

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

SPEARS JOSEPH & KIRSTEN TRS (PLN230333)

RESOLUTION NO. 24 - 031

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the previously certified Final Environmental Impact Report for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, pursuant to Section 15162 of the CEQA Guidelines; and
- 2) Approving a Coastal Administrative Permit and Design Approval for construction of a 5,489 square foot two-story single-family dwelling with a 728 square foot covered entry, a 602 square foot covered patio adjacent to the entertainment room, a 754 square foot covered patio adjacent to the great room, a 107 square foot covered patio adjacent to the master bedroom, a 65 square foot mechanical/storage room, 740 square foot attached garage and 959 square foot accessory dwelling unit. Site improvements include removal of 114 Monterey pine trees.

[PLN230333 SPEARS JOSEPH & KIRSTEN TRS, 1455 Lisbon Ct., Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN 008-031-029-000)]

The SPEARS JOSEPH & KIRSTEN TRS (PLN230333) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on June 26, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, , the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);

- Monterey Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1455 Lisbon Court, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-031-029-000) and is zoned Low Density Residential with Building Site Review and Design Control overlay districts, coastal zone, or “LDR/B-6-D(CZ),” which allows the first single family dwelling per legal lot of record and an accessory dwelling unit subject to a Coastal Administrative Permit per section 20.14.040.A and 20.14.040.W, respectively. The project includes the construction of a two-story single family dwelling with an attached garage and accessory dwelling unit. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject property (1.56 acre), APN 008-031-029-000, is identified as Lot 10 on the Final Map for Poppy 2 Subdivision – Area I-2, recorded July 16, 2014 (Volume 24, Maps of Cities and Towns, Page 37). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20 Chapter 20.44, Design Control Zoning District, the project requires design review of proposed structures to ensure protection of public viewshed, neighborhood character, and visual integrity. Additionally, consistent with DMF LUP Policy 66 under “Land Use and Development” the County conducted a design review of project. The project proposes a contemporary-style architectural design, utilizing hush gray exterior stucco, gray stucco parapet roof, blackened-steel framed doors and windows, and black and matte bronze-colored exterior light fixtures. The proposed project neighborhood consists of several residences near the Poppy Hills Golf Course which have modern architectural styles as well as Spanish-style housing and traditional style housing. The project does not conflict with the existing neighborhood designs and is consistent with the community character.
- e) Development Standards. Site development standards for the subject property include special setbacks for area I-2 illustrated on the Final Map (see preceding Evidence “c”) which established a 20-foot front and 10-foot side/rear setback. As delineated on the project plans as attached, the structures are sited within the required setbacks, approximately 53 feet 8 inches from the front, 47 feet 10 inches from the rear, 34 feet 3 inches from the west side, and 25 feet 6 inches from the east side. The proposed structure height is 24 feet at the highest ridge, within the maximum 30-foot limit. The proposed lot coverage is 12.2% (approximately 8,312 square feet) which does not exceed the maximum 15% lot coverage allowed. The proposed floor area ratio is 10.7% (approximately 7,253 square feet) which does not exceed the maximum floor area ratio of 20%. Therefore, the project meets all applicable site development standards for the LDR district and established by the Final Map. The project site is located within the Pescadero Watershed and is

subject to DMF LUP Policy 77 and CIP section 20.147.030.A.1.b, which restricts impervious lot coverage to a maximum of 9,000 square feet. The project proposes approximately 8,979 square feet of impervious coverage.

- f) Driveway. The DMF LUP Policy 1 and CIP Section 20.147.090.A.2 require new residential driveways to minimize surface length and width and provide simple and direct access. As configured, the development achieves the policy goal of providing a simple and direct access to the property and minimizes impacts to trees and other vegetation on the project site.
- g) Del Monte Forest Land Use Plan. The proposed project is consistent with the policies of the Del Monte Forest Land Use Plan (see previous Evidence “d”, “e”, “f” and subsequent Evidence “h”, “i”, and “j”). Water and wastewater services are provided at the project site and were reviewed by the Environmental Health Bureau for consistency with the DMF LUP requirements, see subsequent Finding 3, Evidence “b”. Therefore, the project is consistent with the Del Monte Forest Land Use Plan.
- h) Tree Removal. The previously approved Pebble Beach Company (PBC) Concept Plan (Concept Plan) (Planning File No. PLN100138; Board of Supervisors Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the coastal zone, including the creation and development of the Poppy 2 subdivision (see previous Evidence “c”). Approval of the Concept Plan included a Coastal Development Permit to allow tree removal as part of the build-out. Impacts from this action were analyzed in the Final Environmental Impact Report (FEIR) (SCH#2011041028) for the Concept Plan, which presumed a maximum development impact area on each residential lot of up to 15,000 square feet of structural, hardscape, and landscape. Considering this limitation and implementation of CIP section 20.147.050.C.4, which requires development be sited and designed to minimize tree removal, the potential impact of tree removal was fully mitigated by off-site tree preservation. The project site is a heavily forested lot populated with Monterey pines. The applicant proposes to remove 114 trees, of which 12 are dead and 15 in poor condition. The remaining 76 trees are in fair condition, 11 of which are landmark size (24 inches or greater in diameter). The proposed single family dwelling has been sited to meet setbacks and development standards; therefore given its size and location it is necessary to remove 76 trees. The project is in conformance with the previously-certified FEIR and previously-approved PBC Concept Plan. Therefore, in this case, a subsequent coastal development permit to allow tree removal is not required. Additionally, to ensure tree removal is conducted to County standards, an arborist report was prepared for the project by a qualified professional arborist on August 18, 2022 (LIB240090) and included recommendations that have been incorporated as conditions for project approval. Therefore, removal of 114 Monterey pine trees is in conformance with the FEIR, the PBC Concept Plan, and CIP.
- i) Cultural Resources. The project site is in an area identified in County records as having a moderate archaeological sensitivity. Previous

archaeological reports prepared for Area I-2 (LIB100404) for the PBC Concept Plan concluded that there is no surface evidence of potentially significant archaeological resources. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- j) PBC Development Footprint. As discussed in preceding Evidence "h", the maximum impact area for structural, hardscape, and landscape development on the subject property shall not exceed 15,000 square feet. The project plans indicate that the total disturbance area would be approximately 14,985 square feet for structure coverage, impervious and pervious driveway and walkway areas. The preliminary plans indicate that no landscaping is proposed and that existing natural landscaping will be kept and maintained. To ensure ongoing consistency with this requirement, the project has been conditioned noting that project parcel is subject to a maximum 15,000 square foot development limitation, including a 6,000 square foot landscape area.
- k) The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the current LUAC Guidelines, adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because the project does not propose a lot line adjustment involving conflicts, a Variance, or a Design Approval subject to review by the Zoning Administrator or Planning Commission.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN230333.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations. There has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended by reviewing agencies have been incorporated.
 - b) During the approval process for the PBC Concept Plan (PLN100138), staff identified potential impacts to pine rose plant within the Subdivision Area I-2. The following report has been prepared:
 - "Pre-Construction Survey Results, Pine Rose (PLN100138), Condition #74" prepared by Leslie Zander, San Rafael, CA, April 24, 2013.

As required by the Application Checklist, the following report has been prepared:

- “Geotechnical Investigation for the proposed Riley Residence” (LIB240091) prepared by Belinda A. Taluban, Salinas, CA, October 26, 2022.

County staff independently reviewed this report and concurs with the conclusion. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with this report.

- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development can be found in Project File PLN230333.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use. Additionally, the establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. The proposed residence will use water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (HCD-Planning File No. PLN100138) and will be supplied water by California American Water. Pebble Beach Community Services District (PBCSD) will supply the project with sewer service.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development can be found in Project File PLN230333.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the subject property.
 - b) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development can be found in Project File PLN230333.

5. **FINDING:** **CEQA / Previously-Certified Environmental Impact Report (EIR)** - The project is consistent with the previously-certified Final Environmental Impact Report for the Del Monte Forest Local Coastal

Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the CEQA Guidelines, the HCD Chief of Planning finds that the project does not require a subsequent EIR based on the following findings:

- 1) No substantial changes are proposed by the project which will require major revisions to the previous EIR for new significant environmental effects;
- 2) No substantial changes occurred with respect to the circumstances under which the project will be undertaken which will require major revisions to the previous EIR for involvement of new significant environmental effects; or
- 3) No new information of substantial importance has been provided which was not known at the time of the previous EIR.

- EVIDENCE:**
- a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.
 - b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for the associated Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel is part of the PBC Concept Plan development proposal.
 - c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
 - d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.
 - e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
 - f) CEQA Section 21083.3(a) states that if a parcel has been zoned to accommodate a particular density of development and an environmental impact report was certified for that action, the application of CEQA to a project that is consistent with the previously certified EIR is limited to the effects upon the environment which are peculiar to the parcel or to the project and which were not addressed as significant effects in the prior environmental impact report, or when substantial new information

shows impacts will be more significant than prescribed in the prior environmental impact report. The project proposes residential development on a 1.61-acre lot identified in the Poppy 2 Subdivision (Area I-2) as Lot 10, which was part of the certified EIR for the LCP Amendment and the PBC Concept Plan development proposal. The Final EIR identifies the lot to be impacted by up to 15,000 square feet of structural, hardscape, and landscape residential development. Tree removal proposed as part of this project was analyzed in the Final EIR and mitigated for off-site replacement. The project proposes a single family residence with attached accessory structures and patio and attached accessory dwelling unit in a residential zone. No mitigation measures from the Final EIR are required to be applied to this project. The project is consistent with the previous action which designated the site for residential development and no new information is available that would require substantial revisions to the previously certified EIR.

- g) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN230333.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan, which describes public access development standards, can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access. (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN230333.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Pursuant to Title 20, Section 20.86.080, an appeal of a County decision on a coastal development permit application may be filed by an applicant or any aggrieved person who has exhausted all County appeals pursuant to this Chapter, or by any two (2) members of the California Coastal Commission. Appeals by members of the Coastal Commission may be made following decisions of the Appropriate Authority.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find the project consistent with the previously-certified Final Environmental Impact Report for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, pursuant to Section 15162 of the CEQA Guidelines; and
2. Approve a Coastal Administrative Permit and Design Approval for construction of a 5,489 square foot two-story single-family dwelling with a 728 square foot covered entry, a 602 square foot covered patio adjacent to the entertainment room, a 754 square foot covered patio adjacent to the great room, a 107 square foot covered patio adjacent to the master bedroom, a 65 square foot mechanical/storage room, 740 square foot attached garage and 959 square foot accessory dwelling unit .

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 26th day of June, 2024.

DocuSigned by:

Melanie Beretti

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Melanie Beretti, AICP

Acting, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO THE APPLICANT ON JULY 2, 2024.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JULY 12, 2024.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTE

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. The permit expires within 3 years after the above date of granting thereof unless construction or use started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230333

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Coastal Administrative Permit and Design Approval (PLN230333) allows the construction of a 5,489 square foot two-story single-family dwelling with a 728 square foot covered entry, a 602 square foot covered patio adjacent to the entertainment room, a 754 square foot covered patio adjacent to the great room, a 107 square foot covered patio adjacent to the master bedroom, a 65 square foot mechanical/storage room, 740 square foot attached garage and 959 square foot accessory dwelling unit . and Site improvements include removal of 114 Monterey pine trees. The property is located at 1455 Lisbon Court, Pebble Beach (Assessor's Parcel Number 008-031-029-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number 24-031) was approved by the Chief of Planning for Assessor's Parcel Number 008-031-029-000 on June 26, 2024. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PDSP0001 - DEL MONTE FOREST LANDSCAPE LIMITATION (NON-STD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the EIR certified for the Pebble Beach Company Concept Plan and the Del Monte Forest Local Coastal Plan Amendment (HCD-Planning File No. PLN100138), the environmental analysis is based on a total development footprint of 15,000 square feet per lot - comprised of 9,000 square feet of structural and hardscape coverage, and 6,000 square feet of landscaping. Therefore, landscaping on the subject lot shall be limited to no more than 6,000 square feet. Aside from the 15,000 square feet of allowed development footprint, all areas of the lot shall remain as native Monterey pine forest habitat. (HCD-Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, landscaping on the subject lot shall be limited to no more than 6,000 square feet.

9. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

10. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

11. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

Spears Residence

Pebble Beach, California

CONRAD
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phone: 831.622.9724
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PROJECT:
SPEARS RESIDENCE
1455 LISBON COURT
PEBBLE BEACH, CA 93953
A.P.N. 008-031-029

SPEARS
RESIDENCE
DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
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PROJECT NO: 2308
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
COVER SHEET

SHEET:

T0.1

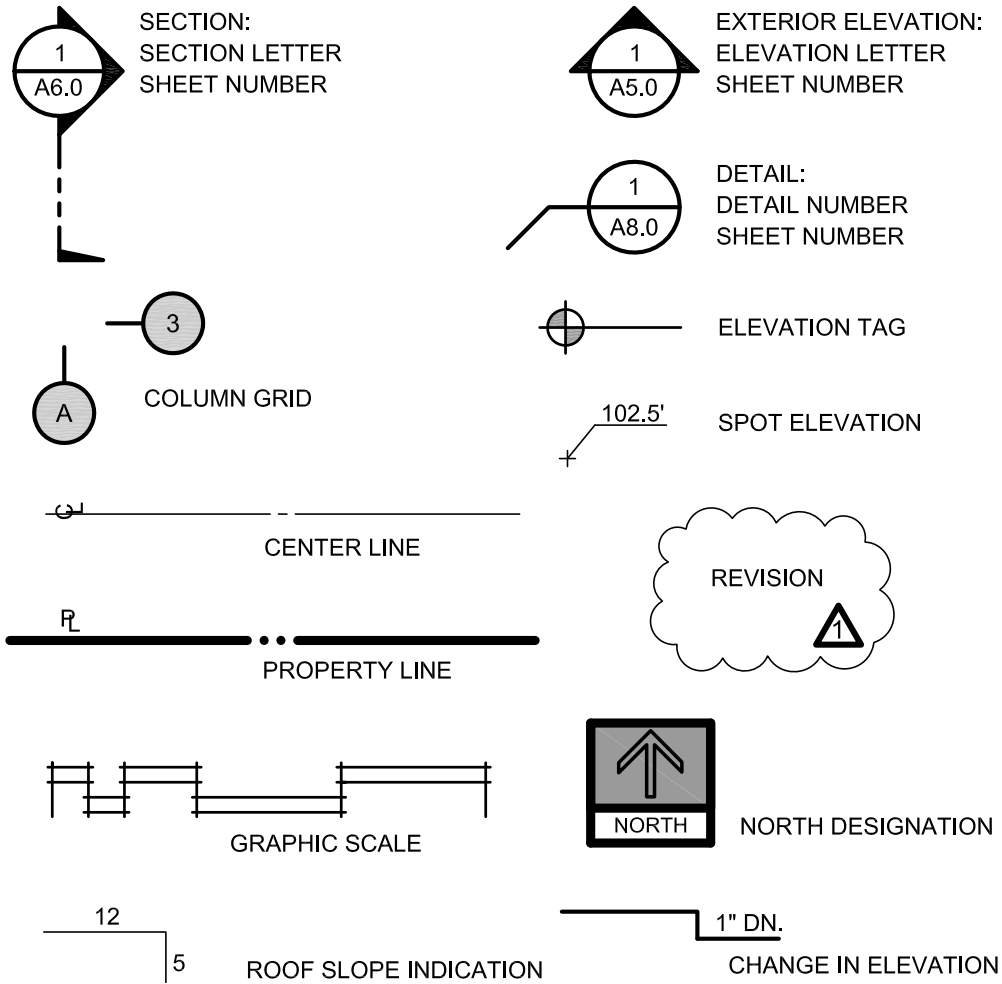
PRINTED: JUNE 17, 2024

A	ARTISAN	ELEC.	ELECTRICAL	H.B.	HOSE BIBB	P.L.	PROPERTY LINE
ABV	ABOVE	ELEV.	ELEVATION	H.C.	HOLLOW CORE	PLYWD.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	EQ.	EQUAL	H/C	HANDICAPPED	REF.	REFRIGERATOR
A.F.S.	ABOVE FINISHED SURFACE	EQUIP.	EQUIPMENT	HDWD.	HARDWOOD	REQ'D.	REQUIRED
ALT.	ALTERNATE	EXP.	EXPANSION	HR.	HOUR	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	HT.	HEIGHT	SCHED.	SCHEDULE
ARCH.	ARCHITECTURAL	F.D.	FLOOR DRAIN	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SHT.	SHEET
BLDG.	BUILDING	F.D.C.	FIRE DEPARTMENT CONNECTION	INT.	INTERIOR	SIM.	SIMILAR
BOT.	BOTTOM	FDN.	FOUNDATION	KIT.	KITCHEN	SPEC.	SPECIFICATION
C.J.	CONTROL JT.	F.F.	FINISH FLOOR	MAX.	MAXIMUM	SQ.	SQUARE
CLG.	CEILING	FIN.	FINISH	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
CLR.	CLEAR	F.L.	FLOOR LINE	MFR.	MANUFACTURER	STRUC.	STRUCTURAL
C.M.U.	CONCRETE MASONRY UNIT	FLR.	FLOOR	MIN.	MINIMUM	TYP.	TYPICAL
CONC.	CONCRETE	FND.	FOUNDATION	MISC.	MISCELLANEOUS	W.C.	WATER CLOSET
CONT.	CONTINUOUS	FT.	FOOT OR FEET	MTL.	METAL		
DET./DTL.	DETAIL	FURR.	FURRING	N.T.S.	NOT TO SCALE		
D.G.	DECOMPOSED GRANITE	GA.	GAUGE	OH.	OVERHEAD		
DIA.	DIAMETER	GALV.	GALVANIZED				
DN.	DOWN	GR.	GRADE				
DS.	DOWNSPOUT	GYP.	GYPSUM				
(E)	EXISTING	GYP. BD.	GYPSUM BOARD				
EA.	EACH						
E.J.	EXPANSION JOINT						
ELEV.	ELEVATION						

NOTE: CLARIFY WITH DESIGNER ALL ABBREVIATIONS NOT LISTED.

ABBREVIATIONS

OWNER:	JOE & KIRSTEN SPEARS 19615 BRUCE WAY SAN JOSE, CA 95120
ARCHITECT:	CONRAD ASTURI STUDIOS, INC. LINCOLN ST. 3 SE OF OCEAN #333 CARMEL-BY-THE-SEA, CA 93921 831-622-9724 CONTACT: EDAN ASTURI
GEOTECHNICAL:	SOIL SURVEYS INC. 103 CHURCH ST. SALINAS, CA. 93901 CONTACT: BELINDA TALUBAN
CIVIL ENGINEER:	L&S ENGINEERING AND SURVEYING 2460 GARDEN RD., STE. G MONTEREY, CA. 93940 CONTACT: CHRIS STOUT
ARBORIST:	ONO CONSULTING 311 FOREST AVE. PACIFIC GROVE, CA. 93950 CONTACT: FRANK ONO



ARCHITECTURAL SYMBOLS

PROJECT LOCATION:	1455 LISBON CT. PEBBLE BEACH, CA 93953
A.P.N.	APN: 008-031-029
PROJECT FILE NUMBER	2308
LOT SIZE:	68074 SQ.FT. 1.56 ACRES
ZONING:	LDR/B-6-D(CZ)
OCCUPANCY:	R3/U
CONSTRUCTION TYPE:	VB
MAIN STRUCTURE SETBACKS:	FRONT: 20' SIDE: 10' REAR: 10'
HEIGHT LIMIT:	30'-0"
BUILDING HEIGHT:	24'-0"
FIRE SPRINKLERS:	REQUIRED, DEFERRED SUBMITTAL
PROPOSED CUT / FILL:	150 CY/ 4300 CY
PROPOSED RETAINING WALLS:	NONE
SEWER PROVIDER:	PEBBLE BEACH COMMUNITY SERVICES DISTRICT / CARMEL AREA WASTE WATER DISTRICT
WATER PROVIDER:	CAL-AM
ELECTRIC:	PG&E
MPWMD:	YES

PROPOSED FLOOR AREA	
1ST FLOOR (CONDITIONED):	4464 SQFT.
2ND FLOOR (CONDITIONED)	1025 SQFT.
(TOTAL CONDITIONED):	5489 SQFT.
2-CAR GARAGE:	740 SQFT.
STORAGE:	65 SQFT.
TOTAL FLOOR AREA (20% MAX.):	6294 SQFT. (9.2%)
TOTAL LOT AREA:	68074 SQFT.

BUILDING SITE COVERAGE	
MAIN RESIDENCE 1ST FLOOR	4464 SQFT.
2-CAR GARAGE:	740 SQFT.
STORAGE:	65 SQFT.
TOTAL COVERAGE (15% MAX.):	5269 SQFT. (7.7%)
TOTAL LOT AREA:	68074 SQFT.

IMPERVIOUS COVERAGE	
MAIN RESIDENCE BUILDING SITE COVERAGE:	5269 SQFT.
COVERED PATIO:	754 SQFT.
ENTERTAINMENT RM. COVERED PATIO:	602 SQFT.
MAIN RESIDENCE COVERED ENTRY:	728 SQFT.
BEDROOM COVERED PATIO:	107 SQFT.
TOTAL:	7460 SQFT.
FIREPIT / SPA / PIZZA OVEN / WATER FEATURE:	341 SQFT.
MISC. CONC. / PATIO'S:	219 SQFT.
A.D.U. FLOOR PLAN (CONDITIONED):	959 SQFT.
PROPOSED IMPERVIOUS COVERAGE:	8979 SQFT.
ALLOWABLE IMPERVIOUS COVERAGE:	9000 SQFT.

ADDITIONAL AREAS	
DRIVEWAY:	1814 SQFT.
AUTO COURT:	4192 SQFT.
TOTAL AREA OF DISTURBANCE:	14985 SQFT.



PROJECT SUMMARY TABLE

VICINITY MAP



PERSPECTIVE

THIS PROJECT WILL CONFORM TO
THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE,
CRC, CPC, CMC, CEC AND THE CALIFORNIA GREEN BUILDING
STANDARDS CODE (CGBS)

THIS PROJECT WILL CONFORM TO
THE 2022 CALIFORNIA FIRE CODE
AND THE 2022 CALIFORNIA ENERGY
EFFICIENCY STANDARDS (CEES).

RENDERING SHOWN FOR ORIENTATION. MATERIAL
TEXTURE, AND COLOR REFERENCE.
DETAILS MAY VARY SLIGHTLY.

PROPOSED NEW 2-STORY 5489 SQ.FT. SINGLE FAMILY RESIDENCE WITH ATTACHED 740 SQ.FT. GARAGE AND
65 SQ.FT. MECHANICAL STORAGE.
PROPOSED NEW ATTACHED 959 SQ.FT. A.D.U.

PROJECT TEAM

PROJECT INFORMATION

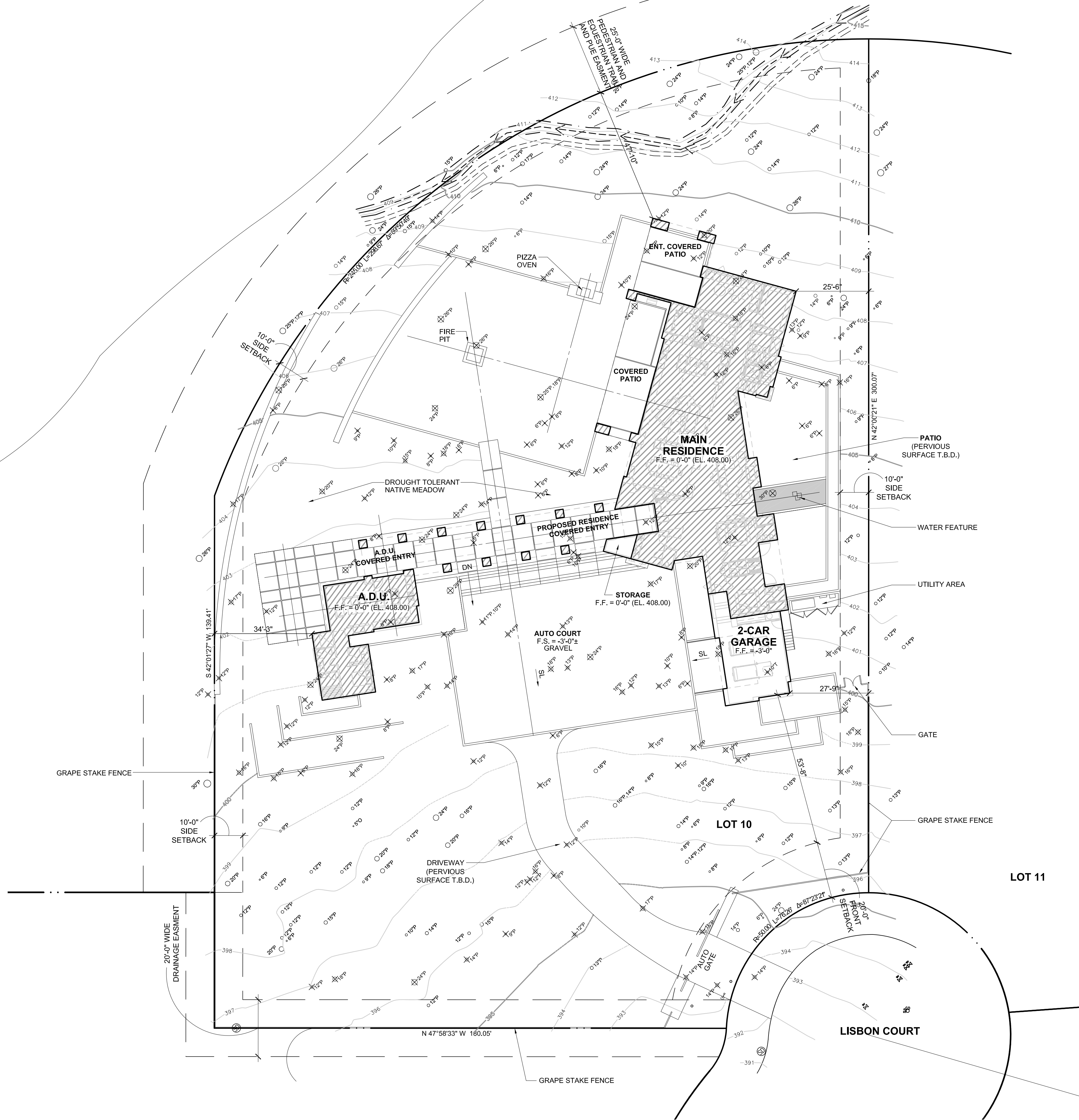
GOVERNING CODES

SCOPE OF WORK

SHEET INDEX

94 TREES TO BE REMOVED

SPEARS
RESIDENCE
DESIGN DEVELOPMENT



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PROJECT NO:	2308
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
SITE PLAN	
SCALE: 1"=20'-0"	

FUEL MNGMT. ZONE LEGEND

- "GREEN ZONE"**
- (SEE NOTES BELOW)
- "MANAGMENT ZONE"**
- (SEE NOTES BELOW)
- "EMERGENCY VEHICLE ACCESS"**
- DRIVEWAY SLOPE: 15.02%
- WIDTH: 14' WIDE
- SURFACE: PERVIOUS SURFACE

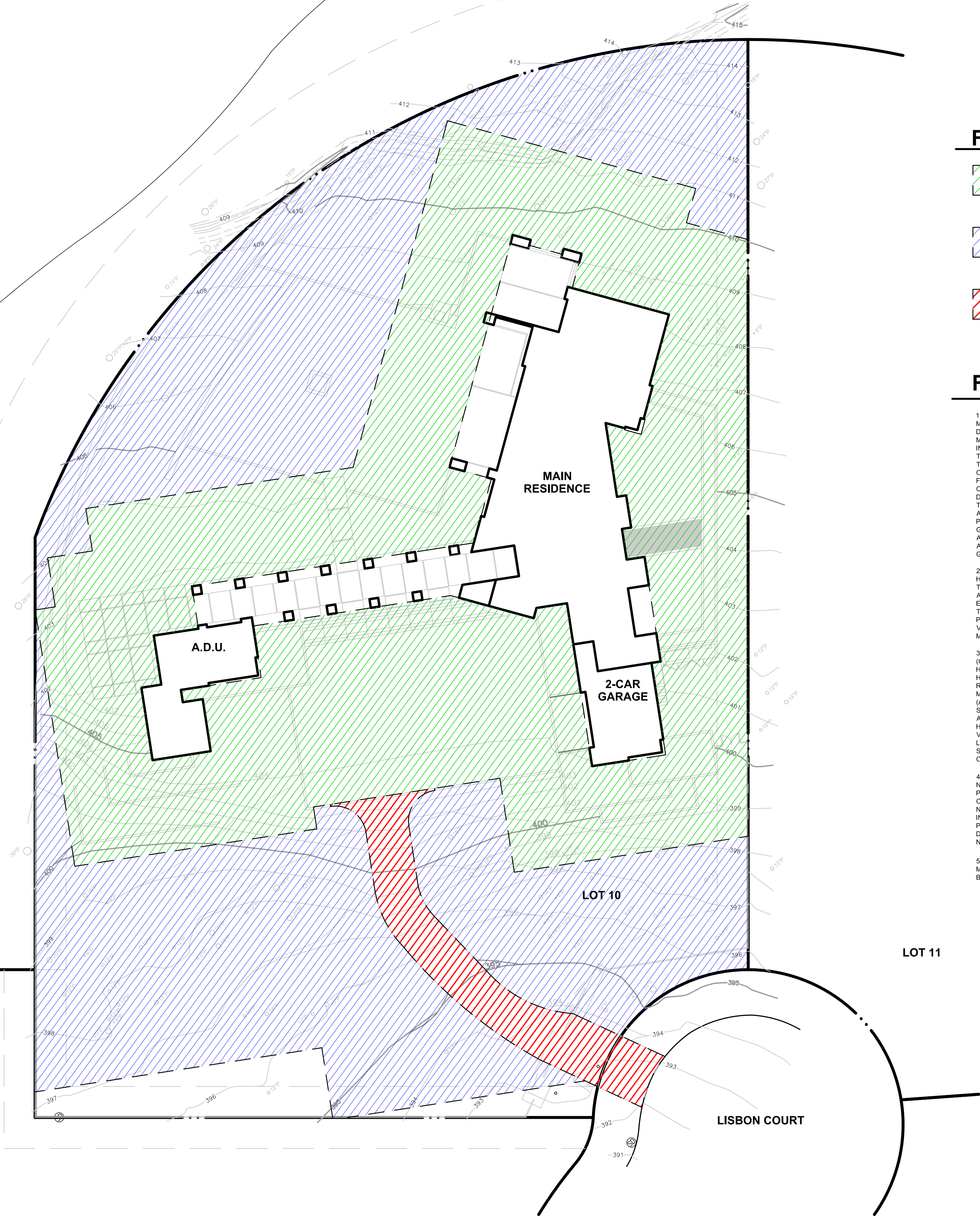
FUEL MANAGEMENT PLAN

- 1) CALIFORNIA LAW (PRC 4291) REQUIRES PROPERTY OWNERS TO CREATE AND MAINTAIN ADEQUATE DEFENSIBLE SPACE AROUND HOMES AND BUILDINGS. DEFENSIBLE SPACE IS CREATED THROUGH PROPER IMPLEMENTATION OF FUEL MODIFICATION AND MANAGEMENT PRACTICES AROUND STRUCTURES. THIS INCLUDES THE REMOVAL OF HIGHLY FLAMMABLE AND DEAD VEGETATION, THE THINNING AND PROPER SPACING OF DENSELY VEGETATED AREAS TO DISRUPT THE CONTINUITY OF COMBUSTIBLE FUEL LOADS, AND THE PROPER EXECUTION OF FIREWISE LANDSCAPING PRACTICES AND PRINCIPALS. FIREWISE OR FIRESAFE LANDSCAPING PRACTICES INCLUDE UTILIZING PLANT TYPES, PLANTING CONFIGURATIONS AND ARRANGEMENTS, AND LANDSCAPING MATERIALS AND DESIGN CONCEPTS THAT ARE LESS COMBUSTIBLE AND MORE FIRE RESISTANT THAT WILL ASSIST IN REDUCING THE ABILITY OF FIRE TO SPREAD HORIZONTALLY AND VERTICALLY. FOR EXAMPLE, A FIREWISE LANDSCAPE SHOULD CONSIST OF PROPERLY SPACED AND MAINTAINED SHRUBS AND TREES, AS WELL AS LOWER GROWING NATIVE PERENNIAL GRASSES, GROUNDCOVERS (INCLUDING MULCHES) AND/OR HERBACEOUS PERENNIALS THAT ARE GENERALLY LESS FLAMMABLE. ADDITIONALLY, MORE COMBUSTIBLE MASS PLANTINGS AND DENSE VEGETATION GROUPINGS SHOULD BE AVOIDED.
- 2) THE GREEN ZONE IS THE AREA 0-30 FEET IMMEDIATELY SURROUNDING THE HOME. FOLLOWING HOME REMODEL AND LANDSCAPE IMPROVEMENT ACTIVITIES THIS GREEN ZONE AREA WILL CONSIST OF FIRESAFE LANDSCAPE MATERIALS AND LOW COMBUSTIBILITY DROUGHT TOLERANT FLORA, INCLUDING SOME EXISTING ORNAMENTAL VEGETATION THAT WILL BE SELECTIVELY RETAINED. THIS FIRESAFE LANDSCAPE WILL BE DESIGNED AND MAINTAINED IN A MANNER TO PROVIDE PROPER HORIZONTAL AND VERTICAL SPACING BETWEEN VARIOUS VEGETATION TYPES, AND LARGER GROWING TREES AND SHRUBS WILL BE MAINTAINED TO REMOVE DEAD AND HEALTHY COMBUSTIBLE MATERIALS.
- 3) THE MANAGEMENT ZONE (AKA, REDUCED FUEL ZONE) IS THE AREA 30-100 FEET (OR TO THE PROPERTY LINE) AROUND THE HOME. PRIOR TO THE DRY SEASON HIGHLY COMBUSTIBLE NON-NATIVE ANNUAL GRASSES WILL BE MOWED TO A HEIGHT OF 4 INCHES; DEAD MATERIALS THAT POSE A FIRE HAZARD WILL BE REMOVED AND PROPERLY DISPOSED; SHRUBS WILL BE THINNED AND MAINTAINED TO PROVIDE ADEQUATE HORIZONTAL AND VERTICAL SEPARATION (AMOUNT OF SPACE BETWEEN SHRUBS AND PLANT GROUPINGS DEPENDS ON STEEPNESS OF SLOPE AND SIZE AND TYPE OF PLANTS); AND DEAD, UNHEALTHY AND/OR STRUCTURALLY PROBLEMATIC TREE LIMBS WILL BE REMOVED TO A HEIGHT OF 6 FEET ABOVE GRADE OR TO 3X THE HEIGHT OF UNDERSTORY VEGETATION (WHICHEVER IS HIGHER) TO REMOVE POTENTIALLY HAZARDOUS LADDER FUELS. AVOID EXCESSIVE PRUNING AND REMOVAL OF HEALTHY AND STRUCTURALLY SOUND LIMBS, PARTICULAR LIMBS THAT ARE 6 INCHES DIAMETER OR LARGER.
- 4) FOR LANDSCAPE IMPROVMENTS AND ENHANCEMENT, USE NATIVE OR NON-INVASIVE ORNAMENTAL PLANTS THAT ARE APPROPRIATE TO THE SITE. PLANTS AND MATERIALS SELECTED FOR LANDSCAPING OPERATIONS SHOULD BE OF LOWER COMBUSTIBILITY AND VOLATILITY, DROUGHT TOLERANT, AND SHOULD NOT BE POTENTIALLY DEGRADING (E.G., INVASIVE) TO SURROUNDING HABITAT. INDIGENOUS FLORA OCCURRING ON THE PROPERTY SHOULD BE RETAINED AND PRESERVED. REMOVE AND MANAGE HIGHLY COMBUSTIBLE AND HABITAT DEGRADING EXOTIC INVASIVE WEEDS, AND PROMOTE THE ESTABLISHMENT NATIVE VEGETATION THAT GENERALLY TENDS TO BE LESS FLAMMABLE.
- 5) REMOVE DRY LEAVES AND PINE NEEDLES FROM ROOF AND RAIN GUTTERS, MAINTAIN ADEQUATE CLEARANCE AROUND STRUCTURE, AND KEEP TREE BRANCHES A MINIMUM 10 FEET AWAY FROM CHIMNEY OR STOVE OUTLETS.

TIMELINE	
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-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
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PROJECT NO:	2308
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	FUEL MANAGEMENT PLAN SCALE: 1"=20'-0"



GENERAL NOTES

1. PROVIDE WHOLE HOME ROLLER SHADE AUTOMATION SYSTEM - LUTRON "SIVOIA QS" POCKET MOUNT LUXURY RESIDENTIAL. SHADES TO BE PROVIDED WHERE POSSIBLE UNLESS NOTED OTHERWISE.

**CONRAD
ASTURI**
STUDIOS INC.

LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA. 93921
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web: CONRADASTURI.COM

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PROJECT:

SPEARS RESIDENCE
1455 LISBON COURT
PEBBLE BEACH, CA 93953
A.P.N. 008-031-029

**SPEARS
RESIDENCE**
DESIGN DEVELOPMENT

TIMELINE

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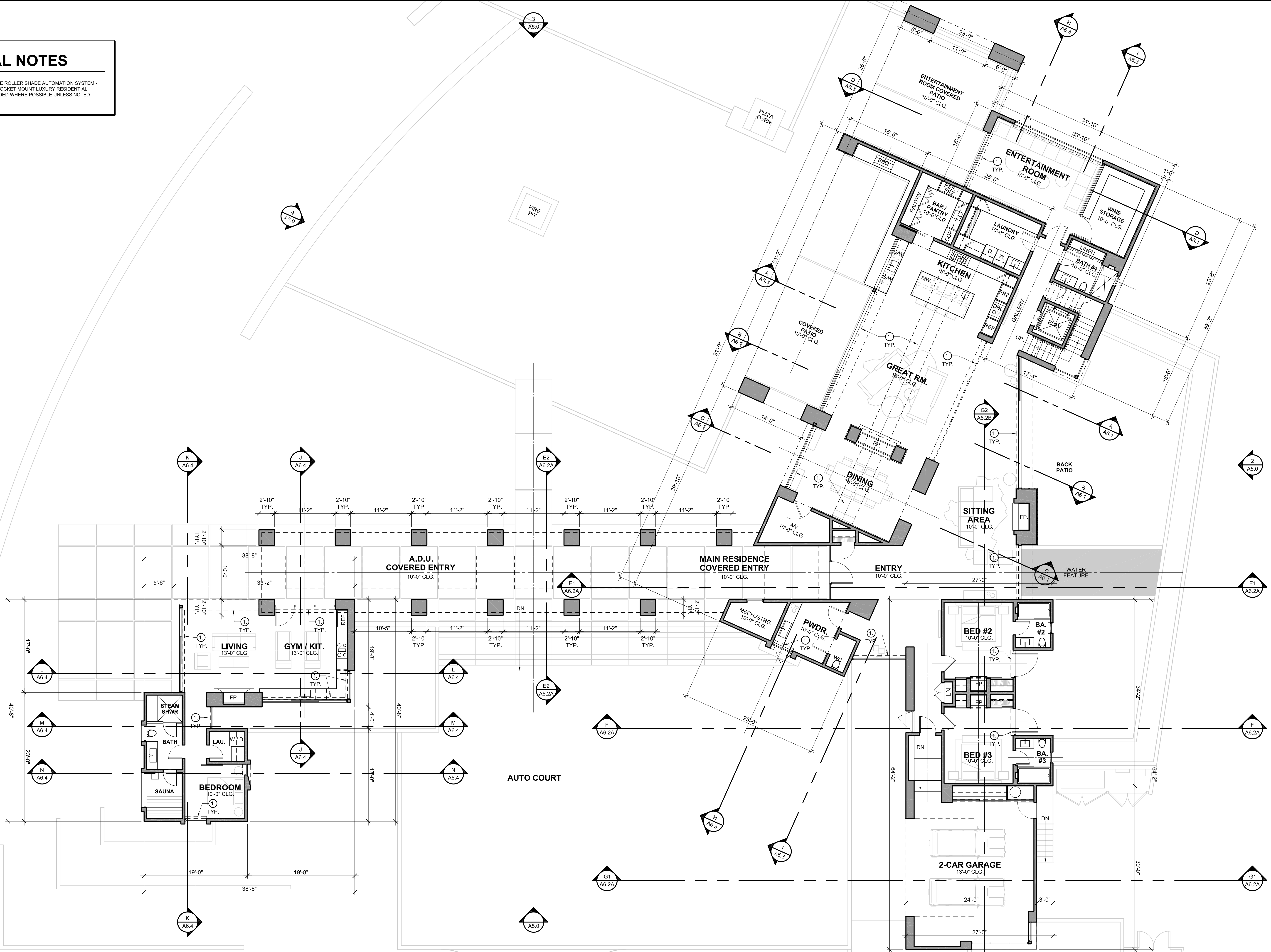
REVISIONS

PROJECT NO: 2308
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
FLOOR PLAN - LOWER LEVEL
SCALE: 1/8"=1'-0"

SHEET:

A2.0

PRINTED: JUNE 17, 2024



GENERAL NOTES

1. PROVIDE WHOLE HOME ROLLER SHADE AUTOMATION SYSTEM - LUTRON 'SIVOIA QS' POCKET MOUNT LUXURY RESIDENTIAL SHADES TO BE PROVIDED WHERE POSSIBLE UNLESS NOTED OTHERWISE, USE TENSION SHADE AT SKYLIGHTS. ALL FABRIC TO BE BASKETWEAVE 90 (3% VISIBILITY), CHARCOAL COLOR.

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REVISIONS

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PROJECT NO: 2308

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:

FLOOR PLAN - UPPER LEVEL

SCALE: 1/8"=1'-0"

SHEET:

A2.1

PRINTED: JUNE 17, 2024

FLOOR PLAN - UPPER LEVEL

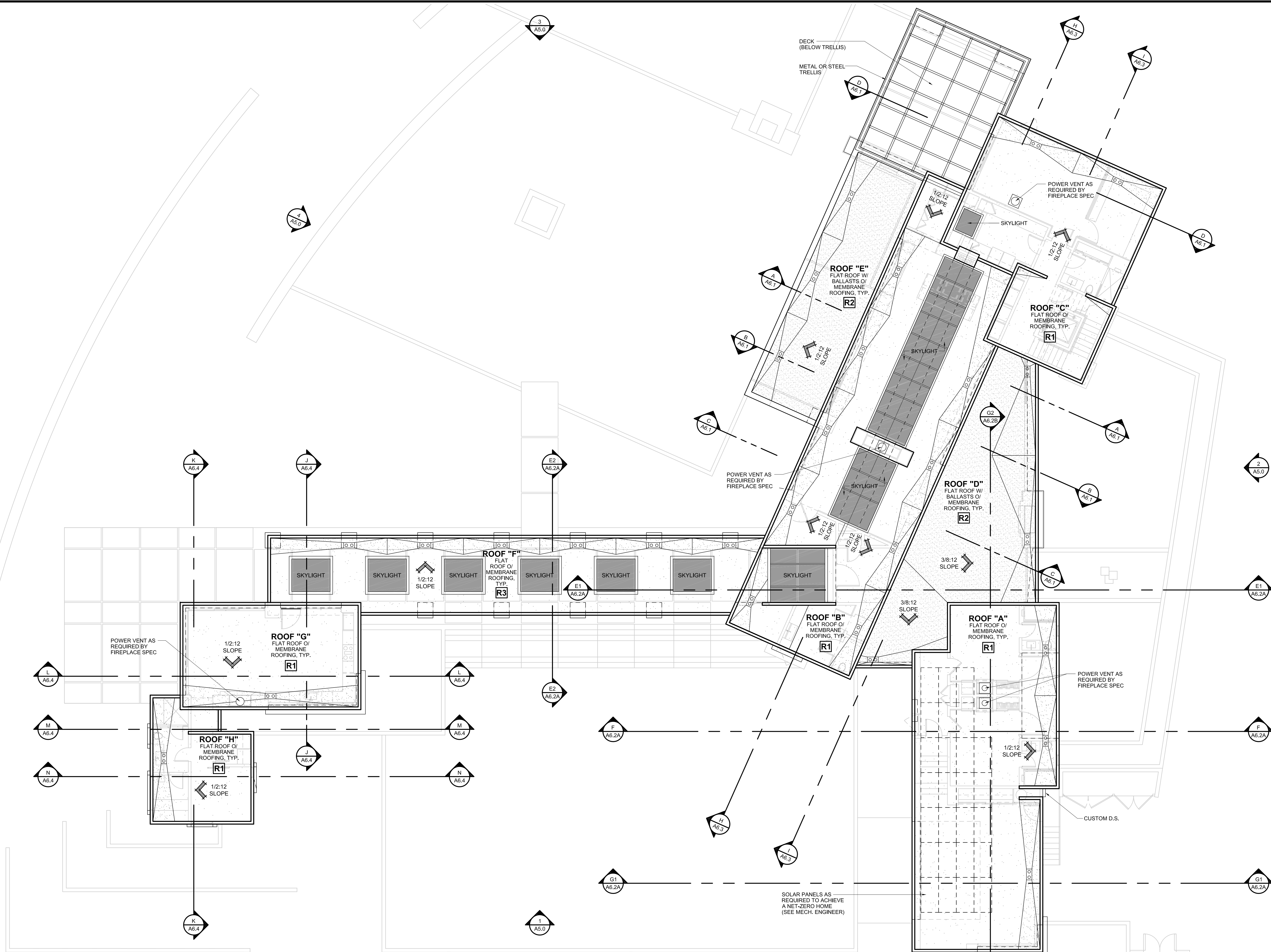
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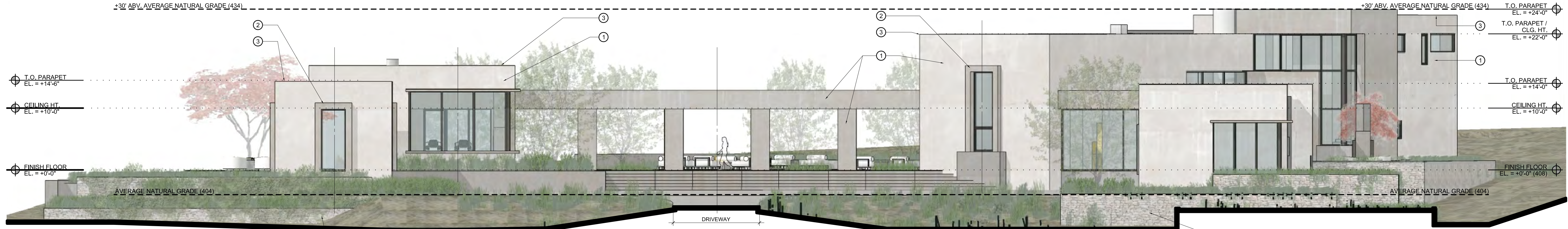
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PROJECT NO:	2308
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CHECKED BY:	EA
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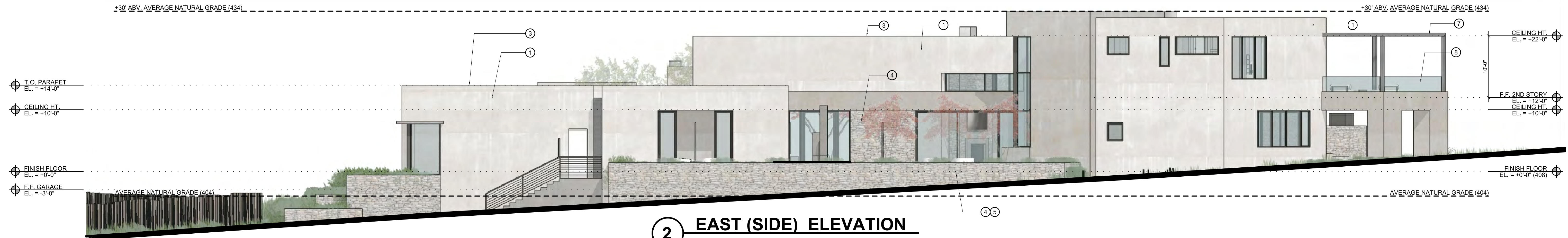


ROOF PLAN
SCALE: 1/8"=1'-0"

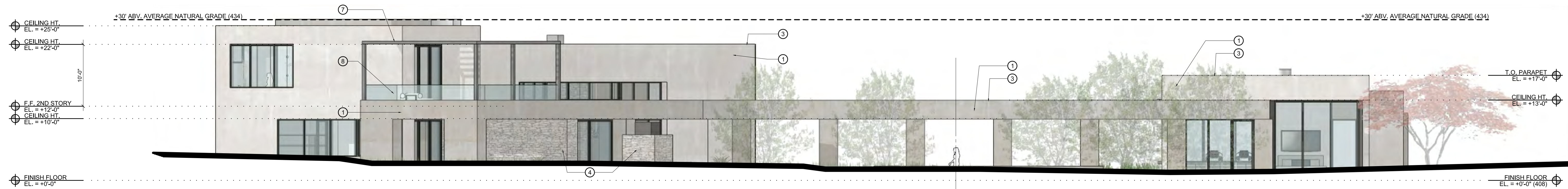




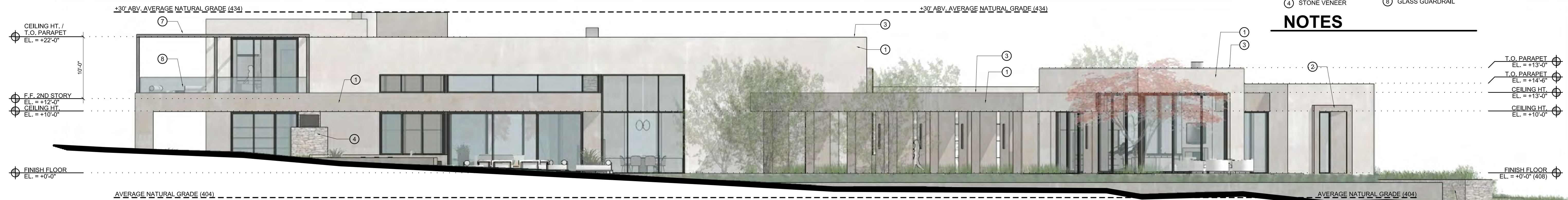
1 SOUTH (FRONT) ELEVATION



2 EAST (SIDE) ELEVATION



3 NORTH (BACK) ELEVATION



4 WEST (SIDE) ELEVATION

- 1 STUCCO
- 2 STUCCO POP-OUT SURROUND
- 3 STUCCO PARAPET
- 4 STONE VENEER
- 5 RAISED PLANTER
- 6 METAL FIREPLACE CAP, TYP.
- 7 METAL TRELLIS
- 8 GLASS GUARDRAIL

NOTES

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REVISIONS	
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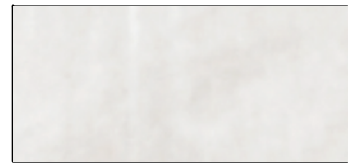
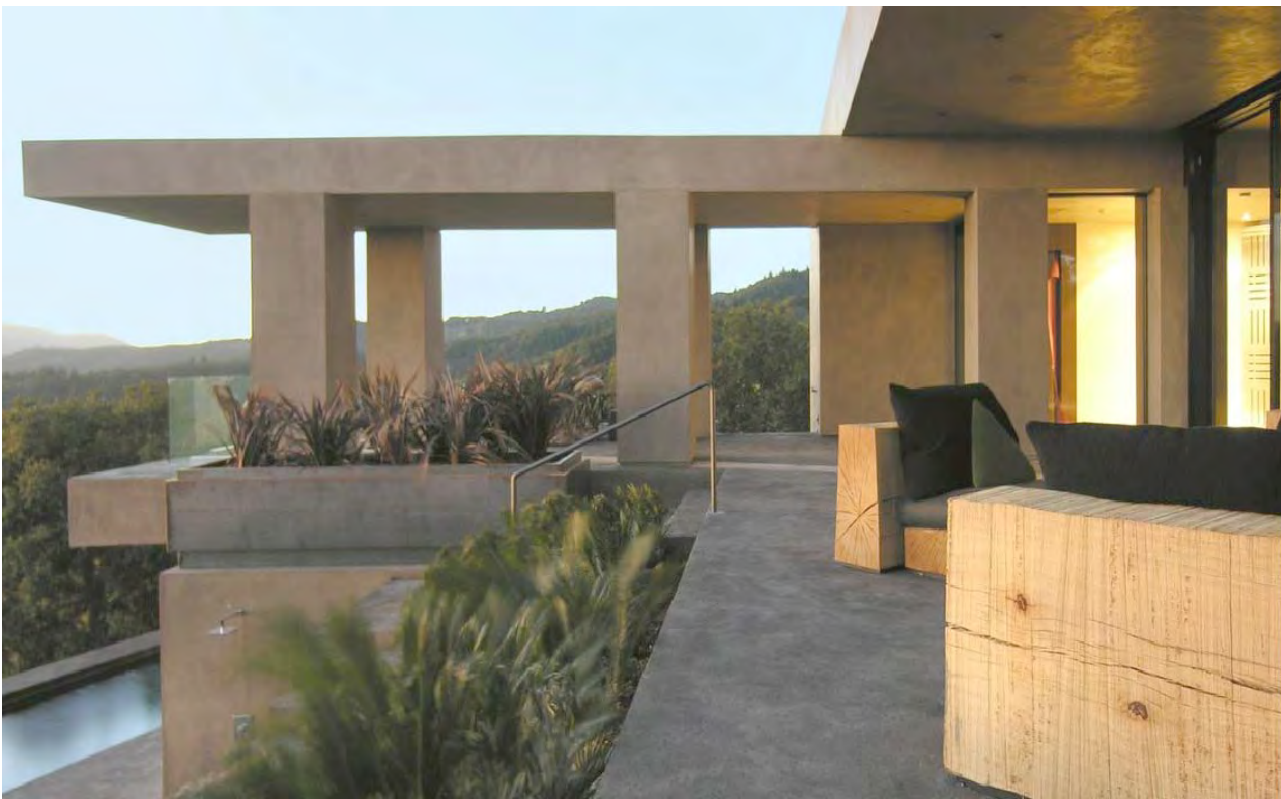
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CHECKED BY: EA
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SCALE: 1/8"=1'-0"

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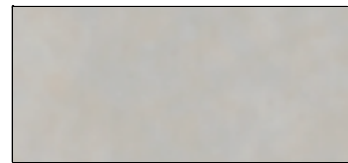
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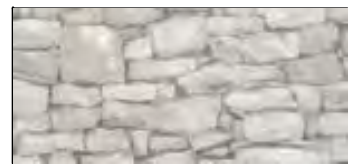
ELEVATIONS
SCALE: 1/8"=1'-0"



STUCCO
KELLY MOORE
KM 4905-1
"HUSH GRAY"



STUCCO
KELLY MOORE
KM 4941-2
"CITY DWELLER"



STONE VENEER
BUECHEL
FOND DU LAC
LEDGESTONE



STEEL

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REFERENCE PROJECT PHOTOS FOR MISC. FINISH DETAILS AND COLORS

COLOR LEGEND



1 PERSPECTIVE FROM STREET



4 PERSPECTIVE LOOKING AT SPA AREA



5 PERSPECTIVE LOOKING AT BACK OF BUILDING



2 PERSPECTIVE FROM DRIVEWAY



3 PERSPECTIVE FROM AUTO COURT



6 PERSPECTIVE FROM GOLF COURSE

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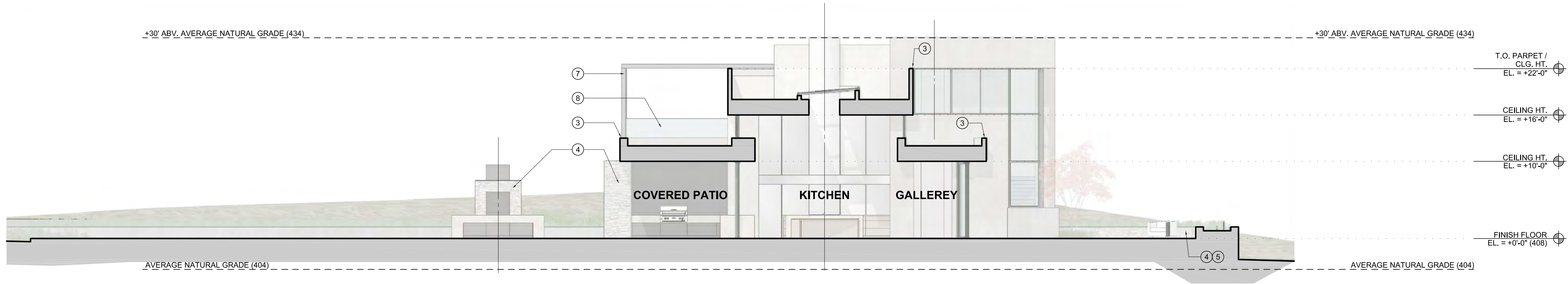
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DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
PERSPECTIVES
SCALE: NOT TO SCALE

SHEET:

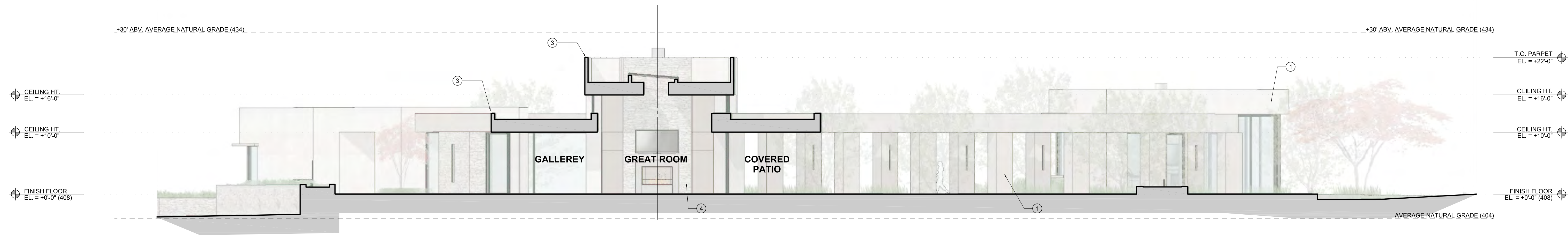
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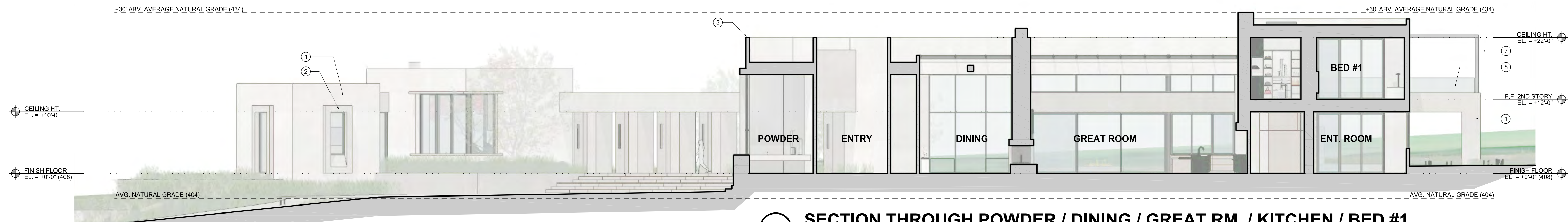
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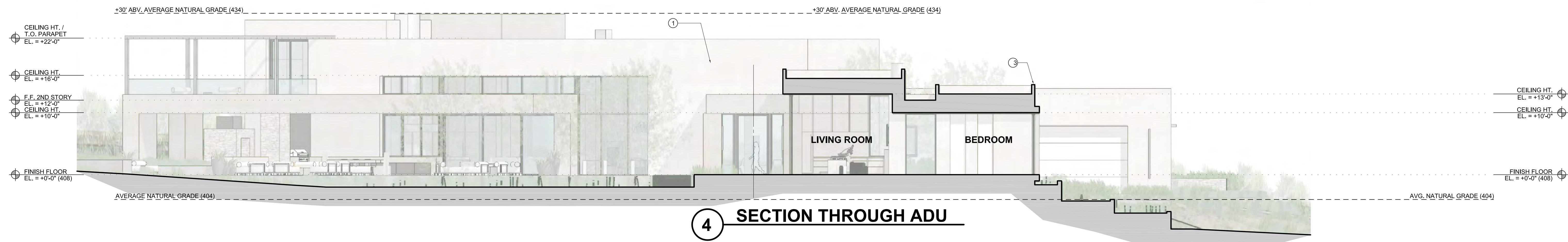
1 SECTION THROUGH KITCHEN



2 SECTION THROUGH GREAT ROOM



3 SECTION THROUGH POWDER / DINING / GREAT RM. / KITCHEN / BED #1



4 SECTION THROUGH ADU

- 1 STUCCO
- 2 STUCCO POP-OUT SURROUND
- 3 STUCCO PARAPET
- 4 STONE VENEER
- 5 RAISED PLANTER
- 6 METAL FIREPLACE CAP, TYP.
- 7 METAL TRELLIS
- 8 GLASS GUARDRAIL

NOTES

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
1	
2	
3	

PROJECT NO:	2308
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
SECTIONS	
SCALE: 1/8"=1'-0"	

SHEET:

A6.0

PRINTED: JANUARY 26, 2024

SECTIONS
SCALE: 1/8"=1'-0"

SPEARS
RESIDENCE
DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
▲	
▲	
▲	

PROJECT NO:	2308
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
EXT. LIGHTING PLAN - LOWER LEVEL	
SCALE: 1/8"=1'-0"	

SHEET:

E2.0

PRINTED: JUNE 17, 2024



EXTERIOR LIGHTING PLAN - LOWER LEVEL
SCALE: 1/8"=1'-0"



Project name:
Fixture type:
Date:

4" LED New Construction IC Airtight Housing

ELCO Lighting's Integrated LED Mahogany System Housings are energy efficient, high output downlights with a 3 in 1 dimmable driver (TracELV10-10V, 120/277V) installed on the frame. They are available with a plethora of trims for style options and interchangeable beam angle options. The housings have the driver, LED and heat sink integrated so only a trim is required to complete the job. The Mahogany System is a great high output LED downlight for new construction and remodel applications.



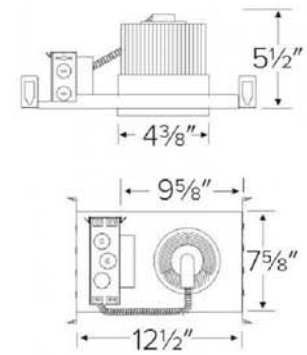
Features

- 4" LED New Construction IC Airtight Housing includes integrated LED module and driver.
- Advanced heat sink design for best heat dissipation to maintain maximum LED life.
- Battery backup driver available.
- High output CREE LED COB.
- Trims sold separately.

Specifications

Wattage	16W
Lumens	1200 lm
Voltage	120/277V
Color Temp.	2700K - 4000K
Dimmable	TracELV10-10V
Lamp Type	LED
CRI	93+
Damp Location/size	

Dimensions



Product Numbers

Item	Lamp Type	Lumens	CCT	Watts	Voltage	Dimming
ELD474CA	LED	1200 lm	2700K	16W	120/277V	TracELV10-10V
ELD461CA	LED	1200 lm	3000K	16W	120/277V	TracELV10-10V
ELD451CA	LED	1200 lm	4000K	16W	120/277V	TracELV10-10V

- Construction:**
- Single wall 'C' rated for direct contact with insulation. For use in IC and non-IC conditions.
 - Housing has integrated driver, heat sink and LED COB mounted onto the heat sink.
 - Compatible trims can be used for beam angle options and design options.
 - Housing adjusts in frame to accommodate up to 1 1/2" ceiling thickness.
 - Airtight housing with gasket to restrict airflow in accordance with ASTM E-283 air-tight requirements.

Installation: Designed for ceiling plenums where 2x6 joists or taller are used. High strength hanger bars can easily be nailed to joists. Suitable for T-grid and drop ceiling applications. See installation sheet for detailed information.

Junction Box: Positioned to accommodate straight conduit runs. Seven 1/2" trade size conduit knockouts. Four pry-out knockout slots for easy romex installation.

Hanger Bars: Pre-installed hanger bars with True Nail easy installation in regular lumber, engineered lumber, and laminated beams. Integral T-bar slots for easy installation in T-bars. Spans up 24" and can be repositioned 90°. Score lines allow for rod-free hanger bar size reduction. Integral leveling flange allows for single-person installation while easily aligning the housings with the joists.

Electrical: Driver is rated for 120V and 277V input (120/277V). High Efficiency driver with power factor > 0.9. Can be specified with Lutron drivers for specific applications. Optional 90 Minute 120/277V emergency backup.

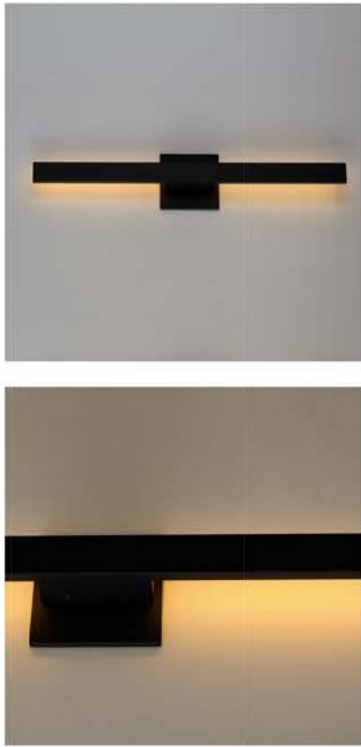
Trims: Compatible with ELCO 4" LED Recessed Housing trims.

Dimmability: 3 in 1 dimming: Trac, ELV and 0-10V dimming in one driver, 0-10V dimming down to 1% with compatible driver. Flicker-Free Dimming. Can be specified with Lutron drivers for specific applications. For full list of dimmers refer to the Dimmer Compatibility List.

Listings: UL Listed for Damp Location and for Wet Location with select trims. UL Listed for Direct Contact with Insulation and Combustible Material. UL Listed for Food Through, Meets California Title 24 standards.

Alumilux Line | E41343-BK

Job Name: Job Type: Quantity: Comments:



PRODUCT DESCRIPTION

MEASUREMENTS	
DIMENSION	: 4.5" W x 24" H x 2.25" Ext
BACK PLATE	: 4.5" W x 4.5" H x 1/2" HCO
HANGING WEIGHT	: 2.42 lb
LAMPING	
INPUT VOLTAGE	: 120V
LUMENS	: 1,300 Rated (1,040 Del.)
BULB	: 2 x 6.5W LED LED, 13W Total
BULB INCLUDED	: (Integrated)
DIMMABLE	: ELV
CRI	: 90 CRI
COLOR_TEMP	: 3000K
LIGHTING_DIRECTION	: Directional

FINISHES OPTION

- Black (BK)
- Bronze (BR)
- Satin Aluminum (SA)

MATERIAL

Aluminum

RATINGS

cETLus

Wet Location

ADA

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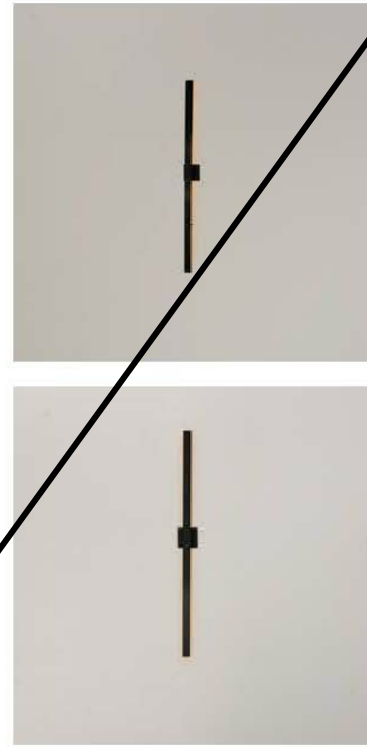
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Alumilux Line | E41344-BK

Job Name: Job Type: Quantity: Comments:



PRODUCT DESCRIPTION

MEASUREMENTS	
DIMENSION	: 1.5" W x 51" H x 2.25" Ext
BACK PLATE	: 4.5" W x 4.5" H x 1/2" HCO
HANGING WEIGHT	: 4.18 lb
LAMPING	
INPUT VOLTAGE	: 120V
LUMENS	: 2,800 Rated (1,840 Del.)
BULB	: 2 x 6.5W LED PCB Integrated, 13W Total
BULB INCLUDED	: (Integrated)
DIMMABLE	: ELV
CRI	: 90 CRI
COLOR_TEMP	: 3000K
LIGHTING_DIRECTION	: Directional

FINISHES OPTION

- Black (BK)
- Bronze (BR)
- Satin Aluminum (SA)
- White (WT)

MATERIAL

Aluminum

RATINGS

cETLus

Wet Location

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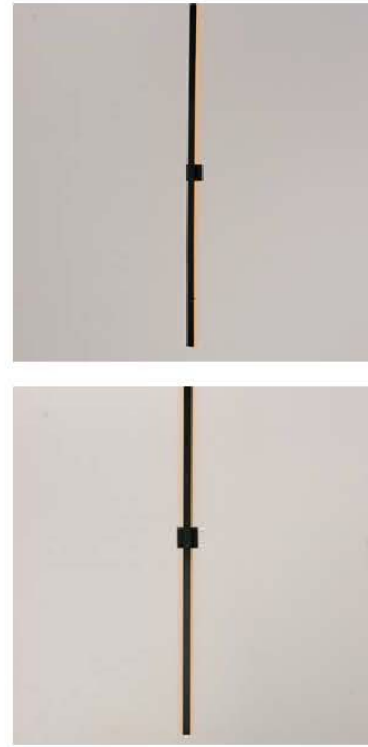
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Alumilux Line | E41348-BK

Job Name: Job Type: Quantity: Comments:



PRODUCT DESCRIPTION

MEASUREMENTS	
DIMENSION	: 1.5" W x 96" H x 2.25" Ext
BACK PLATE	: 4.5" W x 4.5" H x 1/2" HCO
HANGING WEIGHT	: 7.04 lb
LAMPING	
INPUT VOLTAGE	: 120V
LUMENS	: 5,800 Rated (3,600 Del.)
BULB	: 2 x 30W LED PCB Integrated, 60W Total
BULB INCLUDED	: (Integrated)
DIMMABLE	: ELV
CRI	: 90 CRI
COLOR_TEMP	: 3000K
LIGHTING_DIRECTION	: Directional

FINISHES OPTION

- Black (BK)
- Bronze (BR)
- Satin Aluminum (SA)
- White (WT)

MATERIAL

Aluminum

RATINGS

cETLus

Wet Location

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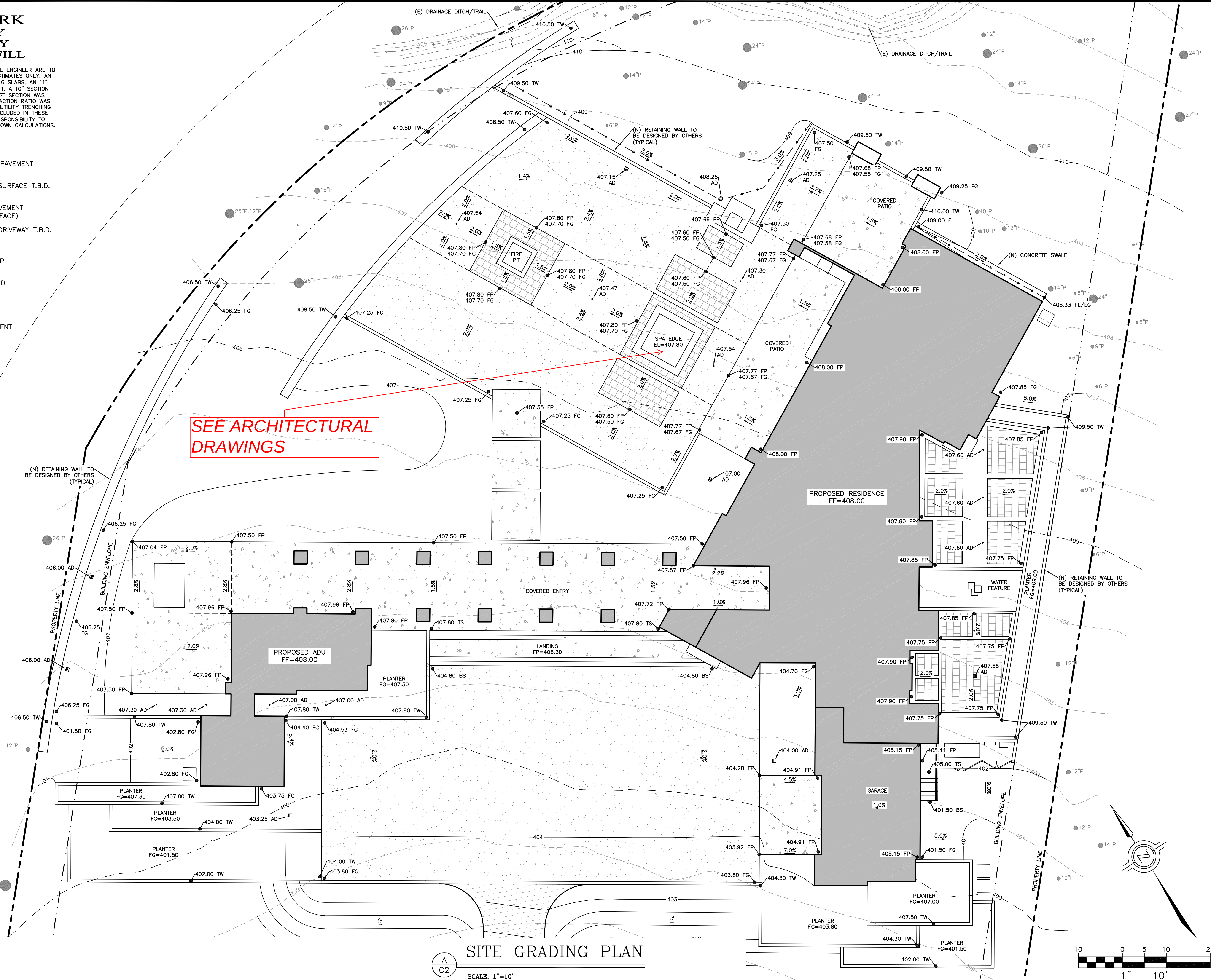
EARTHWORK
CUT=150 CY
FILL=4300 CY
NET=4150 CY FILL

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVEMENT AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE BUILDING SLABS, AN 11" SECTION WAS ASSUMED FOR THE AUTO COURT, A 10" SECTION WAS ASSUMED FOR THE DRIVEWAY, AND A 7" SECTION WAS ASSUMED FOR SITE FLAT WORK. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

LEGEND

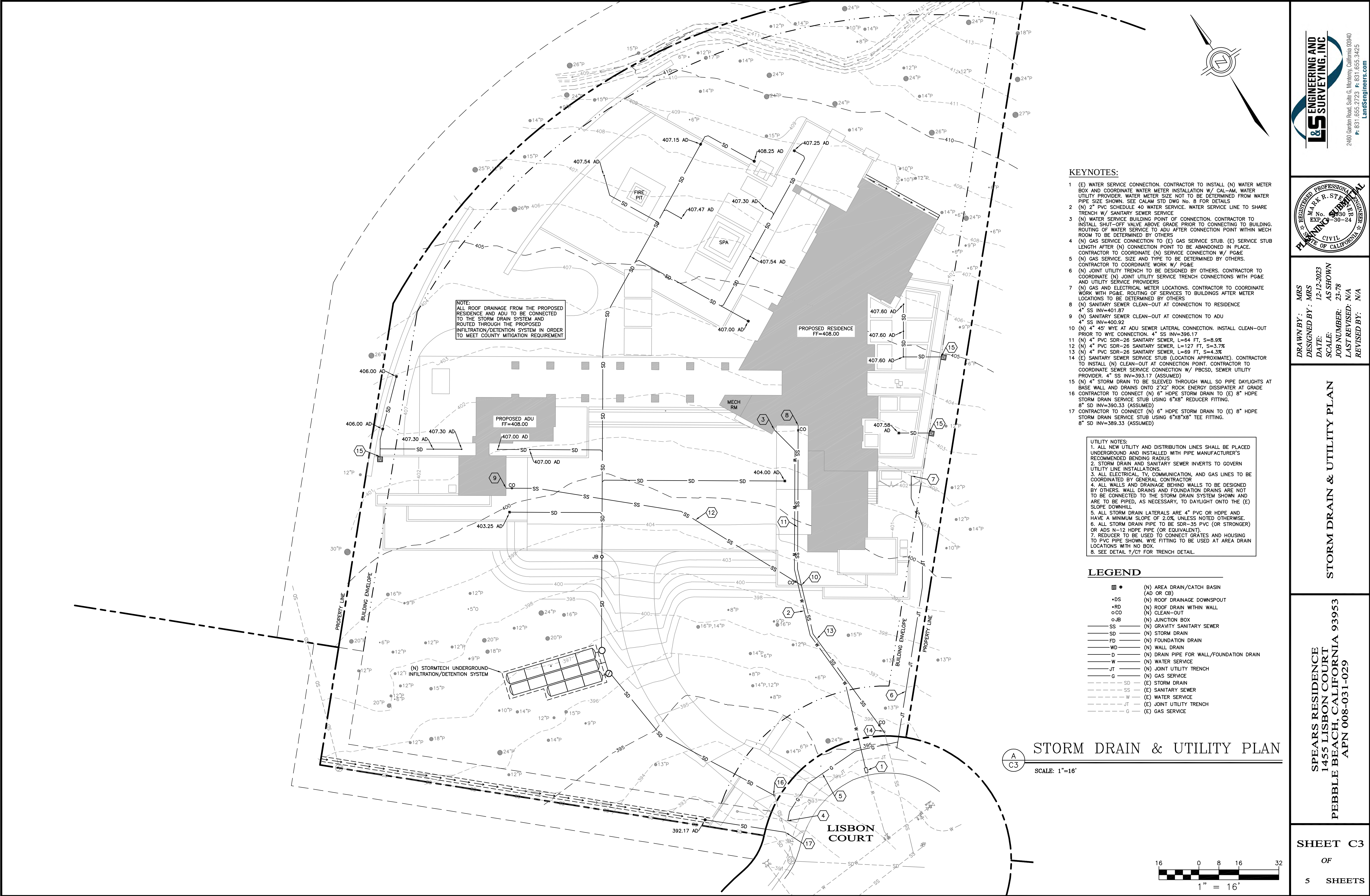
- (N) CONCRETE PAVEMENT
(N) PERVIOUS SURFACE T.B.D.
(N) GRAVEL PAVEMENT (PERVIOUS SURFACE)
(N) PERVIOUS DRIVEWAY T.B.D.

- AD AREA DRAIN
BS BOTTOM OF STEP
CB CATCH BASIN
E EXISTING
EG EXISTING GROUND
EL ELEVATION
FF FINISHED FLOOR
FG FINISHED GRADE
FL FLOW LINE
FP FINISHED GRADE
FP FINISHED PAVEMENT
ME MATCH EXISTING
N NEW
TD TRENCH DRAIN
TS TOP OF STEP
TW TOP OF WALL



SITE GRADING PLAN

SCALE: 1"=10'



KEYNOTES:

- (E) WATER SERVICE CONNECTION. CONTRACTOR TO INSTALL (N) WATER METER BOX AND COORDINATE WATER METER INSTALLATION W/ CAL-AM, WATER UTILITY PROVIDER. WATER METER SIZE NOT TO BE DETERMINED FROM WATER PIPE SIZE SHOWN. SEE CALAM STD DWG No. 8 FOR DETAILS
- (N) 2" PVC SCHEDULE 40 WATER SERVICE. WATER SERVICE LINE TO SHARE TRENCH W/ SANITARY SEWER SERVICE
- (N) WATER SERVICE BUILDING POINT OF CONNECTION. CONTRACTOR TO INSTALL SHUT-OFF VALVE ABOVE GRADE PRIOR TO CONNECTING TO BUILDING. ROUTING OF WATER SERVICE TO ADU AFTER CONNECTION POINT WITHIN MECH ROOM TO BE DETERMINED BY OTHERS
- (N) GAS SERVICE CONNECTION TO (E) GAS SERVICE STUB. (E) SERVICE STUB LENGTH AFTER (N) CONNECTION POINT TO BE ABANDONED IN PLACE. CONTRACTOR TO COORDINATE (N) SERVICE CONNECTION W/ PG&E
- (N) GAS SERVICE. SIZE AND TYPE TO BE DETERMINED BY OTHERS. CONTRACTOR TO COORDINATE WORK W/ PG&E
- (N) JOINT UTILITY TRENCH TO BE DESIGNED BY OTHERS. CONTRACTOR TO COORDINATE (N) JOINT UTILITY SERVICE TRENCH CONNECTIONS WITH PG&E AND UTILITY SERVICE PROVIDERS
- (N) GAS AND ELECTRICAL METER LOCATIONS. CONTRACTOR TO COORDINATE WORK WITH PG&E. ROUTING OF SERVICES TO BUILDINGS AFTER METER LOCATIONS TO BE DETERMINED BY OTHERS
- (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO RESIDENCE
4" SS INV=401.87
- (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO ADU
4" SS INV=400.92
- (N) 4" 45° WYE AT ADU SEWER LATERAL CONNECTION. INSTALL CLEAN-OUT PRIOR TO WYE CONNECTION. 4" SS INV=396.17
- (N) 4" PVC SDR-26 SANITARY SEWER, L=64 FT, S=8.9%
- (N) 4" PVC SDR-26 SANITARY SEWER, L=127 FT, S=3.7%
- (N) 4" PVC SDR-26 SANITARY SEWER, L=69 FT, S=4.3%
- (E) SANITARY SEWER SERVICE STUB (LOCATION APPROXIMATE). CONTRACTOR TO INSTALL (N) CLEAN-OUT AT CONNECTION POINT. CONTRACTOR TO COORDINATE SEWER SERVICE CONNECTION W/ PBCSD, SEWER UTILITY PROVIDER. 4" SS INV=393.17 (ASSUMED)
- (N) 4" STORM DRAIN TO BE SLEEVED THROUGH WALL SO PIPE DAYLIGHTS AT BASE WALL AND DRAINS ONTO 2'x2' ROCK ENERGY DISSIPATER AT GRADE
- CONTRACTOR TO CONNECT (N) 6" HDPE STORM DRAIN TO (E) 8" HDPE STORM DRAIN SERVICE STUB USING 6"x8" REDUCER FITTING.
8" SD INV=390.33 (ASSUMED)
- CONTRACTOR TO CONNECT (N) 6" HDPE STORM DRAIN TO (E) 8" HDPE STORM DRAIN SERVICE STUB USING 6"x8"x8" TEE FITTING.
8" SD INV=389.33 (ASSUMED)

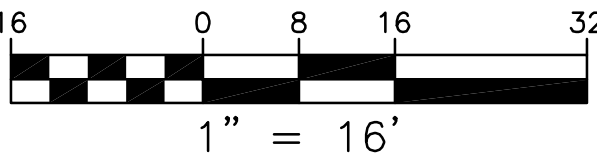
UTILITY NOTES:
1. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS
2. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS
3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM SHOWN AND ARE TO BE PIPED, AS NECESSARY, TO DAYLIGHT ONTO THE (E) SLOPE DOWNHILL
5. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0%, UNLESS NOTED OTHERWISE
6. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT)
7. REDUCER TO BE USED TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX
8. SEE DETAIL 1/C7 FOR TRENCH DETAIL

LEGEND

- | | |
|-----|--|
| ● | (N) AREA DRAIN/CATCH BASIN (AD OR CB) |
| +DS | (N) ROOF DRAINAGE DOWNSPOUT |
| +RD | (N) ROOF DRAIN WITHIN WALL |
| oCO | (N) CLEAN-OUT |
| oJB | (N) JUNCTION BOX |
| SS | (N) GRAVITY SANITARY SEWER |
| SD | (N) STORM DRAIN |
| FD | (N) FOUNDATION DRAIN |
| WD | (N) WALL DRAIN |
| D | (N) DRAIN PIPE FOR WALL/FOUNDATION DRAIN |
| W | (N) WATER SERVICE |
| JT | (N) JOINT UTILITY TRENCH |
| G | (N) GAS SERVICE |
| SD | (E) STORM DRAIN |
| SS | (E) SANITARY SEWER |
| W | (E) WATER SERVICE |
| JT | (E) JOINT UTILITY TRENCH |
| G | (E) GAS SERVICE |

STORM DRAIN & UTILITY PLAN

SCALE: 1"=16'



ENGINEERING AND SURVEYING, INC.

2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandEngineers.com

REGISTERED PROFESSIONAL
MARK R. STEINBERG
No. 8330
EXP. 9-30-24
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 12-12-2023
SCALE: AS SHOWN
JOB NUMBER: 23-78
LAST REVISED: N/A
REVISED BY: N/A

STORM DRAIN & UTILITY PLAN

SPEARS RESIDENCE
1455 LISBON COURT
PEBBLE BEACH, CALIFORNIA 93953
APN 008-031-029

SHEET C3
OF
5 SHEETS

EROSION/DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
- A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
- C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
- (MONTEREY COUNTY GRADING/EROSION CONTROL 2806-16.12.090)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF HCD-PLANNING AND HCD-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
- A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
- B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
- C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
- D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

CONCRETE WASHOUT

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

WASTE COLLECTION AREA

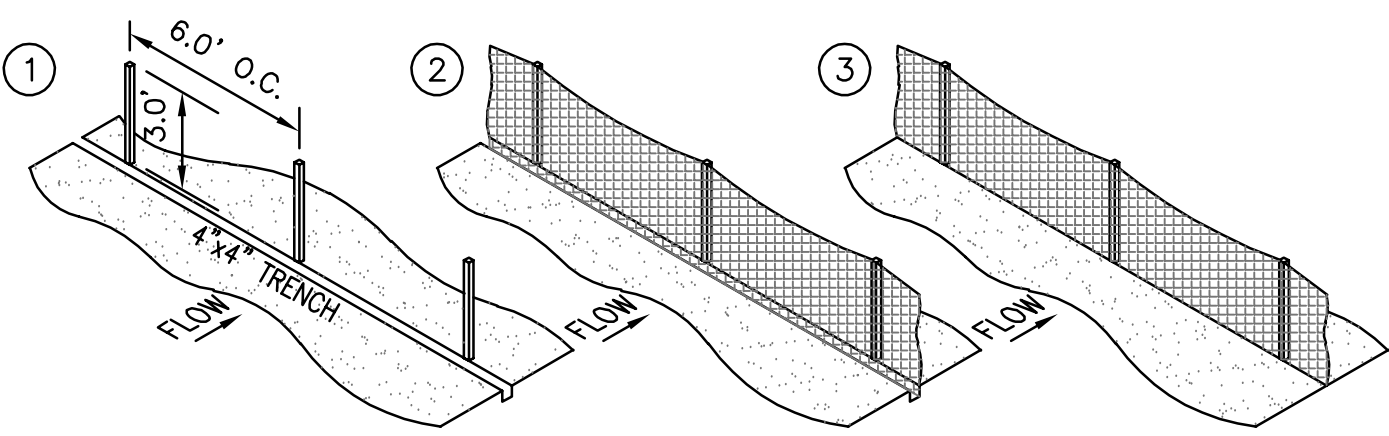
1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECIPIEPLACES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN-OFF SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURLY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3. STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

TO BE USED DOWN SLOPE OF EXPOSED SOIL AREAS AND AROUND TEMPORARY SOIL STOCKPILES.

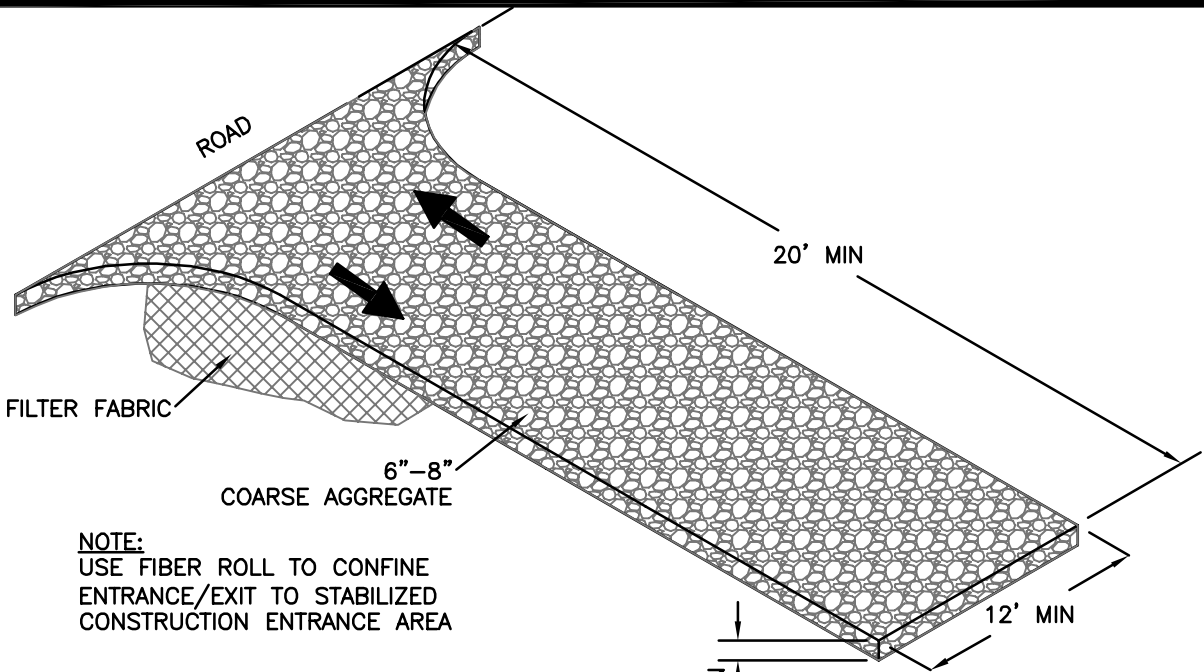
- INSTALLATION
1. SET 4" LONG 2"x2" WOOD (OR 1.33 PLF STEEL) POSTS AS SHOWN. EXCAVATE A 4"x4" TRENCH UP SLOPE ALONG THE LINE OF POSTS.
2. ATTACH SILT FENCE TO POSTS PER MANUFACTURER'S SPECIFICATIONS. EXTEND FABRIC INTO TRENCH.
3. BACKFILL TRENCH AND HAND COMPACT EXCAVATED SOIL.



SILT FENCE DETAIL

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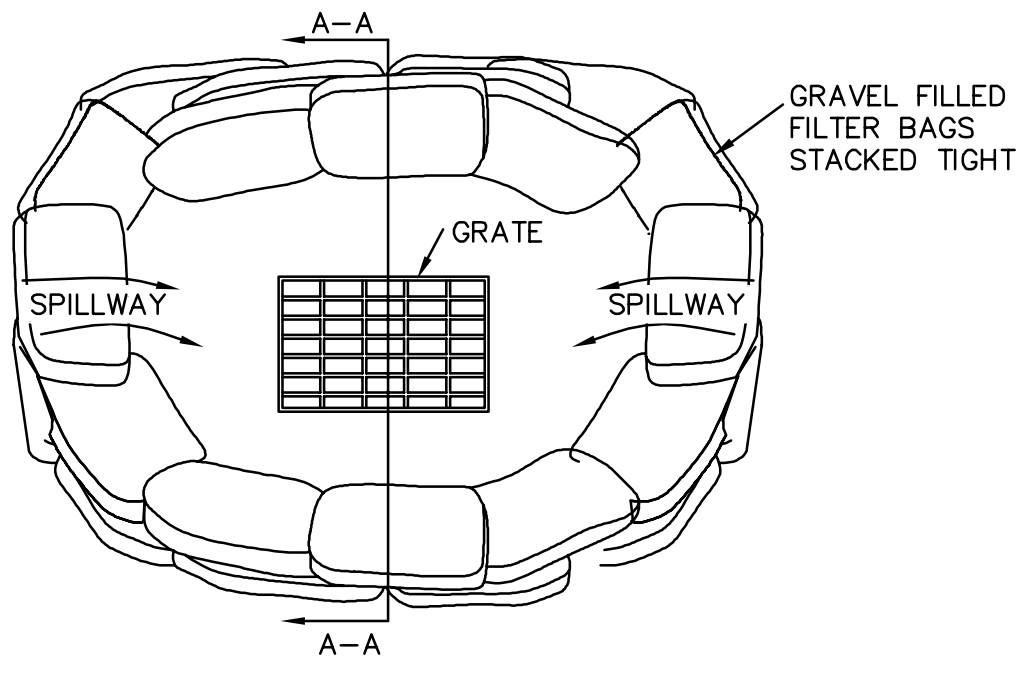
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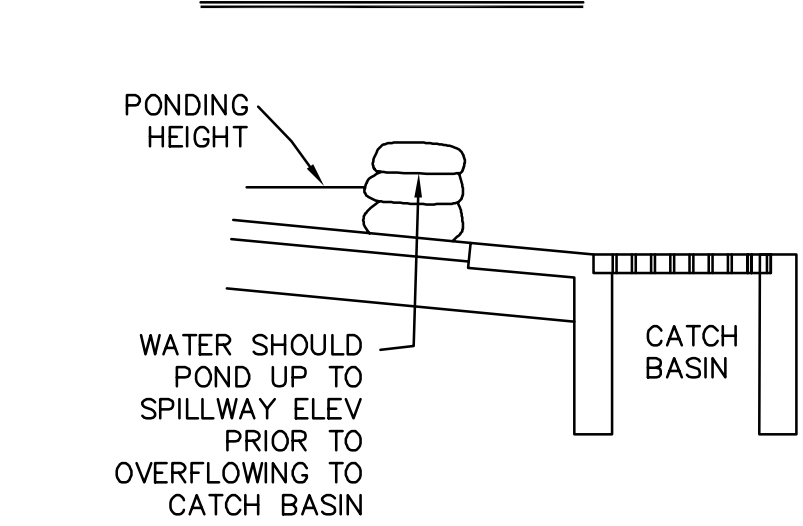
STABILIZED CONSTRUCTION ENTRANCE

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PLAN VIEW



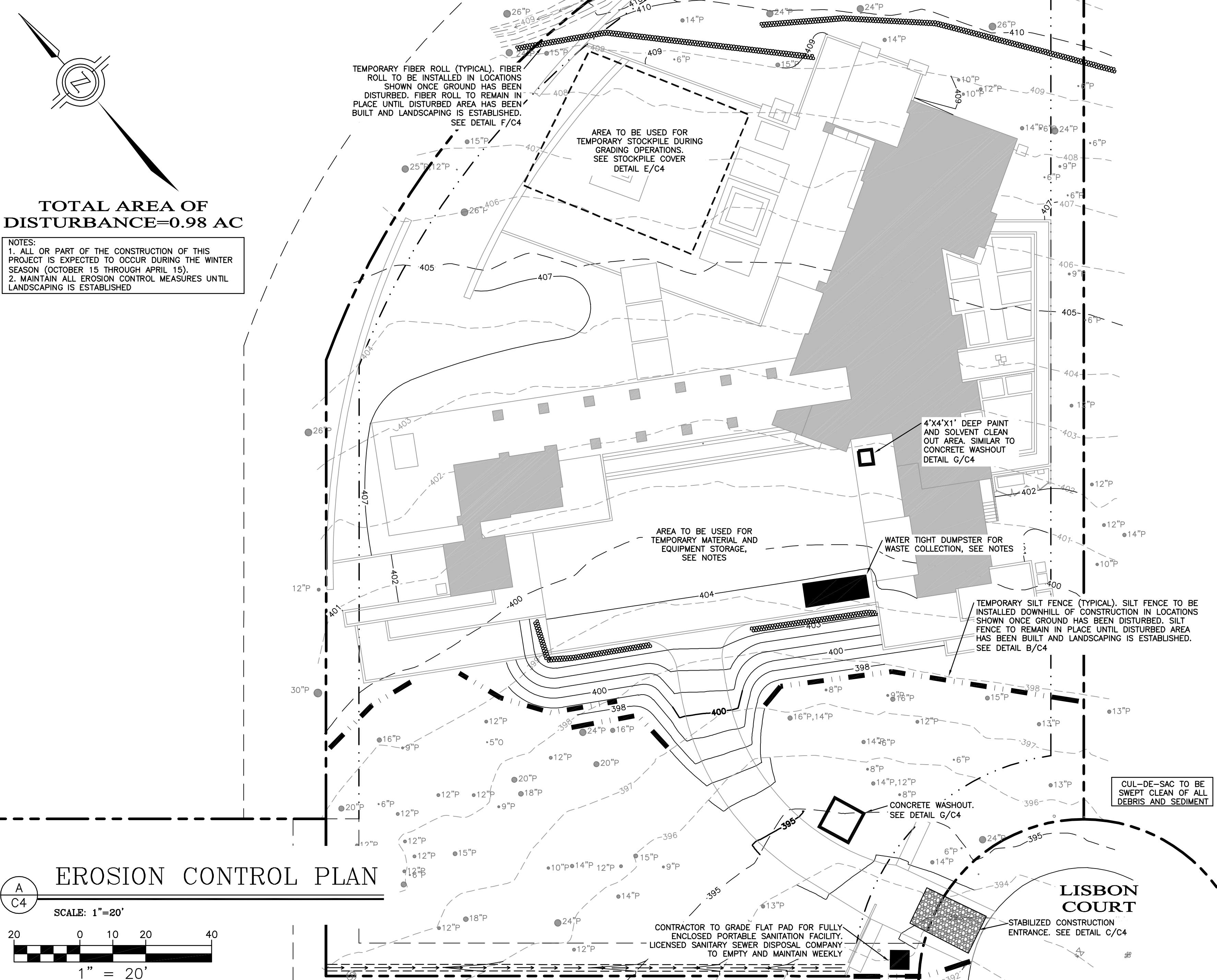
SECTION A-A

- INSTALLATION
1. PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS 24" LONG BY 12" WIDE BY 6" HIGH TO BE USED. FILTER BAGS SHALL CONTAIN 1" TO 2" DIAMETER ROCK. BAGS SHOULD BE STACKED TIGHTLY AND SHOULD CREATE A SPILLWAY TO ALLOW WATER TO POND AND OVERFLOW TO CATCH BASIN.
2. CONFIGURATION SHOWN MAY NEED TO BE ADJUSTED TO ACCOMMODATE EXISTING CATCH BASIN AND FLOW ORIENTATION. CONTRACTOR TO ADJUST AS NEEDED TO ENSURE PROTECTION OF INLET AND MAINTAIN INTENT OF DETAIL SHOWN.

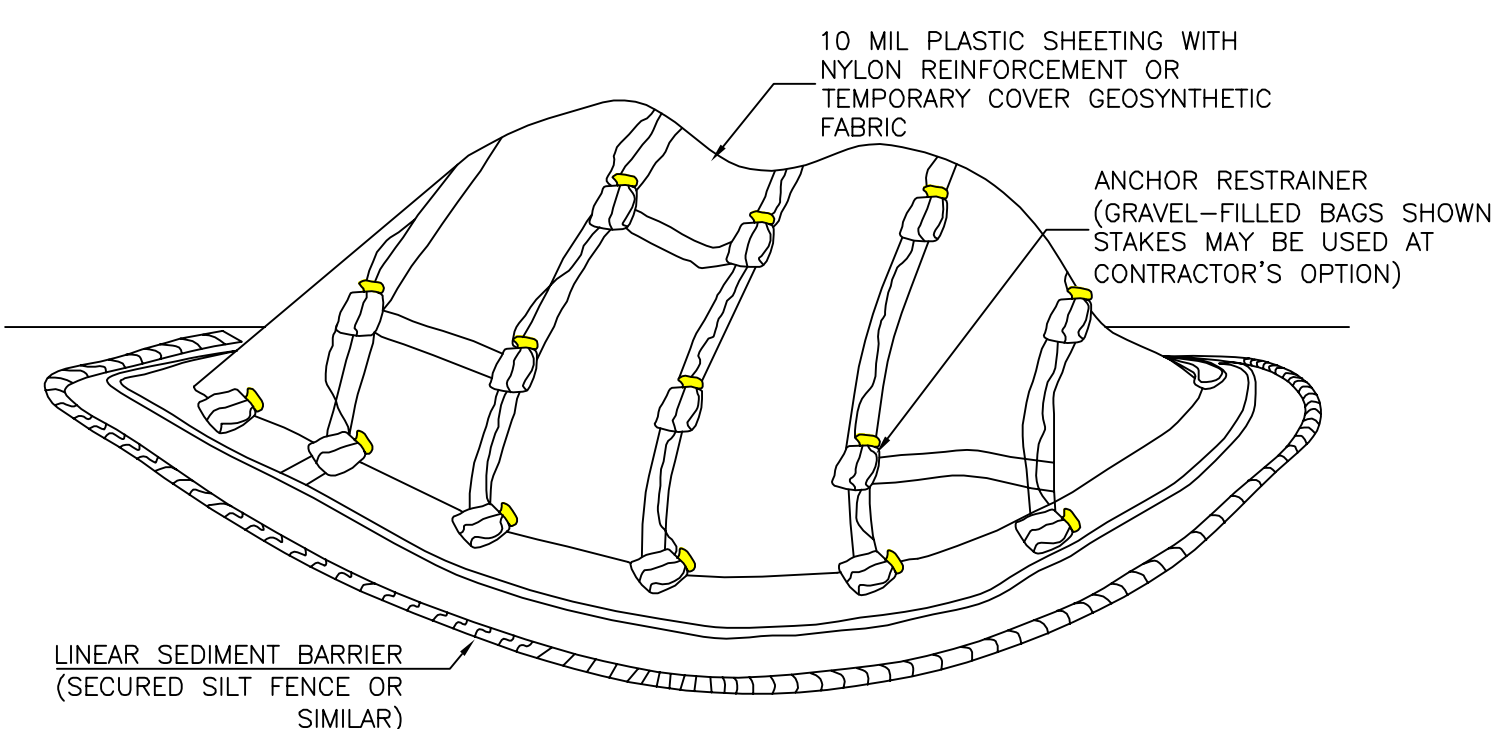
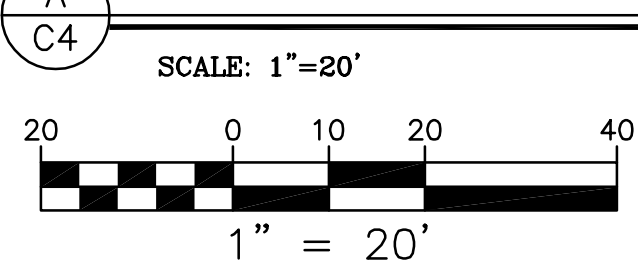
INLET PROTECTION

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EROSION CONTROL PLAN

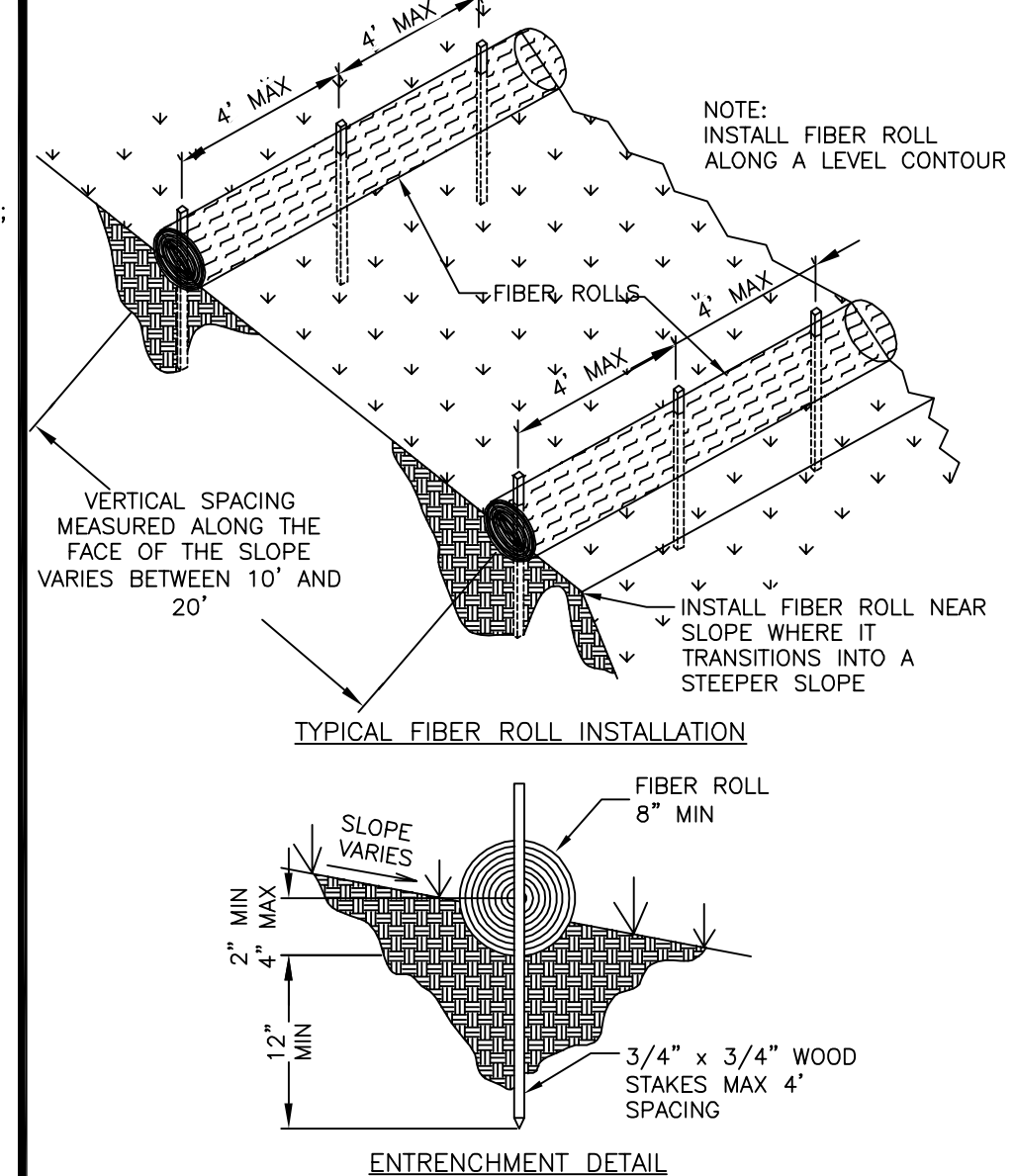


- NOTES:
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

STOCKPILE COVER DETAIL

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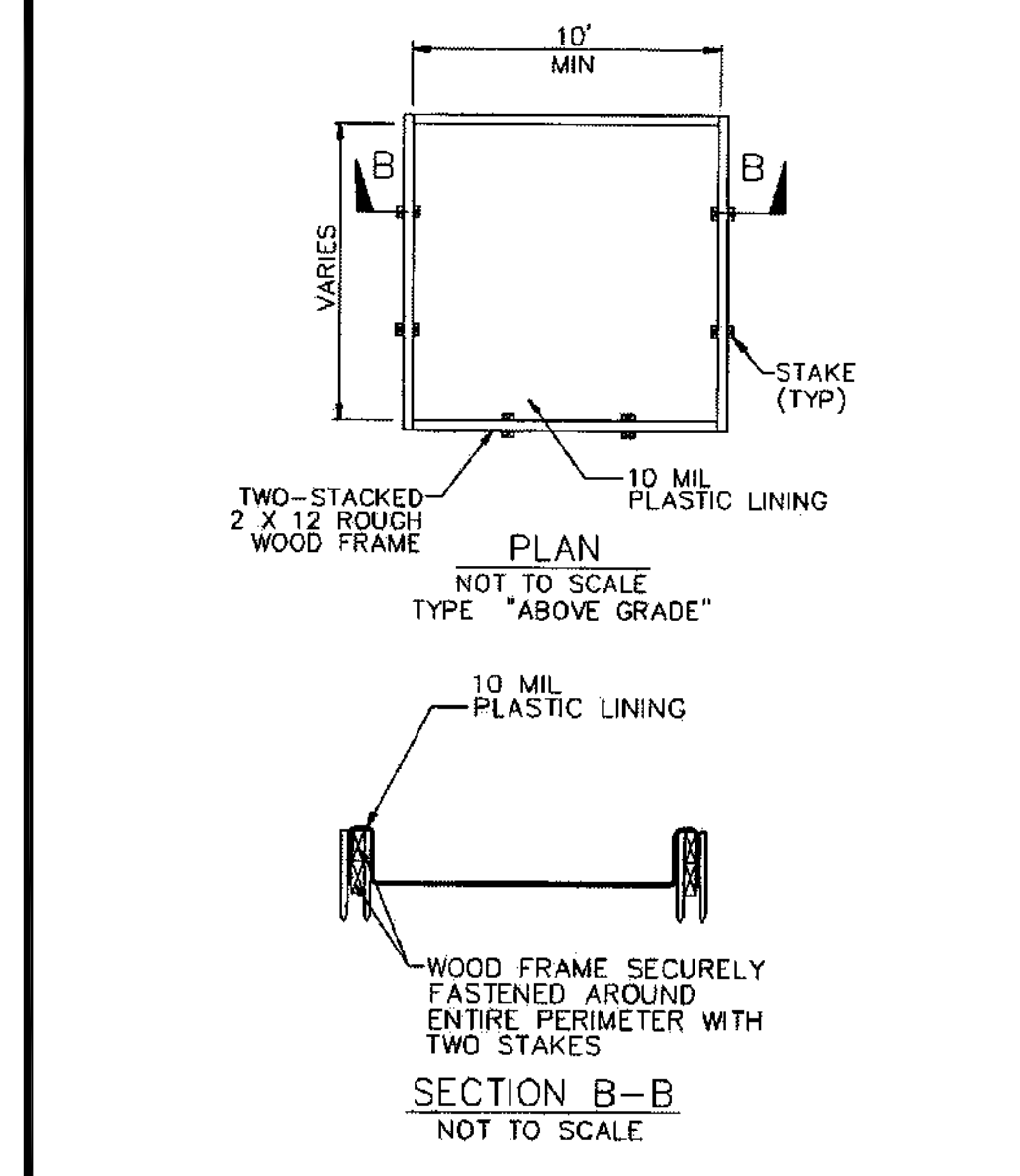
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FIBER ROLL DETAIL

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CONCRETE WASHOUT

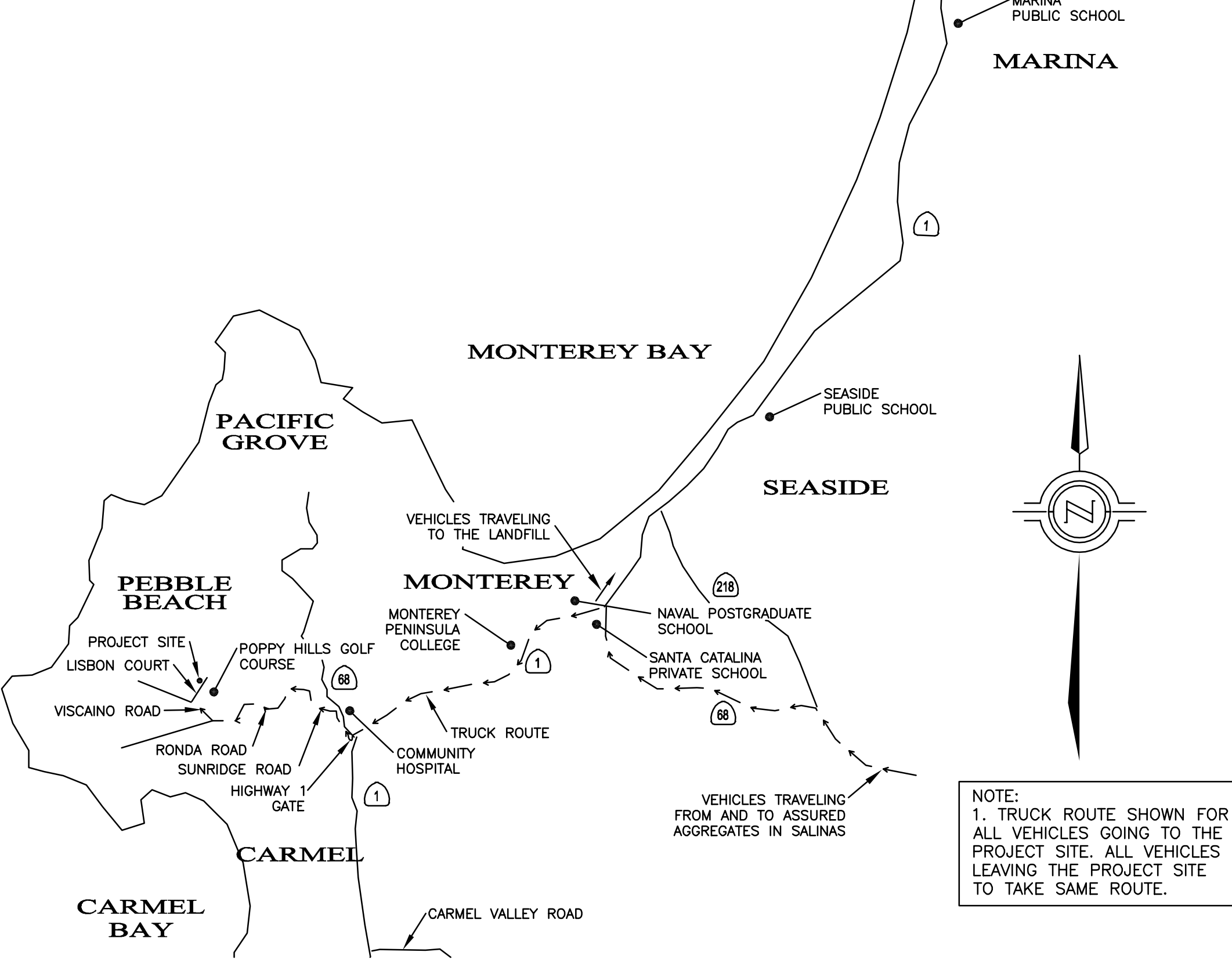
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CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

MONTEREY REGIONAL WASTE MANAGEMENT (LANDFILL)
14201 Del Monte Blvd
Marina, CA 93933
(831)384-5313



NOTE:
1. TRUCK ROUTE SHOWN FOR ALL VEHICLES GOING TO THE PROJECT SITE. ALL VEHICLES LEAVING THE PROJECT SITE TO TAKE SAME ROUTE.

VICINITY MAP/OVERALL TRUCK ROUTING PLAN

CONSTRUCTION NOTES

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
- EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 - DUST CONTROL):
 - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE.
 - NOT APPLICABLE TO SITE
 - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MPH PER HOUR.
 - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS - NOT APPLICABLE TO SITE
 - APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA.
 - NOT APPLICABLE TO SITE
 - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 - COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIALS.
 - PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION.
 - NOT APPLICABLE TO SITE
 - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 - COVER INACTIVE STORAGE PILES.
 - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS - NOT APPLICABLE TO SITE
 - PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT - NOT APPLICABLE TO SITE
 - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OVER FROM THE CONSTRUCTION SITE.
 - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBAPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
 - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
- THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
- THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
- THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure driveway source to prevent further tracking. Never hose down streets to clean up tracking.

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled.
- Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Additional Contact Numbers (Non-Emergency):

City of Carmel-by-the-Sea	(831) 420-2000
City of Del Rey Oaks	(831) 394-8511
City of Monterey	(831) 646-3921
City of Pacific Grove	(831) 646-5732
City of San Jose	(831) 394-3054
City of Seaside	(831) 899-6825
County of Monterey	(831) 755-4800

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

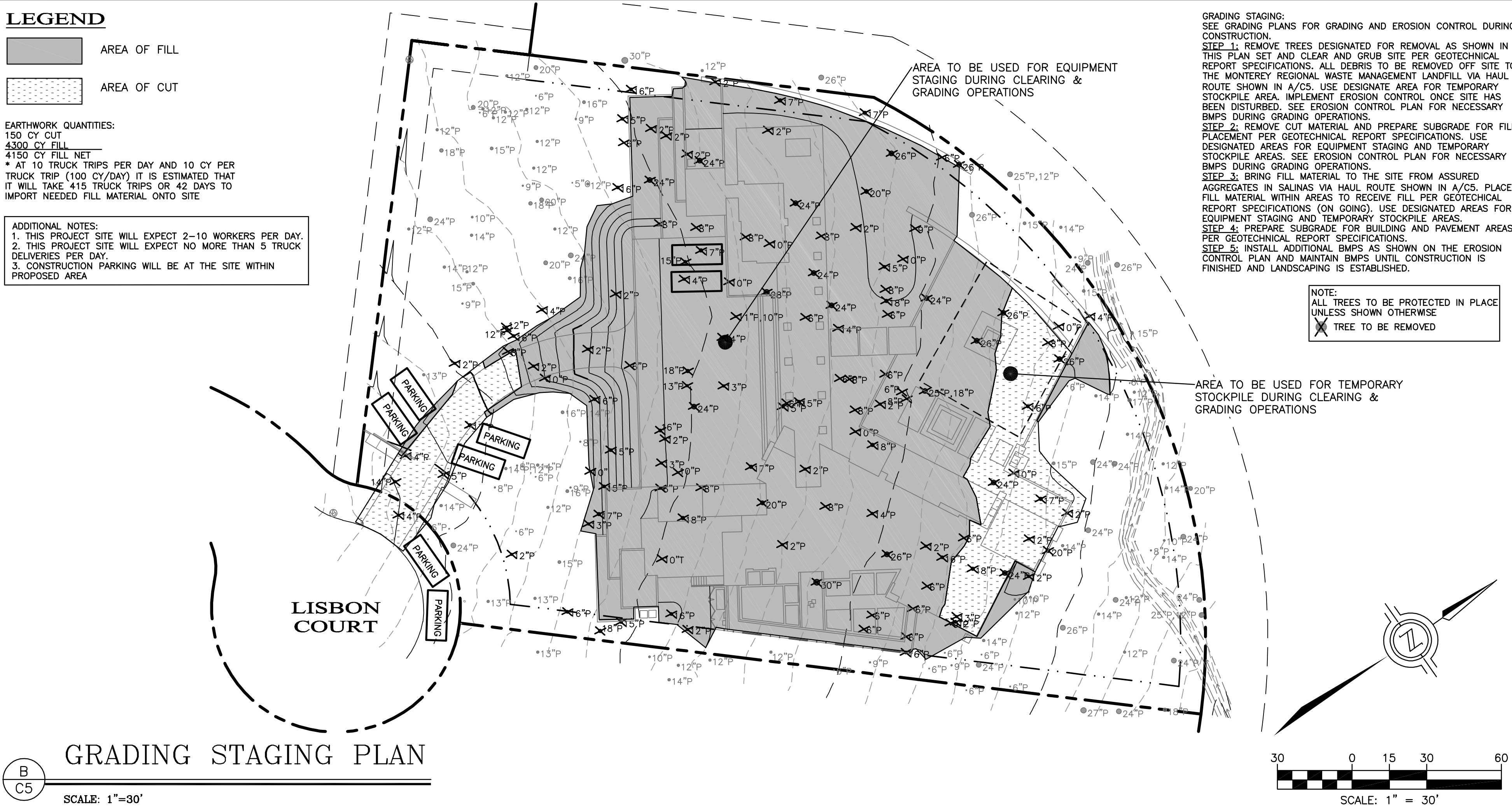
STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

LEGEND

- AREA OF FILL
- AREA OF CUT

EARTHWORK QUANTITIES:
150 CY CUT
4300 CY FILL
4150 CY FILL NET
• AT 10 TRUCK TRIPS PER DAY AND 10 CY PER TRUCK TRIP (100 CY/DAY) IT IS ESTIMATED THAT IT WILL TAKE 415 TRUCK TRIPS OR 42 DAYS TO IMPORT NEEDED FILL MATERIAL ONTO SITE

ADDITIONAL NOTES:
1. THIS PROJECT SITE WILL EXPECT 2-10 WORKERS PER DAY.
2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 5 TRUCK DELIVERIES PER DAY.
3. CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA



I&S ENGINEERING AND SURVEYING, INC.

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P: 831.655.2723 F: 831.655.3425
LandSengineers.com



DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 12-12-2023
SCALE: AS SHOWN
JOB NUMBER: 23-78
LAST REVISED: N/A
REVISED BY: N/A

CONSTRUCTION MANAGEMENT PLAN

SPEARS RESIDENCE
1455 LISBON COURT
PEBBLE BEACH, CALIFORNIA 93953
APN 008-031-029