

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

**NAIK DEVANG & DESAI RUPA (KOASTAL STAR LLC)
(PLN210348)**

RESOLUTION NO. 25-040

Resolution by the County of Monterey Planning Commission:

- 1) Finding that the project qualifies for Class 2 and 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15302, 15303 and 15333, and that none of the exceptions from CEQA Guidelines 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. A Coastal Administrative Permit and Design Approval to allow:
 - i. demolition an existing 2,860 square foot single family dwelling,
 - ii. construction of a 6,556 square foot two-story single family dwelling, inclusive of an attached 775 square foot garage and 1,498 square foot basement;
 - iii. construction of an 800 square foot Accessory Dwelling Unit with an attached 333 square foot mechanical/storage room and approximately 880 square feet of attached stairs, landing, deck, and jacuzzi;
 - iv. associated site improvements, including approximately 3,440 cubic yards of cut and 120 cubic yards of fill and restoration of approximately 25,075 square feet of disturbed areas with native coastal scrub plants;
 - b. A Coastal Development Permit to allow development in the Critical Viewshed;
 - c. A Coastal Development Permit to allow approximately 2,090 square feet of development on slopes in excess of 30%;
 - d. A Coastal Development Permit to allow removal of up to three Cypress trees;
 - e. A Coastal Development Permit to allow development within 50 feet of a coastal bluff;
 - f. A Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (coastal scrub); and
 - g. A Coastal Administrative Permit to allow development within 750 feet of archaeological resources.

[PLN210348 Devang Naik and Rupa Desai, 36240 and 36242 Hwy 1, Big Sur Coast Land Use Plan (APN: 243-251-011-000)]

The NAIK DEVANG AND DESAI RUPA (KOASTAL STAR LLC) application (PLN210348) came on for a public hearing before the County of Monterey Planning Commission on December 10, 2025. Having considered all the written and documentary evidence, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the County of Monterey Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) The project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan (“BSC LUP”);
 - The Monterey County Coastal Implementation Plan Part 3, Regulations for Development in the Big Sur Coast Land Use Plan (“CIP”);
 - The Monterey County Coastal Implementation Plan Part 1, the Zoning Ordinance (“Title 20”).

No communications were received during review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 36242 and 36242 Hwy 1, Big Sur (APN: 243-251-011-000). The parcel is zoned Rural Density Residential with a Density of 40 acres a unit and a Design Control Overlay in the Coastal Zone or “RDR/40-D(14) (CZ).”

The project proposes an demolition of an existing 2,860 square foot (sq. ft.) one-story three bedroom single family dwelling (SFD) and construction of a 4,333 sq. ft. two-story four-bedroom SFD with an attached four-car 775 sq. ft. garage and a 1,498 sq. ft. basement, approximately 4,800 sq. ft. of associated site improvements, and a detached 800 sq. ft. two-bedroom accessory dwelling unit (ADU) with an attached 333 sq. ft. mechanical/storage room and approximately 880 sq. ft. of attached stairs, landing, deck, and jacuzzi on a 2.9-acre parcel on the west side of Highway 1 (Hwy 1) in the Rocky Point area of Big Sur. Associated site improvements include approximately 3,440 cubic yards of cut and 120 cubic yards of fill and restoration of approximately 25,075 square feet of disturbed areas with native coastal scrub plants. The project is within 50 feet of a coastal bluff, 100 feet of environmentally sensitive habitat area, portions of the site are within the Critical Viewshed, and the project is within 750 feet of known archaeological resource. Additionally, development is proposed on slopes in excess of 30%.

The RDR/40-D(14) (CZ) zoning allows demolition and rebuild of the main dwelling on a legal lot of record and habitable accessory structures (ADU), subject to the granting of Coastal Administrative Permits in each case (Title 20 sections 20.17.040.A and 20.17.040.W, respectively). Development within the Critical Viewshed, within 50 feet of a coastal bluff, on slopes of 30 percent or greater, and within 100 feet of environmentally sensitive habitat area are all non-exempt development requiring a Coastal Development Permit in each case (BSC LUP Policies in section 3.2, Title 20 sections 20.17.030.C, 20.64.230.C.1 and 20.17.030.E, respectively). Although development is proposed within 750 feet of known archaeological resources, no archaeological resources exist on site, and therefore, a Coastal Administrative Permit is required. The necessary entitlements for the proposed development

are included in the project description, and all uses are either principally or conditionally allowable. Therefore, the project is an allowed use for this site.

- c) Lot Legality. On March 8, 1961, Peter Klaussen legally divided a 5-acre parcel that was a portion of the 20.2-acre Rancho San Jose y Sur Chiquito ranch into two parcels. The parcel shown therein as a 2.9-acre parcel is the same size and shape in the same location as the subject parcel (Vol X-2 ROS page 166). Therefore, the County recognizes the parcel as a legal lot of record.
- d) Development Standards and Density. The development standards for the RDR zoning are codified in Title 20 section 20.16.060. Additional regulations specific to ADUs are codified in Title 20 section 20.64.020. The project is consistent with the maximum allowable structure height, maximum building site coverage, setback, and minimum building site standards as detailed the subsequent evidence (“e” through “k”). Although the subject parcel is significantly less than 40 acres in size, the first single-family dwelling cannot be precluded because of non-conforming density. Accessory Dwelling Units are also not subject to density. Due to the 40 acres per unit density requirement, no additional dwelling units (in excess of the first SFD and ADU) could be constructed on the subject parcel.
- e) Structure Height. Per the underlying zoning district and ADU standards, the maximum allowable structure height of main structures is 14 feet, while the ADU is subject to a 16 foot height limit, as measured from average natural grade. The proposed main dwelling and attached garage are 9 feet and 6 inches above average natural grade, and the proposed ADU is 6 feet above average natural grade. By constructing into and tiering along the existing slope, the proposed structure heights are kept within the allowable height maximums.
- f) Building Site Coverage. The maximum allowable building site coverage is 25 percent (31,581 square feet), and the proposed coverage is 6.1% percent (7,592 square feet). This site coverage, which includes raised patios (24 inches above grade) and 398 linear feet of retaining walls of at least 4 feet in height, is in compliance with the required limit.
- g) ADU Size. The maximum allowable floor area for accessory dwelling units (ADUs) in areas adjacent to resources that are to be conserved is 850 square feet. The proposed ADU is 800 square feet and therefore below the maximum allowed size. Also see Finding No. 11 and supporting evidence.
- h) Minimum Building Site. The minimum building site size in the RDR(40) zoning is 5 acres. The subject parcel is 2.9 acres in size and is legal nonconforming with this requirement.
- i) Setbacks – Main Structures. The minimum setbacks for main structures are 30 feet (front), 20 feet (side), and 20 feet (rear). The proposed setbacks for the main residence with an attached garage are 50 feet and 3 inches (front), 163 feet 6 inches (north side), 117 feet and 10 inches (south side), and over 20 feet rear (bluff side of

property). As demonstrated in finding No. 5 and supporting evidence, the siting of the residence also complies with the 100-year coastal bluff setback

- j) Setbacks – Accessory Structures. The minimum setbacks for habitable accessory structures are 50 feet (front) and 6 feet (sides and rear). The project includes an ADU. The proposed ADU front setback is 63 feet 3 inches, its closest side setback is 23 feet 2 inches (east side), and its rear setback is greater than the main dwelling, approximately 25 feet more than the 100 year setback from bluff. Therefore, the ADU complies with the minimum setback requirements.
- k) Setbacks – Between Structures. The required minimum setback between main and accessory structures is 10 feet. The setback between the proposed main dwelling and ADU is 10 feet, and meets this requirement.
- l) Critical Viewshed and Design. The project is consistent with the BSC LUP policies protecting scenic resources and their implementing regulations in the related CIP, as detailed in Finding No. 2 and supporting evidence.
- m) Environmentally Sensitive Habitat Areas. The project is consistent with the BSC LUP policies protecting environmentally sensitive habitat areas and their implementing regulations, as detailed in Finding No. 6 and supporting evidence.
- n) Hazardous Areas. The project is consistent with the BSC LUP policies regarding development in hazardous areas and near coastal bluffs and their implementing regulations in the related CIP, as detailed in Finding No. 5 and supporting evidence.
- o) Archaeological Resources. County records identify that the project site is within an area of high sensitivity for cultural resources. In accordance with CIP section 20.145.120.B.1, a Phase I archaeological report was prepared for the property by Susan Morley, M.A. and Brenna Wheeler (August 2022, HCD-Planning Library Document No. LIB220370). The report included archival research from the Northwest Regional Information Center and a field survey by a qualified archaeologist. Archival research did not identify any resources onsite, but identified the nearest prehistoric site as being less than 750 feet from the property. A pedestrian survey of the parcel did not identify any evidence of resources onsite. Therefore, project entitlements include a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources, including areas of known archaeological resources and the project does not require environmental assessment pursuant to CIP Section 20.145.120.C.1. The County's standard condition has been applied, which requires that the applicant stop work within 50 meters and contact HCD-Planning and a qualified archaeologist if any previously unknown resources are uncovered during construction (Condition No. 3).
- p) Development on Slopes in Excess of 30%. The project includes approximately 1,676 square feet of structural development on slopes of 30 % or more, which are a blend of natural and man-

made slopes. Another 900 square feet of development would be on steep slopes for related site improvements. Pursuant to Title 20 section 20.64.230, a finding can be made that there is no feasible alternative which would allow development to occur on slopes of less than 30% and the proposed development better achieves the goals, policies and objectives of the County of Monterey Local Coastal Program than other development alternatives. See Finding No. 3.

- q) Tree Removal. The proposed redevelopment will require a minimum removal of two Cypress trees (27-inch diameter “landmark” and 11-inch diameter). These trees will be impacted by construction of the ADU’s driveway. The arborist also found that the roots of two other Cypress trees (a 34-inch diameter “landmark tree” and a 15-inch diameter tree) may be impacted during construction and fail. The two trees identified as being potentially impacted are immediately adjacent to the south and west structural development and are proposed for tree protection. However, should these two trees fail, this Coastal Development Permit authorizes such removal and requires corresponding replanting. Per the BSC LUP, tree removal shall be the minimum required under the circumstances. Removal of the protected trees requires a Coastal Development Permit, pursuant to Title 20 and CIP Section 20.145.060.A and CIP attachment 2, *Native Trees*. The BSC LUP only protects native trees with trunk diameters of 12 inches or greater. Accordingly, only three of the four trees identified as being impacted or potentially impacted require the granting of a Coastal Development Permit. As designed and conditioned, the project conforms to the applicable policies and regulations of the BSC LUP and CIP. See Finding No. 4 and supporting evidence.
- r) Historical Resources. County records indicated that the existing dwelling was constructed in the 1960s and is therefore older than 50 years. In accordance with CIP section 20.145.110.B, an historical report (Anthony Kirk, September 16, 2022, HCD-Planning Library Document No. LIB220373) was prepared to analyze the potential of the project to impact historical resources. According to the report, the existing residence was constructed in 1963 and was a retirement dwelling for an industrialist from Kansas. The report concluded that the dwelling lacked both significance and the potential significance of the owner would only apply to structures the prior owner occupied in Kansas during his career. Therefore, the project would not impact any historical resources.
- s) Land Use Advisory Committee (LUAC) Review. The project was referred to the Big Sur Land Use Advisory Committee (LUAC) for review and recommendation in accordance with Board of Supervisors Resolution No. 15-103, as it involves a Design Approval subject to a public hearing. The LUAC reviewed this project on March 27, 2024, with a LUAC site visit. The LUAC continued the item and expressed concerns with the development’s potential to be in the Critical Viewshed. Their feedback included a

recommendation to reduce a previously proposed pool deck from placement on the hillside saddle that is in the viewshed from the nearest turnout to the north on Hwy 1, and to adjust colors and materials to better blend with the site. The LUAC shared concern with the potential for the proposed structure to be visible above the existing fence when a person is immediately next to the dwelling on Hwy 1. The applicant noted of these comments and redesigned. The new design plans were circulated to the LUAC, and new staking and flagging was installed. The LUAC held a second site visit and made a recommendation on the project on November 12, 2024. During this meeting, following LUAC discussion, the applicant agreed to further revise the plans to also include relocating the ADU out of the northern viewshed and reducing the northwest exposure by pulling the corner back horizontally by another three feet to move it out of the Critical Viewshed. The applicant also agreed to revise plans by lowering the main dwelling and adding an earthen berm to mask the southern extent of the new development to protect views from Hwy 1. With these changes and color changes suggested by the LUAC (darker beige stone), the LUAC recommended approval of the project (4 ayes, 0 noes, 2 absent). The attached project plans include these changes.

- t) The project planner conducted site inspections on March 17, 2022, October 31, 2023, March 27, 2024, and November 12, 2024 to verify that the project on the subject parcel conforms to the plans listed above.
- u) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

2. FINDING: CRITICAL VIEWSHED AND DESIGN – The project preserves Big Sur’s scenic resources and minimizes impacts to the Critical Viewshed in accordance with the applicable goals and policies of the BSC LUP and the CIP. The project assures protection of the public viewshed and neighborhood character in accordance with the Design Control “D” Overlay Zoning District.

EVIDENCE: a) Relevant Policies. The property is subject to the Scenic Resources Policies of the BSC LUP for visual resources and their implementing regulations in the CIP. Pursuant to BSC LUP Policy 3.2.5.F, because the project site is within the Rocky Point and Kaiser Point residential area, all proposed and replacement development is exempt from BSC LUP’s strict Critical Viewshed policies (Key Policy 3.2.1 and Critical Viewshed Policy 3.2.3), and instead subject to LUP Policy 3.2.4, Land Not in the Critical Viewshed. BSC LUP Key Scenic Resources Policy 3.2.1 prohibits all public and private development in the Big Sur Critical Viewshed, which includes everything within sight of Hwy 1. However, for development exempt from BSC LUP Policy 3.2.1, BSC LUP Policy 3.2.4 requires that all new development minimize Critical Viewshed visibility and be subordinate to the environment to the maximum extent feasible. To achieve this, BSC LUP Policy 3.2.4 (implemented by Coastal

Implementation Plan sections 20.145.030.B.6 and 20.145.030.C.2) encourages modifying a project's siting, structural design, size, shape, color, textures, building materials, access, and screening.

b) Setting. Hwy 1 in Big Sur is an iconic stretch of coastline and considered by the County to be Critical Viewshed for residents, visitors, and posterity. The BSC LUP section 3.2 states, "the aesthetic and scenic qualities and semi-wilderness character of the coast have received national and even international acclaim. Accordingly, the issue of visual resource protection is probably the most significant and far reaching question concerning the future of the Big Sur coast." Along the subject portion of Hwy 1, the visual character is views of the rocky coastline to the west and rolling hills with chaparral to the east. The viewshed is partially degraded by the presence of telephone poles, cables east of the highway, and the cut slopes along Hwy 1, as well as the few single-family dwellings and associated site improvements, such as fences, driveway entrances, and mailboxes, which are visible when traveling along this portion of the highway. These existing minimally visible structures are exempt from the Key Critical Viewshed Policy (Policy 3.2.1) but are still subject to other Visual Resources policies of the LUP (Development Not in the Critical Viewshed), as well as the underlying Design Control zoning district.

c) Critical Viewshed Determination. The replacement main dwelling and ADU were staked and flagged in accordance with BSC LUP policy LUP Policy 3.2.3.B.1. The planner conducted site visits on March 17, 2022, October 31, 2023, March 27, 2024, and November 12, 2024 to review the visual character of the site and the proposed project. The following is a description of the current viewshed for the traveling viewer going from north to south:

- The existing residence is visible along Hwy 1 from approximately 0.2 miles to the north for approximately 5 seconds while traveling at the posted speed, and from a southbound turnout in the same location, which is frequently used by visitors.
- Driving south past the knoll that is within the subject site, the existing fence, gate, and roofline of the existing dwelling are visible against the sky. The ocean is not visible due to the elevation of the knoll.

Continuing south, the elevation of the knoll increases and therefore, blocks the view of the existing dwelling and the ocean when looking north. Accordingly, the proposed project is within the Critical Viewshed (and exempt from adherence to the Key Policy).

The first viewshed determination was performed by staff on the morning of March 27, 2024. The BSC LUAC took part in this site visit and viewshed determination. As seen on March 27, 2024, the updated staking and flagging of the ADU was visible from the northeast (0.2 miles north on Hwy 1), and the main dwelling staking and flagging was only visible when standing or driving directly adjacent to the structure on Hwy 1. Staff and the BSC LUAC took part in this site visit and viewshed determination. The determination

was that the replacement structure appeared to have a larger visual impact than the existing structure and staff and LUAC members advised that it should not appear taller than the existing structure when viewed from the adjacent area on Hwy 1. The determination for the ADU was that it was in the Critical Viewshed and must be modified to ensure compliance with applicable BSC LUP Policies. In the March 27, 2024 first public hearing review of the project (after site visit), the LUAC recommended redesign to lessen the height of the main dwelling and for the ADU to be relocated to avoid viewshed impacts where a natural geographic saddle in the property provides a view of the ocean from the southbound turnout. The LUAC members also shared concern about glare that could be produced by a proposed pool and deck. Following this, the project plans were revised and new staking and flagging was installed.

An additional site visit was set for prior to the November 2024 LUAC meeting. Staff and LUAC members noted that previously proposed pool and patio were removed from the design and the ADU no longer impacted the view of the ocean from the turnout to the north. During the viewshed determination, staff and LUAC members noted that the main structure height had been lowered, but that the length of the structure had been extended to the south into the knoll. The applicant clarified that the new proposed design includes the use of an earthen berm to screen any view of that portion of the new residence. Policy 3.2.3.B.1 states that ocean views from Hwy 1 shall not be obscured by artificial berming/mounding or landscaping. Staff and LUAC members confirmed that there is no ocean view from that vantage point that would be blocked by the proposed earthen berm. The staking and flagging at the November 2024 visit demonstrated that the northern portion of the proposed SFD would be visible from Hwy 1 at immediately adjacent vantage points to the east. Therefore, the use of an earthen berm in this case is allowable. At the November 24, 2024 meeting after the site visit, the LUAC recommended minor redesign in the form of more locally natural colored stone veneer and even less height in the main dwelling. To ensure that the replacement residence will not be more visible from Hwy 1 following the proposed tree removal, 24-inch box trees will be replanted near the front property line (Condition No. 11). The canopy of these trees will screen any views of the development. The proposed site improvements, including the driveway and auto-court, are sited in a similar configuration and behind existing fencing and Cypress trees, so they would not increase visibility or adversely impact the viewshed. The driveway width has been minimized to be more subordinate to the scenic corridor (BSC LUP Policy 3.2.5.F).

Landscaping is proposed very close to the development to ensure it will not block public views of the ocean. The proposed restoration of coastal scrub will be done with native ground cover species, and the resulting view of the property will be enhanced. Restoration plantings

are low scrub and would not be likely to block public views of the ocean.

In summary, the existing dwelling, which is exempt from the Key Critical Viewshed Policy, is slightly visible from limited sections of Hwy 1, but not visually prominent, and does not create a silhouette within the public view of the ocean. The proposed construction of an ADU does not create a silhouette against the sky and sea, and has the potential to be fully screened by existing and proposed Cypress trees. The first application was received in 2022. Over several years, the applicant made efforts to reduce the visibility of the proposed development. Overall, the main residence's height was reduced by 3.5 feet, the ADU was resited, and approximately 3,430 square feet of raised patios, stairs, and pool improvements were removed due to concerns that these developments could be in the Critical Viewshed. As discussed below, the revised colors, materials, and roof forms for the residence further subordinate those structures to the natural environment (Basic Objective 2.2.4 and BSC LUP Policy 3.2.4.A.3). Even with the many redesigns, it is likely that some of the driveway and a glimpse of the main dwelling will be visible for the travelling public immediately east of the site and remain visible for a brief period of time. These impacts are anticipated to be greatest during the period of construction and until replacement trees grow enough for full canopy and landscaping is installed. See also Finding 2, evidence "f." In the long term, the main dwelling and associated development will be less visible from Hwy 1 than the previous dwelling. T

- d) CIP criteria. The BSC CIP section 20.145.030, Visual Resources Development Standards, provides specific criteria for development to ensure compliance with the BSC LUP Visual Resources Policies. The criteria for the proposed reconstruction of main dwelling and construction of a new ADU are herein assessed with the criteria of CIP section 20.145.030.B.6:
- (a) The driveway is kept as narrow as possible;
 - (b) The project includes roof treatments to reduce visual impact by flat-roof construction and partially green roof;
 - (c) The project includes utilization of an earthen berm to screen the southern portion of the replacement main dwelling;
 - (d) A condition of approval for Construction Management Plan (Condition No. 5) requires control of material stockpiling and trash during construction. Downlit, minimal exterior lighting is proposed. Due to the quantity of glass on the residence, the LUAC expressed concern both regarding glare and nighttime lanterning from lights in the residence. The applicant is proposing an anti-glare glass; only clerestory windows that would be obscured by landscaping trees are proposed to face Hwy 1. Condition No. 18 requires an exterior lighting plan and evidence that window and glass treatments ensure no exterior lighting or glare are in view of Hwy 1;

- (e) A scenic and conservation easement is required for the undeveloped portions of the parcel to protect scenic resources as well as ESHA and slopes in excess of 30%;
- (f) The development application has been modified both in design, height, siting, colors, and addition of 25,075 square feet of coastal scrub restoration to reduce visual impacts (as well as impacts to ESHA);
- (g) There is no guesthouse, so criteria “g” is not applicable.

In sum, the replacement single-family residence, new ADU, and related site improvements are consistent with these criteria.

- e) Design Control. The proposed structures’ exterior will incorporate beige with darker beige stone veneer (similar to Carmel stone) and black window frames and doors. The design is modern and tiered into the slope with a flat, partly green roof. The homes in the Rocky Point area are varied and generally out of the public viewshed. The proposed replacement dwelling and ADU will be constructed with less than significant impacts on the Critical Viewshed. Therefore, the design of the proposed project assures protection of the neighborhood character.

In accordance with CIP section 20.145.030.B.6.d, an exterior lighting plan condition has been applied, which will require that exterior lighting be shielded to ensure the light source is not visible. The applicant is proposing an anti-glare glass; only clerestory windows that would be obscured by landscaping trees are proposed to face Hwy 1. Staff shall review the construction plans to enforce that offsite glare is not produced by the project (Condition No. 18). Therefore, strict adherence to dark skies regulations, protection and replacement of trees limited to within the existing stand’s area, restriction of structural heights and placement, and restoration of disturbed coastal scrub, the proposed project assures protection of the public viewshed.

- f) Landscaping. Condition No. 11 is applied which will require the applicant to prepare a final landscaping plan that correlates to the Restoration Plan, follows Fire Fuel Management guidelines, and maintain it in perpetuity. Specific language has been included in this condition that requires that any landscaping within view from Hwy 1 be low-profile plants that would not block ocean views.
- g) Scenic Easement. CIP section 20.145.030.B.6.e. requires that as a condition of approval for properties in the critical viewshed, that the owner grant a scenic easement to the County over undeveloped portions of the parcel. Condition No. 14 is applied to implement this regulation. The exact areas subject to the easement would be reviewed and approved by HCD-Planning, and then the easement will be taken to the Board of Supervisors for review and acceptance. BSC LUP Policy 3.3.2.3 requires conservation and scenic easements (CSE) be conveyed over environmentally sensitive habitat areas, as well, so the easement would include sensitive habitat areas regardless of their visibility in the Critical Viewshed. The CSE Deed shall describe that the easement protects the coastal scrub, coastal bluff, and scenic value areas which often coincides with steeper

slopes. An established private trail to the bluff and a stone circle area used for private viewing shall be allowed for continued use within the CSE.

- h) The project planner conducted site inspections on March 17, 2022, October 31, 2023, March 27, 2024 and November 12, 2024 to verify that the project on the subject parcel conforms to the policies and regulations listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210348.

3. FINDING: DEVELOPMENT ON SLOPES – There is no feasible alternative which would allow development to occur on slopes of less than 30% and, as sited and designed, the project better achieves the goals and policies of the BSC LUP.

- EVIDENCE:**
- a) The project includes approximately 1,676 square feet of structural development on slopes of 30 % or more, which are a blend of natural and man-made slopes. Another 900 square feet of development would be on steep slopes for related site improvements.
 - b) Title 20 section 20.64.230 prohibits development on slopes in excess of 30% unless a finding can be made that either there is no feasible alternative which would allow development to occur on slopes of less than 30% or the proposed development better achieves the goals, policies and objectives of the County of Monterey Local Coastal Program than other development alternatives.
 - c) In this case, the development on slopes is unavoidable due to the site restrictions of an encroaching coastal bluff, a grove of Cypress trees between the existing building site and Hwy 1, and because LUP Policies in section 3.2.4 require that replacement structures be less visible than existing structures, the proposed design accomplished that by encroaching on to steeper slopes. Building into the slope better meets the protection of the Hwy 1 viewshed.
 - d) BSC LUP Policy 3.2.3.A.4 indicates that grading or excavations shall not be allowed to damage or intrude upon the Critical Viewshed, including all alterations of natural landforms. In this case the changes would not alter the natural landform that is within the Critical Viewshed. The slopes that are proposed to be disturbed are hidden from public view and do not contribute to the scenic quality or character of the site or surrounding area.
 - e) BSC LUP Policy 3.3.2.7 indicates that where structures are permitted on properties with environmentally sensitive habitat areas, structures shall be clustered in the least sensitive habitat areas. In this case, the residence clusters the parking and development away from the bluff and the areas of less disturbed coastal scrub, in conformance with this policy. Highly disturbed coastal scrub will be impacted, but no protected species shall be directly impacted. To achieve this, the proposed replacement dwelling and ADU are built into the steeper hillside.
 - f) An erosion control plan would be required prior to issuance of construction permits by Monterey County Code section 16.12.060,

which would prevent any erosion related impacts from grading operations, including this sloped portion of the property.

- g) The project planner conducted site inspections on March 17, 2022, March 27, 2024 and November 12, 2024 to verify that the project on the subject parcel conforms to the policies and regulations listed above.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

4. FINDING:

TREE REMOVAL – The siting, location, size and design of the project minimizes tree removal in accordance with BSC LUP policies and CIP section 20.145.060. The removal will not impact the overall health and long-term maintenance of the planted tree stand (Cypress) found on the property.

- a) In accordance with the applicable policies of LUP and CIP Section 20.145.060.A, a Coastal Development is required for the removal of the trees and the criteria to grant said permit have been met. This Coastal Development Permit allows the removal of one 27-inch Cypress tree and authorizes the removal of two other trees (34-inch diameter “landmark” and 15-inch diameter) that may not successfully be protected in place.
- b) Pursuant to Section 20.145.060.B of the Big Sur Coast CIP, an arborist visited the site and reviewed the project plans in relation to the trees on the site. The arborist reported that onsite trees are almost all planted Monterey cypress, with some non-native ornamental understory present. There is no forest on or surrounding this site. The Cypress grove of 42 trees is in good condition. The two trees required to be removed are in fair health, and the arborist did not recommend replacement. However, the arborist noted that replacement tree planting is planned in the northeast area of the parcel for development screening purposes. The two trees will be impacted by the construction of the ADU’s driveway. Relocation of this driveway would continue to impact an equal or greater number of native trees. However, only one of these trees is protected by the BSCLUP due to its diameter being greater than 12 inches (27 inches). Two other trees (34-inch diameter “landmark” and 15-inch diameter) adjacent to the single-family dwelling on the south and west sides are considered likely to fail even with tree protection in place. Should evidence demonstrate to HCD-Planning that these trees cannot be saved or were damaged beyond saving after installation of tree protection measures, this Coastal Development Permit authorizes such removal. In an effort to maintain the screening of the development site, tree replanting at a ratio of at least 1:1 for the smaller tree (less than 24 inches) and 2:1 for the larger trees (greater than 24 inches) is proposed in the draft Landscape Plan along the front property line. Adherence to this replanting is incorporated in this permit as part of Condition No.11.
- c) The project has been designed and sited to minimize the removal of protected trees to the greatest extent possible. The replacement residence is primarily within the footprint of the existing residence and nearby natural clearings. The specific choice of location for the

structural development within the parcel avoided proximity to the coastal bluff, avoided impacts to Critical Viewshed, and avoids more removal of protected trees.

- d) The project, as proposed, will not significantly reduce the availability of wildlife habitat over the long term, as the site has approximately 40 surrounding Cypress trees, which will be managed for long-term health. To ensure there are no impacts to trees, a standard condition of approval has been applied that requires an arborist to oversee tree and root protections prior to issuance of the demolition permit (Condition No. 9).
- e) Staff conducted site inspection on November 12, 2024 to verify that the tree removal is the minimum necessary for the project.
- f) The location of the replanting to replace this tree shall be coordinated through the Landscape Plan (Condition No. 16), which includes a Fire-Safe Fuel Management requirement. Therefore, the placement of the tree will not increase fire risk to the development nor degrade the overall health and long-term maintenance of the Cypress stand and other natural communities found on the property.
- g) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN210348.

5. FINDING: DEVELOPMENT WITHIN 50 FEET OF A COASTAL BLUFF –
The project is consistent with the BSC LUP policies addressing hazardous areas and development in proximity to coastal bluffs, and their implementing regulations in the CIP.

EVIDENCE: a) Geotechnical Report. BSC LUP Policy 3.7.3.A.9 and 3.7.3.A.11 require preparation of geological and geotechnical reports for development in proximity to a coastal bluff, and in areas of known or suspected geologic hazards, to assess geologic hazards and provide recommendations to address them. A geological report was prepared (Gregory Easton, October 2, 2023 with update memo dated May 8, 2025, HCD-Planning Library Document No. LIB220371), and a geotechnical report was also prepared (Yvette Wilson and John Buringa, October 28, 2022 with addendum by Yvette Wilson dated May 8, 2025, HCD-Planning Library Document No. LIB220372). The project geologist defined the location as a granitic knoll, which is eroding slower than the mean retreat of bluff faces near the site (See Finding 5, evidence “e” for details).

The geological report discussed hazards related to faults, landslide, bluff erosion and calculated a 100-year setback for the proposed development. The geotechnical report states that there are no significant geotechnical or geologic hazards at the site which would prohibit the proposed development, provided the recommendations presented in it are followed in development of project plans and specifications. These include the need for the geotechnician to be onsite during removal of the existing septic system, and all new footings for structures be founded on the dense quartz diorite for the main dwelling. Such recommendations will be incorporated into the final construction plans in accordance with Title 16 section 16.08.110.

- b) Notice of Report. CIP section 20.145.080.A.2.a. requires that the recommendations of geological and geotechnical reports be incorporated into the project design where there are hazards. To ensure that both the geologist and geotechnical engineers' recommendations are adhered to, Condition No. 20, Notice of Report is applied. This will require the applicant to record a notice on the property stating that all development will be in accordance with the recommendations of the geological and geotechnical reports.
- c) Faults. The geologic report described the property as within the San Gregorio-Hosgri fault zone because the main trace of the San Gregorio fault passes offshore west of the site, and several related potentially active faults are mapped 1,000 feet or more feet from the parcel. One geologist had depicted an inferred fault transecting the property west of the existing residence and parallel to the bluff, but the geologist found that it is considered inactive and saw no evidence for active faulting on the parcel.
- d) Earthquakes and Landslides. The geologic report described that seismic shaking is anticipated to be strong during the next major earthquake along local fault systems. The report concluded that construction design must be maximally prepared for seismic shaking.

The geologic report noted that fractured quartz diorite that is found in the area may be prone to landsliding where "dipping joints or shears underlie the slope" and found no evidence of landsliding at the subject site, noting that new large scale landslides are not anticipated. However, the geologic report found that shallow landsliding has the potential to affect improvements situated too close to the steep bluff-face at the site is high.

- e) Bluff Recession. The geological report described that coastal bluff recession hazards along this bluff edge are slower than other bluff sites due to the granitic knoll on the subject site. The report stated that erosion at this site in the 2010-2016 period was a mean rate of one-third of a foot per decade on similar sites, but on this site, it was comparatively none. However, the report found that bluff retreat has the potential to impact improvements situated too close to the steep bluff-face. As part of the geologic analysis, the author projected collected subsurface data onto cross sections of the bluff to analyze the morphology and configuration of the slopes. The geologist assumed the bluff-face above the degraded shore platform will retreat 10 feet over the next 100 years. Therefore, the report concluded that the development may proceed if it is set back at a line representing a 100 year worst case location of the coastal bluff.
- f) Coastal Hazards Deed Restriction. BSC LUP Policy 3.7.2.4 requires that in locations determined to have significant hazards, development permits include a special condition requiring the owner to record a deed restriction describing the nature of the hazard and long-term maintenance requirements, and BSC LUP Policy 3.9.1.1 requires that bluff top setbacks be adequate to avoid the need for sea walls during developments lifetime. In this case, the property areas seaward of the 100-year bluff setback (land and non-habitable accessory site

improvements) are subject to bluff erosion. However, the proposed residence and ADU are sited adequately from the projected bluff erosion. Therefore, Condition No. 15 is applied, which requires the applicant to record a deed restriction identifying that the site is subject to coastal hazards, assuming the risks of such development, waiving liability, indemnifying the Coastal Commission and County of Monterey for any damages due to coastal hazards, and prohibiting coastal armoring.

- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

6. FINDING: DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREAS (ESHA) – The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

- EVIDENCE:**
- a) In accordance with CIP section 20.145.040.A, a biological report (Pat Regan, March 24, 2025, HCD-Planning Library Document No. LIB240077) was prepared. The report reviewed the site's biotic conditions and the potential for the project to impact environmentally sensitive habitats or sensitive species. The report stated that there is a prevalence of non-native plants on the inland side and around the existing dwelling, while degraded coastal scrub communities exist on vegetated areas of the property. There are also Cypress and a few ornamental trees planted as part of the landscaping.
 - b) CIP section 20.145.020 defines environmentally sensitive habitat areas (ESHA) as locations where plant or animal life or their habitats are particularly valuable because of their special nature or role in an ecosystem. Examples of ESHA include habitat for rare and endangered species. Seacliff buckwheat, when found in dense strands of coastal sage and bluff scrub, is habitat to the federally endangered Smith's Blue Butterfly. The biologist did not encounter dense stands of this buckwheat, but instead found occasional individuals interspersed with other common native and nonnative scrub plants. Growing as such, he did not consider the property to have Smith's Blue Butterfly habitat. A few patches of coastal scrub are within 100 feet of the project, containing Blue dips, Fremont's lily, Fairy lantern, Coast morning glory, Golden yarrow, California goldenrod, Poison oak, California blackberry, Wood mint, California sand aster, leafy bentgrass, silver bush lupine, etc. The biologist and California Coastal Commission biologist agree that the property's coastal scrub habitat is ESHA. Development within 100 feet of ESHA is non-exempt development requiring a Coastal Development Permit.
 - c) The biological report stated that grading and construction impacts necessary to build the south wing of the main dwelling will permanently impact approximately 20 individual plants of *Lomatium parvifolium*, a California Rare Plant Rank (CRPR) list 4.2 species. However, once full staking and flagging was in place for the south wing, the biologist revisited the site and determined, with a

California Coastal Commission biologist present, that the *Lomatium parvifolium* individuals would be outside the footprint of the proposed structure. There were no other CRPR ranked plants in the construction zone. Therefore, the project will not directly impact ESHA.

- d) BSC LUP Policy 3.3.3.A.10 states, “County encourages residents and public agencies to undertake restoration of Big Sur's natural environment by removal of exotic plants such as Scotch and French Broom, Eucalyptus, Kikuyu grass, Vinca, Pampas grass, Gorse, and other non-native invasive species providing such removal does not increase potential erosion problems.” Within the landscaping area and interface with the undeveloped portions of the site, the biologist identified several invasive plant species, most of which appear to have been planted in the landscape including nonnative succulents like Aloe and Delosperma, Cotyledon, Crassula and Carpobrotus, as well as Pride of Madeira and Norfolk Island Pine. The project includes the removal of the non-native plants and restoration of coastal scrub on an area of approximately 25,076 square feet.
- e) BSC LUP Policy 3.3.2.9 requires the use of native landscaping species in proposed landscaping. Condition No. 16, requiring a landscaping plan, has been applied. The applicant shall prepare a final landscaping plan with appropriate native planting materials compatible with the surrounding habitats and accurate tree removal counts. This will ensure consistency with BSC LUP Policy 3.3.2.9, as well as BSC LUP policy 3.3.2.7, that land uses adjacent to ESHA be compatible with the long-term maintenance of these resources, including incorporating all site planning and design features needed to prevent significant habitat impacts.
- f) BSC LUP Policy 3.3.2.3 requires permanent conservation of ESHA when new development is proposed on parcels containing such habitats. While the dwelling on the property is an existing development, the project includes demolition and construction of a larger dwelling and an ADU; therefore, this policy is applicable to the project. Condition No. 14 is applied, which will require that the portions of the parcel that are existing vegetated areas in which the development would be located in the critical viewshed be put into permanent conservation. The area in question is partially ESHA; therefore, a qualified biologist shall review the easement area to verify that the area includes all ESHA is contained in the CSE. An established private trail to the bluff and a stone circle area used for private viewing crosses the area to be restored. The established trail to the bluff and stone seating circle shall be allowed for continued use within the CSE but shall not be improved with manmade surfaces such as decomposed gravel or boardwalk.
- g) The project planner conducted site inspections on March 17, 2022, March 27, 2024 and November 12, 2024 to ensure that the project on the subject parcel conforms to the policies and regulations listed above.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

- 7. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, EHB, and CalFire. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified the need to analyze site suitability and potential impacts to coastal hazards, historic, archaeological, biotic, and forest resources. The following reports have been prepared to address these issues:
 - “Krimson Coast Holdings Residence Forest Management Plan” (LIB220369) prepared by Frank Ono, Ono Consulting, Pacific Grove, CA, October 11, 2022 and up dated February 11, 2025.
 - “Biological Assessment of 36240 Highway One, Big Sur CA” (LIB240077) prepared by Patrick Regan, Regan Biological & Horticultural Consulting, Carmel Valley, CA, March 24, 2025.
 - Geologic Investigation, Krimson Coast Holdings, LLC” (LIB220371) prepared by Gregory Easton, Easton Geology, Inc., Santa Cruz, CA, October 28, 2022 and addenda dated May 8, 2025.
 - “Geotechnical Investigation and Coastal Hazard Investigation” (LIB220372) prepared by Yvette Wilson and John Buringa, Rocksolid Engineering, Inc., Watsonville, CA, October 28, 2022 with addendum May 8, 2025.
 - “Historic Survey for the residential property located at 36240 Highway 1” (LIB220373) prepared by Anthony Kirk, Santa Barbara, CA, September 16, 2022.
 - “Phase I Preliminary Archaeological Assessment in Support of the 36240 Highway 1 Project, Big Sur Monterey County, California (APN 243-251-011-000” (LIB220370) prepared by Susan Morley and Brenna Wheelis, Achasta Archaeological Services, Marina, CA, August 2022.County staff reviewed these reports independently and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
 - c) The property contains an existing single-family residence and associated site improvements on a property zoned to allow such uses. The proposed project consists of the demolition of the existing house and replacement with a new house, and the construction of a detached ADU. As the proposed alterations would not substantially change the existing use of the subject property, and the project is designed to meet a 100-year coastal bluff setback recommended by the geologist, the site is suitable for the proposed development. See Finding No. 5 and supporting evidence.

- d) Staff conducted site inspections on March 17, 2022, March 27, 2024 and November 12, 2024 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

8. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, EHB, and CalFire. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary facilities will be provided. The property is served by the Garapata Creek water system. Although there is a moratorium on more than 35 acre-feet per year, or AFY by the connections to this system, CalAm provided a “can and will serve” letter that attests that the current connection to the system is within the allowed connection limit. Evidence was provided as part of the application that demonstrates the increase to existing water use with the project (0.247 AFY will not cause the legal limit of 35 AFY of the Garrapata Creek water system to be reached. The construction permit plans shall be reviewed by HCD-Planning to ensure the fixture count matches what is proposed and that irrigation is the minimum necessary to start native vegetation for landscaping.
 - c) The site is able to support an existing onsite wastewater treatment system (OWTS) that would meet County codes. The existing OWTS will be removed, and a replacement Advanced OWTS will be installed. EHB applied Condition No. 12, which states that an adequate area exists for an OWTS and that the plans attached to this resolution meet County codes, but that other alternative locations may be explored to better maximize leach field development on areas already disturbed. The currently proposed OWTS is sufficient, and the area is part of the measured impacted area for development evaluation that is part of the findings of this permit resolution. However, Condition No. 12 encourages the applicant/owner to resubmit the OWTS design prior to construction permits so that EHB and HCD staff can review it for both adherence with Chapter 15.20 and best management practices for development within 100 feet of ESHA.
 - d) The project is consistent with the BSC LUP policies regarding development in hazardous areas and near coastal bluffs and their implementing regulations in the CIP, as detailed in Finding No 5, Development within 50 Feet of a Bluff, and Finding No. 8, Health and Safety.

- e) Staff conducted site inspections on March 17, 2022, March 27, 2024 and November 12, 2024 to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

- 9. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and found there was a complaint of a short term rental reported June 5, 2025. The inspector found the project’s address listed on several vacation rental websites, but did not find that the rentals were available to rent on any date. The inspector received an email from the owner that indicated that they had requested that those vacation rental webpages be taken down. The owner also stated in writing that they do not intend to use the property as a short term rental. The code violation inquiry (25CE00293) was closed on November 18, 2025 due to this testimony and a lack of evidence of active renting. Staff is not aware of any active violations existing on subject property.
 - b) Staff conducted a site inspection on March 17, 2022, March 27, 2024 and November 12, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210348.
- 10. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) The project qualifies for Class 1, 3 and 33 Categorical Exemptions pursuant to CEQA Guidelines sections 5301, 15303 and 15033, as detailed in evidences “b” through “d”, and none of the exceptions from CEQA Guidelines 15300.2 apply to the project as detailed in evidences “e” through “k”.
 - b) CEQA Guidelines section 15302, Replacement or Reconstruction of Existing Facilities, exempts the replacement of single family dwellings (SFDs) where additional impacts associated with the replacement are negligible. The project replaces a residence in approximately the same location with impacts to ESHA, viewshed, slopes that are fully mitigated through adherence to the regulatory environment of Title 16, Title 18, Title 20, and the BSC LUP. The primary use of the site will remain the same after the project, and therefore this Class 2 exemption is applicable.
 - c) CEQA Guidelines section 15303, New Construction or Conversion of Small Structures, exempts construction of new, small structures such as an ADU in a residential zone. The site is zoned Rural Density Residential. The primary use of the site will remain the same after the project, and the overall site coverage (inclusive of the residence, garage,

and ADU) would increase by 4,257 feet from 3,335 square feet to 7,592 square feet. This represents an expansion of the primary use, but the use is clustered and consistent with the intent of the Class 3 exemption.

- d) CEQA Guidelines section 15333, Small Habitat Restoration Projects, exempts projects not to exceed 5 acres in size to assure the maintenance, restoration, enhancement, or protection of habitat for fish, plants, or wildlife. The proposed project includes revegetation of a disturbed area of 25,076 square feet (0.57 acres) with native plant species.
- e) Class 2 and Class 33 categorical exemptions apply regardless of their location, but Class 3 categorical exemption apply in relation to the location, discussed in CEQA section 15300.2. The project is located in an area where residential use is primary pursuant to the designated land use and zoning code. The project consists of demolition of an existing single-family dwelling, replacement with a new, larger and more safely located single family dwelling, construction of an ADU of a size that is exempt pursuant to State Government Code Section 66314, associated site improvements. The proposed land use is not being altered and there is a controlled and clustered expansion of existing use. The restoration and establishment of a Coastal Bluff Hazard Deed Restriction as well as a CSE Deed ensures the clustering of development shall be maintained.
- f) The site of construction is not within an environmental resource of hazardous or critical concern that has been designated by a local, state, or federal agency and precisely mapped and there are no potentially significant impacts associated with the project, therefore the project would not cause or contribute to a cumulative environmental impact.
- g) There are no unusual circumstances associated with the undertaking of the project that would create the reasonable possibility for a potentially significant environmental effect.
- h) The project is in view of Highway 1, a designated state Scenic Highway. However, as detailed in Finding Nos. 2 and 11, the project would not adversely affect scenic resources in view of the scenic highway.
- i) The project is not located on a hazardous waste site included on any list compiled by Section 65962.5 of the Government Code.
- j) A phase I historical report (Anthony Kirk, September 16, 2022, HCD-Planning Library Doc. No. LIB220373) was prepared for the project which assess the existing structures and determined that the existing residence was not a historical resource. Therefore, the project would, not impact any historical resources.
- k) No adverse environmental effects were identified during staff review of the development application during site visits on March 17, 2022, October 31, 2023, March 27, 2024 and November 12, 2024.
- l) See supporting Finding Nos. 1, 2, 3, 4, 5, and 6. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210348.

- 11. FINDING:** **ACCESSORY DWELLING UNIT**– The project meets the established regulations and standards for Accessory Dwelling Units as identified in Title 20 section 20.64.030.
- EVIDENCE:**
- a) In accordance with the Title 20 section 20.64.030.A, a Coastal Development Permit is required for the construction of an Accessory Dwelling Unit (ADU) and the criteria to grant said permit have been met. At 800 square feet, the proposed ADU meets the maximum 1,200 square foot floor area standard set in MCC section 20.64.030 and the State’s current guidance. This would be the only ADU on the lot, the lot is 2.6 acres in size, onsite parking for at least two cars is provided, and zoning and development standards are met, as described below in evidences “c” through “g”.
 - b) The ADU is designed in a manner that is visually consistent and compatible with the principal dwelling. Both are consistent with the neighborhood. See also Finding 2, Critical Viewshed and Design.
 - c) Setbacks – Accessory Structures. The minimum setbacks for habitable accessory structures in Title 20 section 20.16.060.C are 50 feet (front), and 6 feet (sides and rear). The proposed ADU front setback is 63 feet 3 inches, its closest side setback is 23 feet 2 inches (east side), and its rear setback is greater than the main dwelling, approximately 25 feet more than the 100 year setback from bluff. Therefore, the ADU complies with the minimum setback requirements.
 - d) The proposed height of the ADU is 6 feet above average natural grade, which meets the required height limitation pursuant to Title 20 section 20.16.060.C
 - e) Pursuant to Title 20 section 20.64.030.E.4, ADUs are subject to the build out limitations established by each LUP. The BSC LUP limit for ADUs is 50 and includes all caretaker units. The current number of these units is 29. Therefore, with this added ADU, the current total is 30 and the project will not exceed the BSC LUP threshold.
 - f) As designed and conditioned, the ADU meets the required site development standards for resource protection as defined in Title 20 20.64.030.E.11. The ADU is sited near ESHA but does not remove ESHA. The ADU height and location were modified during application review to ensure it will not cause a substantial adverse impact on visual resources or be in the Critical Viewshed. The ADU siting is near the main dwelling, sharing the same driveway, and tucked behind Cypress trees which shall, through condition of approval for replanting of trees after two removals in that area, continue to screen the residential development. The Garrapata water system has a moratorium on total connections, and one new connection shall be made with this project. The ADU would be constructed on slopes, including slopes that exceed 30%. However, the criteria to grant the required Coastal Development Permit have been met in this case. See Finding No. 3.
 - g) As part of the application review by County of Monterey Environmental Health Bureau – Land Use (EHB), County staff investigated both potable water supply and sewage disposal are suitable to serve the ADU. EHB made the determination that the property will have adequate potable water from the existing connection to the Garrapata water system, and wastewater will be able to be served by an OWTS.

- h) The LUAC review, while recommending the project with changes proposed, included one Committee member's comment about the importance of restricting Short Term Rental (STR) of the ADU. The applicant confirmed that the purpose of the ADU is for family visits and there is no plan for STR use. The rental of the ADU is regulated by MCC section 21.64.280.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN210348.

12. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable BSC LUP Chapter 6 guidance, and does not interfere with historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in section 20.145.150 of the CIP can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property. BSC LUP Chapter 6 does not describe the subject property as within an area in private ownership with existing public use.
 - c) The subject property is described as Priority 3, “other areas suitable for access” in Figure 2 of the BSC LUP. The plan describes these areas as “attractive destinations where safety hazards or resource conflicts can be mitigated, and with the potential for improved parking.” It is also shown in a potential corridor for a public trail in Figure 3 of the Bug Sur Land Use Plan, Trails Plan.
 - d) In relation to the Coastal Development Permits of this entitlement, Title 20 section 20.70.050.B.4.c states that for single-family development on an existing lot, no access shall be required if no substantial adverse impact can be demonstrated, either individually or cumulatively, on historic access, public trust, or the recreational value of, accessibility to, use of, or safety of public beaches, trails, recreation areas, or recreation support areas; or, the shoreline, by affecting either processes of sources of sand necessary to maintain public beaches or tidelands, or by siting in a manner that would necessitate a shoreline protective device or other public maintenance of the area; then access shall not be required. The project is a demolition/rebuild of an existing single-family residence with no public access present; therefore, it would not impact any historic or public trust access, the recreational value or accessibility of any recreational areas. The project would also not impact the shoreline, as the proposed residence shall be sited behind a 100-year setback from the bluff, and Condition No. 15 requires a deed restriction that would prohibit armoring of the site.
 - e) Public Access Policy 6.1.4.4 states that visual access should be protected for long term public use. The project would not impact visual access. None of the structures proposed would block existing ocean views. As discussed in Finding No. 2, the colors and materials of the structures are

natural, include low heights, and structures are predominantly blocked from view by existing and additional trees and earthen berm. Exterior lighting shall be controlled by application of Condition No. 18. Therefore, the project is visually unobtrusive and shall not detract from the public's viewing experience of the shoreline or ocean.

- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210348.

13. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Title 20 section 20.86.030 of the County Monterey Zoning Ordinance allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. This project is appealable to the California Coastal Commission pursuant to Title 20 sections 20.86.080.A.1 and 20.86.080.A.3, as it includes development between the sea and the first public road paralleling the sea (Highway 1) and involves development that is permitted in the zoning district as a conditional use. The project includes development on slopes in excess of 30%, development within the Critical Viewshed, native tree removal, and development within 100 feet of environmentally sensitive habitat areas which are non-exempt development requiring Coastal Development Permits and considered conditionally allowable regardless of the property's underlying zoning designation.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 1) Finding that the project qualifies for Class 2, 3, and 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15302, 15303, and 15333, and that none of the exceptions from CEQA Guidelines 15300.2 apply; and
- 2) Approve a Combined Development Permit consisting of:
 - a. A Coastal Administrative Permit and Design Approval to allow:
 - i. demolition an existing 2,860 square foot single family dwelling,
 - ii. construction of a 6,556 square foot two-story four-bedroom single family dwelling inclusive of an attached 775 square foot garage and 1,498 square foot basement;
 - iii. construction of a 800 square foot two-bedroom Accessory Dwelling Unit with an attached 333 square foot mechanical/storage room and approximately 880 square feet in attached stairs, landing, deck, and jacuzzi;
 - iv. associated site improvements including approximately 3440 cubic yards of cut and 120 cubic yards of fill and restoration of approximately 25,075 square feet of disturbed areas with native coastal scrub plants); and
 - b. A Coastal Development Permit to allow development in the Critical Viewshed;
 - c. A Coastal Development Permit to allow approximately 2,090 square feet development on slopes in excess of 30%;
 - d. A Coastal Development Permit to allow removal of up to three Cypress trees;
 - e. A Coastal Development Permit to allow development within 50 feet of a coastal bluff
 - f. A Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (coastal scrub); and
 - g. A Coastal Administrative Permit to allow development within 750 feet of archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 10th day of December 2025, upon motion of Commissioner Diehl, seconded by Commissioner Monsalve, by the following vote:

AYES: Getzelman, Mendoza, Hartzell, Gonzalez, Roberts, Work, Shaw, Monsalve, Diehl
 NOES: None
 ABSENT: Gomez
 ABSTAIN: None

DocuSigned by:

Melanie Beretti

F6C3AC03D78644E...

Melanie Beretti, AICP
 Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **DECEMBER 11, 2025.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **DECEMBER 22, 2025**.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210348

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN210348) allows (a) demolition an existing 2,860 square foot single family dwelling, (b) construction of a 6,556 square foot two-story single family dwelling, inclusive of an attached 775 square foot garage and 1,498 square foot basement; (c) construction of an 800 square foot Accessory Dwelling Unit with an attached 333 square foot mechanical/storage room and approximately 880 square feet of attached stairs, landing, deck, and jacuzzi; and (d) associated site improvements, including approximately 3,440 cubic yards of cut and 120 cubic yards of fill and restoration of approximately 25,075 square feet of disturbed areas with native coastal scrub plants.

Project requires removal of up to three Cypress trees, development within 50 feet of a coastal bluff, approximately 2,090 sf structural development on slopes greater than 30%, and development within 750 feet of archaeological resources; and 100 feet of Environmentally Sensitive Habitat Area. The property is located at 36240 & 36242 Highway 1 Big Sur, California (Assessor's Parcel Number 243-251-011-000), Big Sur Coast Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 25-040) was approved by the Planning Commission for Assessor's Parcel Number 243-151-011-000 on December 10, 2025. The permit was granted subject to 20 conditions of approval which run with the land. A copy of the permit is on file with County of Monterey HCD - Planning."

Proof of recordation of this notice shall be furnished to the HCD Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. County of Monterey HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PD055 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (as applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - Types of construction vehicles and number of trucks and/or vehicle trips/day.
 - Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
- Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.

The CMP shall:

- Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
- Include a parking plan that includes measures to reduce the visual impacts seen by Highway 1 travelers and the surrounding communities during the construction.
- Include measures that shall be taken to prevent construction vehicles from queuing on Highway 1 at any time during the construction.
- Prohibit blocking of access roads.
- Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of driveways or access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
- Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
- Provide adequate storage and staging areas. Staging and storage areas shall be on-site to the maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
- If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
- The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
- Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the

person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.

- The job site must remain free of all forms of trash at all times of the day and night. All trash and/or construction debris shall be bagged and hauled away daily, or completely secured.
- No debris, soil, silt, sand, oil, petroleum products, cement, concrete, or washings thereof shall be allowed to enter into, or be placed where they may be washed by rainfall or runoff, onto the adjacent bluff or into the Pacific Ocean.
- Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase yes, they of the project.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

**Condition/Mitigation
Monitoring Measure:**

Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PD005(A) - NOTICE OF EXEMPTION

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

Pursuant to CEQA Guidelines § 15062, a Notice of Exemption shall be filed for this project. The filing fee shall be submitted prior to filing the Notice of Exemption. (HCD-Planning)

**Compliance or
Monitoring
Action to be
Performed:**

After project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

8. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

9. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

10. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.
- All Air District standards shall be enforced by the Air District.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

11. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio recommended by arborist: 2:1 for 27" landmark Cypress tree, with additional new Cypress trees as shown in the draft Landscape Plan. Replacement tree(s) shall be 24-inch box trees to minimize temporary impacts to the Critical Viewshed and shall be located within the same general location as the tree being removed.

It is possible that two other Cypress trees may be impacted at the roots such that they would require replacement (34 inch diameter and 15 inch diameter). The two trees are immediately adjacent to the south and west structural development and are proposed for tree protection. The owner/applicant shall provide protection, and an arborist shall be present during root cutting to ensure the best possible chance for survival. If one or both of these additional trees fail, they shall not require an additional Coastal Development Permit for removal but shall be replaced in 2:1 ratio for the 34 inch diameter tree and 1:1 ratio for the smaller tree. Replacement tree(s) for these trees that may not survive shall be with normal sized saplings, as there is no anticipated impact to the Critical Viewshed if they fail. The replanted trees shall be located within the same general location.

The final tree impact and replacement ratios and sizes shall be confirmed by HCD-Planning prior to final inspection of the subsequent building permits.(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

12. EHSP01 - ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau (EHB) has determined that adequate area exists for onsite wastewater disposal for the proposed development. Submit onsite wastewater treatment system (OWTS) plans for review and approval indicating the location, design layout and size specifications that meets standards found in Monterey County Code Chapter 15.20, Sewage Disposal Ordinance, and the Central Coast Basin Plan, Regional Water Quality Control Board, and Monterey County Local Agency Management Program (LAMP). Furthermore, the OWTS design shall be sited in areas of previous habitat disturbance to the maximum extent. Location shall be subject to EHB and HCD-Planning review and approval.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, submit an OWTS application and design plans for review and approval by the EHB and HCD-Planning. Applicant shall obtain a permit to install the OWTS from EHB.

13. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the HCD -Planning Department and any other appropriate County Departments. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall contact HCD -Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities. The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. HCD -Planning staff shall be responsible for identifying and notifying other County Departments that should attend the meeting (if applicable).

14. PD022(A) - EASEMENT-CONSERVATION & SCENIC

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the County over those portions of the property where all ESHA, including areas proposed for restoration by the PLN210348, undeveloped slopes in excess of 30%, and portions of the property within the critical viewshed exist. The easement shall be developed in consultation with certified professionals. An easement deed shall be submitted to, reviewed and approved by, the Director of HCD - Planning and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to the issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: A qualified biologist shall review the easement area to verify that the area includes all ESHA, including areas proposed for restoration by the PLN210348 project. The Owner/Applicant shall install flagging on the perimeter of the easement area so HCD staff can verify it includes the portions of the property within the critical viewshed. The Owner/Applicant shall contact the project planner to schedule a site visit once the flagging is in place and plat/legal descriptions are submitted for review.

Prior to the issuance or grading or building permits, the Owner/Applicant shall submit the scenic easement deed and corresponding map showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, and biologist's verification letter to the HCD-Planning Department for review and approval.

Prior to the issuance or grading or building permits, the Owner/Applicant shall submit a signed and notarized Subordination Agreement, if required, to HCD- Planning for review and approval.

Prior to the commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD - Planning.

15. PDSP002: COASTAL HAZARDS DEED RESTRICTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: In accordance with Big Sur Coast Land Use Plan Hazards Policy 3.7.2.4, the owner shall record a deed restriction on the property describing the nature of the property's hazards (Coastal Hazards, including but not limited to waves, storms, flooding, landslide, shoreline retreat, erosion, and earth movement, many of which will worsen with future sea level rise) and long-term maintenance requirements. This deed restriction shall also ensure consistency with Policy 3.9.1.1, that bluff top setbacks for development be adequate to avoid the need for sea walls during development's economic lifespan. The deed restriction shall refer to Geological Report prepared for this site by Easton Geology, Inc. (Oct 28, 2022, HCD-Planning Library Doc. No. LIB220371) and include the following sections:

Assumed Risks. To assume all risks to the Permittee and the properties that are the subject of this permit of injury and damage from such hazards in connection with this permitted development.

Liability Waiver. To unconditionally waive any claim of damage or liability against the California Coastal Commission & the County of Monterey, and their officers, agents, and employees for injury or damage from such hazards.

Indemnification. To indemnify and hold harmless the California Coastal Commission & the County of Monterey, and their officers, agents, and employees with respect to the County's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards. This indemnification obligation is imposed by Condition No. 19. Property owner understands and agrees that both indemnification obligations shall be memorialized in the indemnification agreement.

Permittee Responsible. That any adverse effects to property caused by the permitted project shall be fully the responsibility of the Permittee.

Shoreline Armoring Prohibited. That no shoreline armoring shall ever be constructed to protect the development approved pursuant to this CDP, including in the event that the development is threatened with damage or destruction from coastal hazards in the future.

Waiver of Rights to Construct Armoring. The Permittee hereby waives, on behalf of itself and all successors and assigns, any rights to construct such armoring that may exist under applicable law."

(HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, owner/applicant shall record a coastal hazards deed restriction, and provide HCD-Planning with evidence that it has been recorded. Such evidence shall be in the form of a copy of the recorded document with the recorders seal.

16. PDSP001: FINAL RESTORATION PLAN/LANDSCAPING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The parcel includes some intact areas of coastal scrub and areas of highly disturbed coastal scrub of various sub-communities, as indicated in the project Biological Report (Pat Regan, revision dated March 24, 2025, HCD-Planning Library Document No. LIB240077). Development is anticipated to directly impact the highly disturbed coastal scrub areas (a portion of the approx. 11,116 sq. ft. of new development area). The project includes a proposed Restoration Plan which was reviewed as part of the decision on Planning Commission Reso. No. ---.

The draft Restoration Plan was found acceptable in concept, as it will restore approx. 25,076 sq. ft. of the parcel to native coastal scrub consistent with the existing habitat on the parcel, a ratio of 1:2.5 impact to restoration. A draft Landscape Plan was submitted prior to the project hearing which includes habitat protection fencing which was found acceptable but other elements of the plan require update to match the Restoration Plan. Therefore, Applicant/Owner shall cause a final Restoration Plan and integrated Landscape Plan to be prepared.

LUP Policy 3.3.2.4 requires the removal of indigenous vegetation and land disturbance (grading, excavation, paving, etc.) associated with development within environmentally sensitive habitats to be limited to that needed for the structural improvements themselves. To comply with this policy, during project review, a design for habitat fencing was proposed by the project Biologist, reviewed by HCD-Planning and California Coastal Commission staff, and found sufficient to protect the indigenous vegetation. The proposed habitat fencing shown in the plans attached to Planning Commission Resolution No. ---- shall be installed as designed, with the habitat area and coastal bluff areas on the outside of development. The project biologist shall oversee the installation of the protective fencing. The protective fencing shall be in place prior to the Preconstruction Meeting (Cond. No. 13) and prior to issuance of construction permits. Photographic evidence of the installed fencing shall be submitted to HCD-Planning prior to demolition permit issuance. Throughout all phases of demolition and construction, the contractor shall maintain, and improve as necessary, the fencing in the same location. Prior to final inspection of grading and/or construction permits from Building Services, the Applicant/Owner shall demonstrate to HCD-Planning that the protective fencing remained intact.

The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. Any landscaping on the saddle below the development shall be low-profile plants that would not block ocean views. New trees shall not block ocean views from Highway 1 or the turnouts from which the parcel is visible.

The landscaping plan shall include current Fire Fuel Management requirements and shall comply with County's Fuel Management Plan design standards.

The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. The Restoration Plan/Landscape Plan shall be reviewed by HCD-Planning for approval prior to issuance of construction permits. There shall be three years of monitoring.

(HCD-Planning)

Compliance or Monitoring Action to be Performed:	<p>Prior to issuance of construction permits submit restoration and landscape plans to HCD-Planning for review and approval.</p> <p>Prior to construction final, submit photographic evidence and restoration professional's written report that the restoration plan is underway in full compliance with the final Restoration Plan. Also prior to final, submit photographic evidence of all landscaped areas. If required, Applicant/Owner shall schedule a site inspection by staff at HCD-Planning.</p> <p>All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>
---	--

17. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

18. PD014(C) - LIGHTING-EXTERIOR LIGHTING PLAN (BIG SUR)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, compatible with the local area, and constructed or located so that only intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from critical viewshed viewing areas as defined in Section 20.145.020.V, are prohibited. Glass proposed in the design, if left untreated, may also produce glare. Therefore, windows and glass shall be effectively glazed or treated with anti-glare treatments.

The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate location, type, and wattage of all light fixtures and include catalog sheets for each fixture and all glass treatments. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan and type/treatment of windows and glass shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans and windows/glass specifications to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting, windows and glass have been installed according to the approved plan and specifications.

On an on-going basis, the Owner/Applicant shall ensure that the lighting and window/glass are installed and maintained in accordance with the approved plan.

19. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

20. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A geological report was prepared for the PLN210348 project by Gregory Easton on October 2, 2023 with update memo dated May 8, 2025, and they are on file in HCD-Planning Library as Document No. LIB220371).
A geotechnical report was prepared for the PLN210348 project by Yvette Wilson and John Buringa on October 28, 2022 with addendum by Yvette Wilson dated May 8, 2025, and they are on file in HCD-Planning Library as Document No. LIB220372. All development shall be in accordance with these reports."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

NAIK-DESAI RESIDENCE

36240 & 36242 Highway 1
Carmel, California 93923

PROJECT DESCRIPTION

DEMOLITION OF EXISTING SINGLE FAMILY DWELLING. CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS, 4 FULL BATHS, 1 HALF BATH & ATTACHED 4 CAR GARAGE, CONSISTING OF 4,333 S.F. LIVING SPACE, 775 S.F. GARAGE & 1,498 BASEMENT GARAGE / MECHANICAL. CONSTRUCTION OF NEW DETACHED SINGLE STORY 798 S.F. ADU.

PROJECT ADDRESS: 36240 & 36242 CA-1, CARMEL, CA 93940

ASSESSOR'S PARCEL NUMBER: 243-251-011-000

EXISTING DATA

FAR	2,861 S.F.	= 2.3 %
BUILDING SITE COVERAGE	9,335 S.F.	= 2.6 %

MAIN RESIDENCE:	ALLOWED	EXISTING
FRONT SETBACK:	30.0'	46'-9"
REAR SETBACK:	20.0'	N/A
NORTH SIDE SETBACK:	20.0'	185'-9"
EAST SIDE SETBACK:	20.0'	37'-9"
SOUTH SIDE SETBACK:	20.0'	185'-3"

UTILITIES

- | | |
|---------------------------|------------------------|
| 1. WATER: | CAL-AM |
| 2. ELECTRICAL AND GAS: | PACIFIC GAS & ELECTRIC |
| 3. SANITARY SEWER SYSTEM: | PRIVATE SEPTIC SYSTEM |

TREE REMOVAL

REMOVAL OF (2) CYPRESS TREES (27" & 11" DIAMETER).

REMOVAL OF (1) ORNAMENTAL TREE (16" DIAMETER).

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED

2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.

3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.

4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

PROJECT DATA

LOT SIZE:	2.9 ACRES (126,324 S.F.)
BUILDING HEIGHT:	ALLOWABLE 14' MAX.
ZONING:	RDR/40-D(14)(CZ)

MAIN RESIDENCE:	ALLOWED	PROPOSED
FRONT SETBACK:	30.0'	50'-3"
REAR SETBACK:	20.0'	N/A
NORTH SIDE SETBACK:	20.0'	163'-6"
EAST SIDE SETBACK:	20.0'	34'-5"
SOUTH SIDE SETBACK:	20.0'	117'-10"

MAX. HEIGHT:	14.0'	9'-6"
--------------------	-------	-------

DISTANCE BETWEEN STRUCTURES:	10.0'	10'-0"
------------------------------------	-------	--------

ADU:		
FRONT SETBACK:	50.0'	63'-3"
REAR SETBACK:	6.0'	N/A
NORTH (SIDE) SETBACK:	6.0'	130'-1"
EAST (SIDE) SETBACK:	6.0'	23'-2"
SOUTH (SIDE) SETBACK:	6.0'	246'-7"
MAX. HEIGHT:	16.0'	6'-0"

PROPOSED MAIN RESIDENCE FLOOR AREA RATIO			
MAIN LEVEL (LIVABLE)	4,333 S.F.		
GARAGE	775 S.F.		
TOTAL	5,108 S.F.	= 4 %	
BASEMENT GARAGE / MECHANICAL	1,498 S.F.		
TOTAL	6,606 S.F.	= 5.2 %	

PROPOSED ADU FLOOR AREA RATIO			
FIRST FLOOR LEVEL (LIVABLE)	TOTAL	798 S.F.	= 0.6 %
MECHANICAL	333 S.F.		
TOTAL	1,131 S.F.	= 1.0 %	

ALLOWABLE BUILDING SITE COVERAGE = 25% = 9,158 S.F.

BUILDING SITE COVERAGE			
MAIN BUILDING SITE COVERAGE	6,461 S.F.	= 5.1 %	
ADU BUILDING SITE COVERAGE	1,131 S.F.	= 1.0 %	
TOTAL	7,592 S.F.	= 6.1 %	

SITE COVERAGE			
MAIN RESIDENCE RETAINING WALLS	278 S.F.		
MAIN RESIDENCE PATIOS	908 S.F.		
MAIN RESIDENCE UTILITY ENCLOSURE	113 S.F.		
MAIN RESIDENCE AUTOCOURT / ENTRY	1,425 S.F.		
MAIN RESIDENCE DRIVEWAY	1,893 S.F.		
MAIN RESIDENCE STAIR	184 S.F.		
	4,801 S.F.		
ADU STAIR & LANDINGS	122 S.F.		
ADU RETAINING WALLS	92 S.F.		
ADU PATIO	664 S.F.		
	878 S.F.		
TOTAL	5,679 S.F.	= 4.5 %	

PROJECT TEAM

OWNER:	KRIMSON COAST HOLDINGS RUPA DESAI & DEVANS NAIK 1504 LAURELWOOD CROSSING TERRACE SAN JOSE, CA 95138
--------	--

ARCHITECT:	ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE, MONTEREY, CA 93940 PH: (831) 372-0410 CONTACT: CARLA HASHIMOTO
------------	---

SURVEYOR:	RASMUSSEN LAND SURVEYING, INC. 2150 GARDEN ROAD, SUITE A-3 MONTEREY, CA 93940 PH: (831) 375-7240 FAX: (831) 375-2545
-----------	--

CIVIL:	L&S ENGINEERING AND SURVEYING 2460 GARDEN ROAD, SUITE 6 MONTEREY, CA 93940 PH: (831) 655-2723 FAX: (831) 655-3425 CONTACT: MARK STERNER
--------	--

GEOTECHNICAL:	ROCK SOLID ENGINEERING 1100 MAIN STREET, SUITE A WATSONVILLE, CALIFORNIA 95076 PH: (831) 724-5868 CONTACT: YVETTE WILSON
---------------	--

GEOLOGY:	EASTON GEOLOGY P.O. BOX 35333 SANTA CRUZ, CALIFORNIA 95063 PH: (831) 247-4317 CONTACT: GREG EASTON
----------	--

ARBORIST:	F.O. CONSULTING 1215 MILES AVENUE PACIFIC GROVE, CA 93950 PH: (831) 373-7086 CONTACT: FRANK ONO
-----------	---

BIOLOGIST	PAT RESAN 8 ALISO ROAD CARMEL VALLEY, CA 93924 PH: (831) 747-7756
-----------	--

ARCHAEOLOGY:	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE MARINA, CA 93933 PH: (831) 282-2300
--------------	--

HISTORIC:	ANTHONY KIRK, PH.D 2644 STATE STREET, NO. 22 SANTA BARBARA, CA 93105 PH: (831) 831-2929
-----------	--

LANDSCAPE:	HALL LANDSCAPE DESIGN 582 LIGHTHOUSE AVE, SUITES 3+4 PACIFIC GROVE, CA 93950 PH: (831) 401-0150
------------	--

SHEET INDEX

ARCHITECTURAL:

A-0.1 TITLE SHEET

1 of 1
A-1.1 TOPOGRAPHIC SURVEY
A-1.2 PROPOSED SITE PLAN
A-1.3 ENLARGED SITE PLAN
A-1.4 SITE PLAN OVERLAY DIAGRAM
A-1.5 SLOPE ANALYSIS DIAGRAM
A-1.6 DEVELOPMENT ANALYSIS DIAGRAM
A-1.7 RETAINING WALLS-ADU/GARAGE
RETAINING WALLS-MAIN HOUSE

A-2.0 ADU AND GARAGE / BASEMENT FLOOR PLAN
A-2.1 MAIN LEVEL FLOOR PLAN
A-2.2 ROOF PLAN

A-3.1 EAST & NORTH EXTERIOR ELEVATIONS
A-3.2 WEST & SOUTH EXTERIOR ELEVATIONS
A-3.3 ADU EXTERIOR ELEVATIONS
A-3.4 SITE SECTION
A-3.5 INTERPOLATED SLOPE

A-7.1 MATERIAL COLOR SAMPLES
A-7.2 RENDERINGS

CIVIL:

C1 SITE DEMOLITION PLAN
C2 TOPOGRAPHY SLOPE MAP
C3 SITE GRADING PLAN
C4 DRIVEWAY PROFILES & SITE CROSS SECTIONS
C5 SITE CROSS SECTIONS
C6 SITE DRAINAGE PLAN
C7 EROSION CONTROL PLAN
C8 CONSTRUCTION MANAGEMENT PLAN

ONSITE WASTE TREATMENT:

WW1 COVER SHEET
WW2 EXISTING SITE LAYOUT
WW3 WASTEWATER SYSTEM PLAN
WW4 WASTEWATER SYSTEM SCHEMATIC AND DETAILS
WW5 WASTEWATER SYSTEM SPECIFICATIONS

LANDSCAPE:

L-1 INDEX SHEET
L-2 LAYOUT ZONES PLANT + MATERIALS
L-3 FIRE PROTECTION PLAN
L-4 ARBORIST SURVEY
L-5 TREE PROTECTION PLAN
L-6 LIGHTING PLAN
L-7 IRRIGATION PRELIM. PLAN
L-8 HABITAT EXISTING PLANT ZONES
L-9 HABITAT PLANTING
L-10 PLANTING PLAN
L-11 PLANTING PLAN ROOF & SECTIONS
L-12 INITIAL RESTORATION & LIGHTING SPECS

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COVER SHEET

JOB NAME:
Naik-Desai Residence
36240 & 36242 CA Highway 1
Monterey, CA 93940
A.P.N. 243-251-011-000

DATE: 11/11/2025

SCALE: N.T.S.

DRAWN: HRM

JOB NUMBER: 2114

A-0.1
SHEET OF

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

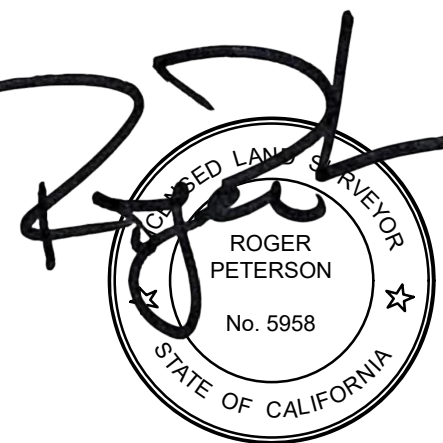
A.G.S. - above ground surface
A.S.O. - as shown on
AP - angle point
BC - brass cap or begin curve
BP - backflow preventer
B.G.S. - below ground surface
BOC - back of curb
COR - corner
CP - control point
CTL - CONTROL
DOC - document
ENG (ENGR - engineer
D/FIND - found
F.T.C. - from true corner
I.P. - iron pipe
L&T - lead & tag
LS - land surveyor
M-T - MAG NAIL & tag
MAG - MAG NAIL
MKD - marked
MON - monument
N-T - nail & tag
N.R.F. - no reference found
N.S.F. - not searched for
N.R.F. - Official Records, Monterey
Community
O.U. - origin unknown
POL - point on line
REG - registered civil engineer
RWE - right of way
S.F.N.F. - searched for, not found
SPIK - spike
STA - station (control point)
TBM - temporary benchmark

- AC - asphalt concrete
- AD - area drain
- AL - area light
- BLD/BLDG - building
- BLDR(S) - boulder(s)
- BR - back of curb
- BRK - brick
- BTM/BOT - bottom
- BW - back of sidewalk
- CF - curb face
- CHIM - chimney
- CL - centerline
- CUM - column
- CONC - concrete
- D - dirt
- DG - decomposed granite
- DK - deck
- DW - driveway
- EA - exposed aggregate concrete
- ENC - enclosure
- EP - edge of paving
- FF - finished floor
- FF-THRESH - finished floor threshold

FH - fire hydrant
 FL - flow line
 FL-NG - flow line natural grade
 FNC - fence
 FNC-BRD - board fence
 FNC-BW - barbed wire fence
 FNC-CL - chain-link fence
 FNC-G - grapestone fence
 FNC-HW - hogwire fence
 FNC-I - iron fence
 FNC-LAT - lattice fence
 FNC-PR - post & rail fence
 FNC-WD - wood fence
 FNC-WI - wrought iron fence
 FNC-WR - wire fence
 FOB - base of building
 FOW - face of wall
 FS - finished surface
 FG - footing
 FW - front of sidewalk
 GAR - garage
 GB - grade break
 GUT - edge of gutter
 GUYA - guy anchor
 GUYP - guy pole
 GVL - gravel
 HC - handicap
 HDG - hedge
 HRAIL - hand rail
 INT - intersection
 LNDG - landing
 LP - edge of conc gutter
 MB - mailbox
 MT - metal
 NG - natural grade
 P - pool
 PLTR - planter
 PTO - patio
 PVR - paver
 RD - road
 RDG - ridge
 ROOF-P - roof peak
 ROOF-R - roof ridge
 STC - stucco
 STN - stone
 STP - step
 STRP - stripe
 SW - sidewalk
 SWL - swale
 TC - top of curb
 TOP - top of slope
 TOE - toe of slope
 TW/TOW - top of wall
 WALL-AB - Allen Block wall
 WALL-CMU - concrete masonry
 WALL-CST - Carmel stone wall
 WALL-DSTN - dry stack stone wall
 WALL-RR - rille wall
 WALL-STC - stucco wall
 WLK - sidewalk

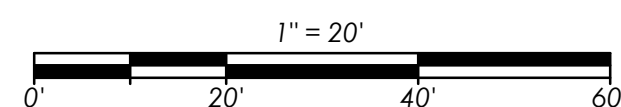
CATV - cable tv
 COMM - communications
 CO or C/O - clean out
 DDCV - double detector check valve
 ELEC - electric
 EM - electric meter
 EO - electric outlet
 GM - gas meter
 GV - gas valve
 HB - hose bib
 ICV - irrigation control valve
 IRR - irrigation
 JP - joint utility pole
 LT - light
 LT-STD - light standard/pole
 PB - utility pull box
 PB-2 - unmarked pull box
 PF-BL - PINK FLAG
 PF-B - blue pin flag
 PF-G - green pin flag
 PF-O - orange pin flag
 PF-P - pink pin flag
 PF-PL - purple pin flag
 PF-R - red pin flag
 PF-W - white pin flag
 PF-Y - yellow pin flag
 PM - paint mark
 PM-B - blue PM (water)
 PM-G - green PM (sewer)
 PM-O - orange PM (gas)
 PM-P - pink PM (unknown facilities)
 PM-PL - purple PM (reclaimed water/irrigation)
 PM-R - red PM (elec.)
 PM-W - white paint mark
 PM-Y - yellow PM (gas)
 PP - power pole
 PVR - paver
 SCO - sewer clean out
 SDMH - storm drain manhole
 SSMH - sanitary sewer manhole
 STL - street light
 STN - stone
 TELCO - telephone
 TG - top of drain grate
 UP - utility pole
 UTIL - utility
 VLT - vault
 VLT-GTE - GTE vault
 VLT-PB - PacBell vault
 VLT-PGE - PG&E vault
 VLT-TELCO - tele-communications vault
 VLT-UMK - vault
 VLT-VRZ - Verizon vault
 WD - wood
 WL - water line
 WM - water meter
 WV - water valve

Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545



February 2013 - Original Survey
October 2021 - Topographic Survey Update
October 2023 - Additional Topographic Update (Cypress groves located)
August 2024 - Boundary revised to reflect Lot Line Adjustment with northerly neighbor.

Sheet 1 of 1



This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

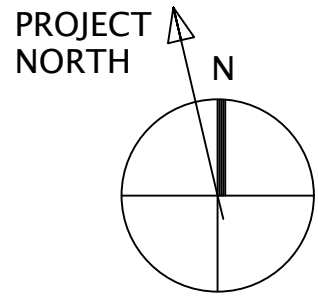
Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Plotted On: 8/12/2024 3:55 PM File Name: G:\Shared drives\Civil 3D Projects 2020-2029\2021 Projects\2021-063 Krimson Coast.dwg\Topo Survey REVISED 10-20-2023 - 36240 Highway 1 2021-063 Krimson Coast.dwg

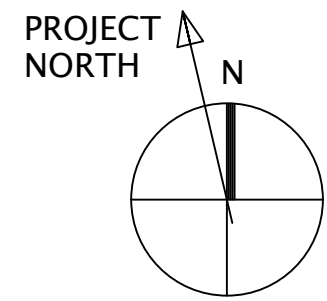
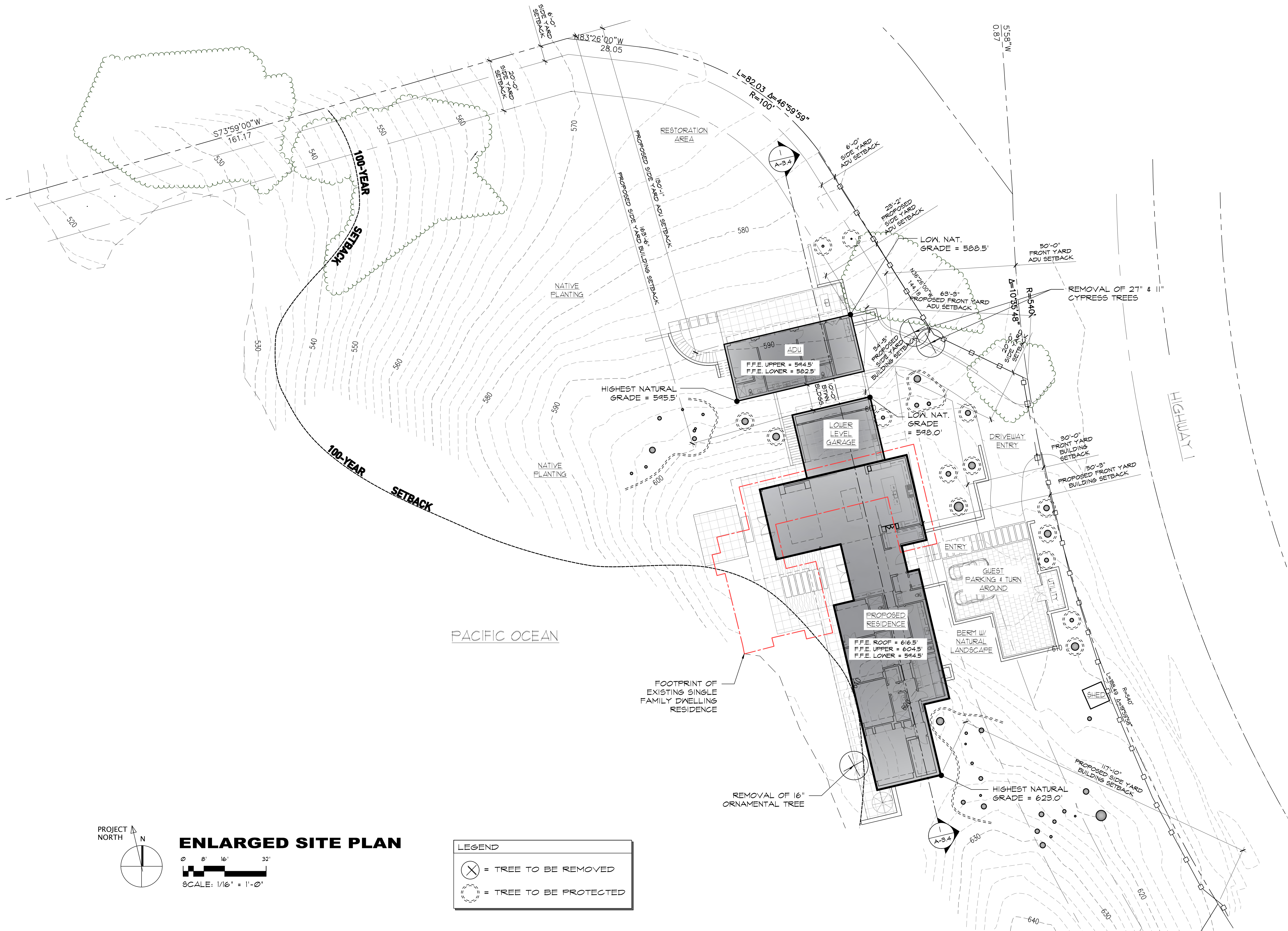


PROPOSED SITE PLAN

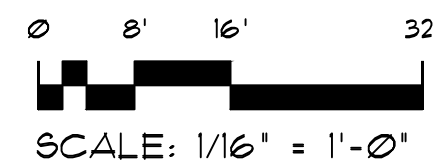


SCALE: 1/32' = 1'-0"



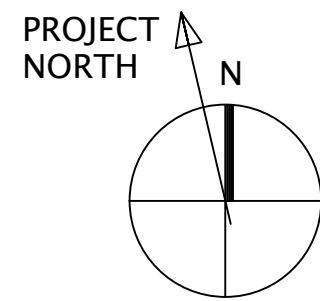
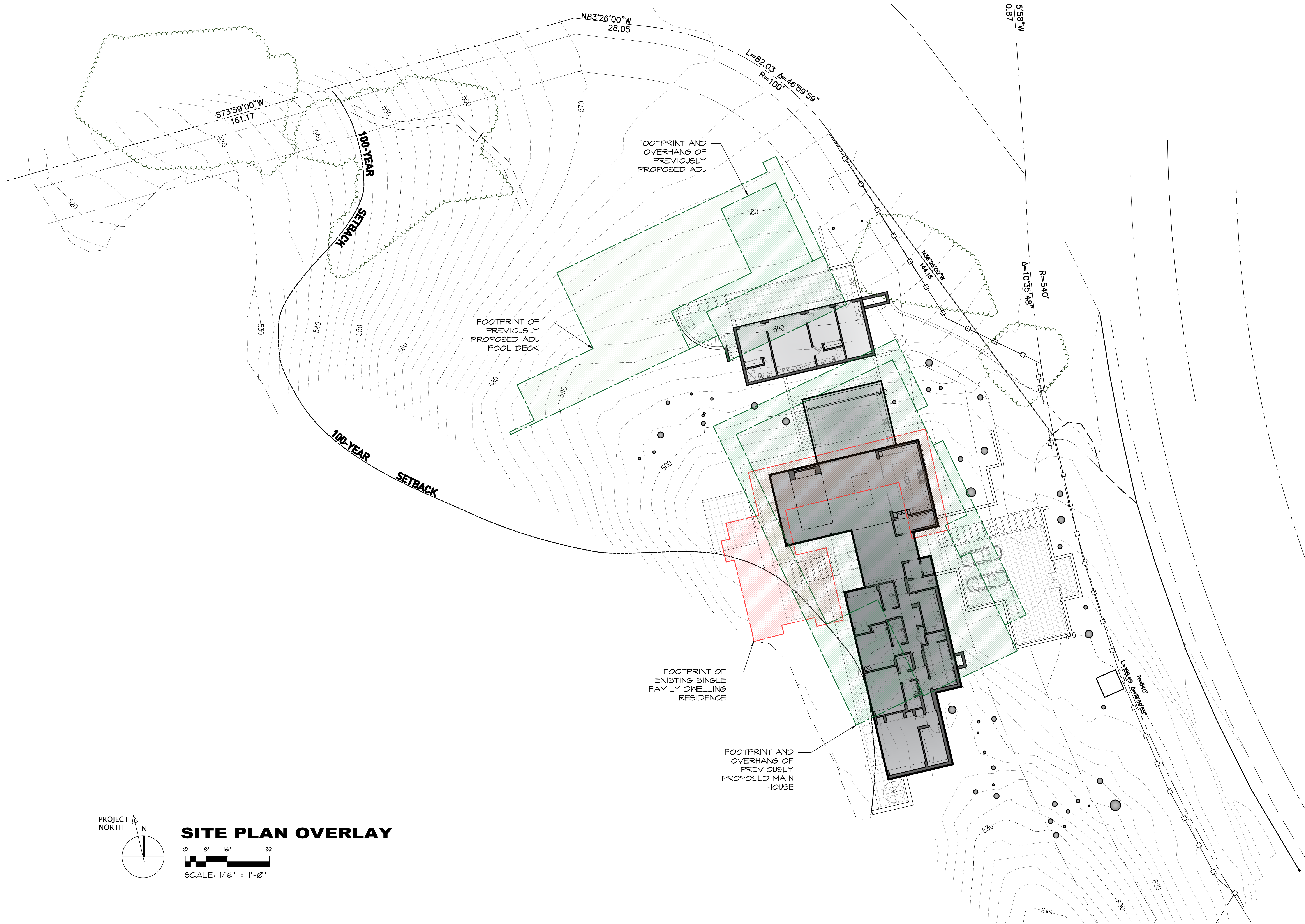


ENLARGED SITE PLAN

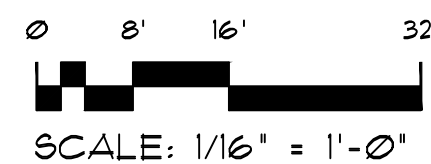


LEGEND	
	= TREE TO BE REMOVED
	= TREE TO BE PROTECTED

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372/840 • WEB: www.ericmillerarchitects.com		
Enlarged Site Plan		
JOB NAME: Naik-Desai Residence		
36240 & 36242 CA Highway 1		
Monterey, CA 93940		
A.P.N. 249-251-011-000		
DATE: 10/29/2025		
SCALE: 1/16" = 1'-0"		
DRAWN: HRM		
JOB NUMBER: 2114		
A-1.2		
SHEET OF		

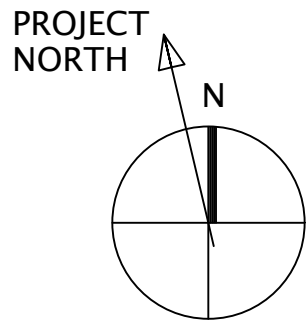


SITE PLAN OVERLAY



REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ERIC MILL		

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
<div>Proposed Site Plan</div> <div>JOB NAME: Naik-Desai Residence 36240 & 36242 CA Highway 1 Monterey, CA 93940 A.P.N. 243-251-011-000</div>		
DATE:	10/29/2025	
SCALE:	1/16" = 1'-0"	
DRAWN:	HRM	
JOB NUMBER:	21.14	
A-1.4		
SHEET OF		

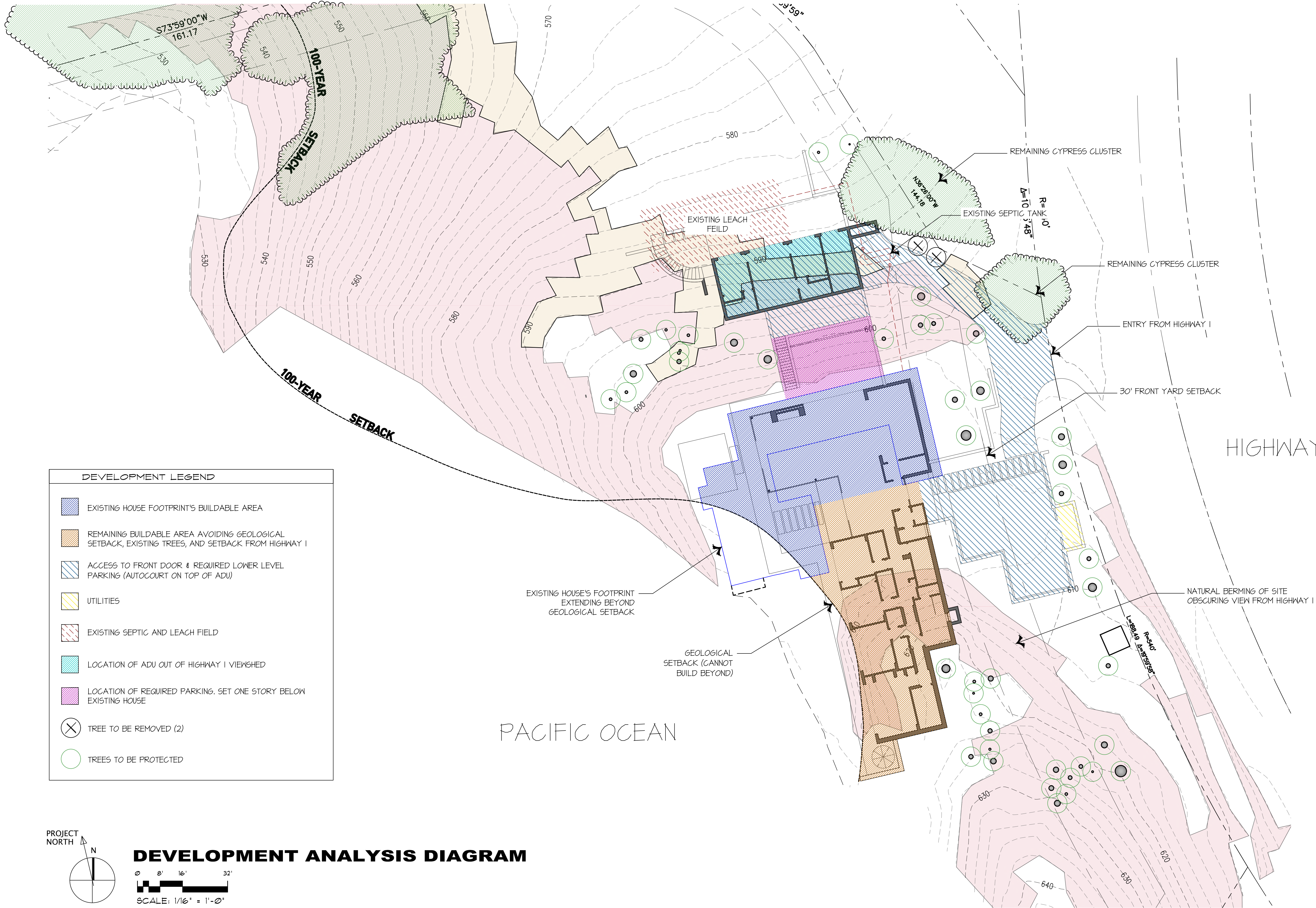


DEVELOPMENT ANALYSIS DIAGRAM

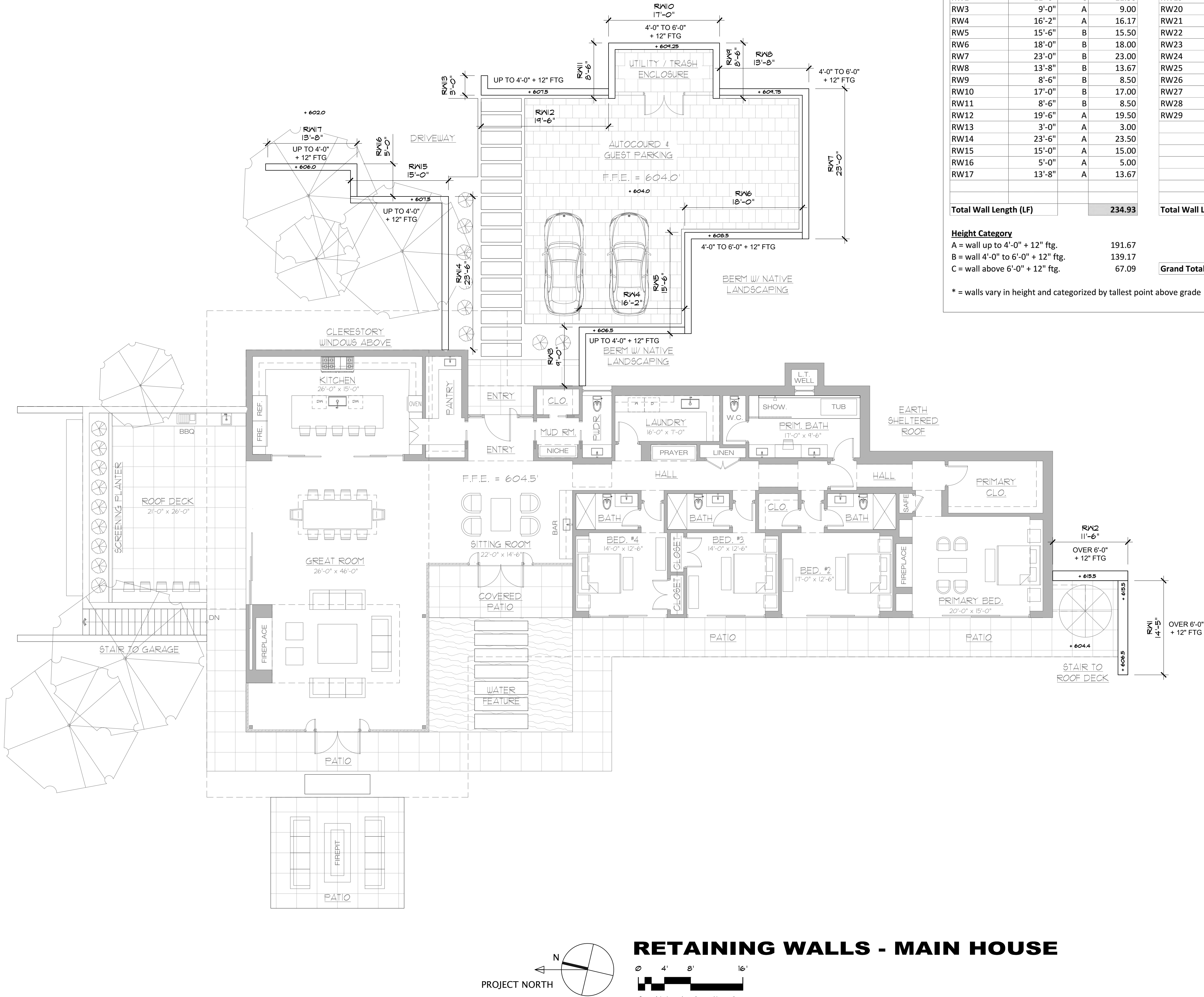
0 8' 16' 32'

SCALE: 1/16" = 1'-0"

DEVELOPMENT LEGEND	
	EXISTING HOUSE FOOTPRINT'S BUILDABLE AREA
	REMAINING BUILDABLE AREA AVOIDING GEOLOGICAL SETBACK, EXISTING TREES, AND SETBACK FROM HIGHWAY 1
	ACCESS TO FRONT DOOR & REQUIRED LOWER LEVEL PARKING (AUTOCOURT ON TOP OF ADU)
	UTILITIES
	EXISTING SEPTIC AND LEACH FIELD
	LOCATION OF ADU OUT OF HIGHWAY 1 VIEWSHED
	LOCATION OF REQUIRED PARKING. SET ONE STORY BELOW EXISTING HOUSE
	TREE TO BE REMOVED (2)
	TREES TO BE PROTECTED



REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
Development Analysis Diagram		
JOB NAME: Naik-Desai Residence		
36240 & 36242 CA Highway 1		
Monterey, CA 93940		
A.P.N. 249-251-011-000		
DATE: 10/29/2025		
SCALE: 1/16" = 1'-0"		
DRAWN: HRM		
JOB NUMBER: 2114		
A-1.5		
SHEET OF		



Desai #21.14
7/29/2025

Retaining Walls - Main House

Wall	Linear Feet	Height	Decimal
RW1	14'-5"	C*	14.42
RW2	11'-6"	C	11.50
RW3	9'-0"	A	9.00
RW4	16'-2"	A	16.17
RW5	15'-6"	B	15.50
RW6	18'-0"	B	18.00
RW7	23'-0"	B	23.00
RW8	13'-8"	B	13.67
RW9	8'-6"	B	8.50
RW10	17'-0"	B	17.00
RW11	8'-6"	B	8.50
RW12	19'-6"	A	19.50
RW13	3'-0"	A	3.00
RW14	23'-6"	A	23.50
RW15	15'-0"	A	15.00
RW16	5'-0"	A	5.00
RW17	13'-8"	A	13.67

Total Wall Length (LF)

234.93

Height Category

A = wall up to 4'-0" + 12" ftg.
B = wall 4'-0" to 6'-0" + 12" ftg.
C = wall above 6'-0" + 12" ftg.

191.67
139.17
67.09

* = walls vary in height and categorized by tallest point above grade

Retaining Walls - ADU/Garage Level

Wall	Linear Feet	Height	Decimal
RW18	6'-0"	A	6.00
RW19	10'-0"	A	10.00
RW20	18'-0"	C*	18.00
RW21	11'-0"	B	11.00
RW22	20'-4"	A	20.33
RW23	15'-6"	A	15.50
RW24	23'-2"	C*	23.17
RW25	9'-0"	A	9.00
RW26	14'-0"	B	14.00
RW27	10'-0"	B	10.00
RW28	16'-0"	A	16.00
RW29	10'-0"	A	10.00

Total Wall Length (LF)

163.00

Grand Total Wall Length (LF)

397.93

CONSULTANT:

ARCHITECT

Retaining Walls - Main House

Naik-Desai Residence
36240 & 36242 CA Highway I
Monterey, CA 93940
A.P.N. 243-251-011-000

DATE: 10/29/2025

SCALE: 1/8" = 1'-0"

DRAWN: JK

JOB NUMBER: 21.14

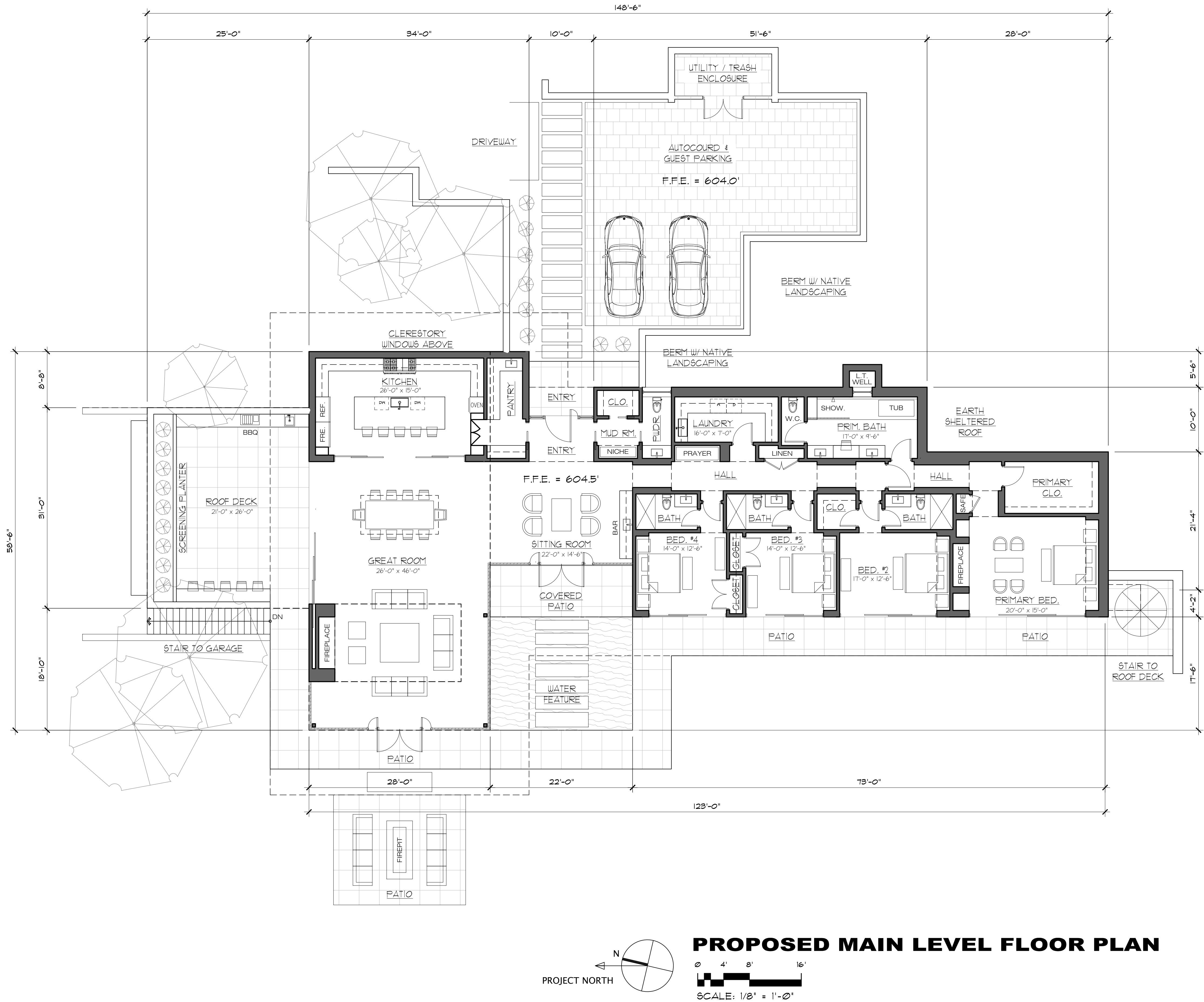
A1.6
SHEET OF

REVISION	No.

ERIC MILLER ARCHITECTS, INC.

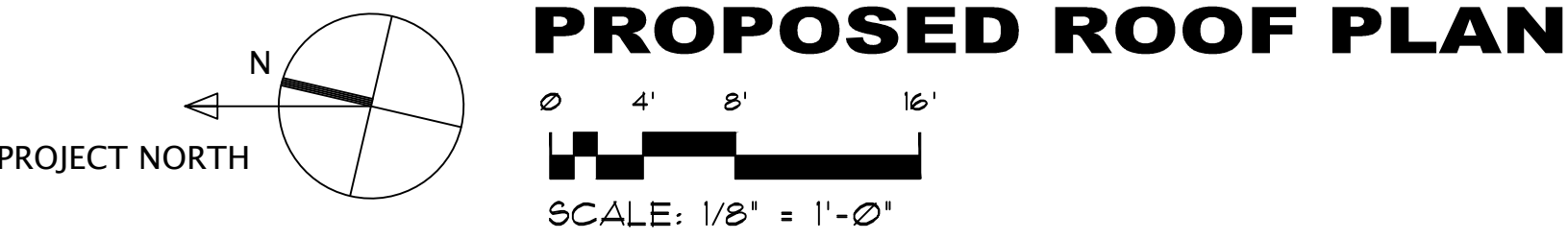
211 HOFFMAN AVENUE MONTEREY, CA 93940

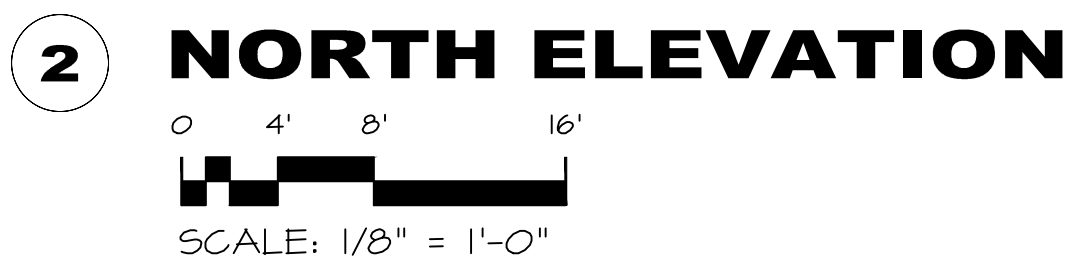
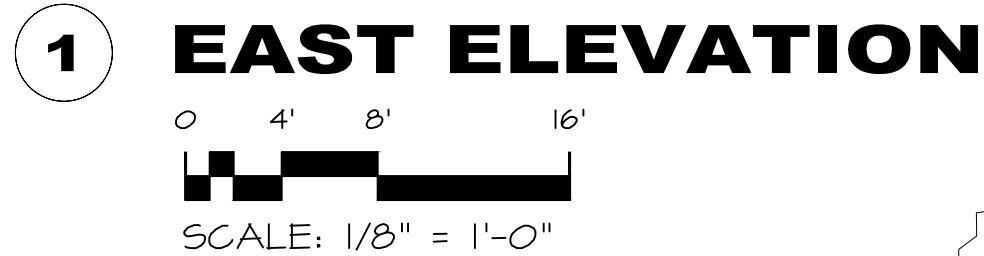
PHONE (831) 372-0410 • FAX (831) 372/840 • WEB: www.ericmillerarchitects.com



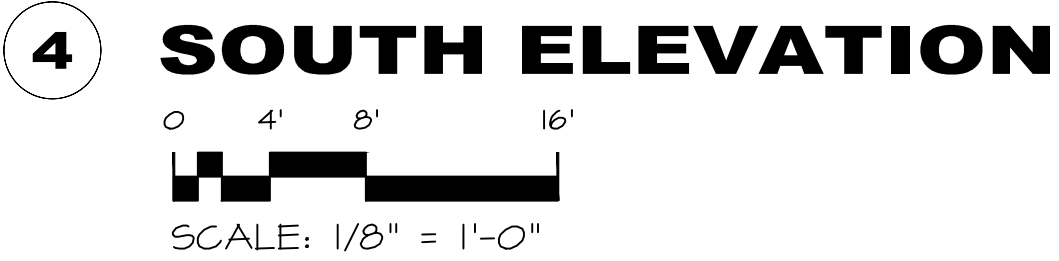
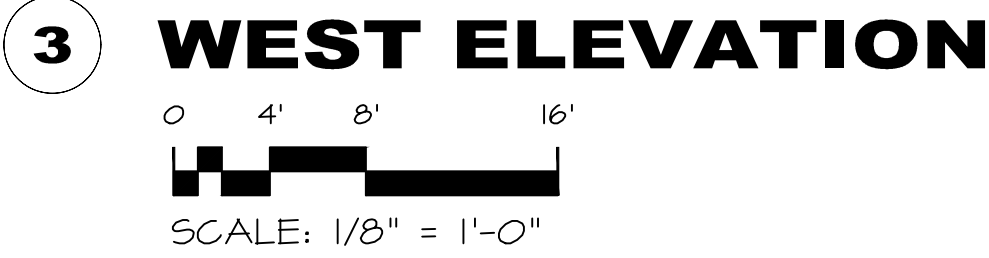
PROPOSED MAIN LEVEL FLOOR PLAN

REVISION		No.
CONSULTANT:		
ARCHITECT		<div>ERIC MILLER ARCHITECTS, INC.</div> <div>211 HOFFMAN AVENUE MONTEREY, CA 93940</div> <div>PHONE (831) 372-0410 • FAX (831) 372/840 • WEB: www.ericmillerarchitects.com</div>
Proposed First Floor Plan		<div>Naik-Desai Residence</div> <div>36240 & 36242 CA Highway 1</div> <div>Monterey, CA 93940</div> <div>A.P.N. 243-251-011-000</div>
DATE:		10/29/2025
SCALE:		1/8" = 1'-0"
DRAWN:		HRM
JOB NUMBER:		21.14
A-2.1		SHEET OF

[illegible]



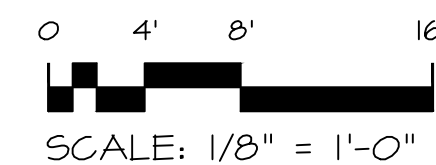
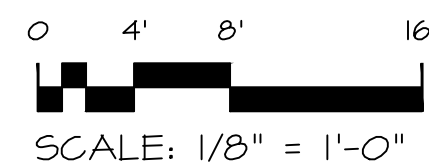
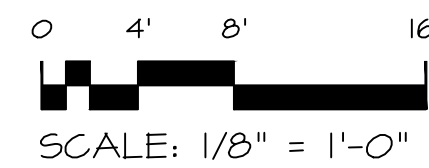
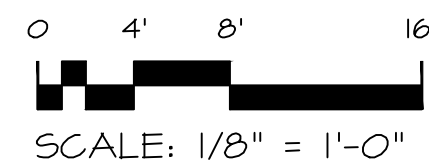
REVISION		No.	
CONSULTANT:		<div> <div>ARCHITECT</div> <div> <div>ERIC MILLER ARCHITECTS, INC.</div> <div> <div>211 HOFFMAN AVENUE</div> <div>MONTEREY, CA 93940</div> <div>PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</div> </div> </div> </div>	
EAST & NORTH ELEVATION		<div> <div>JOB NAME:</div> <div> <div>Naik-Desai Residence</div> <div>36240 & 36242 CA Highway 1</div> <div>Monterey, CA 93940</div> <div>A.P.N. 243-251-011-000</div> </div> </div>	
DATE:	10/29/2025		
SCALE:	1/8"=1'-0"		
DRAWN:	HRM, KJL		
JOB NUMBER:	21.14		
<div> <div>A3.1</div> <div>SHEET OF</div> </div>			

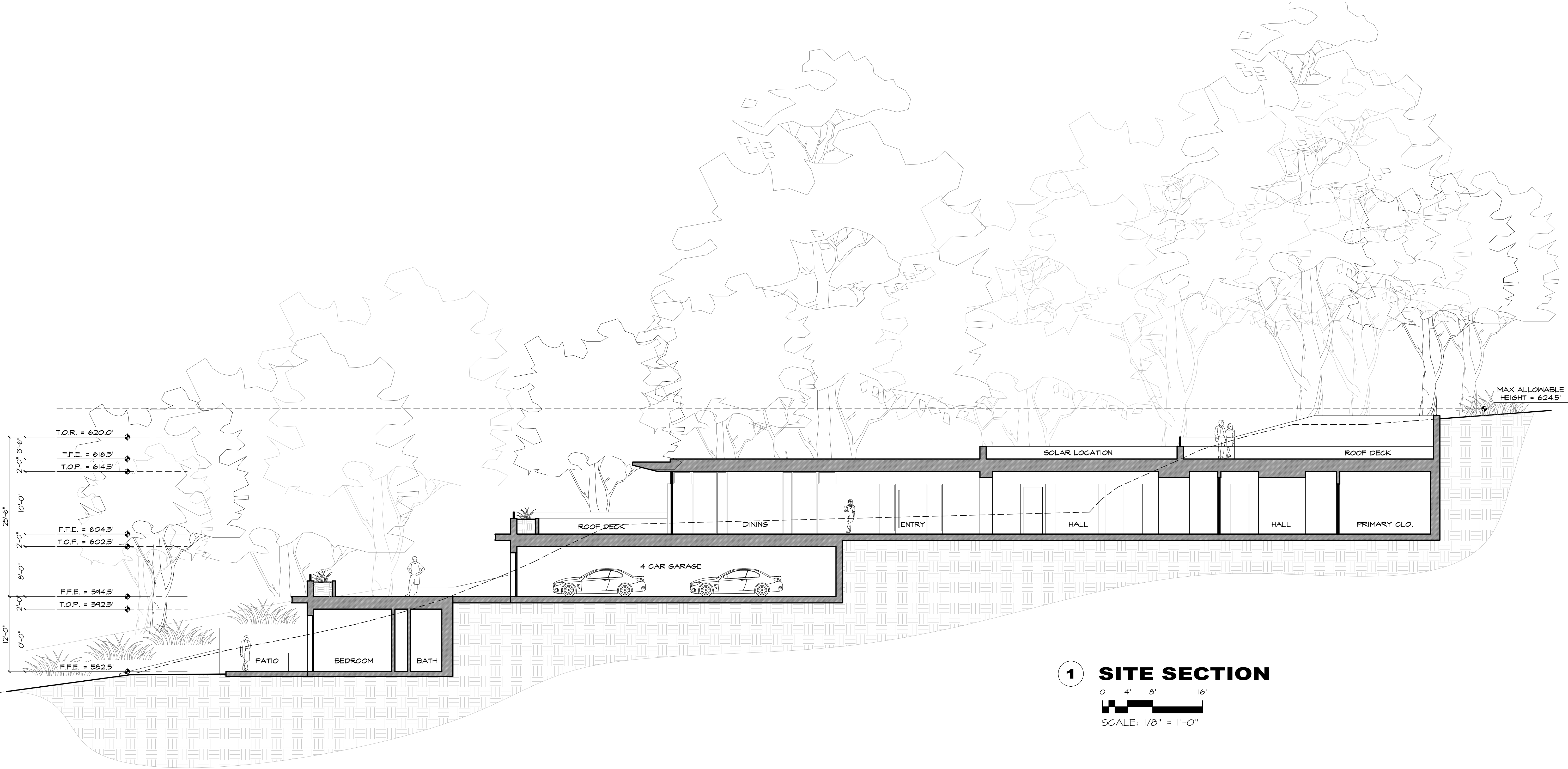


CHITECT

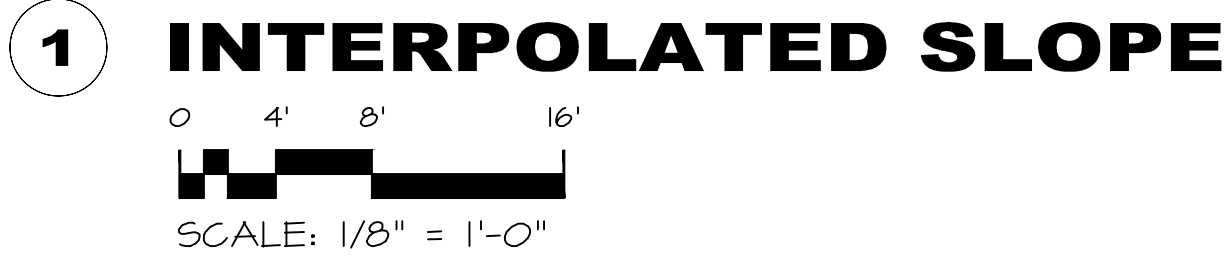
ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

[illegible]















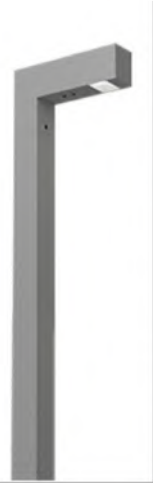





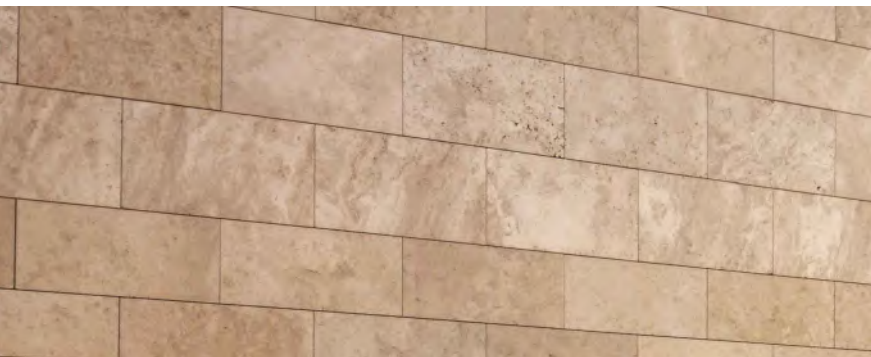



REVISION		No.
CONSULTANT:		
<div> <div>ARCHITECT</div> <div> <div>ERIC MILLER ARCHITECTS, INC.</div> <div> <div>211 HOFFMAN AVENUE</div> <div>MONTEREY, CA 93940</div> <div>PHONE (831) 372-0410 • FAX (831) 372/840 • WEB: www.ericmillerarchitects.com</div> </div> </div> </div>		
<div> <div>SITE SECTION</div> <div> <div>JOB NAME:</div> <div>Naik-Desai Residence</div> <div>36240 & 36242 CA Highway 1</div> <div>Monterey, CA 93940</div> <div>A.P.N. 249-251-011-000</div> </div> </div>		
DATE: 10/29/2025		
SCALE: 1/8"=1'-0"		
DRAWN: HRM, KJL		
JOB NUMBER: 21.14		
<div>A3.4</div> <div>SHEET OF</div>		



REVISION		No.	
CONSULTANT:			
<div> <div>ARCHITECT</div> <div> <div>ERIC MILLER ARCHITECTS, INC.</div> <div> <div>211 HOFFMAN AVENUE</div> <div>MONTEREY, CA 93940</div> <div>PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</div> </div> </div> </div>			
<div> <div>INTERPOLATED SLOPE</div> <div> <div>JOB NAME:</div> <div>Naik-Desai Residence</div> <div>36240 & 36242 CA Highway 1</div> <div>Monterey, CA 93940</div> <div>A.P.N. 243-251-011-000</div> </div> </div>			
DATE:		10/24/2025	
SCALE:		1/8"=1'-0"	
DRAWN:		HRM	
JOB NUMBER:		2114	
<div> <div>A3.5</div> <div>SHEET OF</div> </div>			

		REVISION	No.
		CONSULTANT:	
		ARCHITECT	
		ERIC MILLER ARCHITECTS, INC. <div><div></div><div></div><div></div><div></div></div>	
		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
		MATERIAL SAMPLES	
		JOB NAME: Naik-Desai Residence 36240 & 36242 CA Highway 1 Monterey, CA 93940 A.P.N. 249-251-011-000	
		DATE: 10/29/2025	
		SCALE: N.T.S.	
		DRAWN: HRM	
		JOB NUMBER: 2114	
		A7.1	
		SHEET OF	

<div><p>TRENCH GRATES - URBAN ACCESSORIES "FLOW" IN BRONZE</p><p>DRAIN COVER - URBAN ACCESSORIES "OFCB" IN BRONZE</p></div>	<div><p>BOARD FORMED DYED CONCRETE</p></div>	<div><p>EXTERIOR: TEAK; INTERIOR: WHITE OAK</p></div>	<div><p>RUBBER MEMBRANE ROOF SYSTEM</p></div>
10 DRAIN COVERS	7 CONCRETE	4 WOOD CEILING & SOFFIT	1 FLAT ROOF
<div><p>RECESSED DOWN LIGHT STAINLESS STEEL 7W LED</p><p>WALL SCONCE BRONZE BRUSHED 6.6W LED</p></div>	<div><p>MANUFACTURER : CARRIAGE HOUSE STYLE : "SAN MATEO" IN DOUGLAS FIR AND BRONZE</p></div>	<div><p>EXTERIOR FLOOR TILE SAMPLE COLOR: SILVERDALE MANUFACTURER: US STONE</p><p>COLOR: VERONA MANUFACTURER: BASALITE - ITALIAN RENAISSANCE</p></div>	<div><p>BLACKENED STEEL PIVOT DOOR</p><p>MINIMAL FRAME SLIDING GLASS DOOR</p><p>METAL FRAME WINDOWS</p></div>
11 EXTERIOR LIGHTING	8 GARAGE DOOR	5 STONE FLOOR & PAVERS	2 WINDOWS & DOORS
<div><p>PATH DOWNLIGHT STAINLESS STEEL FINISH 3W LED</p><p>WALL DOWNLIGHT STAINLESS STEEL FINISH 3W LED</p><p>DRIVEWAY SURFACE DOWNLIGHT STAINLESS STEEL FINISH 3W LED</p></div>	<div><p>FRAMELESS GLASS RAILING</p></div>	<div><p>EXTERIOR STEPS & FIRE PIT SAMPLE</p><p>EXTERIOR STEPPING STONE SAMPLE</p></div>	<div><p>SMOOTH STONE VENEER</p><p>SPLIT FACE STONE VENEER</p></div>
12 LANDSCAPE LIGHTING	9 GLASS RAILING	6 SITE WORK	3 STONE VENEER



FRONT ENTRY PERSPECTIVE



REAR PERSPECTIVE

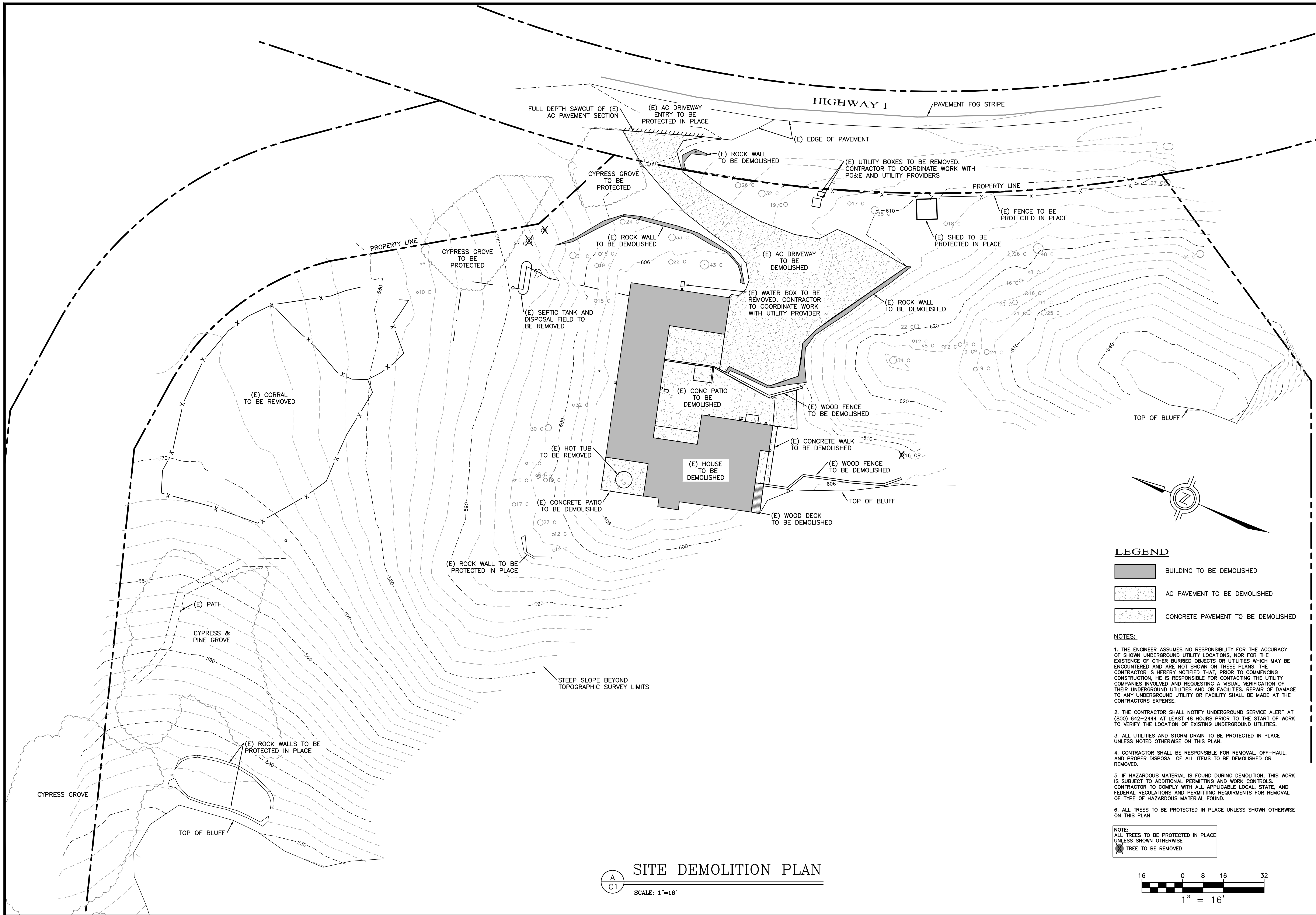


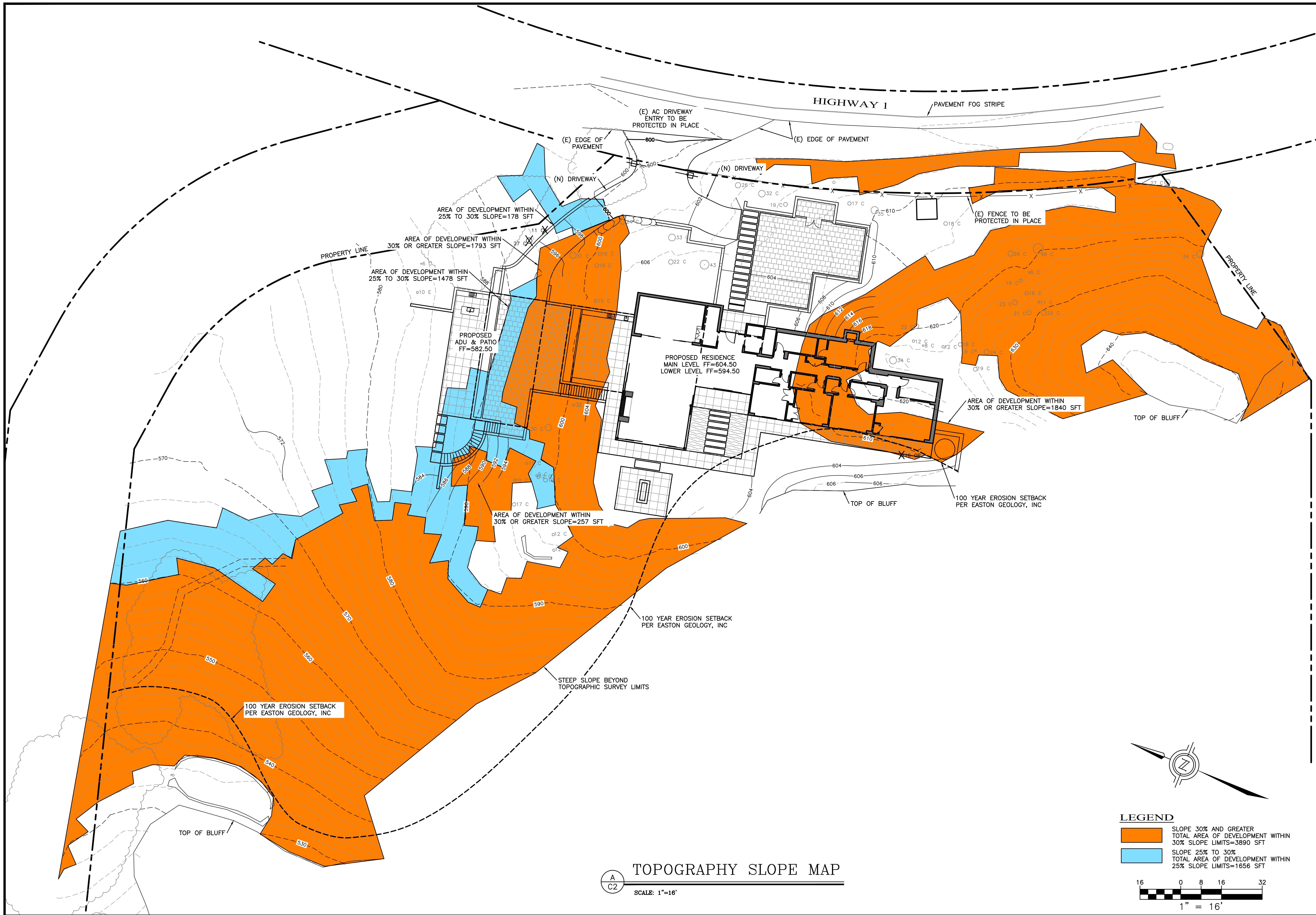
GARAGE PERSPECTIVE

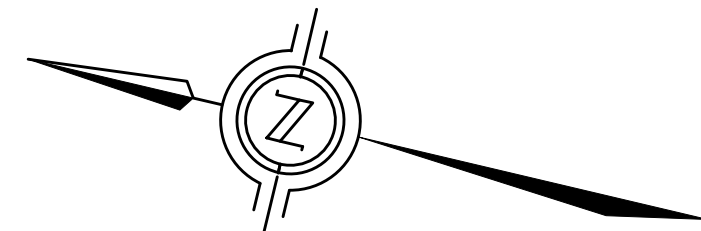


DETACHED ADU AND POOL PERSPECTIVE

REVISION		No.
CONSULTANT:		
ARCHITECT	<div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div>ERIC MILLER ARCHITECTS, INC.</div> <div>211 HOFFMAN AVENUE MONTEREY, CA 93940</div> <div>PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</div>	
	<div><div>RENDERINGS</div><div>JOB NAME:</div><div>Naik-Desai Residence</div><div>36240 & 36242 CA Highway 1</div><div>Monterey, CA 93940</div><div>A.P.N. 249-251-011-000</div></div>	
DATE:	10/29/2025	
SCALE:	N.T.S.	
DRAWN:	HRM	
JOB NUMBER:	21.14	
<div>A7.2</div> <div>SHEET OF</div>		



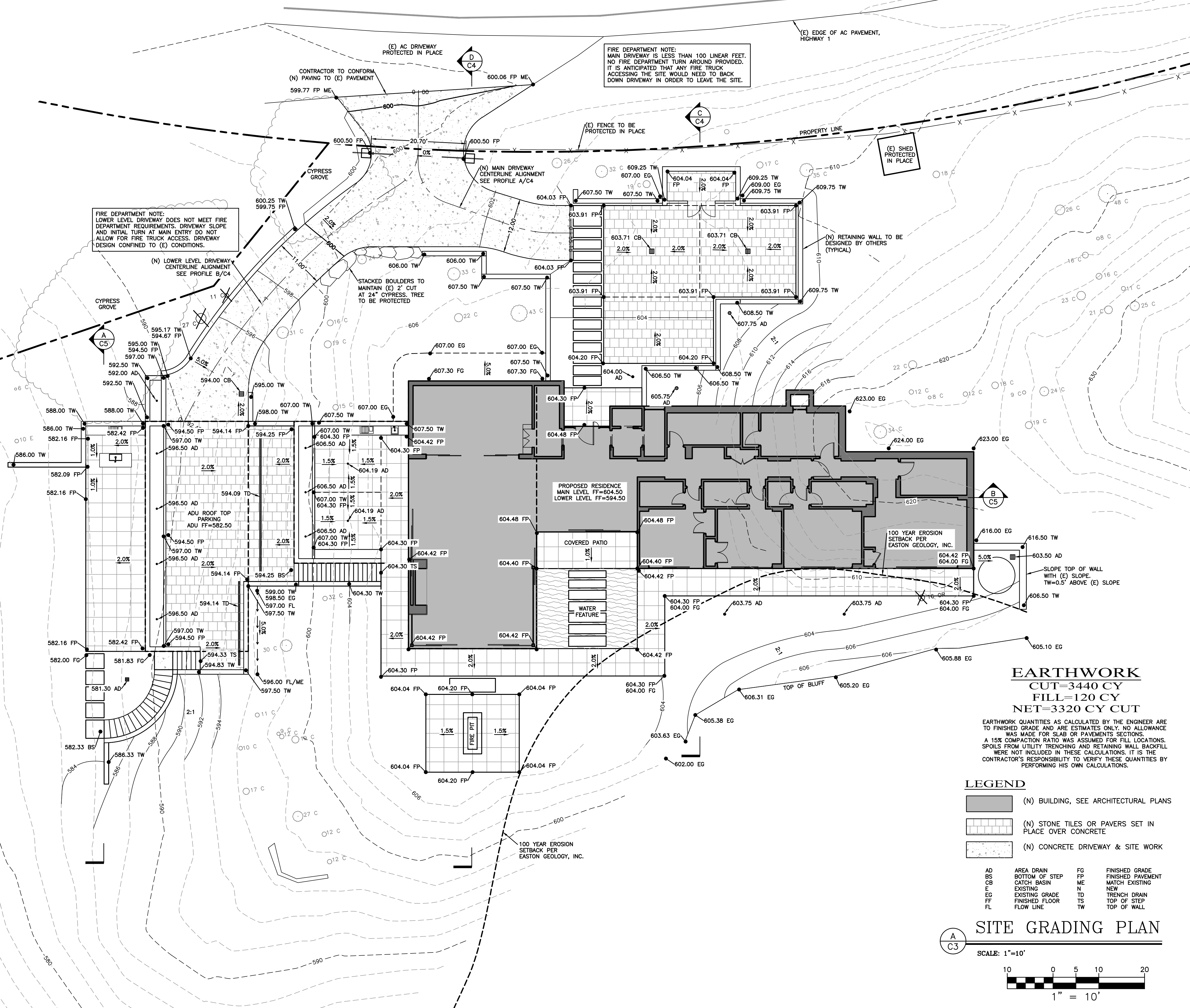




NOTE:
ALL TREES TO BE PROTECTED IN PLACE
UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

FIRE DEPARTMENT NOTE:
LOWER LEVEL DRIVEWAY DOES NOT MEET FIRE
DEPARTMENT REQUIREMENTS. DRIVEWAY SLOPE
AND INITIAL TURN AT MAIN ENTRY DO NOT
ALLOW FOR FIRE TRUCK ACCESS. DRIVEWAY
DESIGN CONFINED TO (E) CONDITIONS.

FIRE DEPARTMENT NOTE:
MAIN DRIVEWAY IS LESS THAN 100 LINEAR FEET.
NO FIRE DEPARTMENT TURN AROUND PROVIDED.
IT IS ANTICIPATED THAT ANY FIRE TRUCK
ACCESSING THE SITE WOULD NEED TO BACK
DOWN DRIVEWAY IN ORDER TO LEAVE THE SITE.



EARTHWORK
CUT=3440 CY
FILL=120 CY
NET=3320 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE
TO FINISHED GRADE AND ARE ESTIMATES ONLY. NO ALLOWANCE
WAS MADE FOR SLAB OR PAVEMENT SECTIONS.
A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS.
SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL
WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY
PERFORMING HIS OWN CALCULATIONS.

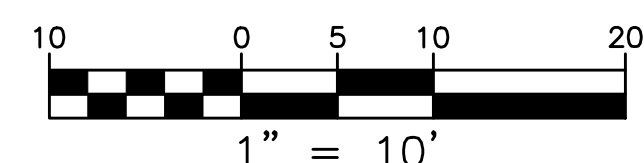
LEGEND

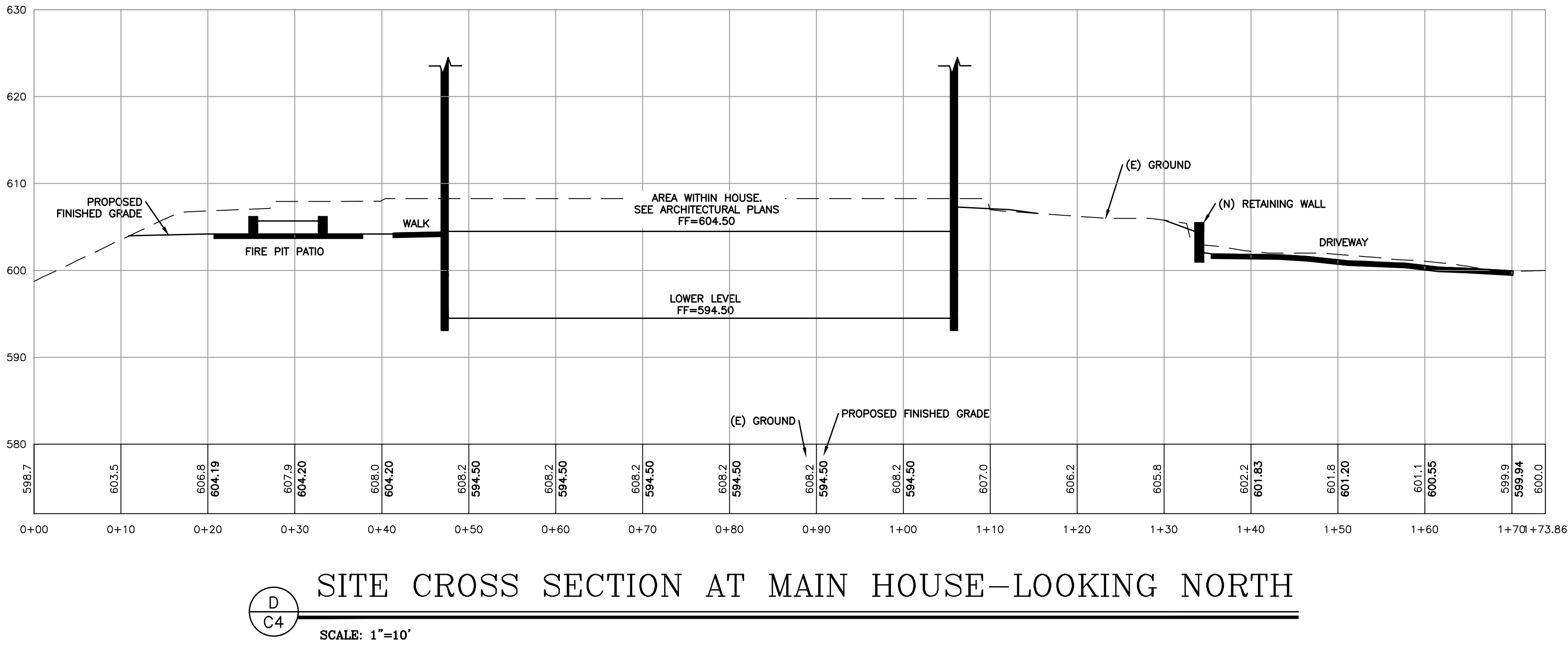
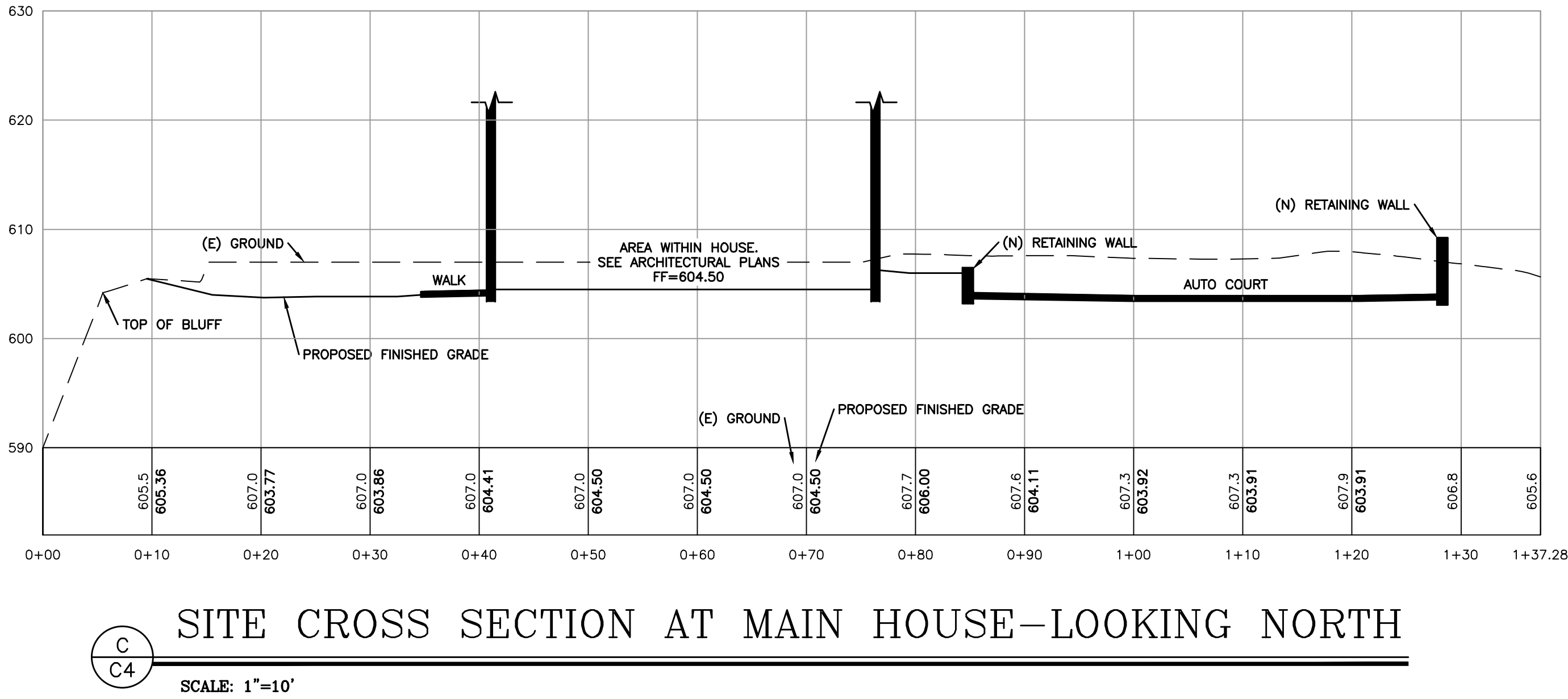
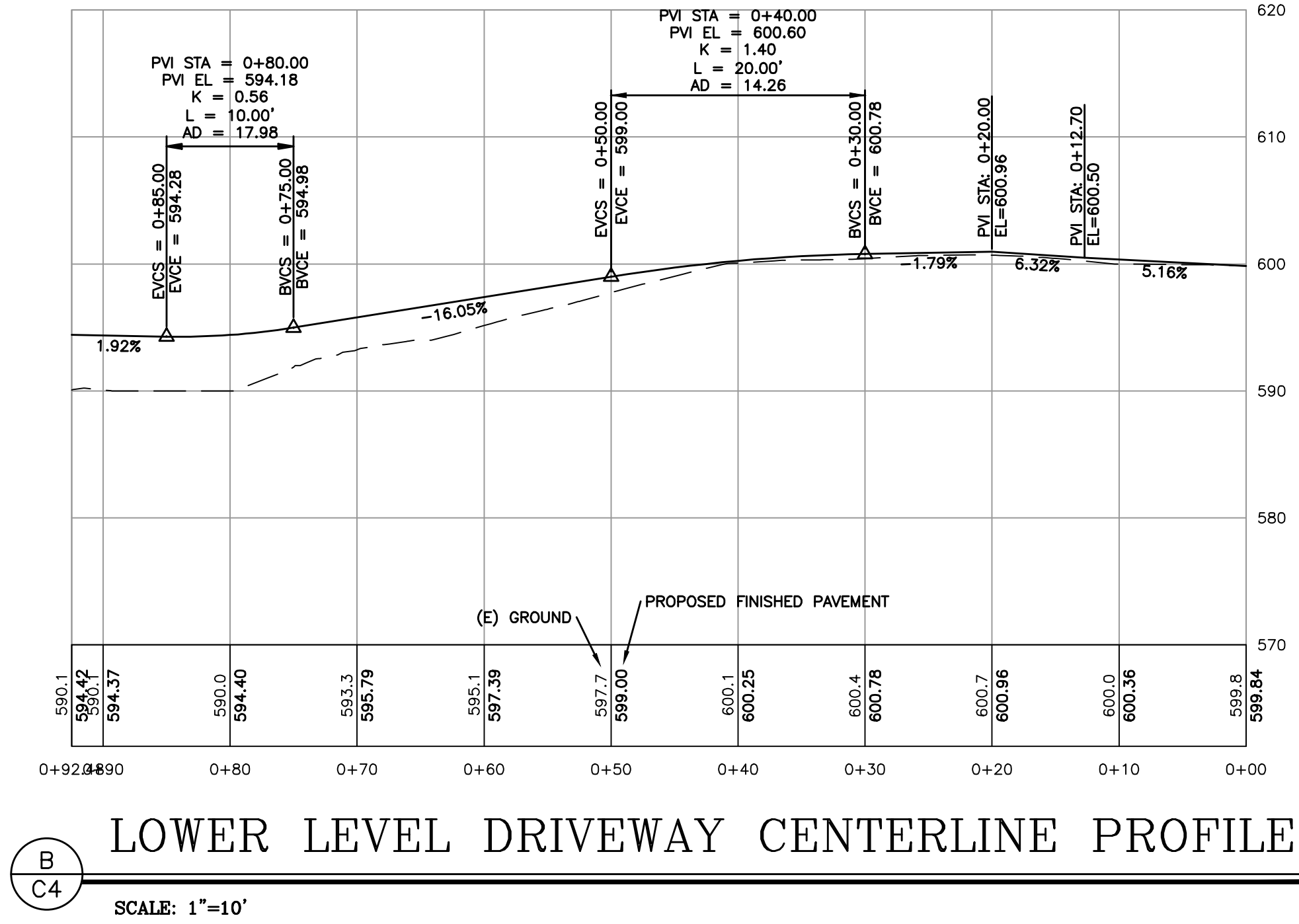
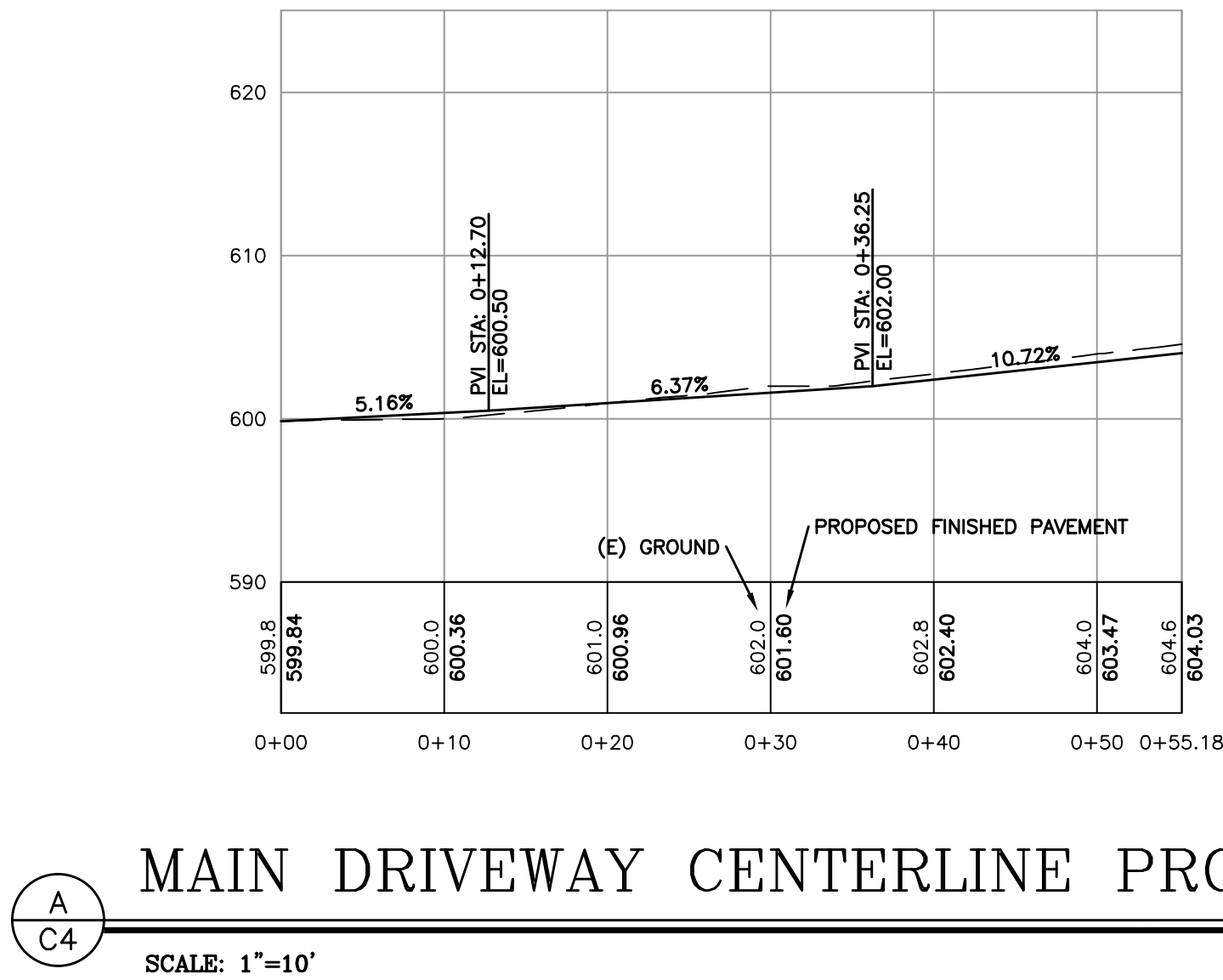
- (N) BUILDING, SEE ARCHITECTURAL PLANS
- (N) STONE TILES OR PAVERS SET IN PLACE OVER CONCRETE
- (N) CONCRETE DRIVEWAY & SITE WORK

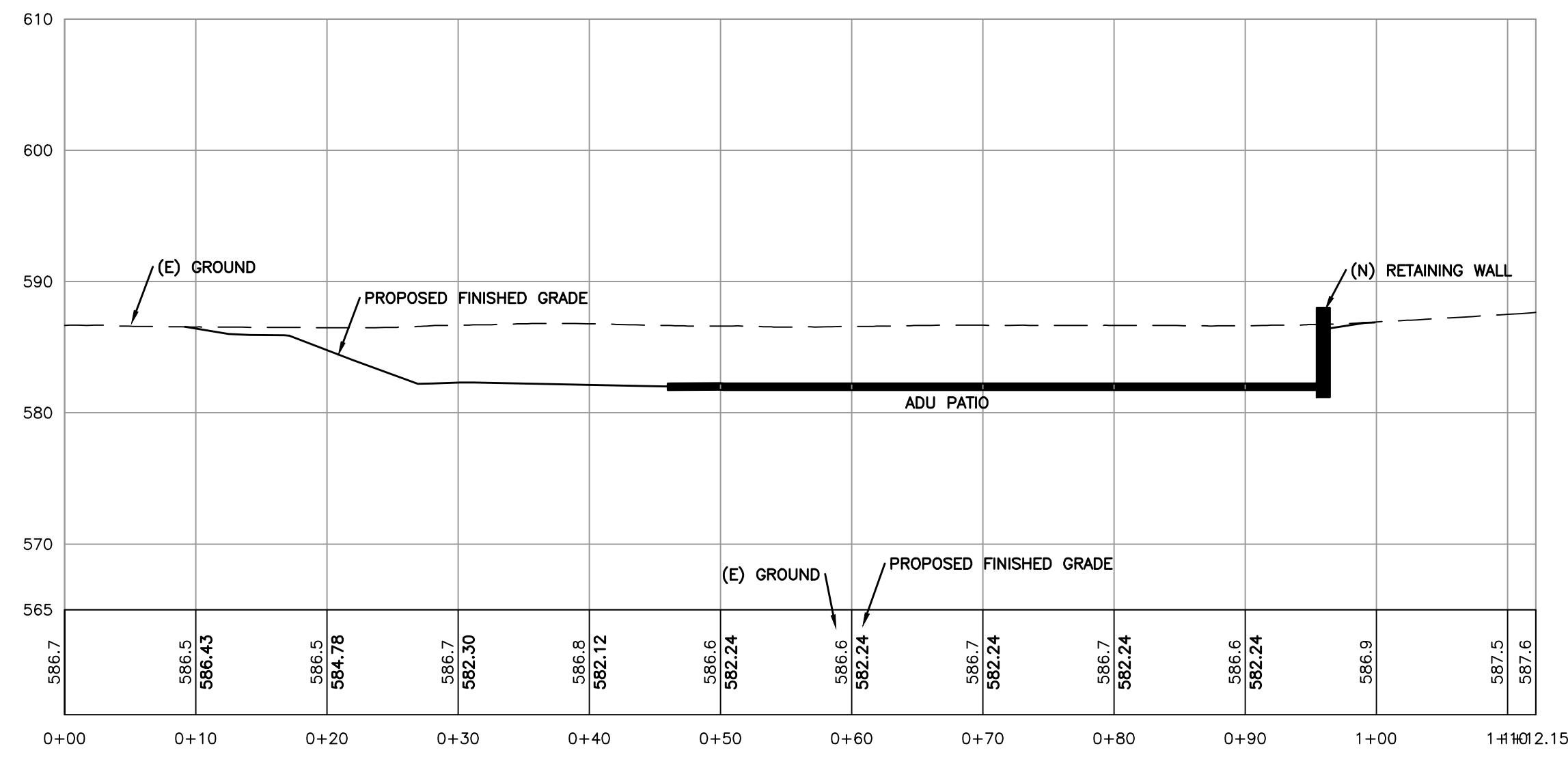
AD	AREA DRAIN	FG	FINISHED GRADE
BS	BOTTOM OF STEP	FP	FINISHED PAVEMENT
CB	CATCH BASIN	ME	MATCH EXISTING
E	EXISTING	N	NEW
EG	EXISTING GRADE	TD	TRENCH DRAIN
FF	FINISHED FLOOR	TS	TOP OF STEP
FL	FLOW LINE	TW	TOP OF WALL

SITE GRADING PLAN

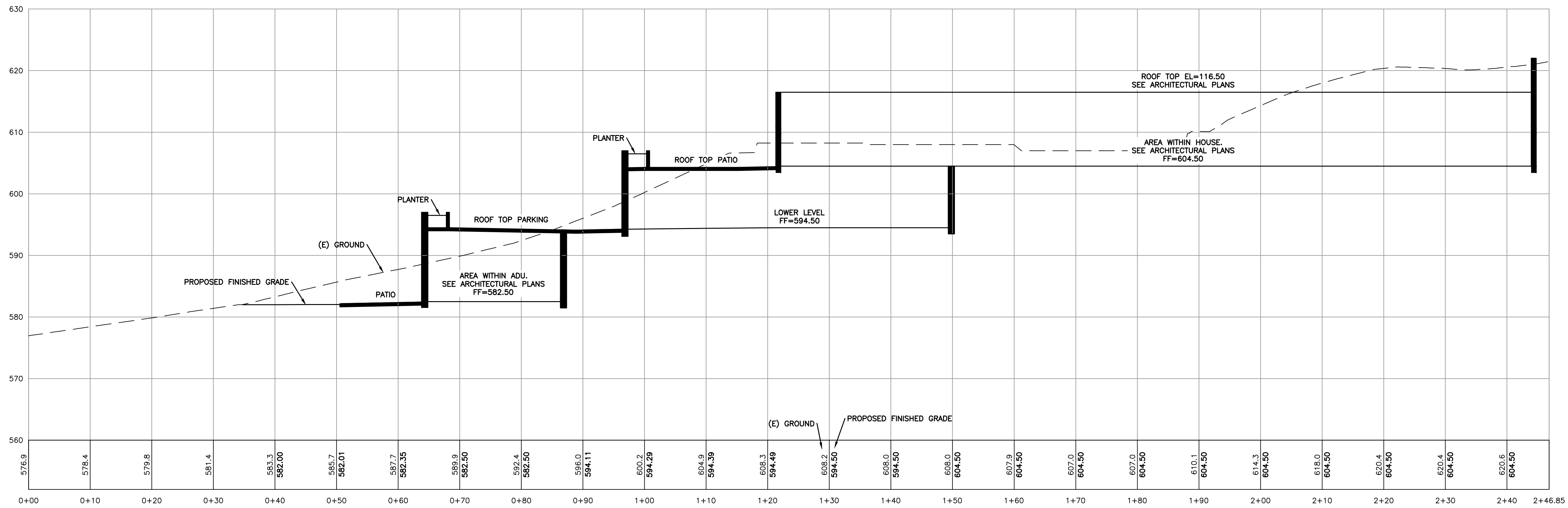
SCALE: 1"=10'



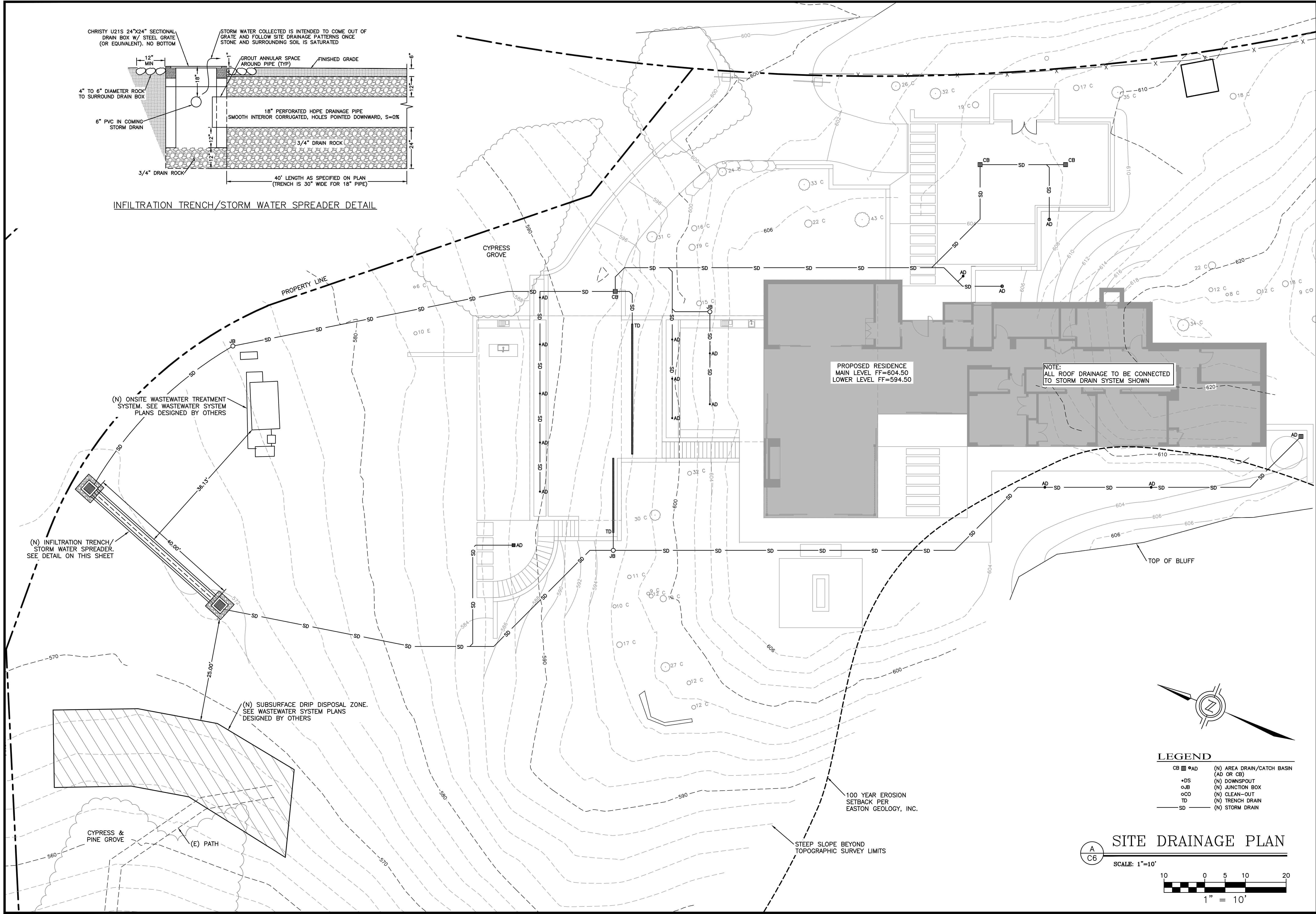




A
C5
SITE CROSS SECTION AT ADU PATIO—LOOKING NORTH
SCALE: 1"=10'



B
C5
SITE CROSS SECTION — LOOKING NORTH EAST
SCALE: 1"=10'



L&S ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

REGISTERED PROFESSIONAL
CHRISTOPHER J. ADAMS
No. 68495
EXP. 12-31-25
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 6-17-2025
SCALE: AS SHOWN
JOB NUMBER: 22-82
LAST REVISED: N/A
REVISED BY: N/A

SITE DRAINAGE PLAN

DESAI RESIDENCE
36240 & 36242 CA HIGHWAY 1
MONTEREY, CALIFORNIA 93940
APN 243-251-011

SHEET C6

OF

8 SHEETS

1. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.

2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:

- A. ALL EROSION MUST BE IMMEDIATELY STOPPED AND NOT IMMEDIATELY RE-INITIATED UNTIL THE NEXT DAY.
- B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
- C. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.

(MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)

3. THE SITE SHALL BE DETAINED OR COVERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.

4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBSIDY TO THE MAXIMUM ALLOWED SLOPE. ALL EXPOSED SLOPES SHALL BE COVERED WITHIN 14 DAYS OF EXPOSURE. THE CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL.

6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
- B. ALL DUSTY MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
- C. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
- D. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- E. PROVIDE A DUST CONTROL PLAN AS A NUISANCE PREVENTION PLAN TO PROTECT WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO PREVENT DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

8. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO: SLOPE PROTECTION, FIBER ROLLS, INSTALLATION OF EROSION CONTROL MATS, AND STABILIZATION OF CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.

9. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND ALL NECESSARY EROSION CONTROL MEASURES ARE IN PLACE.

10. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

11. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

[illegible]

1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.

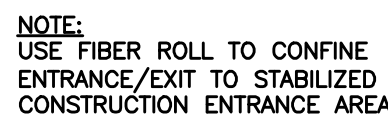
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY.
5. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
6. ALL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED IN A LEGALLY APPROVED LAND FILL LOCATION.
7. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
8. CONSTRUCTION DEBRIS SHALL NOT BE MOVED FROM THE SITE TWO WEEKS OR SOONER IF NEEDED.
9. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO EVAPORATE WASTE FROM SURFACE.
10. ALL HAZARDOUS WASTE SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF Haul OR TRANSFER TO DUMPMSTER.
11. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION USE.
12. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE AN IMPERMEABLE BARRIER THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO APPROPRIATE DISPOSAL.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. MATERIALS SHOULD BE STORED IN ACCORDANCE WITH THE WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIALS AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

1. SET 4" LONG 2"x2" WOOD (OR 1.33 PLF STEEL) POSTS AS SHOWN. EXCAVATE A 4"x4" TRENCH UP SLOPE ALONG THE LINE OF POSTS.
2. ATTACH SILT FENCE TO POSTS PER MANUFACTURER'S SPECIFICATIONS. EXTEND FABRIC INTO TRENCH.
3. BACKFILL TRENCH AND HAND COMPACT EXCAVATED SOIL.



NTS



NTS

1000



INSTALLATION

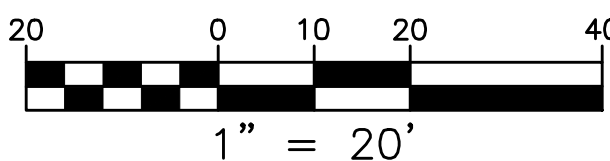
1. PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS 24" LONG BY 12" WIDE BY 6 HIGH TO BE USED. FILTER BAGS SHALL CONTAIN 1" TO 2" DIAMETER ROCK. BAGS SHOULD BE STACKED TIGHTLY AND SHOULD CREATE A SPILLWAY TO ALLOW WATER TO POND AND OVERFLOW TO CATCH BASIN.
2. CONFIGURATION SHOWN MAY NEED TO BE ADJUSTED TO ACCOMMODATE EXISTING CATCH BASIN AND FLOW ORIENTATION. CONTRACTOR TO ADJUST AS NEEDED TO ENSURE PROTECTION OF INLET AND MAINTAIN INTENT OF DETAIL SHOWN.

NTS

11



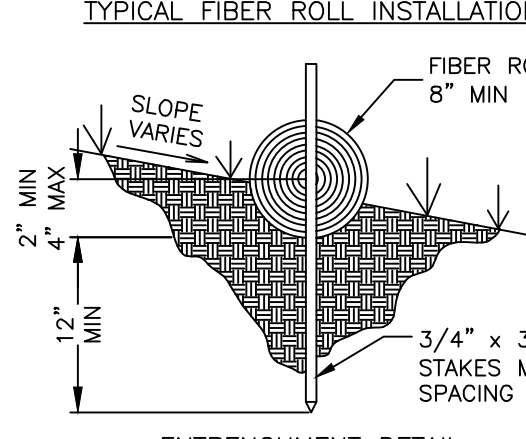
SCALE: 1"=20'



- NOTES:
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

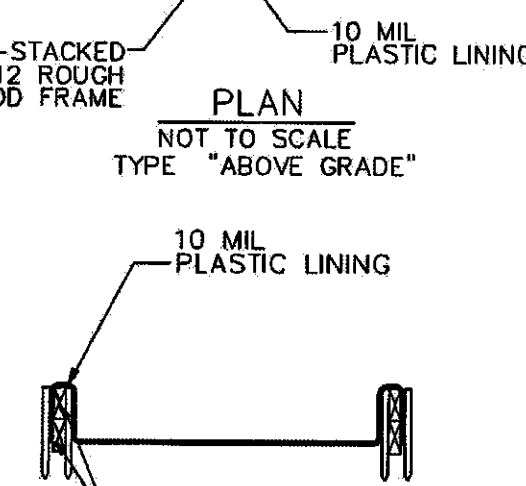
NTS

111



FIBER ROLE DETAILS

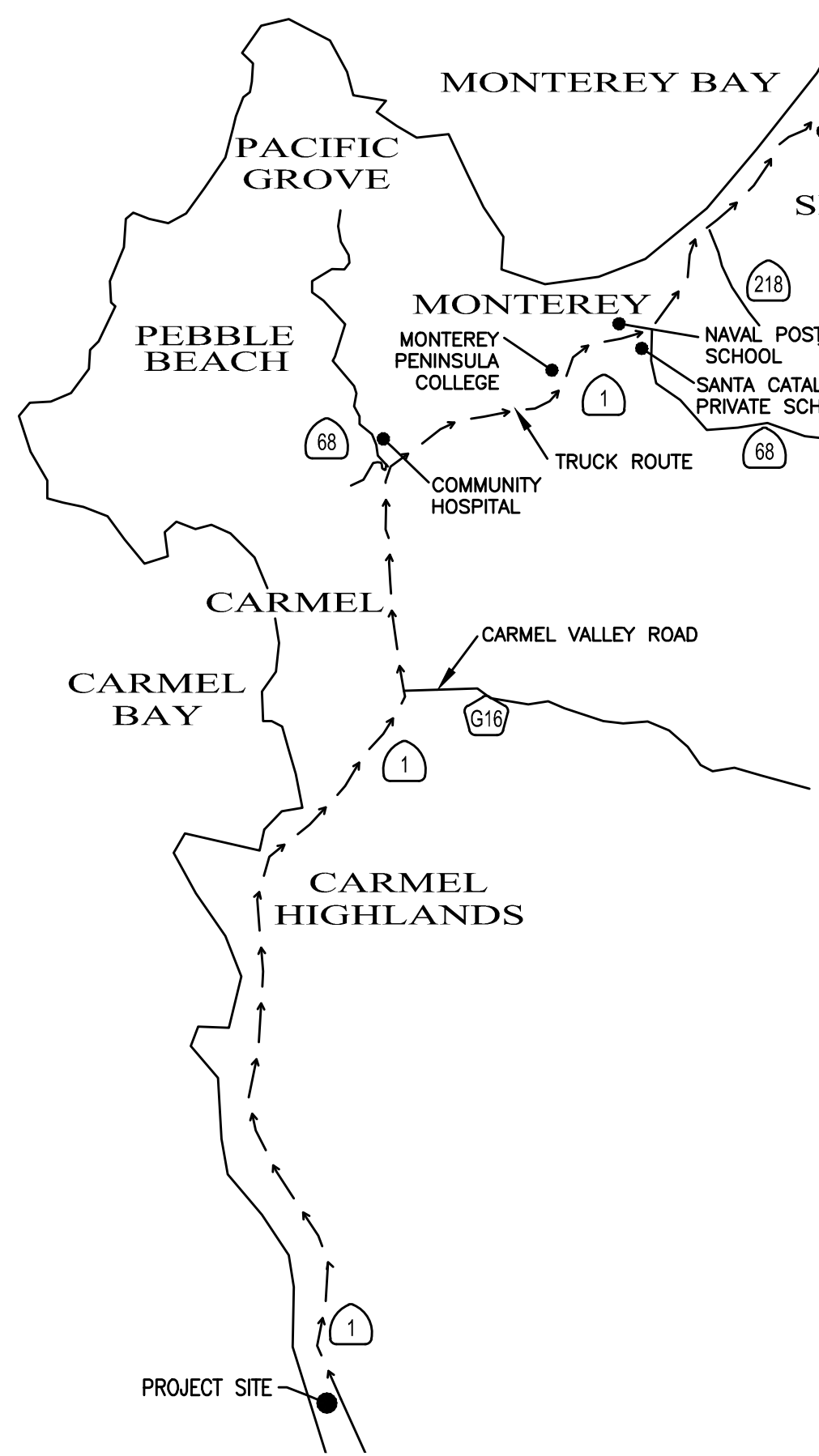
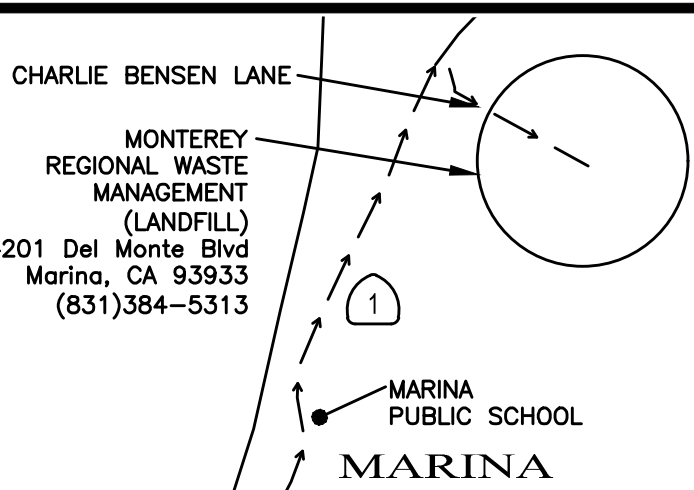
NTS



NTS

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



OVERALL TRUCK ROUTING PLAN

SCALE: 1"=8000'

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – FRIDAY, 8AM TO 5PM (EXCLUDING NATIONAL HOLIDAYS).
2. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
4. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
5. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
7. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM 40 C1 – DUST CONTROL):
 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE.
 2. PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
 3. APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. – NOT APPLICABLE TO SITE
 4. APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. – NOT APPLICABLE TO SITE
 5. MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 6. COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIAL.
 7. PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION–NOT APPLICABLE TO SITE
 8. PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 9. COVER INACTIVE STORAGE PILES.
 10. INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS.
 11. PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT – NOT APPLICABLE TO SITE
 12. SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE
 13. POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBUPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
 14. LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
8. THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
9. THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
10. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
11. THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
12. THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
13. THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

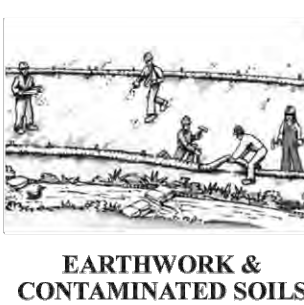
Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



- MATERIALS & WASTE MANAGEMENT**
- Non-Hazardous Materials**
- Item and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.



- EQUIPMENT MANAGEMENT & SPILL CONTROL**
- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle wash promptly. Use drip pans to catch leaks until repairs are made.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
 - Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.
- Spill Prevention and Control**
- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



- EARTHWORK & CONTAMINATED SOILS**
- Erosion Control**
- Schedule grading and excavation work for dry weather only.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Sediment Control**
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
 - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as filter rolls, silt fences, or sediment basins.
 - Keep excavated soil on the site where it will not collect into the street.
 - Transfer excavated materials to dump trucks on the site, not in the street.
 - If any of the following conditions are observed, stop for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Buried barrels, debris, or trash.



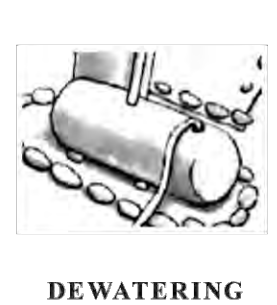
- PAVING/ASPHALT WORK**
- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
 - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt or concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
 - If sawcut slurry enters a catch basin, clean it up immediately.



- CONCRETE, GROUT & MORTAR APPLICATION**
- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
 - Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
 - Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



- PAINTING & PAINT REMOVAL**
- Painting cleanup**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
 - For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Paint Removal**
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
 - Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



- DEWATERING**
- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
 - Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
 - When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
 - In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



- LANDSCAPE MATERIALS**
- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
 - Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
 - Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

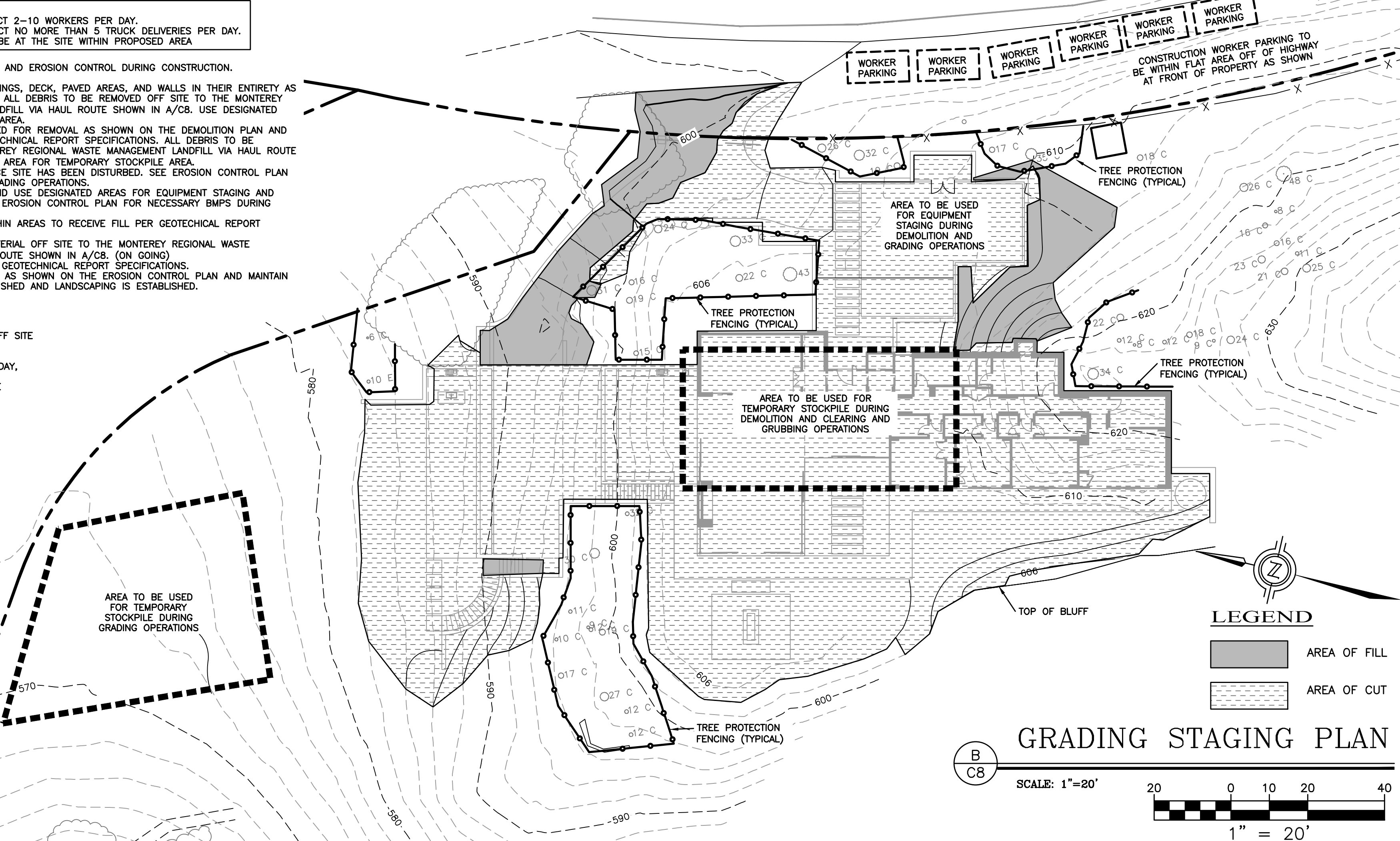
* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

- ADDITIONAL NOTES:**
1. THIS PROJECT SITE WILL EXPECT 2-10 WORKERS PER DAY.
 2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 5 TRUCK DELIVERIES PER DAY.
 3. CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA

- GRADING STAGING:**
- SEE GRADING PLANS FOR GRADING AND EROSION CONTROL DURING CONSTRUCTION.
- STEP 1:** DEMOLISH EXISTING BUILDINGS, DECK, PAVED AREAS, AND WALLS IN THEIR ENTIRETY AS SHOWN ON THE DEMOLITION PLAN. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C8. (ON GOING)
- STEP 2:** REMOVE TREES DESIGNATED FOR REMOVAL AS SHOWN ON THE DEMOLITION PLAN AND IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.
- STEP 3:** REMOVE CUT MATERIAL AND USE DESIGNATED AREAS FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.
- STEP 4:** PLACE CUT MATERIAL WITHIN AREAS TO RECEIVE FILL PER GEOTECHNICAL REPORT SPECIFICATIONS.
- STEP 5:** REMOVE EXCESS CUT MATERIAL OFF SITE, TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C8. (ON GOING)
- STEP 6:** PREPARE SUBGRADE PER GEOTECHNICAL REPORT SPECIFICATIONS.
- STEP 7:** INSTALL ADDITIONAL BMPs AS SHOWN ON THE EROSION CONTROL PLAN AND MAINTAIN BMPs UNTIL CONSTRUCTION IS FINISHED AND LANDSCAPING IS ESTABLISHED.

- EARTHWORK QUANTITIES:**
- 3440 CY CUT
 - 120 CY FILL
 - 3320 CY CUT TO BE EXPORTED OFF SITE
- AT 10 CY PER TRUCK LOAD AND LIMITED TO 10 TRUCK TRIPS PER DAY, OR 100 CY OF EXPORT PER DAY, IT IS ESTIMATED THAT IT WILL TAKE 332 TRUCK TRIPS OR 33 DAYS TO OFF HAUL EXCESS DIRT



I&S ENGINEERING AND SURVEYING, INC.

2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

PROFESSIONAL SEAL

CHRISTOPHER J. SENG
No. 12345
EXP. 12-31-25
CIVIL
STATE OF CALIFORNIA

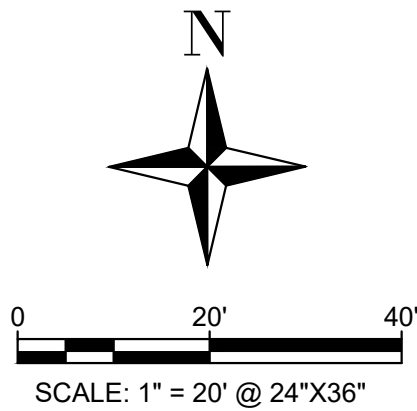
DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 6-17-2025
SCALE: AS SHOWN
JOB NUMBER: 22-82
LAST REVISED: N/A
REVISED BY: N/A

CONSTRUCTION MANAGEMENT PLAN

DESAI RESIDENCE
36240 & 36242 CA HIGHWAY 1
MONTEREY, CALIFORNIA 93940
APN 243-251-011



SOIL TESTING LEGEND:
P-# PERCOLATION TEST HOLE
B-# SOIL BORING



1 EXISTING SITE LAYOUT
SCALE: 1" = 20'

EXISTING SITE LAYOUT

Desai Site Improvement Project
36240 & 36242 Hwy 1
Monterey CA 93940
APN: 243-251-011-000

CLIENT
RUPA DESAI
RUPA.D@KLINERA.COM
408-930-7408

MYER ENGINEERING, INC.
Civil Engineering Consulting Services
PAUL MYER, MS, PE
1796 LAUREL GLEN RD.
SOQUEL, CA 95073
(831) 800-2244
paul@myerengineering.com

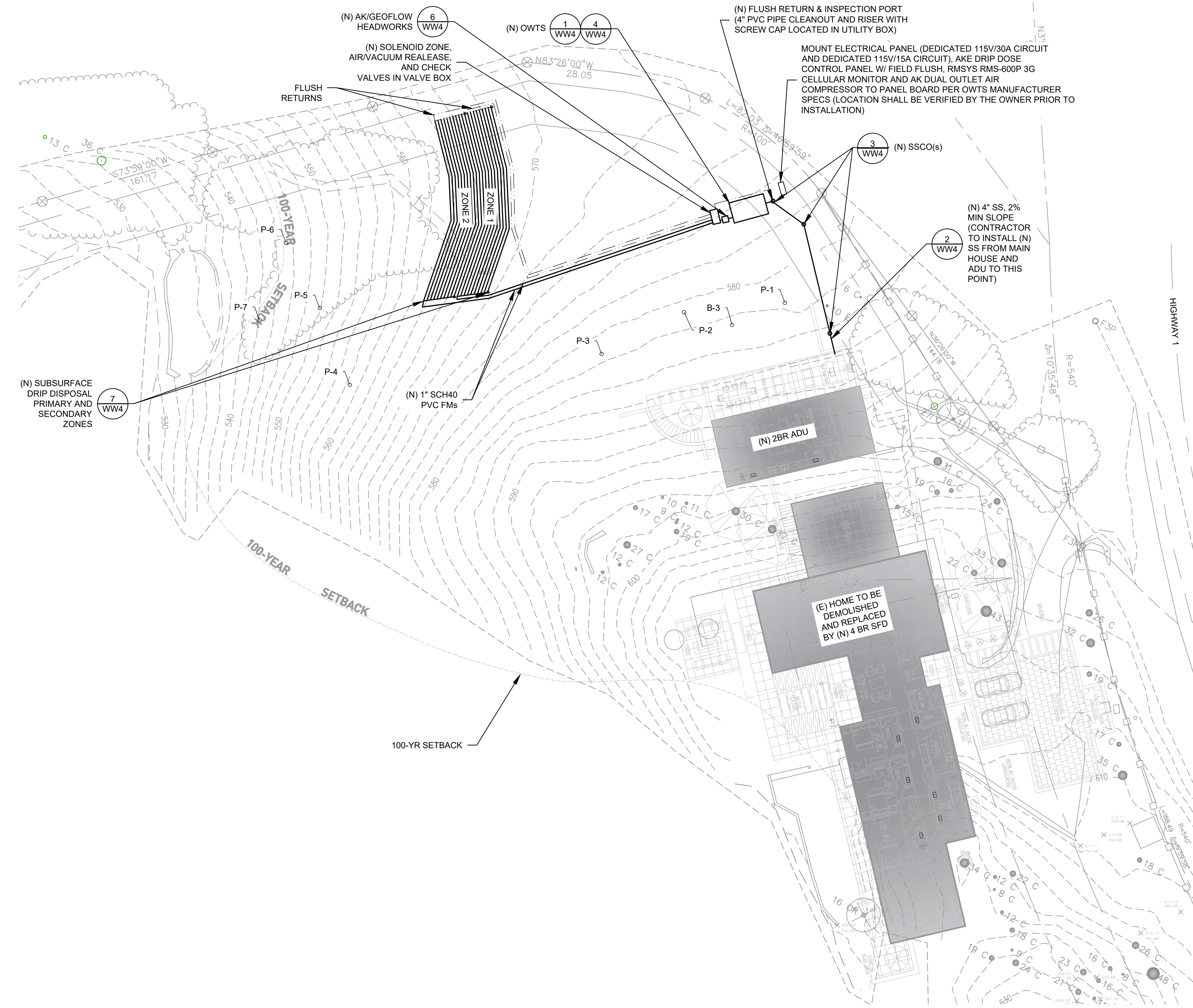


Drawn By PEM	Checked By PEM
Project No. 202322	Scale AS SHOWN
Date JUNE 2025	

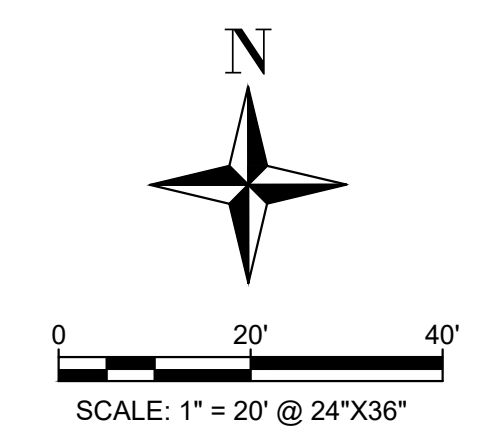
Sheet No.

WW2

No.	Revision/Issue	Date



PRIMARY & SECONDARY DISPERSAL (ZONES 1 & 2)	
750 gpd, maximum flow	Definitions: 1. Day = 24 hours
1,200 gpd/ft, soil loading rate	2. Lateral = supply to return connection total length
100% usable acres for dispersal	3. Run = number and length within each lateral
625 ft, total	
0.0 acres, minimum	
G-WFPC-16-4-12-PRO drip tubing pin	
1.0 ft dripline spacing	
625 ft dripline required	
1 ft dripper (emitter) spacing	
1 ft per dripper	
1.20 gpd, per dripper	
0.9 gph, per dripper rate	
1.33 hrs/d, per dripper max run time	
80 min/d, per dripper max run time	
12 max hrs/d, pump run time (12 hrs default)	
9 max theoretical zones, no.	
1 select number of zones	
625 ft, each zone	
625 ft dripline run length per zone	
No drip lateral length >10% (shortest to longest)	
61 ft lateral length	
10 calculated laterals per zone	
1.00 tps, flush velocity	
9 gpm, dispersal flow rate	
17 gpm, flushing flow rate	
8 gpm, return flow rate	
4 input cycles per day per zone, no. (all zones dosed individually each cycle)	
20.00 calculated run time (fully pressurized) per zone per dose, min	
20.00 total "on" time per dose cycle, min	
340.00 "off" time per dose cycle, min	
80 min/d, run time, or	1.33 hrs/d
1360 min/d, off time, or	22.67 hrs/d



No.	Revision/Issue	Date

WASTEWATER SYSTEM
PLAN

Desai Site Improvement Project
36240 & 36242 Hwy 1
Monterey CA 93940
APN: 243-251-011-000

CLIENT
RUPA DESAI
RUPA.D@KLINERA.COM
408-930-7408

MYER ENGINEERING, INC.
Civil Engineering Consulting Services
PAUL MYER, MS, PE
1796 LAUREL GLEN RD.
SOQUEL, CA 95073
(831) 800-2244
paul@myerengineering.com

Drawn By
PEM

Checked By
PEM

Project No.
202322

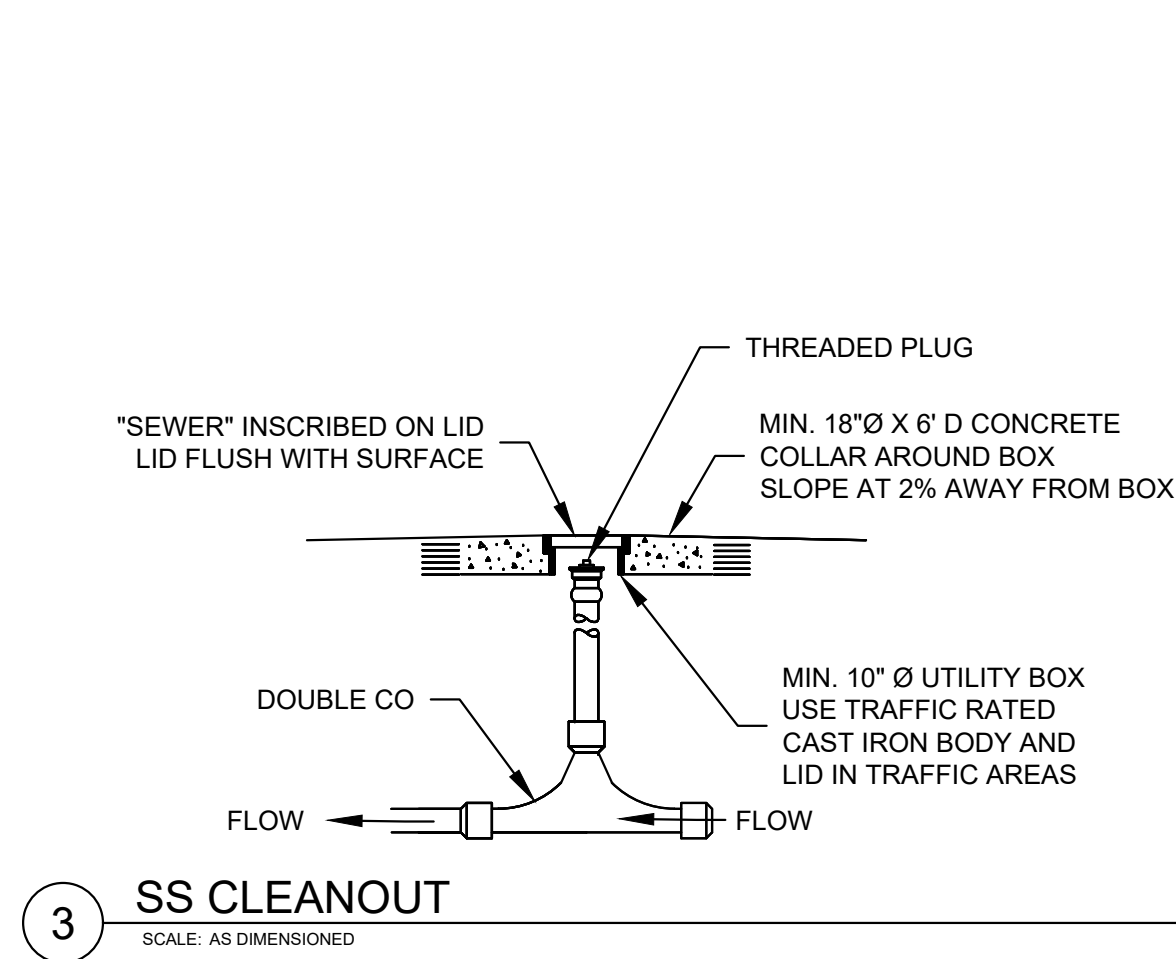
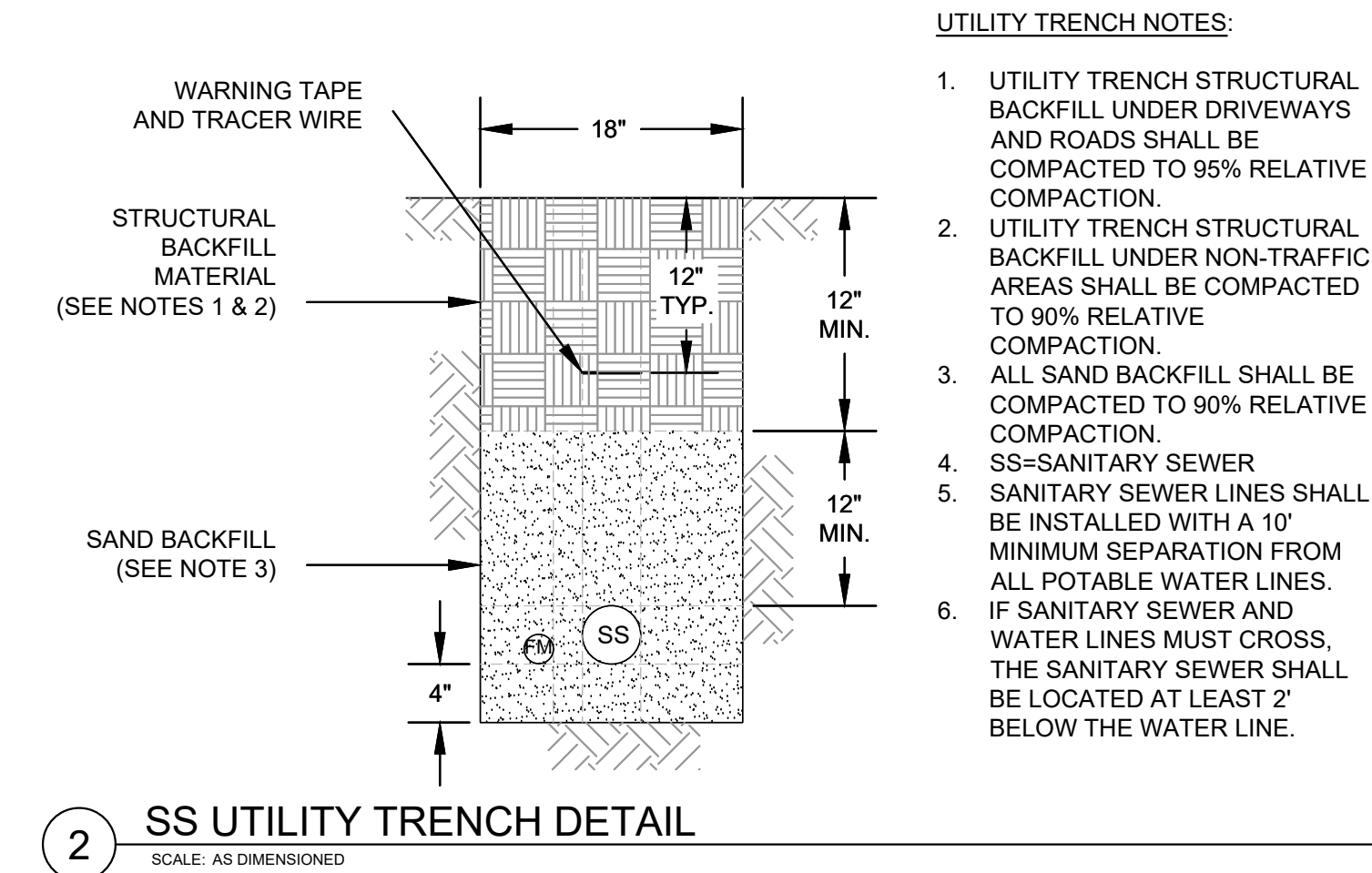
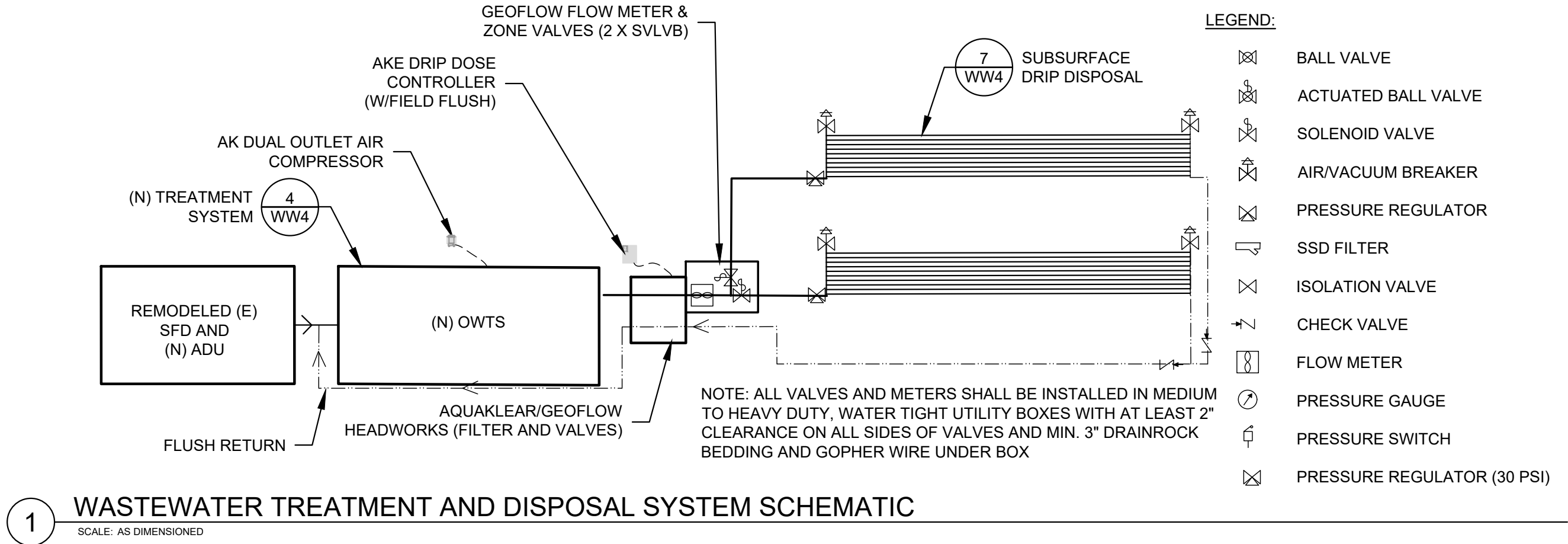
Scale
AS SHOWN

Date
JUNE 2025

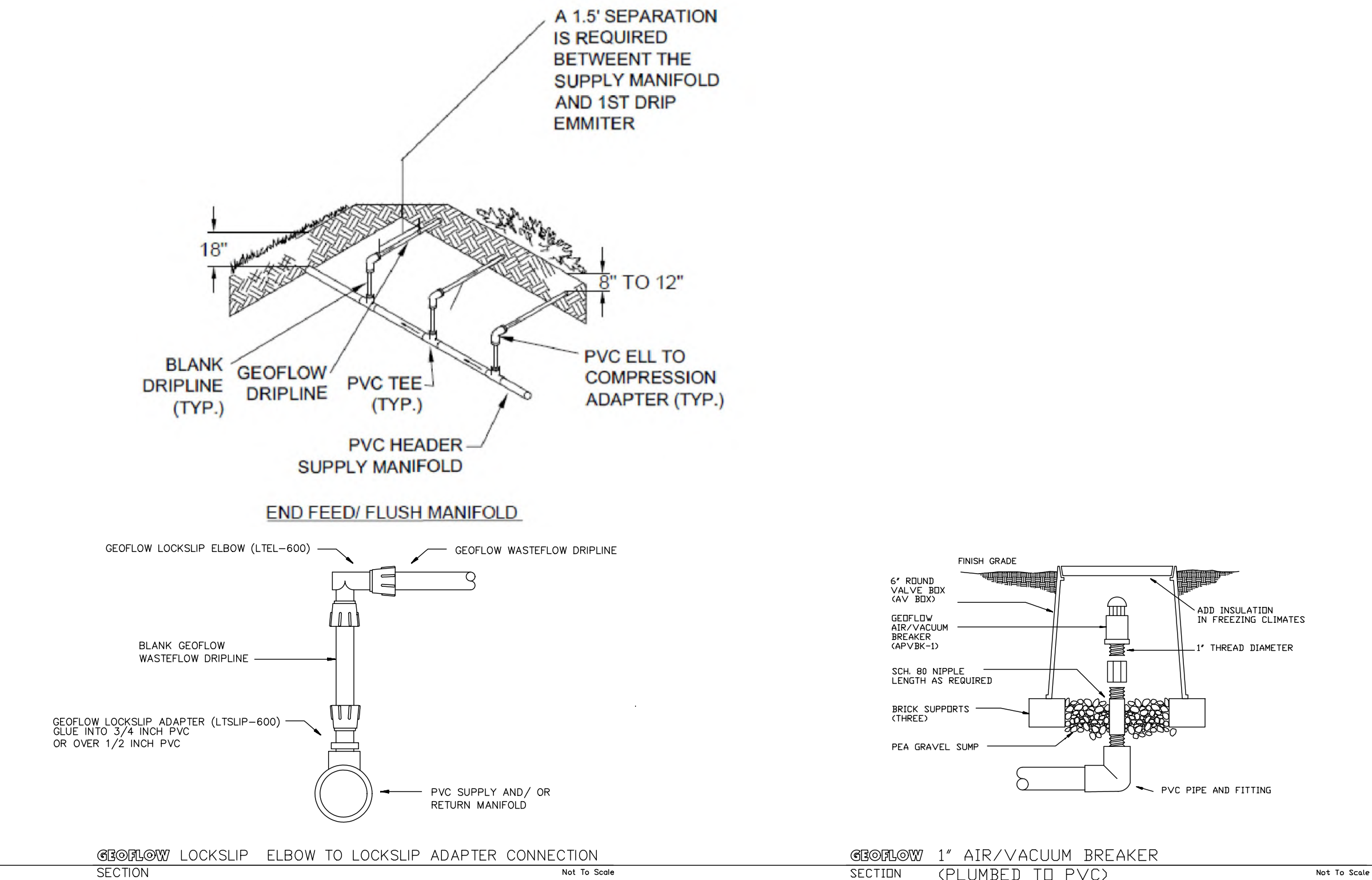
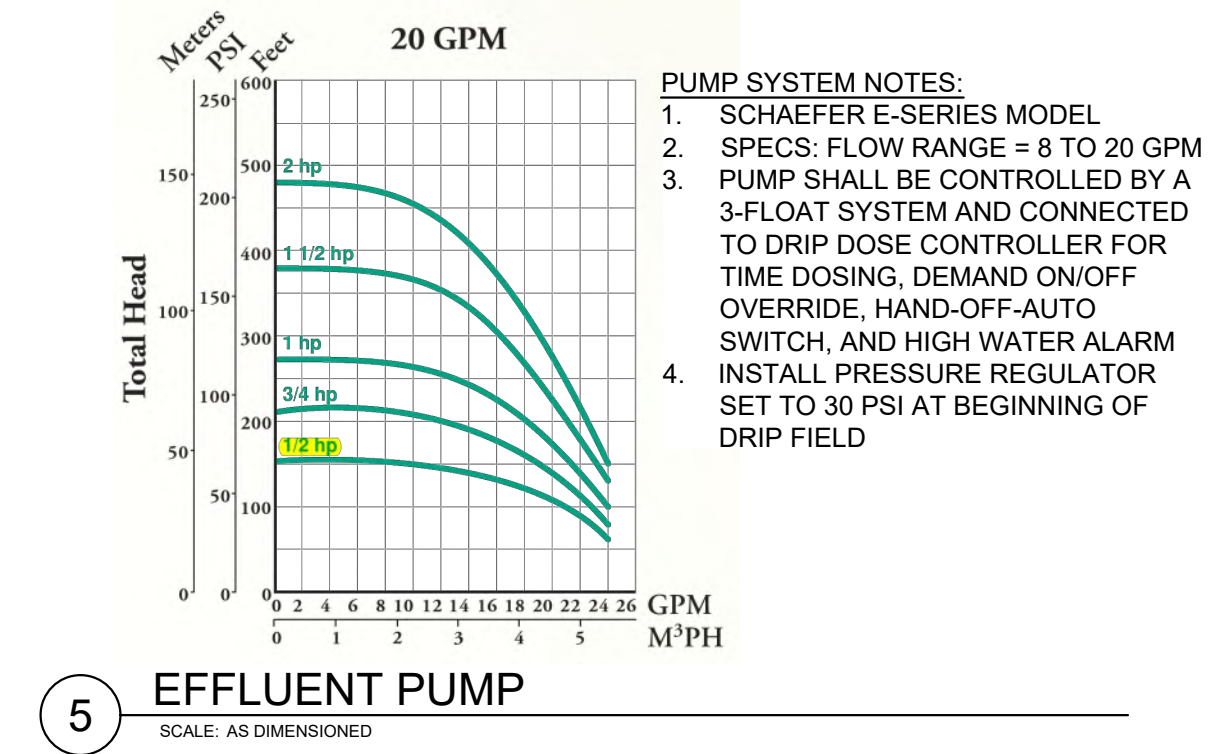
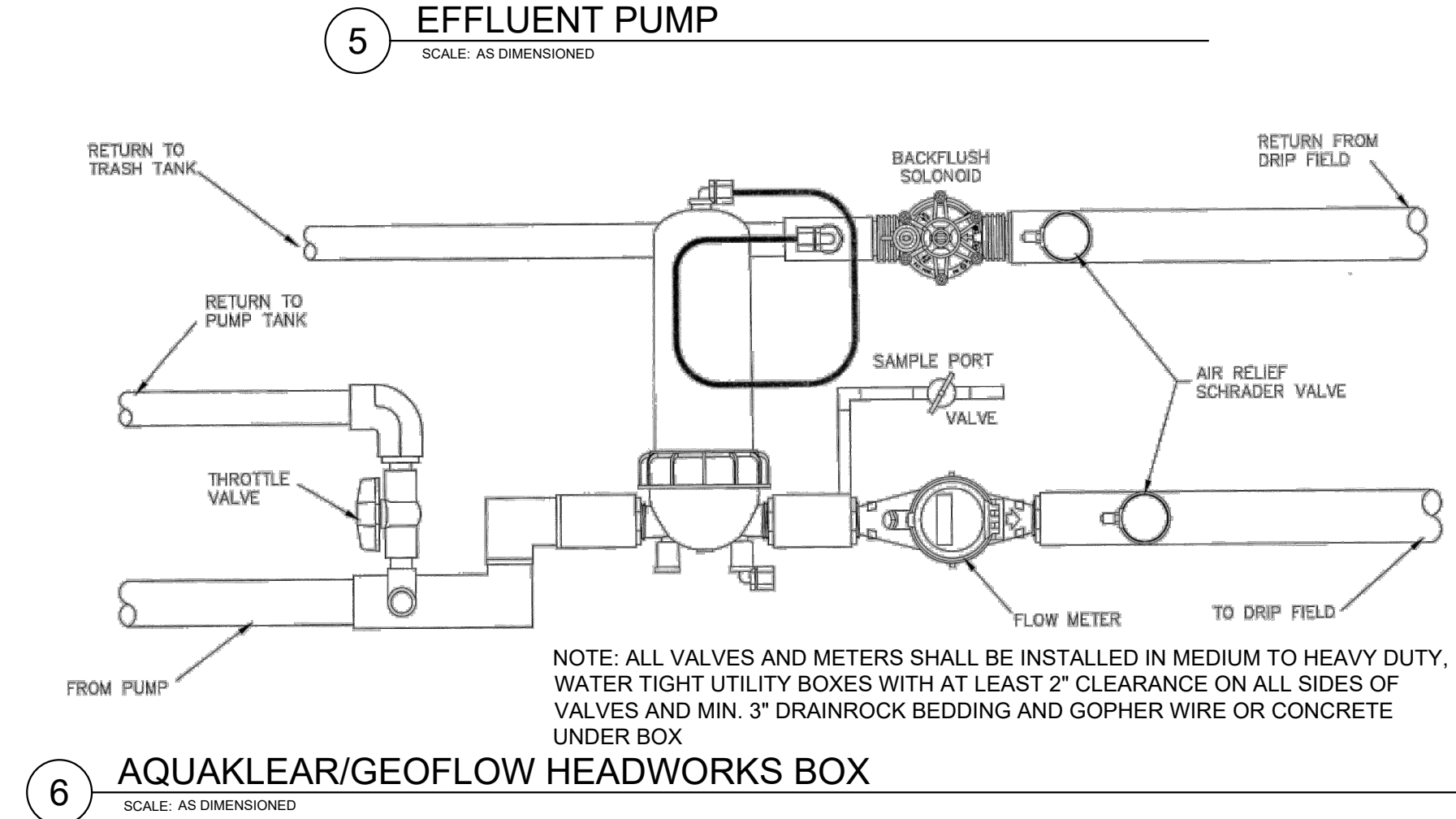
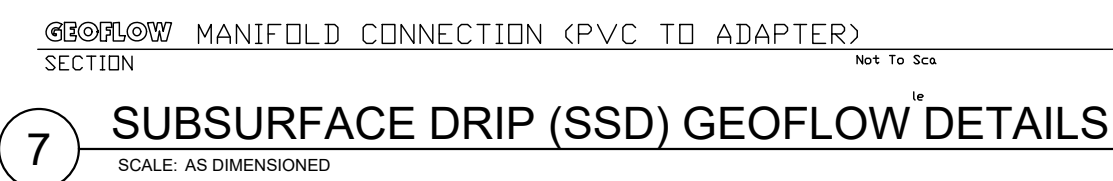
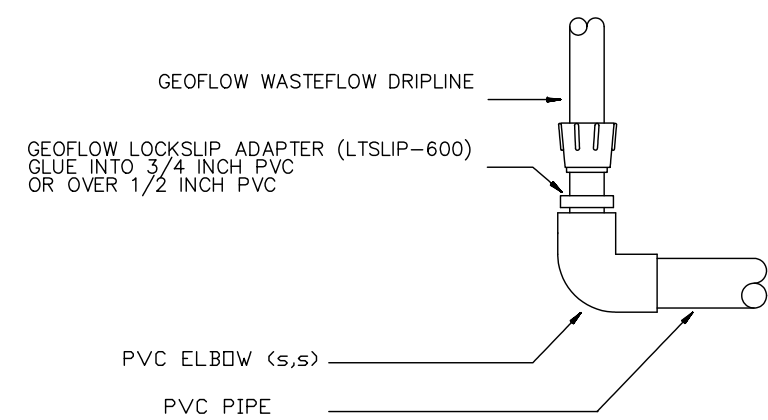
Sheet No.

WW3

3 OF 5



- AQUAKLEAR SYSTEM NOTES:**
1. AQUAKLEAR TANK SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.
 2. TANK HOLE EXCAVATION MUST BE SMOOTH AND LEVEL - USE A 4\"/>



WASTEWATER SYSTEM SCHEMATIC AND DETAILS

Desai Site Improvement Project
36240 & 36242 Hwy 1
Monterey CA 93940
APN: 243-251-011-000

CLIENT
RUPA DESAI
RUPA.D@KLINERA.COM
408-930-7408

MYER ENGINEERING, INC.
Civil Engineering Consulting Services
PAUL MYER, MS., PE
1796 LAUREL GLEN RD.
SOQUEL, CA 95073
(831) 800-2244
paul@myerengineering.com

REGISTERED PROFESSIONAL ENGINEER
PAUL MYER
C 80522
EXP 03/31/27
CIVIL
STATE OF CALIFORNIA

Drawn By	PEM	Checked By	PEM
Project No.	202322	Scale	AS SHOWN
Date	JUNE 2025		
Sheet No.			

WW4

4 OF 5

No.	Revision/Issue	Date

GENERAL SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE FOR THE INSTALLATION OF THE ENHANCED WASTEWATER TREATMENT SYSTEM AT THE PROJECT LOCATION SPECIFIED ON THE COVER SHEET AND BORDER OF THESE PLANS. THE ACCOMPANIED PLANS PRESENT THE GENERAL LAYOUT, PLUMBING CONFIGURATION, AND CONSTRUCTION DETAILS.

MATERIAL SPECIFICATIONS

THE FOLLOWING ARE MATERIAL SPECIFICATIONS FOR THE WASTEWATER SYSTEM COMPONENTS. ALL MATERIALS USED FOR THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND AS DESCRIBED IN THE ACCOMPANIED PLANS OR AN ENGINEER APPROVED EQUIVALENT.

1. SUBSURFACE TANKS

THE SUBSURFACE TANKS INCLUDE THE AQUAKLEAR TREATMENT SYSTEM.

- 1.1. AQUAKLEAR SYSTEM. DIMENSIONS, FITTING SIZES AND LOCATIONS, AND OPTIONAL ACCESSORIES SHALL BE INCLUDED AS SHOWN ON TANK DRAWINGS. THE TANK SHALL BE WATERTIGHT AND TESTED IN THE FIELD AFTER INSTALLATION.
- 1.2. ROTH PUMP TANK: INSTALL THE ROTH TANK PER MANUFACTURER RECOMMENDATIONS AND LOCAL REVIEWING AGENCY REQUIREMENTS. THE TANK SHALL BE WATERTIGHT AND TESTED IN THE FIELD AFTER INSTALLATION.
- 1.3. PRODUCT STORAGE. THE SUBSURFACE TANKS SHALL BE CAPABLE OF STORING SEPTAGE LIMITED TO THE COLLECTION AND STORAGE OF HUMAN SOLID OR LIQUID ORGANIC WASTE.
- 1.4. PIPING. SDR35 PVC PIPE SHALL BE USED FOR INLET AND OUTLET PIPING AS SHOWN ON DRAWINGS. ALL PIPING SHALL BE FACTORY SEALED TO ENABLE FIELD TIGHTNESS TESTING WITH AT LEAST ONE PIPE OPENING PROVIDED WITH A THREADED FITTING FOR CONNECTING A PRESSURE TEST MANIFOLD.
- 1.5. ACCESS OPENINGS. ALL ACCESS OPENINGS SHALL BE 30 INCHES IN DIAMETER OR LARGER AS SHOWN ON THE PLANS. SHALL BE MANUFACTURED OF FIBERGLASS, CONCRETE OR CAST IRON WITH RESPECT TO SPECIFIED TRAFFIC RATING. LOCATIONS SHALL BE AS SHOWN ON TANK DRAWINGS. EACH MANHOLE SHALL HAVE A WATERTIGHT RISER TO FINISH GRADE.
- 1.6. RISERS. RISERS SHALL BE REQUIRED FOR ACCESS TO INTERNAL VAULTS. ALL RISERS SHALL BE CONSTRUCTED WITH WATERTIGHT SEALS PROVIDED. RISERS SHALL BE A MINIMUM OF 30" IN NOMINAL DIAMETER WHEN THE DEPTH OR BURY IS 36" OR GREATER. TO ENSURE PRODUCT COMPATIBILITY, RISERS, LIDS, AND ATTACHMENT COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER AND, WHERE APPLICABLE, SHALL BE FACTORY EQUIPPED WITH THE FOLLOWING:

- 1.6.1. ADHESIVE. WHEN BONDING TO THE RISER RINGS, AN EPOXY PROVIDED BY THE MANUFACTURER SHALL BE USED. ADHESIVES AND SEALANTS SHALL BE WATERPROOF, CORROSION RESISTANT, AND APPROVED FOR THE INTENDED APPLICATION. THE RISER-TO-TANK CONNECTION SHALL BE WATERTIGHT AND STRUCTURALLY SOUND. THE RISER-TO-TANK CONNECTION SHALL BE CAPABLE OF WITHSTANDING A VERTICAL UPLIFT OF 5,000 POUNDS TO PREVENT RISER SEPARATION DUE TO TANK SETTLEMENT, FROST HEAVE, AND VEHICLE TRAFFIC OVER THE TANK.
- 1.6.2. LIDS. ONE LID SHALL BE FURNISHED WITH EACH ACCESS RISER. LIDS SHALL BE WATERPROOF, CORROSION RESISTANT, AND UV RESISTANT. LIDS SHALL BE FLAT, WITH NO NOTICEABLE UPWARD DOME. LIDS SHALL NOT ALLOW WATER TO POND ON THEM. LIDS SHALL FORM A WATERTIGHT SEAL WITH THE TOP OF RISER. TRAFFIC-RATED LIDS SHALL BE CAPABLE OF WITHSTANDING A TRUCK WHEEL LOAD (36 SQUARE INCHES) OF 2500 POUNDS FOR 60 MINUTES WITH A MAXIMUM VERTICAL DEFLECTION OF 1-1/2". LIDS SHALL BE PROVIDED WITH TAMPER-RESISTANT STAINLESS STEEL FASTENERS AND A TOOL FOR FASTENER REMOVAL. TAMPER-RESISTANT FASTENERS INCLUDE RECESSED DRIVES, SUCH AS HEX, TORX, AND SQUARE. FASTENERS THAT CAN BE REMOVED WITH COMMON SCREWDRIVERS, SUCH AS SLOTTED AND PHILLIPS, OR FASTENERS THAT CAN BE REMOVED WITH STANDARD TOOLS, SUCH AS PLIERS OR CRESCENT WRENCHES, ARE NOT CONSIDERED TAMPER-RESISTANT. TO PREVENT A TRIPPING HAZARD, FASTENERS SHALL NOT EXTEND ABOVE THE SURFACE OF THE LID.
- 1.6.3. RISER INSTALLATION. RISER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

2. PIPING AND FITTINGS

THE TYPE OF PIPE MATERIALS AND FITTINGS SHALL BE AS DESIGNATED ON THE PLANS AND SHALL COMPLY WITH THE FOLLOWING:

- 2.1. FITTINGS AND COUPLINGS. THE FITTINGS AND COUPLINGS FOR PVC PIPES SHALL BE THREADED OR SLIP-FITTED TAPERED SOCKET SOLVENT WELD. THREADED ADAPTERS SHALL BE PROVIDED WITH SOCKET PIPE FOR CONNECTIONS TO THREADED PIPE.
3. VALVES

- 3.1. GENERAL. VALVES SHALL BE OF THE SIZE, TYPE, AND CAPACITY DESIGNATED ON THE PLANS OR IN THE SPECIFICATIONS AND SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN. ALL VALVES ON PRESSURIZED PORTIONS OF THE SYSTEM SHALL BE CAPABLE OF SATISFACTORY PERFORMANCE AT WORKING PRESSURE OF 150 PSI. ALL VALVES ON GRAVITY PORTIONS OF THE SYSTEM SHALL BE RATED FOR AT LEAST TWICE THE ESTIMATED STATIC HEAD ABOVE THE VALVE. VALVES SHALL BE DESIGNED TO PERMIT DISASSEMBLY TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE, SUCH AS TRUE UNION BALL VALVES AND CHECK VALVES.

4. AERATION SYSTEM

THE AERATION SYSTEM SHALL BE AS SHOWN IN THE PLANS AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.

5. PUMP SYSTEM

THE PUMP SYSTEM SHALL BE AS SHOWN IN THE PLANS AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.

6. ADDITIONAL COMPONENTS

ALL COMPONENTS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

7. SUBSURFACE DRIP SYSTEM

THE SUBSURFACE DRIP SYSTEM SHALL PROVIDE ADDITIONAL TREATMENT AND DISPOSAL OF THE WASTEWATER. THE SYSTEM SHALL BE CONSTRUCTED PER MANUFACTURER RECOMMENDATIONS AND AS SHOWN ON PLANS.

- 7.1. SOIL COVER. THE SOIL COVER (CAP) SHALL BE PLACED OVER THE DISPOSAL SYSTEM TO PROVIDE A SUBSTRATE FOR VEGETATION AND REDUCE EROSION CONTROL. THE SOIL SHALL BE A SANDY LOAM TO INCREASE THE POTENTIAL FOR AIR THROUGH THE DEPTH OF THE SOIL.

CONSTRUCTION SPECIFICATIONS

THE CONSTRUCTION OF THE PROJECT SHALL CONFORM TO THE PLANS AND FOLLOWING SPECIFICATIONS. ALL NECESSARY CONSTRUCTION PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ALL SITE WORK.

1. PRECONSTRUCTION CONFERENCE

THE CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE ENGINEER AND OWNER AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF SITE WORK. THE ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO THE MEETING CONFERENCE. THE MEETING SHOULD BE CONDUCTED TO REVIEW THE DESIGN, MATERIAL, AND CONSTRUCTION SPECIFICATIONS. ALL CONTRACTOR PROPOSED REVISIONS IN THE DESIGN SHALL BE APPROVED BY THE ENGINEER. THE INSTALLATION MUST BE INSPECTED BY THE ENGINEER FOR CONFORMANCE TO THE DESIGN.

2. STAKING

THE CONTRACTOR WILL PROVIDE SUFFICIENT HORIZONTAL AND VERTICAL CONTROL FOR INSTALLATION OF THE WORK AT DATUM POINTS NECESSARY TO ESTABLISH ALIGNMENT AND GRADE. THE PROTECTION AND CARE OF THE STAKES ONCE SET, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. EXCAVATION

ALL EXCAVATION WORK SHALL BE MADE TO THE LINES, GRADES AND DIMENSIONS SHOWN IN THE ACCOMPANIED PLANS. EXCAVATIONS SHALL BE PERFORMED IN THE DAY AND IN A MANNER THAT MINIMIZES EROSION, FLOODING AND SEDIMENTATION. EXCAVATED SOILS THAT ARE TO BE STOCKPILED ON-SITE SHALL BE PLACED IN A LOCATION AND MANNER THAT MINIMIZES EROSION AND CONTROLS SEDIMENTATION.

THE CONTRACTOR SHALL TAKE EXTRA PRECAUTION WHERE EXCAVATION EQUIPMENT MAY ENCOUNTER EXISTING UNDERGROUND UTILITIES AND OTHER FACILITIES OF ANY NATURE. CONTRACTOR SHALL PERSON HIS OPERATION IN SUCH A MANNER AND SHALL EXERCISE THE GREATEST OF CARE SO AS NOT TO INJURE IN ANY MANNER EXISTING UNDERGROUND UTILITIES, MAINS OR FACILITIES OF ANY NATURE. SHOULD THE CONTRACTOR INJURE, BREAK OR DAMAGE EXISTING UNDERGROUND UTILITIES, MAINS, OR FACILITIES OF ANY NATURE IN ANY MANNER, THEY SHALL REPAIR THE SAME AT THEIR OWN EXPENSE. IF IT DOES NOT APPEAR FEASIBLE THAT THE CONTRACTOR CAN MAKE NEEDED REPAIRS, THEN SUCH REPAIRS SHALL BE MADE BY THE OWNER AND THE CONTRACTOR SHALL BE CHARGED FOR SUCH REPAIRS.

4. POLLUTION CONTROL

- 4.1. WATER POLLUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITTING REQUIREMENTS RELEVANT TO THE CONSTRUCTION OF THE PROJECT ARE MET AT ALL TIMES. ACTIONS BY THE CONTRACTOR, THE SUBCONTRACTORS OR EMPLOYEES THEREOF RESULTING IN NONCOMPLIANCE OF PERMITTING REQUIREMENTS MAY BE GROUNDS FOR TERMINATION OF THIS CONTRACT.
- 4.2. NOISE POLLUTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP NOISE POLLUTION, DUE TO THESE CONSTRUCTION ACTIVITIES, AS LOW AS POSSIBLE.

- 4.3. SOIL CONTAMINATION. THE CONTRACTOR SHALL NOT ALLOW REGULATED MATERIALS TO SPILL ON THE PROJECT SITE. ANY SPILLAGE OR REGULATED MATERIALS RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 4.4. STORAGE OF REGULATED MATERIALS. THE STORAGE AND USE OF ANY REGULATED MATERIALS SHALL MEET ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SATISFY THE REQUIREMENTS OF ANY REGULATORY AGENCY FOR THE STORAGE, MONITORING, USAGE, TRANSPORTATION, SAFETY, REPORTING, OR ANY OTHER REQUIREMENTS REGARDING THE MANAGEMENT OF REGULATED MATERIALS ON AND OFF THE PROJECT SITE.

5. SITE WORK

- 5.1. MOBILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARATORY WORK AND PLACEMENT OF MATERIALS IN A STAGING AREA REQUIRED FOR CONSTRUCTION OPERATIONS INCLUDING, BUT NOT LIMITED TO, THOSE NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE; FOR THE ESTABLISHMENT OF FACILITIES NECESSARY FOR WORK ON THE PROJECT; PROVIDING POLLUTION CONTROL MEASURES; AND FOR ALL OTHER WORK AND OPERATIONS WHICH MUST BE PERFORMED.
- THE CONTRACTOR SHALL PROVIDE MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK OF THIS SECTION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE COUNTY.
- 5.2. CLEARING AND GRUBBING. CLEAR THE SITE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION. CLEARING AND GRUBBING SHALL CONSIST OF ALL WORK INCLUDING, BUT NOT LIMITED TO, SALVAGED MATERIALS REMOVAL, PROVIDING AND INSTALLING TEMPORARY EROSION CONTROL, AND PLACEMENT OF TREES, TREE BRANCHES, TREE STUMPS, BRUSH, ROOTS, BOULDERS, SHRUBS, SEDIMENT, AND ALL OBJECTIONABLE MATERIALS IN AN AGREED UPON LOCATION ADJACENT TO THE WORK SITE.

EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THE WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

- ALL WASTES DISPOSAL SHALL BE CONDUCTED AS FOLLOWS:
- A. REMOVE WASTE FROM CLEARING OPERATIONS.
- B. DISPOSE OF AWAY FROM THE SITE IN A LEGAL MANNER.
- C. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE JOB SITE.
- D. DO NOT BURN DEBRIS AT THE SITE.
6. SUBSURFACE DRIP INSTALLATION
- 6.1. SITE PREPARATION
- 6.1.1. GRASS AND SHRUBS. MUST BE CUT CLOSE TO THE GROUND SURFACE AND REMOVED FROM THE SITE.
- 6.1.2. ANY FRUIT TREES SHALL BE TRANSPLATED TO THE EXTENT POSSIBLE.
- 6.1.3. TRENCH AND PLACE THE INFLUX LINE FROM THE WENT WELL, TO THE DISPOSAL SITE. THIS WILL AVOID COMPACTION OF THE DISPOSAL SITE FOLLOWING FLOWING.
- 6.2. INSTALLATION
- 6.2.1. INSTALL THE SUBSURFACE DRIP PER MANUFACTURER RECOMMENDATIONS.
- 6.2.2. PLACE CLEAR WATER IN THE WET WELL AND TEST THE PUMP, CONTROLS AND DISTRIBUTION SYSTEM, CHECKING FOR UNIFORM STREAMS OF WATER FROM EACH HOLE.
- 6.2.3. PLACE SUITABLE SOIL COVER ON THE DRIP SYSTEM. THE SOIL COVER SHOULD SUPPORT VEGETATION. FINAL GRADE THE DISPOSAL AREA SO SURFACE WATER MOVES AWAY FROM THE SYSTEM.
- 6.2.4. SEED AND MULCH THE ENTIRE EXPOSED AREA TO AVOID EROSION. AVOID DEEP ROOTED VEGETATION ON THE TOP OF THE MOUND TO MINIMIZE ROOT PENETRATION INTO THE DISTRIBUTION NETWORK.

7. DELETERIOUS MATERIALS

MATERIALS CONTAINING AN EXCESS OF 5% (BY WEIGHT) OF VEGETATION OR OTHER DELETERIOUS MATTER MAY BE UTILIZED IN AREAS OF LANDSCAPING OR OTHER NON-STRUCTURAL FILLS. DELETERIOUS MATERIAL INCLUDES ALL VEGETATIVE AND NON-MINERAL MATTER, AND ALL NON-REDUCIBLE STONE, RUBBLE AND/OR MINERAL MATTER OF GREATER THAN 6 INCHES.

8. UTILITY TRENCHES

A. A SELECT, NONCORROSIVE, GRANULAR, EASILY COMPACTED MATERIAL SHOULD BE USED AS BEDDING AND SHADING IMMEDIATELY AROUND UTILITY PIPES. THE SITE SOILS MAY BE USED FOR TRENCH BACKFILL ABOVE THE SELECT MATERIAL. IF OBTAINING COMPACTION IS DIFFICULT WITH THE SITE SOILS, USE OF A MORE EASILY COMPACTED SAND MAY BE DESIRABLE. THE UPPER FOOT OF BACKFILL IN LANDSCAPED OR OTHER OPEN AREAS SHOULD CONSIST OF NATIVE MATERIAL TO REDUCE THE POTENTIAL FOR SEEPAGE OF WATER INTO THE BACKFILL.

- B. TRENCH BACKFILL IN THE UPPER 12 INCHES OF SUBGRADE BENEATH AREAS TO RECEIVE PAVEMENT SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY. TRENCH BACKFILL IN OTHER AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY. JETTING OF UTILITY TRENCH BACKFILL SHOULD NOT BE ALLOWED.

9.0 PIPE INSTALLATION

- 9.1. GENERAL. PIPE SHALL BE JOINED BY SOCKET TYPE SOLVENT-WELDED FITTINGS OR THREADED FITTINGS. PLASTIC PIPE SHALL BE CUT SQUARE, EXTERNALLY CHAMFERED APPROXIMATELY 10 TO 15 DEGREES, AND ALL BURRS AND FINIS REMOVED. SOLVENT-WELDED JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2855. THE SOLVENT RECOMMENDED BY THE MANUFACTURER SHALL BE USED.

CARE SHALL BE EXERCISED IN ASSEMBLING A PIPELINE WITH SOLVENT WELDED JOINTS SO THAT STRESS ON PREVIOUSLY MADE JOINTS IS AVOIDED. HANDLING OF THE PIPES FOLLOWING JOINTING, SUCH AS LOWERING THE ASSEMBLED PIPELINE INTO THE TRENCH, SHALL NOT OCCUR PRIOR TO THE SET TIMES SPECIFIED BY THE MANUFACTURER.

SOLVENTS SHALL BE APPLIED TO PIPE ENDS IN SUCH A MANNER THAT NO MATERIAL IS DEPOSITED ON THE INTERIOR SURFACE OF THE PIPE OR EXTRUDED INTO THE INTERIOR OF THE PIPE DURING JOINTING. EXCESS CEMENT ON THE EXTERIOR OF THE JOINT SHALL BE WIPED CLEAN IMMEDIATELY AFTER ASSEMBLY.

THREADED PIPE JOINTS SHALL BE MADE USING TEFLON TAPE OR OTHER APPROVED JOINTING MATERIAL. SOLVENT SHALL NOT BE USED WITH THREADED JOINTS. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED, OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. PLASTIC PIPE SHALL BE SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW 1 FOOT OF EXPANSION AND CONTRACTION PER 100 FEET OF STRAIGHT RUN. THE PIPELINE SHALL NOT BE EXPOSED TO WATER FOR 24 HOURS AFTER THE LAST SOLVENT-WELDED JOINT IS MADE.

9.2 GRAVITY PIPE. GRAVITY PIPE FOR WASTEWATER SHALL PROVIDE 2 FT VERTICAL AND 10 FT HORIZONTAL CLEARANCE FROM WATER LINES, AND SHALL CROSS SUCH LINES AS NEARLY AS POSSIBLE TO 90 DEGREES, IF CROSSING CAN NOT BE AVOIDED.

PIPE SLOPES SHALL NOT BE LESS THAN 2% FOR 4"Ø PIPE. PIPES SHALL ENTER AND LEAVE CONNECTIONS AS CLOSE TO PARALLEL AS POSSIBLE, BUT IN NO WAY TO EXCEED AN ANGLE OF 45°. 90° TEE CONNECTIONS ARE NOT ALLOWED.

9.3 GENERAL TRENCHING. EXCAVATION OF PIPE TRENCHES SHALL FOLLOW NEAT AND PARALLEL LINES, WITH TRENCH WIDTH, IN GENERAL, TO BE ONE FOOT, WITH SUCH WIDENING, AS REQUIRED TO PLACE VALVES AND FITTINGS WITH A MINIMUM OF 4 INCH CLEARANCE TO TRENCH WALL. THE TRENCH SHALL BE NO LESS THAN 24 INCHES DEEP, EXCEPT WHEN IT IS NECESSARY, TO AVOID UNDERGROUND OBSTRUCTIONS OR ROCKY CONDITIONS. IN ALL CASES, THE PIPE SHALL BE PLACED ON A BEDDING OF IMPORTED OR NATIVE MATERIAL PROVIDING CONTINUOUS SUPPORT THROUGHOUT ITS LENGTH.

BACKFILL FOR THE PIPE TO THE TOP OF THE PIPE PLUS 4 INCHES SHALL BE SELECTED OR IMPORTED SANDY MATERIAL, FREE OF STONE, CLAY LIMBS OR OTHER DELETERIOUS MATERIALS IN EXCESS OF 1/2 INCH MAXIMUM DIMENSION, PLACED AND TAMPED AND/OR PADDED ABOUT THE PIPE TO ENSURE PROPER BEDDING PRIOR TO COMPLETION OF TRENCH FILL. THE REMAINING BACKFILL SHALL BE PLACED AT 90% RELATIVE COMPACTION.

10. FLUSHING AND TESTING

AFTER COMPLETION, ALL PIPELINES SHALL BE THOROUGHLY FLUSHED TO REMOVE DIRT, SCALE, OR OTHER MATERIAL. AFTER FLUSHING, THE LINE SHALL BE PRESSURE TESTED. ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM THE TESTS SHALL BE FURNISHED BY THE CONTRACTOR AND ALL TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER OR ENGINEER.

THE CONTRACTOR SHALL PERFORM A TEST TO DEMONSTRATE THAT THE TANKS AND BASINS ARE WATER TIGHT. THE INLET AND OUTLET PIPES OF THE TANKS SHALL BE CAPPED AND THE TANKS SHALL BE COMPLETELY FILLED WITH WATER. THE WATER LEVEL SHALL REMAIN CONSTANT FOR MORE THAN 24 HOURS, OR DURATION BY THE REVIEWING AGENCY JURISDICTION, WHICHEVER IS GREATER, TO DETERMINE IF IT IS WATER TIGHT.

11. OPERATIONAL TEST

THE PERFORMANCE OF ALL COMPONENTS OF THE PUMPING SYSTEMS AND CONTROL SYSTEMS SHALL BE EVALUATED FOR MANUAL AND AUTOMATIC CONTROL.

DURING THE TEST PERIOD AND AT LEAST 15 DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL SET THE CONTROLLER ON AUTOMATIC OPERATION, AND THE SYSTEM SHALL OPERATE SATISFACTORILY DURING SUCH PERIOD. ALL NECESSARY REPAIRS, REPLACEMENTS, AND ADJUSTMENTS SHALL BE MADE UNTIL ALL EQUIPMENT, ELECTRICAL WORK, CONTROLS, AND INSTRUMENTATION ARE FUNCTIONING IN ACCORDANCE WITH THE CONTRACTORS DOCUMENTS OR MANUFACTURER SPECIFICATIONS.

12. AS-BUILT DRAWINGS

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF AS-BUILT DRAWINGS OF THE LAYOUT AND CONSTRUCTION OF THE SYSTEM.

13. OTHER ITEMS

ANY PROCEDURES NOT NOTED OR INCLUDED IN THE ENGINEERING PLANS OR SPECIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO IMPLEMENTATION.

EROSION CONTROL NOTES:

GENERAL. THE CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT EROSION CONTROL AND TEMPORARY STORMWATER CONTROL MEASURES TO CONTROL SEDIMENT AND RUNOFF IN ACCORDANCE WITH THESE PLANS AND THE LOCAL JURISDICTION.

1.1. THE CONSTRUCTION OF THIS PROJECT IS NOT EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).

1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE.

1.3. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE, EROSION CONTROL ORDINANCES, AND CALIFORNIA BUILDING CODE.

1.4. ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF: A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL; B) PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED; C) MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAN 20%. TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.

1. SEED AND MULCH. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR HAND BROADCASTING OF THE FOLLOWING STERIL, WEED FREE, SEED MIX AND INCORPORATED OVER ALL DISTURBED SLOPES:

BROMUS CARINATUS 10#/ACRE
LEYMUS TRITICOIDES 8#/AC
HORDEUM BRACHYANTHERUM 5#/AC.
FESTUCA RUBRA 8#/AC.
DESCHAMPSIA CESPITOSA 8#/AC.

THE MIX/APPLICATION SHALL ALSO CONTAIN:
- FERTILIZER (6-3-3) SHALL BE HAND BROADCAST AND INCORPORATED AT 30-LB/ACRE OVER ENTIRE AREA.
- MYCHORRHIZAL FUNGI SHALL BE ADDED AT 50 LB/ ACRE.
- IF HYDROSEEDING, ADD MULCH AND TACKIFIER TO ABOVE.

2.1 ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.

3. CONCRETE WASHOUT. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. THE CONCRETE WASHOUT FACILITY SHALL BE BELOW GRADE AND CONSTRUCTED WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET. TEMPORARY CONCRETE FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT SHALL HAVE A 10 MIL POLYETHYLENE PLASTIC LINER. WHEN CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE AND MATERIALS FOR THE WASHOUT SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS, OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE CONCRETE WASHOUT SHOULD BE BACKFILLED AND REPAIRED.

4. OTHER PROVISIONS

4.1. IF CONSTRUCTION OCCURS BETWEEN OCTOBER 15TH AND APRIL 15TH, EXPOSED SOIL NOT INVOLVED IN IMMEDIATE CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM EROSION AT ALL TIMES. AFTER APRIL 15TH, EROSION CONTROL MEASURES SHALL BE IN PLACE DURING INCLEMENT WEATHER.

4.2. EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE BY THE CONTRACTOR UNTIL NATIVE VEGETATION HAS BEEN ESTABLISHED AND PROVIDES NECESSARY SLOPE COVER (MINIMUM 70% COVER).

WASTEWATER SYSTEM SPECIFICATIONS

Desai Site Improvement Project
36240 & 36242 Hwy 1
Monterey CA 93940
APN: 243-251-011-000

CLIENT
RUPA DESAI
RUPA.D@KLINERA.COM
408-930-7408

MYER ENGINEERING, INC.
Civil Engineering Consulting Services
PAUL MYER, MS, PE
1796 LAUREL GLEN RD.
SOQUEL, CA 95074
(831) 800-2244
paul@myerengineering.com



Drawn By PEM
Checked By PEM
Project No. 202322
Scale AS SHOWN
Date JUNE 2025
Sheet No.

WW5
5 OF 5

No.	Revision/Issue	Date

GENERAL NOTES:

- ARBORIST SURVEY : Refer to **Sheet L -4**
- REMOVAL OF 6 MONTEREY CYPRESS IS FROM A PLANTED GROVE ON THE SITE IS DUE TO CONFLICT WITH PROPOSED BUILDING EDGES AND REQUIRED DRIVEWAY WIDTHS REPLACEMENT FOR THE SIX (6) REMOVED & TREES PROXIMATE TO THE BUILDING ZONE IS NOT A REQUIREMENT
 - THE LANDSCAPE ARCHITECT HAS VOLUNTEERED EIGHT (8) NEW SMALL CYPRESS ALONG THE NORTHEAST BOUNDARY WHICH WILL IN THE FUTURE OFF MORE SCREENING FROM HIGHWAY 1 AND ACT TO STEWARD THE FUTURE GROVE AS A SUCCESS.
 - TREE MANAGEMENT STARTS WITH IDENTIFYING THE CRITICAL ROOT ZONE (CRZ) AND EXPANDS AND INCLUDES TO TREE PROTECTION DURING CONSTRUCTION PLAN (See SHEET L-5)
- SITE PLAN LANDSCAPE : REFER TO **SHEET L -1 INDEX**
- EXISTING TOPOGRAPHY IS SHOWN AT TWO FT (2') CONTOURS
 - BUILDING FOOTPRINT WITH FINISHED FLOOR GRADES, DRIVEWAY, PARKING AREA, FIRE TRUCK ACCESS AS A DRY HYDRANT - SEE CIVIL ENGINEER PRELIMINARY PLANS
 - ADDITIONALLY PATIOS, WALLS, FENCES, PATHS & STORAGE AREA ARE IDENTIFIED PROPERTY IDENTIFICATION SIGN IS AT THE BOTTOM OF THE DRIVEWAY
 - GRADING & DRAINAGE PLAN: REFER TO THE CIVIL ENGINEER'S DRAWINGS
 - DRAINAGE SOLUTIONS BEST FOR THE SITE. BEST MANAGEMENT CONSTRUCTION PROTECTIONS. ALSO REVIEW L-4 + L-5 LANDSCAPE ARCHITECT'S AND ARBORISTS PRESCRIPTIONS
 - BEST MANAGEMENT PRACTICES ALSO FOLLOWS WITHIN THE CIVIL PLAN SET TO MANAGE EXISTING AND FUTURE HABITAT RESTORATION AREAS

LANDSCAPE PROPOSED LAYOUT AND PLANTING ZONES: **SHEET L-2**

FIRE PROTECTION ZONES : **SHEETS L-3**
DEMONSTRATES THE HORIZONTAL DISTANCES FOR CALIFORNIA FIRE MANAGEMENT ZONES INVOLVING FIRE FUEL LOAD REDUCTION

ARBORIST SURVEY AND TREE PROTECTION: REFER TO **SHEETS L-4 + L -5**

- TREE EVALUATIONS FOR 43 TREES ON THE SITE
- TREE PROTECTION BEFORE, DURING & AFTER THE CONSTRUCTION

LANDSCAPE PLANTING PLANS: REFER TO **SHEET L-10**

- SHOWS ALL PLANT BOTANICAL + COMMON NAMES SIZE IN LOCATION
- SEEDING ZONES AND CALL OUTS PER PLANT SPECIES & AMOUNT PER ACRE
- PLANTING PREPARATION SPECIFICATIONS
- SKETCH SITE LAYOUT & PLANT SECTIONS REFER TO SHEET L-11

LANDSCAPE LIGHTING PLAN: REFER TO **SHEET L 6**
THE LIGHTING SCHEMATIC LINE DIAGRAM LOCATES AND CALLS OUT IN SYMBOL FORM THE LIGHT TYPE

- ALL LIGHTS ARE DOWN CAST ILLUMINATION
- ALL LIGHTS ARE MADE WITH A SHIELD TO DIRECT SPREAD THE LIGHT DOWN
- ALL LIGHTS MEET THE COUNTY MONTEREY DARK SKY REQUIREMENT WATTS PER FIXTURE MAXIMUM SPECIFICATIONS APPROVED & ADOPTED COUNTY DESIGN GUIDELINES FOR EXTERIOR LIGHTING

LANDSCAPE IRRIGATION PLAN: REFER TO **SHEET L -7**

- HYDROZONES & SPECIFIC PLANTS FOR AREAS DEFINED ARE LISTED & CALLED OUT ON PLAN. PLANT SPECIES FOLLOW DESIGN GUIDELINE PLANTING LISTS (PREFERRED & PROHIBITED) FROM THE COASTAL FLORA. WATER USE IS CATEGORIZED AS MEDIUM, LOW & VERY LOW STATE OF CALIFORNIA WUCOLS V (Adopted March 25, 2025) PLANT CLASSIFICATIONS
- TEMPORARY IRRIGATION IS USED IN THE CASE OF RE-VEGETATION TO ESTABLISH NEW PLANT MATERIALS. THESE ZONES WILL BE ABANDONED AFTER THE *3 -YEAR MONITORING HAS BEEN COMPLETED

LANDSCAPE HABITAT RESTORATION PLAN: REFER TO **SHEET L -9 & L-10**

- PLANTS ARE SPECIFIC TO THIS PART OF CENTRAL COASTAL CALIFORNIA . IN MANY CASES THE PLANS ARE PARTICULAR TO THIS MONTEREY COASTLINE
- THE MAJORITY OF THE SELECTED PLANT SPECIES ARE SELECTED FROM THIS SITE OR NEAR-BY COASTAL MARITIME CHAPARRAL FROM ROCKY POINT TO SOBERANES POINT AND INCLUDE HURRICANE POINT FOR A CALIFORNIA NATIVE PLANT FLORA AND PARTICULAR TO THE MONTEREY SOUTH COASTLINE. SELECTIONS COLLECTED FROM SEED AND ASEQUAL VEGETATIVE CUTTINGS BY BIOLOGICAL / NURSERY FIRMS WITH A HISTORY OF PERMITTING ALONG THE BIG SUR COASTLINE.
- ALL PLANTS IN THE DESIGNATED HABITAT WEST / SOUTHWEST QUADRANT OF THE PLAN ARE TO BE GROWN FROM A MARITIME CHAPARRAL SPECIFIC TO THE AREA AND APPROVED BY THE PROJECT BIOLOGIST AND LANDSCAPE ARCHITECT

LANDSCAPE PLANTING PLAN PROXIMATE TO BUILDING STRUCTURES: REFER TO **SHEET L -10 & L-11**

- PLANTING IN MOST CASES INCORPORATES NATIVE CALIFORNIA FLORA FOR COASTAL CHAPARRAL PLANT COMMUNITIES APPROPRIATE TO AND ACCEPTED WITH UNIQUE SENSE OF PLACE AND THE ARCHITECTURE OF THE BUILDING.
- ALL PLANTINGS FOLLOW LOW WATER USE AND LOCAL CLIMATE ADAPTATIONS FOR YEAR AROUND PLANT VIGOR WITH MINIMAL SUPPLEMENTAL IRRIGATION.

Landscape Design Statement:
PROJECT LAYOUT, MATERIALS, & IRRIGATION

This nearly 2.9 Acres are highly disturbed into the native Coastal Scrub Plant Habitat ONLY be Planted / Irrigated on concentrated zones adjacent to the house.

ALL other area plantings are native plant restoration areas where construction overlap has a history of disturbance to this marginal native primarily located outside of the building envelope. Refer to Project Botanist, Patrick Regan's Biological Assessment Report revised March 2025 & updated 'Northern Coastal Scrub Habitat Restoration Plan report dated October 31, 2025'. At the time of the survey no Rare, Threatened or Endangered Native California Plants were documented. That said, the landscape Plans work within the Native California Plant species particular to the site environs for this 'Northern Coastal Scrub Habitat ' and the Restoration Plan proposed.

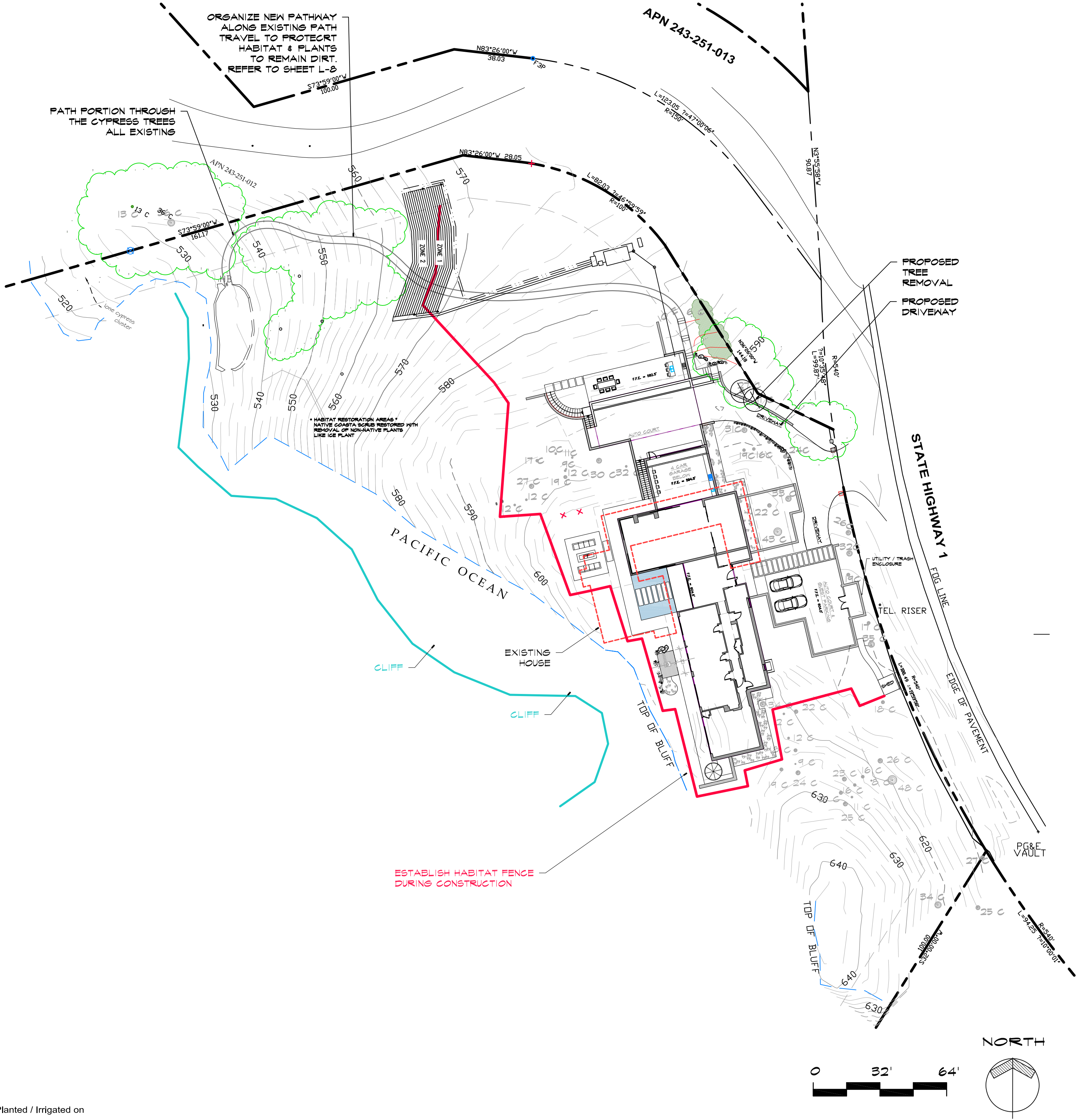
I **Scott Hall**, a registered California Landscape Architect (#3405), certify that these landscape Preliminary Planting and Irrigation Plans comply with all conditions for and as set forth for conditions for approval and intent have been addressed. The landscape design follows use water saving plant choices in the allowable planted areas along with water saving delivery system design & follows MPWMD Rule #142.1 The rule focuses on water use efficiency in plant selection, landscape design for the proposed Irrigation system.

The Planting Plans include the use of Native California Water Saving ("drought tolerant") plant species and plants from a Mediterranean only near or proximate the house and used from the period of original construction and garden and does not include non-native or invasive plant species.

The total planted area 87% of the chosen plant species classified 'L' or low water use per the WUCOLS V Water Use Classification of Landscape Species The responsible and appropriate Water Saving plant species selected here is reflected in the Irrigation use of a LOW FLOW water saving Drip Delivery for Irrigation delivery Zones. No formal lawn is part of this design.

Scott Hall

Scott Hall, registered California Landscape Architect #3405



INDEX SHEET	
L- 1	INDEX SHEET / SITE PLAN
L- 2	SITE LAYOUT / PLANT ZONES & MATERIALS
L- 3	FIRE PROTECTION ZONES & COMMENTS
L- 4	ARBORIST SURVEY
L- 5	TREE PROTECTION ZONES
L- 6	LIGHTING PLAN
L- 7	IRRIGATION PLAN
L- 8	EXISTING HABITAT PLANTING
L- 9	HABITAT RESTORATION PLANTING PLAN
L- 10	PLANTING ADJACENT TO BUILDING ZONE
L- 11	PLANTING PLAN ROOF & SECTIONS
L- 12	PLANTING SPECS / LNDSACP LIGHT CUT SHEETS



LOCATION



Naik - Desai Residence

PRELIMINARY LANDSCAPE PLANS

INDEX - SITE MAP - PROJECT NOTES

SCALE : 1/32"= 1' - 0"

PRELIMINARY PLAN REVISED FOR REVIEW 11/10/2025

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPLICATION THEREOF IS EXPRESSLY LIMITED TO EXACT REPRODUCTION OR REPLICATION BY ANY PERSON, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH HALL LANDSCAPE DESIGN. WITHOUT PREJUDICE, USUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ADOPTION OF THESE REVISIONS.

Revisions

REVISION BASED UPON LUAC COMMENTS
REVISION FOLLOWING COASTAL COM
REPRESENTATIVES SITE WALK 10/21/2025
PLANNER DIRECTION FOR SEPTIC & AREA
Signature: 11/10/2025

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail: scotthalllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL

#3405

SIGNATURE

7-26-25

DATE

STATE OF CALIFORNIA

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Index Sheet

L-1

of: 12 Sheets

Page Title:

Job #05-2023

Date Printed: 11/10/2025

Revision 7 - 11 / 2025

Drawn By MASH

Sheet

HABITAT RESTORATION GOALS
INITIAL REVIEW: SEE SHEET L-9

TO THE EXTENT THAT A MAJORITY OF THE EXISTING SITE HAS BEEN A DEPAUPERATE (DETERIORATING) ECOSYSTEM OF NATIVE CALIFORNIA FLORA HABITAT WHICH IS NORMALLY FOUND IN SIMILAR LOCATIONS ALONG THE COASTAL BLUFFS AND THAT ONLY A SMALL NUMBER OF NATIVE BUCKWHEAT (*Eriogonum parvifolium*) WERE IDENTIFIED, THE GOAL, WITH THE ASSISTANCE OF THE PROJECT BOTANIST IS TO REVEGETATE THIS COASTAL NATIVE SCRUB COVER BACK TO THE PATCH WORK OF COASTAL SCRUB AS IDENTIFIED IN THE BOTANICAL COASTAL SCRUB REPORT. THIS FLORA SUCCESS WILL BE ACCOMPLISHED BY REMOVING NOXIOUS AND NON NATIVE FLORA PRIMARILY ON THE WEST AND NORTHWEST SIDE (OCEAN) OF THE PROPOSED BUILDING SITE. WITHIN REASON PLANS FROM THE SITE AND ADJACENT COASTAL ZONES NEARBY HAVE BEEN SUGGESTED TO BE COLLECTED, PROPAGATED & HELD IN CONTRACT SPECIALITY PLANT NURSERIES BEGRIMING A YEAR AHEAD OF THE ACTUAL PLANTING TIME.

ADDITIONAL PLANT SPECIES IN THE RESTORATION AREA AND ALREADY IN THE OVERALL PLAN ALSO INCLUDE NATIVE COASTAL BLUFF PLANTING SUCH AS LIZARD TAIL (*Eriophyllum staechadifolium*) CALIFORNIA SAGE BRUSH (*Artemisia californica*), BLUFF LETTUCE (*Dudleya farinosa*) AND SEASIDE DAISY (*Erigeron glaucus*), DOUGLAS IRIS (*Iris douglasii*) AND ETC. COLLECTING SEED AND CUTTINGS IN THE GENERAL COASTAL BLUFF ZONE FROM THE PROJECT WILL BE DONE WITH ALL PROPER PERMITTING FROM CALIFORNIA FISH AND GAME AND ETC.

PLANTING IN AREAS LOWER AND ADJACENT TO THE POOL AREA AND THE EXISTING ANIMAL AND GARDEN HABITAT WILL BE REPLANTED WITH NATIVE SHRUBS OFFERING COVER AND HABITAT FOR SMITHS BLUE BUTTERFLY. CURRENTLY THERE ARE TWENTY (20) PLANTS IDENTIFIED. PROVIDENCE OF THE LOCAL NATIVE PLANT SEED IS TO BE COLLECTED FROM THE SITE AND OR PROXIMATE TO THE PROJECT LOCATION. EVERY ATTEMPT WILL ALSO BE MADE TO ERADICATE THE NON NATIVE (*Carpobrotus chilensis*) SEA FIG / ICE PLANT) AS LOCATIONS IDENTIFIED IN THE BOTANICAL REPORT. NOTE ERADICATION WILL CEASE WITHIN SAFE DISTANCE BACK FROM THE EDGE OF THE ROCK CLIFFS.

A SEPARATE LANDSCAPE SHEET SHOWING NATIVE PLANTING ZONES AND THE SPECIES LIST AND GENERAL SPACING WILL ACCOMPANY THE COMPLETED LANDSCAPE PLAN SET. ALL LANDSCAPE PLANT CHOICE AND METHODOLOGY FOR HABITAT RESTORATION WILL BE AS A TEAM EFFORT BETWEEN THE PROJECT BOTANIST, THE LANDSCAPE ARCHITECT AND LICENSED LANDSCAPE INSTALLERS. ANY PLANT COLLECTION ALONG THE COAST WILL BE DONE WITH STATE PROCESS PERMITTING.

REVISED REVIEW SITE LAYOUT MATERIALS + PLANT SPECIES ZONES

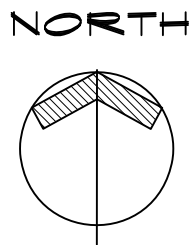
PLANT LIST Habitat:

Botanical Name	Common Name
<i>Achillea millefolium</i>	White Yarrow
<i>Arctostaphylos crustacea</i> spp rosei	Roses manzanita Garrapata
<i>Artemisia californica</i>	Calif sage brush 'Montara'
<i>Baccharis pilularis</i> spp. pilularis	Prostrate coyote bush
<i>Berberis pinnata</i>	Coast bareberry 'Ken
<i>Calochortus albus</i>	White fairy lanterns
<i>Calystegia purpurata</i> spp purpurata	Beach Morning Glory
<i>Carex panza</i> / alternative <i>praegracilis</i>	Native field & dune sedge
<i>Ceanothus thyrsiflorus</i> var. <i>Thyrsiflorus</i>	Blue blossom ceanothus
<i>Diplacus aurantiacus</i>	Monkey Flower
<i>Dipterostemon capitatus</i>	Blue Dicks perennial
<i>Dudleya caespitosa</i>	Sea Lettuce
<i>Dudleya farinosa</i>	Bluff Lettuce
<i>Eschscholzia californica</i>	California Poppy
<i>Erigeron glaucus</i> spp. <i>Glaucas</i>	Seaside Daisy
<i>Eriogonum parvifolium</i>	Buckwheat
<i>Eriophyllum staechadifolium</i>	Lizzard's Tail
<i>Eschscholzia californica</i>	California Poppy
<i>Frangula californica</i> spp. <i>californica</i>	California Coffee Berry
<i>Hesperocyparis macrocarpa</i>	Monterey Cypress
alternative: <i>Hesperocyparis</i> 'Gowen'	alternative: Carmel Highlands
<i>Iris douglasiana</i> 'Stanta Lucia'	Iris Brett's choice
<i>Lepechinia calycina</i>	Pitcher sage 'Rocky Point'
<i>Lomatium parvifolium</i>	Little leaf tomatum
<i>Lupinus albifrons</i> var. <i>douglasii</i>	Douglas silver lupine
<i>Lupinus arboreus</i>	Yellow Bus Lupin
<i>Salvia mellifera</i>	Black Sage
<i>Sanicula crassicaulus</i>	Gamble weed

Big Sur Coast California Native Flora	
Monterey County Native Coastal Flora	
Plants Habitat & transition zones / landscape and restoration Native California Flora worth propagating cuttings & harvesting seed	
<i>Achillea millefolium</i>	Common Yarrow
<i>Arctostaphylos edmundsii</i> 'Little Sur'	Manzanita ground cover
<i>Atemesia californica</i>	California Sage brush
<i>Baccharis pilularis</i> spp pilularis	Prostrate coyote bush
<i>Berberis pinnata</i>	Coast barberry (local BSC)
<i>Ceanothus thyrsiflorus</i> var. <i>griseus</i> 'Yankee Pt.'	Carmel Creeper
<i>Ceanothus thyrsiflorus</i> var. <i>thyrsiflorus</i>	Blue Blossom
<i>Diplacus aurantiacus</i>	Bush Monkey flower
<i>Dudleya caespitosa</i>	Sea Lettuce
<i>Dudleya farinosa</i>	Bluff Lettuce
<i>Erigeron glaucus</i>	Seaside Daisy
<i>Eriogonum parvifolium</i>	Sea Cliff Buckwheat
<i>Eriophyllum staechadifolium</i>	Lizard Tail
<i>Frangula californica</i>	Coffee Berry
<i>Iris douglasii</i>	Douglas Iris inc. 'Brett's Choice'
<i>Lepechinia calycina</i>	pitcher sage 'Rocky Point'
<i>Lupinus albifrons</i> var <i>douglasii</i>	Douglas silver lupin
<i>Salvia mellifera</i>	Black Sage
<i>Stachys bullata</i>	Wood Mint
General Plant List to be REMOVED from the Site	
Acca sellowiana	Pinapple guava
Aeonium arboreum*	Tree Aeonium
Aloe sp.*	Aloe
Aptenia cordifolia*	Baby Sun-Rose
Brassica nigra	Black Mustard
Carpobrotus chilensis*	Sea Fig
Conium maculatum*	poison Hemlock
Crassula sp.*	Crassula
Delairea odorata*	Cape Ivy
Echium candicans*	Pride of Madera
Eucalyptus globulus*	Blue gum
Mesembryanthemum nodiflorum*	Slender leaf ice plant
Myoporum laetum*	Mousehole tree
Tetragonia tetragoniodes*	New Zealand Spinach



EXISTING HOUSE VIEW BACK FROM OUTCROP



L-2

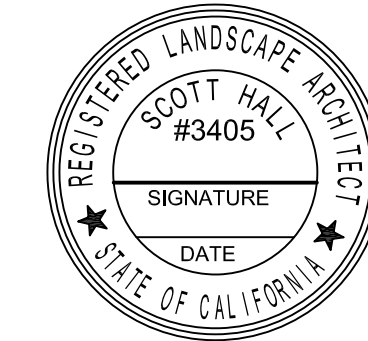
of: 12 Sheets

PRELIMINARY PLAN FOR HOUSING & COMMUNITY SERVICES REVIEW 11/2025

Page Title:

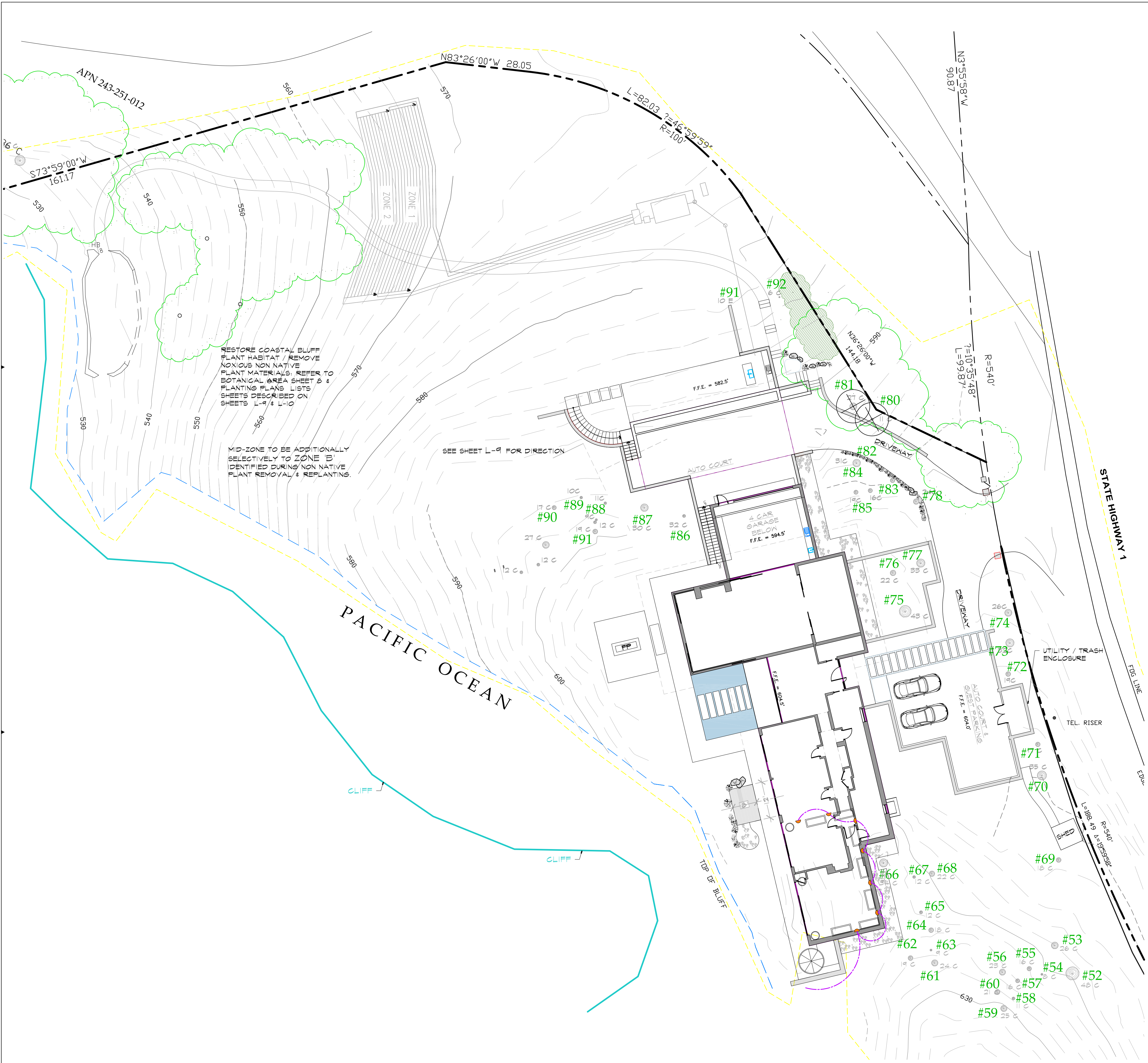
Job #	05-2023
Date Printed:	11/10/2025
Revision	
Drawn By	MASH
Sheet	

Naik-Desai Residence
36240 & 36242 CA Highway 1
Monterey, CA 93940 apn 243-251-011



Hall
Landscape
Design Inc.
Landscape Architects #3405
582 Lighthouse Avenue
Pacific Grove, Ca 93950
(831) 655-3808
e-mail: scott@halllandscape.com

Revisions
REVISION BASED UPON LUAC COMMENTS
REVISION FOR FOLLOWING COASTAL COR
REPRESENTATIVES SITE WALK 10/21/2025
PLANNER DIRECTION FOR SEPTIC & AREA
Square footage: 11/10/2025



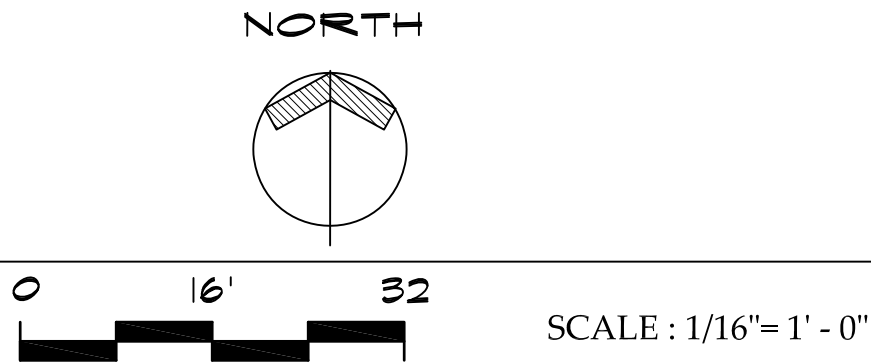
Tree Chart

Tag	Diameter	Species	Condition	Remove	Comments
51	27	MC	Fair		
52	48	MC	Fair		
53	26	MC	Fair		
54	8	MC	Poor		Suppressed
55	16	MC	Fair		
56	23	MC	Fair		
57	16	MC	Fair		
58	11	MC	Fair		
59	25	MC	Fair		
60	21	MC	Fair		
61	24	MC	Fair		
62	19	MC	Fair		
63	9	MC	Poor		Suppressed
64	24	MC	Fair		
65	12	MC	Poor		Suppressed
66	34	MC	Fair		Monitor grading
67	12	MC	Poor		Suppressed
68	22	MC	Fair		
69	18	MC	Fair		
70	35	MC	Fair		
71	17	MC	Fair		
72	19	MC	Fair		
73	32	MC	Fair		
74	26	MC	Fair		
75	43	MC	Fair		
76	22	MC	Fair		
77	33	MC	Fair		
78	24	MC	Fair		
79	Various	MC	Fair		Cypress Grove
80	11	MC	Fair		Remove
81	27	MC	Fair		Remove
82	31	MC	Fair		
83	16	MC	Fair		
84	19	MC	Fair		
85	15	MC	Fair		Monitor Grading
86	30	MC	Fair		
87	30	MC	Fair		
88	11	MC	Fair		
89	10	MC	Fair		
90	17	MC	Fair		
91	19	12 9 MC	Fair		
91E	10	Euc	Fair		
92	6	MC	Fair		

MC = Monterey Cypress

Euc = Eucalyptus

- GENERAL TREE NOTES:
- THE ARBORIST REPORT FRANK ONG CERTIFIED MASTER ARBORIST ORIGINAL 2023 HAS BEEN UPDATED IN THIS PLAN PACKAGE ON FEBRUARY 11, 2025 WHICH FOLLOWED ARCHITECT ERIC MILLER'S SITE DESIGN CHANGE FOR THE BUILDING.
 - THE REPORT FOLLOWS COUNTY OF MONTEREY TITLE 20 FOR THE COUNTY COASTAL ZONING ORDINANCE AND MITIGATION REQUIREMENTS FOR THE TREE MANAGEMENT REPORT.
 - ALL ARBORIST PERFORMANCE NOTES & BEST PRACTICES FOR FUTURE TREE CARE FOUND ON SHEET L-5 TREE PROTECTION PLAN.
 - NO ADDITIONAL PLANTED TREES HAVE BEEN REQUIRED FOR THE TWO TREES (2) QUALIFIED TO BE REMOVED. HOWEVER, THE LAND ARCH ADDED 20 MONTEREY CYPRESS (*hesperocyparis macrocarpa*) ON THE NORTH EASTERN EDGE OF THE DRIVEWAY / BOUNDARY.
 - TEMPORARY IRRIGATION IS TO BE USED DURING THE TREE PLANTING ESTABLISHING & THE PULLED FROM THE SITE TWO YEARS AFTER ESTABLISHING TREES.



PRELIMINARY PLAN FOR HOUSING & COMMUNITY SERVICES / REVIEW 11/2025

Revisions

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail: scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL

#3405

SIGNATURE

DATE

STATE OF CALIFORNIA

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Arborist Survey

Page Title:

Job #

05-2023

Date Printed: 11/10/2025

Revision

01/2025

Drawn By

MASH

Sheet

L-4

of: 12 Sheets

PROTOCOL & PROTECTION FOR
EXISTING CYPRESS TREES
& FIRE MANAGEMENT DIRECTIVES

Trees located in relatively close proximity to the proposed project site will be pruned to maintain and preserve tree health, improve aesthetics, provide adequate clearance around structures, reduce combustible fuel loads (i.e., ladder fuels) and improve defensible space for wildland fire protection. Pruning operations should occur during the proper time of year (preferably fall through early winter) and will utilize proper pruning best management practices (BMP's) to minimize impacts to retained trees

Construction Tree Protection Measures:

Per Monterey County Community Development-Planning Department requirements and resource preservation BMP's, tree and resource protection measures shall be implemented for this home development . Proper implementation of tree and resource preservation BMP's and regular construction site monitoring will assist in protecting and preserving the health and welfare of trees, habitat and surrounding resources. The location of tree protection measures will be determined on-site by the project arborist and project design team, and tree and resource preservation measures will be regularly inspected and properly maintained for the duration of the project to ensure they are functioning effectively:

1) Prior to commencing with grading and construction activities install high visibility exclusionary fencing that clearly defines the work area, limits unnecessary disturbance to surrounding areas, and protects the critical root zone (i.e., area defined by the outermost portion of the canopy dripline, 360 degrees around the tree) of individual trees and tree groupings. Perform necessary repairs, modifications and maintenance on a as needed basis.

2) Install appropriate sedimentation control measures (e.g., silt fence) along down slope perimeter of construction site, and if necessary apply soil stabilization and source control measures (e.g., rice straw mulch, erosion control blankets, all-weather surfaces) to exposed soil surfaces to prevent erosion problems and sediment runoff during rain events. Perform routine monitoring as well as necessary maintenance and improvements to ensure that erosion & sedimentation control measures are functioning effectively. It should be noted, that erosion problems and sediment deposition around trees can adversely affect tree health and stability. REFER TO CIVIL ENGINEERING PLANS.

3) Where grading and construction activities are occurring within 3 feet of trees install trunk and stem protection measures (e.g., 2x4 lumber forming protective barrier around circumference of lower stem of tree). Tree protection measures should be securely installed to trees with rope and high visibility exclusionary fencing. If it is necessary to perform any pruning use proper tree pruning practices to minimize stress and maximize wound healing.

4) If it is necessary to temporarily store construction materials or equipment within the canopy dripline of nearby oak trees (which will be avoided and should not be necessary), apply 2 to 5 inches of clean and properly source woodchip mulch to limit soil disturbance and prevent soil compaction within the critical root zone area.

5) Where possible, avoid damaging or cutting roots located within the critical root zone (i.e. canopy dripline) of trees, especially roots that are 2 inches diameter or larger, and avoid grading or significant soil disturbance within a radius that is a minimum three times (3X) the diameter (DBH) of a subject tree, which is the most sensitive portion of a tree's critical root zone (CRZ) area. Trees with a DBH of approximately 12 inches should have a minimum protective radius of 4 feet, but preferably a greater area within the CRZ should be protected with limited soil disturbance. It should be noted that 3X the trunk diameter is the minimum CRZ area that must be protected and, where possible, ideally root zone disturbance should be avoided within the entire canopy dripline (i.e., the outer most portion of the canopy dripline 360 degrees around the tree) and even expanded to the area beyond the canopy dripline and primary root zone. Construction footings should be designed and excavation activities performed in a manner to minimize impacts to primary roots, or alternative foundation designs (e.g., pier and grade beam) that are less impact to critical root systems should be considered. If significant roots are encountered efforts should be made to carefully excavate (e.g., tunnel or dig) under or around primary lateral roots. Grading or trenching operations that may occur within the critical root zone of retained trees should be performed under the guidance and monitoring of the project arborist; however, no such activities are planned or anticipated for this project. Tree roots severed or significantly damaged during grading and excavating operations should be cleanly cut and promptly covered with moist burlap fabric or equivalent until roots are permanently covered with backfill material or until the exposed grading cut and soil profile is permanently stabilized and protected. If burlap covered cut roots are exposed to the outside environment for an extended period of time a project attendant shall be assigned the task of regularly wetting burlap covered roots to prevent root desiccation. Additionally, it may be necessary to perform supplemental irrigating (i.e., regular deep watering throughout the remaining portions of the critical root zone) to construction impacted trees. Frequency, quantity and duration of supplemental watering should be determined by the project arborist.

6) As previously stated, coast live oaks can be fairly tolerant of low to moderate levels of root pruning and root loss; however, they are generally less tolerant to increases (i.e., introduction of fill material) or decreases (i.e., cut slopes) in natural grade. Obviously, where possible, root loss and root system impacts should be avoided and minimized to the greatest extent possible and this important consideration should be factored in when developing a construction design plan. Per the site assessment and analysis of the current development design plan, it appears that retained

trees in the vicinity of home and driveway construction activities will likely tolerate construction impacts with minimal or insignificant adverse affects and are suitable for being retained, protected and preserved.

7) Avoid storing construction tools, materials and equipment within the critical root zone (i.e., canopy dripline) of trees, and do not wash out or dispose of excess materials (e.g., paint, plaster, concrete, or other potentially harmful substances) within critical root zone areas. As previously noted, if it is unavoidable and necessary to temporarily store or stockpile materials and equipment within the dripline of trees, apply 2 to 5 inches of clean and properly sourced wood chip mulch to prevent significant soil compaction and root zone disturbance.

8) Where possible, avoid altering the natural grade within the critical root zone of trees to reduce the likelihood of causing stress, decline or mortality. Lowering natural grade can result in significant root damage and raising the grade (i.e., introducing fill material, particularly around the lower trunk and root crown) can lead to trunk and root decay disorders that are detrimental to the health and structural integrity of trees.

9) If tree pruning is necessary it is important to utilize proper pruning BMP's that will assist in minimizing harmful impacts to trees. In most cases, tree pruning should ideally be performed during the fall through early winter months. A general principle to follow is that it is important to make proper pruning cuts, keeping them as small as possible while removing as few living branches as necessary to achieve the objective. Excessive pruning stresses trees by depleting energy reserves and reducing food making processes (i.e., photosynthesis), which compromises a trees ability to recover and replenish essential reserves during periods of stress (e.g. root disturbance and drought conditions). Additionally, it creates an abundance of exposed wounds providing entry points for potentially harmful biotic disorders (e.g., disease, decay and/or insect pests) that can adversely affect the health and structural integrity of trees. It should be noted that pruning involving the removal of 30% or more living canopy material requires a County permit. Additional pruning BMP's and guidelines are available upon request.

10) The primary objective of pruning operations should be as follows: To remove dead and unhealthy limbs and branches (i.e., deadwood removal); improve canopy balance and symmetry and maintain natural form; thin out overly dense and heavy portions of the canopy; and, if necessary, perform targeted and selective weight reduction pruning of the canopy and large limbs (i.e., end weight reduction pruning) to assist in preventing significant structural failures that can be detrimental to tree health and potentially hazardous to areas with human activity. As suggested in the previous sentence, perform necessary pruning to reduce and mitigate hazard concerns to occupied structures and areas with human activity; and perform necessary pruning to reduce wildland fire hazards and combustible fuel loads, and improve property protection and defensible space around structures.

11) Perform regular construction site inspections for the duration of the project to monitor the condition of tree and resource protection measures, and to determine if any repairs, adjustments or modifications are necessary. Additionally, trees impacted by site development should be periodically monitored and assessed during and following the project to determine if any tree care and management actions are necessary, and to make certain trees do not present a hazard to property and/or nearby structures.

C. Tree Repair & Replacement:
Per tree care and preservation BMP's, if any trees are damaged during construction operations they should be promptly repaired and/or treated per arborist specifications. Remedial or mitigation treatments may vary and will depend largely on the damage or injury sustained, as well as the condition of a specific tree at the time of injury. As previously noted, trees impacted by project operations should be periodically monitored and assessed by the project arborist during and following the project to determine if any tree care and management actions are necessary that will assist in preserving and improving tree health and preventing tree hazards.

CONCLUSION
in conclusion, for the reasons provided in this report Cypress trees located on the property are proposed for removal in preparation for planned home construction activities. Additionally, tree and resource measures shall be installed prior to construction activities commencing and properly and maintained for the duration of the project. Given the proper implementation rooftop and resource protection measures provided in this report, construction related impacts respected to be minimal and insignificant to tree health. Additionally, in the interest of complying with Monterey County RMA-Planning Department tree removal permit conditions and preserving and sustaining the health and character of Cypress replacement oak trees shall be planted on the subject lot and survive a TWO year monitoring period.



Revisions

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail: scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL #3405

SIGNATURE

DATE

STATE OF CALIFORNIA

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Tree Protection Plan

Page Title:

Job #

05-2023

Date Printed:

11/10/2025

Revision

06/2025

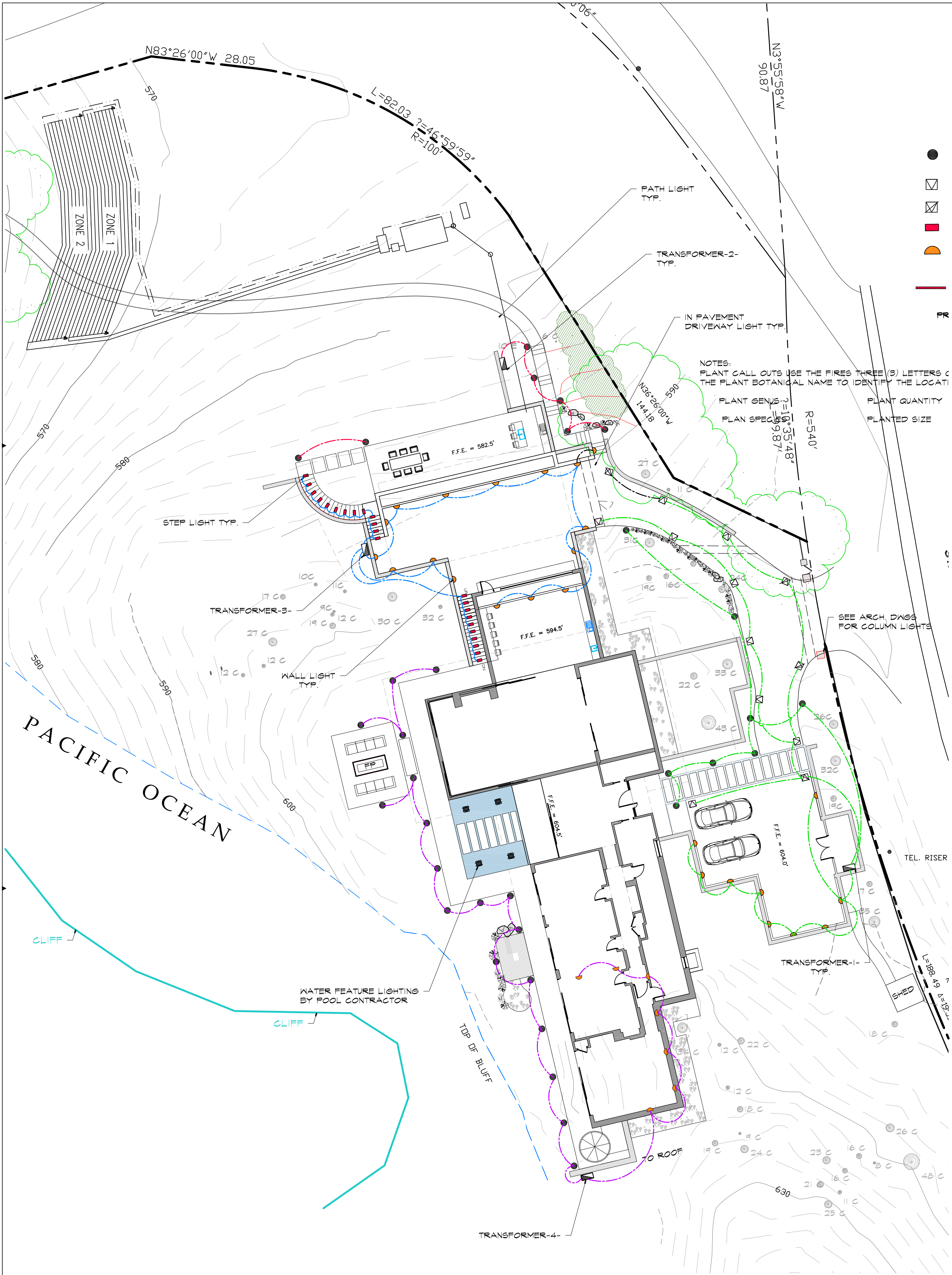
Drawn By

MASH

Sheet

L-5

of: 12 Sheets

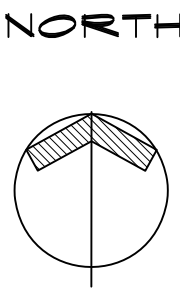


13

LIGHTING LANDSCAPE LIST
36240 Highway One Preliminary Mar-25

Quantity	SKU	LED	FINISH	ADD ONS	Auroralight mfg. for all products Lights to type	Model	Watts	Lumens	Led Color
35	321204 Martillio	2700	BLP	GS MGS001612	Pathlight Stem	LPL2 Martillio	4 Watts	162 lm	2700k
10	IGR035102 SONOMA 4" Directional	2700	BLP	MJB112502	Driveway ground light 180 deg	Sonoma 180 deg	4 Watts	63 lm	2700k
4	IGR035203 SONOMA 4"	2700	BLP	MJB112502	Driveway ground light 270 deg	Sonoma 180 deg	4 Watts	63 lm	2700k
29	STW530203 VERTEX (LSR5 L)	2700	BLP	adj. back box	Step Light	Vertex	4 Watts	501m	
32	STW 025304 SONOMA WALL	2703	BLP	SCE008 Side	Wall Light	Somoma Wall	3 Watts	651m	2703
	UNDER BENCH STRIP LIGHT	TBD							

- NOTES :
- ALL LIGHTING SHALL FOLLOWS MONTEREY COUNTY CODES GUIDELINES MAINTAINING LESS THAN 5 WATTS & DOWNCAST LIGHT FIXTURES + MONTEREY COUNTY EXTERIOR LIGHTING GUIDELINES 16-010 OF THE MONTEREY GENERAL PLAN. PERFORMANCE CRITERIA SHALL FOLLOW STATE OF CALIFORNIA ENERGY EFFICIENCIES (TITLE 24, PART 6) . USE OF LED LIGHTS SHIELDED AND DOWN CASTING TO ENHANCE 'DARK SKY.'
 - SPECIFICATION SHEETS FOR EACH FIXTURE ARE LOCATED ON SHEET L-9 ANY CHANGE IN TYPE OR MANUFACTURER SHALL BE REVIEWED WITH LANDSCAPE ARCH. PRIOR TO ORDERING ANY FIXTURES.
 - ALL FINISH IS TO BE BRONZE PATINA / Auroralight BLP-XD BRONZE
 - ALL FIXTURES ARE LED
 - LINE VOLTAGE JUNCTION BOXES SHALL BE INSTALLED BY LICENSED ELECTRICIAN
 - ALL LANDSCAPE LIGHTING WIRE INSTALL PLACED INTO SCHEDULE 40 / 3/4" PIPE THROUGHOUT ALL LOCATIONS. RUN WIRE IN PIPE TO LOCATION, CAP & SEAL & LEAVE 5-FT MINIMUM COILED AT FIXTURE LOCATION FOR ADJUSTMENTS.
 - GROUND LIGHTS SHALL BE MOUNTED ON EPCO POSTS W/ BRASS CAPS
 - POOL LIGHT SHALL BE INCORPORATED INTO THE POOL PERMIT / SELECTION AT TIME OF CONSTRUCTION DOCUMENTS
 - ALL EXCAVATION FOR LIGHTING RUNS SHALL ALSO FOLLOW STRICT FOREST MANAGEMENT CRITERIA WHEN EXCAVATING, ESPECIALLY NEAR ALL TREES AND CRITICAL ROOT ZONES



LIGHTING PLAN PRELIMINARY IDEAS / LOCATIONS & PRODUCTS / SPECIFICATIONS

0 16 32 SCALE : 1/16"= 1' - 0"

Revisions

Hall Landscape Design Inc.

Landscaping Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL #3405

SIGNATURE

DATE

STATE OF CALIFORNIA

PRELIMINARY PLAN FOR HOUSING & COMMUNITY SERVICES 11/2025

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Page Title:

Lighting Plan

Job #

05-2023

Date Printed: 11/10/2025

Revision

11/10/2025

Drawn By

MASH

Sheet

L-6

of: 12 Sheets

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR REUSE FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM HALL LANDSCAPE DESIGN IS EXPRESSLY FORBIDDEN. REPRODUCTION OR REUSE FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM HALL LANDSCAPE DESIGN IS EXPRESSLY FORBIDDEN. REUSE FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM HALL LANDSCAPE DESIGN IS EXPRESSLY FORBIDDEN.

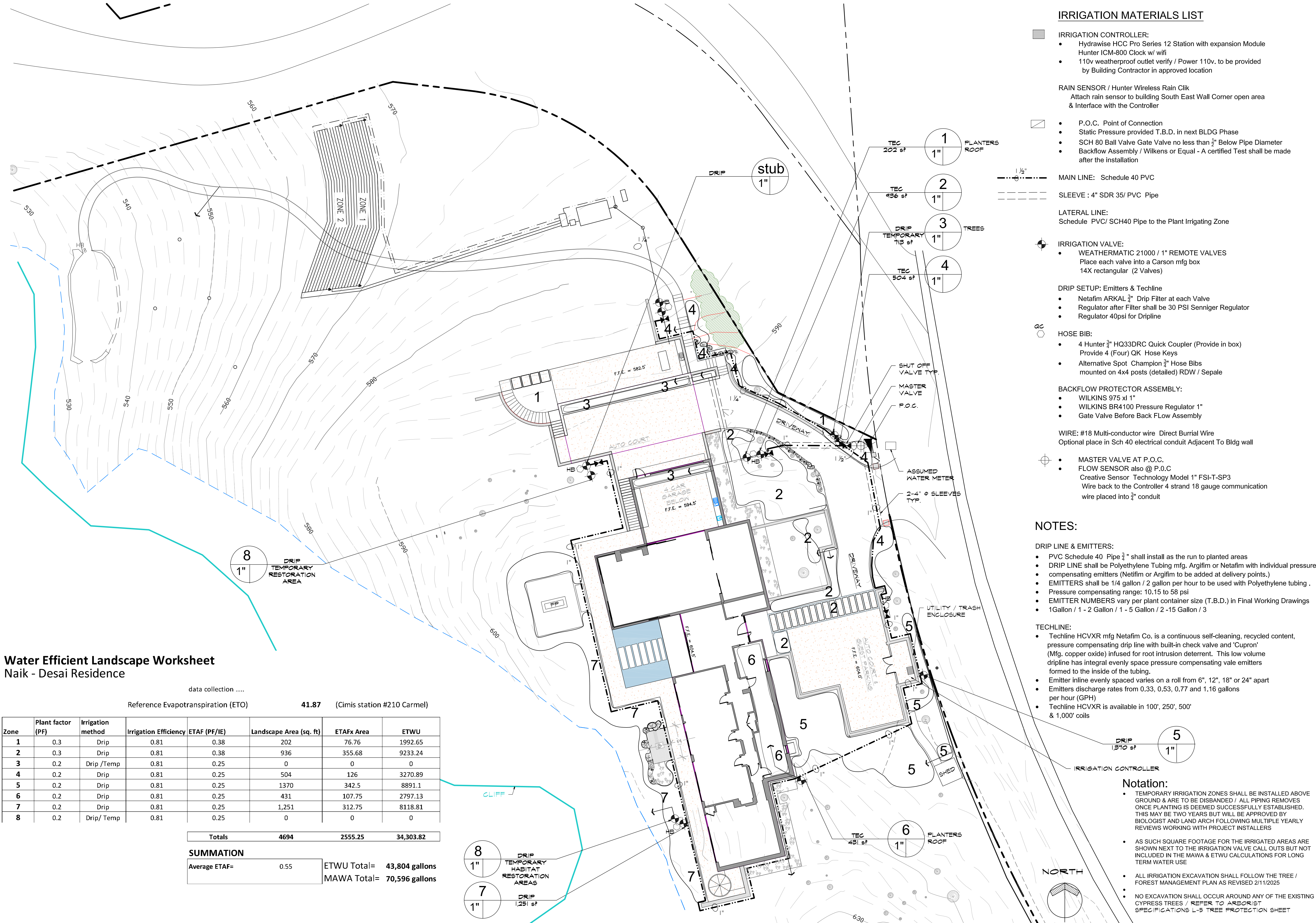
Water Efficient Landscape Worksheet
Naik - Desai Residence

data collection
Reference Evapotranspiration (ETO) **41.87** (Cimis station #210 Carmel)

Zone	Plant factor (PF)	Irrigation method	Irrigation Efficiency	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAFx Area	ETWU
1	0.3	Drip	0.81	0.38	202	76.76	1992.65
2	0.3	Drip	0.81	0.38	936	355.68	9233.24
3	0.2	Drip /Temp	0.81	0.25	0	0	0
4	0.2	Drip	0.81	0.25	504	126	3270.89
5	0.2	Drip	0.81	0.25	1370	342.5	8891.1
6	0.2	Drip	0.81	0.25	431	107.75	2797.13
7	0.2	Drip	0.81	0.25	1,251	312.75	8118.81
8	0.2	Drip/ Temp	0.81	0.25	0	0	0

Totals 4694 2555.25 34,303.82

SUMMATION
Average ETAF= 0.55 ETWU Total= **43,804 gallons**
MAWA Total= **70,596 gallons**



IRRIGATION MATERIALS LIST

- IRRIGATION CONTROLLER:
- Hydramise HCC Pro Series 12 Station with expansion Module
 - Hunter ICM-800 Clock w/ wifi
 - 110v weatherproof outlet verify / Power 110v. to be provided by Building Contractor in approved location
- RAIN SENSOR / Hunter Wireless Rain Click
- Attach rain sensor to building South East Wall Corner open area & Interface with the Controller
- P.O.C. Point of Connection
- Static Pressure provided T.B.D. in next BLDG Phase
 - SCH 80 Ball Valve Gate Valve no less than 1/2" Below Pipe Diameter
 - Backflow Assembly / Wilkens or Equal - A certified Test shall be made after the installation
- MAIN LINE: Schedule 40 PVC
- SLEEVE : 4" SDR 35/ PVC Pipe
- LATERAL LINE: Schedule PVC/ SCH40 Pipe to the Plant Irrigating Zone
- IRRIGATION VALVE:
- WEATHERMATIC 21000 / 1" REMOTE VALVES
 - Place each valve into a Carson mfg box
 - 14X rectangular (2 Valves)
- DRIP SETUP: Emitters & Techline
- Netafim ARKAL 3/4" Drip Filter at each Valve
 - Regulator after Filter shall be 30 PSI Senniger Regulator
 - Regulator 40psi for Dripline
- HOSE BIB:
- 4 Hunter 3/4" HQ33DRC Quick Coupler (Provide in box)
 - Provide 4 (Four) QK Hose Keys
 - Alternative Spot Champion 3/4" Hose Bibs mounted on 4x4 posts (detailed) RDW / Sepale
- BACKFLOW PROTECTOR ASSEMBLY:
- WILKINS 975 xl 1"
 - WILKINS BR4100 Pressure Regulator 1"
 - Gate Valve Before Back Flow Assembly
- WIRE: #18 Multi-conductor wire Direct Burial Wire
- Optional place in Sch 40 electrical conduit Adjacent To Bldg wall
- MASTER VALVE AT P.O.C.
- FLOW SENSOR also @ P.O.C
- Creative Sensor Technology Model 1" FSI-T-SP3
- Wire back to the Controller 4 strand 18 gauge communication wire placed into 3/4" conduit

NOTES:

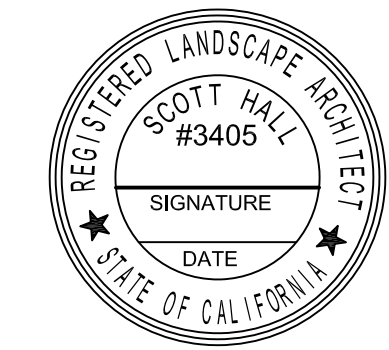
- DRIP LINE & EMITTERS:
- PVC Schedule 40 Pipe 3/4" shall install as the run to planted areas
 - DRIP LINE shall be Polyethylene Tubing mfg. Argifim or Netafim with individual pressure compensating emitters (Netafim or Argifim to be added at delivery points.)
 - EMITTERS shall be 1/4 gallon / 2 gallon per hour to be used with Polyethylene tubing .
 - Pressure compensating range: 10.15 to 58 psi
 - EMITTER NUMBERS vary per plant container size (T.B.D.) in Final Working Drawings
 - 1Gallon / 1 - 2 Gallon / 1 - 5 Gallon / 2 -15 Gallon / 3
- TECHLINE:
- Techline HCVXR mfg Netafim Co. is a continuous self-cleaning, recycled content, pressure compensating drip line with built-in check valve and 'Cupron' (Mfg. copper oxide) infused for root intrusion deterrent. This low volume dripline has integral evenly space pressure compensating vane emitters formed to the inside of the tubing.
 - Emitter inline evenly spaced varies on a roll from 6", 12", 18" or 24" apart
 - Emitters discharge rates from 0.33, 0.53, 0.77 and 1.16 gallons per hour (GPH)
 - Techline HCVXR is available in 100', 250', 500' & 1,000' coils

Notation:

- TEMPORARY IRRIGATION ZONES SHALL BE INSTALLED ABOVE GROUND & ARE TO BE DISBANDED / ALL PIPING REMOVES ONCE PLANTING IS DEEMED SUCCESSFULLY ESTABLISHED. THIS MAY BE TWO YEARS BUT WILL BE APPROVED BY BIOLOGIST AND LAND ARCH FOLLOWING MULTIPLE YEARLY REVIEWS WORKING WITH PROJECT INSTALLERS
- AS SUCH SQUARE FOOTAGE FOR THE IRRIGATED AREAS ARE SHOWN NEXT TO THE IRRIGATION VALVE CALL OUTS BUT NOT INCLUDED IN THE MAWA & ETWU CALCULATIONS FOR LONG TERM WATER USE
- ALL IRRIGATION EXCAVATION SHALL FOLLOW THE TREE / FOREST MANAGEMENT PLAN AS REVISED 2/11/2025
- NO EXCAVATION SHALL OCCUR AROUND ANY OF THE EXISTING CYPRESS TREES / REFER TO ARBORIST SPECIFICATIONS L-5 TREE PROTECTION SHEET

Revisions

Hall Landscape Design Inc.
Landscape Architects #3405
582 Lighthouse Avenue
Pacific Grove, Ca 93950
(831) 655-3808
e-mail: scot@halllandscape.com



Naik-Desai Residence
36240 & 36242 CA Highway 1
Monterey, CA 93940 apn 243-251-011

Irrigation
Prelim Plan

Page Title:

Job #	05-2023
Date Printed:	11/10/2025
Revision	
Drawn By	MASH
Sheet	

L-7

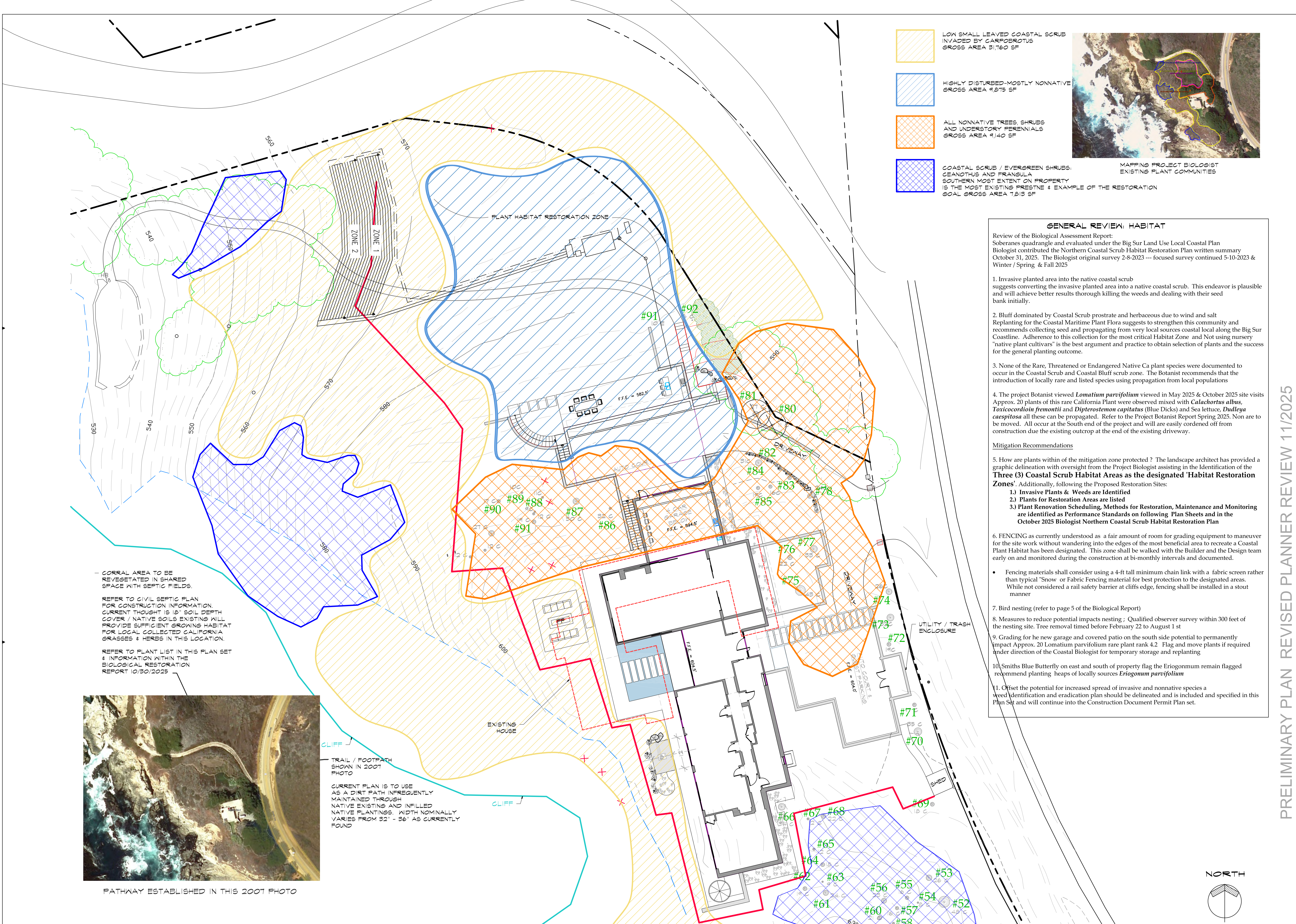
of: 12 Sheets

PRELIMINARY PLAN REVISED PLANNER REVIEW 11/2025

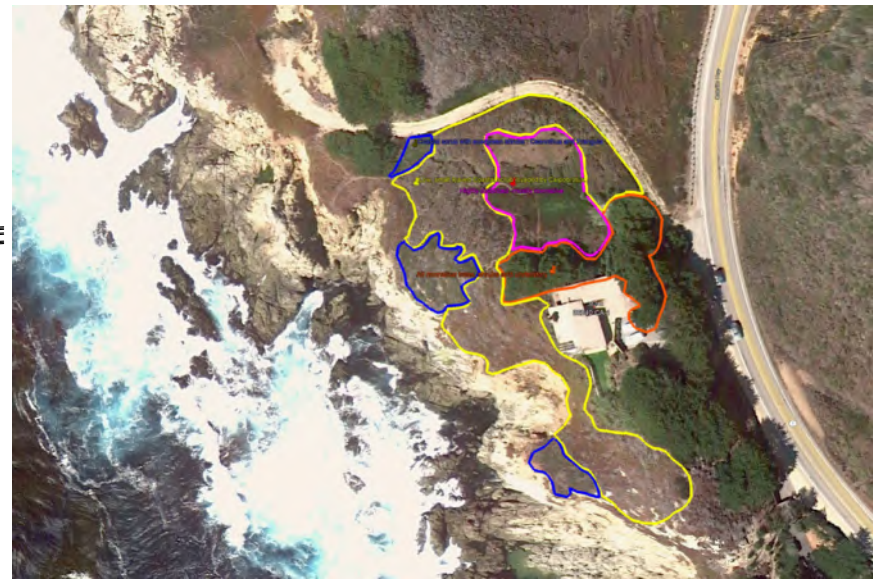
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PROVIDED. REPRODUCTION OR REUSE OF ANY PART OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM HALL LANDSCAPE DESIGN, WITHOUT PRELIMINARY, VISUAL, CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FROM A FAILURE OF THE ADOPTANCE OF THESE DRAWINGS.

IRRIGATION PRELIMINARY PLAN STUDY

0 16 32
SCALE : 1/16"= 1' - 0"



- LOW SMALL LEAVED COASTAL SCRUB
INVADIED BY CARPENTEROTUS
GROSS AREA 3,160 SF
- HIGHLY DISTURBED-MOSTLY NONNATIVE
GROSS AREA 4,875 SF
- ALL NONNATIVE TREES, SHRUBS
AND UNDERSTORY PERENNIALS
GROSS AREA 4,140 SF
- COASTAL SCRUB / EVERGREEN SHRUBS:
CEANOTHUS AND FRANGULA
SOUTHERN MOST EXTENT ON PROPERTY
IS THE MOST EXISTING PRESTINE & EXAMPLE OF THE RESTORATION
GOAL GROSS AREA 1,513 SF



MAPPING PROJECT BIOLOGIST
EXISTING PLANT COMMUNITIES

GENERAL REVIEW: HABITAT

Review of the Biological Assessment Report:
Soberanes quadrangle and evaluated under the Big Sur Land Use Local Coastal Plan
Biologist contributed the Northern Coastal Scrub Habitat Restoration Plan written summary
October 31, 2025. The Biologist original survey 2-8-2023 --- focused survey continued 5-10-2023 &
Winter / Spring & Fall 2025

- Invasive planted area into the native coastal scrub. This endeavor is plausible and will achieve better results thorough killing the weeds and dealing with their seed bank initially.
- Bluff dominated by Coastal Scrub prostrate and herbaceous due to wind and salt. Replanting for the Coastal Maritime Plant Flora suggests to strengthen this community and recommends collecting seed and propagating from very local sources coastal local along the Big Sur Coastline. Adherence to this collection for the most critical Habitat Zone and Not using nursery "native plant cultivars" is the best argument and practice to obtain selection of plants and the success for the general planting outcome.
- None of the Rare, Threatened or Endangered Native Ca plant species were documented to occur in the Coastal Scrub and Coastal Bluff scrub zone. The Botanist recommends that the introduction of locally rare and listed species using propagation from local populations
- The project Botanist viewed *Lomatium parvifolium* viewed in May 2025 & October 2025 site visits. Approx. 20 plants of this rare California Plant were observed mixed with *Calachortus albus*, *Toxicocordioin fremontii* and *Dipterostemon capitatus* (Blue Dicks) and Sea lettuce, *Dudleya caespitosa* all these can be propagated. Refer to the Project Botanist Report Spring 2025. Non are to be moved. All occur at the South end of the project and will be easily cordoned off from construction due the existing outcrop at the end of the existing driveway.

Mitigation Recommendations

- How are plants within of the mitigation zone protected? The landscape architect has provided a graphic delineation with oversight from the Project Biologist assisting in the Identification of the **Three (3) Coastal Scrub Habitat Areas as the designated 'Habitat Restoration Zones'**. Additionally, following the Proposed Restoration Sites:
 - Invasive Plants & Weeds are Identified
 - Plants for Restoration Areas are listed
 - Plant Renovation Scheduling, Methods for Restoration, Maintenance and Monitoring are identified as Performance Standards on following Plan Sheets and in the October 2025 Biologist Northern Coastal Scrub Habitat Restoration Plan
- FENCING as currently understood as a fair amount of room for grading equipment to maneuver for the site work without wandering into the edges of the most beneficial area to recreate a Coastal Plant Habitat has been designated. This zone shall be walked with the Builder and the Design team early on and monitored during the construction at bi-monthly intervals and documented.
 - Fencing materials shall consider using a 4-ft tall minimum chain link with a fabric screen rather than typical "Snow" or Fabric Fencing material for best protection to the designated areas. While not considered a rail safety barrier at cliffs edge, fencing shall be installed in a stout manner
- Bird nesting (refer to page 5 of the Biological Report)
- Measures to reduce potential impacts nesting; Qualified observer survey within 300 feet of the nesting site. Tree removal timed before February 22 to August 1 st
- Grading for he new garage and covered patio on the south side potential to permanently impact Approx. 20 *Lomatium parvifolium* rare plant rank 4.2. Flag and move plants if required under direction of the Coastal Biologist for temporary storage and replanting
- Smiths Blue Butterfly on east and south of property flag the Eriogonum remain flagged recommend planting heaps of locally sources *Eriogonum parvifolium*
- Offset the potential for increased spread of invasive and nonnative species a weed identification and eradication plan should be delineated and is included and specified in this Plan Set and will continue into the Construction Document Permit Plan set.

CORRAL AREA TO BE REVEGETATED IN SHARED SPACE WITH SEPTIC FIELDS.
REFER TO CIVIL SEPTIC PLAN FOR CONSTRUCTION INFORMATION. CURRENT THOUGHT IS 18" SOIL DEPTH COVER / NATIVE SOILS EXISTING WILL PROVIDE SUFFICIENT GROWING HABITAT FOR LOCAL COLLECTED CALIFORNIA GRASSES & HERBS IN THIS LOCATION.
REFER TO PLANT LIST IN THIS PLAN SET & INFORMATION WITHIN THE BIOLOGICAL RESTORATION REPORT 10/30/2025



PATHWAY ESTABLISHED IN THIS 2007 PHOTO

TRAIL / FOOTPATH SHOWN IN 2007 PHOTO
CURRENT PLAN IS TO USE AS A DIRT PATH INFREQUENTLY MAINTAINED THROUGH NATIVE EXISTING AND INFILLED NATIVE PLANTINGS. WIDTH NOMINALLY VARIES FROM 32" - 36" AS CURRENTLY FOUND

Revisions

REVISION BASED UPON LUAC COMMENTS

REVISION FOLLOWING COASTAL COM

REPRESENTATIVES SITE WALK 10/21/2025

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, CA 93950

(831) 655-3808

e-mail: scot@halllandscape.com

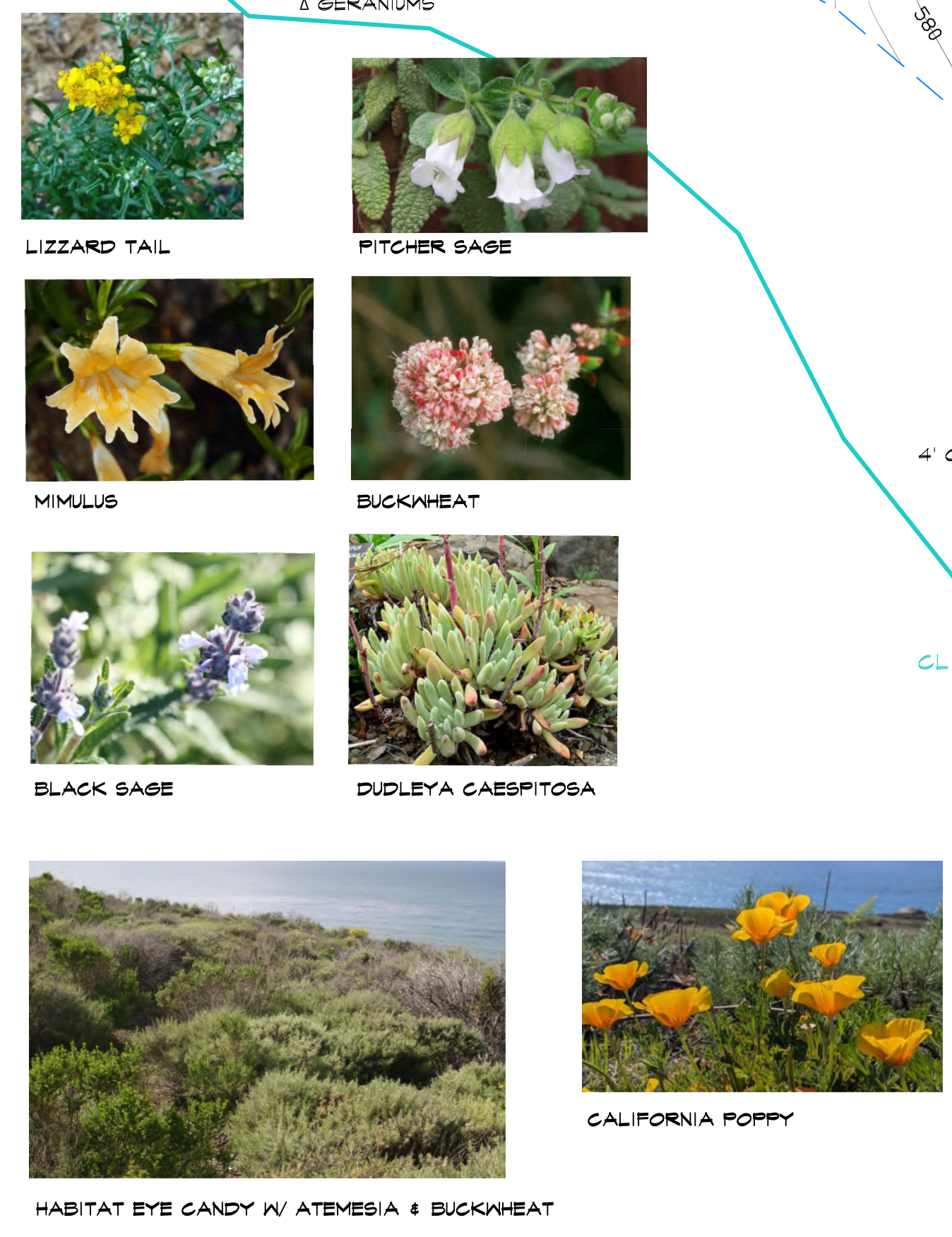


Naik-Desai Residence
36240 & 36242 CA Highway 1
Monterey, CA 93940 apn 243-251-011

Habitat Existing
Plant Zones

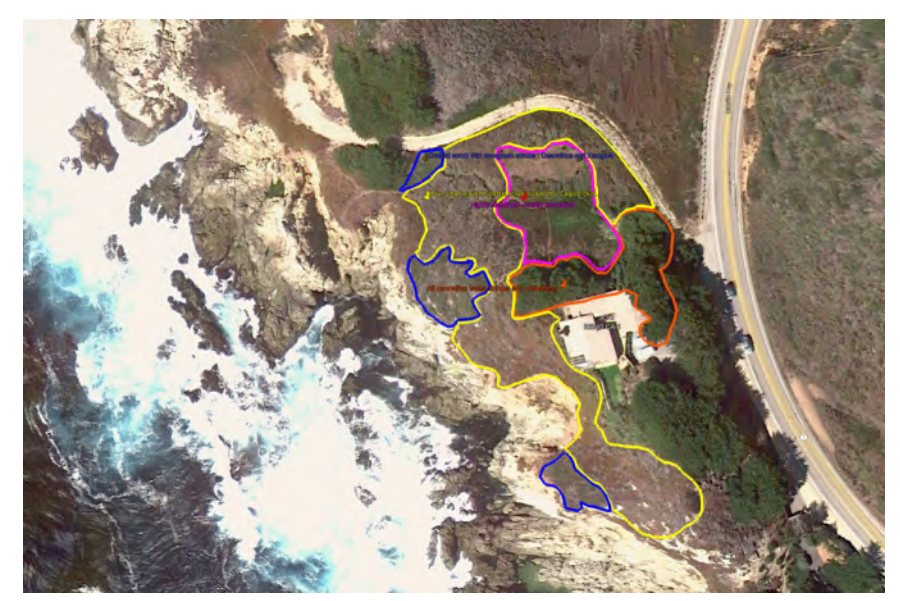
PRELIMINARY PLAN REVISED PLANNER REVIEW 11/2025

Page Title:	
Job #	05-2023
Date Printed:	11/10/2025
Revision	01/2025 #4
Drawn By	MASH
Sheet	



PLANT LIST Habitat:

Botanical Name	Common Name	Water Use	Native CA Flora
ACH MIL	Achillea millefolium	L	seed
AGR PAL	Argostis pallens	L	1 gallon
ART CAL	Artemisia californica	L	tubes
BAC PIL	Baccharis pilularis spp. pilularis	L	1 gallon
CAL PUR	Calystegia macrostegia spp cyclostegia	L	1 gallon
CEA THY	Ceanothus thyrsiflorus var. griseus	L	Site
CEA THY	Ceanothus thyrsiflorus var. thyrsiflorus	L	Site
DIP AUR	Diplacus aurantiacus	L	1 gallon
COR FIL	Corethrogyne filaginifolia	L	Site
DUD CAE	Dudleya caespitosa	L	cell
ERI GLA	Erigeron glaucus spp. Glaucas	M	1 gallon
ERI PAR	Eriogonum parvifolium	L	1 gallon
ERI STA	Eriophyllum stachadifolium	L	cell
ESC CAL	Eschscholzia Californica (Coastal form)	L	seed
FRA CAL	Frangula californica spp. Californica	L	1 gallon
HES MAC	Hesperocyparis macrocarpa	L	5 gallon
alternative: Hesperocyparis 'Gowen'			
IRI DOU	Iris douglasiana 'Stanta Lucia'	L	cell
LEP CAL	Lepechinia calycina	L	4"
LOU TUM	Lomatium parvifolium	L	Seed
LUP ALB	Lupinus albifrons var. douglasii		
SAL MEL	Salvia mellifera	L	1 gallon
SAN LAC	Sanicula crassicaulus		4"
SOL VEL	Solidago velutina spp. Californica		1 gallon
Legend:			
*BSC	Big Sur Coast California Native Flora		
*MC	Monterey County Native Coastal Flora		
Site	Plants Habitat & transition zones / landscape and restoration Native California Flora worth propagating cuttings & harvesting seed		
Achillea millefolium	Common Yarrow	seed	
Arctostaphylos edmundsii 'Little Sur'	Manzanita ground cover	cuttings	
Atemesia californica	California Sage brush	seed	
Baccharis pilularis ssp pilularis	Prostrate coyote bush	cuttings	
Ceanothus thyrsiflorus var. griseus 'Yankee Pt.'	Carmel Creeper	cuttings	
Ceanothus thyrsiflorus var. thyrsiflorus	Blue Blossom	cuttings	
Diplacus aurantiacus	Bush Monkey flower	cuttings	
Dudleya caespitosa	Sea Lettuce	cuttings	
Dudleya farinosa	Bluff Lettuce	cuttings	
Erigeron glaucus	Seaside Daisy	seed	
Eriogonum parvifolium	Sea Cliff Buckwheat	seed	
Eriophyllum stachadifolium	Lizard Tail	seed	
Frangula californica	Coffee Berry	cuttings	
Iris douglasii	Douglas Iris inc. 'Brett's Choice'	cuttings	
Leperchinia calycina	pitcher sage 'Rocky Point'	cuttings	
Lupinus albifrons var douglasii	Douglas Silver lupin	seed	
Salvia mellifera	Black Sage	seed	
Stachys bullata	Wood Mint	seed	
General Plant List to be REMOVED from the Site			
Acca sellowiana	Pinapple guava		
Aeonium arboreum*	Tree Aeonium		
Aloe sp.*	Aloe		
Aptenia cordifolia*	Baby Sun-Rose		
Araucaria heterophylla*	Cook Island Pine		
Brassica nigra	Black Mustard		
Carpobrotus chilensis*	Sea Fig		
Conium maculatum*	poison Hemlock		
Crassula sp.*	Crassula		
Delairea odorata*	Cape Ivy		
Echium candicans*	Pride of Madera		
Eucalyptus globulus*	Blue gum		
Mesembryanthemum nodiflorum*	Slender leaf ice plant		
Myoporum laetum*	Mousehole tree		
Opluntia ficus-indica*	Indian fig		
Pinus mugo*	Mugo pine		
Tetragonia tetragonioides*	New Zealand Spinach		



Revisions

REVISION BASED UPON LUAC COMMENTS

REVISION FOLLOWING COASTAL COM

REPRESENTATIVE SITE WALK 10/21/2025

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail scott@halllandscape.com



Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Habitat Planting

Page Title:

Job # 05-2023

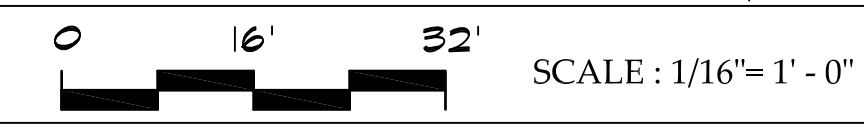
Date Printed: 11/10/2025

Revision 10/25 Coastal Com

Drawn By MASH

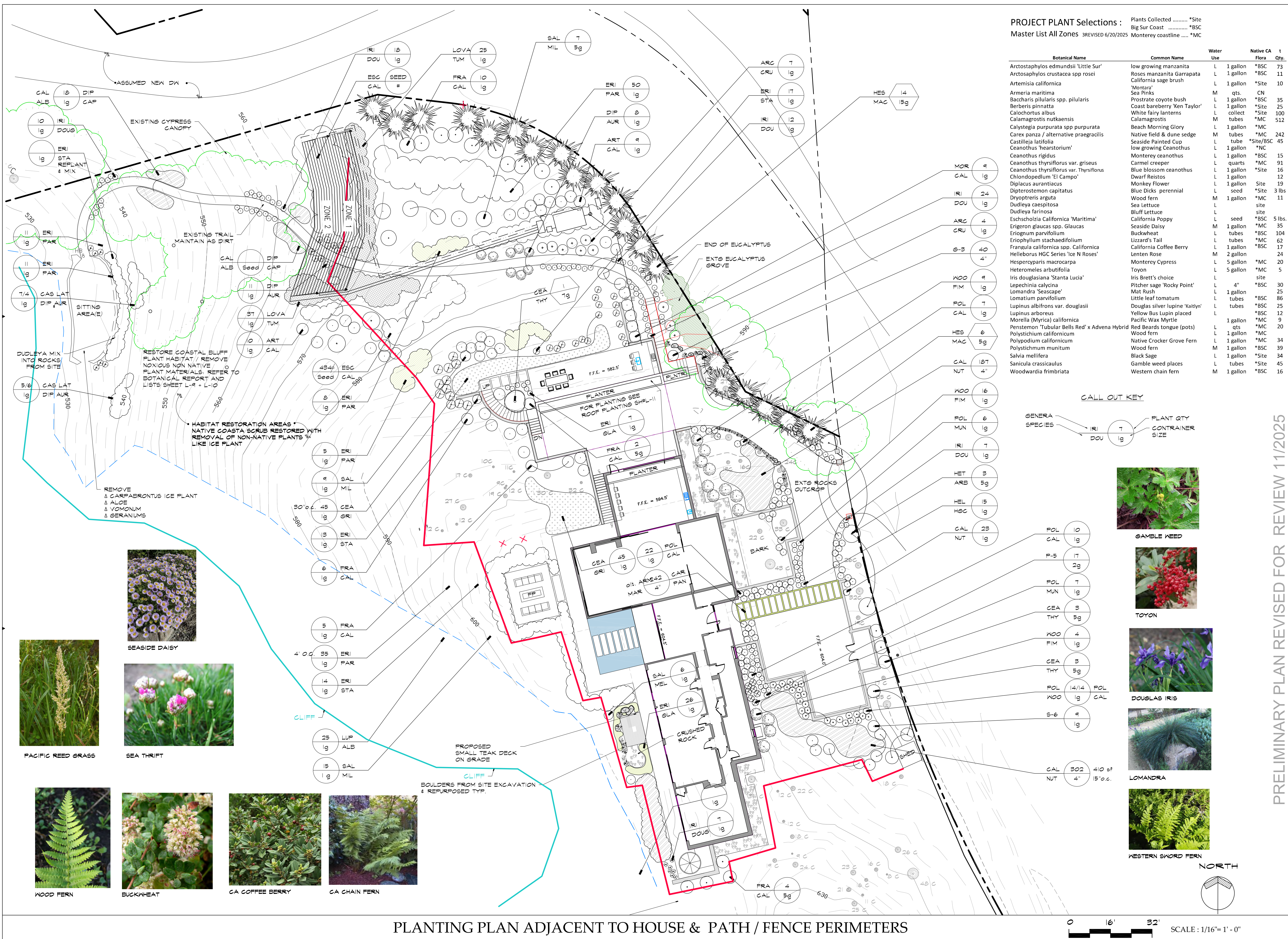
Sheet

HABITAT PLANTING / NORTHERN COASTAL SCRUB HABITAT RESTORATION



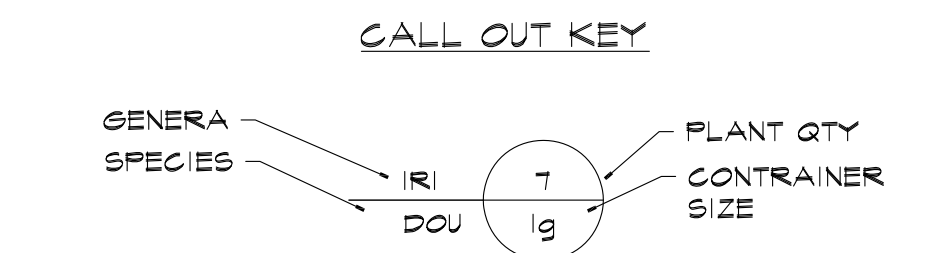
PRELIMINARY PLAN REVISED PLANNER REVIEW 11/2025

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR REUSE OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HALL LANDSCAPE DESIGN, INC. IS PROHIBITED.



PROJECT PLANT Selections : Plants Collected *Site
Master List All Zones 3REVISED 6/20/2025 Big Sur Coast *BSC
Monterey coastline *MC

Botanical Name	Common Name	Water Use	Native CA Flora	Qty.
Arctostaphylos edmundsii 'Little Sur'	low growing manzanita	L	1 gallon	*BSC 73
Arctostaphylos crustacea spp rosei	Roses manzanita Garrapata	L	1 gallon	*BSC 11
Artemisia californica	California sage brush	L	1 gallon	*Site 10
Armeria maritima	'Montara' Sea Pinks	M	qts.	CN
Baccharis pilularis spp. pilularis	Prostrate coyote bush	L	1 gallon	*BSC 35
Berberis pinnatifida	Coast bareberry 'Ken Taylor'	L	1 gallon	*Site 25
Calochortus albus	White fairy lanterns	L	collect	*Site 100
Calamagrostis nutkaensis	Calamagrostis	L	tubes	*MC 512
Calystegia purpurata spp purpurata	Beach Morning Glory	L	1 gallon	*MC
Carex panza / alternative praegracilis	Native field & dune sedge	M	tubes	*MC 242
Castilleja latifolia	Seaside Painted Cup	L	tube	*Site/BSC 45
Ceanothus 'hearstorium'	low growing Ceanothus	L	1 gallon	*MC
Ceanothus rigidus	Monterey ceanothus	L	1 gallon	*BSC 15
Ceanothus thyrsiflorus var. griseus	Carmel creeper	L	quarts	*MC 91
Ceanothus thyrsiflorus var. Thyrsiflorus	Blue blossom ceanothus	L	1 gallon	*Site 16
Chondropedium 'El Campo'	Dwarf Reistos	L	1 gallon	*Site 12
Diplazis aurantiacus	Monkey Flower	L	1 gallon	*Site 19
Dipterostemon capitatus	Blue Dicks perennial	L	seed	*Site 3 lbs
Dryopteris arguta	Wood fern	M	1 gallon	*MC 11
Dudleya caespitosa	Sea Lettuce	L	site	
Dudleya farinosa	Bluff Lettuce	L	site	
Eschscholzia Californica 'Maritima'	California Poppy	L	seed	*BSC 5 lbs.
Erigeron glaucus spp. Glaucas	Seaside Daisy	M	1 gallon	*MC 35
Eriogonum parvifolium	Buckwheat	L	tubes	*BSC 104
Eriophyllum stachaeifolium	Lizzard's Tail	L	tubes	*MC 62
Franseria californica spp. Californica	California Coffee Berry	L	1 gallon	*BSC 17
Helianthus HGC Series 'Ice N Roses'	Lenten Rose	M	2 gallon	*MC 24
Hesperocyparis macrocarpa	Monterey Cypress	L	5 gallon	*MC 20
Heteromeles arbutifolia	Toyon	L	5 gallon	*MC 5
Iris douglasiana 'Stanta Lucia'	Iris Brett's choice	L	4"	*BSC 30
Lepechinia calycina	Pitcher sage 'Rocky Point'	L	1 gallon	*MC 25
Lomandra 'Seascape'	Mat Rush	L	1 gallon	*BSC 86
Lomatium parvifolium	Little leaf tomato	L	tubes	*BSC 25
Lupinus albus var. douglasii	Douglas silver lupine 'Kaitlyn'	L	tubes	*BSC 12
Lupinus arboreus	Yellow Bus Lupin placed	L	1 gallon	*MC 9
Morella (Myrica) californica	Pacific Wax Myrtle	L	1 gallon	*MC 20
Penstemon 'Tubular Bells Red' x Advena Hybrid	Red Beards tongue (pots)	L	qts	*MC
Polystichum californicum	Wood fern	L	1 gallon	*MC 34
Polypodium californicum	Native Crocker Grove Fern	L	1 gallon	*BSC 39
Polystichum munitum	Wood fern	M	1 gallon	*Site 34
Salvia mellifera	Black Sage	L	1 gallon	*Site 45
Sanicula crassicaulis	Gamble weed places	L	tubes	*BSC 16
Woodwardia frimbriata	Western chain fern	M	1 gallon	



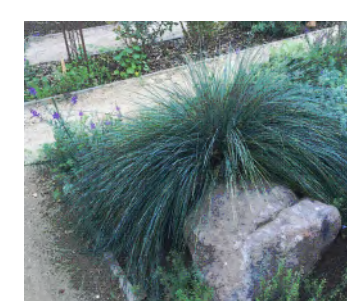
SAMPLE WEED



TOYON



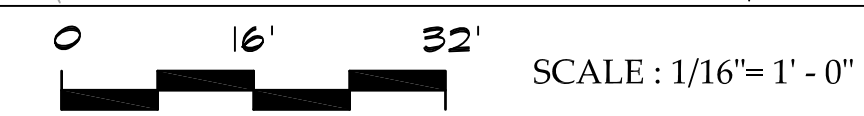
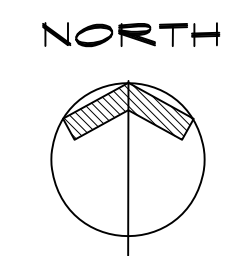
DOUGLAS IRIS



LOMANDRA



WESTERN SWORD FERN



PACIFIC REED GRASS



SEASIDE DAISY



SEA THRIFT



WOOD FERN



BUCKWHEAT



CA COFFEE BERRY



CA CHAIN FERN

PLANTING PLAN ADJACENT TO HOUSE & PATH / FENCE PERIMETERS

PRELIMINARY PLAN REVISED FOR REVIEW 11/2025

Revisions

REVISION BASED UPON LUAC COMMENTS

REVISION FOLLOWING COASTAL.COM

REPRESENTATIVES SITE WALK 10/21/2025

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, CA 93950

(831) 655-3808

e-mail scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL

#3405

SIGNATURE

DATE

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Planting Plan

Page Title:

Job # 05-2023

Date Printed: 11/10/2025

Revision Cstl Mtg. 10/21/25

Drawn By MASH

Sheet

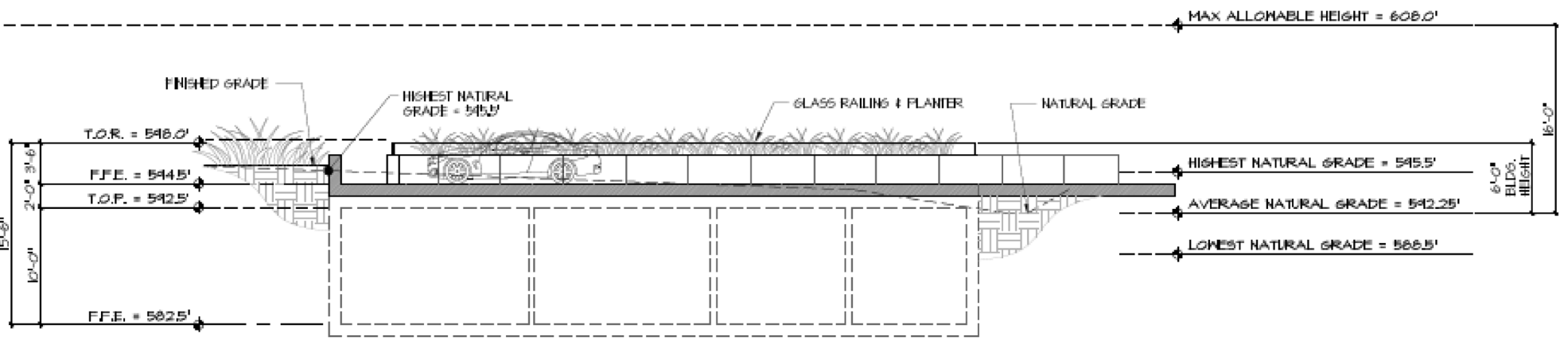
L-10

of: 12 Sheets

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR REVISION OF ANY PART, IN WHOLE OR IN PART, IS PROHIBITED. WITHOUT PREVIOUS WRITTEN CONSENT FROM HALL LANDSCAPE DESIGN. ANY OTHER PRELIMINARY, VISUAL, CONCEPT OR OTHER DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT. ANY OTHER USE OF THESE DRAWINGS OR SPECIFICATIONS IS PROHIBITED.



CAREX PANZA SALVIA MILIFERA LOMANDRA 'SEASCAPE'

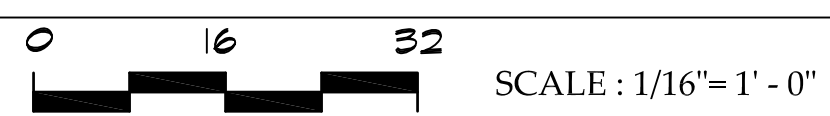


PARKING ABOVE ADU / PLANTING
N.T.S.



COLLECTION CAL FLORA
NATIVE FERNS FRONT SHADE

PLANTING PLAN ROOF & SECTIONS



PRELIMINARY PLAN PLANNER REVIEW 11/2025

Revisions

REVISION BASED UPON LUAC COMMENTS

REVISION FOLLOWING COASTAL.COM

REPRESENTATIVE SITE WALK 10/21/2025

Hall Landscape Design Inc.

Landscape Architects #3405

582 Lighthouse Avenue

Pacific Grove, Ca 93950

(831) 655-3808

e-mail scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT

SCOTT HALL

#3405

SIGNATURE

DATE

STATE OF CALIFORNIA

Naik-Desai Residence

36240 & 36242 CA Highway 1

Monterey, CA 93940 apn 243-251-011

Planting Plan

Roof & Sections

Page Title:

Job # 05-2023

Date Printed: 11/10/2025

Revision 10/ 2025

Drawn By MASH

Sheet

L-11

of: 12 Sheets

REVEGETATION IN HABITAT AREAS:

1. FINISH GRADING FOLLOWING GENERAL SITE GRADING AS PER PLAN. THE LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE WITH THE LANDSCAPE ARCHITECT. FINISH GRADING AND SOIL PREPARATION ON OPEN SLOPES SHALL BE TRACKED BY A METAL CLEATED TRACTOR DURING SHALLOW RIPPING TO SIX - EIGHT INCH DEPTH. FINE RAKING SHALL CONTINUE ON THE ENTIRE SITE BY RAKING OR GROOMING WITH A CHAIN / BOX RIG TOWED BEHIND A SMALL TRACTOR OR CART TO PREPARE THE SEED BED PREPARATION.

2. WATER / WEED ERADICATION: FOLLOWING FINISH GRADING, WATER THE AREA TO BE PLANTED THOROUGHLY. THE GRADED & WATERED SITE SHALL CONTINUE FOR 1 WEEK OR UNTIL ANNUAL SEED CROP APPEARS. EVALUATE THE WEED POPULATION TWO (2) WEEKS FOLLOWING INITIAL WATERING. ANY WEED PRODUCT APPLICATION SHALL BE VETTED ON THE MONTEREY COUNTY DEPARTMENT OF AGRICULTURE. AMPLY WEEDER AND SECONDARY APPLICATION AS NECESSARY. DO NOT RE-GRADE AREA AT THIS POINT IN TIME.

3. SEEDING METHODS: ALL GRADING SHALL BE COMPLETED PRIOR TO SEEDING & WATER / WEED ERADICATION. SOIL SHALL NOT BE DISTURBED AT THIS POINT IN SEEDING. ALL SOIL CLARIFICATIONS BE COMPLETED PRIOR TO THIS WORK.

4. SEED METHODS:
1.) METHOD A: FALL TIMING BROADCAST SEED & RECOMMENDED FLOWER SEEDS
2.) HYDRO MULCH: INITIAL WETTING FOLLOWED BY TWO PASSES SEED APPLICATION.
THE THIRD PASS SHALL BE MADE WITH ADDITIONAL MULCH MATERIALS. APPLY WITH 100% SILVA FIBER OR 90% WOOD FIBER & 10% RECYCLED PAPER AT THE RATE OF 2,000 LBS PER ACRE.

5. ALL LEGUME SEED (LUPINES) MUST BE INOCULATED WITH A RHIZOBIUM COATING. THE SEED SUPPLIER WILL SUPPLY UPON REQUEST.

6. FERTILIZE THE SEED BED WITH 16-20-12 (N-P-K) AT 300 LBS DRY PRODUCT PER ACRE 7 BROADCAST OVER THE SEEDED AREA

7. MOWING & MAINTENANCE: THE SUCCESS TO REVEGETATION THIS SAVANNA GRASSLAND FOR THE SEEDED AREAS SHALL BE MAINTAINED & REVIEWED FOR TWO (2) SEASONS AT A MINIMUM FOLLOWING A FALL SEEDING. THIS SHALL BE A SEPARATE BID ITEM. THE MOST EFFICIENT METHOD OF MOWING SHALL BE DETERMINED AS THE FIELD MOWER HEIGHT WHICH BEST REMOVES EARLY FORMING SEED HEADS. MOW ANNUAL WEEDS EARLY IN SEASON AND

HABITAT RESTORATION GOALS INITIAL REVIEW:

TO THE EXTEND THAT A MAJORITY OF THE EXISTING SITE HAS BEEN DEPOPORATE OF THE NATIVE HABITAT WHICH IS NORMALLY FOUND IN SIMILAR LOCATIONS ALONG THE COASTAL BLUFFS AND THAT ONLY A SMALL NUMBER OF NATIVE BUCKWHEAT (*ERIOGONUM PARVIFOLIUM*) WERE IDENTIFIED); THE GOAL WITH THE ASSISTANCE OF THE PROJECT BOTANIST IS TO REVEGETATE THIS COASTAL NATIVE PLANT COVER.

ADDITIONAL PLANT SPECIES IN THE RESTORATION AREA AND ALREADY IN THE OVERALL PLAN ALSO INCLUDE NATIVE COASTAL BLUFF PLANTING SUCH AS LIZARD TAIL (*ERIOPHYLLUM STAECADIIFOLIUM*), CALIFORNIA SAGE BRUSH (*ARTEMESIA CALIFORNICA*), BLUFF LETTUCE (*DUDLEYA FARINOSA*) AND SEASIDE DAISY (*ERIGERON GLAUCUS*), DOUGLAS IRIS (*IRIS DOUGLASII*) AND ETC. COLLECTING SEED AND CUTTINGS IN THE GENERAL COASTAL BLUFF ZONE FROM THE PROJECT WILL BE DONE WITH ALL PROPER PERMITTING FROM CALIFORNIA FISH AND GAME AND ETC.

PLANTING IN AREAS LOWER AND ADJACENT TO THE POOL AREA AND THE EXISTING ANIMAL AND GARDEN HABITAT WILL BE REVEGETATED WITH NATIVE SHRUBS OFFERING COVER AND HABITAT FOR SMITHS BLUE BUTTERFLY. CURRENTLY THERE ARE TWENTY (20) PLANTS IDENTIFIED. PROVIDENCE OF THE LOCAL NATIVE PLANT SEED IS TO BE COLLECTED FROM THE SITE AND OR PROXIMATE TO THE PROJECT LOCATION. EVERY ATTEMPT WILL ALSO BE MADE TO ERADICATE THE NON NATIVE *CARPORROTUS CHILENSIS* (SEA FIG / ICEPLANT) AS IDENTIFIED IN THE BOTANICAL REPORT.

A SEPARATE LANDSCAPE SHEET SHOWING THREE NATIVE PLANTING ZONES AND THE SPECIES LIST AND GENERAL SPACING WILL ACCOMPANY THE COMPLETED LANDSCAPE PLAN SET. CURRENTLY THE BOTANIST IS REQUESTING ADDITIONAL CLARIFICATION FROM THE COUNTY PLANTER TO ASSIST THE LANDSCAPE ARCHITECT.

AURORALIGHT

MARTILLO

The Martillo Path Light is a stylistic LED luminaire featuring a sleek, precisely sculpted brass body and stem. Incomparable engineering, materials, and innovation put the Martillo in a class of its own.

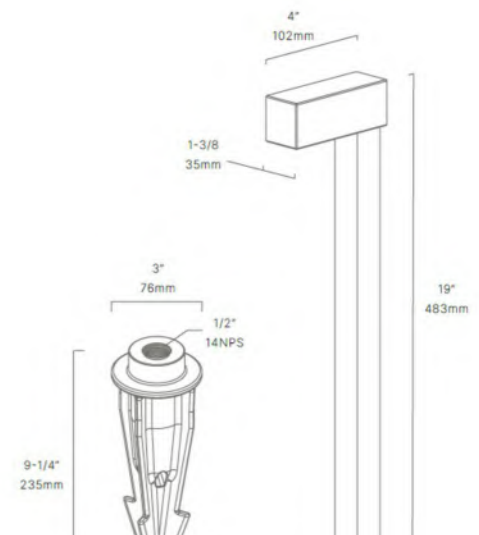
- Field Serviceable LED module
- Solid brass construction
- Modern & versatile square stem to match any project
- Ideal for driveways, wide pathways & walkways

CONFIGURATOR:

	LED	FINISH
PTA321204	270K	BLP
(1) = Most common configuration	(270K) 2700K 4W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

FIXTURE DIMENSIONS	W1-30" x H5P x L4"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	4W
CRI (RAI)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	160lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Yes, Included 1/2" NPS Adapter
GROUND STAKE	Yes, Included M25001108
FINISH	Included Natural Brass
MATERIAL	Brass
WIRE LENGTH	24"
LOCATION	Exterior Wet
CERTIFICATIONS	UL, IP68, IP65, Dark Sky

AVAILABLE FINISHES:
NAT Natural Brass
BLP Bronze Living Patina
BLPX Extra Dark Bronze Living Patina
NI Nickel PVD



PATH LIGHTS / LOW PROFILE

AURORALIGHT

SONOMA

The Sonoma directional marker is a high flux, low wattage LED luminaire. Coupled with a brass body, our Thermally Integrated® LED Module provides superior heat dissipation, longer life, and higher performance.

- Thermally Integrated® w/ Copper Core Technology®
- Cree LED® XLAMP® Extreme High Power (XHP)
- IC Rated for Interior, Exterior and Wet Location Use
- Ideal for driveways, wide pathways & walkways

CONFIGURATOR:

	LED	FINISH
STW035102	270K	BLP
(1) = Most common configuration	(270K) 2700K 4W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

FIXTURE DIMENSIONS	D3-5/8" x W1-7/8"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	4W
CRI (RAI)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	34lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Included C8102105
BEAM SPREAD	180°
FINISH	Included Natural Brass
MATERIAL	Brass & Copper



WALL LIGHT SURFACE MOUNT

AURORALIGHT

COMPASS

The Compass is based on the award-winning micro well light design. It will provide subtle illumination on drives, walks, and pathways.

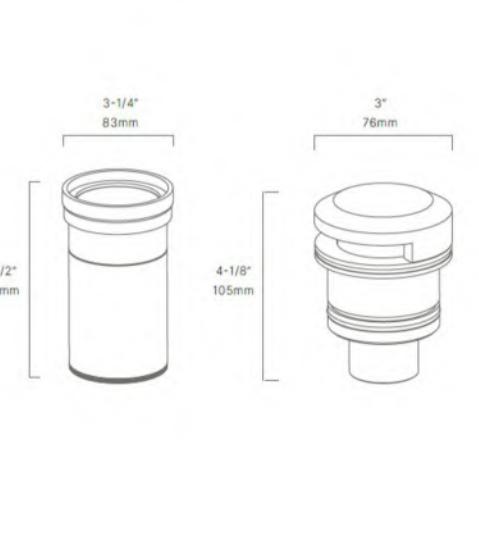
- Thermally Integrated® w/ Copper Core Technology®
- Cree LED® XLAMP® (XP-L)
- Drive-Over rated for up to 6000lbs.
- Ideal for driveways, wide pathways & walkways

CONFIGURATOR:

	LED	FINISH
IGR030101	270K	BLP
(1) = Most common configuration	(270K) 2700K 2W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

FIXTURE DIMENSIONS	D3" x H4-1/8"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	2W
CRI (RAI)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	17lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Included P4876203
BEAM SPREAD	180°
FINISH	Included Natural Brass
MATERIAL	Brass
WIRE LENGTH	24"
LOCATION	Interior & Exterior Wet
CERTIFICATIONS	UL, IP68, IP65, Drive Over

AVAILABLE FINISHES:
NAT Natural Brass
BLP Bronze Living Patina
BLPX Extra Dark Bronze Living Patina
NI Nickel PVD



PATH LIGHTS / LOW PROFILE

AURORALIGHT

SONOMA

The Sonoma directional marker is a high flux, low wattage LED luminaire. Coupled with a brass body, our Thermally Integrated® LED Module provides superior heat dissipation, longer life, and higher performance.

- Thermally Integrated® w/ Copper Core Technology®
- Cree LED® XLAMP® Extreme High Power (XHP)
- IC Rated for Interior, Exterior and Wet Location Use
- Ideal for driveways, wide pathways & walkways

CONFIGURATOR:

	LED	FINISH
IGR035102	270K	BLP
(1) = Most common configuration	(270K) 2700K 4W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

FIXTURE DIMENSIONS	D3-5/8" x W1-7/8"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	4W
CRI (RAI)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	34lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Included C8102105
BEAM SPREAD	180°
FINISH	Included Natural Brass
MATERIAL	Brass & Copper



IN GROUND / PAVER - LOW PROFILE

AURORALIGHT

VERTEX

The Vertex is a low-energy recessed mount LED step light that offers excellent low-level illumination. Designed to fit any standard single-gang junction box.

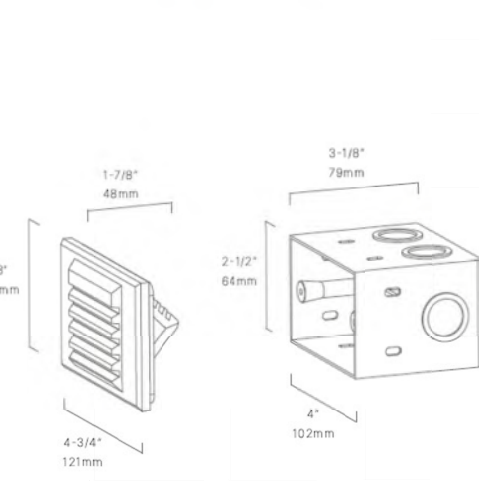
- Cree LED® XLAMP® (XP-L)
- Thermally Integrated® w/ Copper Core Technology®
- Solid brass construction
- Ideal for stairs, pathways and architecture

CONFIGURATOR:

	LED	FINISH
STW530203	270K	BLP
(1) = Most common configuration	(270K) 2700K 4W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

FIXTURE DIMENSIONS	L4-3-1/4" x W3"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	4W
CRI (RAI)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	80lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Included Steel Single-Gang 2 Box
FINISH	Included Natural Brass
MATERIAL	Brass
WIRE LENGTH	24"
LOCATION	Exterior Wet

AVAILABLE FINISHES:
NAT Natural Brass
BLP Bronze Living Patina
BLPX Extra Dark Bronze Living Patina
NI Nickel PVD



STEP LIGHT SURFACE MOUNT

SOIL STUDY & RECOMMENDATIONS:

SOIL shall be tested from three (3) locations on the site. Take samples from well spaced front and back yard zones. These soil samples will better assist in review with combining the recommended topsoil import (Refer Sheet L-4 Soil Management Report).

1. MULCH: Three (3) inches of Mulch shall be spread over all Shrub and Tree planting and one gallon Ground Cover specified areas.

2. MYCORRHIZAL : Mycorrhizal shall be added to the soil mix during the planting soil preparation. Plant pits shall be hydrated prior to planting.

3. FERTILIZER : Fertilizer shall be applied during planting as a "Tea Bag" type or 'Green Diamond Mykos Start Pro" (4-2-2 analysis organic fertilizer or approved equal.

4. PLANT WATERING: At time of Planting water plants thoroughly during planting and create water basins minimum 3X (times) the size of the Root Ball.

TOPSOIL IMPORT MIX SPECIFICATIONS:

Chemical Properties:

- Soil reaction (ph) shall be slightly acid to alkaline in reaction as a saturated paste.
- The concentrations of soluble salt as measured on the extract from a saturated paste shall be less than 4.0 dS/m.
- Cation exchange capacity shall be a minimum of 30.0 milliequivalents per 100 grams
- Nitrogen shall be sufficient to provide for decomposition of the organic matter of the mix

Physical Properties:

- Moisture holding capacity shall be a minimum of 40% after drainage on a volume basis
- Air filled porosity shall be a minimum of 15% on a volume basis.
- Water infiltration rate shall be a minimum of 2 inches per hour at saturation

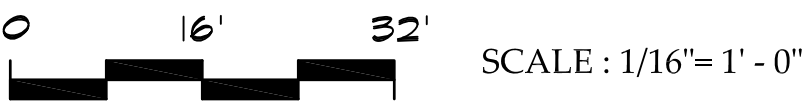
SITE SOIL IMPORT / NOT COMPOST

- 40% loamy sandy soil (70% Sand, 10-15% clay, 0-30% silt)
- 30% neutralized redwood shavings and shredded bark
- 30% organic humus such as aged chicken manure

The topsoil salinity level is not to exceed 3.5 - 4mm mole (elec. conductivity).

A soil Sample with soil report shall be provided to the Landscape Architect prior to soil delivery.

PRELIMINARY LANDSCAPE PLANTING / RESTORATION NOTES & LIGHTING CUT SHEETS



Revisions

△	
△	
△	

Hall Landscape Design Inc.
Landscape Architects #3405
582 Lighthouse Avenue
Pacific Grove, Ca 93950
(831) 655-3808
e-mail: scott@halllandscape.com



Naik-Desai Residence
36240 & 36242 CA Highway 1
Monterey, CA 93940 apn 243-251-011

Initial Restoration
& Lighting Specs

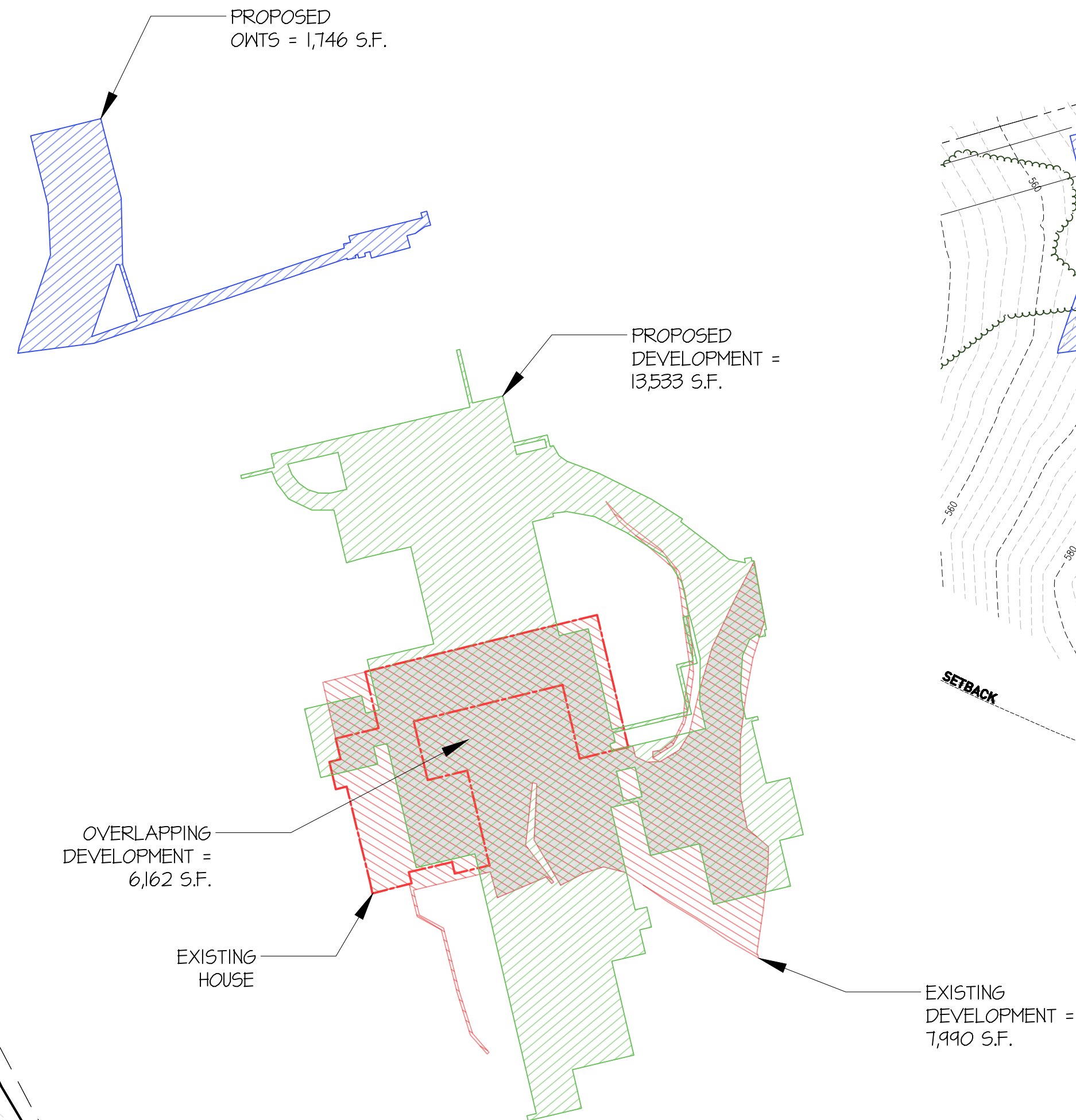
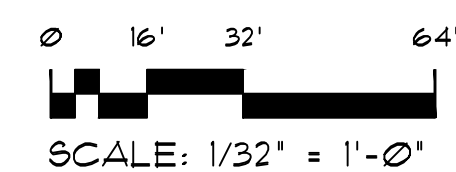
Page Title:

Job #	05-2023
Date Printed:	03/27/2025
Revision	
Drawn By	MASH
Sheet	

L-12

of: 12 Sheets

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PROVIDED. REPLICATION, REPRODUCTION OR MODIFICATION IN ANY MANNER IS PROHIBITED. WITHOUT PREVIOUS WRITTEN CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FROM FURTHER EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



DEVELOPMENT TO RESTORATION = 1 : 2.3

