

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
- MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
- MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
- TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
- TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
- REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
- REMOVE ALL CUT MATERIAL FROM THE AREA
- MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:

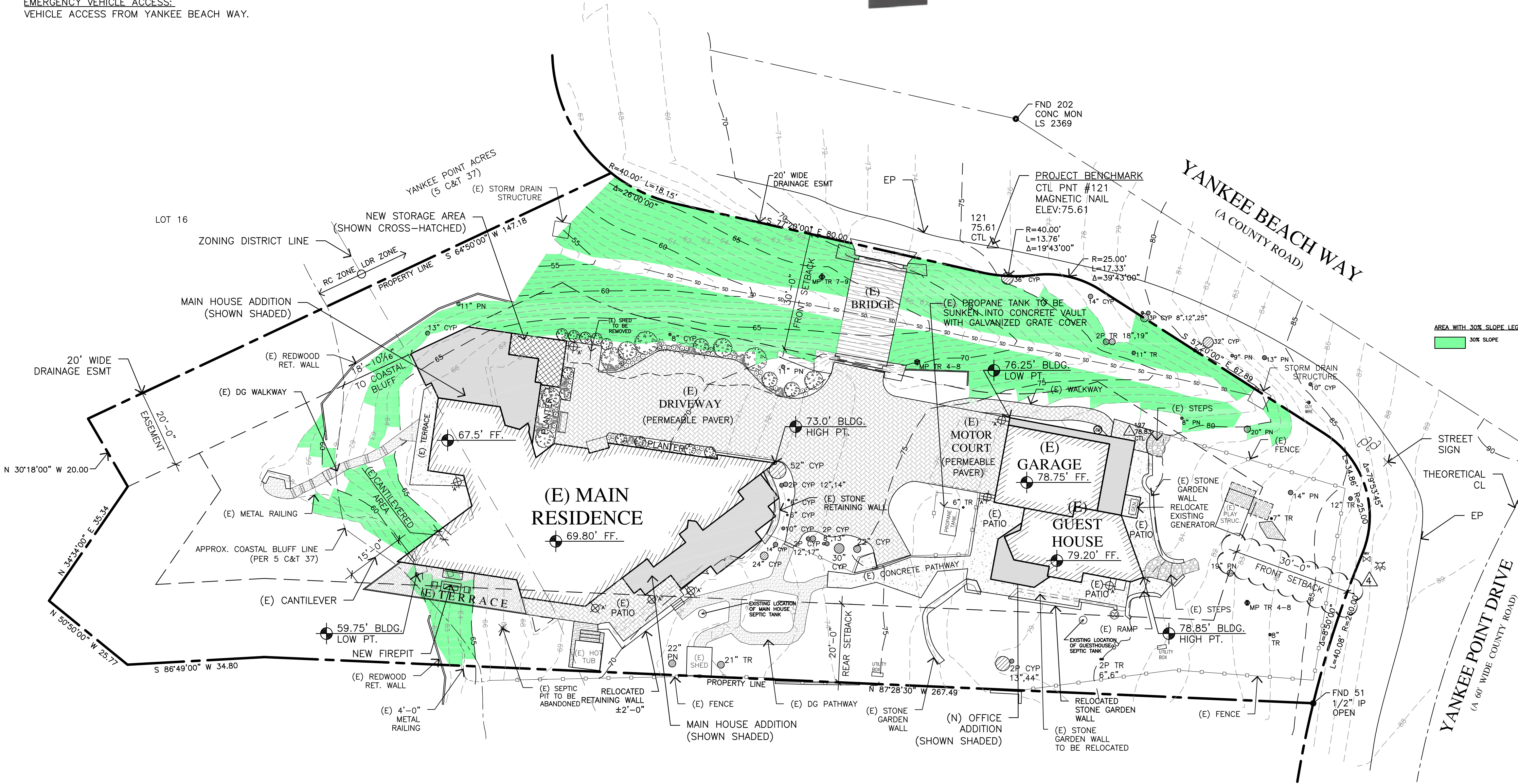
VEHICLE ACCESS FROM YANKEE BEACH WAY.

EXTERIOR LIGHTING LEGEND



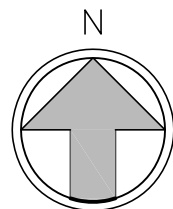
10W MAX. WALL MOUNTED SCONCE FIXTURE

FIXTURE 'A'
MINKA LAVERY OUTDOOR LIGHTING
WALL MOUNTED "WESTGATE" SCONCE W/
WHITE SEEDY GLASS
1 LED BULB
TOTAL WATTAGE NOT TO EXCEED 6 WATTS
(DELIVERED LUMENS 103.8)
W/ PHOTO CONTROL SENSOR



SITE PLAN - PROPOSED

1/16"=1'-0"



PLANNING INFO.

PROPERTY OWNER:
OLIVER AND BROOKE RICKARD
1304 SUTTON DRIVE
COLUMBIA, MO. 65203

PROJECT ADDRESS:
5 YANKEE BEACH WAY
CARMEL, CA 93923

PROJECT SCOPE:
INTERIOR REMODEL TO EXISTING SINGLE FAMILY DWELLING WITH AN ADDITION OF 933 SF.
INTERIOR REMODEL OF EXISTING GUESTHOUSE, CONVERTING 89 SF. INTO NEW OFFICE.
ADDITION OF 101 SF. TO NEW HOME OFFICE, TOTALING 190 SF. NEW HOME OFFICE.
ADDITION OF 170 SF TO EXISTING GARAGE.
NEW 118 SF. STORAGE AT MAIN RESIDENCE.
AFTER THE FACT EMERGENCY PERMIT FOR EXISTING BRIDGE.

OCCUPANCY: R-3, U

CONST. TYPE: V-B

A.P.N.: 243-141-008

ZONE: LDR/1-D(20)(CZ) | RC-D(20')(CZ)

STORIES: ONE

MAX BLDG. HT: 20 FT

GRADING: 35 CY CUT | 10 CY FILL, SEE CIVIL PLANS

TREE REMOVAL: NONE

TOPOGRAPHY: SLOPING

PROJECT CODE COMPLIANCE:
2022 CBC, OMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2022 CALIFORNIA ENERGY CODE

LOT AREA: 31,695 SF (0.73 Ac.)

LOT COVERAGE CALCULATIONS IN LDR ZONE:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING	2015	1084	-5	3094
GUEST HOUSE	476	0	-89	387
OFFICE	0	190	0	190
GARAGE	506	170	0	676
PLAYHOUSE	69	0	0	69
SHEDS	82	0	-36	46
TOTAL	3148	1444	-130	4462

LOT COVERAGE "LDR ZONE" ALLOWED: 4,754.7 SF (15%)

LOT COVERAGE "LDR ZONE" PROPOSED: 4,462 SF (14.1%)

LOT COVERAGE CALCULATIONS IN RC ZONE:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING	486	0	0	486
TOTAL	486	0	0	486

LOT COVERAGE "RC ZONE" ALLOWED: 1,584.9 SF (5%)

LOT COVERAGE "RC ZONE" EXISTING: 486 SF (1.5%)

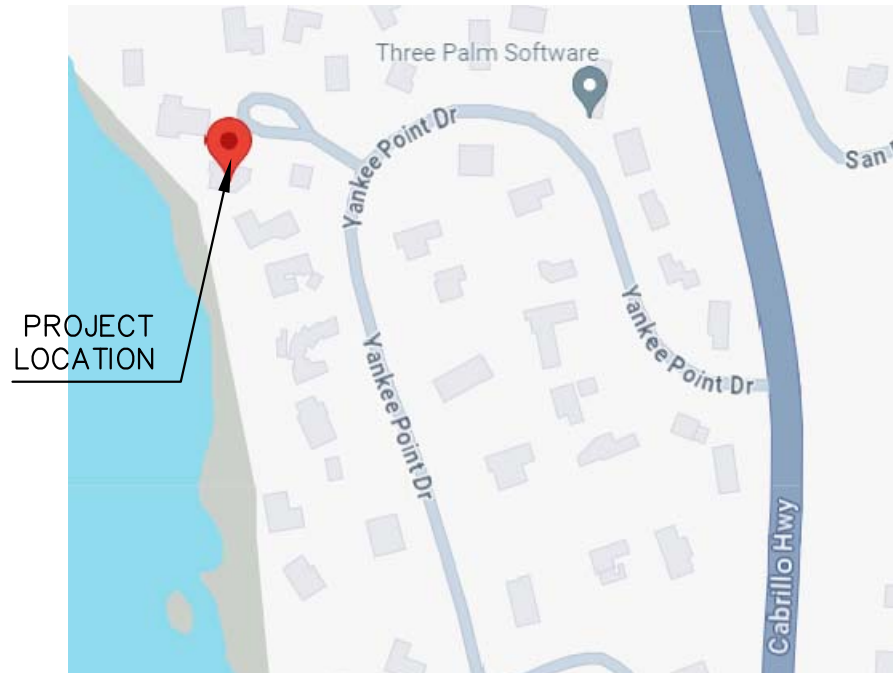
F.A.R. CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN BUILDING	2585	938	-5	3518
GUEST HOUSE	476	0	-89	387
OFFICE	0	190	0	190
GARAGE	506	170	0	676
TOTAL	3567	1298	-94	4771

F.A.R. ALLOWED: 6,339.6 SF (20%)

F.A.R. PROPOSED: 4,771 SF (15%)

VICINITY MAP



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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PACIFIC GROVE CA.
93950

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STAMPS:

PROJECT/CLIENT:

RICKARD
RESIDENCE

PROJECT ADDRESS:

5 YANKEE BEACH
WAY
CARMEL, CA
93923

APN: 243-141-008

DATE: JUNE 4, 2024

APPLICATION REQ. SUBMITTAL

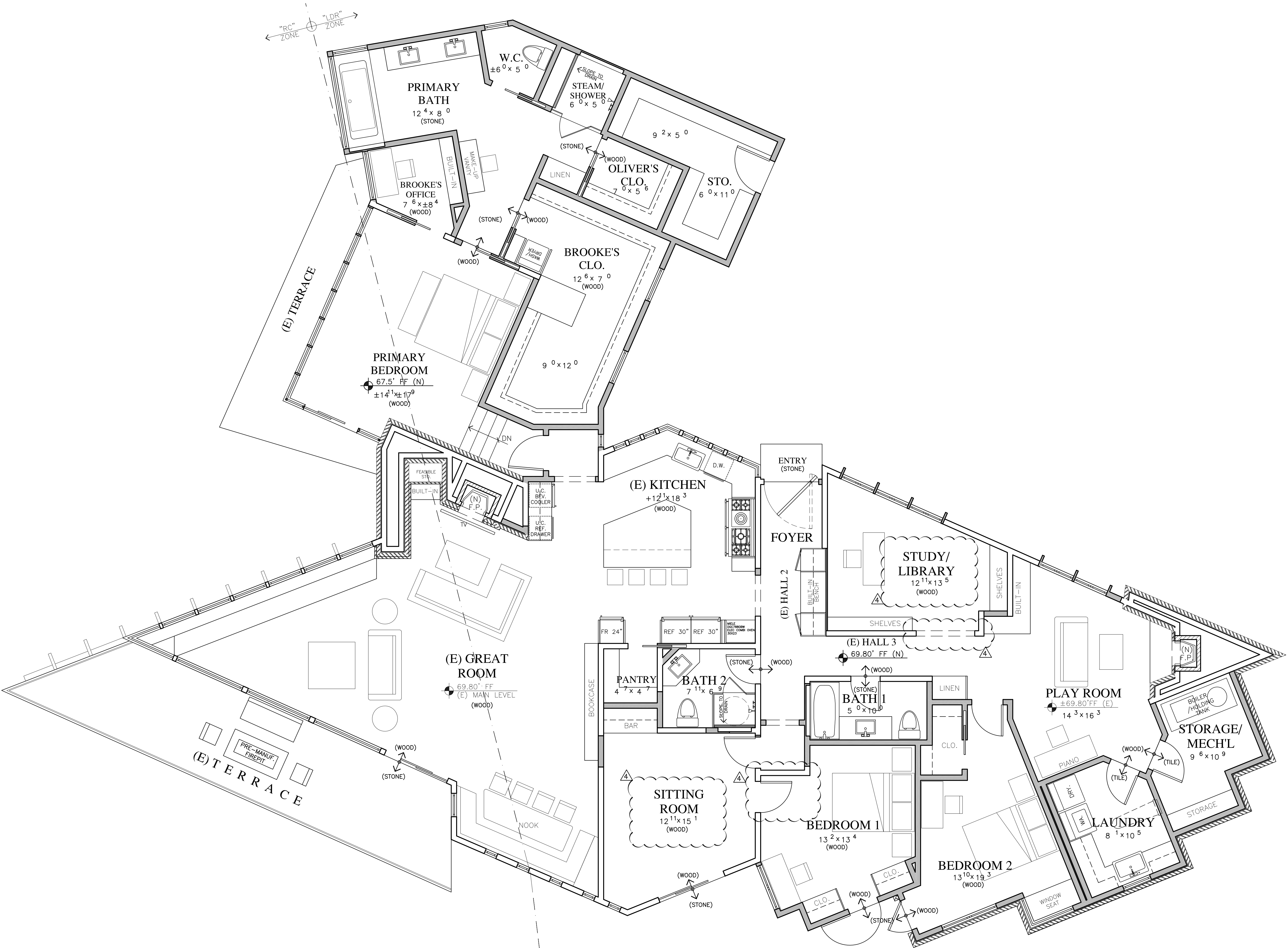
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SITE PLAN
EXISTING

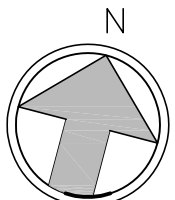
SHEET NO.

A1.0



MAIN LEVEL PLAN - PROPOSED

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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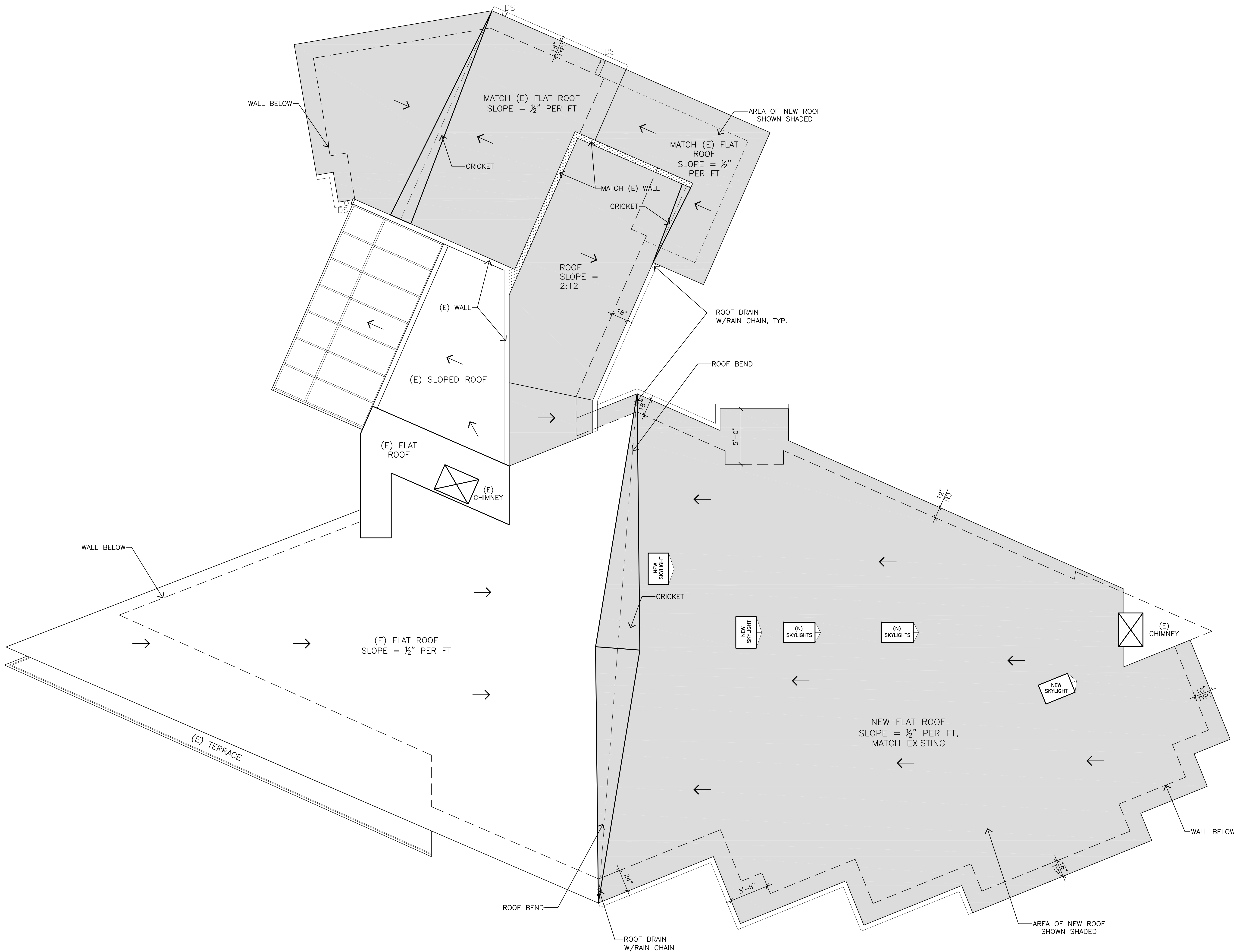
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MAIN LEVEL
PLAN

SHEET NO.

A2.0



ROOF PLAN

JUN A. SILLANO, AIA



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ROOF
PLAN

SHEET NO.

A5.0

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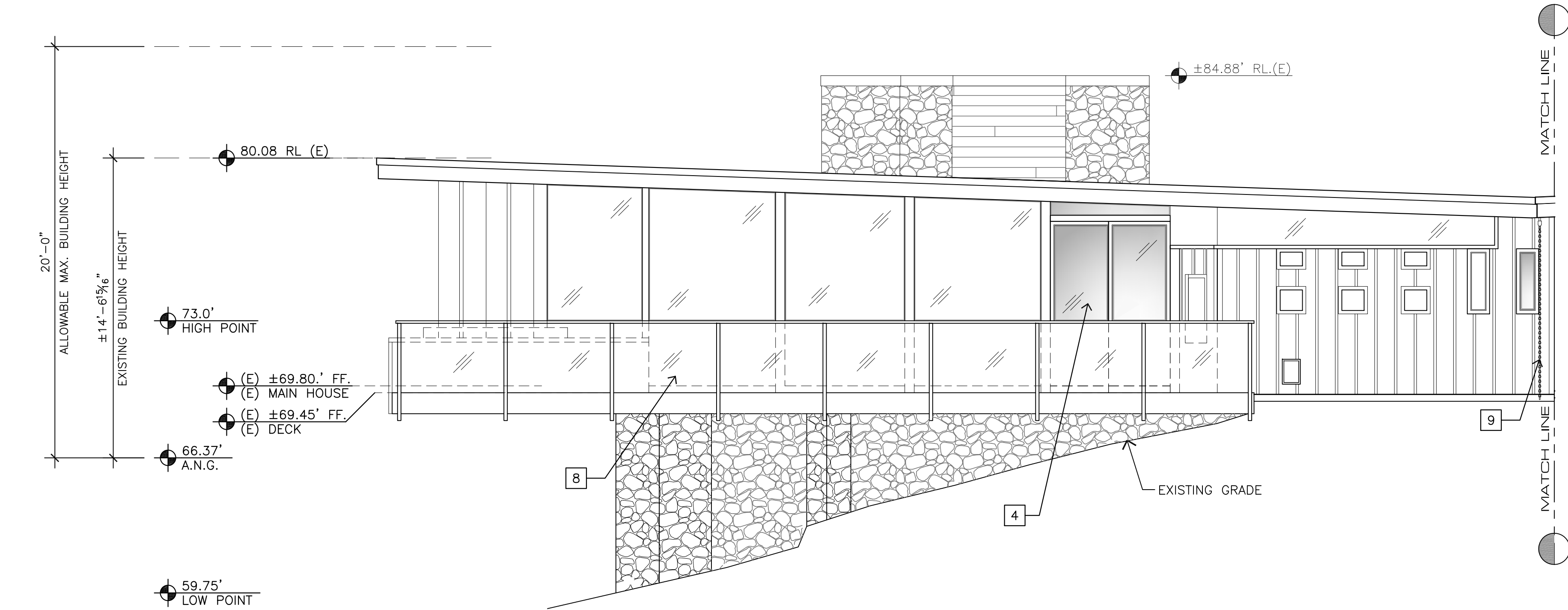
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ELEVATIONS

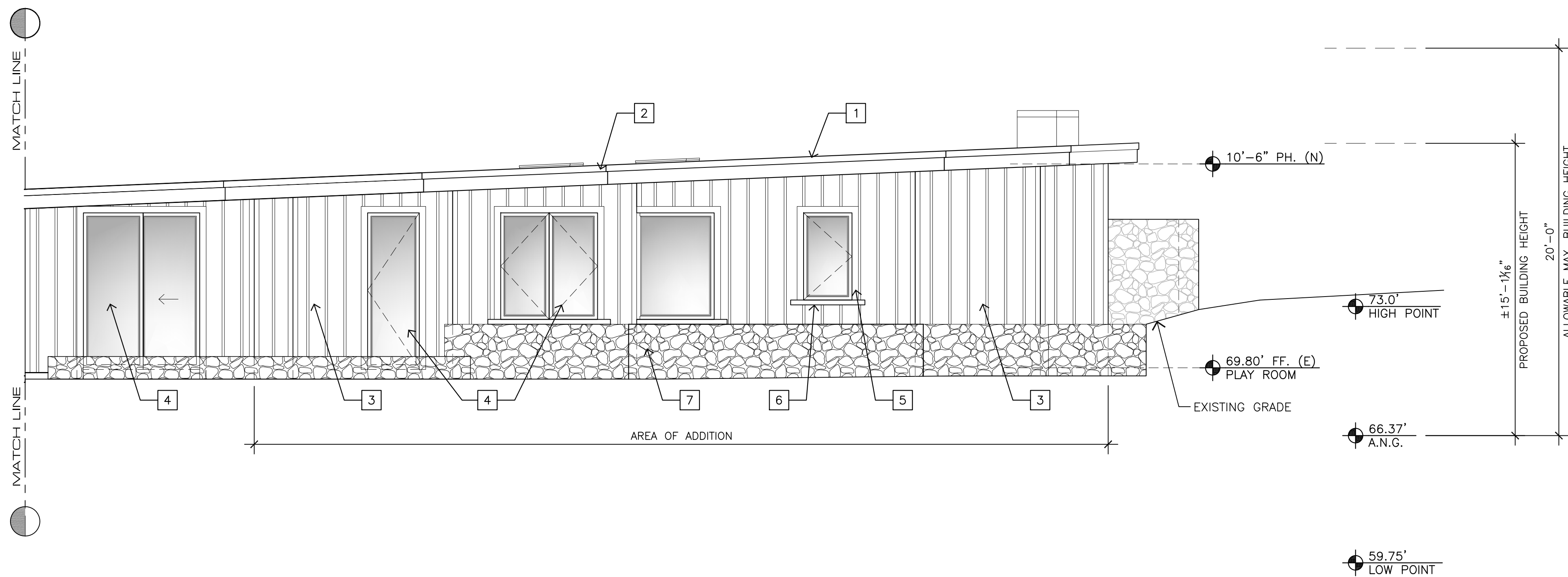
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A6.0



SOUTH ELEVATION (A)

1/4"=1'-0"

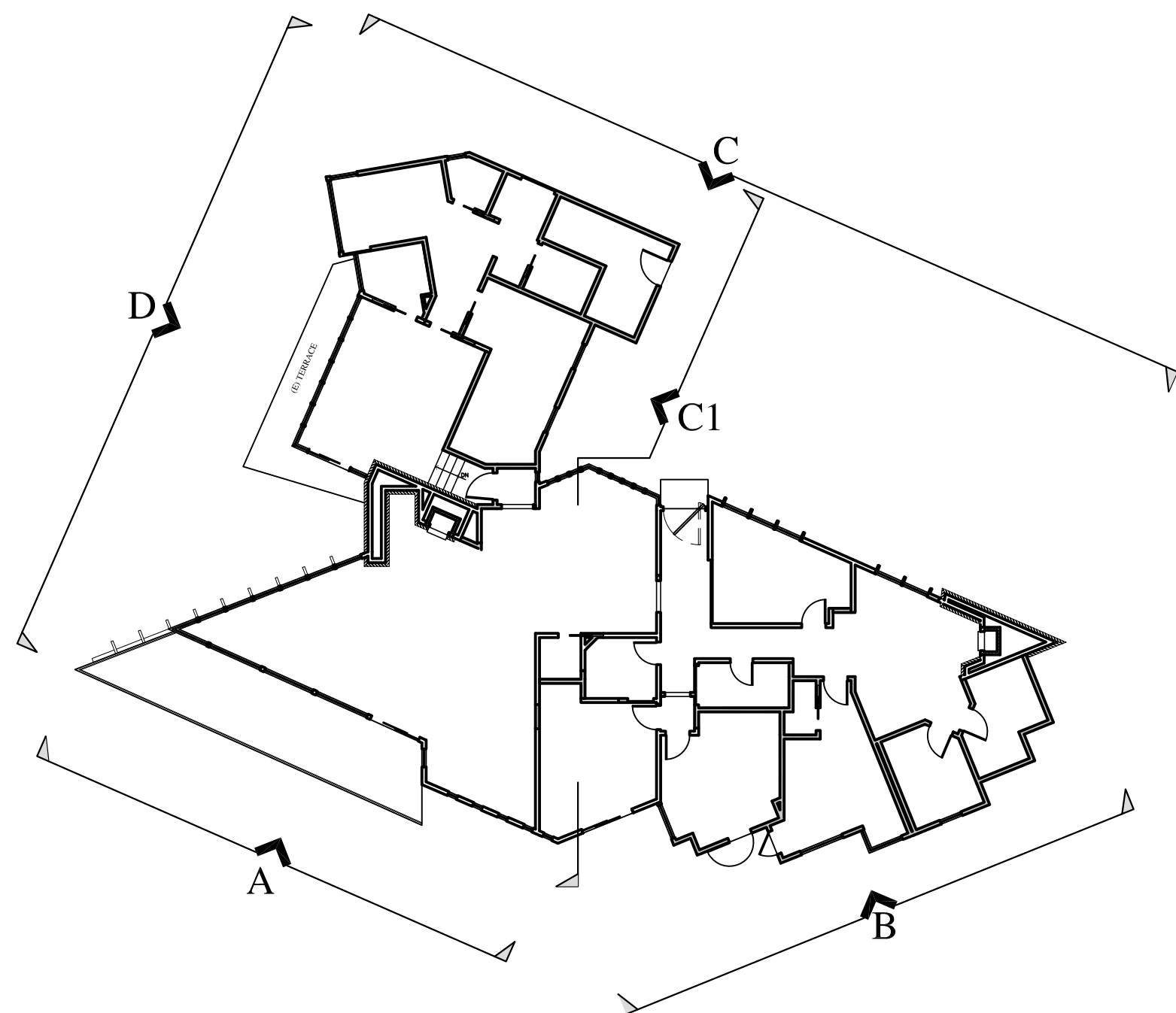


SOUTH ELEVATION (B)

1/4"=1'-0"

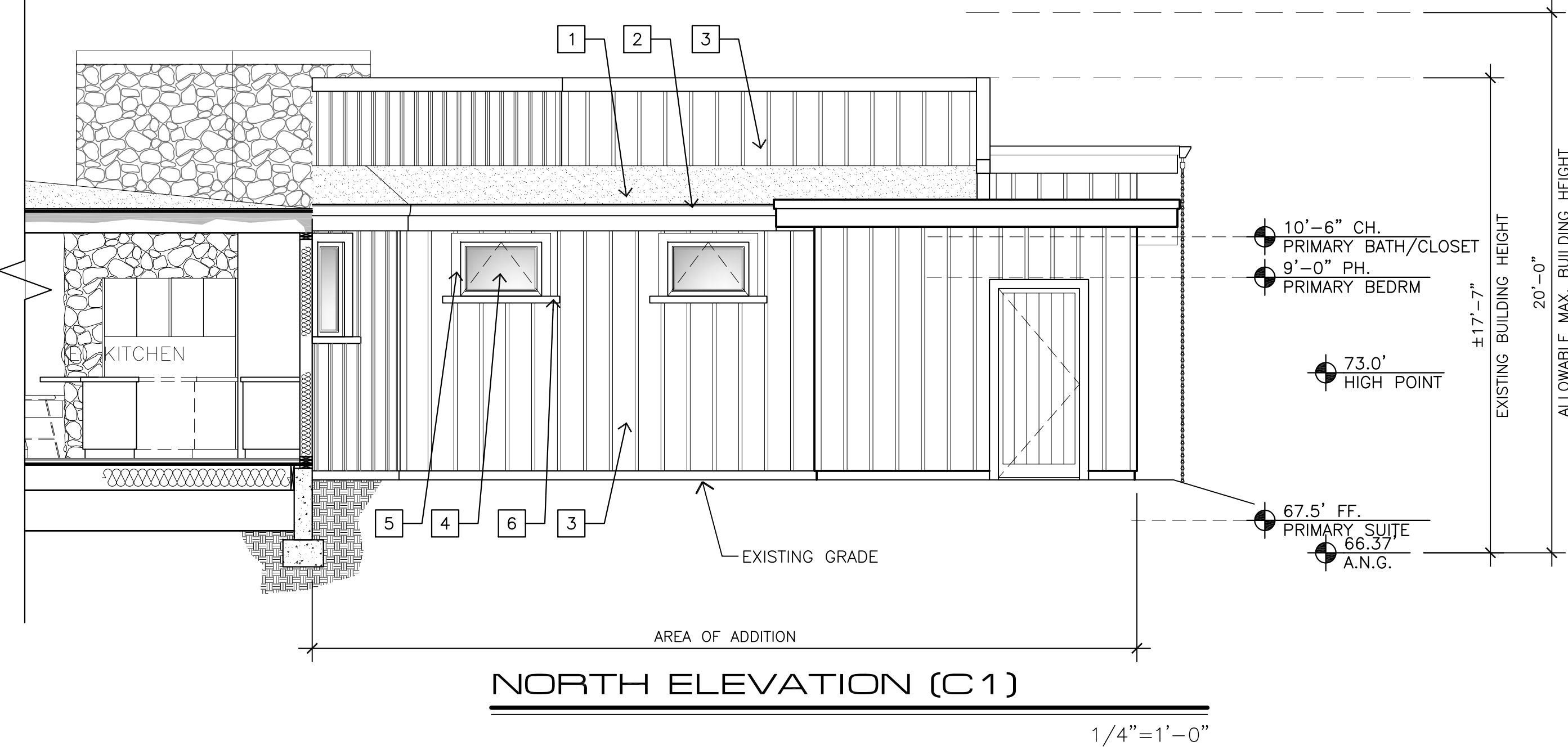
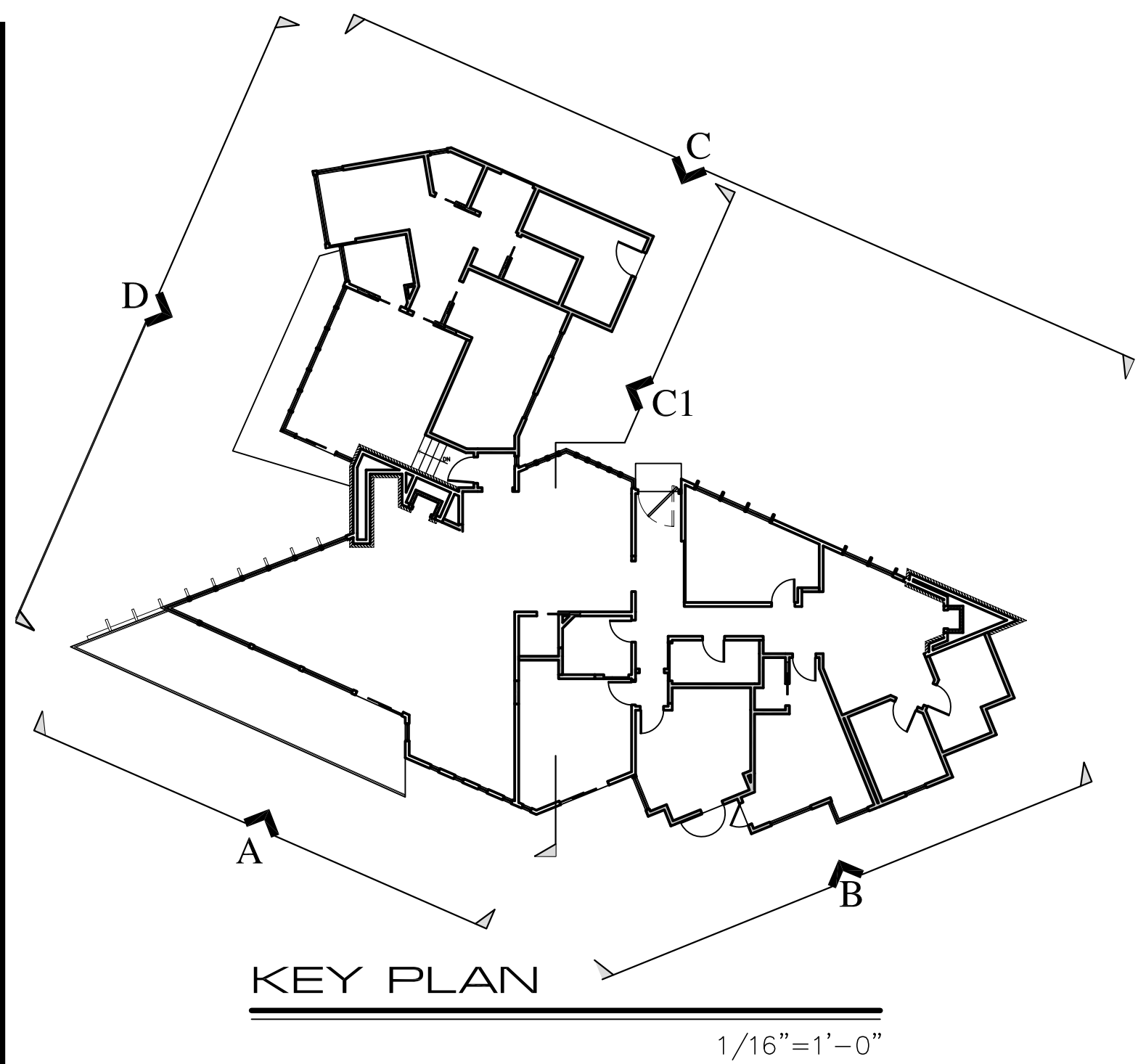
EXTERIOR FINISH LEGEND

- 1 BUILT UP ROOFING - MATCH EXISTING
- 2 2X12 CEDAR FASCIA WITH GALVANIZED METAL GUTTER & DOWNSPOUTS - MATCH EXISTING
- 3 JAMES HARDIE - PAINTED BOARD AND BATTEN SIDING
- 4 METAL CLAD WOOD EXTERIOR DOORS & WINDOWS - MATCH EXISTING
- 5 1X4 PAINTED CEDAR TRIM
- 6 4X PAINTED CEDAR SILL
- 7 RANDOM RIVER ROCK STONE - MATCH EXISTING
- 8 REPAIR/REPLACE AS NEEDED, SIMULATED WOOD GUARDRAIL WITH 1/2" TEMPERED GLASS - MATCH EXISTING



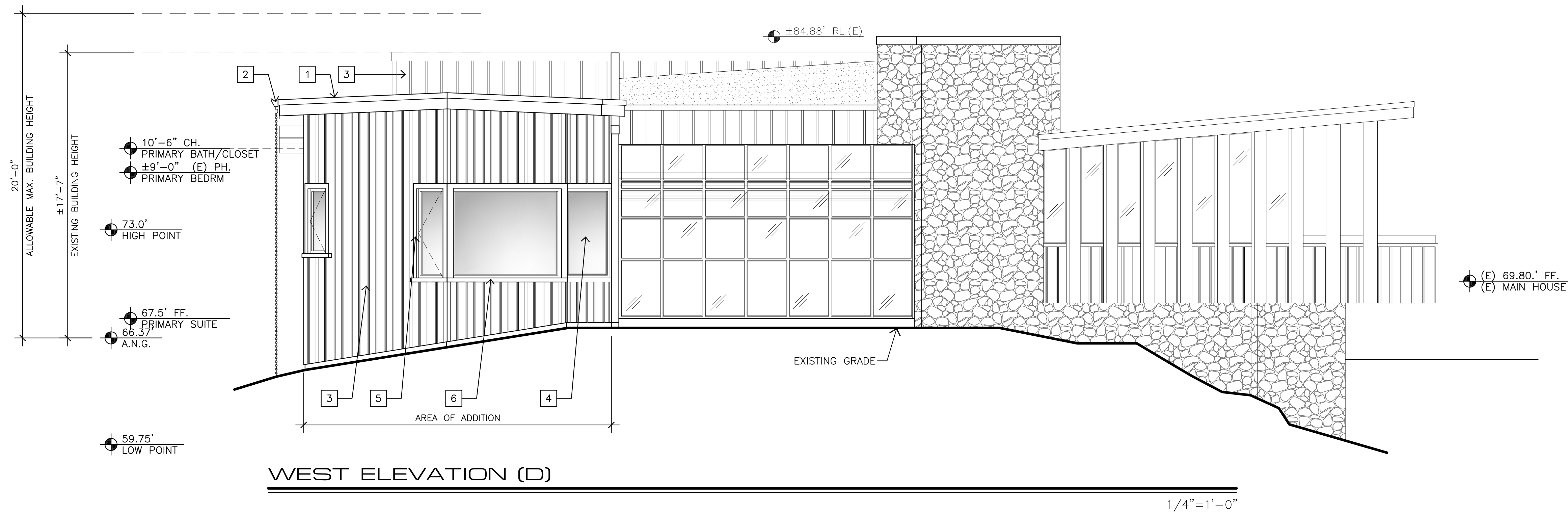
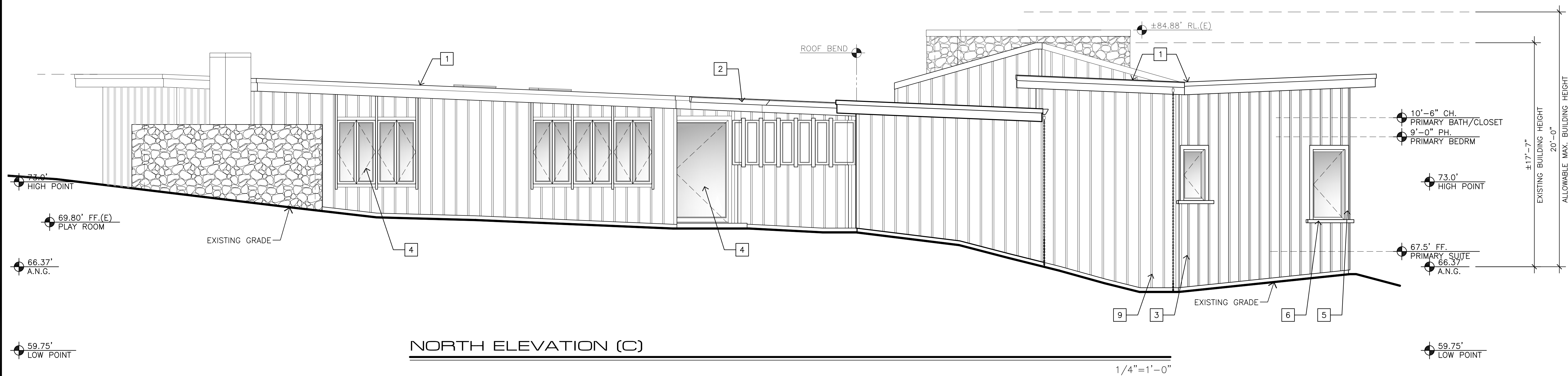
KEY PLAN

1/16"=1'-0"



EXTERIOR FINISH LEGEND

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- 2 2X12 CEDAR FASCIA WITH GALVANIZED METAL GUTTER & DOWNSPOUTS - MATCH EXISTING
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ELEVATIONS

SHEET NO.

A6.1



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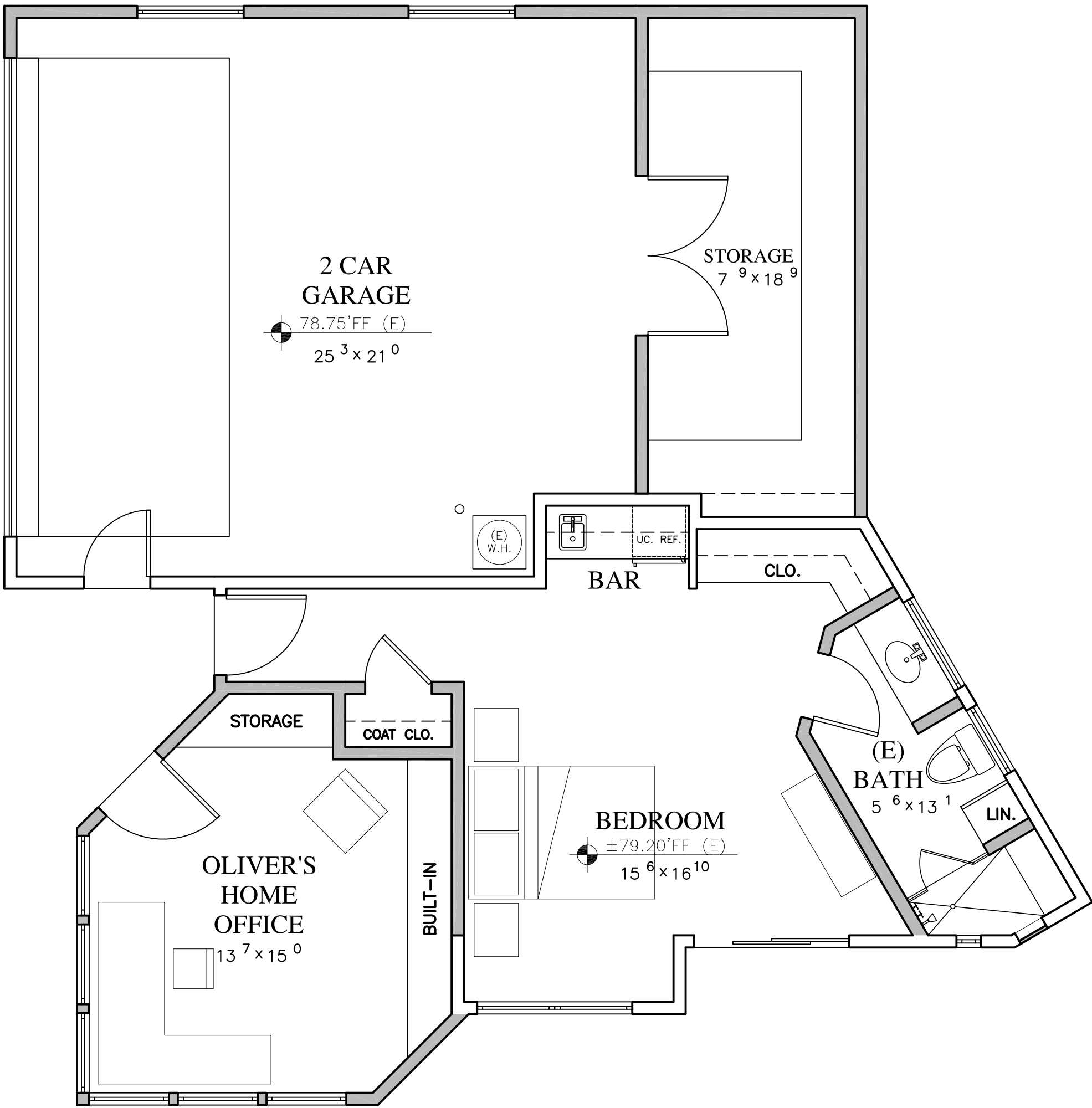
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GUESTHOUSE, OFFICE
AND GARAGE PLAN

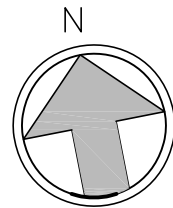
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GH2.0



GUESTHOUSE, OFFICE AND GARAGE - PROPOSED PLAN

1/4"=1'-0"



WALL LEGEND

2X EXISTING WALL TO REMAIN
2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.



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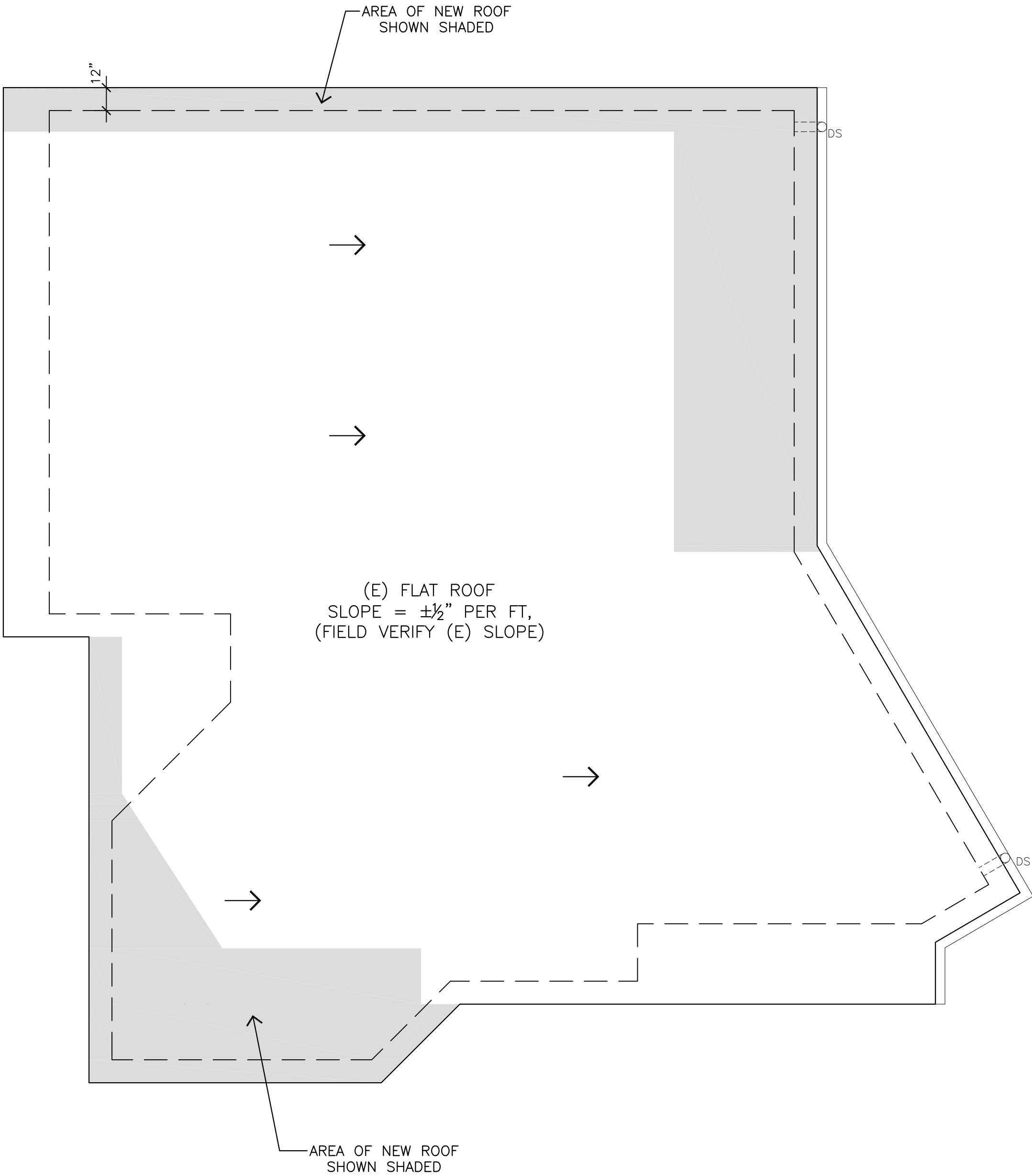
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GUESTHOUSE, OFFICE
AND GARAGE
ROOF PLAN

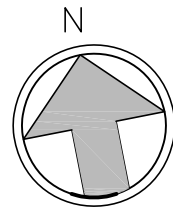
SHEET NO.

GH3.0



GUESTHOUSE, OFFICE AND GARAGE - ROOF PLAN

1/4"=1'-0"



WALL LEGEND

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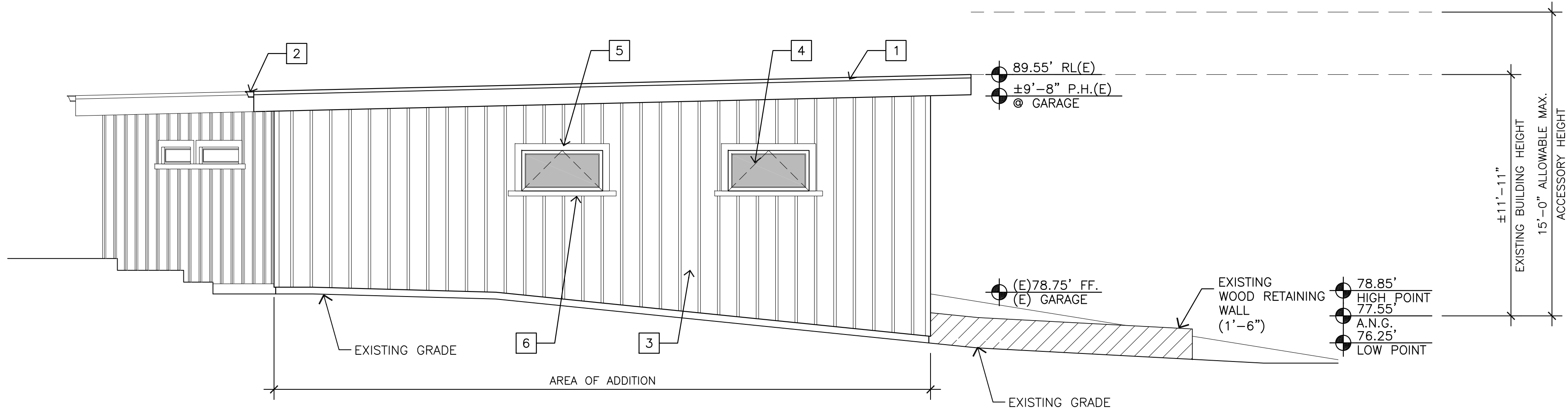
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GUESTHOUSE, OFFICE
AND GARAGE ELEV.

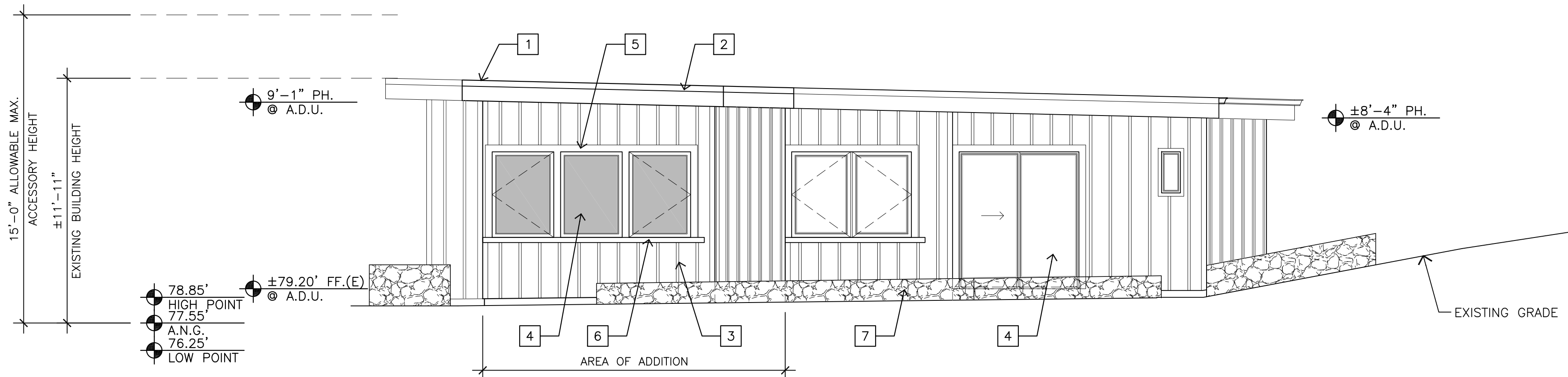
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GH4.0



EXTERIOR FINISH LEGEND

- 1 BUILT UP ROOFING - MATCH EXISTING
- 2 2X12 CEDAR FASCIA WITH GALVANIZED METAL GUTTER & DOWNSPOUTS - MATCH EXISTING
- 3 JAMES HARDIE - PAINTED BOARD AND BATTEN SIDING
- 4 METAL CLAD WOOD EXTERIOR DOORS & WINDOWS - MATCH EXISTING
- 5 1X4 PAINTED CEDAR TRIM
- 6 4X PAINTED CEDAR SILL
- 7 RANDOM RIVER ROCK STONE - MATCH EXISTING



SOUTH ELEVATION - GUESTHOUSE, OFFICE AND GARAGE

1/4"=1'-0"

721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

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STAMPS:

PROJECT/CLIENT:

**RICKARD
RESIDENCE**

PROJECT ADDRESS:

**5 YANKEE BEACH
WAY
CARMEL, CA
93923**

APN: 243-141-008

DATE: JUNE 4, 2024

APPLICATION REQ. SUBMITTAL

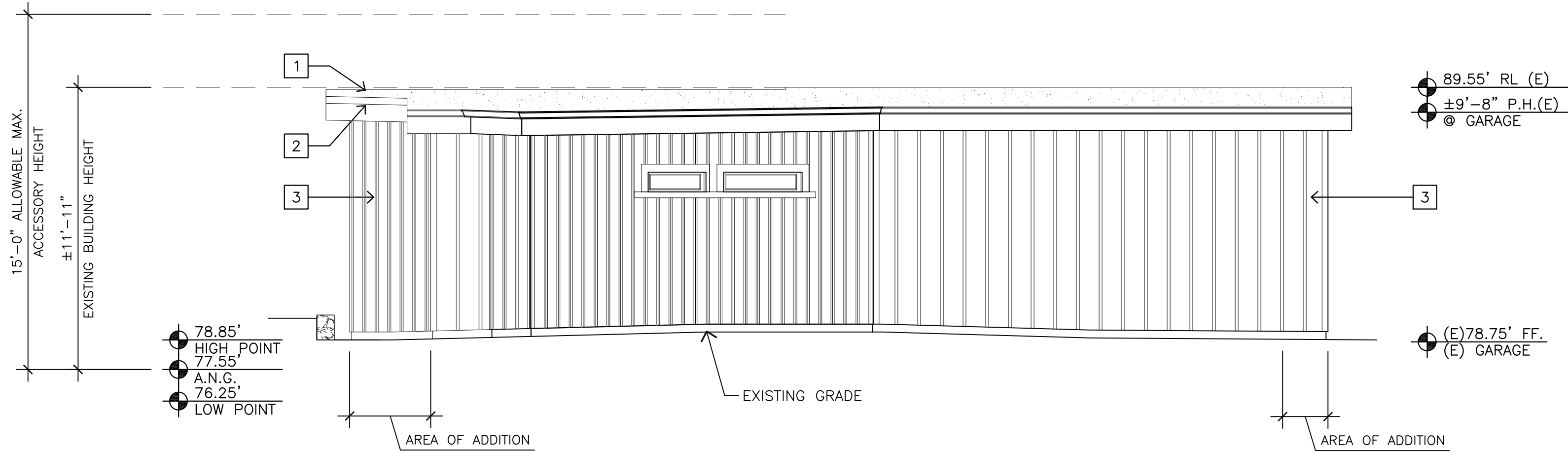
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**GUESTHOUSE, OFFICE
AND GARAGE ELEV.**

SHEET NO.

GH4.1

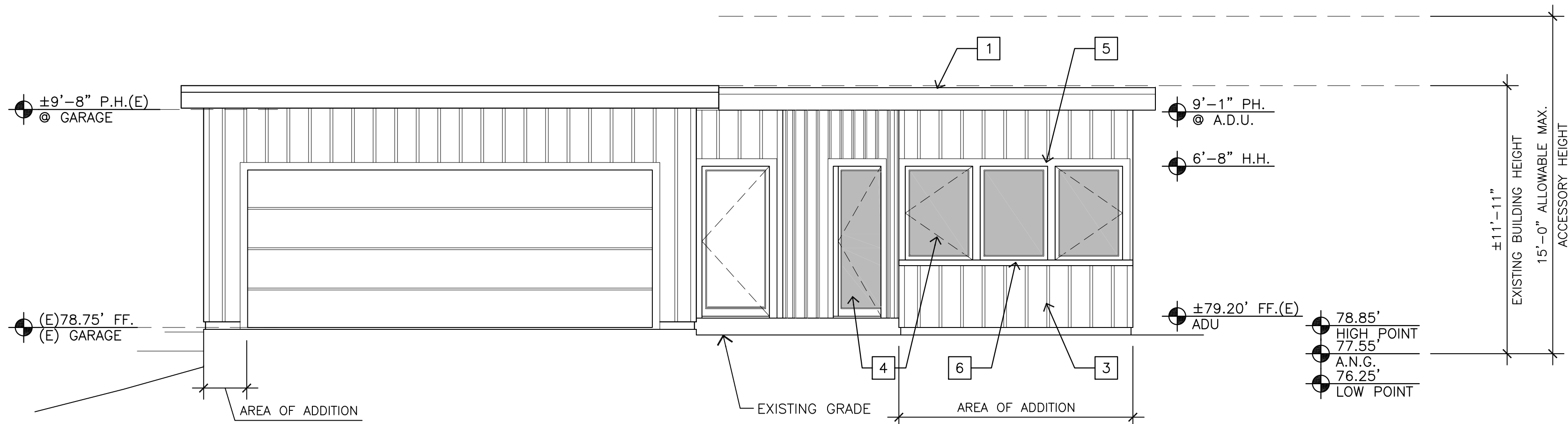


EAST ELEVATION - GUESTHOUSE, OFFICE AND GARAGE

1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 BUILT UP ROOFING - MATCH EXISTING
- 2 2X12 CEDAR FASCIA WITH GALVANIZED METAL GUTTER & DOWNSPOUTS - MATCH EXISTING
- 3 JAMES HARDIE - PAINTED BOARD AND BATTEN SIDING
- 4 METAL CLAD WOOD EXTERIOR DOORS & WINDOWS - MATCH EXISTING
- 5 1X4 PAINTED CEDAR TRIM
- 6 4X PAINTED CEDAR SILL
- 7 RANDOM RIVER ROCK STONE - MATCH EXISTING



WEST ELEVATION - GUESTHOUSE, OFFICE AND GARAGE

1/4"=1'-0"

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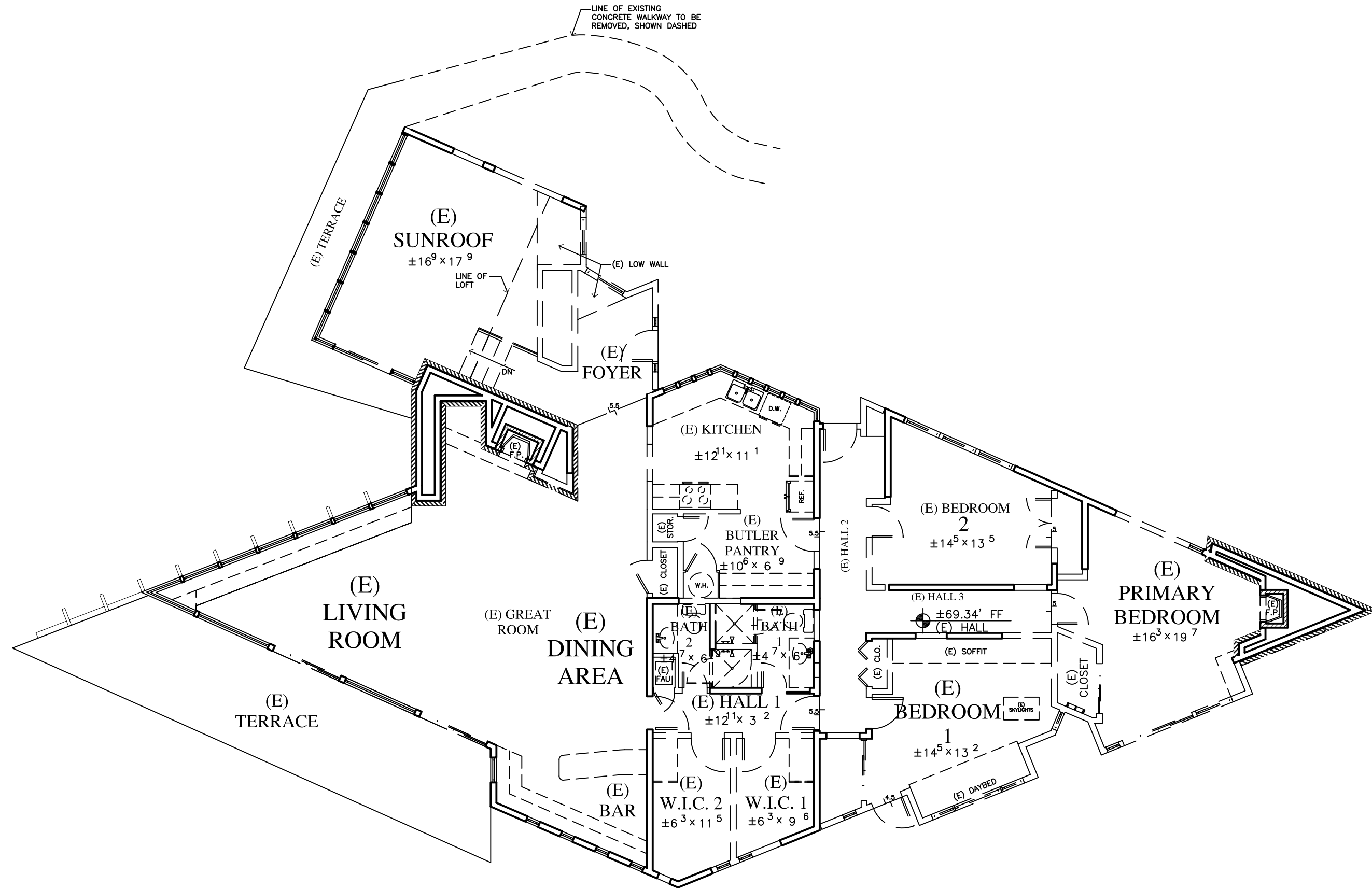
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**MAIN & G.H.
EXIST.-DEMO.
PLAN**

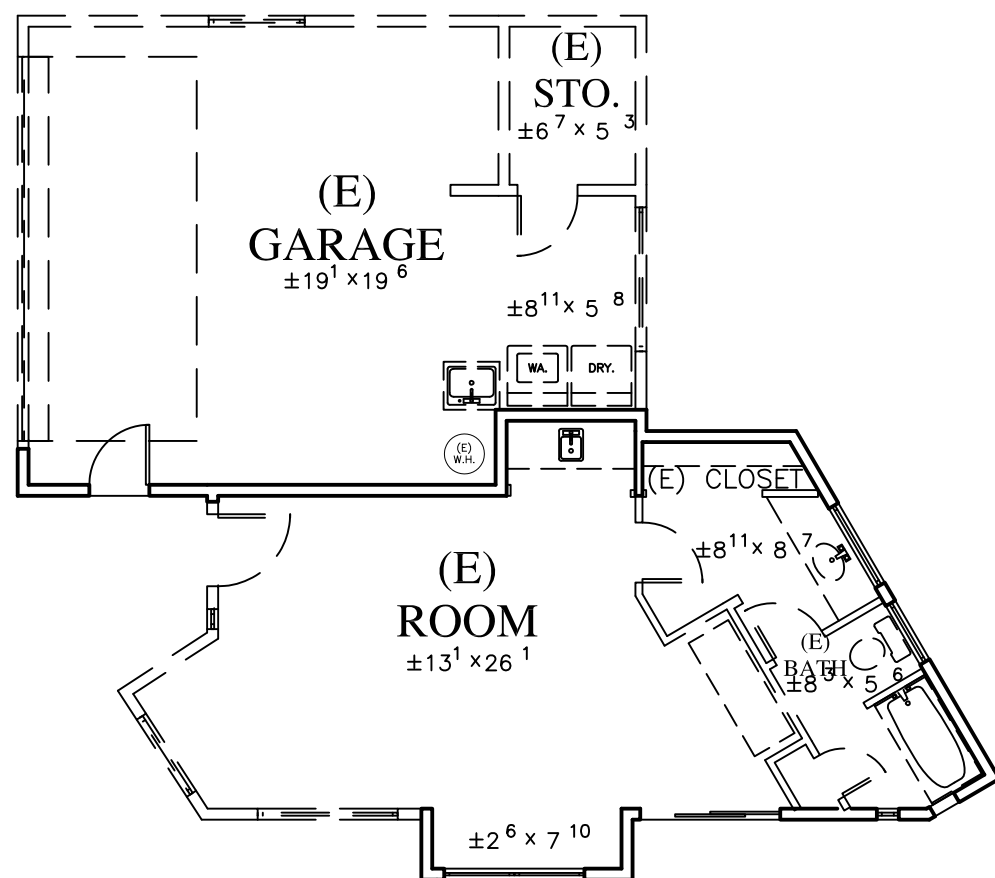
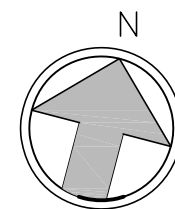
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D1.0



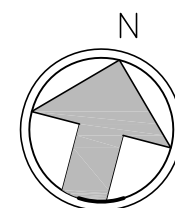
MAIN RESIDENCE EXISTING-DEMOLITION PLAN

1/8"=1'-0"



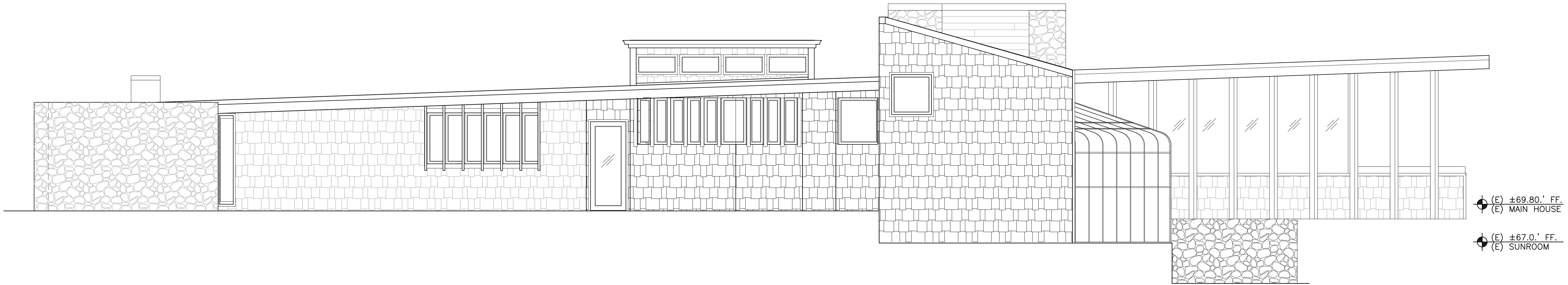
GARAGE AND GUESTHOUSE EXISTING-DEMOLITION PLAN

1/8"=1'-0"



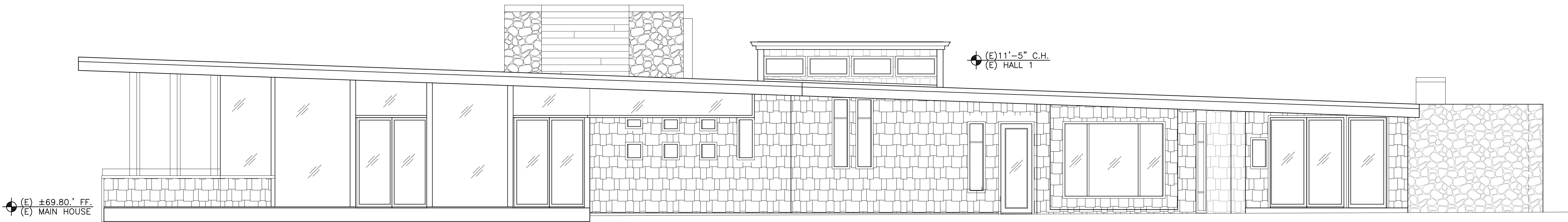
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- - - (E) DOOR OR WINDOW TO BE REMOVED
- - - - 2X EXISTING WALL TO BE REMOVED



NORTH ELEVATION - MAIN HOUSE EXISTING

1/4"=1'-0"



SOUTH ELEVATION - MAIN HOUSE EXISTING

1/4"=1'-0"

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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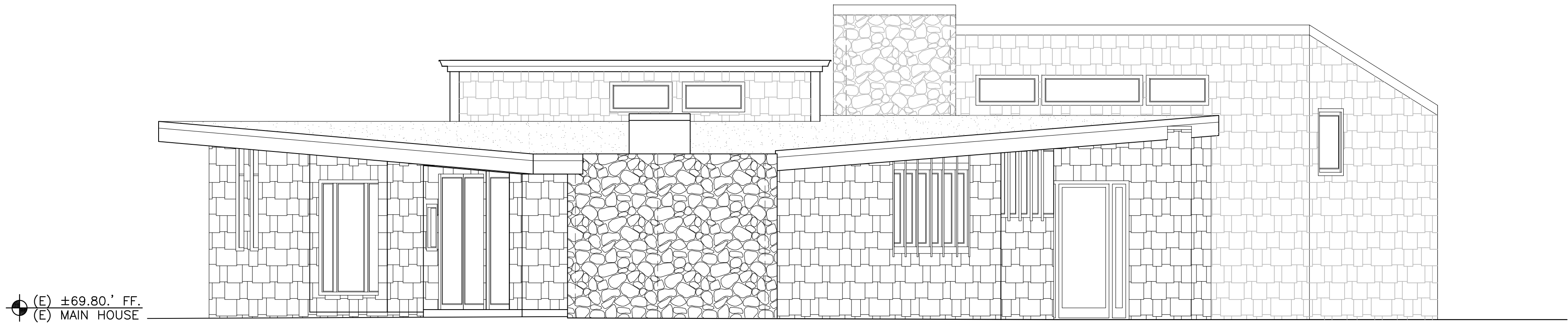
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MAIN HOUSE
EXISTING ELEVATION

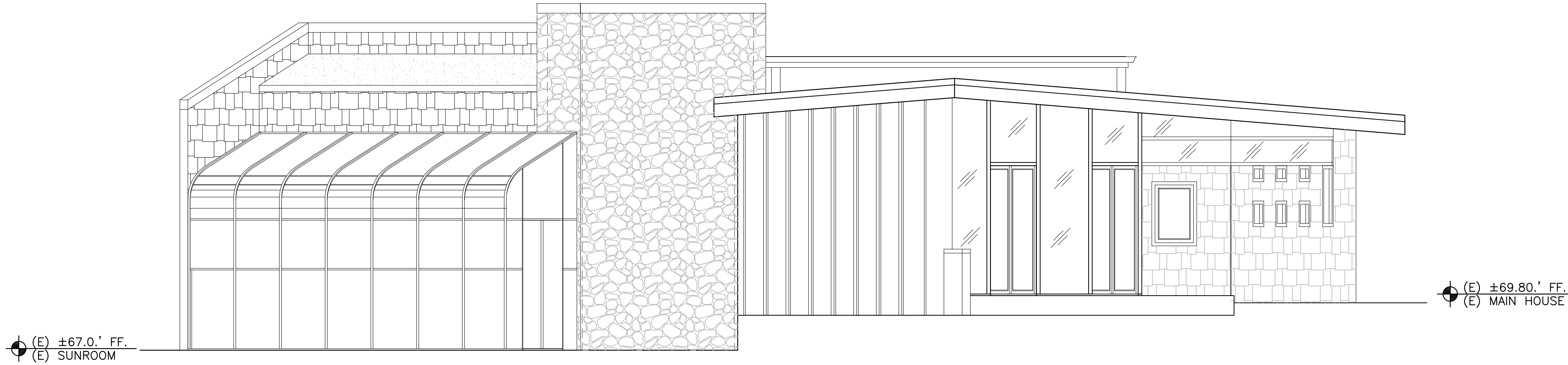
SHEET NO.

D2.0



EAST ELEVATION - MAIN HOUSE EXISTING

1/4"=1'-0"



WEST ELEVATION - MAIN HOUSE EXISTING

1/4"=1'-0"

JUN A. SILLANO, AIA



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△
△

EXISTING ELEVATION
MAIN HOUSE

SHEET NO.

D2.1

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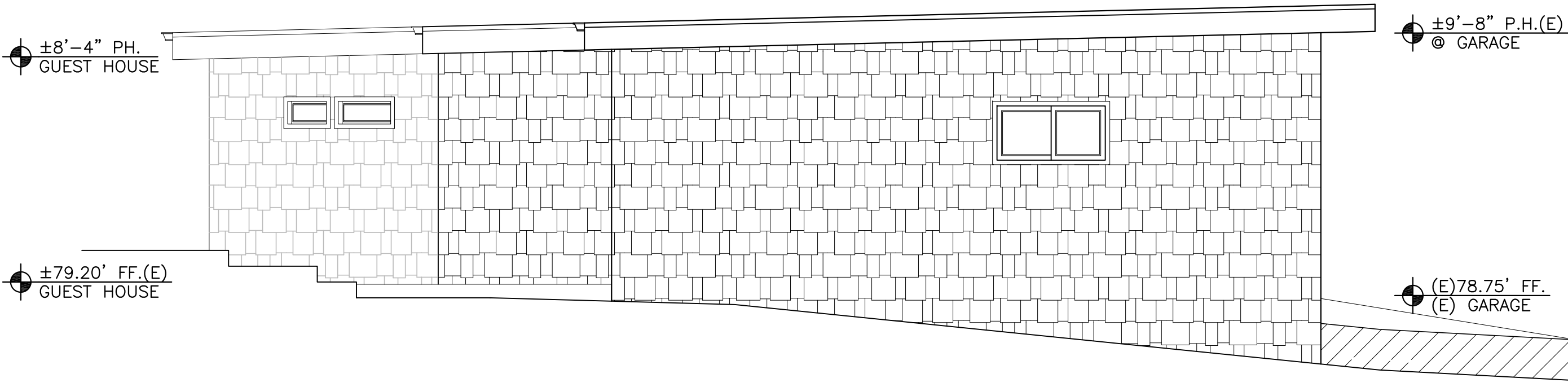
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EXISTING ELEVATION
GUEST HOUSE

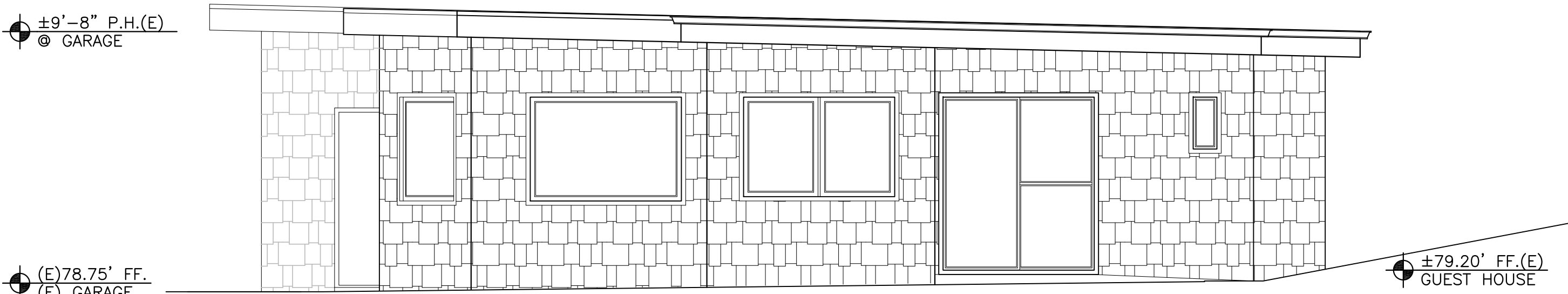
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D3.0



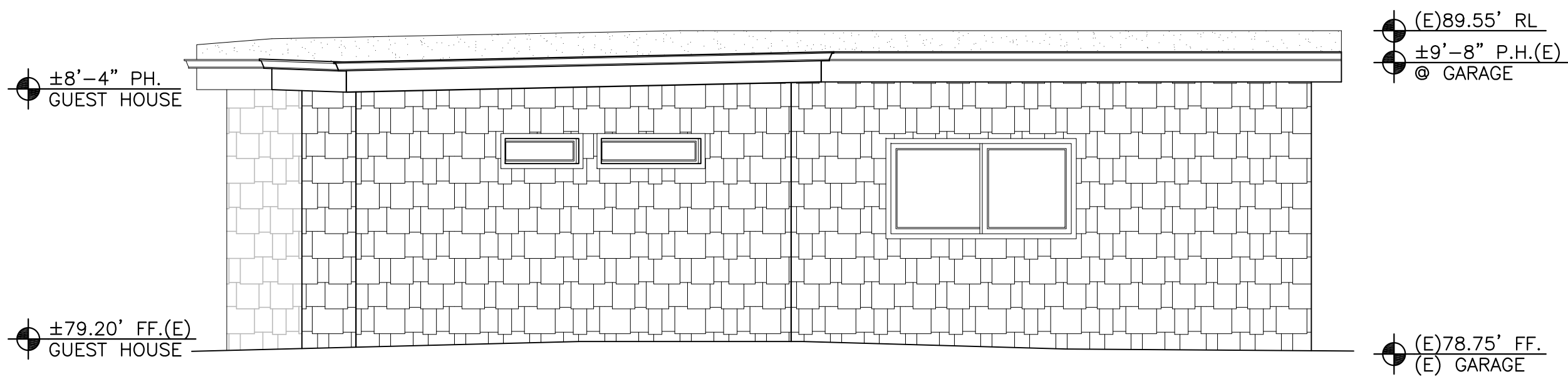
NORTH ELEVATION - EXISTING GUEST HOUSE

1/4"=1'-0"



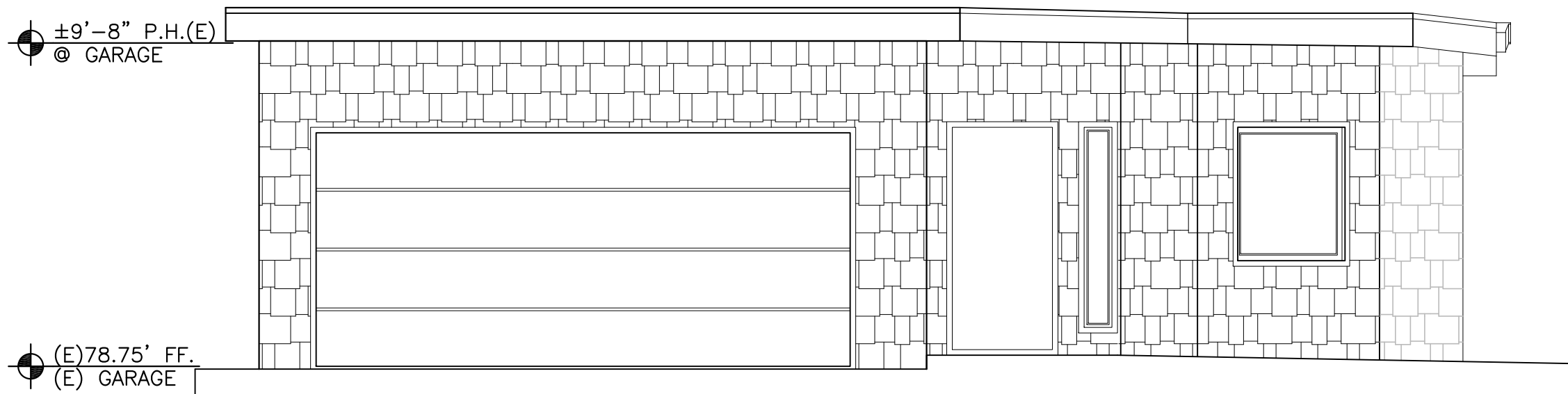
SOUTH ELEVATION - EXISTING GUEST HOUSE

1/4"=1'-0"



EAST ELEVATION - EXISTING GUEST HOUSE

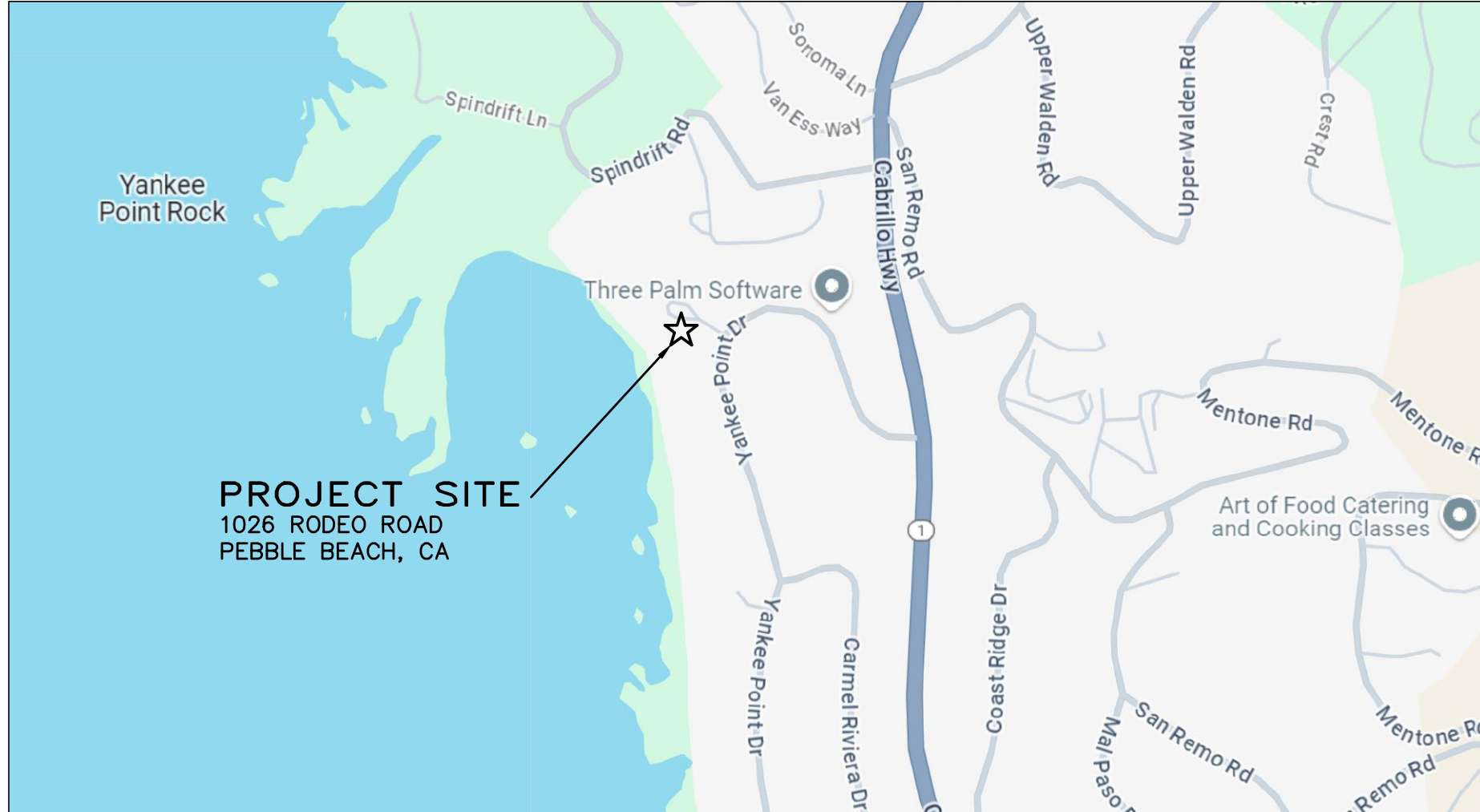
1/4"=1'-0"



WEST ELEVATION - EXISTING GUEST HOUSE

1/4"=1'-0"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
RICKARD RESIDENCE
APN: 243-141-008
CARMEL, MONTEREY COUNTY, CALIFORNIA



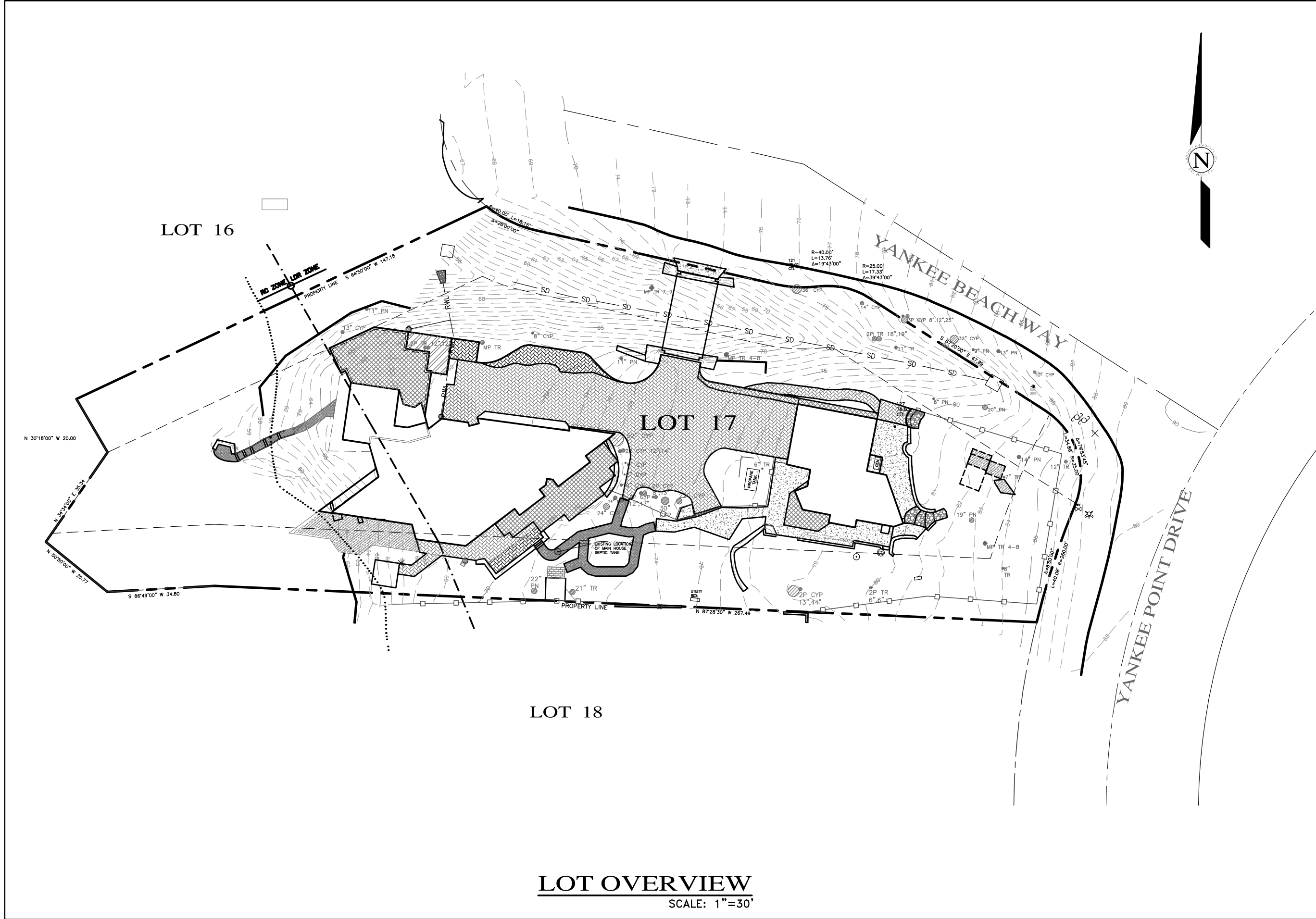
VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RICKARD RESIDENCE. A1.0 PREPARED BY INTERNATIONAL DESIGN GROUP, DATED 06/20/24, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON MAY 8, 2024.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (02/29/2024) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 35 C.Y. OF CUT AND 10 C.Y. OF FILL WITH 25 C.Y. OF EXPORT. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS WHICH OUTLET INTO LANDSCAPE AREAS AND/OR CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO THE EXISTING STORM DRAIN SYSTEM. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE KEPT ON ITS ORIGINAL STATE WITH EXISTING DRAINAGE PATTERNS MAINTAINED.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.



LOT OVERVIEW
SCALE: 1"=30'

- THE STORM DRAIN FACILITIES IF REQUIRED SHALL BE CHRISTY PRODUCTS OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT WILL CREATE AND/OR REPLACE COLLECTIVELY OVER THE ENTIRE PROJECT 1,206 SF OF IMPERVIOUS SURFACES AND WILL DISTURB A LAND AREA OF 1,656 SQ.FT.

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BLDG	BUILDING	NO	NUMBER
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CB	CATCH BASIN	PL	PROPERTY LINE
CL C/L	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV EL	ELEVATION	R.C.	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	RCR	REINFORCED CONCRETE PIPE
EX (E)	EXISTING	REL	RELATIVE
FD	FACE OF CURB	RET WALL	RETAINING WALL
FF	FACE OF DIKE	S	SLOPE
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SHO	SHOULDER
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FI	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FC	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
F/L	FACE OF WALL	STA	STATION
FL F/L	FLOW LINE	S/W	SIDEWALK
FP	FINISHED PAD	TC T/C	TOP OF CURB
FW	FACE OF WALL	TD	TOP OF DIKE
GB	GRADE BREAK	TW	TYPICAL
GR	GRATE	UP	UTILITY POLE
HDPE	HIGH DENSITY POLYETHYLENE	W	WATER
HP	HIGH POINT	WS	WATER SERVICE
LP	LOW POINT		
MAX	MAXIMUM		

LEGEND:

NEW:

	STORM DRAIN LINE
	RAIN-WATER LEADER
	SPOT ELEVATION
	ROOF DOWNSPOUT/SPLASH BLOCK
	MAIN FLOOR HOUSE FOOTPRINT ADDITION
	PERMEABLE CONCRETE PAVER SURFACE
	ROCK/BIOFILTRATION BASIN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Baserock subgrade compaction	Soil's Engineer	Prior to pavement installation		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	EROSION & SEDIMENT CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. OLIVER & BROOKE RICKARD
1304 SUITTON DRIVE
COLUMBIA, MO 65203

SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MS. AMY L. DENNEY
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH (831)646-1261

SITE LOCATION:
5 YANKEE BEACH WAY
CARMEL, CA 93923

	12/20/24	AMS	SITE PLAN UPDATE
	12/12/24	AMS	SITE PLAN UPDATE
	10/04/24	AMS	RELEASED TO CLIENT
No.	DATE	BY	REVISION

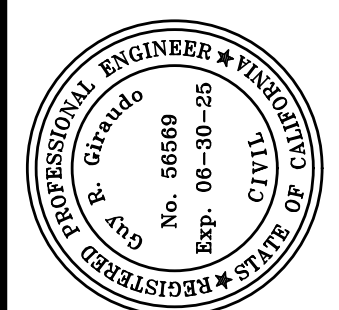
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
RICKARD RESIDENCE
A.P.N.: 243-141-008
CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. OLIVER & BROOKE RICKARD

SHEET C1

OF 5 SHEETS

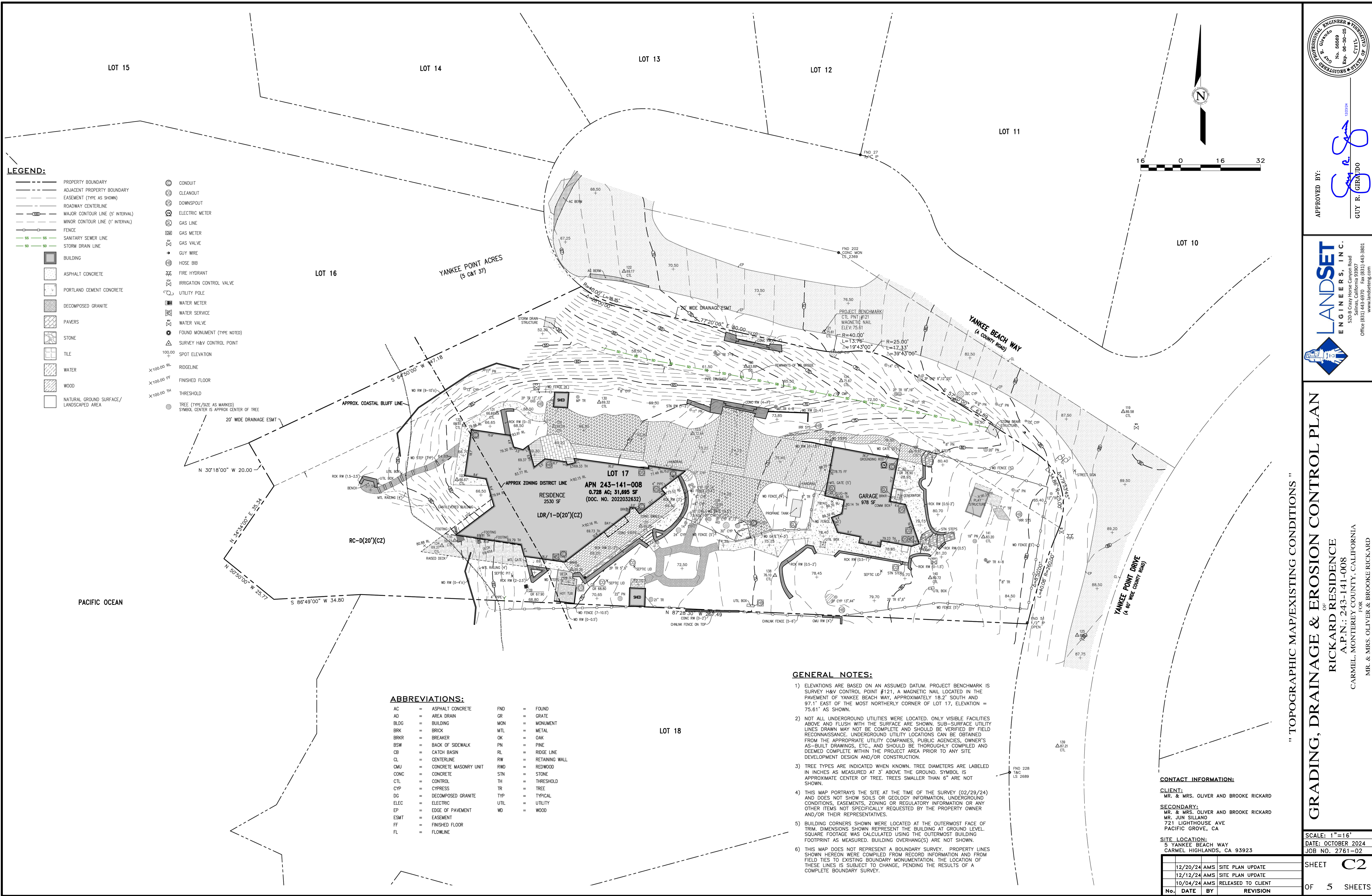
" COVER SHEET "



APPROVED BY:

GUY R. GIRALDO
122024





LEGEND:

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT (TYPE AS SHOWN)
- ROADWAY CENTERLINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- BUILDING
- ASPHALT CONCRETE
- PORTLAND CEMENT CONCRETE
- DECOMPOSED GRANITE
- PAVERS
- STONE
- TILE
- WATER
- WOOD
- NATURAL GROUND SURFACE/ LANDSCAPED AREA
- CONDUIT
- CLEANOUT
- DOWNSPOUT
- ELECTRIC METER
- GAS LINE
- GAS METER
- GAS VALVE
- GUY WIRE
- HOSE BIB
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- UTILITY POLE
- WATER METER
- WATER SERVICE
- WATER VALVE
- FOUND MONUMENT (TYPE NOTED)
- SURVEY H&V CONTROL POINT
- SPOT ELEVATION
- RIDGELINE
- FINISHED FLOOR
- THRESHOLD
- TREE (TYPE/SIZE AS MARKED)
- SYMBOL CENTER IS APPROX CENTER OF TREE

ABBREVIATIONS:

- | | | | | | |
|------|---|-----------------------|------|---|----------------|
| AC | = | ASPHALT CONCRETE | FND | = | FOUND |
| AD | = | AREA DRAIN | GR | = | GRATE |
| BLDG | = | BUILDING | MON | = | MONUMENT |
| BRK | = | BRICK | MTL | = | METAL |
| BRKR | = | BREAKER | OK | = | OAK |
| BSW | = | BACK OF SIDEWALK | PN | = | PINE |
| CB | = | CATCH BASIN | RL | = | RIDGE LINE |
| CL | = | CENTERLINE | RW | = | RETAINING WALL |
| CMU | = | CONCRETE MASONRY UNIT | RWD | = | REDWOOD |
| CONC | = | CONCRETE | STN | = | STONE |
| CTL | = | CONTROL | TH | = | THRESHOLD |
| CYP | = | CYPRESS | TR | = | TREE |
| DG | = | DECOMPOSED GRANITE | TYP | = | TYPICAL |
| ELEC | = | ELECTRIC | UTIL | = | UTILITY |
| EP | = | EDGE OF PAVEMENT | WD | = | WOOD |
| ESMT | = | EASEMENT | | | |
| FF | = | FINISHED FLOOR | | | |
| FL | = | FLOWLINE | | | |

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #121, A MAGNETIC NAIL LOCATED IN THE PAVEMENT OF YANKEE BEACH WAY, APPROXIMATELY 18.2' SOUTH AND 97.1' EAST OF THE MOST NORTHERLY CORNER OF LOT 17, ELEVATION = 75.61' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (02/29/24) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

CLIENT:
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SECONDARY:
MR. & MRS. OLIVER AND BROOKE RICKARD
MR. JUN SILLANO
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA

SITE LOCATION:
5 YANKEE BEACH WAY
CARMEL HIGHLANDS, CA 93923

No.	DATE	BY	REVISION
12/20/24	AMS		SITE PLAN UPDATE
12/12/24	AMS		SITE PLAN UPDATE
10/04/24	AMS		RELEASED TO CLIENT

" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

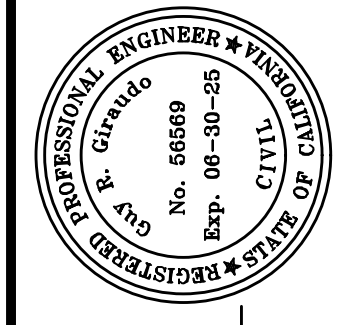
OF
RICKARD RESIDENCE
A.P.N.: 243-141-008
CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. OLIVER & BROOKE RICKARD

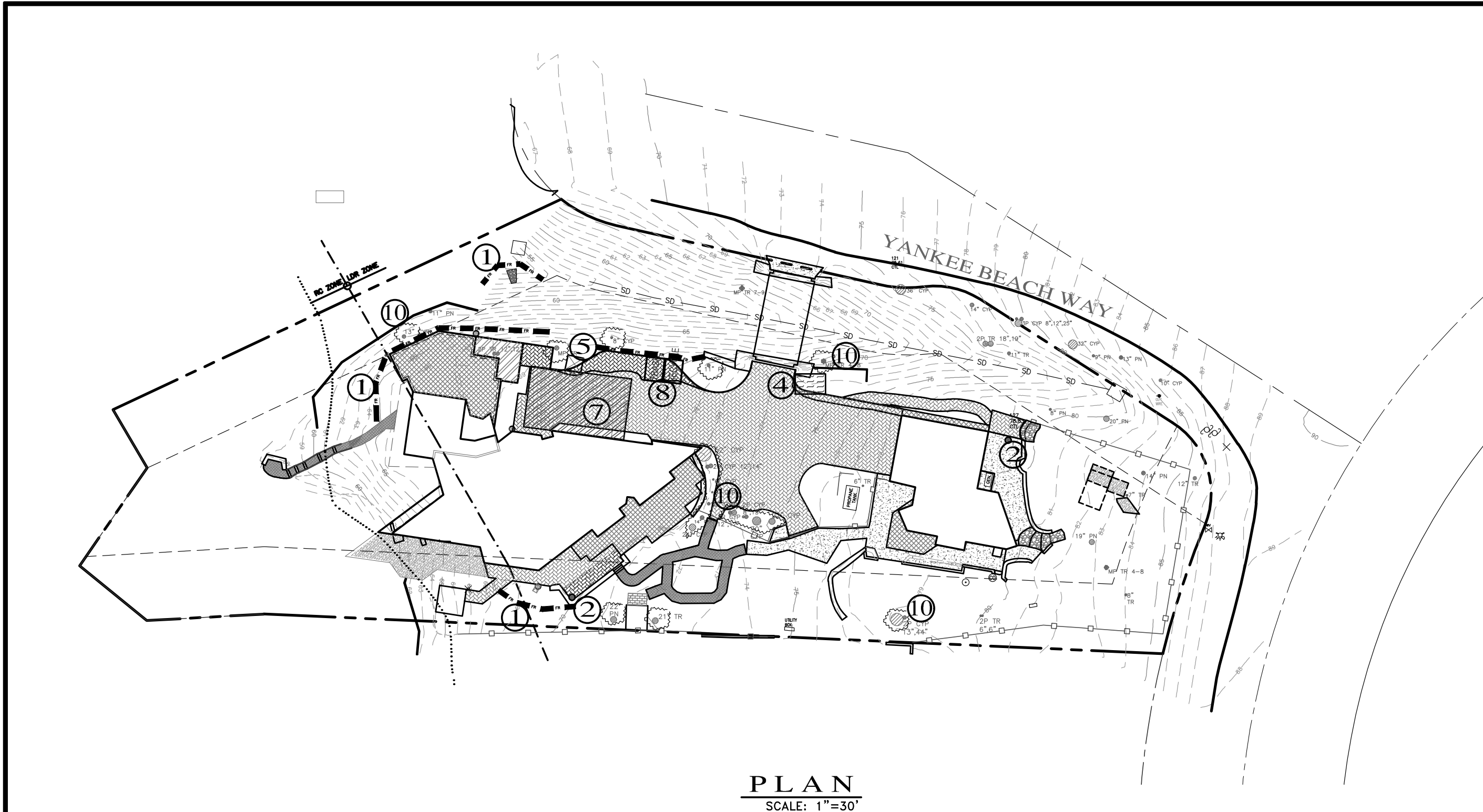
SCALE: 1"=16'
DATE: OCTOBER 2024
JOB NO. 2761-02

SHEET C2
OF 5 SHEETS

LANDSET
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520-B Crazy Horse Canyon Road
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Office (831) 843-1843
www.landseteng.com

APPROVED BY:
GUY R. GIRA/DO



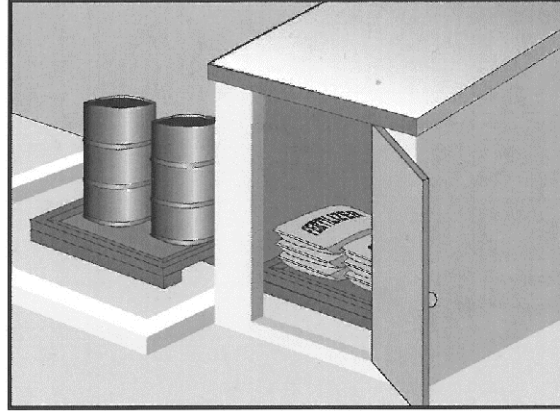


- LEGEND:**
- FR** FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - DI** DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - SC** STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
 - WC** CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 - ST** SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
 - SM** STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
 - SA** CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
 - TRASH** WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
 - GR** GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 3/4" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
 - TP** TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
 - SF** SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS LAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

Material Delivery and Storage WM-1



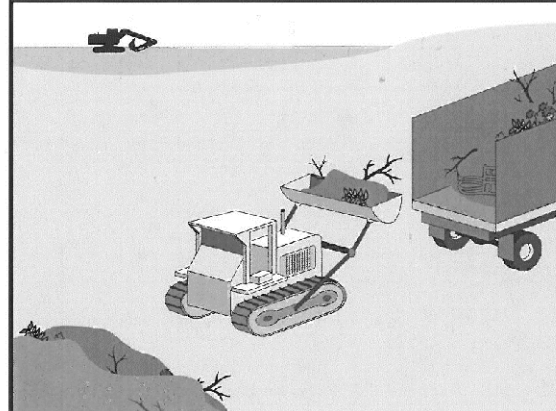
Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories		
EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:		
<input checked="" type="checkbox"/>	Primary Category	
<input type="checkbox"/>	Secondary Category	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Solid Waste Management WM-5

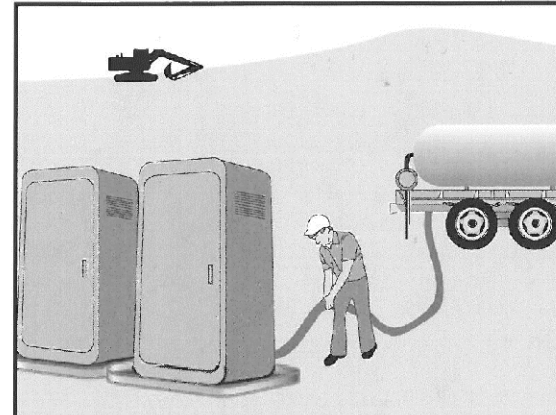


Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories		
EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:		
<input checked="" type="checkbox"/>	Primary Objective	
<input type="checkbox"/>	Secondary Objective	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Sanitary/Septic Waste Management WM-9

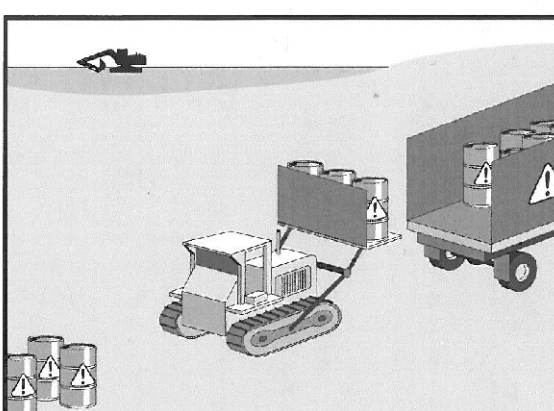


Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories		
EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:		
<input checked="" type="checkbox"/>	Primary Category	
<input type="checkbox"/>	Secondary Category	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Hazardous Waste Management WM-6

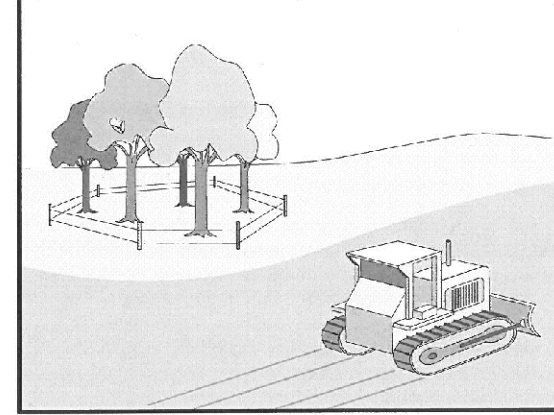


Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories		
EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>
Legend:		
<input checked="" type="checkbox"/>	Primary Objective	
<input type="checkbox"/>	Secondary Objective	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories		
EC	Erosion Control	<input checked="" type="checkbox"/>
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	
Legend:		
<input checked="" type="checkbox"/>	Primary Objective	
<input type="checkbox"/>	Secondary Objective	

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>
Potential Alternatives	
None	

" EROSION & SEDIMENT CONTROL PLAN "

APPROVED BY: GUY R. GIRARD

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www.landseteng.com

RICKARD RESIDENCE
OF
A.P.N.: 243-141-008
CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. OLIVER & BROOKE RICKARD

SCALE: AS SHOWN
DATE: OCTOBER 2024
JOB NO. 2761-02

No.	DATE	BY	REVISION
	12/20/24	AMS	SITE PLAN UPDATE
	12/12/24	AMS	SITE PLAN UPDATE
	10/04/24	AMS	RELEASED TO CLIENT

SHEET **C4**
OF 5 SHEETS

LIMITS OF CONSTRUCTION
(TYPICAL)

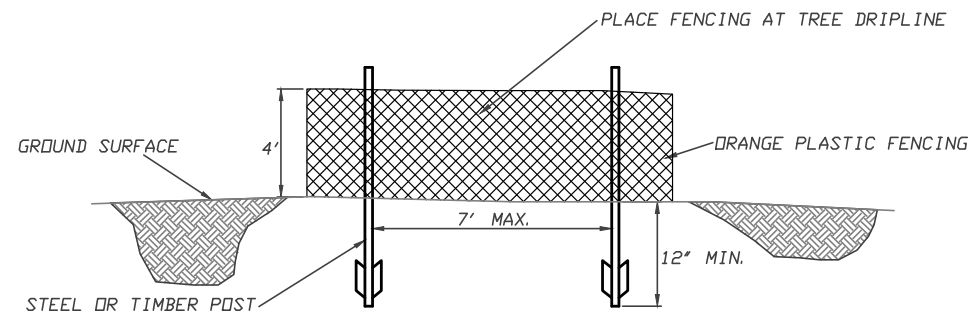
YANKEE BEACH WAY

TRUCK ROUTE

PROTECT EXISTING TREES
(TYPICAL) SEE DETAIL

EMPLOYEE PARKING

PLAN
SCALE: 1"=30'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
35 CY CUT
10 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA IF REQUIRED.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON YANKEE BEACH WAY AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO YANKEE POINT DRIVE TO YANKEE BEACH WAY. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON YANKEE BEACH WAY. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG YANKEE BEACH WAY, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	4	2
GRADING & SOIL REMOVAL (EXPORT)	4	2
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	10	6

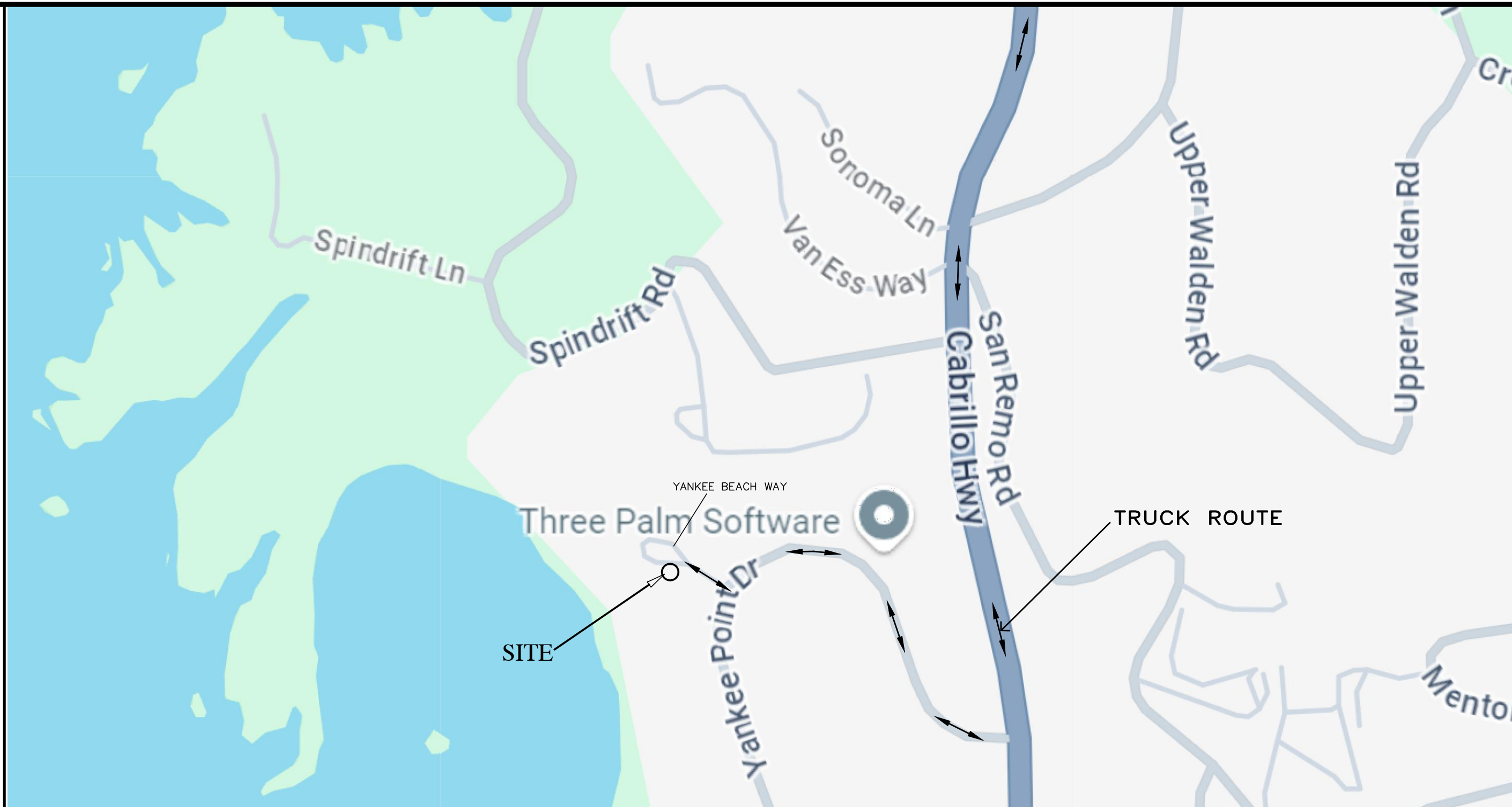
8TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 8 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE IS NOT SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 2 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 10 & 50 CUBIC YARDS.

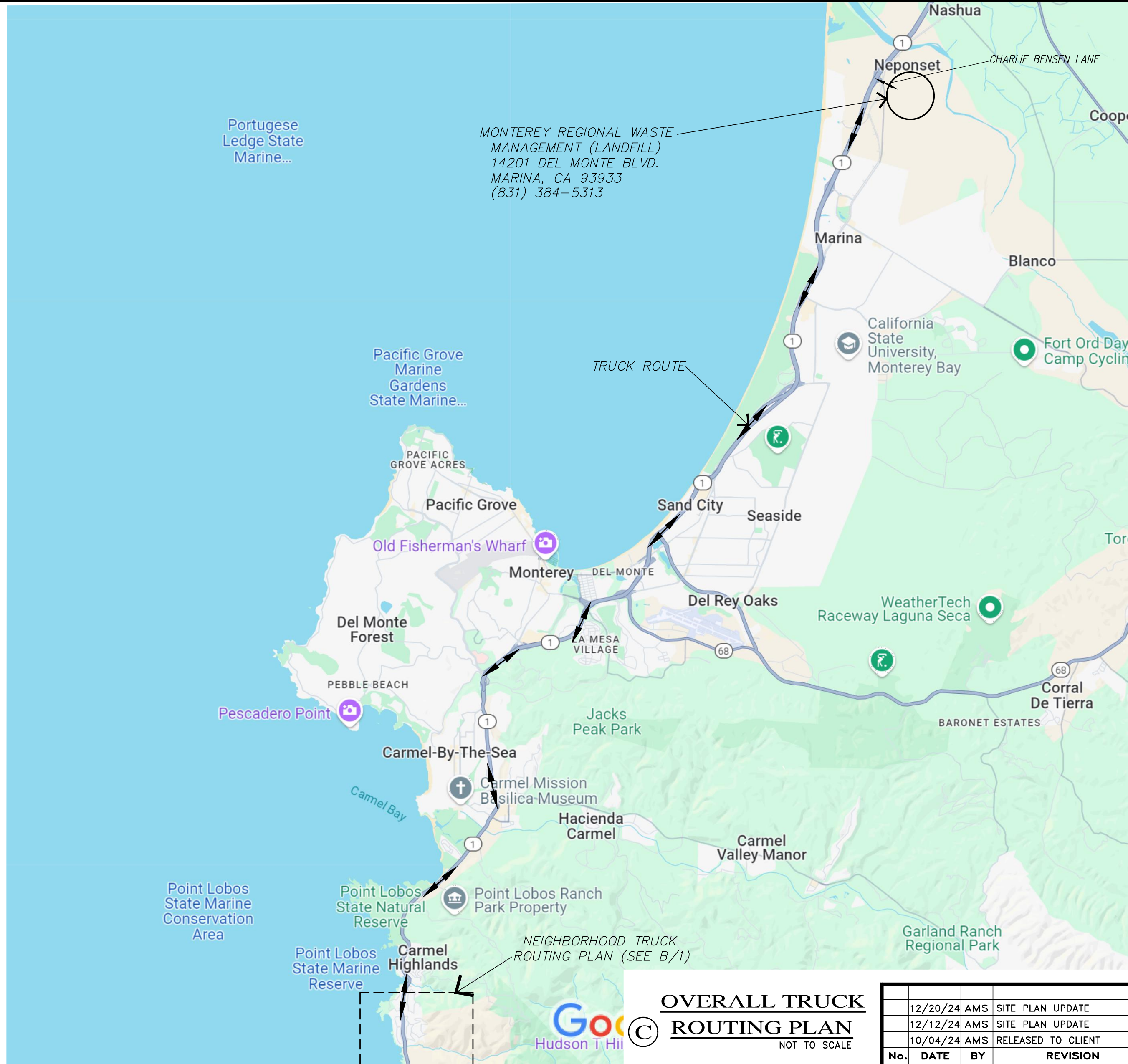
NUMBER OF EMPLOYEES/DAY: 4-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 6 JANUARY 2025.
2 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY,
8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY
12 MONTHS.



NEIGHBORHOOD
TRUCK ROUTING
B PLAN



OVERALL TRUCK
ROUTING PLAN
NOT TO SCALE

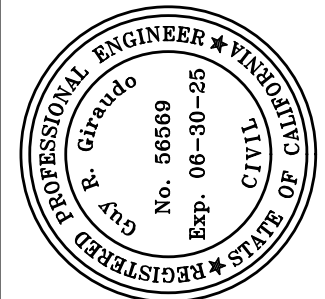
No.	DATE	BY	REVISION
1	12/20/24	AMS	SITE PLAN UPDATE
2	12/12/24	AMS	SITE PLAN UPDATE
3	10/04/24	AMS	RELEASED TO CLIENT

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
RICKARD RESIDENCE
A.P.N.: 243-141-008
CARMEL, MONTEREY COUNTY, CALIFORNIA
MR. & MRS. OLIVER & BROOKE RICKARD

CONSTRUCTION MANAGEMENT PLAN "

SCALE: AS SHOWN
DATE: OCTOBER 2024
JOB NO. 2761-02

SHEET
OF 5 SHEETS



APPROVED BY:

GUY R. GIRA, INC.
12/20/24

