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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

Smythe (PLN170064)

RESOLUTION NO.

Resolution by the Monterey County Planning
Commission:

- 1) Considering an addendum to the
Supplemental Environmental Impact Report
for the Potrero Subdivision; and
- 2) Approving a Combined Development Permit
consisting of: an Administrative Permit and
Design Approval to allow the construction of
a single family dwelling, attached garage,
guesthouse, and shed; and a Use Permit for
the removal of 26 oak trees.

[PLN170064, Smythe, 8 Goodrich Trail, Carmel
Valley Master Plan (APN: 239-102-021)]

The Smythe application (PLN170064) came on for public hearing before the Monterey County Planning Commission on June 14, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

- 1. FINDING:** **PROJECT DESCRIPTION** – The proposed project is a Combined Development Permit consisting of 1) an Administrative Permit and Design Approval to allow the construction of a 4,975 square foot two-story dwelling with a 1,067 square foot attached garage and a detached 545 square foot guesthouse with an attached shed and handicap access, 1035 cubic yards of associated grading; and 2) a Use Permit to allow the removal of 26 protected oak trees.

EVIDENCE: a) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170064.
- 2. FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Carmel Valley Master Plan
 - Monterey County Zoning Ordinance (Title 21);

- The Potrero Subdivision Supplemental Environmental Impact Report

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property, a 34.2 acre parcel, is located at 8 Goodrich Trail (Assessor's Parcel Number APN 239-102-021), Carmel Valley Master Plan. The parcel is zoned Rural Grazing, 10 acres per unit with Design Control, Site Plan Review and Residential Allocation Zoning district overlays (RG/10-D-S-RAZ). A Single Family Dwelling and Guesthouse are allowed in the RG land use category, and the S overlay requires an Administrative Permit per section 21.45.040 of the Monterey County Zoning Ordinance. Additionally, a Single Family Dwelling and Guesthouse are allowed uses in the Declaration of protective Restrictions for the Homelands and Openlands of the Santa Lucia Preserve. Therefore, the project is an allowed land use for this site.
- c) The project site is within a Design Control (D) District overlay which requires additional design review of proposed structures to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. In addition, Carmel Valley Master Plan Policy 1.20 requires that development be visually compatible with the character of the valley and immediate surrounding areas. The project has been designed to blend with the natural environment consistent with other homes in the Santa Lucia Preserve, and the proposed structures are not visible from any public viewing area. Colors are natural brown stain, natural weathered shingle roof, beige stone venner, and dark brown painted doors and windows. These colors are consistent and compatible with residences in the immediate area and blend with the natural landscape of the property. Additionally, the design was reviewed and approved by the Santa Lucia Preserve Design Review Board.
- d) The project site is within a Site Plan Review (S) district overlay, which is intended to provide district regulations where development, by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. A site plan was included with the application. The project is proposed within a designated homeland boundary and has been appropriately sited to minimize ground disturbance; therefore, the project is consistent with requirements of the S district overlay.
- e) The property is located within a Residential Allocation Zoning (RAZ) overlay district which denotes a specific area that is subject to policies or ordinances which specify limitations on the number of lots or units which may be created in a given period of time. The construction of the first single family dwelling and a guesthouse is allowable on the subject parcel pursuant to the Carmel Valley Master Plan of the 2012 General Plan, therefore the project is consistent with the RAZ zoning overlay.
- f) The project planner conducted a site inspection on February 9, 2017 to verify that the project on the subject parcel conforms to the plans listed above.

- g) The project is consistent with required tree removal findings for the Potrero Area Subdivision Supplemental Environmental Impact Report (. An addendum has been prepared to address minor technical changes to the SEIR. See Finding 6 and Finding 7.
- h) The project is consistent with policy 21.64.020 Regulations for guesthouses. The guesthouse as proposed will be located in close proximity to the principal residence and will contain no kitchen or cooking facilities. A condition has been added requiring a deed restriction be recorded limiting the uses of the guesthouse in accordance with policy 21.64.020.
- i) The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project includes a Design Approval subject to review by the Planning Commission. The LUAC reviewed the project at their regularly scheduled meeting on April 17, 2017 and unanimously approved the project as proposed.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170064.

3. FINDING:

SITE SUITABILITY – The site is physically suitable for the use proposed.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to Biological Resources, Soil/Slope Stability, and Trees.

The following reports have been prepared:

- “Santa Lucia Preserve Lot E18 Biological Assessment” (LIB170146) prepared by Denise Duffy and Associates, Inc., Monterey, CA, July 2016
- “Geotechnical Investigation for the Proposed New Residence and Detached Guest House to be Located at 8 Goodrich Trail, APN 239-1025-021 within Lot E-18 of the Santa Lucia Preserve, near Carmel, CA for Judith and Scot Smythe” (LIB170135) prepared by Soil Surveys Groups Inc., Salinas, CA, January 24, 2017.
- “Construction Impact Analysis Tree Protection Plan Santa Lucia Preserve Lot E18” (LIB170145) prepared by Maureen Hamb-WCISA Certified Arborist, Santa Cruz, CA, March 2017

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on February 9, 2017 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170064.

4. FINDING: **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by RMA - Planning, Monterey County Regional Fire Protection District, RMA - Public Works, Environmental Health Bureau, RMA - Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available. The project is served by the Santa Lucia Mutual Water system for potable water and an on-site septic system will provide sewage disposal
- c) Staff conducted a site inspection on February 9, 2017 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170064.

5. FINDING: **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on February 9, 2017 and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170064.

6. FINDING: **CEQA (Addendum):** - An Addendum to a previously certified EIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted SEIR.

EVIDENCE :

- a) A Supplemental Environmental Impact Report for the Potrero Area Subdivision of the Santa Lucia Preserve was prepared and certified by the Board of Supervisors in 2003 (SCH # 2002051095).

- b) An Addendum to the Potrero Subdivision SEIR was prepared for this project pursuant to Code of Regulations, Title 11, Section 15162 (CEQA Guidelines).
- c) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review. The proposed structures are within a designated building envelope, and the proposed tree removal is within the overall tree removal analyzed for the subdivision.
- d) Condition of Approval number 25 of the Potrero Subdivision provided specific tree removal estimates for each lot created by the subdivision. The Smythe parcel, Lot E18 had an estimated removal of 9 protected trees. The Smythe project will result in the removal of 26 protected trees. The addendum was prepared to address impacts related to the additional 17 trees.
- e) The Smythe project is consistent with Mitigation Measures adopted for the Potrero Subdivision to mitigate impacts from tree removal. Mitigation Measure 11.8 limited tree removal to no more than 25% of trees within the homeland boundary. The Smythe project will result in the removal of 12% of trees within the homeland boundary. Condition 39 of Resolution 05-046 required replanting consistent with that specified in The Forest Management Plan prepared for the Potrero Subdivision Non-landmark trees are to be replaced at a 3:1 ratio, and landmark trees are to be replaced at a 5:1 ratio. The project, as conditioned, will result in the replanting of 110 trees.
- f) No adverse environmental effects were identified during staff review of the development application during a site visit on February 9, 2017.
- g) Staff conducted a site inspection on Inspection* to verify that the site and proposed project meet the criteria for an exemption.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170064.

7. **FINDING:** **SANTA LUCIA PRESERVE PHASE E (PROTRERO SUBDIVISION) TREE REMOVAL** – The project is consistent with all tree removal conditions pursuant to Use Permit PLN010001 (Resolution 05-046) for the Potrero Subdivision.

Pursuant to Condition No. 25 in Use Permit PLN010001 (Resolution No. 05-046), if a project proposes tree removal that exceeds the amount shown on the Maximum Tree Removal Chart, the project shall be denied. The applicant can choose, through a discretionary permit, to have the proposed removal amount reviewed by the Planning Commission for approval. Approval for excess tree removal amount shall be based on regulations

pursuant to Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21 and shall also comply with Condition No. 28 in (Mitigation Measure No. 11.8 in Use Permit PLN010001 (Resolution No. 05-046)) in that oak tree removal shall not exceed 25% of all oak trees within the home-land boundary.

EVIDENCE:

- a) The project proposes the removal of 26 trees. The tree amount indicated does not meet the amount approved for the site, according to Condition 25. The Maximum Tree Removal List approves 9 trees for removal on the lot, therefore in accordance with Condition 25, the application is before Planning Commission to consider approval.
- b) Trees will be replaced at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. The removal of 26 trees will be replaced by 110 trees in accordance with a recommendation by the project arborist to overplant in case of sapling failure. Condition No. 39 in Use Permit PLN010001 (Resolution No. 05-046))
- c) Tree protection and maintenance measures found in the Potrero Subdivision Forest Management Plan have been applied as conditions to the project (Condition Nos. 28, 39, 57, and 62 in Use Permit PLN010001 (Resolution No. 05-046))
- d) The project is consistent with the Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21, in that the project was sited to require the least amount of tree removal under the circumstance and avoids adverse environmental impacts. A previous permit approved for the property in 2009 approved the removal of 28 oak trees. The permit expired before construction began. The Smythe project is smaller and represents a reduction in tree removal on this site as compared to the previously approved project.
- e) The project is consistent with Condition 28, Mitigation Measure 11.8 in Use Permit PLN010001 (Resolution No. 05-046) in that oak Tree removal will not exceed 25% of all oak trees within the homeland boundary. A Forest Management Plan for the Potrero Subdivision prepared by Ralph Osterling in 2000 determined project impacts based upon the assumption that up to 25 percent of the trees in the identified homeland boundaries may be removed for house and driveway construction. The report inventoried trees within the homeland boundaries on each lot. Fifty-six trees were inventoried and evaluated for lot E18; however, the arborist report prepared for this project identified approximately 221 trees growing within the homeland boundary on lot E18. Removal of 26 trees would constitute only 12% of the trees growing within the homeland boundary.
- f) Consistent with Condition 25 of Use Permit PLN010001 (Resolution No. 05-046), the tree removal is the minimum required under the circumstances of the case. Tree removal will not involve a risk of environmental impacts such as: soil erosion, water quality, ecological impacts, noise pollution, air movement, or wildlife habitat.
- g) The project is consistent with CV-3.11, which states that the County shall discourage the removal of healthy native oak and madrone and redwood trees. Tree removal has been reduced from a previously approved project on the parcel and is the minimum required to allow the

proposed structures. Trees proposed for removal are in poor to fair condition, primarily due to the overcrowded conditions that exist on the site.

8. FINDING: **GUEST HOUSES** – The project is consistent with the required findings for guesthouses.

EVIDENCE:

- a) The proposed guesthouse is consistent with section 21.64.020 – Regulations for Guesthouses. The proposed guesthouse is in close proximity to the principle residence, is under 600 square feet and does not contain cooking facilities.
- b) A Condition of Approval (Condition 15) has been added requiring a deed restriction limiting the size and use of the guesthouse and prohibiting it from being separately rented.

9. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE:

- a) Section 21.80.040 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Consider the Addendum to the Potrero Subdivision Supplemental Environmental Impact Report;
2. Approve a Combined Development Permit consisting of 1) an Administrative Permit and Design Approval to allow the construction of a 4,975 square foot two-story dwelling with a 1,067 square foot attached garage and a detached 545 square foot guesthouse with an attached shed and handicap access, 1035 cubic yards of associated grading, and 2) a Use Permit to allow the removal of 26 protected oak trees, in general conformance with the attached sketch and subject to the conditions attached hereto.

Approval is subject to 20 conditions, incorporated herein by reference.

PASSED AND ADOPTED this 14th day of June, 2017 upon motion of _____, seconded by _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

_____, Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170064

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN170064) allows the construction of a 4,975 square foot two-story dwelling with a 1,067 square foot attached garage and a detached 545 square foot guesthouse with an attached shed and handicap access, 1035 cubic yards of associated grading; and 2) a Use Permit to allow the removal of 26 protected oak trees. The property is located at 8 Goodrich Trail in the Potrero Subdivision of the Santa Lucia Preserve (Assessor's Parcel Number 239-102-021-000), Carmel Valley Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit] (Resolution Number ***") was approved by the Planning Commission for Assessor's Parcel Number 239-102-021-000 on June 14, 2017. The permit was granted subject to *** conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of ___ years, to expire on ___ unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA-Director of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

4. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

(RMA - Planning)

Compliance or Monitoring
Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

5. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring
Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

6. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring
Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

7. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

8. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Grading Plan incorporating the recommendations from the project Geotechnical Investigation prepared by Soil Surveys Group Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

9. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Investigation. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

10. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

11. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

12. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

13. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

14. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

15. PD019(A) - DEED RESTRICTION-GUESTHOUSE (INLAND)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a GUESTHOUSE (Inland) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
- Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
- The guesthouse shall not exceed 600 square feet of livable floor area.
- The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
- The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
- The guesthouse height shall not exceed 15 feet nor be more than one story.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the RMA-Planning.

17. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

18. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be directed to the existing stormwater improvements for the Santa Lucia Preserve Subdivision Phase E. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

19. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at: www.mcwra.co.monterey.ca.us.

20. EHSP01 - ONSITE WASTEWATER TREATMENT SYSTEM DESIGN (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau (EHB) has determined that adequate area exists for onsite wastewater disposal for the proposed development. A backhoe dig to determine soil profile and a groundwater monitoring drilling must be done in the proposed onsite wastewater treatment system (OWTS) area to adequately design the OWTS. Submit OWTS plans for review and approval indicating the location, design layout and size specifications that meets standards found in Monterey County Code Chapter 15.20, Sewage Disposal Ordinance, and the Central Coast Basin Plan, Regional Water Quality Control Board.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, conduct backhoe dig and groundwater monitoring boring, submit an OWTS application and design plans for review and approval by the EHB. Applicant shall obtain a permit to install the OWTS from EHB.

21. TREE REPLACEMENT - SANTA LUCIA PRESERVE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Within one year of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 3:1 for non-landmark trees, 5:1 for landmark trees.
- Replacement tree(s) shall be located in either on-site in areas suitable for supporting oak species or within the area designated by the Santa Lucia Preserve and/or recommended by a certified arborist. Replacement trees shall be a minimum of 5 gallons. (RMA - Planning)

In accordance with arborist recommendations (LIB170145) a total of 110 replacement trees shall be planted.

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to RMA-Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

1. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FOR OTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONALS.

2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:

- A. ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION: CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OHSA)
- B. CALIFORNIA CODE 4216 - PROTECTION OF UNDERGROUND INFRASTRUCTURE
- C. THE 2013 CALIFORNIA BUILDING STANDARDS CODE (COR, TITLE 24), WITH AMENDMENTS ADOPTED BY THE JURISDICTION HAVING AUTHORITY
- D. CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- E. THE PROJECT PLANS AND SPECIFICATIONS
- F. THE 2010 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)

3. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF CALIFORNIA, INCLUDING, BUT NOT LIMITED TO, THE INFORMATION REGARDING THIS PROVISION, THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT (COSH), AND HEATH, SAFETY, AND ENVIRONMENTAL PROTECTION (HSE) STANDARDS, AS WELL AS THE CALIFORNIA AIR RESOURCE BOARD (CARB) AND CALIFORNIA AIR POLLUTION CONTROL DISTRICT (APCD) STANDARDS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DARRIAGE, SAFETY DEVICES AND CONTROL OF PROTECTION AND REMOVAL REQUIREMENTS.

5. INTENTION OF GRADING, CONSTRUCTION OF ONE NEW SINGLE FAMILY RESIDENCE AND ASSOCIATED SITE WORK.

6. PROPERTY IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS.

7. ESTIMATED START: TBD, ESTIMATED COMPLETION: TBD.

8. SEE ARCHITECTURAL/LANDSCAPE PLANS AND/OR THE PROJECT ARBORISTS REPORT FOR TREE PROTECTION AND REMOVAL REQUIREMENTS.

9. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE IMMEDIATELY STOPPED, UNTIL A FIND IS MADE, AND A PROFESSIONAL ARCHAEOLOGIST (IE, AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL (MANAGEMENT OR SITE SUPERVISOR) TO DETERMINE THE EXtent OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

EARTHWORK AND AREA OF DISTURBANCE SUMMARY

C = 700 CY

F = 335 CY

ESTIMATED AREA OF DISTURBANCE = 0.60 AC

C = 365 CY

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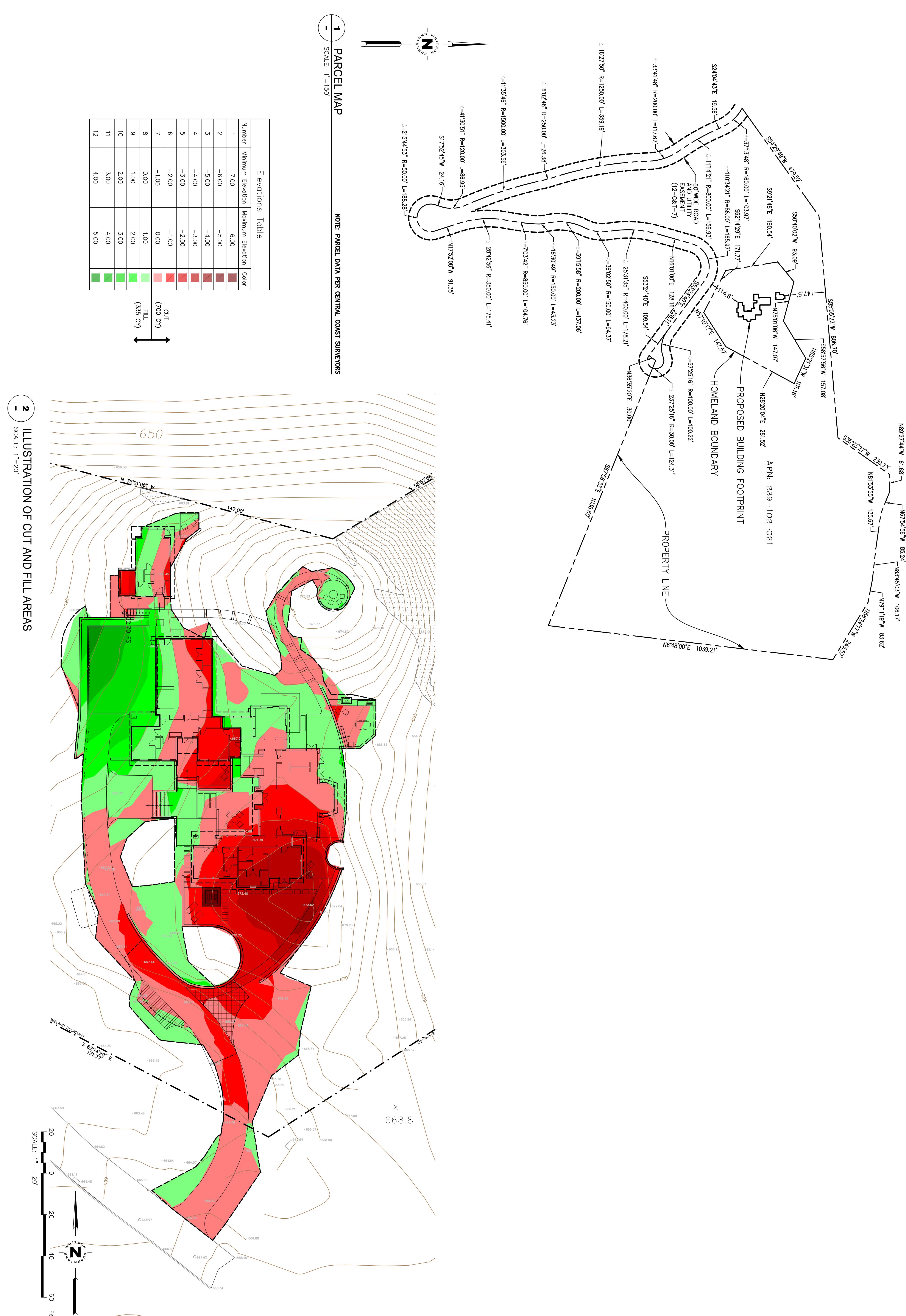
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ESTIMATED AREA OF DISTURBANCE = 0.60 AC

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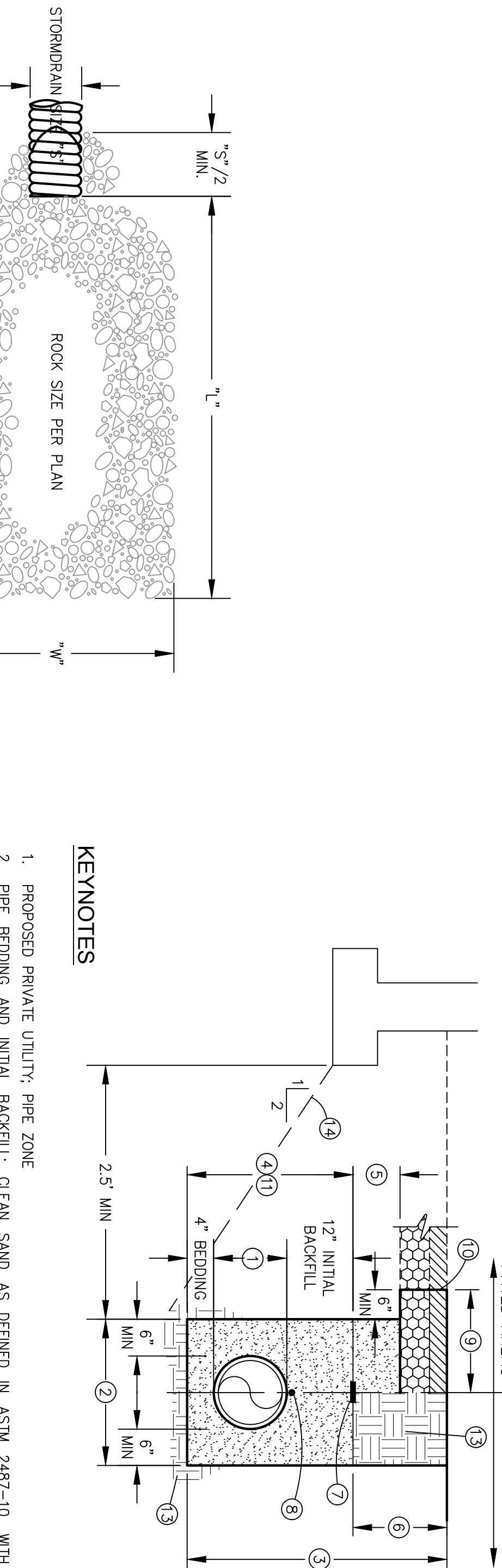


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NOT FOR CONSTRUCTION

Know what's below.
Call before you dig.



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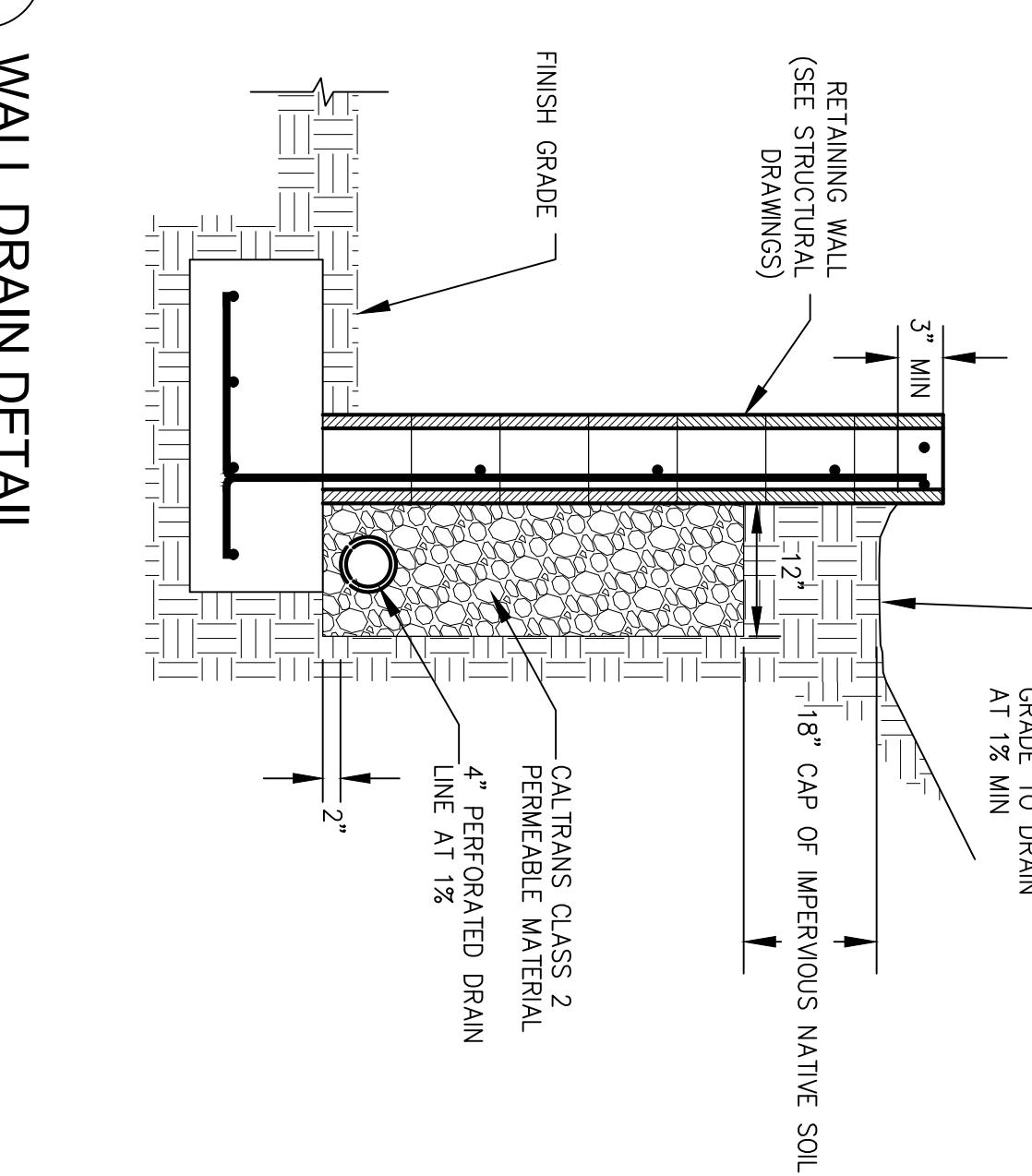


KEYNOTES

1. PROPOSED PRIVATE UTILITY PIPE ZONE
2. PIPE BEDDING AND INITIAL BACKFILL CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN 95% G.C.
3. TRENCH DEPTH AS SHOWN, OR 8' ANS, IF NOT SHOWN, OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MANS, 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
4. PROTECT INSULATED 12 MM. DIA. THERMOPLASTIC PIPE, WHETHER IN TRENCH, OR ON THE SURFACE, WITH 4" DIA. AND LARGER TAPE TO TOP OF PIPE, OR TO INTERNALS, EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC.
5. FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS, CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN 95% G.C.
6. FINAL BACKFILL IN LANDSCAPE AREAS, NATIVE MATERIAL, COMPACTED IN MAX 8" LIFTS TO MIN 85% G.C.
7. PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
8. PIPE REINFORCING, IN THE FORM OF IMPROVED STREET, SHALL INCLUDE REPLACEMENT OF EXISTING PIPE, THE THICKNESSES OF THE NEW PIPE, AND AD, SHALL BE EQUIVALENT TO THE EXISTING PIPE, AND AD THICKNESS, OR 2.5" AC ON 8" AB, WHICHEVER IS GREATER.
9. ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF FRENCH WALL.
10. IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE, WITH 3-SACK CONCRETE.
11. ALL SOILS APPROXIMATELY 12" IN THICKNESS, TO BE FILLED, FOR FRENCH BEDDING AND BACKFILL, SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BURIED, AND APPROVED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BURIED.
12. UNDERBED SUBGRADE SOIL, THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING TRENCHES THAT ARE PARALLEL TO THE SIDES OF BUILDINGS OR WALL FOOTINGS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BURIED.
13. UTILITY TRENCHES THAT ARE PARALLEL TO THE SIDES OF BUILDINGS OR WALL FOOTINGS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BURIED.
14. WHERE UTILITY CONCRETE CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED.

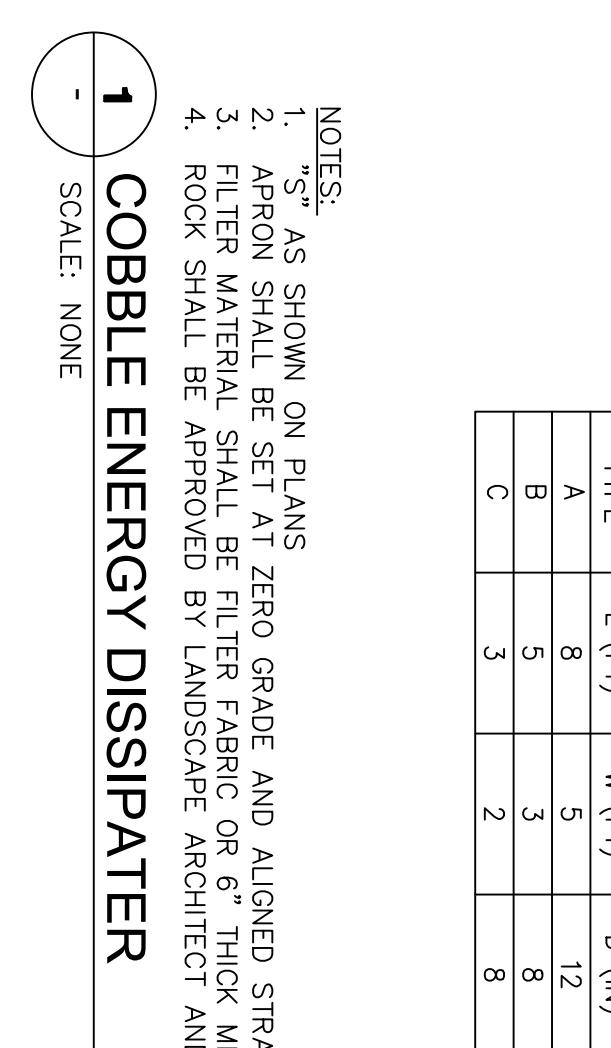
3 PRIVATE UTILITY TRENCHING

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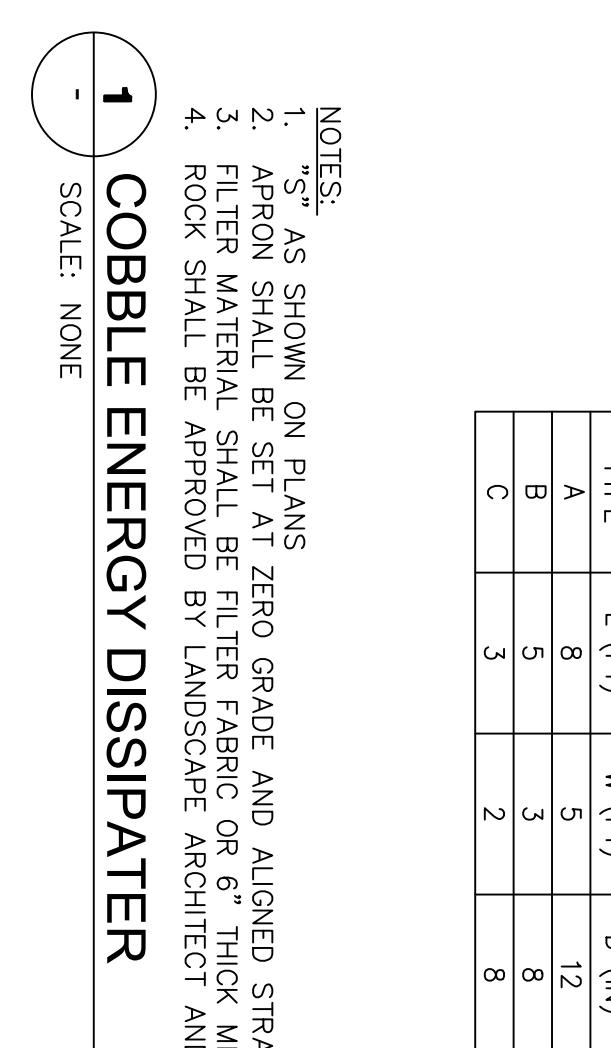


NOTES:
 1. AS SHOWN ON PLANS
 2. APRON SHALL BE SET AT ZERO GRADE AND ALIGNED STRAIGHT
 3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK MINIMUM GRADED GRAVEL LAYER
 4. ROCK SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND ENGINEER

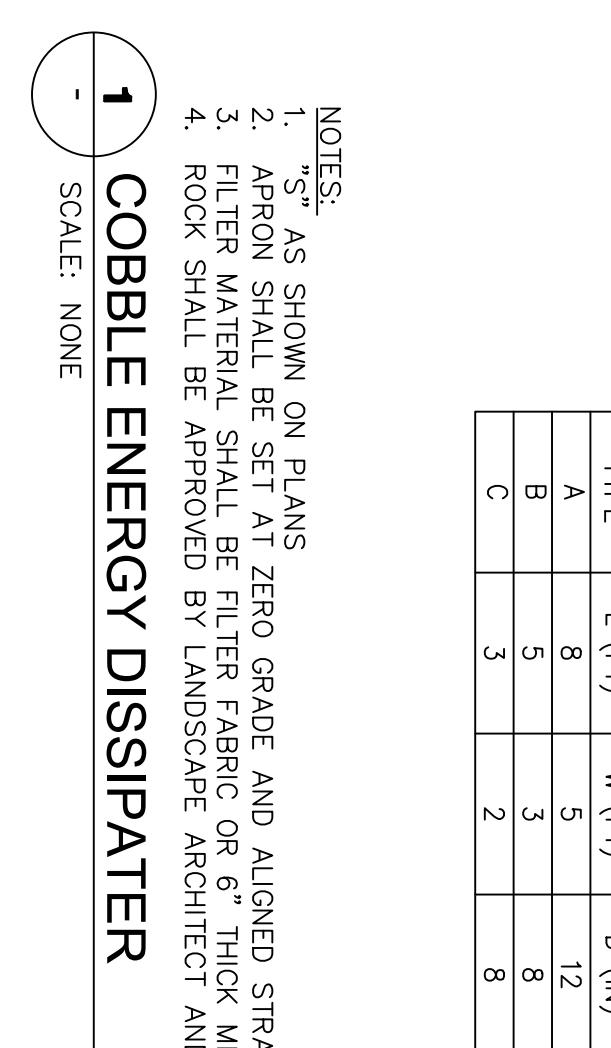
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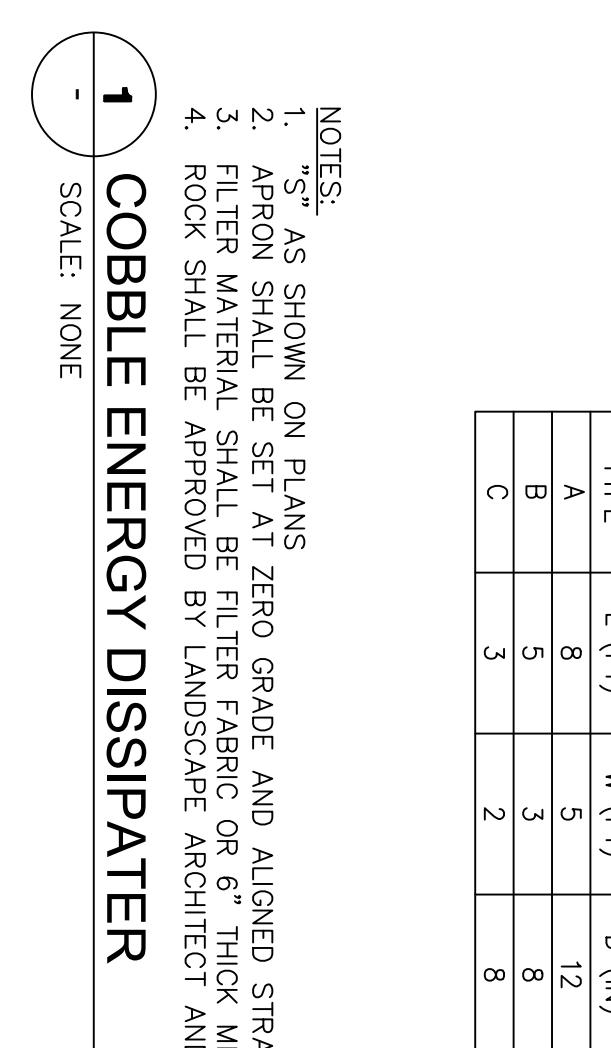
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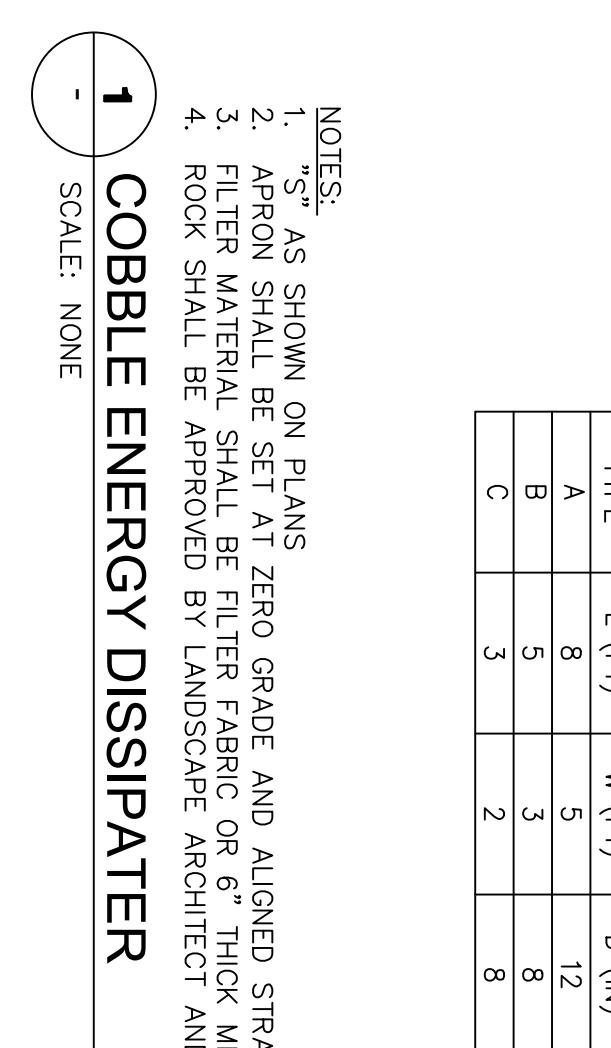
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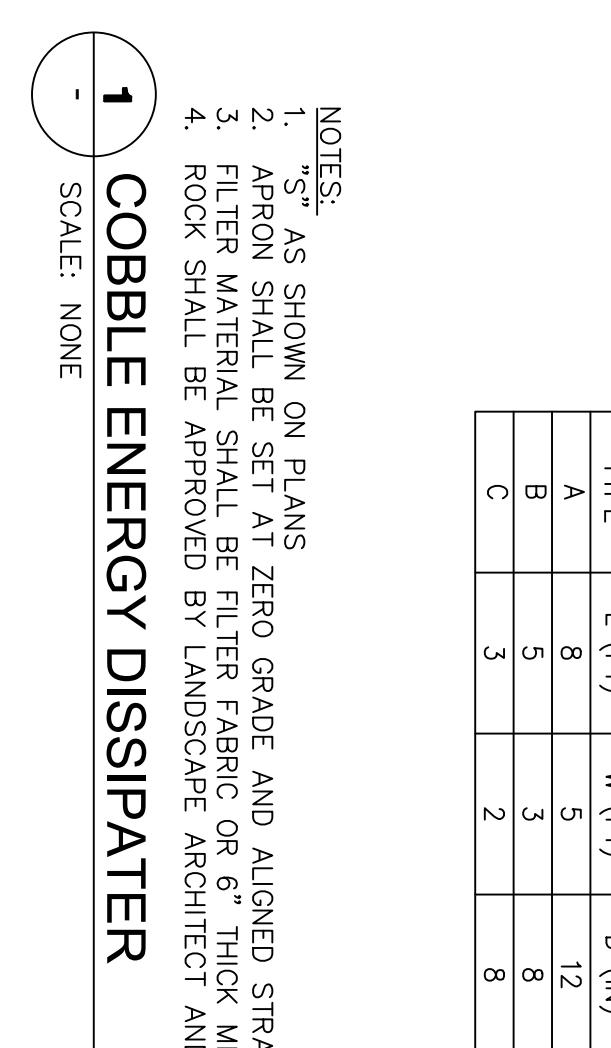
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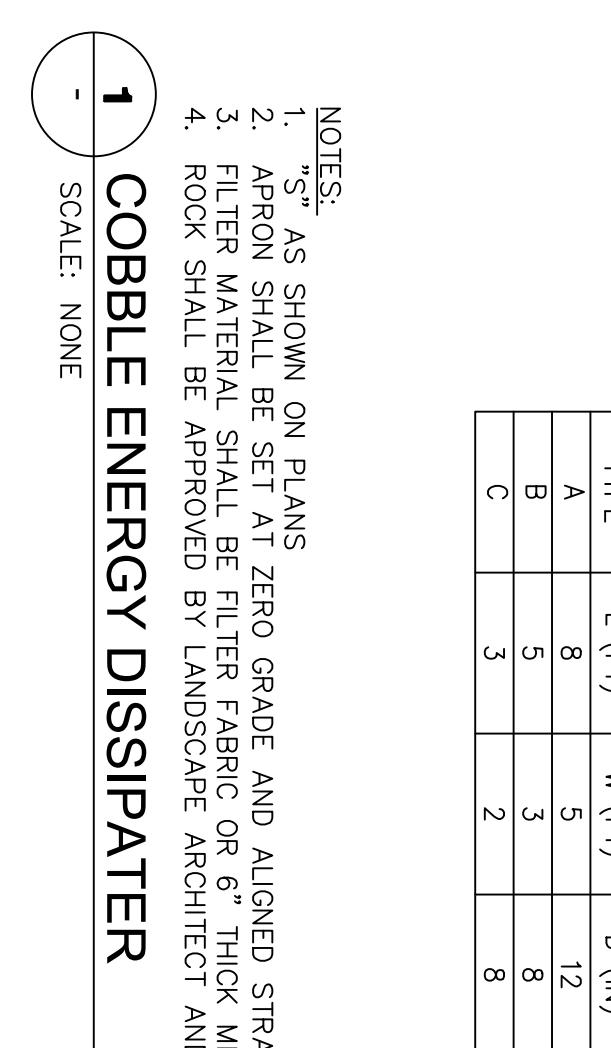
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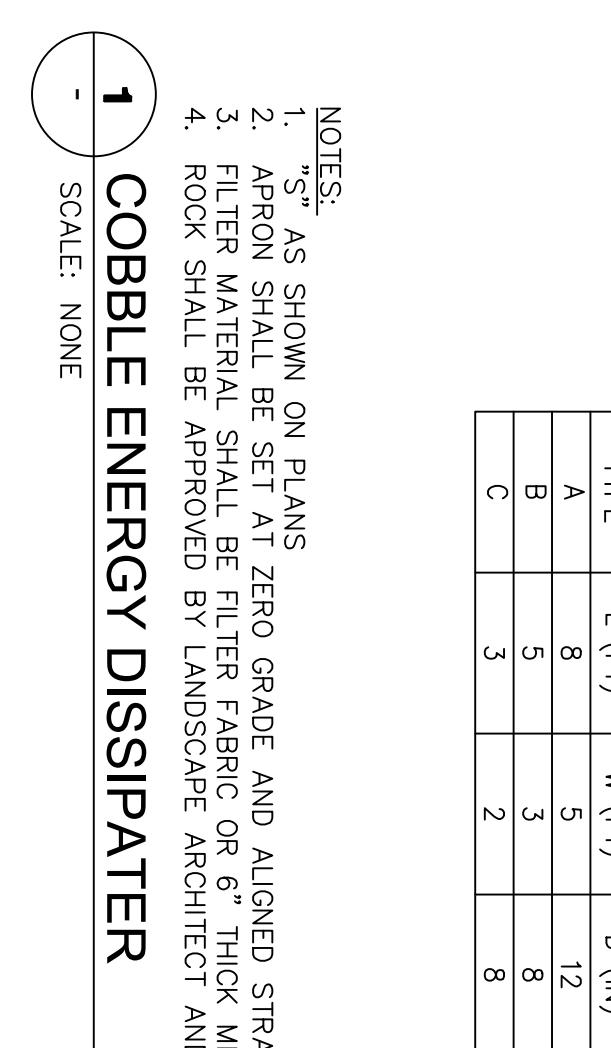
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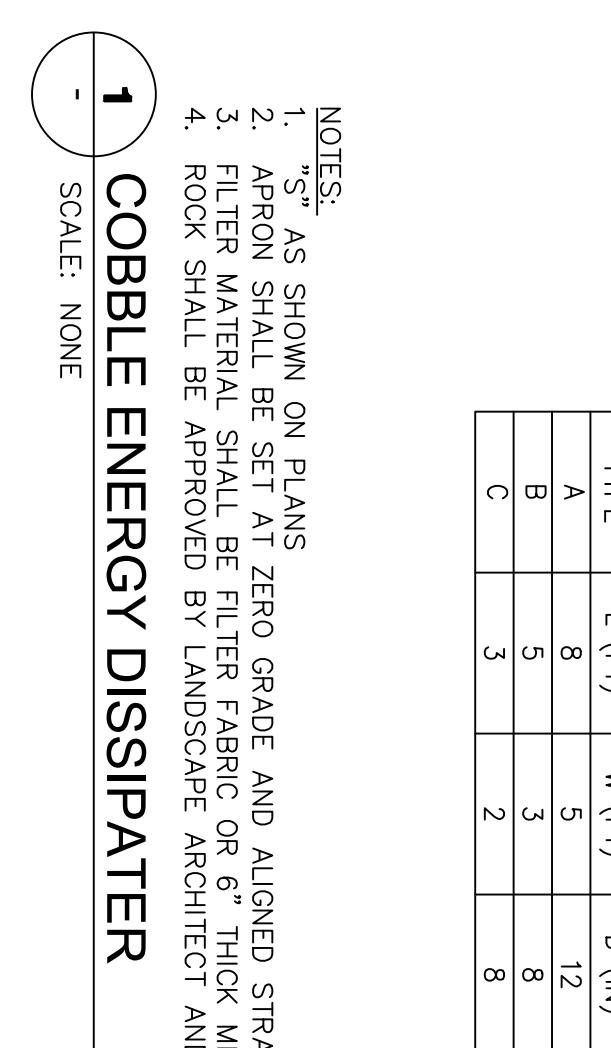
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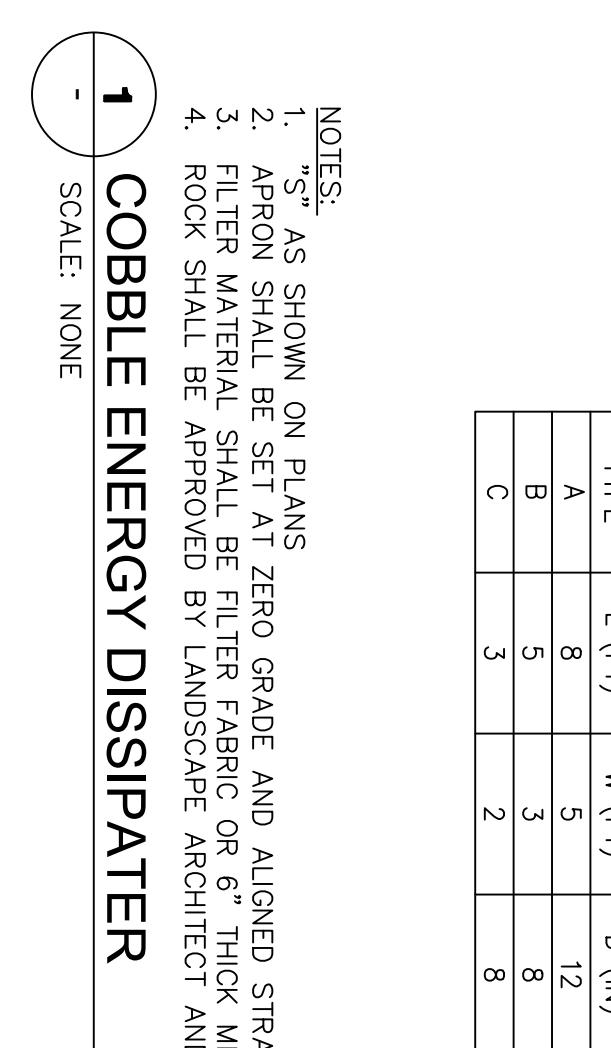
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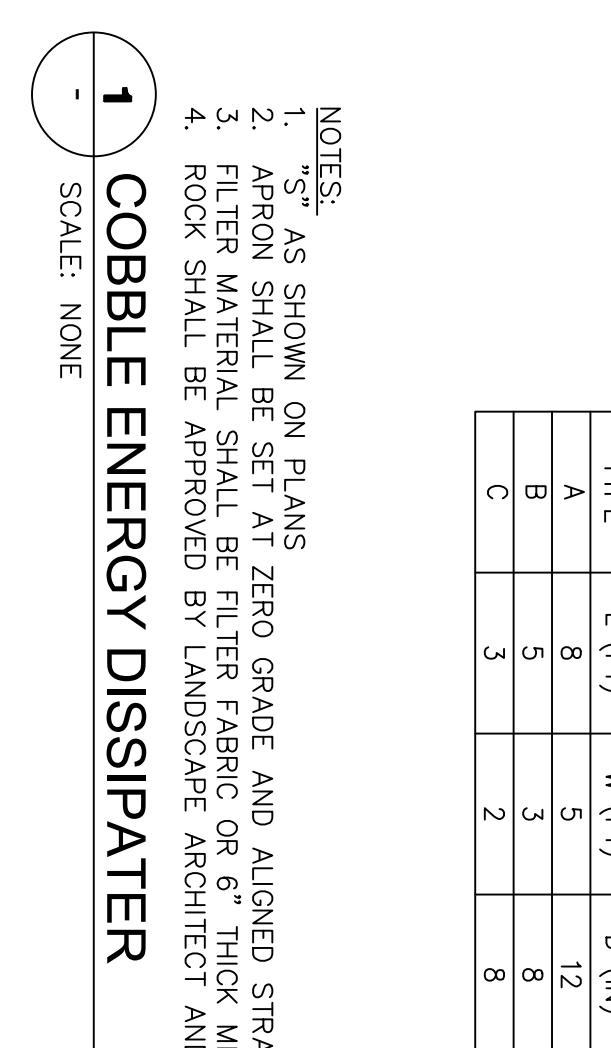
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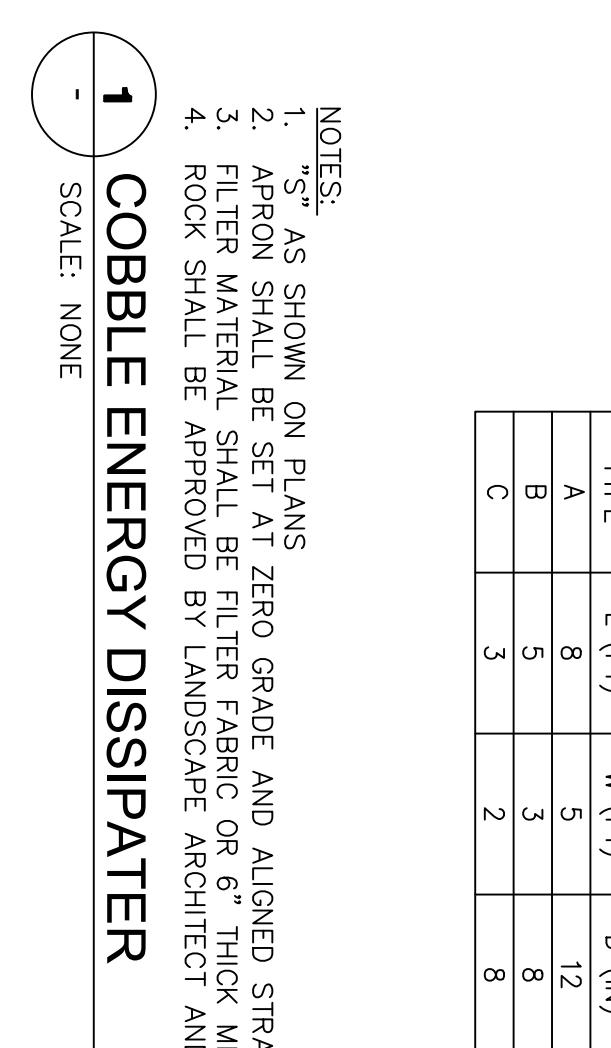
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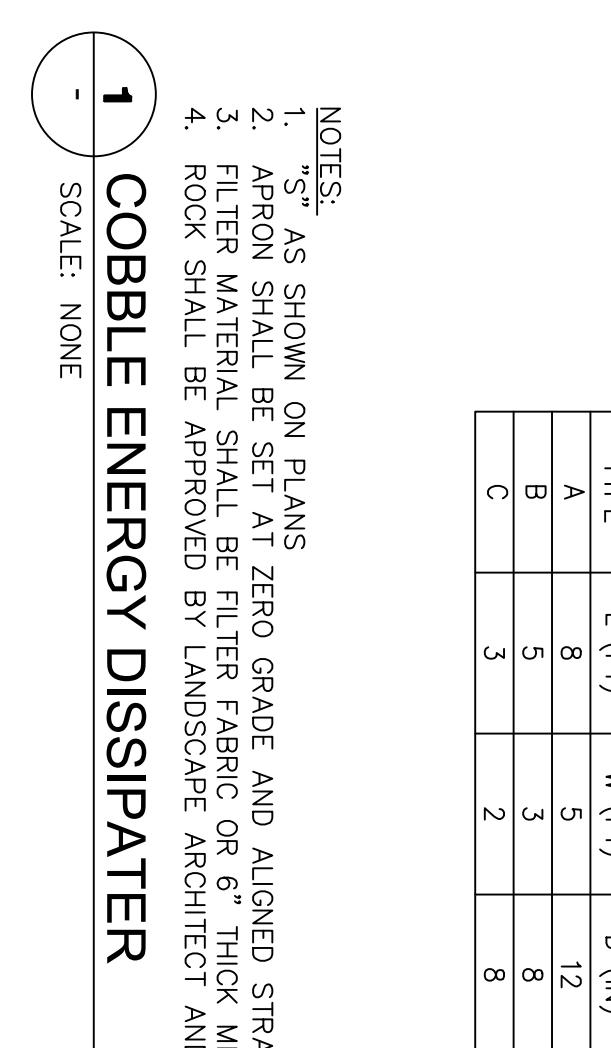
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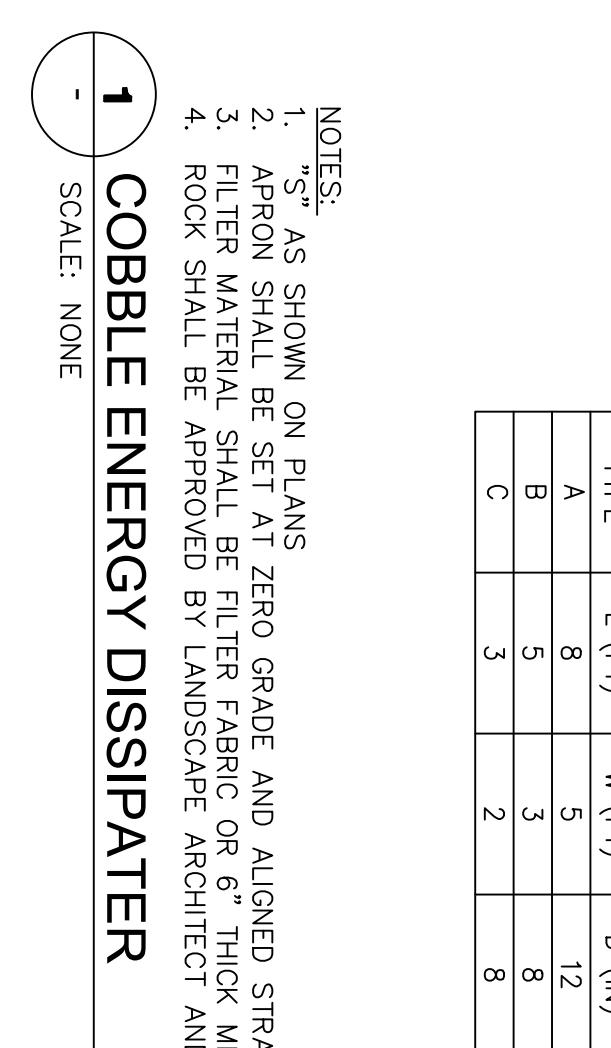
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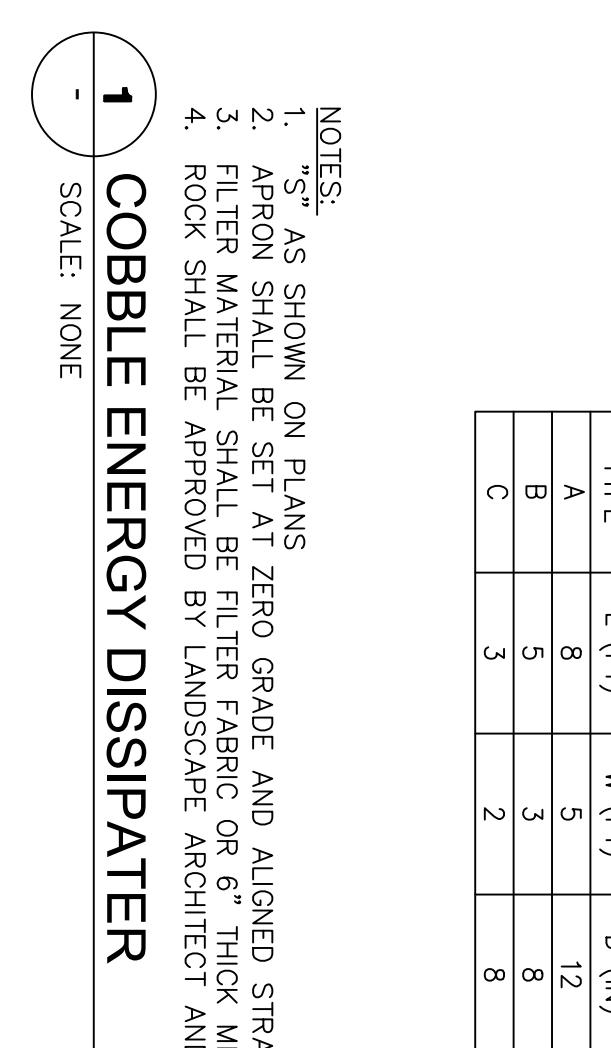
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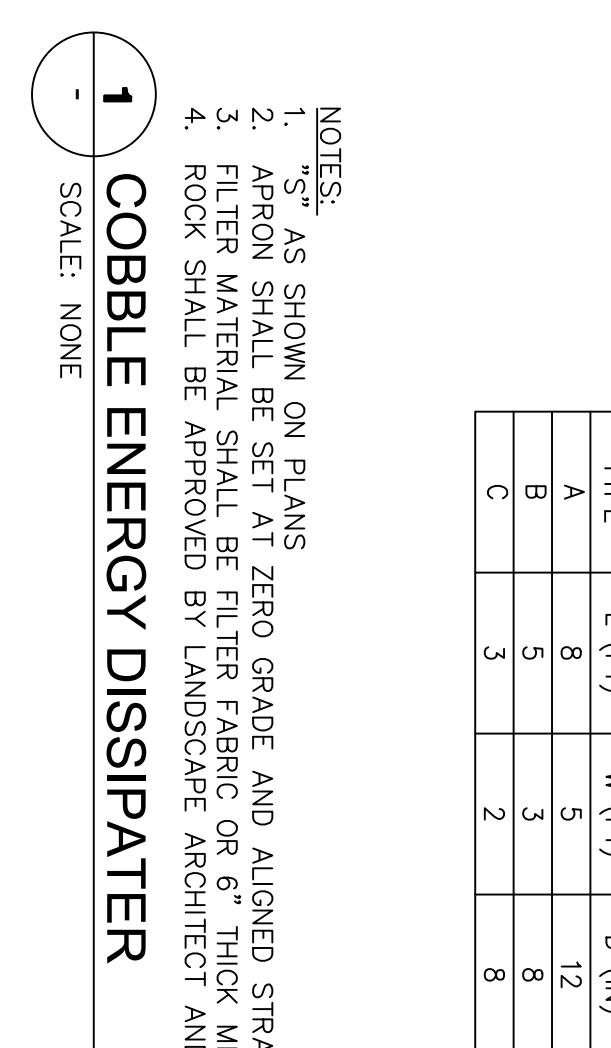
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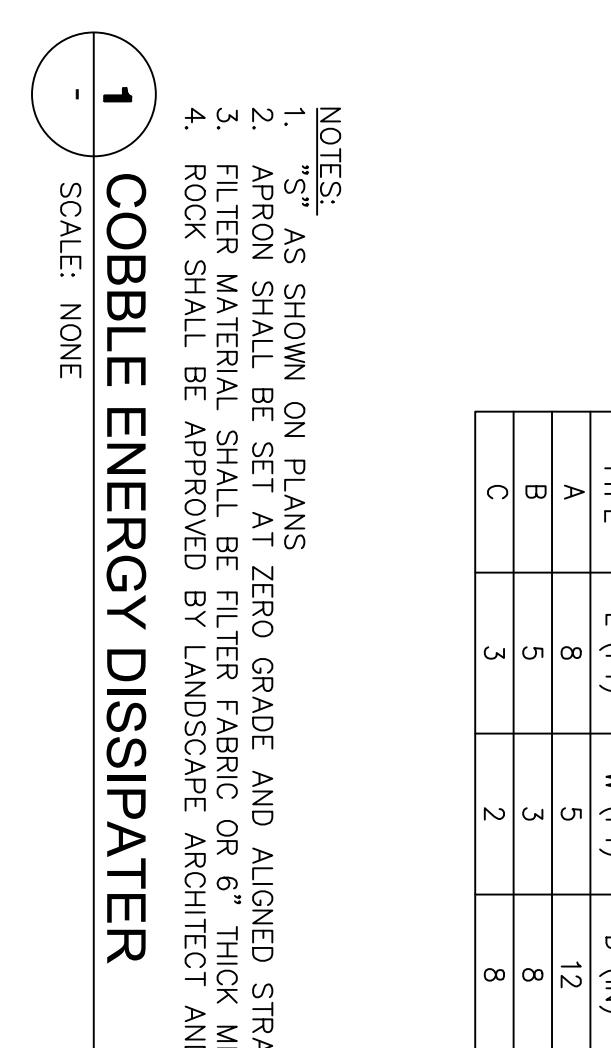
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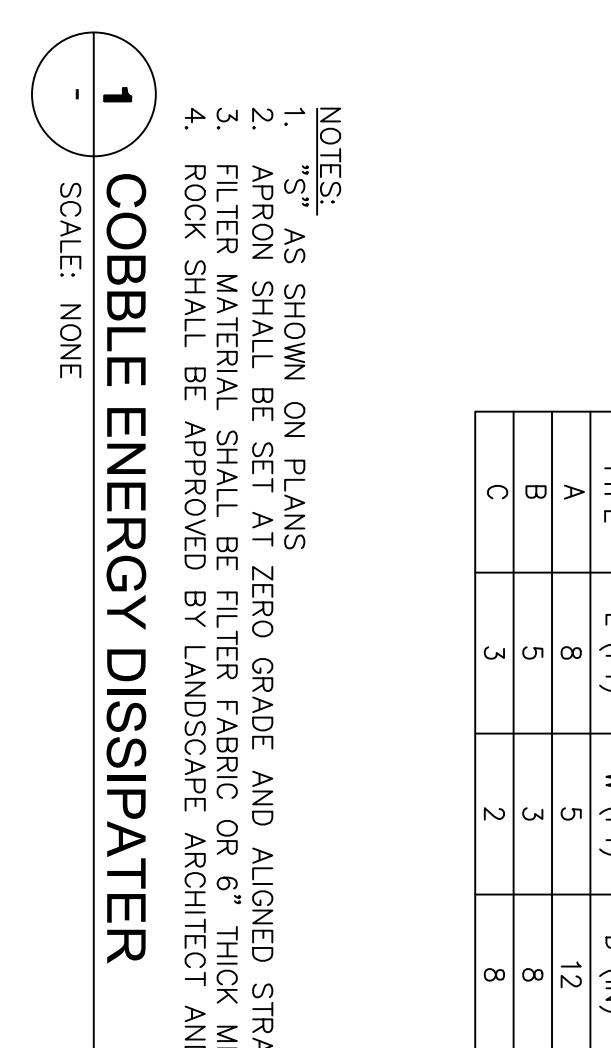
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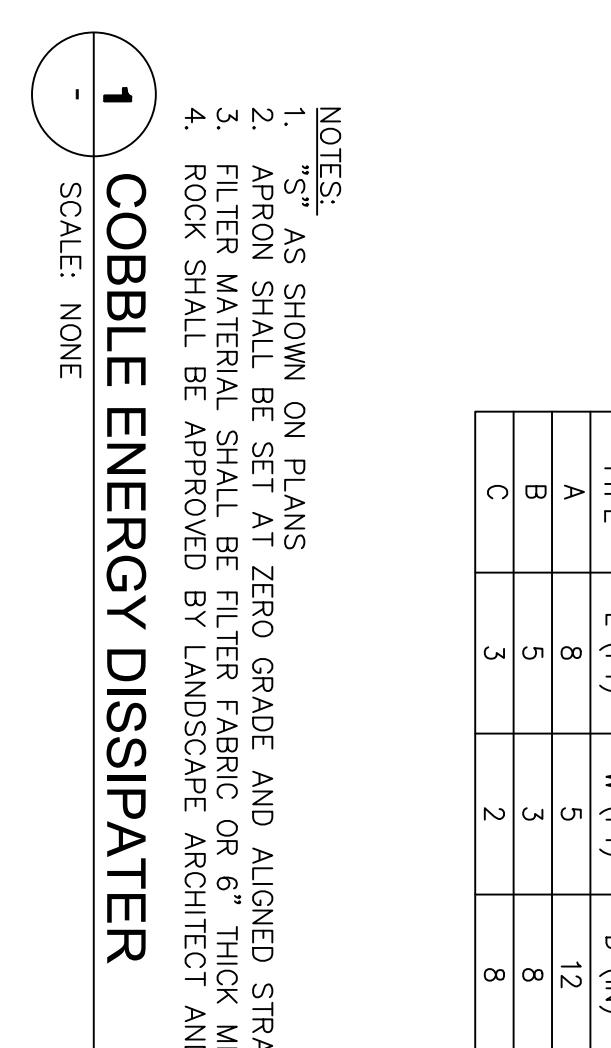
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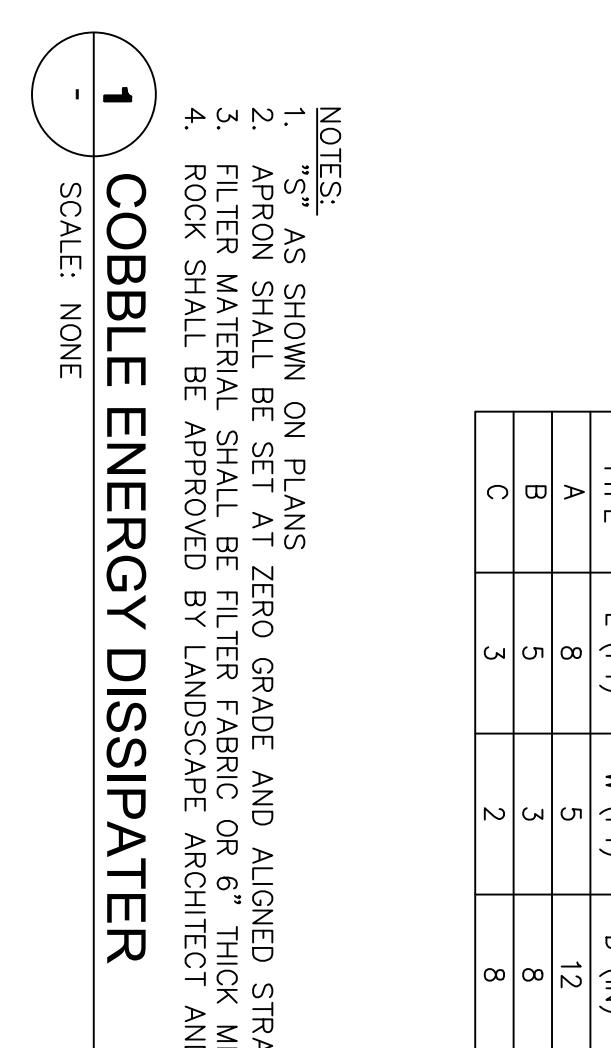
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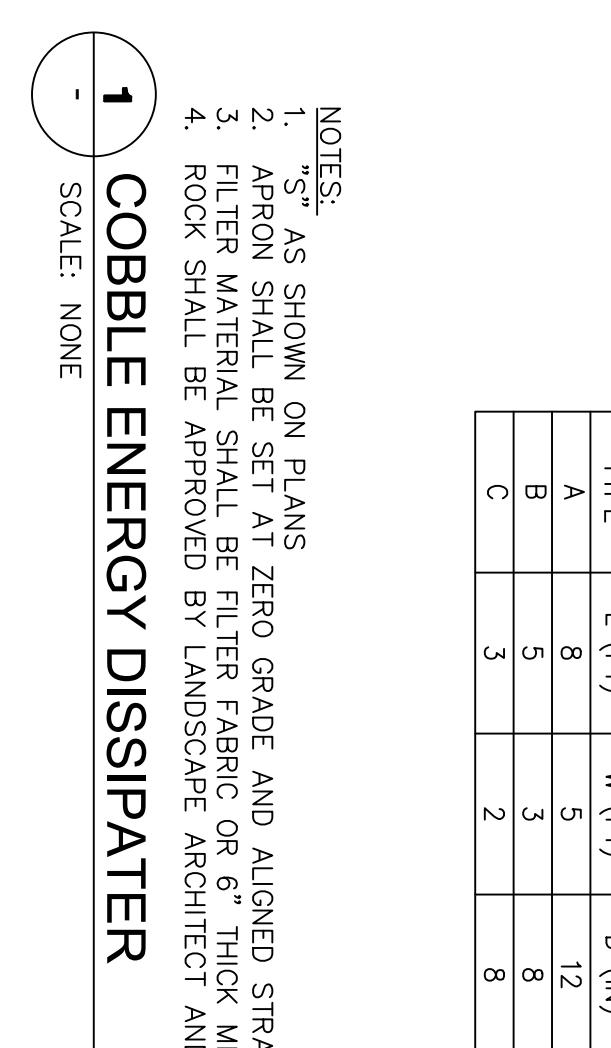
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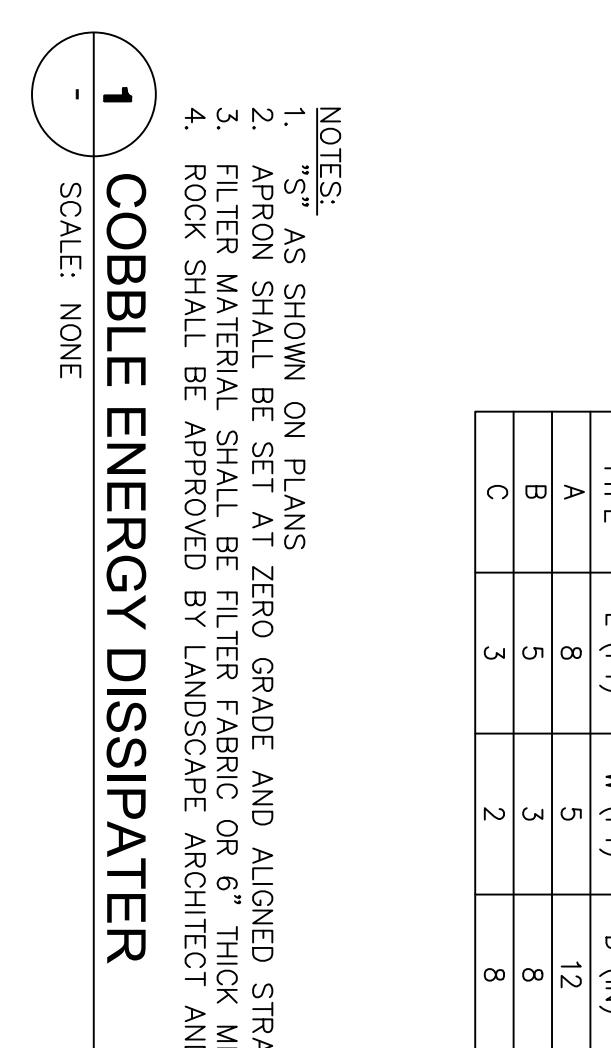
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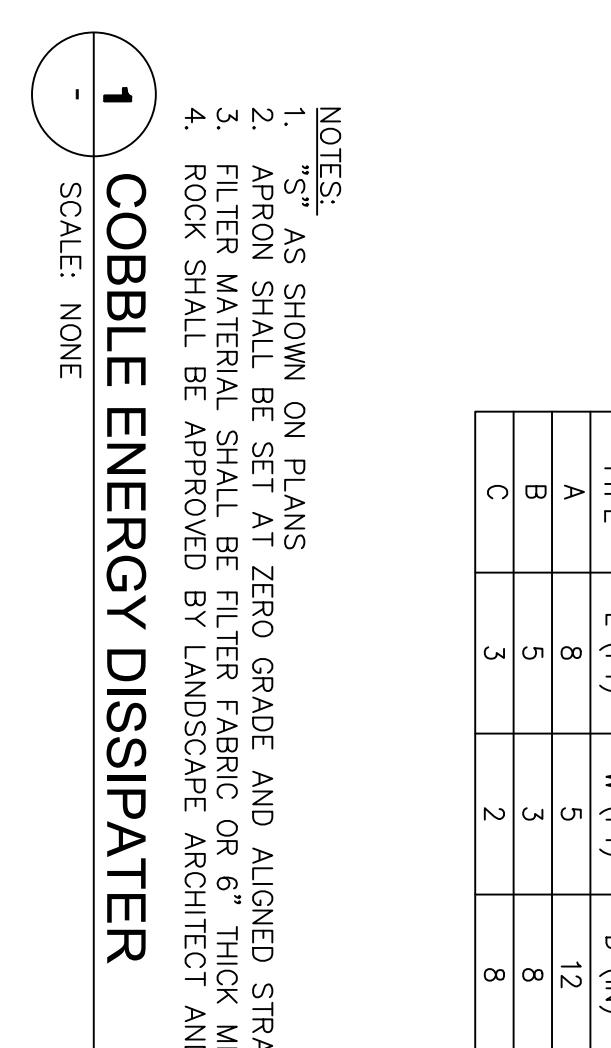
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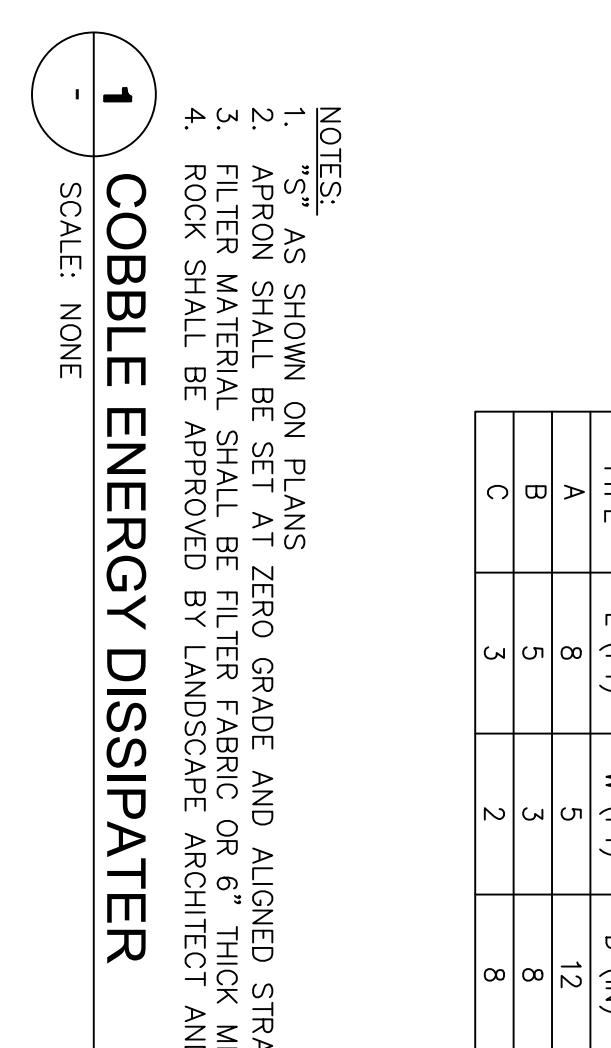
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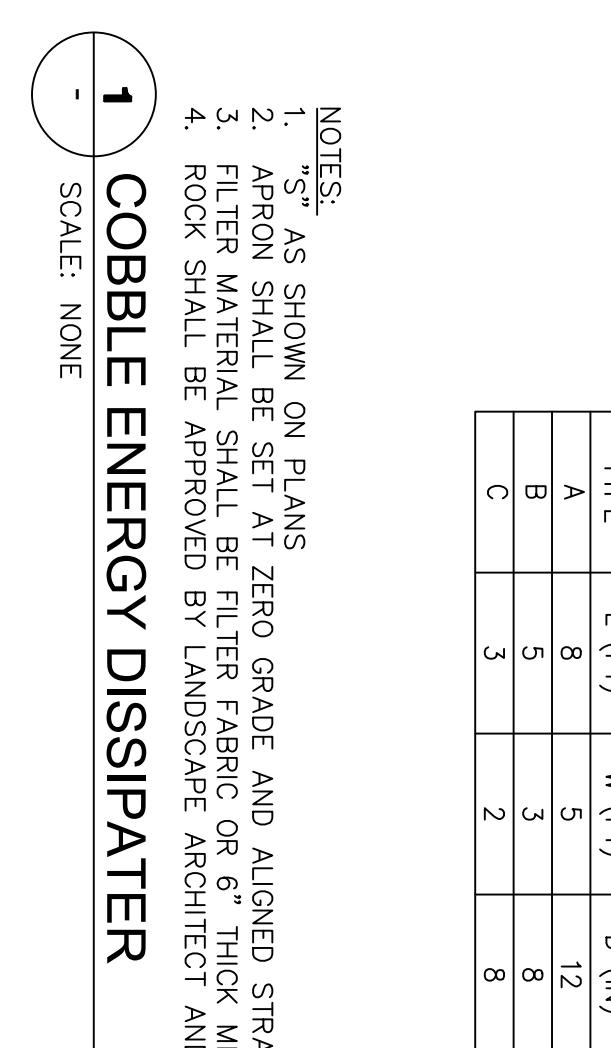
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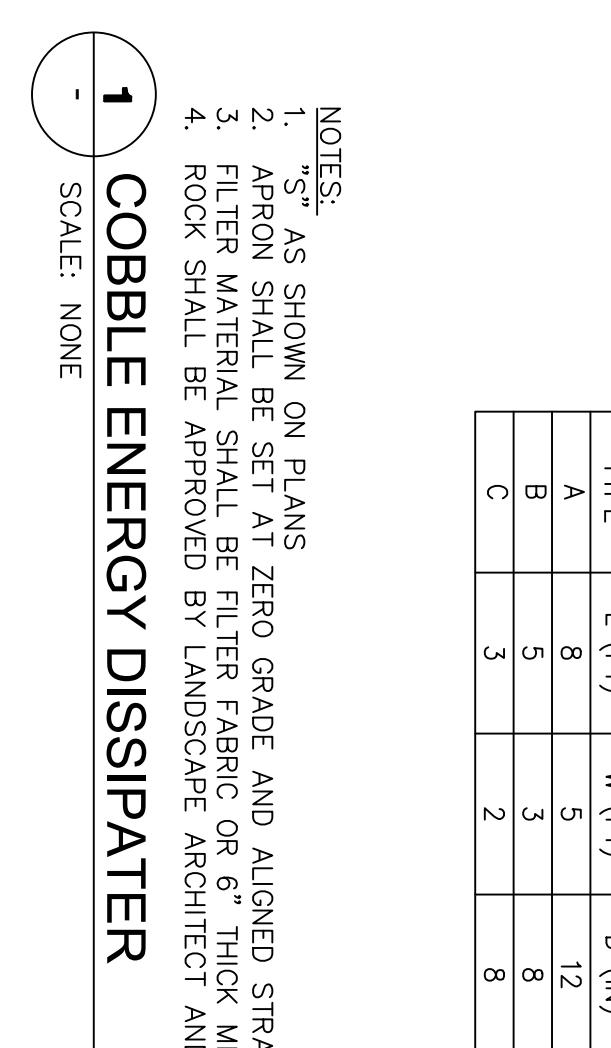
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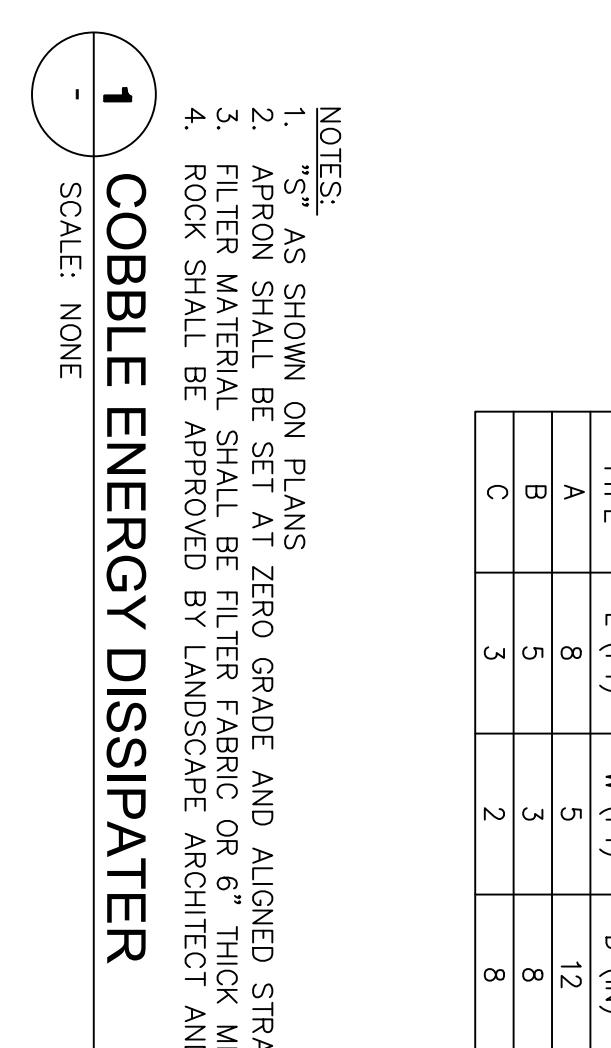
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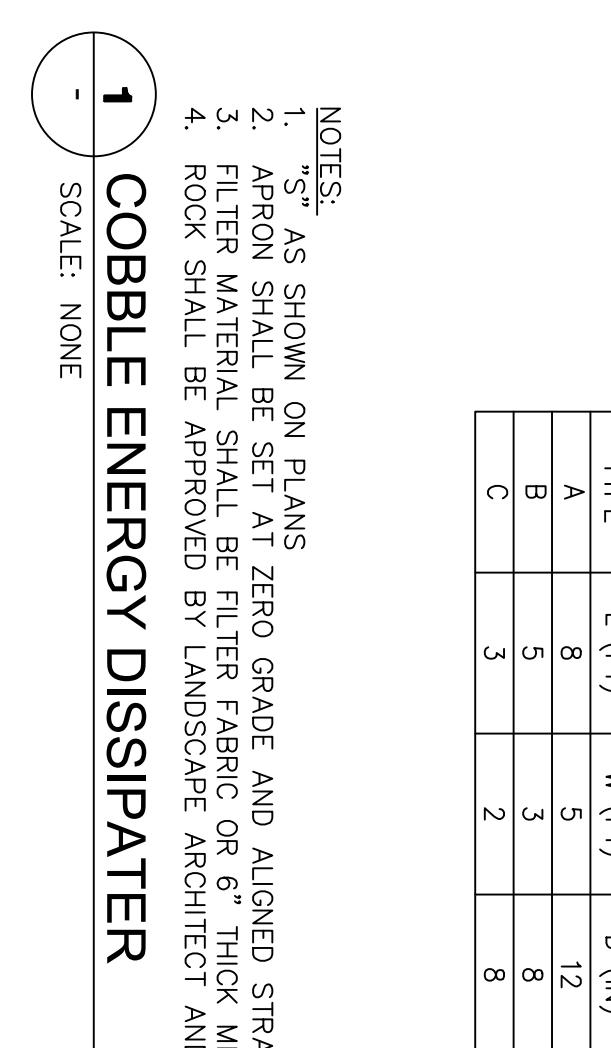
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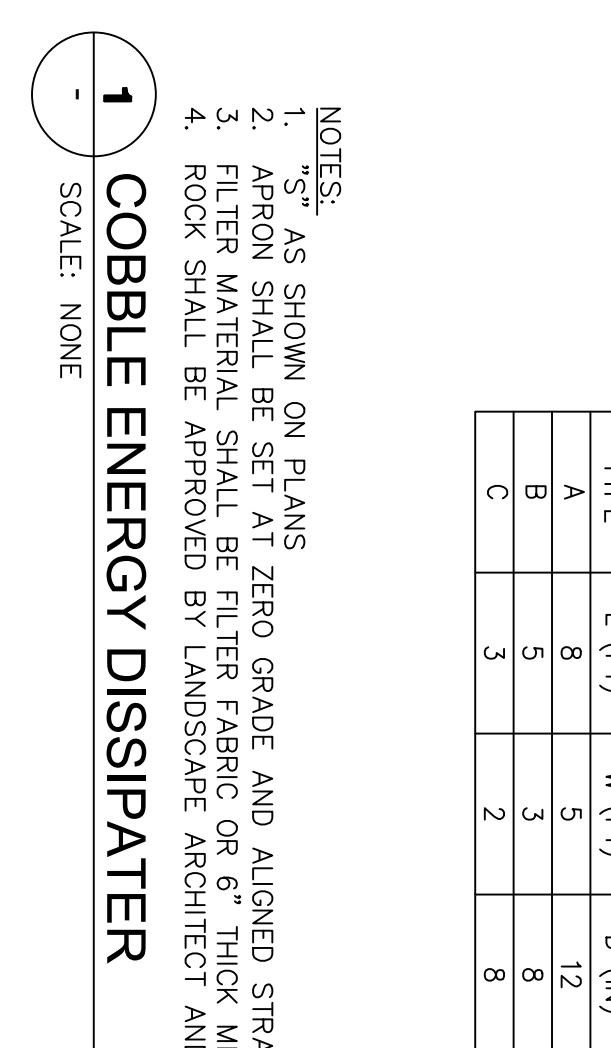
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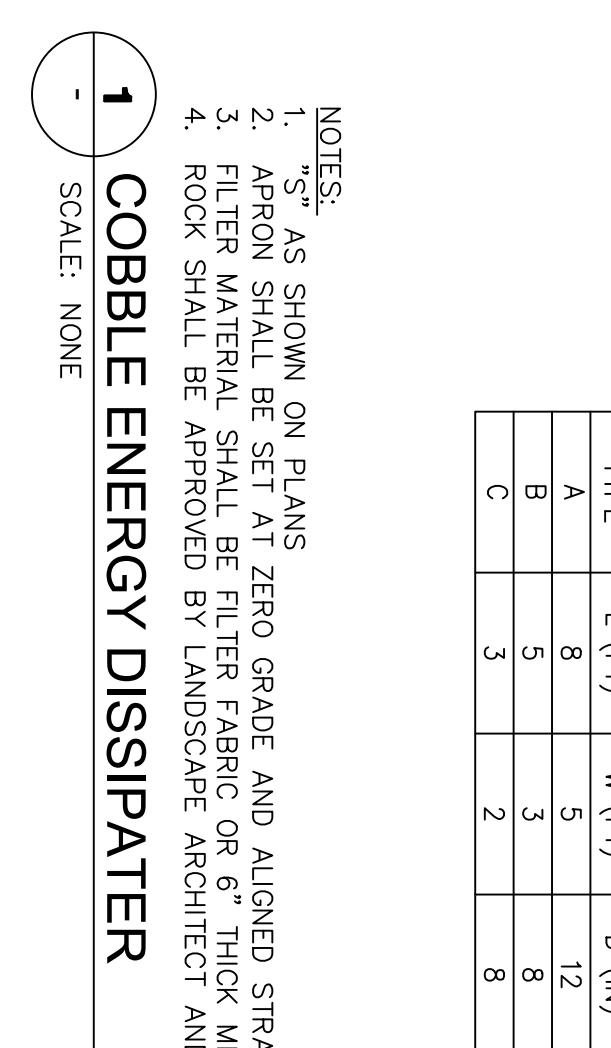
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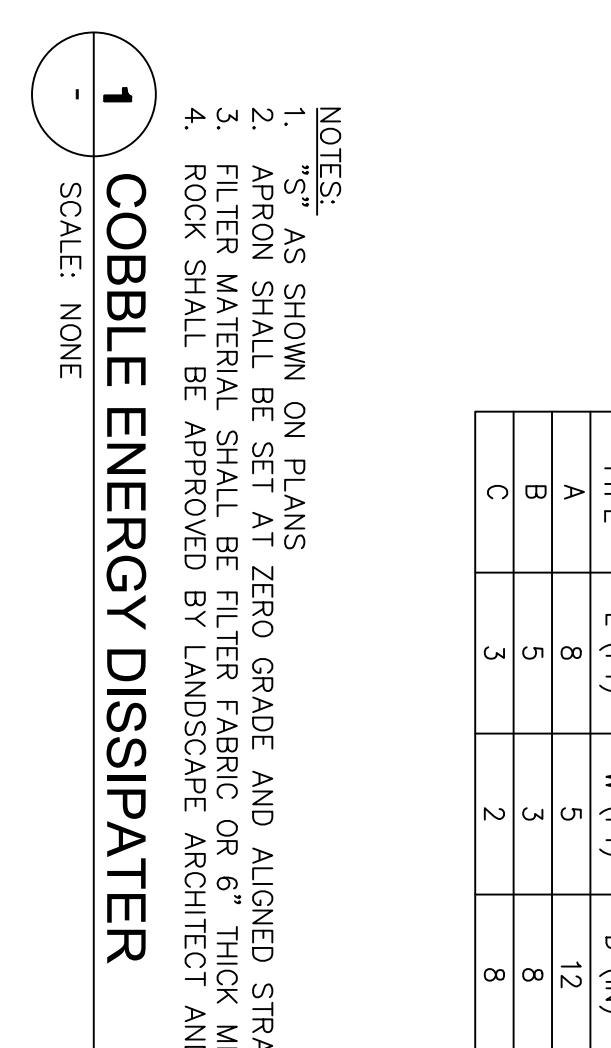
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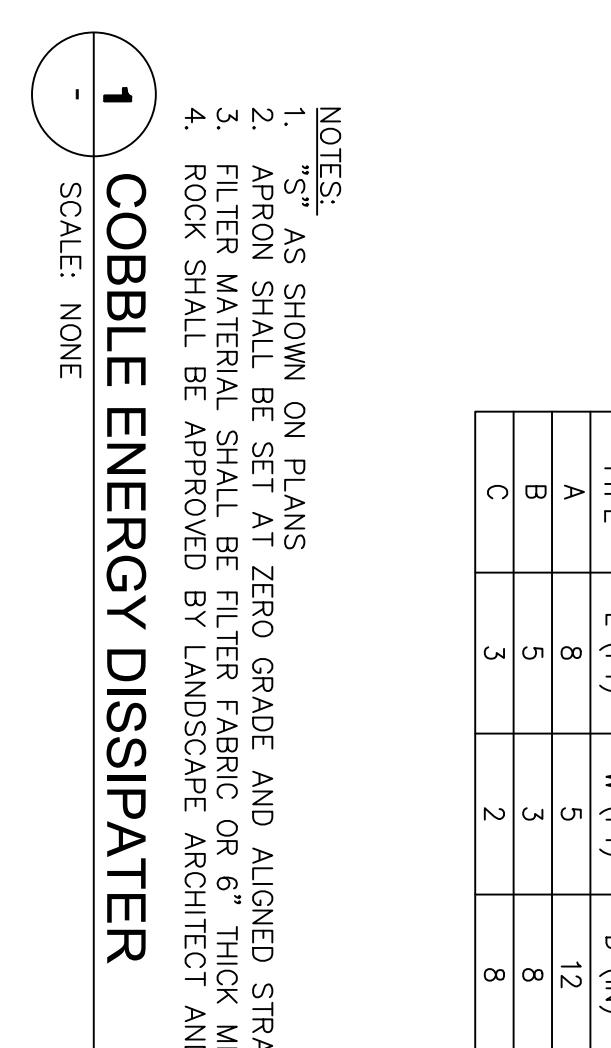
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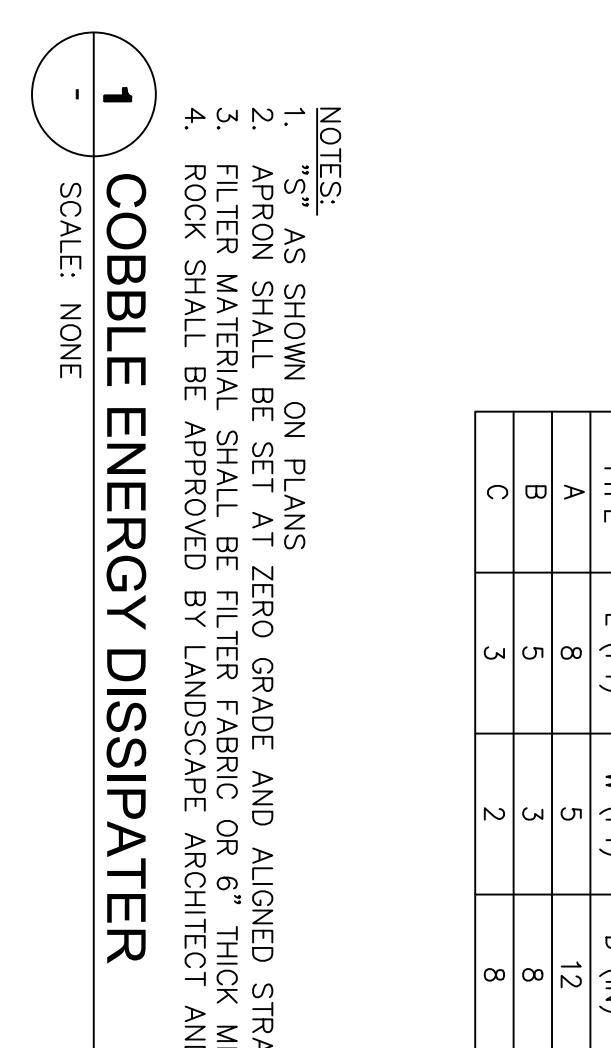
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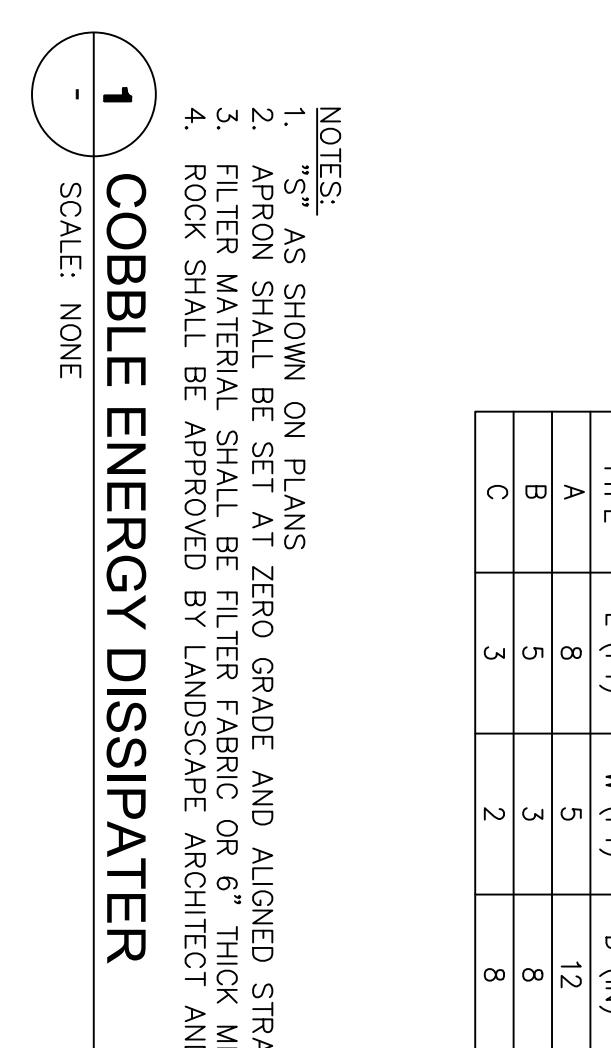
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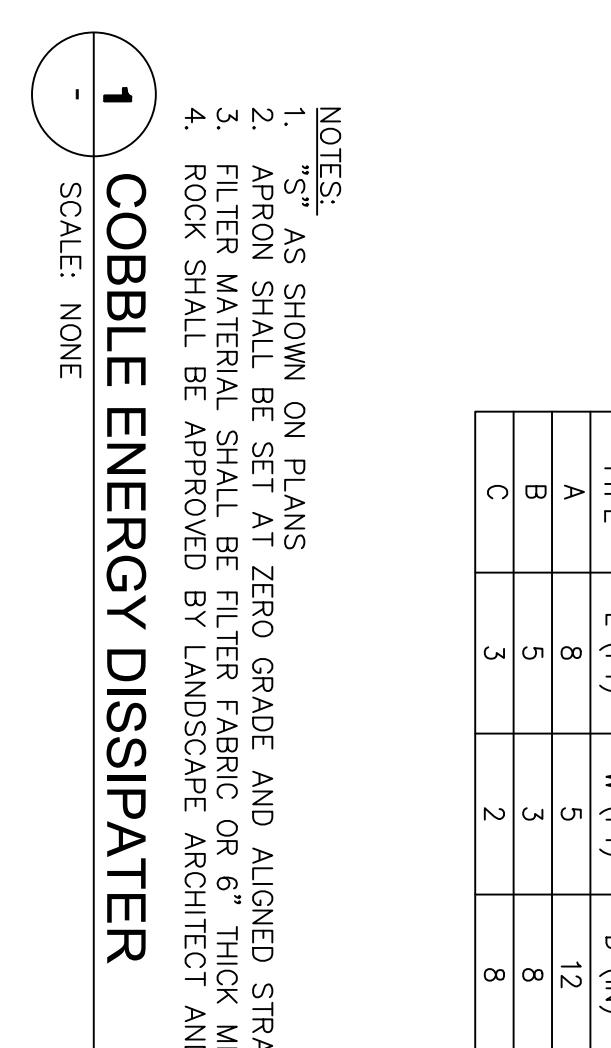
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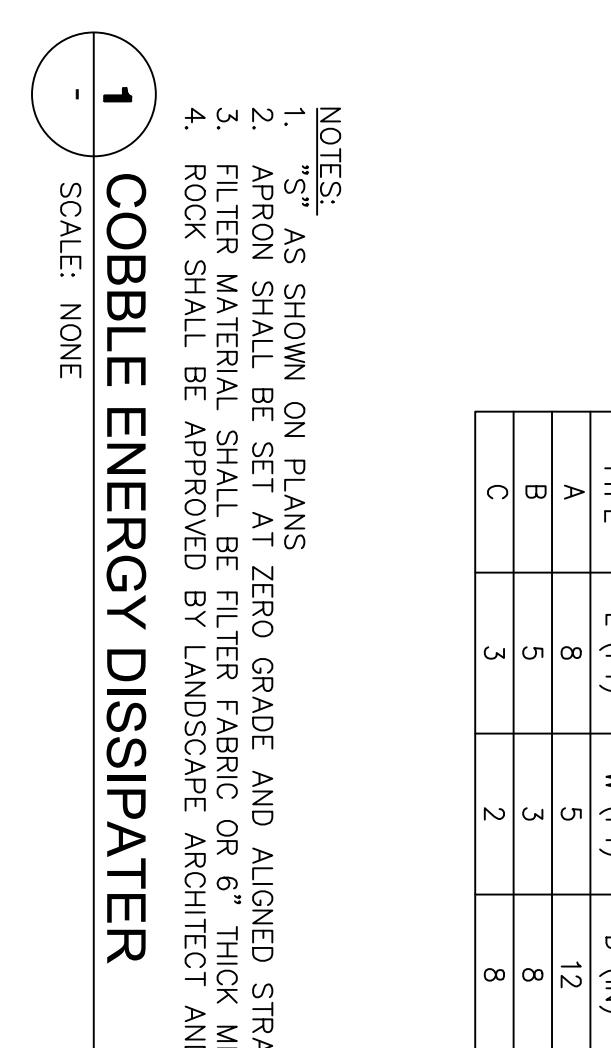
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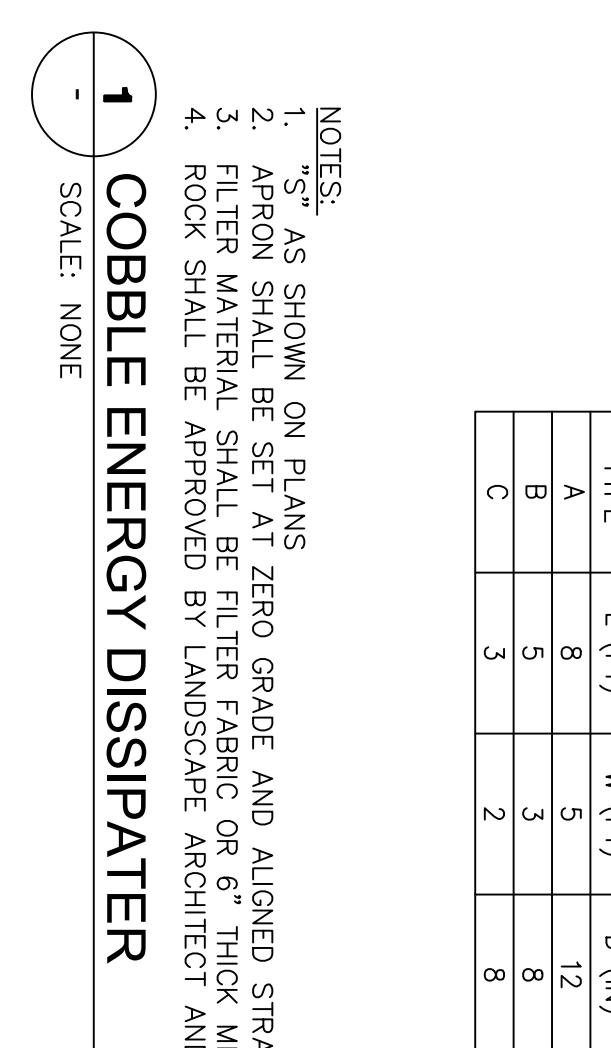
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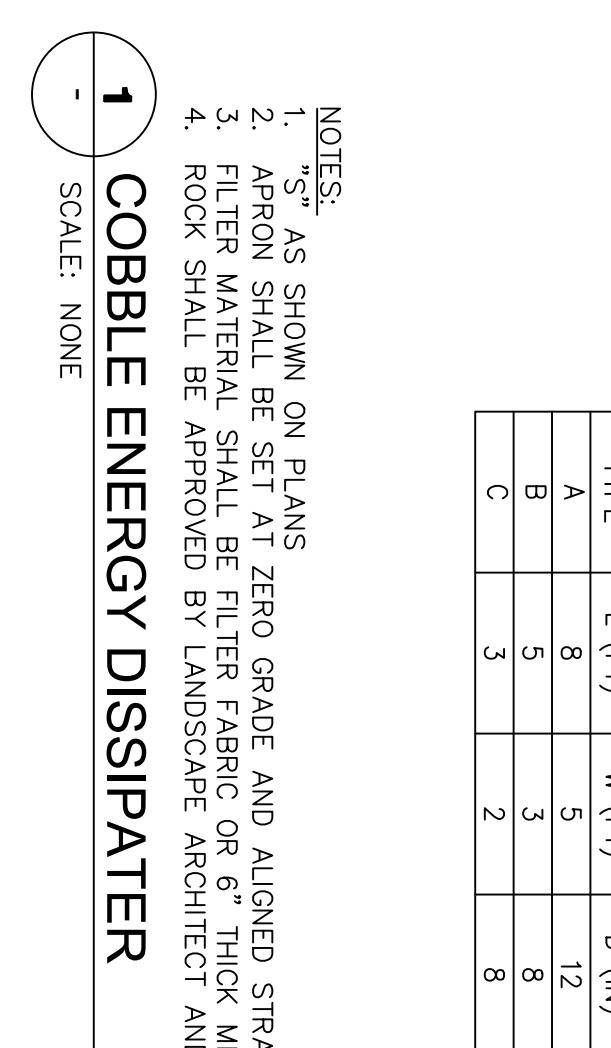
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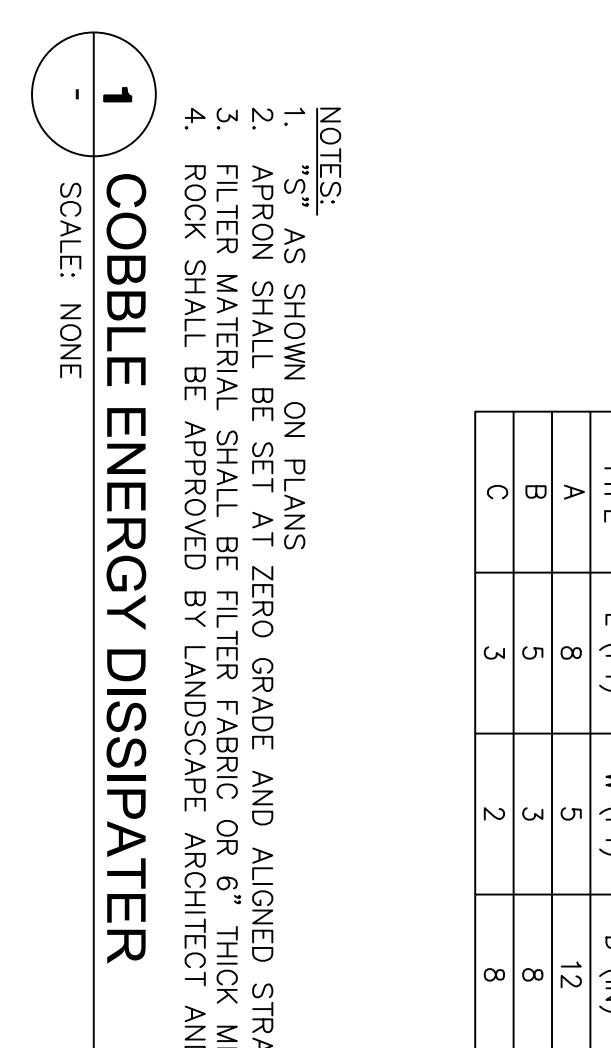
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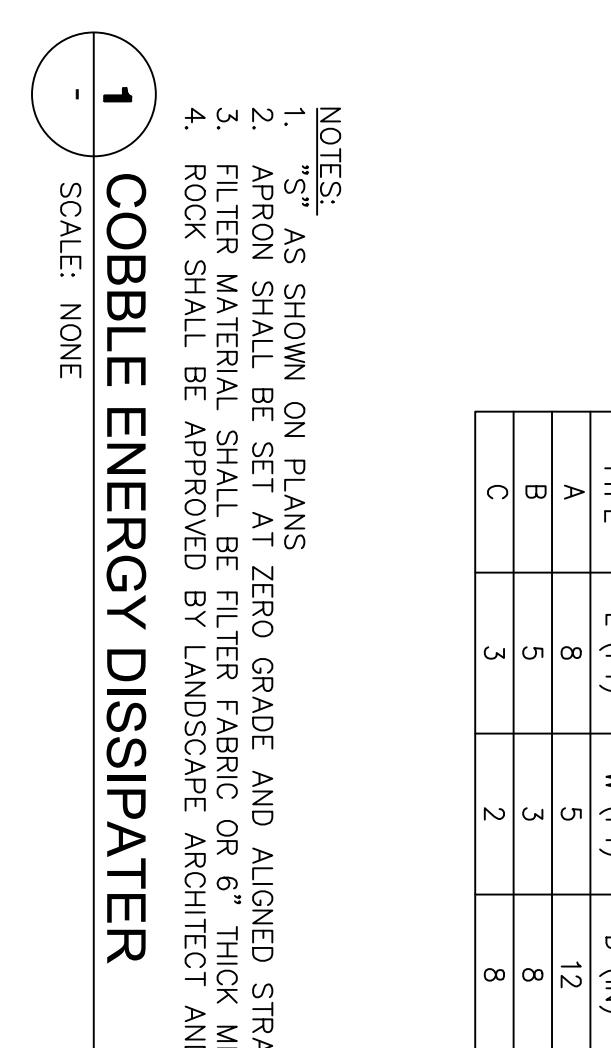
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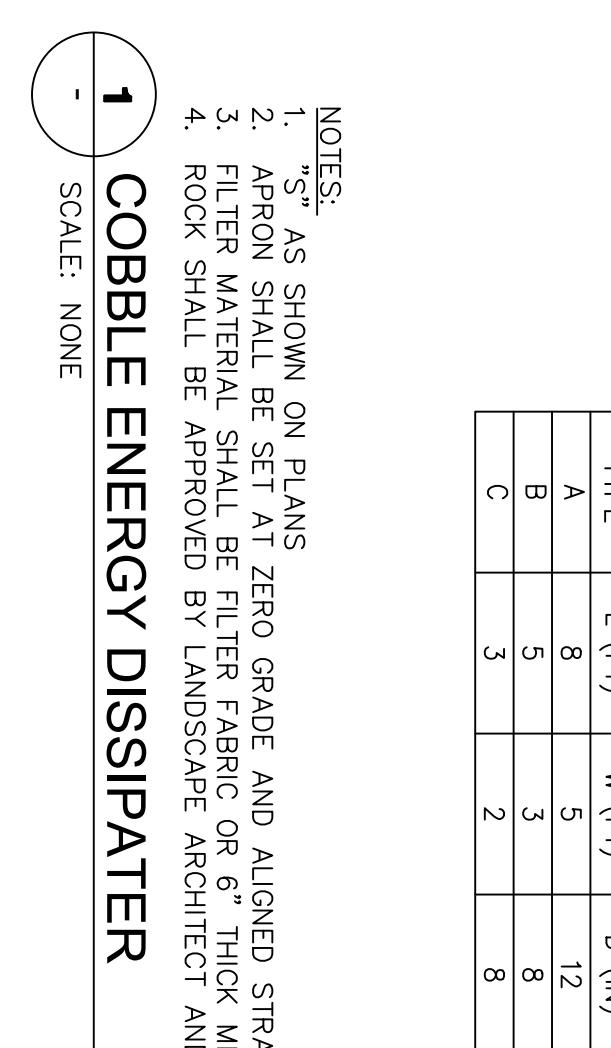
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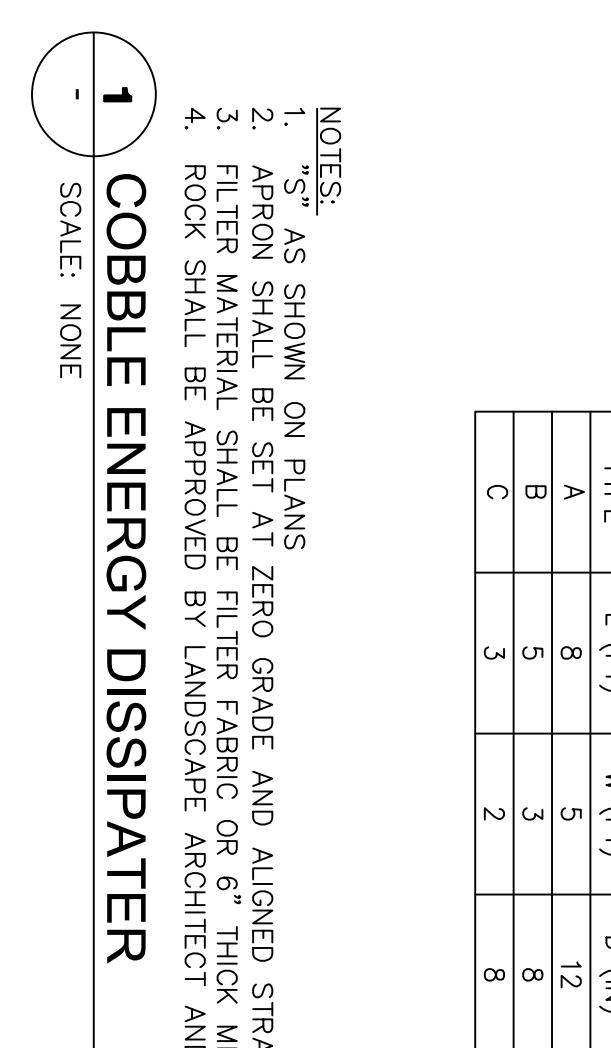
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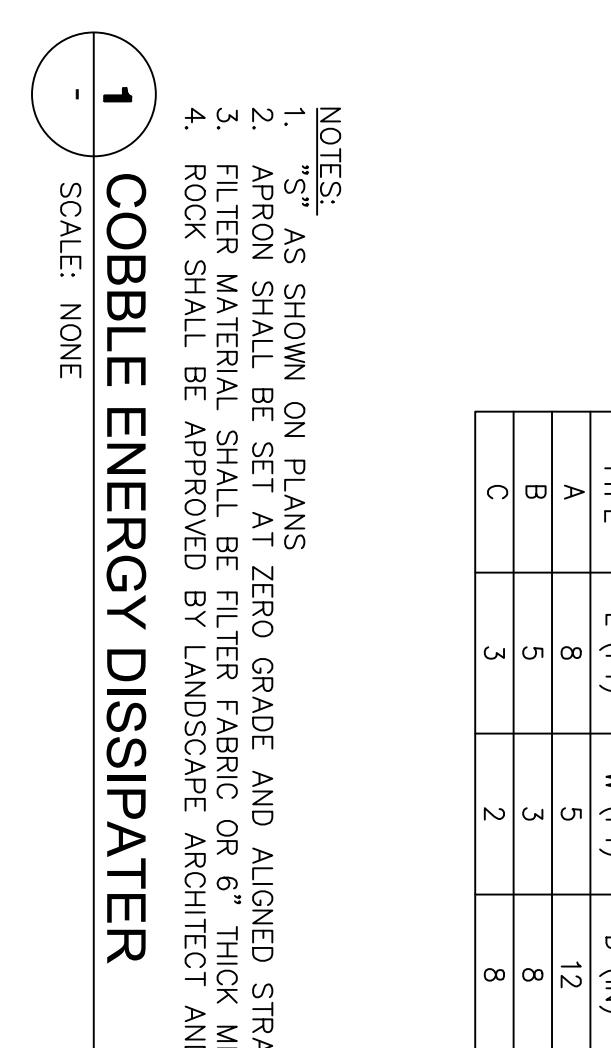
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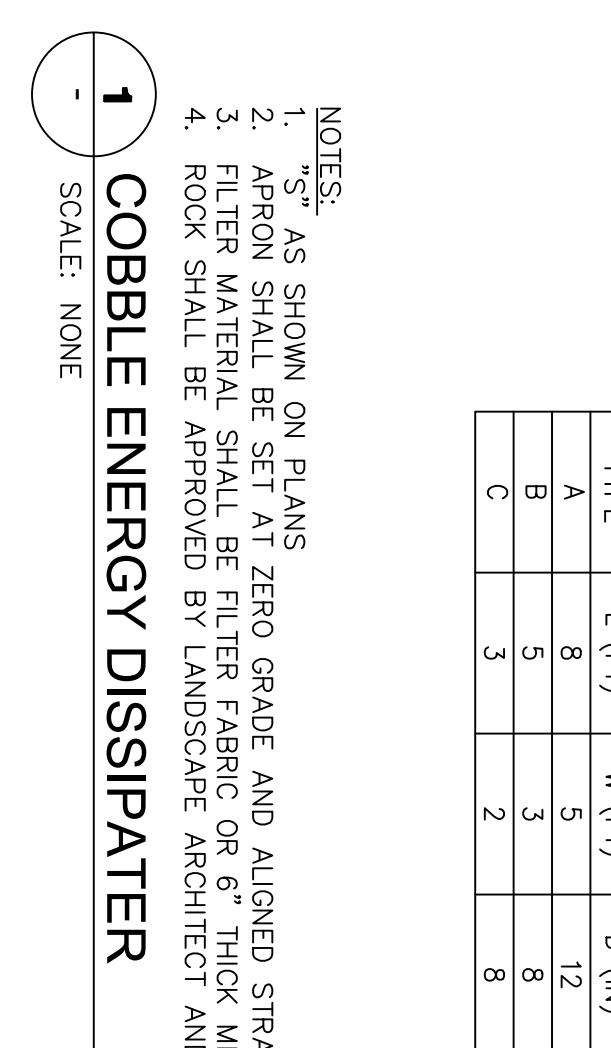
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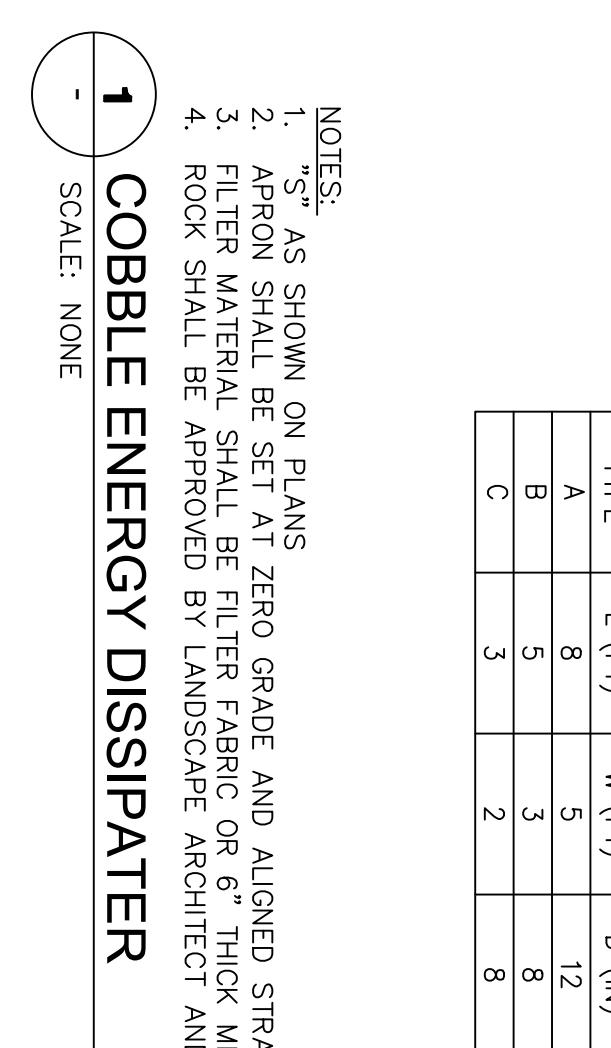
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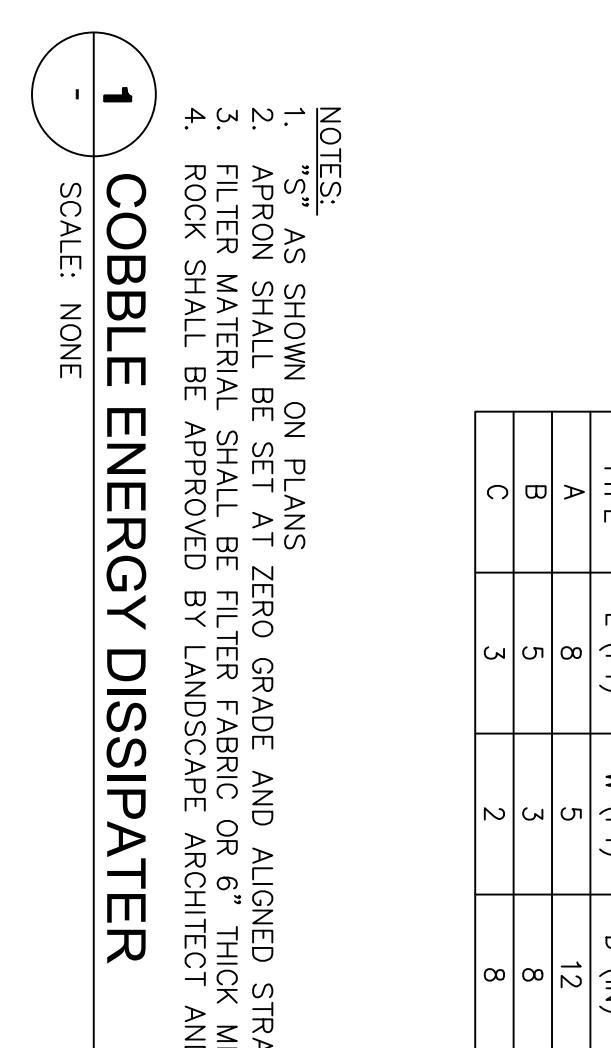
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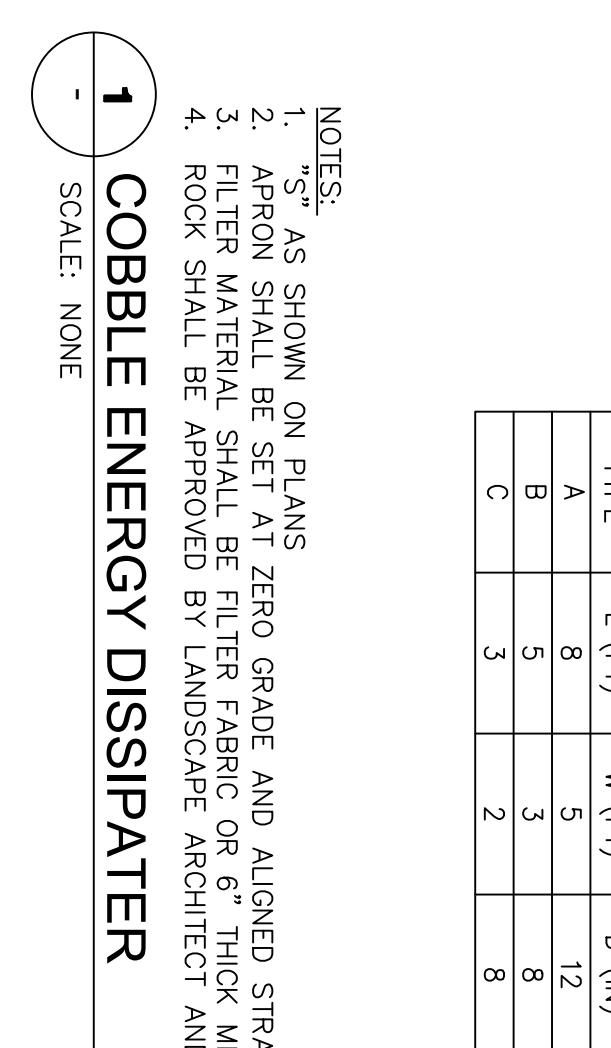
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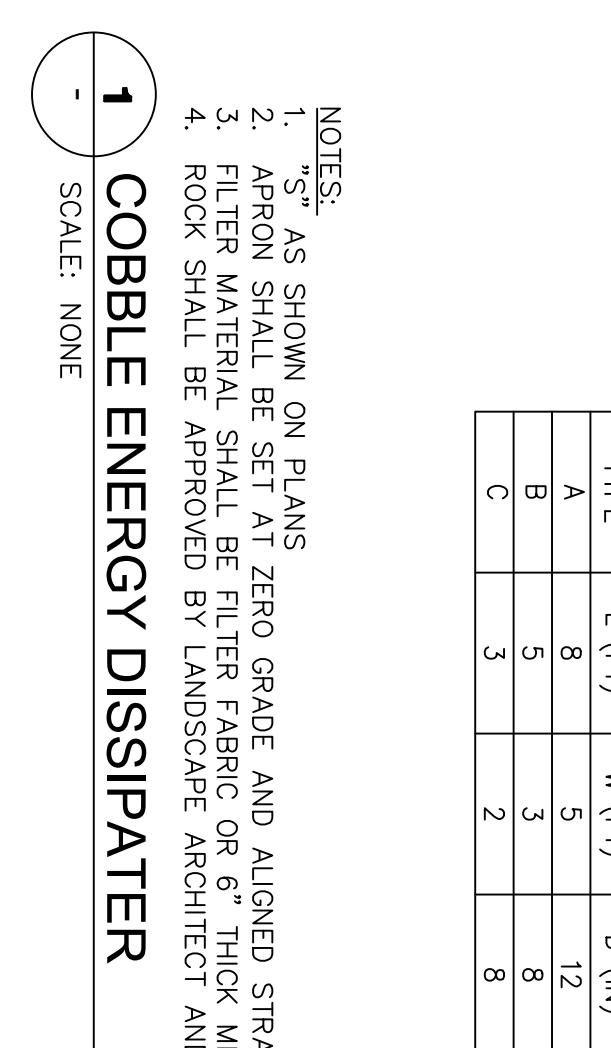
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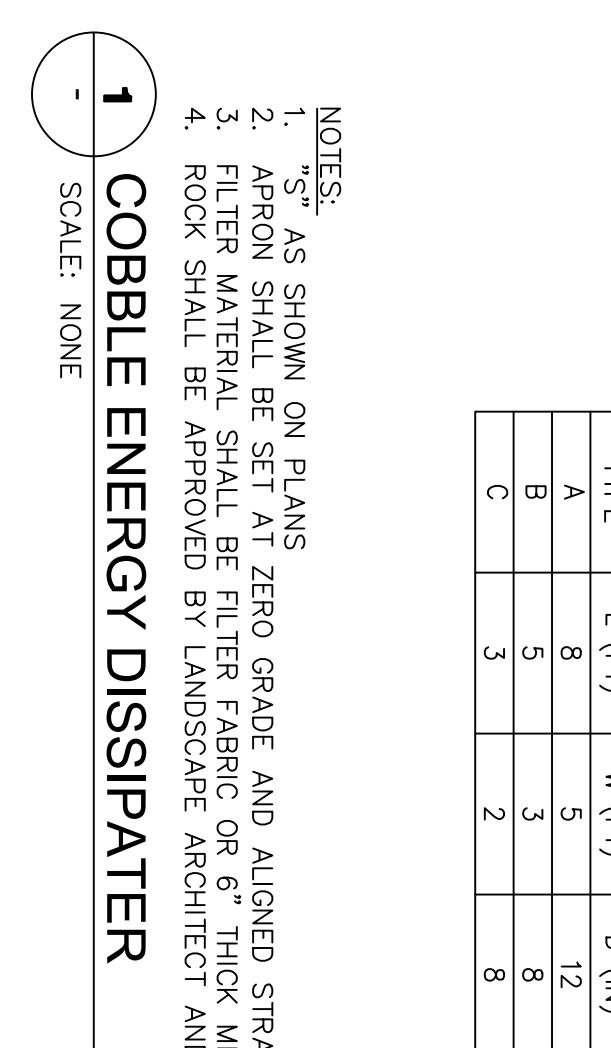
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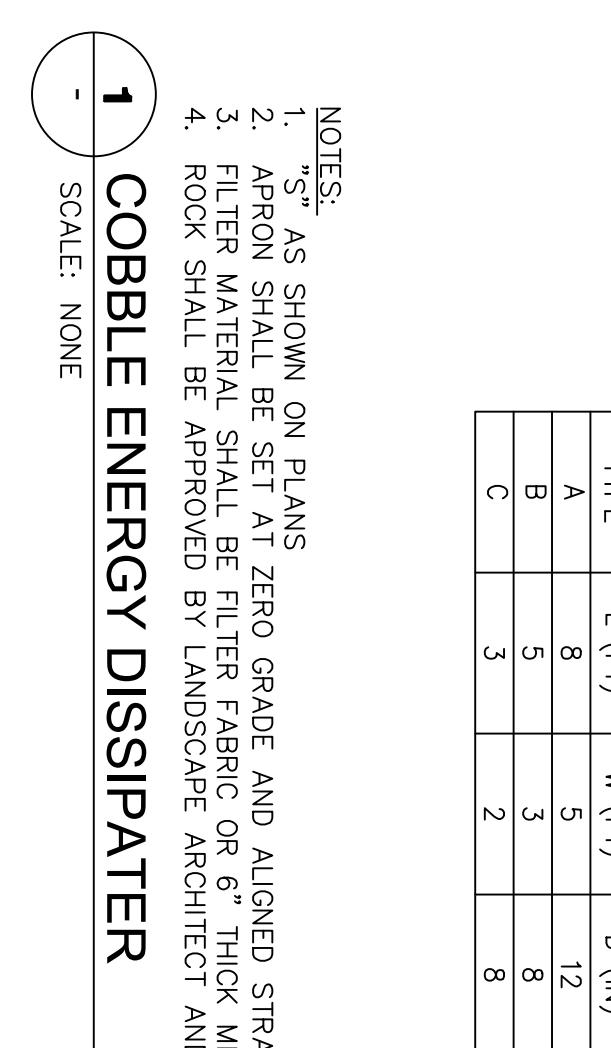
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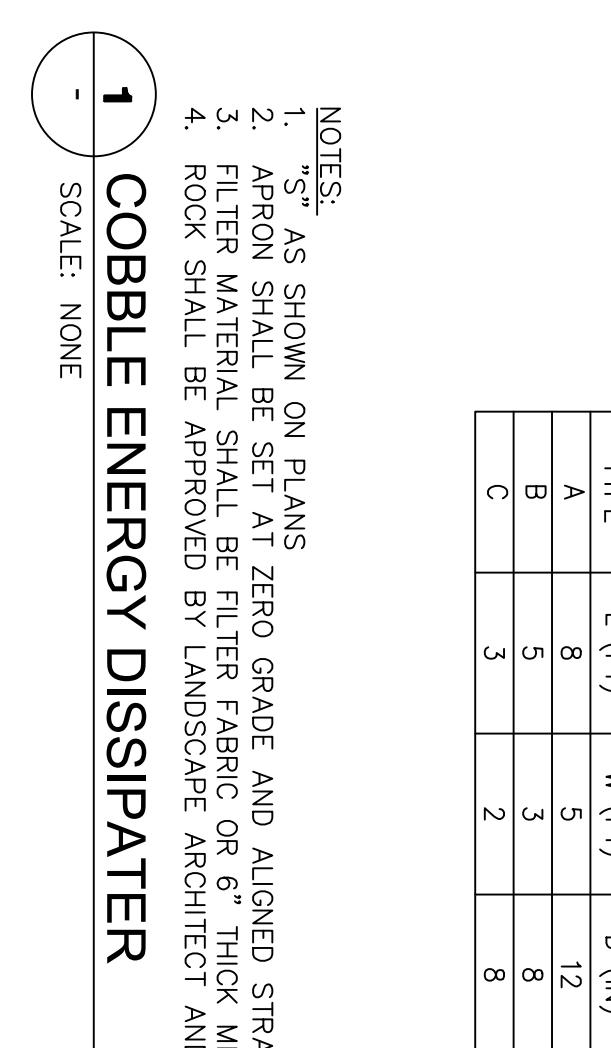
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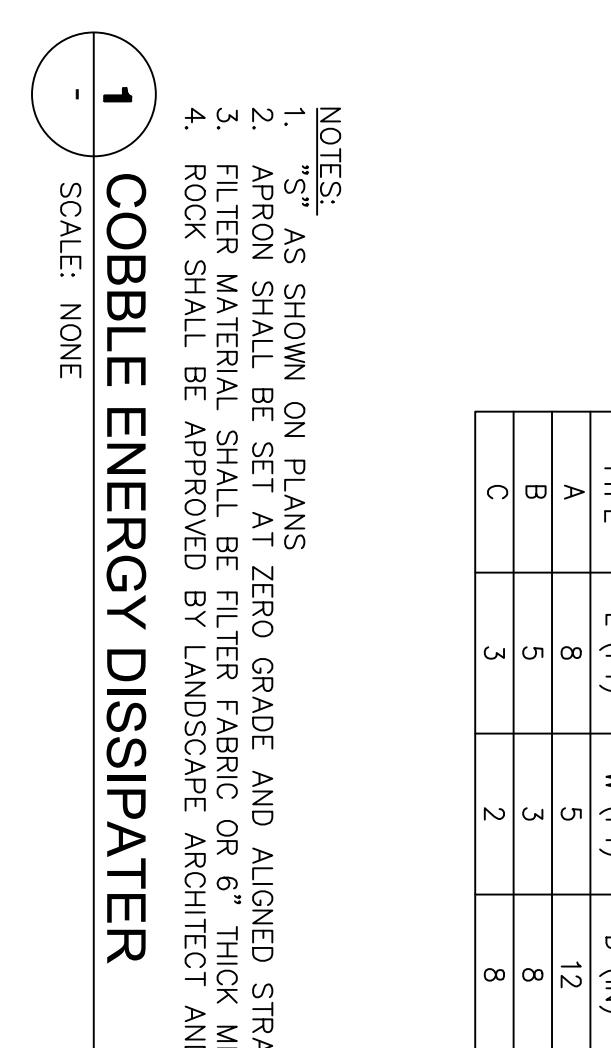
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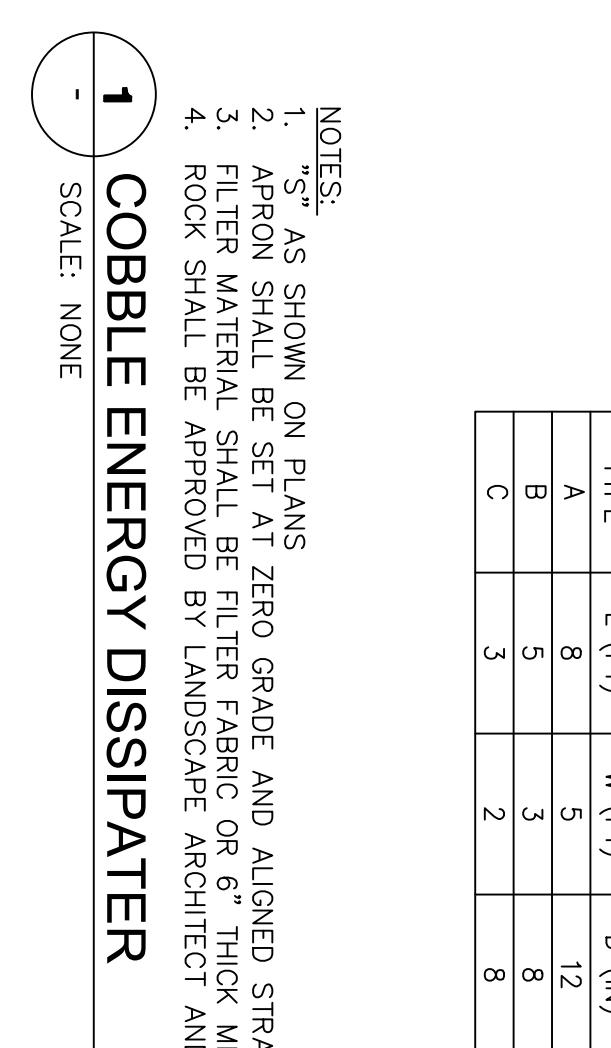
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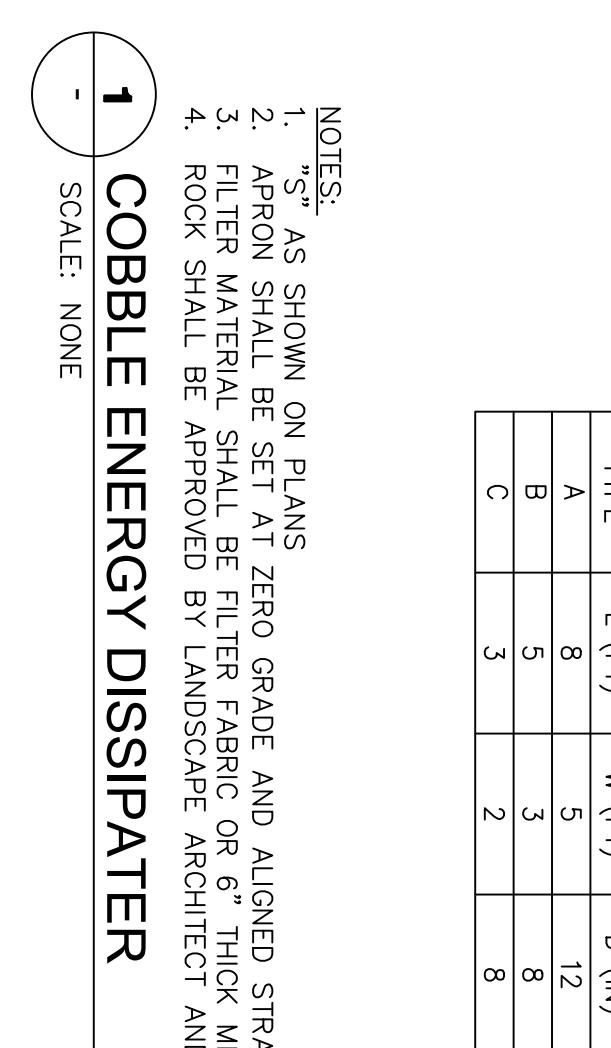
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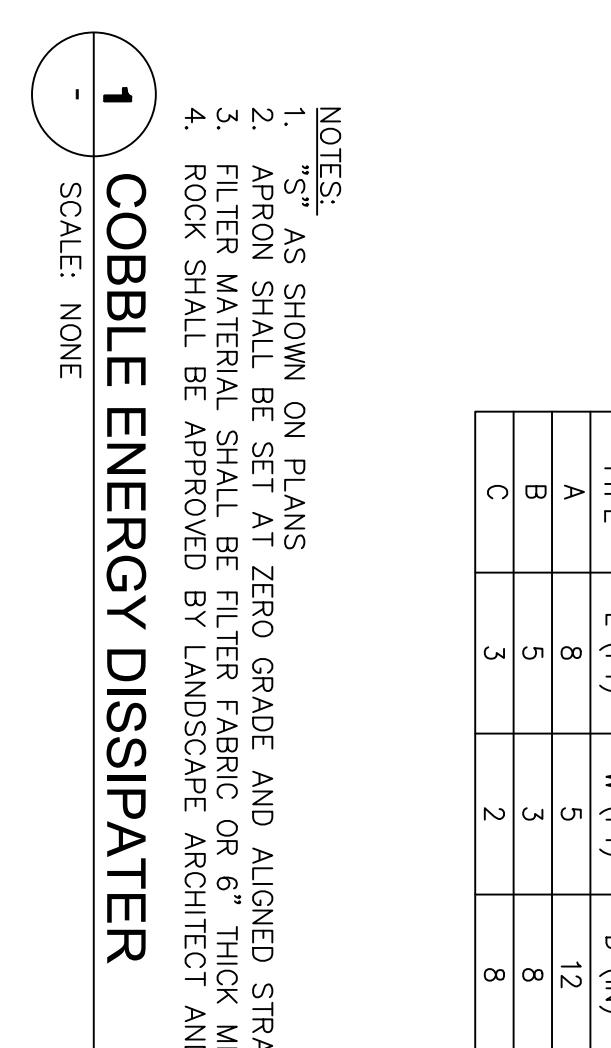
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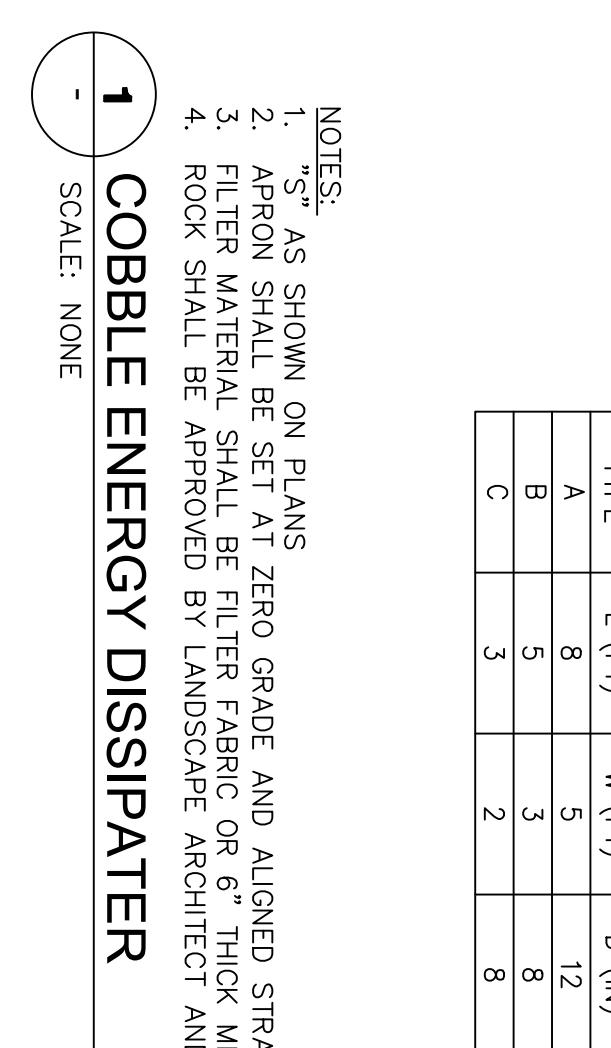
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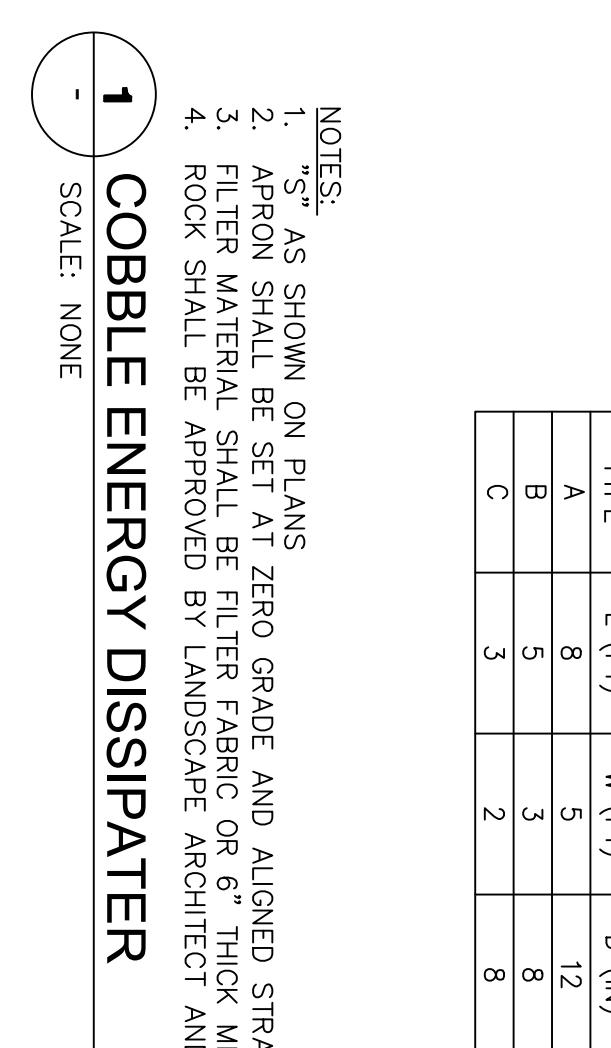
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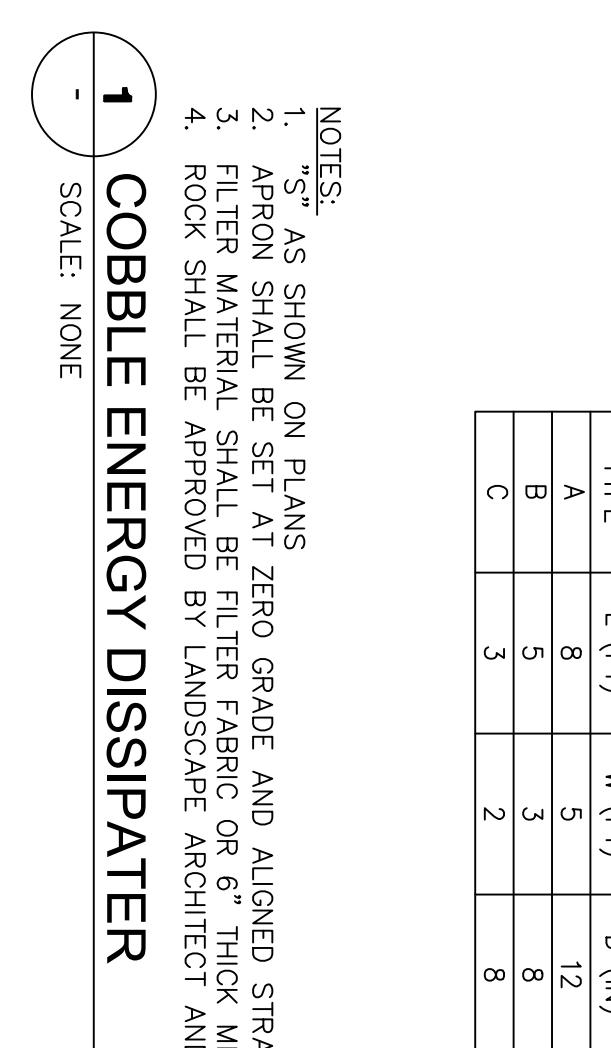
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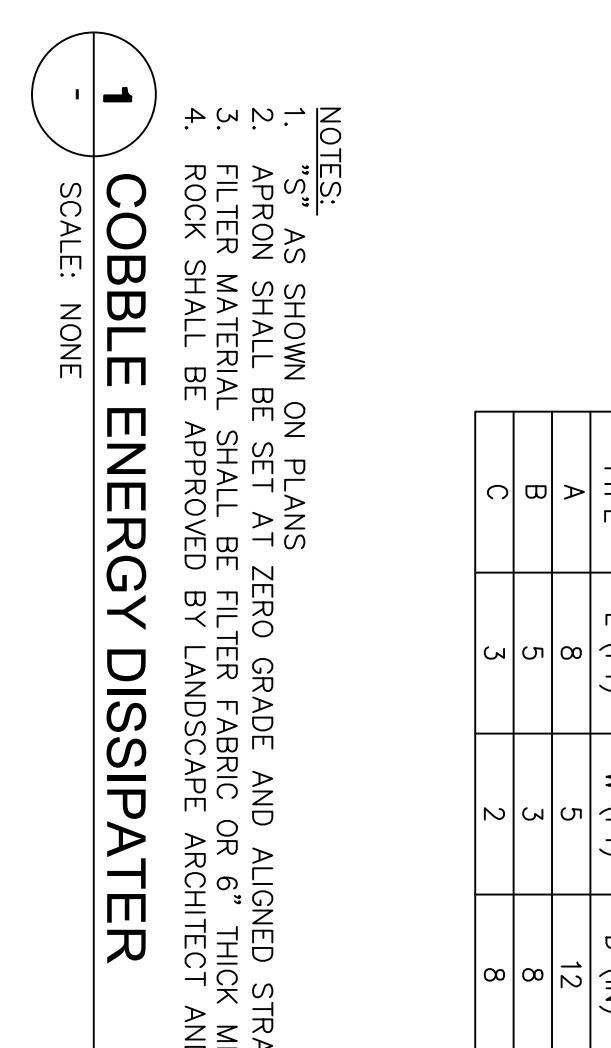
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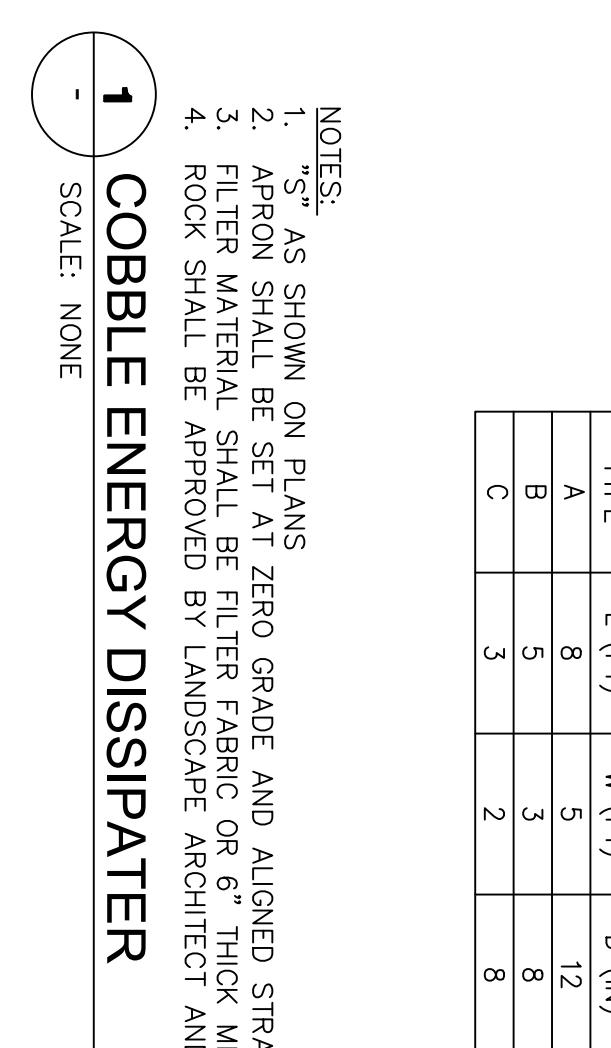
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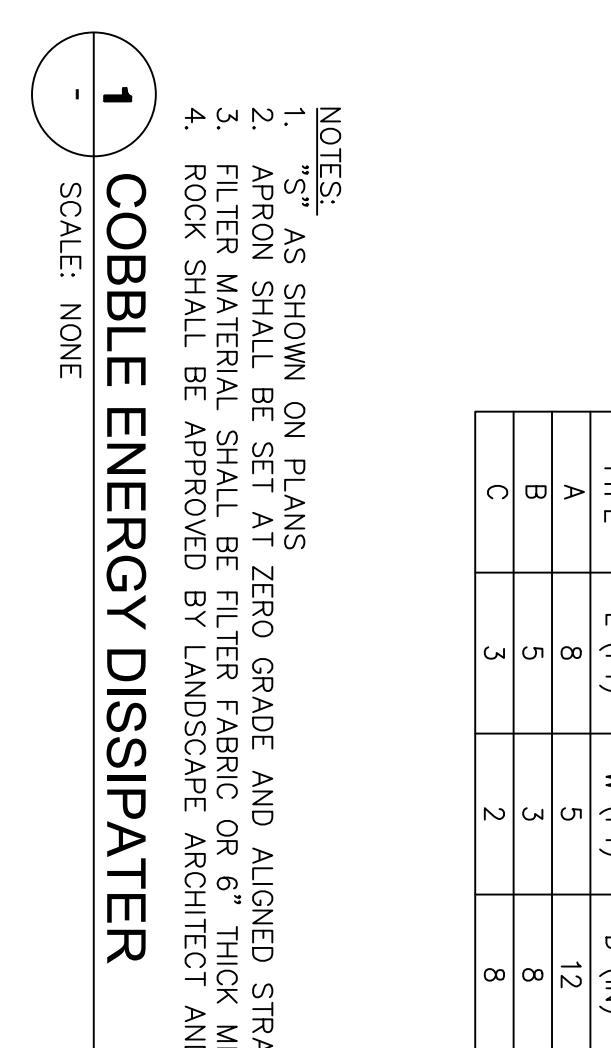
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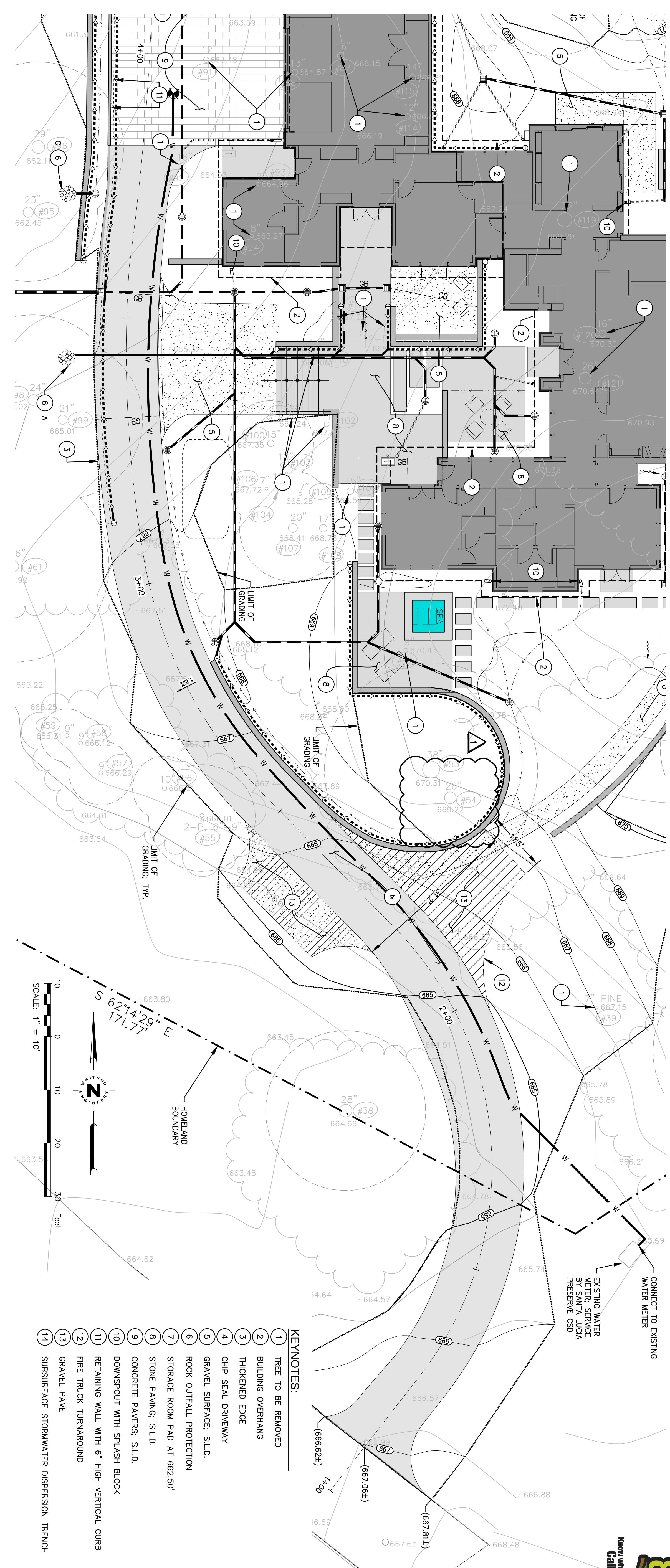
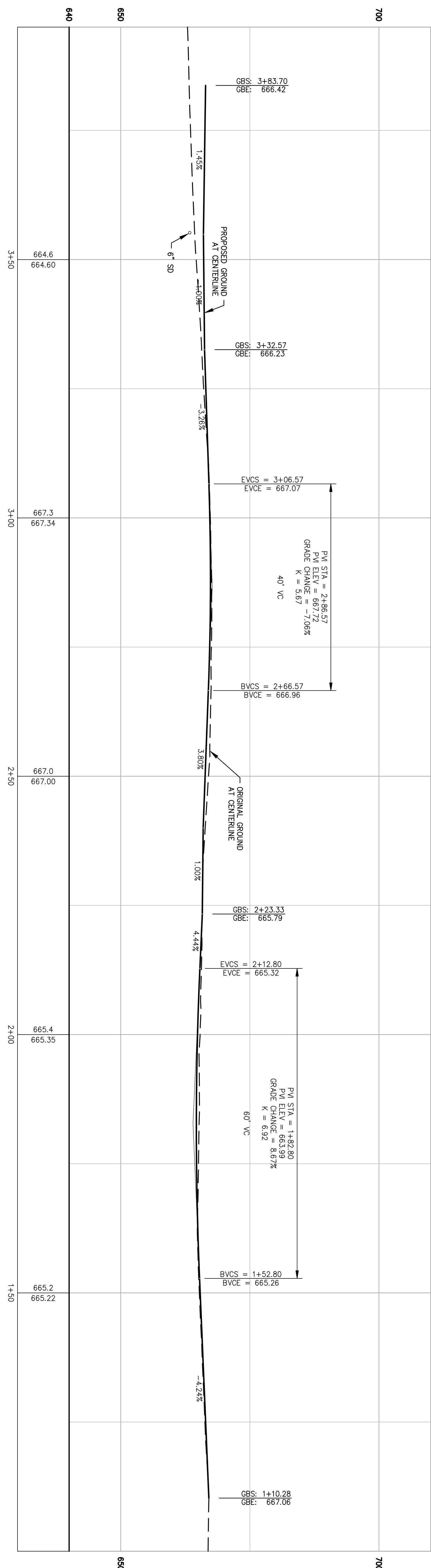


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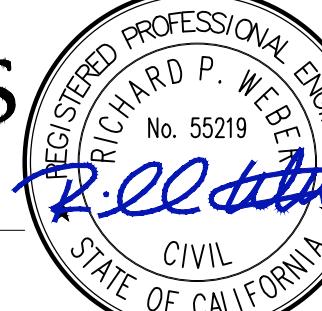


BUILDING SUBMITTAL ONLY
NOT FOR CONSTRUCTION

SHEET
C1.1
OF
8

SMYTHE RESIDENCE - LOT E-18
MONTEREY COUNTY, CALIFORNIA
DRIVEWAY PLAN AND PROFILE
APN 239-102-021

WE WHITSON ENGINEERS
6 Harris Court • Monterey, CA 93940
831 649-5225 • Fax 831 373-5065
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT



DATE: 5/8/17
SCALE: 1"=10'
NO. □ BY: KCH DATE: 5/3/17 PLANNING COMMENTS
ENGR. KCH
JOB NO.: 3531

PLANNING REVIEW ONLY
NOT FOR CONSTRUCTION



C1.3
SHEET
OF
8

SMYTHE RESIDENCE - LOT E-18

MONTEREY COUNTY

CALIFORNIA

CIVIL GRADING SECTIONS

APN 239-102-021

WE WHITSON ENGINEERS

9699 Blue Larkspur Lane • Suite 105 • Monterey, CA 93940

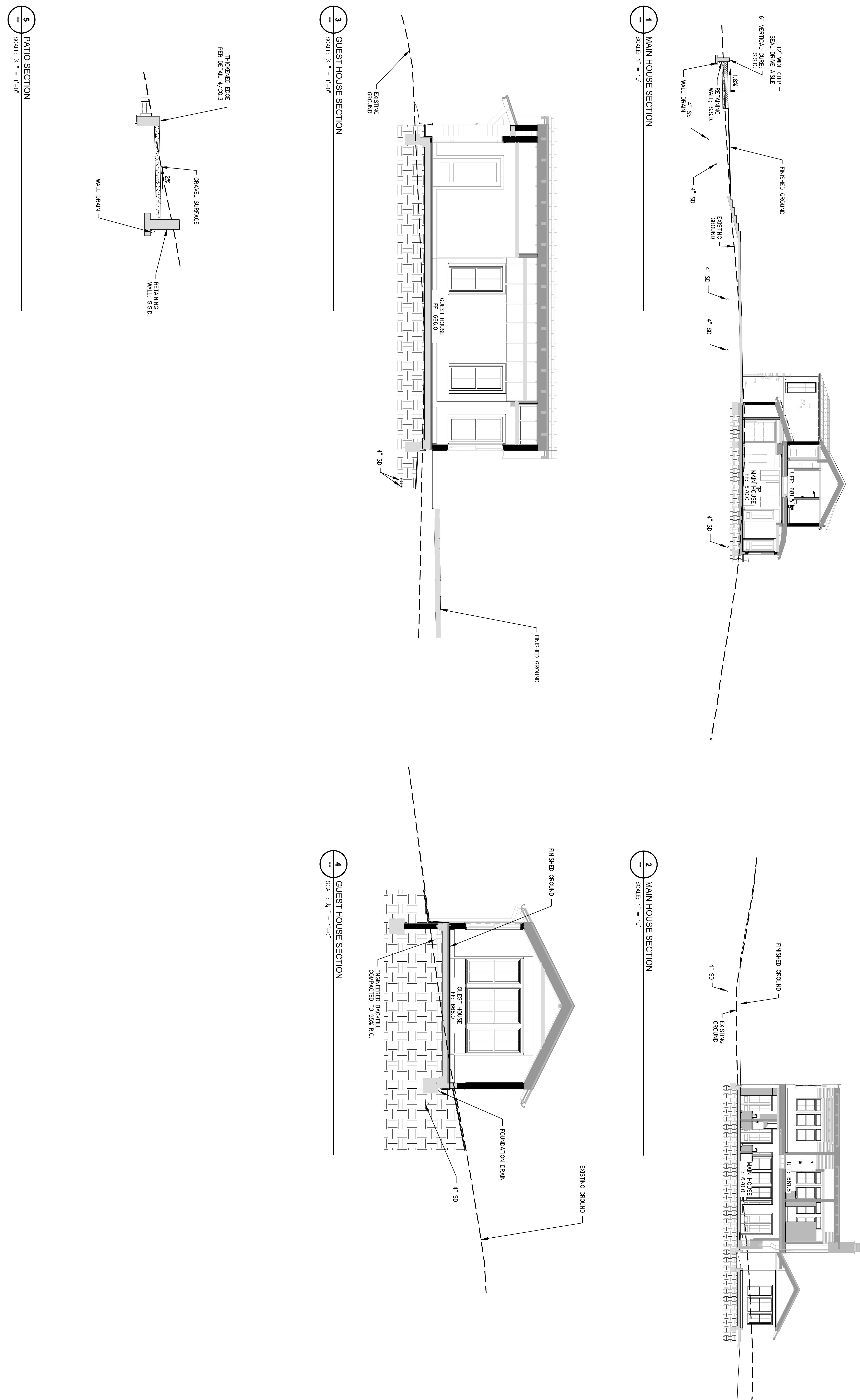
831 649-5225 • Fax 831 373-5065

CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT



DATE:
4/21/17
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N.A.
ENGR:
KCH
JOB NO.:
3531

REVISIONS:
NO. BY: DATE: DESCRIPTION:



WATER POLLUTION CONTROL PLAN

1. ESTIMATED TOTAL DISTURBED AREA: 0.64 ACRE.
- 2.1. BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
 - 2.1.1. THE 2011 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR FREE AT http://www.dot.ca.gov/hq/constr/stormwater/documents/supply_p-prep_Manuals/2011.pdf
 - 2.1.2. THE 2011 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK, PUBLISHED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASA WEBSITE AT <http://www.californiastormwater.com>.
- 2.2. THE BMAPS SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
3. THE BMAPS SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
4. THIS PLAN IS INTENDED BE USED FOR IN-AREA WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.
6. ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER, OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE, ANY MATERIAL THAT IS DUSTY, HANDY, OR LOOSE, SHALL BE COVERED. SHOULD AN SPILL, OR TRUCK OVER-LOAD OCCUR, KEEP THE SPILL AND OVERLOAD ON THE SPILL SITE, AND SEEK ADDITIONAL SALT FENCING, FILTER FABRIC, HAY BALES, JUTE NETTING, BALES, AND ARPS.
8. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
9. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
10. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
11. PROVIDE TEMPORARY SOIL COVER AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
12. TO PROJECT SCHEDULING, CONTROL AT TIMES IN COORDINANCE WITH BEST MANAGEMENT PRACTICE ME-1.
13. UNLESS OTHERWISE SPECIFIED, USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST, WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS.
14. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
15. PROVIDE SALT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE SITE.
16. PROVIDE IN-PILE PROTECTION AT ALL DRAIN INLETS.
17. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLYING WITH THE MONTEREY COUNTY GRAZING AND EROSION CONTROL REGULATIONS.
18. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THE EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND THE PROJECT IS COMPLYING WITH THE MONTEREY COUNTY GRAZING AND EROSION CONTROL REGULATIONS.
19. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH). THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 161.12100)

GENERAL REQUIREMENTS

ACTUAL GRAZING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRAZING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.

1. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
 - A. WATER-RELATED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING RAINFALL. FROM THE SITE SHALL BE DEEMED OR FILTERED BY BEAMS. VEGETATION SHALL BE PLANTED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - B. RUNOFF FROM THE SITE SHALL BE DIVERTED AND STABILIZED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - C. EROSION CONTROL MEASURES BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLIMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY. HE MAY APPROVE BY THE LANDSCAPE ARCHITECT THE AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - E. CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BEAR ALL EXPENSES DURING THE PLANTING AND MAINTENANCE OF THE PLANTING MATERIALS. THE CONTRACTOR SHALL BEAR ALL EXPENSES DURING THE PLANTING AND MAINTENANCE OF THE PLANTING MATERIALS. THE CONTRACTOR SHALL BEAR ALL EXPENSES DURING THE PLANTING AND MAINTENANCE OF THE PLANTING MATERIALS.
 - F. ALL SITES DURING CONSTRUCTION SHALL BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - G. DUST SOURCE CONTROL AND DUST MITIGATION MEASURES SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - H. DUST MITIGATION BY WATERING AND/OR TROWELING THE DUST SOURCE SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
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OBSERVATION AND MAINTENANCE

1. VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:

- A. WEEKLY AND DAILY FOR EACH STORM EVENT, AND
- B. WITHIN 48 HOURS PRIOR TO EACH STORM EVENT.
- C. DAILY DURING STORM EVENTS.
- D. DAILY DURING STORM EVENTS.
- E. DAILY DURING STORM EVENTS.
- F. DAILY DURING STORM EVENTS.
- G. DAILY DURING STORM EVENTS.
- H. DAILY DURING STORM EVENTS.
- I. DAILY DURING STORM EVENTS.
- J. DAILY DURING STORM EVENTS.
- K. DAILY DURING STORM EVENTS.
- L. DAILY DURING STORM EVENTS.
- M. DAILY DURING STORM EVENTS.
- N. DAILY DURING STORM EVENTS.
- O. DAILY DURING STORM EVENTS.
- P. DAILY DURING STORM EVENTS.
- Q. DAILY DURING STORM EVENTS.
- R. DAILY DURING STORM EVENTS.
- S. DAILY DURING STORM EVENTS.
- T. DAILY DURING STORM EVENTS.
- U. DAILY DURING STORM EVENTS.
- V. DAILY DURING STORM EVENTS.
- W. DAILY DURING STORM EVENTS.
- X. DAILY DURING STORM EVENTS.
- Y. DAILY DURING STORM EVENTS.
- Z. DAILY DURING STORM EVENTS.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS, OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DEMOLITON/DEMOLITABLE MATERIALS.
2. REPAIR RILLS AND GULLES BY RE-GRAVING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS, OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DEMOLITON/DEMOLITABLE MATERIALS.
2. REPAIR RILLS AND GULLES BY RE-GRAVING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.
3. CONSIDER SIGNIFICANT POLLUTANTS RECEIVING SPILLS, LEAKS, AND OTHER CONTAMINATED LIQUIDS DURING CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY BE AUTHORIZED ON THE JOB SITE, TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPILL PREVENTION AND RESPONSE, LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES, GOOD HOUSEKEEPING, FIRE AND PRIMATES, MATERIAL MANAGEMENT PRACTICES.
4. THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD.
5. THE DISCHARGE DOES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
6. THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT.
7. THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BACN PLAN.
8. THE DISCHARGE HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT.
9. THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS (OR OTHER SIGNIFICANT QUANTITIES OF POLLUTANTS).
10. THE DISCHARGE IS MONITORED.
11. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

LEGEND

SYMBOL	CALTRANS BMP #	CALTRANS STD. PLAN	DESCRIPTION
■	SS-9	—	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES
—	SC-1, SC-5, SC-6	T51, T56, T60, T66	LINEAR SEDIMENT BARRIER: FIBER ROLLS, SILT FENCE, OR COMPOST STOCK (CONTRACTOR'S OPTION)
—	SC-1	T51, T60	SILT FENCE
—	SC-7	—	STREET SWEEPING
—	SC-10	—	INLET PROTECTION
CONCRETE WASTE MANAGEMENT (WASHOUT) AREA	WM-8	T61, T62, T63, T64	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA
SOIL STABILIZATION (PROVIDE ON ALL DISTURBED SOILS)	SS-3, SS-4, SS-5, SS-6, SS-7, SS-8	T59	SOIL STABILIZATION STABILIZATION PER CIVIL PLANS
PERMANENT STABILIZATION PER LANDSCAPE PLANS	—	—	PERMANENT STABILIZATION PER LANDSCAPE PLANS
STABILIZED CONSTRUCTION ENTRANCE/ EXIT OR TIRE WASH	TC-1, TC-3	T58	STABILIZED CONSTRUCTION ENTRANCE/ EXIT OR TIRE WASH
MATERIAL STORAGE AND WASTE MANAGEMENT AREA	WM-1	—	MATERIAL STORAGE AND WASTE MANAGEMENT AREA
TEMPORARY STOCKPILES	WM-3	15.3	TEMPORARY STOCKPILES
SS	WM-9	—	SSANITARY FACILITIES
MSWM	—	—	DIRECTION OF DRAINAGE
WM-3	—	—	ROADSIDE SWALE: PROVIDE SOIL STABILIZATION

PLANNING REVIEW ONLY
NOT FOR CONSTRUCTION



PLANNING REVIEW ONLY
NOT FOR CONSTRUCTION



C1.3
SHEET
OF
8

SMYTHE RESIDENCE - LOT E-18

MONTEREY COUNTY

CALIFORNIA

CIVIL GRADING SECTIONS

APN 239-102-021

WE WHITSON ENGINEERS

9699 Blue Larkspur Lane • Suite 105 • Monterey, CA 93940

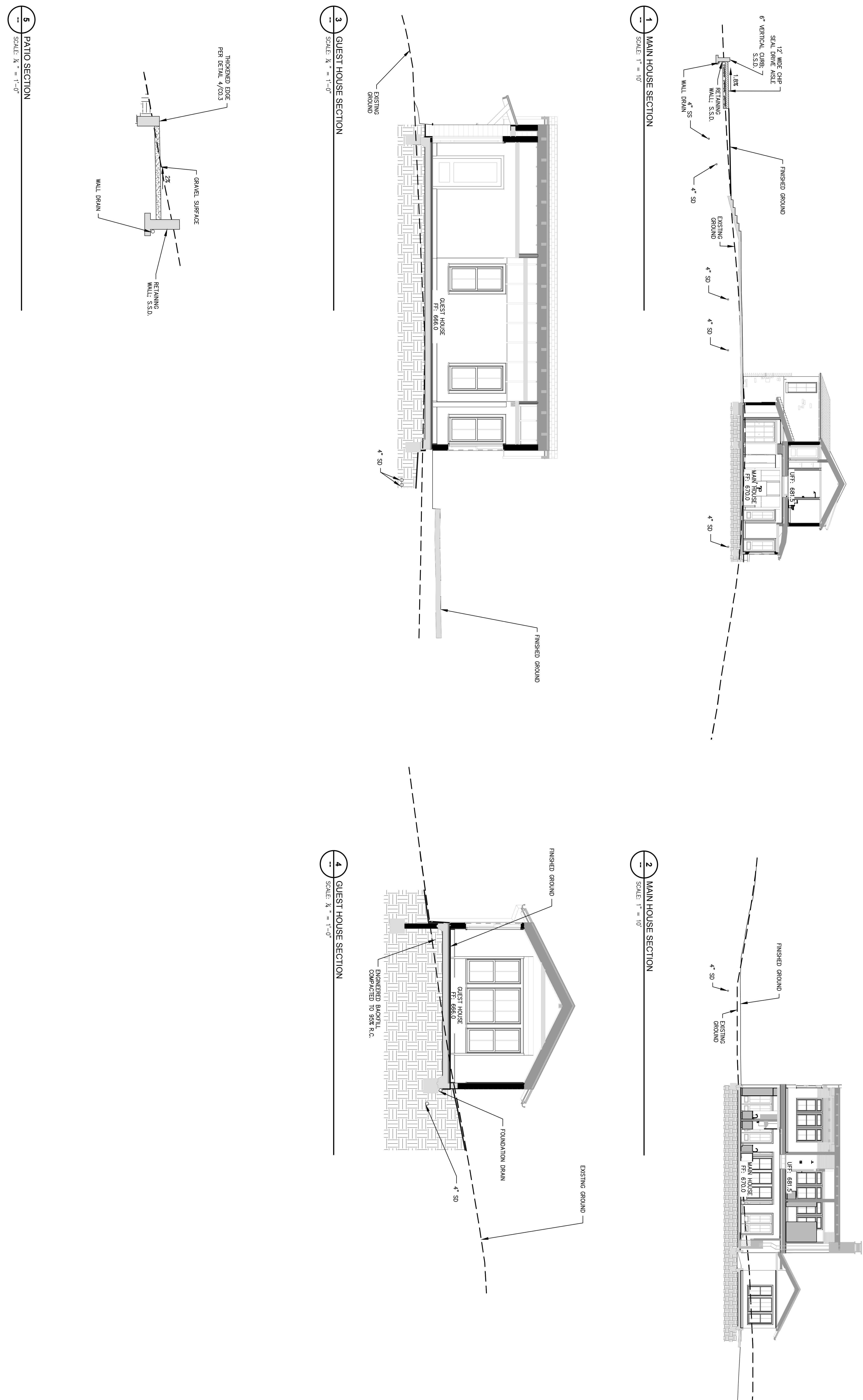
831 649-5225 • Fax 831 373-5065

CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT



DATE:
4/21/17
SCALE:
N.A.
ENGR:
KCH
JOB NO.:
3531

REVISIONS:
NO. BY: DATE: DESCRIPTION:



SEPTIC SYSTEM NOTES AND SPECIFICATIONS:

1. CODES AND STANDARDS:

ALL WORK SHALL BE IN CONFORMANCE WITH:

1.1. 2013 CALIFORNIA PLUMBING CODE

1.2. MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #404055

2. **SANITARY SEWER PIPE:** 4" SOLVENT-WELD ABS. OR 4" SOLVENT-WELD OR RUBBER GASKETED PVC PIPE, WITH WATER-TIGHT JOINTS, CONFORMING TO ONE OF THE FOLLOWING: ASTM D-2681, ASTM D-1785, SCH 40, ASTM D-3034, SCH 35, OR ASTM D-2729.

3. **PERFORATED PIPE:** SOLVENT WELD PERFORATED PVC PIPE, CONFORMING TO ONE OF THE FOLLOWING: ASTM D-1785, SCH 40, ASTM D-3034, SCH 35, OR SCH 25, OR ASTM D-2729, OR ASTM D-2228.

4. **DIVERSION VALVE:** 4"-dia PVC VALVE WITH THREADED FEMALE SOCKETS DESIGNED FOR DIVERSION OF FLOWS TO SEPTIC FIELDS, AND OPERATED THROUGH A VERTICAL RISER USING A STANDARD WATER FLOOR KEY "BULL RUN VALVE" OR APPROVED EQUAL. WATER FLOOR KEY "BULL RUN VALVE" OR APPROVED EQUAL, VALVE RISER SHALL BE OF SAME MATERIAL AS SANITARY SEWER PIPE, IN PLANTER AREAS, RISER SHALL TERMINATE ABOVE THE SURFACE WITH WATER-TIGHT THREADED CLEANOUT PLUG. IN VEHICULAR AREA, USE A TERMINATE CLEANOUT PLUG IN A CHRISTY 6033 TRAFFIC-RATED VALVE BOX, OR APPROVED EQUAL. INSTALL VALVE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #404055.

5. **DISTRIBUTION BOX:** PRECAST CONCRETE BOX, WITH FLOWS EQUALIZED TO EACH OUTLET BY MEANS APPROVED BY AUTHORITY HAVING JURISDICTION. BOX SHALL BE 12" x 12" x 12" OR LARGER (INSIDE DIMENSIONS), AND SHALL EXTEND TO THE SURFACE. BOX SHALL BE PLACED ON MIN. 4" -THICK CAST-IN-PLACE CONCRETE BASE, IF BASE IS NOT INTEGRAL WITH PRECAST BOX. BOX AND LID SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA. CONNECTIONS TO TIES SHALL BE MADE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644.

6. **SEPTIC TANK:** PRECAST CONCRETE SEPTIC TANK SHALL CONFORM TO MONTEREY COUNTY REQUIREMENTS, SHALL BE UPC CERTIFIED, AND SHALL CONFORM TO IAPMO/ANSI Z1000-2007 TANK, RISERS, AND LIDS. SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA, OR APPROVED EQUAL. A MINIMUM OF 500 SF OF LOCATED OUTSIDE VEHICULAR AREA, AND SOIL COVER IS 3 FEET OR LESS. CONNECTIONS TO TIES SHALL BE MADE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644. PRECAST SECTION JOINTS SHALL BE SEALED USING JOINT SEALANT. GASKETS SUPPLIED BY MANUFACTURER. TANK AND APERTURES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. A TWO-WAY SEWER LINE CLEAOUT, WITH RISER TO THE SURFACE, LOCATED TWO FEET FROM THE INLET END OF THE SEPTIC TANK SHALL BE INSTALLED UNLESS MANHOLE RISERS TO THE SURFACE ARE OTHERWISE PROVIDED. INLINE EFFLUENT FILTERS SHALL BE INSTALLED. EFFLUENT FILTERS SHALL BE APPROVED BY THE MONTEREY COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.

7. **SEWER RELIEF VALVE:** JONES STEPHENS CO "SEWER POPPER", #502-304, OR APPROVED EQUAL. PROVIDE WHERE EACH BUILDING SEWER LATERAL EXITS THE BUILDING, 2' OUTSIDE THE BUILDING FOOTPRINT. THE SEWER RELIEF VALVE OVERFLOW ELEVATION SHALL BE AT LEAST 6" BELOW THE BUILDING FINISH FLOOR ELEVATION, AND AT LEAST 4" ABOVE ADJACENT FINISH GRADE. LOCATE IN PLANTER AREA.

8. LEACH FIELDS SHALL MEET ALL MONTEREY COUNTY SETBACK REQUIREMENTS.

9. PROVIDE CLEAOUTS ON SANITARY SEWER LINES AT EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135° AND AT INTERVALS NOT EXCEEDING 100'.

SEPTIC SYSTEM DESIGN CRITERIA:

NUMBER OF BEDROOMS = MAIN HOUSE (3) + OFFICE + GUESTHOUSE (1) = 5
REQUIRED SEPTIC TANK SIZE = 2,000 GAL (4 BEDROOM (MAX) + GARBAGE DISP)

NUMBER OF PERSONS = 6

REQUIRED SEEPAGE AREA = 6 PERSONS x 75 GPD/PERSON / (3/10 GPD/SF)

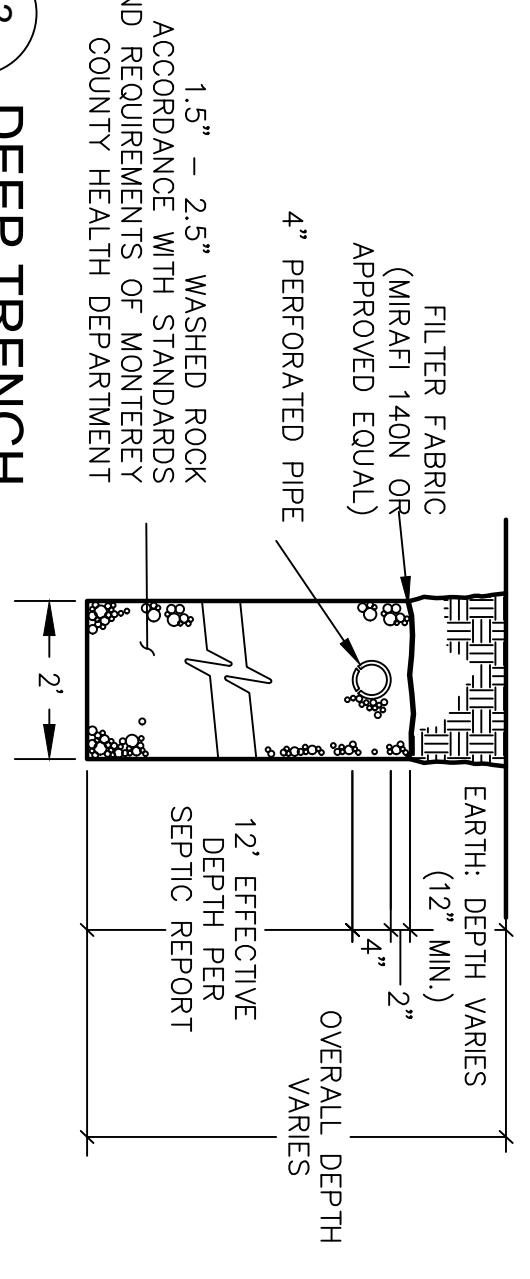
= 1500 SF

PROVIDED PRIMARY SEEPAGE AREA = 2(12' x 63')

= 1512 SF

PROVIDED SECONDARY SEEPAGE AREA = SAME AS PRIMARY

FUTURE SEEPAGE AREA = SAME AS PRIMARY



C2.1 **3** PRIMARY LEACH TRENCH

C2.1 **2** DEEP TRENCH

C2.1 **1** DEEP TRENCH

C2.1 **4** SECONDARY LEACH TRENCH

BUILDING SUBMITTAL ONLY
NOT FOR CONSTRUCTION

SMYTHE RESIDENCE - LOT E-18

CALIFORNIA

SEPTIC PLAN

WE **WHITSON ENGINEERS**

6 Harris Court ■ Monterey, CA 93940

831 649-5225 ■ Fax 831 373-5065

CIVIL ENGINEERING ■ LAND SURVEYING ■ PROJECT MANAGEMENT



DATE: 5/8/17

SCALE: 1"=20'

NO. □

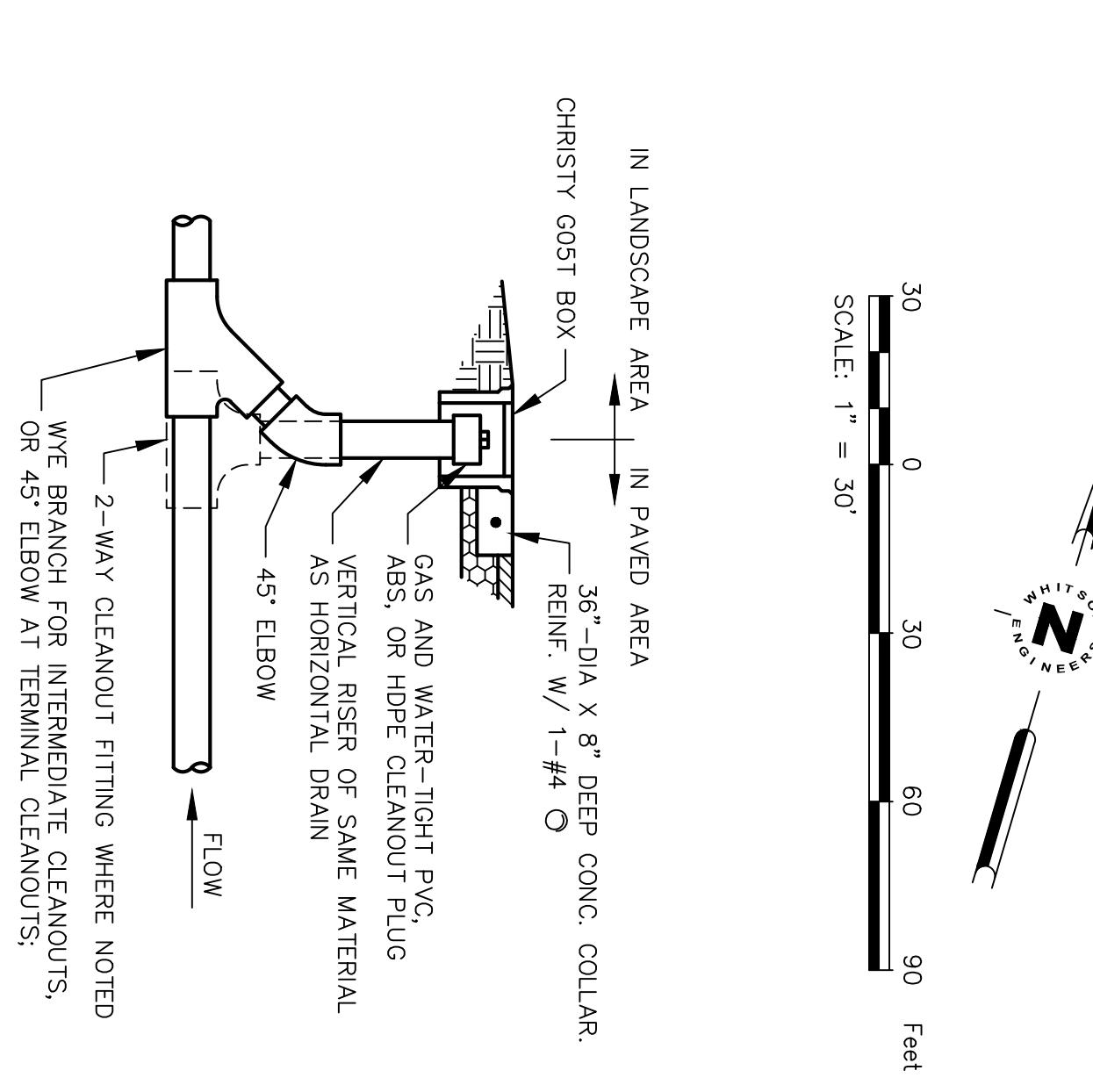
BY: KCH

DATE: 5/3/17

REVISIONS:
PLANNING COMMENTS

ENGR. KCH

JOB NO.: 3531



C2.1 **1** CLEAN OUT

WATER POLLUTION CONTROL PLAN

2.1. THE 2011 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR FREE AT http://www.dot.ca.gov/hq/construc/stormwater/documents/SWPPP_Prep_ManualJune2011.pdf

2.2. THE 2011 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PROMULGATED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT <http://www.cabmphandbooks.com/>

3. THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.

4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.

6. ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.

7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

8. KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL SUPPLIES ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED. THESE SUPPLIES MAY INCLUDE ADDITIONAL SLIT FENCING, FILTER FABRIC, HAY BAGS, JUTE NETTING, BAGS AND TARPS.

9. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

10. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

11. PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.

12. PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE WE-1.

13. LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.

14. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.

- PROVIDE SILT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
- PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.

15. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.

16. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

17. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

18. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

19. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).

20. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES BEYOND THOSE SPECIFIED MAY BE REQUIRED AS DETERMINED NECESSARY TO CONTROL ACCELERATED EROSION (MCC 16.12.100).

GENERAL REQUIREMENTS

ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.

1. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.

- A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.

- B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
- C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
2. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
3. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

OBSERVATION AND MAINTENANCE

1. VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:

- A. WEEKLY, AND
 - B. WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - C. WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - D. DAILY DURING STORM EVENTS
2. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
3. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
4. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
5. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
6. REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING,
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
 - PIPE FLUSHING AND TESTING,
 - WATER TO CONTROL DUST,
 - UNCONTAMINATED GROUND WATER FROM DEWATERING,
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.

4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIAL OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGE IS MONITORED
5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

EMPLOYEE TRAINING

1. STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

LEGEND

CALTRANS SYMBOL	CALTRANS STD. PLAN BMP #	DESCRIPTION
~~~~~	SS-9	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES
—○—	SC-1, SC-5, SC-6	LINEAR SEDIMENT BARRIER: FIBER ROLLS, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)
—□—	SC-1	SILT FENCE
~~SC-7~~	SC-7	STREET SWEEPING
□□□	SC-10	INLET PROTECTION



# PLANNING REVIEW ONLY NOT FOR CONSTRUCTION

The logo for 811 features a stylized shovel digging into the ground, with the number '811' written vertically in large, bold, yellow letters to the right of the shovel.

# SMYTHE RESIDENCE - LOT E-1

# WE WHITSON ENGINEERS

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CIVIL ENGINEERING ■ LAND SURVEYING ■ PROJECT MANAGEMENT

A circular registration stamp. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "CIVIL" at the bottom, with "STATE OF CALIFORNIA" at the bottom. The inner circle contains "RICHARD P. WEBER" at the top and "No. 55219" at the bottom. A five-pointed star is on the left and a checkmark is on the right.

## REVISIONS:

# OF 8

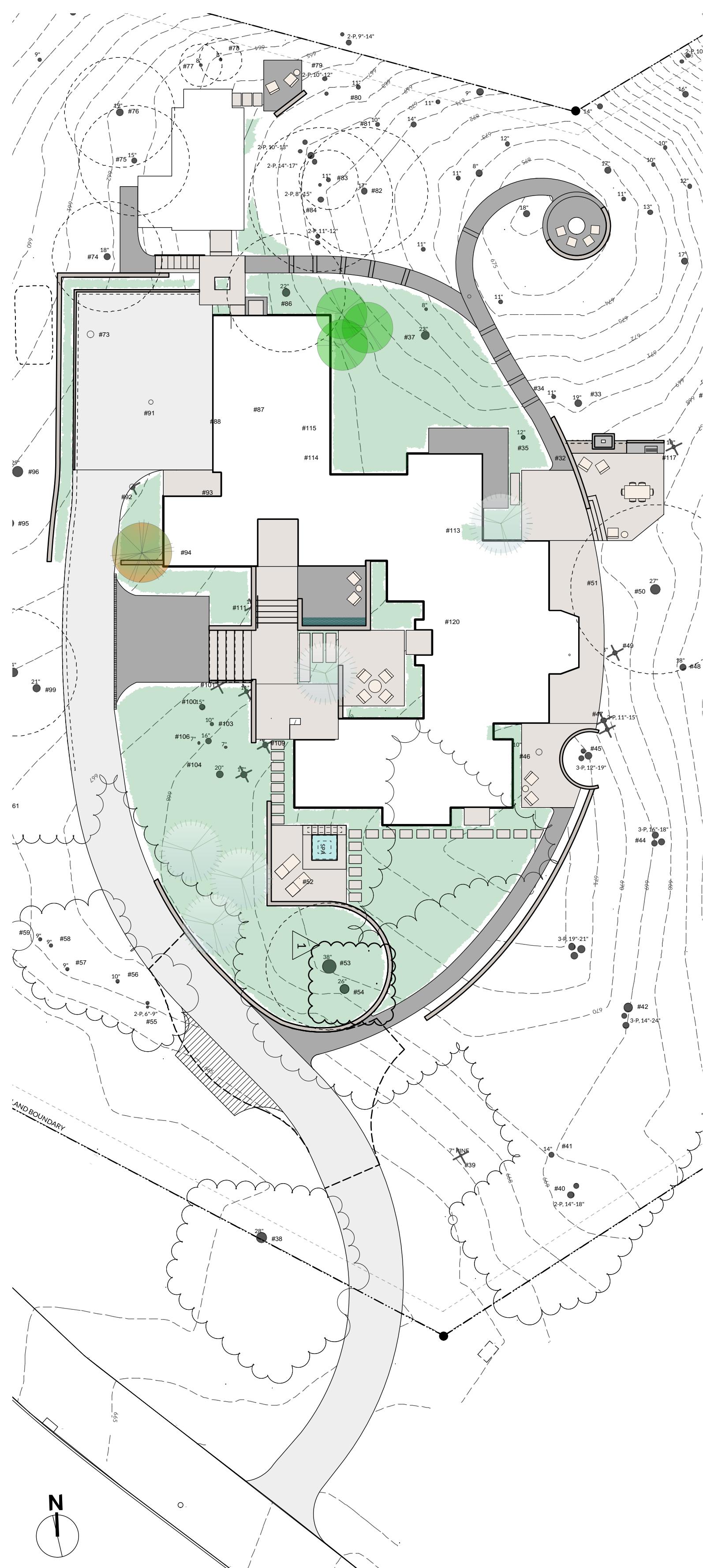
# 3.1

# TABLES

ABBREVIATION LEGEND	
LOW	LIMIT OF WORK
MAX	MAXIMUM
ADD	ADDENDUM/ADDITION
A.D.	AREADRAIN
ADDL	ADDITIONAL
ARCH	ARCHITECTURAL
BW	BOTTOM OF WALL
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DG	DECOMPOSED GRANITE
DIA	DIA METER
DIM	DIMENSION
DS	DOWNSPOUT
DWGS	DRAWINGS
E	EXISTING
EA	EACH
EJ	EXPANSION JOINT
ENG	ENGINEER
EQ	EQUAL
EXP	EXPANSION
EXT	EXTERIOR
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FOC	FACE OF CONCRETE
FOF	FACE OF FLOOR
FOPLY	FACE OF PLYWOOD
FOS	FACE OF STUD
FS	FINISHED SURFACE
FTG	FOOTING
FUT	FUTURE
GFI	GROUND FAULT INTERRUPT
WM	WATERMETER
HB	HOSE BIBB

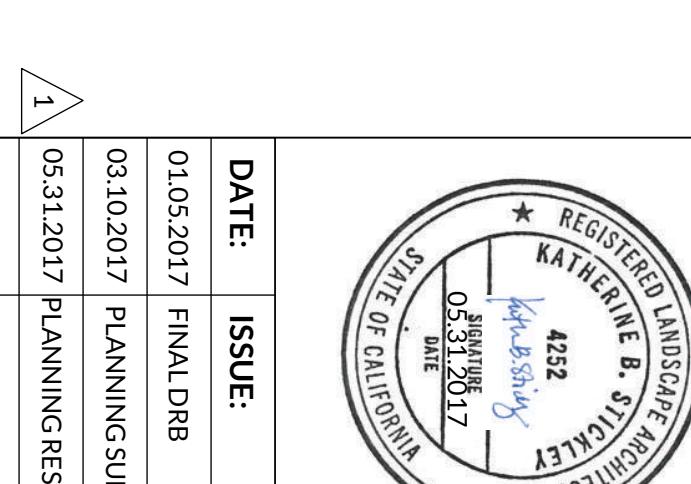
The landscape portion of this new house includes a new driveway and autocourt, entry courtyard, spa and in the site for screening. A new fountain will be added in the entry courtyard. New planting will be added around the site.

#### PROJECT DESCRIPTION



DETAIL NUMBER  
SHEET NUMBER  
DRAWING TITLE  
SCALE 1:100

DETAIL NUMBER	DRAWING TITLE
IR 1-1	IRRIGATION DETAILS
IR 1-1.1	IRRIGATION DETAILS
IR 1-4	IRRIGATION NOTES
IR 1-5	IRRIGATION/MAWA CALCULATIONS



SMYTHE RESIDENCE  
LOT E 18  
SANTA LUCIA PRESERVE  
APN: 239-102-021

ARTERRA  
LANDSCAPE ARCHITECTS  
88 MISSOURI SAN FRANCISCO 94107  
T: 415.861.3100 W: arterrerasf.com  
CA License #3502

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## LEGEND

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----- FMZ FUEL MANAGEMENT ZONE  
FOR PLANT LEGEND, SEE PLANTING PLAN

FOR PLANT LEGEND, SEE PLANTING PLAN

## FUEL MANAGEMENT ZONE NOTES:

FOELMANAGEMEN | ZONE INORIES:

1. **Non-Combustible Zone, up to 5 feet from structures** - to be maintained to hardscape surfaces (concrete, gravel, bare mineral soil) or with low flammability landscape plants (lawn, succulents). The planting of shrubs and ornamental grasses is discouraged in this zone.
2. **Grassland Fuel Management Zone, 5 to 30 feet from structures** -
  - Annual grassland areas should be mowed to a height of 1 inch before they have dried to the point they will carry a fire in the spring. Several mowings may be necessary to maintain the 1-inch height before the annual grasses discontinue further growth in the summer.
  - Native perennial grasses should be mowed only once a year, shortly after they have set seed in early summer. This will help maintain the population of these desirable grasses. Consult with the Conservancy Staff as needed.
  - Oaks within this zone shall be treated according to recommendations for the oak savanna zone.

3. **Oak Savanna Zone, 30 to 100 feet from structures –**
  - Grass under oak trees, within 6 feet of the driplines of trees, and grass in the area 30-70 feet from structures shall be mowed annually as described in the Grassland Fuel Management Zone above.
  - Grass in the area 70-100 feet from structures, 6 feet beyond the dripline

- of trees, need not be mowed.
- On oaks, all dead branches smaller than three inches in diameter shall be removed annually. Larger dead limbs should be left. Once initial pruning is accomplished tree pruning is likely to be needed infrequently on an interval of every 3-to 5 years.
- Removal of seedlings and saplings of oaks requires prior approval from the Santa Lucia Conservancy.
- The five 30-foot-high Monterey pines are highly flammable should be

4. **Oak Woodland Zone – to a distance of 150 feet** – On Lot E18, this zone applies only to the steep slope in the area 100-150 feet to the north of the proposed structures

- All dead branches smaller than three inches in diameter should be removed.
- Remove flammable shrub species such as coyote brush if they are within 10 feet of roads.

- Remove dead material from less-flammable shrub species such as coffee berry, currant and wild rose.
- Thin oaks using the 'diameter formula'. Take the diameter at breast height of the larger oaks, and remove oaks closer to that tree than that number in feet (Remove trees within 10 feet of a 10-inch diameter oak).

- **5. Driveway Zone, up to 15 feet from the road edge** – This area should be treated to reduce the intensity of fire near the pavement, and to provide for clearance for larger vehicles:
  - Grassland areas should be mowed to a height of 1 inch before they have dried to the point that they can carry a fire in the spring. Several mowings may be necessary during the summer to maintain the 1-inch height.

- All tree branches extending over driveway surfaces should be pruned to ensure a least 13.5 feet of clearance.
- Oak trees with poison oak and grassland understory are particularly thick on the southeast edge of the driveway near the proposed structures and fire engine turnaround. Particular attention should be directed toward treating this area as described above.

6. **Landscaping Zone, any areas landscaped** - These areas include any of the 4 zones described above in which ornamental plants have been installed, or where irrigation is a significant factor in the reproduction and/or fuel moisture of native plants. Any planting shall be designed and maintained to minimize flammability. Areas intended to have low flammability due to irrigation shall be irrigated diligently throughout the warmest and driest months of the wildfire season. Care should be taken to remove and properly dispose of all down leaves and prunings from all landscaped areas.

FOR MORE FUEL MANAGEMENT INFO, PLEASE SEE FUEL MANAGEMENT REPORT B  
GEORGE GRAY, FIRE AND FUELS CONSULTANT, NOVEMBER 14, 2016

## 100' FROM PROPOSED STRUCTURES

## 30' FROM PROPOSED STRUCTURES

# 30 FROM PROPOSED TOOKES

100 FROM PROPOSED STRUCTURES

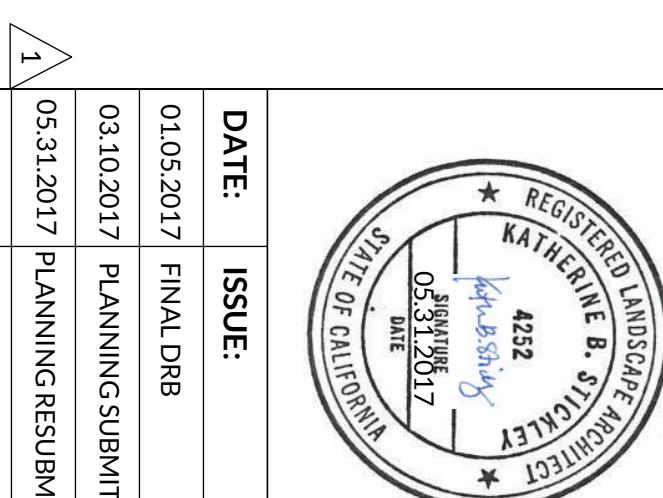
150' FROM PROPOSED STRUCTURES

# SMYTHE RESIDENCE

## LOT E 18

### SANTA LUCIA PRESERVE

#### APN: 239-102-021



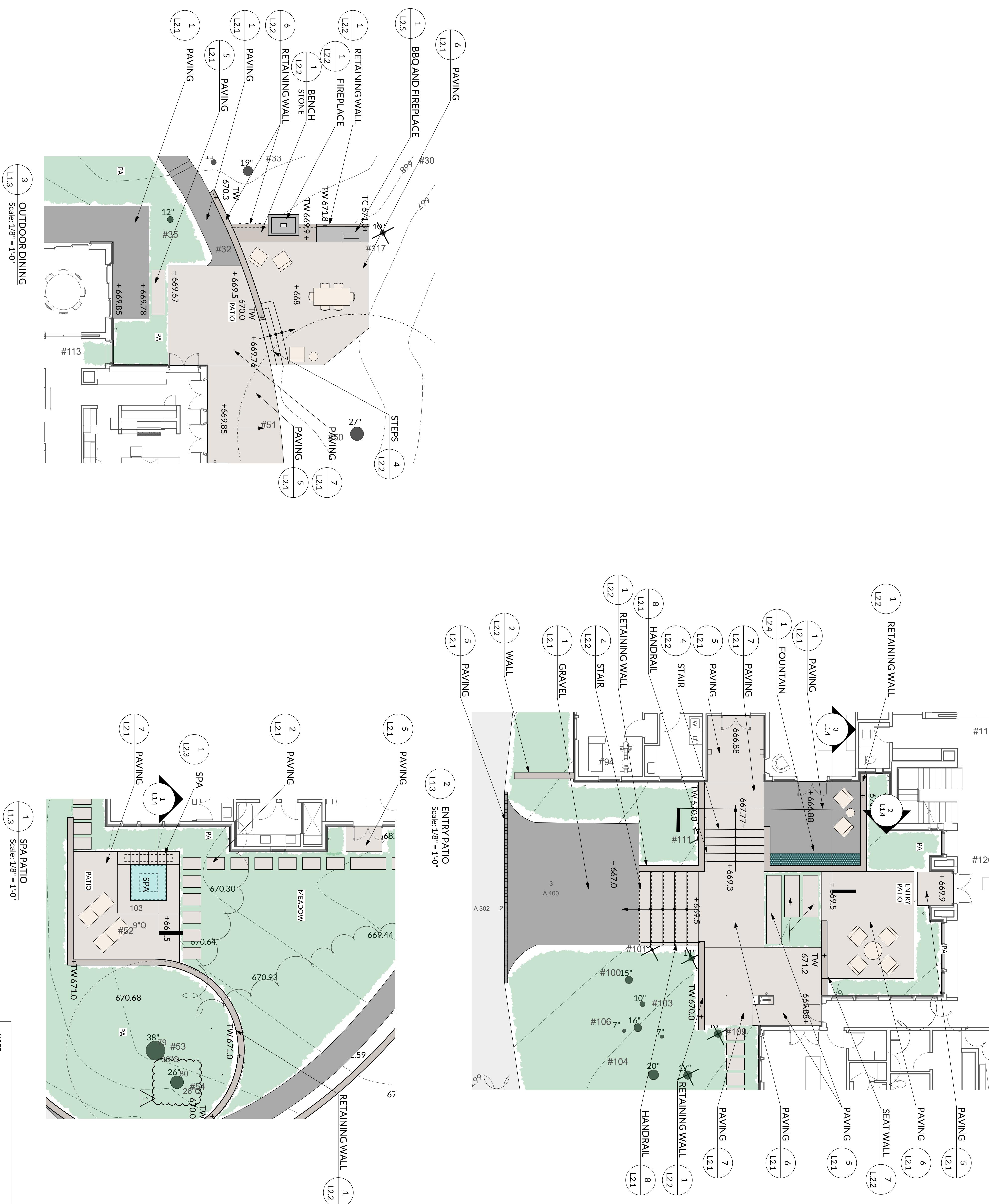
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# FUEL MANAGEMENT PLAN

## 150' FROM PROPOSED STRUCTURES





# SMYTHE RESIDENCE

## LOTE 18

### SANTA LUCIA PRESERVE

#### APN: 239-102-021

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# ENLARGED CONCEPTUAL LANDSCAPE PLAN

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05.31.2017 PLANNING RESUBMITTAL	
SCALE: AS NOTED	





**Planting Notes**

**GENERAL**  
This planting design applies hydrozoning/kerfescaping principles including native and low-water use plants grouped with like water and sun needs. Any substitutions or revisions shall comply with these principles and be approved by the Landscape Architect.

This project complies with the criteria of the Model Water Efficient Landscape Ordinance, Appendix D, Prescriptive Requirements.

**PREPARATION**  
Planting shall be performed by persons familiar with this spec of work and under the supervision of a qualified planting foreman.

**PLANTING**  
Landscape contractor is responsible for amending soil in all planter areas and bringing all planting areas up to finish grade.

**SOLAMENTMENT**  
Provide 2" cover of Distilled turkey manure (LVNSO) over all planted areas. Till well into soil. Amend plant pits with soil mix.

**Do not** fill in the soil under existing tree canopies. Amend plant pits only.

Do not allow or place plants on site until soil is amended and Bill of Lading for amendments has been submitted to the Landscape Architect for approval.

**Landscaping contractor** shall be healthy, vigorous, natural in form and free of pests and disease. All plant material to be approved by the Landscape Architect prior to planting.

Plant selection has been carefully coordinated with the homeowner, with specific varieties being selected for specific reasons. Confirm final varieties prior to ordering. If plant material specified is not available, Landscape Architect may select alternative varieties. No unapproved substitutions will be accepted on site.

Do not fill in the soil under existing tree canopies. Amend plant pits only.

Double stake all trees, 15' gallon and 24" box, with fiber & wire tree ties. Use three stakes for larger trees.

**MULCH**  
Mulch planter areas with 3" minimum of Premium Arbor mulch (LVNSO) or approved dual. Completely cover mesh with a minimum 2" of mulch, come held mulch back 2' from crown of trees. Do not bury crowns.

**HIGH DENSITY PLANTINGS OF 50% LEAF AND GROWTH**  
Prepare plants selected and installed and sub irrigation lines.

Install Jute Mesh tree planting of larger container plantings and installation of sub irrigation.

Plant smaller plant material (1 gallon and 4" and surface irrigation after installation of fine mesh. Hold mulch back 2' from crown of trees. Do not bury crowns.

Ensure that irrigation emitters are properly placed so that root balls receive water and crown of plant will not rot.

Remove all existing stakes, ties and labels from plant material at time of planting.

Leave label on roses and fruit trees.

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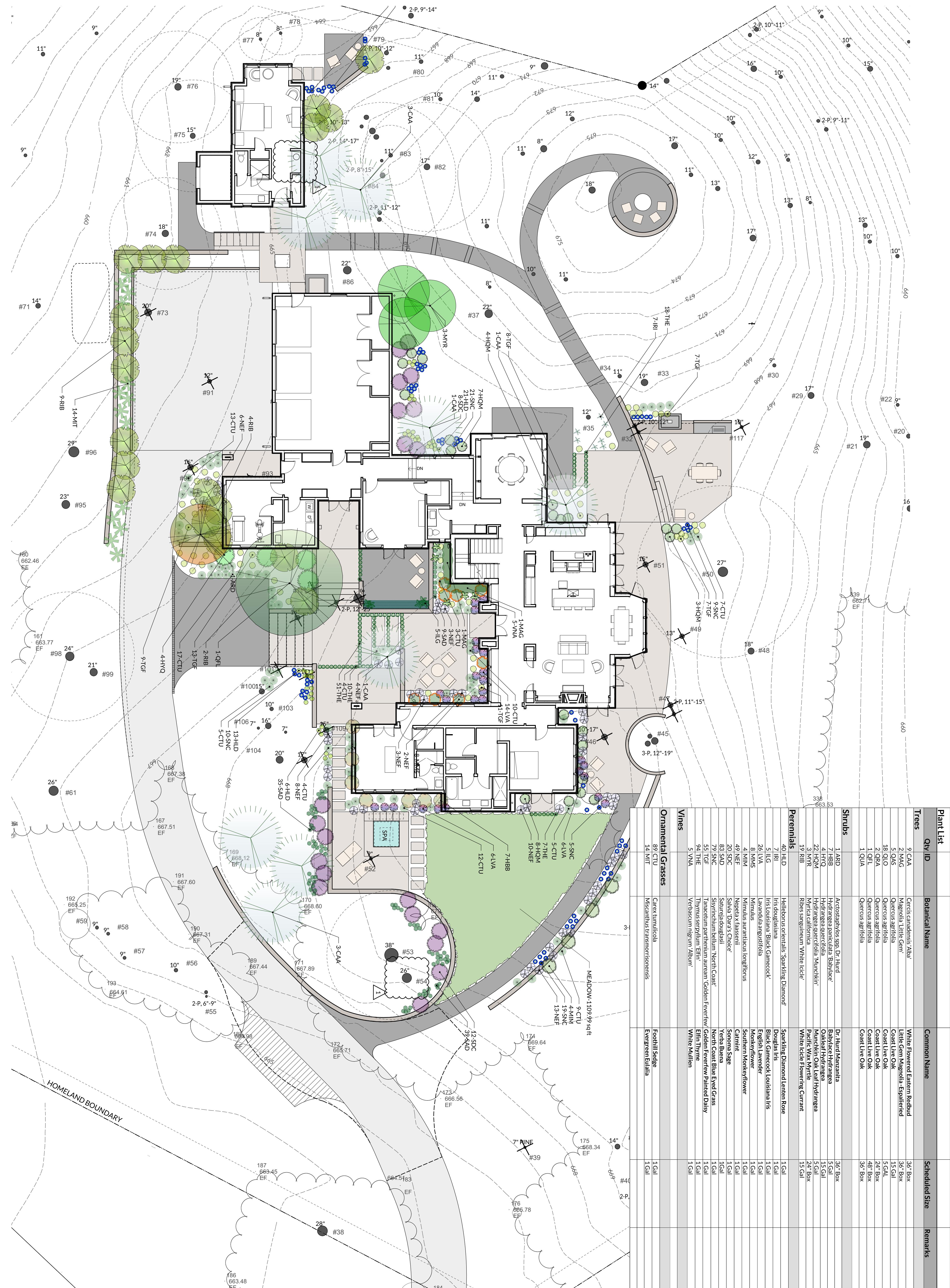
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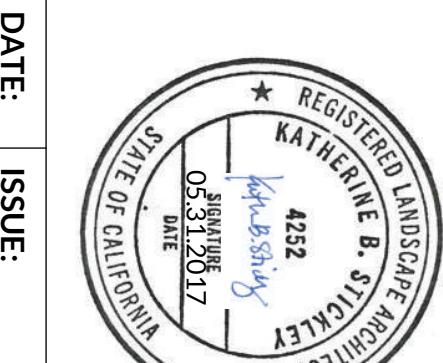


# SMYTHE RESIDENCE

## LOTE 18

### SANTA LUCIA PRESERVE

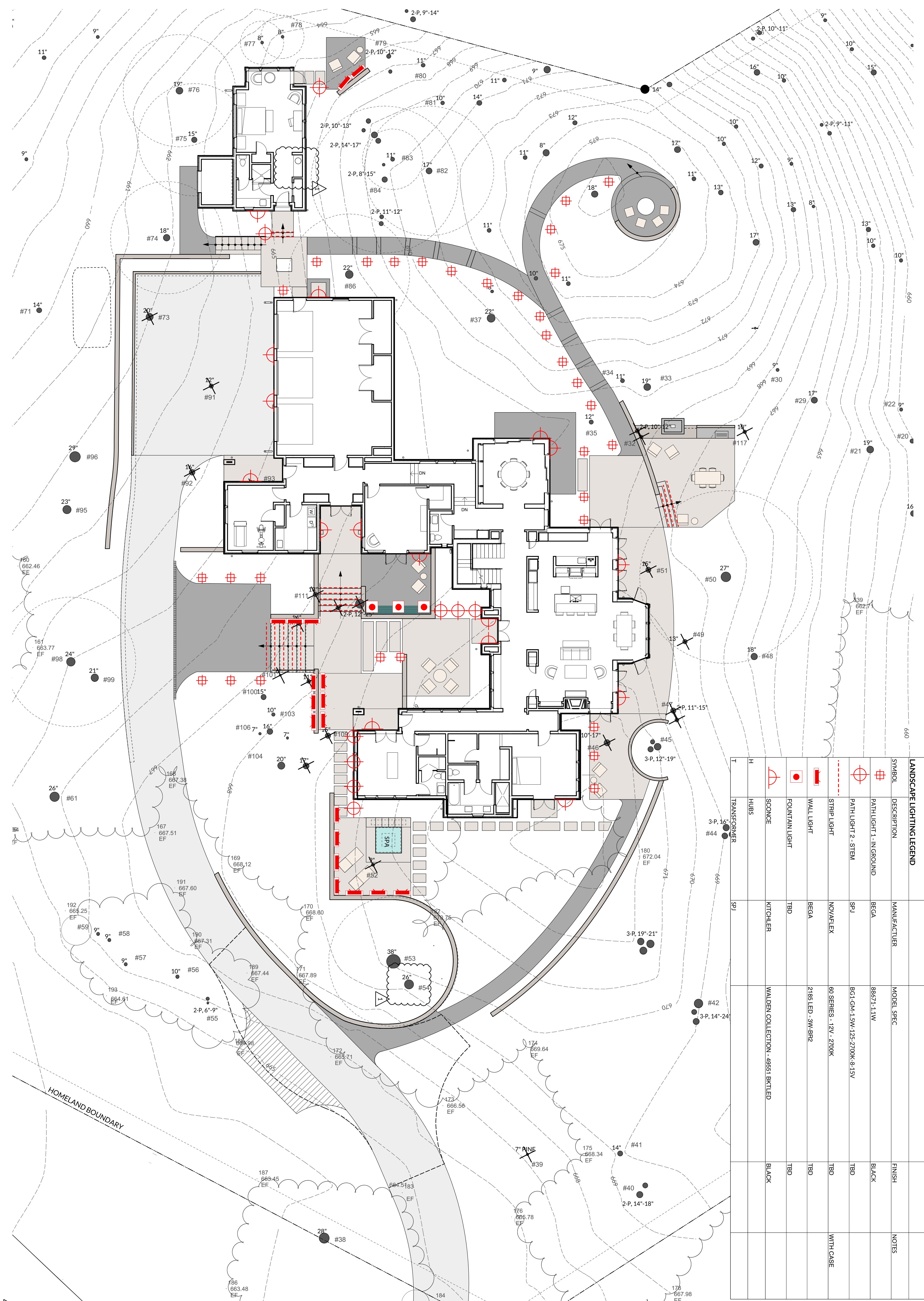
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	05.05.2017	BUILDING SUBMITTAL
	05.31.2017	PLANNING RESUBMITTAL

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#### Lighting Notes

**General**  
Contractor is responsible for installation and operation of all low voltage landscape lighting, transformers, wires and switches, as indicated on the Lighting Plan.

All lighting work to be done in accordance with all state and local electrical building codes in effect.

Contractor to install all fixtures so that source of light is shielded from off site views. Lights are to be installed with frosted lenses, baffles, and hoods to minimize glare.

Contractor to install all fixtures, wiring, transformers and switches in accordance with manufacturer's instructions using a hub and spoke system, as drawn and detailed.

110-volt service, including GFCI outlets and service to transformers, to be installed by a licensed electrical contractor.

Ground wires are to be pinned down with metal clips and covered with mulch.

This is a dimmable light system. Confirm that all fixtures, switches and transformers are dimmable prior to ordering fixtures and transformers.

Keep as-built records of actual wire, fixture and transformer locations and deliver two sets of completed As-Built to owners at completion of construction.

Provide owners with manufacturer's information on all lighting components, replacement parts (bulb type and size, etc.) and recommended maintenance. Include this material in project bid binder to be delivered to owners at completion of project.

#### Lighting Notes cont.

**Installation**  
Low voltage fixtures are to be installed after planting of trees and shrubs but before mulching.

Confirm final light fixtures, bulb type and switching, prior to ordering materials and installing system.

Field adjustments to lighting will need to be approved by the Landscape Architect. Install all lights with 5' min. loop of extra wire, to allow for placement adjustment.

Lighting installation will require an evening on-site, to adjust lights. Coordinate schedule with Landscape Architect.

Size transformers for 80% capacity, maximum.

**Switches**  
Switching system to be operated by switches, located within the house (connection to Lutron system/ timer, if applicable). Confirm final wiring and switch configuration, and location of transformers and switches, with Owner/Architect and coordinate with house electrician.

Lighting system to have a one-year warranty on all parts, materials and construction.

Keep as-built records of actual wire, fixture and transformer locations and deliver two sets of completed As-Built to owners at completion of construction.

Provide owners with manufacturer's information on all lighting components, replacement parts (bulb type and size, etc.) and recommended maintenance. Include this material in project bid binder to be delivered to owners at completion of project.

#### Lighting Notes cont.

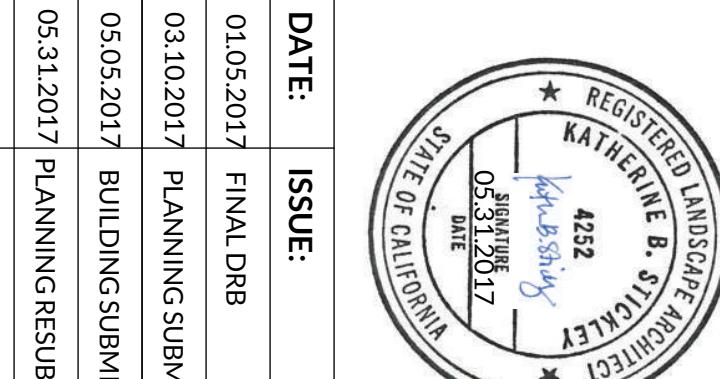
**SUBMISSIONS**  
Provide manufacturer's catalog cut sheet information for all equipment, to be approved by LA. Confirm final light fixtures, bulb type and switching, prior to ordering materials and installing system.

Contractor to provide (digitally and in project binder) the following documents, prior to final acceptance and completion of work

A. Provide all manufacturer's information, cut sheets, instructions and warranties for all equipment.

B. Provide as-built drawings for lighting system, including transformers and connections.

C. Provide written instructions on proper maintenance of fixture, including recommended schedule for maintenance, emergency shut offs and fine tune adjusting.



**SMYTHE RESIDENCE**  
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