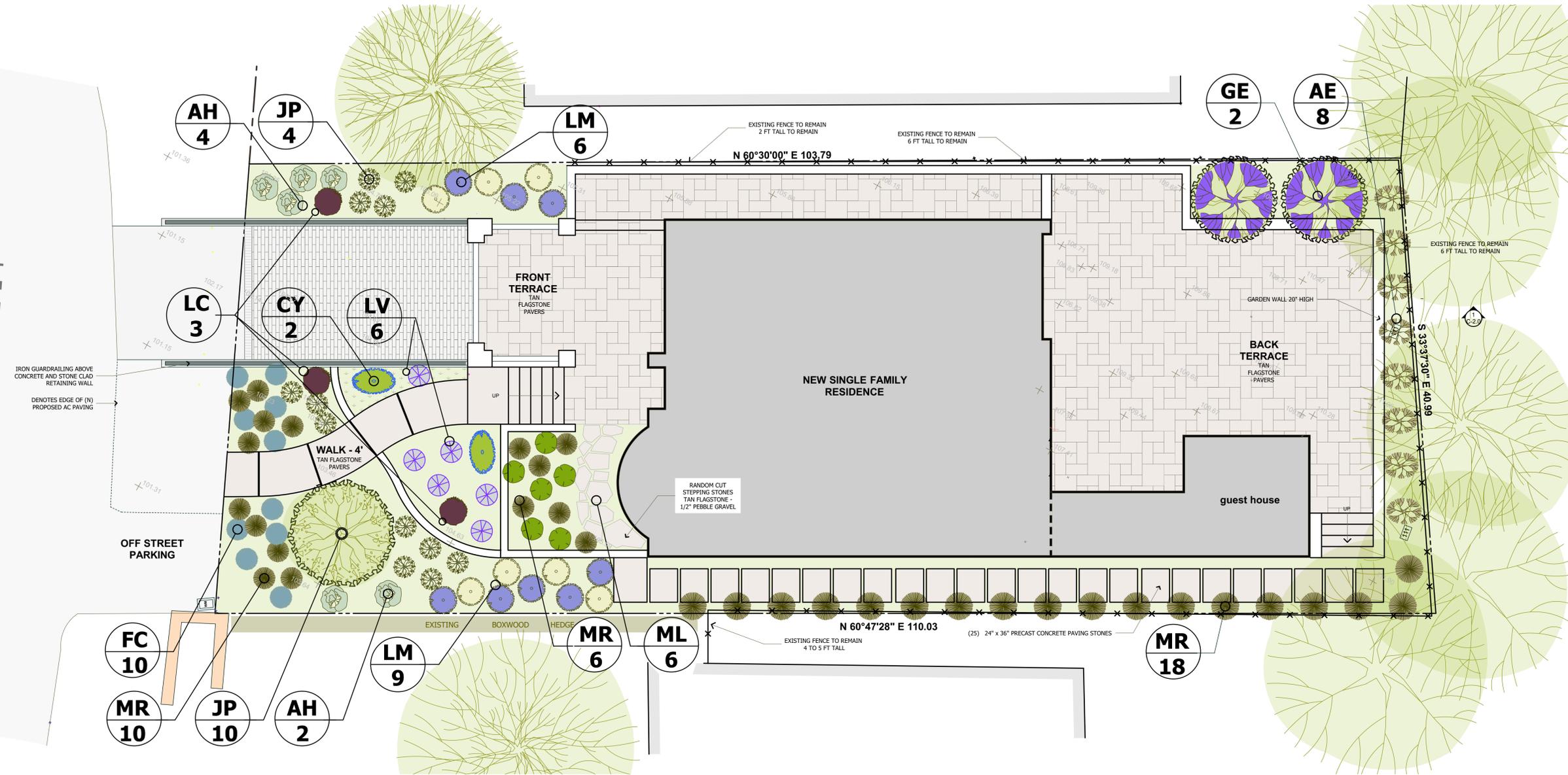
PROJECT NAME
**ABELSON & FAY
RESIDENCE**

24723 GUADALUPE STREET
CARMEL, CA 93923
APN 009-141-022

REVISIONS

NO.	DATE	DESCRIPTION

GUADALUPE STREET



PLANT SCHEDULE

NATIVE / INDIGENOUS	ZONE	WUCOLS	QUANT.	SIZE	COMMON NAME	BOTANICAL NAME	CODE	SYMBOL
TREES								
YES	2	VERY LOW	8	24" BOX	COAST SILK TASSEL	GARRYA ELLIPTICA	GE	
YES	2,3	VERY LOW	19	36" BOX	LONE CYPRESS TREE	HESPEROCYPARIS MACROCARPA	HM	
GRASSES AND GROUNDCOVERS								
YES	1,2	LOW	45	1 GAL.	DEER GRASS	MUHLENBERGIA RIGENS	MR	
YES	1,2	LOW	68	1 GAL.	CALIFORNIA GREY RUSH	JUNCUS PATENS	JP	
YES	1	LOW	10	5 GAL.	CARPET MANZANITA	ARCTOSTAPHYLOS 'EMERALD CARPET	AE	
YES	2	LOW	SF	AREA	NATIVE BENTGRASS	AGROSTIS PALLENS	G2	
	1	HIGH	SF	AREA	DOUBLE DWARF BONSAI FESCUE		G1	
	1	LOW	38	1 GAL.	LAVANDER COTTON	SANTOLINA SPP	SL	

NATIVE / INDIGENOUS	ZONE	WUCOLS	QUANT.	SIZE	COMMON NAME	BOTANICAL NAME	CODE	SYMBOL
SHRUBS								
YES	1,2	LOW	30	1 GAL.	LILAC VERBENA	VERBENA LILACINA ' DE LA MINA'	VL	
-	1	LOW	7	1 GAL.	LACEY BLUE RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	PL	
-	1	LOW	17	1 GAL.	TRAILING LANTANA	LANTANA MONTEVIDENSIS (SELLOVIANA) WHITE/PURPLE MIX	LM	
-	1	LOW	6	5 GAL.	RUBRA	LOROPETALUM CHINESIS	LC	
YES	1	LOW	28	1 GAL.	CALIFORNIA FESCUE	FESTUCA CALIFORNICA AND CVS	FC	
-	1	MEDIUM	41	5 GAL.	HORSETAIL REED BAMBOO	EQUISETUM HYEMALE	EH	
YES	1,2	LOW	12	1 GAL.	CALIFORNIA LILAC	CEANOTHUS 'YANKEE POINT'	CY	
YES	1,2	LOW	14	5 GAL.	KINNIKINICK	ARCTOSTAPHYLOS UVA URSI	AU	
YES	1	LOW	3	5 GAL.	BEARBERRY/ CREEPING MANZANITA	ARCTOSTAPHYLOS UVA-URSI	AH	

**CONCEPTUAL
LANDSCAPE
PLAN**

LANDSCAPE PLAN LEGEND
PLANTING NOTES
TREE PROTECTION NOTES
DATE : 7/24/2024
SCALE : 1" = 5'-0"
DRAWN BY : TJS
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 23724

SHEET NUMBER

L-1