

# **County of Monterey**

Monterey County Zoning Administrator  
Monterey County Government Center - Thyme Conference Room  
1141 Schilling Place, 2nd Floor



## **Meeting Agenda - Final**

**Thursday, October 26, 2023**

**9:30 AM**

### **Monterey County Zoning Administrator**

*Mike Novo, Zoning Administrator*







The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Zoning Administrator alternative actions on any matter before it.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

**PLEASE NOTE: IF THE ZONING ADMINISTRATOR IS PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE ZONING ADMINISTRATOR.**

You may participate through ZOOM. For ZOOM participation please join by computer audio at: <https://montereycty.zoom.us/j/96839118111>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Enter this Meeting ID number 968 3911 8111 when prompted.

**PUBLIC COMMENT:** Please submit your comment (limited to 250 or less) to the Clerk at [zahearingcomments@co.monterey.ca.us](mailto:zahearingcomments@co.monterey.ca.us). In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Zoning Administrator Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.

Public Comment Prior to Wednesday at 5:00 PM will be distributed to the Zoning Administrator via email.

Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

**ALTERNATIVE FORMATS:** If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability



who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

**INTERPRETATION SERVICE POLICY:** The Monterey County Zoning Administrator invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the Monterey County Housing and Community Development Department located in the Monterey County Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Administrador de Zonificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

**TENGA EN CUENTA: SI EL ADMINISTRADOR DE ZONIFICACIÓN ESTÁ PRESENTE EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL ADMINISTRADOR DE ZONIFICACIÓN.**

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Presione el código de acceso de reunión: 968 3911 8111 cuando se le solicite.

**COMENTARIO PÚBLICO:** Por favor envíe su comentario (limitado a 250 palabras o menos) al personal de la reunión del Administrador de Zonificación al correo electrónico: [zahearingcomments@co.monterey.ca.us](mailto:zahearingcomments@co.monterey.ca.us). En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, Administrador de Zonificación) y el número de la



agenda (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la reunión del Administrador de Zonificación.

Los comentarios públicos recibidos antes de las 5:00 p.m. el miércoles antes de la reunión del Administrador de Zonificación del Condado de Monterey se distribuirán por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

**FORMATOS ALTERNATIVOS:** Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

**POLÍZA DE SERVICIO DE INTERPRETACIÓN:** El Administrador de Zonificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión.



**NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.**

**9:30 A.M - Call to Order**

**ROLL CALL**

Mike Novo, Zoning Administrator  
Representative from Environmental Health  
Representative from Public Works  
Representative from Environmental Services

**PUBLIC COMMENT**

This is a time set aside for the public to comment on a matter that is not on the agenda.

**AGENDA ADDITIONS, DELETIONS AND CORRECTIONS**

The Zoning Administrator Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Zoning Administrator as provided in Sections 54954.2 of the California Government Code.

**ACCEPTANCE OF MINUTES**

None

**9:30 A.M. - SCHEDULED ITEMS**

**1. PLN210269 - 12 RONNOCO LLC**

Public hearing to consider construction of a 700 square foot detached garage, a 750 square foot secondary garage with a 325 square foot coverage porch, after-the-fact approval of a 1,000 square foot non-habitable, associated site improvements including a 2,275 square foot private sports court, and development within the Carmel Valley Floodplain.

**Project Location:** 12 Ronnoco Road, Carmel Valley, Carmel Valley Master Plan.

**Proposed CEQA Action:** Find the project Categorically Exemption pursuant to CEQA Guidelines section 15303.

**Attachments:**     [Staff Report](#)  
                              [Exhibit A - Draft Resolution](#)  
                              [Exhibit B - Floodplain letter](#)  
                              [Exhibit C - Carmel Valley LUAC Minutes \(May 15, 2023 and June 20, 2023\)](#)  
                              [Exhibit D - Vicinity Map](#)



**OTHER MATTERS**

**ADJOURNMENT**





# County of Monterey

## Item No.1

### Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

Legistar File Number: ZA 23-027

October 26, 2023

**Introduced:** 10/19/2023

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

#### **PLN210269 - 12 RONNOCO LLC**

Public hearing to consider construction of a 700 square foot detached garage, a 750 square foot secondary garage with a 325 square foot coverage porch, after-the-fact approval of a 1,000 square foot non-habitable, associated site improvements including a 2,275 square foot private sports court, and development within the Carmel Valley Floodplain.

**Project Location:** 12 Ronnoco Road, Carmel Valley, Carmel Valley Master Plan.

**Proposed CEQA Action:** Find the project Categorical Exemption pursuant to CEQA Guidelines section 15303.

#### **RECOMMENDATION:**

It is recommended that the Zoning Administrator adopt a resolution:

- 1) Finding the project qualifies as a Class 1 and Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15301 and no exceptions pursuant to Section 15300.2 of the CEQA guidelines can be made; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Use Permit to allow development within the Carmel Valley Floodplain;
  - b. After-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and
  - c. Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, pool and spa, outdoor fireplace and patios.

A draft resolution, including findings and evidence, is attached for consideration (**Exhibit A**).

Staff recommends approval subject to nine conditions.

#### **PROJECT INFORMATION:**

**Project Owner:** 12 Ronnoco LLC

**Agent:** Gail Hatter, Lombardo & Associates

**APNs:** 185-021-026-000

**Zoning:** Low Density Residential, 2.5 acres per unit, with a Design Control, Site Plan Review, Residential Allocated Zoning overlay or "LDR/2.5-D-S-RAZ"

**Parcel Size:** 2.5 acres

**Flagged and Staked:** Yes

**Project Planner:** Fionna Jensen, Senior Planner

(831) 796-6407 or jensenfl@co.monterey.ca.us



### SUMMARY:

The subject parcel is located in a residential neighborhood along Ronnoco Road in Carmel Valley and is situated approximately 365 feet from Carmel Valley Road. The site is currently developed with a 3,486 single-family residence and a detached un-permitted 1,000 square foot habitable structure. The proposed project includes an after-the-fact approval of the 1,000 square foot structure and an interior remodel to re-categorize the structure as non-habitable storage space. Additionally, the applicant proposes to construct a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, a pool and hot tub, and 192 linear feet of retaining walls. New outdoor space includes a fireplace and patio areas. The proposed improvements require approximately 488 cubic yards of cut to be hauled off-site. The property is served potable water by California American Water and has an existing on-site wastewater treatment system.

Based on staff analysis, the proposed project is consistent with all rules and regulations pertaining to zoning uses and any other applicable provisions of the 2010 Monterey County General Plan, Carmel Valley Master Plan, Zoning Ordinance (Title 21), and Monterey County Floodplain Regulations (Chapter 16.16).

### DISCUSSION:

#### Development Standards

The subject property is zoned for low density residential use, which allows development of structures accessory to any principal use, subject to the granting of an Administrative Permit in each case. The development standards for the LDR zoning district are identified in Title 21 section 21.14.060. Required setbacks for accessory non-habitable structures are 50 feet (front), 6 feet on the front one half of the property and 1 foot on the rear one-half of the property (sides), and 1 foot (rear). The proposed garages have front setbacks greater than 150 feet (measured from Ronnoco Road right of way), side setbacks greater than 14 feet, and rear setbacks greater than 200 feet. The existing 1,000 square foot building also meets the required setbacks. The maximum allowed height in the LDR districts for accessory non-habitable structures is 15 feet. The maximum heights of the proposed garages are 14 feet 10 inches while the existing habitable structure (to be converted to storage space) has a height of 13 feet. Therefore, as proposed, the project meets all required development standards.

#### Design Review

Staff conducted a site visit on June 12, 2023 to determine visibility of the proposed development. The proposed accessory structures will be sited approximately 450 feet from Carmel Valley Road. Existing mature vegetation between the subject property and Carmel Valley Road heavily screened the staking and flagging and resulting in partial visibility for less than a second. The proposed garages will have colors and materials consistent with the existing residence, which include vertical wood siding, gray stone wainscot, and dark bronze metal roofing. These colors and materials are consistent with the rural character of Carmel Valley and are compatible and appropriate for the immediate surrounding residential area. The project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

#### Development within the Carmel Valley Floodplain



None of the proposed development is located within the Carmel River regulatory floodway. However, a majority of the property is located within the floodplain (Zone AE) and as such, the proposed garages, sports court and other site improvements are subject to the County's Carmel Valley Floodplain Regulations (Chapter 16.16 of County Code). The property's base flood elevation (BFE) is 155.8 feet above mean sea level (FAMSL), which is 2 to 3 feet below the property's top bank. All proposed improvements will have finish floor elevations of approximately 154 to 154.5 FAMSL and are thus below the BFE. Monterey County Code section 16.16.050.C requires elevating all new construction at least one foot above the BFE, however, because proposed structures are non-habitable, these structures only need to allow pass through of water, be floodproofed to a minimum of one foot above BFE, and have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy (MCC section 16.16.050.C(3)). The proposed structures have been designed to meet the flood proofing and hydrostatic and hydrodynamic load requirements. The proposed development and associated building and grading materials will increase the property's on-site materials volume by approximately 11,587 cubic feet. Per the project engineer, to off-set this increased volume, the project has been designed to balance or increase the floodplain storage volume by excavating and hauling off-site approximately 429 cubic yards of dirt. Additionally, all development is sufficiently setback from the top of bank. As a result, all improvements are not subject to erosion and will not reduce the capacity of the river by either increasing stream velocities or diverting the flow. Therefore, as proposed, the project, as designed, meets the requirements of Title 21 section 21.64.130 and Title 16 section 16.16.050.J. See **Exhibit B**.

#### Violations

Staff has reviewed historical Google Earth Imagery, FEMA lidar mapping, and HCD -Planning and Building Services Department records and concluded that although the structure appears in its current configuration prior to 2016, it also appears that the 1,000 detached habitable structure was demolished or re-built in approximately 2018. The structure is located within the Carmel River Floodplain and would have required the issuance of an Administrative Permit, Design Approval, and Use Permit. However, HCD records indicate that the Applicant/Owner never obtained a discretionary permit or construction permit. The structure is currently classified as a habitable structure (two bedrooms, a kitchen, and bathroom). However, the structure is not elevated one foot above the BFE and is in conflict with the requirements of Monterey County Code Chapter 16.16. Therefore, the Applicant/Owner is proposing to convert the structure back into storage (non-habitable). The Applicant/Owner submitted photographic evidence demonstrating that the detached structure had the same natural fading of the wood exterior as the main residence and thus argued that the structure was developed at the same time as the residence. Additionally, a neighbor submitted written correspondence indicating that the structure has been in place since they moved to Ronnoco Road in 1986. There is no evidence indicating that the detached structure was considered concurrently with the main residence, which was constructed in approximately 1978. Further, the submitted photos show the detached structure as a garage or workshop, not a habitable structure as it currently exists. To clean up the record and rectify the land use violation, HCD-Planning staff recommended that the Applicant/Owner seek after-the-fact approval of the structure. As such, the project includes an after-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 non-habitable structure. Issuance of the proposed entitlements will partially bring this property into conformance. The Applicant/Owner will need to obtain a construction permit to allow the necessary internal remodel. No other active code violations exist on the property.



CEQA:

California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts accessory structures and conversion of small structures. The project includes construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, a pool and hot tub, 192 linear feet of retaining walls, and conversion of an existing 1,000 square foot habitable structure into non-habitable space. No evidence of significant adverse environmental effects were identified during staff review of the development application.

OTHER AGENCY INVOLVEMENT:

Housing and Community Development - Environmental Services  
Housing and Community Development - Engineering Services  
Environmental Health Bureau  
Monterey County Regional Fire Protection District

LUAC:

The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on May 15, 2023 considered the proposed project and continued the item to the June 20, 2023 meeting to allow time for staff to address raised concerns relating to past code violations and potential impacts to Ronnoco Road. On June 20, 2023, the LUAC voted 5 to 0, with one members absent, to support the project as proposed. No additional concerns were raised during this meeting. See **Exhibit C**.

Prepared by: Fionna Jensen, Senior Planner, x6407  
Reviewed and Approved by: Anna Quenga, AICP, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution, including:

- Conditions of Approval
- Site Plan, Floor Plans, and Elevations

Exhibit B - Floodplain letter

Exhibit C - Carmel Valley LUAC Minutes (May 15, 2023 and June 20, 2023)

Exhibit D - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD - Engineering Services; Environmental Health Bureau; Fionna Jensen, Senior Planner; Anna Quenga, AICP, Principal Planner; 12 Ronnoco LLC, Property Owner; Gail Hatter, Agent; The Open Monterey Project (Molly Erickson); LandWatch; Laborers International Union of North America (Lozeau Drury LLP) Project File PLN210269





# County of Monterey Zoning Administrator

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Current Status: Agenda Ready

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### RECOMMENDATION:

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Fionna Jensen, Senior Planner; Anna Quenga, AICP, Principal Planner; 12 Ronnoco LLC,  
Property Owner; Gail Hatter, Agent; The Open Monterey Project (Molly Erickson);  
LandWatch; Laborers International Union of North America (Lozeau Drury LLP) Project File  
PLN210269



# Exhibit A



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## DRAFT RESOLUTION

### Before the Monterey County Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**12 RONNOCO LLC (PLN210269)**

#### **RESOLUTION NO. 23--**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Finding the project qualifies as a Class 1 and Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15301 and no exceptions pursuant to Section 15300.2 of the CEQA guidelines can be made; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Use Permit to allow development within the Carmel Valley Floodplain;
  - b. After-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and
  - c. Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, pool and spa, outdoor fireplace and patios.

[12 RONNOCO LLC, 12 Ronnoco Road, Carmel Valley, Carmel Valley Master Plan, APN: 185-021-026-000]

**The 12 Ronnoco LLC application (PLN210269) came on for a public hearing before the Monterey County Zoning Administrator on October 26, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.



- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
  - Carmel Valley Master Plan;
  - Regulations for Flood Plains (Chapter 16.16); and
  - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC).

- b) Allowed Use. The property is located at 12 Ronnoco Road, Carmel Valley (Assessor's Parcel Number [APN]: 185-021-026-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential, 2.5 acres per unit, with a Design Control, Site Plan Review, Residential Allocated Zoning overlay or "LDR/2.5-D-S-RAZ," which allows structures accessory to any permitted uses, subject to the granting of an Administrative Permit in each case. Pursuant to Monterey County Code (MCC) sections 21.44.030.A and 21.45.040.B, all development located in the Design Control ("D") and Site Plan Review ("S") zoning districts are subject to a Design Approval and Administrative Permit, respectively. The proposed project includes construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, a pool and hot tub, 192 linear feet of retaining walls, and 433 cubic yards of cut. The site is currently developed with a single-family residence and a detached un-permitted 1,000 habitable structures. The proposed project includes an after-the-fact approval of the structure (see Finding No. 4 and supporting evidence) and an interior remodel to re-categorize the structure as non-habitable storage space. Therefore, the proposed project components are considered allowed uses that are accessory to the permitted (main residence) use. Additionally, the proposed project is located within 200 feet of the Carmel Riverbank and therefore, pursuant to MCC section 21.64.130, the project requires the granting of a Use Permit.
- c) Lot Legality. The subject property (APN: 185-021-026-000) is approximately 2.5 acres in size and identified in its current configuration and under separate ownership as a Parcel 3 in a Record of Survey, recorded on October 8, 1971. The subject residential property is currently developed with a single-family dwelling (Building Permit No. G-34140), which was remodeled under Building Permit No. 21CP00799. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The subject property is located within an area designated as visually "sensitive" and "highly sensitive" (Figure 14 of the 2010 General Plan). However, proposed development is located



within the visually sensitive portion of the property. The site is currently developed with a 3,486 square foot main residence and a 1,000 square foot habitable storage structure, which will be converted into non-habitable space. The proposed project includes construction of two detached garages and a sports court, and after-the-fact approval of the 1,000 square foot storage building. The project is consistent with Policy CV-1.20 of the Carmel Valley Master Plan in that the proposed materials and colors (vertical wood siding, gray stone wainscot, and dark bronze metal roofing) are consistent with the rural character of the valley and are compatible and appropriate for the immediate surrounding residential area. Additionally, the proposed development has been sited in a manner that minimizes disruption of views from existing homes. Staff conducted a site visit on June 12, 2023 to determine visibility of the proposed development. The site is located approximately 365 feet directly south of Carmel Valley Road. However, due to existing mature vegetation between the subject property and Carmel Valley Road, the project's staking and flagging was only partially visible for less than a second. Condition No. 7 requires installation of down-lit, unobtrusive lighting. Therefore, as proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- e) Development Standards. As proposed, the project meets all required development standards. The development standards for the LDR zoning district are identified in Title 21 section 21.14.060. Required setbacks for accessory non-habitable structures are 50 feet (front), 6 feet on the front one half of the property and 1 foot on the rear one-half of the property (sides), and 1 foot (rear). This property does not abut Carmel Valley Road and therefore Carmel Valley Master Plan Policy CV-3.1 does not apply in this case. Although sited to meet the required setbacks, the proposed sports court is not considered a structure. The proposed garages have front setbacks greater than 150 feet (measured from Ronnoco Road right of way), side setbacks greater than 14 feet, and rear setbacks greater than 200 feet. The existing 1,000 square foot building also meets the required setbacks. The maximum allowed height in the LDR districts for accessory non-habitable structures is 15 feet. The maximum heights of the proposed garages are 14 feet 10 inches while the existing habitable structure (to be converted to storage space) has a height of 13 feet. Condition No. 6 has been applied to ensure that the proposed garages do not exceed the allowable height limitation.

In the LDR district, the allowed building site coverage maximum is 25 percent. The property is approximately 2.51 acres, which allows a building site coverage of 27,333.9 square feet. The existing site coverage, which is limited to the main residence, detached habitable structure, and various decks and patios, is 4,423 square feet. As proposed, the resulting site coverage will be 7,414 square feet. Per Title 21 section 21.06.250, the proposed sports court does not contribute to the property's building site coverage. Therefore, as proposed and conditioned, the project conforms with the applicable development standards of the zoning district.



- f) Cultural Resources. According to Monterey County Geographical Information System (GIS), the property is located in an area of high and moderate archaeological sensitivity but not within 250 feet of a known archaeological resource. All proposed development is located within the portion of the property within moderate sensitivity. An archaeological report (LIB210271) was prepared for the site and concluded that there is no surface evidence of potentially significant archaeological resources. Although the project area lies in close proximity to the Carmel River, no shell, stone, or other commonly occurring cultural artifacts were identified within the project footprint. The report did not recommend additional archaeological testing. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. Thus, as proposed, designed, and conditioned, the proposed project minimizes and avoids potential impacts to archaeological resources.
- g) Riparian Corridor. Carmel Valley Master Plan Policy 3.8 requires that all development to be sited to protect riparian vegetation, minimize erosion, and preserve the visual aspects of the Carmel River. However, in places where the riparian vegetation no longer exists, it should be planted to a width of 150 feet from the riverbank. A riparian corridor, consistent in width (approximately 50 feet from the water) exists on this property and is contiguous in this pattern with neighboring properties along the river. Planting riparian vegetation to at a width of 150 feet from the river on this property would create an anomaly in the riparian corridor on this property only and it would be inconsistent with the conditions and treatment on similarly situated properties. The project will not result in impacts to the exiting riparian corridor as all proposed development and associated grading is within previously developed or utilized area. Approximately 5,000 square feet of riparian woodland restoration along the property's riverbank was authorized under Planning File No. PLN220331 to partially clear Code Enforcement Case No. 20CE00242. Therefore, the proposed project is sited to protect the riparian corridor, avoid erosion and preserve the Carmel River.
- h) Land Use Advisory Committee (LUAC) Review. Based on the Board of Supervisors Guidelines, the project was referred to the Carmel Valley LUAC for review because the project involves the granting of a Design Approval at a public hearing. The LUAC, at a duly-noticed public meeting on May 15, 2023 considered the proposed project and continued the item to the June 20, 2023 meeting to allow time for staff to address raised concerns relating to past code violations and potential impacts to Ronnoco Road. On June 20, 2023, the LUAC voted 5 to 0, with one members absent, to support the project as proposed. No additional concerns were raised during this meeting.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210269.



2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Monterey County Regional Fire Protection District (FPD) and the Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) The following technical reports have been prepared:
    - “Preliminary Cultural Resources Reconnaissance” (LIB210271) prepared by Susan Morley, Marina, CA on June 8, 2021;
    - “Biological Report” (LIB210272) prepared by Pat Regan on October 20, 2021;
    - “Geotechnical Investigation” (LIB210273) prepared by Robert Hasseler, Watsonville, CA, on January 24, 2023.
    - Geology (Fault Evaluation) Report” (LIB230112) prepared by Chris Hardwood, Ben Lomond, CA, on October 30, 2022.
    - “Carmel River Floodplain” letter prepared by Jennifer Rudolph Monterey, CA, on May 17, 2023.Upon independent review, staff concurs with the conclusions of the reports. There are no physical or environmental constraints that render the site unsuitable for the proposed project.
  - c) Staff conducted a site inspection on June 12, 2023, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210269.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Monterey County Regional FPD, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are provided. The property will continue to be served potable water by Cal-Am. An existing on-site wastewater treatment system (OWTS) serves the existing residence. The Environmental Health Bureau reviewed the proposed project and existing OWTS and raised no concerns.



- c) Staff conducted a site inspection on June 12, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210269.

**4. FINDING:** **NO VIOLATIONS** - The subject property is not in compliance with all rules and regulations pertaining to zoning uses but is in compliance with subdivision and other provisions of the applicable zoning ordinance (Title 21). The approval of this permit will correct the violation and bring the property into compliance.

**EVIDENCE:** a) Staff reviewed Monterey County HCD - Planning and Building Services Department records and found no active code enforcement case. However, upon review of historical Google Earth Imagery, FEMA lidar mapping, and HCD -Planning and Building Services Department records, it appears that the 1,000 detached habitable structure was constructed or re-built in approximately 2018 and never received a discretionary permit or construction permit. HCD-Planning staff received evidence insinuating that the structure was constructed with the main residence in 1987. The structure's permitting history is unclear. The structure meets required setbacks, height, and floodplain requirements for non-habitable structures (flow through vents). Therefore, an after-the-fact Administrative Permit and Design Approval have been applied for.

b) Approval of this project will correct this violation. When implemented, and upon final inspection of the associated construction permit, the project will bring the subject property into compliance with all rules and regulations pertaining to the property and will remove the existing violations.

**5. FINDING:** **DEVELOPMENT WITHIN CARMEL RIVER FLOODPLAIN** – The project is not located in the mapped floodway or floodway fringe and sufficient setbacks and measures to avoid erosion are proposed.

**EVIDENCE:** a) The project includes development within the 200 feet of the Carmel River top of bank and therefore, is subject to Monterey County Code Chapter 16.16 – *Regulations for Floodplains in Monterey County* and Monterey County Code Chapter 21.64.130 – *Regulations for Land Use in the Carmel Valley Floodplain*. Pursuant to MCC 21.64.130.D.2, development within 200 feet of the riverbank is prohibit except where it can be shown that the development will accommodate sufficient setbacks to avoid erosion. The proposed project would not meet the exclusions listed in MCC 21.64.130.G and therefore requires the granting of a Use Permit. The Zoning Administrator is the appropriate authority to grant a Use Permit.

b) The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, effective date April 2, 2009, identifies the Base Flood Elevation (BFE) as 155.8 feet above mean sea level (FAMSL) (NAVD 88) for the portion of the Carmel River adjacent to the subject property. No development is located within the Carmel River regulatory floodway. However, a majority of the property is located within the



floodplain (Zone AE). The BFE is 2 to 3 feet below the top of the riverbank. All proposed improvements will have finish floor elevations of approximately 154 to 154.5 FAMSLS and are thus below the BFE. Monterey County Code section 16.16.050.C requires elevating all new construction at least one foot above the BFE, or 156.8 FAMSLS in this case. However, because proposed structures are non-habitable, these structures only need to allow pass through of water, be floodproofed to a minimum of one foot above BFE, and have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. As detailed in the attached plan set, all proposed structures have been designed with flood proofing techniques. The proposed development and associated building and grading materials will increase the property's on-site materials volume by approximately 11,587 cubic feet. As recommended by the project engineer, the proposed sports court and surrounding area will be graded/developed 2.8 to 1.8 feet below BFE (153-154 FAMSLS) and will off-set the increase in on-site volume. Approximately 429 cubic yards of soils will be exported off-site. This excavated area will result in equal or greater floodplain storage. Additionally, all development is sufficiently setback from the top of bank. As a result, all improvements are not subject to erosion and will not reduce the capacity of the river by either increasing stream velocities or diverting the flow.

- c) The limits of grading are outside of the Carmel River's top of bank and associated riparian corridor, and the proposed development is setback further than the existing development. Grading and erosion control measures are incorporated by design and required by applicable Monterey County Code. In accordance with MCC 21.64.130, the proposed project is sufficiently setback from the top of the bank and will not result in any project related or flood related erosion. Additionally, pursuant to MCC 16.16.050.J, due to the project's location outside of the Carmel River Floodway, the proposed development will not reduce the capacity of the river or watercourse and will be protected from flow related erosion and flow related erosion hazards. Therefore, the project will not result in detrimental impacts to health, safety, peace, morals, comfort and general welfare of the individuals residing at the subject property in the surrounding residential properties.

**6. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction of small accessory structures including garages, patios, and swimming pools, and the conversion of existing structures.
  - b) As proposed, the project consists of the construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, a pool and hot tub, 192 linear feet of retaining walls. The project also includes conversion of an



existing habitable structure into non-habitable storage structure.

Therefore, the project qualifies as a Class 3 Categorical Exemption.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development that will adversely impact views from a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. The proposed development will be heavily screen from Carmel Valley Road and will not create an adverse visual impact. All proposed development is sited appropriately and is adequately setback from the Carmel River and adjacent riparian corridor. Although proposed development is located within Carmel River floodplain, the development has been designed to comply with County of Monterey Floodplain Regulations (Chapter 16.16), will not impact the watercourse or be affected by flow related erosion or hazards, and will result in an equal or greater volume of floodplain storage. Additionally, there are no unusual circumstances because there is no feature or condition of the project that distinguishes the project from the exempt class.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on PLN210269.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210269.

**7. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** a) Planning Commission. Pursuant to Title 21 section 21.80.040, an appeal may be made to the Planning Commission by any public agency or person aggrieved by the discretionary decision of the Zoning Administrator.



## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Monterey County Zoning Administrator does hereby:

- 1) Finding the project qualifies as a Class 1 and Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15301 and no exceptions pursuant to Section 15300.2 of the CEQA guidelines can be made; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Use Permit to allow development within the Carmel Valley Floodplain;
  - b. After-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and
  - c. Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court, pool and spa, outdoor fireplace and patios.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of October, 2023.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

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This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.



Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021



# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210269

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation  
Monitoring Measure:**

Combined Development Permit consisting of: 1) Use Permit to allow development within the Carmel Valley Floodplain; 2) after-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and 3) Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court. The property is located at 12 Ronnoco Road, Carmel Valley (Assessor's Parcel Number 185-021-026-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD- Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or  
Monitoring  
Action to be  
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.



## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 185-021-026-000 on October 26, 2023. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD- Planning)

**Compliance or Monitoring** Prior to the issuance of grading and building permits, certificates of compliance, or  
**Action to be** commencement of use, whichever occurs first and as applicable, the Owner/  
**Performed:** Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or  
**Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring** The Owner/Applicant shall adhere to this condition on an on-going basis.

**Action to be** Prior to the issuance of grading or building permits and/or prior to the recordation of the  
**Performed:** final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.



#### 4. PW0006 - CARMEL VALLEY

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

**Compliance or Monitoring Action to be Performed:** Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

#### 5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

#### 6. PD041 - HEIGHT VERIFICATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.



## 7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.



## 8. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.



## 9. PD049 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.



GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.

2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2019 CALIFORNIA RESIDENTIAL BUILDING** CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY COUNTY ORDINANCE.

4. THE OWNER-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

6. THE OWNER-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

8. IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY - RMA PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

SHEET INDEX

- A0.0 TITLE (PROJECT DATA AND SITE LOCATION)
- A0.1 SITE-SPECIFIC NOTES AND CONDITIONS OF APPROVAL
- A1.0 PROPOSED SITE PLAN
- A2.0 GARAGE 1 PLAN AND ROOF PLAN
- A3.0 GARAGE 2 PLAN AND ROOF PLAN
- A4.0 STUDIO PLAN - EXISTING AND PROPOSED
- A5.0 GARAGE 1 EXTERIOR ELEVATIONS
- A6.0 GARAGE 2 EXTERIOR ELEVATIONS
- A7.0 EXISTING AND PROPOSED ROOF PLAN - STUDIO
- A8.0 EXISTING ELEVATIONS - STUDIO
- A9.0 PROPOSED ELEVATIONS - STUDIO
- A10.0 COLORS AND MATERIALS

EXISTING SITE PHOTOGRAPHS



PROJECT DATA

**SCOPE OF WORK:**  
REMODEL OF EXISTING HOUSE UNDER SEPARATE DESIGN APPROVAL AND BUILDING PERMIT. CONVERT 1000 SF HABITABLE ACCESSORY BUILDING TO NON-HABITABLE ACCESSORY STORAGE WITH ATTACHED COVERED PORCH. ADDITION OF 700 SF DETACHED GARAGE WITH COVERED PORCH/BREEZEWAY AND EXTERIOR FIREPLACE. ADDITION OF 725 SF DETACHED GARAGE. NEW LANDSCAPE WALLS, RAISED PATIO, IN-GROUND POOL, AND HOT TUB. NEW SPORT COURT (35' X 65') AND ASSOCIATED GRADING (EST. 433 CY CUT). 192 LINEAR FEET OF CONCRETE RETAINING/ PLANTER WALLS.

CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3 / U
FIRE SPRINKLERS:	YES
WATER:	CAL-AM
SEWER:	EXISTING SEPTIC
TREE REMOVAL:	NONE
GRADING:	433 CUBIC YARDS (CUT)

SITE COVERAGE CALCULATIONS:

LOT SIZE 2.51 ACRES

REFER TO SITE PLAN FOR DETAILED LOT COVERAGE CALCULATIONS.

EXISTING SITE COVERAGE

(E) MAIN HOUSE	1,885 SF
(E) GARAGE	700 SF
(E) STORAGE	613 SF
(E) DECKS, COVERED PATIO	1,855 SF

TOTAL (E) SITE COVERAGE	4,423 SF
TOTAL (N) SITE COVERAGE	7,414 SF

FLOOR AREA CALCULATIONS:

EXISTING FLOOR AREA (MAIN HOUSE) 2,786 SF (LIVING AREA)

FIRST FLOOR	1,885 SF
SECOND FLOOR	901 SF
(E) GARAGE	700 SF

(E) STORAGE 1,000 SF

PROPOSED FLOOR AREA (MAIN HOUSE) 4,068 SF (LIVING AREA)

FIRST FLOOR	2,585 SF
SECOND FLOOR (E)	901 SF
SECOND FLOOR (N)	582 SF
(E) GARAGE	---

(E) STORAGE 1,000 SF

(N) GARAGE 1	700 SF
(N) GARAGE 2	750 SF

PROPOSED FLOOR AREA 6,518 SF

PROJECT DATA

ADDRESS:	12 RONNOCO ROAD CARMEL VALLEY, CALIFORNIA 93924
A.P.N.	185-021-026-000
ZONING	LDR/2.5-D-S-RAZ 100' SETBACK FROM CARMEL VALLEY ROAD

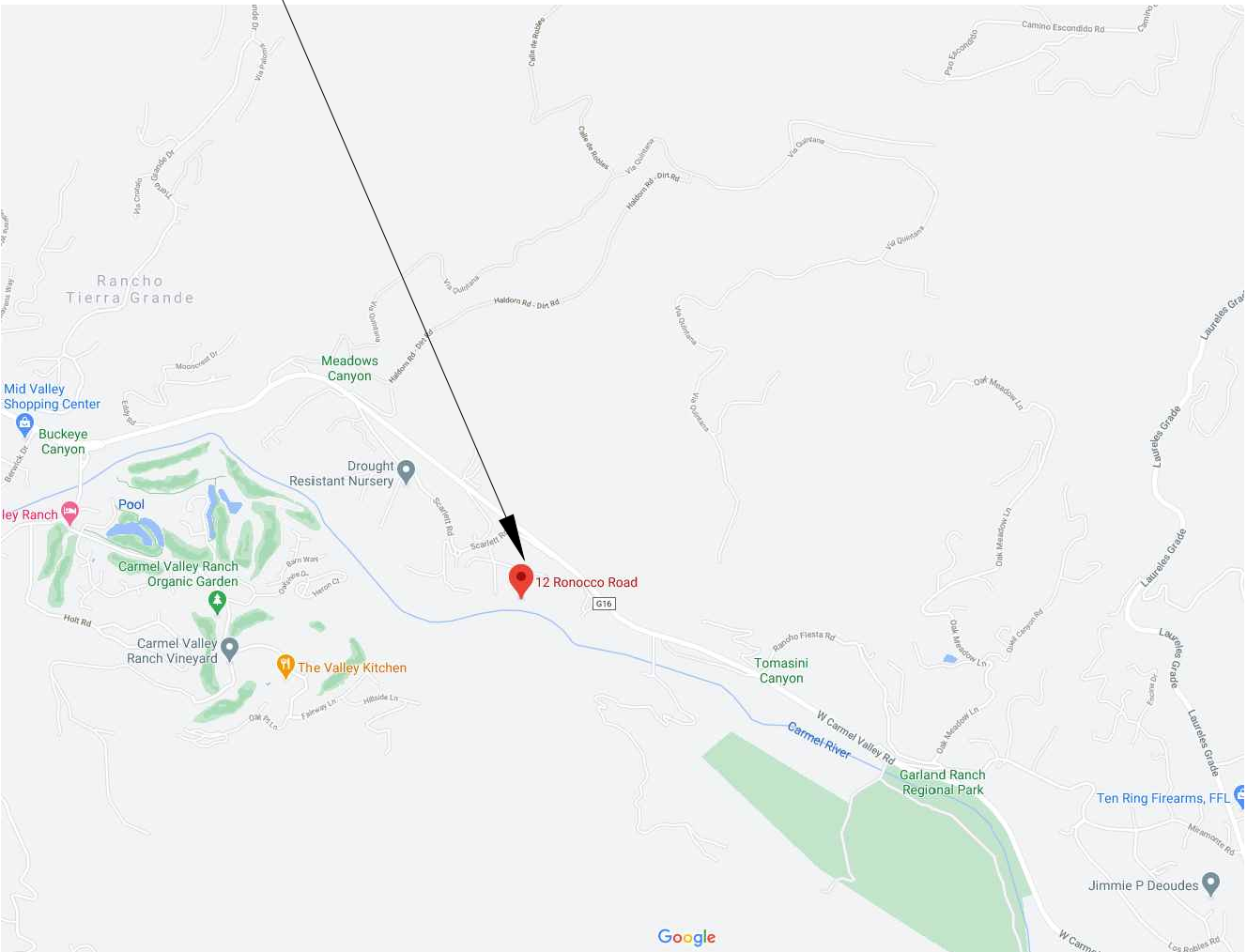
OWNER:	12 RONNOCO LLC 12 RONNOCO ROAD CARMEL VALLEY, CA 93924
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ARCHITECT:	ADAM JESELNICK ARCHITECT 24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejorch@gmail.com
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FLOOD PLAIN NOTE:

1. THE PARCEL IS LOCATED IN ZONE AE AND REGULATORY FLOODWAY, 100-YEAR FLOODPLAIN OF THE CARMEL RIVER, AND THE BASE FLOOD ELEVATION IS 155.8' (NAVD88) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 06053C-0345G
2. NEW CONSTRUCTION (GARAGES) SHALL BE CONSTRUCTED 1' ABOVE THE BASE FLOOD ELEVATION, OR SHALL BE CONSTRUCTED WITH FLOOD PROOFING MATERIALS AND FLOW THROUGH VENTING.

PROJECT LOCATION



CARMEL VALLEY

1 VICINITY MAP  
SCALE: N.T.S

ADAM JESELNICK  
ARCHITECT



12 RONNOCO LLC  
12 RONNOCO ROAD  
CARMEL VALLEY, CALIFORNIA 93924

TITLE SHEET

9/15/2022

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SITE-SPECIFIC NOTES

16.16.050 - PROVISIONS FOR FLOOD HAZARD REDUCTION.

K. SETBACKS. A SETBACK OF TWO HUNDRED (200) FEET FROM THE TOP OF THE BANK OF A RIVER AND FIFTY (50) FEET FROM THE TOP OF THE BANK OF A WATERCOURSE WILL BE ESTABLISHED WHERE ENCROACHMENT WILL BE PROHIBITED UNLESS IT CAN BE PROVEN TO THE SATISFACTION OF THE MONTEREY COUNTY WATER RESOURCES AGENCY THAT:

1. THE PROPOSED DEVELOPMENT WILL NOT SIGNIFICANTLY REDUCE THE CAPACITY OF EXISTING RIVERS OR WATERCOURSES OR OTHERWISE ADVERSELY AFFECT ANY OTHER PROPERTIES BY INCREASING STREAM VELOCITIES OR DEPTHS, OR DIVERTING THE FLOW; AND
2. THE PROPOSED NEW DEVELOPMENT WILL BE SAFE FROM FLOW RELATED EROSION AND WILL NOT CAUSE FLOW RELATED EROSION HAZARDS OR OTHERWISE AGGRAVATE FLOW RELATED EROSION HAZARDS.

DETACHED GARAGES AND ACCESSORY STRUCTURES.

"ACCESSORY STRUCTURES" USED SOLELY FOR PARKING (2 CAR DETACHED GARAGES OR SMALLER) OR LIMITED STORAGE (SMALL, LOW-COST SHEDS) MAY BE CONSTRUCTED SUCH THAT ITS FLOOR IS BELOW THE BASE FLOOD ELEVATION, PROVIDED THE STRUCTURE IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS.

USE OF THE ACCESSORY STRUCTURE SHALL BE LIMITED TO PARKING OR LIMITED STORAGE;

THE ACCESSORY STRUCTURE SHALL BE CONSTRUCTED OF FLOOD-RESISTANT MATERIALS TO A MINIMUM OF ONE (1) FOOT ABOVE THE BASE FLOOD ELEVATION;

THE ACCESSORY STRUCTURE SHALL BE ADEQUATELY ANCHORED TO PREVENT FLOTATION, COLLAPSE, AND LATERAL MOVEMENT;

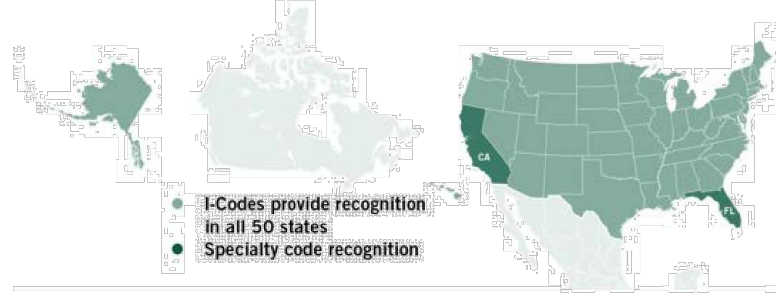
ANY MECHANICAL AND UTILITY EQUIPMENT IN THE ACCESSORY STRUCTURE SHALL BE ELEVATED OR FLOOD-PROOFED TO A MINIMUM OF ONE (1) FOOT ABOVE THE BASE FLOOD ELEVATION;

THE ACCESSORY STRUCTURE MUST COMPLY WITH FLOODPLAIN ENCROACHMENT PROVISIONS IN SUBSECTION 16.16.050 J.; AND

THE ACCESSORY STRUCTURE MUST BE DESIGNED TO ALLOW FOR THE AUTOMATIC ENTRY OF FLOODWATERS IN ACCORDANCE WITH SUBSECTION 16.16.050 D.

FLOOD-PROOFING MATERIALS

FLOW-THROUGH VENT SPECIFICATIONS



**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents / Foundation Flood Vents**

**REPORT HOLDER:**  
**SMART PRODUCT INNOVATIONS, INC.**

**EVALUATION SUBJECT:**  
**FREEDOM FLOOD VENT™ AUTOMATIC FOUNDATION FLOOD VENT: MODEL FFV-1608**

**1.0 EVALUATION SCOPE**  
**Compliance with the following codes:**  
■ 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code®* (IBC)  
■ 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code®* (IRC)  
**Properties evaluated:**  
■ Physical operation  
■ Water flow  
■ Weathering

**2.0 USES**  
The model FFV-1608 Freedom Flood Vent™ is used to equalize hydrostatic pressure on walls of enclosures subject to rising or falling floodwaters. With the cover removed, the model FFV-1608 also provides natural air ventilation.

**3.0 DESCRIPTION**  
**3.1 General:**  
The model FFV-1608 Freedom Flood Vent™ is an engineered mechanically operated in-wall flood vent (FV) that automatically allows floodwater to enter an enclosed area and exit. The FV is comprised of a polycarbonate frame with mounting flange and a polycarbonate horizontally pivoting door. When subjected to rising water, the model FFV-1608 Freedom Flood Vent™ door is activated and pivots to allow water and debris to flow in either direction to equalize hydrostatic pressure from one side of the enclosure to the other. The FV features a removable polycarbonate cover. The FV door will activate and pivot when subjected to rising water with or without the polycarbonate cover installed.

**3.2 Engineered Opening:**  
The FV complies with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/ SEI 24-14 (2021, 2018 and 2015 IBC and IRC) [Section 2.6.2.2 of ASCE/ SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/ SEI 24, Freedom Flood Vent™ FVs must be installed in accordance with Section 4.0 below. See Table 1 for vent size and maximum allowable area coverage for a single vent.

**4.0 DESIGN AND INSTALLATION**  
The model FFV-1608 Freedom Flood Vent™ is designed to be installed into walls or overhead doors of existing or new construction. Installation of the vent must be in accordance with the manufacturer's instructions, the applicable code, and this report. In order to comply with the engineered opening design principle noted in Sections 2.7.2.2 and 2.7.3 of ASCE/ SEI 24-14 (2021, 2018 and 2015 IBC and IRC) [Section 2.6.2.2 of ASCE/ SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Freedom Flood Vent™ must be installed as follows:  
■ With a minimum of two openings on different sides of each enclosed area.  
■ With a minimum of one FV for every 250 square feet (23.2 m²) of enclosed area.  
■ Below the base flood elevation.  
■ With the bottom of the vent located a maximum of 12 inches (305.4 mm) above the higher of the final interior grade or floor and the finished exterior grade immediately under each opening.

**5.0 CONDITIONS OF USE**  
The Freedom Flood Vent™ described in this report complies with, or is a suitable alternative to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:  
**5.1** The model FFV-1608 Freedom Flood Vent™ unit must be installed in accordance with this report, the applicable code and the manufacturer's published installation instructions. In the event of a conflict, the instructions in this report shall govern.  
**5.2** The model FFV-1608 Freedom Flood Vent™ unit must not be used in place of "breakaway walls" in coastal

TABLE 1—FREEDOM FLOOD VENT™			
MODEL NAME	MODEL NUMBER	MODEL SIZE	COVERAGE (sq. ft.)
Freedom Flood Vent™	FFV-1608	15½" X 8½"	250

For SIF: 1 inch = 25.4 mm

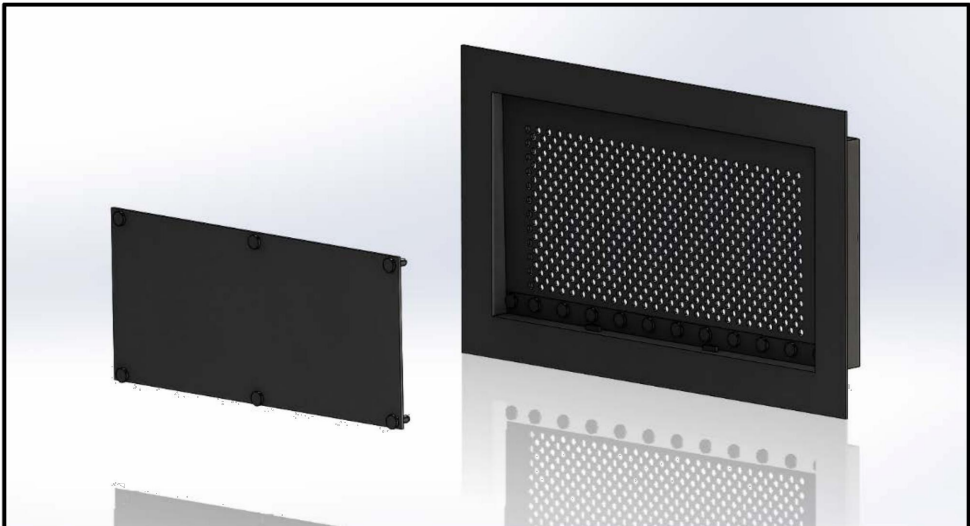


FIGURE 1—MODEL FFV-1608 FREEDOM FLOOD VENT™: SHOWN WITH COVER REMOVED



FIGURE 2—MODEL FFV-1608 FREEDOM FLOOD VENT™: SHOWN WITH FLOOD DOOR PIVOTED OPEN



**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents / Foundation Flood Vents**

**REPORT HOLDER:**  
**SMART PRODUCT INNOVATIONS, INC.**

**EVALUATION SUBJECT:**  
**FREEDOM FLOOD VENT™ AUTOMATIC FOUNDATION FLOOD VENT: MODEL FFV-1608**

**1.0 REPORT PURPOSE AND SCOPE**  
**Purpose:**  
The purpose of this evaluation report supplement is to indicate that the Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608, described in ICC-ES evaluation report ESR-4332, has also been evaluated for compliance with codes noted below.  
**Applicable code editions:**  
■ 2019 *California Building Code* (CBC)  
For evaluation of applicable chapters adopted by the California Office of Statewide Planning and Development (OSHPD) and Division of State Architect (DSA), see Sections 2.1.1 and 2.1.2 below.  
■ 2019 *California Residential Code* (CRC)

**2.0 CONCLUSIONS**  
**2.1 CBC:**  
The Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608, described in Sections 2.0 through 7.0 of the evaluation report ESR-4332, complies with CBC Chapter 12 provided the design and installation are in accordance with the 2018 *International Building Code®* (IBC) provisions noted in the evaluation report and the additional requirements of CBC Chapters 12 and 16, as applicable.  
**2.1.1 OSHPD:** The applicable OSHPD Sections and Chapters of the CBC are beyond the scope of this supplement.  
**2.1.2 DSA:** The applicable DSA Sections and Chapters of the CBC are beyond the scope of this supplement.  
**2.2 CRC:**  
The Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608, described in Sections 2.0 through 7.0 of the evaluation report ESR-4332, complies with the 2019 CRC, provided the design and installation are in accordance with the 2018 *International Residential Code®* (IRC) provisions noted in the evaluation report.  
This supplement expires concurrently with the evaluation report, reissued March 2022.



**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents / Foundation Flood Vents**

**REPORT HOLDER:**  
**SMART PRODUCT INNOVATIONS, INC.**

**EVALUATION SUBJECT:**  
**FREEDOM FLOOD VENT™ AUTOMATIC FOUNDATION FLOOD VENT: MODEL FFV-1608**

**1.0 REPORT PURPOSE AND SCOPE**  
**Purpose:**  
The purpose of this evaluation report supplement is to indicate that Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608, described in ICC-ES evaluation report ESR-4332, has also been evaluated for compliance with the codes noted below.  
**Applicable code editions:**  
■ 2020 *Florida Building Code—Building*  
■ 2020 *Florida Building Code—Residential*

**2.0 CONCLUSIONS**  
The Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608, described in Sections 2.0 through 7.0 of the evaluation report ESR-4332, complies with the *Florida Building Code—Building* and the *Florida Building Code—Residential*, provided the design requirements are determined in accordance with the *Florida Building Code—Building* and the *Florida Building Code—Residential*, as applicable. The installation requirements noted in ICC-ES evaluation report ESR-4332 for the 2018 *International Building Code®* (IBC) meet the requirements of *Florida Building Code—Building* and the *Florida Building Code—Residential*, as applicable.  
Use of the Freedom Flood Vent™ Automatic Foundation Flood Vent: Model FFV-1608 has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.  
For products falling under Florida Rule 61G20-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official, when the report holder does not possess an approval by the Commission).  
This supplement expires concurrently with the evaluation report, reissued March 2022.

ADAM JESELNICK  
ARCHITECT



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12 RONNOCO ROAD  
CARMEL VALLEY, CALIFORNIA 93924

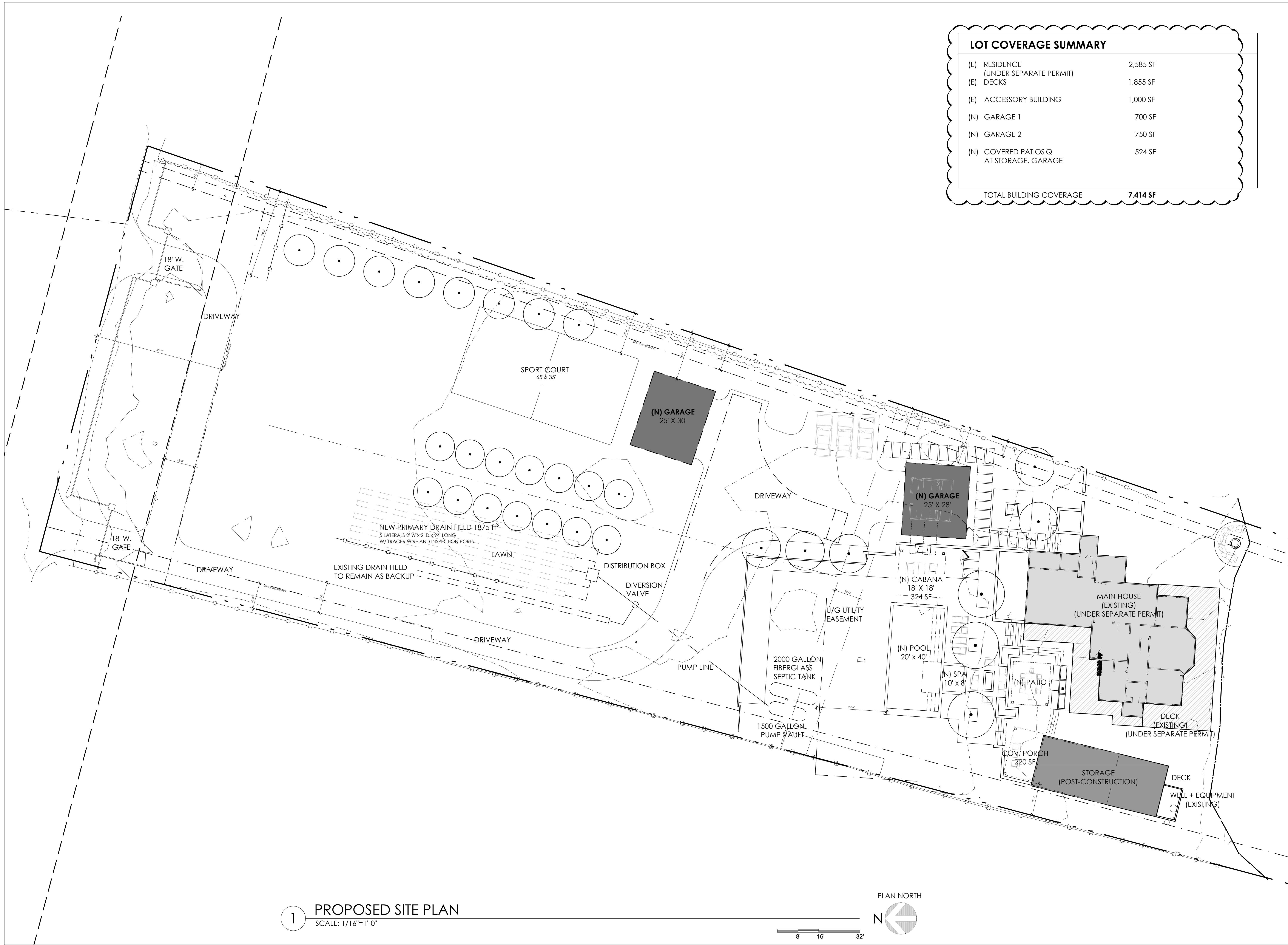
SITE-SPECIFIC NOTES  
AND CONDITONS

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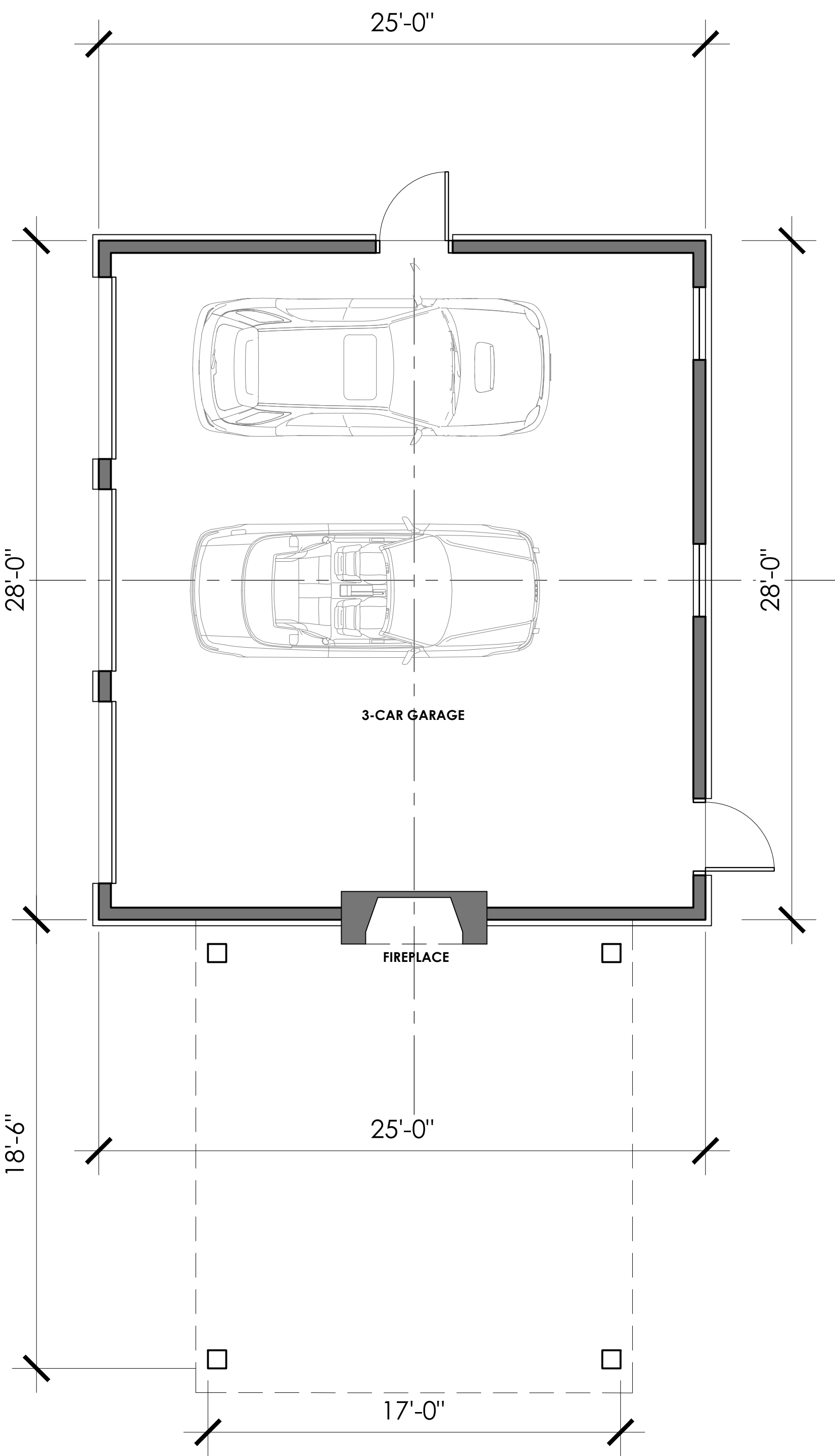
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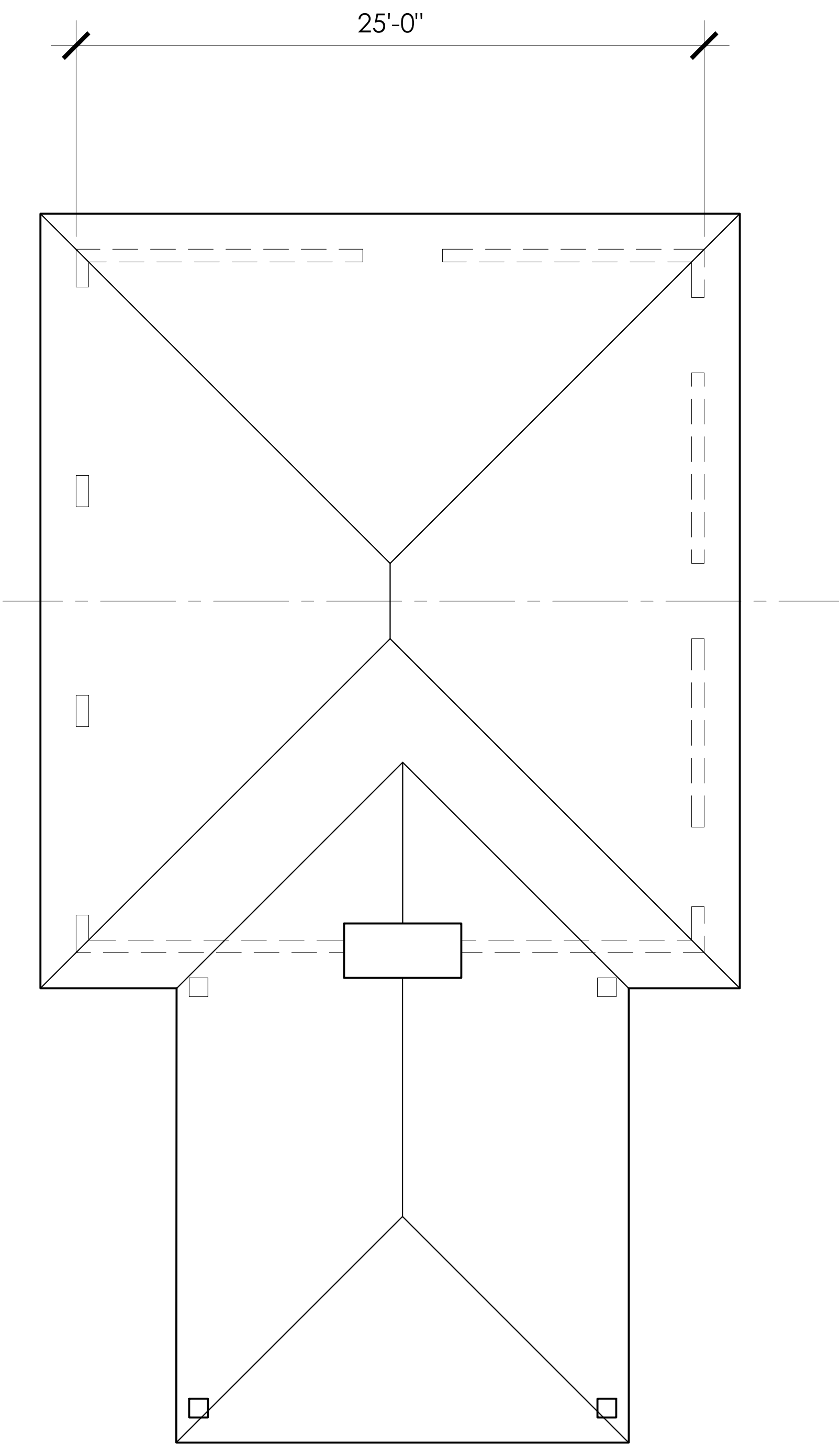
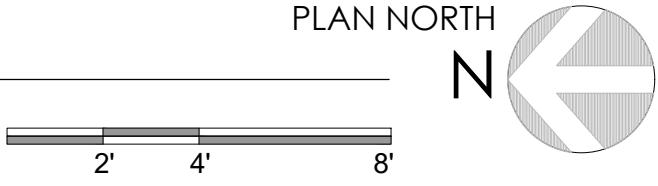




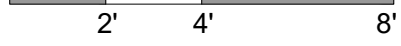
FOUNDATION NOTE: 12" CONCRETE MAT SLAB PER CIVIL ENGINEERING PLAN.  
REFER TO GEOTECHNICAL REPORT BY HARO KASUNICH FOR ADDITIONAL INFORMATION,  
SUBGRADE PREPARATION, AND FURTHER RECOMMENDATIONS.



1 PROPOSED FLOOR PLAN - GARAGE 1  
SCALE: 1/4"=1'-0"

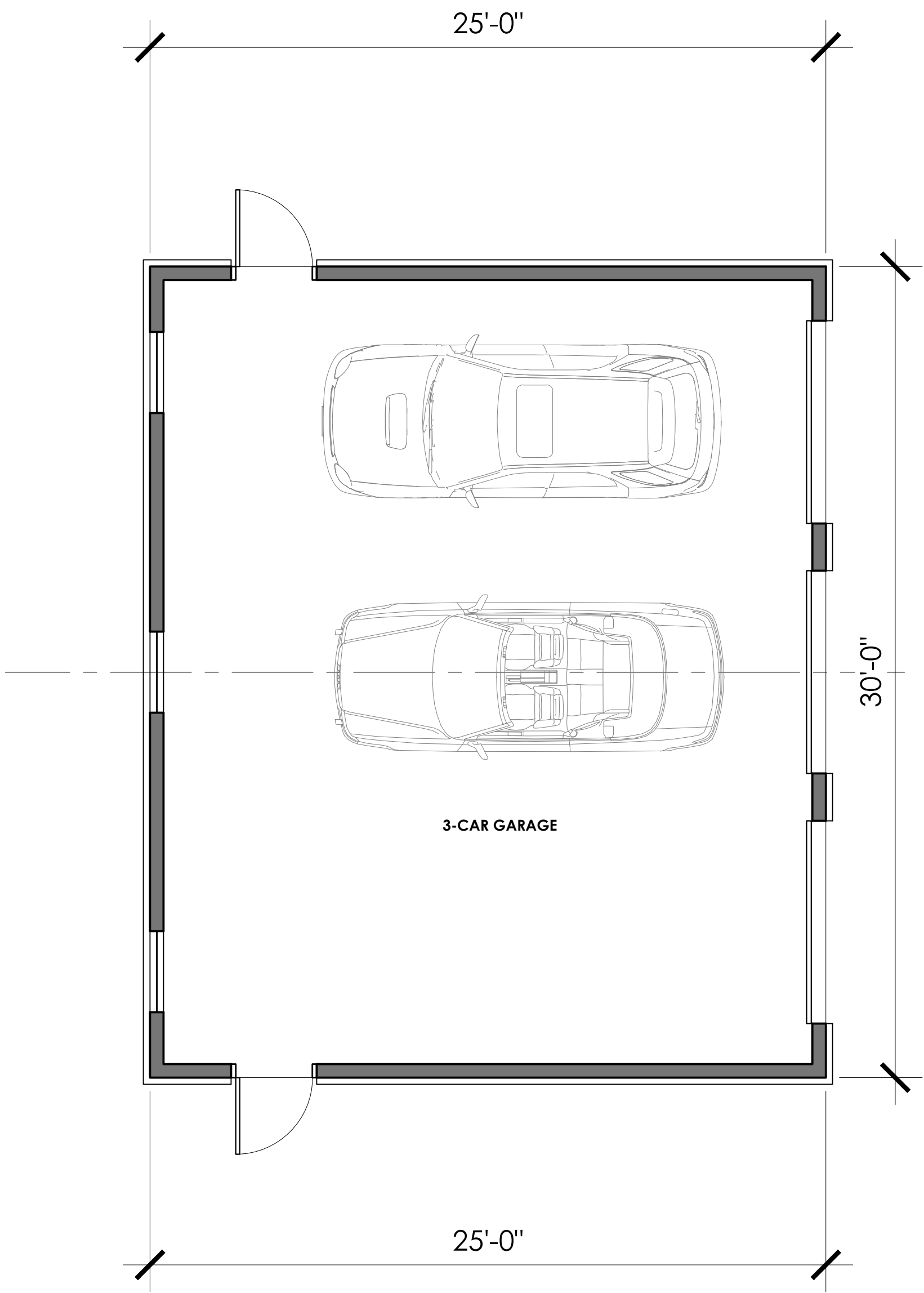


2 PROPOSED ROOF PLAN - GARAGE 1  
SCALE: 1/4"=1'-0"

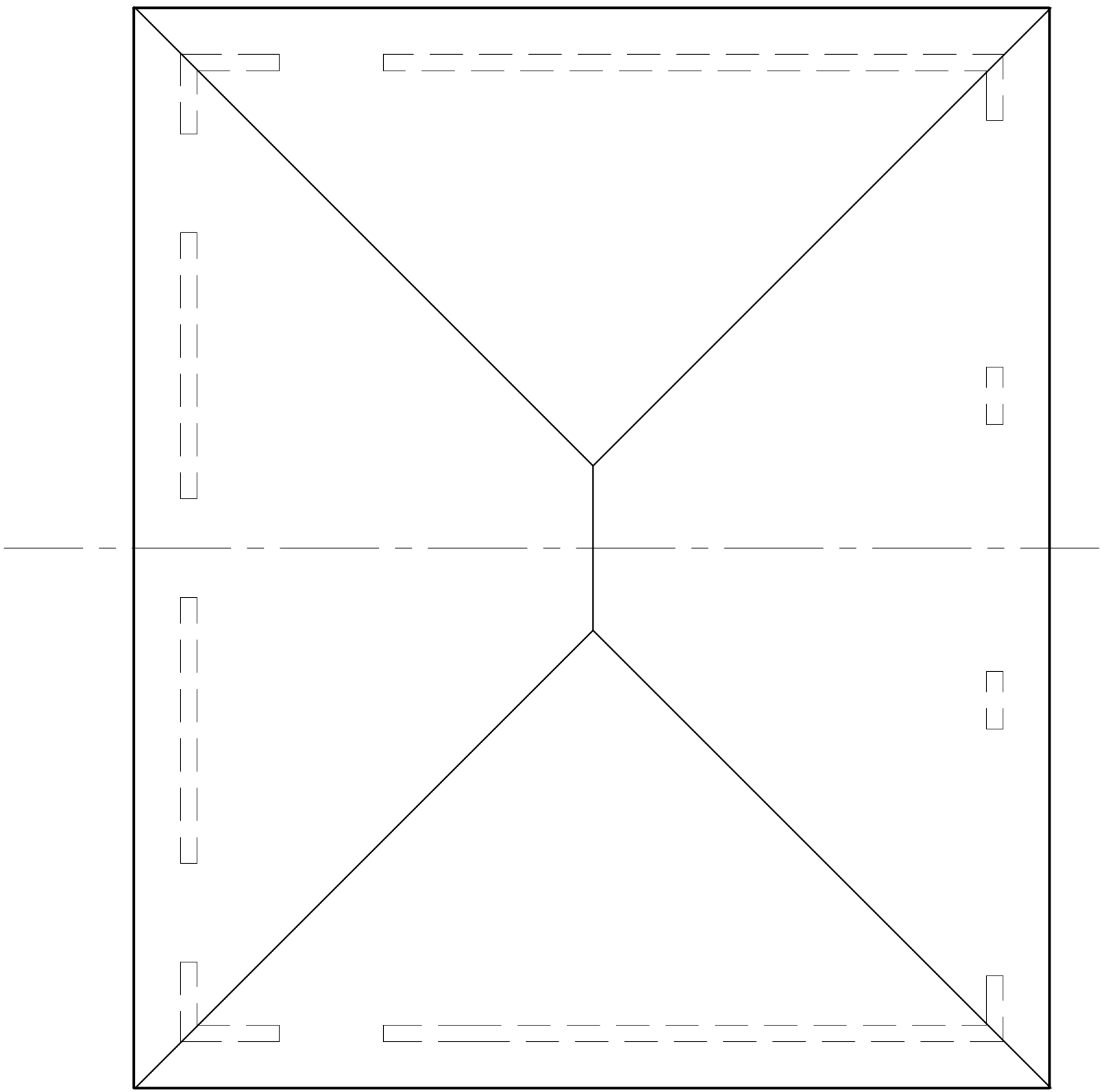




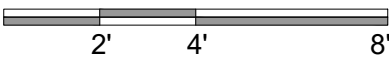
FOUNDATION NOTE: 12" CONCRETE MAT SLAB PER CIVIL ENGINEERING PLAN.  
REFER TO GEOTECHNICAL REPORT BY HARO KASUNICH FOR ADDITIONAL INFORMATION,  
SUBGRADE PREPARATION, AND FURTHER RECOMMENDATIONS.



1 PROPOSED FLOOR PLAN - GARAGE 2  
SCALE: 1/4"=1'-0"



2 PROPOSED ROOF PLAN - GARAGE 2  
SCALE: 1/4"=1'-0"



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ARCHITECT



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GARAGE 2 -  
FLOOR AND  
ROOF PLANS

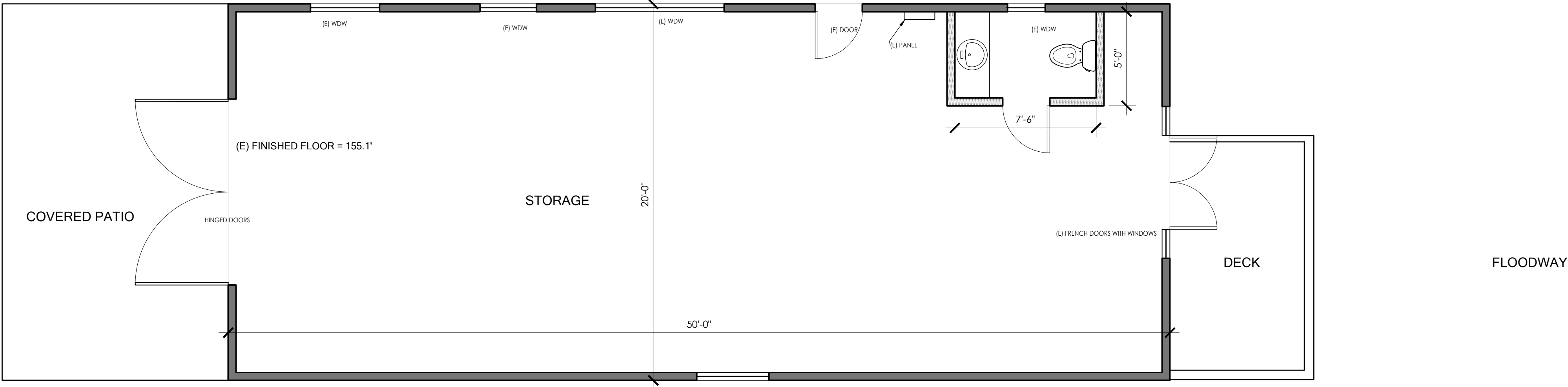
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1/4" = 1'-0"

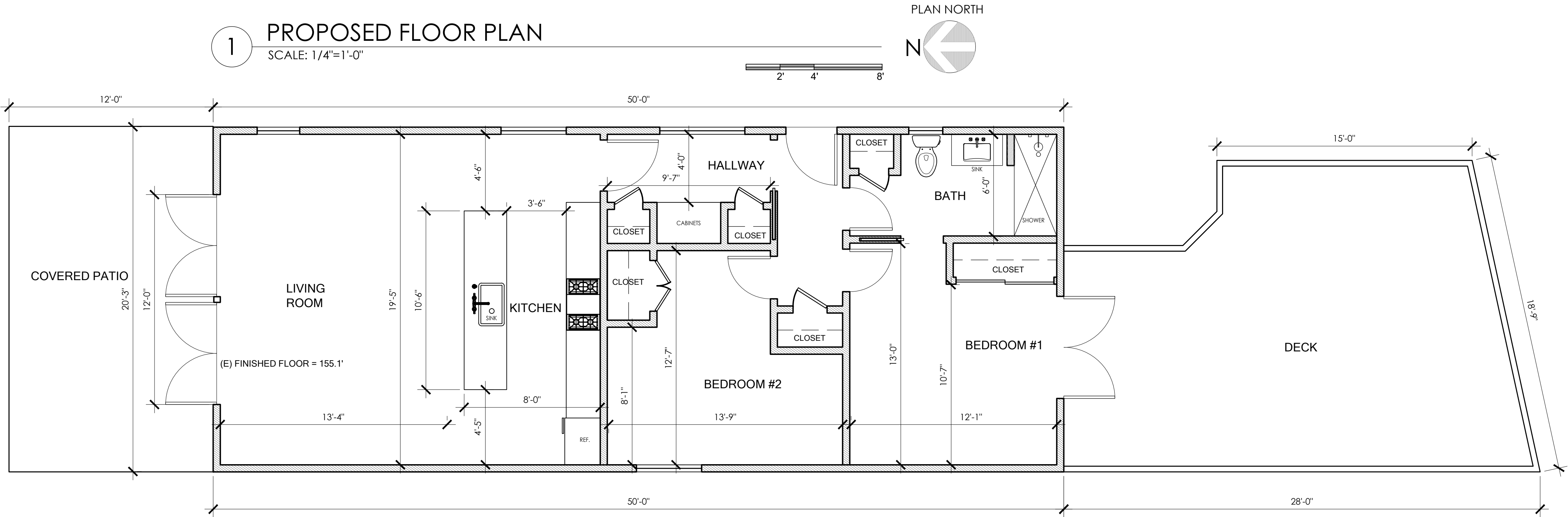
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FOUNDATION NOTE: 12" CONCRETE MAT SLAB PER CIVIL ENGINEERING PLAN,  
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SUBGRADE PREPARATION, AND FURTHER RECOMMENDATIONS.

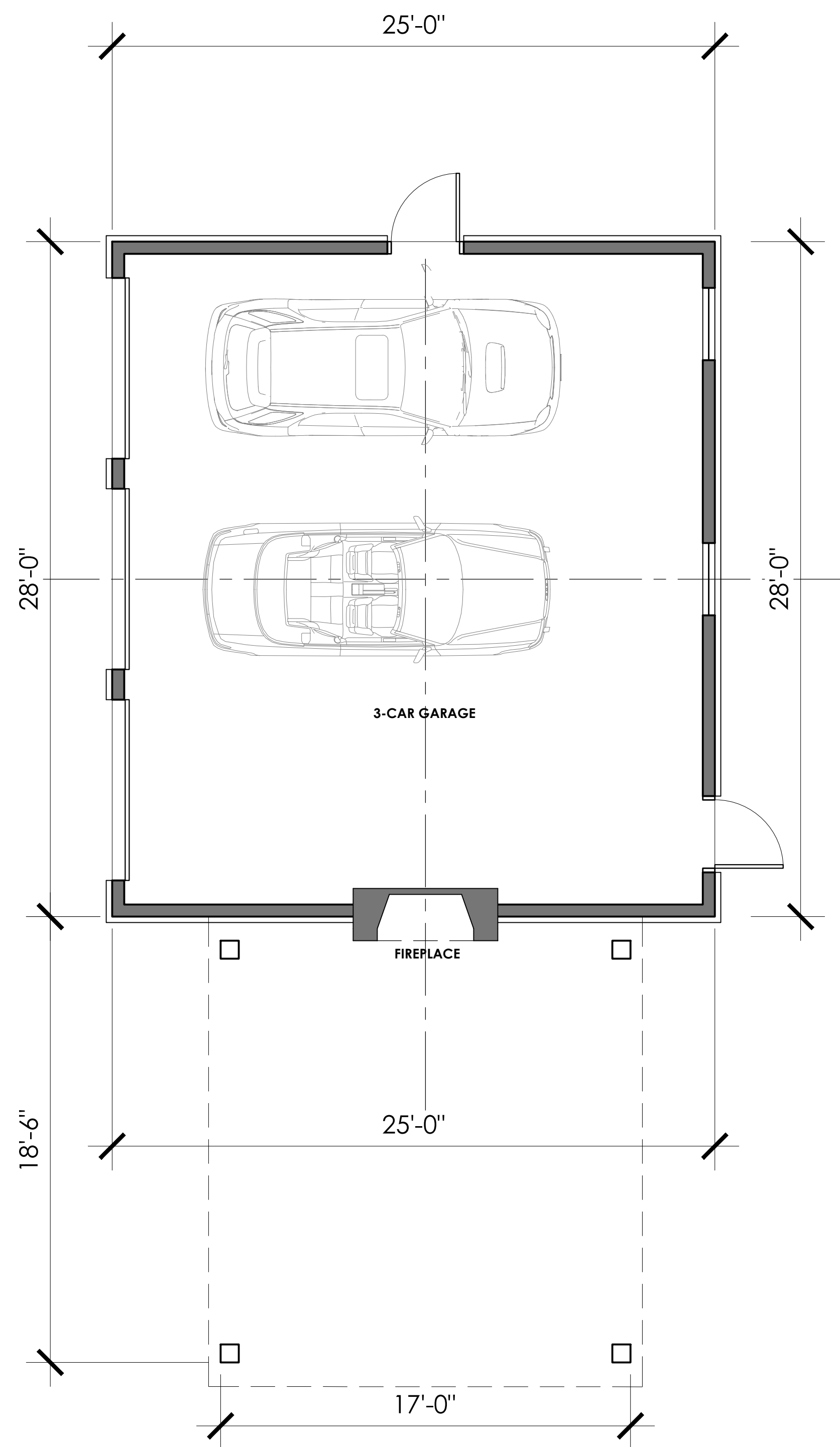


1 PROPOSED FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 EXISTING (AS-BUILT) FLOOR PLAN  
SCALE: 1/4"=1'-0"

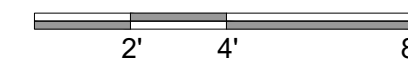




1 PROPOSED FLOOR PLAN - GARAGE 1  
SCALE: 1/4"=1'-0"



1 PROPOSED EXTERIOR ELEVATIONS - GARAGE 1  
SCALE: 1/4"=1'-0"

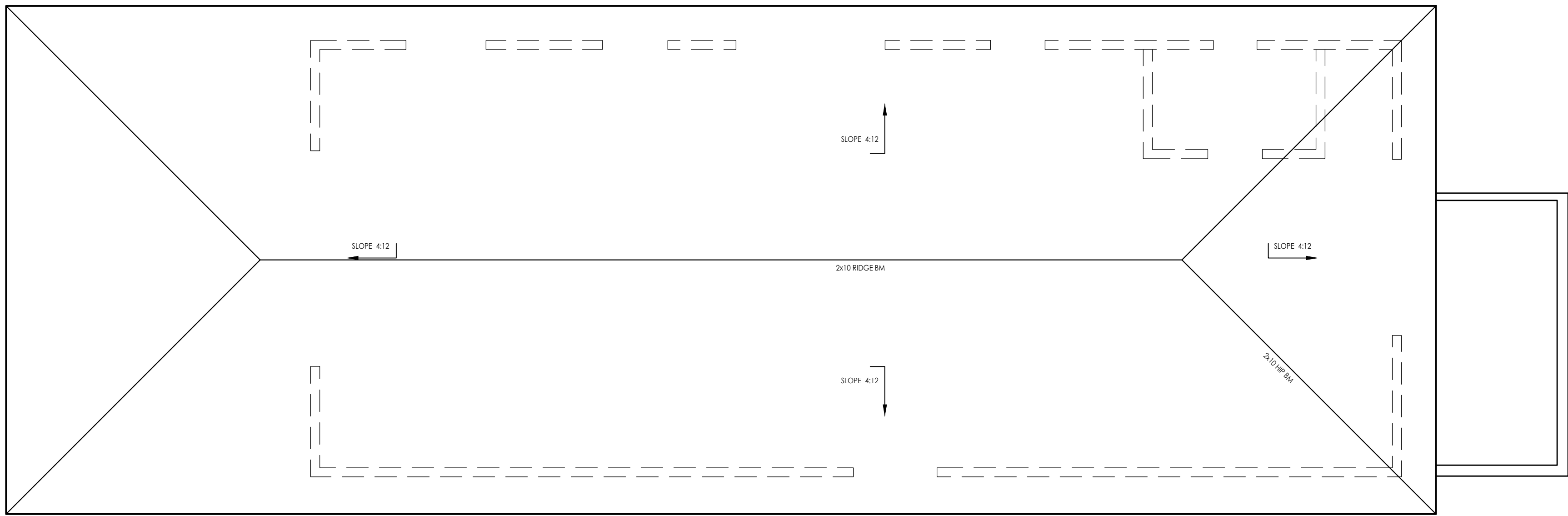




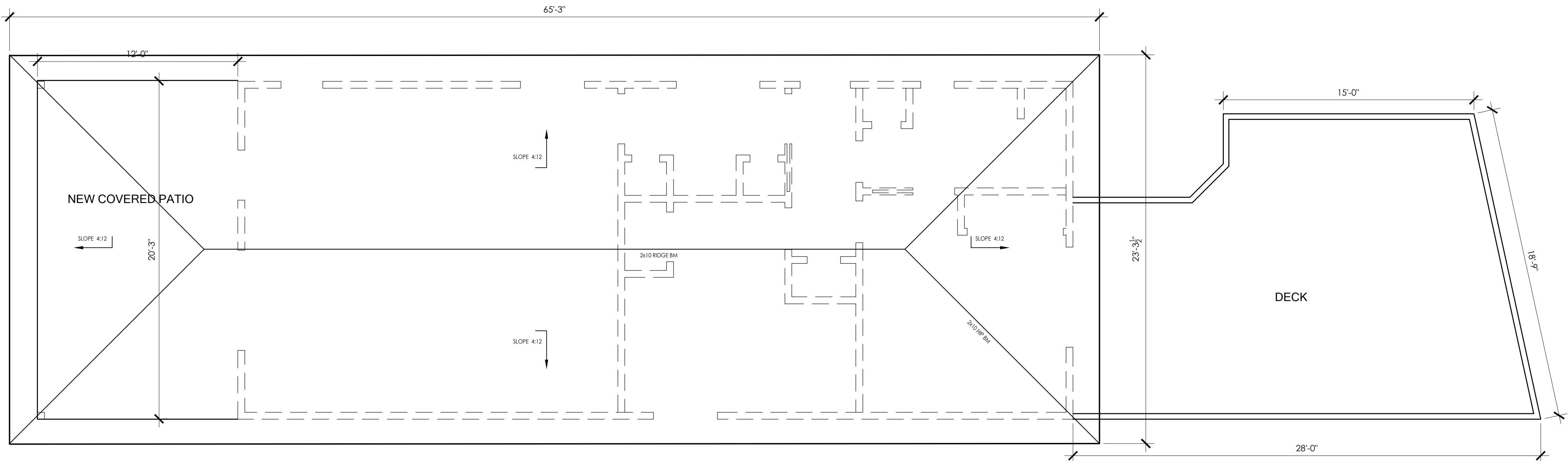


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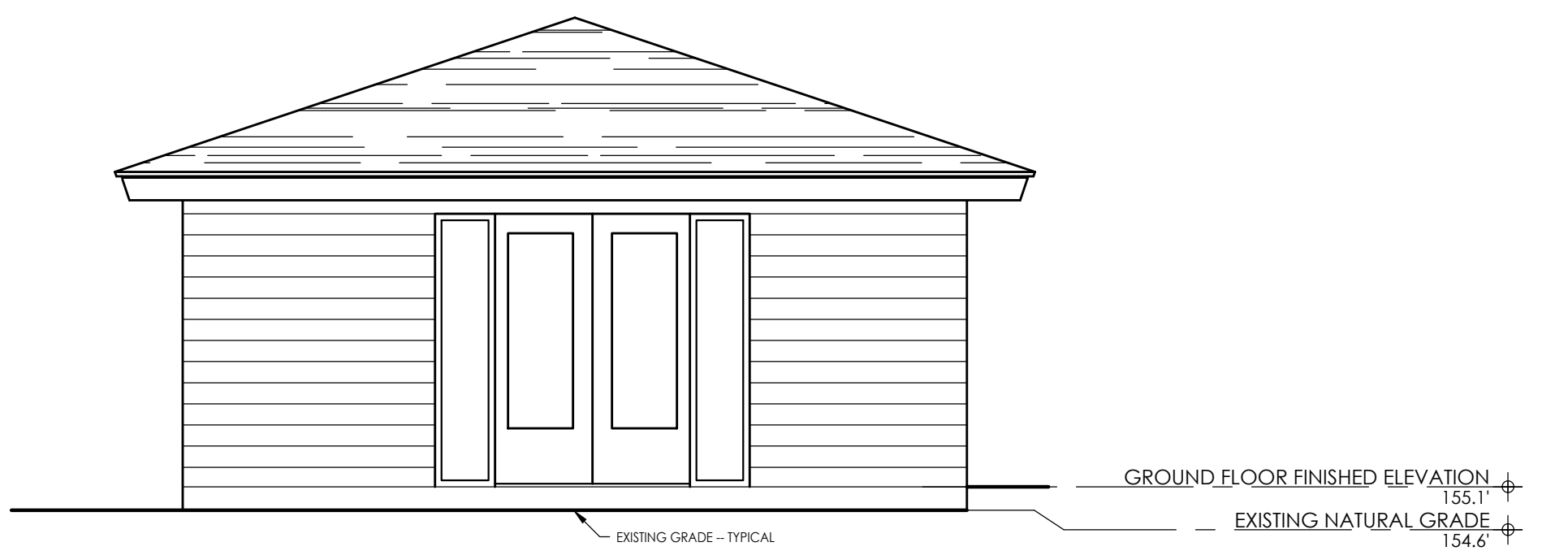


1 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"

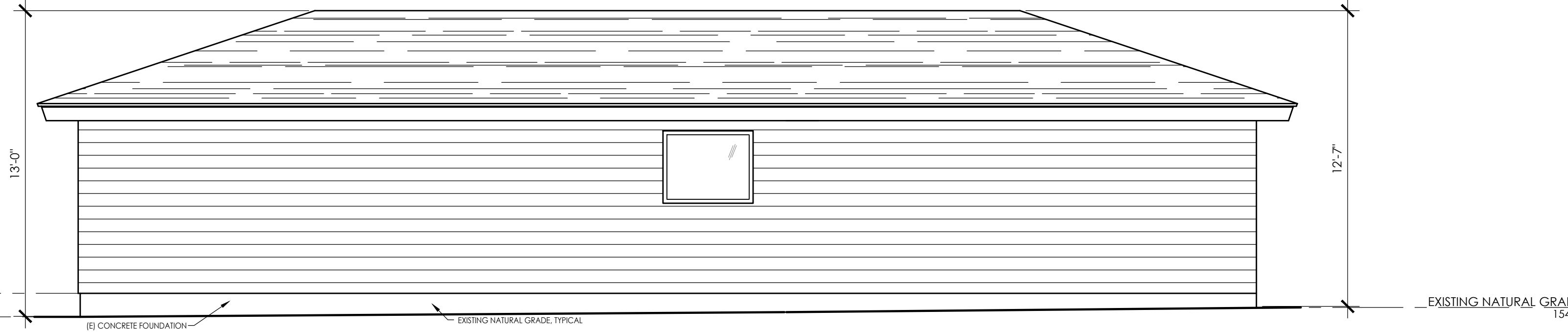


2 EXISTING (AS-BUILT) ROOF PLAN  
SCALE: 1/4"=1'-0"

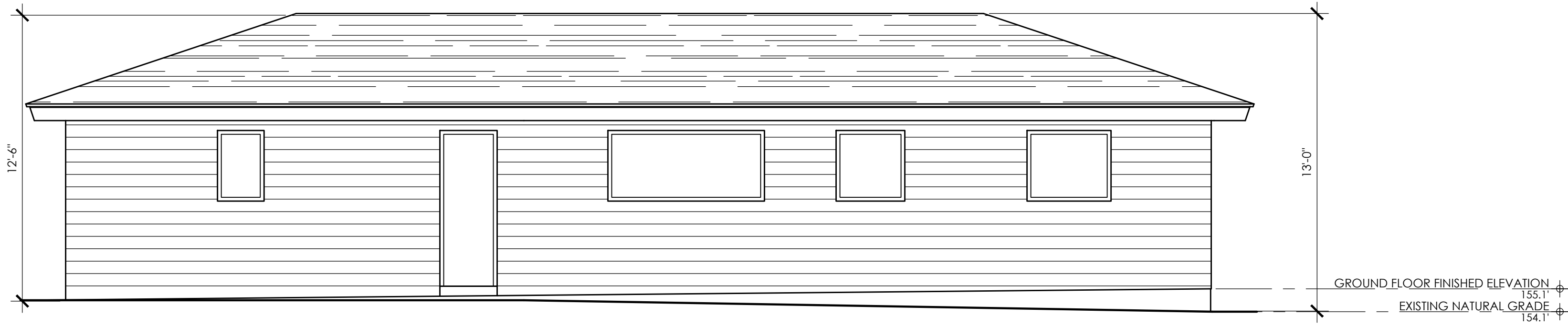




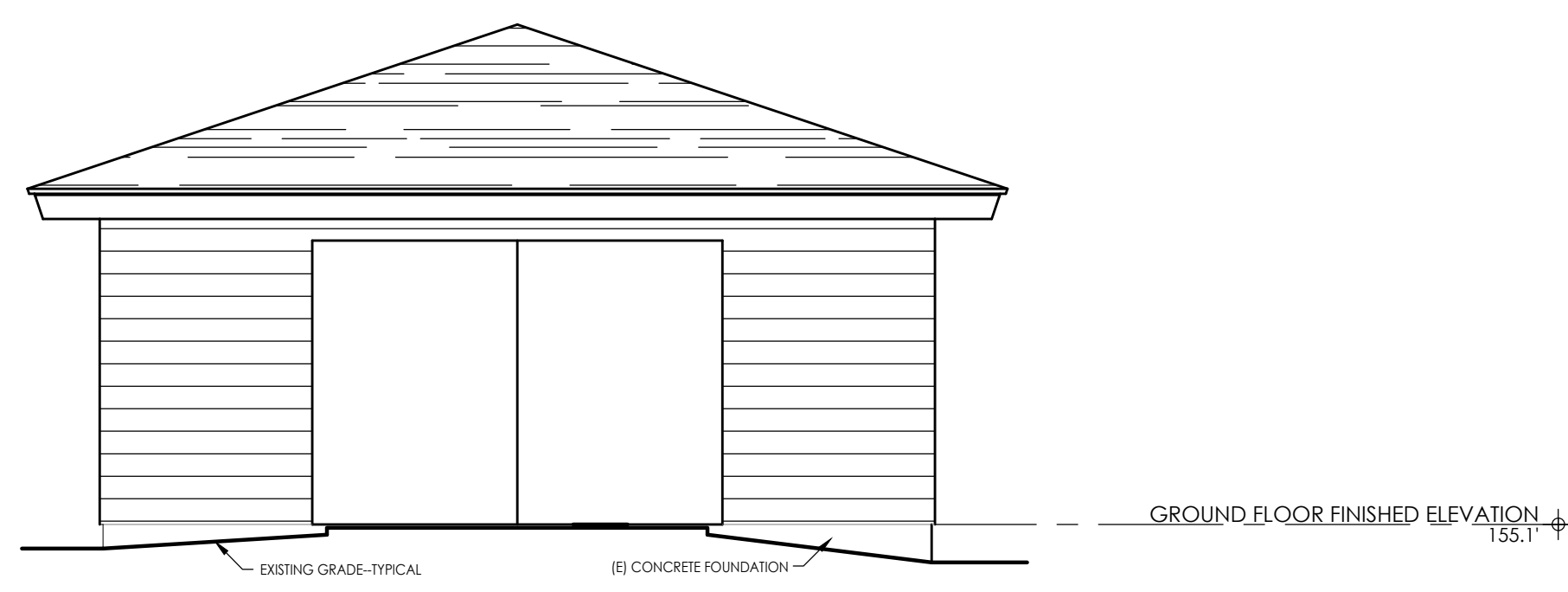
1 EXISTING NORTH (FRONT) ELEVATION  
SCALE: 1/4"=1'-0"



2 EXISTING WEST ELEVATION  
SCALE: 1/4"=1'-0"

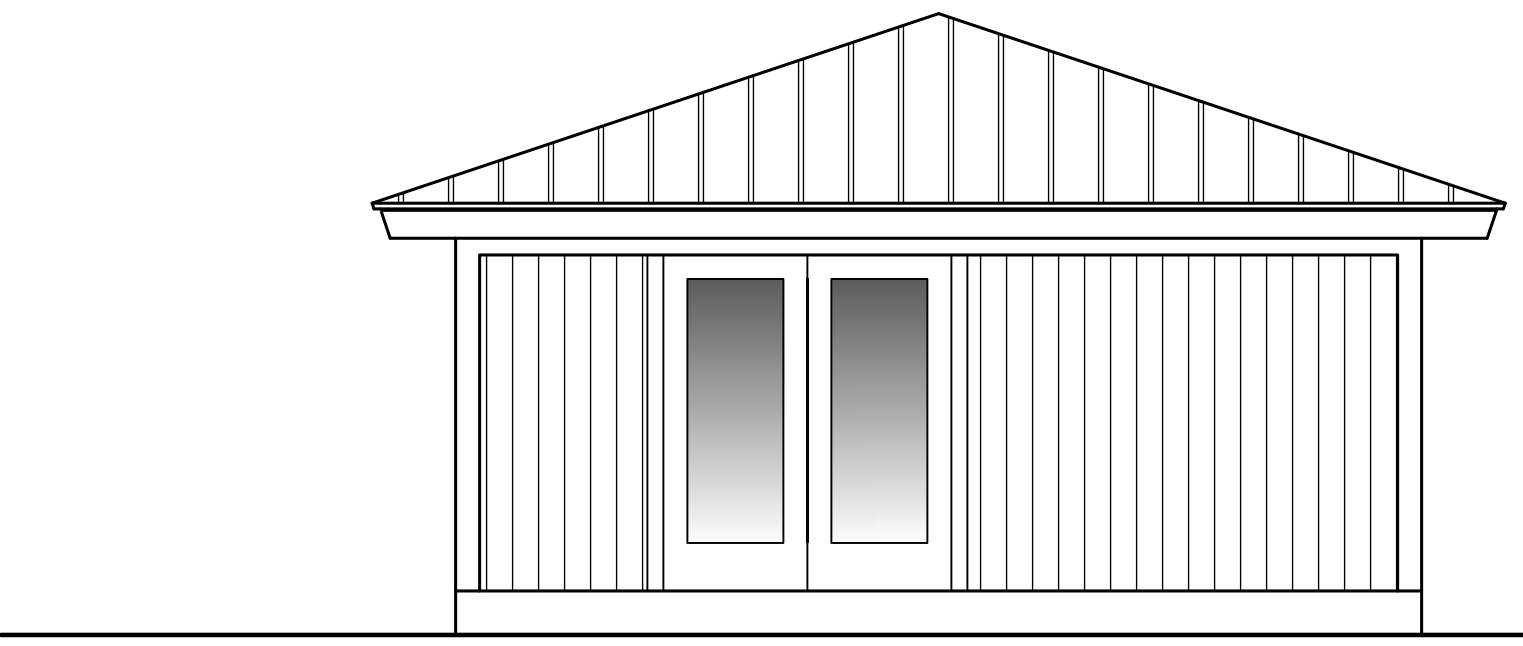


3 EXISTING EAST ELEVATION  
SCALE: 1/4"=1'-0"

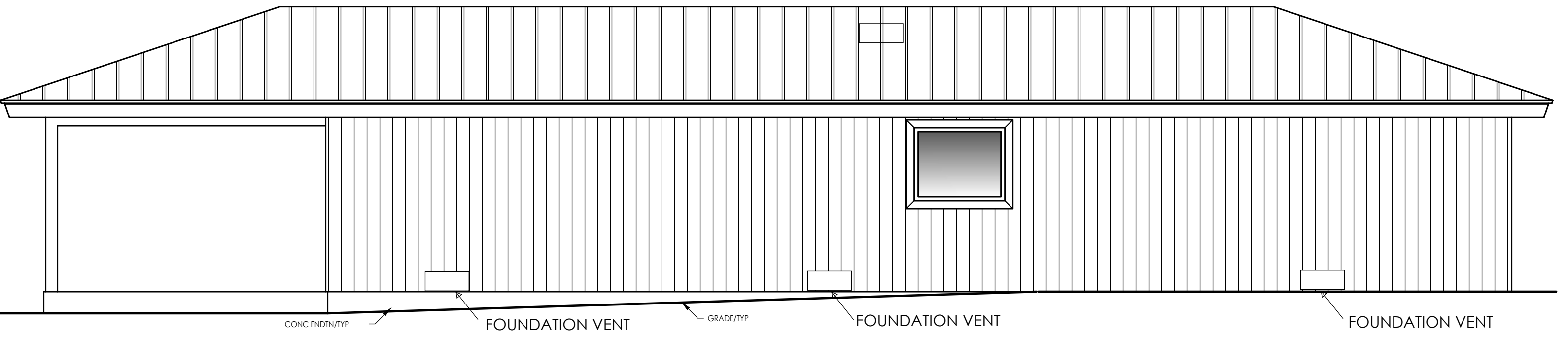
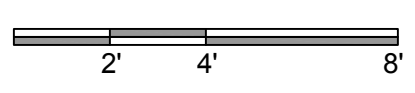


4 EXISTING SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

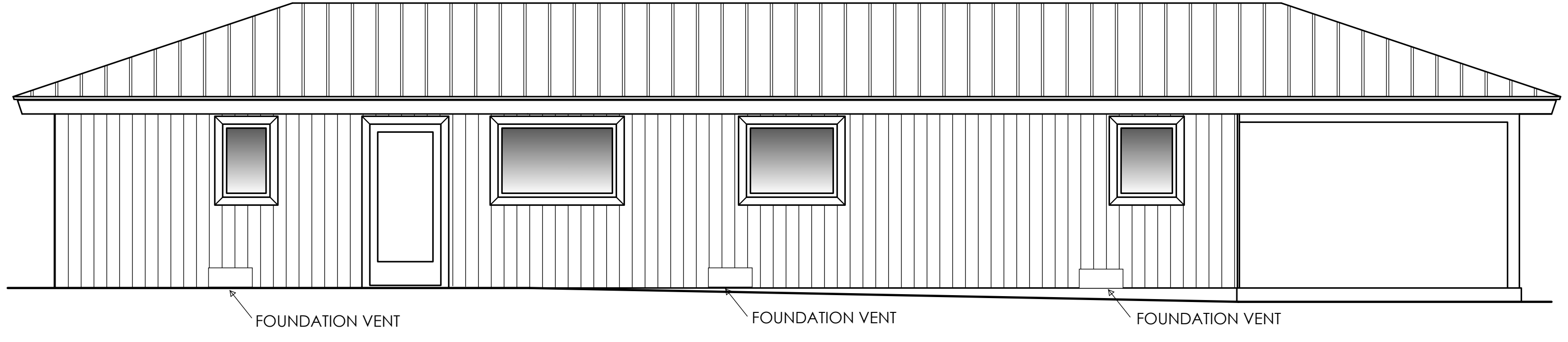
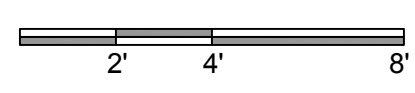




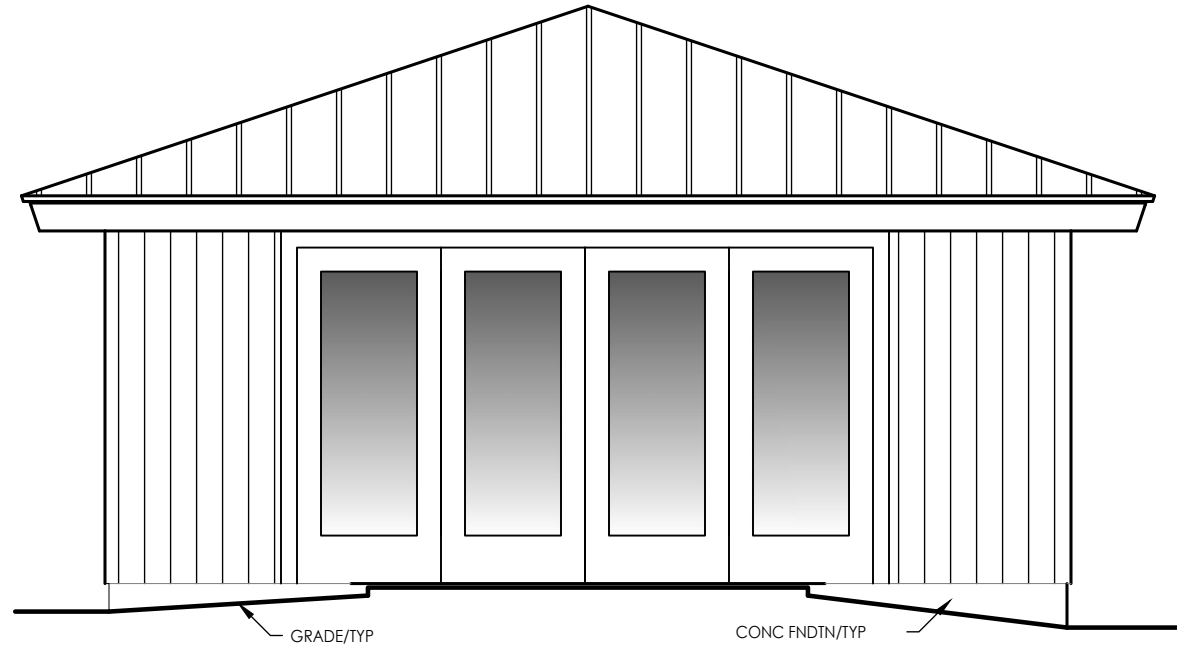
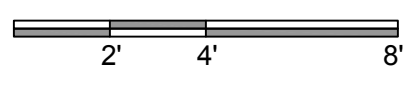
1 PROPOSED NORTH (FRONT) ELEVATION  
SCALE: 1/4"=1'-0"



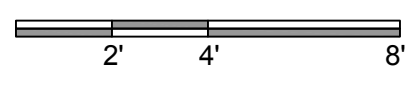
2 PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"



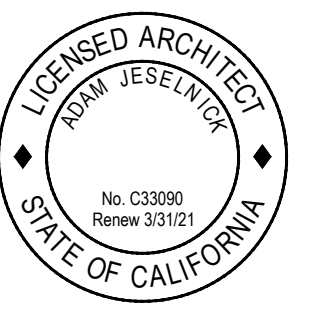
3 PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



4 PRPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



ADAM JESELNICK  
ARCHITECT



12 RONNOCO LLC  
12 RONNOCO ROAD  
CARMEL VALLEY, CALIFORNIA 93924

PROPOSED  
ELEVATIONS

1/18/2021

1/4" = 1'-0"

A9.0





1 EXISTING MAIN HOUSE  
MATCH NEW GARAGE TO EXISTING HOUSE



3 NEW GARAGE - EXTERIOR ROOFING



4 NEW GARAGE - STONE WAINSCOT



Drawing file: Z:\Projects\122156 Adamski-12 Ronnoco Road.dwg 122156 GRADING PLAN.dwg  
Plotted: May 02, 2023 - 11:16am

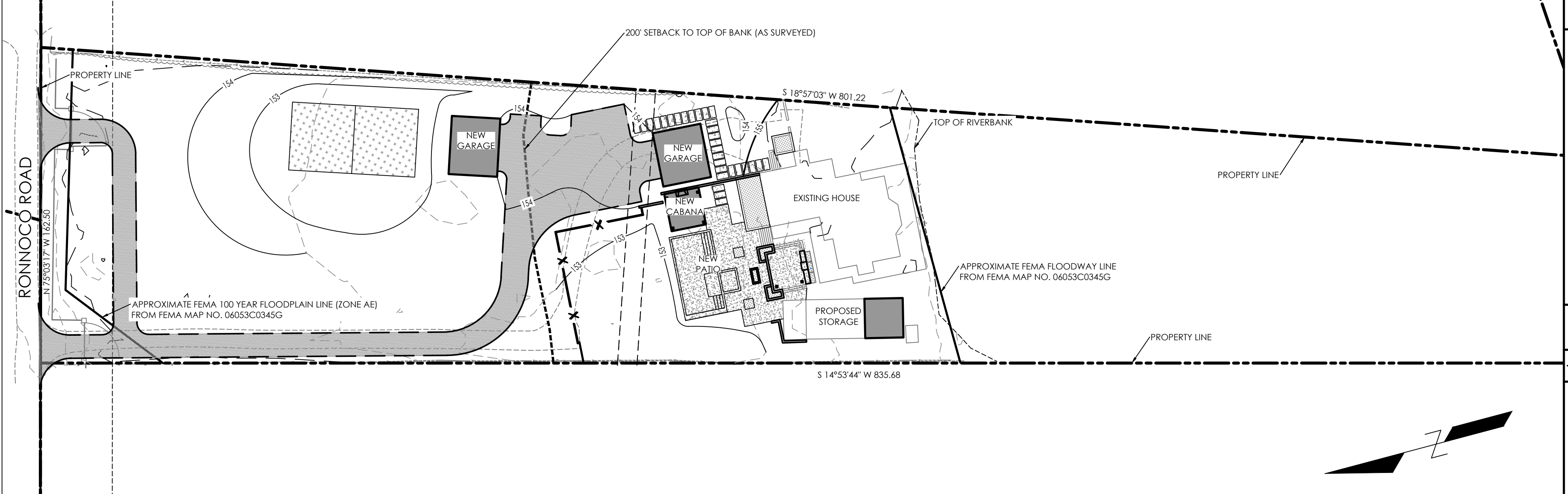
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- GENERAL NOTES**
1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:  
- LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS  
- THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)  
- THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC).
  2. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE OWNER'S REPRESENTATIVE IMMEDIATELY.
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY BUILDING SERVICES DEPARTMENT (COUNTY) AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
  4. THE TOPOGRAPHY, LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF TOPOGRAPHY, SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER UTILITIES WHETHER OR NOT THEY ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
  6. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
  7. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
  8. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
  9. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE DEPARTMENTS AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT OF WAY.
  10. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS MATERIAL FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE AND SHALL BE DISPOSED OF IN A LAWFUL MANNER.
  11. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
  12. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
  13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
  14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:  
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.  
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.  
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.  
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
  15. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
  16. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

- GRADING AND DRAINAGE**
1. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
  2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (CHAPTER 16.08) AND THE EROSION CONTROL ORDINANCE (CHAPTER 16.12).
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING, RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
  4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
  5. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
  6. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
  7. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
  8. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
  9. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
  10. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
  11. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
  12. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:  
A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.  
B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.  
C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.  
D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS
  13. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED.
  14. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

- RECOMMENDATIONS FROM SOILS REPORT (HARO KASUNICH NOVEMBER 2021)**
- SITE GRADING**
- HKA SHOULD BE NOTIFIED AT LEAST FOUR (4) WORKING DAYS PRIOR TO ANY DEMOLITION, GRADING OR FOUNDATION EXCAVATION SO THE WORK IN THE FIELD CAN BE COORDINATED WITH THE GRADING CONTRACTOR AND ARRANGEMENTS FOR TESTING AND OBSERVATION CAN BE MADE. THE RECOMMENDATIONS PRESENTED IN THIS REPORT ARE BASED ON THE PRESUMPTION THAT THE GEOTECHNICAL ENGINEER OR REPRESENTATIVE OF HARO KASUNICH AND ASSOCIATES WILL PERFORM THE REQUIRED TESTING AND OBSERVATION DURING GRADING AND CONSTRUCTION. IT IS THE OWNER'S RESPONSIBILITY TO MAKE THE NECESSARY ARRANGEMENTS FOR THESE REQUIRED SERVICES. A SITE PRE-CONSTRUCTION MEETING WITH THE GRADING CONTRACTOR AND SOIL ENGINEER IN ATTENDANCE IS RECOMMENDED.
  - WHERE REFERENCED IN THIS REPORT, PERCENT RELATIVE COMPACTION AND OPTIMUM MOISTURE CONTENT SHALL BE BASED ON ASTM TEST DESIGNATION D1557-CURRENT.
  - AREAS TO BE GRADED SHOULD BE CLEARED OF ALL OBSTRUCTIONS, INCLUDING EXISTING FOUNDATIONS, CONCRETE, TREES, PLANTS, AND GRASS NOT DESIGNATED TO REMAIN AND OTHER UNSUITABLE MATERIAL. DELETERIOUS MATERIAL REMOVED DURING DEMOLITION OPERATIONS SHOULD BE PERFORMED ON-SITE. SOIL CLEARED OF ORGANIC AND OTHER DELETERIOUS MATERIAL MAY BE STOCKPILED FOR USE AS ENGINEERED FILL. DEPRESSIONS OR VOIDS CREATED DURING SITE CLEARING SHOULD BE BACKFILLED WITH ENGINEERED FILL.
  - THE REMAINING CLEARED AREAS SHOULD THEN BE STRIPPED OF ORGANIC-LADEN TOPSOIL. STRIPPING DEPTH IS ANTICIPATED TO BE FROM 2 TO 4 INCHES BELOW ORIGINAL GRADE. ACTUAL DEPTH OF STRIPPING SHOULD BE DETERMINED IN THE FIELD BY HKA. STRIPPINGS SHOULD BE WASTED OFF-SITE OR STOCKPILED FOR USE IN LANDSCAPED AREAS IF DESIRED.
  - THE BOTTOM OF THE POOL SHELL SHOULD BEAR ON MEDIUM DENSE OR DENSE NATIVE GRANULAR MATERIAL. IF LOOSE MATERIAL IS FOUND AT THE BOTTOM OF THE POOL EXCAVATION, THE BOTTOM 12 INCHES SHOULD BE REMOVED AND RECOMPACTED TO 90 PERCENT RELATIVE COMPACTION. SOILS EXPOSED AT THE BOTTOM OF THE POOL EXCAVATION SHOULD BE SOAKED FOR 48 HOURS PRIOR TO PLACING THE UNDERDRAIN ROCK.
  - TEMPORARY CUT SLOPES WITHIN THE DENSE SAND SOIL MAY BE TEMPORARILY LAID BACK AT A 1:1 (HORIZONTAL TO VERTICAL) GRADIENT. CUT SLOPES WITHIN THE LOOSE OR MEDIUM DENSE SAND MAY BE TEMPORARILY LAID BACK AT 1.5:1 H:V.
  - AFTER THE BARN SITE HAS BEEN CLEARED AND STRIPPED, THE BARN PAD SHOULD BE SUBEXCAVATED TO 3 FEET BELOW GROUND SURFACE OR 24 INCHES BELOW BOTTOM OF PROPOSED MAT SLAB THEN BACKFILLED WITH REENGINEERED FILL. THE EXPOSED SUBGRADE SOIL SHOULD BE SCARIFIED AND RECOMPACTED (AS DISCUSSED IN ITEM 8, BELOW). AND THE EXCAVATIONS SHOULD BE BACKFILLED TO FINISHED GRADE WITH ENGINEERED FILL (AS DISCUSSED IN ITEM 12, BELOW). HKA SHOULD OBSERVE THE EXCAVATION TO CONFIRM THE REQUIRED DEPTH OF EXCAVATION.
  - IN AREAS TO RECEIVE ENGINEERED FILL AND CONCRETE SLABS-ON-GRADE, THE EXPOSED SUBGRADE SOIL AT THE BOTTOM OF THE SUB-EXCAVATION SHOULD BE SCARIFIED 12 INCHES. MOISTURE CONDITIONED TO ABOVE OPTIMUM WATER CONTENT AND COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION. THE UPPER 12 INCHES OF SUBGRADE UNDER PAVEMENTS SHOULD BE SCARIFIED 12 INCHES. MOISTURE CONDITIONED TO ABOVE OPTIMUM WATER CONTENT AND COMPACTED TO A MINIMUM OF 95 PERCENT RELATIVE COMPACTION.
  - THE GRADING CONTRACTOR MAY ENCOUNTER COMPACTION DIFFICULTY (I.E. PUMPING ACTION AND/OR THE BRINGING OF FREE WATER TO THE SURFACE) IN SUBGRADE PREPARATION IN THE UPPER SURFACE SILTY SANDS IF GRADING IS PERFORMED DURING OR SHORTLY AFTER THE RAINY SEASON. IF COMPACTION CANNOT BE ACHIEVED AFTER ADJUSTING THE SOIL MOISTURE CONTENT, IT MAY BE NECESSARY TO STABILIZE THE SUBGRADE SOIL WITH ANGULAR CRUSHED ROCK. THE BRIDGING MATERIAL SHOULD BE A COARSE GRANULAR MIXTURE OF ROCK HAVING A MAXIMUM SIZE OF ABOUT 3 INCHES. IT IS ANTICIPATED THAT QUARRY RUN, OR CRUSHER RUN MATERIALS WILL BE SATISFACTORY. THE MATERIAL SHOULD BE WELL GRADED BETWEEN THE LARGEST AND SMALLEST PARTICLE SIZE, WITH NO MORE THAN 12 PERCENT PASSING THE # 200 SIEVE.
  - IF FILL IS NEEDED AT THE SITE, THE ON-SITE SOIL MAY BE USED AS ENGINEERED FILL PROVIDED ORGANIC AND OTHER DELETERIOUS MATERIAL IS REMOVED. CLAYEY SOILS, IF ENCOUNTERED, SHOULD NOT BE USED AS ENGINEERED FILL.
  - IMPORTED ENGINEERED FILL SHOULD MEET THE FOLLOWING CRITERIA:
    - BE FREE OF WOOD, BRUSH, ROOTS, GRASS, DEBRIS AND OTHER DELETERIOUS MATERIALS.
    - NOT CONTAIN ROCKS OR CLODS GREATER THAN 2.5 INCHES IN DIAMETER.
    - NOT MORE THAN 20 PERCENT PASSING THE #200 SIEVE.
    - HAVE A PLASTICITY INDEX LESS THAN 15.
  - BE APPROVED BY THE GEOTECHNICAL ENGINEER. SUBMIT TO THE GEOTECHNICAL ENGINEER SAMPLES OF IMPORT MATERIAL OR UTILITY TRENCH BACKFILL FOR COMPLIANCE TESTING A MINIMUM OF 4 DAYS BEFORE IT IS DELIVERED TO THE JOB SITE.
  - ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS, NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION. THE UPPER 12 INCHES OF PAVEMENT SUBGRADE SOIL SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT RELATIVE COMPACTION. THE AGGREGATE BASE BELOW PAVEMENTS SHOULD LIKEWISE BE COMPACTED TO A MINIMUM OF 95 PERCENT RELATIVE COMPACTION. COMPACTION TESTS SHOULD BE PERFORMED AT THE BOTTOM OF THE BUILDING PAD EXCAVATIONS AND AT 12-INCH (MAXIMUM THICKNESS) INTERVALS AS THE FILL IS REPLACED AND COMPACTED.
  - WE ESTIMATE SHRINKAGE FACTORS OF 15 TO 25 PERCENT FOR THE ON-SITE MATERIALS WHEN USED IN ENGINEERED FILLS.
  - FOLLOWING GRADING, EXPOSED SOIL SHOULD BE PLANTED AS SOON AS POSSIBLE WITH EROSION-RESISTANT VEGETATION.
  - AFTER THE EARTHWORK OPERATIONS HAVE BEEN COMPLETED AND THE GEOTECHNICAL ENGINEER HAS FINISHED HIS OBSERVATION OF THE WORK, NO FURTHER EARTHWORK OPERATIONS SHALL BE PERFORMED EXCEPT WITH THE APPROVAL OF AND UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.

- SITE DRAINAGE**
- SURFACE DRAINAGE SHOULD INCLUDE PROVISIONS FOR POSITIVE GRADIENTS SO THAT SURFACE RUNOFF IS NOT PERMITTED TO POND ADJACENT TO FOUNDATIONS AND PAVEMENTS. SURFACE DRAINAGE SHOULD BE DIRECTED AWAY FROM THE BUILDING FOUNDATIONS.
  - RAIN GUTTERS WITH DOWNSPOUTS SHOULD BE PLACED AROUND ROOF EAVES. DISCHARGE FROM THE RAIN GUTTERS SHOULD BE CONVEYED AWAY FROM THE DOWNSPOUTS BY SPLASHBLOCKS, CONCRETE, OR ASPHALT SLOPED AWAY FROM FOUNDATIONS AND IMPROVEMENTS COLLECTION FACILITIES.
  - COLLECTED RUNOFF SHOULD BE DISPERSED TOWARDS THE CARMEL RIVER SOUTH OF THE PROJECT SITE IN SUCH A MANNER THAT EROSION OR SLOPE INSTABILITY DOES NOT OCCUR DOWNSLOPE OF THE OUTLET OR TO AN ON-SITE RETENTION FACILITY LOCATED AWAY FROM IMPROVEMENTS.
  - THE MIGRATION OF WATER OR SPREAD OF EXTENSIVE ROOT SYSTEMS BELOW FOUNDATIONS, SLABS, OR PAVEMENTS MAY CAUSE UNDESIRABLE DIFFERENTIAL MOVEMENTS AND SUBSEQUENT DAMAGE TO THESE STRUCTURES. LANDSCAPING SHOULD BE PLANNED ACCORDINGLY.



Inspection:	When:	Who:	Inspection By:	Date of Inspection:
Inspect and test Keyway/Subexcavation/overexcavation:	1) Prior to backfilling	Soils Engineer		
	2) During backfill placement – ongoing	Soils Engineer		
Inspect and Test Building Pad Subgrade:	Prior to excavation footings or placement of slab-on-grade materials	Soils Engineer		
Inspect Slab-on-grade installation:	Prior to concrete placement	Soils Engineer		
Inspect Foundation and/or retaining wall footing excavations:	Prior to reinforcement placement	Soils Engineer		
Inspect and Test Retaining wall backfill:	During backfill placement – ongoing	Soils Engineer		
	1) During fill placement	Soils Engineer		
Inspect and Test Driveway Fill, Subgrade and Baserock Placement:	2) Subgrade, prior to baserock placement	Soils Engineer		
	3) Baserock prior to AC, Concrete or Pavement	Soils Engineer		
Inspect and Test Drainage Installation:	1) After pipe placement, prior to backfill placement	Soils Engineer		
	2) During backfill placement – ongoing	Soils Engineer		
Inspect site stripping and clearing	After clearing complete	Soils Engineer		
Inspect utility trench compaction	After utility trench backfill	Soils Engineer		



A

C1

OVERALL SITE PLAN

SCALE: 1"=40'

LAND DISTURBANCE

LAND DISTURBANCE AREA = 32,950 SF

SCOPE OF WORK

THESE PLANS ILLUSTRATE THE GRADING PROPOSED FOR THE NEW GARAGE BUILDINGS AND PATIO AREAS. THIS PROJECT IS LOCATED IN A FEMA FLOOD HAZARD AREA AND AS SUCH ANY IMPORT OF CONSTRUCTION MATERIAL SHALL BE MITIGATED BY OFF-HAUL OF NATIVE SOIL OF EQUAL OR GREATER VOLUME. DETAILS OF ALL IMPROVEMENTS SHALL BE SHOWN ON ARCHITECTURAL AND LANDSCAPE PLANS.

GRADING QUANTITIES

EARTHWORK QUANTITIES:  
CUT = 488 CY \*  
FILL = 488 CY \*  
\*SEE GRADING PLAN SHEET C2 FOR MORE INFORMATION

EARTHWORK QUANTITIES ARE ESTIMATES TO FINISH GRADE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES.

ABBREVIATIONS

(E) EXISTING  
FG FINISH GROUND GRADE  
FF FINISH FLOOR  
FL FLOW LINE  
FP FINISH PAVEMENT GRADE  
G GROUND  
M.E. MATCH EXISTING  
(N) NEW  
SD STORM DRAIN  
SS SANITARY SEWER  
TC TOP OF CURB GRADE  
(TYP) TYPICAL  
W WATER

SHEET INDEX

C1 TITLE SHEET  
C2 GRADING PLAN  
C3 EROSION CONTROL PLAN

LEGEND

EXISTING

BOUNDARY LINE

EASEMENT (ESMT)

DRAINAGE FLOW LINE

SAWCUT

GRADE BREAK

MAJOR CONTOUR

MINOR CONTOUR

BUILDING

FENCE

WALL

SPOT ELEVATION

DRAINAGE FLOW

FIRE HYDRANT (FH)

WATER VALVE (WV)

TREE

PAVEMENT (SEE ARCH/LANDSCAPE PLANS FOR SURFACE TYPE AND DETAILS)

PROPOSED

BOUNDARY LINE

EASEMENT (ESMT)

DRAINAGE FLOW LINE

SAWCUT

GRADE BREAK

MAJOR CONTOUR

MINOR CONTOUR

BUILDING

FENCE

WALL

SPOT ELEVATION

DRAINAGE FLOW

FIRE HYDRANT (FH)

WATER VALVE (WV)

TREE

PAVEMENT (SEE ARCH/LANDSCAPE PLANS FOR SURFACE TYPE AND DETAILS)

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Phone: (831) 647-1192 Fax: (831) 647-1194  
mailto:C3engineering@aol.com

REGISTERED PROFESSIONAL ENGINEER

JENNIFER P. RUDOLPH

No. 67625

EXP. 06-30-23

STATE OF CALIFORNIA

TITLE SHEET

ADAMSKI RESIDENCE

12 RONNOCO ROAD

CARMEL VALLEY, CA

SCALE: AS NOTED

DATE: 4/27/23

DESIGN BY: JPR

DRAWN BY: JPR

CHECKED BY:

SHEET NUMBER:

OF 3 SHEETS

PROJECT# 122156

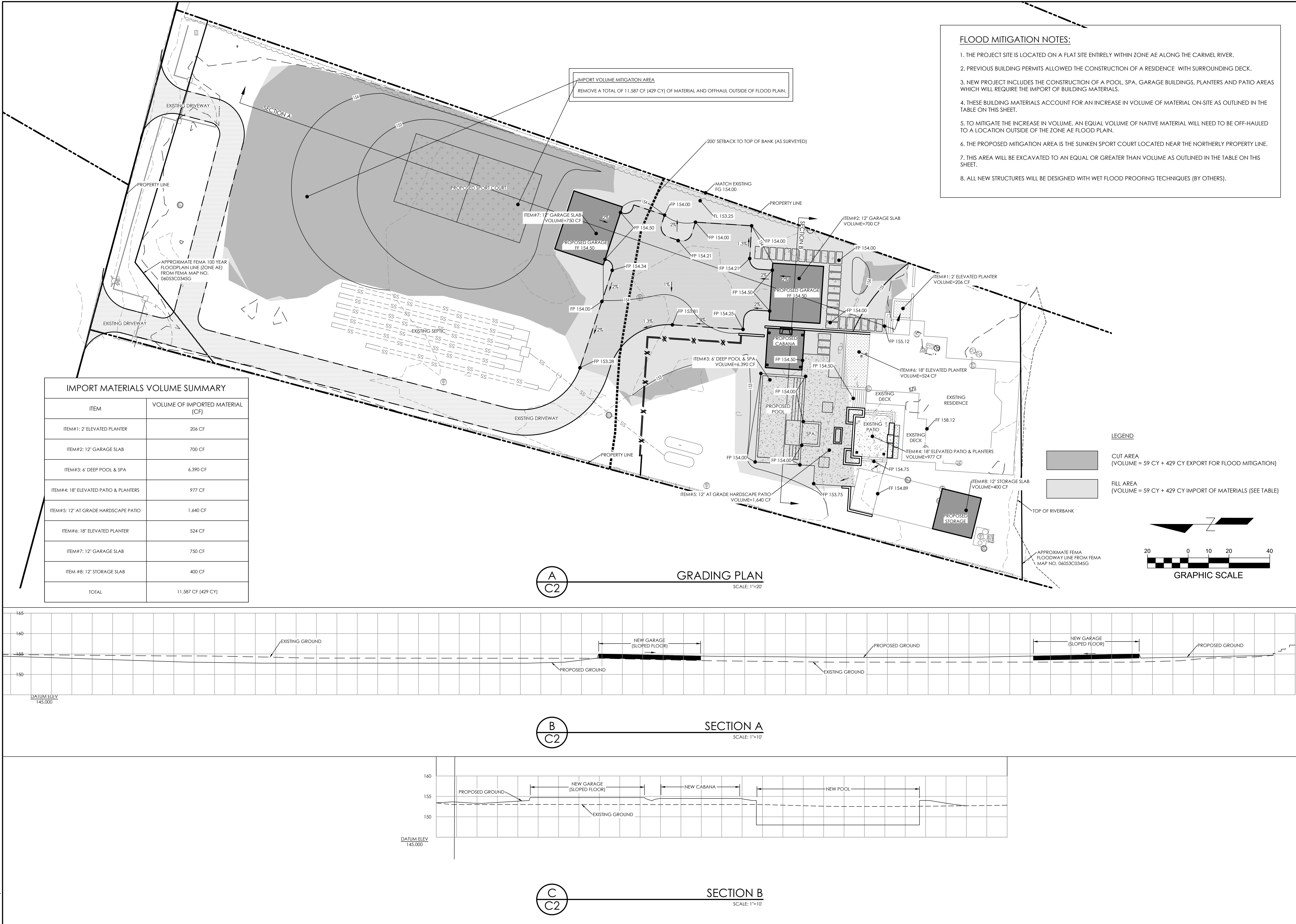
C1

46



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C3ENGINEERING  
INCORPORATED

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mailto:C3engineering@net

REGISTERED PROFESSIONAL ENGINEER  
JENNIFER P. RUDAK  
No. 61625  
EXP. 06-30-23  
STATE OF CALIFORNIA  
CIVIL

GRADING PLAN  
ADAMSKI RESIDENCE  
12 RONNOCO ROAD  
CARMEL VALLEY, CA

SCALE: AS NOTED  
DATE: 4/27/23  
DESIGN BY: JPR  
DRAWN BY: JPR  
CHECKED BY:  
SHEET NUMBER:

C2  
OF 3 SHEETS  
PROJECT# 122156



THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED AREAS WITH SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
- COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
- KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
- LANDFILL, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDS OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. HEAVY COASTS OF EFFECTIVE PLANTING OF RYE GRASS, BARNY OR SOME OTHER FAST GERMINATING SEED.

DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES SHALL BE TAKEN:

- VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL DISTURBED AREAS SHALL HAVE DRAINAGE OR FAN OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.

(GONZALES GRADING/EROSION ORD. 2806-16.12.09)

- THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- VEGETATION REMOVAL SHALL BE LIMITED TO AREAS THAT ARE NOT BEING GRADDED WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.30 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE DESIGNED AND CONDUCTED TO PREVENT POLLUTANTS FROM ENTERING ADJACENT WATERBODIES.
- SITE BMPs ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
- STABILIZATION BMPs INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.

THE BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs AND, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THIS POINT.

3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPIILING OF MATERIALS. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS, SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SOOT, ASPHALT, FUEL OIL, GREASE, AND DUSTS.

1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM.
2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS.
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED.

IMMEDIATELY AND DISPOSED OF PROPERLY.

6. CONCRETE AND ASPHALT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.

8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:

WM-4. SPILL PREVENTION AND CONTROL  
WM-5. SOLID WASTE MANAGEMENT  
WM-6. HAZARDOUS WASTE MANAGEMENT  
WM-7. CONTAMINATED SOIL MANAGEMENT  
WM-8. CONCRETE WASTE MANAGEMENT  
WM-9. SANITARY/SEPTIC WASTE MANAGEMENT  
WM-10. LIQUID WASTE MANAGEMENT  
(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS SUCH AS LIQUID CONTAMINATED SOILS, CONCRETE SAW CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS, WHERE POSSIBLE. CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.
2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF 6 MIL\* MATERIALS RESISTANT TO SOIL AND DEGRADATION.

4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
- EC-1. SCHEDULING
  - EC-2. PRESERVATION OF EXISTING VEGETATION
  - EC-3. HYDRAULIC MULCH
  - EC-4. HYDROSEEDING
  - EC-5. SOIL BINDERS
  - EC-6. STRAW MULCH
  - EC-7. GEOTEXTILES AND MATS
  - EC-8. WOOD MULCHING
  - EC-9. EARTH DIKS AND DRAINAGE SWALES
  - EC-10. VELOCITY DISSIPATION DEVICES
  - EC-11. SLOPE DRAINS
  - EC-12. STREAMBANK STABILIZATION
  - EC-13. POLYACRYLAMIDE
- (SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)
5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF ANY UNEXPECTED WEATHER-RELATED DISRUPTIONS.
2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON, ALL RUN-OFF WITHIN THE SITE AND ALL RUN-OFF THAT DISCHARGES OFF THE SITE. RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE DIRECTED TO A DRAINAGE BASIN.
4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
5. DISCHARGERS SHALL MAINTAIN AND MONITOR ALL PERIMETER AND LINEAR SEDIMENT CONTROLS TO PREVENT OFF-SITE TRACKING OF SEDIMENT.
6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INTAKES AND PERIMETER CONTROLS, RUNOFF CONTROL BMPs, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G., TIRE WASH LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS AND IMMEDIATE ACCESS ROADS DAILY.
8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY HRV EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS (BY VACUUMING OR SWEEPING).

IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

SE-3. SEDIMENT TRAP  
SE-4. CHECK DAMS  
SE-5. FIBER ROLLS  
SE-6. GRAVEL BAG BERM  
SE-7. STREET SWEEPING AND VACUUMING  
SE-8. SANDBAG BARRIER  
SE-9. STRAW BALE BARRIER  
SE-10. STORM DRAIN INLET PROTECTION  
SE-11. CHEMICAL TREATMENT  
(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.

2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT

WIND EROSION CONTROL

2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

WE-1. WIND EROSION CONTROL

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).

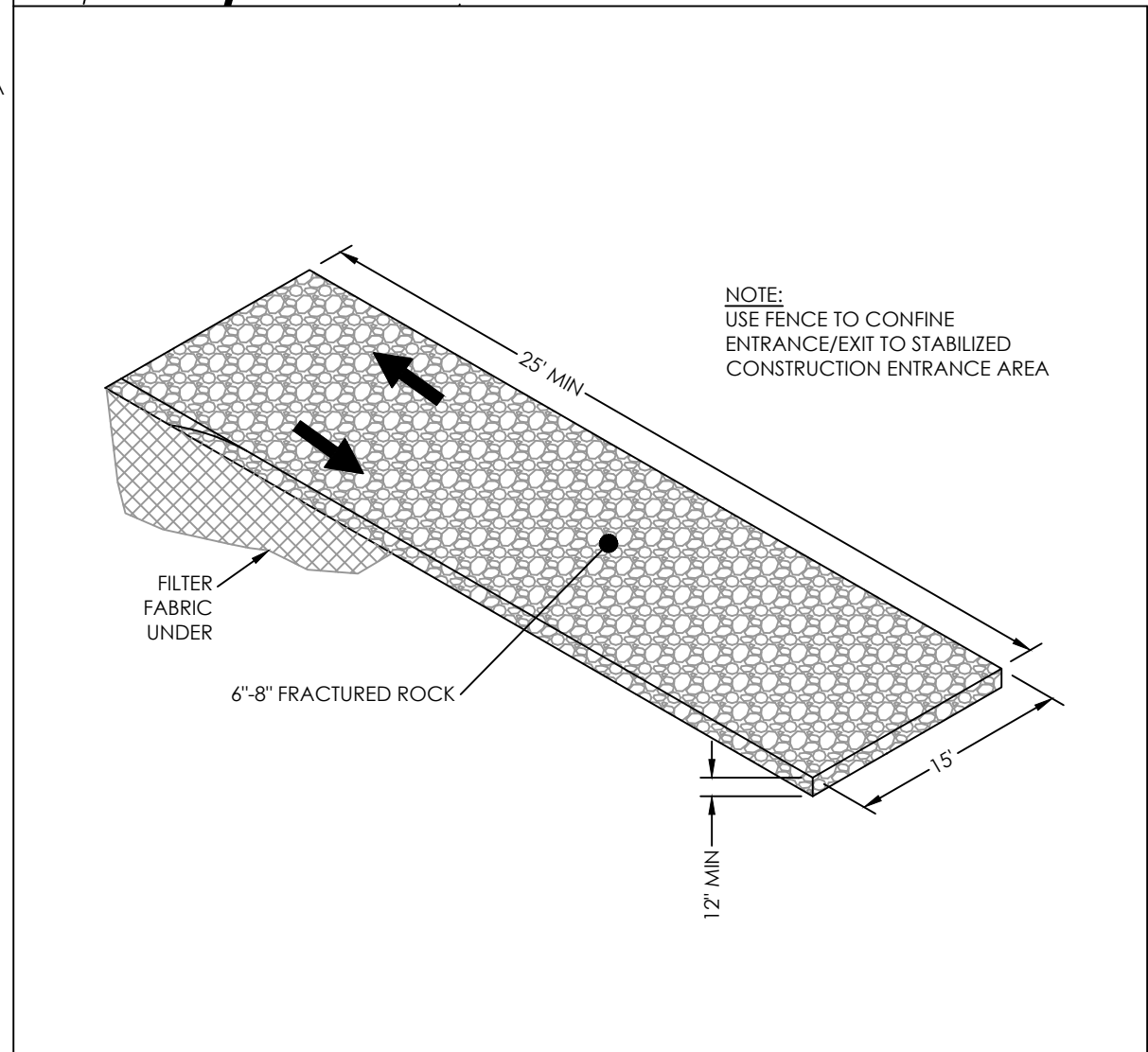
5. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE NON-STORMWATER MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:

NS-4, TEMPORARY STREAM CROSSING  
NS-5, CLEAR WATER DIVERSION  
NS-6, WHIST CONNECTION/LEGAL DISCHARGE DETECTION AND REPORTING

NS-8, VEHICLE AND EQUIPMENT CLEANING  
NS-9, VEHICLE AND EQUIPMENT FUELING  
NS-10, VEHICLE AND EQUIPMENT MAINTENANCE

NS-13, MATERIALS AND EQUIPMENT USE OVER WATER  
NS-14, CONCRETE FINISHING  
NS-15, STRUCTURE DEMOLITION/REMOVAL

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)



**SECTION A-A**  
NOT TO SCALE

STAPLES  
(2 PER BALE)

WOOD OR METAL  
STAKES (2 PER BALE)

STRAW BALE

10 mil PLASTIC LINING

NATIVE MATERIAL  
(OPTIONAL)

BINDING WIRE

**SECTION A-A**  
NOT TO SCALE

3m MINIMUM

STAKE (TYP.)

VARIES

10 mil PLASTIC LINING

**PLAN**  
NOT TO SCALE

STRAW BALE (TYP.)

915 mm

915 mm

**CONCRETE WASHOUT  
SIGN DETAIL  
(OR EQUIVALENT)**

PLYWOOD  
1200 mm x 610 mm  
PAINTED WHITE

BLACK LETTERS  
150 mm HEIGHT

LAG SCREWS  
(12.5 mm)

WOOD POST  
(89 mm x 89 mm x 2.4 m)

50 mm

3.05 mm DIA.  
STEEL WIRE

200 mm

**STAPLE DETAIL**

**NOTES:**

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN (SEE FIG. 4-15) SHALL BE INSTALLED WITHIN 10 m OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CA/TRANS/FIG-14-200-502 8-14-02

SOURCE: CALTRANS

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### INSTALLATION

1. USE 1"X12" OR 1"X12"X3" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.

2. CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. IF CONTRACTOR DESIRES TO POSITION FIBER ROLLS END TO END, THEY SHOULD BE TIED TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.

3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

4. CONTRACTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE. (SE-5)

5. CASQA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.

9" DIA

4' EMBEDMENT MAX

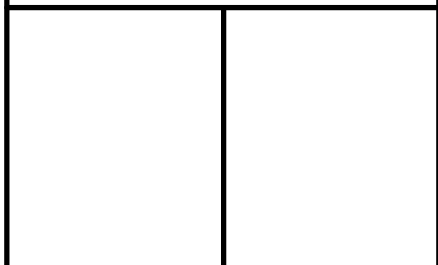
12" MIN

1'X1'X24"(OR) 1'X1'X36" WOOD STAKES 4' O.C.

**AOC3 ENGINEERING INCORPORATED**

Civil Engineering Land Development Stormwater Control

126 Bonifacio Place, Suite C, Monterey, CA 93940  
 Phone: (831) 647-1192 Fax (831) 647-1194  
[info@AOC3Engineering.net](mailto:info@AOC3Engineering.net)



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C3

OF 3 SHEETS

PROJECT# 122156



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## Exhibit B



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May 17, 2023

Monterey County Department of Housing and Community Development  
1441 Schilling Place, South 2<sup>nd</sup> Floor  
Salinas, CA 93901

Re: Project (PLN210269) Compliance with Monterey County Code 16.15.050.K and 21.64.130.D.

At the Planner's request this letter serves as a summary of how the proposed project complies with Monterey County Code Sections 16.15.050.K and 21.64.130.D.

MCC SECTION 16.15.050.K

K. Setbacks. A setback of two hundred (200) feet from the top of the bank of a river and fifty (50) feet from the top of the bank of a watercourse will be established where encroachment will be prohibited unless it can be proven to the satisfaction of the Monterey County Water Resources Agency that:

1. The proposed development will not significantly reduce the capacity of existing rivers or watercourses or otherwise adversely affect any other properties by increasing stream velocities or depths, or diverting the flow; and
2. The proposed new development will be safe from flow related erosion and will not cause flow related erosion hazards or otherwise aggravate flow related erosion hazards.

The proposed project is currently applying for a use permit located within 200' of the top of bank of the Carmel River. The project may be subject to flooding (within FEMA floodplain), but is not subject to flow related erosion (FEMA floodway). The grading plan shows that the volume of all construction material that will be imported to the site will be offset by removal of on-site native soil in equal or greater volume. The contractor is to remove the designated soil from within the FEMA floodplain limits and deposit it outside of the FEMA floodplain in conformance with all Monterey County Grading rules. Per the above #1 requirement, this effort will maintain the existing flooding capacity of the Carmel River and will not reduce the flooding capacity. Per the above #2, the proposed project is setback from the floodway and is not expected to be impacted by flow related erosion or cause flow related erosion outside of the project area.

MCC SECTION 21.64.130.D

D. Regulations.

1. The following activities are hereby prohibited, except as provided for herein.
  - a. Development within two hundred (200) feet of the riverbanks, or in the floodway or riparian corridor, as defined herein, except for areas separated vertically by more than the vertical elevation of flooding, as shown in the one hundred (100) year floodplain and floodway maps described in Section 21.64.030C, where it can be shown, to the satisfaction of the Monterey County Water Resources Agency Engineer, that development will accommodate sufficient setback to avoid erosion. All development within two hundred (200) feet of the river banks will require a Use Permit.
  - b. Alteration of the living riparian vegetation by removal, thinning, or other means.
  - c. Construction or alteration of levees, or the placement of fill material in the floodway or riparian corridor.
  - d. Any alteration of the natural course of the river or its banks, except as a part of a flood control project planned or approved by the Monterey County Water Resources Agency.
  - e. Any dredging of, or removal of, natural materials from the river channel or banks.
2. Development in the floodway fringe as defined herein, and subject to the provisions of Subsection 21.64.130D1 and Subsection 20.108.050A is permitted subject to the provisions of this Chapter and provided that all structures including related utilities shall be so located and



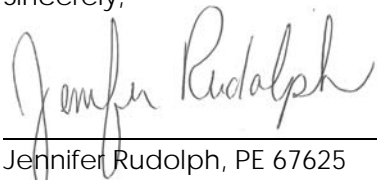
constructed so as to minimize or eliminate infiltration of flood waters into the systems and discharges from the systems flood waters. On-site waste disposal systems shall be located so as to avoid impairment of the contamination from and during flooding. The first habitable floor of any structures shall be located at least one foot above the one hundred (100) year flood level. Such use shall be subject to first securing a Use Permit prior to the commencement of any such development.

3. Development of recreation facilities and the establishment of low intensity open space use structural repairs and alterations to existing structures may be permitted in the floodway or floodway fringe provided such facilities or uses comply with the intent and all provisions of this ordinance, including the requirement for a Use Permit and adequate protection of riparian habitats and rip vegetation, smooth flood flow, retention of Federal Flood Insurance Eligibility, and prevention of damage to structures in the floodways. Such facilities and uses shall not include activities a structures which would increase flood-related hazards or impede flood flows. Structural repairs and alterations to existing structures may not expand, enlarge, increase, or otherwise intensify the existing structure.

The proposed project is currently applying for a use permit in conformance with the above #1. The proposed project is considered development in the floodway fringe and is in compliance with the requirements in #2 above (MCC 21.64.130.D.2). The proposed structures are not habitable and related utilities are to be designed with wet flood proofing systems in conformance with FEMA requirements within a floodplain.

Please contact me if you have any questions at 831-214-2201.

Sincerely,



Jennifer Rudolph, PE 67625  
C3 Engineering

5/17/2023

Date





## Exhibit C



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**MINUTES**  
**Carmel Valley Land Use Advisory Committee**  
**Monday, May 15, 2023**

1. Meeting called to order by Janet Brennan at 6:50 pm

2. **Roll Call**

Janet Brannan; David Burbidge; Judy MacClelland; Charles Franklin; James Kendall

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**Members Present:**

**Members Absent:**

John Hey

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3. **Approval of Minutes:**

1A. May 1, 2023 minutes

Motion: Charles Franklin (LUAC Member's Name)

Second: James Kendall (LUAC Member's Name)

Ayes: Janet Brannan; David Burbidge; Judy MacClelland; Charles Franklin; James Kendall

Noes: \_\_\_\_\_

Absent: John Heyl

Abstain: \_\_\_\_\_

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

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5. **Scheduled Item(s)**



See Below

**6. Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

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B) Announcements

None

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**7. Meeting Adjourned:** 7:50 pm

**Minutes taken by:** David Burbidge



Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

58



## LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
None		

## ADDITIONAL LUAC COMMENTS

None

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## RECOMMENDATION:

Motion by: Charles franklin (LUAC Member's Name)

Second by: James Kendall (LUAC Member's Name)

X Support Project as proposed

       Support Project with changes

       Continue the Item

Reason for Continuance: \_\_\_\_\_

Continue to what date: \_\_\_\_\_

Ayes: Janet Brannan; David Burbidge; Judy MacClelland; Charles Franklin; James Kendall

Noes: \_\_\_\_\_

Absent: John Heyl

Abstain: \_\_\_\_\_



# Action by Land Use Advisory Committee

## Project Referral Sheet

Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

**Advisory Committee:** Carmel Valley

2.                   **Project Name:** 12 RONNOCO LLC  
                       **File Number:** PLN210269  
                       **Project Location:** 12 RONNOCO RD, CARMEL VALLEY, CA 93924  
**Assessor's Parcel Number(s):** 185-021-026-000  
                       **Project Planner:** Fionna Jensen  
                       **Area Plan:** Carmel Valley Master Plan.  
**Project Description:** Combined Development Permit consisting of: 1) Use Permit to allow development within the Carmel Valley Floodplain; 2) after-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and 3) Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court.

**Was the Owner/Applicant/Representative present at meeting?**    YES   X      NO       

(Please include the names of the those present)

Gail Hatter-designer

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Was a County Staff/Representative present at meeting?** Fiona Jensen (Name)

### PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Samules	X		Has been lots of work going on. Planner Indicated that all appropriate permits had Been issued & posted
Larry Miller	X		Not happy with past work. Road problems



Planner said -no active codework on property			

## LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Janet Brennan	Planner indicated that biologist will Be looking at plan	Need past, present & future data On project, Seems confusing. Need water & river data

## ADDITIONAL LUAC COMMENTS

None

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## RECOMMENDATION:

Motion by: James Kendall (LUAC Member's Name)

Seconded by David Burbidge (LUAC Member's Name)

- Support Project as proposed  
         Support Project with changes  
  x   Continue the Item

Reason for Continuance: Need complete description: Past work, Present work & future plans



Continuaton what date: TBA

n

Ayes: David Burbidge: James Franklin

Noes: Janet Brennan: Judy MacClelland; Charles Franklin

Absent:

Abstain:



**MINUTES**  
**Carmel Valley Land Use Advisory Committee**  
**Tuesday, June 20, 2023**

1. Meeting called to order by Janet Brennan at 6:30 pm

2. Roll Call

**Members Present:**

Janet Brennan; Judy MacClelland; Charles Franklin; David Burbidge; John Heyl

**Members Absent:**

James Kendall

3. Approval of Minutes:

A. June 5, 2023 minutes

Motion: Judy MacClelland\*Revise to reverse Nos (LUAC Member's Name)  
& Ayes

Second: Charles Franklin (LUAC Member's Name)

Ayes: Janet Brennan; Judy MacClelland; Charles Franklin; David Burbidge; John Heyl

Noes: \_\_\_\_\_

Absent: James Kendall

Abstain: \_\_\_\_\_

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. Scheduled Item(s)



**6. Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

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B) Announcements

None

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**7. Meeting Adjourned:** 7:00 pm

**Minutes taken by:** \_\_\_\_\_



# Action by Land Use Advisory Committee

## Project Referral Sheet

Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

Advisory Committee: Carmel Valley

1. **Project Name:** 12 RONNOCO LLC  
**File Number:** PLN210269  
**Project Location:** 12 RONNOCO RD, CARMEL VALLEY, CA 93924  
**Assessor's Parcel Number(s):** 185-021-026-000  
**Project Planner:** Fionna Jensen  
**Area Plan:** Carmel Valley Master Plan  
**Project Description:** A Combined Development Permit consisting of: 1) Use Permit to allow development within the Carmel Valley Floodplain; 2) after-the-fact Administrative Permit and Design Approval to allow construction of a 1,000 square foot non-habitable structure; and 3) Administrative Permit and Design Approval to allow construction of a 750 square foot detached garage, 700 square foot detached garage with an attached 325 square foot covered porch, and associated site improvements including a 2,275 square foot sports court.

Was the Owner/Applicant/Representative present at meeting? YES X NO       

(Please include the names of the those present)

M. Hatten -designer  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Was a County Staff/Representative present at meeting? Fiona jensen (Name)

PUBLIC COMMENT: None

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	







Continue to what date: \_\_\_\_\_

Ayes: Janet Brennan; Judy MacClelland; Charles Franklin; David Burbidge; John Heyl \_\_\_\_\_

Noes: \_\_\_\_\_

Absent: James Kendall \_\_\_\_\_

Abstain: \_\_\_\_\_







## LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
John Heyl - horse trail next to walking trail		Will be seperated
Paola Bertran - concerned about trees blocking view		Plant fewer trees

## ADDITIONAL LUAC COMMENTS

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## RECOMMENDATION:

Motion by: Charles Franklin (LUAC Member's Name)

Second by: David Burbidge (LUAC Member's Name)

       Support Project as proposed

X Support Project with changes: Plant fewer trees so view shed will still be available

       Continue the Item

Reason for Continuance: \_\_\_\_\_

Continue to what date: \_\_\_\_\_

Ayes: \_\_\_\_\_

Janet Brennan; Judy MacClelland; Charles Franklin; David Burbidge; John Heyl

Noes: \_\_\_\_\_



Absent: James Kendall

Abstain: \_\_\_\_\_



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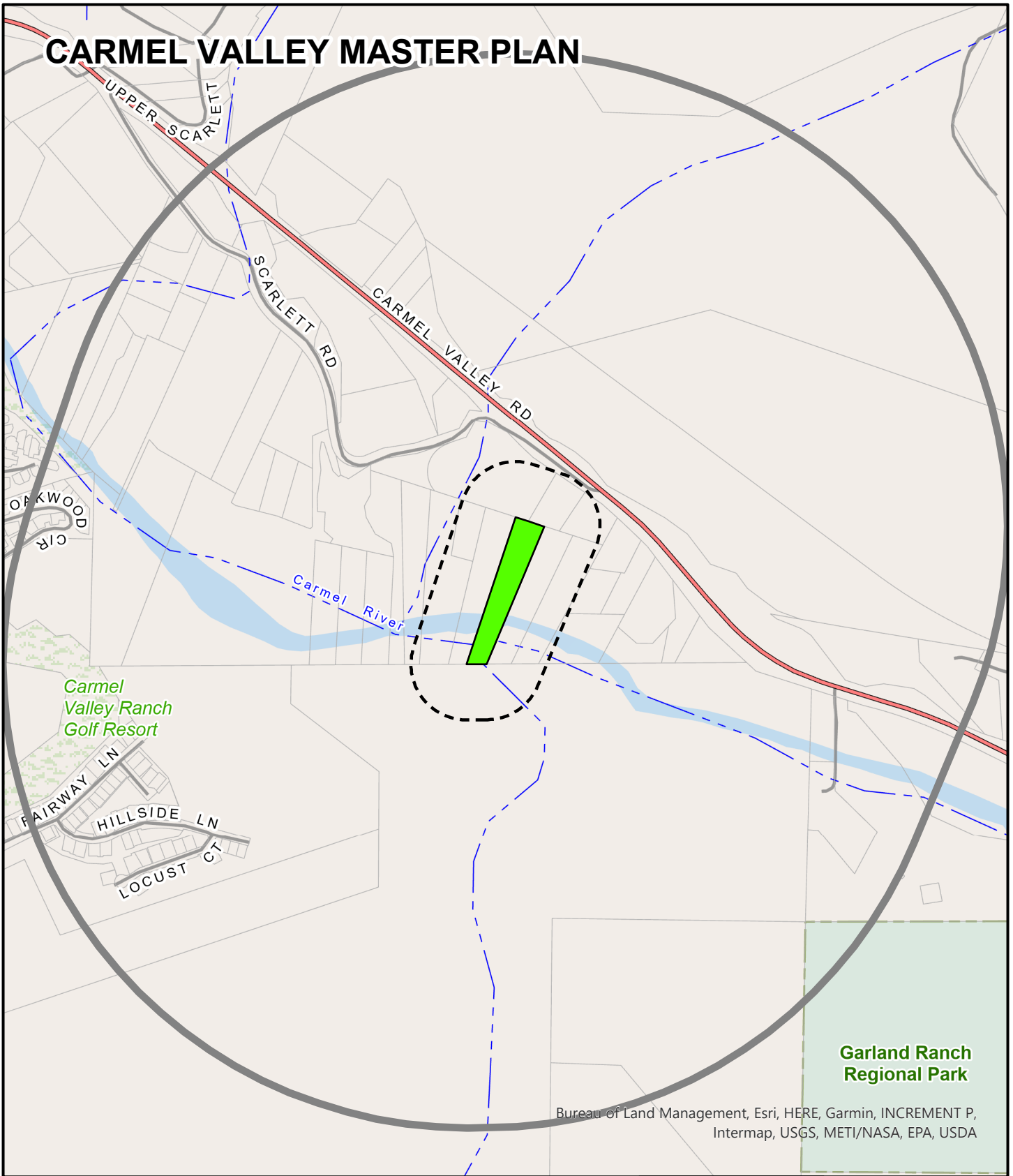
## Exhibit D



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# CARMEL VALLEY MASTER PLAN



**APPLICANT:** 12 RONNOCO LLC

**APN:** 185021026000

**FILE #** PLN210269



Project Site



300 FT Buffer



2500 FT Buffer





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