

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

CRIBE REED SILAS & BRIGGA (C P) - (PLN190397-EXT1)

RESOLUTION NO. 24 - 043

Resolution by the County of Monterey HCD Chief of Planning:

1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA; circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
 - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
 - b) After-the-fact development on slopes over 30 percent.

PLN190397-EXT1 CRIBE REED SILAS & BRIGGA (C P), 46190 Clear Ridge Road, Big Sur, Big Sur Land Use Plan, Coastal Zone (Assessor's Parcel Number 419-221-007-000)]

The CRIBE REED SILAS & BRIGGA (C P) application (PLN190397-EXT1) for extension came on for a public hearing before the County of Monterey HCD Chief of Planning on November 6, 2024. Having considered all the written and documentary evidence, the Chief of Planning finds and decides as follows:

RECITALS

WHEREAS, on July 14, 2022, PLN190397, a Combined Development Permit, was approved by the Zoning Administrator through Resolution No. 22-025; it is incorporated by reference. As approved, the project consists of 1) after-the-fact Coastal Administrative Permit and Design Approval to approve a 1,490 square foot single family dwelling and 390 square foot art studio; and 2) after-the-fact Coastal Development Permit to allow development on slopes over 30 percent. In accordance with the resolution, this entitlement was set to expire on July 25, 2024;

WHEREAS, pursuant to Monterey County Code (MCC) section 20.82.110 the applicant submitted a written request from the permittee, provided such request is made at least thirty (30) days prior to the expiration of the Combined Development Permit. The written request was filed by Belinda Taluban, agent, with the Appropriate Authority, HCD-Director, and set forth reasons supporting the request (technical delays in construction permit plan preparation);

WHEREAS, this extension does not include any change to the approved project scope; therefore, there is not change to the findings of site suitability and health life and safety;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is aware of a violation existing on subject property and the permit issued (Resolution No. 22-025) was done so to resolve the violation. The violation shall be resolved in part with the granting of this extension;

WHEREAS, the original planning permit (PLN190397) is and will continue to be the operating permit for condition compliance;

WHEREAS, the project was deemed categorically exempt from environmental review per California Environmental Quality Act (CEQA) Section 15303 at the time of approval and there

were no exceptions pursuant to Section 15300.2. CEQA Guidelines Sections 15303(a) and 15303(e) categorically exempt construction of the first single family residence and accessory structures on a residential lot. Therefore, the Zoning Administrator found the project consistent with CEQA Guidelines Section 15303(a) and 15303(e) and none of the exceptions under CEQA Guidelines Section 15300.2 applied to this project. No new adverse environmental effects were identified during staff review of the application for permit extension, therefore no new environmental review is required;

WHEREAS, pursuant to MCC Section 20.86.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the HCD Chief of Planning. The decision on this project is also appealable to the California Coastal Commission pursuant to MCC Section 20.86.080 (a)(1) & (a)(3).

DECISION

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey HCD-Chief of Planning does hereby:

1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
 - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
 - b) After-the-fact development on slopes over 30 percent.

PASSED AND ADOPTED this 6 day of November 2024:

DocuSigned by:

F0C3AC03D78044E...
Melanie Beretti, AICP
HCD, Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON NOVEMBER 7, 2024.

THIS ADMINISTRATIVE DECISION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE NOVEMBER 18, 2024.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190397-EXT1

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN190397) allows an after-the-fact Coastal Administrative Permit and Design Approval to approve a 1,490 square foot single-family dwelling and 390 square foot art studio and 2) After-the-fact Coastal Development Permit for development on slopes exceeding 30 percent. The owners may reside in a temporary residence on the building site while building permits are obtained and finalized. Such temporary residence shall obtain necessary permits. The property is located at 46190 Clear Ridge Road (APN 419-221-007-000), Big Sur Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Extension to a Combined Development Permit PLN190397 (Resolution Number 24-043) was approved by HCD Chief of Planning for Assessor's Parcel Number 419-221-007-000 on November 6, 2024. The permit was granted subject to 2 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.



RESIDENCE for REED and BRIGGA CRIFE

La Vida Del Sur

MONTEREY COUNTY APN 419-221-07
DRAWINGS BY REED SILAS CRIFE

1

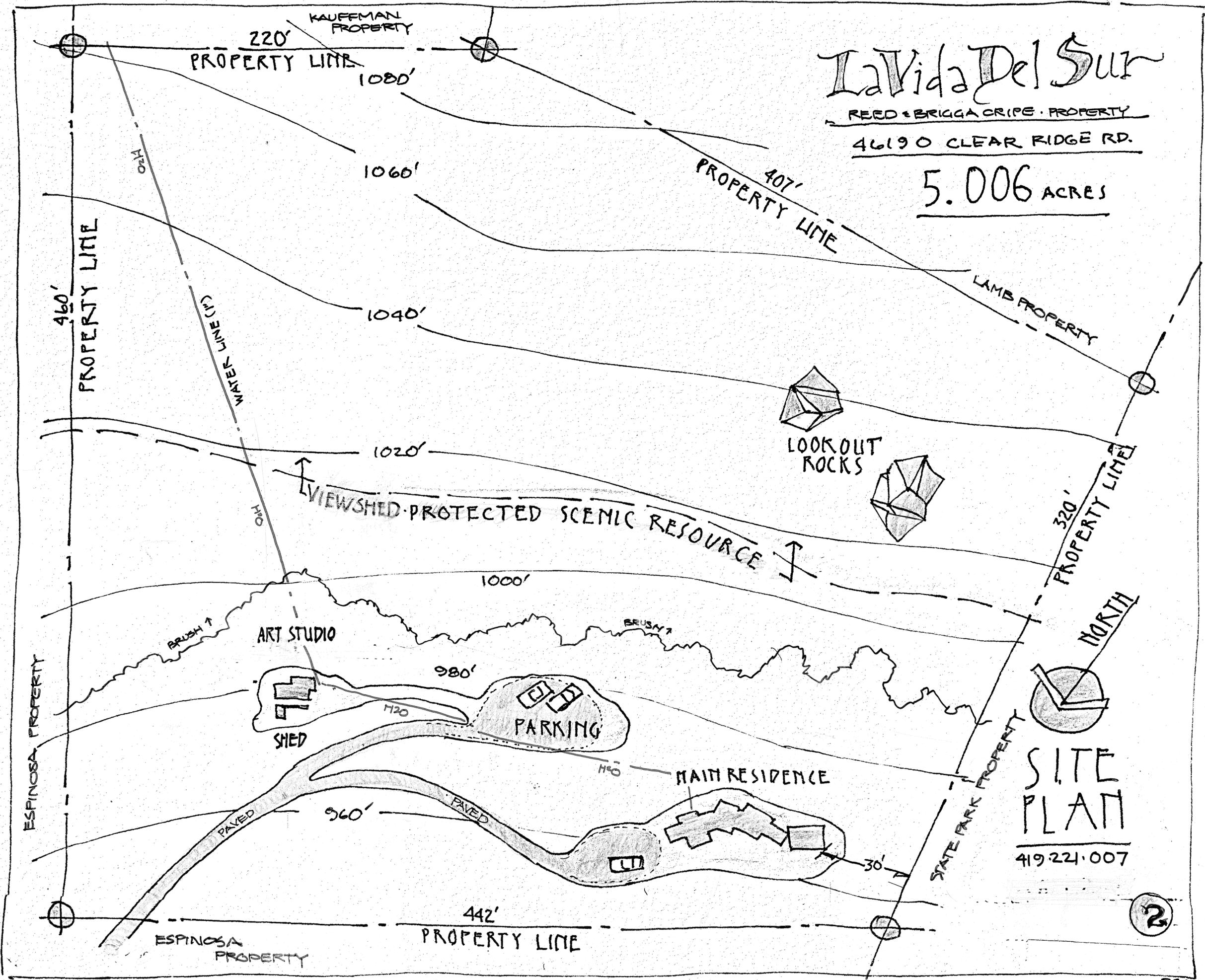
RSC

La Vida Del Sur

REED & BRIGGA CRIFE PROPERTY

46190 CLEAR RIDGE RD.

5.006 ACRES



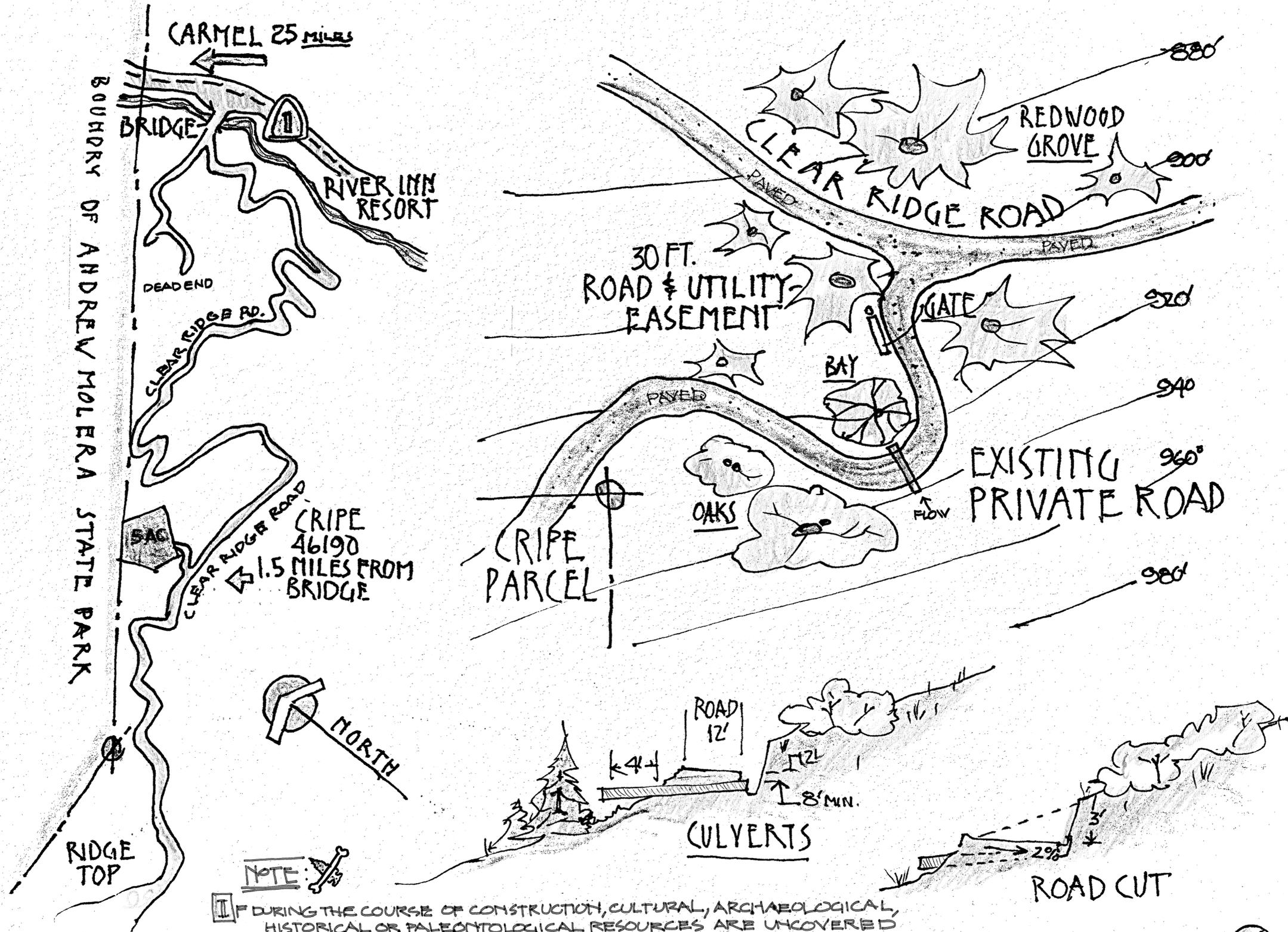
SITE PLAN

419.221.007

2

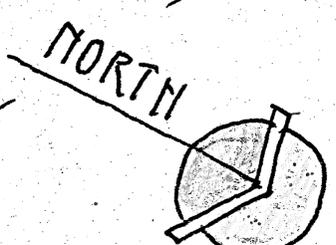
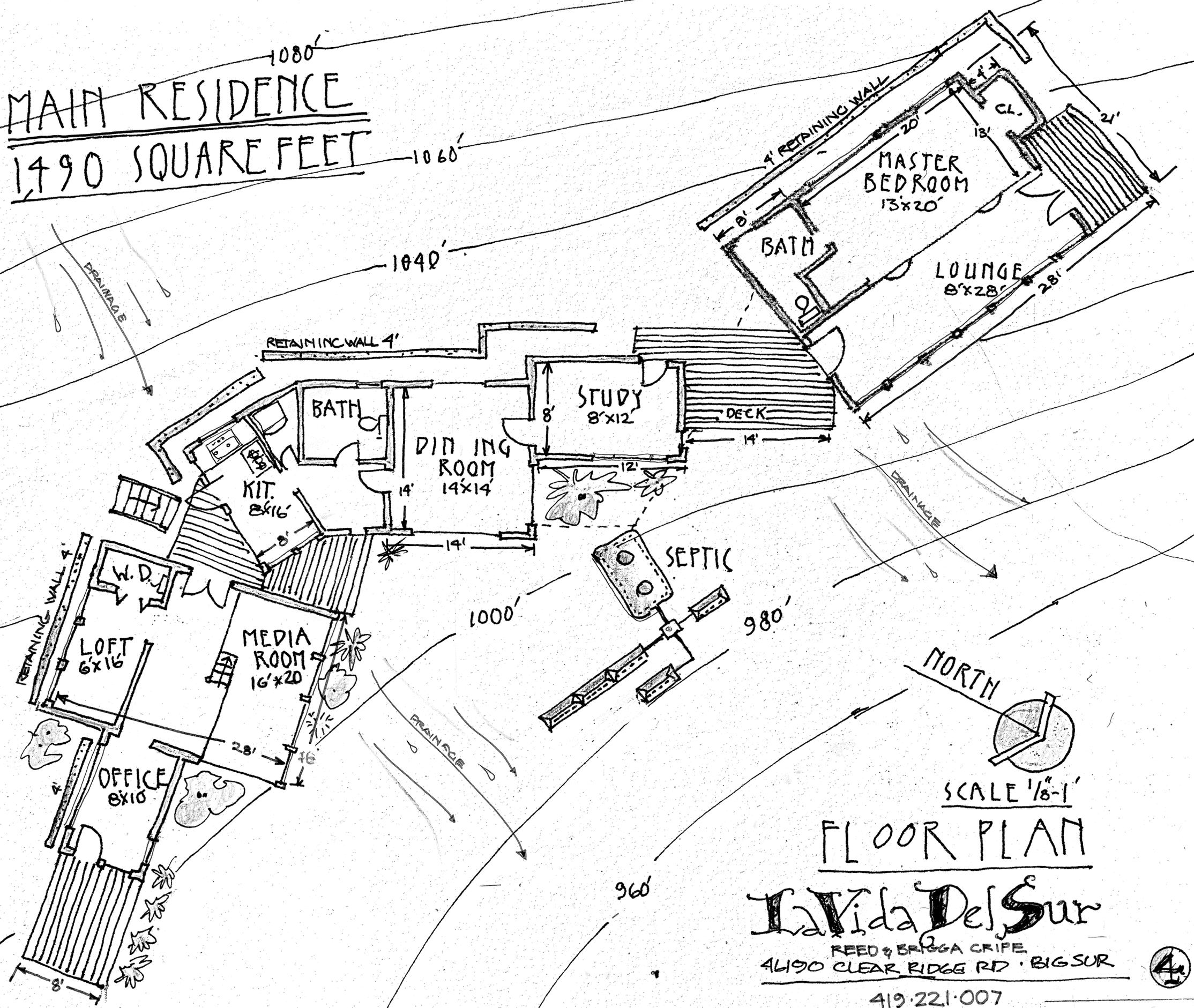
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VICINITY MAP, EASEMENT and ROAD ACCESS



NOTE: IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND, UNTIL A QUALIFIED ARCHAEOLOGIST CAN EVALUATE IT.

MAIN RESIDENCE
1790 SQUARE FEET



SCALE 1/8"=1'

FLOOR PLAN

La Vida Del Sur

REED & BRIGGA CRIFE
 4190 CLEAR RIDGE RD • BIG SUR

419.221.007



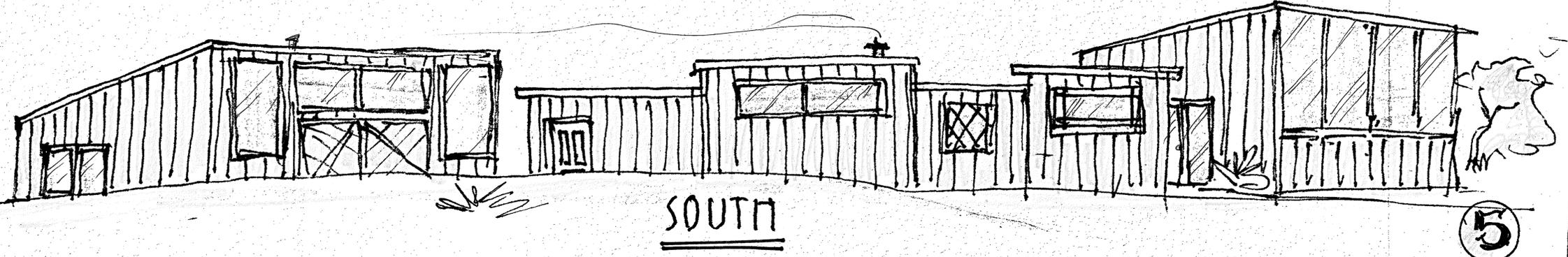
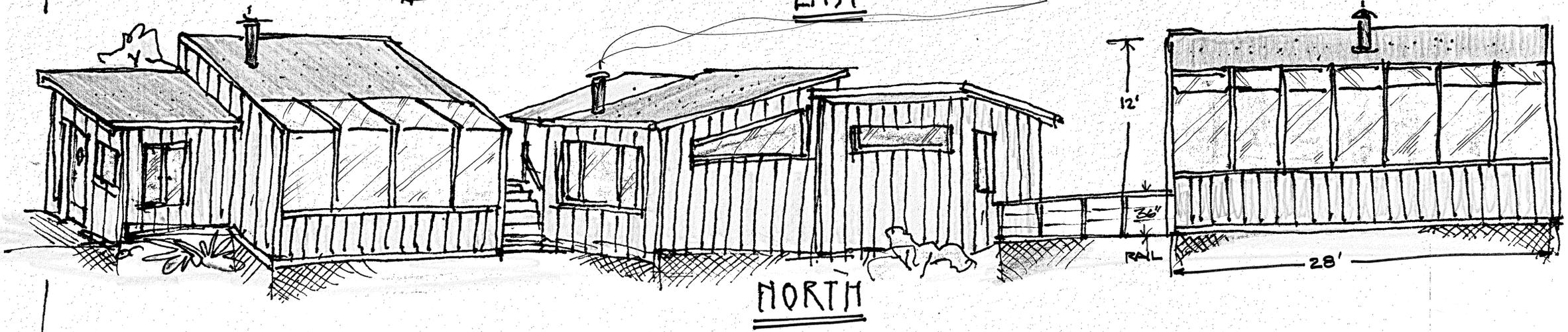
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ELEVATIONS
MAIN RESIDENCE

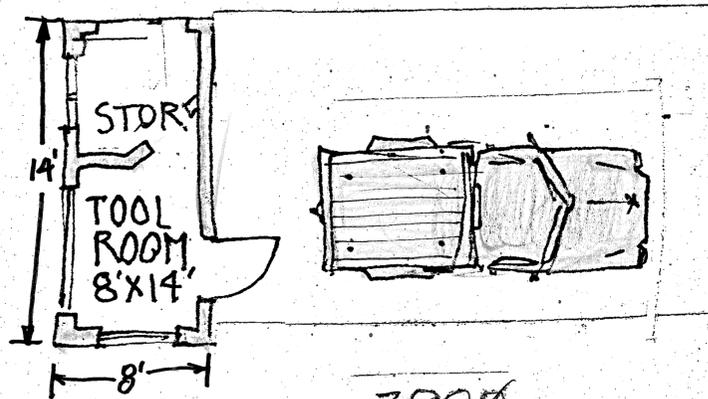
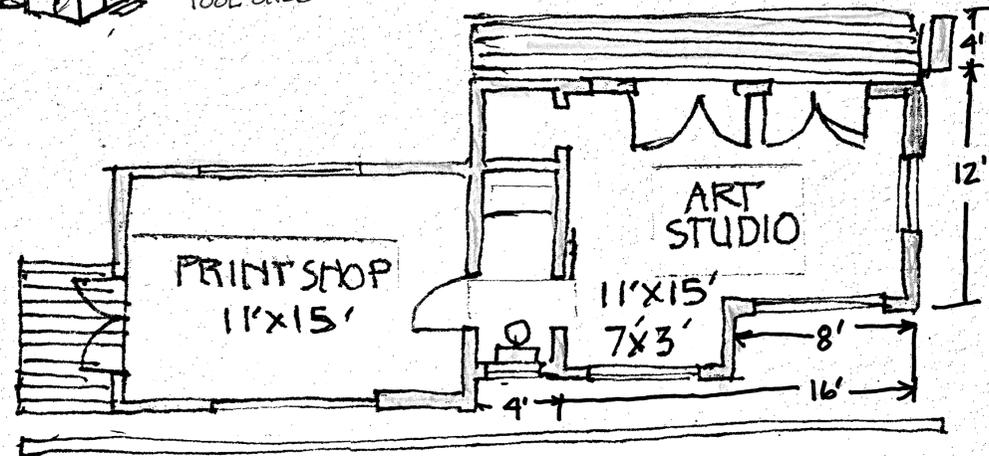
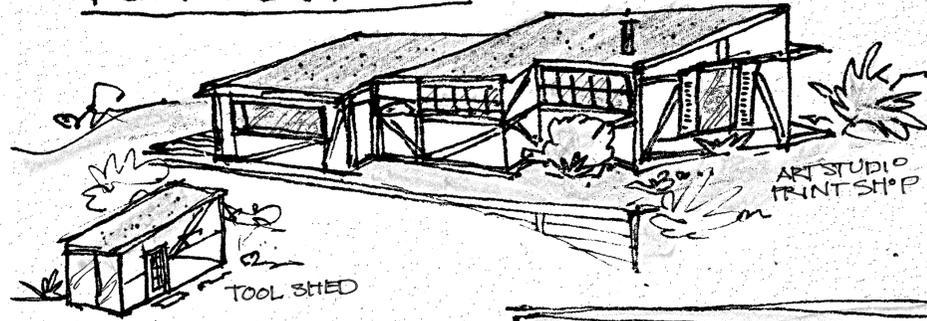
SCALE 1/8"=1'-0"

1490 SQ. FT.

REED & BRIGLIA CRIPS RESIDENCE
1490 CLEAR RIDGE ROAD
BIG SUR, CA
APN 419-221-007



PERSPECTIVE



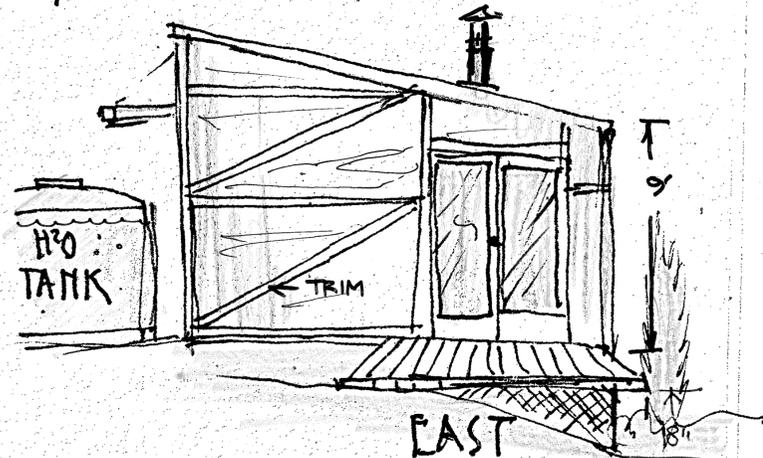
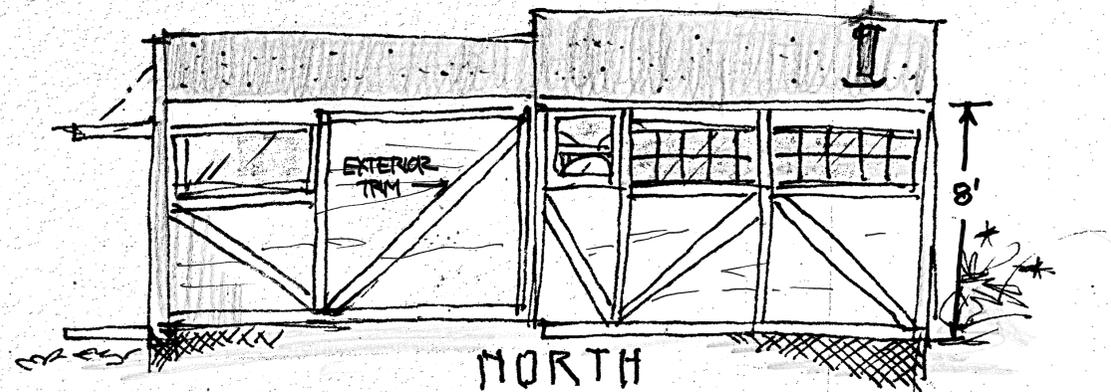
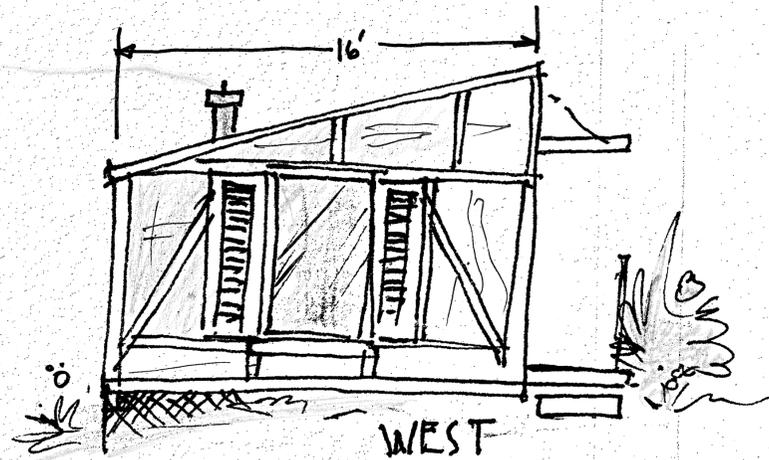
~~390~~
ARTIST STUDIO
~~400~~

FLOOR PLAN

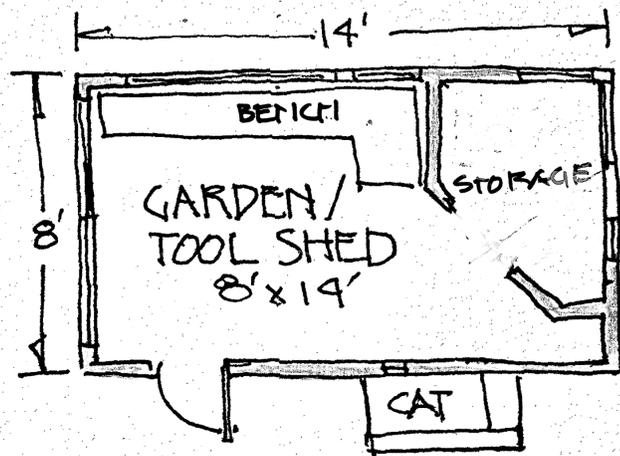
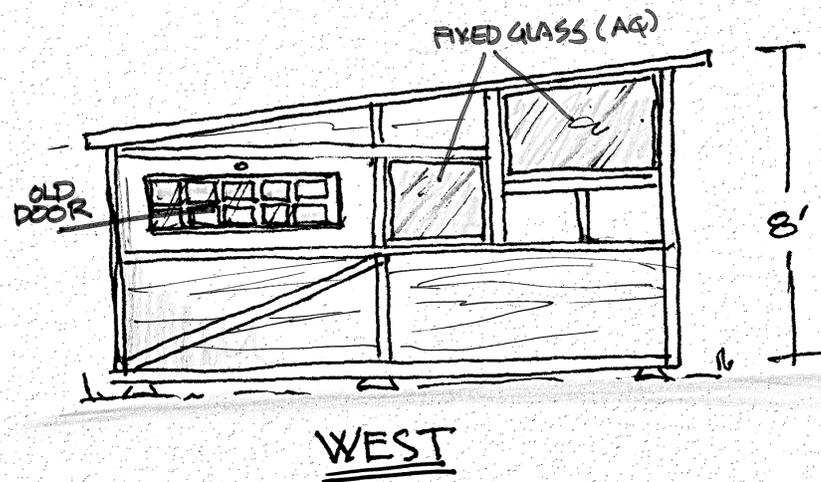
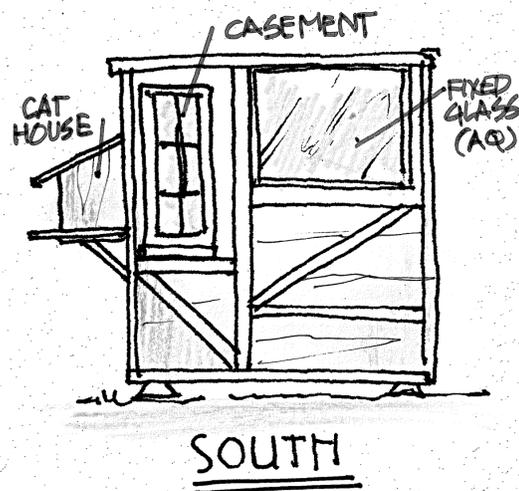
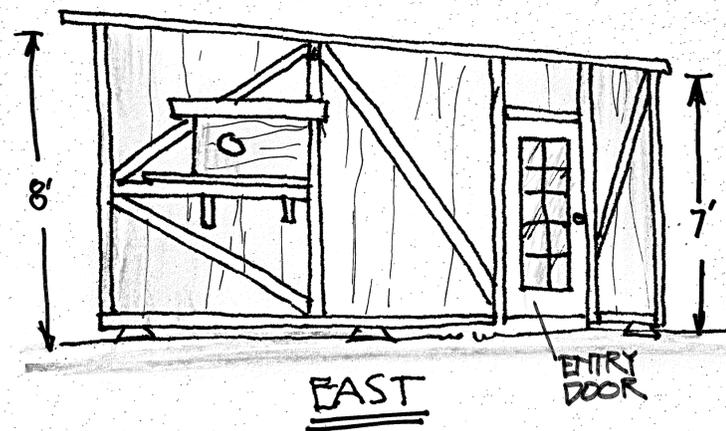
La Vida Del Sur

APN 419-221-007

REED & BRIGGA CRIFE
4690 CLEAR RIDGE RD. BIG SUR



6



GARDEN/TOOL SHED
112

FLOOR PLAN

STRUCTURAL PLANS

MECHANICAL, PLUMBING & ELECTRICAL PLAN

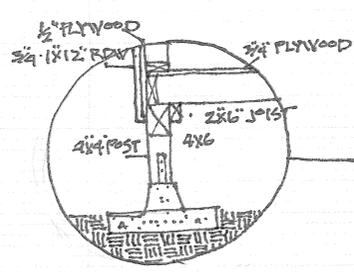
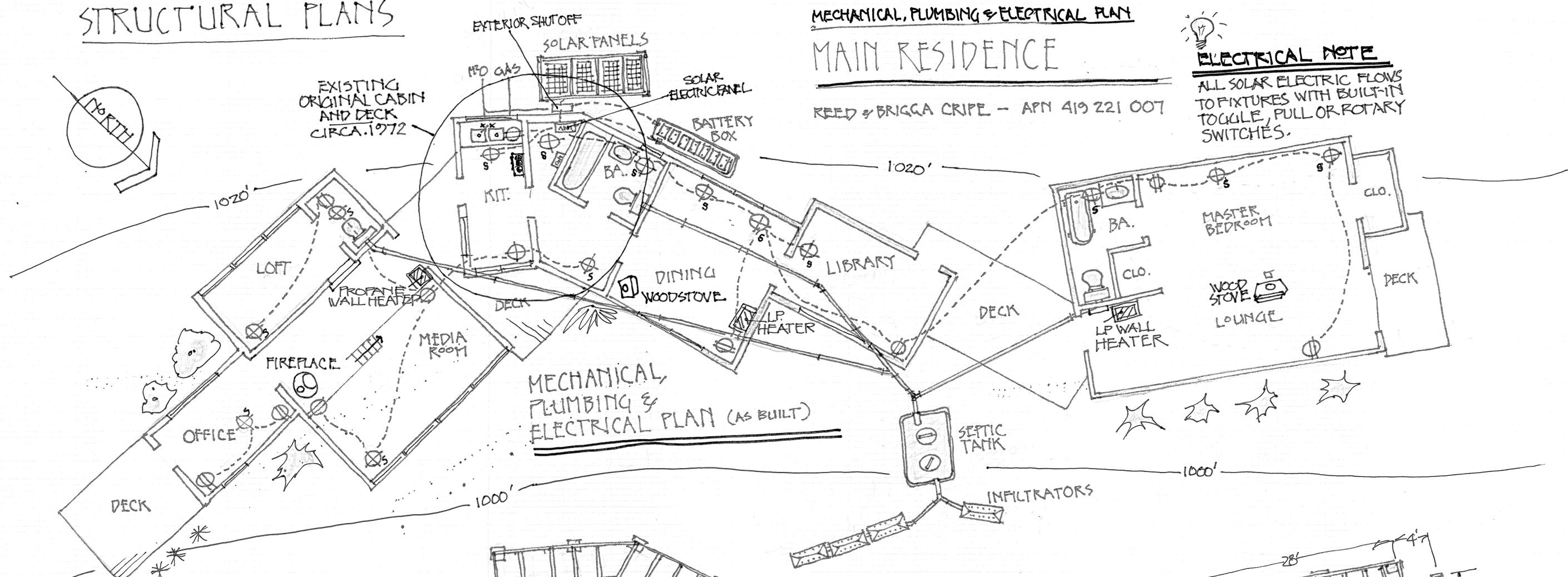
MAIN RESIDENCE

REED & BRIGGA CRPE - APN 419 221 007

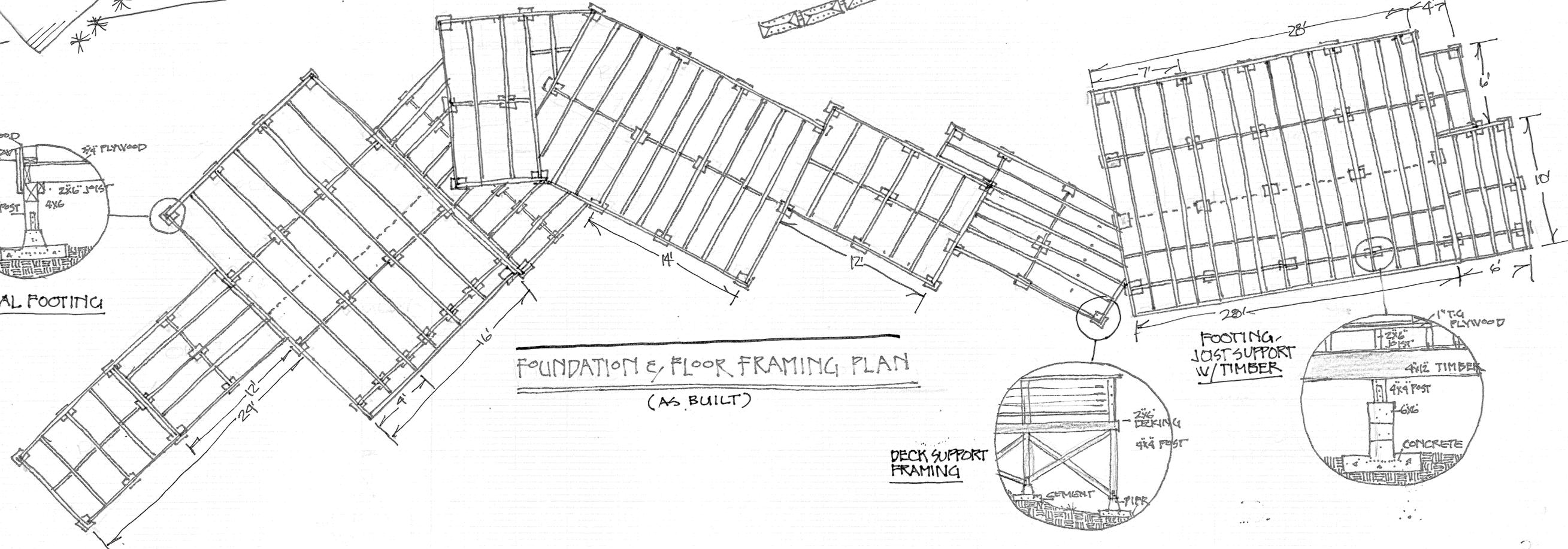


ELECTRICAL NOTE

ALL SOLAR ELECTRIC FLOWS TO FIXTURES WITH BUILT-IN TOGGLE, PULL OR ROTARY SWITCHES.



TYPICAL FOOTING

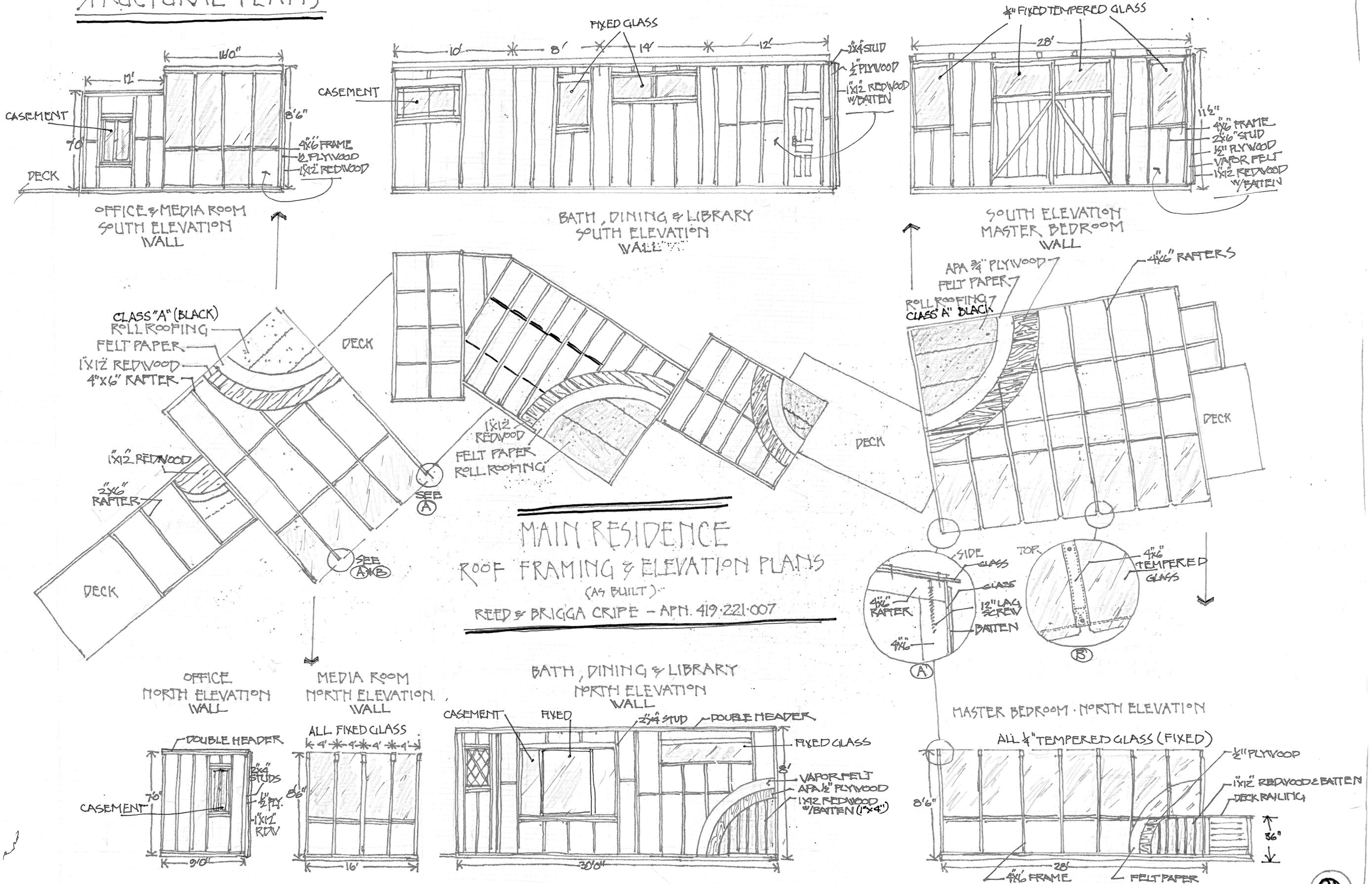


DECK SUPPORT FRAMING

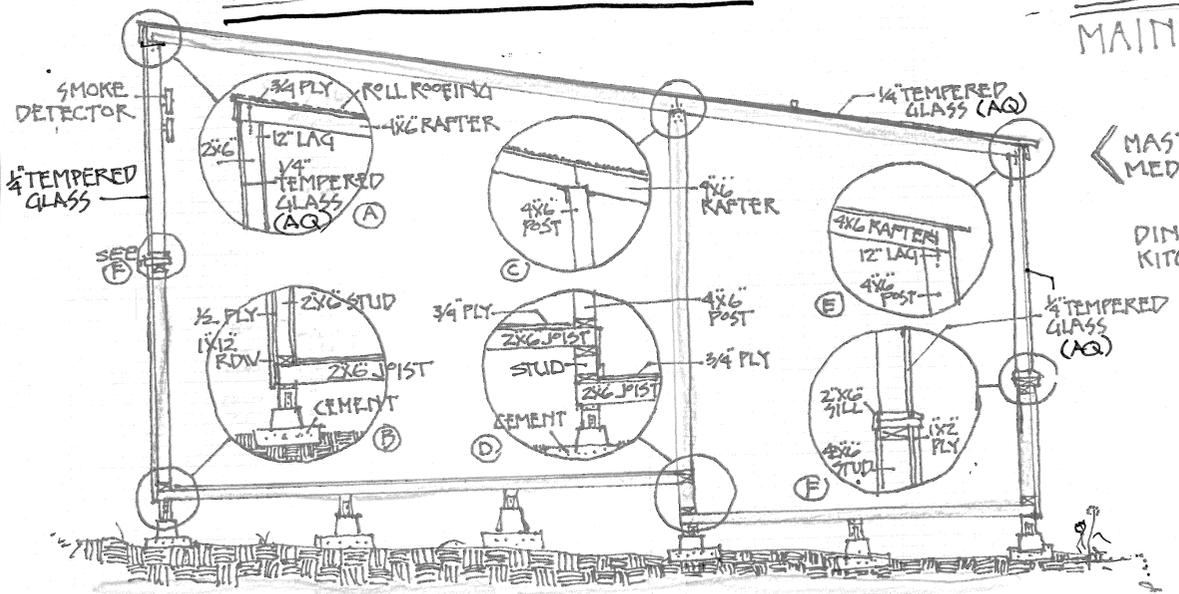
FOOTING/JOIST SUPPORT W/TIMBER



STRUCTURAL PLANS



STRUCTURAL PLANS



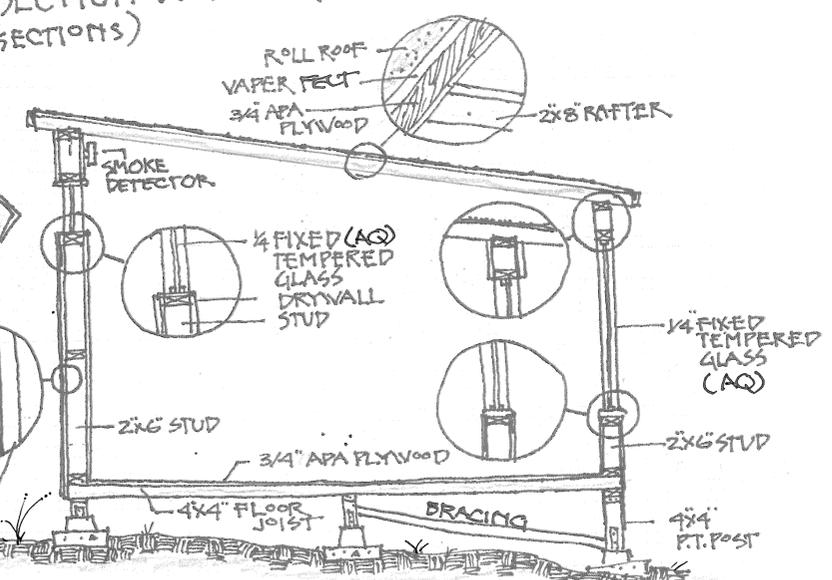
MAIN RESIDENCE - SECTION DETAILS (AS BUILT)

(TYPICAL CROSS-SECTIONS)

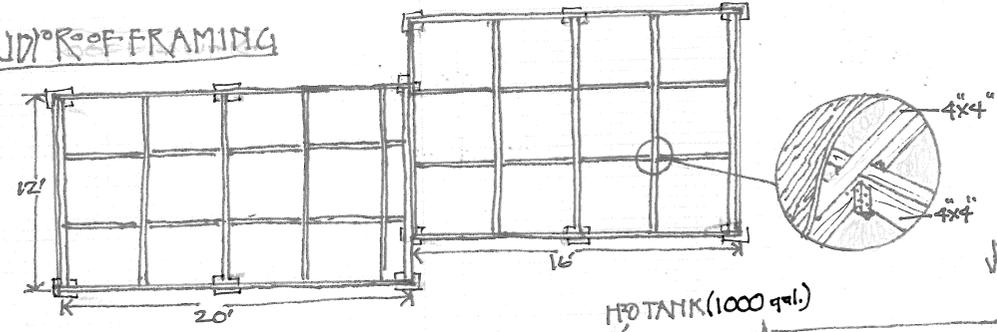
← MASTER BEDROOM & MEDIA ROOM DETAILS

→ DINING, LIBRARY, KITCHEN DETAILS

TYPICAL WALL DETAIL



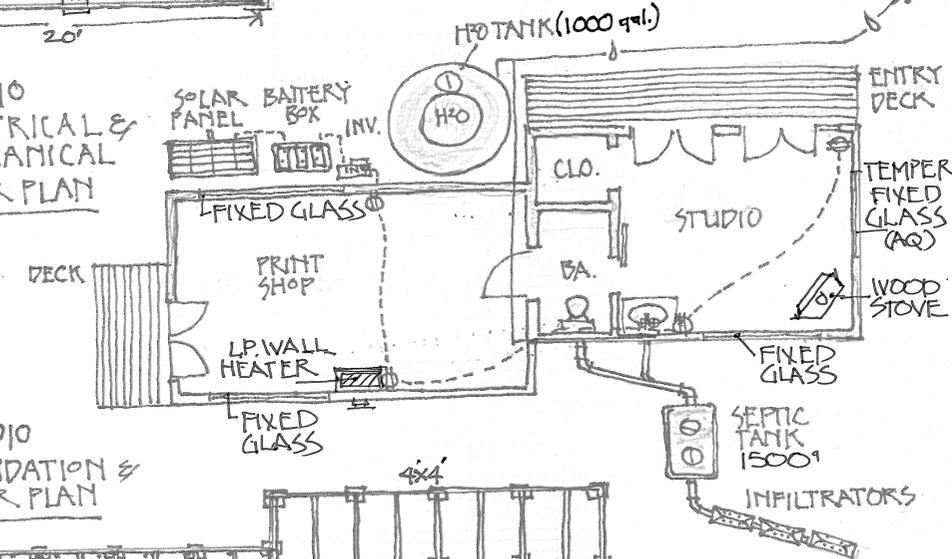
STUDIO ROOF FRAMING



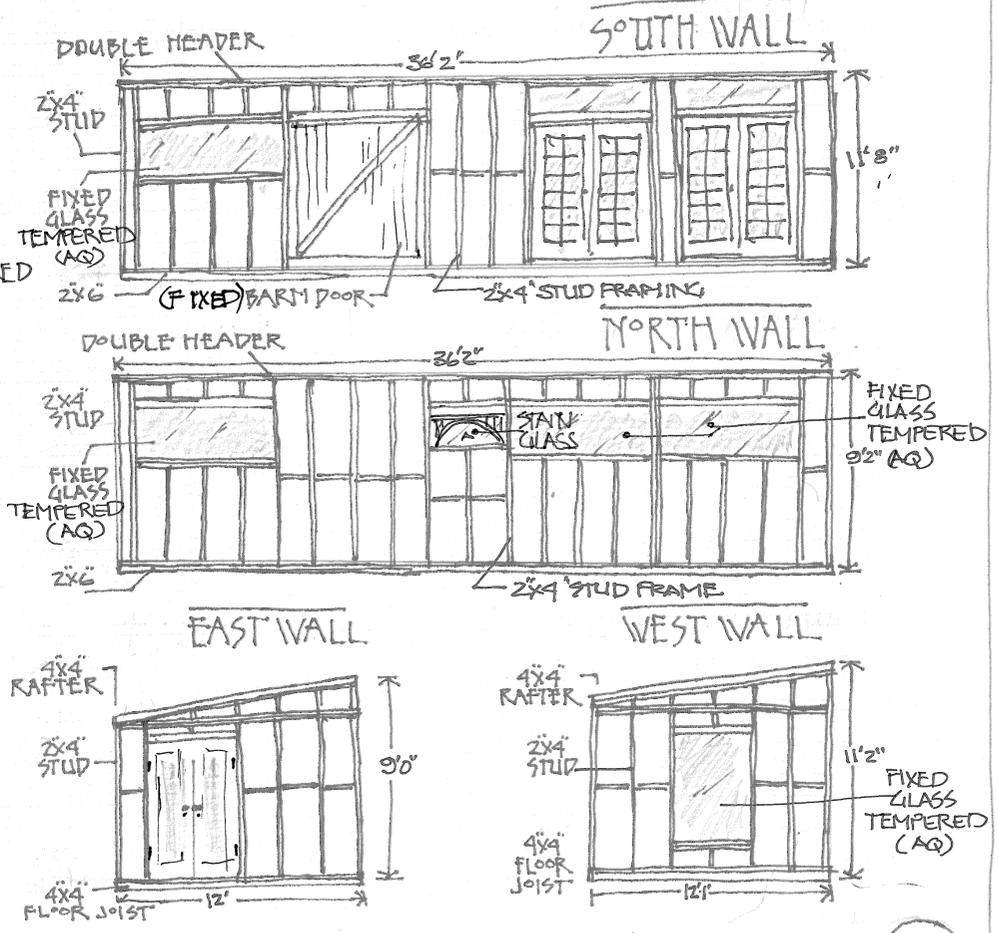
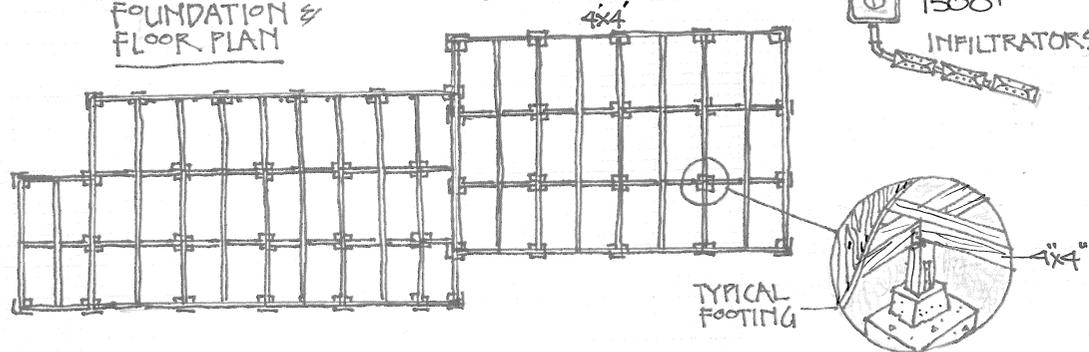
ART STUDIO 490A (AS BUILT)

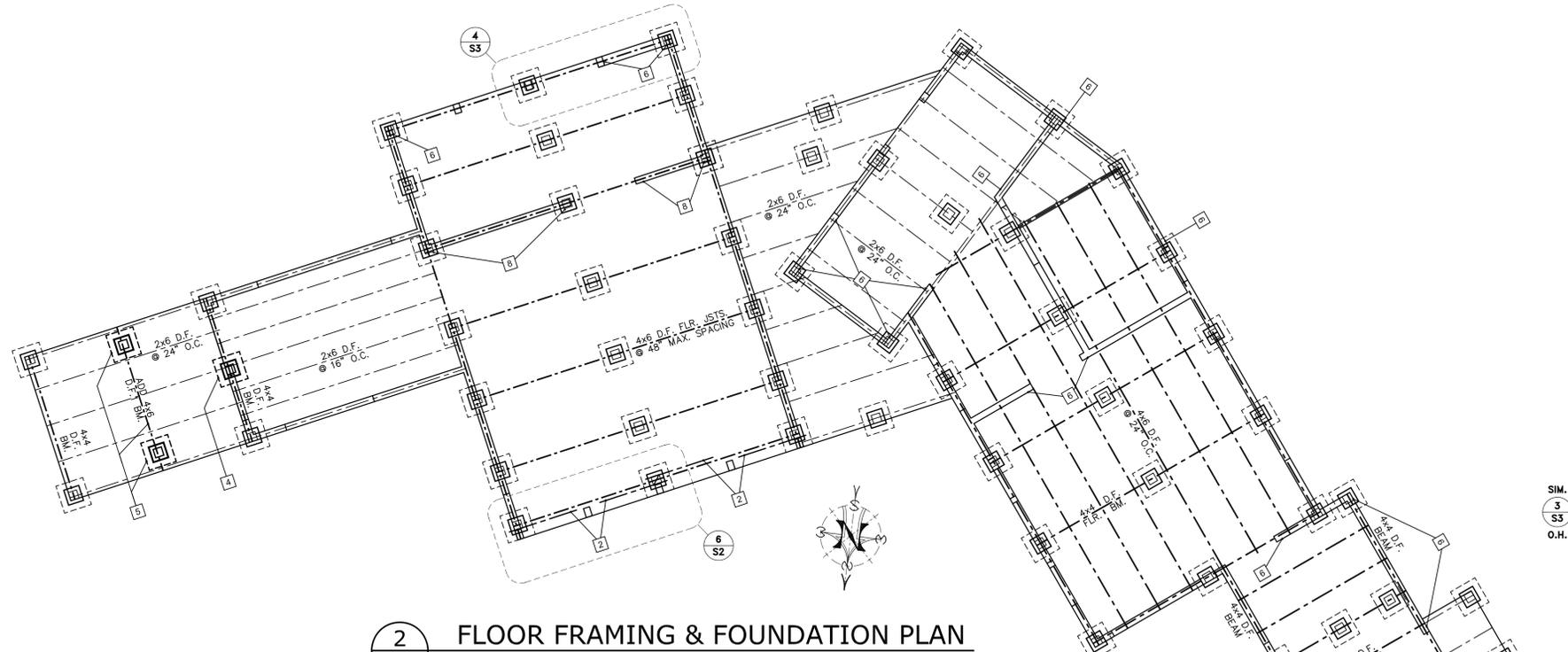
REED & BRIGGA CRIFE - APN 419221007

STUDIO ELECTRICAL & MECHANICAL FLOOR PLAN

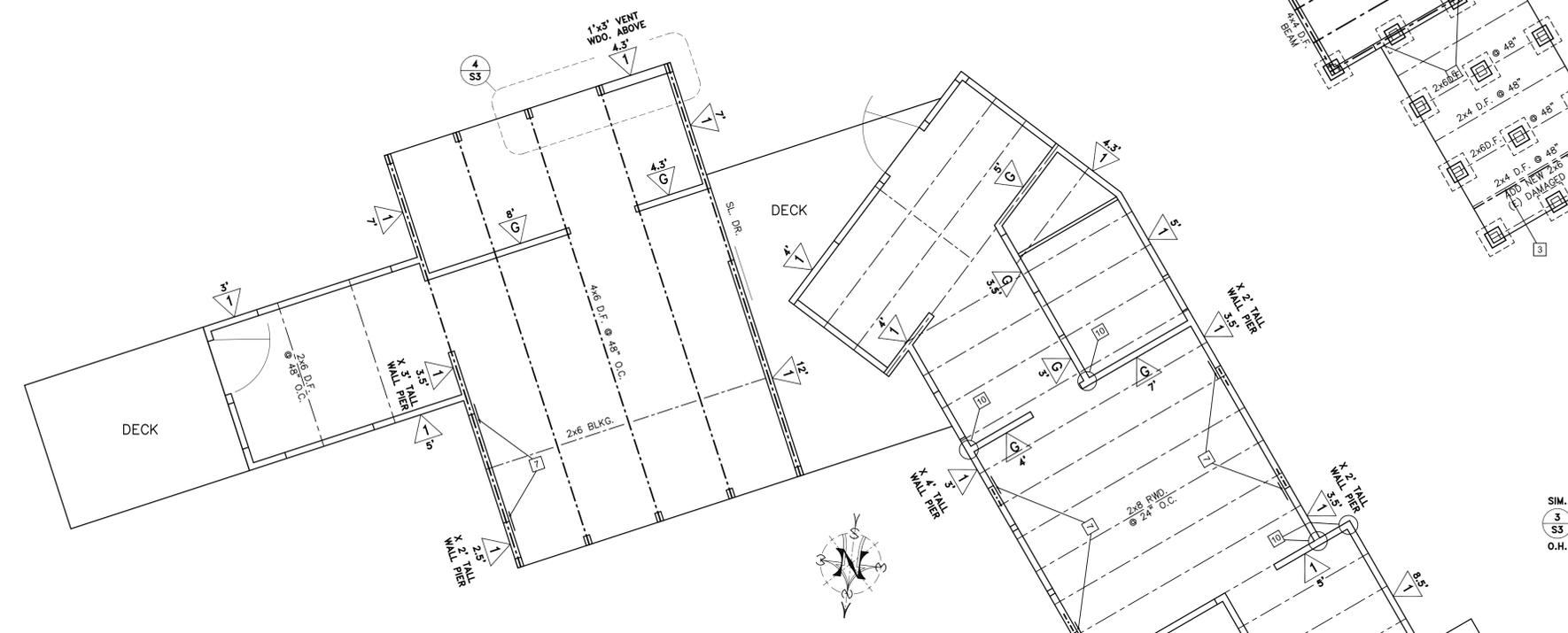


STUDIO FOUNDATION & FLOOR PLAN





2 FLOOR FRAMING & FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



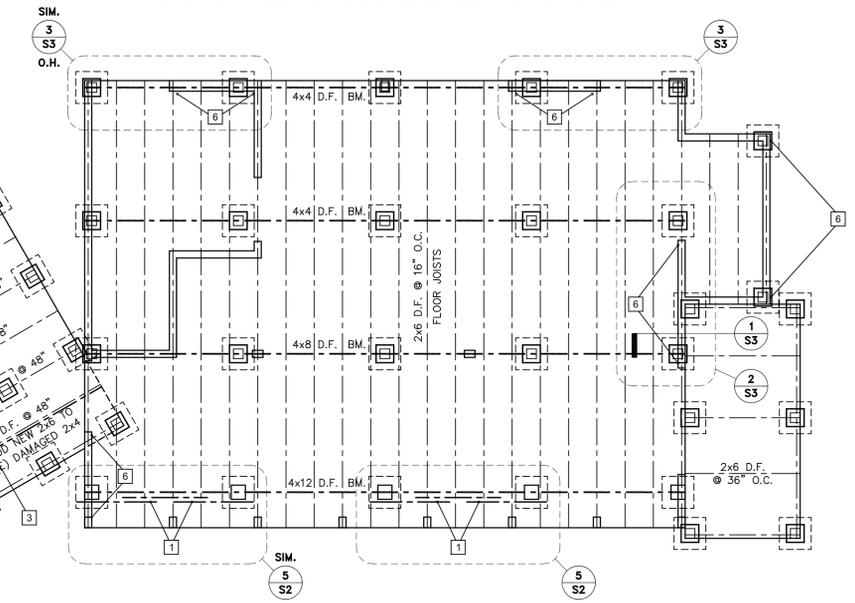
1 ROOF FRAMING & SHEAR WALL PLAN
 SCALE: 1/4" = 1'-0"

FRAMING, SHEAR AND FOUNDATION PLAN NOTES

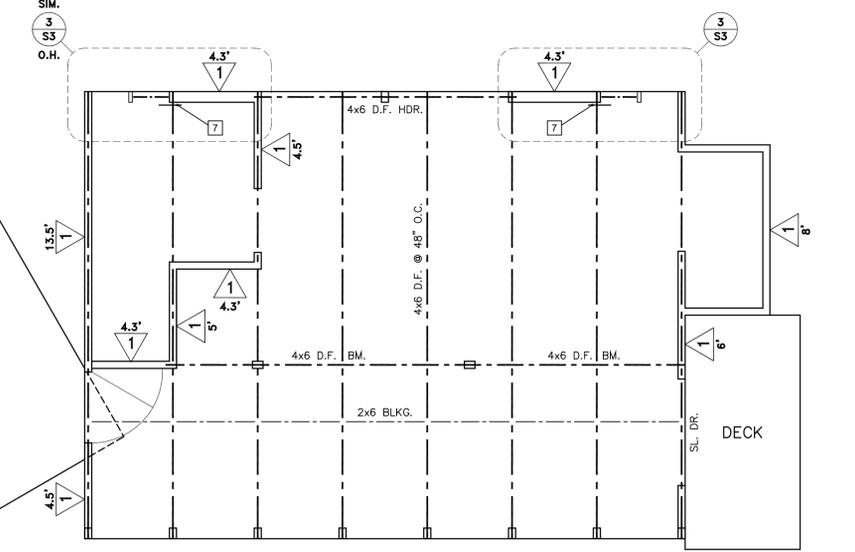
- 1 ADD NEW 2x6 DIAGONAL BRACING ENGAGING (E) 8" SQ. CONCRETE BLOCK MASONRY STEMS PER DETAIL 5/S2.
- 2 ADD NEW 2x6 DIAGONAL BRACING ENGAGING ALL (E) 4x4 FOOTING POSTS THIS LINE PER DETAIL 6/S2.
- 3 ADD NEW 2x6 JOIST TO (E) DAMAGED 2x4 JOIST; ALTERNATELY REPLACE 2x4 JOIST w/ NEW 2x6 JOIST.
- 4 ADD 18" SQUARE x 12" EMBEDMENT ISOLATED FOOTING PIER. REFER TO DETAIL 1/S3 FOR DETAIL OF PIER.
- 5 ADD 4x6 P.T. DF DECK BEAM w/ TWO 18" SQUARE x 12" EMBEDMENT ISOLATED FOOTING PIERS AT 6'-0" SPACING AND CENTERED ON DECK BEAM AS SHOWN. REFER TO DETAIL 1/S3 FOR DETAIL OF PIER.
- 6 VERIFY (E) NAILED ATTACHMENT OR ADD ST9 OR SIMILAR VERTICAL STRAP FOR TENSION ANCHORAGE OF (E) SHEAR WALL END STUD TO (E) FLOOR JOIST OR BEAM FOR UPLIFT TENSION OF 600#. ST9 STRAP w/ THREE 16d NAILS BOTH ENDS GOOD FOR 660# TENSION; PER OR SIMILAR TO DETAILS 1/S3 & 2/S3.
- 7 VERIFY (E) ATTACHMENT OR ADD HORIZONTAL ST9 OR SIMILAR STRAP OF 200# (OR GREATER) TENSION CAPACITY TO TIE (E) WINDOW SILL TO (E) OR NEW 2X HORIZ. BLOCK IN (E) SHEAR WALL. FASTEN 2X BLOCK TO MIN. 1'-4" (E) SHEAR WALL SHEATHING w/ 8d @ 8" T.E.N. OR EQUIVALENT; PER OR SIMILAR TO DETAIL 3/S3.
- 8 ADD ST12 OR SIM. VERTICAL STRAP FOR TENSION ANCHORAGE OF (E) SHEAR WALL END STUD(S) TO (E) FLOOR JOIST OR BEAM FOR UPLIFT TENSION OF 1,000#. ST12 VERTICAL NAILED STRAP w/ FIVE 16d NAILS BOTH ENDS GOOD FOR 1,105# TENSION. SIM. TO DETAILS 1/S3 & 2/S3, EXCEPT WITH HIGHER CAPACITY STRAP.
- 9 REMOVE (E) FIXED 7-FT. WIDE GARAGE DOOR & INFILL w/ 7-FT. WIDE 2x4-FRAMED SHEAR WALL TYPE 1.
- 10 SHEAR WALL INTERSECTION PER DETAIL 4/S2. (TYPICAL AT ALL SHEAR WALL INTERSECTIONS.)

FOUNDATION PLANS ARCHAEOLOGICAL NOTE:

STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.



FOR DETAILS NOT SHOWN OR NOTED, REFER TO ARCHITECTURAL ROOF & ROOF FRAMING PLAN ON SHEET 9, & FOUNDATION & FLOOR FRAMING PLAN ON SHEET 8.
 WHERE THERE IS CONFLICT BETWEEN THESE PLANS, THE STRUCTURAL PLANS ON THIS SHEET (S1) GOVERN.



Not Valid Without Wet Signature
 Project / Owner

La Vida Del Sur
 Reed & Brigga
 Cripe Residence
 46190 Clear Ridge Road
 Big Sur, California 93920
 APN 419-221-007-000

MSE Project Number	24-017
DRAWN BY	S C MAYONE
DATE	7-01-2024
Revision	Date

PRINT DATE: 7-01-2024

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Sheet Title
**Structural Plans:
 Framing, Shear
 & Foundation**

Sheet Number **S1** of

GENERAL STRUCTURAL ENGINEERING NOTES & SPECIFICATIONS

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), INCLUDING LATEST SUPPLEMENTS AND ERRATA, AND ANY LOCAL CODE REQUIREMENTS. ALL DETAILS, SECTIONS AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE NOTED.
- CHECK ALL DIMENSIONS IN RELATION TO SITE CONDITIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. SEE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR DUCTS, PIPES AND CONDUITS. DURING CONSTRUCTION PHASE THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF BUILDING AND PERSONNEL. PROVIDE ADEQUATE SHORING, BRACING IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- FOUNDATION DESIGN IS BASED ON A SOILS REPORT BY GRICE ENGINEERING, THEIR FILE NO. 7365-21.03 DATED JUNE 26, 2024. ALLOWABLE SOILS BEARING PRESSURE FOR ISOLATED OR CONTINUOUS FOOTINGS IS $F_b = 1,500$ PSF. USE SITE CLASS D FOR SEISMIC DESIGN CALCULATIONS. FOUNDATION IS ISOLATED FOOTINGS EMBEDDED MIN. 12" INTO FIRM, UNDISTURBED NATIVE SOIL. ALLOWABLE BEARING PRESSURE MAY BE INCREASED BY ONE-THIRD FOR SEISMIC OR WIND LOADS. ALL FOUNDATION EXCAVATIONS SHALL BE OBSERVED BY THE ENGINEER-OF-RECORD PRIOR TO THE PLACEMENT OF REINFORCING STEEL OR CONCRETE AND PRIOR TO REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION.
- FORMWORK FOR CAST IN PLACE CONCRETE SHALL UTILIZE SOUND, UNDAMAGED LUMBER OR D.F. PLYWOOD. FORM RELEASE AGENT SHALL BE COLORLESS & NON-STAINING TO CONCRETE OR INTENDED COATINGS; APPLY PRIOR TO PLACING REINFORCING STEEL. KEEP UNTREATED FORM SURFACES WET PRIOR TO PLACING CONCRETE.
- REINFORCING STEEL ASTM A-615 DEFORMED, UNCOATED GRADE 40. TIE WIRE: 16GA ANNEALED. ALL BARS AND REINFORCING SHALL BE SPLICED IN ACCORDANCE WITH CHAPTER 19 OF THE CBC. ALL STEEL SHALL BE RIGIDLY HELD IN PLACE WITH APPROVED METAL DEVICES PRIOR TO POURING CONCRETE. HOOKS, BENDS, FABRICATION AND PLACING SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE STRUCTURES," ACI, NO. 315. ALL REINFORCING STEEL BE OBSERVED BY THE STRUCTURAL ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE AND PRIOR TO REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION.
- CONCRETE SHALL DEVELOP A 28-DAY MIN. ULTIMATE COMPRESSIVE STRENGTH OF 2,500 PSI. ALL CEMENT SHALL COMPLY WITH ASTM C-150, TYPE II CEMENT.
CONCRETE COVERAGE (FACE OF BAR TO FACE OF CONCRETE) SHALL BE AS FOLLOWS:
CONCRETE SURFACE AGAINST EARTH 3" MIN.
CONCRETE WHEN POURED AGAINST FORMS 2" MIN.
ALL OTHERS SEE DETAILS

- CARPENTRY AND TIMBER:**

A. STRUCTURAL LUMBER GRADING SHALL BE WCLB STANDARD GRADING RULES FOR WEST COAST LUMBER #17. PLYWOOD SHALL CONFORM TO U.S. CURRENT PRODUCT STANDARD PS-1.

B. EXCEPT WHERE NOTED OTHERWISE, BEAMS, HEADERS, POSTS AND TOP PLATES SHALL BE DOUGLAS FIR #1. RAFTERS, JOISTS, STUDS, SILLS AND BLOCKING SHALL BE D.F. #2 OR BETTER (S4S).

C. WOOD SILLS RESTING ON CONCRETE SLAB OR FOUNDATIONS SHALL BE DOUGLAS FIR PRESSURE TREATED FOR GROUND CONTACT. FASTENERS IN TREATED WOOD SHALL BE APPROVED SILICON BRONZE, COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153. ANCHOR BOLTS SHALL BE ATTACHED TO OR HOOKED AROUND REINFORCING STEEL.

D. BOLTS IN WOOD SHALL CONFORM TO ASTM A-307. BOLT HOLES SHALL BE DRILLED 1/16" OVERSIZE OF BOLT. USE STANDARD WASHER ON ALL BEARING OF HEADS AND NUTS AGAINST WOOD, U.O.N. BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL WHERE EXPOSED TO WEATHER. BOLTS WITH UPSET THREADS ARE NOT ALLOWED.

E. BOLT TIGHTENING: ALL NUTS SHALL BE TIGHTENED WHEN PLACED AND RETIGHTENED AT COMPLETION OF PROJECT, OR IMMEDIATELY BEFORE FINISHING OF CONSTRUCTION WHICH WILL MAKE THEM INACCESSIBLE.

F. CUTTING, NOTCHING AND DRILLING JOISTS AND BEAMS FOR PIPES SHALL BE LIMITED TO CUTS AND BORED HOLES NOT DEEPER THAN ONE-FIFTH THE JOIST DEPTH FROM THE TOP AND LOCATED NOT FURTHER FROM THE END THAN THREE TIMES THE JOIST DEPTH UNLESS FULLY DETAILED ON PLANS.

G. WOOD FRAMING EMBEDDED IN OR ADJACENT TO CONCRETE OR MASONRY WALLS SHALL BE TREATED WITH AN APPROVED PRESERVATIVE. LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED FOR ABOVE GROUND USE, ACCORDING TO AWPA C-2; OR NATURALLY RESISTIVE SUCH AS REDWOOD.

H. FRAMING HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR EQUIVALENT. NOTATIONS ON THE DRAWINGS REFER TO ITEMS SHOWN IN THEIR CURRENT CATALOG. ITEMS SHALL BE INSTALLED WITH THE FASTENERS SPECIFIED IN THE CATALOG. IF OTHER BRANDS ARE USED, THEY MUST BE EQUIVALENT IN ALL STRUCTURAL ASPECTS.

I. NAILING: ALL NAILS SHALL BE COMMON WIRE NAILS, U.O.N. OR SHOWN. WHERE THERE IS A DANGER OF SPLITTING, NAIL HOLES SHALL FIRST BE SUBDRILLED. GALVANIZED NAILS SHALL BE USED FOR ALL DETAILS THAT ARE EXPOSED ON THE EXTERIOR OF THE FINISHED STRUCTURE. FOR NAILING SCHEDULE, SEE TABLE NO. 2304.9.1 OF THE CBC.

J. DOUBLE TOP PLATES SHALL HAVE A MINIMUM LAP OF 4 FT. AT SPLICES AND BE NAILED WITH NO LESS THAN 10 - 16d NAILS, U.O.N. ALL CUTS IN PLATES SHALL OCCUR OVER BEARINGS.

- STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE STRUCTURAL OBSERVATION AND PERIODIC REPORTS FOR: FOUNDATION EXCAVATION AND REINFORCEMENT; FRAMING AND STRUCTURAL FRAMING HARDWARE; AND ALL STRUCTURAL SHEATHING INSTALLATION AND NAILING.

MARK OR DESCRIPTION	SHEATHING (MINIMUM)	SHEATHING NAILING ²		SILL ANCHOR BOLTS	SILL OR PLATE NAILING	FRM'G. CLIPS	ALLOW. ² SHEAR #/FT.	REMARKS
		EDGE (T.E.N.)	FIELD					
TYPICAL PLYWD. ROOF SHEATHING	3/4" CDX 48/24 SPAN RATED GLUED	8d @ 6" O.C.	8d @ 12" O.C.	N . A .	N . A .	N . A .	240 180	UNBLOCKED
1X REDWOOD ROOF SHEATHING	1x12 REDWOOD PLANKS	8d @ 6" O.C.	8d @ 12" O.C.	N . A .	N . A .	N . A .	300	UNBLOCKED
TYPICAL FLOOR SHEATHING	3/4" CDX 48/24 SPAN RATED GLUED	8d @ 6" O.C.	8d @ 12" O.C.	N . A .	N . A .	N . A .	240 180	UNBLOCKED
	1/2" GYPSUM WALL BOARD	5d COOLER @ 7" O.C.	5d COOLER @ 7" O.C.	N . A .	16d @ 12" O.C.	N . A .	100	EXISTING WALLS; BLOCKING NOT REQUIRED
	1/2" CDX SHEATHING	8d @ 6" O.C.	8d @ 12" O.C.	N . A .	16d @ 6" O.C.	N . A .	260	2X SILL; BLOCK ALL JOINTS; TYP. ALL EXTER. WALLS

1 MINIMUM SPECIFICATION AS INDICATED UNLESS OTHERWISE SPECIFIED; ALL SHEATHING SHALL BE APA-RATED PLYWOOD OR O.S.B.

2 2021 CBC TABLE 2306.2.1 STAPLE ANALOG TO 2006 IBC TABLE 2306.3.1 CASE 1 ONLY; ALLOWABLE DIAPHRAGM SHEAR IN #/FT
2021 CBC TABLE 2306.2.2 STAPLE ANALOG TO 2006 IBC TABLE 2306.3.2: HIGH LOAD DIAPHRAGMS; SHEAR IN #/FT
2021 CBC TABLE 2306.3.1 STAPLE ANALOG TO 2006 IBC TABLE 2306.4.1; ALLOW. SHEAR IN #/FT FOR WOOD STRUCT. PANELS
2021 CBC TABLE 2306.3.3; ALLOWABLE SHEAR IN #/FT FOR WALLS OF LATH AND PLASTER OR GYPSUM BOARD
2019 CA HISTORICAL BUILDING CODE ALLOW. SHEAR FOR ROOF w/ STRAIGHT SHTG. & ROOFING APPLIED DIRECTLY TO SHTG.

3 SHEATHING JOINT AND SILL OR PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

STRUCTURAL TESTS & INSPECTIONS SCHEDULE		
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2021 CBC. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE ENGINEER.		
ITEM	REQUIRED	REMARKS
SOIL DENSITY	X	APPROVAL BY G.E.O.R. REQUIRED
GRADING AND EXCAVATIONS	X	INSPECT BEFORE CONCRETE IS POURED
REINFORCEMENT PLACEMENT	X	STRUCT. ENGR. TO INSPECT FINAL PLACEMENT
ANCHOR BOLTS, INSERTS	X	STRUCT. ENGR. TO INSPECT FINAL PLACEMENT
CONCRETE PLACEMENT - CAST IN PLACE		CONTINUOUS
CONCRETE BATCH PLANT INSPECTION	X	CONCRETE MIX DESIGN

MAYONE
STRUCTURAL ENGINEERING, INC.
187-B El Dorado, Monterey, CA 93940
Tel 831-372-4455



Not Valid Without Wet Signature
Project / Owner

La Vida Del Sur Reed & Brigg Cripe Residence

46190 Clear Ridge Road
Big Sur, California 93920
APN 419-221-007-000

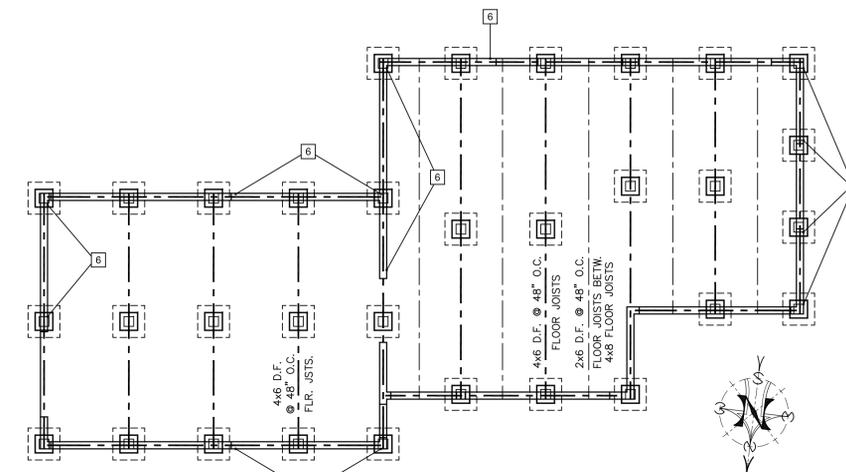
MSE Project Number 24-017

DRAWN BY S C MAYONE

DATE 7-01-2024

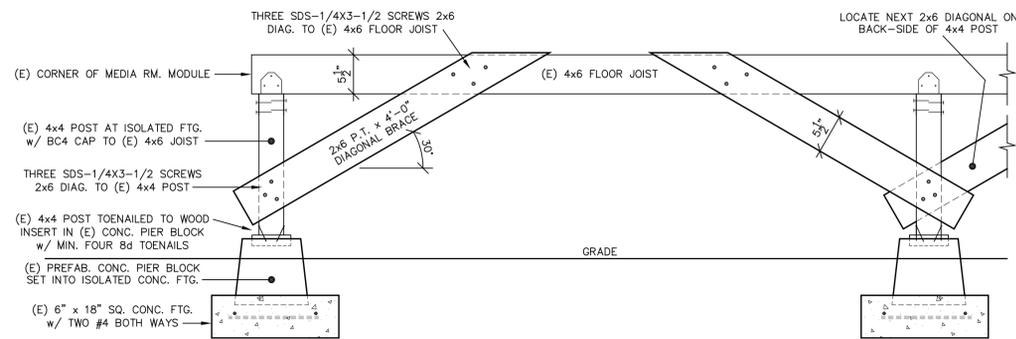
Revision Date

PRINT DATE: 7-01-2024

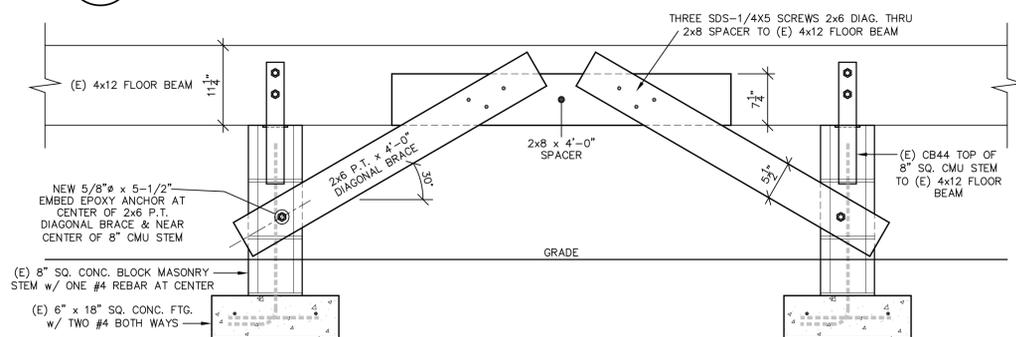


2 S2 STUDIO FLOOR FRAMING & FOUNDATION PLAN
SCALE: 1/4" = 1'-0" Refer to PLAN & ARCHAEOLOGICAL NOTES on Sheet S1

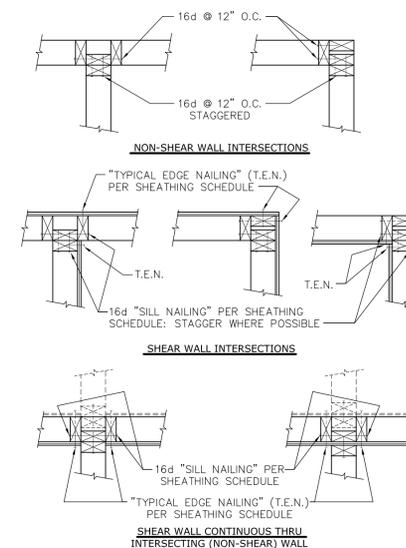
FOR DETAILS NOT SHOWN OR NOTED, REFER TO STUDIO ARCHITECTURAL ROOF & ROOF FRAMING PLAN, & FOUNDATION & FLOOR FRAMING PLAN ON SHEET 10.
WHERE THERE IS CONFLICT BETWEEN THESE PLANS, THE STRUCTURAL PLANS ON THIS SHEET (S2) GOVERN.



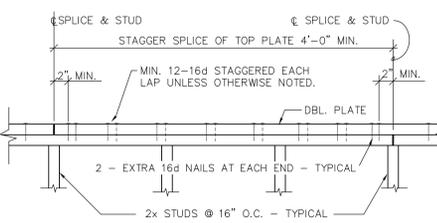
6 S2 BRACING AT NORTH FOOTINGS OF MEDIA ROOM
SCALE: 1" = 1'-0"



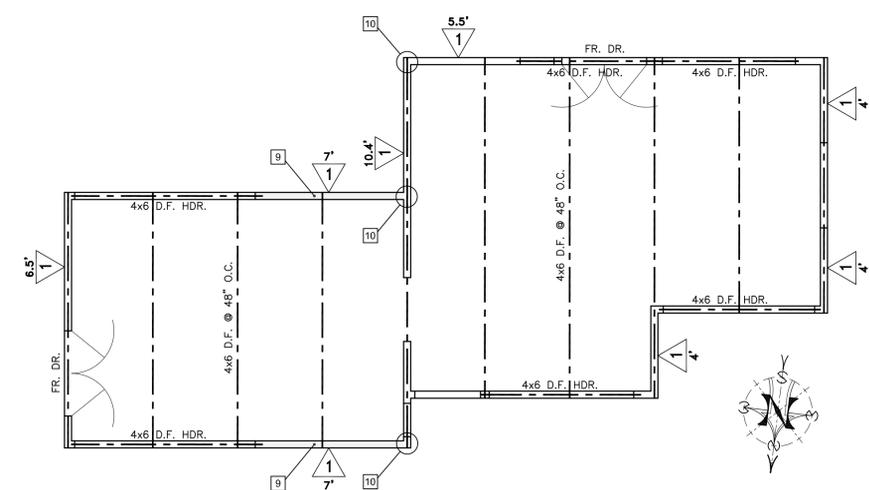
5 S2 BRACING AT NORTH FOOTINGS OF MASTER BEDROOM
SCALE: 1" = 1'-0"



4 S2 WALL INTERSECTIONS
SCALE: 1" = 1'-0"



3 S2 MIN. TOP PLATE SPLICE
SCALE: 1" = 1'-0"



1 S2 STUDIO ROOF FRAMING & SHEAR WALL PLAN
SCALE: 1/4" = 1'-0" Refer to PLAN & ARCHAEOLOGICAL NOTES on Sheet S1

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Sheet Title
Structural Plans of Studio, Details, Sheathing Sched. & General Notes

Sheet Number Of

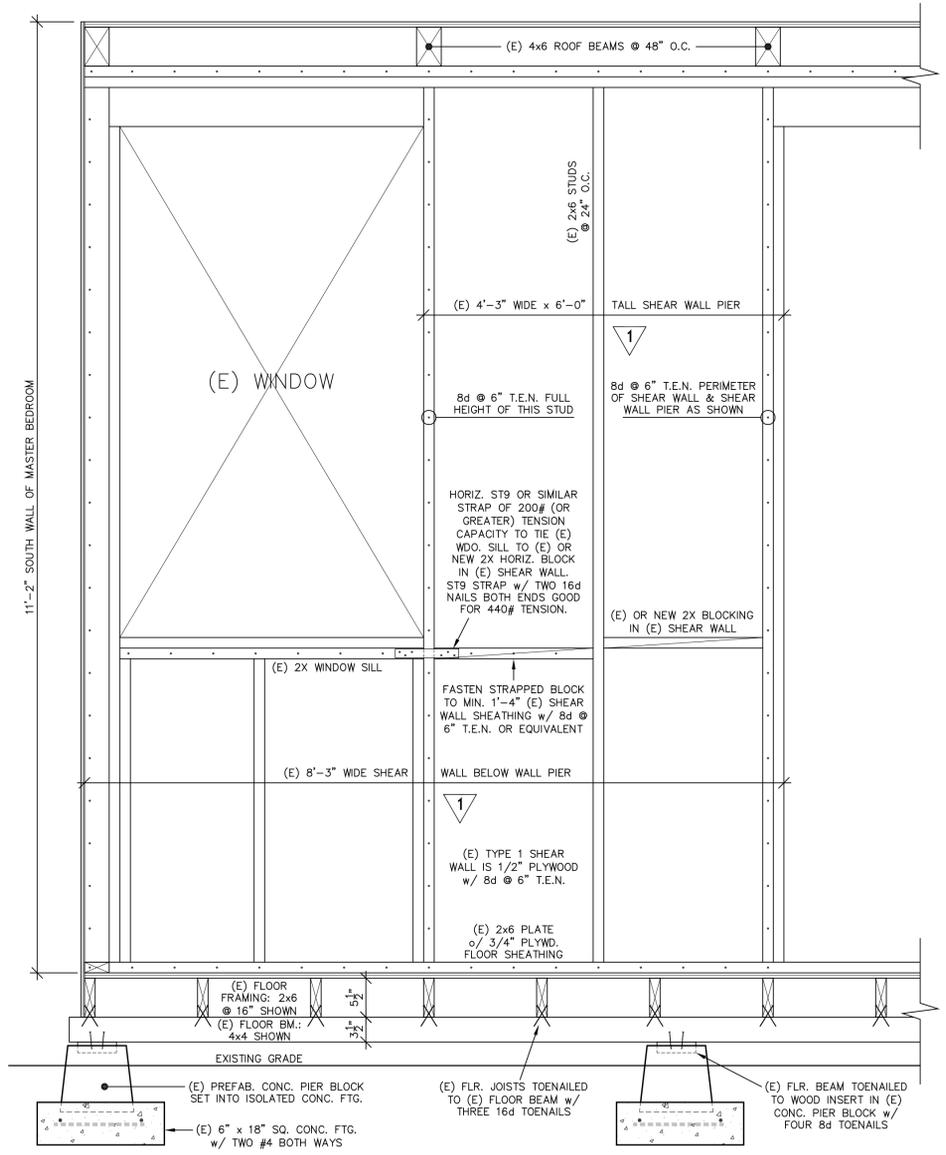
S2



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Project / Owner

La Vida Del Sur
Reed & Brigga
Cripe Residence
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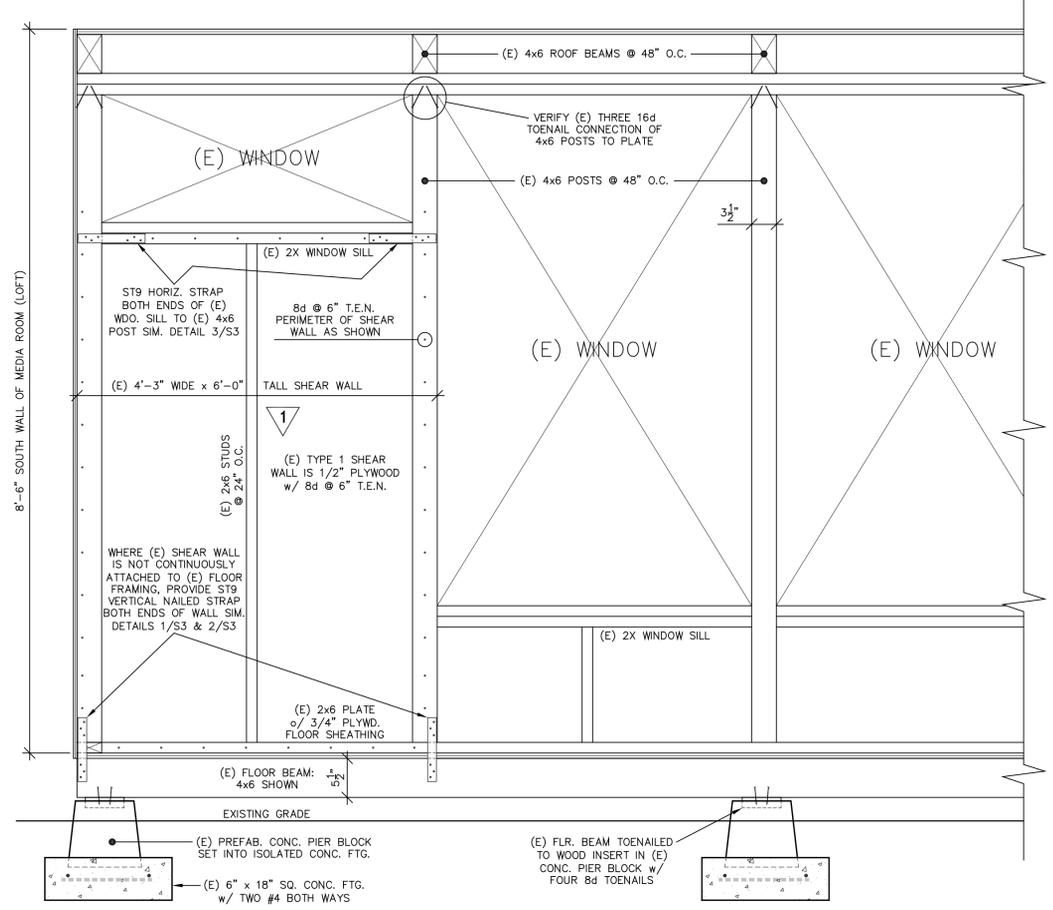
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ELEVATION: HORIZONTAL TENSION TIE WINDOW SILL TO 2X SOLID BLOCK AT SHEAR WALL PIER

3
S3

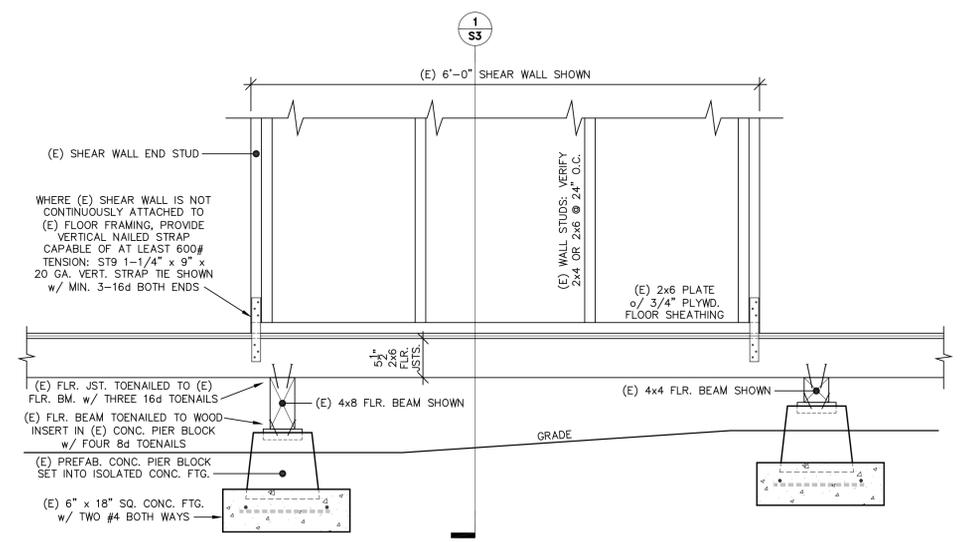
SCALE: 1" = 1'-0"



ELEVATION: SHEAR WALL WITH TRANSOM WINDOW ABOVE AT SOUTH WALL OF MEDIA ROOM (LOFT)

4
S3

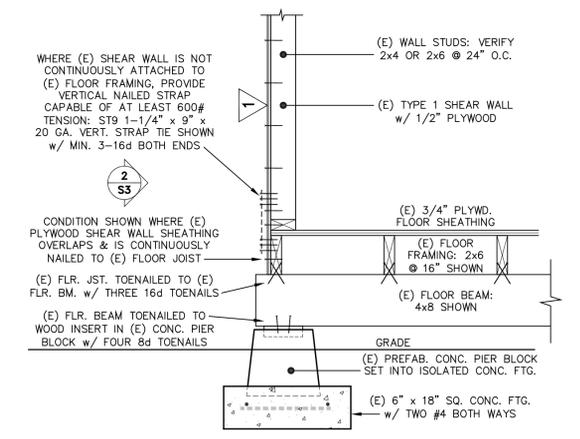
SCALE: 1" = 1'-0"



ELEVATION: VERTICAL TENSION ANCHORAGE OF SHEAR WALL TO FLOOR JOIST OR BEAM

2
S3

SCALE: 1" = 1'-0"



SECTION: VERTICAL TENSION ANCHORAGE OF SHEAR WALL

1
S3

SCALE: 1" = 1'-0"

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Sheet Title
Structural Details

Sheet Number
S3

TITLE 24 CALCULATIONS



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

CERTIFICATE OF COMPLIANCE

This compliance document is only applicable to simple alterations that do not require HERS verification for compliance. When HERS verification is required, a CF1R-ALT-01 shall first be registered with a HERS Provider Data Registry.

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ALT-05 and CF2R-ALT-05 Compliance Documents. Possible exemptions from duct leakage testing include: less than 25 feet (ft) of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 must be completed and registered with a HERS Provider Data Registry.

Alterations that utilize closed cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value greater than 5.8 per inch, or open cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ALT-01 with a HERS Provider Data Registry.

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

Project Details

Field Name	Data Entry	Field Name	Data Entry
Project Name	La Vida Del Sur	Enforcement Agency	Monterey County
Dwelling Address	46190 Clear Ridge Rd	Permit Number	
City and Zip Code	Big Sur, CA 93920	Date Permit Issued	

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

A. GENERAL INFORMATION

Field	Field Name	Data Entry
01	Project Name	La Vida Del Sur
02	Date Prepared	06/19/2024
03	Project Location	Big Sur, CA
04	Building Front Orientation (deg or cardinal)	75
05	CA City	Big Sur, CA
06	Number of Altered Dwelling Units	1
07	Zip Code	93920
08	Fuel Type	Propane
09	Climate Zone	3
10	Total Conditioned Floor Area (ft ²)	1490
11	Building Type	Single Family
12	Slab Area (ft ²)	0
13	Project Scope	Fenestration Alteration

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

F. Fenestration/Glazing Proposed Areas and Efficiencies – Replace (Section 150.2(b)1B)

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

Table F-1

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Tag/ID	Master Bath South Window		
02	Fenestration Type	Operable Window		
03	Frame Type	Nonmetal		
04	Dynamic Glazing	None		
05	Orientation N, S, W, E	S		
06	Area Removed (ft ²)	0		
07	Area Added (ft ²)	0		
08	Net Added Area (ft ²)	0		
09	Proposed U-factor	0.3		
10	Proposed U-factor Source	NFRC		
11	Proposed SHGC	0.3		
12	Proposed SHGC Source	NFRC		
13	Exterior Shading Device	None		
14	Combined SHGC from CF1R-ENV-03	n/a		

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

Table F-2

Field	Field Name	Data Entry
15	Net Added West-facing Fenestration Area	0
16	Is Net Added Fenestration Area ≤ for west-facing fenestration?	<input type="radio"/> Yes <input checked="" type="radio"/> No
17	Net Added Fenestration Area (all orientations)	0
18	Is Net Added Fenestration Area ≤ 0 for all orientations?	<input checked="" type="radio"/> Yes <input type="radio"/> No
19	Proposed Fenestration U-factor (Windows)	0.3
20	Required Fenestration U-factor (Windows)	0.3
21	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input checked="" type="radio"/> Yes <input type="radio"/> No
22	Proposed Fenestration SHGC (Windows)	0.3
23	Required Fenestration SHGC (Windows)	no requirement
24	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input checked="" type="radio"/> Yes <input type="radio"/> No
25	Proposed Fenestration U-factor (Skylights)	n/a
26	Required Fenestration U-factor (Skylights)	n/a
27	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input type="radio"/> Yes <input type="radio"/> No
28	Proposed Fenestration SHGC (Skylights)	n/a
29	Required Fenestration SHGC (Skylights)	n/a
30	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input type="radio"/> Yes <input type="radio"/> No

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

Documentation Author's Declaration Statement

1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Matt Reistetter	Documentation Author Signature:
Company: Seachange Engineering Inc	Signature Date: 06/19/2024
Address: 659 Abrego St. Suite#2 Monterey, CA 93940	CEA/ HERS Certification Identification (if applicable):
City/State/Zip: Monterey, CA 93940	Phone: 831-601-4456

Responsible Person's Declaration Statement

- I certify the following under penalty of perjury, under the laws of the State of California:
- The information provided on this Certificate of Compliance is true and correct.
 - I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
 - The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 - The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
 - I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections.

I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Reed Silas Cripe	Responsible Designer Signature:
Company:	Date Signed:
Address: 46190 Clear Ridge Rd City/State/Zip: Big Sur, CA 93920	License: Phone:

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



SEACHANGE
ENGINEERING, INC.
PO BOX 1682
MONTEREY, CA 93942

LA VIDA DEL SUR
46190 Clear Ridge Rd
Big Sur, CA 93920

6/19/2024 TITLE 24

SHEET NAME:
TITLE 24 CALCS

SHEET NO.:

T1