

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, April 16, 2025

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on April 16, 2025 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, April 15, 2025. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN240093 - BACH ROBERT J & PAULINE M TRS**

Administrative hearing to consider a Lot Line Adjustment between two legal lots of record: Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

Project Location: 2959 & 2963 Cormorant Road, Pebble Beach

Proposed CEQA action: Find the project qualifies for a Class 5 Categorical Exemption pursuant to Section 15305(a) of CEQA Guidelines and that there are no exceptions pursuant to Section 15300.2

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)

2. PLN240012 - MAITLAND DUNCAN & KRISTEN

Administrative hearing to consider the demolition of an existing 1,865 square foot residence and construction of a 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop, and associated site improvements.

Project Location: 80 Poppy Road, Carmel Valley

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-021

April 16, 2025

Introduced: 4/7/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240093 - BACH ROBERT J & PAULINE M TRS

Administrative hearing to consider a Lot Line Adjustment between two legal lots of record: Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

Project Location: 2959 & 2963 Cormorant Road, Pebble Beach

Proposed CEQA action: Find the project qualifies for a Class 5 Categorical Exemption pursuant to Section 15305(a) of CEQA Guidelines and that there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and that none of the exceptions under Section 15300.2 apply; and
- b. Approve an Administrative Permit to allow a Lot Line Adjustment between two legal lots of record: Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Sheryl Fox

Property Owner: Robert and Pauline Bach

APN: 007-262-018-000 & 007-262-017-000

Parcel Size: 11,218 square feet & 11,049 square feet

Zoning: MDR/B-6-D-RES

Plan Area: Greater Monterey Peninsula Area Plan

Flagged and Staked: No

SUMMARY

Staff is recommending approval of an Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless

otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On April 16, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 15, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Pebble Beach Community Services District (Fire)

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; Pebble Beach Community Services District (Fire); HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Assistant Planner; Fionna Jensen, Principal Planner; Robert and Pauline Bach, Property Owners; Sheryl Fox, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240093



Administrative Permit

Legistar File Number: AP 25-021

April 16, 2025

Introduced: 4/7/2025

Current Status: Agenda Ready

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Project Location: 2959 & 2963 Cormorant Road, Pebble Beach

Proposed CEQA action: Find the project qualifies for a Class 5 Categorical Exemption pursuant to Section 15305(a) of CEQA Guidelines and that there are no exceptions pursuant to Section 15300.2

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and that none of the exceptions under Section 15300.2 apply; and
- b. Approve an Administrative Permit to allow a Lot Line Adjustment between two legal lots of record: Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Sheryl Fox

Property Owner: Robert and Pauline Bach

APN: 007-262-018-000 & 007-262-017-000

Parcel Size: 11,218 square feet & 11,049 square feet

Zoning: MDR/B-6-D-RES

Plan Area: Greater Monterey Peninsula Area Plan

Flagged and Staked: No

SUMMARY

Staff is recommending approval of an Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless

otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On April 16, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 15, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Pebble Beach Community Services District (Fire)

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans

Exhibit B - Vicinity Map

cc: Front Counter Copy; Pebble Beach Community Services District (Fire); HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Assistant Planner; Fionna Jensen, Principal Planner; Robert and Pauline Bach, Property Owners; Sheryl Fox, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240093

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

BACH ROBERT J & PAULINE M TRS (PLN240093)

RESOLUTION NO. ----

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project is a minor lot line adjustment, which qualifies as a Class 5 Categorical Exemption pursuant to Section 15305(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit to allow a Lot Line Adjustment between two legal lots of record consisting of Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

[PLN240093 BACH ROBERT J & PAULINE M TRS, 2959 & 2963 CORMORANT RD, PEBBLE BEACH, GREATER MONTEREY PENINSULA AREA PLAN (APNs: 007-262-017-000 & 007-262-018-000)]

The BACH ROBERT J & PAULINE M TRS application (PLN240093) came on for an administrative decision hearing before the Monterey County Chief of Planning on April 16, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan;
 - Monterey County Subdivision Ordinance (Title 19); and

- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves a Lot Line Adjustment (LLA) between two legal lots of record to allow eventual development of an Accessory Dwelling Unit on Lot 7 (the ADU application is not part of this current project):
 1. Lot 6 [APN 007-262-018-000], currently approximately 0.26 acres (11,218 sq. ft.) in size and
 2. Lot 7 [APN 007-262-017-000], currently approximately 0.25 acres (11,049 sq. ft.).

The LLA proposes to adjust these two parcels into new configurations:

1. an adjusted Parcel 6 0.19 acres (or 8,286 sq. ft.) and
 2. an adjusted Lot 7 of 0.32 acres (or 13,981 sq. ft.).
- c) The properties are located at 2959 & 2963 Cormorant Rd, Pebble Beach, Ca 93953, Greater Monterey Peninsula Area Plan (Assessor's Parcel Numbers [APNs] 007-262-017-000 & 007-262-018-000). The parcels are zoned or "MDR/B-6-D-RES" - Medium Density Residential, with a B-6 overlay, Design District Overlay, and Regulations for Parking and Use of Major Recreational Equipment Storage in Seaward Zone Overlay. The project complies with all regulations within section 19.09 "Lot Line Adjustments" of the Monterey County Code. No additional development is proposed with this Lot Line Adjustment. Parcel reconfiguration will not otherwise intensify water use, create new building or potential development beyond what currently exists. Therefore, the project is an allowed land use for this site.
 - d) Lot 7 is developed with a single-family dwelling (Building Permits No. BP050726); Lot 6 is currently undeveloped. Both parcels are under common ownership.
 - e) Lot Legality. The subject properties (0.26 acres and 0.25 acres in size), APNs: 007-262-018-000 & 007-262-017-000, are shown in their current size and configuration as Lot 6 and Lot 7 on the map entitled, "Monterey Peninsula Country Club, Subdivision No. 1", recorded on May 4, 1925, in Volume 3 of Maps of "Cities and Towns", on Page 26 in Monterey County Records. Therefore, the County recognizes the subject properties as legal lots.
 - f) At this time, County is only authorizing and granting a Lot Line Adjustment permit. Any future structural development on the adjusted parcels will require obtaining all proper County permits and comply with the development standards, other policies, and regulations at the time of any proposed development.
 - g) Development Standards. After the LLA, both parcels will meet minimum building site requirements.

Minimum lot size - The MDR zoning district (Title 21 section 21.12.060A) identifies a 6,000 square foot minimum building site.

Currently, Lot 6 contains 11,218 square feet and Lot 7 contains 11,049 square feet.

The proposed lots after adjustment contain 8,286 square feet (Lot 6) and 13,891 (Lot 7). Lot 7 contains 13,98, both still in conformance with the minimum MDR building site requirements.

Allowable Lot Coverage - Granting this Discretionary Permit will bring Lot 7, currently over allowable lot coverage, into conformance with building site lot coverage. Title 21 section 21.12.060.E allows a maximum building site coverage of 35 percent. Currently, Lot 6 (before and after the LLA) is vacant, so a zero-lot coverage. Lot 7, currently at 38% lot coverage, is over the 35% maximum allowable coverage. The LLA will transfer 2,932 square feet from Lot 6 to Lot 7, reducing Lot 7 coverage to 29.9 percent, bringing Lot 7 into conformance with zoning district standards.

B-6 setbacks for the adjusted Lot 6 should be noted: The B-6 overlay districts requires setbacks of 30' front yard, 20' side yard and "10% of lot width" rear yard. Even though no construction is currently proposed for Lot 6, its new 8,276 square foot size could result in a small or constricted buildable area of approximately 5,000 square feet.

- h) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it does not involve a lot line adjustment in the coastal zone, does not require review by the Zoning Administrator or Planning Commission, and is exempt from environmental review (see Finding 6).
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN240093.

3. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach CSD (fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended by HCD Planning have been incorporated.
 - b) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN240093.

4. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach CSD (fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Both of the referenced properties are within Pebble Beach Community Service District for sewer service and have verified connections to Cal-Am public drinking water utilities.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN240093.
5. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) There are no known violations on the subject parcels.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN240093.
6. **FINDING:** **LOT LINE ADJUSTMENT** - Section 66412 of the California Government Code (Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code states that lot line adjustments may be granted based upon the following findings:
- 1. The lot line adjustment is between four (or fewer) existing adjoining parcels;
 - 2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment;
 - 3. The parcels resulting from the lot line adjustment conforms to the County’s general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.
- EVIDENCE:**
- a) As discussed in Finding 1, development on the resulting parcel will continue to be consistent with the zoning.
 - b) The LLA is between two legal lots of record, Lot 6 [approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7). The lot line adjustment will not create a greater number of parcels than

originally existed. Two contiguous separate legal parcels of record will be adjusted and two contiguous separate legal parcels of record will result from the adjustment. Lot 6 is directly connected to Lot 7, both with access point from Cormorant Road. No new parcels will be created.

- c) The lot line adjustment is between four (or fewer) existing adjoining parcels that the County recognizes as legal lots of record (See Finding 1 Evidence e).
- d) The proposed lot line adjustment is consistent with Monterey County Ordinance (Title 21). (See Finding Nos. 1, 2, and 3; and supporting evidence)
- e) As an exclusion to the Subdivision Map Act, the Lot Line Adjustment does not require the recordation of a map. To appropriately document the boundary changes, the Owner/Applicant shall record a deed for the respective parcels to reflect the adjustment (Condition No. 3) and a Certificate of Compliance for each new lot shall be filed per a standard condition of approval (Condition No. 4).
- f) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240093.

7. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15305 categorically exempts minor lot line adjustments that do not result in the creation of any new parcel.
 - b) The project involves a Lot Line Adjustment (LLA) between two legal lots of record, Lot 6 [approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7). No new lots will be created by the lot line adjustment. No demolition, construction, or other type of development is proposed under this entitlement.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. The proposed lot line adjustment will not intensify the level of development allowed on the parcels.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240093.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Section 19.16.020.A of the Monterey County Zoning Ordinance, designates the Board of Supervisors as the appropriate authority to consider appeals of decisions of the Chief of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305 and none of the exceptions under Section 15300.2 apply; and
2. Approve an Administrative Permit to allow a Lot Line Adjustment between two legal lots of record consisting of Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 16th day of April, 2025.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240093

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Administrative permit (PLN240093) allows a Lot Line Adjustment between two legal lots of record consisting of Lot 6 [APN 007-262-018-000, approximately 0.26 acres (11,218 sq. ft.)] and Lot 7 [APN 007-262-017-000, approximately 0.25 acres (11,049 sq. ft.)], resulting in two parcels containing 0.19 acres or 8,286 sq. ft. (Adjusted Lot 6) and 0.32 acres or 13,981 sq. ft. (Adjusted Lot 7), respectively. The property is located at 2959 & 2963 Cormorant Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APNs: 007-262-017-000 & 007-262-018-000) This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit (Resolution Number _____) was approved by the County of Monterey Chief of Planning for Assessor's Parcel Number 007-262-017-000 & 007-262-018-000 on April 16, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. LOT LINE ADJUSTMENT DEED (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Owner(s)/Applicant(s) shall prepare, execute, and record deeds that reflect the lot line adjustment as required by California Government Code §66412(d) and request an unconditional Certificate of Compliance for each of the adjusted parcels. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

1. An updated title report (current within 30 days) for each subject parcel of the lot line adjustment.
2. Draft legal descriptions, plats, and closure calculations for each newly adjusted parcel of the lot line adjustment for which a Certificate of Compliance will be issued. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN240093) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B."
3. Draft deeds for all adjustment parcels, being all areas being conveyed by Owners in conformance to the approved lot line adjustment. The deeds shall contain a legal description and plat of the areas to be conveyed in conformance to the approved lot line adjustment. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN240093) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B." The deed shall comply with the Monterey County Recorder's guidelines as to form and content.
 - a. The Owner(s)/Applicant(s) shall be responsible for ensuring the accuracy and completeness of all parties listed as Grantor and Grantee on the deeds.
 - b. Each deed shall state in the upper left corner of the document the party requesting the recording and to whom the recorded document shall be returned.
 - c. The purpose of the deed shall be stated on the first page of the deed, as follows:

"The purpose of this deed is to adjust the parcel boundaries in conformance to the lot line adjustment approved by the County of Monterey, PLN240093. This deed is being recorded pursuant to §66412(d) of the California Government Code and shall reconfigure the subject parcels in conformance to said approved lot line adjustment."

PLEASE NOTE: Owner(s) is/are responsible for securing any reconveyance, partial reconveyance and/or subordination in connection with any loan, mortgage, lien or other financial obligation on all property being transferred between parties.

4. Following review and any corrections of the legal descriptions and plats by County Surveyor:
 - a. Owner/Applicant submit copies of the fully executed and acknowledged deed(s) for the adjustment parcels to the project planner for review & approval by County Surveyor
 - b. Owner/Applicant shall submit the legal description and plat for each Certificate of Compliance to HCD-Planning for final processing.
 - c. Using a title company, execute the deeds before a notary public, and have the deeds recorded.
 - d. Owner/Applicant shall submit copies of all recorded deeds to the project planner.

4. PD045 - COC (LOT LINE ADJUSTMENTS)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to HCD -Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

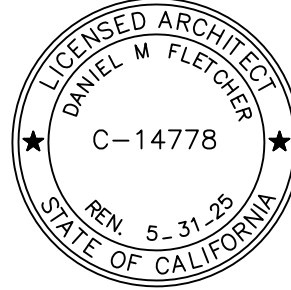
Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

DF/A

Daniel Fletcher / Architects

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Monterey, CA 93940
831.373.5855



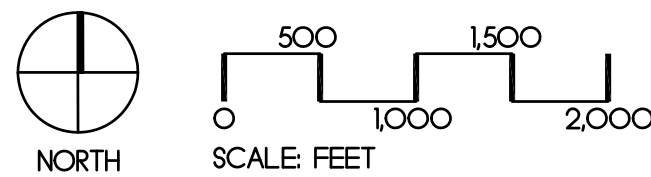
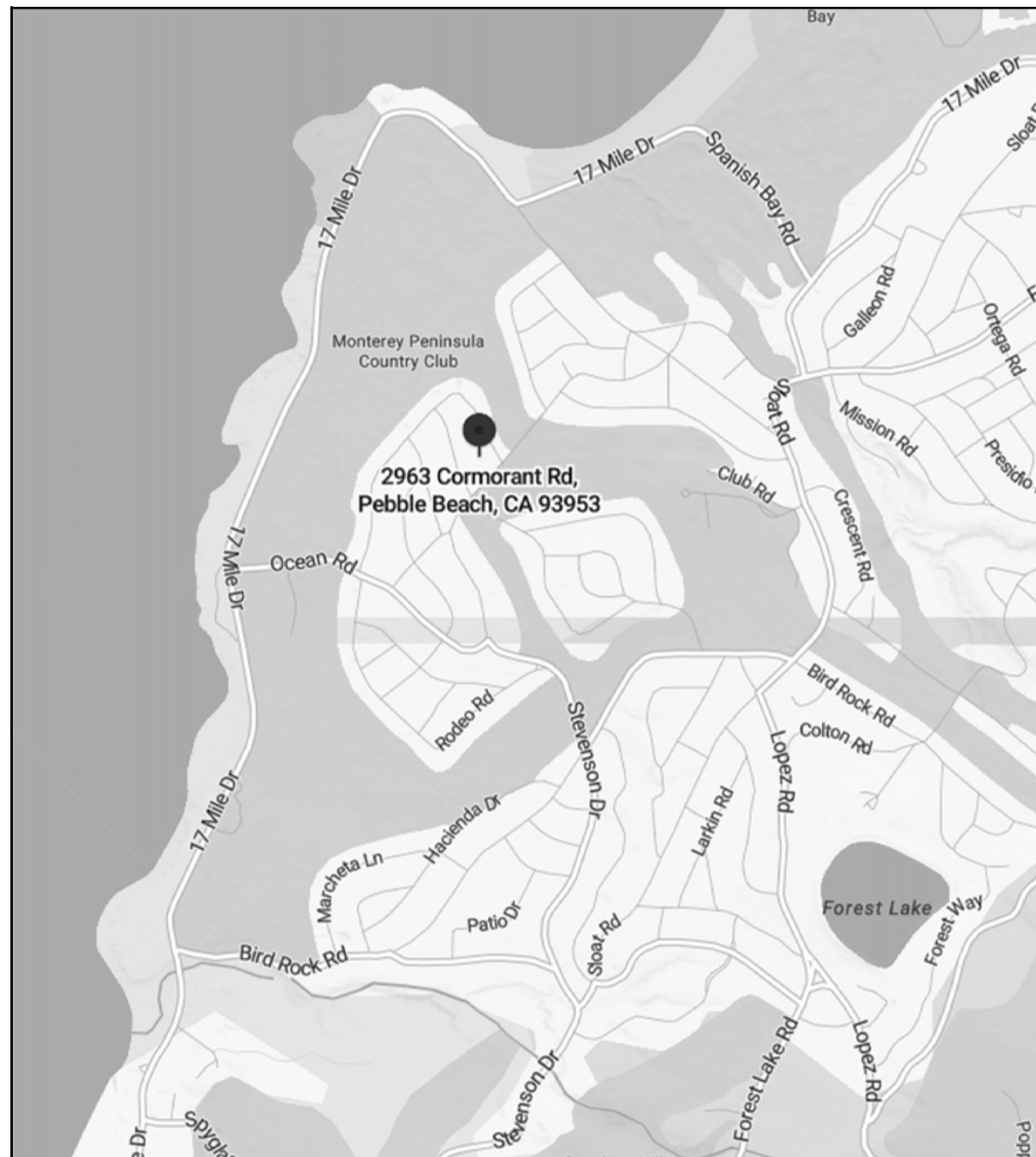
CONSULTANT

BACH RESIDENCE

PHASE I - LOT LINE ADJUSTMENT & PHASE II - ACCESSORY DWELLING UNIT

PEBBLE BEACH, CALIFORNIA

VICINITY MAP



PROJECT DESCRIPTION - PHASE I

THE PROJECT INCLUDES:

LOT LINE ADJUSTMENT AT PARCEL NUMBERS 007-262-017-000 (2959 CORMORANT, LOT 7) AND 007-262-018-000 (2963 CORMORANT, LOT 6).

PHASE II, ACCESSORY DWELLING UNIT, NOT UNDER SCOPE OF WORK FOR PLN240093.

PROJECT DATA - PHASE I

OWNER:	ROBBIE AND PAULINE BACH 8801 OVERLAKE DRIVE WEST MEDINA, WASHINGTON 98039	
	LOT 7	LOT 6
PROJECT ADDRESS:	2959 CORMORANT ROAD PEBBLE BEACH, CA 93953	2963 CORMORANT ROAD PEBBLE BEACH, CA 93953
A.P.N.:	007-262-017-000	007-262-018-000
ZONING:	MDR/B-6-D-RES	MDR/B-6-D-RES
OCCUPANCY TYPE:	R3-U	NONE
TYPE OF CONSTRUCTION:	V-B	NONE
EXISTING BUILDING FLOOR AREA SUMMARY: EXISTING SINGLE FAMILY DWELLING	4,194 S.F.	NONE
EXISTING SITE AREA:	11,049 S.F.	11,218 S.F.
EXISTING BUILDING SITE COVERAGE: ALLOWED BLDG. COVERAGE	35% (3,867 S.F.)	35% (3,926 S.F.)
BUILDING FOOTPRINT DECKS > 24" ABOVE GRADE EAVES > 30"	4,194 S.F. O O	O O O
TOTAL	37.9% (4,194 S.F.)	O
FLOOR AREA RATIO: ALLOWABLE EXISTING	35% (3,867 S.F.) 37.9% (4,194 S.F.)	35% (3,927 S.F.) O
LOT LINE ADJUSTMENT SITE AREA CALCULATIONS:	<u>EXISTING</u>	<u>PROPOSED</u>
	APN: 007-262-017-000, LOT 7 APN: 007-262-018-000, LOT 6	13,981 S.F. 11,218 S.F.
		+ 2,932 S.F. - 2,932 S.F.

PROJECT DESCRIPTION - PHASE II

THE PROJECT INCLUDES:

NEW 1,053 S.F. ACCESSORY DWELLING UNIT AT PARCEL NUMBER 007-262-017-000 (2959 CORMORANT), WHICH INCLUDES GRADING AND DRAINAGE IMPROVEMENTS AT 2959 AND 2963 CORMORANT.

PROJECT DATA - PHASE II

OWNER:	ROBBIE AND PAULINE BACH 8801 OVERLAKE DRIVE WEST MEDINA, WASHINGTON 98039	
PROJECT ADDRESS:	2959 CORMORANT ROAD PEBBLE BEACH, CALIFORNIA 93953	
A.P.N.:	007-262-017-000	
ZONING:	MDR/B-6-D-RES	
TYPE OF CONSTRUCTION:	V-B	
OCCUPANCY TYPE:	R-3	
BUILDING FLOOR AREA SUMMARY:		
EXISTING SINGLE FAMILY DWELLING PROPOSED ACCESSORY DWELLING TOTAL	4,194 S.F. 1,053 S.F. 5,247 S.F.	
SITE AREA:	13,981 S.F. (0.32 ACRES)	
BUILDING SITE COVERAGE: ALLOWED BLDG. COVERAGE	35% (4,893 S.F.)	
EXISTING RESIDENCE FOOTPRINT PROPOSED ADU DECKS > 24" ABOVE GRADE EAVES > 30"	EXISTING 4,194 S.F. O O O	PROPOSED 4,194 S.F. (29.9%) 1,053 S.F. (NOT COUNTED IN FAR) O O 9 S.F. (EXEMPT FROM COVERAGE)
TOTAL	4,194 S.F.	4,194 S.F. (29.9%) *ADU EXEMPT PER CA GOVERNMENT CODE 65852.2 SUBDS. (c) (2) (C)
HEIGHT:	MAXIMUM ALLOWABLE (ADU) MAXIMUM PROPOSED	
	16'-0" 15'-10 1/2"	
PARKING:	1 - SEE SITE PLAN	
GRADING:	25 C.Y. CUT / 380 C.Y. FILL (30 C.Y. NET) - SEE CIVIL DRAWINGS	
TREES TO BE REMOVED:	NONE	

SHEET INDEX

AO.1	TITLE SHEET
1	TOPOGRAPHIC MAP / EXISTING SITE SURVEY

PHASE I

1	LOT LINE ADJUSTMENT
---	---------------------

PHASE II

A11	SITE PLAN
A21	FLOOR PLAN & ROOF PLAN
A31	EXTERIOR ELEVATIONS
A32	COLORS AND MATERIALS & EXTERIOR LIGHTING SPEC

CO.1	CIVIL COVER SHEET
CO.2	CIVIL DETAILS
C11	CIVIL GRADING PLAN
C21	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

L1.00	LANDSCAPE SITE PLAN
L2.00	PLANTING PLAN
L3.00	IRRIGATION PLAN

PROJECT

BACH RESIDENCE - ACCESSORY DWELLING UNIT

2959 CORMORANT ROAD
PEBBLE BEACH, CA 93953

PROJECT NUMBER

2303

OWNER

ROBBIE & PAULINE BACH

8801 OVERLAKE DRIVE WEST
MEDINA, WA 98039

SHEET TITLE

TITLE SHEET

SCALE: NONE

DRAWN BY: SR

PRINT DATE: .

DRAWING DATE: 03/21/2024

DATE ISSUED FOR
CONSTRUCTION: .

REVISIONS:

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SHEET NUMBER

A0.1

\\monterey\projects\14693 - Bora Residence\CAD\A693-LL.dwg cwhg1 Mar 11, 2024 4:35pm

0 1 2 3 INCHES

STEVENSON DRIVE
(60 FEET WIDE)

CORMORANT ROAD
(30 FEET WIDE)

PARCEL 1
DOC:2017065516
APN 007-262-017

ADJUSTED
LOT 7
13,981 SF

PORTION OF LOT 6
DOC:2022004288
APN 007-262-018

ADJUSTED
LOT 6
8,286 SF

NON-PLOTTABLE EASEMENTS

- COVENANTS, CONDITIONS, AND RESTRICTIONS IN THE DOCUMENT RECORDED AUGUST 24, 1987 IN REEL 2137 OF OFFICIAL RECORDS, PAGE 591.
- COVENANTS, CONDITIONS, AND RESTRICTIONS IN THE DOCUMENT RECORDED JANUARY 4, 1965 IN REEL 441 OF OFFICIAL RECORDS, PAGE 639.



LEGEND

- BOUNDARY OF SUBJECT PROPERTIES
- PROPOSED ADJUSTED LOT LINE
- LOT LINE TO BE EXTINGUISHED
- EXISTING ELEVATION CONTOUR
- EXISTING ROAD / DRIVEWAY
- EXISTING EASEMENT TO BE QUITCLAIMED
- PROPOSED 5' EASEMENT

OWNER

ROBBIE & PAULINE BACH
8801 OVERLAKE DRIVE WEST
MEDINA, WA 98039

APPLICANT

JEFF CASE
DANIEL FLETCHER/ARCHITECTS
769 PACIFIC STREET
MONTEREY, CA 93940

PARCEL INFORMATION

SITE ADDRESS
APN 007-262-017
2959 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN 007-262-018
2963 CORMORANT ROAD
PEBBLE BEACH, CA 93953

		EXISTING	ADJUSTED
LOT 7:	APN 007-262-017	11,049 SF	13,981 SF
LOT 6:	APN 007-262-018	11,218 SF	8,286 SF
TOTAL:		22,267 SF	22,267 SF

GENERAL NOTES

- SUBJECT PROPERTIES ARE NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN. FIRM PANEL 06053C0302H
- IMPROVEMENTS:
ACCESSORY DWELLING UNIT PROPOSED WITH THIS LOT LINE ADJUSTMENT.
- NO VEGETATION REMOVAL IS PROPOSED IN THIS LOT LINE ADJUSTMENT.
- WATER SUPPLY: CALIFORNIA AMERICAN WATER CO.
SEWAGE COLLECTION: PEBBLE BEACH COMMUNITY SERVICES DISTRICT
GAS/ELECTRIC: PACIFIC GAS & ELECTRIC
- SOURCE OF TOPOGRAPHIC DATA:
APN 007-262-017 AND -018: SURVEYED IN FEBRUARY 2023 BY WHITSON ENGINEERS
- ALL EXISTING 5' UTILITY AND DRAINAGE EASEMENTS TO BE QUITCLAIMED BY PEBBLE BEACH COMPANY (SUCCESSOR TO DEL MONTE PROPERTIES CO.) IN FAVOR OF A NEW 5' WIDE UTILITY AND DRAINAGE EASEMENT OVER THE SIDE AND REAR PROPERTY LINES OF RESULTANT PARCELS 6 AND 7..



PLN _____

LOT LINE ADJUSTMENT

OF
A.P.N. 007-262-017 & 007-262-018
LOT 6 AND 7 PER VOL. 3 OF CITIES AND TOWNS AT
PAGE 26
MONTEREY COUNTY, CALIFORNIA

PREPARED BY:



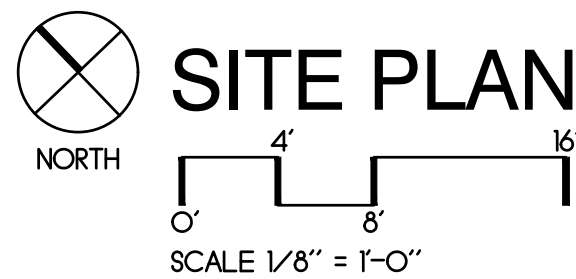
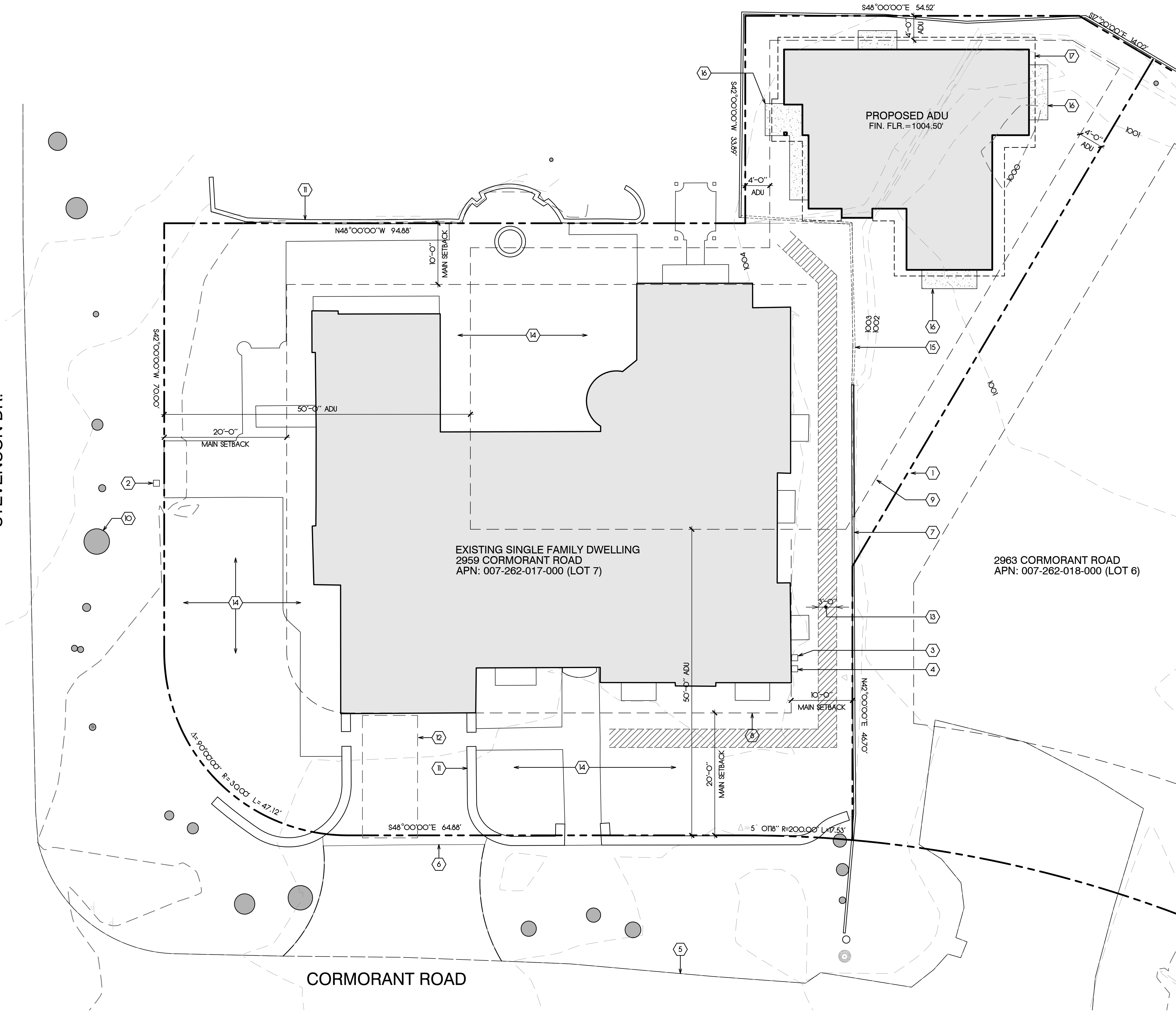
Civil Engineering
Land Surveying
6 Harris Court
Monterey, California
831.649.5225
whitsonengineers.com

SCALE 1" = 10'

FEBRUARY 29, 2024

SHEET 1 OF 1

STEVENSON DR.



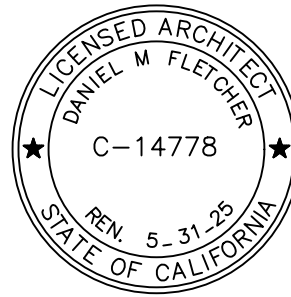
SHEET NOTES

1. PROPERTY LINE - TYPICAL.
2. EXISTING WATER METER.
3. EXISTING ELECTRICAL METER.
4. EXISTING GAS METER.
5. EDGE OF ROAD.
6. EDGE OF EXISTING AC DRIVE.
7. EXISTING FENCE TO REMAIN - TYPICAL, UNLESS INDICATED OTHERWISE.
8. MAIN RESIDENCE SETBACK LINE - TYPICAL.
9. ADU SETBACK LINE - TYPICAL.
10. EXISTING TREE - TYPICAL.
11. EXISTING SITE WALL TO REMAIN - TYPICAL.
12. 9' X 20' PARKING SPACE SHOWN DASHED.
13. CLEAR PATH OF TRAVEL TO ADU.
14. NO WORK THIS AREA.
15. REMOVE PORTION OF EXISTING FENCE AS INDICATED.
16. NEW CONC. PATIO.
17. ROOF LINE ABOVE.

DF/A

Daniel Fletcher / Architects

769 Pacific Street
Monterey, CA 93940
831.373.5855



CONSULTANT

PROJECT

BACH RESIDENCE - ACCESSORY DWELLING UNIT

2959 CORMORANT ROAD
PEBBLE BEACH, CA 93953

PROJECT NUMBER

0300-520

OWNER

ROBBIE & PAULINE BACH

8801 OVERLAKE DRIVE WEST
MEDINA, WA 98039

SHEET TITLE

SITE PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: JRC

PRINT DATE: .

DRAWING DATE: 03/21/2024

DATE ISSUED FOR
CONSTRUCTION:

REVISIONS:

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SHEET NUMBER

A1.1

GENERAL

1.

CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
2.

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:

A.

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION:

CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OSHA) CALIFORNIA CODE 4216 – PROTECTION OF UNDERGROUND INFRASTRUCTURE

B.

THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH AMENDMENTS ADOPTED BY THE JURISDICTION HAVING AUTHORITY

C.

CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

E.

THE 2022 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)

F.

THE 2022 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)

G.

ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY CODE, INCLUDING CHAPTER 16.08 "GRADING" AND CHAPTER 16.12 "EROSION CONTROL".
3.

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443–3050.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
5.

INTENTION OF GRADING: CONSTRUCTION OF AN ACCESSORY DWELLING UNIT, AND ASSOCIATED SITE WORK.
6.

PROPERTY IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS (FIRM 06053C0302H).
7.

ESTIMATED START: TBD , ESTIMATED COMPLETION: TBD.
8.

SEE ARCHITECTURAL/LANDSCAPE PLANS AND/OR THE PROJECT ARBORIST'S REPORT FOR TREE PROTECTION AND REMOVAL REQUIREMENTS.
9.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA – PLANNING, AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON–SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY. RMA – PLANNING, THE ARCHAEOLOGIST, AND LAND OWNER SHALL CONSULT WITH THE APPROPRIATE TRIBAL REPRESENTATIVE REGARDING TREATMENT OF THE RESOURCE.

EARTHWORK AND AREA OF DISTURBANCE SUMMARY

C = 25 CY
F = 380 CY
IMPORT/EXPORT = 355 CY
ESTIMATED AREA OF DISTURBANCE = 0.26 AC

1.

THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN EXISTING GRADE AND SUBGRADE ELEVATIONS AND FINISHED GRADE AND SUBGRADE ELEVATIONS, AS SHOWN ON THE PLANS, AND ARE NOT ADJUSTED FOR CHANGES IN VOLUME DUE TO CHANGES IN SOIL DENSITY.
2.

OVER–EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATE. CLEARING AND STRIPPING AND REMOVAL OF AC AND PCC PAVEMENTS ARE NOT INCLUDED IN THE ABOVE ESTIMATES. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE NOT INCLUDED IN ABOVE ESTIMATES.
3.

THESE QUANTITIES SHALL BE USED FOR BONDING AND PERMIT PURPOSES ONLY. CONTRACTOR SHALL MAKE HIS/HER OWN SITE VISIT AND QUANTITY TAKE–OFFS AND SHALL BID ACCORDINGLY.
4.

EARTHWORK VALUES SHOULD BE REEVALUATED DURING THE EARLY STAGES OF SITE GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING FINAL EARTHWORK QUANTITIES TO HIS/HER SATISFACTION PRIOR TO START OF GRADING OPERATIONS.

SURVEY AND EXISTING CONDITIONS

1.

TOPOGRAPHY WAS PREPARED BY WHITSON ENGINEERS ON FEBRUARY 9, 2023.
2.

ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SET MAG AND WASHER IN AC (ELEVATION: 1001.73") AS SHOWN ON C1.1.
3.

ALL "MATCH" OR "JOIN" CALLOUTS ON THE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IN THE CASE OF ANY FIELD DISCREPANCY.
4.

PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS. (MONTEREY COUNTY)
5.

A LETTER SHALL BE SUBMITTED FROM A LICENSED SURVEYOR CERTIFYING THAT PAD ELEVATIONS ARE WITHIN 0.1 FEET OF ELEVATIONS STATED ON APPROVED PLANS, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
6.

THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL DEVIATIONS FROM THE WORK PROPOSED IN THESE PLANS AND SPECIFICATIONS, AND A RECORD DRAWING SET SHALL BE PREPARED AND PROVIDED TO THE ENGINEER AT THE COMPLETION OF WORK. CHANGES SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE DESIGN ENGINEER.
7.

THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SYSTEMS WHICH MAY BE AFFECTED BY THE EXISTING UTILITY'S LOCATION. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
8.

BOUNDARY INFORMATION SHOWN IS FROM RECORD DATA. A BOUNDARY SURVEY WAS NOT PERFORMED AS A PART OF THIS WORK. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

GRADING AND DRAINAGE

1.

SITE GRADING AND EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT.
2.

ON SITE GRADING AND EARTHWORK, SITE PREPARATION, EXCAVATION, TRENCHING AND COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
3.

SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
4.

SHOULD THE RESULTS OF ANY COMPACTION TEST FAIL TO MEET THE MINIMUM REQUIRED DENSITY AS SPECIFIED ON THESE PLANS OR IN THE GEOTECHNICAL REPORT, THE DEFICIENCY SHALL BE CORRECTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AT THE CONTRACTOR'S EXPENSE. THE EXPENSE OF RETESTING SUCH AREAS SHALL ALSO BE BORNE BY THE CONTRACTOR, AT NO COST TO THE OWNER.
5.

NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST FOUR (4) WORKING DAYS PRIOR TO ANY GRADING OR FOUNDATION EXCAVATION.
6.

ALL SOILS UTILIZED FOR FILL PURPOSES SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
7.

EXCAVATION FOR ANY PURPOSE SHALL NOT REMOVE LATERAL SUPPORT FROM ANY FOUNDATION WITHOUT FIRST UNDERPINNING OR PROTECTING THE FOUNDATION AGAINST SETTLEMENT OR LATERAL TRANSLATION. THE EXCAVATION OUTSIDE THE FOUNDATION SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES AND BOULDERS OR WITH A CONTROLLED LOW–STRENGTH MATERIAL (CLSM). THE BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE FOUNDATION OR THE WATERPROOFING OR DAMPPROOFING MATERIAL. EXCEPTION: CLSM NEED NOT BE COMPACTED (REF. 2013 CBC 1804.1–1804.2)
8.

IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. (REF. 2013 CBC 1804.3)
9.

RELATIVE COMPACTION SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY ASTM TEST D–1557. IN–PLACE DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM TESTS D–1556 AND D–6938.
10.

GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING STRUCTURES, OBSTRUCTIONS, TREES SHOWN TO BE REMOVED, VEGETATION, ORGANIC–LADEN TOPSOIL, LARGE ROOTS, DEBRIS, AND OTHER DELETERIOUS MATERIALS. BURIED SUBSURFACE OBJECTS ENCOUNTERED, OR VOIDS CREATED DURING SITE PREPARATION SHALL BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER.
11.

SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER.
12.

SUBGRADE PREPARATION AND ENGINEERED FILL THAT SUPPORTS FOOTINGS, SLABS, PAVEMENTS, AND FLATWORK SHALL EXTEND AT LEAST 5 FEET BEYOND THE LIMITS OF PROPOSED IMPROVEMENTS.
13.

FOOTINGS LOCATED ADJACENT TO OTHER FOOTINGS OR RETAINING WALLS SHALL HAVE THEIR BEARING SURFACES FOUNDED BELOW A 2:1 (H:V) LINE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE ADJACENT FOOTING, WALL, OR UTILITY TRENCH.
14.

FOLLOWING CLEARING AND STRIPPING, EXPOSED SUBGRADES IN AREAS TO RECEIVE ENGINEERED FILL, STRUCTURES, PAVEMENTS, CONCRETE SLABS, OR OTHER IMPROVEMENTS SHALL BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTURE CONDITIONED, AND UNIFORMLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
15.

THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL SURFACES TO RECEIVE FILL PRIOR TO THE PLACEMENT OF ANY FILL.
16.

ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
17.

CUT/FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2H:1V) UNLESS OTHERWISE APPROVED AT THE TIME OF GRADING BY THE GEOTECHNICAL ENGINEER
18.

ALL FILLS PLACED ON SLOPE GRADES 5H:1V OR GREATER SHALL BE DRAINED, KEYED AND BENCHED INTO FIRM NATIVE MATERIAL.
19.

WHERE EXISTING GRADE IS AT A SLOPE OF 6H:1V OR STEEPER AND THE DEPTH OF THE FILL EXCEEDS 5 FEET, BENCHING SHALL BE PROVIDED. A TOE KEY SHALL BE CUT A MINIMUM DEPTH OF 2 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL'S TOE. THIS KEY SHALL BE A MINIMUM OF 10 FEET WIDE AND SLOPE AT NO LESS THAN 2% INTO THE SLOPE. AS THE FILL ADVANCES UP–SLOPE, BENCHES AT LEAST 3 FEET WIDE, OR TWICE THE WIDTH OF THE COMPACTION EQUIPMENT, WHICHEVER IS WIDER, SHALL BE SCARIFIED INTO THE FILL/UNDISTURBED SOIL INTERFACE.
20.

ENGINEERED FILL IN BUILDING AREAS, STRUCTURAL BACKFILL, AND THE UPPER 12" BELOW FLATWORK AND PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM DRY DENSITY.
21.

ALL RE–COMPACTED AND ENGINEERED FILL SOILS SHALL BE COMPACTED WITHIN 2 PERCENT OVER THE OPTIMUM MOISTURE CONTENT FOR THE SOIL.
22.

ON–SITE DECOMPOSED GRANITE SOILS WHICH ARE LOCATED NEAR THE SURFACE IN THE AREA NEAR THE PROPOSED CARETAKER'S COTTAGE APPEAR TO BE SUITABLE FOR USE AS NON–EXPANSIVE FILL.

NATIVE SOIL USED AS ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:

•

SOIL SHALL BE FREE OF ORGANICS, DEBRIS, AND OTHER DELETRIOUS MATERIALS.

•

ROCK OVER 6 INCHES IN ITS MAXIMUM DIMENSION MAY NOT BE USED IN AN ENGINEERED FILL.

23.

IMPORTED SOIL USED AS GENERAL ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:

•

SOIL SHALL BE FREE OF ORGANIC AND DELETERIOUS MATERIALS, OR RECYCLED MATERIALS SUCH AS ASPHALTIC CONCRETE, CONCRETE, BRICK, ETC.

•

SOIL SHALL BE CLASSIFIED AS SAND: SW, SP, SC OR SM AS GIVEN IS ASTM 2487–10

•

SOIL SHALL NOT CONTAIN ANY ROCKS OR CLODS OVER 4 INCHES IN MAXIMUM DIMENSION, AND SHALL NOT CONTAIN OVER 15 PERCENT BY WEIGHT ROCKS LARGER THAN 2 INCHES

•

THE PORTION FINER THAN THE NO. 200 SIEVE SHALL NOT CONTAIN ANY EXPANSIVE CLAYS.

24.

IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.

25.

A "FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION.

26.

EXPORT SOIL SHALL BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE COUNTY. CONTRACTOR SHALL NOTIFY GRADING OFFICIAL OF PROPOSED HAUL ROUTE.

27.

WHERE FLOOR DAMPNESS MUST BE MINIMIZED OR WHERE FLOOR COVERINGS WILL BE INSTALLED, CONCRETE SLABS–ON–GRADE SHOULD BE CONSTRUCTED ON A CAPILLARY BREAK LAYER AT LEAST 4 INCHES THICK AND COVERED WITH A MEMBRANE VAPOR BARRIER. CAPILLARY BREAK MATERIAL SHOULD BE FREE DRAINING; CLEAN GRAVEL OR ROCK, SUCH AS 3/4–INCH GRAVEL. THE GRAVEL SHOULD BE WASHED TO REMOVE FINES AND DUST PRIOR TO PLACEMENT ON THE SLAB SUBGRADE.

28.

CONCENTRATED STORM WATER RUNOFF FROM THE PROJECT SITE SHALL NOT BE ALLOWED TO DISCHARGE UNCONTROLLED ONTO SLOPING GROUND. ROCK ENERGY DISSIPATERS CONSISTING OF 4" – 6" DIAMETER ROCK OR ANGULAR ROCK RIP RAP SHALL BE INSTALLED AT COLLECTION PIPE DISCHARGE POINTS.

29.

ALL NEW CUT AND FILL SLOPES AS WELL AS DISTURBED SOIL AREAS MUST BE SEEDED WITH SANTA LUCIA PRESERVE APPROVED EROSION CONTROL GRASSES OR LANDSCAPE PLANTS FOR EROSION CONTROL.
- ABBREVIATIONS
- ± PLUS' OR MINUS'; APPROX
@ AT
AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
APPROX APPROXIMATE
ASB AGGREGATE SUBBASE
BC BEGIN CURVE
BVC BEGIN VERTICAL CURVE
BVCE BVC ELEVATION
BVCS BVC STATION
BS BOTTOM OF STAIR
BW BACK OF WALK
C&G CURB AND GUTTER
CABLE TV CABLE TV
CURB, GUTTER AND SIDEWALK CURB, GUTTER AND SIDEWALK
CENTERLINE CENTERLINE
CLASS CLASS
CLR CLEAR
CMP CORRUGATED METAL PIPE
CO CLEANOUT
CONC CONCRETE
CONST CONSTRUCT
CONT CONTINUOUS
DEMO DEMOLISH AND DISPOSE OF
D.G. DECOMPOSED GRANITE
DI DRAIN INLET
DIA DIAMETER
DS DOWNSPOUT
(E) EXISTING
EC END CURVE
EG EXISTING GRADE
EJ EXPANSION JOINT
ELEC ELECTRIC
ELEV ELEVATION
EQ EQUAL
ETW EDGE OF TRAVELED WAY
EVC END VERTICAL CURVE
EVC ELEVATION
EVC STATION
E.W. EACH WAY
EX EXISTING
FACE OF CURB FACE OF CURB
FF FINISHED FLOOR
FG FINISHED GRADE
FL FLOWLINE
FR FIRE RISER
FS FINISHED SURFACE
GB GRADE BREAK
GB ELEVATION
GB STATION
GM GAS METER
GRT GRATE
GAS VALVE/VAULT GAS VALVE/VAULT
HP HIGH POINT
HORIZ. HORIZONTAL
INV INVERT
JOINT UTILITY POL JOINT UTILITY POL
JUNCTION BOX JUNCTION BOX
LANDING LANDING
LF LINEAR FEET
LFF LOWER FINISH FLOOR
LP LOW POINT
LT LEFT
MATCH MATCH EXISTING GRADE
MAX MAXIMUM
MH MANHOLE
MIN MINIMUM
N.I.C. NOT IN CONTRACT (BY OTHERS)
O.C. ON CENTER
OC ORIGIN OF GROUND
P.A. PLANTER AREA
PB PULL BOX
PC POINT OF CURVATURE
P.O.C. POINT OF CONNECTION
PP POWER POLE
PRC POINT OF REVERSE CURVATURE
PVC POLYVINYL CHLORIDE
PVI POINT OF VERTICAL INTERSECTION
PTDF PRESSURE TREATED DOUG–FIR
RADIUS RADIUS
R.C. RELATIVE COMPACTION
RCP REINFORCED CONC PIPE
RT RIGHT
RW RECYCLED WATER
RWL RAIN WATER LEADER
S.A.D. SEE ARCHITECTURAL DRAWINGS
S.E.D. SEE ELECTRICAL DRAWINGS
S.I.D. SEE LANDSCAPE DRAWINGS
S.S.D. SEE STRUCTURAL DRAWINGS
SD STORM DRAIN
SL STREET LIGHT
SS SANITARY SEWER
STA STATION
SW SIDEWALK
TBM TEMPORARY BENCH MARK
TC TOP OF CURB
TFC TOP OF FLUSH CURB
TG TOP OF GRATE
TOP TOP OF PIPE
TS TOP OF STAIR / TRAFFIC SIGNAL
TW TOP OF WALL
TYP TYPICAL
UFF UPPER FINISH FLOOR
UG UNDERGROUND
U.O.N. UNLESS OTHERWISE NOTED
UP UTILITY POLE
UNKN UNKNOWN
VAR VARIES
VERT. VERTICAL
V.I.F. VERIFY IN FIELD
W WATER
WM WATER METER
WV WATER VALVE
XFMR TRANSFORMER
- LEGEND
- 100 GROUND CONTOUR
SUBJECT PROPERTY LINE
ADJACENT PROPERTY LINE
HOMELAND BOUNDARY
EASEMENT LINE
CENTER LINE
CONTROL POINT
BENCHMARK
FOUND 3/4" IRON PIPE, TAGGED AS NOTED
FOUND CONCRETE UNDERGROUND MONUMENT, MARKED AS NOTED
BORE HOLE / BORING LOCATION
SPOT GRADE
TREE
STUMP OR SNAG (DEAD)
TREE DRIP LINE
DRAINAGE PATH
CREEK/RIVER FLOW
WATER SURFACE ELEVATION
FLOW LINE
AREA OF 30% OR GREATER SLOPE
SIGN
OVERHEAD UTILITY LINE(S)
UNDERGROUND ELECTRIC LINE
UTILITY POLE SHOWING ARMS AND GUY WIRE
LIGHT, ELECTROLIER
TRAFFIC SIGNAL
GAS LINE
GAS VALVE, IRRIGATION CONTROL VALVE
STORM DRAIN LINE
STORM DRAIN MANHOLE
STORM DRAIN INLET
DOWSPOUT
WALL SUBDRAIN
SD CLEAN OUT
SANITARY SEWER LINE (GRAVITY)
SANITARY SEWER FORCE MAIN
WELL
WATER VALVE
POST INDICATOR VALVE
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
HOSE BIB
BACKFLOW PREVENTION DEVICE
UTILITY VAULT
TREE TO BE REMOVED
-
- VICINITY MAP
- TEAM DIRECTORY
- SITE ADDRESS & APN**
2963 CORMORANT ROAD
PEBBLE BEACH, CA 93953
APN: 007–262–018

ARCHITECT
DANIEL FLETCHER/ARCHITECTS
769 PACIFIC STREET
MONTEREY, CA 93940
TEL: 831–915–9518

CIVIL ENGINEER
WHITSON ENGINEERS
6 HARRIS COURT
MONTEREY, CA 93940
TEL. (831) 649–5225
- CIVIL SHEET INDEX
- C0.1 CIVIL COVER SHEET
C0.2 CIVIL DETAILS
C1.1 CIVIL GRADING PLAN
C2.1 TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
- | TABLE 1705.6 - REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS | | | | |
|---|-------|------------|----------|-------|
| THE FOLLOWING ITEMS SHALL BE INSPECTED BY THE SOILS ENGINEER DESIGNATED BY THE OWNER. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE OBTAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER. | | | | |
| TYPE | REQ'D | CONTINUOUS | PERIODIC | NOTES |
| 1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY | X | | X | |
| 2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL | X | | X | |
| 3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS. | X | | X | |
| 4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL. | X | X | | |
| 5. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY. | X | | X | |
- Civil Engineering
Land Surveying
4 Heintz Court
Monterey, California
831.649.5225
whitsonengineers.com

Whitson
ENGINEERS

PROFESSIONAL ENGINEER
RICHARD P. WEEBER
No. 5829
REGISTERED
STATE OF CALIFORNIA
CIVIL

SUBMITTAL / REVISION

PLANNING SUBMITTAL

3/14/2024

1

BACH RESIDENCE - ACCESSORY DWELLING UNIT
2963 CORMORANT ROAD
Pebble Beach, California

CIVIL COVER SHEET

APN 239-091-048

SCALE: NONE

DRAWN: HK

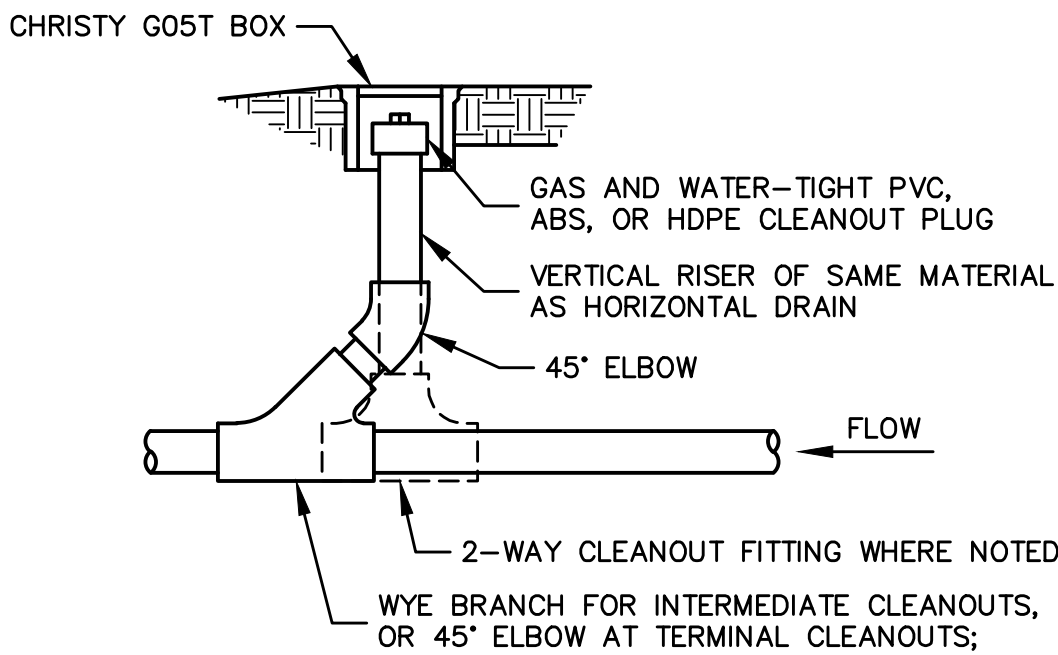
JOB No.: 4609.01

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C0.1
OF 4

NOT FOR CONSTRUCTION
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- 26

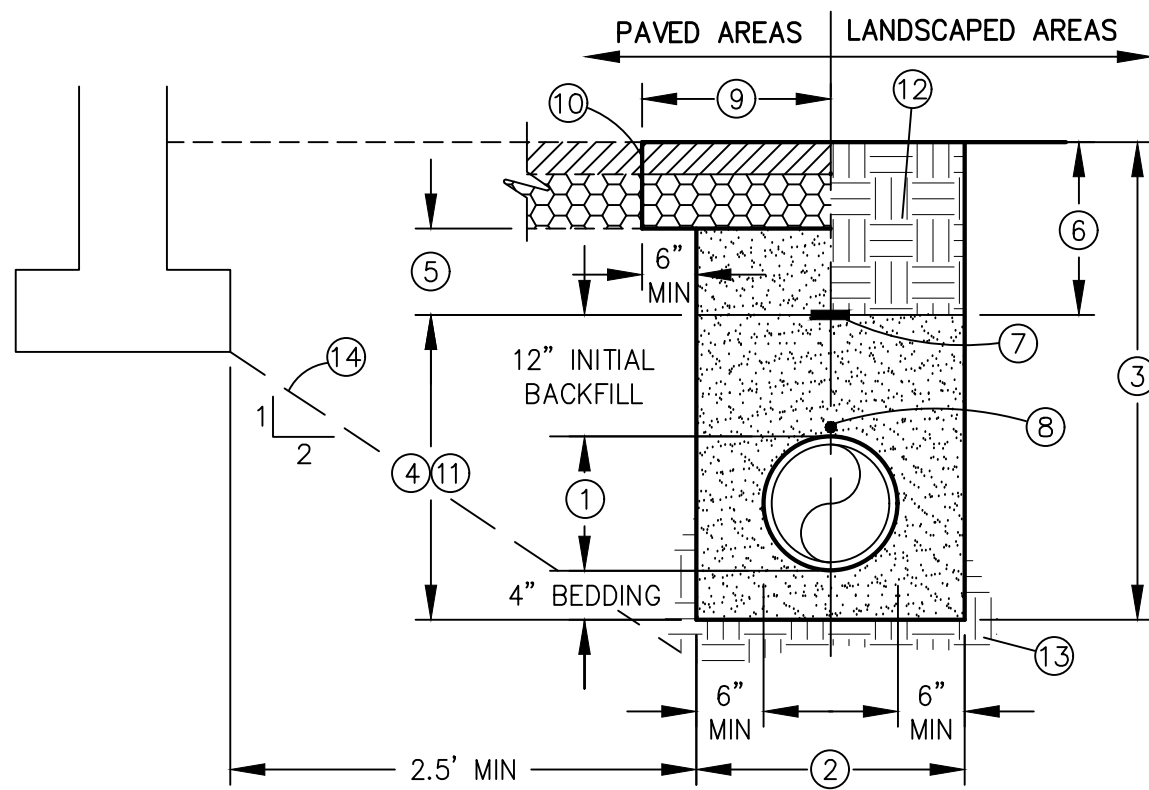
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0 1 2 3
INCHES



2 CLEAN OUT

SCALE: NONE



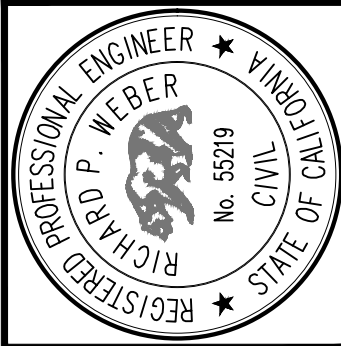
KEYNOTES

- PROPOSED PRIVATE UTILITY; PIPE ZONE
- MINIMUM TRENCH WIDTH = PIPE O.D. + 12" MIN. PROVIDE MIN 6" CLR EITHER SIDE OF PIPE. TRENCH WIDTH MAY VARY FROM ACTUAL WIDTH REQUIRED TO PERFORM THE WORK DEPENDING UPON METHOD OF COMPACTION AND FOR TRENCH SHORING/PROTECTION USED BY CONTRACTOR.
- TRENCH DEPTH AS SHOWN ON PLANS. IF NOT SHOWN OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MAINS 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
- PIPE BEDDING AND INITIAL BACKFILL: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
- FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
- FINAL BACKFILL IN LANDSCAPE AREAS: NATIVE MATERIAL COMPACTED IN MAX 8" LIFTS TO MIN. 90% R.C.
- PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
- PROVIDE INSULATED 12 AWG TRACER WIRE FOR ALL EXTERIOR NON-METALLIC WATER AND GAS PIPES 4"-DIA AND LARGER. TAPE TO TOP OF PIPE AT 10' INTERVALS. EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC., SO LOCATOR EQUIPMENT CAN BE CONNECTED.
- PIPE TRENCHING WORK IN EXISTING IMPROVED STREETS SHALL INCLUDE REPLACEMENT OF EXISTING PAVEMENT. THE THICKNESS OF THE NEW AC AND AB SHALL BE EQUIVALENT TO THE EXISTING AC AND AB THICKNESS, OR 2.5" AC ON 8" AB, WHICHEVER IS GREATER. TRENCH PATCH SHALL EXTEND MIN 6" BEYOND TRENCH WALL.
- ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF TRENCH WALL.
- IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE WITH 5-SACK CONCRETE.
- ALL SOILS PROPOSED TO BE UTILIZED FOR TRENCH BEDDING AND BACKFILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE USE. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- UNDISTURBED SUBGRADE SOIL. THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING BEDDING.
- UTILITY TRENCHES THAT ARE PARALLEL TO THE SIDES OF BUILDINGS OR WALL FOOTINGS SHALL BE LOCATED SO THAT THE TRENCHES DO NOT EXTEND BELOW AN IMAGINARY LINE SLOPING DOWN AT A 2:1 (H:V) SLOPE FROM THE BOTTOM OUTSIDE EDGE OF THE FOOTINGS.
- WHERE UTILITY TRENCHES CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED

8 PRIVATE UTILITY TRENCHING

SCALE: NONE

Civil Engineering
Land Surveying
4 Heald Court
Menlo Park, California
831.648.5225
whitsonengineers.com



SUBMITTAL / REVISION	
1	PLANNING SUBMITTAL

BACH RESIDENCE - ACCESSORY DWELLING UNIT
2963 CORMORANT ROAD
Pebble Beach, California

CIVIL DETAILS

APN 239-091-048

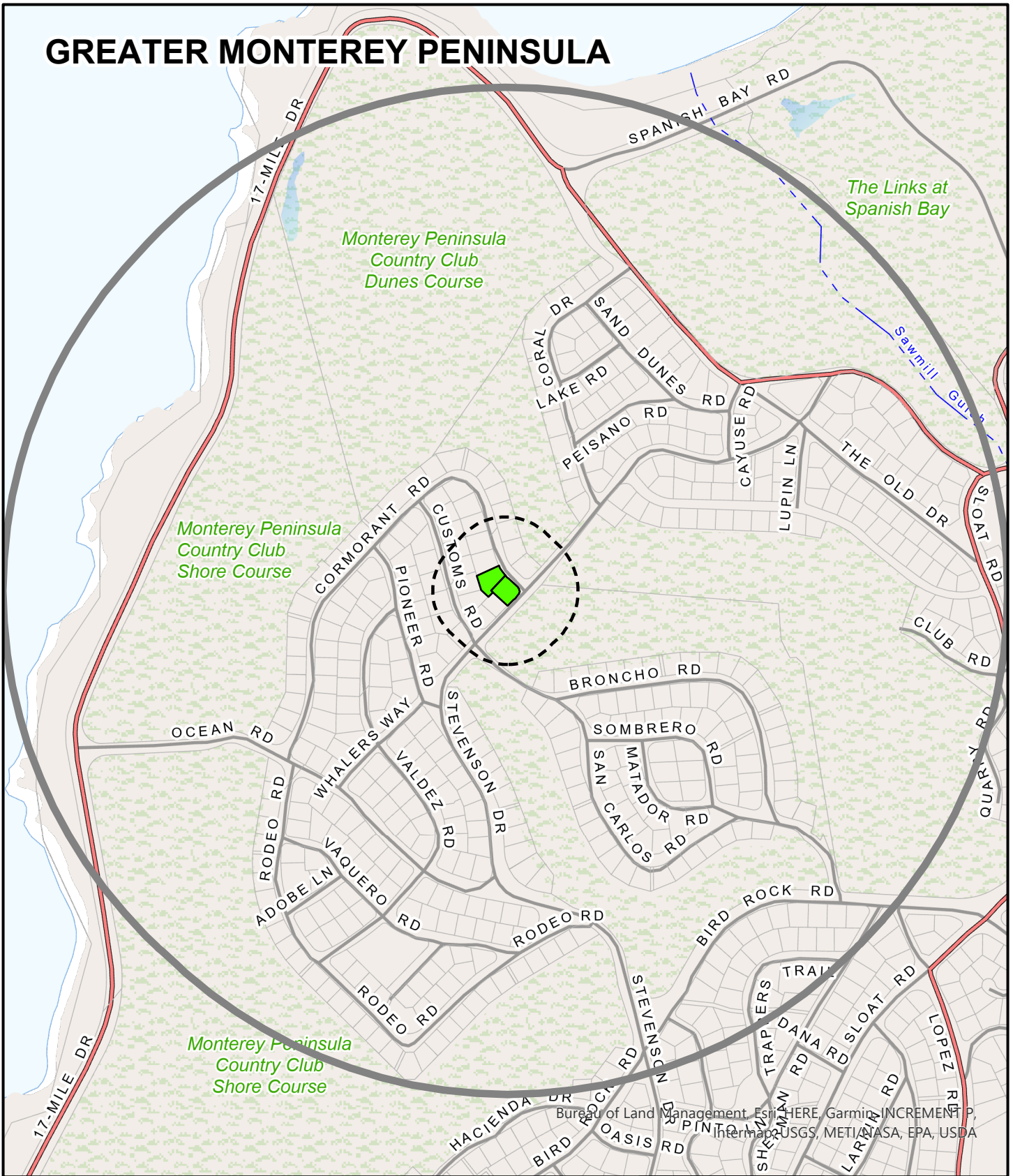
SCALE:	NONE
DRAWN:	HK
JOB No.:	4609.01
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NOT FOR CONSTRUCTION

Exhibit B

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GREATER MONTEREY PENINSULA





APPLICANT: BACH

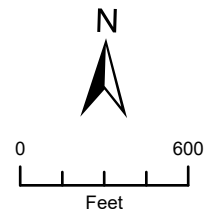
APN: 007262018000,007262017000

FILE # PLN240093

 Project Site

 300 FT Buffer

 2500 FT Buffer



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County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-022

April 16, 2025

Introduced: 4/7/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240012 - MAITLAND DUNCAN & KRISTEN

Administrative hearing to consider the demolition of an existing 1,865 square foot residence and construction of a 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop, and associated site improvements.

Project Location: 80 Poppy Road, Carmel Valley

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to section 15300.2; and
- b. Approve an Administrative Permit and Design Approval to allow demolition of an existing 1,865 square foot residence and construction of a new 2,866 square foot residence with an additional 577 square foot attached garage and a 283 square foot attached workshop with associated site improvements.

The attached draft Resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to the 5 conditions of approval attached to the Resolution.

PROJECT INFORMATION

Agent: Jeffrey Case

Property Owner: Duncan and Kristen Maitland

APN: 187-501-011-000

Parcel Size: 23,638 square feet

Zoning: LDR/1-D-S-RAZ

Plan Area: Carmel Valley Master Plan

Flagged and Staked: No

SUMMARY

Staff recommends approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On April 16, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 15, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following Attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations & Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Project Planner; Fionna Jensen, Senior Planner; Duncan and Kristen Maitland, Property Owners; Jeffrey Case, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN240012



Administrative Permit

Legistar File Number: AP 25-022

April 16, 2025

Introduced: 4/7/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240012 - MAITLAND DUNCAN & KRISTEN

Administrative hearing to consider the demolition of an existing 1,865 square foot residence and construction of a 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop, and associated site improvements.

Project Location: 80 Poppy Road, Carmel Valley

Proposed CEQA action: Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions pursuant to section 15300.2 apply.

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It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to section 15300.2; and
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The attached draft Resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to the 5 conditions of approval attached to the Resolution.

PROJECT INFORMATION

Agent: Jeffrey Case

Property Owner: Duncan and Kristen Maitland

APN: 187-501-011-000

Parcel Size: 23,638 square feet

Zoning: LDR/1-D-S-RAZ

Plan Area: Carmel Valley Master Plan

Flagged and Staked: No

SUMMARY

Staff recommends approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On April 16, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 15, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

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- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Assistant Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following Attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations & Colors and Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District;
HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau;
Joseph Alameda, Project Planner; Fionna Jensen, Senior Planner; Duncan and Kristen Maitland,
Property Owners; Jeffrey Case, Agent; The Open Monterey Project; LandWatch (Executive
Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File
PLN240012

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

MAITLAND DUNCAN & KRISTEN (PLN240012)

RESOLUTION NO. 25--

Resolution by the Monterey County Chief of Planning:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302 and there are no exceptions pursuant to section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow the demolition of an existing 1,865 square foot residence and construction of a new 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop with associated site improvements.

[PLN240012, Duncan and Kristen Maitland, 80 Poppy Road, Carmel Valley, Carmel Valley Master Plan (APN: 187-501-011-000)]

The MAITLAND DUNCAN & KRISTEN application (PLN240012) came on for an administrative decision before the Monterey County Chief of Planning on April 16, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project as conditioned is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan (CVMP); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 80 Poppy Road, Carmel Valley, Carmel Valley Master Plan, (Assessor's Parcel Number [APN]: 187-501-

011-000). The parcel is zoned Low Density Residential, with a density of 1 acre per unit, Design Control, Site Plan Review, and Residential Allocation Zoning overlays or “LDR/1-D-S-RAZ”, which allows for the establishment of a first single-family dwelling as a principally allowed use. The Site Plan Review overlay requires an Administrative Permit for all construction of structures, additions, and deposit or removal of materials. The Design Control overlay requires the granting of a Design Approval for all structures. The project involves the demolition of an existing 1,865 square foot single family dwelling and the construction of a new 3,415 square foot single family dwelling. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property (23,638 square feet), APN: 187-501-011-000, is identified in its current configuration as Lot 13 of Block 3 on a Final Map entitled “Tract No 197, Addition No 3 to Airway Ranch”, recorded in April 1951 (Volume 5, Cities & Towns, Page 67). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood, Community Character, and Visual Resources. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. The proposed development includes colors and materials consisting of brown cement plaster siding, tan stone veneer, a charcoal metal roof, and a light brown wooden trim. The proposed colors and materials are compatible with the surrounding environment and are consistent with the surrounding neighborhood character. Staff conducted a site visit on March 24, 2025, determining that the replacement development is not visible from common public viewing areas therefore will have no impact on the public viewshed due to distance, topography, and existing retained vegetation.
- e) Development Standards. The project meets LDR zoning district standards identified in Title 21 section 21.14.060:
 - 1. Required setbacks for main structures are 30 feet (front), 15 feet (side), and 20 feet (rear). The proposed replacement residence meets these setbacks - with a front setback of 40 feet, side setbacks of approximately 20 feet, and a rear setback of 20 feet.
 - 2. The allowed height for main structures is 30 feet; the proposed structure has a height of 21 feet 2 inches from average natural grade.
 - 3. Allowed maximum site coverage is 25% on lots of 20,000 square feet or more. The project will result in 3,824 square feet of coverage or 16.2%. Therefore, the proposed project meets the required site development standards.
- f) Cultural Resources. The property is identified to have (in County of Monterey GIS) a high archaeological sensitivity. So pursuant to General Plan section OS-6.3 and Title 21 section 21.66.050.C.1.a, a Phase I archaeological survey (LIB240183) was prepared. The survey found no indicators of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project.

The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- g) Historical Resources. Due to the age of the existing residence (constructed in 1953), a Phase I Historic Assessment (County of Monterey Library No. LIB240184) was prepared to determine whether the residence retained any historical significance. The report determined that the circa-1953 residence does not retain any historical significance as the property has no historic associations and the existing residence is not an outstanding example of a type, construction period or architectural design.
- h) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- i) The project planner conducted a site inspection on March 24, 2025 to which verified verify that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240012.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. County staff reviewed the application materials and plans verifying that the project conforms to the applicable plans and regulations. There has been no indication from the reviewing departments/agencies that the site is unsuitable for the development. Any reviewing departments and agencies' recommended Conditions of Approval have been incorporated into this Resolution.
 - b) The following reports have been prepared:
 - 1. "Geotechnical Report" (LIB240187) prepared by Greg Bloom, Watsonville, CA, January 31, 2024.
 - 2. "Phase I Archaeological Assessment" (LIB240183) prepared by Ruben Mendoza, Salinas, CA, February 1, 2024.
 - 3. "Phase One Historic Assessment" (LIB240184) prepared by Seth Bergstein, Pacific Grove, CA, February 7, 2024.

County staff independently reviewed these reports and concur with their conclusions. There are no physical or environmental constraints to indicate the site is unsuitable for the proposed use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on March 24, 2025, verifying that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240012.
3. **FINDING:** **HEALTH AND SAFETY** – The project’s establishment, maintenance, or operation will not, under the circumstances of this project, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. The respective agencies have recommended conditions, where appropriate, to ensure the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are currently available to the subject property. California American Water (Cal-Am) provides potable water, and the subject property contains an On-site Wastewater Treatment System (OWTS) which was reviewed and approved by the Environmental Health Bureau.
 - c) Staff conducted a site inspection on March 24, 2025, verifying that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240012.
4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on March 24, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240012.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15302 categorically exempts replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
 - b) As proposed, the project involves demolition of an existing 1,865 square foot residence and replacement with a 2,866 square foot residence with

an additional 577 square foot attached garage and a 283 square foot attached workshop with associated site improvements. The replacement structure will have the same residential purpose and capacity of the original structure. The replacement structure will be on substantially the same footprint as the existing residence and will be located on the same site. Therefore, the proposed project meets the Class 2 Categorical Exemption requirements.

- c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. The historical report concluded that the existing main residence has no historical significance or integrity, the Phase I archaeological report concludes no impact to archaeological resources with implementation of the project. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application or during a March 24, 2025, site visit.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240012.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appeal authority to consider appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and there are no exceptions pursuant to section 15300.2; and
2. Approve an Administrative Permit and Design approval to allow the demolition of an existing 1,865 square foot residence and construction of a 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop, and associated site improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 16th day of April, 2025.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240012

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative permit and Design Approval (PLN240012) allows the demolition of an existing 1,865 square foot residence and construction of a 2,866 square foot residence with a 577 square foot attached garage and a 283 square foot attached workshop, and associated site improvements. The property is located at 80 Poppy Road, Carmel Valley (Assessor's Parcel Number 187-501-011-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the County of Monterey Chief of Planning for Assessor's Parcel Number 187-501-011-000 on April 16, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0005 – DRIVEWAY IMPROVEMENTS AND SIGHT DISTANCE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct a commercial driveway connection(s) to Carmel Valley Road and trim or remove the trees and vegetation along the entire property frontage of the project site at Carmel Valley Road to provide sight visibility. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

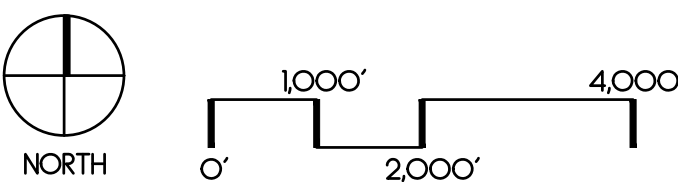
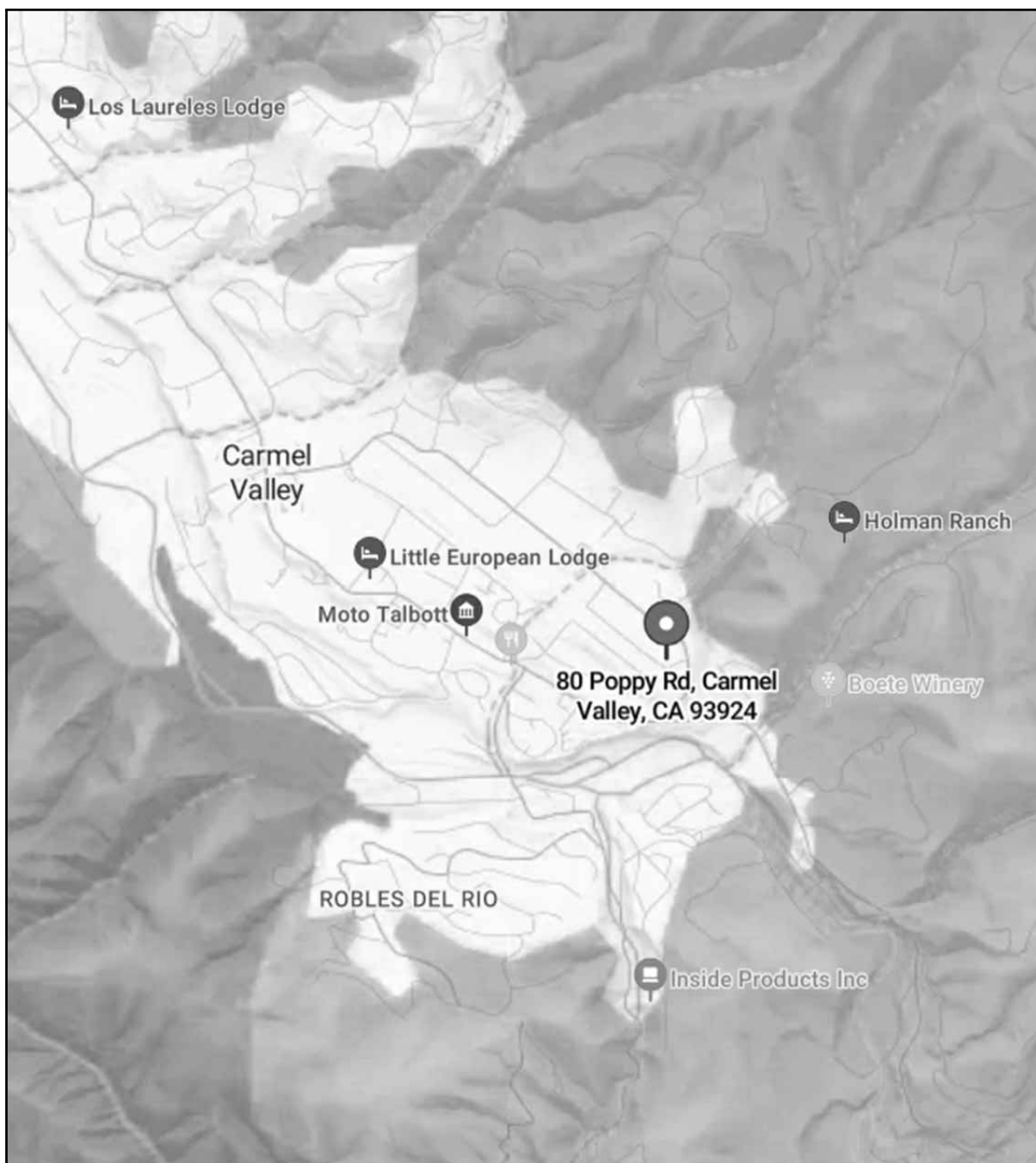
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MAITLAND RESIDENCE

CARMEL VALLEY, CALIFORNIA



VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION:

THE PROJECT INCLUDES THE DEMOLITION OF AN EXISTING 1,865 S.F., 1-STORY SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW 3,726 S.F., 2-STORY SINGLE FAMILY DWELLING.

OWNER:	KRISTEN & DUNCAN MAITLAND 80 POPPY ROAD CARMEL VALLEY, CALIFORNIA 93924
PROJECT ADDRESS:	80 POPPY ROAD CARMEL VALLEY, CALIFORNIA 93924
AP.N:	187-501-011-000
ZONING:	LDR/1-D-S-RAZ
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY TYPE:	R-3/U
BUILDING FLOOR AREA SUMMARY	
PHASE I	
ENTRY LEVEL	2,053 S.F.
GARAGE	577 S.F.
UPPER LEVEL	512 S.F.
SUBTOTAL	3,142 S.F.
PHASE II	
ENTRY LEVEL	301 S.F.
WORKSHOP	283 S.F.
SUBTOTAL	584 S.F.
TOTAL	3,726 S.F.
SITE AREA:	23,638 S.F. (0.54 ACRES)
ALLOWED BLDG. COVERAGE:	5,909 S.F. (25%)
BUILDING FOOTPRINT	3,214 S.F.
EAVES > 30"	610 S.F.
TOTAL	3,824 S.F. (16.2%)
IMPERVIOUS COVERAGE:	
BUILDING COVERAGE	3,824 S.F.
IMPERVIOUS SURFACES	1,197 S.F.
TOTAL	5,024 S.F.
PERVIOUS SURFACE COVERAGE:	18,609 S.F.
HEIGHT:	
MAXIMUM ALLOWABLE	30'-0"
MAXIMUM PROPOSED	21'-2"
PARKING:	2 COVERED, 2 UNCOVERED
GRADING:	
TREES TO BE REMOVED:	(5) 21" DECIDUOUS CEDAR, 15" JUNIPER, 12" JUNIPER, 12" ORNAMENTAL PEPPER, 6" JUNIPER - SEE LANDSCAPE DRAWINGS

SHEET INDEX

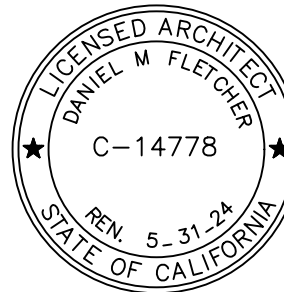
ARCHITECTURAL

AO.1	TITLE SHEET
1	TOPOGRAPHIC SURVEY
A1.1	SITE PLAN
A2.1	FLOOR PLANS
A2.2	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS AND COLORS & MATERIALS
C1	SITE DEMOLITION PLAN
C2	SITE GRADING PLAN
C3	SITE CROSS SECTIONS
C4	STORMWATER CONTROL PLAN
C5	EROSION CONTROL PLAN
C6	CONSTRUCTION MANAGEMENT PLAN
L-O.1	FUEL MANAGEMENT PLAN
L-O.2	TREE REMOVAL PLAN
L-10	SITE PLAN
L-2.0	CONSTRUCTION DETAILS
L3.0	PLANTING PLAN
L4.0	SITE LIGHTING PLAN
L-4.1	SITE LIGHTING SPECS

DF/A

Daniel Fletcher / Architects

769 Pacific Street
Monterey, CA 93940
831.373.5855



CONSULTANT

PROJECT

MAITLAND
RESIDENCE

80 POPPY ROAD
CARMEL VALLEY, CA
93924

PROJECT NUMBER

2302

OWNER

KRISTEN & DUNCAN
MAITLAND

80 POPPY ROAD
CARMEL VALLEY, CA 93924

SHEET TITLE

TITLE SHEET

SCALE:	NONE
DRAWN BY:	SR
PRINT DATE:	.
DRAWING DATE:	07/02/2024
DATE ISSUED FOR CONSTRUCTION:	.
REVISIONS:	

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SHEET NUMBER

A0.1

Map Legend:

Basis of Bearings: The bearing of S51° 56'E for the southwesterly sideline of Ford Road (formerly Sage Road) as shown on the map of Addition No. 3 to Airway Ranch (R1) and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.
Site Benchmark: Control Point #1 as shown hereon

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Boundary Legend

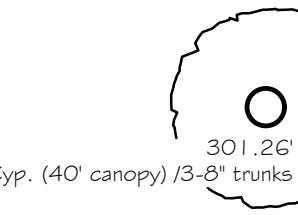
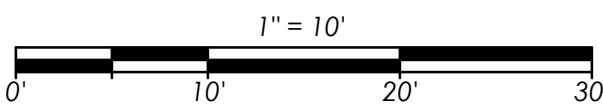
A.G.S. - above ground surface
A.S.O. - as shown on
AP - angle point
BC - brass cap or begin curve
BFP - backflow preventer
B.G.S. - below ground surface
BOC - back of curb
COR - corner
CP - control point
CTL - CONTROL
DOC - document
ENG/ENGR - engineer
FD/FND - found
F.T.C. - from true corner
I.P. - iron pipe
L&T - lead & tag
LS - land surveyor
M-T - MAG NAIL & tag
MAG - MAG NAIL
MKD - marked
MON - monument
N-T - nail & tag
N.R.F. - no reference found
N.S.F. - not searched for
O.R. - Official Records, Monterey County
O.U. - origin unknown
POL - point on line
RCE - registered civil engineer
ROW - right of way
S.F.N.F. - searched for, not found
SPK - spike
STA - station(control point)
TBM - temporary benchmark

Topography Legend

AC - asphalt concrete
AD - area drain
AL - area light
BLD/BLDG - building
BLDR(S) - boulder(s)
BOC - back of curb
BRK - brick
BTM/BOT - bottom
BW - back of sidewalk
CF - curb face
CHIM - chimney
CL - centerline
CLM - column
CONC - concrete
D - dirt
DG - decomposed granite
DK - deck
DW - driveway
EA - exposed aggregate concrete
ENCL - enclosure
EP - edge of paving
FF - finished floor
FF-THRESH - finished floor threshold
FH - fire hydrant
FL - flow line
FL-NG - flow line natural grade
FNC - fence
FNC-BRD - board fence
FNC-CL - chain-link fence
FNC-WD - wood fence
FNC-WR - wire fence
FOB - face of building
FOW - face of wall
FS - finished surface
FTG - footing
FW - front of sidewalk
GAR - garage
GB - grade break
GUT - edge of gutter
GUYA - guy anchor
GUYP - guy pole
GVL - gravel
INT - intersection
LNDG - landing
LUP - edge of conc gutter
MB - mailbox
ML - metal
NG - natural grade
P - pool
PLTR - planter
PTO - patio
PVR - paver
RD - road
RDG - ridge
STC - stucco
STN - stone
STP - step
STRP - stripe
SW - sidewalk
SWL - swale
TC - top of curb
TOP - top of slope
TOE - toe of slope
TW/TOW - top of wall
WALL-AB - Allen Block wall
WALL-AD - adobe wall
WLK - sidewalk

Utility Legend
CATV - cable tv
COMM - communications
CO or C/O - clean out
DDCV - double detector check valve
ELEC - electric
EM - electric meter
GM - gas meter
GV - gas valve
HB - hose bib
ICV - irrigation control valve
IRR - irrigation
JP - joint utility pole
LT - light
LT-SID - light standard/pole
PB - utility pull box
PB-B - unmarked pull box
PF-PIN FLAG
PF-B - blue pin flag
PF-G - green pin flag
PF-O - orange pin flag
PF-P - pink pin flag
PF-PL - purple pin flag
PF-R - red pin flag
PF-W - white pin flag
PF-Y - yellow pin flag
PM - paint mark
PM-B - blue PM (water)
PM-G - green PM (sewer)
PM-O - orange PM (catv/comm)
PM-P - pink PM (unknown facilities)
PM-PL - purple PM (reclaimed water/irr)
PM-R - red PM (elec)
PM-W - white point mark
PM-Y - yellow PM (gas)
PP - power pole
PVR - paver
SCO - sewer clean out
SDMH - storm drain manhole
SSMH - sanitary sewer manhole
ST LT - street light
STN - stone
TELCO - telephone
TG - top of drain grate
UP - utility pole
WD-wood
WL - water line
WM - water meter
WV - water valve

catch basin-drain
control point
electric meter or pull box
fire hydrant
gas meter or pull box
gas valve
guy anchor
irrigation pull box
irrigation control valve
light standard
manhole
point on line
sewer clean out
sign(pole)
storm drain manhole
sewer manhole
telephone manhole
telephone pull box
traffic signal box
cable television pull box
unmarked pull box
utility pole
water meter
water valve
well

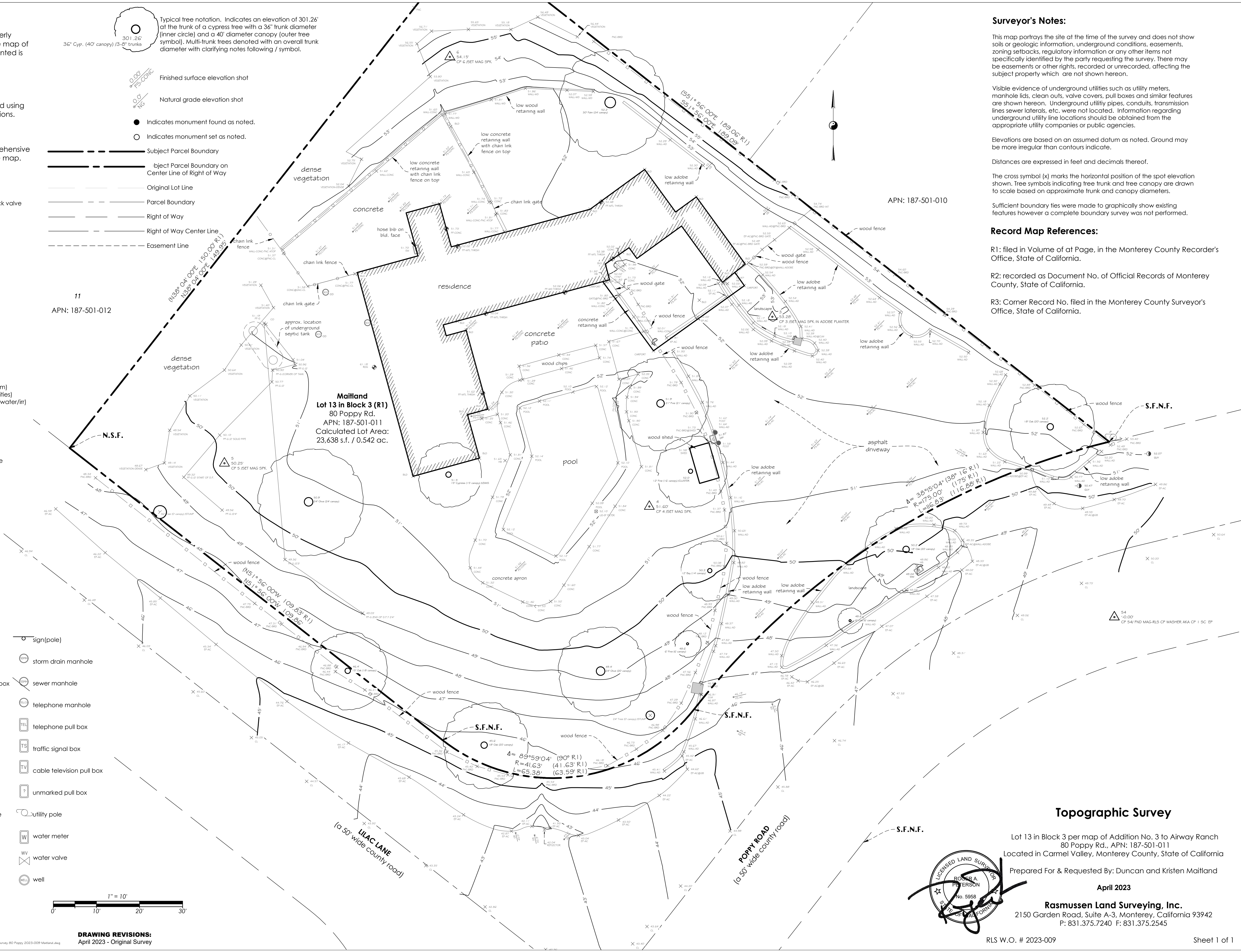


Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40' diameter canopy (outer tree symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.

Finished surface elevation shot
Natural grade elevation shot

Indicates monument found as noted.
Indicates monument set as noted.

Subject Parcel Boundary
Ibject Parcel Boundary on Center Line of Right of Way
Original Lot Line
Parcel Boundary
Right of Way
Right of Way Center Line
Easement Line



Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Record Map References:

R1: filed in Volume of at Page, in the Monterey County Recorder's Office, State of California.

R2: recorded as Document No. of Official Records of Monterey County, State of California.

R3: Corner Record No. filed in the Monterey County Surveyor's Office, State of California.

Topographic Survey

Lot 13 in Block 3 per map of Addition No. 3 to Airway Ranch
80 Poppy Rd., APN: 187-501-011
Located in Carmel Valley, Monterey County, State of California

Prepared For & Requested By: Duncan and Kristen Maitland

April 2023

Rasmussen Land Surveying, Inc.

2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2023-009

Sheet 1 of 1



SHEET NOTES

- EXISTING RESIDENCE TO BE REMOVED.
- EXISTING POOL TO BE REMOVED.
- SETBACK LINE - TYP.
- EXISTING SEPTIC TANK AND LEACH FIELD.
- EXISTING TREE TO REMAIN - TYP.
- ROOF LINE ABOVE - TYP.
- RELOCATED UTILITY METERS.
- HIGH POINT OF CONTACT = 53.00'.
- LOW POINT OF CONTACT = 52.25'.
- PERMEABLE PAVER DRIVEWAY - SEE LANDSCAPE DRAWINGS.
- LANDSCAPE WALL - SEE LANDSCAPE DRAWINGS.
- EXISTING EDGE OF PAVEMENT.
- RAINWATER COLLECTION CISTERNS - SEE CIVIL DRAWINGS.

SIDE SETBACK CALCS.

$$\begin{aligned} 189.09' + 109.86' &= 298.95' \\ 298.95' / 2 &= 149.48' \\ 149.48' \times 10\% &= 15'-0" \end{aligned}$$

AVERAGE NAT. GRADE CALCS.

$$\text{RESIDENCE: } 512 + 53.0 = 104.2 / 2 = 52.1$$

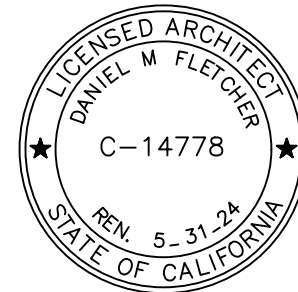
LEGEND

- | | |
|--|--|
| | BUILDING FOOTPRINT |
| | EXISTING CONTOUR TO REMAIN |
| | NEW CONTOUR |
| | CONCRETE PAVING |
| | EXISTING TREE TO REMAIN |
| | EXISTING TREE TO BE REMOVED - SEE LANDSCAPE DRAWINGS |
| | TOP OF PAVING ELEVATION |
| | TOP OF WALL ELEVATION |

DF/A

Daniel Fletcher / Architects

769 Pacific Street
Monterey, CA 93940
831.373.5855



CONSULTANT

PROJECT

MAITLAND
RESIDENCE

80 POPPY ROAD
CARMEL VALLEY, CA
93924

PROJECT NUMBER

2302

OWNER

KRISTEN & DUNCAN
MAITLAND

80 POPPY ROAD
CARMEL VALLEY, CA 93924

SHEET TITLE

SITE PLAN

SCALE:

1/8" = 1'-0"

DRAWN BY:

JRC

PRINT DATE:

.

DRAWING DATE:

07/02/2024

DATE ISSUED FOR

CONSTRUCTION:

.

REVISIONS:

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SHEET NUMBER

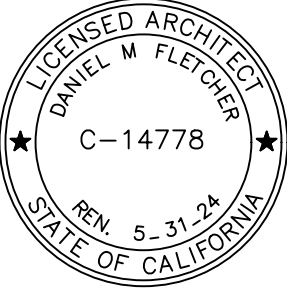
A1.1

SHEET NOTES

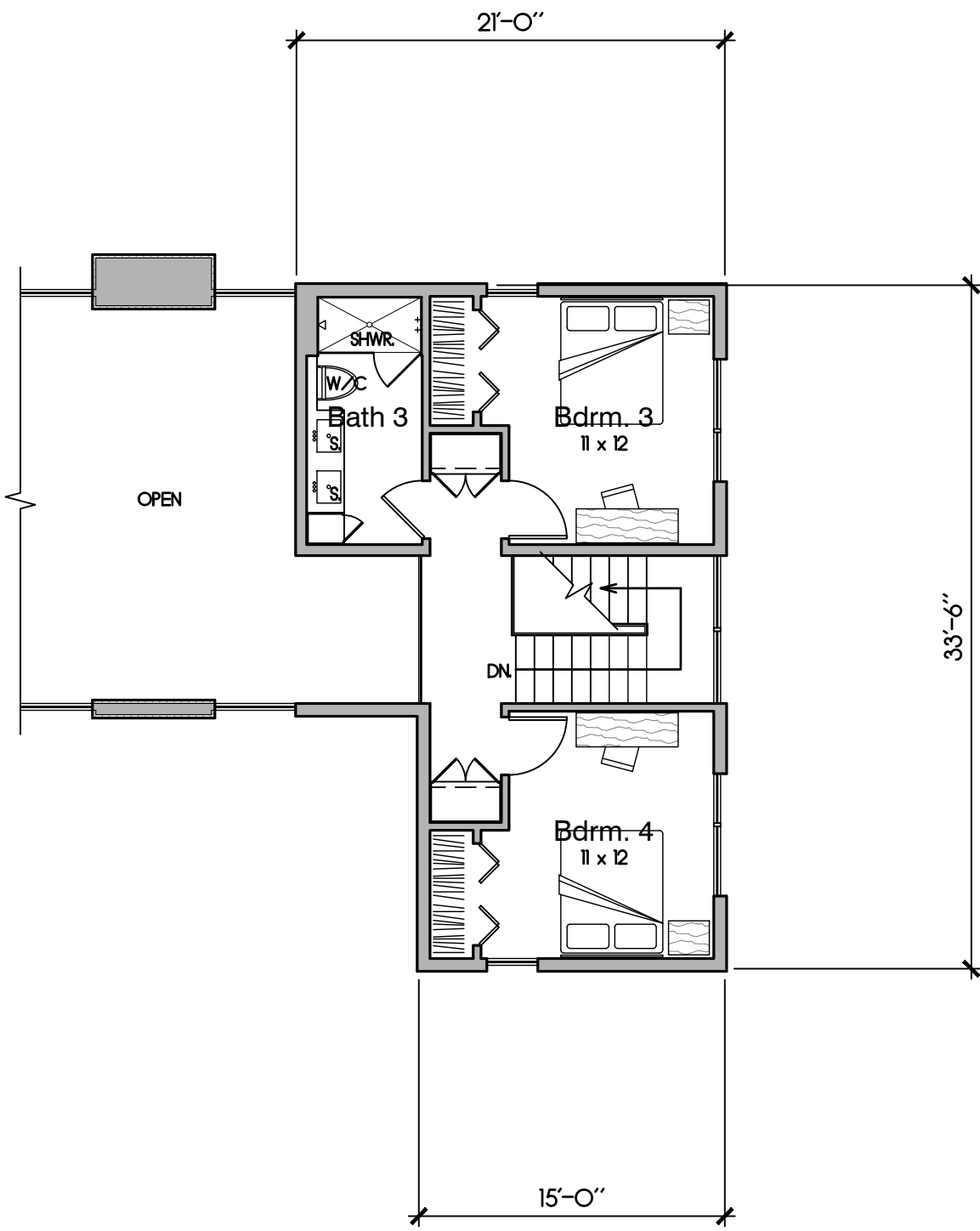
1. ROOF LINE ABOVE - SEE SITE PLAN.
2. FLOOR LINE ABOVE.
3. CEILING ABOVE.
4. CONCRETE STEPS AND PAVING - SEE SITE PLAN - TYPICAL.



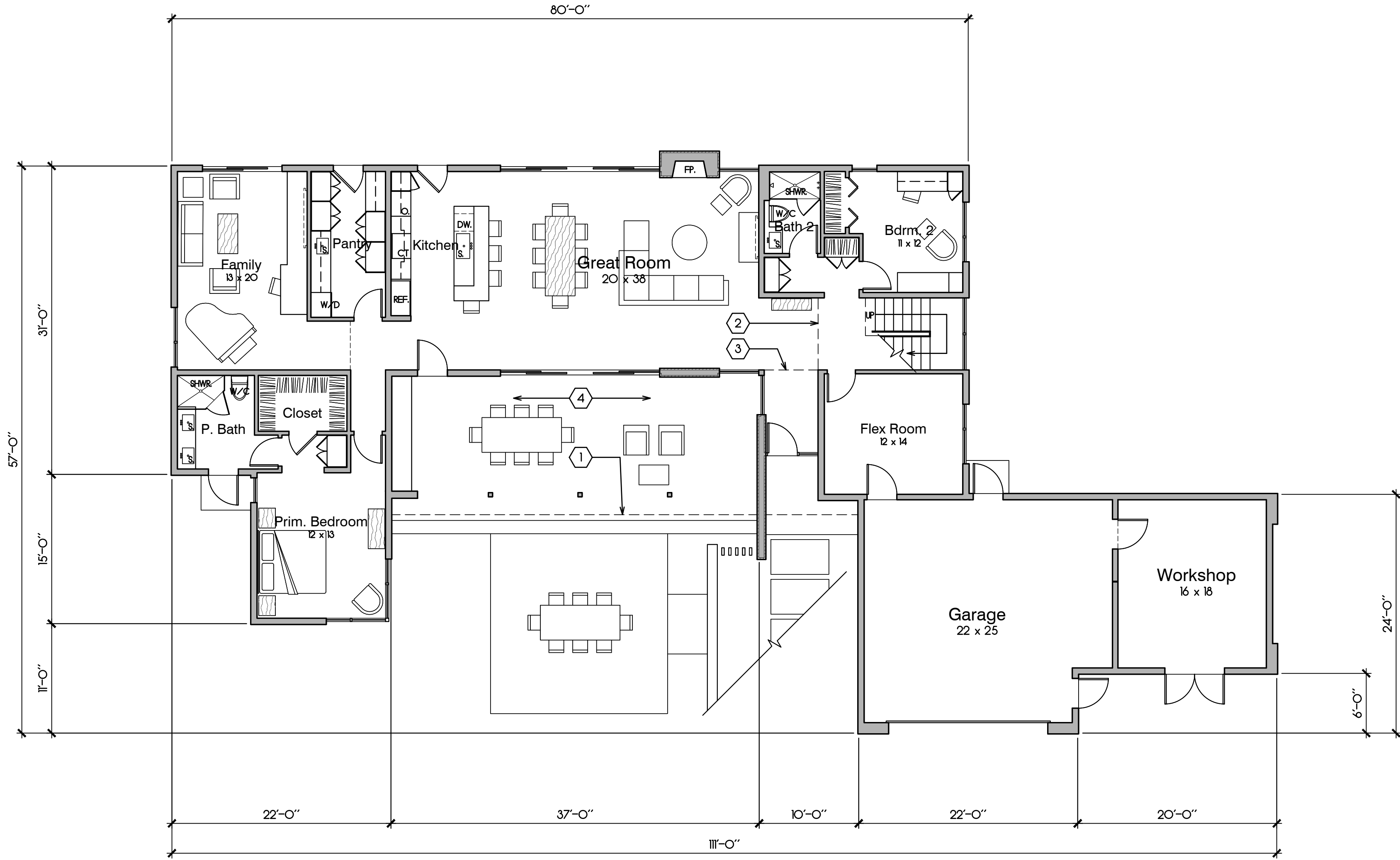
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UPPER LEVEL FLOOR PLAN
NORTH
SCALE 1/8" = 1'-0"



ENTRY LEVEL FLOOR PLAN
NORTH
SCALE 1/8" = 1'-0"

PROJECT

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CARMEL VALLEY, CA
93924

PROJECT NUMBER

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OWNER

KRISTEN & DUNCAN
MAITLAND

80 POPPY ROAD
CARMEL VALLEY, CA 93924

SHEET TITLE

FLOOR PLANS

SCALE: 1/8" = 1'-0"

DRAWN BY: JRC

PRINT DATE: .

DRAWING DATE: 07/02/2024

DATE ISSUED FOR
CONSTRUCTION:

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SHEET NUMBER

A2.1

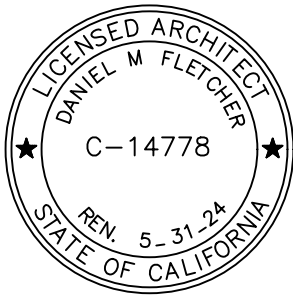
SHEET NOTES

1. WALL OUTLINE BELOW - TYP.
2. STANDING SEAM METAL ROOFING.
3. TPO ROOFING WITH DECOMPOSED GRANITE CAP SHEET.
4. METAL GUTTER - TYP.

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CONSULTANT

PROJECT

MAITLAND
RESIDENCE

80 POPPY ROAD
CARMEL VALLEY, CA
93924

PROJECT NUMBER

2302

OWNER

KRISTEN & DUNCAN
MAITLAND

80 POPPY ROAD
CARMEL VALLEY, CA 93924

SHEET TITLE

ROOF PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: JRC

PRINT DATE: .

DRAWING DATE: 07/02/2024

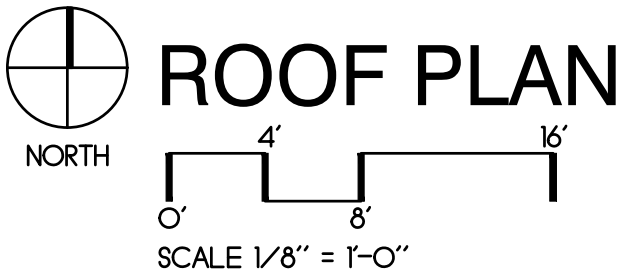
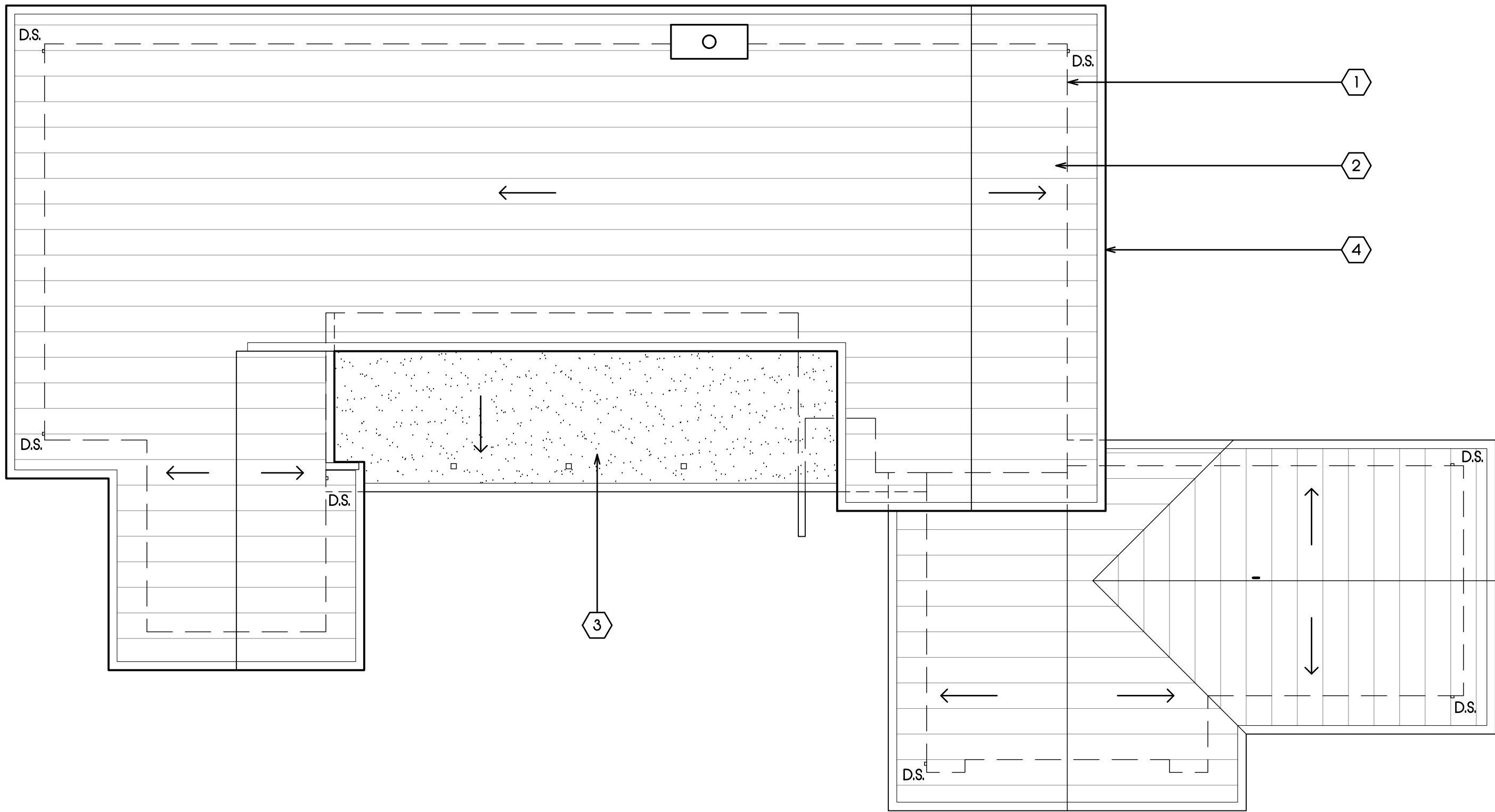
DATE ISSUED FOR
CONSTRUCTION: .

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SHEET NUMBER

A2.2



ROOF PLAN

COLOR SCHEDULE

SHEET NOTES

1. STANDING SEAM METAL ROOFING - TYP.
2. WOOD FASCIA - TYP.
3. CEMENT PLASTER FINISH - TYP.
4. STONE VENEER FINISH - TYP.
5. METAL DOORS AND WINDOWS - TYP.
6. WOOD GARAGE DOOR.

CEMENT PLASTER

MFR: KELLY-MOORE
COLOR: EAGLE'S MEADOW KM5779

METAL ROOFING & ARCHITECTURAL METALS

MFR: MCELROY METALS
COLOR: CHARCOAL

WOOD TRIM

MFR: CABOT STAINS
COLOR: BEECHWOOD GRAY SEMI-TRANSPARENT 0342

ALUMINUM DOORS AND WINDOWS

MFR: BLOMBERG
COLOR: FLAY GRAY

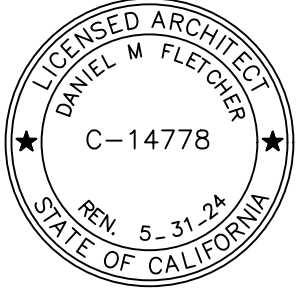
STONE VENEER

MFR: SBI BUILDING MATERIALS
COLOR: ST. HELENA COTTAGE

DF/A

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Monterey, CA 93940
831.373.5855



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MAITLAND

80 POPPY ROAD
CARMEL VALLEY, CA 93924

SHEET TITLE

EXTERIOR ELEVATIONS
AND COLORS &
MATERIALS

SCALE: 1/8" = 1'-0"

DRAWN BY: JRC

PRINT DATE: .

DRAWING DATE: 07/02/2024

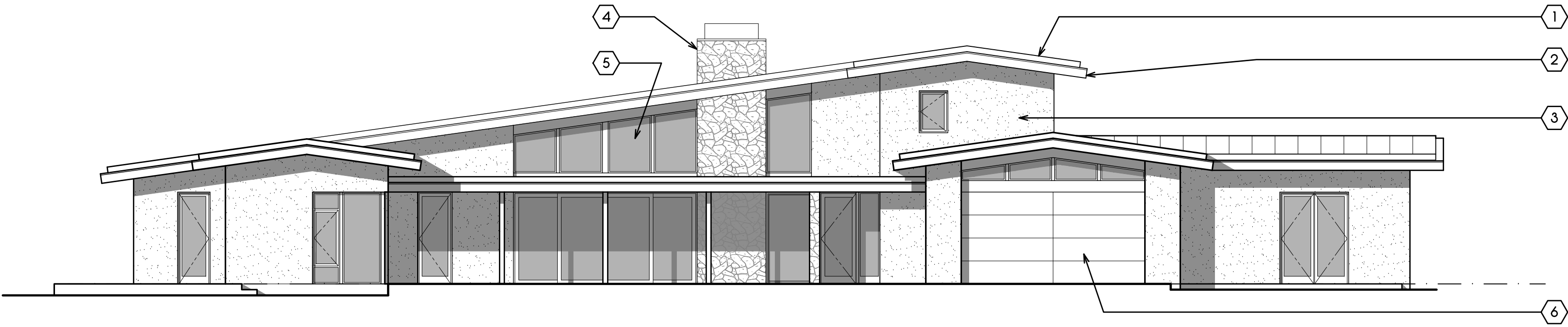
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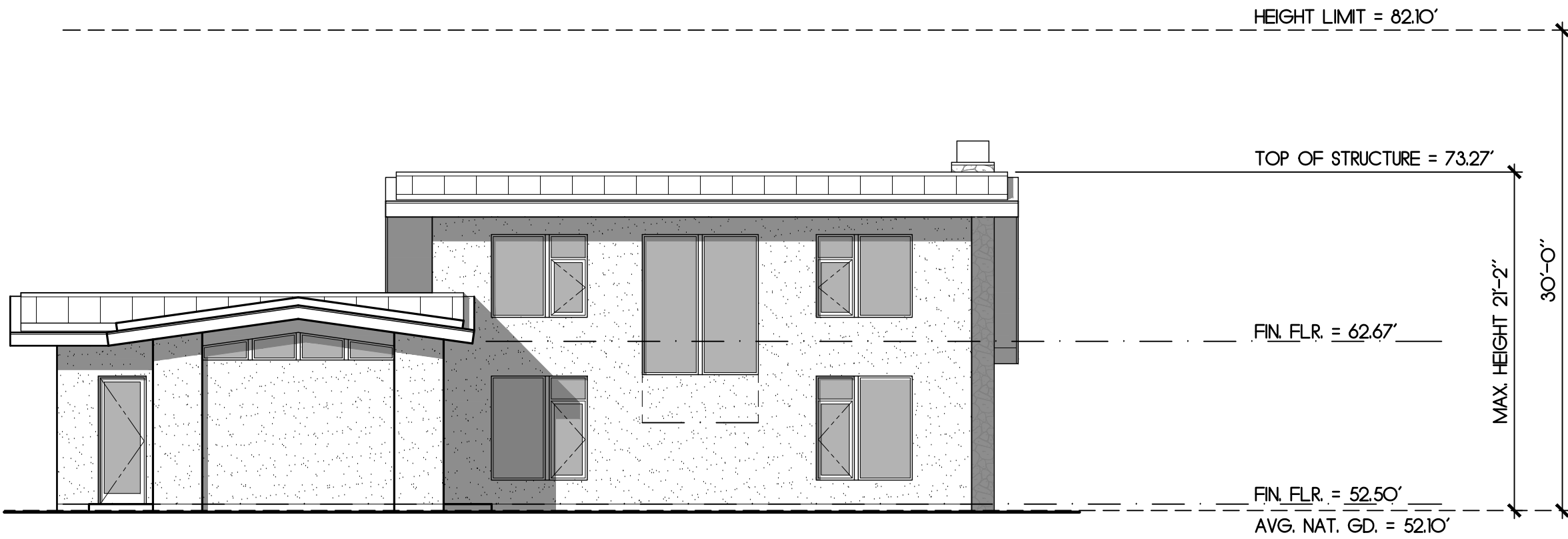
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A3.1



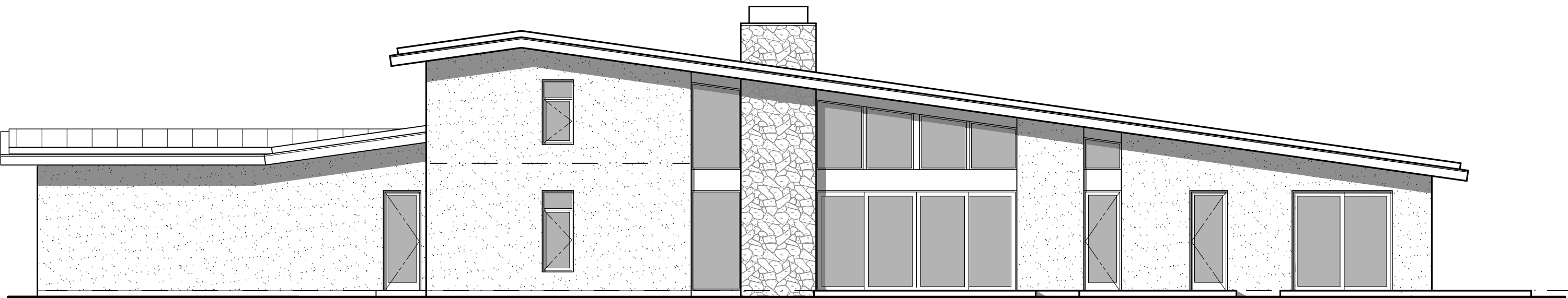
SOUTH ELEVATION

4' 8' 16'
0' 8' 16'
SCALE 1/8" = 1'-0"



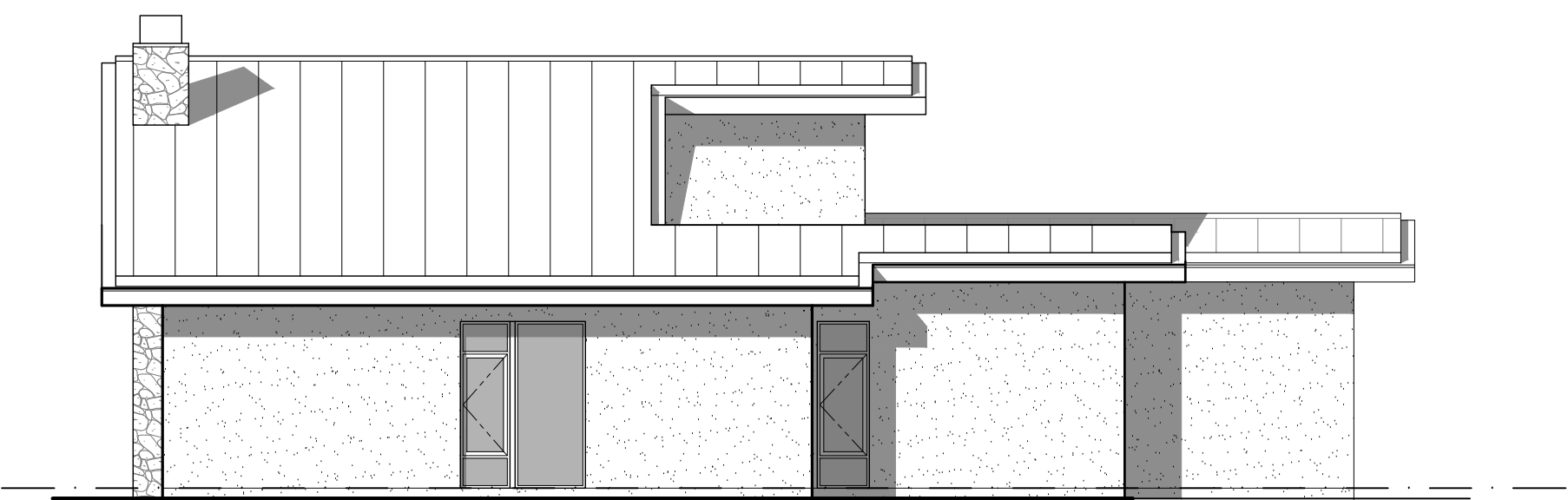
EAST ELEVATION

4' 8' 16'
0' 8' 16'
SCALE 1/8" = 1'-0"



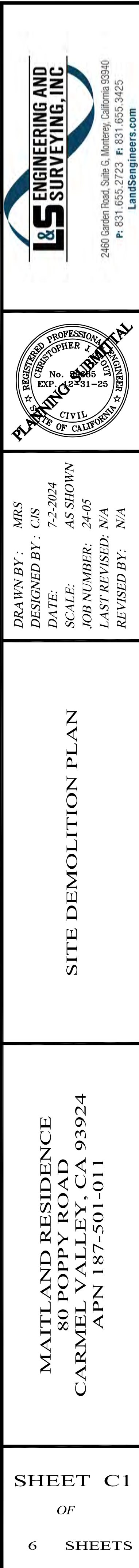
NORTH ELEVATION

4' 8' 16'
0' 8' 16'
SCALE 1/8" = 1'-0"

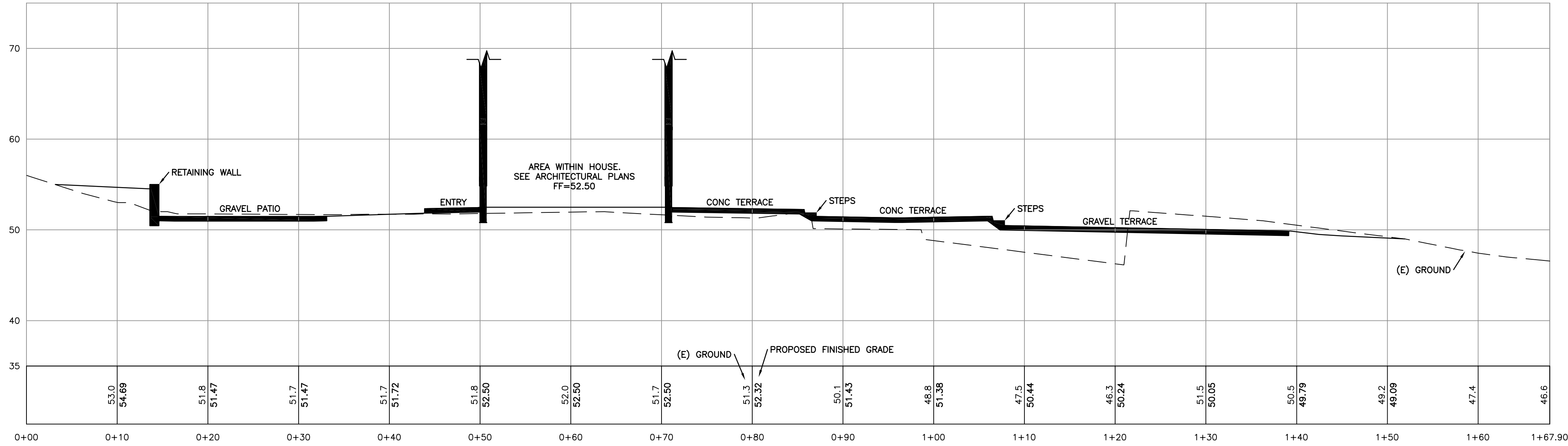


WEST ELEVATION

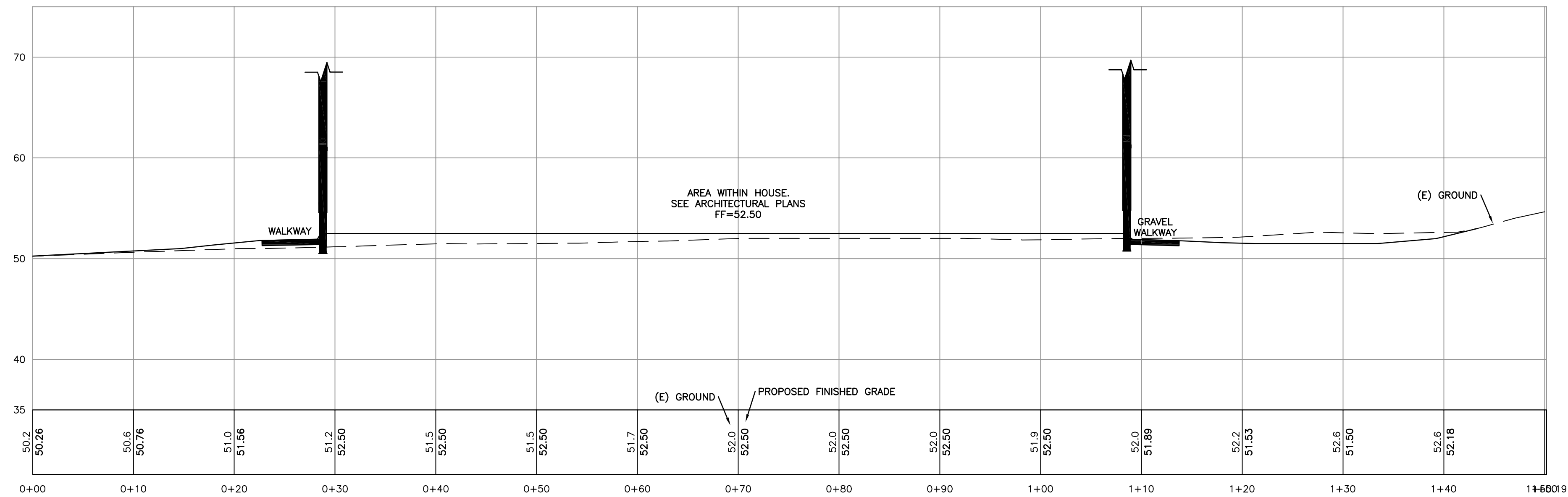
4' 8' 16'
0' 8' 16'
SCALE 1/8" = 1'-0"



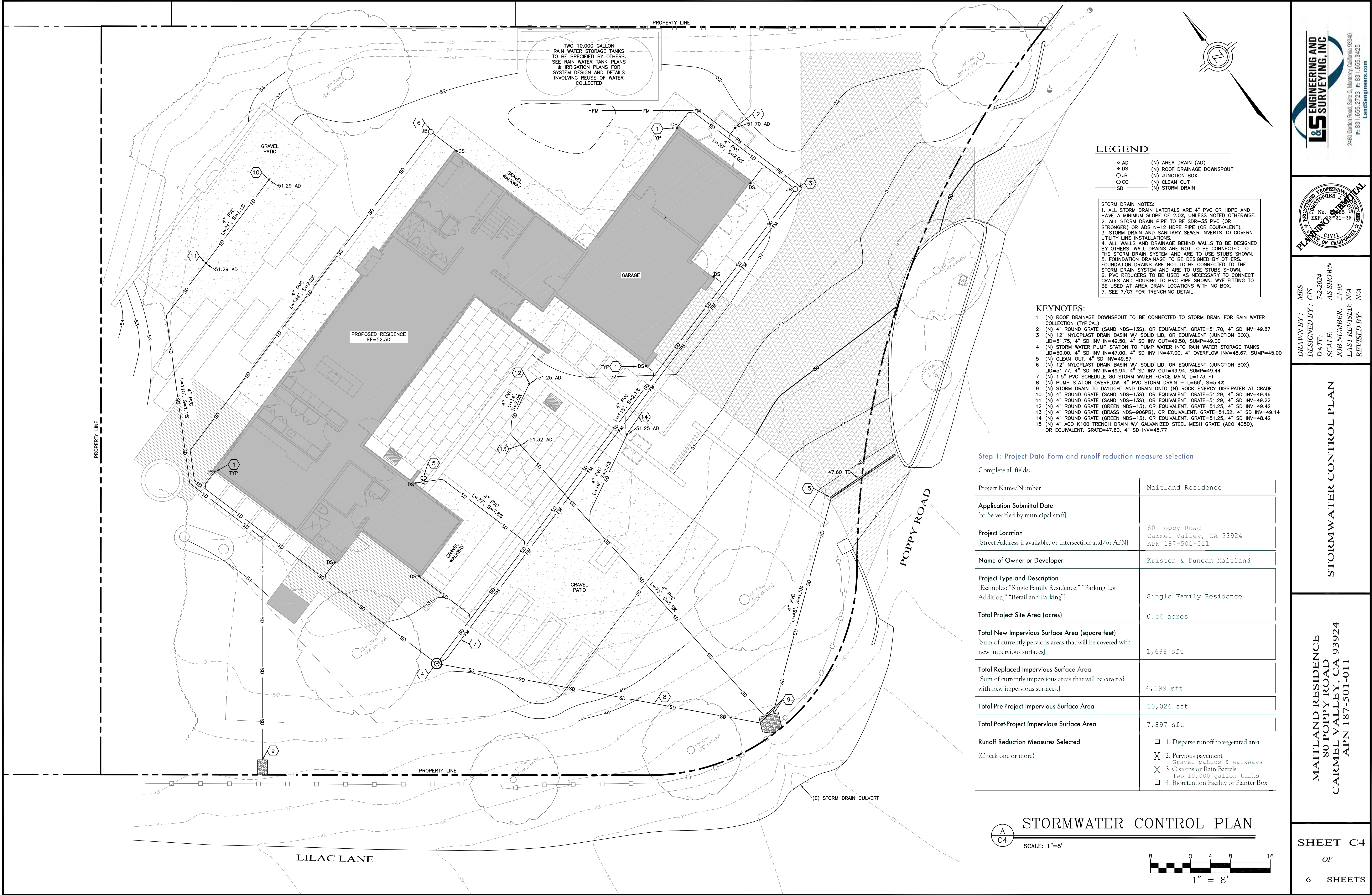




A
C3
SITE CROSS SECTION - LOOKING EAST
SCALE: 1"=8'



B
C3
SITE CROSS SECTION - LOOKING NORTH
SCALE: 1"=8'



LEGEND

- AD (N) AREA DRAIN (AD)
- DS (N) ROOF DRAINAGE DOWNSPOUT
- JB (N) JUNCTION BOX
- CO (N) CLEAN OUT
- SD (N) STORM DRAIN

STORM DRAIN NOTES:
1. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0%, UNLESS NOTED OTHERWISE.
2. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).
3. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.
5. FOUNDATION DRAINAGE TO BE DESIGNED BY OTHERS. FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.
6. PVC REDUCERS TO BE USED AS NECESSARY TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.
7. SEE 1/2" FOR TRENCHING DETAIL

KEYNOTES:

- (N) ROOF DRAINAGE DOWNSPOUT TO BE CONNECTED TO STORM DRAIN FOR RAIN WATER COLLECTION (TYPICAL)
- (N) 4" ROUND GRATE (SAND NDS-13S), OR EQUIVALENT. GRATE=51.70, 4" SD INV=49.87
- (N) 12" NYLOPLAST DRAIN BASIN W/ SOLID LID, OR EQUIVALENT (JUNCTION BOX). LID=51.75, 4" SD INV IN=49.50, 4" SD INV OUT=49.50, SUMP=49.00
- (N) STORM WATER PUMP STATION TO PUMP WATER INTO RAIN WATER STORAGE TANKS LID=50.00, 4" SD INV IN=47.00, 4" SD INV IN=47.00, 4" OVERFLOW INV=48.67, SUMP=45.00
- (N) CLEAN-OUT, 4" SD INV=49.67
- (N) 12" NYLOPLAST DRAIN BASIN W/ SOLID LID, OR EQUIVALENT (JUNCTION BOX). LID=51.77, 4" SD INV IN=49.94, 4" SD INV OUT=49.94, SUMP=49.44
- (N) 1.5" PVC SCHEDULE 80 STORM WATER FORCE MAIN, L=173 FT
- (N) PUMP STATION OVERFLOW. 4" PVC STORM DRAIN - L=66', S=5.4%
- (N) STORM DRAIN TO DAYLIGHT AND DRAIN ONTO (N) ROCK ENERGY DISSIPATOR AT GRADE
- (N) 4" ROUND GRATE (SAND NDS-13S), OR EQUIVALENT. GRATE=51.29, 4" SD INV=49.46
- (N) 4" ROUND GRATE (SAND NDS-13S), OR EQUIVALENT. GRATE=51.29, 4" SD INV=49.22
- (N) 4" ROUND GRATE (GREEN NDS-13), OR EQUIVALENT. GRATE=51.25, 4" SD INV=49.42
- (N) 4" ROUND GRATE (BRASS NDS-906PB), OR EQUIVALENT. GRATE=51.32, 4" SD INV=49.14
- (N) 4" ROUND GRATE (GREEN NDS-13), OR EQUIVALENT. GRATE=51.25, 4" SD INV=48.42
- (N) 4" ACO K100 TRENCH DRAIN W/ GALVANIZED STEEL MESH GRATE (ACO 405D), OR EQUIVALENT. GRATE=47.60, 4" SD INV=45.77

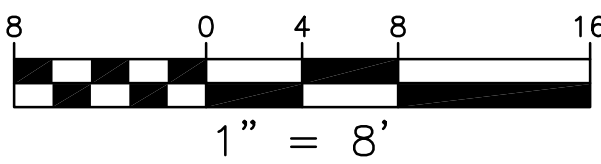
Step 1: Project Data Form and runoff reduction measure selection

Complete all fields.

Project Name/Number	Maitland Residence
Application Submittal Date [to be verified by municipal staff]	
Project Location [Street Address if available, or intersection and/or APN]	80 Poppy Road Carmel Valley, CA 93924 APN 187-501-011
Name of Owner or Developer	Kristen & Duncan Maitland
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence
Total Project Site Area (acres)	0.54 acres
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces]	1,698 sft
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces.]	6,199 sft
Total Pre-Project Impervious Surface Area	10,026 sft
Total Post-Project Impervious Surface Area	7,897 sft
Runoff Reduction Measures Selected (Check one or more)	<input type="checkbox"/> 1. Disperse runoff to vegetated area <input checked="" type="checkbox"/> 2. Pervious pavement <input checked="" type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

STORMWATER CONTROL PLAN

SCALE: 1"=8'



STORMWATER CONTROL PLAN

MAITLAND RESIDENCE
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN 187-501-011

EROSION/DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
3. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT. (MONTEREY COUNTY GRADING/EROSION CONTROL 16.12.000)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF HCD-PLANNING AND HCD-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

CONCRETE WASHOUT

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

WASTE COLLECTION AREA

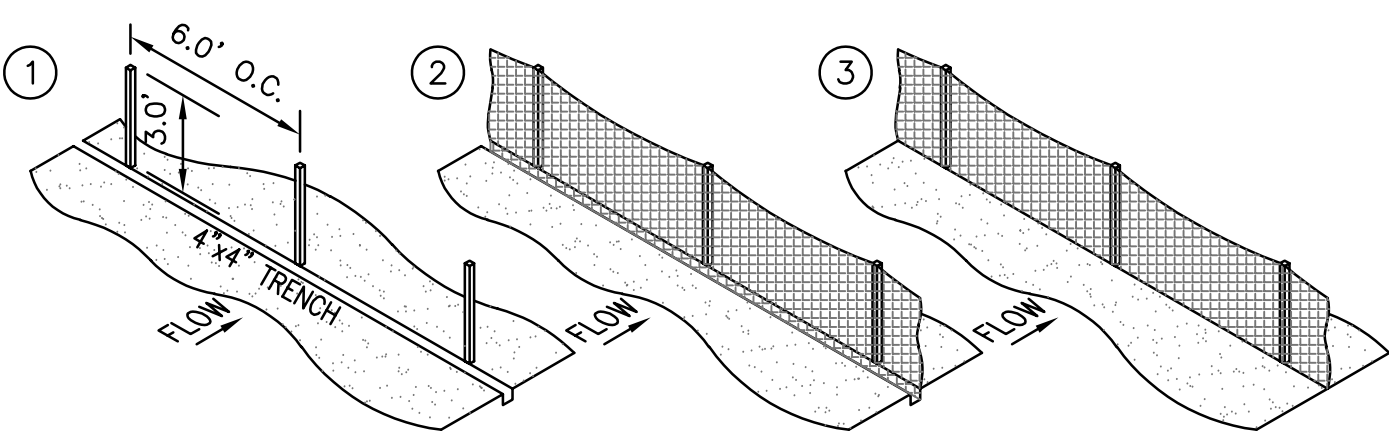
1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELLEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURLY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE PROVIDED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

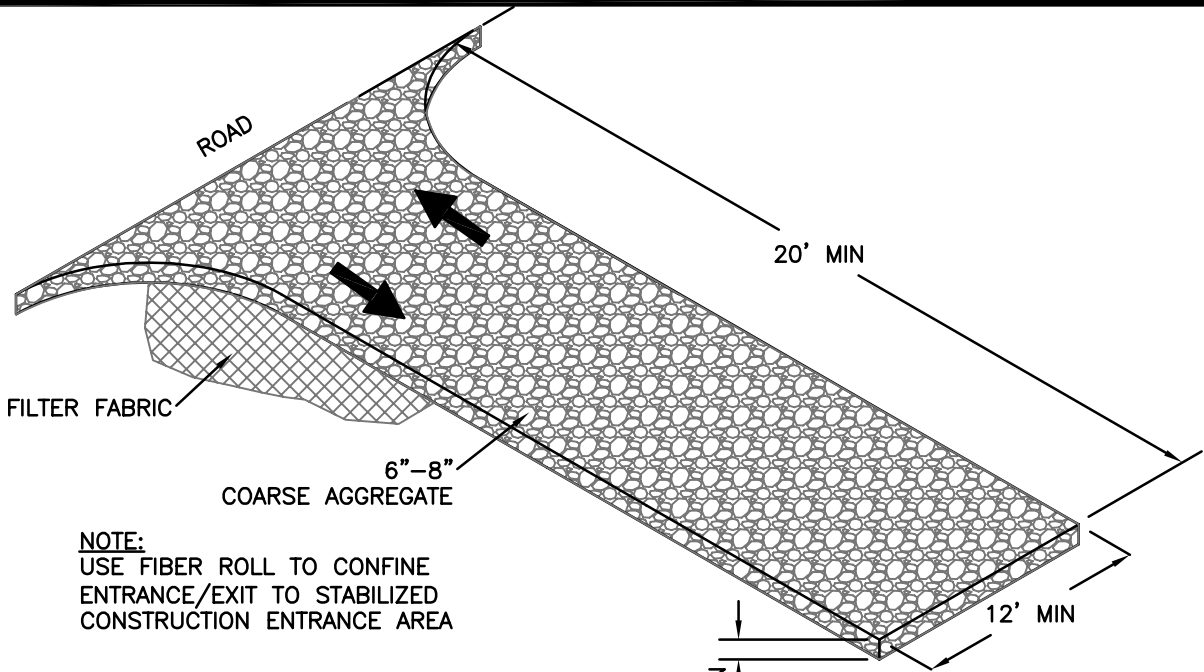
TO BE USED DOWN SLOPE OF EXPOSED SOIL AREAS AND AROUND TEMPORARY SOIL STOCKPILES. INSTALLATION

1. SET 4" LONG 2"x2" WOOD (OR 1.33 PLF STEEL) POSTS AS SHOWN. EXCAVATE A 4"x4" TRENCH UP SLOPE ALONG THE LINE OF POSTS.
2. ATTACH SILT FENCE TO POSTS PER MANUFACTURER'S SPECIFICATIONS. EXTEND FABRIC INTO TRENCH.
3. BACKFILL TRENCH AND HAND COMPACT EXCAVATED SOIL.



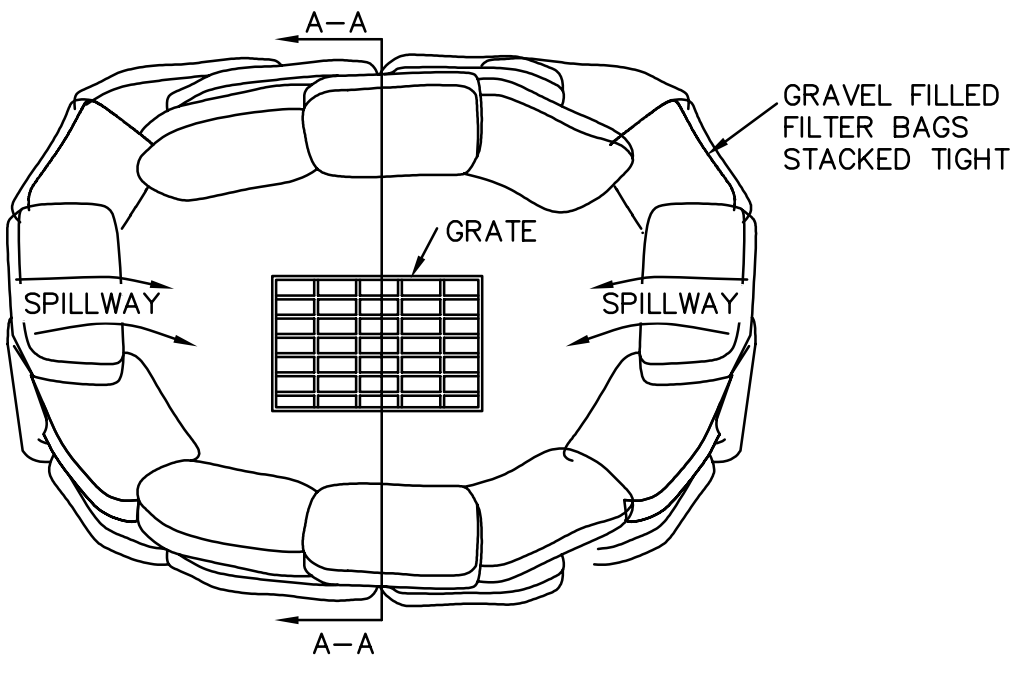
SILT FENCE DETAIL

NTS

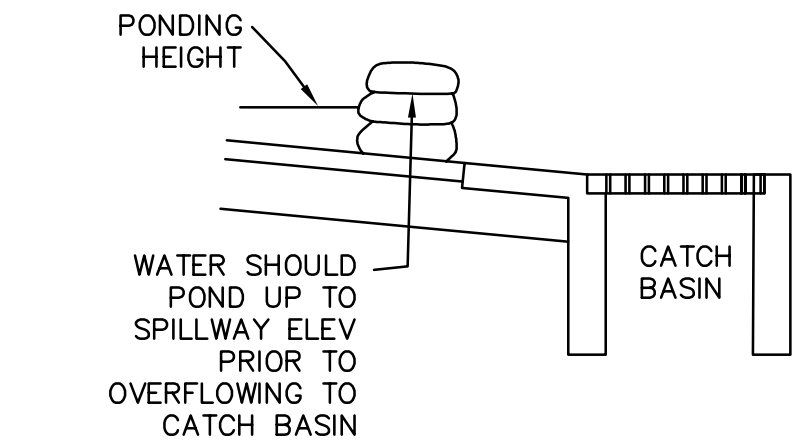


STABILIZED CONSTRUCTION ENTRANCE

NTS



PLAN VIEW



SECTION A-A

- INSTALLATION
1. PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS 24" LONG BY 12" WIDE BY 6" HIGH TO BE USED. FILTER BAGS SHALL CONTAIN 1" TO 2" DIAMETER ROCK. BAGS SHOULD BE STACKED TIGHTLY AND SHOULD CREATE A SPILLWAY TO ALLOW WATER TO POND AND OVERFLOW TO CATCH BASIN.
 2. CONFIGURATION SHOWN MAY NEED TO BE ADJUSTED TO ACCOMMODATE EXISTING CATCH BASIN AND FLOW ORIENTATION. CONTRACTOR TO ADJUST AS NEEDED TO ENSURE PROTECTION OF INLET AND MAINTAIN INTENT OF DETAIL SHOWN.

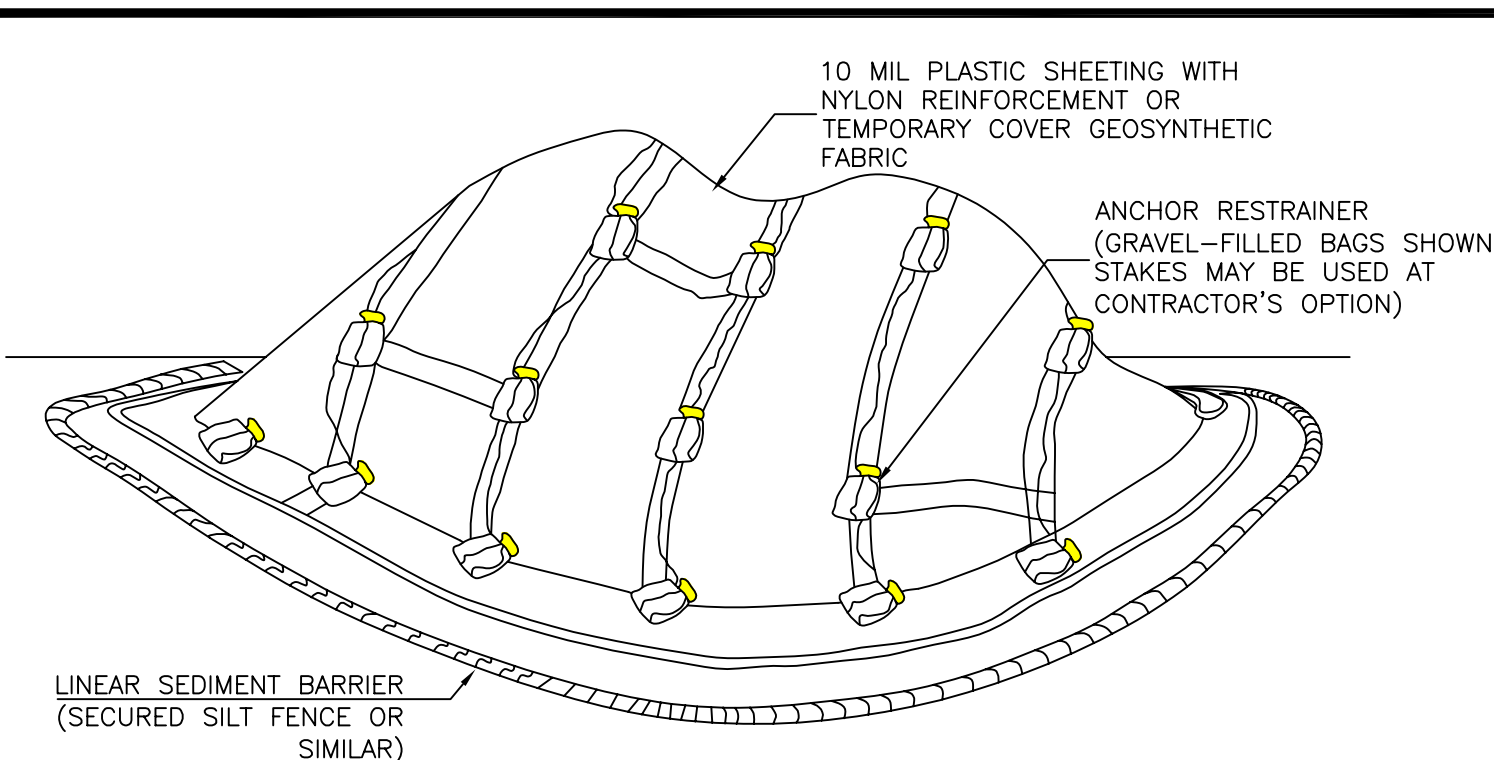
INLET PROTECTION

NTS

EROSION CONTROL PLAN

SCALE: 1"=16'

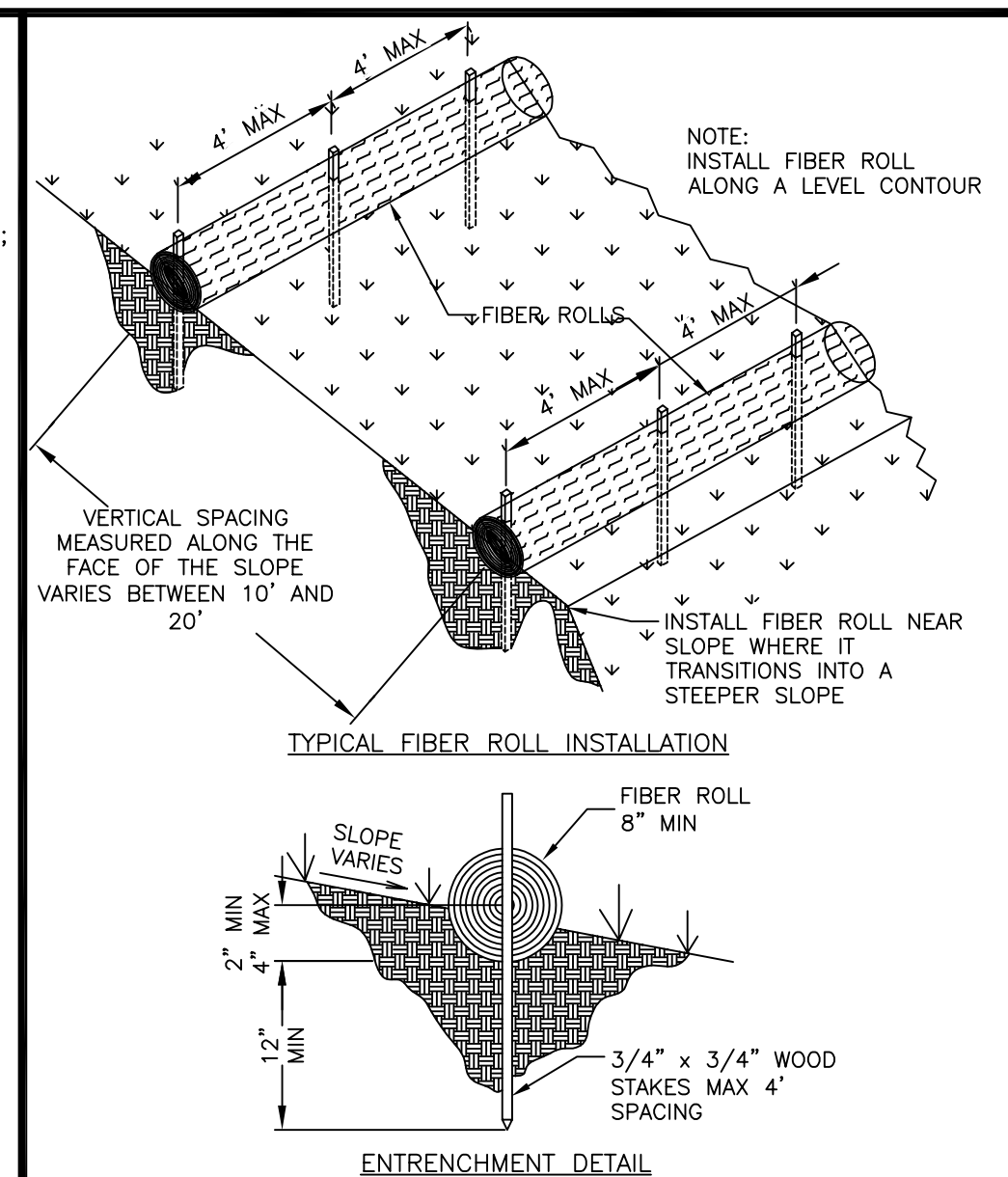
A
C5



- NOTES:
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

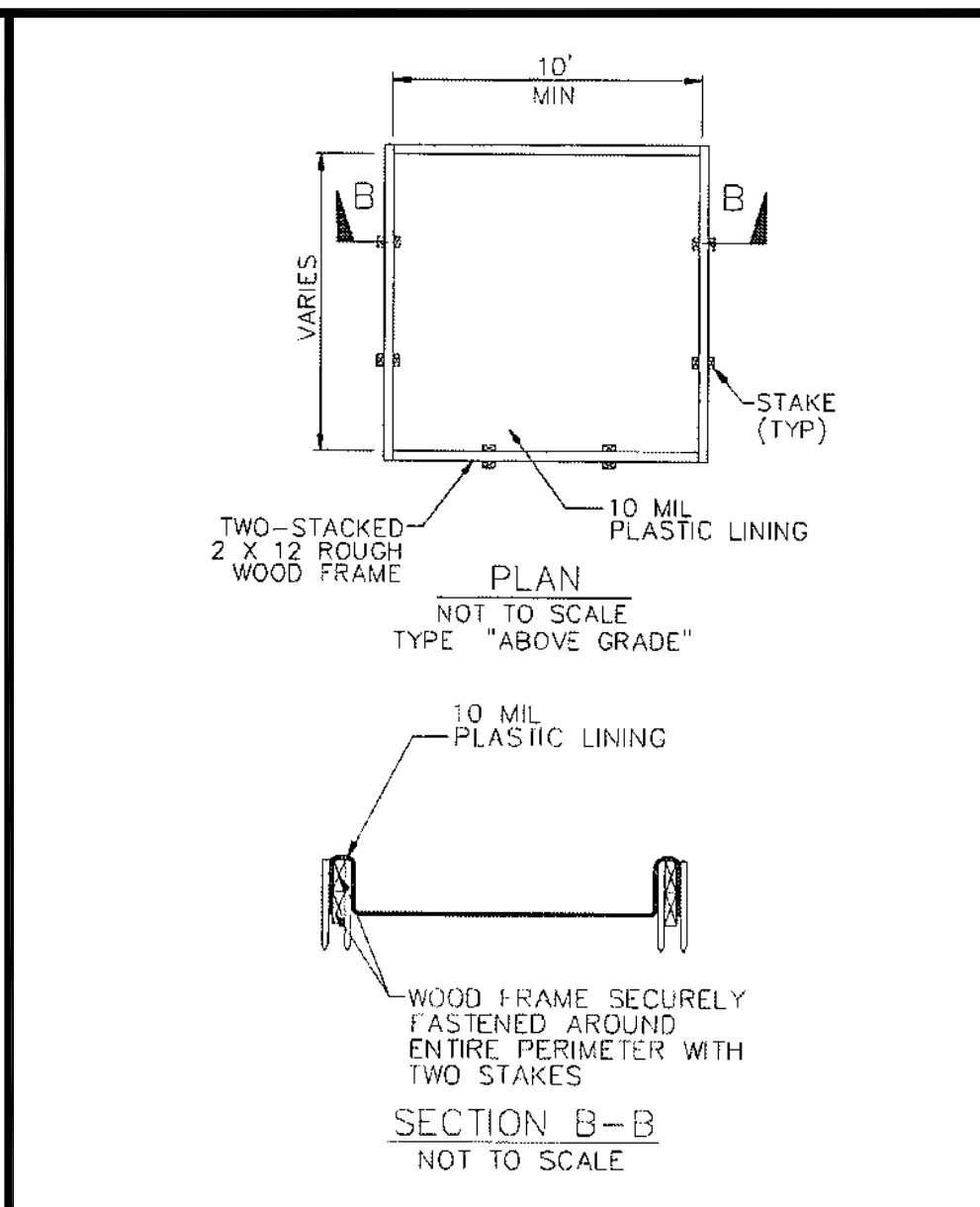
STOCKPILE COVER DETAIL

NTS



FIBER ROLL DETAIL

NTS



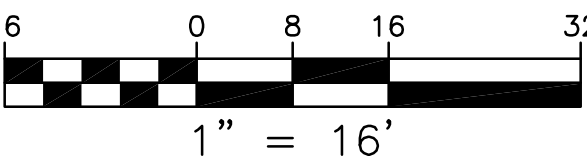
CONCRETE WASHOUT

NTS



TOTAL AREA OF DISTURBANCE=0.54 AC

- NOTES:
1. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).
 2. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL LANDSCAPING IS ESTABLISHED



DRAWN BY: MRS
DESIGNED BY: CJS
DATE: 7-2-2024
SCALE: AS SHOWN
JOB NUMBER: 24-05
LAST REVISED: N/A
REVISED BY: N/A

EROSION CONTROL PLAN

MAITLAND RESIDENCE
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN 187-501-011

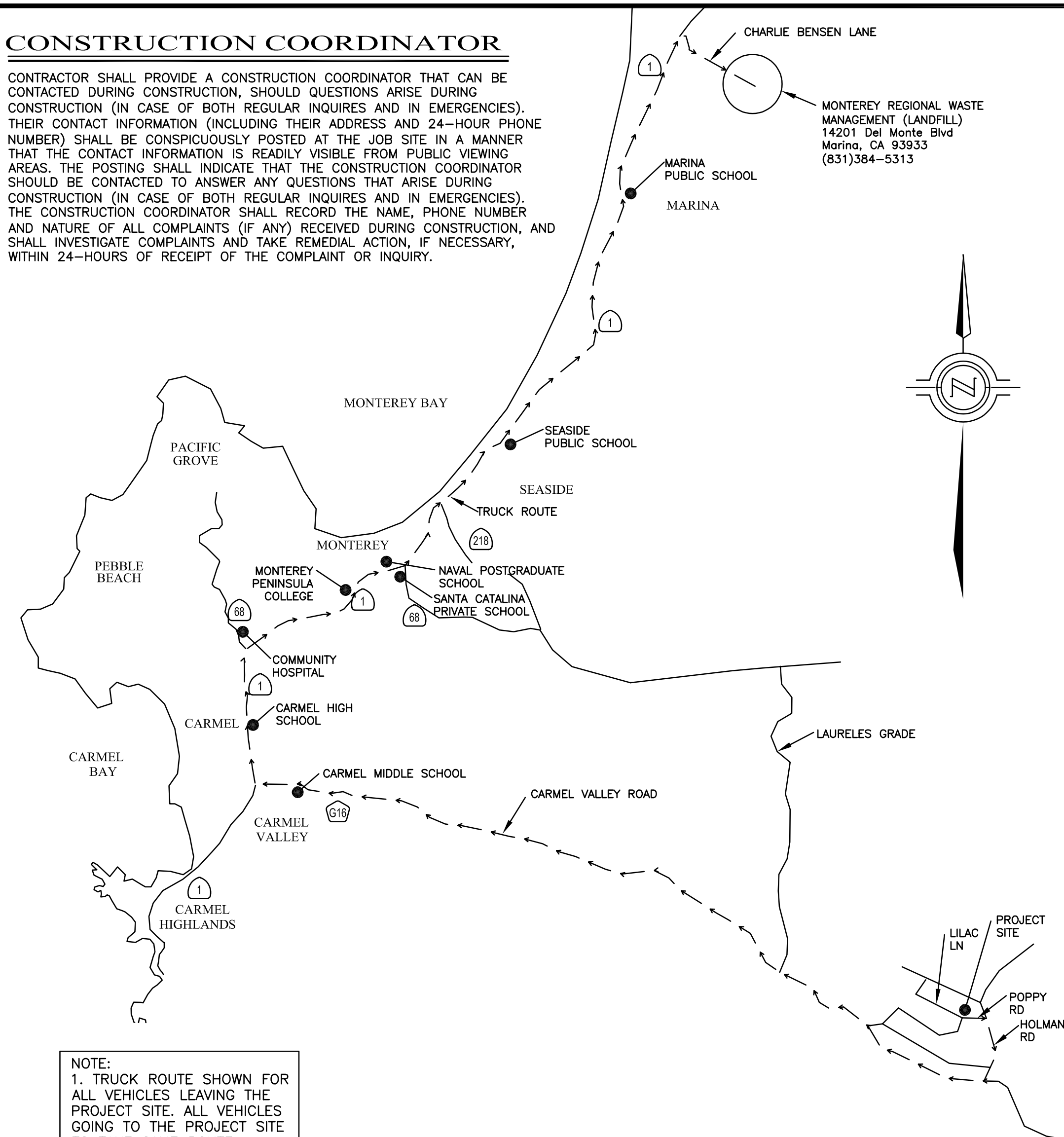
SHEET C5

OF

6 SHEETS

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



NOTE:
1. TRUCK ROUTE SHOWN FOR ALL VEHICLES LEAVING THE PROJECT SITE. ALL VEHICLES GOING TO THE PROJECT SITE TO TAKE SAME ROUTE.

VICINITY MAP/OVERALL TRUCK ROUTING PLAN

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – FRIDAY, 8 AM TO 5 PM (EXCLUDING NATIONAL HOLIDAYS)
2. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
4. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
5. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
7. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 – DUST CONTROL):
 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. NOT APPLICABLE TO SITE
 2. PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
 3. APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. NOT APPLICABLE TO SITE
 4. APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. NOT APPLICABLE TO SITE
 5. MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 6. COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIALS.
 7. PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION.
 8. PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 9. COVER INACTIVE STORAGE PILES.
 10. INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS – NOT APPLICABLE TO SITE
 11. PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT – NOT APPLICABLE TO SITE
 12. SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
 13. POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MDAQCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
 14. LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
8. THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
9. THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
10. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
11. THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
12. THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE, SEE APPROVED TRUCK ROUTE ON THIS SHEET.
13. THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project. All Year Long

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipes, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Erosion Control

- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matting) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

PAVING ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it to appropriate disposal offsite.

PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

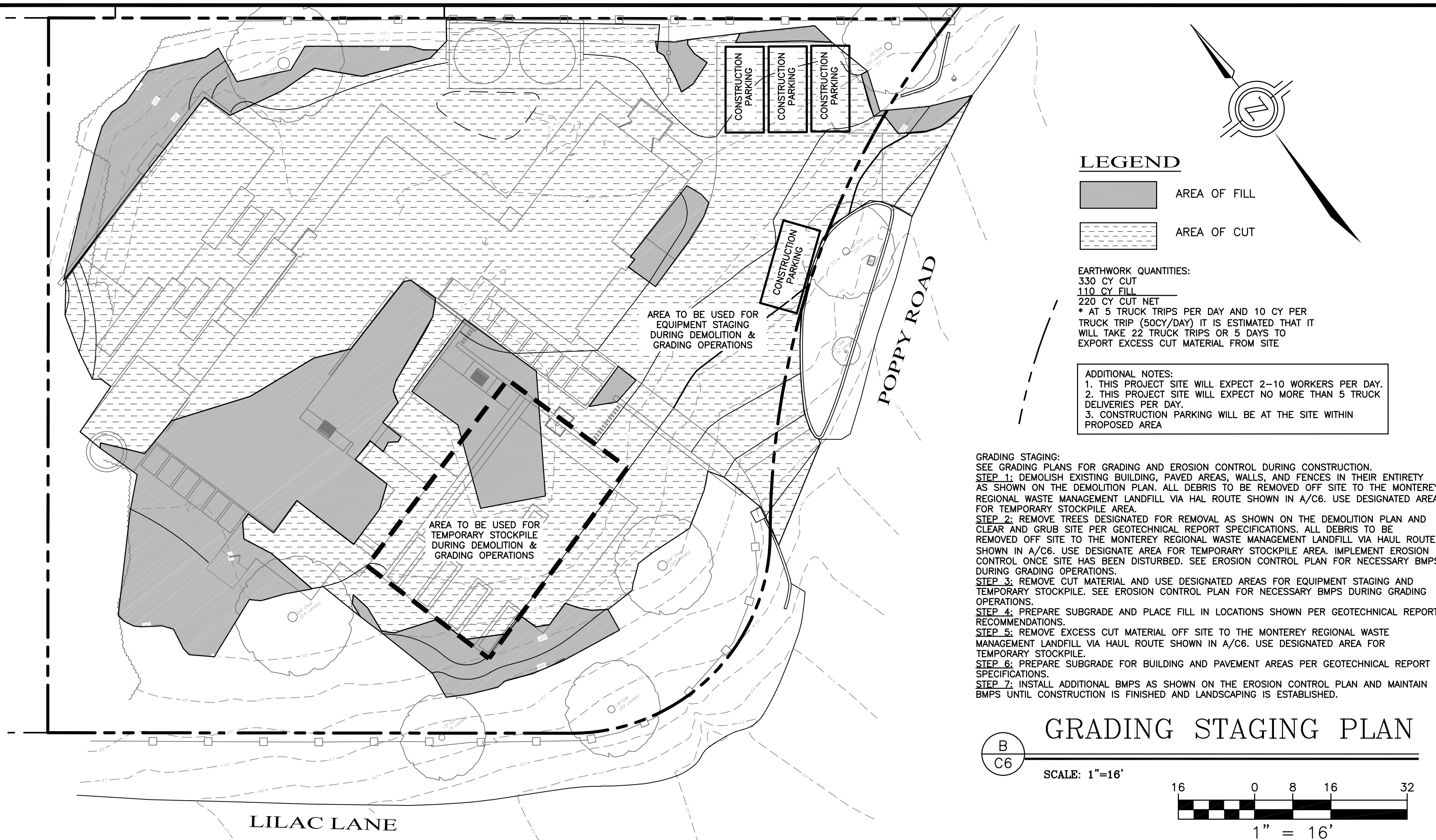
To Report a Spill: Call 911 or (833) 394-6811
If you see paint, cement, motor oil, antifreeze or other hazardous materials flowing into or being dumped into a storm drain, immediately call 911 to report it.

Additional Contact Numbers (Non-Emergency):

City of Carmel by the Sea:	(831) 624-3800
City of Del Rey Oaks:	(831) 394-8511
City of Monterey:	(831) 646-3921
City of Pacific Grove:	(831) 648-9722
City of San Jose:	(831) 394-3064
City of Seaside:	(831) 899-6825
County of Monterey:	(831) 755-4800

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



LEGEND

- AREA OF FILL
- AREA OF CUT

EARTHWORK QUANTITIES:

330 CY CUT
110 CY FILL
220 CY CUT NET

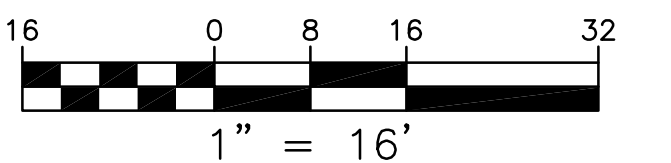
* AT 5 TRUCK TRIPS PER DAY AND 10 CY PER TRUCK TRIP (60CY/DAY) IT IS ESTIMATED THAT IT WILL TAKE 22 TRUCK TRIPS OR 5 DAYS TO EXPORT EXCESS CUT MATERIAL FROM SITE

ADDITIONAL NOTES:

1. THIS PROJECT SITE WILL EXPECT 2-10 WORKERS PER DAY.
2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 5 TRUCK DELIVERIES PER DAY.
3. CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA

GRADING STAGING PLAN

SCALE: 1"=16'



L&S ENGINEERING AND SURVEYING, INC.

2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

REGISTERED PROFESSIONAL LAND SURVEYOR

CHRISTOPHER J. LANDS
No. 63495
EXP. 12-31-25
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: CJS
DATE: 7-2-2024
SCALE: AS SHOWN
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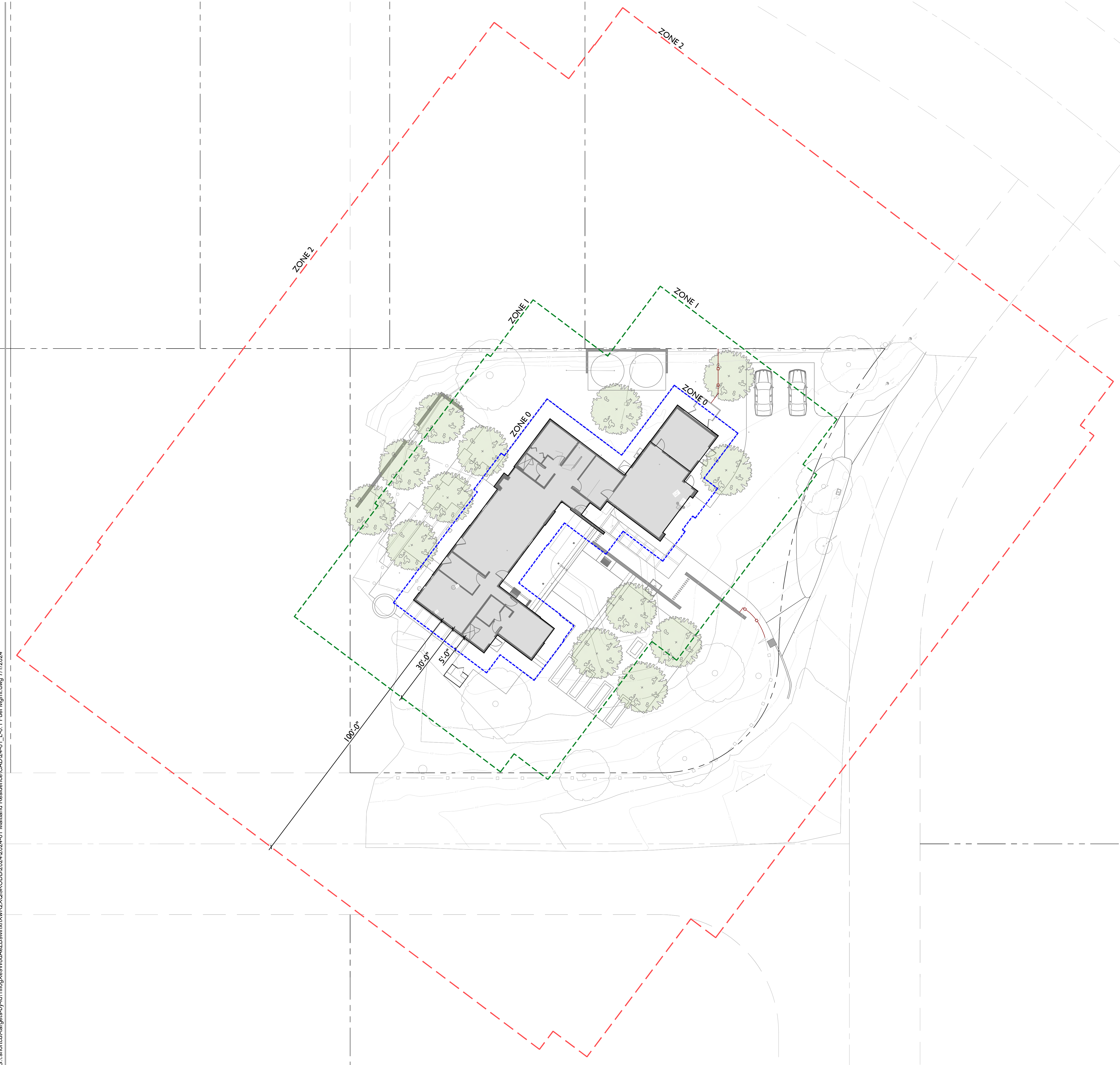
CONSTRUCTION MANAGEMENT PLAN

MATLAND RESIDENCE
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN 187-501-011

SHEET C6

OF
6 SHEETS

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SHEET INDEX

SHEET NO:	CONTENTS:
L-0.1	FUEL MANAGEMENT PLAN
L-0.2	TREE REMOVAL PLAN
L-1.0	SITE PLAN
L-2.0	CONSTRUCTION DETAILS
L-3.0	PLANTING PLAN
L-3.1	IRRIGATION PLAN
L-4.0	SITE LIGHTING PLAN
L-4.1	SITE LIGHTING SPECS

LEGEND

- ZONE 0: ZONE EXTENDS 5' FROM BUILDINGS, STRUCTURES DECKS, ETC. THE EMBER-RESISTANT ZONE IS THE MOST IMPORTANT OF ALL THE DEFENSIBLE SPACE ZONES. THIS ZONE INCLUDES THE AREA UNDER AND AROUND ALL ATTACHED DECKS, AND REQUIRES THE MOST STRINGENT WILDFIRE FUEL REDUCTION. THE EMBER-RESISTANT ZONE IS DESIGNED TO KEEP FIRE OR EMBERS FROM IGNITING MATERIALS THAT CAN SPREAD THE FIRE TO YOUR HOME. THE FOLLOWING PROVIDES GUIDANCE FOR THIS ZONE, WHICH MAY CHANGE BASED ON THE REGULATION DEVELOPED BY THE BOARD OF FORESTRY AND FIRE PROTECTION.
- USE HARDSCAPE LIKE GRAVEL, PAVERS, CONCRETE, AND OTHER NONCOMBUSTIBLE MULCH MATERIALS. NO COMBUSTIBLE BARK OR MULCH.
 - REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
 - NO PLANTING IS PERMITTED IN THIS ZONE.
 - LIMIT COMBUSTIBLE ITEMS (OUTDOOR FURNITURE, PLANTERS, ETC.) ON TOP OF ROOF DECKS.
 - RELOCATE FIREWOOD AND LUMBER TO ZONE 2
 - REPLACE COMBUSTIBLE FENCING, GATES AND ARBORS ATTACH TO THE HOME WITH NON-COMBUSTIBLE ALTERNATIVES.
 - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING BOATS, RVS, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
- ZONE 1: ZONE EXTENDS 30 FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
 - WOOD PILES ARE PROHIBITED WITHIN THIS ZONE. RELOCATE WOOD PILES TO ZONE 2.
 - REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
 - REMOVE OR PRUNE FLAMMABLE ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
 - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
 - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
 - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS. REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS
- ZONE 2: ZONE 2 EXTENDS FROM 30 FEET TO 100 FEET OUT FROM BUILDINGS, STRUCTURES, DECKS ETC. OR TO THE PROPERTY LINE WHICHEVER IS CLOSER. FUELS SHALL BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE ITEMS STIPULATED BELOW DO NOT APPLY TO SINGLE SPECIMENS OF TREES OR OTHER VEGETATION THAT ARE WELL-PRUNED AND MAINTAINED SO AS TO EFFECTIVELY MANAGE FUELS AND NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM OTHER NEARBY VEGETATION TO A STRUCTURE OR FROM A STRUCTURE TO THE OTHER NEARBY VEGETATION. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
 - CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS, AND TREES.
 - REMOVE ALL DEAD TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
 - ALL EXPOSED WOOD PILES MUST HAVE A MINIMUM OF 10 FEET OF CLEARANCE, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.

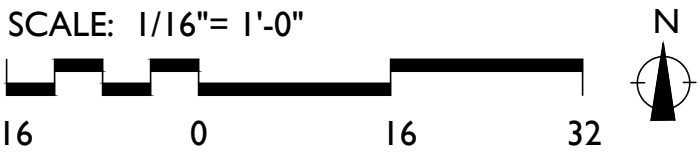
ZONE 1 AND 2 - 'OUTBUILDINGS' AND LIQUID PROPANE GAS (LPG) STORAGE TANKS SHALL HAVE 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

FUEL MANAGEMENT TO FOLLOW PUBLIC RESOURCE CODE 4291 AS DEVELOPED BY CALIFORNIA'S DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CALFIRE).

CLEARING BEYOND THE PROPERTY LINE MAY ONLY BE REQUIRED IF THE STATE LAW, LOCAL ORDINANCE, RULE, OR REGULATION INCLUDES FINDINGS THAT THE CLEARING IS NECESSARY TO SIGNIFICANTLY REDUCE THE RISK OF TRANSMISSION OF FLAME OR HEAT SUFFICIENT TO IGNITE THE STRUCTURE AND THERE IS NO FEASIBLE MITIGATION MEASURES POSSIBLE TO REDUCE THE RISK OF IGNITION OR SPREAD OF WILDFIRE TO THE STRUCTURE. CLEARANCE ON THE ADJACENT PROPERTY SHALL ONLY BE CONDUCTED FOLLOWING WRITTEN ON CONSENT BY THE ADJACENT LANDOWNER.

CLEARING BEYOND THE HOMELAND BOUNDARY IS TO BE COORDINATED WITH THE SANTA LUCIA CONSERVANCY.

FOR ADDITIONAL INFORMATION, SEE THE LOT SPECIFIC FUEL MANAGEMENT REPORT AND TREE RESOURCE AND MANAGEMENT PLAN DATED SEPTEMBER 30, 2023.



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617

PROJECT NAME:
**MAITLAND
RESIDENCE**

PROJECT ADDRESS:
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN: 187-501-011

ISSUANCE:
**PLANNING DEPARTMENT
SUBMITTAL**

PROJECT NO: 2024-01
DATE: 07/01/2024

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
**FUEL
MANAGEMENT
PLAN**

SHEET NO:

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LEGEND

EXISTING TREE: PRESERVE AND PROTECT

EXISTING TREE: TO BE REMOVED

TREE PROTECTION FENCING

TREE REMOVAL LIST

TREE # PER ARBORIST REPORT	SPECIES	DBH
TREE REMOVAL - 6" - 23"		
	DEODAR CEDAR	21"
	JUNIPER	12"
	ORNAMENTAL PEPPER	12"
	JUNIPER	6"
	JUNIPER	15"
SUBTOTAL		5

NO MITIGATION REQUIREMENTS FOR PROPOSED TREE REMOVALS
AS NO PROTECTED TREES ARE SCHEDULED FOR REMOVAL.

- TREE PROTECTION NOTES
- NO SIGNIFICANT TREE AS DEFINED BY MONTEREY COUNTY MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED BY THESE PROJECT DOCUMENTS.

1) TREE PROTECTION ZONES (TPZ) - ESTABLISH A TPZ FOR TREES TO REMAIN AS SHOWN ON PLANS BY INSTALLING METAL LINK OR HIGH VISIBILITY PLASTIC FENCING (MINIMUM 5 FEET HIGH) SUPPORTED BY WOOD OR METAL STAKES ALONG THE LIMITS OF GRADING WHEREVER THEY OCCUR WITHIN 30' OF ITS TRUNK. FENCED AREAS SHALL BE MAINTAINED IN A NATURAL CONDITION AND NOT COMPACTED.

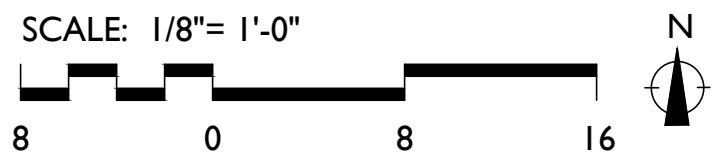
2) NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS OR PARKING OF VEHICLES OR OPERATION OF EQUIPMENT IS PERMITTED WITHIN THE TPZ.

3) NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL CAN EXCEED TWO INCHES (2") WITHIN THE DRIPLINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY THE PROJECT ARBORIST.

4) EXCAVATION SHALL BE MINIMIZED IN TREE ROOT ZONES. CONTRACTOR TO CONSIDER UTILITY TRENCH ALIGNMENTS PRIOR TO BEGINNING EXCAVATION TO MINIMIZE ENCROACHMENT INTO ROOT ZONES. ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED CLEANLY AND RE-COVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH. WHERE EXCAVATION IS WITHIN TREE DRIPLINES, THE PROJECT ARBORIST SHALL REVIEW ON SITE DURING EXCAVATION AND ADVISE ON BEST METHODS TO MINIMIZE DAMAGE TO TREE. ALL ROOTS OVER 1" TO BE CUT CLEANLY WITH A SAW. EXPOSED ROOTS SHOULD BE DRAPED IMMEDIATELY WITH AT LEAST TWO LAYERS OF UNTREATED BURLAP OR CARPETS SECURED TO COVER THE EXCAVATED SURFACE TO A DEPTH OF 3 FEET. BURLAP OR CARPETING (OR TEMPORARY FILL) SHALL BE SOAKED NIGHTLY AND KEPT IN PLACE UNTIL THE EXCAVATED SURFACE IS BACKFILLED AND WATERED.

5) SELECTIVELY PRUNE ANY TREE CROWNS THAT LEAN INTO THE CONSTRUCTION AREA. PRUNING TO BE DONE UNDER THE SUPERVISION OF THE PROJECT ARBORIST. CROWNS OF TREES THAT LEAN INTO THE CONSTRUCTION AREA SHOULD BE PRUNED PRIOR TO COMMENCEMENT OF EXCAVATION AND CONSTRUCTION TO MINIMIZE POTENTIAL FOR INADVERTENT DAMAGE.

6) ALL TREE WORK SHALL BE PERFORMED BY PROFESSIONAL, QUALIFIED TREE SERVICE PERSONAL AND SHALL BE MONITORED BY THE PROJECT ARBORIST. OAKS SHALL NOT BE TRIMMED DURING SPRING AND EARLY SUMMER WHEN NEW GROWTH IS MOST RAPID.



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617

LICENSED LANDSCAPE ARCHITECT
15007 PHILLIPS
11/20/24
Signature
11/24/24
Reviewed Date
11/24/24
Date
STATE OF CALIFORNIA

PROJECT NAME:

MAITLAND RESIDENCE

PROJECT ADDRESS:

80 POPPY ROAD
CARMEL VALLEY, CA 93994
APN: 187-501-011

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

PROJECT NO: 2024-01
DATE: 07/01/2024

REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

TREE REMOVAL PLAN

SHEET NO:

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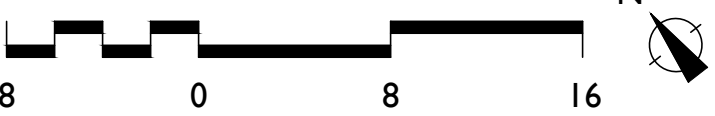
LEGEND

- ASPHALT PAVING: SEE CIVIL DRAWINGS FOR SECTION.
- PERMEABLE CONCRETE PAVERS: SAND SET OVER 8" COMPACTED CLASS II PERMEABLE BASE.
- STONE PAVING: WET SET OVER CONCRETE SUB-SLAB AND ANTI-FRACTURE MEMBRANE. SUB-SLAB TO BE 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE.
- CONCRETE PAVING: INTEGRAL WITH LIGHT SAND FINISH. 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE.
- CRUSHED GRAVEL: 2" OF 3/8" 'CALIFORNIA GOLD' CRUSHED GRAVEL OVER 4" COMPACTED CLASS II PERMEABLE BASE COMPACTED SUBGRADE.
- WOOD DECK: WOOD TO B E TREATED WITH FIRE RETARDANT.
- STUCCO WALL: CONTRACTOR TO PREPARE SAMPLE OF WALL FOR REVIEW AND APPROVAL. SEE (2/L-2.0)
- FENCE - TYPE 1: 6' HIGH WOOD FENCING. WOOD TO BE TREATED WITH FIRE RETARDANT. SEE (3/L-2.0)
- FENCE TYPE 2 - 6' HIGH. SEE (4/L-2.0)
- FENCE TYPE 3: 6' HIGH PROPERTY LINE FENCE. SEE (5/L-2.0)
- TRENCH DRAIN: WITH ORNAMENTAL GRATE - SEE GRADING AND DRAINAGE PLANS.
- METAL EDGE
- PLT PLANTING AREA

REFERENCE NOTES

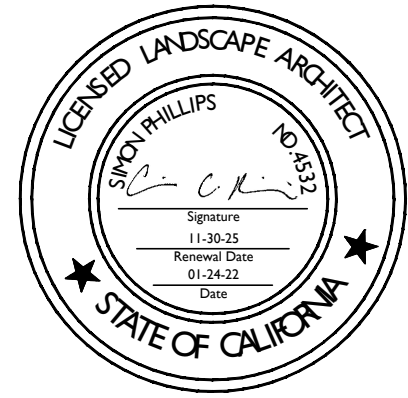
- GUEST PARKING
- TRASH ENCLOSURE
- WOOD PEDESTRIAN GATE: 6' HIGH WOOD GATE WITH METAL FRAME. WOOD TO BE TREATED WITH FIRE RETARDANT - GATE TO MATCH FENCE TYPE 1.
- RECIRCULATING WATER FEATURE WITH AUTOFILL, OVERFLOW AND LIGHTING.
- GAS FIREPIT WITH AUTO IGNITER: CONCRETE WITH STONE VENEER - STONE TYPE TO MATCH BUILDING STONE
- RAISED VEGETABLE BEDS: WOOD
- OUTDOOR KITCHEN WITH BBQ: SEE ARCHITECTURAL DRAWINGS
- SAUNA: SEE ARCHITECTURAL DRAWINGS.
- REDWOOD SPA WITH COVER: SET ON CONCRETE PAD BELOW DECK - CONCRETE TO BE SET TO ALLOW FOR RIM OF SPA TO BE 12" ABOVE THE DECK LEVEL.
- CONCRETE PAVING WITH INTEGRAL COLOR AND LIGHT SAND FINISH
- FIREPLACE: WOOD BURNING WITH SPARK ARRESTOR. SEE (1/L-2.0)
- RAIN WATER STORAGE TANKS - TWO 10,000 GAL TANKS SET ON AN 8" CONCRETE PAD. SEE CIVIL DRAWINGS FOR CONNECTIONS TO TANKS.
- EXISTING TREE: TO REMAIN
- STONE STEPS: STONE TYPE TO MATCH STONE PAVING - WET SET OVER CONCRETE SUB-STAIRS.
- GRILL SMOKER
- SEPTIC TANK: SEE SEPTIC DRAWINGS
- 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING

SCALE: 1/8"= 1'-0"



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

MAITLAND
RESIDENCE

PROJECT ADDRESS:

80 POPPY ROAD
CARMEL VALLEY, CA 93924

APN: 187-501-011

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-01

DATE: 07/01/2024

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

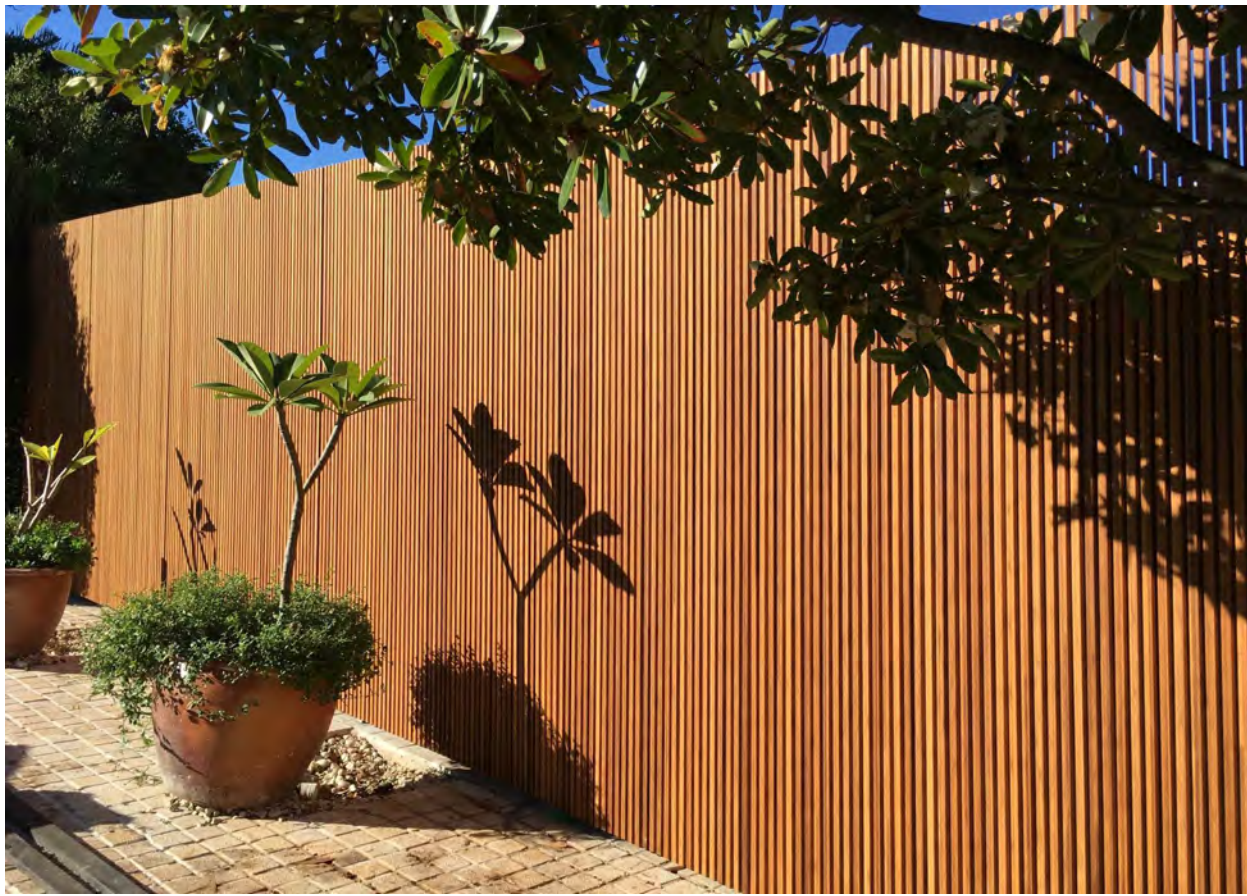
SITE PLAN

SHEET NO:

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5 FENCE TYPE 3
NTS



4 FENCE TYPE 2
NTS



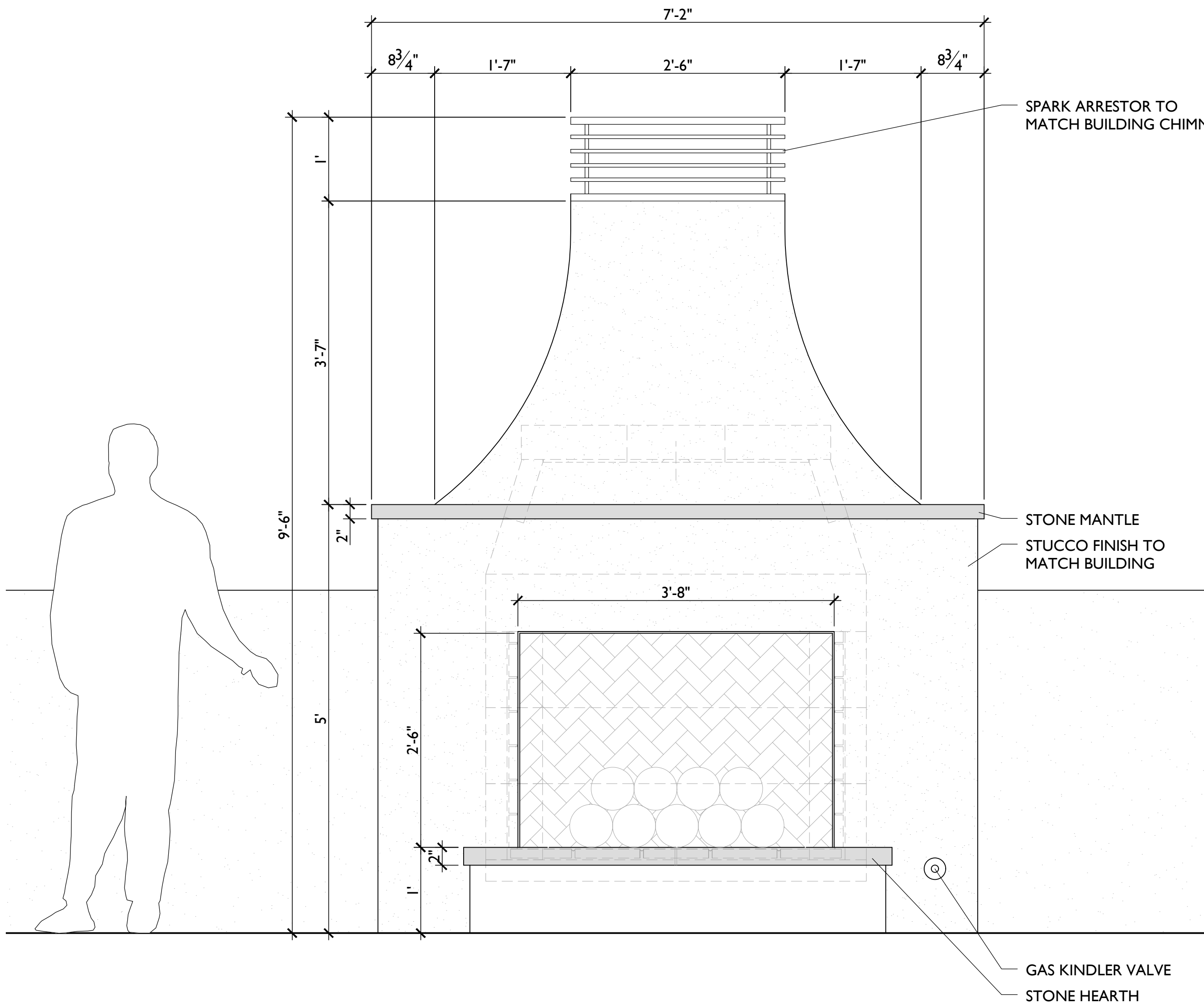
3 FENCE TYPE 1
NTS



2 STUCCO WALL
NTS



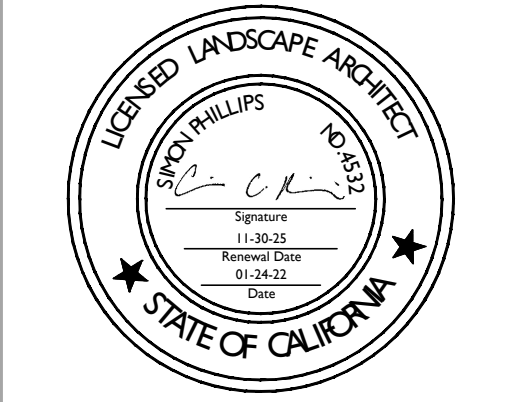
INSPIRATION IMAGE



1 FIREPLACE - OVERALL ELEVATION
1/2" = 1'-0"

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
MAITLAND
RESIDENCE

PROJECT ADDRESS:
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN: 187-501-011

ISSUANCE:
PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-01
DATE: 07/01/2024

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
CONSTRUCTION
DETAILS

SHEET NO:

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FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
	PATH LIGHT	SPJ-3124-DS	2W LED 2700K	SEE 1/L-4.1
	RECESSED STEP LIGHT	SPJ-MS2-12-DS	6V LED 2700K	SEE 2/L-4.1
	ROPE LIGHT	DIODE LED NEON BLAZE		SEE 3/L-4.1
	FOUNTAIN LIGHT	SPJ13-14	2W LED 2700K	SEE 4/L-4.1

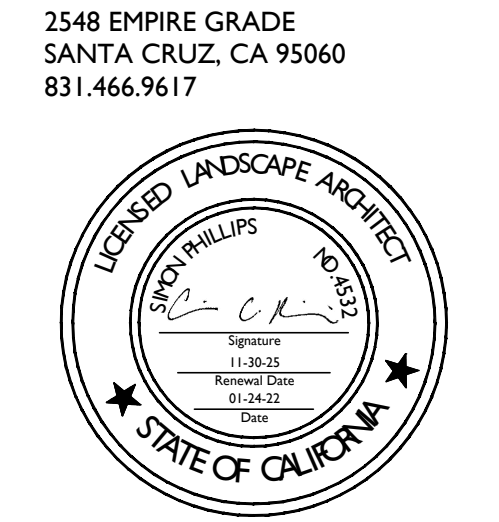
GENERAL NOTES

1. SYSTEM SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. VERIFY ALL LIGHT LOCATIONS AND CABLE RUNS IN FIELD WITH LANDSCAPE ARCHITECT. CABLING TO BE SIZED TO PROVIDE A MINIMUM 10.5 VOLTS AND A MAX OF 11.5 VOLTS TO ALL FIXTURES. MINIMUM CABLE SIZE IS 12 GAUGE MULTI STRAND DIRECT BURIAL CABLE.
2. ALLOW 30% OF TRANSFORMER CAPACITY FOR FUTURE ADDITIONAL SITE LIGHTING.
3. COORDINATE SWITCHING ZONES FOR SITE LIGHTING WITH OWNER.
4. PROVIDE GFCI ELECTRICAL OUTLETS AS SHOWN ON DRAWINGS.
5. RUN MAXIMUM OF 10 LIGHTS IN DAISY CHAIN.
6. RUN ADDITIONAL 2" SLEEVES UNDER ALL PAVING AREAS FOR POSSIBLE FUTURE SITE LIGHTING- REVIEW LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
7. 8" DEPTH MINIMUM CABLE BURIAL.
8. ALL WIRE CONNECTIONS SHALL BE WATER-PROOFED USING FULLY ENCAPSULATED, DIRECT BURIAL WATERPROOF CONNECTORS.
9. SPACE LIGHTS EVENLY.
10. TRANSFORMER LOCATIONS AND SWITCHING TO BE DETERMINED.
11. ALL SITE LIGHTS TO BE ON DIMMERS.

REFERENCE NOTES

- ① INSTALL SWITCHED OUTLET IN FIRE PIT FOR AUTO-IGNITER.

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS



PROJECT NAME:
**MAITLAND
RESIDENCE**

PROJECT ADDRESS:
80 POPPY ROAD
CARMEL VALLEY, CA 93924
APN: 187-501-011

ISSUANCE:
**PLANNING DEPARTMENT
SUBMITTAL**

PROJECT NO: 2024-01
DATE: 07/01/2024

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
**SITE LIGHTING
PLAN**

SHEET NO:



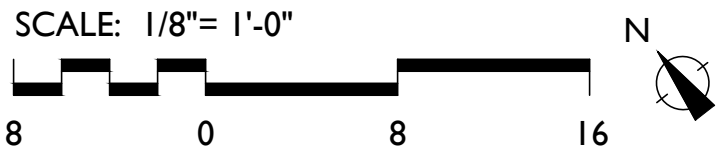
PATH LIGHTS STEPS LIGHTS




ROPE LIGHTS



FOUNTAIN LIGHTS



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Model: **SPJ13-14**

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

Electrical: Available in 8-15V or 12V-15V

Labels: ETL Standard Wet Label
C-ETL

Adjustable Underwater Light

DESCRIPTION

Model#: SPJ13-14
Material: Marine Grade Solid Brass
Finish: Satin Brass
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Mounting: Submersible
Cord Length: 25'

ENGINES	VOLTAGE	LUMENS
FB-1W-CYL-TA16	8-15V	80
FB-2W-CYL-TA16	8-15V	150
FB-3W-CYL-TA16	8-15V	200
FB-6W-CYL-TA16	12V-15V	300
FB-8W-CYL-TA16	12V-15V	580

AMBER AVAILABLE

Submersible

ORDERING INFORMATION

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ13-14	SB	2W	FLOOD	150	2700K	8-15V

SB = Satin Brass

W	O	L	C	E
1W	Spot	80	2700K	8-15V
2W	Flood	150	4000K	12V-15V
3W	Wide Flood	200	5000K	
6W	Wide Angle Flood	300		
8W		580		


WWW.SPJLIGHTING.COM

SPJ LIGHTING Inc.
ARCHITECTURAL, LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Recessed

SPJ-MSL2-12-DS



MODEL: **SPJ-MSL2-12-DS**
MATERIAL: Solid Brass
FINISH SHOWN: **PVD Satin**
ELECTRICAL: **12V, 120V**
WATTAGE: **6W**
ENGINE: **FB-L511-650**
LUMENS: **650**
MOUNTING: **Recessed**

FINISHES

☒ **Matte Bronze (MBR)**

☐ Verde (V)
☐ Moss (M)
☐ Black (B)
☐ Rusty (R)
☐ Satin Brass (SB)
☐ Aged Brass (AG)
☐ Raw Copper (RC)
☐ Natural Copper (NC)
PVD PREMIUM
☐ PVD Polished (PVDP)
☐ Natural Copper (PNC)
☐ PVD Satin (PVDS)
☐ PVD Graphite (PVDG)
☐ PVD Bronze (PVD02)
☐ PVD Black (PVD0L)

WATTAGE ☒ **6W** **LUMENS** **650**

Custom turner packages are available upon request

COLOR TEMPERATURE
☐ 2200K
☒ **2700K**
☐ 3000K

Custom options are available

ELECTRICAL
☒ **12V** ☐ 120V

Concrete Pour Box

11 1/4"

3 1/4"

2 1/4"

7/8" Knockout

Mounting Tabs

1 1/4"

2 1/4"

12"

ALTERNATE VIEW

Ordering Example: SPJ-MSL2-12-DS-PVD0S-6W-27K-12V

Customer Approval

Date

UL LISTED

Wet Listed

4 FOUNTAIN LIGHT

NTS

diodeled

ALPHATECH® X Linear LED Lighting
Specification Sheet

Date: <https://www.diodeled.com/alphatech-x-130>

Project Notes

ALPHATECH® X 130/250/400
Linear LED Lighting

Full diffusion, precision light quality, and physical durability for reliably beautiful lighting. Suitable for every application, including indoor and outdoor, submerged in water, and in extreme weather conditions. Buy American Act compliant and Made in the USA.

FEATURES

- Objectively superior CRI, Gamut, and Fidelity
- Seamless end-to-end mounting for limitless linear runs
- Top-bending and side-bending options with multiple output levels
- Stabilized for UV for outdoor use
- IP69 for submersible applications
- UL676 listed for pools, spas, and fountains
- NSF component approved

ORDERING CODES

Fixtures built to order

Diode LED	Voltage	Bend Style/Model	CCT	Length	Mounting
DI	24V	TE-ATX-130 (Top Bend) SE-ATX-250 (Side Bend) TE-ATX-400 (Top Bend)	24 (2400K) 30 (3000K) 37 (4200K) 50 (5000K)	Length (in.) (12 - 192 in.)	RTCL (Rotating Clip) 80CL (80° Clip) 90CH (Square Channel) MTCL (Mounting Clip)

	24V-TE-ATX-130	24V-SE-ATX-250	24V-TE-ATX-400
Voltage	24V	24V	24V
Wattage	1.8W/ft.	5.6W/ft.	4.6W/ft.
2400K	141/ft.	261/ft.	380/ft.
2700K	141/ft.	266/ft.	408/ft.
Lumens 3000K	123/ft.	314/ft.	393/ft.
3000K	133/ft.	320/ft.	410/ft.
4000K	127/ft.	277/ft.	423/ft.
Max Length (into Seamless Interconnection, On One Circuit)	55 feet	20 feet	30 feet
Max Length (Single Piece)	26.25 feet, Straight Wire Only	16 feet	20 feet, Straight Wire Only
Dimmable	Dim to Dark - see driver options	Dim to Dark - see driver options	Dim to Dark - see driver options
Field Cuttable	No	No	No
Bend Radius	6 in.	6 in.	6 in.
Environment	Outdoor / Wet Location (IP69), Sauna	Outdoor / Wet Location (IP69), Sauna	Outdoor / Wet Location (IP69), Sauna
Ambient Temperature (Stored)	-4 - 122°F (-20 - 50°C)	-4 - 122°F (-20 - 50°C)	-4 - 122°F (-20 - 50°C)
Ambient Temperature (Operational)	180°F Max, <30% Humidity	180°F Max, <30% Humidity	180°F Max, <30% Humidity
Ambient Temperature (Deep Cold)	-40°F Min. Luminaires is required to be investigated when temperature falls below -4°F	-40°F Min. Luminaires is required to be investigated when temperature falls below -4°F	-40°F Min. Luminaires is required to be investigated when temperature falls below -4°F
Certification	UL 2108, UL 676 (with Mounting Channel), NSF	UL 2108, UL 676 (with Mounting Channel), NSF	UL 2108, UL 676 (with Mounting Channel), NSF
Warranty	5 Years, 2 Years Sauna, 2 Years Deep Cold	5 Years, 2 Years Sauna, 2 Years Deep Cold	5 Years, 2 Years Sauna, 2 Years Deep Cold

COLOR VECTOR GRAPHIC

Source Test Source

BEND OPTIONS

Top Bend

Side Bend

Specification Sheet | ALPHATECH® X Linear LED Lighting | SS182024 | V2.1
1 of 5

3 ROPE LIGHT

NTS

2 RECESSED STEP LIGHT


NTS

SPJ LIGHTING Inc.
ARCHITECTURAL, LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Contemporary Path Lights

SPJ-3124-DS



MODEL: **SPJ-3124-DS**
MATERIAL: Solid Brass
FINISH SHOWN: **Black**
ELECTRICAL: **12V or 120V**
WATTAGE: **2W**
ENGINE: **FB-L52**
LUMENS: **150**
MOUNTING: **1/2" NPT, Dual Fin Spike Included**

FINISHES

☒ **Matte Bronze (MBR)**

☐ Verde (V)
☐ Moss (M)
☐ Black (B)
☐ Rusty (R)
☐ Satin Brass (SB)
☐ Aged Brass (AG)
☐ Raw Copper (RC)
☐ Natural Copper (NC)
PVD PREMIUM
☐ PVD Polished (PVDP)
☐ Natural Copper (PNC)
☐ PVD Satin (PVDS)
☐ PVD Graphite (PVDG)
☐ PVD Bronze (PVD02)
☐ PVD Black (PVD0L)

WATTAGE ☐ 2W **LUMENS** 150
☒ **3W** 350

Custom turner packages are available upon request

COLOR TEMPERATURE
☐ 2200K
☒ **2700K**
☐ 3000K

Custom options are available

ELECTRICAL
☒ **12V** ☐ 120V

Deck Mount & Base Cover

SPJ-DMA5G (SHOWN)
SPJ-DMA5G-B 1/2" Deck Mount

SPJ-DMA5G-SSG-B 1/2" Deck Cover

Ordering Example: SPJ-3124-DS-B-2W-27K-12V

Customer Approval

Date

UL LISTED

Wet Listed

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

MAITLAND RESIDENCE

PROJECT ADDRESS:

80 POPPY ROAD
CARMEL VALLEY, CA 93924

APN: 187-501-011

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

PROJECT NO: 2024-01
DATE: 07/01/2024

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

SITE LIGHTING SPECS

SHEET NO:

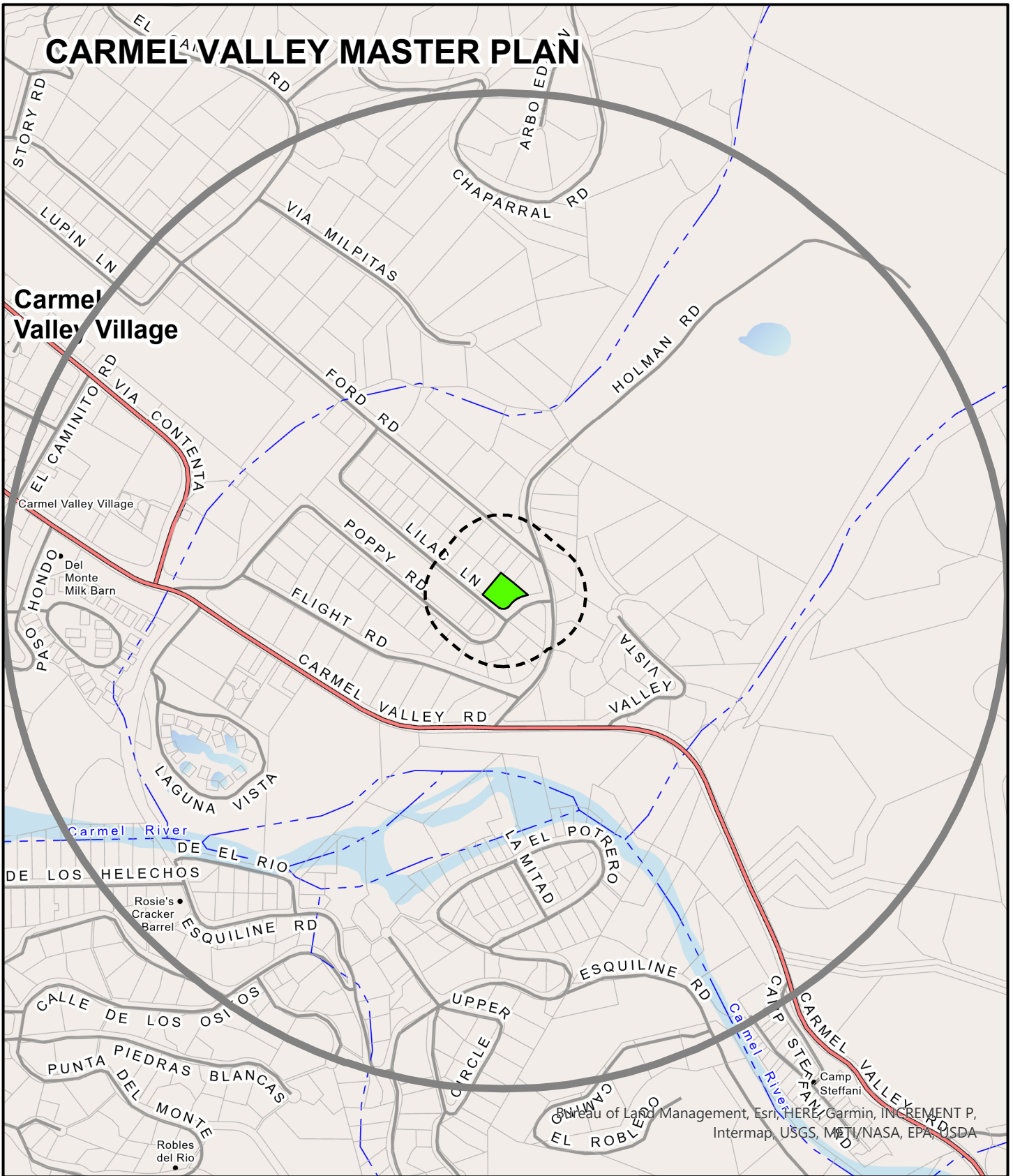
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Exhibit B

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CARMEL VALLEY MASTER PLAN

Carmel Valley Village



APPLICANT: MAITLAND

APN: 187501011000

FILE # PLN240012



Project Site



300 FT Buffer



2500 FT Buffer



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