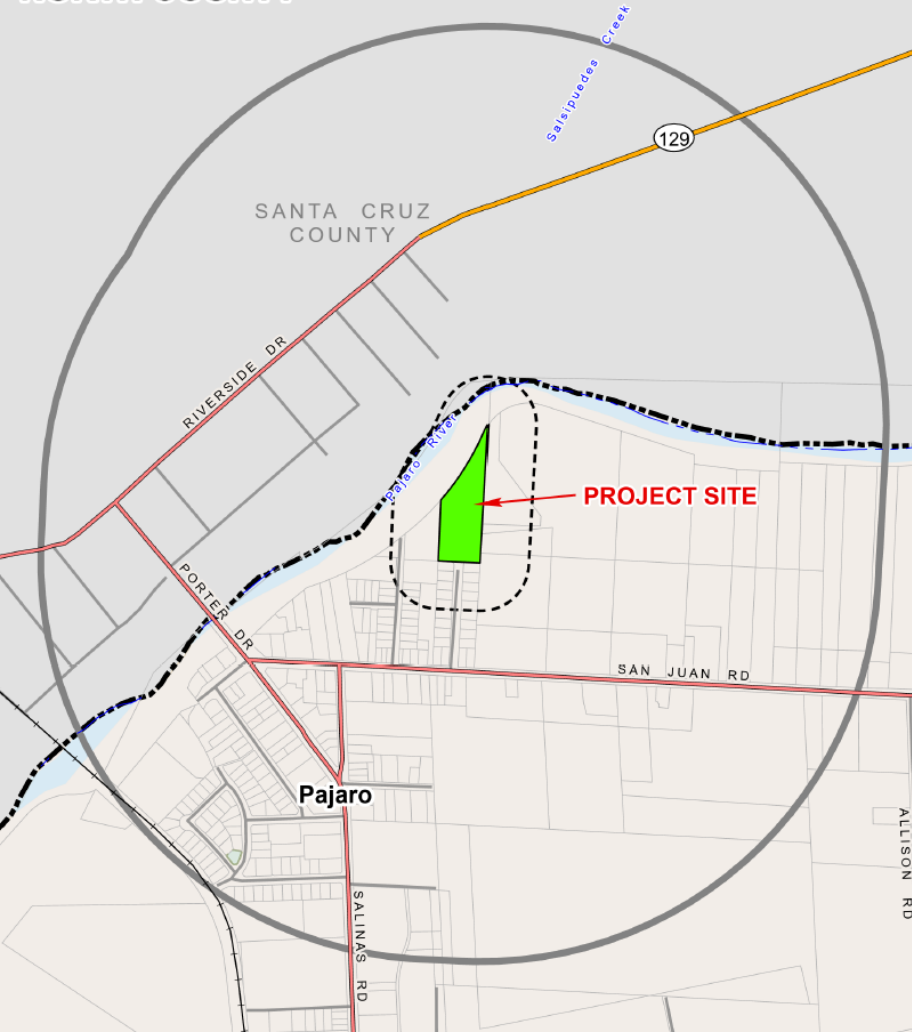




PLN210152

Rio Vista Group LLC

**Board of
Supervisors**
December 13, 2022



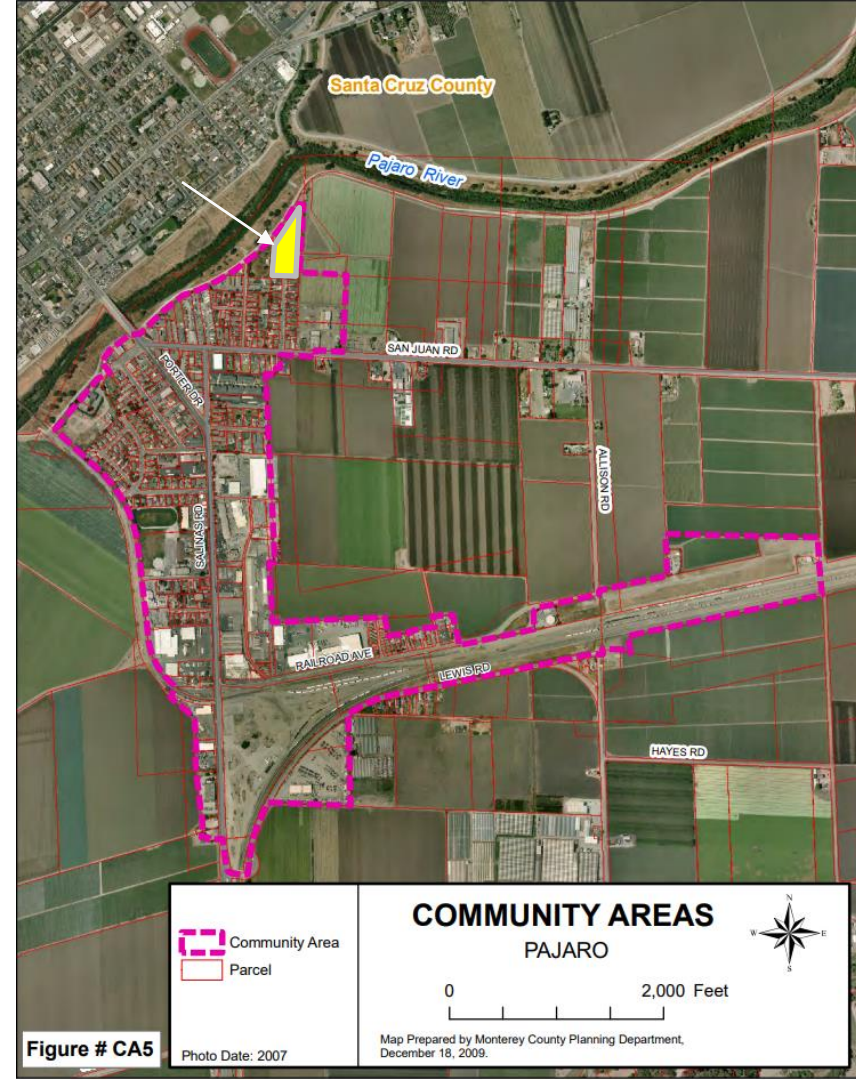
Project Location:

51, 53, 55 & 57 Susan Street,
North County Area Plan

Zoning:

RC/40, HDR/20, F/40

- 2010 General Plan
- Priority Growth Areas (LU -1.19)
- Pajaro Community Plan Area
- Land Use = Farmland
- Lot Size = 3.41 Acres
- Agricultural Employee Housing





Project Description

Reduced

45 units; 480 employees

Building site coverage from 5% to 20%

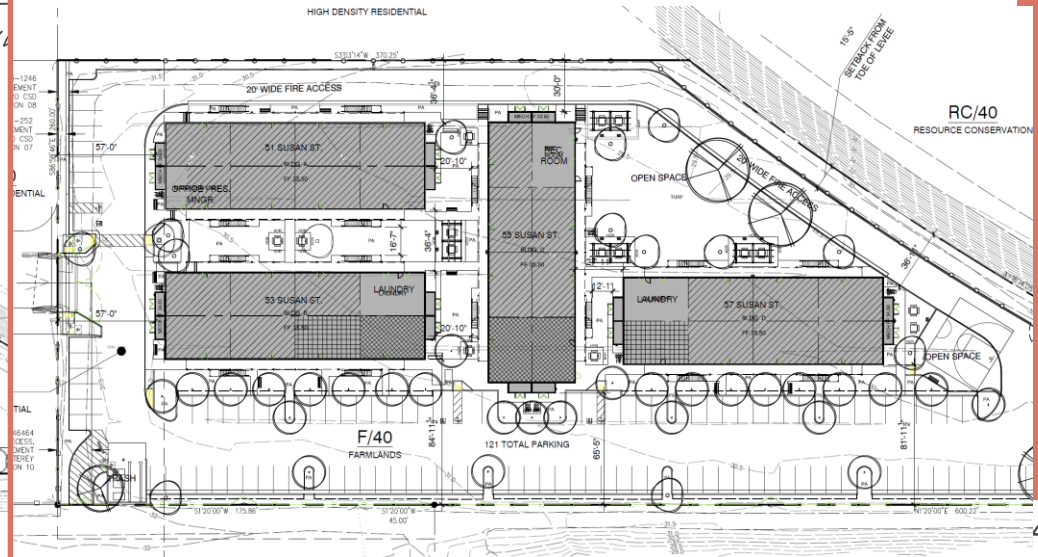
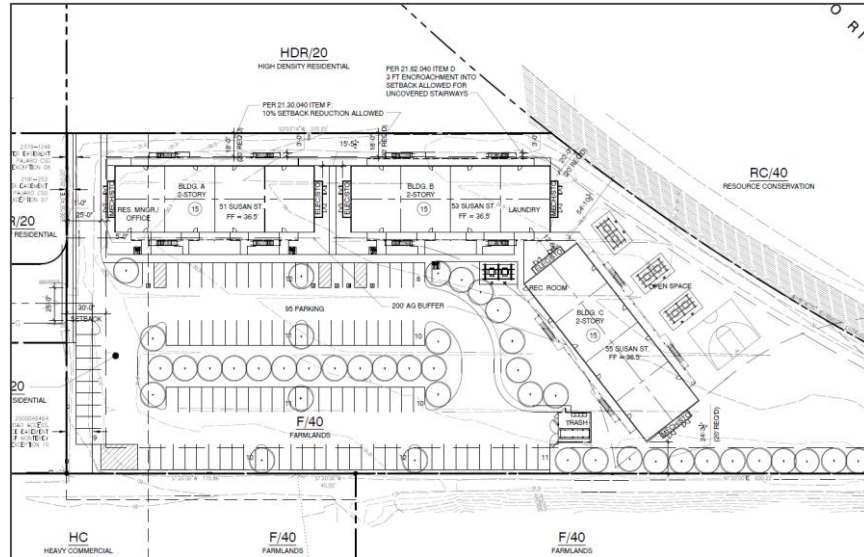
Revised MND

Original

60 units; 480 employees

Building site coverage from 5% to 27%

MND

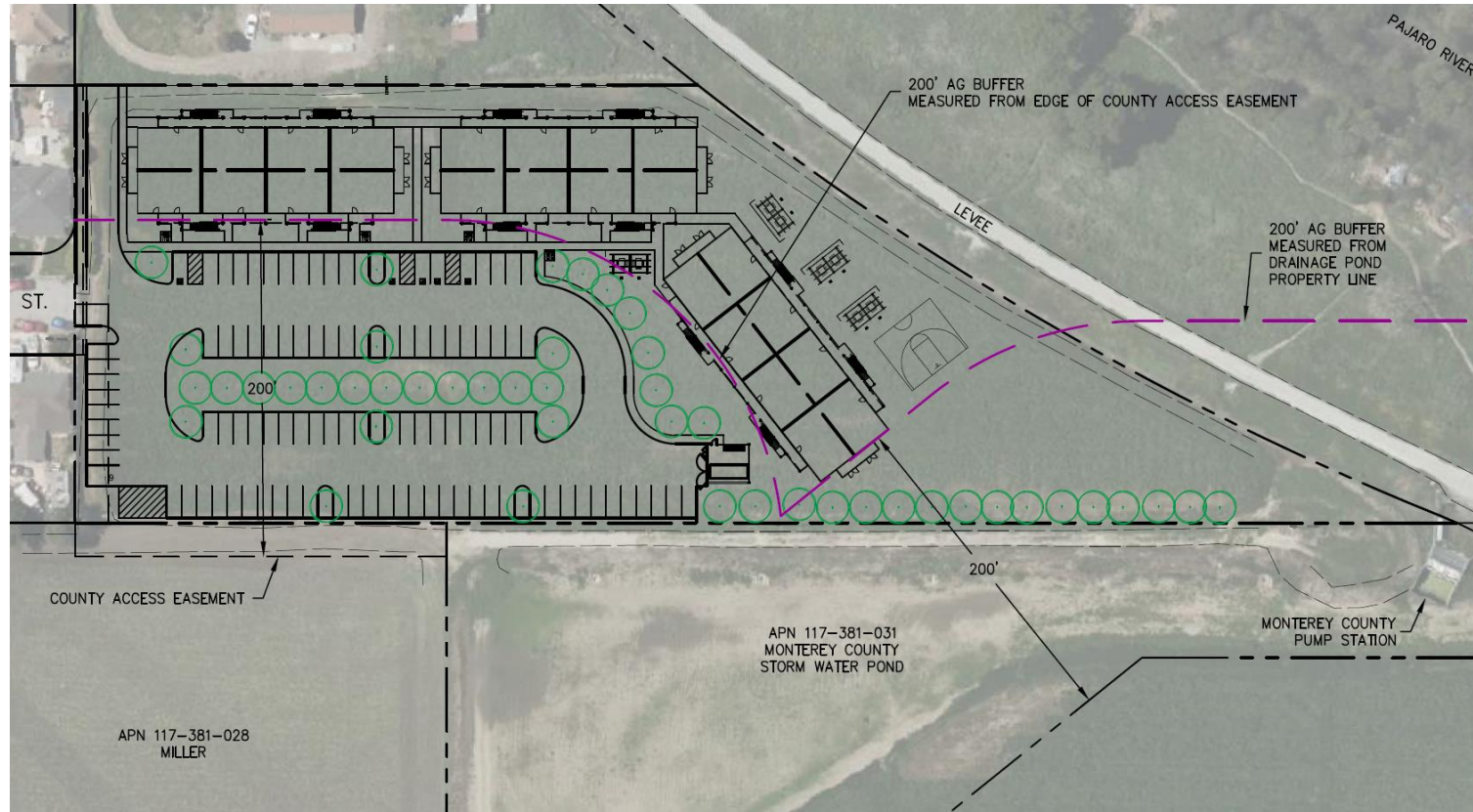




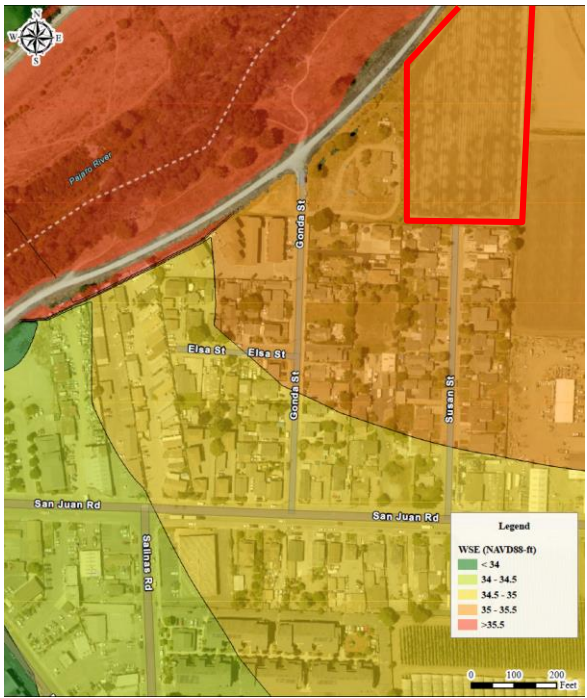
Appeal

- Planning Commission denied the project on September 28, 2022.
- Applicant (Rio Vista LLC) appealed the decision on October 31, 2022.
 - Reduced scope requested
- Opposition form neighbors
 - Agriculture
 - Flood/Drainage
 - Traffic/access/emergency evacuation routes
 - Liquefaction
 - Water/Services
 - CEQA

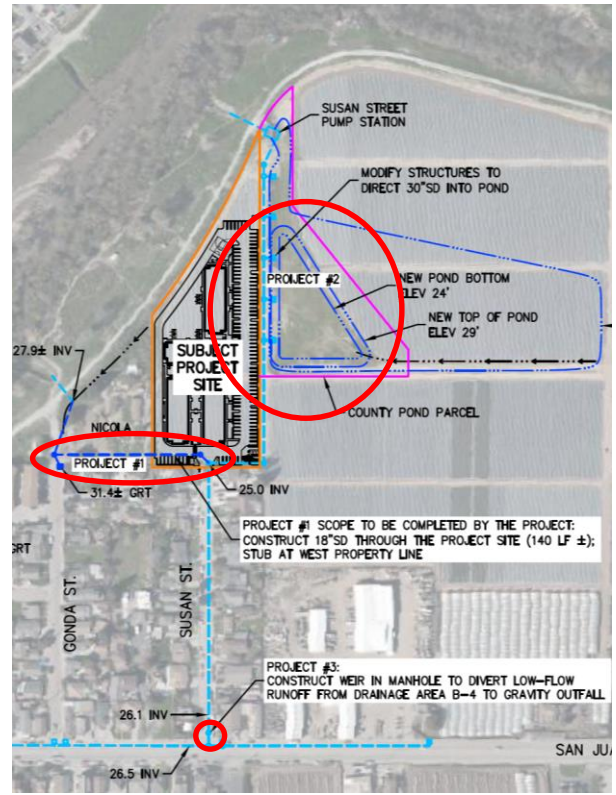
Agriculture



Drainage and Flooding



Proposed finished floor elevation exceeds County requirements and supplemental modeling



Storm drain analysis recommended three improvements:

1. 18" storm drain connecting Gonda Street to the County pond and lift station
2. Excavation of County pond to increase flood capacity
3. Install a low-flow weir at Susan Street and San Juan Road to divert runoff



Traffic

| Existing Conditions | | | |
|------------------------|-----------------------|-----------------------|----------------|
| | AM Peak Hours (7-9AM) | PM Peak Hours (4-6PM) | Daily Estimate |
| Susan Street Residents | 16 | 22 | 220 |
| Body Shop | 7 | 17 | 180 |
| Total | 23 | 39 | 400 |

| Proposed Conditions | | | |
|---------------------------|----------------------|----------------------|----------------|
| | AM Peak Hour (5-6AM) | PM Peak Hour (2-3PM) | Daily Estimate |
| Standard Apartments | 29 | 35 | 341 |
| H2A Housing | 3 | 27 | 131 |
| Project + Existing | | | 531 |

- Susan Street currently carries 400 trips
- Proposed project will result in an addition 131 trips (12-month occupancy)
- Majority of proposed trips will be outside of Susan Street’s peak hours 7-9AM and 4-6PM
- Proposed conditions are within the capacity expected of a tertiary street (1000 daily trips)



Southbound Susan Street Left Turn



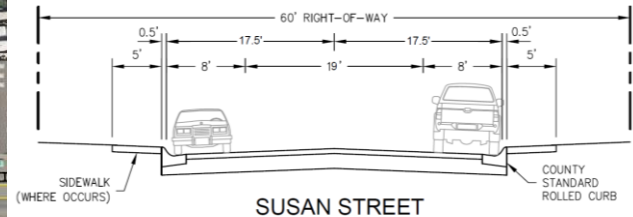
Eastbound San Juan Street Left Turn



Southbound Susan Street Right Turn



Westbound San Juan Street Right Turn





Liquefaction

- “High” Liquefaction hazard area
 - Loose soils take on a liquid-like characteristic during earthquake
- Excavate and recompact the top five feet of soils
- Geotechnical Engineer Recommendations for foundation Design
- Controlled Drainage
- Site is suitable for development provided engineering recommendations are followed
- Mitigation requires following engineer recommendations



Water

- Pajaro Valley Groundwater Basin – Critically over-drafted
- Basin Management Plan adopted by Pajaro Valley Water Management Agency
 - BMP includes projects to address overdraft conditions
 - Wastewater recycled for Ag irrigation
- Existing: Site is in active agricultural production
 - **17.9** AFY used for agricultural crop irrigation
- Proposed:
 - Multifamily Apartment housing (occupied year-round) = 20.2 AFY
 - Agricultural Employee housing (occupied ~ 8 months/year) = 14.2 AFY
- Mitigation:
 - Actual water use not to exceed 17.9 AFY



Environmental Review

Revisions to the IS/MND:

1. Flood Elevations
2. Expansion of County detention pond
3. Additional traffic data
4. Biotic spring survey was conducted
5. Reduction in project

Recirculation not required (15073.5)

- Changes to a project made in response to comments which do not involve new significant effects



Recommendation

1. Grant in part the appeal of the Planning Commissions denial;
2. Adopt a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
3. Approve a Combined Development Permit for a revised (reduced) project:
 - Use Permit to allow construction of three 16,286 square foot two-story apartment buildings totaling 45 units for agricultural workforce housing and 1 manager unit, and associated site improvements including 15,000 cubic yards of grading; and
 - Variance to increase the required building site coverage from 5% to 20%; and
4. Adopt a Mitigation Monitoring and Reporting Plan