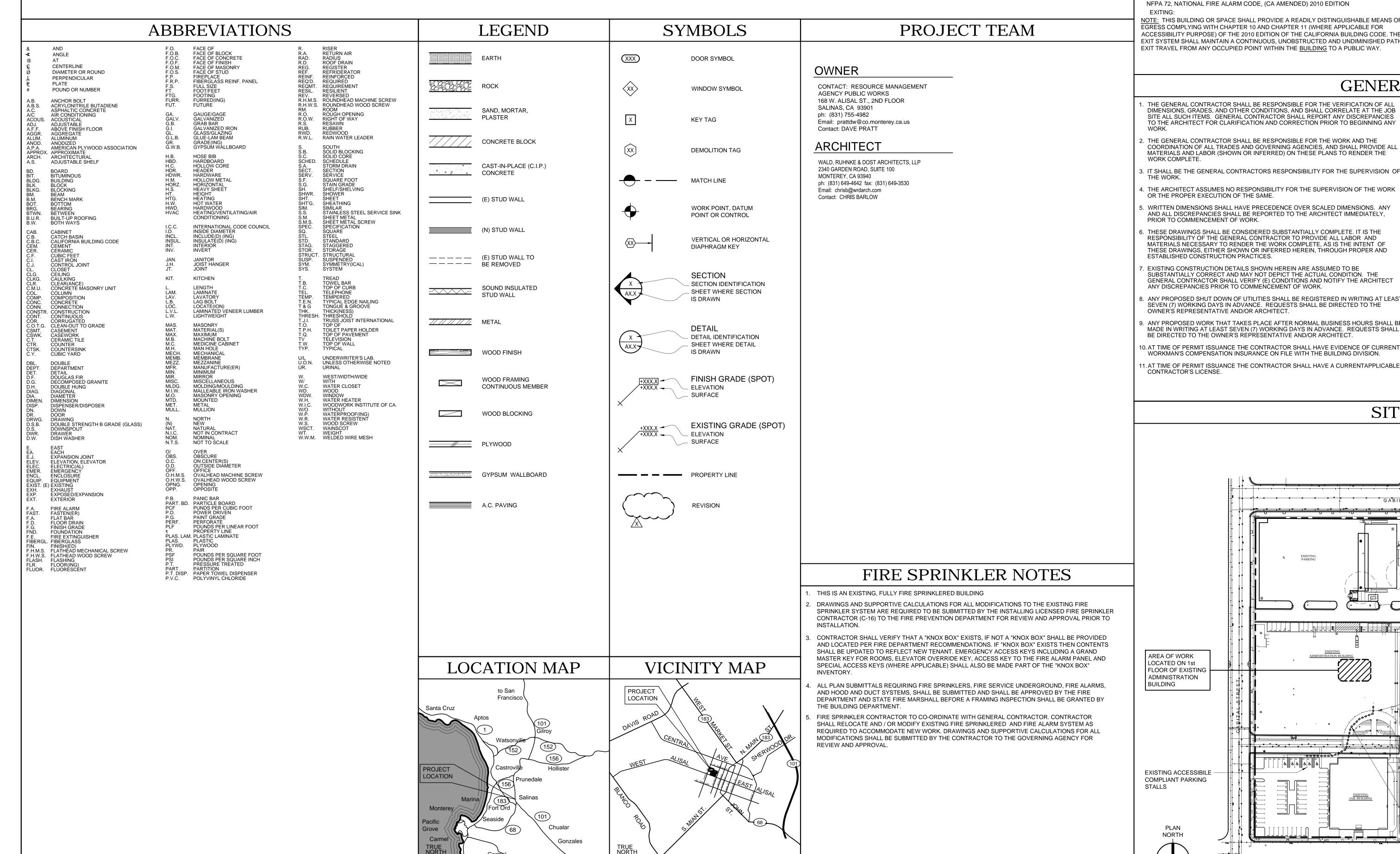
County of Monterey

CLERK OF THE BOARD OF SUPERVISORS - SECURITY UPGRADES PROJECT 8594, BID NO. 10421

168 W. ALISAL STREET SALINAS, CA. 93901



PROJECT INFORMATION

BUILDING AREA: 133,108 S.F. COUNTY OF MONTEREY CLERK OF THE BOARD OF SUPERVISORS COUNTER

SECURITY UPGRADES PROJECT DESCRIPTION: DEMOLISH EXISTING NON-SECURE GLAZING AND MODIFY EXISTING CASEWORK AS REQUIRED TO PROVIDE AN

ACCESSIBLE COMPLIANT TRANSACTION COUNTER AREA AND NEW SECURE GLAZING AND PANELING

168 W. ALISAL - 1ST FLOOR SALINAS, CA 93901

200 S.F. ON IMPROVEMENT AREA: 1st FLOOR OCCUPANCY: B GROUP CONSTRUCTION: TYPE II F.R.

FIRE RESISTIVE SYSTEM: FULLY SPRINKLERED

ASSESSORS PARCEL #: 002-253-027

BUILDING APPLICABLE BUILDING CODES & STANDARDS

2010 CALIFORNIA ADMINISTRATIVE CODE CODE (CAC), PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)

2010 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2010 CALIFORNIA RESIDENTIAL CODE (CRC), PART 2.5, TITLE 24 C.C.R 2010 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

2010 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.

2010 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.

2008 CALIFORNIA ENERGY EFFICIENCY CODE (CEEC) PART 6, TITLE 24 C.C.R 2007 CALIFORNIA ELEVATOR CODE, PART 7, TITLE 24 C.C.R.

2010 CALIFORNIA HISTORICAL BUILDING CODE (CHC) PART 8, TITLE 24 C.C.R.

2010 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24 C.C.R.

2010 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R. 2010 CALIFORNIA GREEN STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R.

2010 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS PARTIAL LIST OF APPLICABLE STATE STANDARDS NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2010 EDITION

IOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF

SHEET INDEX SHT.# SHEET TITLE

COVER SHEET

A200

A210

ARCHITECTURA OVERALL EXISTING FLOOR PLAN **DEMOLITION AND NEW FLOOR PLANS** INTERIOR ELEVATIONS AND DETAILS

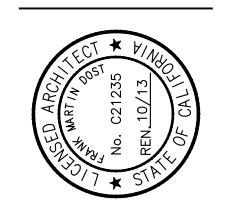
DEMO AND NEW REFLECTED CEILING PLANS

WR8C WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

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RESTRICTED TO THE ORIGINAL SITE FOR WHIC THEY WERE PREPARED, AND PUBLICATIO ACCEPTANCE OF THESE RESTRICTION

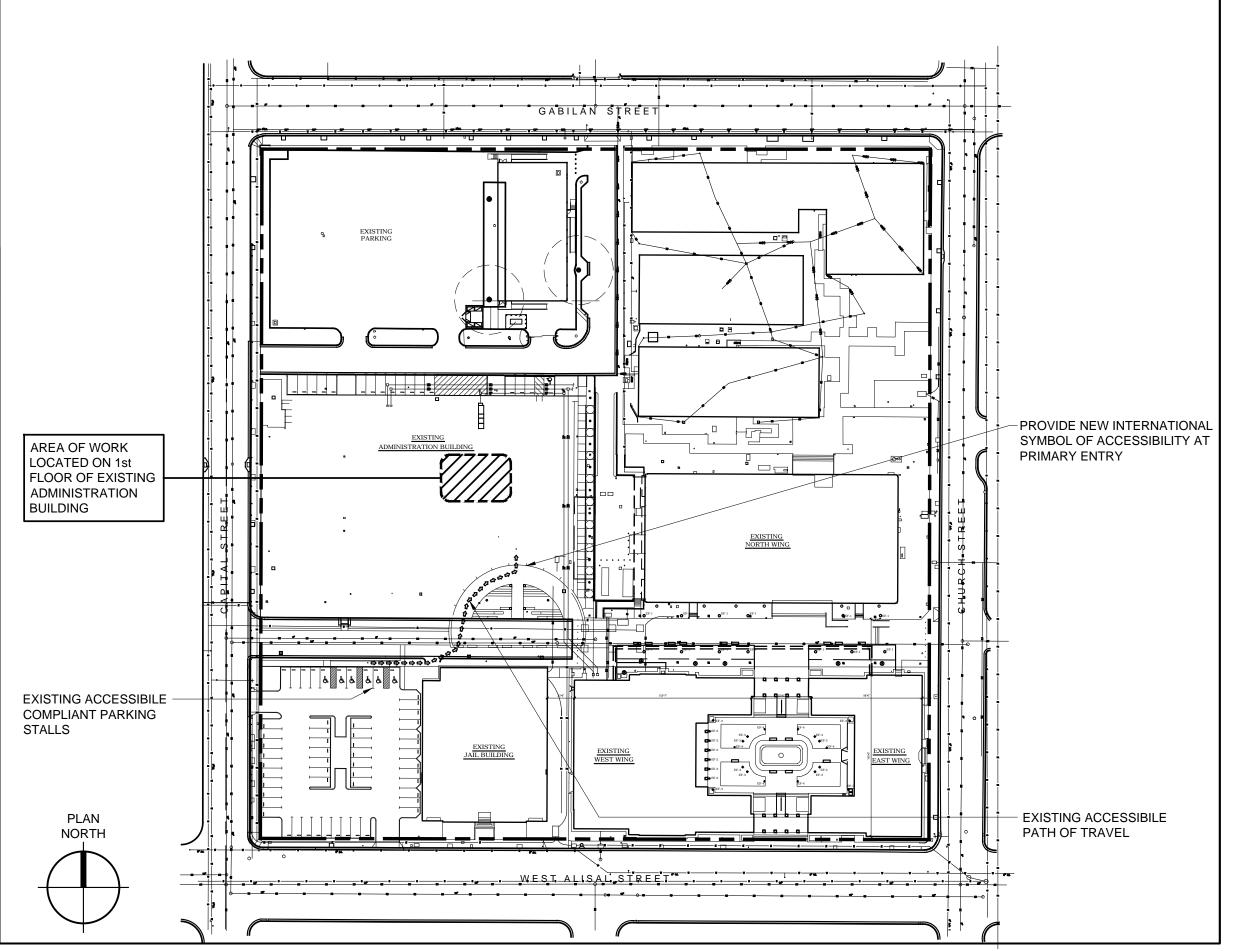


GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF
- . THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY,
- PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS. EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND
- ESTABLISHED CONSTRUCTION PRACTICES. EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT
- ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE
- OWNER'S REPRESENTATIVE AND/OR ARCHITECT ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL
- BE DIRECTED TO THE OWNER'S REPRESENTATIVE AND/OR ARCHITECT. IO. AT TIME OF PERMIT ISSUANCE THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE ON FILE WITH THE BUILDING DIVISION.

- 12.UNLESS OTHERWISE INDICATED, ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL CODES ADOPTED AND AMENDED BY THE GOVERNING AUTHORITY
- 13. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR SIMILAR CONSTRUCTION ON THE PROJECT.
- 14. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK, ALL SUCH MATERIALS AND METHODS ARE O MAINTAIN STANDARDS OF THE INDUSTRY.
- 15.MATERIALS, EQUIPMENT, ETC. NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT ESSENTIAL TO THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION AND/ OR CONSTRUCTION SHALL BE FURNISHED AND INSTALLED WITH NO INCREASE IN COST TO THE OWNER.
- 16.MANUFACTURER'S INSTRUCTIONS: COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS
- AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN CONTRACT DOCUMENTS. 17.CONTRACTOR TO PROVIDE FLOOR TO CEILING PLASTIC AIR-TIGHT CONTAINMENT
- AROUND ENTIRE AREA OF WORK. CONTRACTOR MUST PROVIDE FLOOR, CARPET & WALL PROTECTION AS NECESSARY. 18.CONTRACTOR SHALL MATCH ALL EXISTING FLOOR, WALL AND CEILING FINISHES WITH
- EXISTING. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE ON AL FINISH MATERIALS INCLUDING BUT NOT LIMITED TO WALL PAINT COLOR, RUBBER BASE, CEILING TILE, ETC PRIOR TO PROCEEDING WITH WORK. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 19.CONTRACTOR SHALL ALLOW FOR THE RELOCATION AND/OR MODIFICATION OF EXISTING ELECTRICAL SYSTEM (LIGHTING) AND MECHANICAL SYSTEM (INCLUDING BUT NOT LIMITED TO DUCTS AND GRÌLLES) AS REQUIRED TO ACCOMMODATE NEW WORK. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BID
- 20.PROTECT ALL EXISTING ITEMS, THAT ARE NOT SCHEDULED FOR REMOVAL FROM
- 21.CONTRACTOR SHALL PREPARE AND SUBMIT ALL SHOP DRAWINGS AND SUBMITTALS REQUIRED FOR PROJECT TO OWNER'S REPRESENTATIVE AND/OR ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONSTRUCTION.
- 22. ALL CONTRACTOR WORK SHALL TAKE PLACE AFTER NORMAL BUSINESS HOURS AND/OR ON WEEKENDS. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE ON CONSTRUCTION SCHEDULE, ALLOWABLE CONSTRUCTION HOURS OF ACTIVITY, AND ACCESS PRIOR TO SUBMITTING BID FOR WORK.

SITE PLAN



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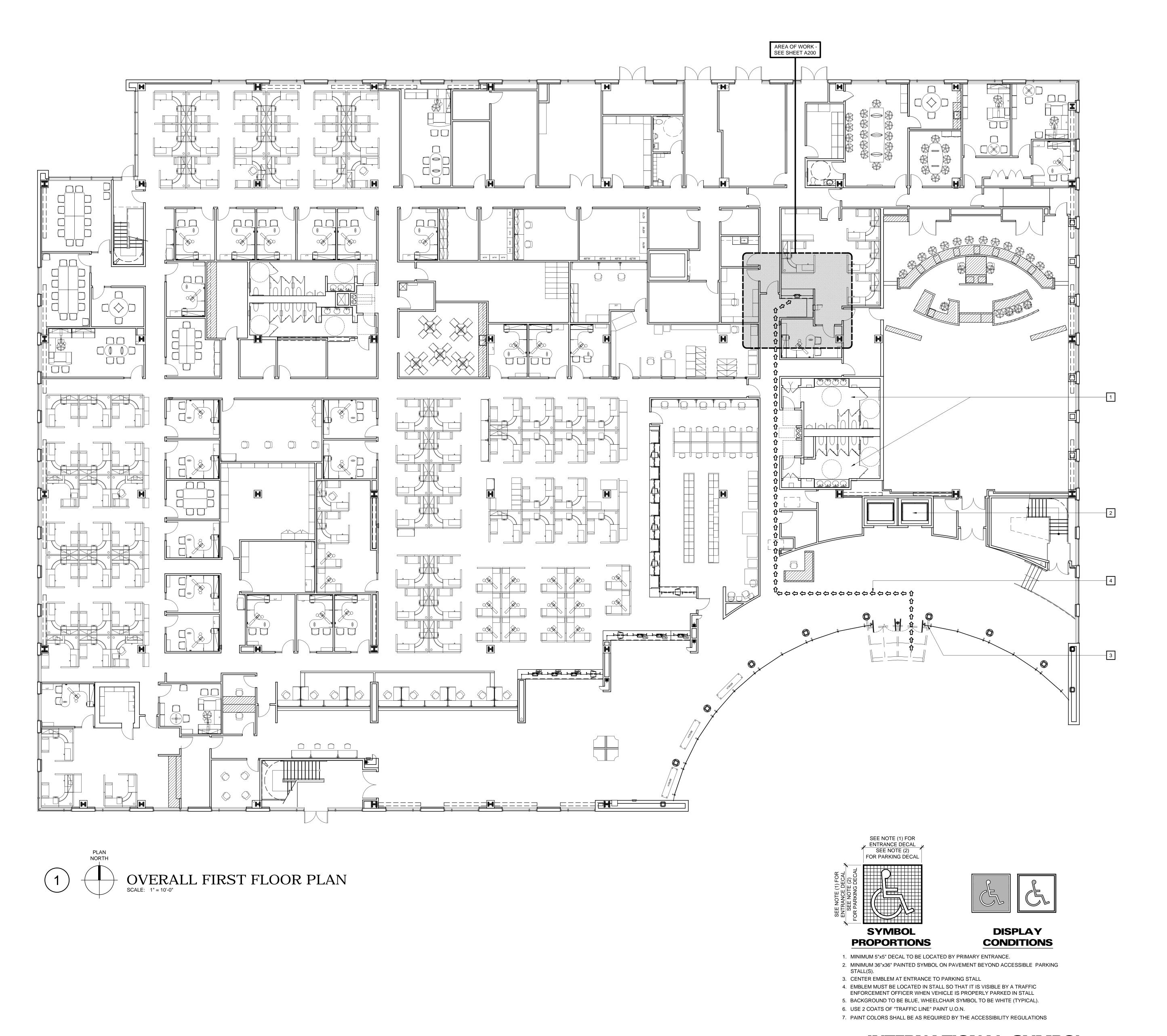
JOB NO. 12023

PRINT DATE: PLOT DATE: DRAWN BY: CHECKED BY: FD / CB SET ISSUED:

05-30-12 BLDG. PERMIT PLAN CHECK SUBMITTAL 05-13-13 PLAN CHANGE

SHEET NAME:

COVER SHEET



KEY NOTES

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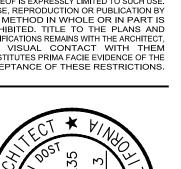
- EXISTING ACCESSIBLE COMPLIANT TOILET ROOMS TO REMAIN INTACT. PROTECT FROM DAMAGE. NO WORK U.O.N.
- 2 EXISTING ACCESSIBLE COMPLIANT ELEVATOR TO REMAIN INTACT. PROTECT FROM DAMAGE. NO WORK U.O.N.
- PROVIDE NEW INTERNATIONAL SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRY TO REMAIN INTACT. SEE DETAIL 1/A100.
- EXISTING ACCESSIBLE PATH OF TRAVEL.

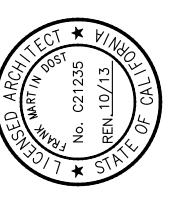


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County of Monterey Clerk of the Board of Super

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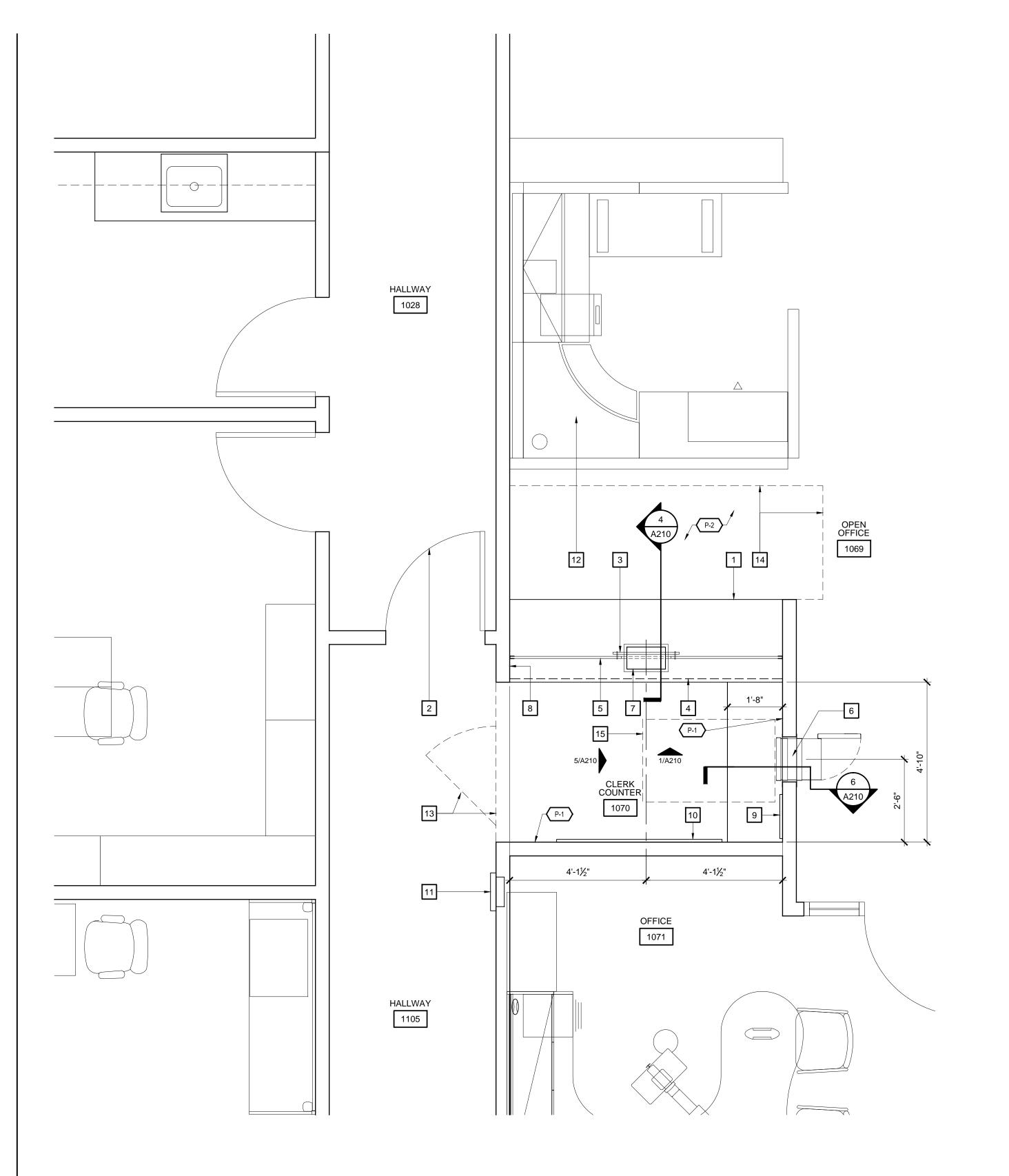
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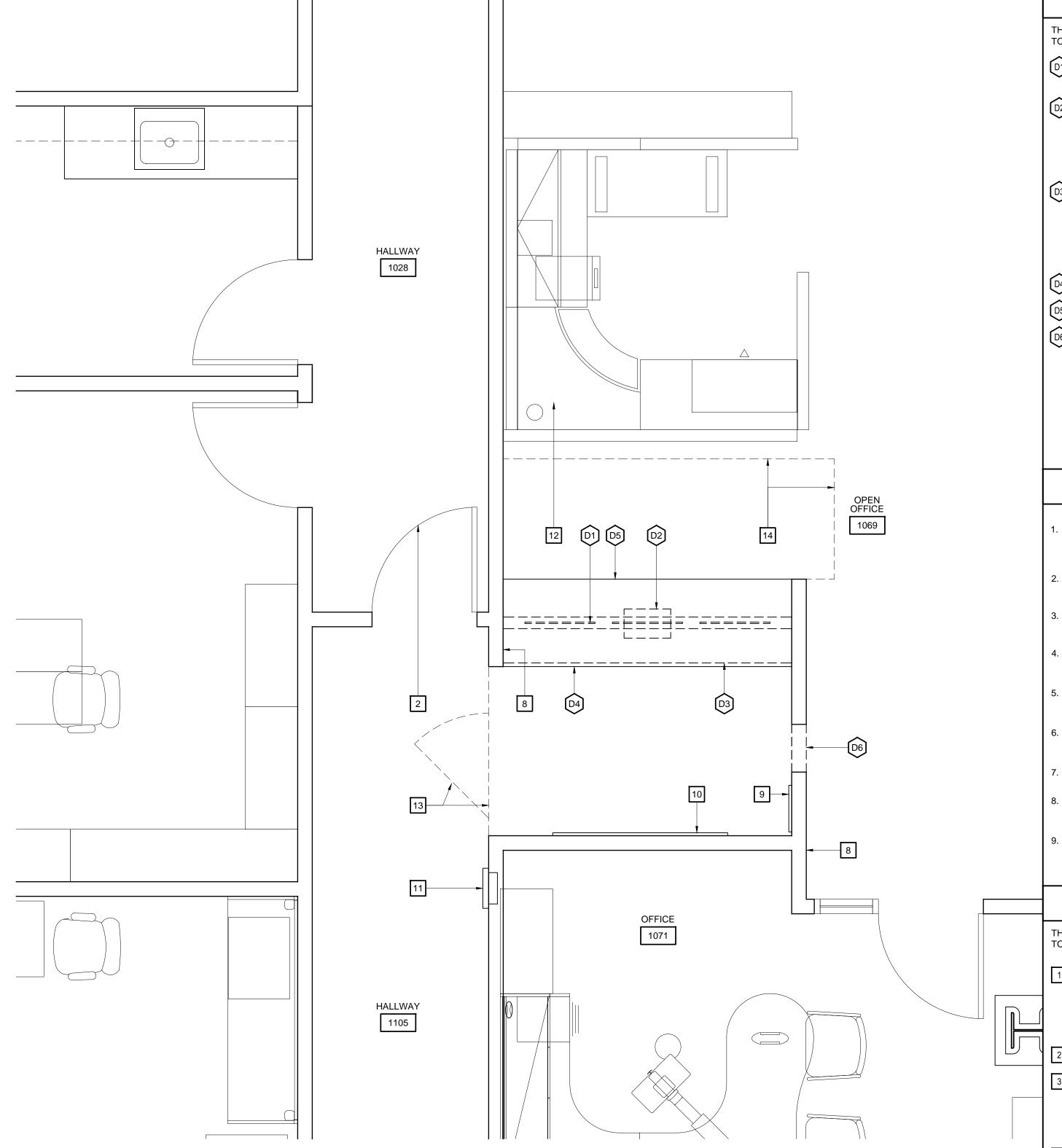
FLOOR PLAN SHEET NO.:

FILE NAME.:

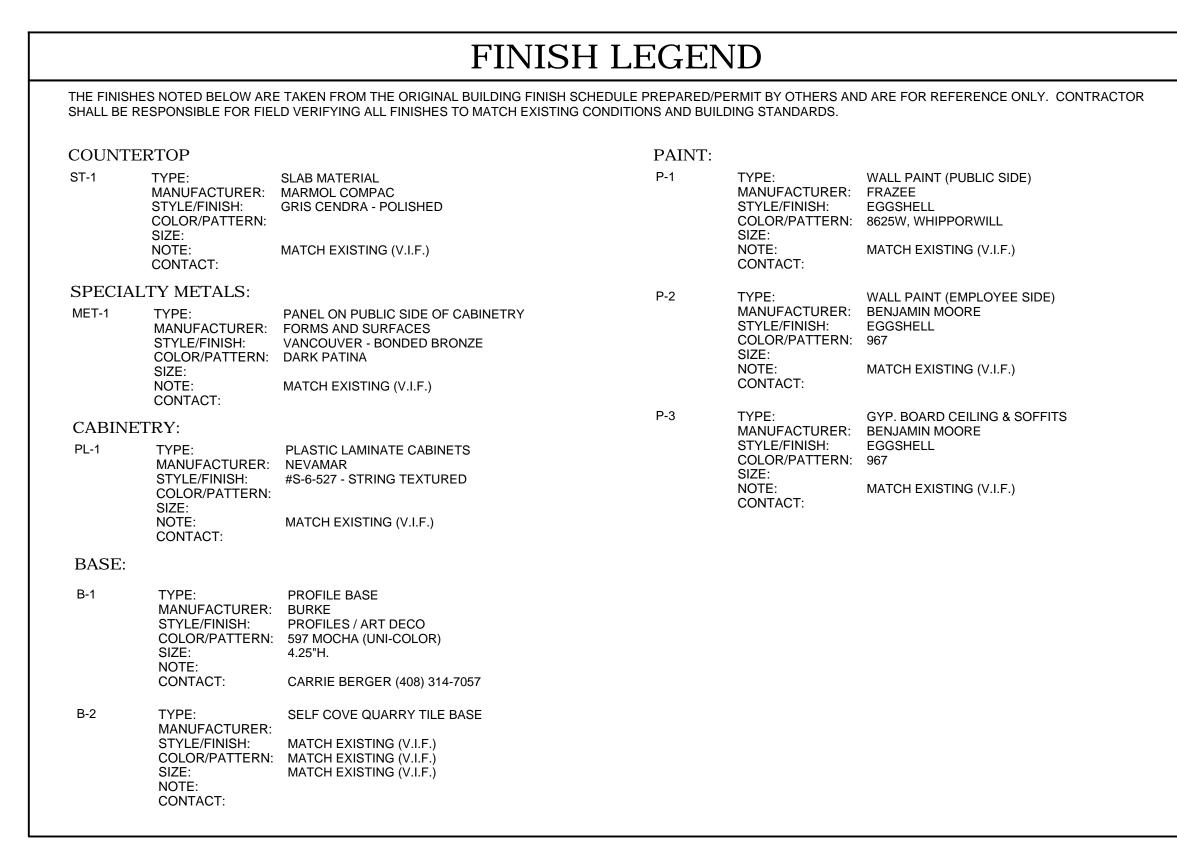
INTERNATIONAL SYMBOL OF ACCESSIBILITY
SCALE: N.T.S.











DEMOLITION KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING TRANSACTION COUNTER BARRIER GLAZING AND ALUMINUM FRAME CLERESTORY GLAZING
- ASSEMBLY TO ACCOMMODATE NEW WORK. CONTRACTOR SHALL MODIFY EXISTING STONE COUNTERTOP AND PLASTIC LAMINATE CASEWORK TO ACCOMMODATE NEW STAINLESS STEEL DROP-IN TRAY. WHERE COUNTERTOP CANNOT BE BE SALVAGED OR RECONFIGURED FOR REUSE, CONTRACTOR SHALL ALLOW FOR NEW COUNTERTOP TO MATCH EXISTING. FINAL
- CONFIGURATION AND INSTALLATION MUST COMPLY TO NEW LAYOUT REQUIREMENTS WITH ALL SURFACES AND JOINTS TIGHT FITTING AND IN A LIKE CONTRACTOR SHALL PROTECT EXISTING DARK PATINA FINISHED BONDED BRONZE PANEL AS MANUFACTURED BY FORMS AND SURFACES AND ½" BLACK PAINT
- REVEAL AND EDGE TRIMS FOR RE-USE ON EXISTING CLERK COUNTER. CONTRACTOR SHALL MODIFY PANELS, REVEALS AND TRIM AS REQUIRED TO ACCOMMODATE NEW CONFIGURATION. WHERE PANELS, REVEAL AND / OR TRIM CAN NOT BE SALVAGED OR RECONFIGURED FOR RE-USE, CONTRACTOR SHALL ALLOW FOR PROVIDING NEW TO MATCH EXISTING. SEE FLOOR PLAN AND INTERIOR ELEVATIONS FOR NEW CONFIGURATION LAYOUT.
- [D4] CONTRACTOR SHALL PROTECT EXISTING TILE BASE AT EXISTING CLERK COUNTER.
- CONTRACTOR SHALL PROTECT EXISTING RUBBER BASE EXISTING CLERK COUNTER.
- REMOVE AND LEGALLY DISPOSE PORTION OF EXISTING WALL AS NEEDED FOR NEW PASS-THRU BOX.

GENERAL NOTES

- CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO EXISTING DEPARTMENT USER GROUP ON FIRST FLOOR OF BUILDING THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH OWNER PRIOR TO STARTING WORK.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
- EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACT. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS AND IMPLEMENT DUST CONTROL MEASURES AT ALL PHASES THROUGHOUT THE DURATION OF CONSTRUCTION.
- AT THE CONCLUSION OF EACH WORK PERIOD, CONTRACTOR SHALL CLEAN CONSTRUCTION AREA. ALL DEBRIS AND MISCELLANEOUS MATERIALS SHALL BE
- CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE WORK.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRE TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS
- CONTRACTOR SHALL PREP, FLOAT AND FINISH WALLS AFFECTED BY WORK AS REQUIRED TO MATCH EXISTING ADJACENT WALLS.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- CONTRACTOR SHALL PROTECT EXISTING STONE COUNTERTOP AND PLASTIC LAMINATE CASEWORK TO ACCOMMODATE NEW STAINLESS STEEL DROP-IN TRAY. WHERE COUNTERTOP CANNOT BE BE SALVAGED OR RECONFIGURED FOR REUSE, CONTRACTOR SHALL ALLOW FOR NEW COUNTERTOP TO MATCH EXISTING.. FINAL CONFIGURATION AND INSTALLATION MUST COMPLY TO NEW LAYOUT REQUIREMENTS WITH ALL SURFACES AND JOINTS TIGHT FITTING AND IN A LIKE NEW CONDITION.
- INDICATES DOOR TO REMAIN INTACT. PROTECT FROM DAMAGE.
- INDICATES LOCATION OF NEW 1-1/4" ACRYLIC (LEVEL 1) TRANSPARENT BULLET RESISTANT BARRIER GLAZING SYSTEM NATURAL VOICE TRANSMISSION PANEL WITH BRUSHED STAINLESS STEEL BARRIER CLAMPS. SPACERS AND CHANNELS AS MANUFACTURED BY CR LAURENCE OR APPROVED EQUAL. PROVIDE ALL REQUIRED COMPONENTS FOR A COMPLETE ASSEMBLY. SEE INTERIOR ELEVATIONS, INDICATED DETAILS AND SPECS FOR ADDITIONAL NOTATION.
- DASH LINE INDICATES NEW BULLET RESISTANT FIBERGLASS PANELS AND BONDED METAL PANELING BELOW COUNTER TOP ON PUBLIC FACING SIDE OF CASEWORK. SEE INTERIOR ELEVATIONS DETAILS ON SHEET A210 FOR MORE INFORMATION.
- INDICATES LOCATION OF NEW 1-1/4" ACRYLIC (LEVEL 1) TRANSPARENT BULLET FIGURE 1. RESISTANT BARRIER GLAZING SYSTEM AS MANUFACTURED BY CR LAURENCE OR APPROVED EQUAL. PROVIDE ALL REQUIRED COMPONENTS FOR A COMPLETE ASSEMBLY INCLUDING BUT NOT LIMITED TO SUPPORT BUTTRESSES, SIDE BAFFLES, BRUSHED STAINLESS STEEL BARRIER CLAMPS, SPACERS AND CHANNELS. SEE INTERIOR ELEVATIONS, INDICATED DETAILS AND SPECS FOR ADDITIONAL NOTATION.
- INDICATES LOCATION OF NEW ACCESSIBLE PASS-THRU BOX. BASIS OF DESIGN PRODUCT IS FASCO SECURITY PRODUCTS MODEL FPP-700-HC-IO.
- 7 INDICATES LOCATION OF STAINLESS STEEL DROP-IN TRAY.
- 8 EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
- 9 EXISTING DEPARTMENT SIGNAGE TO REMAIN. PROTECT FROM DAMAGE.
- EXISTING BULLETIN BOARD TO REMAIN. PROTECT FROM DAMAGE.
- 11 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN. PROTECT FROM DAMAGE.
- INDICATES EXISTING MODULAR FURNITURE TO REMAIN INTACT.EXISTING MODULAR FURNITURE TO BE MOVED AND/OR RELOCATED BY OWNER TO PROVIDE ADDITIONAL CLEARANCE FOR CONSTRUCTION WORK ACTIVITY. CONTRACTOR SHALL ALLOW FOR THE COORDINATION OF RELOCATION OF FURNITURE WITH OWNER'S REPRESENTATIVE. PROTECT FURNITURE FROM DAMAGE.
- CONTRACTOR SHALL PROVIDE TEMPORARY SECURE FULL HEIGHT CONSTRUCTION BARRIER AND ACCESS DOOR FOR CONSTRUCTION ACTIVITIES THROUGHOUT DURATION OF CONSTRUCTION. TEMPORARY SECURE CONSTRUCTION BARRIER SHALL EXTEND FROM EXISTING FINISH FLOOR TO FINISH CEILING AND CONSIST OF MIN. 5/8" TYPE 'X' GYP BD. OR 1/2" PLYWD ON PUBLIC SIDE OF SECURE WALL o/ STUD WALL FRAMING. BRACE/ATTACH TEMPORARY SECURE FULL HEIGHT CONSTRUCTION BARRIER TO EXISTING WALLS PER FIELD CONDITION TO MINIMIZE DAMAGE TO EXISTING FINISH SURFACES. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF SECURE BARRIER AND PATCH AND REPAIR ALL EXISTING FINISH AS REQUIRED TO A LIKE NEW CONDITION. CONTRACTOR REQUIREMENTS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRIER FOR DUST CONTROL → THROUGHOUT DURATION OF CONSTRUCTION. BRACE/ATTACH TEMPORARY DUST CONTROL BARRIER TO EXISTING WALLS/CEILINGS PER FIELD CONDITION TO MINIMIZE DAMAGE TO EXISTING FINISH SURFACES. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF DUST BARRIER AND PATCH AND REPAIR ALL EXISTING FINISH AS REQUIRED TO A LIKE NEW CONDITION. CONTRACTOR REQUIREMENTS WITH OWNER'S REPRESENTATIVE.
- 15 INDICATES MINIMUM 30"x48" CLEAR FLOOR SPACE.

LEGEND

EXISTINGWALL TO REMAIN.

EXISTING DOOR TO REMAIN. **□ EXISTING WINDOW TO REMAIN.**

 $\underline{}\underline{}\underline{}\underline{}\underline{}\underline{}$ EXISTING WALL TO BE REMOVED = \downarrow = EXISTING DOOR AND FRAME TO BE REMOVED.

⊒E = = EXISTING WINDOW TO BE REMOVED.

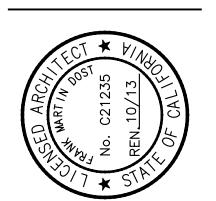
WALD RUHNKE & DOST ARCHITECTS LLP

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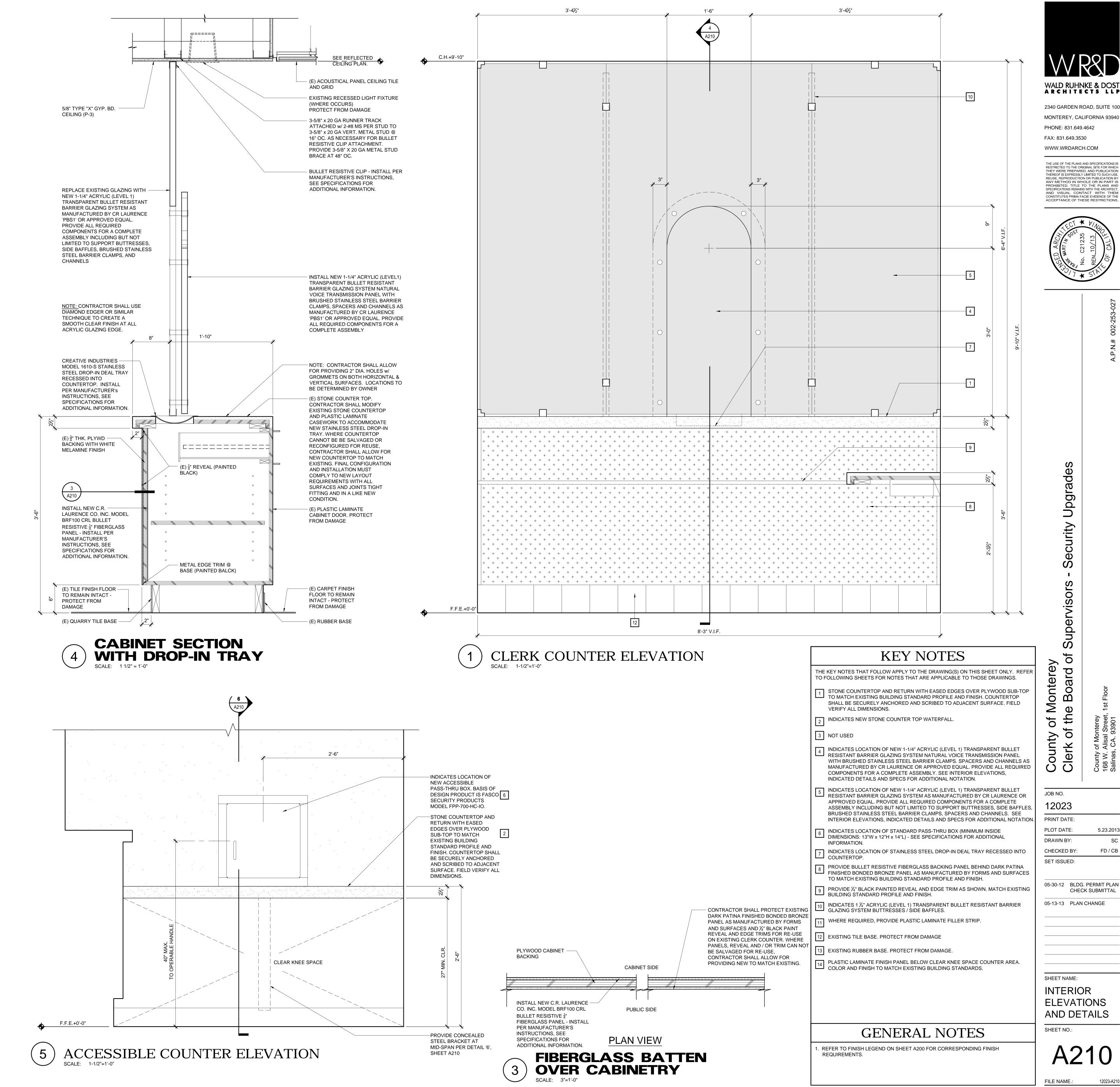
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SHEET NAME:

DEMOLITION AND NEW FLOOR PLANS

SHEET NO.:



FASCO SECURITY PRODUCTS MODEL FPP-700-HC-IO. INSTALL PER MANUFACTURER'S INSTRUCTIONS, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. WOOD CLEAT STONE COUNTER WITH EASED EDGES OVER $\frac{3}{4}$ " PLYWOOD SUB-TOP - (ST-1) **NEW FRAMED OPENING** 1'-8" IN EXISTING WALL EXISTING 2X STUD - PLASTIC LAMINATE WALL PANEL TO MATCH ADJACENT CABINET FINISH 14 - L 2½" x 2½" x ¼" STEEL BRACKET AT CENTER OF COUNTERTOP. ANCHOR TO METAL STUDS w/ (3) $\frac{1}{2}$ " DIA. x REQUIRED LENGTH M.B. BOLTS & PLATE WASHERS. GRIND ALL (E) CARPET FINISH EDGES SMOOTH. PRIME & FLOOR TO REMAIN PAINT BRACKET TO MATCH ADJACENT WALL SURFACE. INTACT - PROTECT FROM DAMAGE EXISTING TILE BASE 12 EXISTING RUBBER BASE 13

ACCESSIBLE COUNTER W/PASS-THRU SECTION

SCALE: 1-1/2" = 1'-0"

WALD RUHNKE & DOST ARCHITECTS LLP 2340 GARDEN ROAD, SUITE 100

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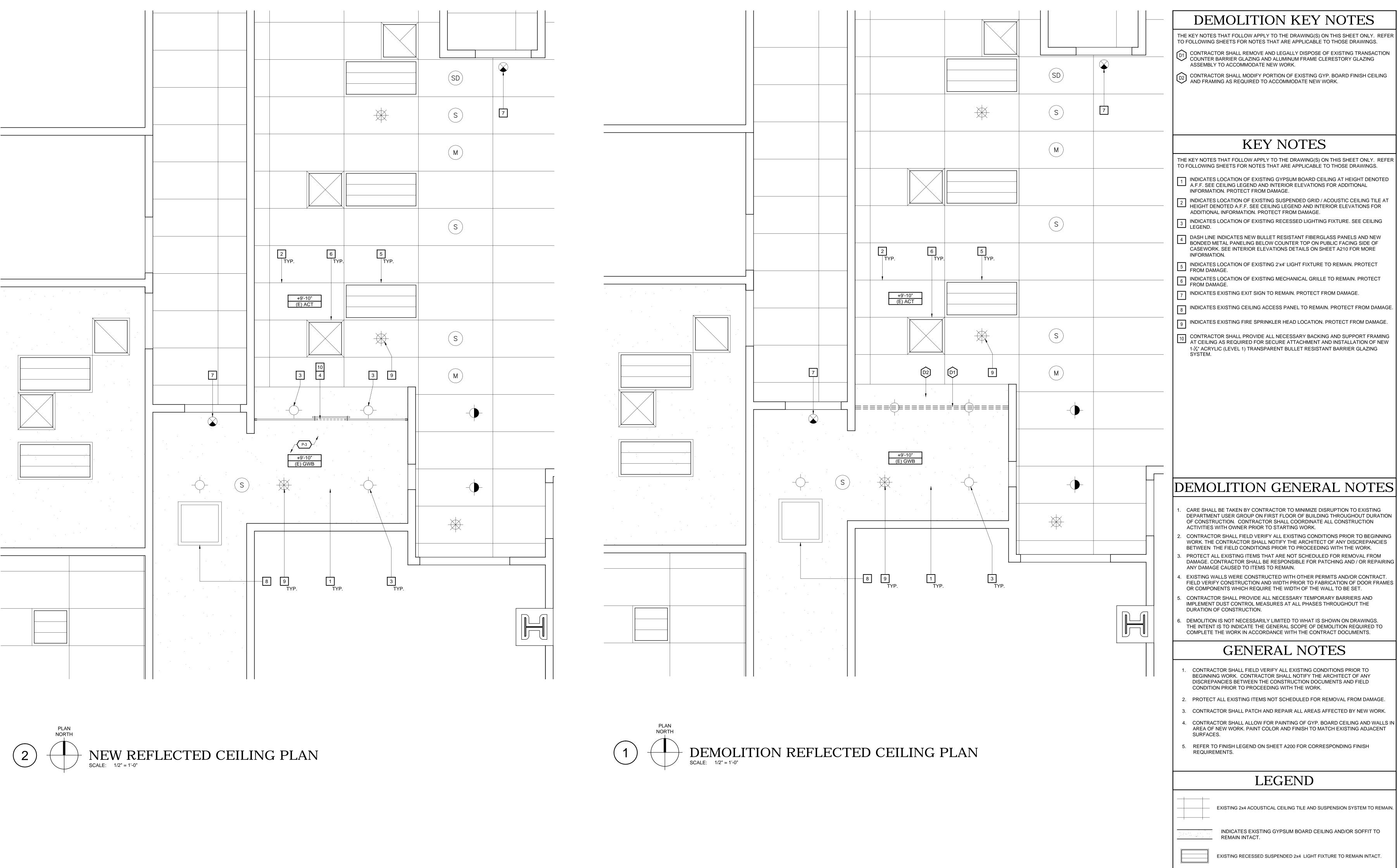
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ELEVATIONS AND DETAILS

A210



DEMOLITION KEY NOTES

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COUNTER BARRIER GLAZING AND ALUMINUM FRAME CLERESTORY GLAZING ASSEMBLY TO ACCOMMODATE NEW WORK.

CONTRACTOR SHALL MODIFY PORTION OF EXISTING GYP. BOARD FINISH CEILING AND FRAMING AS REQUIRED TO ACCOMMODATE NEW WORK.

KEY NOTES

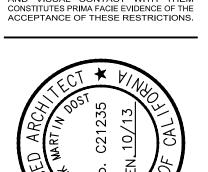
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DEPARTMENT USER GROUP ON FIRST FLOOR OF BUILDING THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH OWNER PRIOR TO STARTING WORK. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING

WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM

DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND / OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN. EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACT. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.

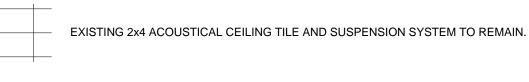
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- 2. PROTECT ALL EXISTING ITEMS NOT SCHEDULED FOR REMOVAL FROM DAMAGE.
- 3. CONTRACTOR SHALL PATCH AND REPAIR ALL AREAS AFFECTED BY NEW WORK. 4. CONTRACTOR SHALL ALLOW FOR PAINTING OF GYP. BOARD CEILING AND WALLS IN AREA OF NEW WORK. PAINT COLOR AND FINISH TO MATCH EXISTING ADJACENT
- REFER TO FINISH LEGEND ON SHEET A200 FOR CORRESPONDING FINISH

LEGEND



INDICATES EXISTING GYPSUM BOARD CEILING AND/OR SOFFIT TO REMAIN INTACT.



EXISTING MECHANICAL RETURN GRILLE TO REMAIN INTACT.



EXISTING CAN LIGHT TO REMAIN INTACT.

EXISTING WALL WASH LIGHT TO REMAIN INTACT.

EXISTING SMOKE DETECTOR TO REMAIN INTACT.

EXISTING SPEAKER TO REMAIN INTACT.

EXISTING MOTION DETECTOR TO REMAIN INTACT.

EXISTING FIRE SPRINKLER TO REMAIN INTACT.

EXISTING EXIT SIGN TO REMAIN INTACT.

EXISTING RECESSED LIGHT FIXTURE TO BE RELOCATED.

NEW LOCATION OF RELOCATED RECESSED LIGHT FIXTURE.

JOB NO. 12023 PRINT DATE: PLOT DATE:

DRAWN BY:

FD / CB CHECKED BY: SET ISSUED:

05-30-12 BLDG. PERMIT PLAN CHECK SUBMITTAL

05-13-13 PLAN CHANGE

SHEET NAME:

DEMO & NEW REFLECTED CEILING PLANS

SHEET NO.: