

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, June 18, 2025

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on June 18, 2025 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, June 17, 2025. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS**

Construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill..

Project Location: 4185 Marguerita Way, Carmel, Carmel Valley Master Plan

Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 25-029

June 18, 2025

Introduced: 6/11/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS

Construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill..

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Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project for a single-family dwelling qualifies for a class 3 Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.; and
- b. Approve an Administrative Permit and Design Approval to allow the construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 11 conditions of approval.

PROJECT INFORMATION

Applicant/Property Owner: Ryan McNickle

APN: 015-042-015-000

Parcel Size: 0.98 Acres

Zoning: Low Density Residential with a gross density of 1 acre per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning District overlay zones, or "LDR/1-D-S-RAZ"

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

Project Planner: Benjamin Moulton, Assistant Planner

MoultonB@CountyofMonterey.gov, (831) 755-5240

SUMMARY

Staff is recommending approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On June 18, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, June 17, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following HCD groups and County agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services

Environmental Health Bureau

HCD-Environmental Services

Cypress Fire Protection District

Prepared by: Benjamin Moulton, Assistant Planner, x5240

Reviewed by: Jacquelyn M. Nickerson, Principal Planner

Approved by: Melanie Beretti, AICP, Chief of Planning

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations, Colors & Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Benjamin Moulton, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Ryan & Rachel McNickle, Property Owners; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240291.



County of Monterey

Item No.1

Administrative Permit

Legistar File Number: AP 25-029

June 18, 2025

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Current Status: Agenda Ready

Version: 1

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PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS

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It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project for a single-family dwelling qualifies for a class 3 Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.; and
- b. Approve an Administrative Permit and Design Approval to allow the construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**).

Staff recommends approval subject to 11 conditions of approval.

PROJECT INFORMATION

Applicant/Property Owner: Ryan McNickle

APN: 015-042-015-000

Parcel Size: 0.98 Acres

Zoning: Low Density Residential with a gross density of 1 acre per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning District overlay zones, or "LDR/1-D-S-RAZ"

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

Project Planner: Benjamin Moulton, Assistant Planner

MoultonB@CountyofMonterey.gov, (831) 755-5240

SUMMARY

Staff is recommending approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On June 18, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, June 17, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following HCD groups and County agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
Cypress Fire Protection District

Prepared by: Benjamin Moulton, Assistant Planner, x5240

Reviewed by: Jacquelyn M. Nickerson, Principal Planner

Approved by: Melanie Beretti, AICP, Chief of Planning

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations, Colors & Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Benjamin Moulton, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Ryan & Rachel McNickle, Property Owners; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240291.

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

MCNICKLE JAMES RYAN & RACHEL A TRS (PLN240291)

RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project qualifies for a Categorical Exemption pursuant to CEQA Guidelines section 15303 (a); none of the exceptions pursuant to Section 15300.2 apply; and
- 2) Approving an Administrative Permit and Design Approval to allow construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

[PLN240291 MCNICKLE JAMES RYAN & RACHEL A TRS, 4185 Marguerita Way, Carmel, Carmel Valley Master Plan (APN: 015-042-015-000)]

The MCNICKLE JAMES RYAN & RACHEL A TRS (PLN240291) came on for hearing before the County of Monterey Chief of Planning on June 18, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project is the construction of approximately 4,445 square two-story single-family dwelling with a 1,160 square foot lower-level office and bonus room, and a 945 square foot attached garage. The project also includes the creation of a driveway; installation of a new on-site wastewater treatment system; and associated site improvements; and grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.
- c) Allowed Use. The property is located at 4185 Marguerita Way, Carmel (APN: 015-042-015-000), in the Carmel Valley Master Plan. The parcel is zoned Low Density Residential with a gross density of 1 acre per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning District overlay zones, or “LDR/1-D-S-RAZ,” which allows one single-family dwelling and a garage as a principally allowed use subject to compliance with the site development standards of Section 21.14.060. The subject property encompasses a Design Control and Site Plan Review Overlay that requires an Administrative Permit and Design Approval for such development pursuant to Title 21 section 21.45.040.B. Therefore, the project is an allowed use for this site subject to an Administrative Permit and Design Approval in each case.
- d) Site Inspection. The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. The property is shown in its current configuration as Lot 9B on the map entitled “Record of Survey of Lots 8B, 9B and 10B,” which was filed in the office of the Recorder of the County of Monterey on September 30, 2021, in Volume 35 of Surveys, at Page 63. It is part of the Rancho Rio Vista Subdivision, a portion of Lot 4, Hatton Partition in Rancho Canada de le Segunda. Therefore, the County recognizes the property as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the regulations within the Design Control “D” overlay zoning district outlined in Chapter 21.44. These regulations require design review of project development to assure protection of the public viewshed and compatibility with the neighborhood character. Consistent with Chapter 21.44 of the Zoning Ordinance, a Design Approval Application was submitted. Colors and materials consist of grayish exterior stucco and fire-resistant cedar shake siding, white trim windows, dark stained oak entry door, and sloped composite asphalt shingle roof. The colors, materials, and mass of the single-family dwelling and accessory structure have been designed to blend with the environment and to be substantively similar to other homes in the area. Other developments in the area consist of ranch style and contemporary builds consisting of organic colors and materials. The development will be congruent with the neighborhood character.

Further, General Plan Policy LU-1.13 outlines that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas. A standard condition of approval (Condition No. 6) is included to ensure compliance with this policy. The project, as conditioned, designed and

sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- g) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which provides regulations for development, which by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints outlined in Chapter 21.45. A site plan is included in the application and an Administrative Permit application has been received and reviewed pursuant to these regulations. The applicant provided grading and erosion control plans to demonstrate the feasibility of their proposed project. A geotechnical report (LIB200078) and soils & percolation report (LIB250100) were also prepared, which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans and specification. The site plan did not identify any nearby environmentally sensitive habitat area or archaeological resources. Staff reviewed County records and data from California Fish and Wildlife, there are no known resources located within the subject property.
- h) Residential Allocation Zoning. The property is located within a Residential Allocation Zoning (RAZ) overlay district which denotes a specific area that is subject to policies or ordinances which specify limitations on the number of lots or units which may be created in a given period of time. In accordance with Carmel Valley Master Plan Policy CV-1.5, development of the property is subject to the maximum density shown on the Carmel Valley Land Use Map, which is one acre per unit. The project includes establishment of the first single family dwelling on a property approximately one acre in size. Therefore, the project is consistent with unit limitations in the Carmel Valley Master Plan of the 2010 General Plan and the RAZ zoning overlay regulations.
- i) Development Standards. Development standards for the Low Density Residential zoning district can be found in Title 21 Section 21.14.060. The development is consistent with applicable development standards. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and ten (10) percent of the average lot width, to a maximum required of twenty (20) feet (sides). Ten (10) percent of the average lot width (144.375 feet) is 14.43 feet. As demonstrated in the attached site plan, the location of the single-family dwelling is 16 feet 7 inches from the north side setback; 21 feet 7 ½ inches from the south side setback; 129 feet 7 ½ inches from the front property line; and 120 feet 2 inches from the rear property line, consistent with the required setbacks of the LDR district. The maximum allowed site coverage for LDR zoning is 25% (10,397 square feet); the project will have a site coverage of 8.67% (3,608 square feet). The maximum height allowed for main structures in LDR zoning districts is 30 feet. The height for the main dwelling is 22 feet and 3 inches above the average natural grade. The attached garage shares the same height regulations as the main structure according to Section 21.62.030.D of Title 21. A 2-foot-tall chimney atop the main residence is exempt from the height

measurement pursuant to Section 21.62.030.A. Therefore, the development complies with all applicable development standards.

- j) Development on slopes in excess of 25%. The proposed project includes approximately 388 square feet of development on slopes in excess of 25%. General Plan Policy OS-3.5 prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) the project better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

The project includes approximately 388 total square feet of development on slopes in excess of 25% to establish the driveway and fire engine turnaround. There is no feasible alternative location for the driveway to occur on slopes less than 25%. The property is located on a hill with descending slopes going down to Marguerita Way. The building site for the single-family dwelling is in the most suitable place to avoid slopes exceeding 25%. The driveway must cross the area of slopes exceeding 25% in order to reach the project site of the single-family dwelling. Siting the driveway in another location would not avoid impacts to slopes exceeding 25%. As illustrated in the attached plans, the location of the driveway has the least impact to slopes exceeding 25%.

Further, General Plan Policy OS-3.5 1.c states that where proposed development impacting slopes in excess of twenty five percent (25%) does not exceed ten percent (10%), or 500 square feet of the total development footprint (whichever is less), a discretionary permit shall not be required. As such, the project includes approximately 388 square feet of development on slopes in excess of 25%. 388 square feet is less than ten percent (10%) of the total development footprint (10% of 9,289 square feet of hardscape and lot coverage is 929 square feet), and the 500 square feet threshold. Therefore, a discretionary permit is not required for development on slopes in excess of 25%.

- k) Cultural Resources. The project site is an area identified in County records as having a high archaeological sensitivity. In accordance with General Plan Open Space Policy OS-6.3, any new development being proposed within moderate or high sensitivity zones, or within 150 feet of a known recorded archaeological and/or cultural site, shall complete a Phase One Archaeological survey. As such, an archeological report (LIB250099) was submitted during the project proposal; this parcel did not have any archaeological resources identified on the property. The report indicated that sloping hillsides would not have been conducive to establishment of a habitation site. Nothing was found that would indicate a prehistoric archaeological site in the area.
- l) Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application does not meet any of the criteria in the guidelines requiring LUAC review because it does not involve a lot line adjustment, does not

need review by the Zoning Administrator or Planning Commission, and can be exempt from environmental review (see Finding No. 5).

- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to soils, and archeological resources. The following reports have been prepared:
 - “OWTS Feasibility Report” (LIB250100) prepared by Paul Myer, Soquel, CA, March 30, 2023.
 - “Geotechnical Report” (LIB200078) prepared by Lawrence E. Grice, Salinas, CA, April 23, 2019.
 - “Cultural Resources Study” (LIB250099) prepared by Susan Morley, Pebble Beach, CA, May 2017.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the use or structure applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Domestic water will be provided by the California American Water who provided a “Can and

Will Serve” letter dated November 27, 2017, confirming their ability to serve all proposed development.

- c) In order to verify the site soils could adequately support a septic / Onsite Wastewater Treatment System (OWTS), Myer Engineering, INC. performed percolation tests and assessed soil characteristics described in a report dated March 30, 2023. Test holes were prepared and percolated in the suitable range for wastewater disposal. The Environmental Health Bureau approved the OWTS designs with the calculations provided.
- d) The subject parcel is located within a State Responsibility Area classified as having a high fire hazard. The construction of the new single-family dwelling is designed to be a fire-resistant structure that meets current fire and building code standard.
- e) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

5. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts construction of a single-family dwelling. The project consists of establishing the first single family dwelling on a vacant lot within a residential zoning district.
 - b) No adverse environmental effects were identified during staff review of the development application during a virtual site visit on April 1, 2025.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in Evidence “d” through “i” below.
 - d) Section 15300.2 of CEQA Guidelines states that construction of the first single-family dwelling within a residential zoning district is ordinarily insignificant in its impact on the environment. However, there may be potential impacts on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted

pursuant to law by federal, state, or local agencies due to the project's location. No such impact is identified in the project area.

- e) This is the only remaining undeveloped lot in the immediate area. As such, successive projects of the same type and in the same place (construction of a single-family dwelling on this lot which is zoned to allow such uses) would not occur resulting in contributing to a significant cumulative impact. The project, construction of a single-family residence and associated site improvements on a property zoned to allow such uses and without potentially significant impacts, would not contribute to a potential cumulative impact.
- f) The building site is located beyond the natural woodland vegetation and settled among hillsides which helps avoid adversely affecting the visual sensitivity of the area.
- g) The project site is not located near a hazardous waste site compiled pursuant to Section 65962.5 of the Government Code.
- h) There are no unusual circumstances associated with the project that would cause a potential environmental impact (see Findings 1 and 2 and supporting evidence).

6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Pursuant to Title 21 Section 21.80.040.A, an aggrieved party may appeal a decision of the Chief of Planning to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project categorically exempt per Section 15303(a) of the CEQA Guidelines; and
2. Approve an Administrative Permit and Design Approval to allow construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

PASSED AND ADOPTED this 18th day of June, 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240291

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval permit (PLN240291) allows construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill. The property is located at 4185 Marguerita Way, Carmel (Assessor's Parcel Number 015-042-015-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 015-042-015-000 on June 18th, 2025. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, an electronic copy of the final landscaping plan shall be submitted to HCD - Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD- Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit final landscape plans and contractor's estimate to HCD- Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit to HCD- Planning approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated, and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

8. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection to Margurita Way. The design and construction is subject to the approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

9. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

11. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

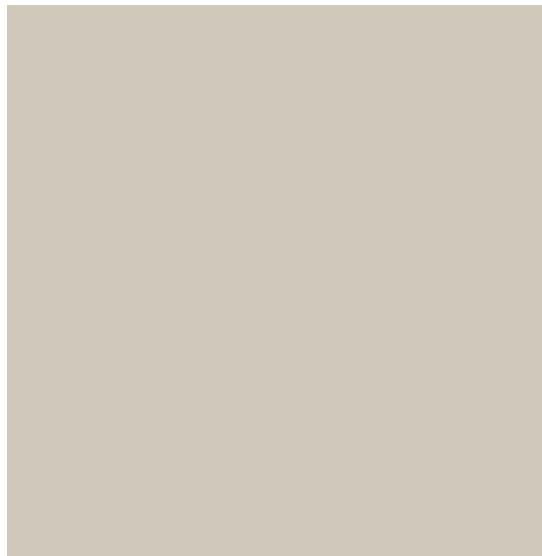
A white-framed, double-hung window with a decorative lintel and sill, set into a brick wall. The window has four panes and reflects the sky and trees.



A wide-angle photograph of a large, open, dry grassy field in the foreground, leading to a line of trees and a residential building. In the background, rolling hills and mountains are visible under a clear blue sky.

A wide-angle photograph of a large, open, dry grassy field under a clear blue sky. In the background, there are trees, a road, and distant hills. The foreground is dominated by dry, yellowish-brown grass.

COLOR

A large, solid, light beige rectangular block that occupies the bottom half of the page. It is a uniform color with no text or other markings.

TEXTURE

A large, textured, light beige surface, possibly a book cover or endpaper, showing a fine, grainy texture. The texture is uniform across the entire area, with subtle variations in tone and a slightly mottled appearance. The surface has a matte finish and no visible text or markings.

PROPOSED DEVELOPMENT OF A NEW 2241 SQ. FT. RESIDENTIAL SINGLE FAMILY HOME, WITH 945 SQ.FT ATTACHED GARAGE, AND 1,160 SQ.FT. LOWER LEVEL OFFICE/BONUS ROOM. CONCRETE SLAB ON GRADE FOUNDATION WITH WOOD FRAMING AND WOOD TRUSSES. EXTERIOR WALL COVERINGS CONSIST OF STUCCO AROUND GARAGE/BACK OF HOUSE AND LOG CABIN Siding. WINDOWS ARE COMPOSED OF 1/2" GLASS, 1" WOOD FRAME, COMPOSITE ASPHALT SHINGLES WITH PAINTED METAL GUTTERS/DOWNSPOUTS. WINDOWS TO BE ALUMINUM CLAD WOOD WINDOWS, SITE IMPROVEMENTS CONSIST OF 4,650 SQ.FT. IMPERVIOUS DRIVEWAY AND 176 SQ. FT. TILE DECK ON UPPER LEVEL, AND APPROXIMATELY 1,110 SQ.FT. OF PERVIOUS PAVERS ON FRONT AND BACK PATIOS, TO INCLUDE STAIRS.

G1.0	PROJECT INFORMATION
S1.0	SITE PLAN
F1.0	FIRE SAFETY SETBACK
G1.1	CONSTRUCTION MANAGEMENT
G1.2	BEST MANAGEMENT PRACTICES
G1.3	CALGREEN RESIDENTIAL CHECKLIST
G1.4	CALGREEN RESIDENTIAL CHECKLIST

WW1	COVER SHEET
WW2	EXISTING SITE LAYOUT
WW3	OWTS PLAN
WW4	WASTE WATER SCHEMATIC AND DETAILS
WW5	WASTE WATER SYSTEM SPECIFICATIONS

MECHANICAL	TBD
MECHANICAL	TBD
MECHANICAL	TBD

BUILDING I

LOT SIZE	41588	SQ.FT.	
ALLOWABLE LOT COVERAGE	10,397	SQ.FT.	OR 25%
TOTAL LOT COVERAGE	3608	SQ.FT.	OR 8.67%

IMPERVIOUS COVERAGE		
(P) SITE HARDSCAPE	4,847	SQ.FT
(P) LOT COVERAGE	4442.2	SQ.FT
TOTAL (P) IMPERVIOUS COVERAGE	9,289	SQ.FT

WATER SOURCE	CAL-AM
WASTE DISPOSAL SYSTEM	ALTERNATIVE TREATMENT SEPTIC
GRADING ESTIMATES	2017 CY CUT, 60 CY FILL, 277 C/F TOTAL
TREES TO BE REMOVED	NONE
(E) PARKING EXISTING	3 CAR PARKING GARAGE
(E) BUILDING SPRINKLERED	MAIN HOUSE & BASEMENT

PROPERTY ADDRESS	4185 MARGUERITA WAY CARMEL, CA 93923
A.P.N.	015-042-015-000
ZONING	LR 1-D-S-RAZ
GENERAL PLAN LAND USE DESIGNATION	SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION	TYPE V-B FULLY SPRINKLERED IN ACCORDANCE WITH CALIFORNIA FIRE CODE SECTION 903.3
OCCUPANCY GROUP	RESIDENCE R-3, GARAGE U-I
LOT SIZE	41588 SQ.FT.
LOT COVERAGE	10.9% = 4533 SQ.FT MAXIMUM SITE COVERAGE
GRADING	2017 CY CUT, 60 CY FILL, 277 C/F TOTAL. ALL TO STAY ON SITE
MAX HEIGHT ABOVE NATURAL GRADE	30'-0" AT AVERAGE NATURAL GRADE
PROPOSED BUILDING HEIGHT	22'-3" AT AVERAGE NATURAL GRADE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

2022 CALIFORNIA RESIDENTIAL CODE

2022 CALIFORNIA MECHANICAL CODE

2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA ELECTRICAL CODE

2022 CALIFORNIA ENERGY CODE

2022 CALIFORNIA FIRE CODE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS AND CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC, AND CHAPTER 3, SECTION 337F OF THE 2022 CRC.

OWNER	MCNICKLE FAMILY TRUST 4185 MARGUERITA WAY CARMEL, CA 93923
ARCHITECT/DESIGNER	RYAN MCNICKLE 26425 LAURELES GRADE RD CARMEL VALLEY, CA 93924 831-915-3393 MCNICKLECONSTRUCTION@GMAIL.COM

MEP/TITLE 24 TITLE 24 GUYS
GILBERT CARRILLO
818-850-3385
GILBERTO@TITLE24GUYS.COM

SEPTIC SYSTEM DESIGNER

MYER ENGINEERING, INC.
1796 LAUREL GLEN RD
SOQUEL, CA 95073
(831) 800-2244
paul@myerengineering.com

ARCHAEOLOGIST

SUSAN MORLEY
3059 BOSTICK AVE
MARINA, CA 93933
(831) 262-2300
Achosta@gmail.com

CONTRACTOR	RYAN MCNICKLE MCNICKLE CONSTRUCTION INC. LICENSE #996169 264525 LAURELES GRADE RD CARMEL VALLEY, CA 93924 (831) 915-3393 McNickleConstruction@gmail.com
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DRAFTSMAN

SAM CAMPBELL
YARD HOUSE DRAFTING LLC
3348 POLARIS DR
SACRAMENTO, CA 95827
(916)741-9721
SAM@YARHOUSEDRAFTING.COM

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEMS. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
4. SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS, AND ON EACH FLOOR PER CRC R354.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
5. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
6. CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.



DESIGN & BUILD

26245 LAURELES GRADE RD, CARMEL VALLEY, CA 93924
PHONE: (831) 935-3393
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

ISSUE STATUS		
NO.	DATE	REV
	01/07/2021	PRELIMINARY PLANS
DRAWN BY: BM		CHECKED BY:

SHEET TITLE

PROJECT INFORMATION

SCALE

JOB:

DATE: _____

SHEET NO.

G1.0



PLANTING LEGEND

TREES	COMMON NAME	SCIENTIFIC NAME	GAL	QTY	WATER USAGE
OLE	SWAN HILL OLIVE TREE	<i>OLEA EUROPAEA</i> 'SWAN HILL'	48" BOX	2	MEDIUM
QUE	NEW COAST LIVE OAK	<i>QUERCUS VIRGINIANA</i>	5 GAL	6	LOW
SHRUBS					
PEN	GREEN FOUNTAIN GRASS	<i>PENNISETUM SETACEUM</i>	5 GAL	18	MEDIUM
			TOTAL	26	

GENERAL NOTES:

APN: 015-042-015

LOT SIZE: 42588 SF

ASSIGNED ADDRESS: 4185 MARGUERITA WAY CARMEL, CA 93923

GENERAL PLAN LAND USE DESIGNATION: LOW DENSITY 0.5-1 ACRES/UNIT

ZONING: LDR-1 D-S-RAZ

LOT COVERAGE: 8.67% INCLUSIVE OF PATIOS, DECKS, EXTERIOR STAIRS, LANDINGS, AND WALKWAY

FLOOR AREA RATIO: 10.68%

TREE REMOVAL: NONE

AVERAGE NATURAL GRADE OF PROPOSED BUILDING AREA: 186'-8"

MAXIMUM HEIGHT ABOVE AVERAGE NATURAL GRADE: 30'

PROPOSED HEIGHT ABOVE AVERAGE NATURAL GRADE: 22'3"

WATER PROVIDER: CALIFORNIA AMERICAN WATER

SEWER PROVIDER: SEPTIC

NO WETLANDS/STREAMS OR OTHER BODIES OF WATER ON SITE

NO KNOWN ENVIRONMENTALLY SENSITIVE HABITAT, ARCHEOLOGICAL RESOURCES, HISTORICAL SITES, OR IDENTIFIED HAZARDS ON SITE

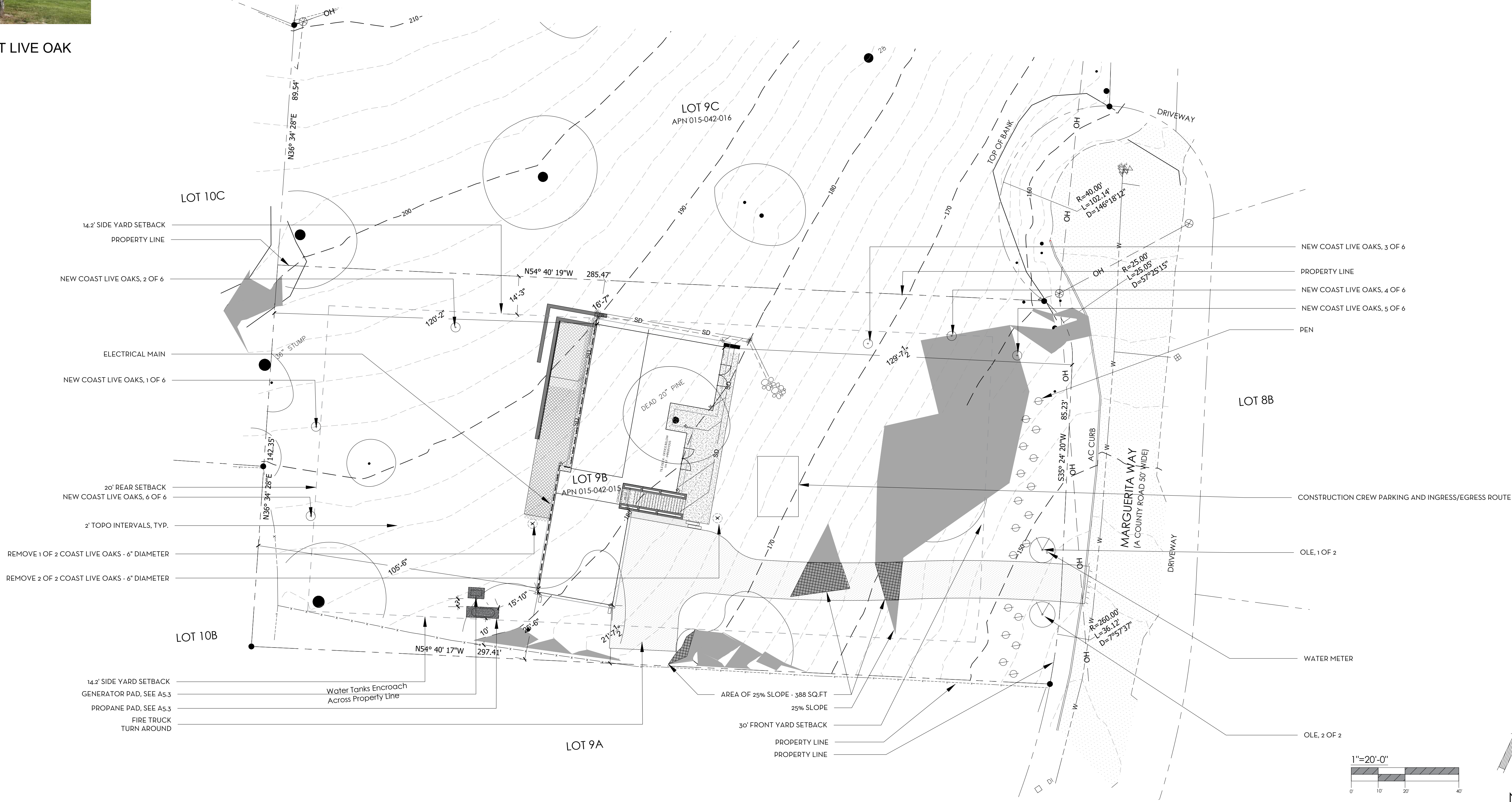
LANDSCAPE AND PLANTING NOTES

- ALL LANDSCAPING IRRIGATION TO BE PROVIDED BY ALTERNATIVE TREATMENT SEPTIC SYSTEM. REFER TO PLANS DEVELOPED BY MYERS ENGINEERING.

- ANY IRRIGATION THAT MAY BE SERVICED VIA CAL-AM WATER METER TO INCLUDE A RAIN SENSOR DEVICE.

- PROPOSED PERIMETER PLANTING AND VEGETATION TO BE XERISCAPING TO USE MINIMUM WATER NEEDS.

- REFER TO SITE PLAN DRAWING S1.0 TO REFER TO PROPOSED SWAN HILL OLIVE TREES.



THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

ISSUE STATUS		
NO	DATE	DESCRIPTION
	6/10/2021	PRELIMINARY PLANS
DRAWN BY: RM		CHECKED BY:

SHEET TITLE

SITE PLAN

SCALE

JOB:

DATE:

SHEET NO.

\$1.0

FUEL MANAGEMENT PLAN NOTES:

"GREEN ZONE" WITHIN 30 FEET SURROUNDING THE BUILDING.

1-CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO EH PROPERTY LINE. WHICHEVER IS CLOSER, EXCEPT FOR THE LANDSCAPING, AS FOLLOWS:

- 1.1-CUT DRY WAND DEAD GRASS TO A MAXIMUM HEIGH OF 4 INCHES.
- 1.2-MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
- 1.3-MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
- 1.4-TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. OR TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.
- 1.5-REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.
- 1.6-REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
- 1.7-REMOVE ALL CUT MATERIAL FROM THE AREA.

- 2-REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
- 3-PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVE PIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NON FLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN " IN SIZE.
- 4-POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS.

"REDUCED FUEL ZONE" BETWEEN 30 AND 100 FEET AROUND THE BUILDING.

- 1-CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE "TOPPED OFF" LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
- 2-CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- 3-CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES
- 4-CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES
- 5-DO NOT USE HERBICIDE OR CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT LEGEND

GREEN ZONE- WITHIN 30 FEET SURROUNDING THE BUILDING.

REDUCED FUEL ZONE- BETWEEN 30-100 FEET AROUND THE BUILDING.



GENERAL NOTES:

APN: 015-042-015

LOT SIZE: 41588 SF

ASSIGNED ADDRESS: 4185 MARGUERITA WAY CARMEL, CA 93923

GENERAL PLAN LAND USE DESIGNATION: LOW DENSITY 0.5-1 ACRES/UNIT

ZONING: LDR-1-D-S-RAZ

LOT COVERAGE: 8.67% INCLUSIVE OF PATIOS, DECKS, EXTERIOR STAIRS, LANDINGS, AND WALKWAY

FLOOR AREA RATIO: 10.68%

TREE REMOVAL: NONE

AVERAGE NATURAL GRADE OF PROPOSED BUILDING AREA: 186'-8"

MAXIMUM HEIGHT ABOVE AVERAGE NATURAL GRADE: 30'

PROPOSED HEIGHT ABOVE AVERAGE NATURAL GRADE: 22'3"

WATER PROVIDER: CALIFORNIA AMERICAN WATER

SEWER PROVIDER: SEPTIC

NO WETLANDS/STREAMS OR OTHER BODIES OF WATER ON SITE

NO KNOWN ENVIRONMENTALLY SENSITIVE HABITAT, ARCHEOLOGICAL RESOURCES, HISTORICAL SITES, OR IDENTIFIED HAZARDS ON SITE

CONSTRUCTION NOTES FOR VERY HIGH FIRE HAZARD SEVERITY ZONES

- NEW BUILDINGS AND STRUCTURES LOCATED IN "HIGH" FIRE HAZARD SEVERITY ZONES SHALL COMPLY WITH THE REQUIREMENTS OF CBC AND, CHAPTER 7A SECTION 701A.1. & CRC, CHAPTER 3, SECTION 337R.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4]
- ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND EMBERS, THE ATTIC SPACE IS SPRINKLERED IN ACCORDANCE WITH CBC SEC. 903.3.1.1, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [§R327.6.3]
- EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [§R327.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [§R327.7.3.1]
- THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED EAVES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYPSUM BOARD, OR EXTERIOR PORTION OF AN APPROVED ONE HOUR WALL ASSEMBLY. [§R327.7.4] SEE EXCEPTIONS TO THESE SECTIONS FOR OTHER ALTERNATIVES.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

POLLUTANT CONTROL MEASURES

- IN ACCORDANCE WITH SECTION 4.504, THE FOLLOWING POLLUTANT CONTROL MEASURES SHALL BE IMPLEMENTED.
- 1.1. PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 - 1.2. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
 - 1.3. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
 - 1.4. 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - 1.5. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. RESPONSE

THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

NO.	DATE	DESCRIPTION	REV
	01/01/2021	PRELIMINARY PLANS	

SHEET TITLE:

FIRE
SAFETY
SETBACK

SCALE:

JOB:

DATE:

SHEET NO.:

F1.0

PLANS BY: RYAN MCNICKLE
PHONE: (831) 935-3392 EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

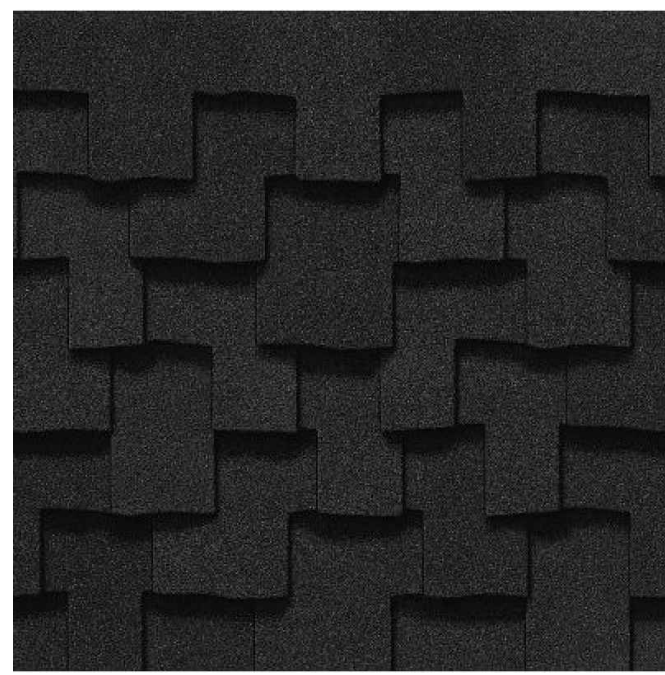


McNickle Construction

Design & Build

264-25 LAURELES GRADE RD, CARMEL VALLEY, CA 93924
PHONE: (831) 935-3393
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM





COMPOSITE ASPHALT ROOF - COLOR:BLACK



ACRYLIC STUCCO- COLOR:GLUTEN



KOLBE HERITAGE WINDOWS WITH DIVIDED LIGHTS



OUTDOOR LIGHTING



METAL RAILING AT DECK- PAINTED BRONZE

WINDOW COLOR:
CLOUD



SIDING SHINGLES



CEDAR VALLEY FIRE RESISTANT SHAKE SIDING



FON DU LAC- LIMESTONE VENEER AT ENTRY WALL



CONCRETE PAVERS AT FRONT & BACK PATIOS



3 LITE DARK STAINED OAK ENTRY DOOR

PLANS BY: RYAN MCNICKLE
PHONE: (831) 935-3393 EMAIL: MCNICKLECONSTRUCTIONGMAIL.COM



McNICKLE CONSTRUCTION

DESIGN & BUILD

26425 LAURELES GRADE RD, CARMEL VALLEY, CA 93924
PHONE: (831) 935-3393
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

SHEET TITLE:		ISSUE STATUS	
NO.	DATE	DESCRIPTION	REV
	01/07/2021	PRELIMINARY PLANS	
DRAWN BY: DM		CHECKED BY:	

MATERIALS

SCALE:

JOB:

DATE:

SHEET NO.:

M1

FLOOR PLAN KEY NOTES LEGEND- BASEMENT PLAN & MAIN FLOOR PLAN

- 1-ELECTRICAL METER EXTERIOR- 200A MAIN PANEL- PROVIDE MINIMUM 36"D X 30"W X 78"H CLEARANCE, INSTALL ON BACK OF GARAGE.
- 2-ELECTRICAL PANEL INTERIOR- 200A SUB PANEL- PROVIDE MINIMUM 36"D X 30"W X 78"H CLEARANCE, INSTALL IN GARAGE.
- 3-LAUNDRY MACHINES- PROVIDE 110V OUTLET AT WASHER, 240V OUTLET AT CLOTHES DRYER, & 4" EXHAUST VENT TO PENETRATE THROUGH SIDEWALL OR ROOF. ALL DRYER VENTS TO HAVE A MAXIMUM RUN OF 10' AND MEANS TO PREVENT THE BUILDUP OF LINT OR DEBRIS. ALL EXHAUST PENETRATIONS MUST HAVE 48" MINIMUM CLEARANCE FROM OPERABLE WINDOWS OR DOORS.
- 4-HEAT PUMPS & FAN COILS- PROVIDE 220V OUTLET AT EACH HEAT PUMP AND FAN COIL. EACH FAN COIL NEEDS A CONDENSATE LINE TIED INTO DOMESTIC PLUMBING WASTE LINES. FAN COIL MITSUBISHI SVZ-KP18NA & HEAT PUMP MITSUBISHI SUZ-KA18NAR-1-T-H-H.
- 5-WATER HEATER UNIT- PROVIDE 220V OUTLET. HYBRID HEAT PUMP WATER HEATER- RHEEMBOGL UNIT.
- 6-HRV UNIT- PROVIDE 220V OUTLET. INSTALL SIDEWALL INTAKE AND EXHAUST 48" MINIMUM SEPARATION AND 48" MINIMUM DISTANCE FROM ANY WINDOW OR DOOR OPENING. PANASONIC UNIT FV-10VE1.
- 7-DOOR FROM GARAGE TO HOUSE TO BE 1 HOUR FIRE RATED ASSEMBLY. SELF CLOSING HINGES AND WEATHER STRIPPING ON ALL 4 EDGES OF DOOR.










- 8-WALL FROM GARAGE TO HOUSE TO BE 1 HOUR FIRE RATED ASSEMBLY WITH 1 LAYER OF 5/8" CDX AND 1 LAYER OF 5/8" GWB.
- 9-DOOR TO MECHANICAL ROOM TO BE VENTED WITH 2) 24" X 12" LOUVER PANELS- ONE ON TOP AND ONE ON BOTTOM.
- 10- SHOWERHEAD- 1.8GPM.
- 11-SHOWER VALVES & FAUCETS- PRESSURE BALANCED, THERMO-STATIC MIXING VALVES THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR SHOWER. 1.28GPM.
- 12-TOILETS TO BE .8GPF MAXIMUM.
- 13- SHOWER GLASS TO BE MINIMUM 3/8" THICK TEMPERED GLASS.
- 14- STAIRS TO HAVE 12" TREADS AND 6" RISERS. PROVIDE LEVEL LANDING AT EACH GRADE LEVEL EXIST THAT IS THE WIDTH OF THE DOOR AND A MINIMUM OF 36" IN THE DIRECTION OF TRAVEL CRC R311.3
- 15- WATER SUPPLY IN AT WATER HEATER TO HAVE LEAK DETECTION SHUT OFF DEVICE, & PRV VALVE.
- 16- WATER CONDITIONING SYSTEM IN LINE AT WATER HEATER- TO PREVENT EXCESS MINERAL BUILD UP ON FIXTURES AND EQUIPMENT.
- 17- REFRIGERATOR 42" WIDE X 84" TALL UNIT.
- 18- RANGE & RANGE HOOD- 36" RANGE WITH EQUAL WIDTH EXHAUST HOOD ABOVE VENTING THROUGH THE ROOF. RANGE TO BE ELECTRIC 220V.
- 19- CABINETRY- CUSTOM WOOD-BUILT CABINETS- PREFINISHED MAPLE INTERIOR AND PAINTED WOOD PANELING/DOORS/DRAWERS. ALL CABINETRY TO BE 36" AFF TO TOP OF COUNTERTOP.
- 20- DISHWASHER- PROVIDE AIR GAP TO BE MOUNTED NEAR SINK BASIN.
- 21- GARBAGE DISPOSAL- PROVIDE GFCI UNDER SINK FOR GARBAGE DISPOSAL AND DISHWASHER.
- 22- EXTERIOR GUARD RAILING- 42" AFF OF DECKING SURFACE TO HAVE MAXIMUM SPACING OF 4" BETWEEN PICKETS.

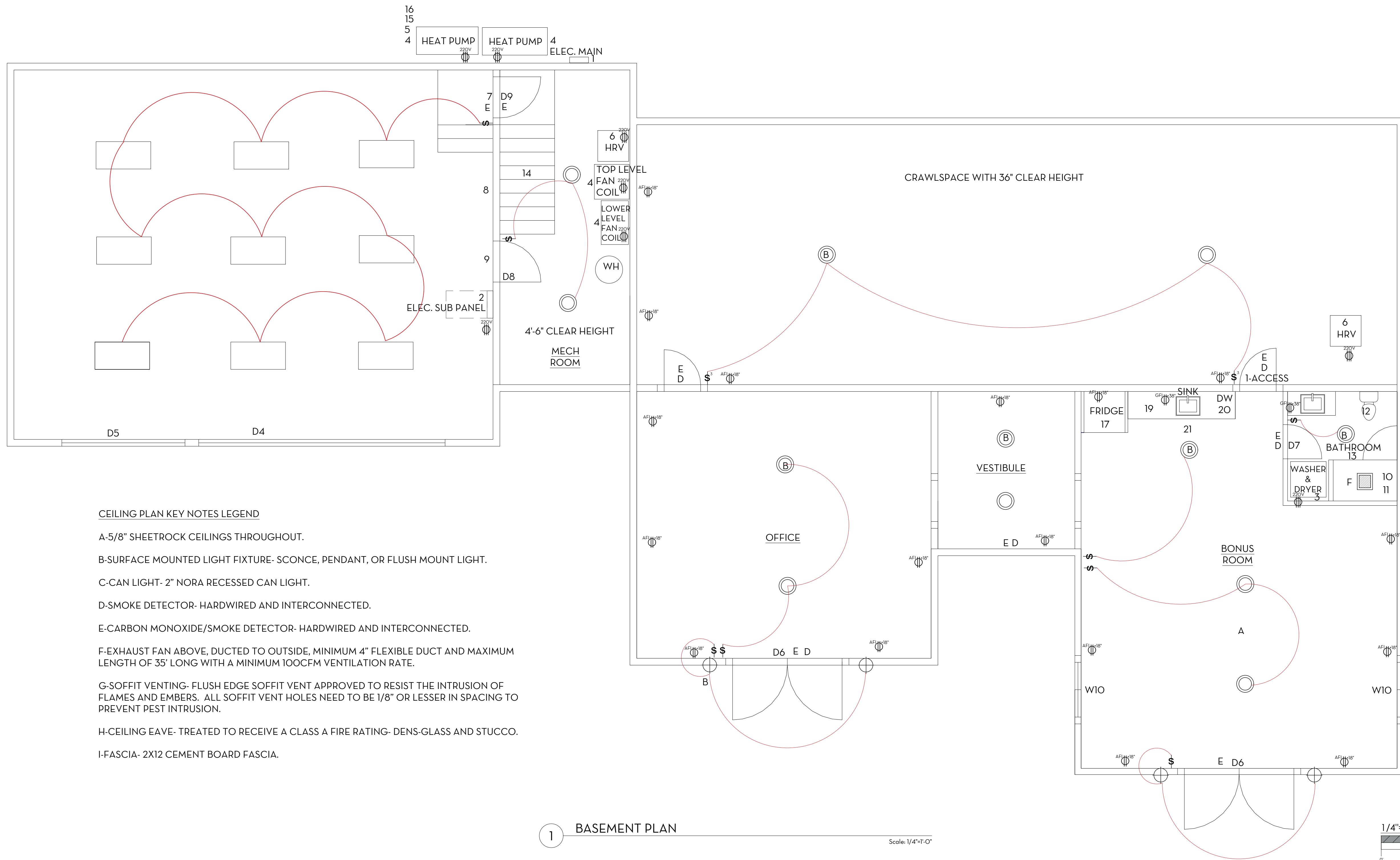
CRAWLSPACE NOTES

- 1-CRAWLSPACE ACCESS SHALL BE MINIMUM 16" X 24" PER CRC R408.4.
- 2-PROVIDE A PERMANENT 120V RECEPTACLE OUTLET AND LIGHT FIXTURE NEAR FURNACE PER CMC 304.4.4.
- 3-PROVIDE CLEAR PASSAGEWAY 24"W X 30"H WITH SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT.
- 4-PROVIDE MINIMUM 30"X30" LEVEL WORKING PLATFORM IN FRONT OF SERVICE SIDE OF EQUIPMENT.
- 5-CONTRACTOR TO INSTALL 1" GWB OR 5/8" CDX ON UNDER SIDE OF FLOOR JOISTS DIRECTLY ABOVE GAS BURNING FURNACES PER CRC R302.13. (NO GAS BURNING DEVICES APPLY TO THIS PROJECT).
- 6-CLEAR HEIGHT INSIDE CRAWLSPACE TO BE 30" TALL TO ACCOMMODATE ADEQUATE ACCESS FOR MECHANICAL EQUIPMENT.
- 7-CEILING OF CRAWLSPACE TO BE INSULATED WITH 2" SPRAY FOAM TO PROVIDE THERMAL PERFORMANCE AND AIR BARRIER.
- 8-HRV TO DESIGNATE A RETURN AIR IN CRAWLSPACE TO ELIMINATE THE NEED FOR ANY CRAWLSPACE VENT CUT OUTS IN THE RETAINING WALL/STEM WALL.

ADDITIONAL NOTES:

- AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANCY SENSOR.
- AT ENCLOSED CEILINGS PROVIDE A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22" BY 30" LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30SF. CRC R807.1.

LEGEND	
SYMBOL	TYPE
	SCONCE, PENDANT, OR FLUSH MOUNT LIGHT
	CAN LIGHT
	VANITY LIGHT
	PENDANT LIGHT
	SWITCH
	EXHAUST FAN
	OUTLET
	OUTLET INSIDE
	OUTLET; 220V



THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

NO.	DATE	ISSUE STATUS	DESCRIPTION	REV
	01/01/2021		PRELIMINARY PLANS	
DRAWN BY: RM			CHECKED BY:	

SHEET TITLE:

BASEMENT
PLAN

SCALE: $\frac{1}{4}" = 1' - 0"$

JOB:

DATE: _____

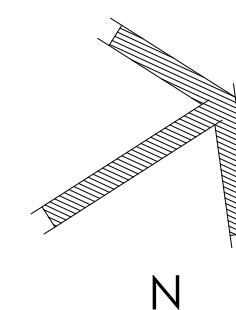
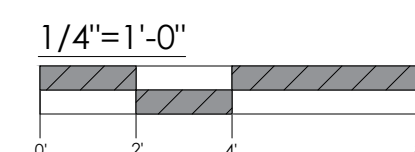
SHEET NO.:

A1.1

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Scale: 1/4"=1'-0"

ISSUE STATUS		
NO	DATE	DESCRIPTION
	01/01/2021	PRELIMINARY PLANS
DRAWN BY: RM		CHECKED BY:

SHEET TITLE:

FLOOR
PLAN

SCALE: $\frac{1}{4}'' = 1' - 0''$

JOE

DATE: _____

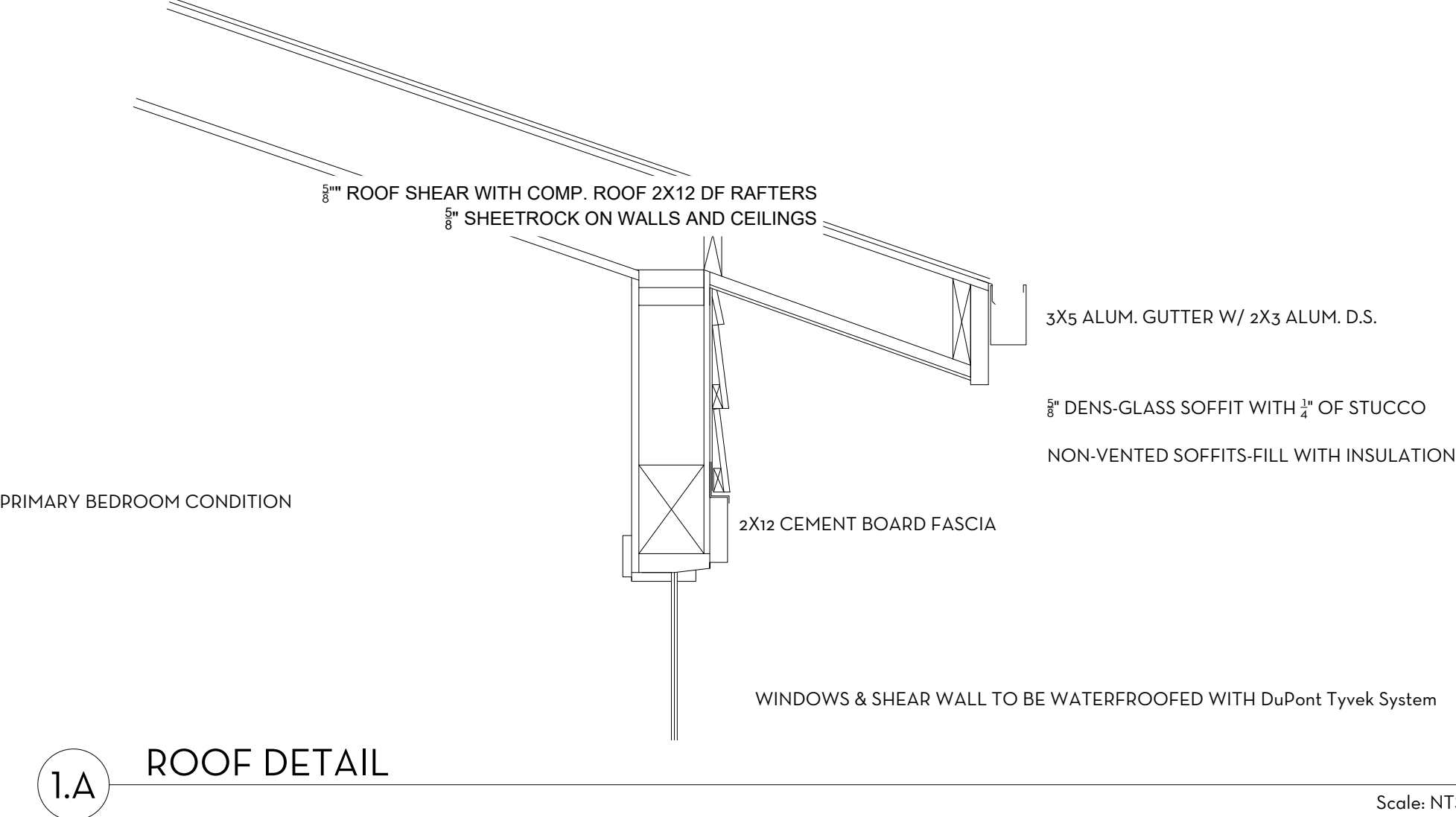
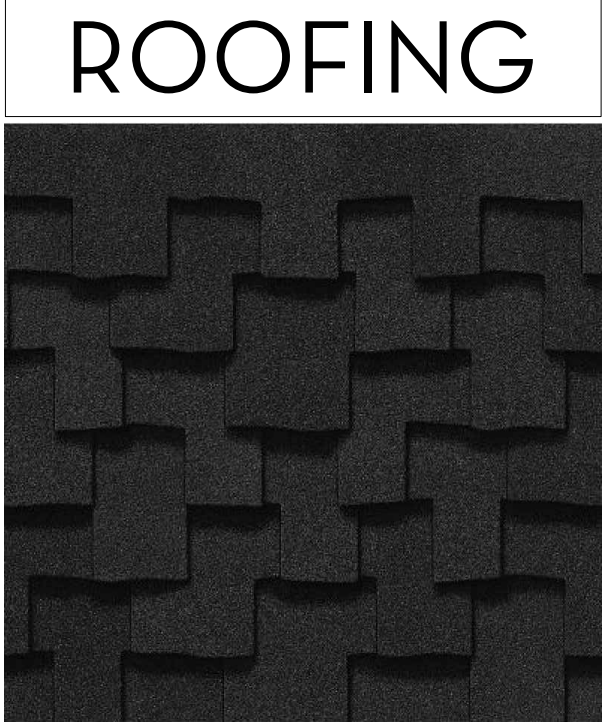
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ROOF PLAN KEY NOTES

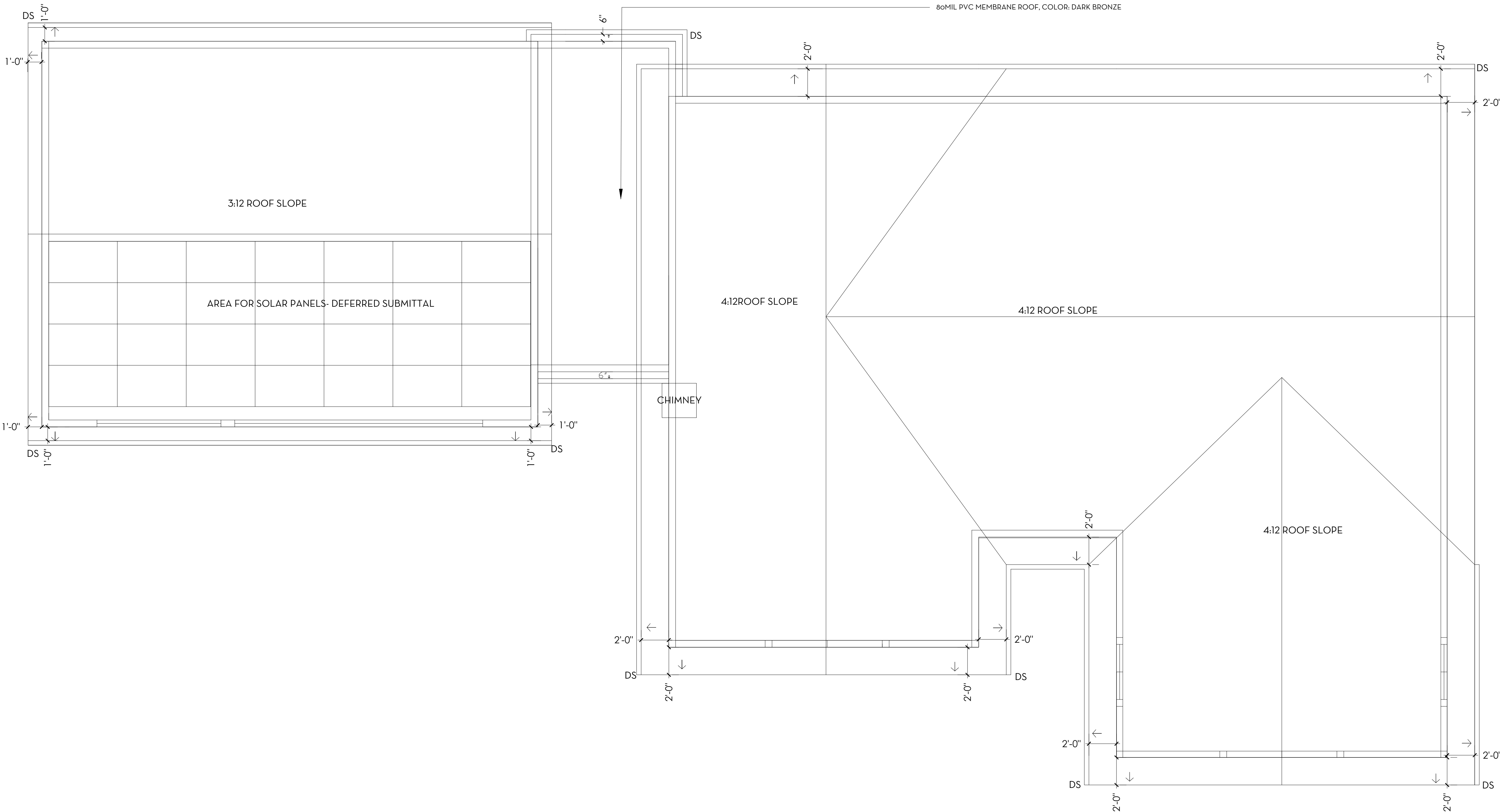
J-ROOFING TO BE ASPHALT COMPOSITE SHINGLES TO ACHIEVE 1 HOUR FIRE RATING. CERTAINTED LANDMARK TL BLACK COLOR
K-ROOFING UNDERLAYMENT TO FOLLOW TO MANUFACTURER INSTALLATION INSTRUCTIONS AND ALL ROOFING SHOULD INCLUDE A BITUTHENE ICE AND WATER SHIELD MEMBRANE IN THE EVENT OF FUTURE PENETRATIONS OF FASTENERS.
L-VALLEYS OF ROOF TO HAVE A "CALIFORNIA WEAVE" TO ELIMINATE THE NEED FOR VALLEY FLASHINGS.
M-EDGE METAL FLASHINGS & GUTTERS/DOWNSPOUTS TO BE POWDER COATED ALUMINUM.
N-GUTTERS TO BE CUSTOM SQUARE 4" WIDE AND 6" TALL. DOWNSPOUTS TO BE 4" WIDE AND 3" DEEP SQUARE.
O-ALL ROOF JACKS TO BE PAINTED GALVANIZED TO MATCH ROOFING FINISH.
P-SOLAR STAND OFF JACKS TO BE INSTALLED BY SOLAR PANEL CONTRACTOR.
Q-GARAGE ROOF TO RECEIVE 3:12 SLOPE WITH SCISSOR TRUSSES TO BE INSULATED WITH SPRAY FOAM.
R-ROOF OVER GREAT ROOM/DINING ROOM AND OVER PRIMARY BEDROOM TO BE A HAND STACKED FRAMED ROOF WITH 6X12 GL. TIMBER COLLAR TIES, 6X6 GL. RIDGE BEAM POSTS AND 2X12 DF RAFTERS CONNECTED TO A 6X16 GL. BEAM. ALL WITH 4:12 SLOPE.
S-ROOF OVER KITCHEN, BEDROOMS, BATHROOMS, STUDY AND BAR TO HAVE TRUSSES ENGINEERED BY TRUSS MANUFACTURE. ALL WITH 4:12 SLOPE.
T-ROOF OVER GARAGE TO HAVE SCISSOR TRUSSES ENGINEERED BY TRUSS MANUFACTURE. GARAGE TO HAVE 3:12 SLOPE.
U-ROOF OVER ENTRY/POWDER/LAUNDRY/STAIRS, TO BE A FLAT FRAMED ROOF AND TO HAVE CUSTOM SLOPE BUILT IN WITH TAPERED INSULATION. ROOFING MATERIAL OVER ENTRY FLAT ROOF TO BE 80MIL PVC MEMBRANE IN DARK BRONZE COLOR BY IB ROOFING SUPPLY COMPANY.
V-EAVES TO BE TREATED WITH 5/8" DENS GLASS WITH "STUCCO AND A CONTINUOUS SOFFIT VENT WITH 1/8" HOLES OR LESS AND DESIGNATED TO PREVENT EMBERS OR FIRE RISK.
W-ROOF OVERHANGS TO BE 24" AT ALL AREAS EXCEPT FLAT ENTRY ROOF WHICH WILL RECEIVE 6" OVERHANG.

SITE COVERAGE	
AREA	SQ.FT
MAIN ROOF	2,372
ENTRY ROOF	228
GARAGE ROOF	1,008
TOTAL (P) STRUCTURAL COVERAGE	3,608



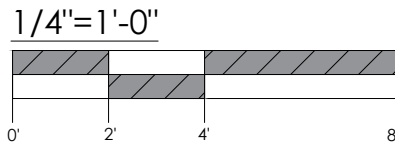
1.A ROOF DETAIL

Scale: NTS



1 ROOF PLAN

Scale: 1/4"=1'-0"



THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

PLANS BY: EVAN MCNICKLE
PROJECT: 03/19/2021
CONTACT: EVAN@MCNICKLECONSTRUCTION.COM

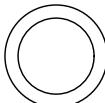


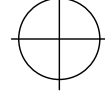




MCNICKLE CONSTRUCTION

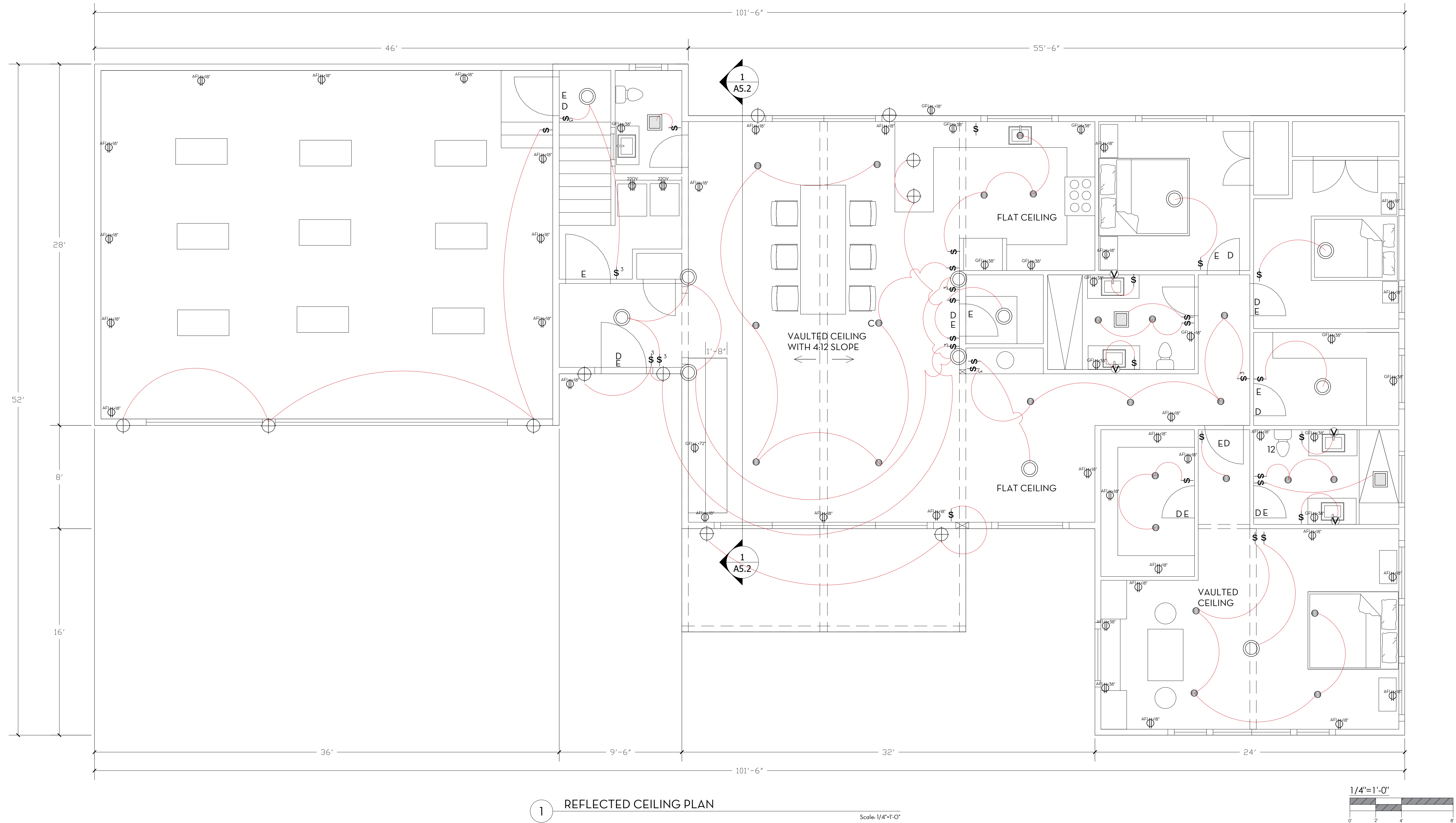
DESIGN & BUILD

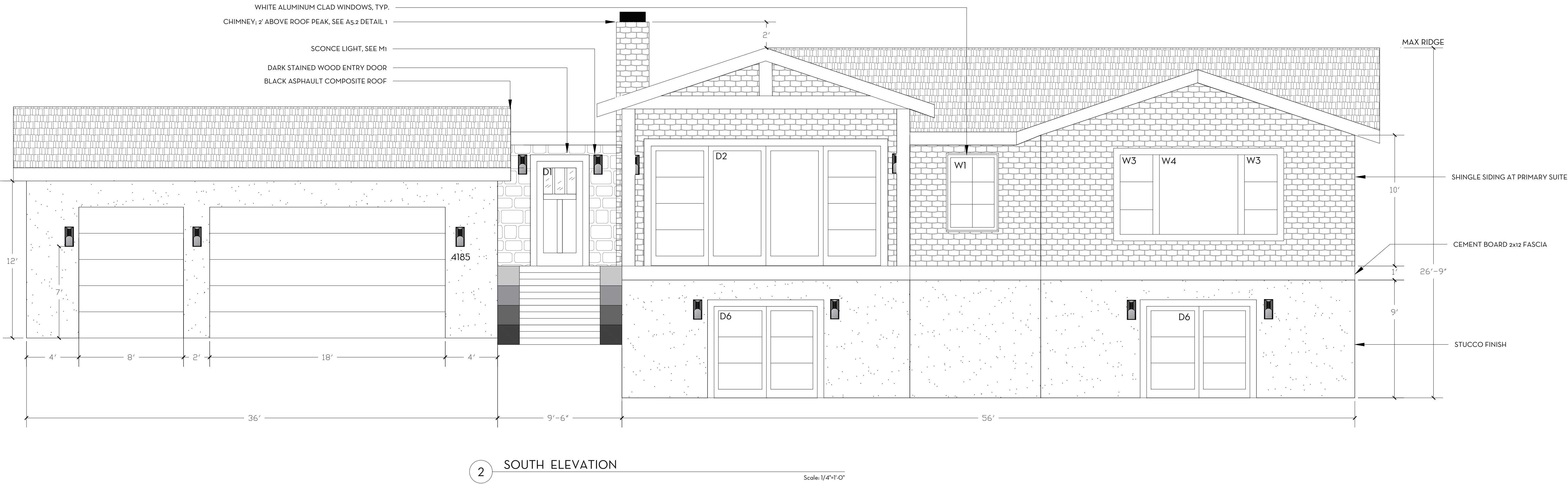
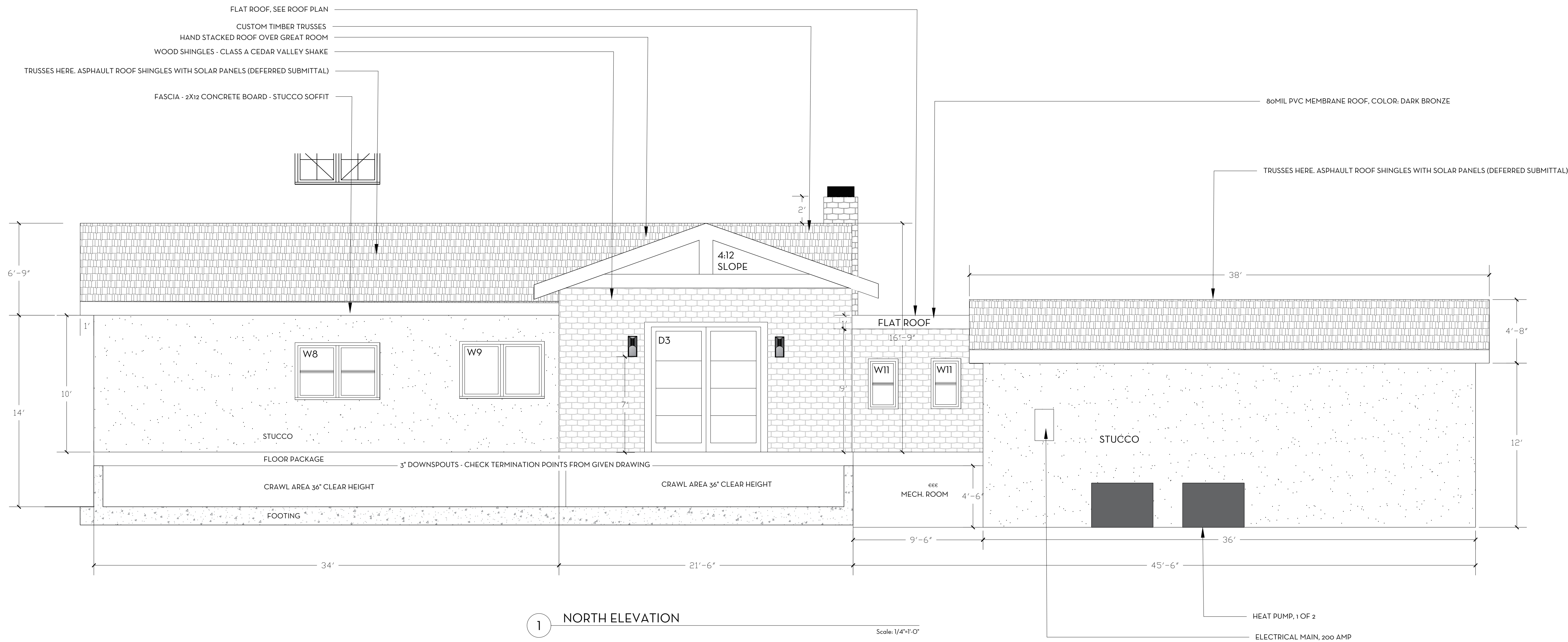
26426 LANGELES GRADE RD, CARMEL VALLEY, CA 93924
PHONE: (831) 935-3303
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

ISSUE STATUS		NO.	DATE	DESCRIPTION	REV
			01/01/2021	PRELIMINARY PLANS	
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LEGEND	
SYMBOL	TYPE
	SCONCE, PENDANT, OR FLUSH MOUNT LIGHT
	CAN LIGHT
	VANITY LIGHT
	PENDANT LIGHT
	SWITCH
	EXHAUST FAN
	OUTLET
	OUTLET INSIDE





THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

NO.	DATE	DESCRIPTION	REV
	07/07/2021	PRELIMINARY PLANS	

SHEET TITLE:

**NORTH
&
SOUTH
ELEVATIONS**

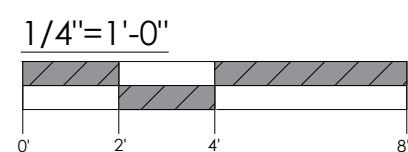
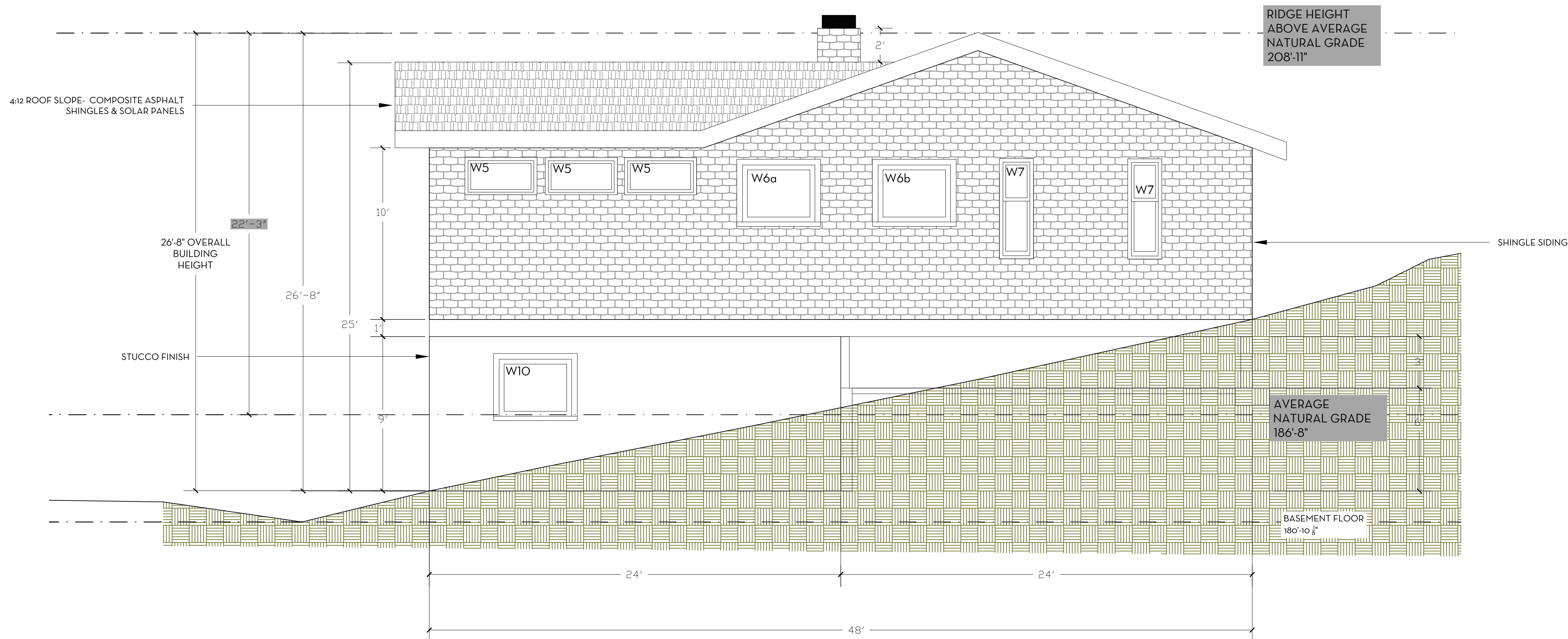
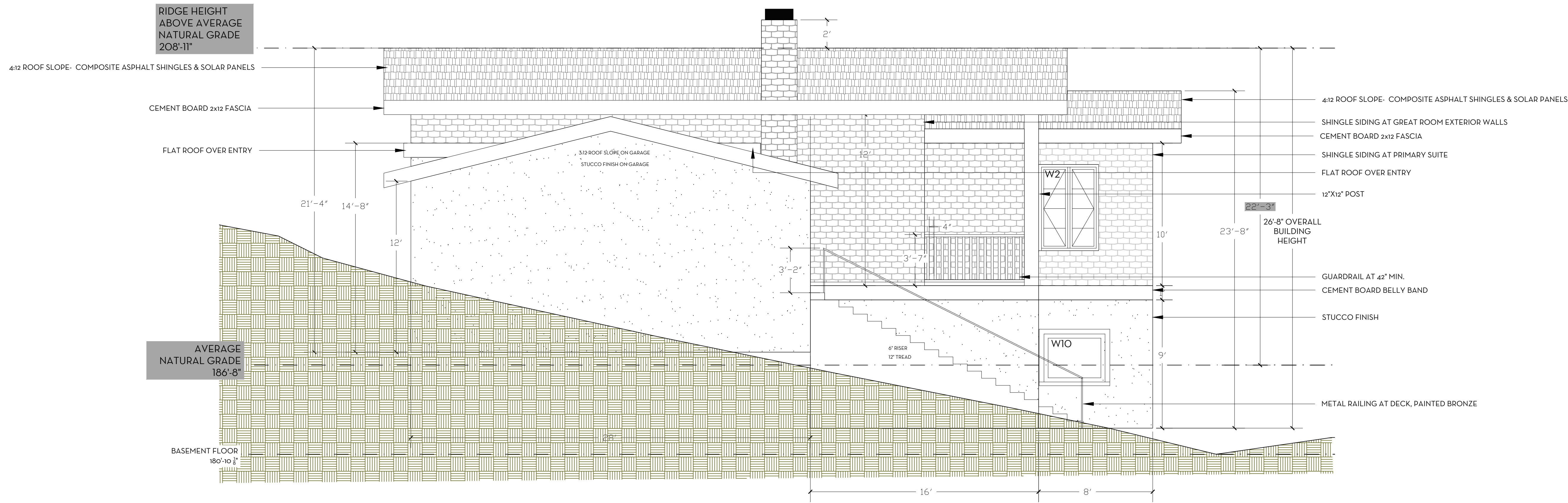
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JOB:

DATE:

SHEET NO.: A3.1

DRAWN BY: RIM CHECKED BY:



NO.	DATE	ISSUE STATUS	DESCRIPTION	REV
	07/2021	PRELIMINARY PLANS		

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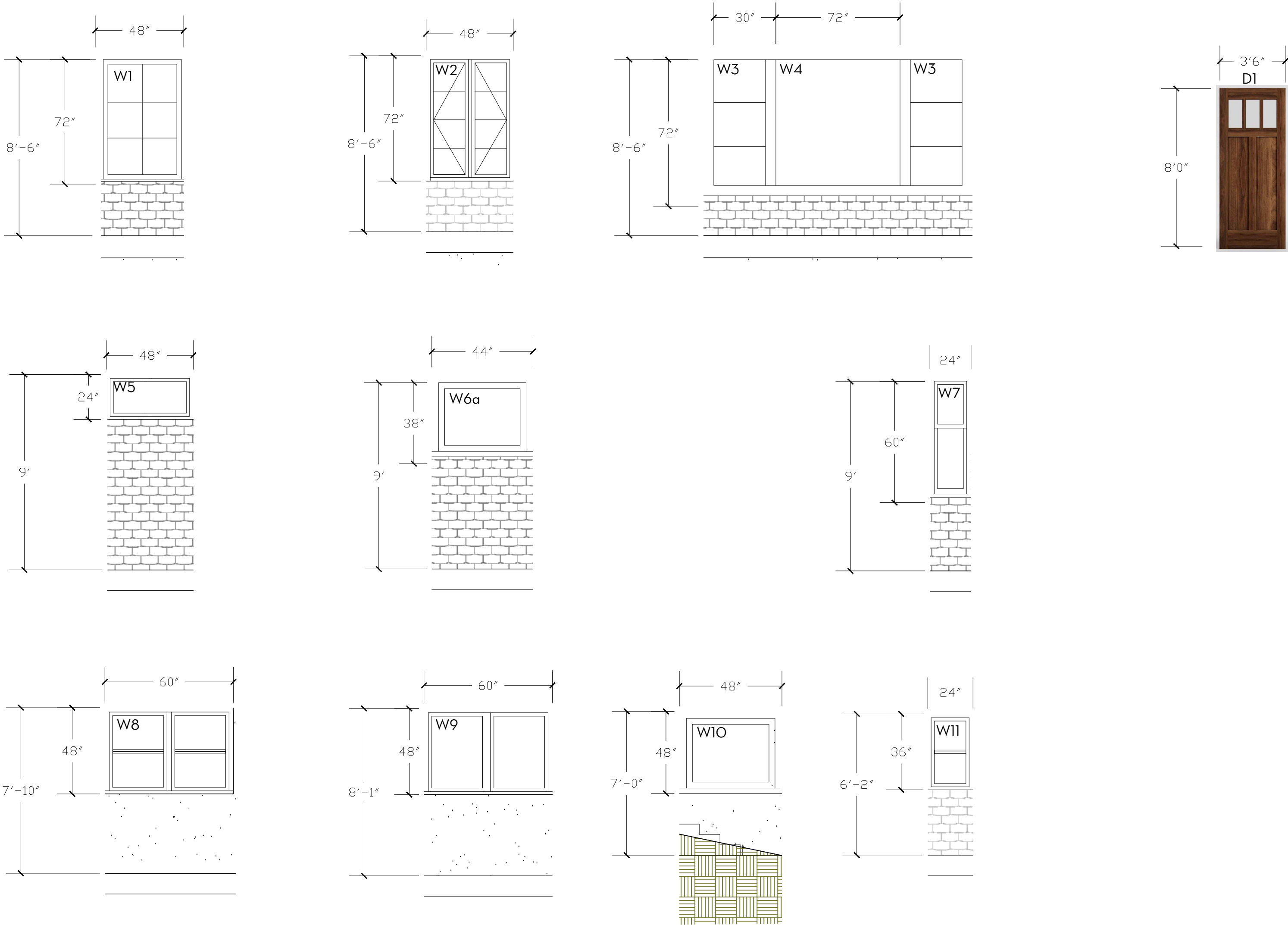
DRAWN BY: R/M

CHECKED BY:

WINDOWS			
LABEL	LOCATION	TYPE	SIZE WxH
W1	Breakfast Bar Area	Fixed	48x72
W2	Primary bedroom- bench seat area.	Double Casement	48x72
W3	Primary Bedroom	Fixed	30x72
W3	Primary Bedroom	Fixed	30x72
W4	Primary Bedroom	Fixed	72x72
W5	Primary Bedroom	Fixed	48x24
W5	Primary Bedroom	Fixed	48x24
W5	Primary Bedroom	Fixed	48x24
W6a	Primary Bathroom	Awning	44x38
W6b	Study	Fixed	44x38
W7	Guest Bedroom 1	Double Hung	24x60
W7	Guest Bedroom 1	Double Hung	24x60
W8	Guest Bedroom 2	Double Hung	60x48
W9	Kitchen	Double Casement	60x48
W10	Basement	Fixed	48x48
W10	Basement	Fixed	48x48
W11	Powder Room	Double Hung	24x36
W11	Stair Case	Fixed	24x36

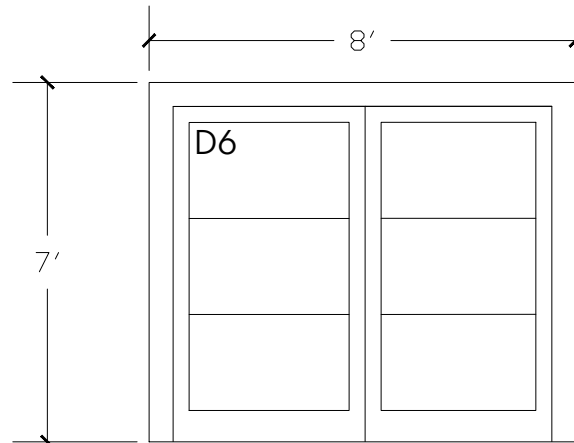
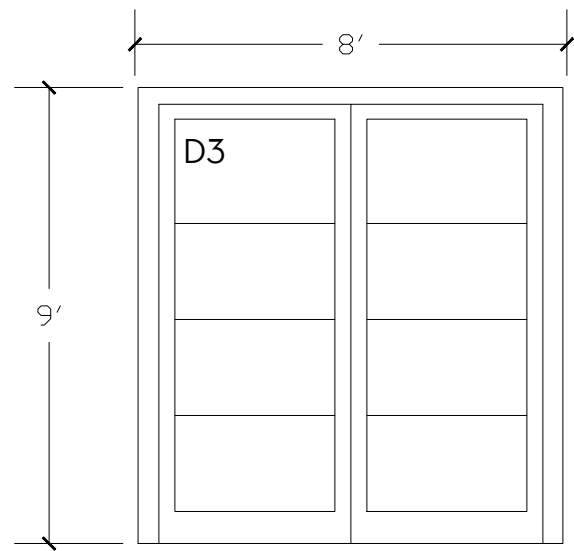
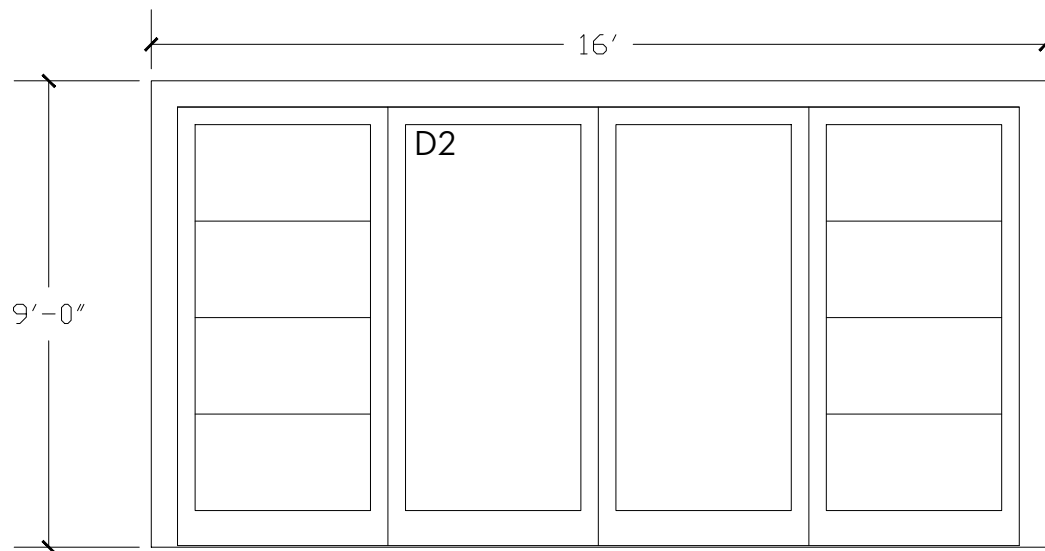
WINDOW DESCRIPTION

1. KOLBE HERITAGE OR SIMILAR- WOOD WINDOWS WITH ALUMINUM CLADDING ON EXTERIOR. ALL CASEMENT WINDOWS TO BE PUSH OUT AND ALL DOUBLE HUNG WINDOWS TO RECEIVE INSECT SCREES. INTERIOR OF ALL WINDOWS TO BE PAINTED WHITE. EXTERIOR CLADDING OF WINDOWS TO BE "CLOUD" COLOR BY KOLBE OR SIMILAR. DIVIDED LIGHTS TO BE BEVELED STICKING WITH $\frac{3}{4}$ " WIDE MULLIONS. EXTERIOR DOORS TO HAVE 3 POINT HARDWARE. ALL HARDWARE TO BE OIL RUBBED BRONZE.



EXTERIOR WINDOWS

DOORS			
LABEL	LOCATION	TYPE	SIZE WxH
D1- Ext.	Entry Door- Real Craft Door- Oak.	Triple Top Lite	3-6 x 8-0
D2- Ext.	Great Room- Sliders with fixed panels.	Lift & Slide	16-0 x 9-0
D3- Ext.	Dining Room.	French Doors	8-0 x 9-0 Pair
D4- Gar.	Garage Main Door	Overhead	18-0 x 10-0
D5- Gar.	Garage Door Left Side	Overhead	9-0 x 10-0
D6- Ext.	Basement	French Doors	8-0 x 7-0 Pair
D6- Ext.	Basement	French Doors	8-0 x 7-0 Pair
D7	Basement Bathroom	LH In Swing	2-6 x 7-0
D8	Garage Mechanical Room	RH in swing	2-6 x 4-0
D9	Garage to House- Black threhold- ext. gasket	LH In Swing	3-0 x 8-0
D10	Laundry Room	LH In Swing	3-0 x 8-0
D11	Coat Closet at Entry	RH Out swing	2-0 x 8-0
D12	Powder Bathroom	LH In Swing	2-6 x 8-0
D13	Pantry	RH in swing	2-6 x 8-0
D14	Primary Bedroom	LH In Swing	3-0 x 8-0
D15	Primary Closet	LH In Swing	2-6 x 8-0
D16	Primary bathroom	RH in swing	2-6 x 8-0
D17	Study	RH in swing	2-6 x 8-0
D18	Guest Bathroom	RH in swing	2-6 x 8-0
D19	Guest Bedroom 1	RH in swing	2-6 x 8-0
D20	Guest Bedroom 2	RH in swing	2-6 x 8-0
D21	Guest Closet 2	Pair	5-0 x 8-0
D22	Guest Closet 1	Pair	5-0 x 8-0



EXTERIOR DOORS


WINDOW & EXTERIOR DOOR NOTES

- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDING WINDOWS AND DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4
- GLAZING SHALL BE TERMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET; AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
 - GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE
- CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHTIECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS
- ALL WINDOWS TO BE DUAL GLAZED-ARGON FILLED WITH THERMAL SPACER
- MIN. U-VALUE & SGHC - PER TITLE 24 CALCULATIONS
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PAN, GLASS BLOCK UNITS, HAVE FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1

THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

PLANS BY: EVAN MCNICKLE
PROJECT: 4185 MARGUERITA WAY
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

**MCNICKLE CONSTRUCTION**
DESIGN & BUILD

26402E LAURELES GRADE RD, CARMEL VALLEY, CA 93924
PHONE: (831) 935-3303
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

NO.	DATE	ISSUE STATUS		NO.	DATE	REV	
		DESCRIPTION	PRELIMINARY PLANS				
	01/07/2021						

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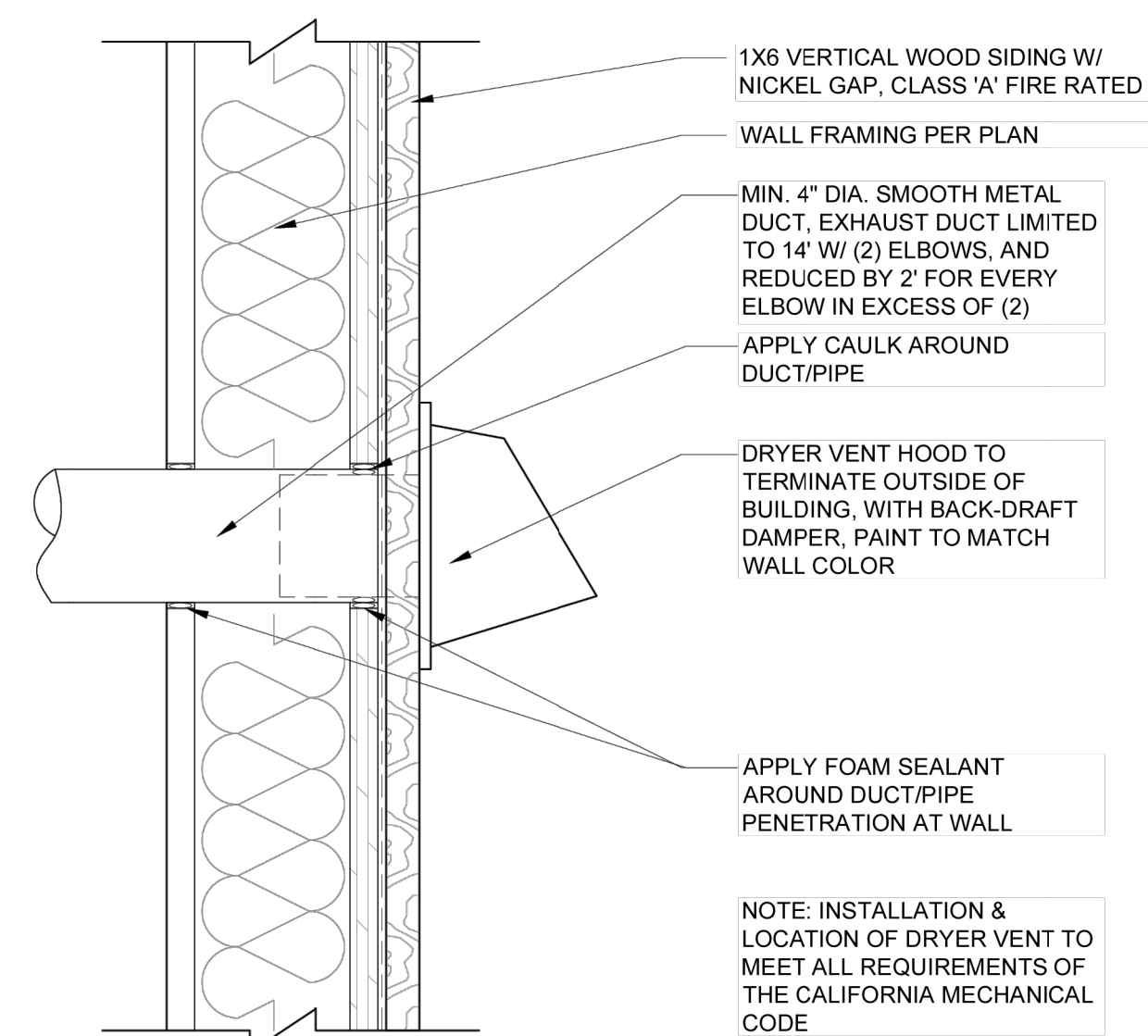
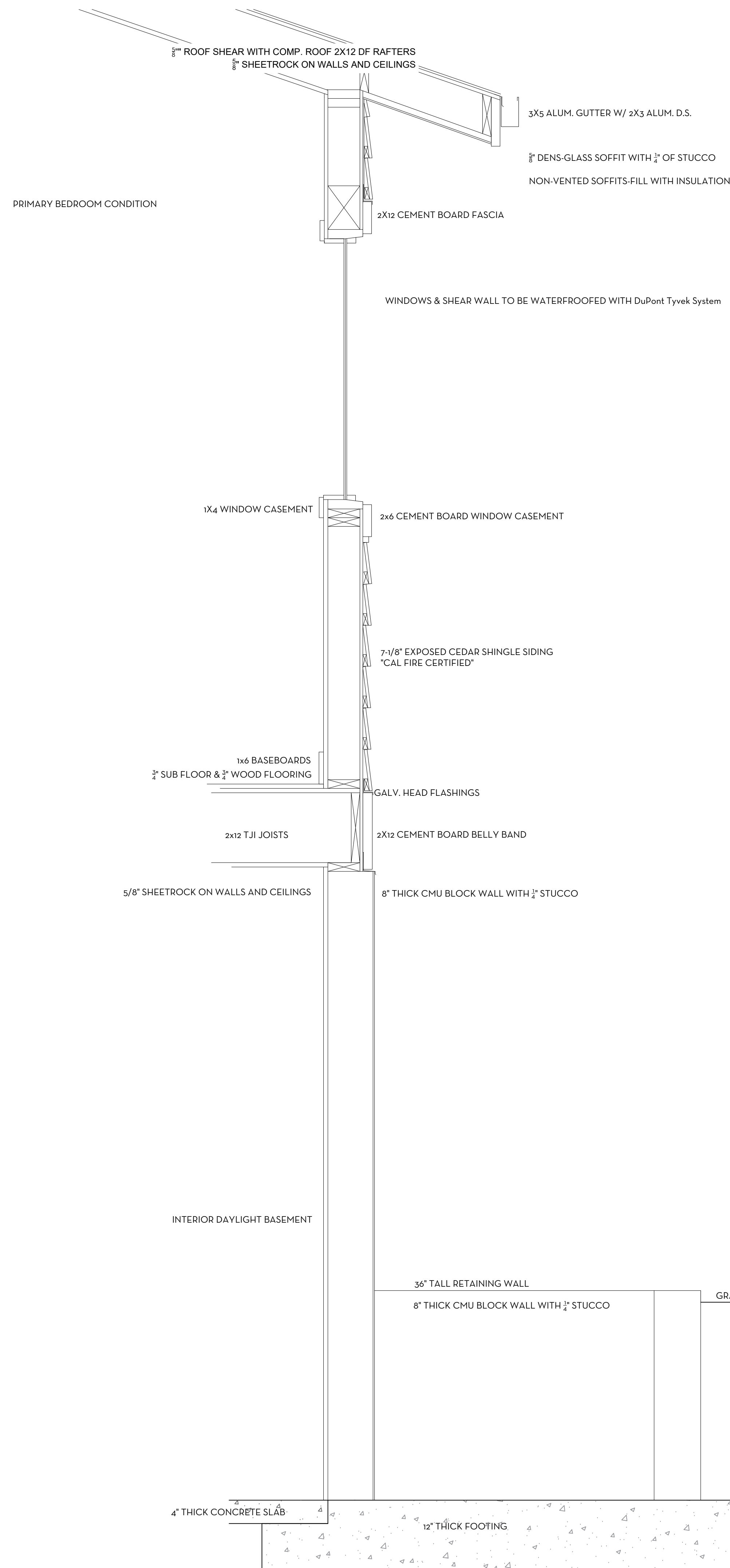
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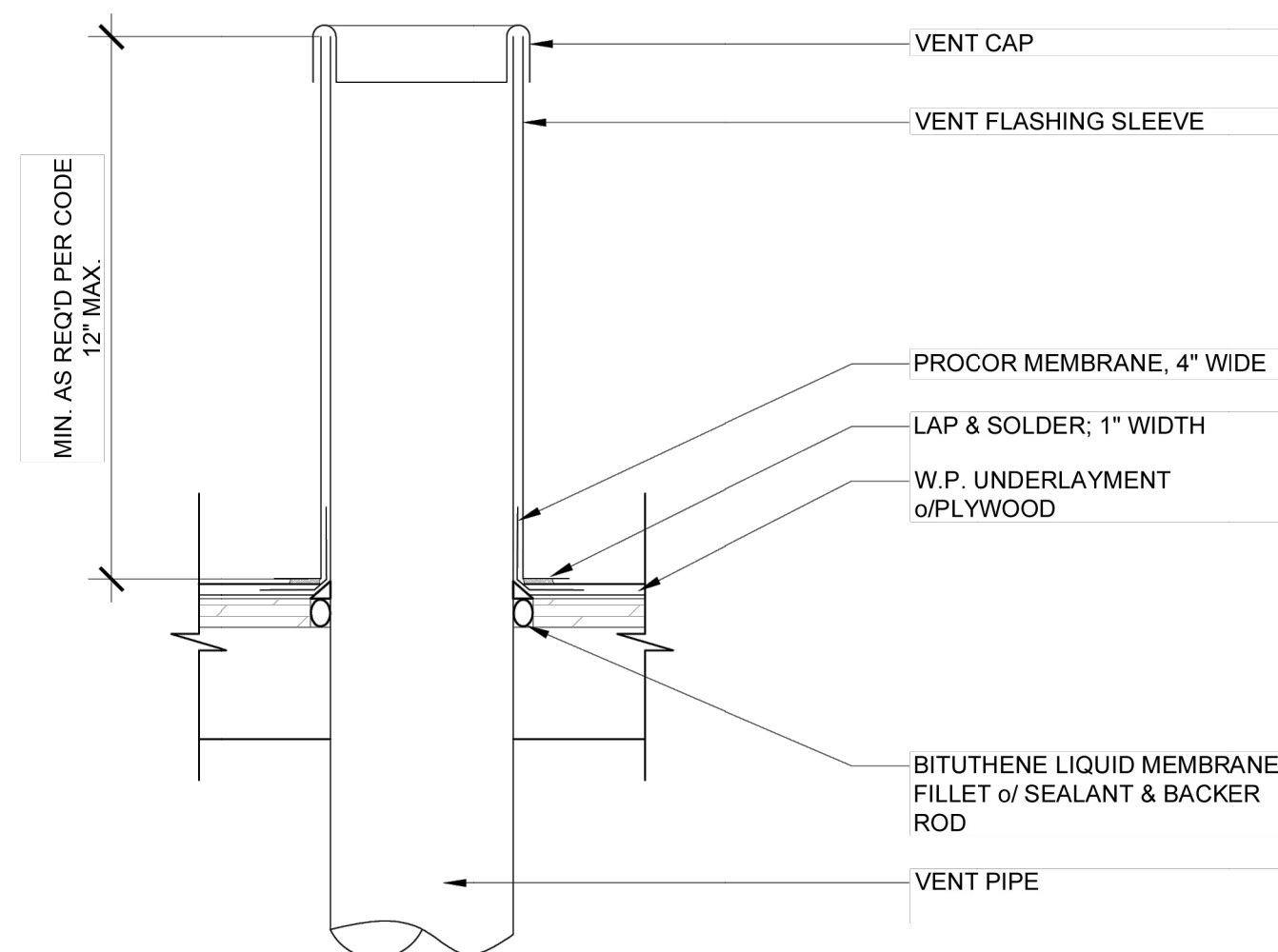
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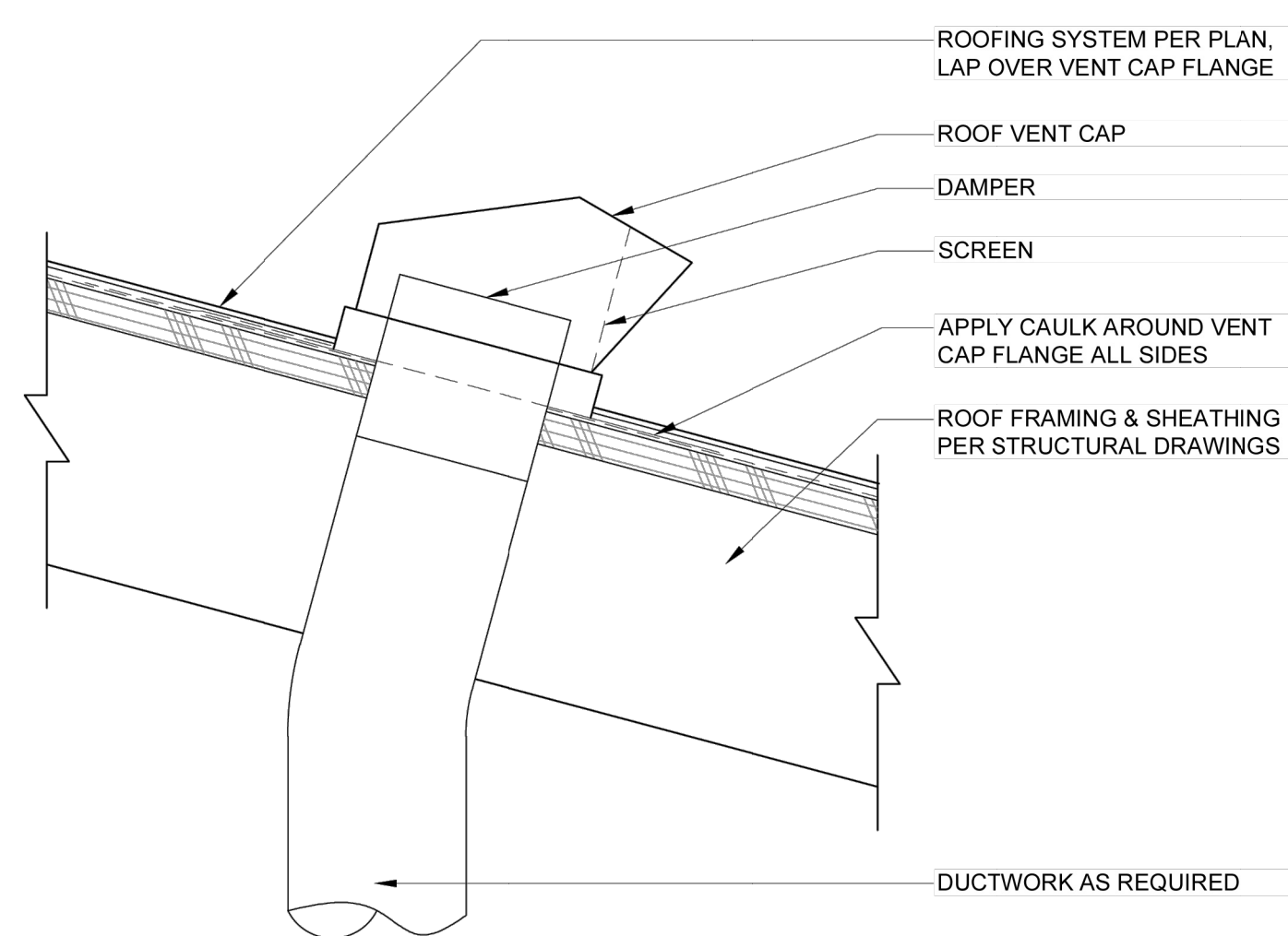
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4 DRYER VENT PENETRATION DETAIL
SCALE: 3"=1'-0"

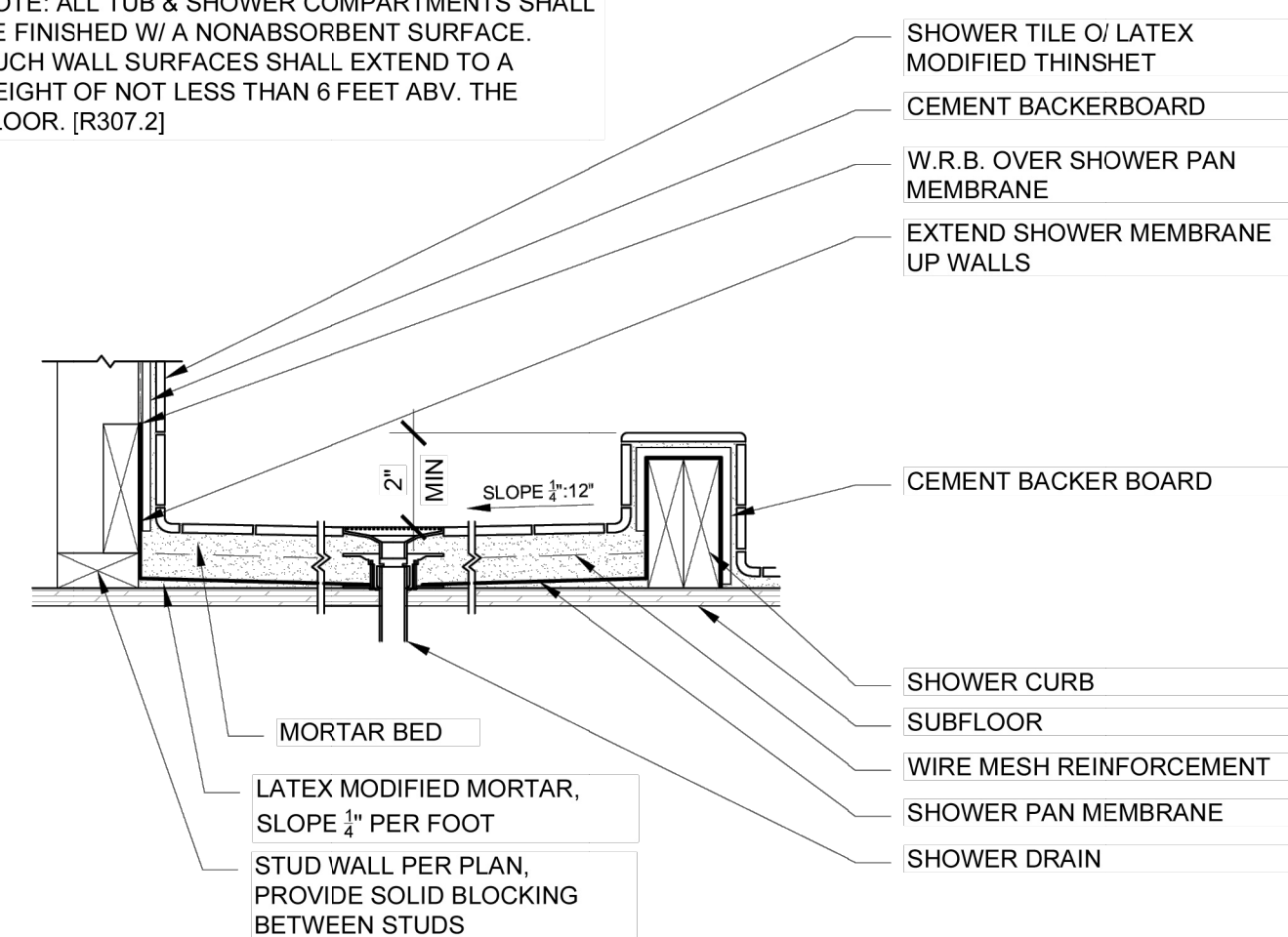


5 ROOF PENETRATION DETAIL
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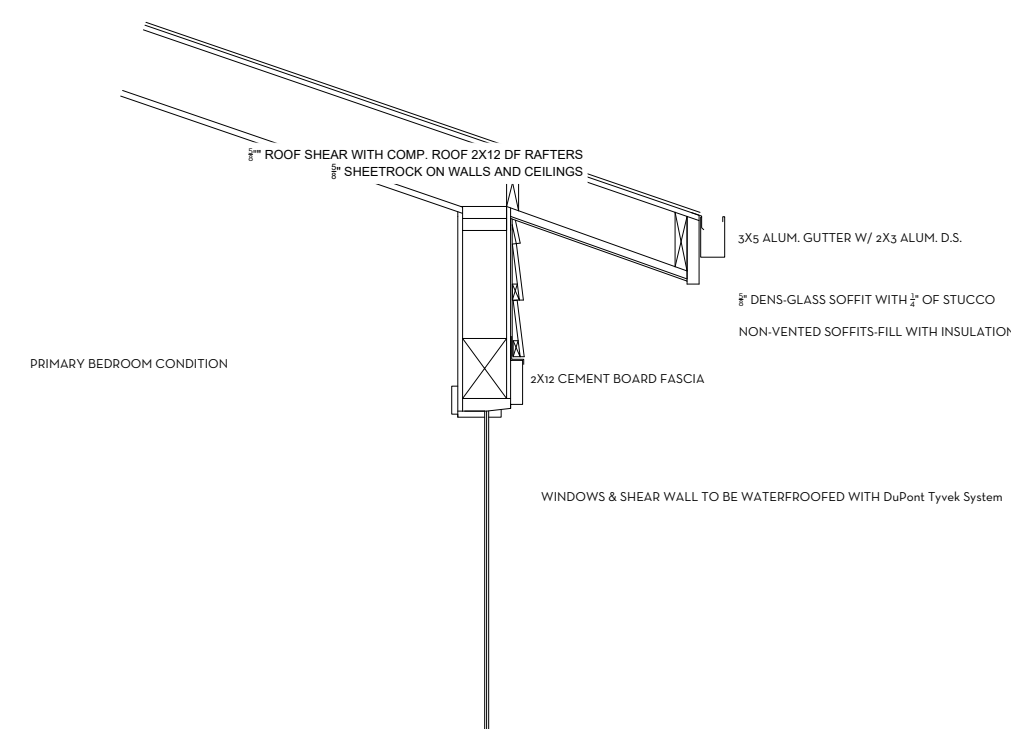


6 EXHAUST FAN ROOF PENETRATION
SCALE: 3"=1'-0"

NOTE: ALL TUB & SHOWER COMPARTMENTS SHALL BE FINISHED W/ A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABV. THE FLOOR. [R307.2]

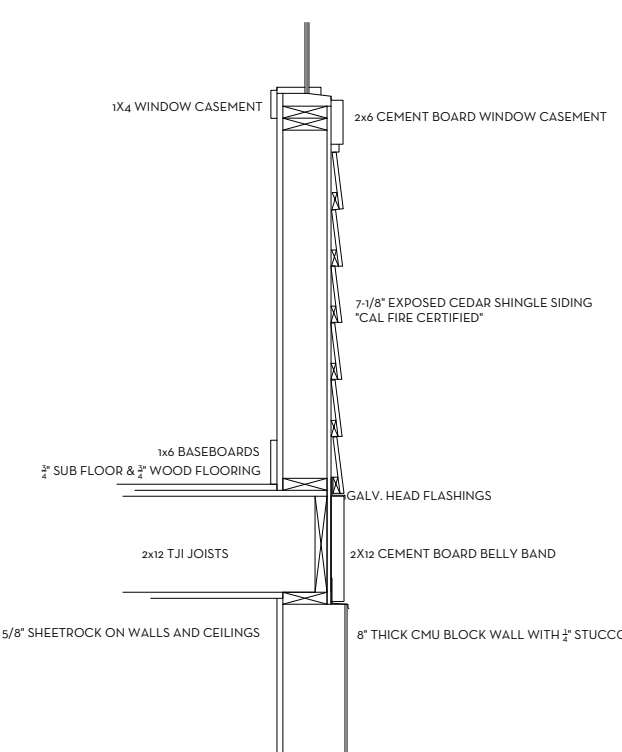


1 SHOWER DETAIL
SCALE: 1 1/2"=1'-0"



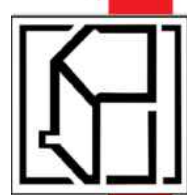
2 ROOF ASSEMBLY DETAIL

Scale: 1/2"=1'



7 WALL ASSEMBLY DETAIL

Scale: 1/2"=1'



THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923

ISSUE STATUS		REV
NO	DATE	DESCRIPTION
	01/01/2021	PRELIMINARY PLANS
DRAWN BY: RM		CHECKED BY:

SHEET TITLE:

DETAILS

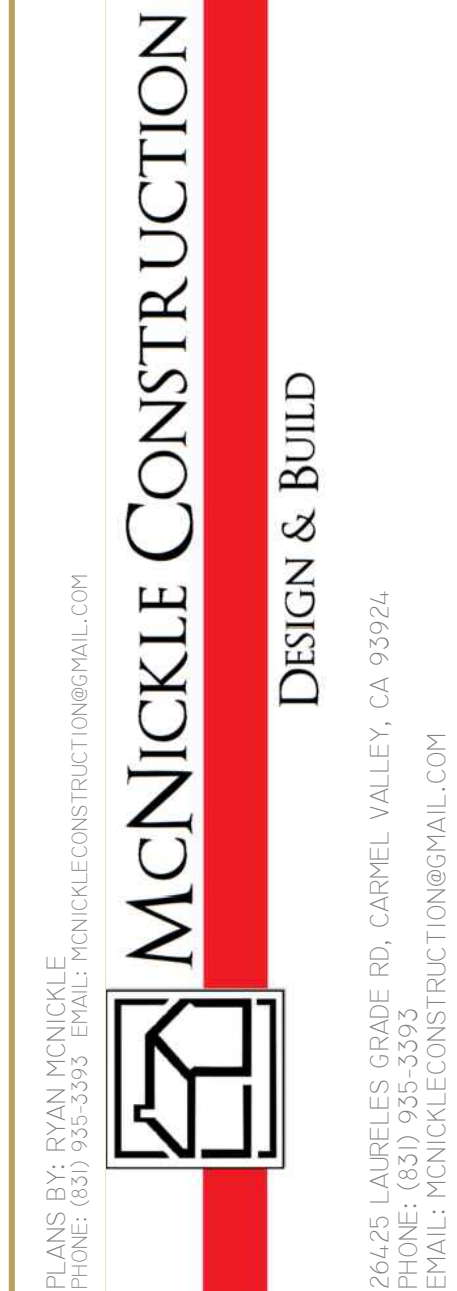
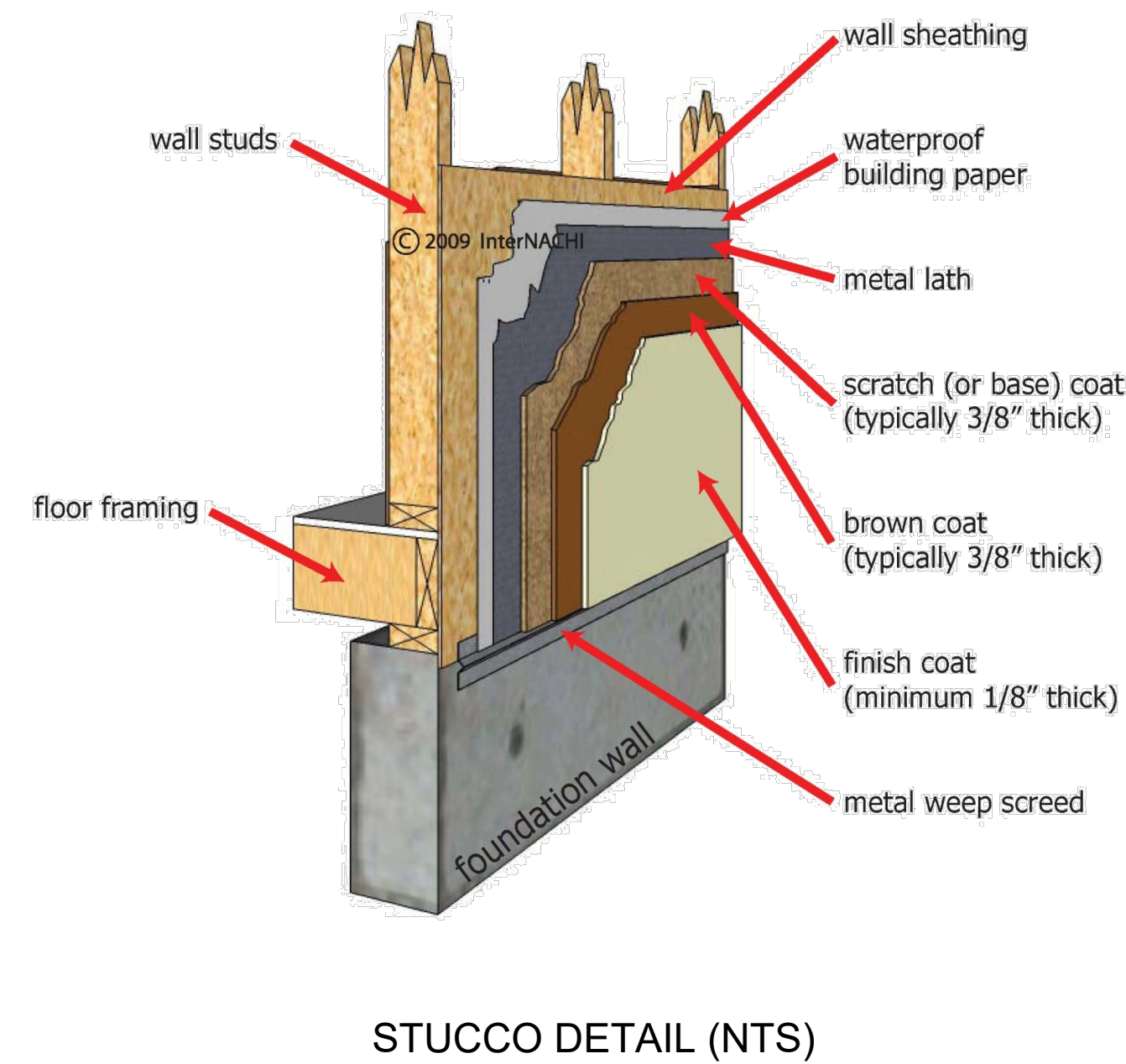
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DATE: _____

SHEET NO.:

A5.0



THE MARGUERITA PROJECT
4185 MARGUERITA WAY
CARMEL, CA 93923

NO.	DATE	ISSUE STATUS DESCRIPTION	REV
	07/07/2021	PRELIMINARY PLANS	
DRAWN BY: DM			CHECKED BY:

ROOF & WALL ASSEMBLIES

SCALE:

JOB:

DATE:

SHEET NO.: A5.1

Insist upon the Integrity Roof System™ and get the ultimate in roof performance!

With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System™ combines key elements that help ensure you have a well-built roof for long-lasting performance.

It all starts with CertainTeed's broad line of shingles, featuring brilliant color blends, dramatic styles and shadow lines, and the strongest warranties in the industry. The right shingle can mean the difference between an average, everyday look or a beautiful roof that's the talk of the neighborhood.

Shingles are just the beginning — to keep your new roof performing and looking great for years to come it takes a complete CertainTeed Integrity Roof System approach.



- 1. Waterproofing Underlayment**

The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.*
- 2. Water-Resistant Underlayment**

Provides a protective layer over the roof deck and acts as a secondary barrier against leaks.
- 3. Starter Shingles**

Starter Shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.
- 4. Shingles**

Chose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.
- 5. Ventilation**

A roof that breathes is shown to perform better and last longer. Ridge Vents, in combination with CertainTeed Intake Vents or Soffit Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.
- 6. Hip & Ridge Caps**

Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

Low-Slope Sections

CertainTeed Flintastic® and SMARTCOAT™ roofing products are also available for low-slope roof areas.



* Waterproofing Underlayment is not typically applied at the eaves in climate areas not prone to snow and ice.

WALL AND ROOF ASSEMBLY SECTION DETAIL

B. Clearances

WARNING! Risk of Fire!

You must comply with all minimum air space clearances to combustibles as specified in Figure 3.3. **DO NOT** pack required air spaces with insulation or other materials. Framing or finishing material used on the front of, or in front of, the fireplace closer than the minimums listed must be constructed entirely of non-combustible materials (i.e., steel studs, concrete board, etc.). Failure to comply may cause fire.

Minimum Clearances to Combustibles

WITHIN ENCLOSURE AREA

Fireplace to backwall	1-1/2 in. (38 mm)
Fireplace to sidewall	1-1/2 in. (38 mm)
Top standoffs to header	0 in. (0 mm)
Door opening to sidewall	24 in. (610 mm)
MANTEL	
Mantel minimum height	20 in. (508 mm)
	above opening
Maximum mantel depth	12 in. (305 mm)

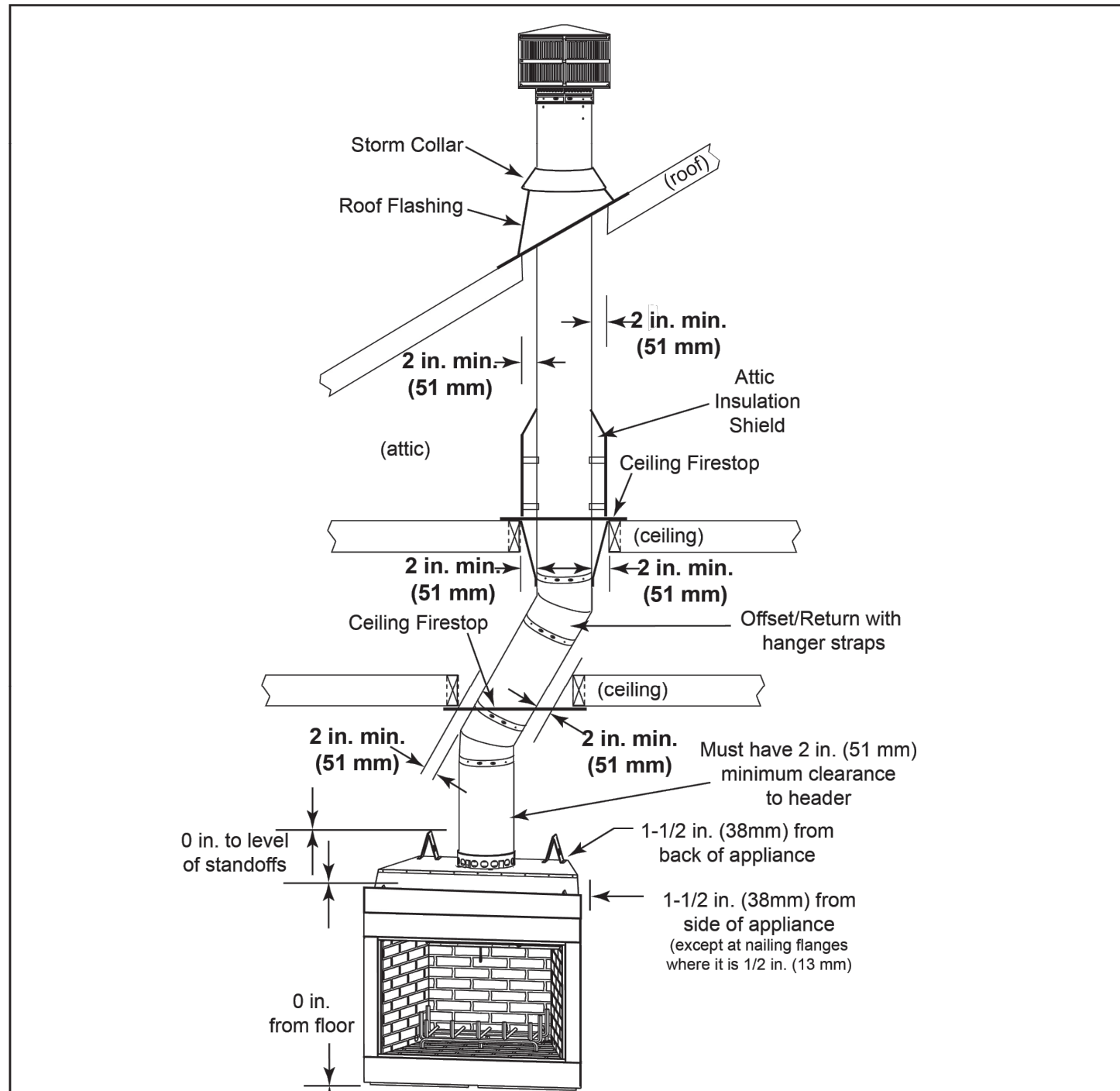


Figure 3.3 Clearances to Combustible Materials

Majestic Biltmore Series • SB100 • 4013-303 Installers Manual • Rev G • 09/18

4 Chimney and Termination Requirements

A. Chimney Requirements

Vertical distances are measured from the base of the fireplace as shown in Figure 4.1.

Table 4.1 Chimney Requirements

Minimum overall straight height	20 ft	6.1 m
Minimum height with single offset/return	20.5 ft	6.25 m
Double offset/return minimum height	24 ft	7.32 m
Maximum height	90 ft	27.43 m
Maximum chimney length between an offset and return	20 ft	6.1 m
Maximum distance between chimney stabilizers	35 ft	10.67 m
Maximum unsupported chimney length between the offset and return	6 ft	1.83 m
Maximum unsupported chimney height above the fireplace	35 ft	10.67 m
Maximum unsupported chimney above roof	6 ft	1.83 m

NOTICE: A maximum of two pairs of offsets and returns may be used.

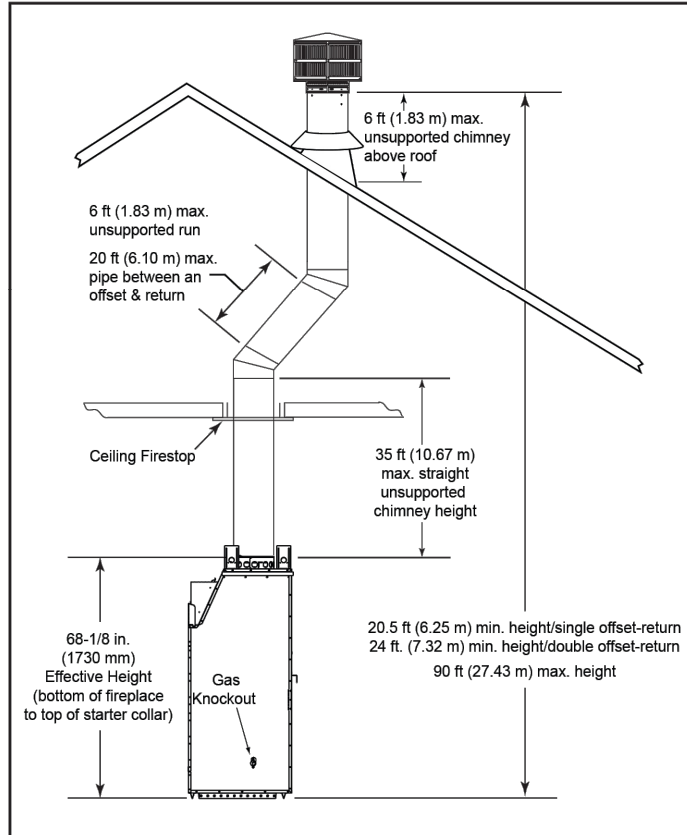


Figure 4.1 Chimney Requirements

Majestic Biltmore Series • SB100 • 4013-303 Installers Manual • Rev G • 09/18

WARNING! Risk of Fire! You must maintain 2 in. (51 mm) air space clearance to insulation and other combustible materials around the chimney system. Failure to do so may cause overheating and fire.

NOTICE: You must provide support for the pipe during construction and check to be sure inadvertent loading has not dislodged the chimney section from the fireplace or at any chimney joint.

Table 4.2 Chimney Component Dimensions

HEIGHT OF CHIMNEY COMPONENTS		in.	mm
Chimney Stabilizer			
SL11		4-3/4	121
Offsets/Returns			
SL1130		18	457
Chimney Sections*			
SL1106		4-3/4	121
SL1112		10-3/4	273
SL1118		16-3/4	425
SL1136		34-3/4	883
SL1148		46-3/4	1187

* Dimensions reflect effective height.

B. Hearth Extension, Building and Finishing

WARNING! Risk of Fire! High temperatures, sparks, embers or other burning material falling from the fireplace may ignite flooring or concealed combustible surfaces.

- Protective metal hearth strips **MUST** be installed.
- Hearth extensions **MUST** be installed exactly as specified.

A hearth extension must be installed with all fireplaces to protect the combustible floor in front of the fireplace from both radiant heat and sparks.

- You **MUST** use a hearth extension with this fireplace.
- Refer to Figure 7.3 for minimum dimensions.
- This fireplace has been tested and approved for use with a hearth extension insulated to a minimum R value of 1.03.
- The hearth extension material **MUST** be covered with tile, stone or other non-combustible material.
- Manufactured hearth materials will usually have a published **R value** (resistance to heat) or **k value** (conductivity of heat). Refer to the formula in Table 7.1 to convert a k value to an R value.
- Refer to Table 7.2 for hearth extension insulation alternatives.

WARNING! Risk of Fire!

Hearth & Home Technologies is not responsible for discoloration, cracking or other material failures of finishing materials due to heat exposure or smoke.

- Choose finishing materials carefully.

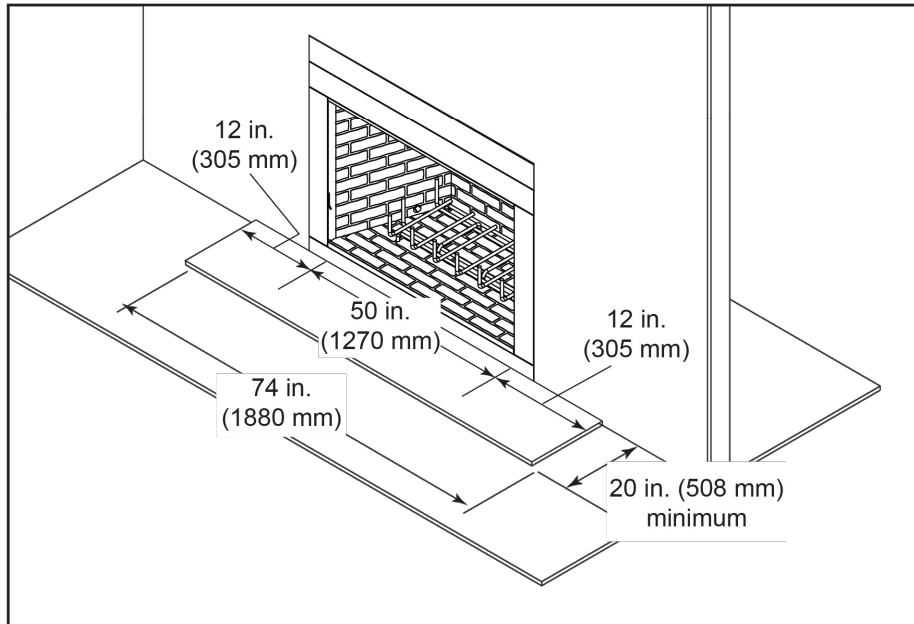


Figure 7.3 Hearth Extension Dimensions

Majestic Biltmore Series • SB100 • 4013-303 Installers Manual • Rev G • 09/18

WARNING! Risk of Fire!

- Maintain clearances.
- Use only non-combustible material below standoffs, material such as cement board is acceptable.
- Framing or finishing material used on the front of the fireplace closer than the minimums listed, must be constructed entirely of non-combustible materials (i.e., steel studs, concrete board, etc.).

WARNING! Risk of Fire!

Hearth extensions are to be installed only as illustrated to prevent high temperatures from occurring on concealed combustible materials.

Table 7.1

$$R = 1/k \text{ x inches of thickness}$$

Table 7.2

Hearth Extension Insulation Alternatives, R Value = 1.03			
Material	k per inch thick	r per inch thick	Minimum thickness required
Hearth & Home HX3, HX4	0.49	2.06	1/2 in.
USG Micore 300™	0.49	2.06	1/2 in.
USG Durock™ Cement Board	1.92	0.52	2 in.
Cement Mortar	5.0	0.20	5 1/8 in.
Common Brick	5.0	0.20	5 1/8 in.
Ceramic Tile	12.50	0.08	12 1/4 in.
Armstrong™ Privacy Guard Plus	0.46	2.18	1/2 in.
Marble	14.3-20.0	0.07-0.05	14 5/8 in. - 20 3/8 in.

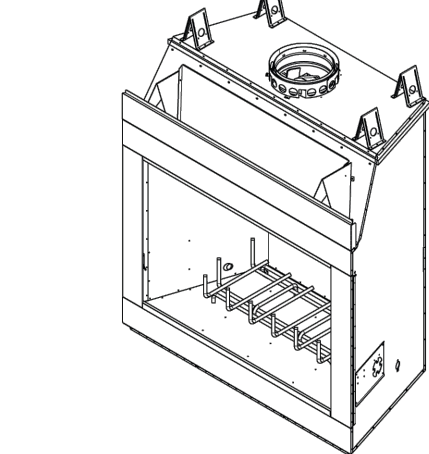
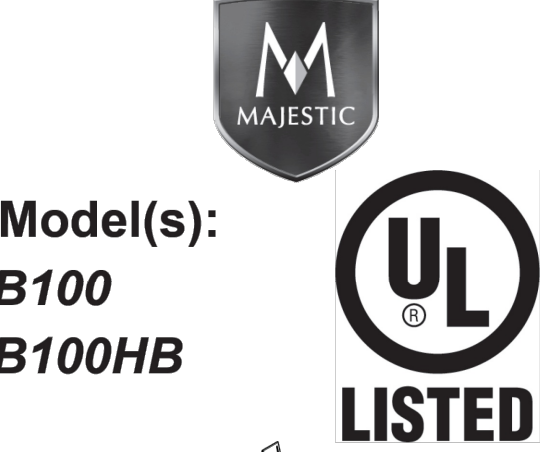
Installation Manual
Installation and Fireplace Setup

INSTALLER: Leave this manual with party responsible for use and operation.

OWNER: Retain this manual for future reference.

This fireplace uses SL1100 Series Chimney
2" CLEARANCE TO COMBUSTIBLES AND BUILDING INSULATION FROM CHIMNEY REQUIRED.

NOTICE: DO NOT discard this manual!



WOODBURNING FIREPLACE

Installation and service of this appliance should be performed by qualified personnel. Hearth & Home Technologies recommends HHT Factory Trained or NFI certified professionals.



WARNING: If the information in these instructions is not followed exactly, a fire or explosion may result causing property damage, personal injury, or death.

- DO NOT** store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.
- DO NOT** overfire. Overfiring will void your warranty.
- Comply with all minimum clearances to combustibles as specified. Failure to comply may cause house fire.

WARNING



HOT SURFACES!
Glass and other surfaces are hot during operation AND cool down.

Hot glass will cause burns.

- DO NOT** touch glass until it is cooled
- NEVER allow children to touch glass
- Keep children away

- CAREFULLY SUPERVISE children in same room as fireplace.
- Alert children and adults to hazards of high temperatures.
- High temperatures may ignite clothing or other flammable materials.
- Keep clothing, furniture, draperies and other flammable materials away.



WARNING

Fire Risk.

For use with solid wood fuel only. Other fuels may overfire and generate poisonous gases (i.e. carbon monoxide).

THE MARGUERITA PROJECT

4185 MARGUERITA WAY
CARMEL, CA 93923



PLANS BY: RYAN MCNICKLE
PHONE: (831) 925-3392 EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM
McNICKLE CONSTRUCTION
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ISSUE STATUS				
NO.	DATE	DESCRIPTION	REV	
	01/01/2021	PRELIMINARY PLANS		
DRAWN BY: DM			CHECKED BY:	

SHEET TITLE:

FIRE PLACE
&
CHIMNEY
PLAN

SCALE:

JOB:

DATE:

SHEET NO.:

DRAWN BY: R/M CHECKED BY:

TREE

SCALE:	AS NOTED
DATE:	3/19/2025
DESIGN BY:	JPR
DRAWN BY:	JPR
CHECKED BY:	
SHEET NUMBER:	
C1	
OF 4 SHEETS	
PROJECT#	124157

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Drawing file: Z:\Projects\124157 McNickle Residence (4185 Marguerita)\dwg\124157 Grading Plan.dwg
Plotted: Mar 19, 2025 - 11:05am

- NOTES:
- SEE ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND DOWNSPOUT LOCATIONS
 - SEE LANDSCAPE PLANS FOR HARDSCAPE AND RETAINING WALL DETAILS
 - GRADE 5% (SOIL) AWAY FROM BUILDING TO APPROVED DRAINAGE STRUCTURE.
 - ALL SITE STORM WATER SHALL BE DIVERTED AROUND BUILDING, COLLECTED AND DISSIPATED.

STORM DRAIN SYSTEM NOTES:

- TRENCH DRAIN SHALL BE ACO KLASSIKDRAIN K100 WITH HEEL PROOF GRADE.
- STORM DRAIN PIPE SHALL BE PVC SDR 35 (ASTM D3034). INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- SEE DETAIL B/C3 FOR TRENCH BACKFILL.
- CONTRACTOR SHALL MAINTAIN HORIZONTAL SEPARATION OF 5' BETWEEN JOINT TRENCH AND WET UTILITIES UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL MAINTAIN HORIZONTAL SEPARATION OF 4' BETWEEN POTABLE WATER AND OTHER WET UTILITIES.
- PATIO DRAINS SHALL BE COLLECTED AND DISCHARGED ONTO ENERGY DISSIPATOR
- ROOF DOWNSPOUTS SHALL BE COLLECTED AND STORED IN ON-SITE WATER TANK AND RE-USED FOR SITE IRRIGATION. AN OVERFLOW SHALL BE INSTALLED TO ALLOW FOR DISCHARGE ONTO ENERGY DISSIPATOR.

SWCP NOTES:

- THE PROPOSED IMPERVIOUS FOOTPRINT OF THIS PROJECT WAS REVIEWED AND MODIFIED TO MINIMIZE STORM WATER RUNOFF.
- THE STORM DRAIN DISCHARGE WAS DIVIDED INTO 2 DISCONNECTED DISCHARGE POINTS. ROOF RUNOFF IS TO BE COLLECTED IN CISTERN FOR RE-USE IN ON-SITE IRRIGATION.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

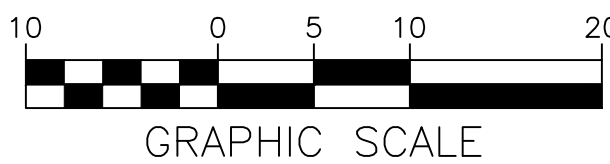
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C2

GRADING PLAN

SCALE: 1"=10'

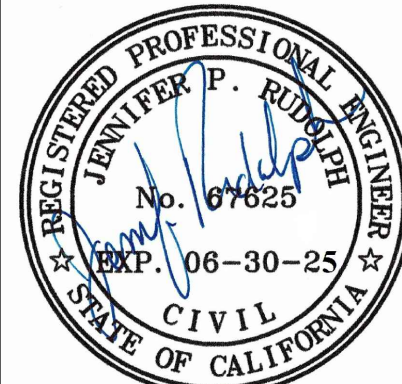
- LEGEND
- CUT AREA (1,945 CY) NO OFF-HAUL EXCESS MATERIAL (1,927 CF) TO BE SPREAD ON-SITE IN LANDSCAPE
 - FILL AREA (60 CY)
 - 25%+ SLOPE

NOTE: QUANTITIES ARE TO FINISH GRADE. DOES NOT ACCOUNT FOR MATERIAL SECTIONS. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCEMENT OF WORK.



GRADING AND DRAINAGE PLAN

MCNICKLE RESIDENCE
4185 MARGUERITA WAY
CARMEL, CA 93923



C3ENGINEERING
INCORPORATED

Civil Engineering Land Development Stormwater Control

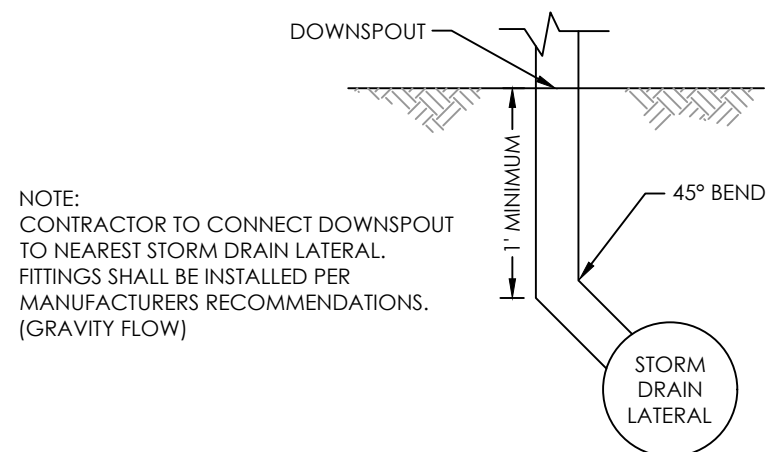
124 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax: (831) 647-1194
mail@C3Engineering.net

SCALE: AS NOTED
DATE: 3/19/2025
DESIGN BY: JPR
DRAWN BY: JPR
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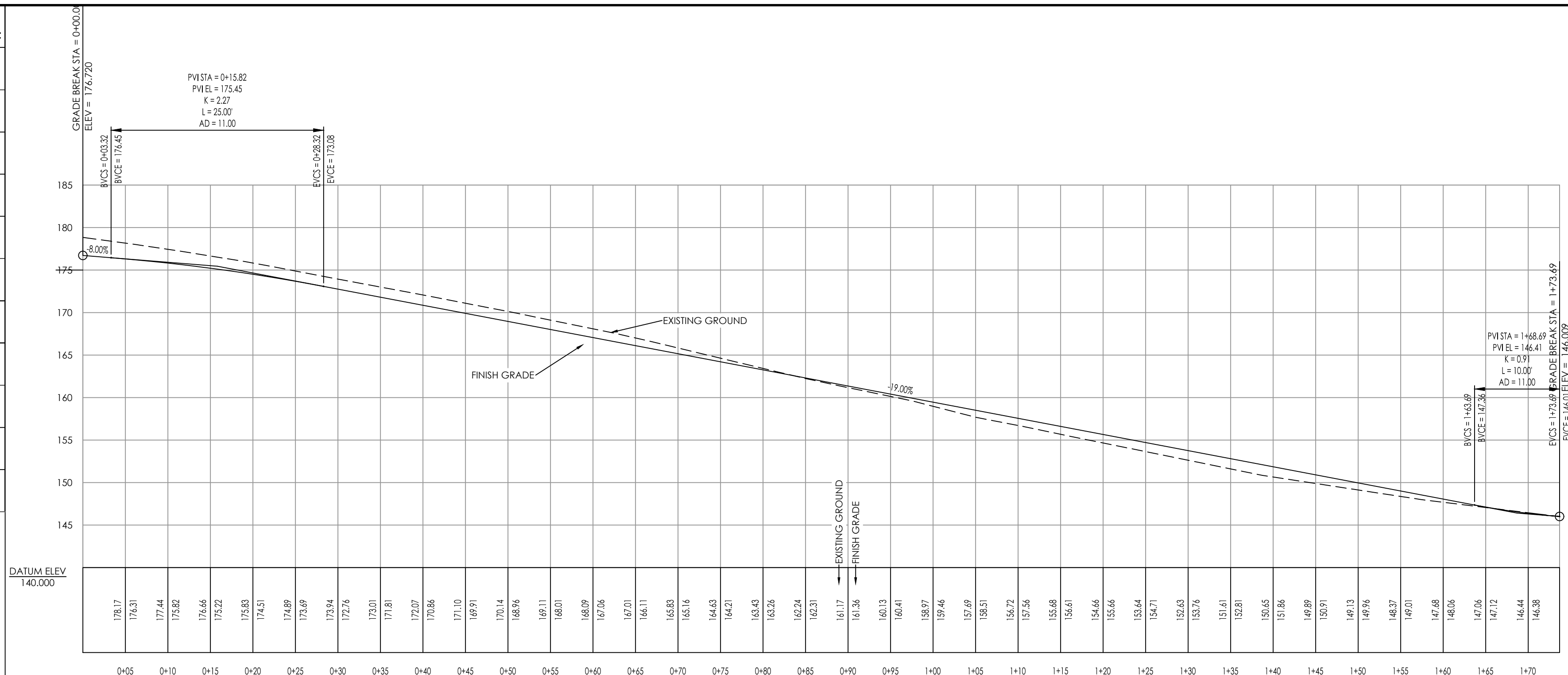
C2

OF 4 SHEETS
PROJECT# 124157

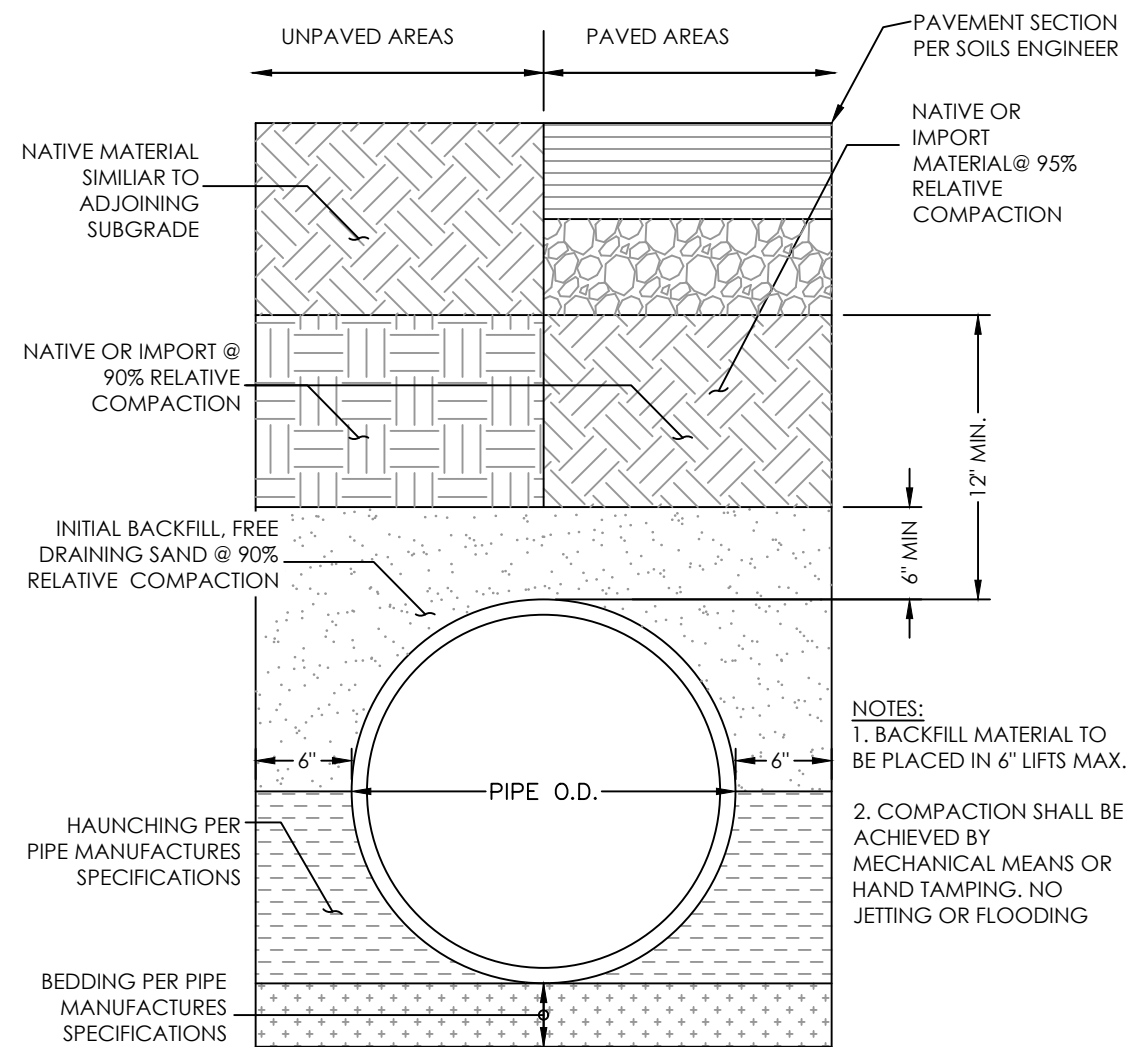
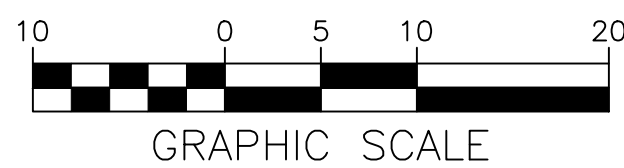
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	2)During backfill placement – ongoing	Soils Engineer		
Inspect and Test Building Pad Subgrade:	Prior to excavation footings or placement of slab-on-grade materials	Soils Engineer		
Inspect Slab-on-grade installation:	Prior to concrete placement	Soils Engineer		
Inspect Foundation and/or retaining wall footing excavations:	Prior to reinforcement placement	Soils Engineer		
Inspect and Test Retaining wall backfill:	During backfill placement – ongoing	Soils Engineer		
Inspect and Test Driveway Fill, Subgrade and Baserock Placement:	1)During fill placement	Soils Engineer		
	2)Subgrade, prior to baserock placement	Soils Engineer		
	3)Baserock prior to AC, Concrete or Pavement	Soils Engineer		
Inspect and Test Drainage Installation:	1)After pipe placement, prior to backfill placement	Soils Engineer		
	2)During backfill placement – ongoing	Soils Engineer		




 DOWNSPOUT CONNECTION
 NTS



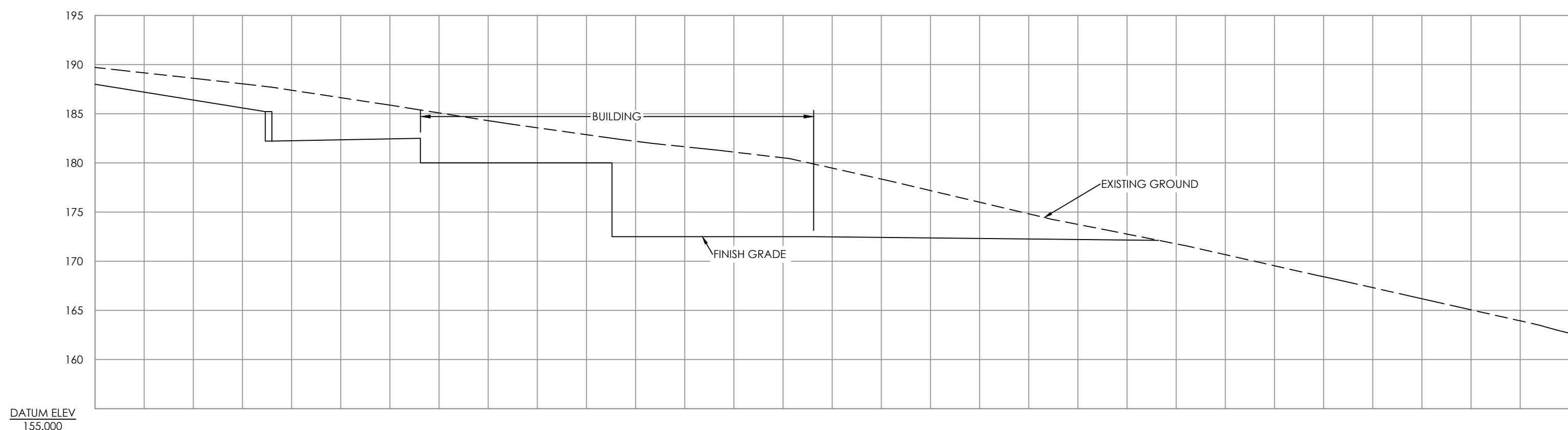
DRIVEWAY CENTERLINE PROFILE SCALE: 1"=10'







C
C3



TRENCH BACKFILL



NTS




















































































































































































































































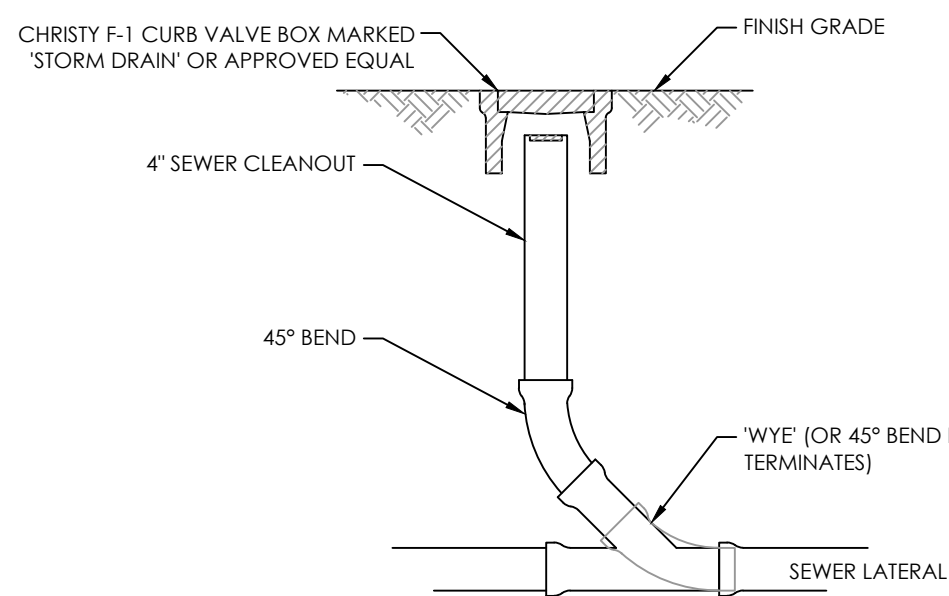
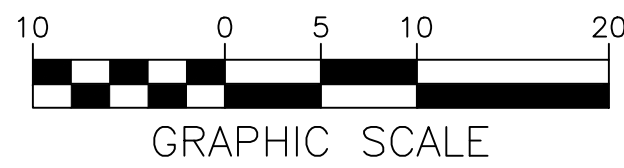



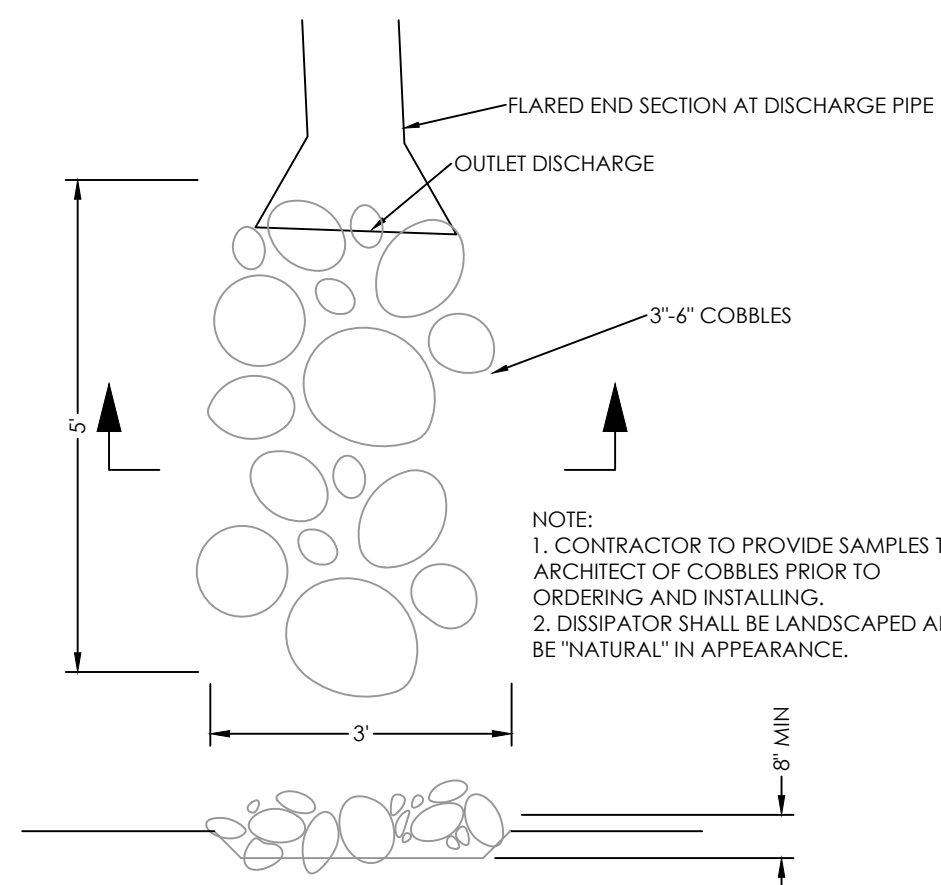



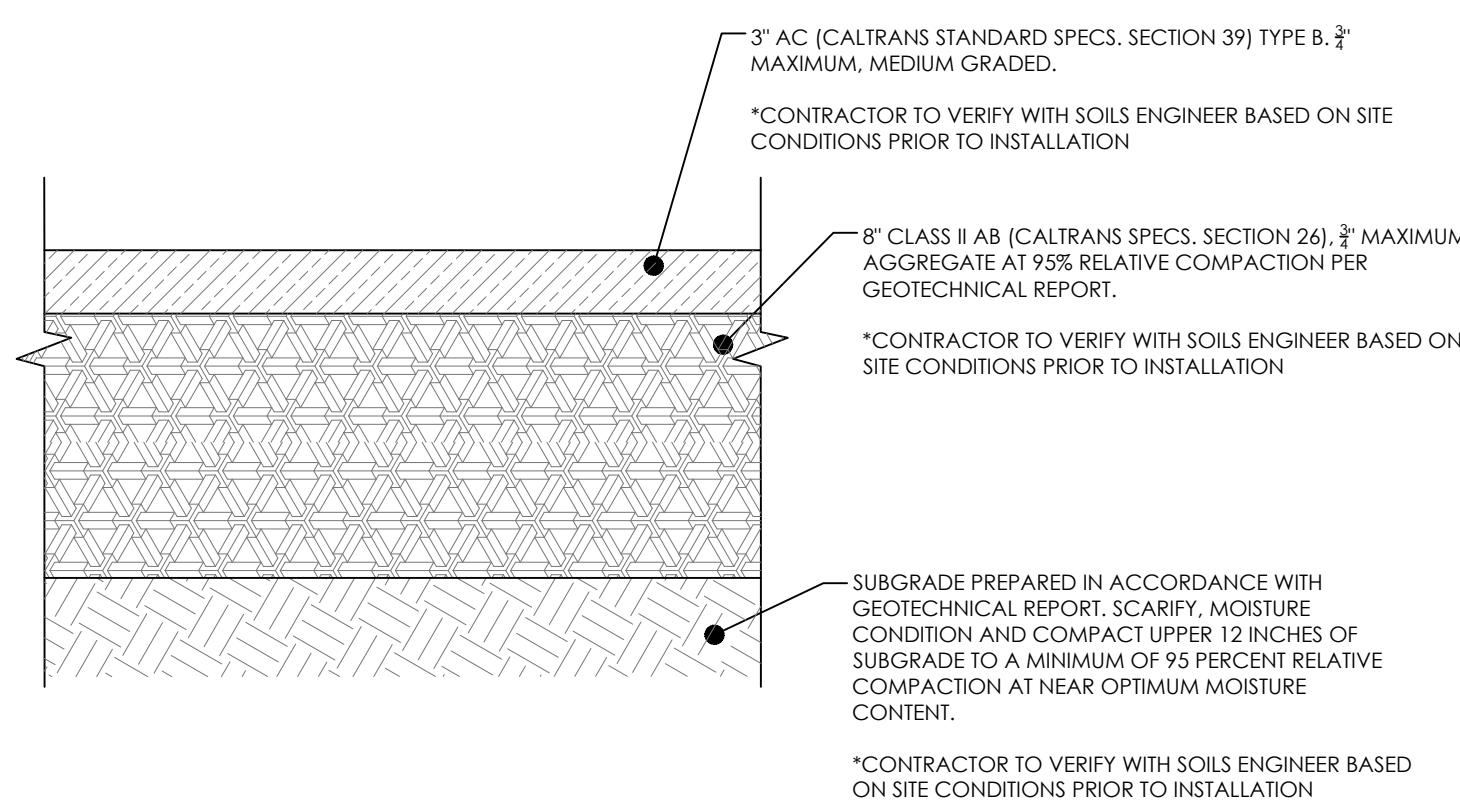




IN-LINE CLEANOUT



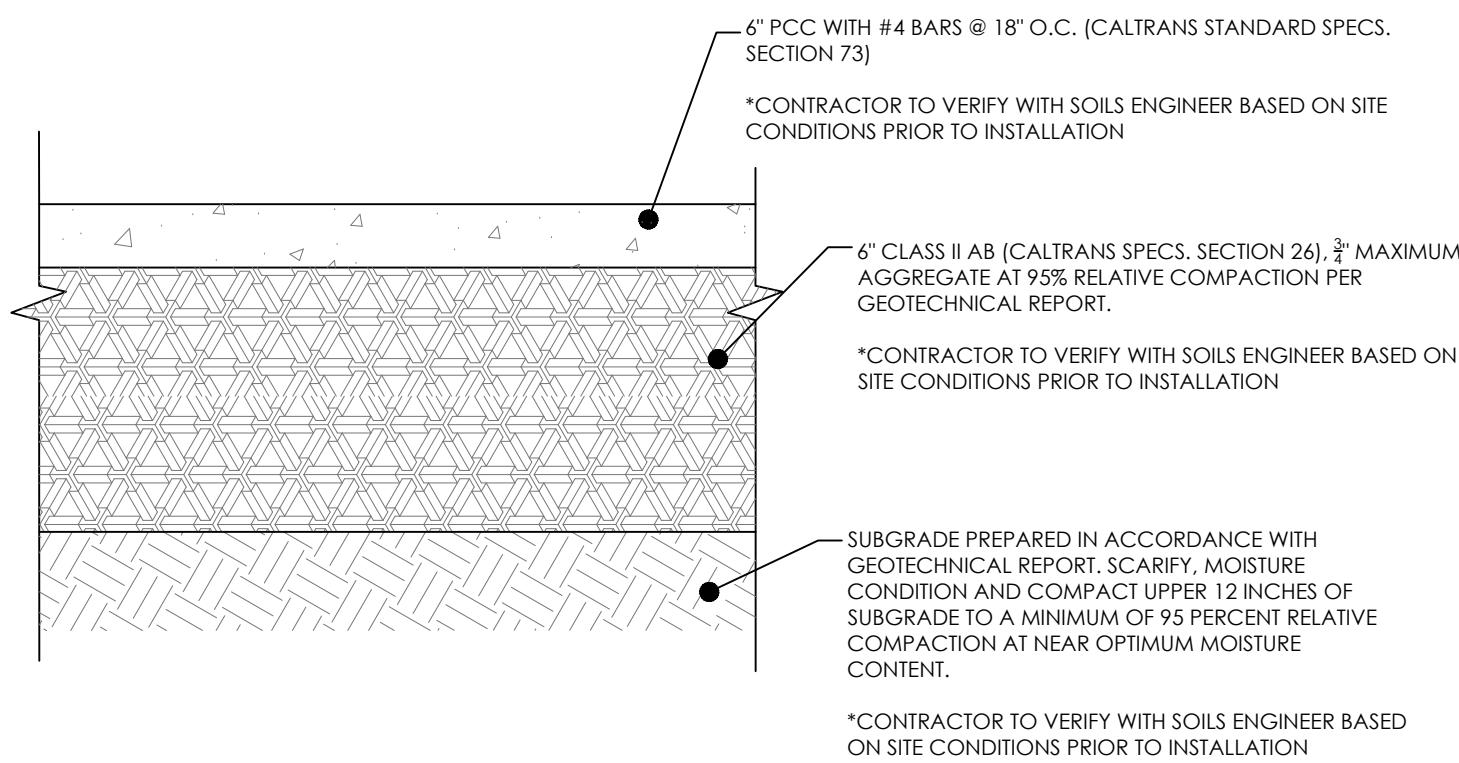
ENERGY DISSIPATOR



G
C3

ASPHALT PAVEMENT SECTION

NTS





CONCRETE SECTION

NTS

C4

OF 4 SHEETS

PROJECT# 124157

ABBREVIATIONS			
Ø	DIAMETER	MAX	MAXIMUM
AB	AGGREGATE BASE	MEP	MECHANICAL/ELECTRICAL/PLUMBING
ABDN	ABANDONED	MH	MANHOLE
AC	ACRE, ASPHALT CONCRETE	MIN	MINIMUM
ACP	ASBESTOS CEMENT PIPE	MIPT	MALE IRON PIPE THREAD
ACM	ASBESTOS CONTAINING MATERIAL	MJ	MECHANICAL JOINT
AD	AREA DRAIN	MPVC	MIDPOINT OF VERTICAL CURVE
AGG	AGGREGATE	MON	MONUMENT
ALGN	ALIGNMENT	N	NORTHING COORDINATE
ARV	AIR RELEASE VALVE	(N)	NEW
ASB	AGGREGATE SUBBASE	NC	NORMALLY CLOSED
ASPH	ASPHALT	NIC	NOT IN CONTRACT
		NUMBER	NUMBER
		NTS	NOT TO SCALE
BC	BEGIN CURVE		
BEG	BEGIN		
BFP	BACK FLOW PREVENTER		
BLDC	BUILDING CORNER	OHE	OVERHEAD ELECTRIC
BLDG	BUILDING	O.R.	OFFICIAL RECORDS
BMP	BEST MANAGEMENT PRACTICES		
BOD	BOTTOM OF DOCK	(P)	PROPOSED
BOL	BOLLARD	P	PAVEMENT ELEVATION
BSW	BACK OF SIDEWALK	PA	PLANTER AREA
BVC	BEGIN VERTICAL CURVE	PB	PULL BOX
BW	FINISHED GRADE AT BOTTOM OF WALL	PCC	POINT OF COMPOUND CURVATURE
			PORTLAND CEMENT CONCRETE
C	CONCRETE OR CIVIL	PE	PLAIN END
CB	CATCH BASIN	PED	PEDESTRIAN
C&G	CURB AND GUTTER	PERF	PERFORATED
CG&S/W	CURB, GUTTER & SIDEWALK	PH	POTHOLE
CI	CAST IRON OR CURB INLET	PID	POINT ID
CIP	CAST IRON PIPE	PIV	POST INDICATOR VALVE
CL	CENTERLINE	PL	PROPERTY LINE
CLR	CLEAR	PM	PARKING METER
CLSM	CONTROLLED LOW-STRENGTH MATERIAL	PMH	POWER MANHOLE
CMN	COMMUNICATION	PO	PUSH-ON
CMP	CORRUGATED METAL PIPE	POC	POINT ON CURVE
CO	CLEAN OUT	POI	POINT OF INTERSECTION
CONC	CONCRETE	PP	POWER POLE
CONST	CONSTRUCTION OR CONSTRUCT	PRC	POINT OF REVERSE CURVATURE
CONF	CONFORM TO EXISTING	PRV	PRESSURE REDUCING VALVE
CSC	CITY OF SANTA CLARA	PRUE	PRIVATE UTILITY EASEMENT
CU	CUBIC	PT	POINT OF TANGENCY
CY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
		PVC	POLYVINYL CHLORIDE PIPE
D=	DELTA (CURVE)	R	RIGHT
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	R=	RADIUS (CURVE)
DEMO	DEMOLISH	RC	RELATIVE COMPACTION
DEPT	DEPARTMENT	RCP	REINFORCED CONCRETE PIPE
DET	DETAIL	RJ	RESTRAINED JOINT
DI	DROP INLET, DUCTILE IRON	RP	RADIUS POINT
DIA	DIAMETER	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
DIP	DUCTILE IRON PIPE	RPPA R	EDUCED PRESSURE PRINCIPLE ASSEMBLY
DOM	DOMESTIC	RSC	RECEIVING AND SUPPORT CENTER
DW	DOMESTIC WATER	RW	RECYCLED WATER
DWG	DRAWING	R/W, ROW	RIGHT OF WAY
E	EASTING COORDINATE, ELECTRIC	S	SOUTH, SLOPE
EC	END CURVE	S A.D.	SEE ARCHITECTURAL DRAWINGS
EG	EXISTING GRADE	SD	STORM DRAIN
EL, ELEV	ELEVATION	SDCB	STORM DRAIN CATCH BASIN
ELEC	ELECTRICAL	SDI	STORM DRAIN INLET
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
EVA	EMERGENCY VEHICLE ACCESS	SDCO	STORM DRAIN CLEANOUT
EX,EXIST,	EXISTING	S.E.D.	SEE ELECTRICAL DRAWINGS
(E)		SF	SILT FENCE
(F)	FUTURE	SG	SUBGRADE
FA	FIRE ALARM	SHLDR	SHOULDER
FC, FC	FACE OF CURB	SHT	SHEET
FD	FOUND	SL	STREETLIGHT
FDC	FIRE DEPARTMENT CONNECTION	S.L.D.	SEE LANDSCAPE DRAWINGS
FF,FFE	FINISHED FLOOR ELEVATION	SMH	SIGNAL MANHOLE
FG	FINISH GRADE	S.M.D	SEE MECHANICAL DRAWINGS
FH	FIRE HYDRANT	S.P.D	SEE PLUMBING DRAWINGS
FIPT	FEMALE IRON PIPE THREAD	SS	SANITARY SEWER
FL	FLOW LINE, FLANGE	S.S.D.	SEE STRUCTURAL DRAWINGS
FLG	FLANGE	SBD	SUBSURFACE DRIP
FM	FLOWMETER/FORCE MAIN	SSCO	SANITARY SEWER CLEANOUT
FOUND	FOUNDATION	SSFM	SANITARY SEWER FORCE MAIN
FS	FINISHED SURFACE	SSMH	SANITARY SEWER MANHOLE
FT	FOOT, FEET	SSPS	SANITARY SEWER PUMP STATION
FW	FIRE WATER	STA	STATION
		STD	STANDARD
G	GAS, GROUND ELEVATION	STL	STEEL
GB	GRADE BREAK	S/W	SIDEWALK
GI	GALVANIZED IRON	SVP	SILICON VALLEY POWER
GRD, G	GROUND		
GV	GATE VALVE	T	TELEPHONE
		TC	TOP OF CURB
HMA	HOT MIX ASPHALT	TD	TRENCH DRAIN
HORIZ	HORIZONTAL	TEL	TELEPHONE
HT	HEIGHT	TEMP	TEMPORARY
HP	HIGH POINT	TFC	TOP FACE OF CURB
		THK	THICK
INV	INVERT	TOD	TOP OF DOCK
INST	INSTALL	TOE	TOE OF SLOPE
IRR	IRRIGATION	TW,TOW	TOP OF WALL
		TS	TOP OF SLAB
JP	JOINT POLE	TYP	TYPICAL
JT	JOINT TRENCH		
		UON	UNLESS OTHERWISE NOTED
L	LEFT	U/G	UNDERGROUND
L=	LENGTH (CURVE)	VC	VERTICAL CURVE
LF	LINEAR FEET		
LAT	LATERAL	W	WEST, WATER
LIP	LIP OF GUTTER	WM	WATER METER
LP	LIGHT POLE, LOW POINT	WV	WATER VALVE
LPFH	FIRE HYDRANT	WWF	WELDED WIRE FABRIC
LS	LANDSCAPE	W/	WITH
LSA	LANDSCAPE ARCHITECT		
MA	MEDICAL AIR	YDS	YARDS

CIVIL SYMBOLS LEGEND			
SURVEY TOPO AND SITE IMPROVEMENTS		ANNOTATION	
	6" CURB & GUTTER		STORM DRAIN CLEANOUT
	EDGE OF AC PAVEMENT		ELECTRIC VAULT COVER
	6" VERTICAL CURB		PULL BOX
	DOMESTIC WATER MAIN		HIGH VOLTAGE ELECTRIC
	ELECTRIC LINE		TELEPHONE MANHOLE
	FLUSH LINE		POWER POLE
	FORCE MAIN		GUY WIRE & ANCHOR
	GAS LINE		JOINT POLE
	IRRIGATION LINE		STREET LIGHT
	OVERHEAD WIRES		ELECTROLIER
	OVERHEAD ELECTRIC		TRAFFIC SIGNAL
	OVERHEAD TELEPHONE		TRAFFIC SIGNAL
	RECYCLED WATER		PEDESTRIAN LIGHT
	SANITARY SEWER LINE		PEDESTRIAN PUSH BUTTON
	STORM DRAIN LINE		CROSSWALK DETECTOR
	STREET LIGHT CONDUIT		STREET LIGHT PULLBOX
	TELECOMMUNICATIONS		SIGN (AS NOTED)
	TELEPHONE LINE		THRUST BLOCK
	TELEVISION LINE		CAP
	WATER LINE		GATE VALVE
	UNDERGROUND ELECTRIC		BUTTERFLY VALVE
	TRENCH DRAIN		DEMO
	METAL BEAM GUARD RAIL		WELL
	SILT FENCE		PUMP
	CHAIN LINK FENCE		BALL VALVE
	FLOW LINE		ACTUATED BALL VALVE
	CONTOUR ELEVATION LINE		SOLENOID VALVE
	CENTER LINE		AIR/VACUUM BREAKER
	PROPERTY LINE		PRESSURE REGULATOR
	MONUMENT LINE		SSD FILTER
	EASEMENT LINE		ISOLATION VALVE
	FINISH GRADE		CHECK VALVE
	SURFACE DRAINAGE SLOPE		FLOW METER
	SPOT ELEVATION		PRESSURE GAUGE
	GRADE BREAK		PRESSURE SWITCH
	LIMIT OF WORK/GRADING		FLOAT VALVE
	IRRIGATION BOX		
	GAS METER		
	GAS VALVE		
	WATER METER		
	WATER VALVE		
	WATER METER OR BFP		
	FIRE HYDRANT		
	FIRE DEPARTMENT CONNECTION		
	WATER TAPPING SADDLE		
	SEWER MANHOLE		
	SEWER CLEANOUT		
	SEWER LAMP HOLE		
	SEWER VENT		
	STORM DRAIN MANHOLE		
	CATCH BASIN		
	CURB INLET		
	DRAINAGE INLET		
		SITE VICINITY	
		SITE LOCATION	
		PROJECT DESCRIPTION	
		GENERAL: NEW OWTS BASIS: NEW SFD	

GENERAL SHEET NOTES																							
<div>1. ABBREVIATIONS AND SYMBOLS ON THIS SHEET APPLY ONLY TO THE CIVIL DRAWINGS. REFER TO OTHER DISCIPLINES FOR APPLICABLE ABBREVIATIONS AND SYMBOLS NOT PROVIDED HERE.</div> <div>2. THIS IS A STANDARD ABBREVIATION AND LEGEND SHEET, THEREFORE, SOME ABBREVIATIONS AND LEGEND SYMBOLS MAY APPEAR ON THIS SHEET AND MAY NOT BE UTILIZED ON THIS PROJECT.</div> <div>3. DO NOT SCALE DRAWINGS.</div> <div>4. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE CURRENTLY REQUIRED VERSION OF THE FOLLOWING CODE:<div>4.1. CALIFORNIA BUILDING CODE</div><div>4.2. CALIFORNIA PLUMBING CODE</div><div>4.3. CALIFORNIA MECHANICAL CODE</div><div>4.4. CALIFORNIA ELECTRICAL CODE</div><div>4.5. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES</div></div> <div>5. NOTHING ON THE ENCLOSED DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE CODES, ORDINANCES, OR REGULATIONS DESCRIBED ABOVE.</div> <div>6. ANY DEVIATIONS FROM THE PROPOSED PLANS SHALL BE DISCUSSED WITH THE PROJECT ENGINEER PRIOR TO MAKING CHANGES IN THE FIELD.</div>																							
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<table><tr><th colspan="3">WASTEWATER SHEETS</th></tr><tr><th>NO.</th><th>SHEET</th><th>TITLE</th></tr><tr><td>1</td><td>WW 1</td><td>COVER SHEET</td></tr><tr><td>2</td><td>WW 2</td><td>EXISTING SITE LAYOUT</td></tr><tr><td>3</td><td>WW 3</td><td>WASTEWATER SYSTEM PLAN</td></tr><tr><td>4</td><td>WW 4</td><td>WASTEWATER SYSTEM SCHEMATIC AND DETAILS</td></tr><tr><td>5</td><td>WW 5</td><td>WASTEWATER SYSTEM SPECIFICATIONS (AND EROSION CONTROL NOTES)</td></tr></table>			WASTEWATER SHEETS			NO.	SHEET	TITLE	1	WW 1	COVER SHEET	2	WW 2	EXISTING SITE LAYOUT	3	WW 3	WASTEWATER SYSTEM PLAN	4	WW 4	WASTEWATER SYSTEM SCHEMATIC AND DETAILS	5	WW 5	WASTEWATER SYSTEM SPECIFICATIONS (AND EROSION CONTROL NOTES)
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<div>DESIGN FLOWS, VOLUMES, AND TREATMENT</div> <div>FACILITY TYPE: RESIDENTIAL UNIT FLOW BASIS: # OF BEDROOMS # OF UNITS: NEW 4 BEDROOM SFD AND FUTURE 1 BEDROOM ADU DESIGN FLOWS: 750 GPD TREATMENT CATEGORY: ENHANCED/ALTERNATIVE TREATMENT SYSTEM: ORENCO ADVANTECH AXRT25 WASTEWATER STRENGTH: DOMESTIC RESIDENTIAL STRENGTH DOMESTIC STRENGTH DEFINITION: <220 MG/L BOD, <60 MG/L TSS, <60 MG/L TN</div> <div>SOIL TESTING RESULTS AND DISPOSAL DESIGN</div> <div>SITE 1: 4215 MARGUERITA WAY, CARMEL, CA APN: 015-42-015 (LOT 98)</div> <div>MYER ENGINEERING OBSERVED THE SOIL CHARACTERISTICS OF A TEST PIT EXCAVATED TO A DEPTH OF 13' BELOW GROUND LEVEL (BGL) AND A SOIL BORING DRILLED TO A DEPTH OF 25' BGL. THE LOCATION OF THE TEST PIT AND BORING ARE PROVIDED ON THE PROJECT DESIGN PLANS. THE FOLLOWING SOIL PROFILE WAS OBSERVED: 0'-2' BGL: BLACK FINE SANDY LOAM 2'-4.5' BGL: DARK GREY CLAY W/ SCATTERED CHERT/ SHALE FRAGMENTS 4.5'-9' BGL: REDDISH BROWN SANDY CLAY 9'-13' BGL: VERY DENSE GREY SANDY CLAY W/ CHERT/SHALE 13'-25' BGL: DENSE SANDY SHALE GROUNDWATER WAS NOT ENCOUNTERED AND GROUNDWATER INDICATORS WERE NOT PRESENT.</div> <div>TEST HOLE #1 (P-1): DEPTH = 2', RATE = 5.0 MPI TEST HOLE #2 (P-2): DEPTH = 1.5', RATE = 2.7 MPI TEST HOLE #3 (P-3): DEPTH = 2.5', RATE = 21.8 MPI TEST HOLE #4 (P-4): DEPTH = 1.5', RATE = 8.6 MPI TEST HOLE #5 (P-5): DEPTH = 1.5', RATE = 1.3 MPI TEST HOLE #6 (P-6): DEPTH = 1.5', RATE = 60 MPI OVERALL AVERAGE STABILIZED RATE = 16.6 MPI</div> <div>SEE SHEETS WW3 AND WW4 FOR SYSTEM SIZING CALCULATIONS AND DETAILS</div> <div>WATER SUPPLY: PUBLIC</div> <div>OWNER IS RESPONSIBLE FOR GENERAL OPERATION AND MAINTENANCE OF THE WASTEWATER SYSTEM</div> <div>THE SEPTIC/WASTEWATER SYSTEM SHALL BE INSTALLED BY A QUALIFIED PROFESSIONAL.</div>																							

No.	Revision/Issue	Date

COVER SHEET

McNickle Site Improvement Project
4185 Marguerita Way
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APN: 015-42-015

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Drawn By
PEM

Checked By
PEM

Project No.
202302B

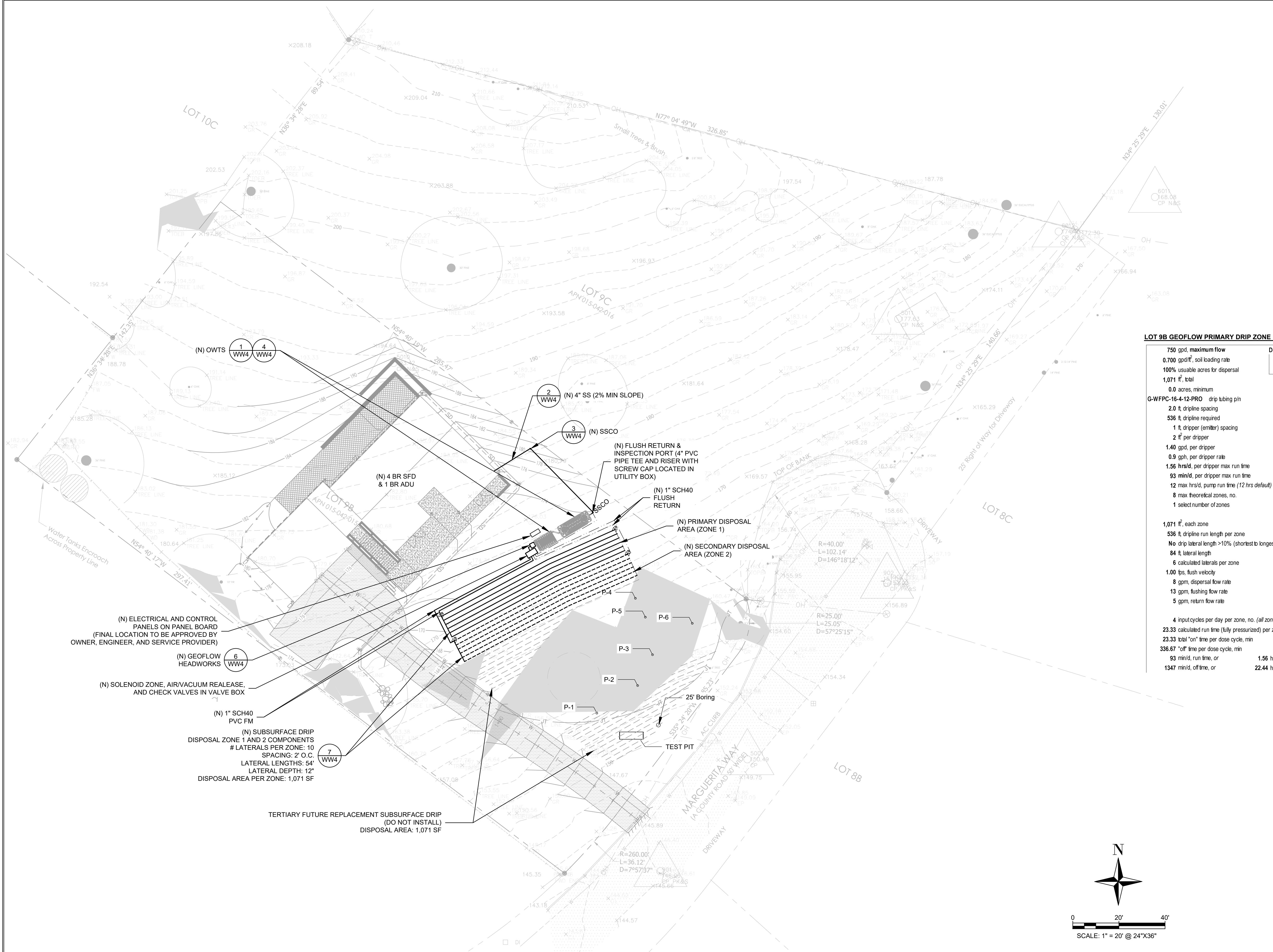
Scale
AS SHOWN

Date
MAR 2025

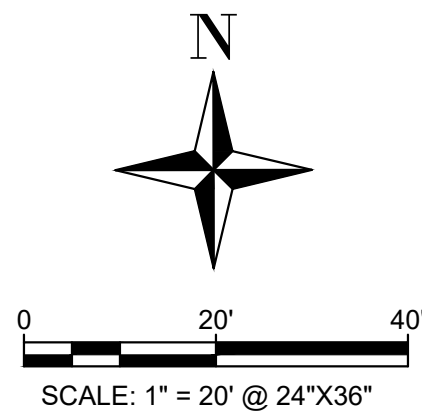
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WW1

1 OF 5



LOT 9B GEOFLOW PRIMARY DRIP ZONE DESIGN CALCULATIONS (SECONDARY IS SIZED EQUALLY)	
750 gpd, maximum flow 0.700 gpd/ft, soil loading rate 100% usable acres for dispersal 1,071 ft, total 0.0 acres, minimum G-WFPC-16-4-12-PRO drip tubing pin 2.0 ft dripline spacing 536 ft dripline required 1 ft dripper (emitter) spacing 2 ft per dripper 1.40 gpd, per dripper 0.9 gph, per dripper rate 1.56 hrs/d, per dripper max run time 93 min/d, per dripper max run time 12 max hrs/d, pump run time (12 hrs default) 8 max theoretical zones, no. 1 select number of zones	Definitions: 1. Day = 24 hours 2. Lateral = supply to return connection total length 3. Run = number and length within each lateral
1,071 ft, each zone 536 ft dripline run length per zone No drip lateral length >10% (shortest to longest) 84 ft lateral length 6 calculated laterals per zone 1.00 fps, flush velocity 8 gpm, dispersal flow rate 13 gpm, flushing flow rate 5 gpm, return flow rate	
4 input cycles per day per zone, no. (all zones dosed individually each cycle) 23.33 calculated run time (fully pressurized) per zone per dose, min 23.33 total "on" time per dose cycle, min 336.67 "off" time per dose cycle, min 93 min/d, run time, or 1347 min/d, off time, or	1.56 hrs/d 22.44 hrs/d



1 OWTS PLAN
SCALE: 1" = 20'

No.	Revision/Issue	Date

OWTS PLAN

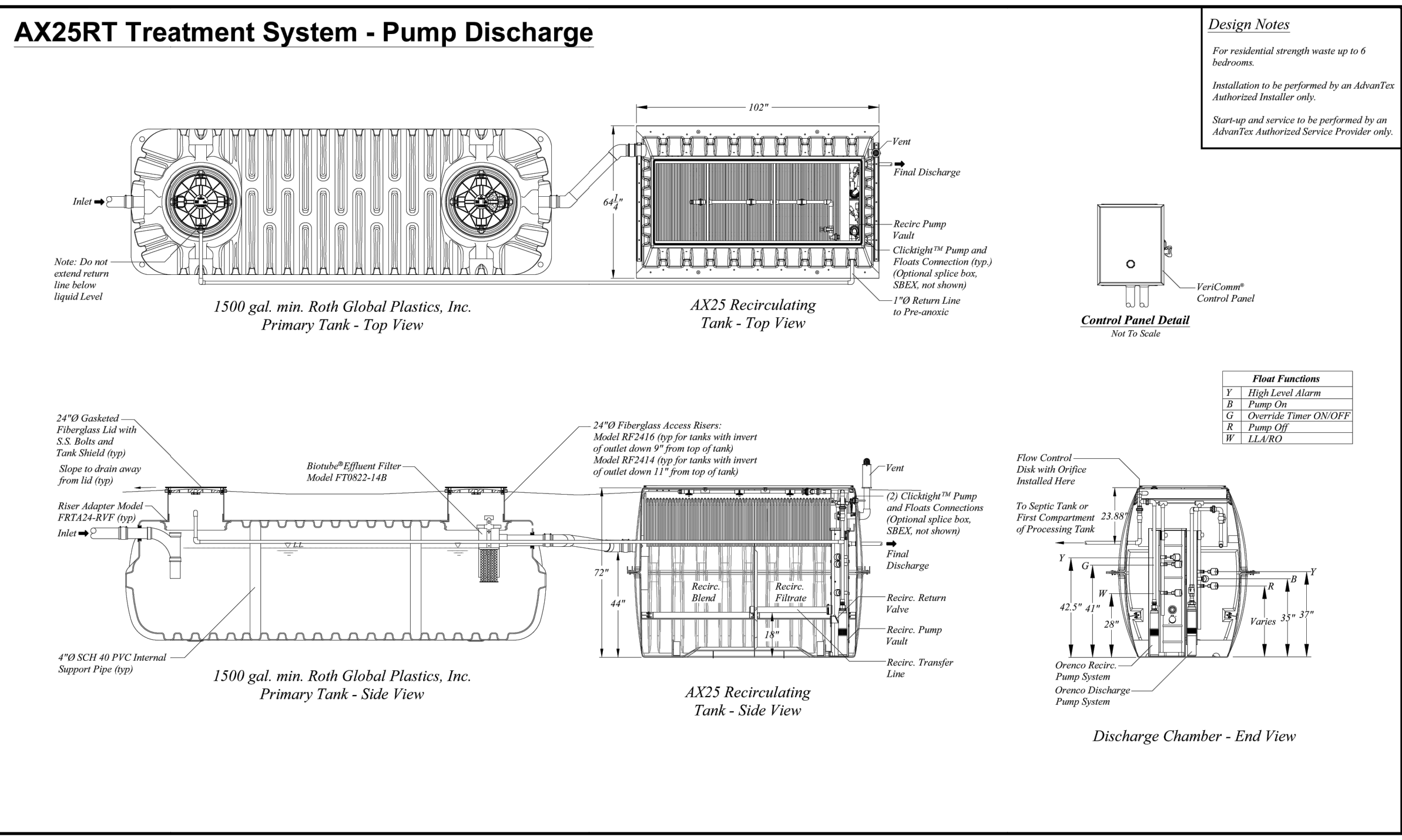
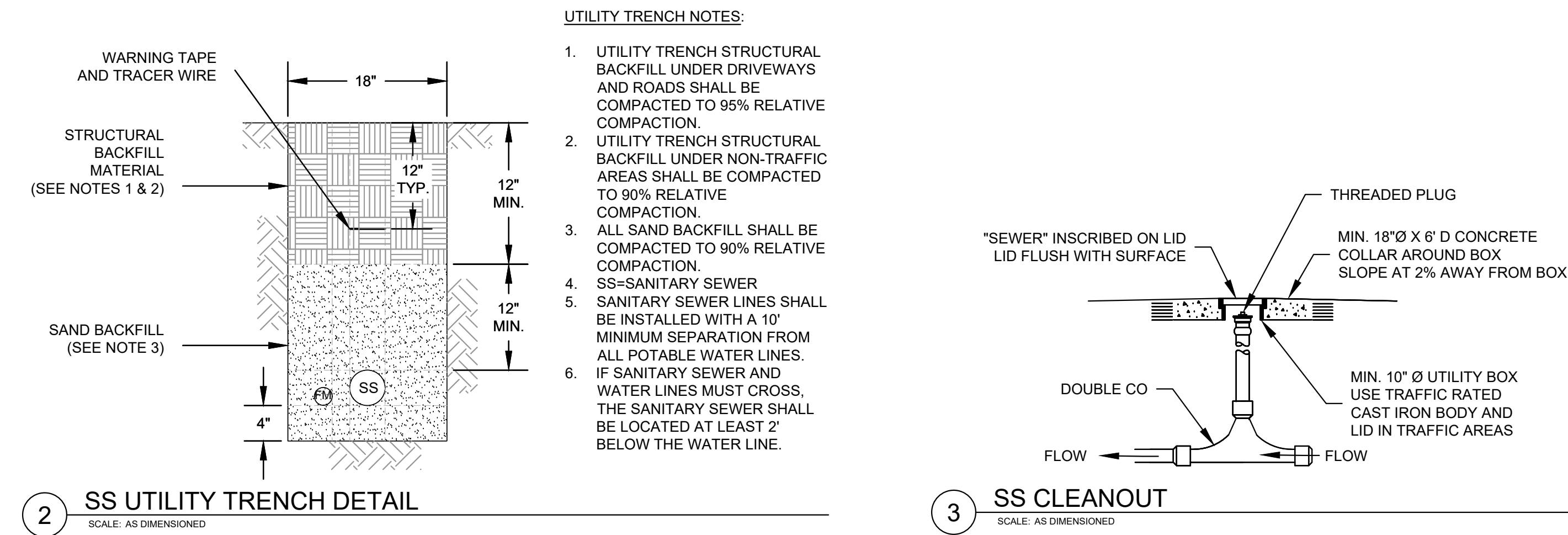
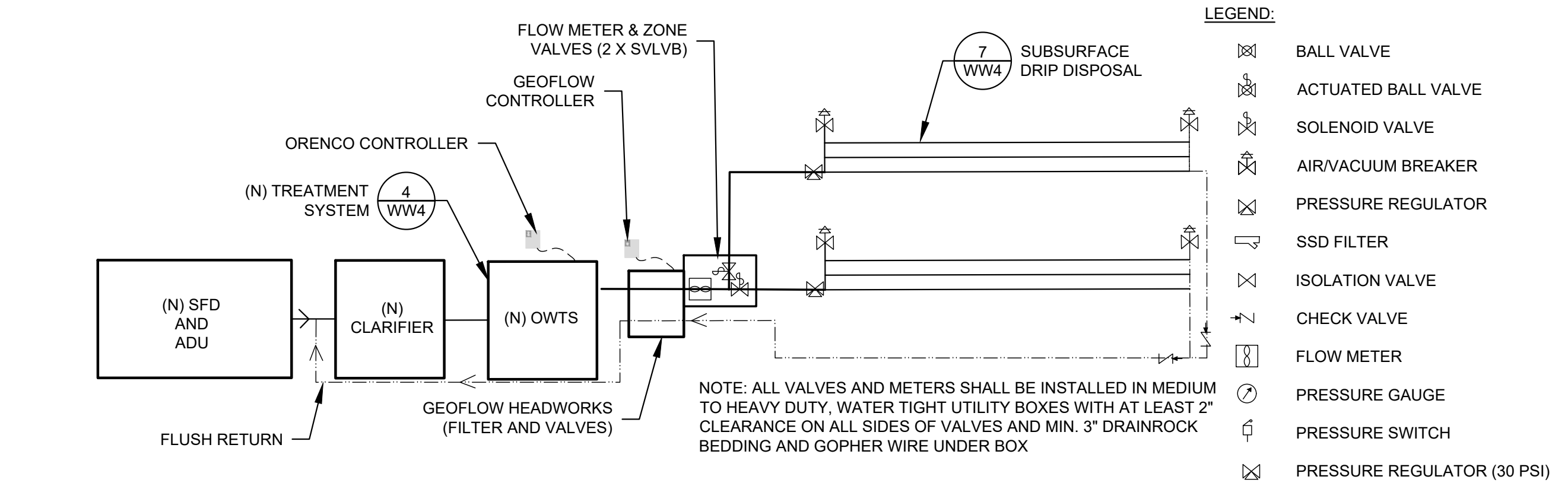
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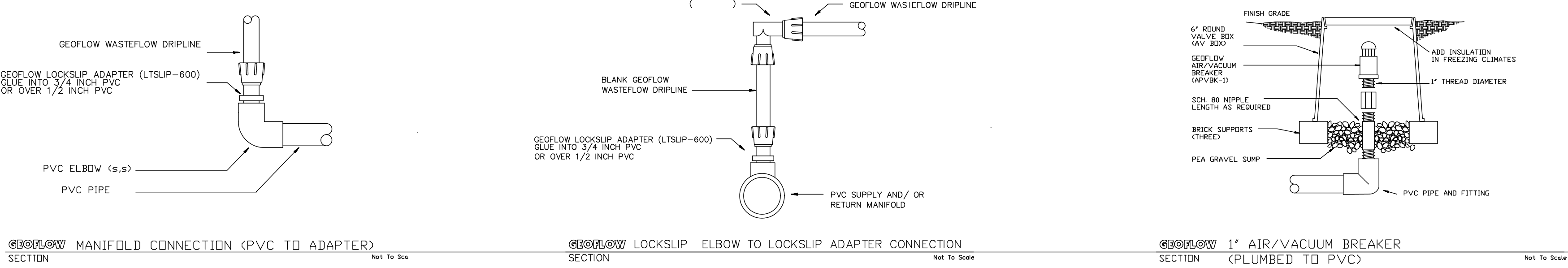
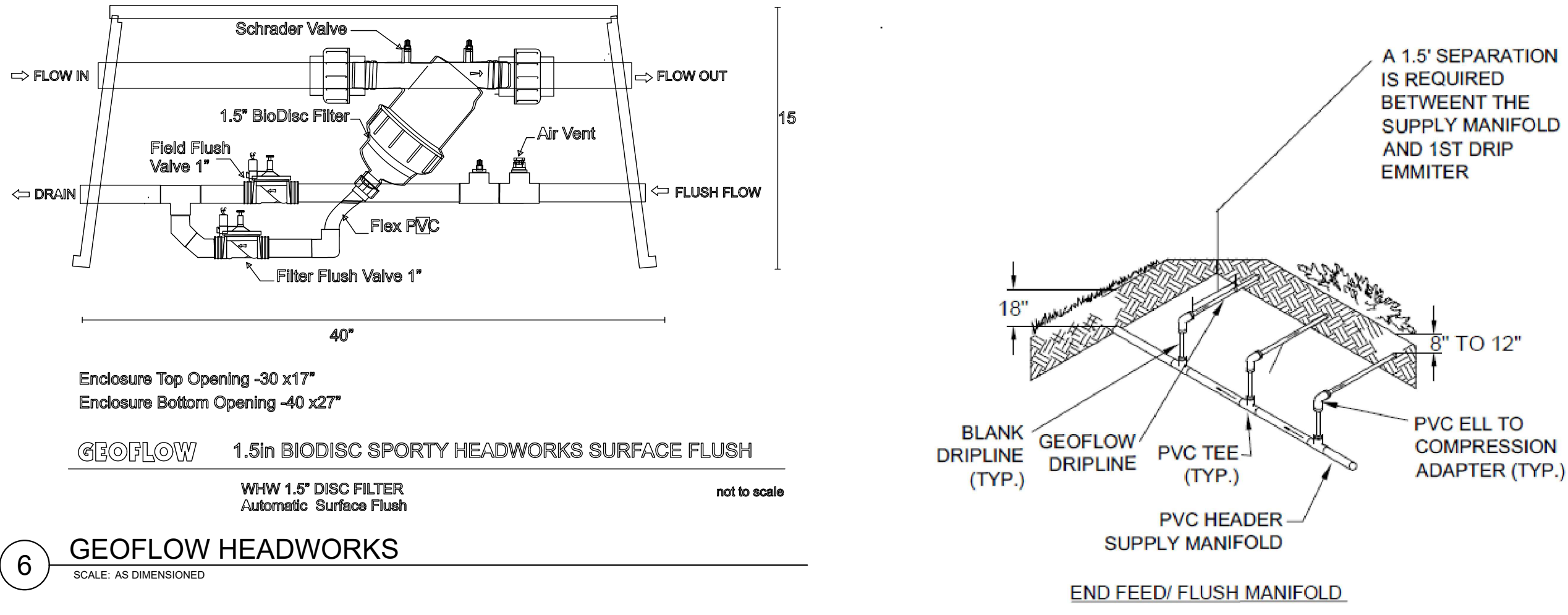
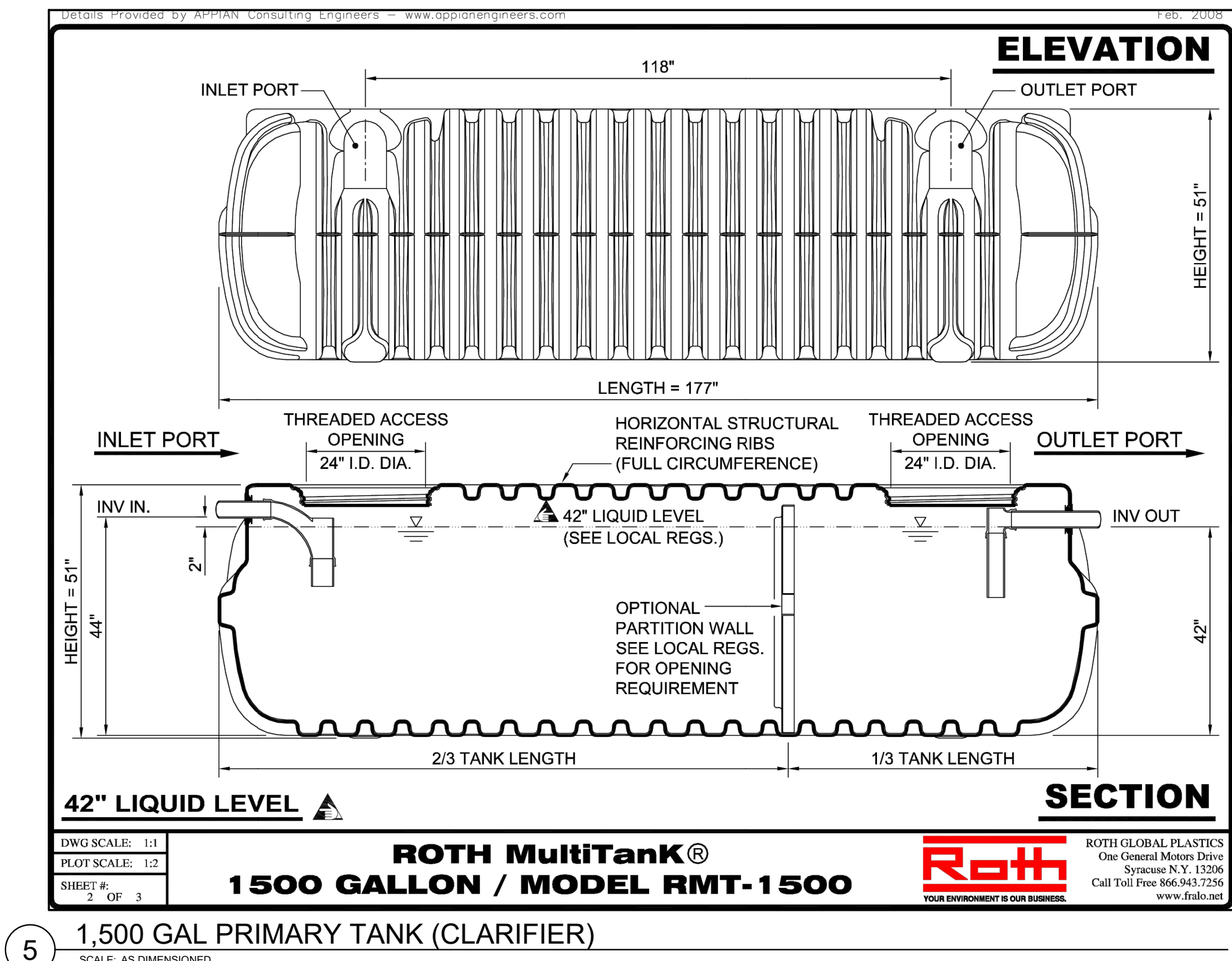
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Date MAR 2025	
Sheet No.	



4 ADVANTEX AX-RT25 TREATMENT SYSTEM (750 GPD)
SCALE: AS DIMENSIONED



**WASTEWATER SYSTEM
SCHEMATIC AND DETAILS**

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Scale: AS SHOWN
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GENERAL SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE FOR THE INSTALLATION OF THE ENHANCED WASTEWATER TREATMENT SYSTEM AT THE LOCATION SPECIFIED IN THE BORDER OF THESE DESIGN PLANS. THE ACCOMPANIED PLANS PRESENT THE GENERAL LAYOUT, PLUMBING CONFIGURATION, AND CONSTRUCTION DETAILS.

MATERIAL SPECIFICATIONS

THE FOLLOWING ARE MATERIAL SPECIFICATIONS FOR THE WASTEWATER SYSTEM COMPONENTS. ALL MATERIALS USED FOR THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND AS DESCRIBED IN THE ACCOMPANIED PLANS OR AN ENGINEER APPROVED EQUIVALENT.

1. SUBSURFACE TANKS

ALL SUBSURFACE TANKS SHALL MEET THE FOLLOWING SPECIFICATIONS:

- 1.1. DIMENSIONS, FITTING SIZES AND LOCATIONS, AND OPTIONAL ACCESSORIES SHALL BE INCLUDED AS SHOWN ON TANK DRAWINGS. THE TANK SHALL BE WATERTIGHT AND TESTED IN THE FIELD AFTER INSTALLATION.
- 1.2. PRODUCT STORAGE. THE SUBSURFACE TANKS SHALL BE CAPABLE OF STORING SEPTAGE LIMITED TO THE COLLECTION AND STORAGE OF HUMAN SOLID OR LIQUID ORGANIC WASTE.
- 1.3. PIPING. SDR35 PVC PIPE, SCHEDULE 40 PVC PIPE, OR ABS PIPE SHALL BE USED FOR INLET AND OUTLET PIPING AS SHOWN ON DRAWINGS. ALL PIPING SHALL BE FACTORY SEALED TO ENABLE FIELD TIGHTNESS TESTING WITH AT LEAST ONE PIPE OPENING PROVIDED WITH A THREADED FITTING FOR CONNECTING A PRESSURE TEST MANIFOLD.
- 1.4. ACCESS OPENINGS. ALL ACCESS OPENINGS SHALL BE 30 INCHES IN DIAMETER OR LARGER AS SHOWN ON THE PLANS, SHALL BE MANUFACTURED OF FIBERGLASS, CONCRETE OR CAST IRON WITH RESPECT TO SPECIFIED TRAFFIC RATING. LOCATIONS SHALL BE AS SHOWN ON TANK DRAWINGS. EACH MANHOLE SHALL HAVE A WATERTIGHT RISER TO FINISH GRADE.
- 1.5. RISERS. RISERS SHALL BE REQUIRED FOR ACCESS TO INTERNAL VAULTS AND ACCESS INTO THE TANKS FOR SEPTAGE PUMPING. ALL RISERS SHALL BE CONSTRUCTED WITH WATERTIGHT SEALS PROVIDED. RISERS SHALL BE A MINIMUM OF 30" IN NOMINAL DIAMETER WHEN THE DEPTH OF BURY IS 36" OR GREATER, TO ENSURE PRODUCT COMPATIBILITY. RISERS, LIDS, AND ATTACHMENT COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER AND, WHERE APPLICABLE, SHALL BE FACTORY EQUIPPED WITH THE FOLLOWING:

1.5.1. ADHESIVE. WHEN BONDING TO THE RISER RINGS, AN EPOXY PROVIDED BY THE MANUFACTURER SHALL BE USED. ADHESIVES AND SEALANTS SHALL BE WATERPROOF, CORROSION RESISTANT, AND APPROVED FOR THE INTENDED APPLICATION. THE RISER-TO-TANK CONNECTION SHALL BE WATERTIGHT AND STRUCTURALLY SOUND. THE RISER-TO-TANK CONNECTION SHALL BE CAPABLE OF WITHSTANDING A VERTICAL UPLIFT OF 5,000 POUNDS TO PREVENT RISER SEPARATION DUE TO TANK SETTLEMENT, FROST HEAVE, AND VEHICLE TRAFFIC OVER THE TANK.

1.5.2. LIDS. ONE LID SHALL BE FURNISHED WITH EACH ACCESS RISER. LIDS SHALL BE WATERPROOF, CORROSION RESISTANT, AND UV RESISTANT. LIDS SHALL BE FLAT, WITH NO NOTICEABLE UPWARD DOME. LIDS SHALL NOT ALLOW WATER TO POND ON THEM. LIDS SHALL FORM A WATERTIGHT SEAL WITH THE TOP OF RISER. TRAFFIC-RATED LIDS SHALL BE CAPABLE OF WITHSTANDING A TRUCK WHEEL LOAD (36 SQUARE INCHES) OF 2500 POUNDS FOR 60 MINUTES WITH A MAXIMUM VERTICAL DEFLECTION OF 1-1/2". LIDS SHALL BE PROVIDED WITH TAMPER-RESISTANT STAINLESS STEEL FASTENERS AND A TOOL FOR FASTENER REMOVAL. TAMPER-RESISTANT FASTENERS INCLUDE RECESSED DRIVES, SUCH AS HEX, TORX, AND SQUARE. FASTENERS THAT CAN BE REMOVED WITH COMMON SCREWDRIVERS, SUCH AS SLOTTED AND PHILLIPS, OR FASTENERS THAT CAN BE REMOVED WITH STANDARD TOOLS, SUCH AS PLIERS OR CRESCENT WRENCHES, ARE NOT CONSIDERED TAMPER-RESISTANT. TO PREVENT A TRIPPING HAZARD, FASTENERS SHALL NOT EXTEND ABOVE THE SURFACE OF THE LID.

1.5.3. RISER INSTALLATION. RISER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

2. PIPING AND FITTINGS

THE TYPE OF PIPE MATERIALS AND FITTINGS SHALL BE AS DESIGNATED ON THE PLANS AND SHALL COMPLY WITH THE FOLLOWING:

2.1. FITTINGS AND COUPLINGS

THE FITTINGS AND COUPLINGS FOR PVC PIPES SHALL BE THREADED OR SLIP-FITTED TAPERED SOCKET SOLVENT WELD. THREADED ADAPTERS SHALL BE PROVIDED WITH SOCKET PIPE FOR CONNECTIONS TO THREADED PIPE.

3. VALVES

3.1. GENERAL

VALVES SHALL BE OF THE SIZE, TYPE, AND CAPACITY DESIGNATED ON THE PLANS OR IN THE SPECIFICATIONS AND SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN. ALL VALVES ON PRESSURIZED PORTIONS OF THE SYSTEM SHALL BE CAPABLE OF SATISFACTORY PERFORMANCE AT WORKING PRESSURE OF 150 PSI. ALL VALVES ON GRAVITY PORTIONS OF THE SYSTEM SHALL BE RATED FOR AT LEAST TWICE THE ESTIMATED STATIC HEAD ABOVE THE VALVE. VALVES SHALL BE DESIGNED TO PERMIT DISASSEMBLY TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE, SUCH AS TRUE UNION BALL VALVES AND CHECK VALVES.

4. PUMP SYSTEMS

ALL PUMP SYSTEMS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

5. ADDITIONAL COMPONENTS

ALL COMPONENTS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

6. SUBSURFACE DRIP SYSTEM

THE SUBSURFACE DRIP SYSTEM SHALL PROVIDE ADDITIONAL TREATMENT AND DISPOSAL OF THE WASTEWATER. THE SYSTEM SHALL BE CONSTRUCTED PER MANUFACTURER RECOMMENDATIONS AND AS SHOWN ON PLANS.

6.1. SOIL COVER

THE SOIL COVER (CAP) SHALL BE PLACED OVER THE MOUND SYSTEM TO PROVIDE A SUBSTRATE FOR VEGETATION AND REDUCE EROSION CONTROL. THE SOIL SHALL BE A SANDY LOAM TO INCREASE THE POTENTIAL FOR AIR THROUGH THE DEPTH OF THE SOIL.

CONSTRUCTION SPECIFICATIONS

THE CONSTRUCTION OF THE PROJECT SHALL CONFORM TO THE PLANS AND FOLLOWING SPECIFICATIONS. ALL NECESSARY CONSTRUCTION PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ALL SITE WORK.

1. PRECONSTRUCTION CONFERENCE

THE CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE ENGINEER AND OWNER AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF SITE WORK. THE ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO THE MEETING CONFERENCE. THE MEETING SHOULD BE CONDUCTED TO REVIEW THE DESIGN, MATERIAL, AND CONSTRUCTION SPECIFICATIONS. ALL CONTRACTOR PROPOSED REVISIONS IN THE DESIGN SHALL BE APPROVED BY THE ENGINEER. THE INSTALLATION MUST BE INSPECTED BY THE ENGINEER FOR CONFORMANCE TO THE DESIGN.

2. STAKING

THE CONTRACTOR WILL PROVIDE SUFFICIENT HORIZONTAL AND VERTICAL CONTROL FOR INSTALLATION OF THE WORK AT DATUM POINTS NECESSARY TO ESTABLISH ALIGNMENT AND GRADE. THE PROTECTION AND CARE OF THE STAKES ONCE SET, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. EXCAVATION

ALL EXCAVATION WORK SHALL BE MADE TO THE LINES, GRADES AND DIMENSIONS SHOWN IN THE ACCOMPANIED PLANS. EXCAVATIONS SHALL BE PERFORMED IN THE DAY AND IN A MANNER THAT MINIMIZES EROSION, FLOODING AND SEDIMENTATION. EXCAVATED SOILS THAT ARE TO BE STOCKPILED ON-SITE SHALL BE PLACED IN A LOCATION AND MANNER THAT MINIMIZES EROSION AND CONTROLS SEDIMENTATION.

THE CONTRACTOR SHALL TAKE EXTRA PRECAUTION WHERE EXCAVATION EQUIPMENT MAY ENCOUNTER EXISTING UNDERGROUND UTILITIES AND OTHER FACILITIES OF ANY NATURE. CONTRACTOR SHALL PERSON HIS OPERATION IN SUCH A MANNER AND SHALL EXERCISE THE GREATEST OF CARE SO AS NOT TO INJURE IN ANY MANNER EXISTING UNDERGROUND UTILITIES, MAINS OR FACILITIES OF ANY NATURE. SHOULD THE CONTRACTOR INJURE, BREAK OR DAMAGE EXISTING UNDERGROUND UTILITIES, MAINS, OR FACILITIES OF ANY NATURE IN ANY MANNER, THEY SHALL REPAIR THE SAME AT THEIR OWN EXPENSE. IF IT DOES NOT APPEAR FEASIBLE THAT THE CONTRACTOR CAN MAKE NEEDED REPAIRS, THEN SUCH REPAIRS SHALL BE MADE BY THE OWNER AND THE CONTRACTOR SHALL BE CHARGED FOR SUCH REPAIRS.

4. POLLUTION CONTROL

4.1. WATER POLLUTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITTING REQUIREMENTS RELEVANT TO THE CONSTRUCTION OF THE PROJECT ARE MET AT ALL TIMES. ACTIONS BY THE CONTRACTOR, THE SUBCONTRACTORS OR EMPLOYEES THEREOF RESULTING IN NONCOMPLIANCE OF PERMITTING REQUIREMENTS MAY BE GROUNDS FOR TERMINATION OF THIS CONTRACT.

4.2. NOISE POLLUTION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP NOISE POLLUTION, DUE TO THESE CONSTRUCTION ACTIVITIES, AS LOW AS POSSIBLE.

4.3. SOIL CONTAMINATION

THE CONTRACTOR SHALL NOT ALLOW REGULATED MATERIALS TO SPILL ON THE PROJECT SITE. ANY SPILLAGE OR REGULATED MATERIALS RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

4.4. STORAGE OF REGULATED MATERIALS

THE STORAGE AND USE OF ANY REGULATED MATERIALS SHALL MEET ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SATISFY THE REQUIREMENTS OF ANY REGULATORY AGENCY FOR THE STORAGE, MONITORING, USAGE, TRANSPORTATION, SAFETY, REPORTING, OR ANY OTHER REQUIREMENTS REGARDING THE MANAGEMENT OF REGULATED MATERIALS ON AND OFF THE PROJECT SITE.

5. SITE WORK

5.1. MOBILIZATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARATORY WORK AND PLACEMENT OF MATERIALS IN A STAGING AREA REQUIRED FOR CONSTRUCTION OPERATIONS INCLUDING, BUT NOT LIMITED TO, THOSE NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE; FOR THE ESTABLISHMENT OF FACILITIES NECESSARY FOR WORK ON THE PROJECT; PROVIDING POLLUTION CONTROL MEASURES; AND FOR ALL OTHER WORK AND OPERATIONS WHICH MUST BE PERFORMED.

THE CONTRACTOR SHALL PROVIDE MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK OF THIS SECTION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE COUNTY.

5.2. CLEARING AND GRUBBING

CLEAR THE SITE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION. CLEARING AND GRUBBING SHALL CONSIST OF ALL WORK INCLUDING, BUT NOT LIMITED TO, SALVAGED MATERIALS REMOVAL, PROVIDING AND INSTALLING TEMPORARY EROSION CONTROL, AND PLACEMENT OF TREES, TREE BRANCHES, TREE STUMPS, BRUSH, ROOTS, BOULDERS, SHRUBS, SEDIMENT, AND ALL OBJECTIONABLE MATERIALS IN AN AGREED UPON LOCATION ADJACENT TO THE WORK SITE.

EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THE WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

ALL WASTES DISPOSAL SHALL BE CONDUCTED AS FOLLOWS:

- A. REMOVE WASTE FROM CLEARING OPERATIONS.
- B. DISPOSE OF AWAY FROM THE SITE IN A LEGAL MANNER.
- C. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE JOB SITE.
- D. DO NOT BURN DEBRIS AT THE SITE.

6. DELETERIOUS MATERIALS

MATERIALS CONTAINING AN EXCESS OF 5% (BY WEIGHT) OF VEGETATION OR OTHER DELETERIOUS MATTER MAY BE UTILIZED IN AREAS OF LANDSCAPING OR OTHER NON-STRUCTURAL FILLS. DELETERIOUS MATERIAL INCLUDES ALL VEGETATIVE AND NON-MINERAL MATTER, AND ALL NON-REDUCIBLE STONE, RUBBLE AND/OR MINERAL MATTER OF GREATER THAN 6 INCHES.

7. UTILITY TRENCHES

- A. A SELECT, NONCORROSIVE, GRANULAR, EASILY COMPACTED MATERIAL SHOULD BE USED AS BEDDING AND SHADING IMMEDIATELY AROUND UTILITY PIPES. THE SITE SOILS MAY BE USED FOR TRENCH BACKFILL ABOVE THE SELECT MATERIAL. IF OBTAINING COMPACTION IS DIFFICULT WITH THE SITE SOILS, USE OF A MORE EASILY COMPACTED SAND MAY BE DESIRABLE. THE UPPER FOOT OF BACKFILL IN LANDSCAPED OR OTHER OPEN AREAS SHOULD CONSIST OF NATIVE MATERIAL TO REDUCE THE POTENTIAL FOR SEEPAGE OF WATER INTO THE BACKFILL.
- B. TRENCH BACKFILL IN THE UPPER 12 INCHES OF SUBGRADE BENEATH AREAS TO RECEIVE PAVEMENT SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY. TRENCH BACKFILL IN OTHER AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY. JETTING OF UTILITY TRENCH BACKFILL SHOULD NOT BE ALLOWED.

8. PIPE INSTALLATION

8.1. GENERAL

PIPE SHALL BE JOINED BY SOCKET TYPE SOLVENT-WELDED FITTINGS OR THREADED FITTINGS. PLASTIC PIPE SHALL BE CUT SQUARE, EXTERNALLY CHAMFERED APPROXIMATELY 10 TO 15 DEGREES, AND ALL BURRS AND FINIS REMOVED. SOLVENT-WELDED JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2855. THE SOLVENT RECOMMENDED BY THE MANUFACTURER SHALL BE USED.

CARE SHALL BE EXERCISED IN ASSEMBLING A PIPELINE WITH SOLVENT WELDED JOINTS SO THAT STRESS ON PREVIOUSLY MADE JOINTS IS AVOIDED. HANDLING OF THE PIPES FOLLOWING JOINTING, SUCH AS LOWERING THE ASSEMBLED PIPELINE INTO THE TRENCH, SHALL NOT OCCUR PRIOR TO THE SET TIMES SPECIFIED BY THE MANUFACTURER. SOLVENTS SHALL BE APPLIED TO PIPE ENDS IN SUCH A MANNER THAT NO MATERIAL IS DEPOSITED ON THE INTERIOR SURFACE OF THE PIPE OR EXTRUDED INTO THE INTERIOR OF THE PIPE DURING JOINTING. EXCESS CEMENT ON THE EXTERIOR OF THE JOINT SHALL BE WIPED CLEAN IMMEDIATELY AFTER ASSEMBLY.

THREADED PIPE JOINTS SHALL BE MADE USING TEFLON TAPE OR OTHER APPROVED JOINTING MATERIAL. SOLVENT SHALL NOT BE USED WITH THREADED JOINTS. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED, OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. PLASTIC PIPE SHALL BE SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW 1 FOOT OF EXPANSION AND CONTRACTION PER 100 FEET OF STRAIGHT RUN. THE PIPELINE SHALL NOT BE EXPOSED TO WATER FOR 24 HOURS AFTER THE LAST SOLVENT-WELDED JOINT IS MADE.

8.2 GRAVITY PIPE

GRAVITY PIPE FOR WASTEWATER SHALL PROVIDE 2 FT VERTICAL AND 10 FT HORIZONTAL CLEARANCE FROM WATER LINES, AND SHALL CROSS SUCH LINES AS NEARLY AS POSSIBLE TO 90 DEGREES, IF CROSSING CAN NOT BE AVOIDED.

PIPE SLOPES SHALL NOT BE LESS THAN 2% FOR 4"Ø PIPE. PIPES SHALL ENTER AND LEAVE CONNECTIONS AS CLOSE TO PARALLEL AS POSSIBLE, BUT IN NO WAY TO EXCEED AN ANGLE OF 45°. 90° TEE CONNECTIONS ARE NOT ALLOWED.

8.3 GENERAL TRENCHING

EXCAVATION OF PIPE TRENCHES SHALL FOLLOW NEAT AND PARALLEL LINES, WITH TRENCH WIDTH, IN GENERAL, TO BE ONE FOOT, WITH SUCH WIDENING, AS REQUIRED TO PLACE VALVES AND FITTINGS WITH A MINIMUM OF 4 INCH CLEARANCE TO TRENCH WALL. THE TRENCH SHALL BE NO LESS THAN 24 INCHES DEEP, EXCEPT WHEN IT IS NECESSARY, TO AVOID UNDERGROUND OBSTRUCTIONS OR ROCKY CONDITIONS. IN ALL CASES, THE PIPE SHALL BE PLACED ON A BEDDING OF IMPORTED OR NATIVE MATERIAL PROVIDING CONTINUOUS SUPPORT THROUGHOUT ITS LENGTH.

BACKFILL FOR THE PIPE TO THE TOP OF THE PIPE PLUS 4 INCHES SHALL BE SELECTED OR IMPORTED SANDY MATERIAL, FREE OF STONE, CLAY, LIMBS OR OTHER DELETERIOUS MATERIALS IN EXCESS OF 1/2 INCH.

MAXIMUM DIMENSION, PLACED AND TAMPED AND/OR PADDED ABOUT THE PIPE TO ENSURE PROPER BEDDING PRIOR TO COMPLETION OF TRENCH FILL. THE REMAINING BACKFILL SHALL BE PLACED AT 90% RELATIVE COMPACTION.

9. FLUSHING AND TESTING

AFTER COMPLETION, ALL PIPELINES SHALL BE THOROUGHLY FLUSHED TO REMOVE DIRT, SCALE, OR OTHER MATERIAL. AFTER FLUSHING, THE LINE SHALL BE PRESSURE TESTED. ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM THE TESTS SHALL BE FURNISHED BY THE CONTRACTOR AND ALL TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER OR ENGINEER.

THE CONTRACTOR SHALL PERFORM A TEST TO DEMONSTRATE THAT THE TANKS AND BASINS ARE WATER TIGHT. THE INLET AND OUTLET PIPES OF THE TANKS SHALL BE CAPPED AND THE TANKS SHALL BE COMPLETELY FILLED WITH WATER. THE WATER LEVEL SHALL REMAIN CONSTANT FOR MORE THAN 24 HOURS, OR DURATION BY THE REVIEWING AGENCY JURISDICTION, WHICHEVER IS GREATER, TO DETERMINE IF IT IS WATER TIGHT.

10. OPERATIONAL TEST

THE PERFORMANCE OF ALL COMPONENTS OF THE SYSTEMS SHALL BE EVALUATED BY THE CONTRACTOR.

DURING THE TEST PERIOD AND AT LEAST 15 DAYS PRIOR TO FINAL INSPECTION, THE SYSTEM SHALL OPERATE SATISFACTORILY DURING SUCH PERIOD. ALL NECESSARY REPAIRS, REPLACEMENTS, AND ADJUSTMENTS SHALL BE MADE UNTIL ALL EQUIPMENT, ELECTRICAL WORK, CONTROLS, AND INSTRUMENTATION ARE FUNCTIONING IN ACCORDANCE WITH THE CONTRACTORS DOCUMENTS OR MANUFACTURER SPECIFICATIONS.

11. AS-BUILT DRAWINGS

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF AS-BUILT DRAWINGS OF THE LAYOUT AND CONSTRUCTION OF THE SYSTEM.

12. OTHER ITEMS

ANY PROCEDURES NOT NOTED OR INCLUDED IN THE ENGINEERING PLANS OR SPECIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO IMPLEMENTATION.

EROSION CONTROL NOTES:

GENERAL. THE CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT EROSION CONTROL AND TEMPORARY STORMWATER CONTROL MEASURES TO CONTROL SEDIMENT AND RUNOFF IN ACCORDANCE WITH THESE PLANS AND THE LOCAL JURISDICTION.

1.1. THE CONSTRUCTION OF THIS PROJECT IS NOT EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).

1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE.

1.3. ALL GRADING SHALL CONFORM TO THE LOCAL GRADING ORDINANCE, EROSION CONTROL ORDINANCES, AND CALIFORNIA BUILDING CODE.

1.4. ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF: A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL. B) PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED; C) MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION. ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.

SEED AND MULCH. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR HAND BROADCASTING OF THE FOLLOWING STERIL, WEED FREE, SEED MIX AND INCORPORATED OVER ALL DISTURBED SLOPES:

BROMUS CARINATUS 10#/ACRE
LEYMUS TRITICOIDES 8#/AC.
HORDEUM BRACHYANTHERUM 5#/AC.
FESTUCA RUBRA 8#/AC.
DESCHAMPSIA CESPITOSA 8#/AC.

THE MIX/APPLICATION SHALL ALSO CONTAIN:

- FERTILIZER (6-3-3) SHALL BE HAND BROADCAST AND INCORPORATED AT 30-LB/ACRE OVER ENTIRE AREA.
- MYCHORRHIZAL FUNGI SHALL BE ADDED AT 50 LB/ ACRE.
- IF HYDROSEEDING, ADD MULCH AND TACKIFIER TO ABOVE.

ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.

CONCRETE WASHOUT. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. THE CONCRETE WASHOUT FACILITY SHALL BE BELOW GRADE AND CONSTRUCTED WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET. TEMPORARY CONCRETE FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT SHALL HAVE A 10 MIL POLYETHYLENE PLASTIC LINER. WHEN CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE AND MATERIALS FOR THE WASHOUT SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS, OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE CONCRETE WASHOUT SHOULD BE BACKFILLED AND REPAIRED.

OTHER PROVISIONS. IF CONSTRUCTION OCCURS BETWEEN OCTOBER 15TH AND APRIL 15TH, EXPOSED SOIL NOT INVOLVED IN IMMEDIATE CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM EROSION AT ALL TIMES. AFTER APRIL 15TH, EROSION CONTROL MEASURES SHALL BE IN PLACE DURING INCLEMENT WEATHER.

EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE BY THE CONTRACTOR UNTIL NATIVE VEGETATION HAS BEEN ESTABLISHED AND PROVIDES NECESSARY SLOPE COVER (MINIMUM 70% COVER).

WASTEWATER SYSTEM
SPECIFICATIONS

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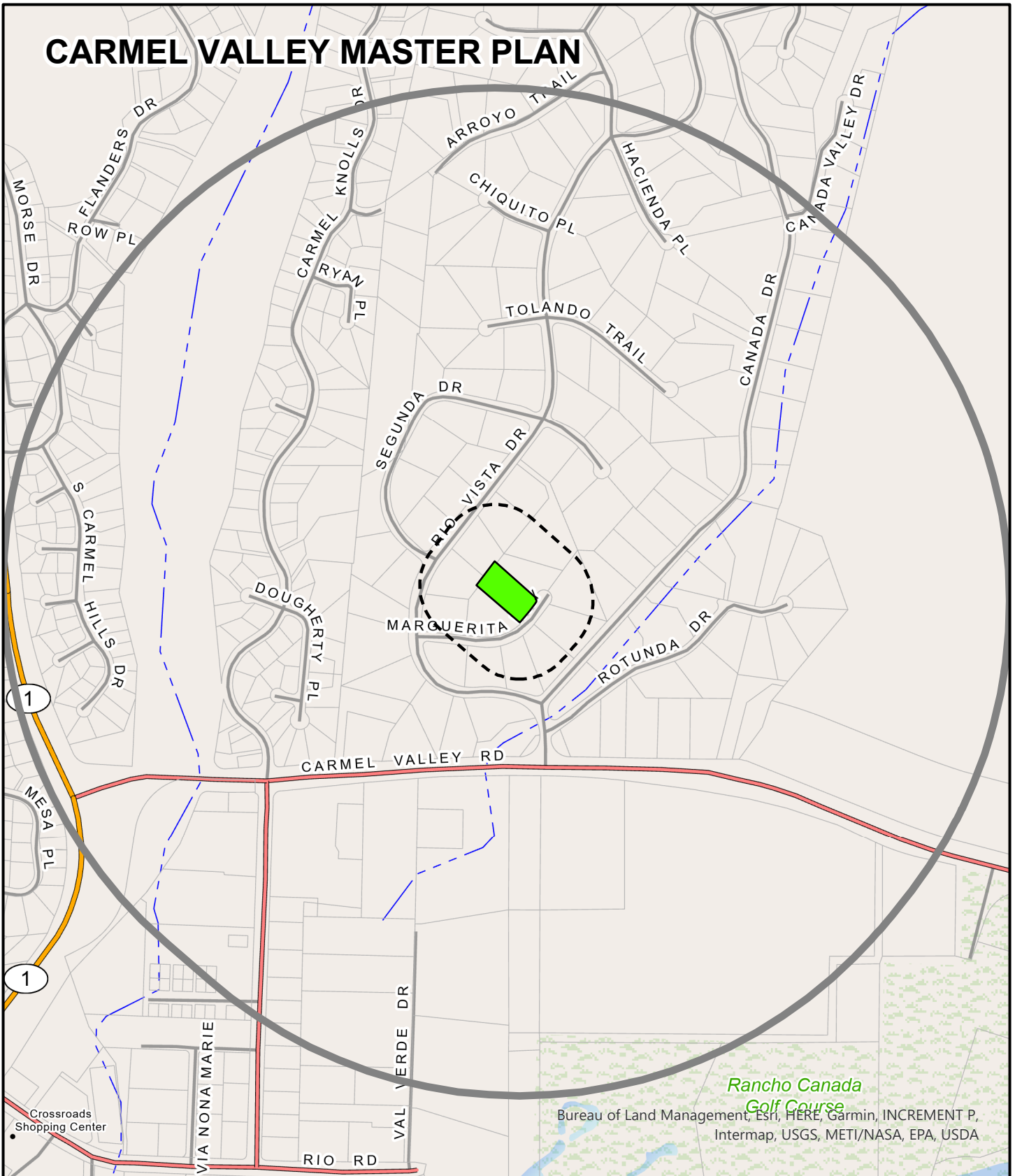
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No.	Revision/Issue	Date

Exhibit B

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CARMEL VALLEY MASTER PLAN




APPLICANT: MCNICKLE JAMES RYAN & RACHEL A TRS

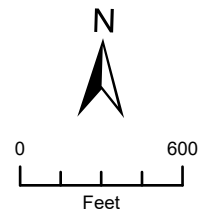
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 Project Site

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