County of Monterey

County of Monterey Government Center 1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, June 18, 2025 8:00 AM

> Government Center 1441 Schilling Place Salinas, CA 93901

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on June 18, 2025 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, June 17, 2025. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS

1. PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS

Construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill..

Project Location: 4185 Marguerita Way, Carmel, Carmel Valley Master Plan

Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

Attachments: Staff Report

Exhibit A - Draft Resolution
Exhibit B - Vicinity Map



County of Monterey

Item No.1

Board of Supervisors Chambers 168 W. Alisal St., 1st Floor Salinas, CA 93901

June 18, 2025

Board Report

Legistar File Number: AP 25-029

Introduced: 6/11/2025 Current Status: Agenda Ready

Version: 1 **Matter Type:** Administrative Permit

PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS

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Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15303 of the

CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project for a single-family dwelling qualifies for a class 3 Categorically Exempt pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2.; and
- b. Approve an Administrative Permit and Design Approval to allow the construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 11 conditions of approval.

PROJECT INFORMATION

Applicant/Property Owner: Ryan McNickle

APN: 015-042-015-000 **Parcel Size:** 0.98 Acres

Zoning: Low Density Residential with a gross density of 1 acre per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning District overlay zones, or "LDR/1-D-S-RAZ"

Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

Project Planner: Benjamin Moulton, Assistant Planner

MoultonB@CountyofMonterey.gov, (831) 755-5240

SUMMARY

Staff is recommending approval of an Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On June 18, 2025, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, June 17, 2025. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Planning Commission.

OTHER AGENCY INVOLVEMENT

The following HCD groups and County agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services Environmental Health Bureau HCD-Environmental Services Cypress Fire Protection District

Prepared by: Benjamin Moulton, Assistant Planner, x5240 Reviewed by: Jacquelyn M. Nickerson, Principal Planner Approved by: Melanie Beretti, AICP, Chief of Planning

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, Elevations, Colors & Materials

Exhibit B - Vicinity Map

cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Benjamin Moulton, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Ryan & Rachel McNickle, Property Owners; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240291.



County of Monterey

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PLN240291 - MCNICKLE JAMES RYAN & RACHEL A TRS

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Plan Area: Carmel Valley Master Plan

Flagged and Staked: Yes

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- Site Plans, Floor Plans, Elevations, Colors & Materials

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cc: Front Counter Copy; Cypress Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Benjamin Moulton, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Ryan & Rachel McNickle, Property Owners; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN240291.

Exhibit A

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EXHIBIT A DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

MCNICKLE JAMES RYAN & RACHEL A TRS (PLN240291) RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project qualifies for a Categorical Exemption pursuant to CEQA Guidelines section 15303 (a); none of the exceptions pursuant to Section 15300.2 apply; and
- 2) Approving an Administrative Permit and Design Approval to allow construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

[PLN240291 MCNICKLE JAMES RYAN & RACHEL A TRS, 4185 Marguerita Way, Carmel, Carmel Valley Master Plan (APN: 015-042-015-000)]

The MCNICKLE JAMES RYAN & RACHEL A TRS (PLN240291) came on for hearing before the County of Monterey Chief of Planning on June 18, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the

applicable plans and policies which designate this area as appropriate

for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;

- Carmel Valley Master Plan; and

- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project is the construction of approximately 4,445 square two-story single-family dwelling with a 1,160 square foot lower-level office and bonus room, and a 945 square foot attached garage. The project also includes the creation of a driveway; installation of a new on-site wastewater treatment system; and associated site improvements; and grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.
- c) Allowed Use. The property is located at 4185 Marguerita Way, Carmel (APN: 015-042-015-000), in the Carmel Valley Master Plan. The parcel is zoned Low Density Residential with a gross density of 1 acre per unit, with Design Control, Site Plan Review, and Residential Allocation Zoning District overlay zones, or "LDR/1-D-S-RAZ," which allows one single-family dwelling and a garage as a principally allowed use subject to compliance with the site development standards of Section 21.14.060. The subject property encompasses a Design Control and Site Plan Review Overlay that requires an Administrative Permit and Design Approval for such development pursuant to Title 21 section 21.45.040.B. Therefore, the project is an allowed use for this site subject to an Administrative Permit and Design Approval in each case.
- d) <u>Site Inspection.</u> The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. The property is shown in its current configuration as Lot 9B on the map entitled "Record of Survey of Lots 8B, 9B and 10B," which was filed in the office of the Recorder of the County of Monterey on September 30, 2021, in Volume 35 of Surveys, at Page 63. It is part of the Rancho Rio Vista Subdivision, a portion of Lot 4, Hatton Partition in Rancho Canada de le Segunda. Therefore, the County recognizes the property as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the regulations within the Design Control "D" overlay zoning district outlined in Chapter 21.44. These regulations require design review of project development to assure protection of the public viewshed and compatibility with the neighborhood character. Consistent with Chapter 21.44 of the Zoning Ordinance, a Design Approval Application was submitted. Colors and materials consist of grayish exterior stucco and fire-resistant cedar shake siding, white trim windows, dark stained oak entry door, and sloped composite asphalt shingle roof. The colors, materials, and mass of the single-family dwelling and accessory structure have been designed to blend with the environment and to be substantively similar to other homes in the area. Other developments in the area consist of ranch style and contemporary builds consisting of organic colors and materials. The development will be congruent with the neighborhood character.

Further, General Plan Policy LU-1.13 outlines that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas. A standard condition of approval (Condition No. 6) is included to ensure compliance with this policy. The project, as conditioned, designed and

- sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.
- Site Plan Review. The property is subject to the Site Plan Review "S" overlay zoning district, which provides regulations for development, which by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints outlined in Chapter 21.45. A site plan is included in the application and an Administrative Permit application has been received and reviewed pursuant to these regulations. The applicant provided grading and erosion control plans to demonstrate the feasibility of their proposed project. A geotechnical report (LIB200078) and soils & percolation report (LIB250100) were also prepared, which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans and specification. The site plan did not identify any nearby environmentally sensitive habitat area or archaeological resources. Staff reviewed County records and data from California Fish and Wildlife, there are no known resources located within the subject property.
- h) Residential Allocation Zoning. The property is located within a Residential Allocation Zoning (RAZ) overlay district which denotes a specific area that is subject to policies or ordinances which specify limitations on the number of lots or units which may be created in a given period of time. In accordance with Carmel Valley Master Plan Policy CV-1.5, development of the property is subject to the maximum density shown on the Carmel Valley Land Use Map, which is one acre per unit. The project includes establishment of the first single family dwelling on a property approximately one acre in size. Therefore, the project is consistent with unit limitations in the Carmel Valley Master Plan of the 2010 General Plan and the RAZ zoning overlay regulations.
- Development Standards. Development standards for the Low Density Residential zoning district can be found in Title 21 Section 21.14.060. The development is consistent with applicable development standards. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and ten (10) percent of the average lot width, to a maximum required of twenty (20) feet (sides). Ten (10) percent of the average lot width (144.375 feet) is 14.43 feet. As demonstrated in the attached site plan, the location of the single-family dwelling is 16 feet 7 inches from the north side setback; 21 feet 7 ½ inches from the south side setback; 129 feet 7 ½ inches from the front property line; and 120 feet 2 inches from the rear property line, consistent with the required setbacks of the LDR district. The maximum allowed site coverage for LDR zoning is 25% (10,397 square feet); the project will have a site coverage of 8.67% (3.608 square feet). The maximum height allowed for main structures in LDR zoning districts is 30 feet. The height for the main dwelling is 22 feet and 3 inches above the average natural grade. The attached garage shares the same height regulations as the main structure according to Section 21.62.030.D of Title 21. A 2-foot-tall chimney atop the main residence is exempt from the height

- measurement pursuant to Section 21.62.030.A. Therefore, the development complies with all applicable development standards.
- j) <u>Development on slopes in excess of 25%.</u> The proposed project includes approximately 388 square feet of development on slopes in excess of 25%. General Plan Policy OS-3.5 prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:
 - 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
 - 2) the project better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

The project includes approximately 388 total square feet of development on slopes in excess of 25% to establish the driveway and fire engine turnaround. There is no feasible alternative location for the driveway to occur on slopes less than 25%. The property is located on a hill with descending slopes going down to Marguerita Way. The building site for the single-family dwelling is in the most suitable place to avoid slopes exceeding 25%. The driveway must cross the area of slopes exceeding 25% in order to reach the project site of the single-family dwelling. Siting the driveway in another location would not avoid impacts to slopes exceeding 25%. As illustrated in the attached plans, the location of the driveway has the least impact to slopes exceeding 25%.

Further, General Plan Policy OS-3.5 1.c states that where proposed development impacting slopes in excess of twenty five percent (25%) does not exceed ten percent (10%), or 500 square feet of the total development footprint (whichever is less), a discretionary permit shall not be required. As such, the project includes approximately 388 square feet of development on slopes in excess of 25%. 388 square feet is less than ten percent (10%) of the total development footprint (10% of 9,289 square feet of hardscape and lot coverage is 929 square feet), and the 500 square feet threshold. Therefore, a discretionary permit is not required for development on slopes in excess of 25%.

- k) <u>Cultural Resources.</u> The project site is an area identified in County records as having a high archaeological sensitivity. In accordance with General Plan Open Space Policy OS-6.3, any new development being proposed within moderate or high sensitivity zones, or within 150 feet of a known recorded archaeological and/or cultural site, shall complete a Phase One Archaeological survey. As such, an archeological report (LIB250099) was submitted during the project proposal; this parcel did not have any archaeological resources identified on the property. The report indicated that sloping hillsides would not have been conducive to establishment of a habitation site. Nothing was found that would indicate a prehistoric archaeological site in the area.
- l) <u>Land Use Advisory Committee (LUAC) Review.</u> Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application does not meet any of the criteria in the guidelines requiring LUAC review because it does not involve a lot line adjustment, does not

- need review by the Zoning Administrator or Planning Commission, and can be exempt from environmental review (see Finding No. 5).
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

2. FINDING:

SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

a)

- The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to soils, and archeological resources. The following reports have been prepared:
 - "OWTS Feasibility Report" (LIB250100) prepared by Paul Myer, Soquel, CA, March 30, 2023.
 - "Geotechnical Report" (LIB200078) prepared by Lawrence E. Grice, Salinas, CA, April 23, 2019.
 - "Cultural Resources Study" (LIB250099) prepared by Susan Morley, Pebble Beach, CA, May 2017.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

3. FINDING:

HEALTH AND SAFETY – The establishment, maintenance, or operation of the use or structure applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the County.

EVIDENCE:

- The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities will be provided. Domestic water will be provided by the California American Water who provided a "Can and

- Will Serve" letter dated November 27, 2017, confirming their ability to serve all proposed development.
- c) In order to verify the site soils could adequately support a septic / Onsite Wastewater Treatment System (OWTS), Myer Engineering, INC. performed percolation tests and assessed soil characteristics described in a report dated March 30, 2023. Test holes were prepared and percolated in the suitable range for wastewater disposal. The Environmental Health Bureau approved the OWTS designs with the calculations provided.
- d) The subject parcel is located within a State Responsibility Area classified as having a high fire hazard. The construction of the new single-family dwelling is designed to be a fire-resistant structure that meets current fire and building code standard.
- e) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

4. FINDING:

NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) The project planner conducted a virtual site inspection on April 1, 2025 and assessed site photos submitted by the applicant to verify that the project on the subject parcel conforms to the plans listed above.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240291.

5. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: a)

- California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts construction of a single-family dwelling. The project consists of establishing the first single family dwelling on a vacant lot within a residential zoning district.
- b) No adverse environmental effects were identified during staff review of the development application during a virtual site visit on April 1, 2025.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in Evidence "d" through "i" below.
- d) Section 15300.2 of CEQA Guidelines states that construction of the first single-family dwelling within a residential zoning district is ordinarily insignificant in its impact on the environment. However, there may be potential impacts on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted

- pursuant to law by federal, state, or local agencies due to the project's location. No such impact is identified in the project area.
- e) This is the only remaining undeveloped lot in the immediate area. As such, successive projects of the same type and in the same place (construction of a single-family dwelling on this lot which is zoned to allow such uses) would not occur resulting in contributing to a significant cumulative impact. The project, construction of a single-family residence and associated site improvements on a property zoned to allow such uses and without potentially significant impacts, would not contribute to a potential cumulative impact.
- f) The building site is located beyond the natural woodland vegetation and settled among hillsides which helps avoid adversely affecting the visual sensitivity of the area.
- g) The project site is not located near a hazardous waste site compiled pursuant to Section 65962.5 of the Government Code.
- h) There are no unusual circumstances associated with the project that would cause a potential environmental impact (see Findings 1 and 2 and supporting evidence).
- **6. FINDING: APPEALABILITY** The decision on this project may be appealed to the

Planning Commission.

EVIDENCE: Pursuant to Title 21 Section 21.80.040.A, an aggrieved party may appeal a decision of the Chief of Planning to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

- 1. Find the project categorically exempt per Section 15303(a) of the CEQA Guidelines; and
- 2. Approve an Administrative Permit and Design Approval to allow construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

PASSED AND ADOPTED	this 1	18 th day	of June,	2025
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Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON
THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.
IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240291

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Pla

Planning

Condition/Mitigation Monitoring Measure:

This Administrative Permit and Design Approval permit (PLN240291) construction of an approximately 4,445 square foot single-family dwelling inclusive of a 1,160 square foot lower-level and a 945 square foot attached garage; and installation of an on-site wastewater treatment system, and associated site improvements. Grading of approximately 2,017 cubic yards of cut, and 60 cubic yards of fill. The property is 4185 Carmel (Assessor's located at Marguerita Way, Parcel Number 015-042-015-000), Carmel Valley Master Plan. This permit approved was accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

PLN240291

Print Date: 5/30/2025 3:40:20PM Page 1 of 6 **18**

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Pl

Planning

Condition/Mitigation Monitoring Measure:

The applicant shall record a Permit Approval Notice. This notice shall state:

"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 015-042-015-000 on June 18th, 2025. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

archaeological, during the course of construction, cultural, historical paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a archaeologist archaeologist registered qualified (i.e., an with the Register Professional Archaeologists) immediately contacted by shall be the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

Print Date: 5/30/2025 3:40:20PM Page 2 of 6 **19**

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

Print Date: 5/30/2025 3:40:20PM Page 3 of 6 **20**

5. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

The site shall be landscaped. Prior to the issuance of building permits, an electronic copy of the final landscaping plan shall be submitted to HCD - Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD- Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD- Planning)

Compliance or Monitoring Action to be Performed:

Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit final landscape plans and contractor's estimate to HCD- Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit to HCD- Planning approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department:

Planning

(HCD - Planning)

Condition/Mitigation Monitoring Measure:

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated, and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

Compliance or Monitoring Action to be Performed:

Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

Print Date: 5/30/2025 3:40:20PM Page 4 of 6 **21**

7. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

> Condition/Mitigation The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee **Monitoring Measure:**

schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to

clearing any conditions of approval.

Compliance or Monitoring Action to be Performed:

Prior to clearance of conditions, the Owner/Applicant shall pay the Condition

Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

8. PW0005 - DRIVEWAY IMPROVEMENTS

Public Works Responsible Department:

Condition/Mitigation **Monitoring Measure:**

Construct driveway connection to Margurita Way. The design and construction is

subject to the

approval of the HCD -PWFP. Encroachment Permits are required for all work within

the public right-of-way.

Compliance or Monitoring Action to be Performed:

Owner/Applicant shall submit the design for review and approval of the HCD-PWFP,

obtain an

encroachment permit from the HCD -PWFP prior to issuance of building or grading

permits, and construct

and complete improvements prior to occupancy or commencement of use. Applicant is

responsible to

obtain all permits and environmental clearances.

9. PW0006 - CARMEL VALLEY

Public Works Responsible Department:

> Condition/Mitigation **Monitoring Measure:**

The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee

pursuant to the Board of

Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated

annually based on CCI).

(Public Works)

Compliance or Monitoring Action to be Performed:

Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic

mitigation fee.

PLN240291

Page 5 of 6 22 Print Date: 5/30/2025 3:40:20PM

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation
Monitoring Measure:

Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to

Monterey Code Chapter 12.90. The fee amount shall be determined based on the

parameters adopted in the current

fee schedule.

Compliance or Monitoring Action to be Performed:

Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County

Building Services Department the

traffic mitigation fee. Owner/Applicant shall submit proof of payment to the

HCD-Engineering Services.

11. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure:

The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for

review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase

of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of

truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and

workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the

applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall

submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

Print Date: 5/30/2025 3:40:20PM

SHEET INDEX:

PROJECT INFORMATION

FIRE SAFETY SETBACK

CONSTRUCTION MANAGEMENT

BEST MANAGEMENT PRACTICES

CALGREEN RESIDENTIAL CHECKLIST

CALGREEN RESIDENTIAL CHECKLIST

SITE PLAN

MATERIALS

FLOOR PLAN

ROOF PLAN

DETAILS

TITLE SHEET

COVER SHEET

OWTS PLAN

BASEMENT PLAN

REFLECTED CEILING PLAN

EAST & WEST ELEVATIONS

NORTH & SOUTH ELEVATIONS

ROOF AND WALL ASSEMBLIES

FIREPLACE & CHIMNEY PLAN

PROFILE AND CONSTRUCTION DETAILS

WASTE WATER SCHEMATIC AND DETAILS

WASTE WATER SYSTEM SPECIFICATIONS

GRADING AND DRAINAGE

EROSION CONTROL PLAN

EXISTING SITE LAYOUT

WINDOW AND DOOR SCHEDULE

G1.0

S.10

F1.O

G1.1

G1.2

G1.3

G1.4

M1

A1.1

A2.1

A2.2

A2.3

A3.1

A3.2

A4.1

A5.O

A5.1

A5.2

C1

C2

C3

C4

₩W1

WW3

₩4

₩W5

STRUCTURAL TBD STRUCTURAL TBD

STRUCTURAL TBD

STRUCTURAL TBD

STRUCTURAL TBD

STRUCTURAL TBD

MECHANICAL TBD MECHANICAL TBD

MECHANICAL TBD

IMPERVIOUS COVERAGE

TOTAL (P) IMPERVIOUS COVERAGE

(E) BUILDING SPRINKLERED

(P) SITE HARDSCAPE

(P) LOT COVERAGE

TITLE 24

ASPHALT SHINGLES WITH PAINTED METAIL GUTTERS/DOWNSPOUTS. WINDOWS TO BE ALUMINUM CLAD WOOD WINDOWS. SITE IMPROVEMENTS CONSIST OF 4,650 SQ.FT. IMPERVIOUS DRIVEWAY AND 176 SQ.FT. TILE DECK ON UPPER LEVEL, AND APPROXIMATELY 1,110 SQ.FT. OF PERVIOUS PAVERS ON FRONT AND BACK PATIOS; TO INCLUDE STAIRS.

DESIGNATION

GRADING

GRADE

LR 1-D-S-RAZ GENERAL PLAN LAND USE SINGLE FAMILY RESIDENCE

TYPE V-B FULLY SPRINKLERED IN ACCORDANCE WITH CALIFORNIA TYPE OF CONSTRUCTION FIRE CODE SECTION 903.3 RSIDENCE R-3, GARAGE U-1 OCCUPANCY GROUP

41588 SQ.FT. LOT SIZE _ LOT COVERAGE

10.9% = 4533 SQ.FT MAXIMUM SITE COVERAGE 2017 CY CUT, 60 CY FILL, 277 C/F TOTAL. ALL TO STAY ON SITE MAX HEIGHT ABOVE NATURAL 30'-0" AT AVERAGE NATURAL GRADE

PROJECT INFO

4185 MARGUERITA WAY

CARMEL, CA 93923

015-042-015-000

22'-3" AT AVERAGE NATURAL GRADE PROSOSED BUILDING HEIGHT **BUILDING CODE INFO:**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE

2022 CALIFORNIA FIRE CODE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS AND CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC, AND CHAPTER 3, SECTION 337R OF THE 2022 CRC. PROJECT TEAM:

OWNER MCNICKLE FAMILY TRUST 4185 MARGUERITA WAY CARMEL, CA 93923 ARCHITECT/DESIGNER RYAN MCNICKLE 26425 LAURELES GRADE RD CARMEL VALLEY, CA 93924 831-915-3393 MCNICKLECONSTRUCTION@GMAIL.COM

STRUCTURAL ENGINEER

MEP/TITLE 24 TTLE 24 GUYS GILBERT CARRILLO

> 818-850-3385 GILBERTO@TITLE24GUYS.COM

SOILS & CIVIL ENGINEER C3 ENGINEERING INCORPORATED 126 BONIFACIO PLACE, SUITE C MONTEREY, CA 93940 (813) 647-1192 mail@C3Engineering.net

MYER ENGINEERING, INC SEPTIC SYSTEM DESIGNER 1796 LAUREL GLEN RD SOQUEL, CA 95073 (831) 800-2244

paul@myerengineering.com

ARCHAEOLOGIST SUSAN MORLEY 3059 BOSTICK AVE MADINIA CA 03033

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES. 2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEMS. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.

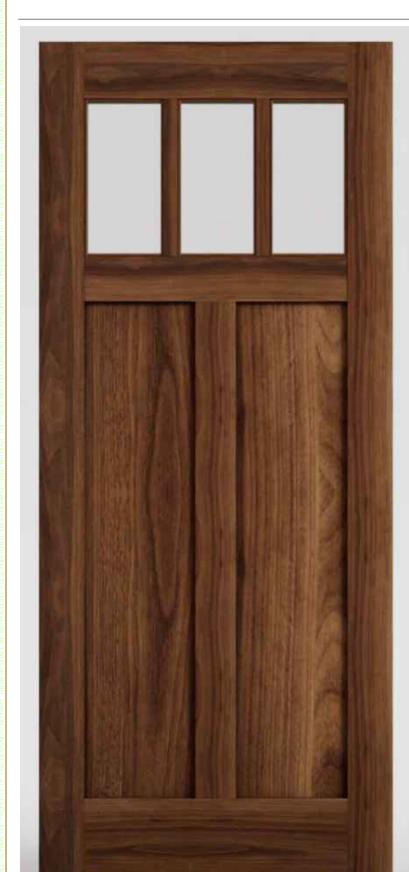
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST MMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES

ARE UNCOVERED. 1. SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS, AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER

CRC R315.2. 5. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS. 6. CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

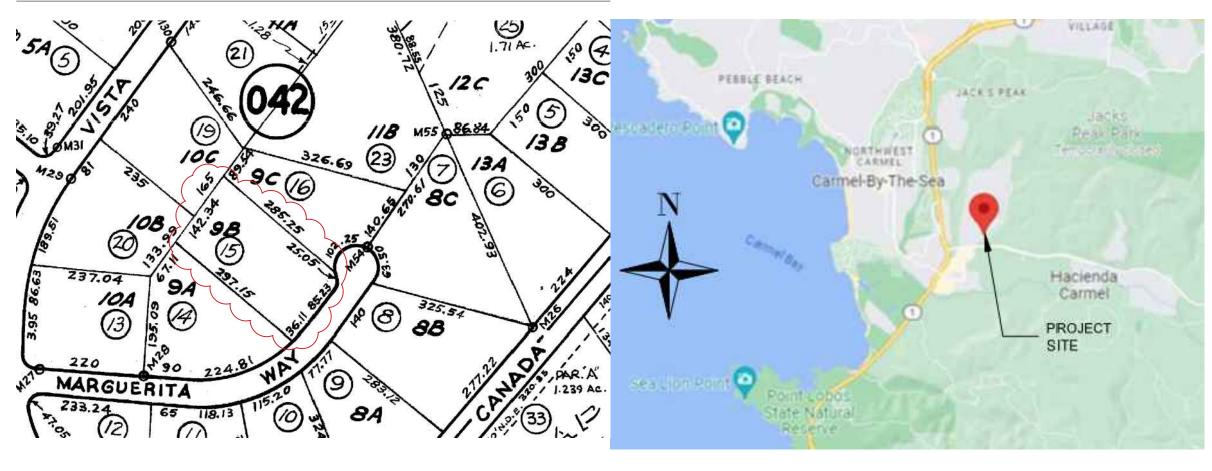


3 LITE DARK STAINED OAK **ENTRY DOOR**



SIDING SHINGLES





WEST VIEW



SOUTH VIEW

NORTH VIEW

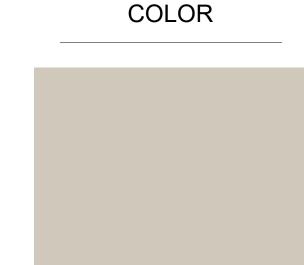


STUCCO

ROOFING

EAST VIEW







TEXTURE

LOT SIZE SQ.FT.

BUILDING INFORMATION + LOT COVERAGE

ALLOWABLE LOT COVERAGE	10,397	SQ.FT.	OR 25%		MARINA, CA 93933 (831) 262-2300
TOTAL LOT COVERAGE	3608	SQ.FT	OR 8.67%		Achasta@gmail.com
				CONTRACTOR	RYAN MCNICKLE
(P) FLOOR AREA:	10.68%				MCNICKLE CONSTRUCTION INC.
MAIN HOUSE LEVEL	2,337.4	SQ.FT.			LICENSE #996169
					264525 LAURELES GRADE RD
MAIN HOUSE LOWER LEVEL	1,159.8	SQ.FT.			CARMEL VALLEY, CA 93924
(P) GARAGE	945	SQ.FT.			(831) 915-3393
FLOOR AREA RATIO	4442	SQ.FT	OR 10.68%		McNickleConstruction@gmail.com
PARKING STALLS	5 TOTAL			DRAFTSMAN	SAM CAMPBELL
GARAGE PARKING	3	COVED	ED PARKING STALLS		YARD HOUSE DRAFTING LLC
OARAGE PARRING	J	COVER	LD PARRING STALLS		3348 POLARIS DR
DRIVEWAY OUTLET	2	UNCOV	/ERED PARKING STALLS		SACRAMENTO, CA 95827
					(916)741-9721
					SAM@YARDHOUSEDRAFTING.COM

MISCELL ANEOLIS

9,289

SQ.FT

SQ.FT

SQ.FT

MAIN HOUSE & BASEMENT

MISCELLANEOUS		
WATER SOURCE	CAL-AM	
WASTE DISPOSAL SYSTEM	ATERNATIVE TREATMENT SEPTIC	
GRADING ESTIMATES	2017 CY CUT, 60 CY FILL,277 C/F TOTAL	
TREES TO BE REMOVED	NONE	
(E) PARKING EXISTING	3 CAR PARKING GARAGE	

PROJECT



HEET TITLE:

ONSTRUCTION

CNICKLE

 \Box

GUERIT, EL, CA 97

SHEET NO.: G1.0

24



OLIVE TREE



GREEN FOUNTAIN GRASS

TREES	COMMON NAME	SCIENTIFIC NAME	GAL	ϘΤΥ	WATER USAGE
OLE	SWAN HILL OLIVE TREE	<i>OLEA EUROPAEA</i> 'SWAN HILL'	48" BOX	2	MEDIUM
QUE	NEW COAST LIVE OAK	QUERCUS VIRGINIANA	5 GAL	6	LOW
<u>SHRUBS</u>					
PEN	GREEN FOUNTAIN GRASS	PENNISETUM SETACEUM	5 GAL	18	MEDIUM
			TOTAL	26	

PLANTING LEGEND

GENERAL NOTES:

APN: 015-042-015

LOT SIZE: 42588 SF

ASSIGNED ADDRESS: 4185 MARGUERITA WAY CARMEL, CA 93923

GENERAL PLAN LAND USE DESIGNATION: LOW DENSITY 0.5-1 ACRES/UNIT

ZONING: LDR-1-D-S-RAZ

LOT COVERAGE: 8.67% INCLUSIVE OF PATIOS, DECKS, EXTERIOR STAIRS, LANDINGS, AND WALKWAY

FLOOR AREA RATIO: 10.68%

TREE REMOVAL: NONE

AVERAGE NATURAL GRADE OF PROPOSED BUILDING AREA: 186'-8"

MAXIMUM HEIGHT ABOVE AVERAGE NATURAL GRADE: 30'

PROPOSED HEIGHT ABOVE AVERAGE NATURAL GRADE: 22'3"

WATER PROVIDER: CALIFORNIA AMERICAN WATER

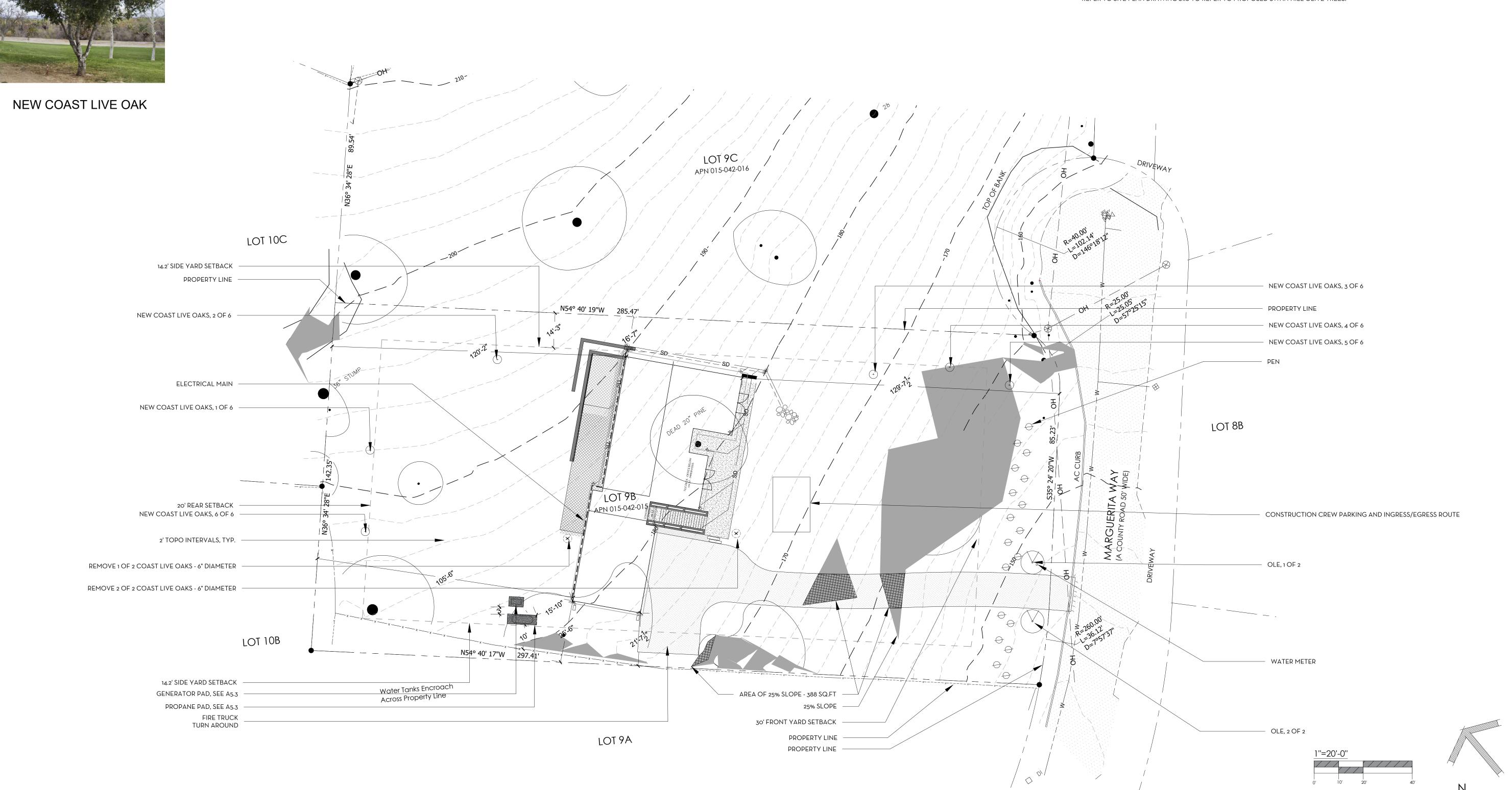
SEWER PROVIDER: SEPTIC

NO WETLANDS/STREAMS OR OTHER BODIES OF WATER ON SITE

NO KNOWN ENVIRONMENTALLY SENSITIVE HABITAT, ARCHEOLOGICAL RESOURCES, HISTORICAL SITES, OR IDENTIFIED HAZARDS ON SITE

LANDSCAPE AND PLANTING NOTES

- ALL LANDSCAPING IRRIGATION TO BE PROVIDED BY ALTERNATIVE TREATMENT SEPTIC SYSTEM. REFER TO PLANS DEVELOPED BY MYERS
- ANY IRRIGATION THAT MAY BE SERVICED VIA CAL-AM WATER METER TO INCLUDE A RAIN SENSOR DEVICE.
 PROPOSED PERIMETER PLANTING AND VEGETATION TO BE XERISCAPING TO USE MINIMUM WATER NEEDS.
 REFER TO SITE PLAN DRAWING S1.0 TO REFER TO PROPOSED SWAN HILL OLIVE TREES.





5 MARGUERITA V JARMEL, CA 9392

SHEET TITLE: SITE

PLAN

SCALE:

SHEET NO.: S1.0 1-CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO EH PROPERTY LINE. WHICHEVER IS CLOSER, EXCEPT FOR

1.1-CUT DRY WAND DEAD GRASS TO A MAXIMUM HEIGH OF 4 INCHES.
1.2-MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
1.3-MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.

1.4-TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. OR TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.

1.5-REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.

1.6-REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
1.7-REMOVE ALL CUT MATERIAL FROM THE AREA.

2-REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
3-PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVE PIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NON FLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN:" IN SIZE.
4-POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS.

"REDUCED FUEL ZONE" BETWEEN 30 AND 100 FEET AROUND THE BUILDING.

1-CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE "TOPPED OFF" LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
2-CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
3-CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES
4-CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
5-DO NOT USE HERBICIDE OR CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT LEGEND

- GREEN ZONE- WITHIN 30 FEET SURROUNDING THE BUILDING.

- REDUCED FUEL ZONE- BETWEEN 30-100 FEET AROUND THE BUILDING.

GENERAL NOTES:

APN: 015-042-015

LOT SIZE: 41588 SF

ASSIGNED ADDRESS: 4185 MARGUERITA WAY CARMEL, CA 93923

GENERAL PLAN LAND USE DESIGNATION: LOW DENSITY 0.5-1 ACRES/UNIT

ZONING: LDR-1-D-S-RAZ

LOT COVERAGE: 8.67% INCLUSIVE OF PATIOS, DECKS, EXTERIOR STAIRS, LANDINGS, AND WALKWAY

FLOOR AREA RATIO: 10.68%

TREE REMOVAL: NONE

AVERAGE NATURAL GRADE OF PROPOSED BUILDING AREA: 186'-8"

MAXIMUM HEIGHT ABOVE AVERAGE NATURAL GRADE: 30

PROPOSED HEIGHT ABOVE AVERAGE NATURAL GRADE: 22'3"

WATER PROVIDER: CALIFORNIA AMERICAN WATER

SEWER PROVIDER: SEPTIC

NO WETLANDS/STREAMS OR OTHER BODIES OF WATER ON SITE

NO KNOWN ENVIRONMENTALLY SENSITIVE HABITAT, ARCHEOLOGICAL RESOURCES, HISTORICAL SITES, OR IDENTIFIED HAZARDS ON SITE



CONSTRUCTION NOTES FOR VERY HIGH FIRE HAZARD SEVERITY ZONES

- NEW BUILDINGS AND STRUCTURES LOCATED IN "HIGH" FIRE HAZARD SEVERITY ZONES SHALL COMPLY WITH THE REQUIREMENTS OF CBC AND, CHAPTER 7A SECTION 701A.1. & CRC, CHAPTER 3, SECTION 337R.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4]
- ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- 4. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND EMBERS, THE ATTIC SPACE IS SPRINKLERED IN ACCORDANCE WITH CBC SEC. 903.3.1.1, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [§R327.6.3]
- EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [§R327.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [§R327.7.3.1]
- 7. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED EAVES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYPSUM BOARD, OR EXTERIOR PORTION OF AN APPROVED ONE HOUR WALL ASSEMBLY. [§R327.7.4] SEE EXCEPTIONS TO THESE SECTIONS FOR OTHER ALTERNATIVES.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

POLLUTANT CONTROL MEASURES

IN ACCORDANCE WITH SECTION 4.504, THE FOLLOWING POLLUTANT CONTROL MEASURES SHALL BE IMPLEMENTED.

- 1.1. PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- 1.2. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- 1.3. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- 1.4. 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- 1.5. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. RESPONSE

CKLE CONSTRUCTION

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FIRE SAFETY SETBACK

SCALE:

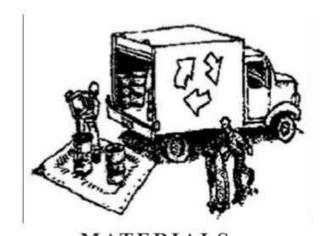
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CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. ☐ If refueling or vehicle
- maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters. streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
 - ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are
 - ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - ☐ Sweep up spilled dry material immediately. Do not try to wash them away with water, or bury them.
 - ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of **Emergency Services Warning** Center, (800) 852-7550 (24 hours).

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

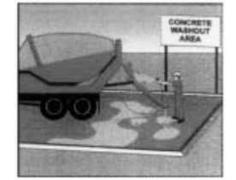
Sediment Control

- ☐ Protect storm drain inlets. gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks
- · Abandoned wells
- · Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

- basin inlet filters, or gravel storm drain system.
- ☐ Shovel, abosorb, or vacuum finished in one location or



MORTAR APPLICATION

- from drainage areas. These materials must never reach a storm drain.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE

MATERIALS

☐ Contain stockpiled landscaping

material on pallets. Cover or

store these materials when they

are not actively being used or

☐ Discontinue application of any

erodible landscape material

rain event or during wet

within 2 days before a forecast

☐ Stack erodible landscape

being used.

applied.

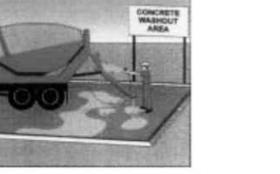
weather.

materials by storing them under

tarps when they are not actively

Sawcutting & Asphalt/Concrete

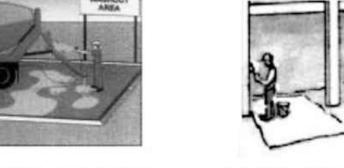
- ☐ Completely cover or barricade storm drain inlets when saw
- saw-cut slurry and dispose of all waste as soon as you are at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT &

- ☐ Store concrete, grout and mortar under cover, on pallets and away
- ☐ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.

- cutting. Use filter fabric, catch bags to keep slurry out of the



Paint Removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- non-hazardous dry stripping up or collected in plastic drop cloths and disposed of as trash

PAINTING & PAINT REMOVAL

Painting cleanup

- □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

☐ Paint chips and dust from and sand blasting may be swept



DEWATERING

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

HEET TITLE: **BEST** MANAGEMENT

CONSTRUCTION

MCNICKLE

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MARGUERITA WA ARMEL, CA 93923

PRACTICES

SCALE:

DATE:

SHEET NO.:

G1.2

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less

The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types

of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2

EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical

system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all

for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved

1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number

2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable

a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power

Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per

spaces, the number of EV capable spaces required may be reduced by a number equal to the number of

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UCTION

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

 The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations. Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65

percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

1. Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

reuse on the project or salvage for future use or sale.

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

1.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- 3. Identify diversion facilities where the construction and demolition waste material collected will be
- 4. Identify construction methods employed to reduce the amount of construction and demolition waste
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated
- by weight or volume, but not by both. .408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the

enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition wasts materials will be diverted by a waste management company.

.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.fl. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.498.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

1.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

- 1. Sample forms found in "A Guide to the California Green Bullding Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in
- documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

- Operation and maintenance instructions for the following: Eguipment and appliances, including water-saving devices and systems, HVAC systems. photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
- Roof and yard drainage, including gutters and downspouts.
- Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems.
- e. Water reuse systems. Information from local utility, water and waste recovery providers on methods to further reduce
- resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available. A copy of all special inspections verifications required by the enforcing agency or this code.
- Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. Information and/or drawings identifying the location of grab bar reinforcements.
- 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling

ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

SECTION 4.501 GENERAL

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous,

COMPOSITE WOOD PRODUCTS. Composite wood products include herdwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood. structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

CHAPTER 3 I.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

the application checklists contained in this code. Voluntary green building measures are also included in the

application checklists and may be included in the design and construction of structures covered by this code,

but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

Chapter 4 and Appendix A4, as applicable.

Department of Housing and Community Development

Office of Statewide Health Planning and Development

RESIDENTIAL MANDATORY MEASURES

The following terms are defined in Chapter 2 (and are included here for reference)

pervious material used to collect or channel drainage or runoff water.

property, prevent erosion and retain soll runoff on the site.

by the enforcing agency.

water include, but are not limited to, the following:

Water retention gardens

French drains

overcurrent protective device.

accordance with the California Electrical Code.

Water collection and disposal systems

DIVISION 4.1 PLANNING AND DESIGN

California Building Standards Commission

Division of the State Architect, Structural Safety

ABBREVIATION DEFINITIONS:

Additions and Alterations

SECTION 4.102 DEFINITIONS

used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

Low Rise

CHAPTER 4

4,102,1 DEFINITIONS

DSA-SS

OSHPD

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials

such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less

Retention basins of sufficient size shall be utilized to retain storm water on the site.

management of storm water drainage and erosion controls shall comply with this section.

3. Compliance with a lawfully enacted storm water management ordinance.

Exception: Additions and alterations not aftering the drainage path.

are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections

4.106.4, may adversely impact the construction cost of the project.

equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will

and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes,

than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre

during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface

5. Other water measures which keep surface water away from buildings and aid in groundwater

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and

1.1 Where there is no local utility power supply or the local utility is unable to supply adequate

1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional

local utility infrastructure design requirements, directly related to the implementation of Section

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional

infrastructure are not feasible based upon one or more of the following conditions:

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each

dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway

shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the

proposed location of an EV charger. Receways are required to be continuous at enclosed, inaccessible or

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

disposal method, water shall be filtered by use of a barrier system, wattle or other method approved

or more, shall manage storm water drainage during construction. In order to manage storm water drainage

shall comply with the specific green building measures applicable to each specific occupancy. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.

[HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with

Exception: Areas of parking facilities served by parking lifts.

EVs at all required EV spaces at a minimum of 40 amperes.

than 20 sleeping units or guest rooms.

of EV capable spaces.

EV chargers installed.

EV chargers are installed for use.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

dwelling unit when more than one parking space is provided for use by a single dwelling unit.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

a.Construction documents shall show locations of future EV spaces.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multismily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles of Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable

4.106.4.2.2.1.1 Location.

EVCS shall comply with at least one of the following options:

 The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

The charging space shall be located on an accessible route, as defined in the California Building Code,

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

The minimum length of each EV space shall be 18 feet (5486 mm).

The minimum width of each EV space shall be 9 feet (2743 mm).

One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed receway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit, Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in oncealed areas and spaces shall be installed at the time of original construction.

DISCLAIMER: THIS DOCUMENT IS TO BE USED AN A MEANS TO INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for

4.106.4.2.5 Electric Vehicle Ready Space Signage.

Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Califrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing

When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Construction documents are intended to demonstrate the project's capability and capacity for facilitating future

There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and

urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving

plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urimals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 pst. Showerheads shall be certified to the performance criteria of the U.S. EPA VaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 60 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4,303,1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section

TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 PRODUCT CLASS MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (≤ 5.0 ozf) Product Class 2 (> 5.0 exf and ≤ 8.0 exf) 1.20

Product Class 3 (> 8.0 ozf) Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the Celifornia Piumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

DIVISION 4.5 ENVIRONMENTAL QUALITY

1.501.1 Scope irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, focures and equipment (FF&E) not considered base building elements.

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

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CHECKLIST

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DATE: SHEET NO.:



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

RODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to educe the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks... Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air poliution or air quality management district rules apply:

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.584.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.594.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

Manufacturer's product specification. Field verification of on-site product containers.

Less Water and Less Exempt Compounds in Grams po	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
NDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
MOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

- THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
- 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in G	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS:

COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	0.00000
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF, AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carget installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Teeting and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive, All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and teating labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA
- 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:
- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- found in Section 101.8 of this code. Moisturs readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

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- For the purposes of this section, a bathroom is a room which contains a bathlub, shower or
- Lighting integral to bethroom exhaust fans shall comply with the Celifornia Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems).

ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

- considered by the enforcing agency when evaluating the qualifications of a special inspector. Certification by a national or regional green building program or standard publisher.
- 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.
- 1. Special inspectors shall be independent entities with no financial interest in the materials or the
- project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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BATHROOM ELECTRICAL NOTES

- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOM WITHIN 3'-0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION. [CEC 210.52(D), 210.11(C)(3) & 210.8(A)(1)]
- 2. ALL 125VOLT, 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT. [CEC 406.12]
- 3. BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLINGS. [CEC 210.12(A)]
- 4. NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM, UNLESS LIGHT FIXTURE(S) IN SHOWER ENCLOSURE AREA IS LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS. [CEC 410.10(D)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED AND LABELED. [CENC 150.0(K)1A]
- 6. A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
- 7. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)1C. ONLY JA8-2019-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION. [CENC 150(K)1C]
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. [CENC 150(K)2B]

BATHROOM MECHANICAL NOTES

- BATH AND TOILET ROOMS SHALL HAVE AN EXHAUST RATE OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS. [CMC TABLE 403.7]
- EACH BATHROOM, OR ROOM CONTAINING A BATHTUB, SHOWER, OR TUB SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50 PERCENT TO A MAXIMUM OF 80 PERCENT. THE CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. [CMC 402.5, CALGREEN 4.506]
- 3. BATH AND TOILET ROOM WINDOWS SHALL NOT BE LESS THAN 3 SQUARE FEET, ONE HALF OF WHICH MUST BE OPERABLE. [CRC R303 3]
- A BATH EXHAUST FAN, WITH BACK DRAFT DAMPER AND HUMIDITY CONTROL, IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW (ROOM CONTAINING A BATHTUB, SHOWER, SPA OR OTHER SIMILAR SOURCE OF MOISTURE). [CRC R303.3]
- EXHAUST MUST VENT TO OUTDOOR IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FEET FROM AN OPENING OR PROPERTY LINE. [CMC 504.5]
- MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY PLUMBING VENTS AND SUCH OPENING SHALL BE LOCATED A MINIMUM OF 3 FEET BELOW THE CONTAMINANT SOURCE. [CRC R303.5]
- 7. SHOW FAN/DUCT/VENT TERMINATION LOCATIONS. INDICATE THAT FAN AND DUCT OPENINGS (ENVIRONMENTAL AIR DUCTS) SHALL TERMINATE AT LEAST THREE (3) FEET FROM PROPERTY LINES OR OPENINGS INTO THE BUILDING WITH BACK DRAFT DAMPER. PLUMBING VENTS WITHIN TEN (10) FEET OF OPERABLE SKYLIGHTS SHALL EXTEND A MINIMUM OF THREE (3) FEET ABOVE SUCH OPENINGS. [CMC 504.1, 504.5, CPC 906.2]

ADDITIONAL CONSTRUCTION NOTES

- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. ALL 120-VOLT 15 AND 20 AMPERE OR BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION-TYPE. GUESTROOMS (210-18) AND GUEST SUITES THAT ARE PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI.
- DWELLING UNIT RECEPTACLE OUTLETS. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. ANY SPACE 2' OR MORE IN WIDTH INCLUDING SPACE MEASURED AROUND CORNERS AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. FLOOR RECEPTACLE SHALL NOT BE COUNTED AS A PART OF THE REQUIRED RECEPTACLES UNLESS WITHIN 18" OF WALL. [210-52 (A)]

PLUMBING NOTES

- ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY.
 PER CPC 2022, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL
 - WATER CLOSET

 KITCHEN FAUCET

 LAVATORY FAUCET

 SHOWER HEAD

 DISHWASHER

 CLOTHES WASHER

 1.28 GPF

 1.8 GPM @ 60 PSI

 1.8 GPM @ 60 PSI

 2.0 GPM

 2.0 GPM

 2.0 GPM
- THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL FIXTURES, SUPPLIES, PARTS, AND EQUIPMENT TO ENSURE PROPER FUNCTIONING OF ALL FIXTURES.
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE. [4.303.2 CGBSC]
- PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303 OF CGBSC.
- USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWERS, AND SINKS.
- EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS, ALL HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER.

BATHROOM PLUMBING NOTES

- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET EXCEPT AT THE CENTER OF THE FRONT CLEARANCE AREA FOR FIXTURES AND AT SHOWERS THE CEILING HEIGHT MAY BE 6 FEET 8 INCHES. [CRC R305.1 AND R305.1 EXCEPTION 2]
- PROVIDE SAFETY GLAZING IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. [CRC R308.4.5]
- 3. SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [CPC 408.3]
- 4. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. [R702.3.8, R307.2]
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. [CPC 408.9]
- 6. A MINIMUM 12"X12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED. [CPC 402.11]
- 7. SITE BUILT SHOWER STALLS SHALL BE WATER TESTED BEFORE CLOSEIN. [CPC 408.0].
- 8. WHEN ADDITIONAL WATER CLOSETS (TOILETS) ARE INSTALLED, A MAXIMUM OF 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE LINE.[CPC TABLE 703.2]
- 9. THE HOT WATER CONTROL SHALL BE INSTALLED ON THE LEFT SIDE OF LAVATORY FAUCET. [CPC 417.5]
- 10. WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER (AT BASEMENT), SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE PER [CPC 710.1]
- 11. DRAINAGE PIPING SERVING FIXTURES THAT ARE LOCATED BELOW THE CROWN LEVEL OF THE MAIN SEWER (AT BASEMENT) SHALL DISCHARGE INTO AN APPROVED WATER-TIGHT SUMP OR RECEIVING TANK, SO LOCATED AS TO RECEIVE THE SEWAGE OR WASTES BY GRAVITY. [CPC 710.2]

LAUNDRY ROOM NOTES

 LAUNDRY - AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

KITCHEN PLUMBING NOTES

- FAUCETS AT KITCHENS SHALL NOT HAVE A FLOW RATE OF GREATER THAN 1.8 GPM AT 60 PSI.
- NEW GAS APPLIANCES AT KITCHEN SHOULD BE SPECIFIED.
 PROVIDE A SINGLE LINE DIAGRAM OF GAS PIPING, SHOWING
 PIPE SIZES, LENGTHS, AND BTU DEMAND RATINGS FOR ALL GAS
 APPLIANCES.
- 3. GAS TEST DURATION SHALL BE NOT LESS THAN ONE-HALF (½) HOUR FOR EACH FIVE-HUNDRED (500) CUBIC FEET OF PIPE VOLUME OF FRACTION THEREOF. WHEN TESTING A SYSTEM HAVING A VOLUME LESS THAN TEN (10) CUBIC FEET OR A SYSTEM IN A SINGLE-FAMILY DWELLING, THE TEST DURATION SHALL BE NOT LESS THAN TEN (10) MINUTES. THE DURATION OF THE TEST SHALL NOT BE REQUIRED TO EXCEED TWENTY FOUR (24) HOURS. [NFPA 54:8.1.4.3, CPC 1214.3.3]
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. [CPC 1211.1.6]
- 5. AN ACCESSIBLE, APPROVED MANUAL SHUTOFF VALVE WITH A NONDISPLACEABLE VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUTLET INSTALLED WITHIN SIX (6) FEET OF THE APPLIANCE IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. [CPC 1211.5]
- 6. NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. [CPC 807.4]

KITCHEN MECHANICAL NOTES

- IN KITCHEN SPECIFY THE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. [CENC 150(O), EXC. 5 TO 152(A) & ASHRAE STD. 62.2]
- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. PROVIDE BACK DRAFT DAMPER [CMC 504.2]
- ADD THIS NOTE TO THE PLANS: UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER [CMC 916.1.2]

LIGHTING NOTES

- ALL INTERIOR LIGHTS SHALL BE DIMMABLE UNLESS OTHERWISE NOTED.
- 2. ALL BATHROOM FANS SHALL HAVE TIMER OPTIONS.
- ALL BATHROOM LIGHTS SHALL HAVE OCCUPANCY SENSORS.
 OUTLET BOXES INSTALLED FOR LUMINARIES OR LIGHTING SHALL BE PERMITTED TO SUPPORT 50 POUNDS OR LESS. LUMINARIES WEIGHING MORE THAN 50 POUNDS MUST BE LISTED AND MARKED FOR THE MAXIMUM WEIGHT.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED LABELED.
- SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING:
- 6.1. SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS: AND
- 6.2. SHALL CONTAIN LAMPS THAT COMPLY WITH CEC
- REFERENCE JOINT APPENDIX JA8; AND
 6.3. THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2019 OR JA8-2019-E.
- 7. RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED ZERO-CLEARANCE INSULATION COVER TYPE, CERTIFIED AIR TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. [CENC 150.0(K)1C].
- 8. LUMINARIES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED. SURFACE MOUNTED OR RECESSED FLUORESCENT, RECESSED INCANDESCENT OR LED, 6".
- SURFACE MOUNTED FLUORESCENT OR LED PERMITTED IN STORAGE AREA IF LISTED FOR USE.
- 10. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
- 11. AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR.

KITCHEN ELECTRICAL NOTES

- ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE GFCI PROTECTED. [CEC 210.8(A) (6)]
- ALL 125VOLT, 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLE. [CEC 406.12]
- 3. BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS. [CEC 210.12(A)]
- 4. WALL COUNTER SPACE; A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLES OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE. [CEC 210.52 (C) (1)]
- ISLAND COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. [CEC 210.52(C) (2)]
- 6. PENINSULAR COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. A PENINSULAR COUNTER TOP IS MEASURED FROM THE CONNECTING EDGE. [CEC 210.52(C) (3)]
- SEPARATE SPACES: COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES IN APPLYING THE REQUIREMENTS OF CEC 210.52 (C) (1) (2) (3). [CEC 210.52(C) (4)]
- 8. COUNTER TOP RECEPTACLE OUTLET LOCATION: RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, APPLIANCE GARAGES, SINKS, OR RANGE TOPS AS COVERED IN 210.52(C)(1), EXCEPTION, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. [CEC 210.52 (B) (5)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52 (B)(1), (2)]
 INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL
- MAJOR APPLIANCES. [CEC 210.11(C) (1) & 422.10 (A)]
 11. GARBAGE DISPOSAL CORD AND PLUG CONNECTED WITH A
- FLEXIBLE CORD 18" TO 36" LONG. [CEC 422.16 (B)(1)]

 12. DISHWASHER CORD 36" TO 48" LONG. [CEC 422.16(B)(2)]
- MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. [CEC 210.23(A)]
- PROVIDE DEDICATED CIRCUIT FOR KITCHEN HOOD. [CEC 210.52 (B) (2)]
- 15. IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE)
 FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT
 THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]
- 16. RANGE HOODS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECT WHEN THE CORD IS TERMINATED WITH GROUNDING TYPE, NOT LESS THAN 18 INCHES AND NOT OVER 36", THE RECEPTACLE IS ACCESSIBLE AND SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT. [CEC 422.16 (B) (4)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED AND LABELED.
- 18. SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING:
- 18.1. THE LUMINAIRES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS: AND
- 18.2. THE LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND
- 18.3. THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2019 OR JA8-2019-E
- 19. RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. [CENC 150.0(K)1C]
- 20. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN CENC 150.0(K)1C. A JA8-2019-E LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED CEILING DOWNLIGHT LUMINAIRES.
- EXHAUST FANS AND UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. [CENC 150.0(K)2B]
- 22. BLANK ELECTRICAL BOXES. ALL UNUSED ELECTRICAL BOXES MOUNTED ABOVE 5 FEET FROM THE FINISHED FLOOR SHALL BE NO MORE THAN THE NUMBER OF BEDROOMS AND SHALL BE SERVED BY DIMMER OR VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL. [CENC 150.0(K)1B
- 23. FOR OCCUPANCIES WITH A HORIZONTAL RATED SEPARATION (FLOOR/CEILING ASSEMBLY), THE RECESSED FIXTURES MUST BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED TO THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.

ECT MCNICKLE

UCTION

ONSTR

MARGUERITA PR
4185 MARGUERITA WAY
CARMEL, CA 93923

AAWN BY: RM CHECKED BY:

CONSTRUCTION MANAGEMENT

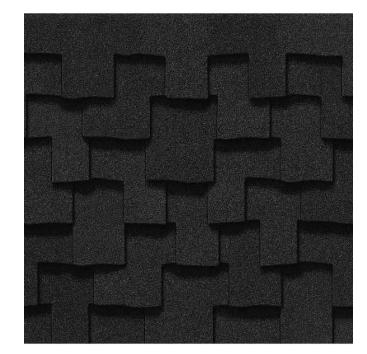
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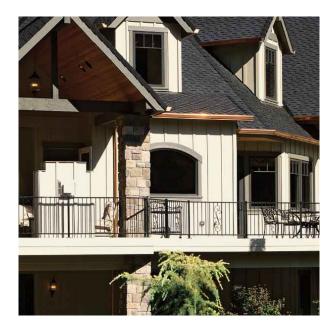
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COMPOSITE ASPHALT ROOF - COLOR:BLACK



HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY I AVON LAKE, OHIO 44012
[PH] 440.653.5500 [F] 440.653.5555
HINKLEYLIGHTING.COM I FREDRICKRAMOND.COM



CASCADE 1834BZ		
BRONZE		
WIDTH:	8.0"	
HEIGHT:	18.0"	
WEIGHT:	4.0 LBS	
MATERIAL:	EXTRUDED ALUMINUM	
GLASS:	AMBER ETCHED ORGANIC RAIN	
BACKPLATE WIDTH:	8.0"	
BACKPLATE HEIGHT:	18.0"	
SOCKET:	1-100W MED	
DARK SKY:	YES	
EXTENSION:	4.0"	
TTO:	4.8"	
CERTIFICATION:	C-US WET RATED	
VOLTAGE:	120V	
UPC:	640665183405	

OUTDOOR LIGHTING



SIDING SHINGLES



CEDAR VALLEY FIRE RESISTANT SHAKE SIDING



ACRYLIC STUCCO- COLOR:GLUTEN



METAL RAILING AT DECK- PAINTED BRONZE



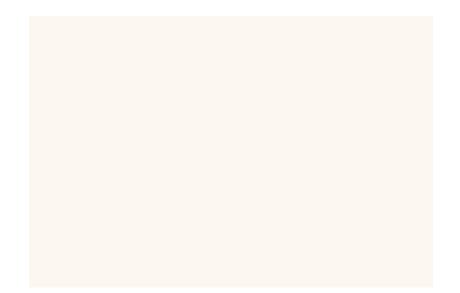
FON DU LAC- LIMESTONE VENEER AT ENTRY WALL



CONCRETE PAVERS AT FRONT & BACK PATIOS



KOLBE HERITAGE WINDOWS WITH DIVIDED LIGHTS



WINDOW COLOR: CLOUD



3 LITE DARK STAINED OAK ENTRY DOOR



THE MARGUERITA PROJE

4185 MARGUERITA WAY CARMEL, CA 93923

	REV		
ISSUE STATUS	DESCRIPTION	PRELIMINARY PLANS	CHECKED BY:
	DATE	0/0/2021	DRAWN BY: RM
	Ö Z		DRA

SHEET NO.:

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36"D X 30"W X 78"H CLEARANCE, INSTALL ON BACK OF GARAGE. 2-ELECTRICAL PANEL INTERIOR- 200A SUB PANEL- PROVIDE MINIMUM 36"D X 30"W X 78"H CLEARANCE, INSTALL IN GARAGE.

1-ELECTRICAL METER EXTERIOR- 200A MAIN PANEL- PROVIDE MINIMUM

3-LAUNDRY MACHINES- PROVIDE 110V OUTLET AT WASHER, 240V OUTLET AT CLOTHES DRYER, & 4" EXHAUST VENT TO PENETRATE THROUGH SIDEWALL OR ROOF. ALL DRYER VENTS TO HAVE A MAXIMUM RUN OF 10' AND MEANS TO PREVENT THE BUILDUP OF LINT OR DEBRIS. ALL EXHAUST PENETRATIONS MUST HAVE 48" MINIMUM CLEARANCE FROM OPERABLE WINDOWS OR DOORS.

4-HEAT PUMPS & FAN COILS- PROVIDE 220V OUTLET AT EACH HEAT PUMP AND FAN COIL. EACH FAN COIL NEEDS A CONDENSATE LINE TIED INTO DOMESTIC PLUMBING WASTE LINES. FAN COIL MITSUBISHI SVZ-KP18NA & HEAT PUMP MITSUBISHI SUZ-KA18NAR-1-TH-H.

5-WATER HEATER UNIT- PROVIDE 220V OUTLET. HYBRID HEAT PUMP WATER HEATER- RHEEM8OGL UNIT.

6-HRV UNIT- PROVIDE 220V OUTLET. INSTALL SIDWALL INTAKE AND EXHAUST 48" MINIMUM SEPARATION AND 48" MINIMUM DISTANCE FROM ANY WINDOW OR DOOR OPENING. PANASONIC UNIT FV-10VE1. 7-DOOR FROM GARAGE TO HOUSE TO BE I HOUR FIRE RATED ASSEMBLY. SELF CLOSING HINGES AND WEATHER STRIPPING ON ALL 4 EDGES OF DOOR.

8-WALL FROM GARAGE TO HOUSE TO BE 1 HOUR FIRE RATED ASSEMBLY WITH 1 LAYER OF 5/8" CDX AND 1

LAYER OF 5/8" GWB.

9-DOOR TO MECHANICAL ROOM TO BE VENTED WITH 2) 24" X 12" LOUVER PANELS- ONE ON TOP AND

ONE ON BOTTOM.

10- SHOWERHEAD- 1.8GPM. 11-SHOWER VALVES & FAUCETS- PRESSURE BALANCED, THERMOS-STATIC MIXING VALVES THAT PROVIDES

SCALD AND THERMAL SHOCK PROTECTION FOR SHOWER. 1.28GPM.

12-TOILETS TO BE .8GPF MAXIMUM.

13- SHOWER GLASS TO BE MINIMUM 3/8" THICK TEMPERED GLASS. 14- STAIRS TO HAVE 12" TREADS AND 6" RISERS. PROVIDE LEVEL LANDING AT EACH GRADE LEVEL EXIST

THAT IS THE WIDTH OF THE DOOR AND A MINIMUM OF 36" IN THE DIRECTION OF TRAVEL CRC R311.3 15- WATER SUPPLY IN AT WATER HEATER TO HAVE LEAK DETECTION SHUT OFF DEVICE, & PRV VALVE.

16- WATER CONDITIONING SYSTEM IN LINE AT WATER HEATER- TO PREVENT EXCESS MINERAL BUILD UP ON FIXTURES AND EQUIPMENT.

17- REFRIGERATOR 42" WIDE X 84" TALL UNIT.

18- RANGE & RANGE HOOD- 36" RANGE WITH EQUAL WIDTH EXHAUST HOOD ABOVE VENTING THROUGH THE ROOF. RANGE TO BE ELECTRIC 220V.

19- CABINETRY- CUSTOM WOOD-BUILT CABINETS- PREFINISHED MAPLE INTERIOR AND PAINTED WOOD PANELING/DOORS/DRAWERS. ALL CABINETRY TO BE 36" AFF TO TOP OF COUNTERTOP.

20- DISHWASHER- PROVIDE AIR GAP TO BE MOUNTED NEAR SINK BASIN.

21- GARBAGE DISPOSAL- PROVIDE GFCI UNDER SINK FOR GARBAGE DISPOSAL AND DISHWASHER.

22- EXTERIOR GUARD RAILING- 42" AFF OF DECKING SURFACE TO HAVE MAXIMUM SPACING OF 4" BETWEEN PICKETS.

CRAWLSPACE NOTES

1-CRAWLSPACE ACCESS SHALL BE MINIMUM 16" X 24" PER CRC R408.4. 2-PROVIDE A PERMANENT 120V RECEPTACLE OUTLET AND LIGHT FIXTURE NEAR FURNACE PER CMC 304.4.4.

3-PROVIDE CLEAR PASSAGEWAY 24"W X 30"H WITH SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT.

4-PROVIDE MINIMUM 30"X30" LEVEL WORKING PLATFORM IN FRONT OF SERVICE SIDE OF EQUIPMENT. 5-CONTRACTOR TO INSTALL · " GWB OR 5/8" CDX ON UNDER SIDE OF FLOOR

JOISTS DIRECTLY ABOVE GAS BURNING FURNACES PER. CRC R302.13. (NO GAS BURNING DEVICES APPLY TO THIS PROJECT).

6-CLEAR HEIGHT INSIDE CRAWLSPACE TO BE 30" TALL TO ACCOMMODATE ADEQUATE ACCESS FOR MECHANICAL EQUIPMENT.

7-CEILING OF CRAWLSPACE TO BE INSULATED WITH 2" SPRAY FOAM TO PROVIDE THERMAL PERFORMANCE AND AIR BARRIER.

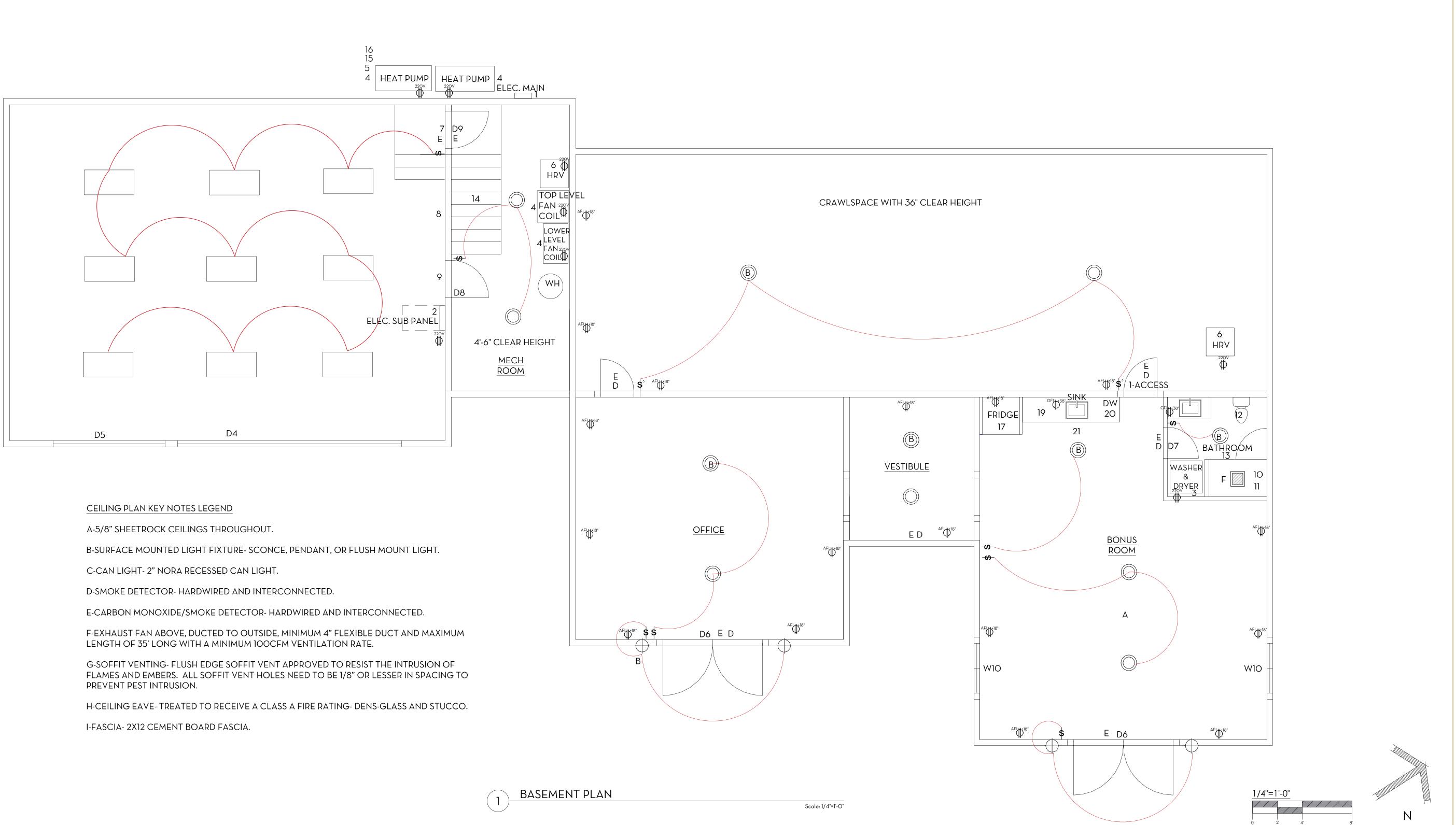
8-HRV TO DESIGNATE A RETURN AIR IN CRAWLSPACE TO ELIMINATE THE NEED FOR ANY CRAWLSPACE VENT CUT OUTS IN THE RETAINING WALL/STEM WALL.

ADDITIONAL NOTES:

-AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANCY SENSOR.

-AT ENCLOSED CEILINGS PROVIDE A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22" BY 30" LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30SF. CRC R807.1.

LEGEND				
SYMBOL	TYPE			
	SCONCE, PENDANT, OR FLUSH MOUNT LIGHT			
	CAN LIGHT			
\mathbf{V}	VANITY LIGHT			
\bigoplus	PENDANT LIGHT			
-0 -	SWITCH			
	EXHAUST FAN			
$\overline{}$	OUTLET			
-()-	OUTLET INSIDE			
22OV	OUTLET; 22OV			



ONSTRUCTION

MCNICKLE

 Δ MARGUERI RMEL, CA 1 ARC

SHEET TITLE:

BASEMENT PLAN

 $\frac{1}{4}$ "=1'-0"

DATE: SHEET NO.:

A1.1

FLOOR PLAN KEY NOTES LEGEND- BASEMENT PLAN & MAIN FLOOR PLAN

1-ELECTRICAL METER EXTERIOR- 200A MAIN PANEL- PROVIDE MINIMUM 36"D X 30"W X 78"H CLEARANCE, INSTALL ON BACK OF GARAGE. 2-ELECTRICAL PANEL INTERIOR- 200A SUB PANEL- PROVIDE MINIMUM 36"D

X 30"W X 78"H CLEARANCE, INSTALL IN GARAGE. 3-LAUNDRY MACHINES- PROVIDE 110V OUTLET AT WASHER, 240V OUTLET AT CLOTHES DRYER, & 4" EXHAUST VENT TO PENETRATE THROUGH SIDEWALL OR ROOF. ALL DRYER VENTS TO HAVE A MAXIMUM RUN OF 10' AND MEANS TO PREVENT THE BUILDUP OF LINT OR DEBRIS. ALL EXHAUST PENETRATIONS MUST HAVE 48" MINIMUM CLEARANCE FROM OPERABLE WINDOWS OR DOORS.

4-HEAT PUMPS & FAN COILS- PROVIDE 220V OUTLET AT EACH HEAT PUMP AND FAN COIL. EACH FAN COIL NEEDS A CONDENSATE LINE TIED INTO DOMESTIC PLUMBING WASTE LINES. FAN COIL MITSUBISHI SVZ-KP18NA &

HEAT PUMP MITSUBISHI SUZ-KA18NAR-1-TH-H. 5-WATER HEATER UNIT- PROVIDE 220V OUTLET. HYBRID HEAT PUMP WATER HEATER- RHEEM8OGL UNIT.

6-HRV UNIT- PROVIDE 220V OUTLET. INSTALL SIDWALL INTAKE AND EXHAUST 48" MINIMUM SEPARATION AND 48" MINIMUM DISTANCE FROM ANY WINDOW OR DOOR OPENING. PANASONIC UNIT FV-10VE1. 7-DOOR FROM GARAGE TO HOUSE TO BE I HOUR FIRE RATED ASSEMBLY. SELF CLOSING HINGES AND WEATHER STRIPPING ON ALL 4 EDGES OF DOOR.

8-WALL FROM GARAGE TO HOUSE TO BE 1 HOUR FIRE RATED ASSEMBLY WITH 1 LAYER OF 5/8" CDX AND 1

LAYER OF 5/8" GWB.

9-DOOR TO MECHANICAL ROOM TO BE VENTED WITH 2) 24" X 12" LOUVER PANELS- ONE ON TOP AND ONE ON BOTTOM.

10- SHOWERHEAD- 1.8GPM.

11-SHOWER VALVES & FAUCETS- PRESSURE BALANCED, THERMOS-STATIC MIXING VALVES THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR SHOWER. 1.28GPM.

12-TOILETS TO BE .8GPF MAXIMUM.

13- SHOWER GLASS TO BE MINIMUM 3/8" THICK TEMPERED GLASS.

14- STAIRS TO HAVE 12" TREADS AND 6" RISERS. PROVIDE LEVEL LANDING AT EACH GRADE LEVEL EXIST THAT IS THE WIDTH OF THE DOOR AND A MINIMUM OF 36" IN THE DIRECTION OF TRAVEL CRC R311.3

15- WATER SUPPLY IN AT WATER HEATER TO HAVE LEAK DETECTION SHUT OFF DEVICE, & PRV VALVE.

16- WATER CONDITIONING SYSTEM IN LINE AT WATER HEATER- TO PREVENT EXCESS MINERAL BUILD UP ON FIXTURES AND EQUIPMENT.

17- REFRIGERATOR 42" WIDE X 84" TALL UNIT.

18- RANGE & RANGE HOOD- 36" RANGE WITH EQUAL WIDTH EXHAUST HOOD ABOVE VENTING THROUGH THE ROOF.

RANGE TO BE ELECTRIC 220V.

GARAGE

D4

19- CABINETRY- CUSTOM WOOD-BUILT CABINETS- PREFINISHED MAPLE INTERIOR AND PAINTED WOOD

PANELING/DOORS/DRAWERS. ALL CABINETRY TO BE 36" AFF TO TOP OF COUNTERTOP.

20- DISHWASHER- PROVIDE AIR GAP TO BE MOUNTED NEAR SINK BASIN.

21- GARBAGE DISPOSAL- PROVIDE GFCI UNDER SINK FOR GARBAGE DISPOSAL AND DISHWASHER.

22- EXTERIOR GUARD RAILING- 42" OFF OF DECKING SURFACE TO HAVE MAXIMUM SPACING OF 4" BETWEEN PICKETS.

STAIRS: 6" RISER. 12" TREAD

Dll

FOYER

POWDER ROOM

D12

| WASHER | DRYER

HALL

CLOSET

-AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR

-AT ENCLOSED CEILINGS PROVIDE A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22" BY 30" LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30SF. CRC R807.1.

GUEST BEDROOM 2

HALL BATHROOM

PRIMARY CLOSET

SEAT AREA

D15

W3



ADDITIONAL NOTES:

19

KITCHEN

PANTRY

BREAKFAST BAR AREA

W1

OCCUPANCY SENSOR.

CONSTRUCTION

MCNICKLE

FLOOR

1/4"=1'-0"

DATE: SHEET NO.:

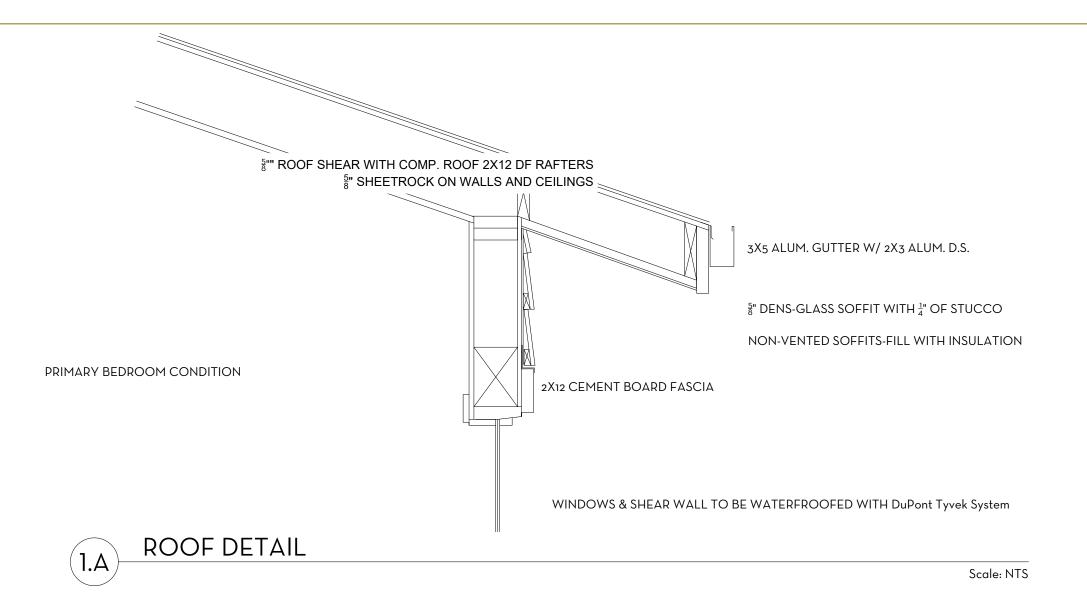
A2.1

1 FLOOR PLAN

Scale: 1/4"=1'-0"

GREAT ROOM

- 101′-6*″* -



ROOF PLAN KEY NOTES

J-ROOFING TO BE ASPHALT COMPOSITE SHINGLES TO ACHIEVE 1 HOUR FIRE RATING. CERTAINTEED LANDMARK TL BLACK COLOR

K-ROOFING UNDERLAYMENT TO FOLLOW TO MANUFACTURER INSTALLATION INSTRUCTIONS AND ALL ROOFING SHOULD INCLUDE A BITUTHENE ICE AND WATER SHIELD MEMBRANE IN THE EVENT OF FUTURE PENETRATIONS OF FASTENERS.
L-VALLEYS OF ROOF TO HAVE A "CALIFORNIA WEAVE" TO ELIMINATE THE NEED FOR VALLEY FLASHINGS.

M-EDGE METAL FLASHINGS & GUTTERS/DOWNSPOUTS TO BE POWDER COATED ALUMINUM.
N-GUTTERS TO BE CUSTOM SQUARE 4" WIDE AND 6" TALL. DOWNSPOUTS TO BE 4" WIDE AND 3" DEEP SQUARE.
O-ALL ROOF JACKS TO BE PAINTED GALVANIZED TO MATCH ROOFING FINISH.
P-SOLAR STAND OFF JACKS TO BE INSTALLED BY SOLAR PANEL CONTRACTOR.

Q-GARAGE ROOF TO RECEIVE 3:12 SLOPE WITH SCISSOR TRUSSES TO BE INSULATED WITH SPRAY FOAM.

R-ROOF OVER GREAT ROOM/DINING ROOM AND OVER PRIMARY BEDROOM TO BE A HAND STACKED

FRAMED ROOF WITH 6X12 GL TIMBER COLLAR TIES, 6X6 GL RIDGE BEAM POSTS AND 2X12 DF RAFTERS CONNECTED TO A 6X16 GL BEAM. ALL WITH 4:12 SLOPE.

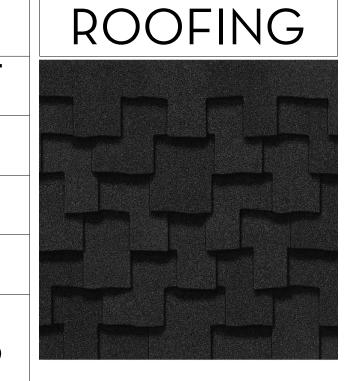
S-ROOF OVER KITCHEN, BEDROOMS, BATHROOMS, STUDY AND BAR TO HAVE TRUSSES ENGINEERED BY TRUSS MANUFACTURE. ALL WITH 4:12 SLOPE.

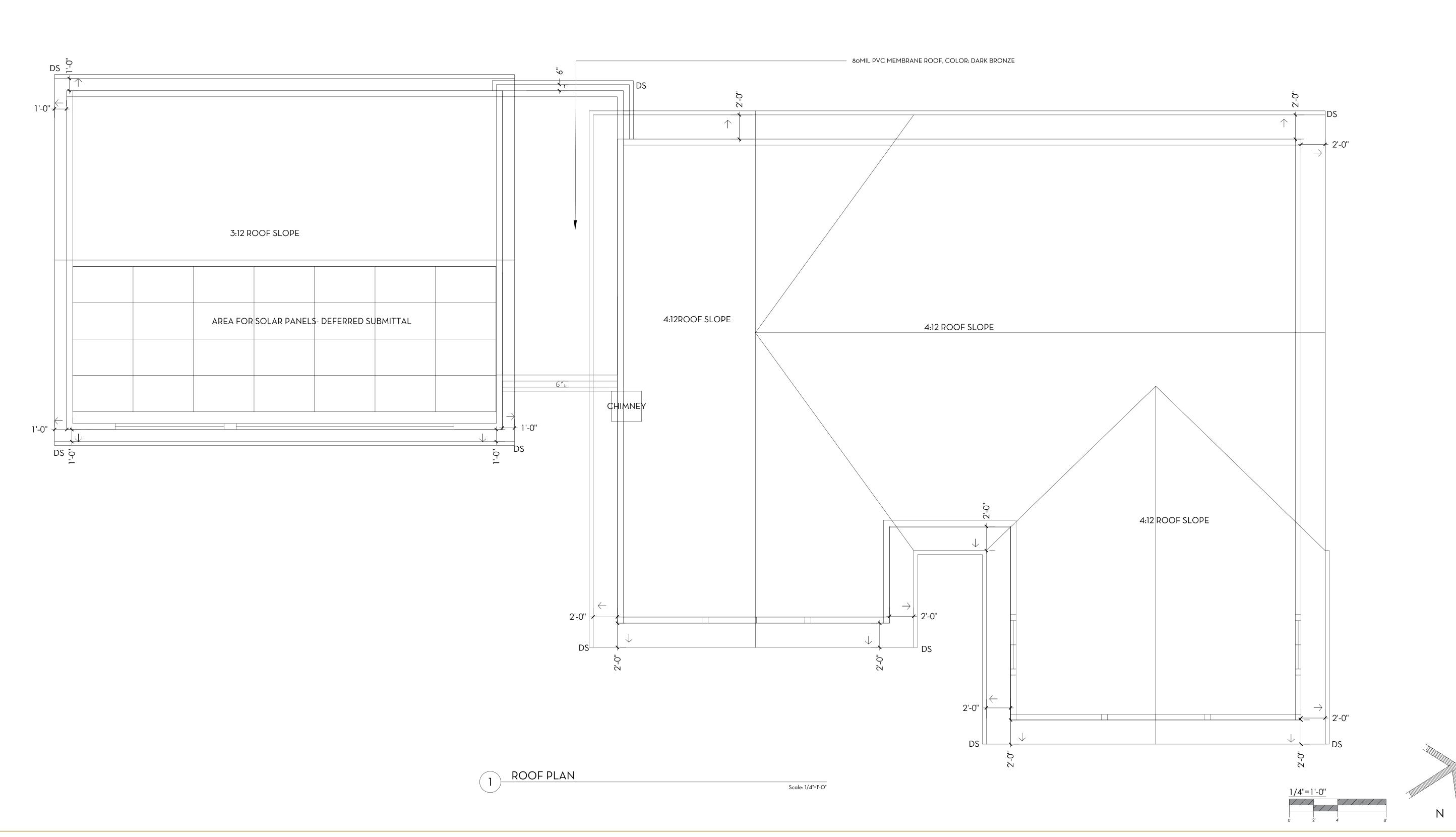
T-ROOF OVER GARAGE TO HAVE SCISSOR TRUSSES ENGINEERED BY TRUSS MANUFACTURE. GARAGE TO HAVE 3:12 SLOPE.

U-ROOF OVER ENTRY/POWDER/LAUNDRY/STAIRS; TO BE A FLAT FRAMED ROOF AND TO HAVE CUSTOM SLOPE BUILT IN WITH TAPERED INSULATION. ROOFING MATERIAL OVER ENTRY FLAT ROOF TO BE 80MIL PVC MEMBRANE IN DARK BRONZE COLOR BY IB ROOFING SUPPLY COMPANY.

V-EAVES TO BE TREATED WITH 5/8" DENS GLASS WITH "STUCCO AND A CONTINUOUS SOFFIT VENT WITH 1/8" HOLES OR LESS AND DESIGNATED TO PREVENT EMBERS OR FIRE RISK.
W-ROOF OVERHANGS TO BE 24" AT ALL AREAS EXCEPT FLAT ENTRY ROOF WHICH WILL RECEIVE 6" OVERHANG.

SITE COVERAGE	
AREA	SQ.FT
MAIN ROOF	2,372
ENTRY ROOF	228
GARAGE ROOF	1,008
TOTAL (P) STRUCTURAL	3,608
COVERAGE	3,000





PLANS BY: RYAN MCNICKLE
PHONE: (831) 935-3393 EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

MCNICKLE CONSTRUCTION@GMAIL.COM

PHONE: (831) 935-3393
EMAIL: MCNICKLECONSTRUCTION@GMAIL.COM

EMARGUERITA PRC
A185 MARGUERITA WAY
CARMEL, CA 93923

ISSUE STATUS

ISSUE STATUS

NO. DATE DESCRIPTION
RELIMINARY PLANS

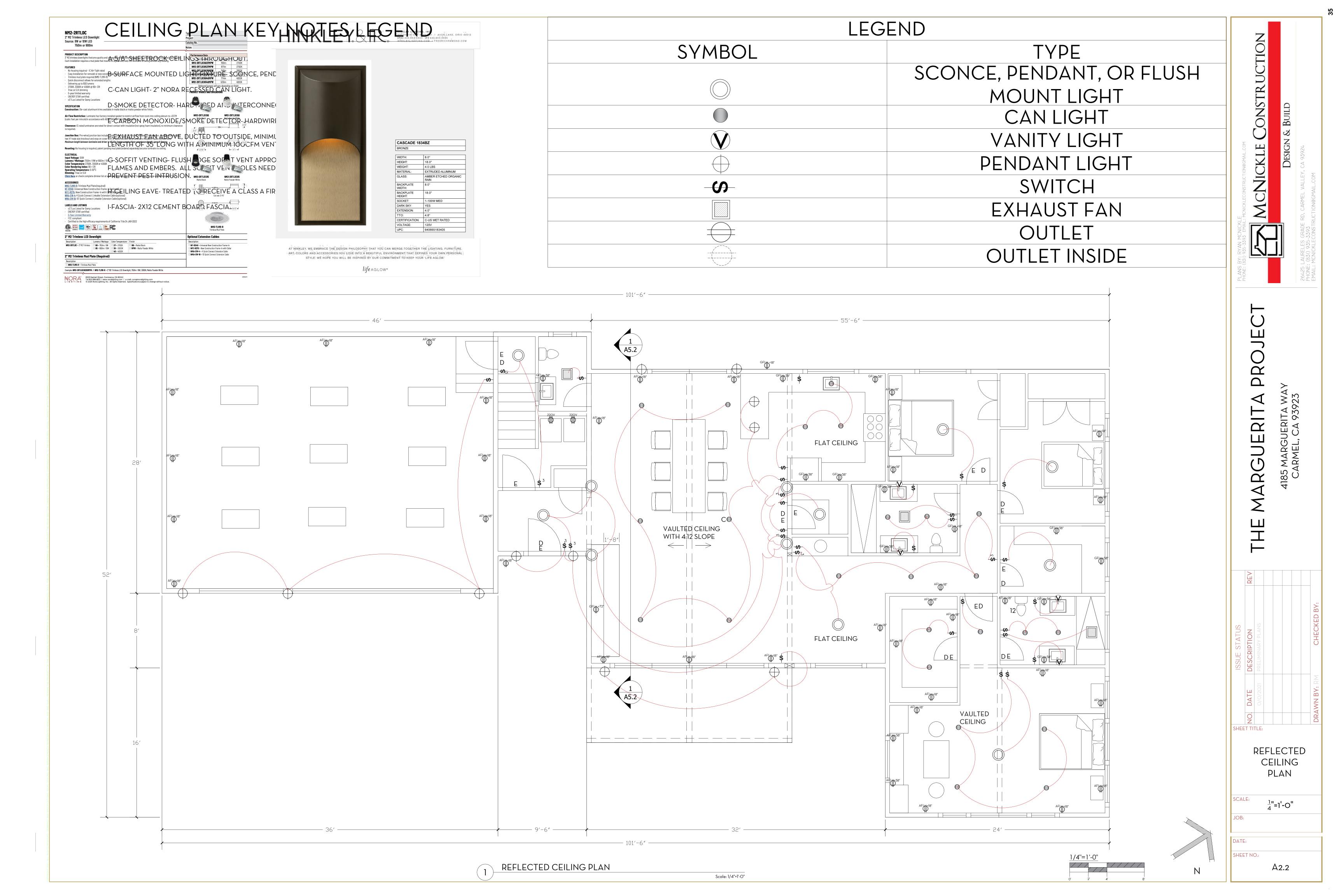
O/O/2021 PRELIMINARY PLANS

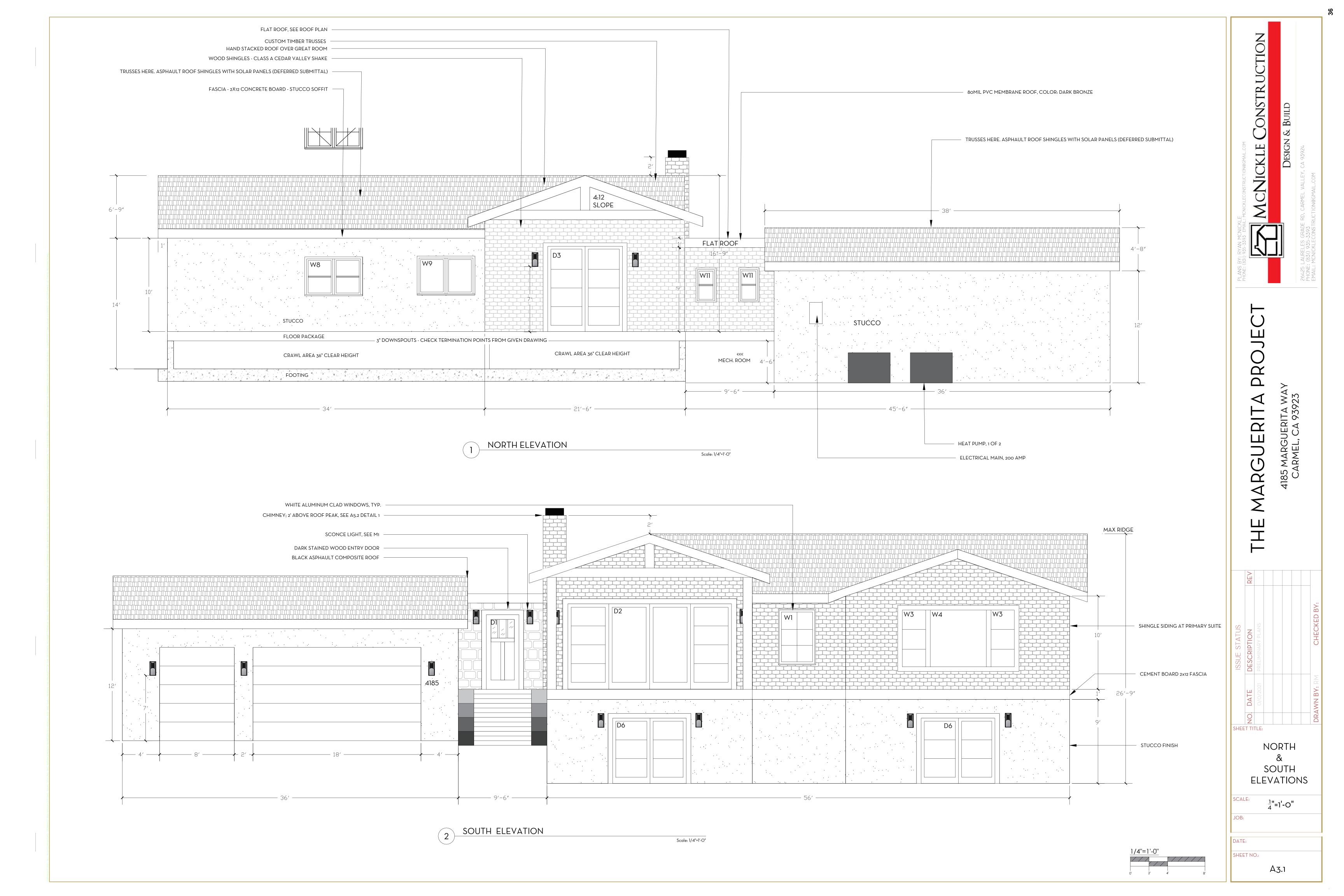
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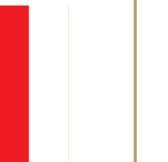
SCALE: $\frac{1}{4}$ "=1'-O"

DATE:
SHEET NO.:

A2.3







A3.2

WINDOW & DOOR SCHEDULE

SCALE: NTS
JOB:

DATE:
SHEET NO.:

EET NO.:

	WINDOWS		
LABEL	LOCATION	TYPE	SIZE WxH
W1	Breakfast Bar Area	Fixed	48x72
W2	Primary bedroom- bench seat area.	Double Casement	48x72
W3	Primary Bedroom	Fixed	30x72
W3	Primary Bedroom	Fixed	30x72
W4	Primary Bedroom	Fixed	72x72
W5	Primary Bedroom	Fixed	48x24
W5	Primary Bedroom	Fixed	48x24
W5	Primary Bedroom	Fixed	48x24
W6a	Primary Bathroom	Awning	44x38
W6b	Study	Fixed	44x38
W7	Guest Bedroom 1	Double Hung	24x60
W7	Guest Bedroom 1	Double Hung	24x60
W8	Guest Bedroom 2	Double Hung	60x48
W9	Kitchen	Double Casement	60x48
W10	Basement	Fixed	48x48
W10	Basement	Fixed	48x48
W11	Powder Room	Double Hung	24x36

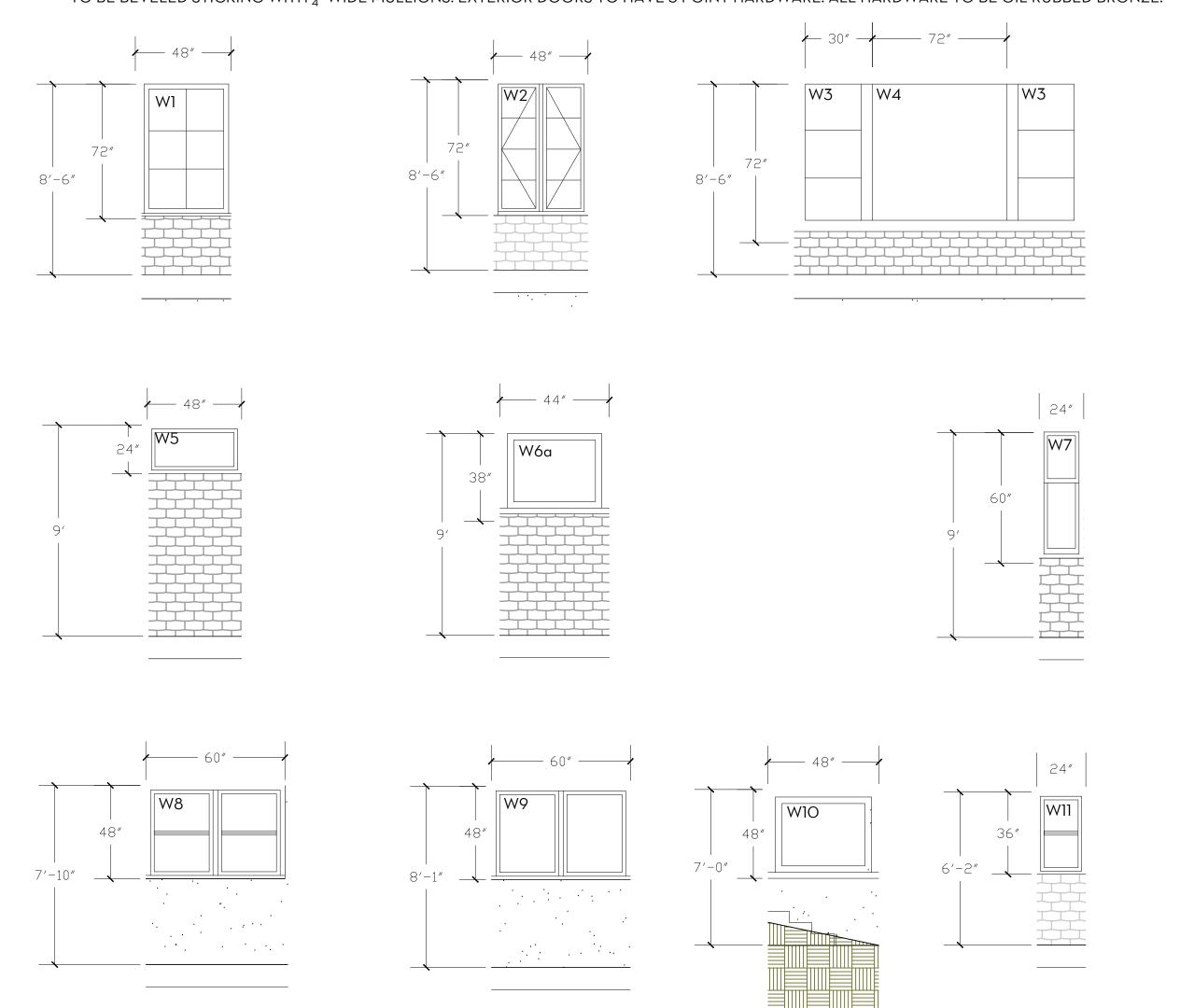
WINDOW DESCRIPTION

Fixed

24x36

D1

KOLBE HERITAGE OR SIMILAR- WOOD WINDOWS WITH ALUMINUM CLADDING ON EXTERIOR. ALL CASEMENT WINDOWS TO BE PUSH OUT AND ALL DOUBLE HUNG WINDOWS TO RECEIVE INSECT SCREES. INTERIOR OF ALL WINDOWS TO BE PAINTED WHITE. EXTERIOR CLADDING OF WINDOWS TO BE "CLOUD" COLOR BY KOLBE OR SIMILAR. DIVIDED LIGHTS TO BE BEVELED STICKING WITH $\frac{3}{4}$ " WIDE MULLIONS. EXTERIOR DOORS TO HAVE 3 POINT HARDWARE. ALL HARDWARE TO BE OIL RUBBED BRONZE.



EXTERIOR WINDOWS

Stair Case

W11

	<u> </u>
D18	Guest Bathroo
D19	Guest Bedroom
D20	Guest Bedroom
D21	Guest Closet 2
D22	Guest Closet 1
9'-0"	

LABEL

D1- Ext.

D2- Ext.

D3- Ext.

D4- Gar.

D5- Gar.

D6- Ext.

D6- Ext.

D7

D8

D9

D10

D11

D12

D13

D14

D15

D16

D17

DOORS

LOCATION

Entry Door- Real Craft Door- Oak.

Great Room- Sliders with fixed panels.

Dining Room.

Garage Main Door

Garage Door Left Side

Basement

Basement

Basement Bathroom

Garage Mechanical Room

Garage to House- Black threhold- ext. gasket

Laundry Room

Coat Closet at Entry

Powder Bathroom

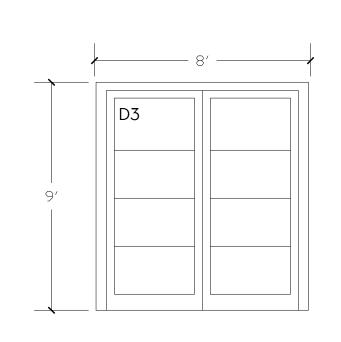
Pantry

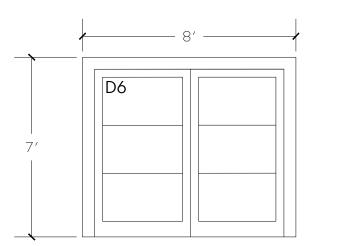
Primary Bedroom

Primary Closet

Primary bathroom

Study





EXTERIOR DOORS

SIZE WxH

3-6 x 8-0

16-0 x 9-0

8-0 x 9-0 Pair

18-0 x 10-0

9-0 x 10-0

8-0 x 7-0 Pair

8-0 x 7-0 Pair

2-6 x 7-0

2-6 x 4-0

3-0 x 8-0

3-0 x 8-0

2-0 x 8-0

2-6 x 8-0

2-6 x 8-0

3-0 x 8-0

2-6 x 8-0

5-0 x 8-0

5-0 x 8-0

TYPE

Triple Top Lite

Lift & Slide

French Doors

Overhead

Overhead

French Doors

French Doors

LH In Swing

RH in swing

LH In Swing

LH In Swing

RH Out swing

LH In Swing

RH in swing

LH In Swing

LH In Swing

RH in swing

Pair

Pair

- WINDOW & EXTERIOR DOOR NOTES

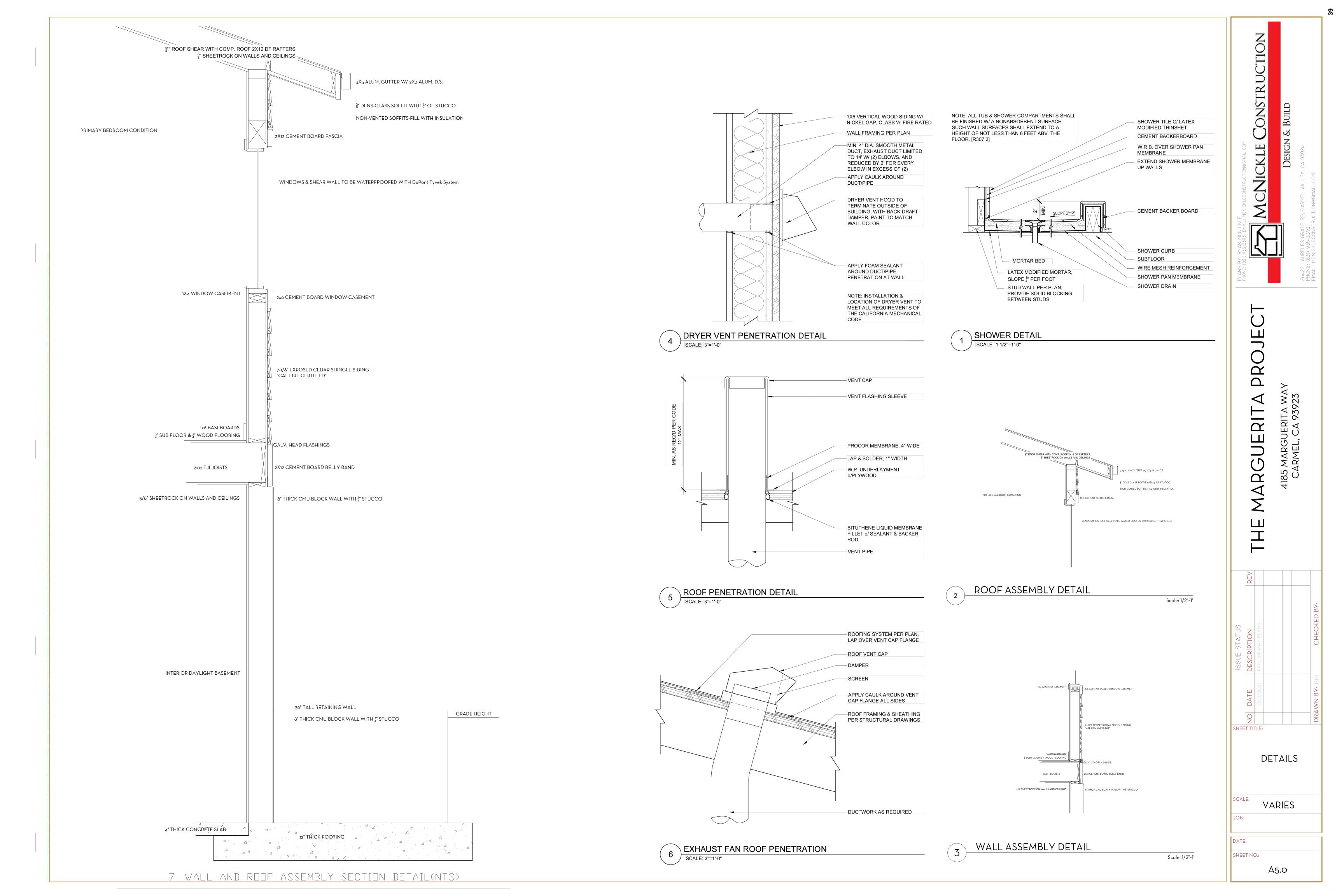
 CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDING WINDOWS AND DOORS.
- 2. ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- 3. ALL HEAD HEIGHTS TO ALIGN WHERE POSIBLE
- 4. ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS
 5. REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4
- 6. GLAZING SHALL BE TERMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING
- CONDITIONS:
 6.1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER
 THAN 9 SQUARE FEET; AND
- 6.2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
- 6.3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
- 6.4. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
- 6.5. GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE
- 6.6. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES
- 7. GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE
- 8. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHTIECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS
- WINDOWS

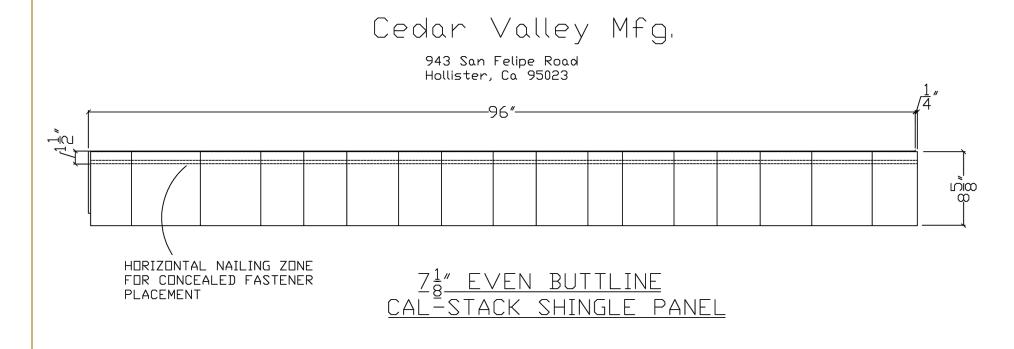
 9. ALL WINDOWS TO BE DUAL GLAZED-ARGON FILLED WITH THERMAL SPACER
- 10. MIN. U-VALUE & SGHC PER TITLE 24 CALCULATIONS
 11. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PAN, GLASS BLOCK UNITS, HAVE FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN
- RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2

 12. EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES

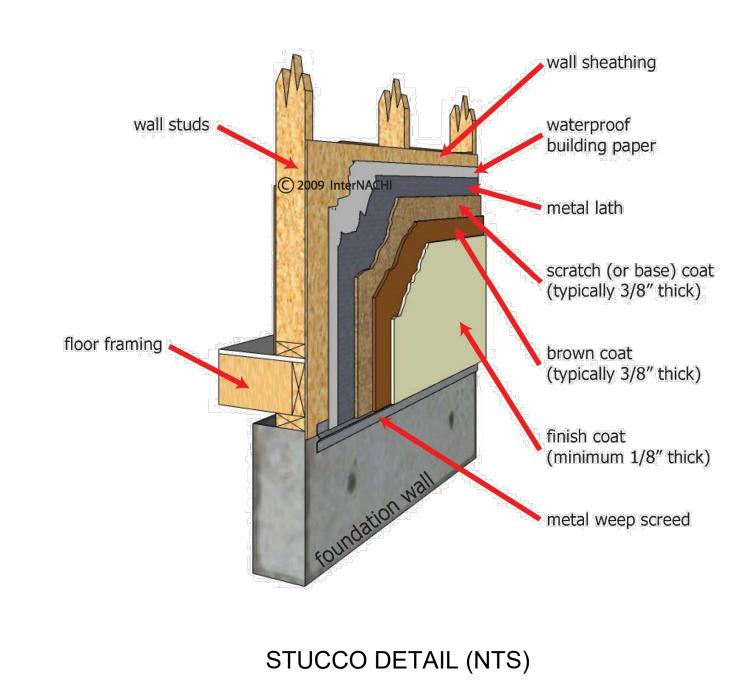
NONCOMBUSTIBLE CONSTRUCTION OR IGNITION
RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES
AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH
INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4
INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF
NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING

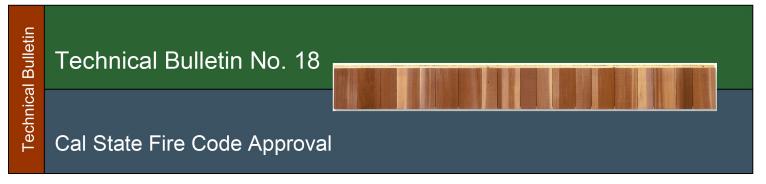
TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1





SHINGLE LAYOUT DETAL (NTS)





The following are results of the various fire tests* performed on 1-Course Cedar Valley panel styles by certified engineering and test laboratories.** These tests utilized current calculations and the required SFM Chapter 7a criteria.

Fire Testing
California Stack Panels are recognized by the California State Fire Marshal and listed in the Wildland Urban
Interface (WUI) products compliance handbook as an approved wood siding product.

(WUI Handbook)

1) Cedar Valley "California Stack" 1-Course panels
California SFM 12-7a-1 Fire Test Passed

a. The "California Stack" is an untreated non-routered stackable panel with a square cut plywood backer and Western

Red Cedar natural shingles on the face. b. The following options are available and approved for use under the California State fire Marshall WUI Products Handbook for Cedar Valley Panels.

i. All shingle Exposures offered by

- ii. Even And Staggered buttlinesiii. Open And Closed Keyway
- options iv. Thickbutt Shingles

stamped on the back.

1-Hour Wall Firewall Assembly is independent of fire code

(All W.U.I approved panels are limited to 1-Course style)

**All test documents available upon request.

 California State Fire Marshall Listing number under the Building Materials Listing Program a. (BML) #8140-2023:0002 b. All panels have the SFM logo & number



LISTED Siding for W.U.I. CSFM 8140-2023:0002 Cal Stack Meets Chapter 7A of CBC Cedar Valley Mfg. 943 San Felipe Road Hollister, Ca 95023

CVTB 018 Rev. 7/14

CALIFORNIA DEPARTMENT of FORESTRY

and FIRE PROTECTION

OFFICE OF THE STATE FIRE MARSHAL

WILDLAND URBAN

INTERFACE (WUI)

PRODUCTS

Published by **CAL-FIRE**

FIRE ENGINEERING DIVISION

Revised 09/15/08

 $\underline{http://osfm.fire.ca.gov/strucfireengineer/pdf/bml/wuiproducts.pdf}$

943 San Felipe Road Hollister, Ca 95023 T.800-521-9523 F.831-636-8109 www.cedar-valley.com

Insist upon the **Integrity Roof** System[™] and get the ultimate in roof performance!

With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System[™] combines key



Waterproofing Underlayment The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.*

 Water-Resistant Underlayment Provides a protective layer over the roof deck

and acts as a secondary barrier against leaks.

5. Starter Shingles Starter Shingles are the first course of shingles that are installed and designed to work in

styles to complement any roof design and

combination with CertainTeed Intake Vents or Soffit Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in



8"" ROOF SHEAR WITH COMP. ROOF 2X12 DF RAFTERS 5" SHEETROCK ON WALLS AND CEILINGS 3X5 ALUM. GUTTER W/ 2X3 ALUM. D.S. 5" DENS-GLASS SOFFIT WITH 1" OF STUCCO NON-VENTED SOFFITS-FILL WITH INSULATION PRIMARY BEDROOM CONDITION 2X12 CEMENT BOARD FASCIA WINDOWS & SHEAR WALL TO BE WATERFROOFED WITH DuPont Tyvek System 1X4 WINDOW CASEMENT 2x6 CEMENT BOARD WINDOW CASEMENT 7-1/8" EXPOSED CEDAR SHINGLE SIDING "CAL FIRE CERTIFIED" 1x6 BASEBOARDS $\frac{3}{4}$ SUB FLOOR & $\frac{3}{4}$ WOOD FLOORING [≒]GALV. HEAD FLASHINGS 2X12 CEMENT BOARD BELLY BAND 2x12 TJI JOISTS 5/8" SHEETROCK ON WALLS AND CEILINGS 8" THICK CMU BLOCK WALL WITH $\frac{1}{4}$ " STUCCO INTERIOR DAYLIGHT BASEMENT 36" TALL RETAINING WALL **GRADE HEIGHT** 8" THICK CMU BLOCK WALL WITH $\frac{1}{4}$ " STUCCO 4" THICK CONCRETE SLAB 12" THICK FOOTING DATE: WALL AND ROOF ASSEMBLY SECTION DETAIL

CEDAR SHINGLE SPECIFICATION

CERTAINTEED ROOFING SHINGLES

CONSTRUCTION

MCNICKLE

SO2

 \Box

GUERITA

HEET TITLE:

SCALE:

SHEET NO.:

ROOF

WALL

A5.1

ASSEMBLIES

5 MARGUERITA :ARMEL, CA 93

cause fire.

You must comply with all minimum air space clearances to combustibles as specified in Figure 3.3. **DO NOT** pack required air spaces with insulation or other materials. Framing or finishing material used on the front of, or in front of, the fireplace closer than the minimums listed must be constucted entirely of non-combustible materials (i.e., steel studs, concrete board, etc.). Failure to comply may

Storm Collar <

Roof Flashing ___

(attic)

∕2 in. min.→

2 in. min.→

Majestic Biltmore Series • SB100 • 4013-303 Installers Manual • Rev G • 09/18

(51 mm)

(51 mm)

· • • •

Ceiling Firestop

2 in. miņ.

0 in. to level

of standoffs

Figure 3.3 Clearances to Combustible Materials

(51 mm) 🗡

Minimum Clearances to Combustibles

(51 mm)

Ceiling Firestop

(51 mm)

(ceiling)

(51 mm)

Insulation

Shield

Offset/Return with

hanger straps

Must have 2 in. (51 mm)

minimum clearance

- 1-1/2 in. (38mm) from

back of appliance

1-1/2 in. (38mm) from

side of appliance

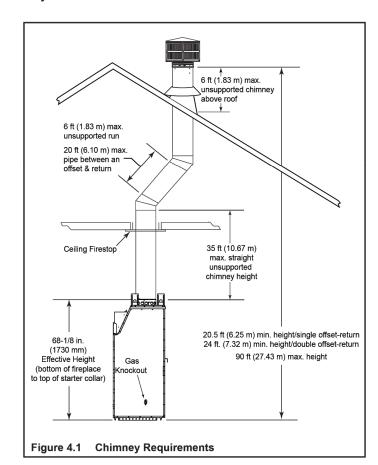
(except at nailing flanges

where it is 1/2 in. (13 mm)

ITHIN ENCLOSURE AREA		
replace to backwall	1-1/2 in. (38 mm)	
replace to sidewall	1-1/2 in. (38 mm)	
p standoffs to header	0 in. (0 mm)	
oor opening to sidewall	24 in. (610 mm)	
<u>ANTEL</u>		
antel minimum height	20 in. (508 mm)	
	above opening	

opening to sidewan	27 111. (010 111111)		
<u>ITEL</u>		Table 4.1 Chimney Requirements	
tel minimum height	, , ,	Minimum overall straight height	20 ft
	above opening	Minimum height with single offset/	20.5 ft
mum mantel depth	12 in. (305 mm)	return	
		Double offset/return minimum height	24 ft
		Maximum height	90 ft
		Maximum chimney length between an offset and return	20 ft
		Maximum distance between chimney stabilizers	35 ft
(10011)		Maximum unsupported chimney length between the offset and return	6 ft
		Maximum unsupported chimney height above the fireplace	35 ft
2 in. min.		Maximum unsupported chimney above roof	6 ft
	tel minimum height mum mantel depth	tel minimum height 20 in. (508 mm) above opening mum mantel depth 12 in. (305 mm)	Table 4.1 Chimney Requirements Minimum overall straight height Minimum height with single offset/ return Double offset/return minimum height Maximum height Maximum chimney length between an offset and return Maximum unsupported chimney length between the offset and return Maximum unsupported chimney height above the fireplace Maximum unsupported chimney

NOTICE: A maximum of two pairs of offsets and returns may be used.



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Chimney and Termination Requirements

A. Chimney Requirements Vertical distances are measured from the base of the

fireplace as shown in Figure 4.1.

system. Failure to do so may cause overheating and fire. **NOTICE**: You must provide support for the pipe during 6.25 m construction and check to be sure inadvertent loading has not dislodged the chimney section from the fireplace or at 7.32 m

27.43 m

6.1 m

10.67 m

1.83 m

10.67 m

1.83 m

Table 4.2 Chimney Component Dimensions

any chimney joint.

HEIGHT OF CHIMNEY COMPONENTS	in.	mm
Chimney Stabilizer		
SL11	4-3/4	121
Offsets/Returns	•	
SL1130	18	457
Chimney Sections*	•	
SL1106	4-3/4	121
SL1112	10-3/4	273
SL1118	16-3/4	425
SL1136	34-3/4	883
SL1148	46-3/4	1187

* Dimensions reflect effective height.

B. Hearth Extension, Building and Fin-

WARNING! Risk of Fire! High temperatures, sparks, WARNING! Risk of Fire! You must maintain 2 in. embers or other burning material falling from the fire-(51 mm) air space clearance to insulation and place may ignite flooring or concealed combustible

other combustible materials around the chimney surfaces. Protective metal hearth strips MUST be installed. Hearth extensions MUST be installed exactly as

places to protect the combustible floor in front of the

fireplace from both radiant heat and sparks.

A hearth extension must be installed with all fire-

• You MUST use a hearth extension with this **Table 7.1**

- Refer to Figure 7.3 for minimum dimensions. This fireplace has been tested and approved for use with a hearth extension insulated to a minimum R
- value of 1.03. • The hearth extension material MUST be covered with tile, stone or other non-combustible material.
- Manufactured hearth materials will usually have a published **R value** (resistance to heat) or **k value** (conductivity of heat). Refer to the formula in Table 7.1 to convert a k value to an R value,
- Refer to Table 7.2 for hearth extension insulation alternatives.

WARNING! Risk of Fire!

Hearth & Home Technologies is not responsible for discoloration, cracking or other material failures of finishing materials due to heat exposure or smoke.

Choose finishing materials carefully.

(305 mm) (1880 mm) 20 in. (508 mm) minimum

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Figure 7.3 Hearth Extension Dimensions

WARNING! Risk of Fire!

- Maintain clearances. • Use only non-combustible material below standoffs, material such as cement board is acceptable.
- Framing or finishing material used on the front of the fireplace closer than the minimums listed, must be constructed entirely of non-combustible materials (i.e., steel studs, concrete board,

WARNING! Risk of Fire!

Hearth extensions are to be installed only as illustrated to prevent high tempertures from occurring on concealed combustible

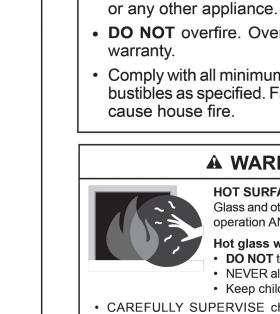
R = 1/k x inches of thickness

Hearth Extension Insulation Alternatives, R Value = 1.03			
Material	k per inch thick	r per inch thick	Minimum thickness required
Hearth & Home HX3, HX4	0.49	2.06	1/2 in.
USG Micore 300™	0.49	2.06	1/2 in.
USG Durock™ Cement Board	1.92	0.52	2 in.
Cement Mortar	5.0	0.20	5 1/8 in.
Common Brick	5.0	0.20	5 1/8 in.
Ceramic Tile	12.50	0.08	12 1/4 in.
Armstrong™ Privacy Guard Plus	0.46	2.18	1/2 in.
Marble	14.3-20.0	0.07-0.05	14 5/8 in 20 3/8 in.

A WARNING: If the information in these instructions is not followed exactly, a fire or explosion may result causing property

- damage, personal injury, or death. **DO NOT** store or use gasoline or other flam-
- **DO NOT** overfire. Overfiring will void your warranty.
- Comply with all minimum clearances to combustibles as specified. Failure to comply may cause house fire.

mable vapors and liquids in the vicinity of this



Installation Manual

Installation and Fireplace Setup

2" CLEARANCE TO COMBUSTIBLES AND BUILDING INSULATION FROM CHIMNEY REQUIRED.

INSTALLER: Leave this manual with party responsible for use and operation.

OWNER: Retain this manual for future reference.

This fireplace uses SL1100 Series Chimney

NOTICE: DO NOT discard this manual!

WOODBURNING FIREPLACE

Installation and service of this appliance should be performed by

qualified personnel. Hearth & Home Technologies recomends HHT

FIREPLACE

INSTITUTE

Factory Trained or NFI certified professionals

FACTORY TRAINING

Model(s):

SB100

SB100HB

HOT SURFACES! Glass and other surfaces are hot during

A WARNING

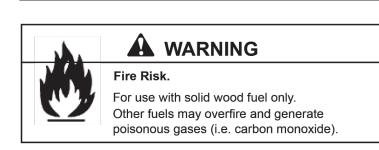
operation AND cool down. Hot glass will cause burns. DO NOT touch glass until it is cooled

 NEVER allow children to touch glass Keep children away · CAREFULLY SUPERVISE children in same room as

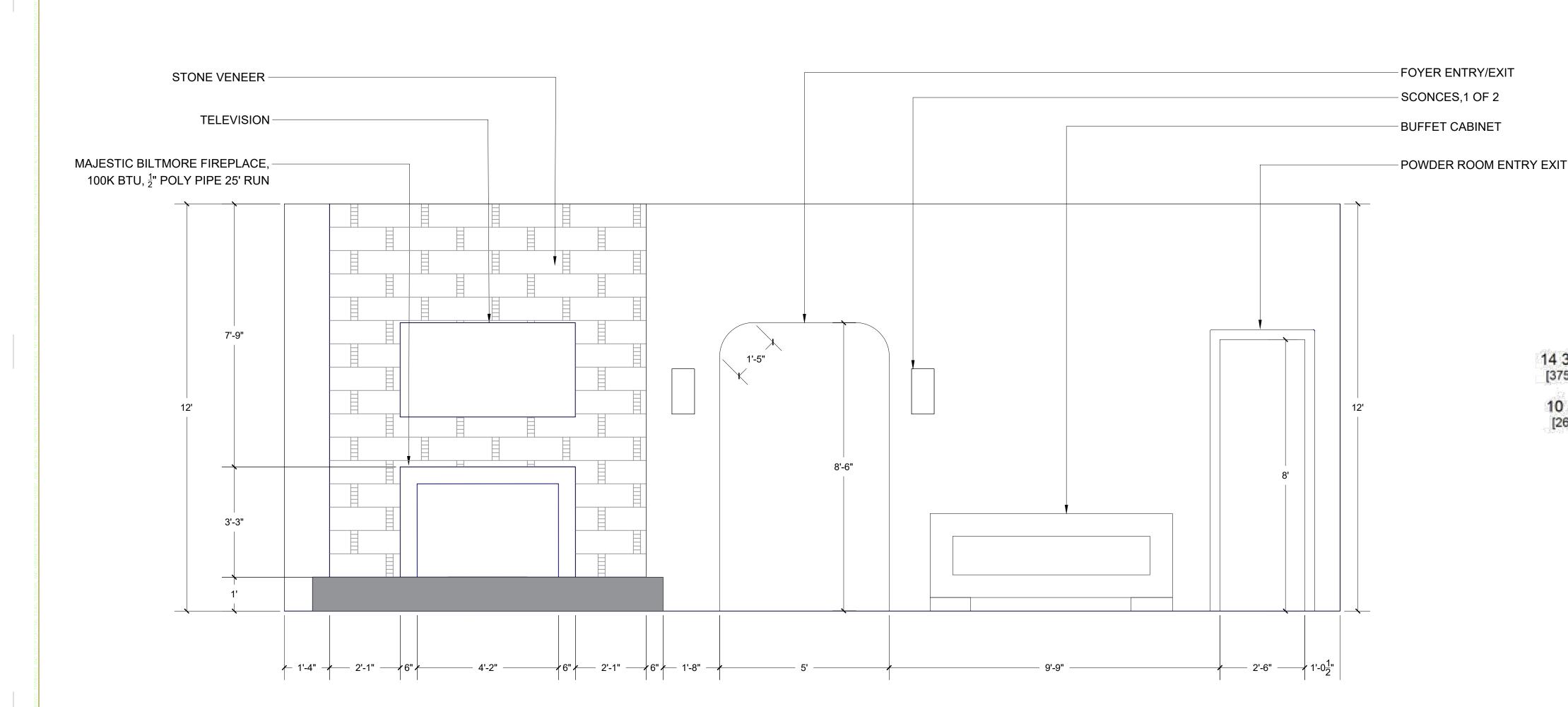
Alert children and adults to hazards of high temperatures.

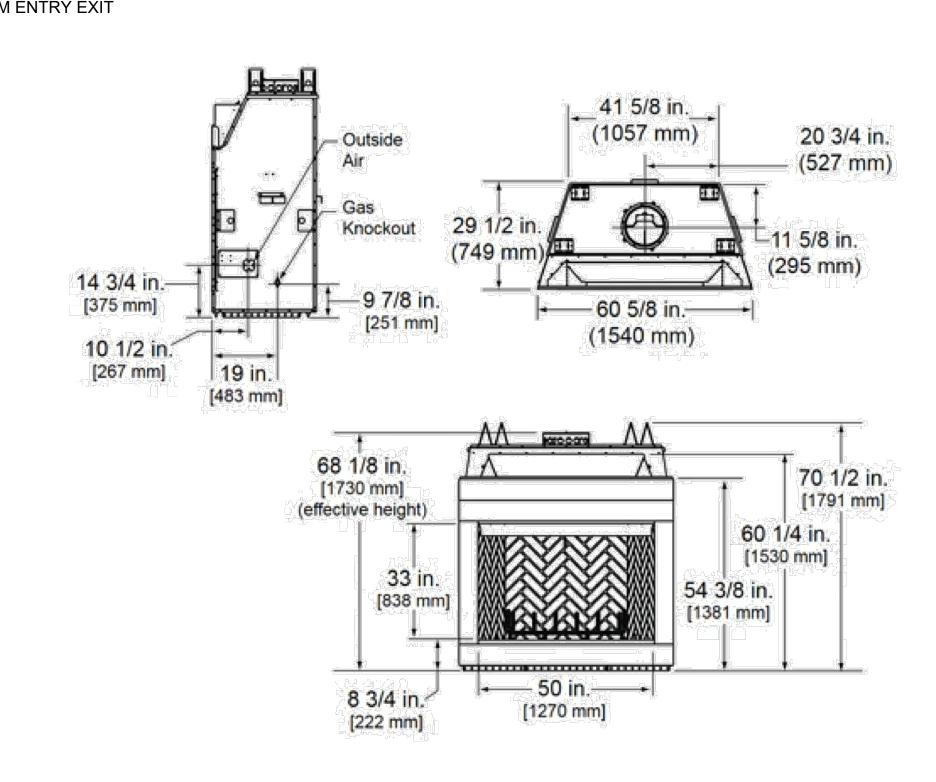
High temperatures may ignite clothing or other flammable

 Keep clothing, furniture, draperies and other flammable materials away.



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FIREPLACE CUT SHEET

Scale: NTS

SHEET TITLE: FIRE PLACE CHIMNEY

PLAN

CONSTRUCTION

MCNICKLE

 \Box

1ARGUERIT, RMEL, CA 93

4185 C

DATE: SHEET NO.: A5.2

SCALE:

FIREPLACE ELEVATION AT DINING ROOM

Scale: 1/2"=1'-0"

GENERAL NOTES

. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING: LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS, MONTEREY COUNTY CODE, STANDARD DETAILS, AND GEOTECHNICAL REPORT

THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS) THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA

. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE

CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE OWNER'S REPRESENTATIVE IMMEDIATELY. 3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY BUILDING SERVICES DEPARTMENT (COUNTY) AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.

I. THE TOPOGRAPHY, LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF TOPOGRAPHY. SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES HOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

i. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

B. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.

1. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES, THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE IUMBER WITH THE POLICE, FIRE DEPARTMENTS AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE

0. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, ITRIPING. ANY AND ALL OTHER DEBRIS FROM THE SITE. EXCESS MATERIAL FROM TRENCHING AND PAVEMENT CONSTRUCTION. TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION AT

1. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

2. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND Shall absolve the engineer of any and all responsibility associated with the the change or deviation.

3. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC

RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY. 14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT

LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH

B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.

C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. d) Landscape, seed, or cover portions of the site as soon as construction is complete.

15. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

16. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

<u>GRADING AND DRAINAGE</u>

. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (#2535) AND THE EROSION CONTROL ORDINANCE (#2806).

. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT 'ERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.

I. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO

i. Where unstable or unsuitable materials are encountered during subgrade preparation, the area in Question shall be over excavated and backfilled with select material.

MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. '. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

. Tree removal shall include removal of trunks, stumps, and rootballs. The remaining cavity shall be cleared of all roots larger than 1/2" to a depth of not less than 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

0. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE

I. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING OUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS

3. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED. 14. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

JNDERGROUND UTILITIES

CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

I. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

PER THE SOILS REPORT PREPARED BY GRICE ENGINEERING (JOB#7054-19.03 DATE APRIL 23, 2019)

DESIGN AND CONSTRUCTION OF THE PROJECT SHOULD FIT THE TOPOGRAPHIC AND HYDROLOGIC FEATURES OF THE SITE. IT IS IMPORTANT TO MINIMIZE UNNECESSARY GRADING OF OR NEAR STEEP SLOPES, DISTURBING NATIVE VEGETATION AND NATURAL SOIL STRUCTURE ALLOWS RUNOFF VELOCITY AND TRANSPORT OF SEDIMENTS TO INCREASE.

GENERAL SURFACE DRAINAGE SHOULD BE RETAINED AT LOW VELOCITY BY SLOPE, SOD OR OTHER ENERGY REDUCING FEATURES SUFFICIENT TO PREVENT EROSION, WITH CONCENTRATED OVER-SLOPE DRAINAGE CARRIED IN LINED CHANNELS, FLUMES, PIPE OR OTHER EROSION PREVENTING INSTALLATIONS.

RUNOFF FLOWS SHOULD BE DIRECTED INTO PIPES OR LINED DITCHES AND THEN ONTO AN ENERGY DISSIPATER BEFORE DISCHARGING INTO STREAMS OR DRAINAGE WAYS. DE-SILTING SHOULD BE

PROVIDED AS NECESSARY AND MAY TAKE FORM OF STILLING BASINS, GRAVEL BERMS, FORESTED/VEGETATED SCREENS, ETC. ALL CONCENTRATED ROOF AND AREA DRAINAGE SHOULD BE CONVEYED AND RELEASED TO THE GUTTER OF MARGUERITA WAY.

NO COLLECTED OR CONCENTRATED STORM RUNOFF SHOULD BE ALLOWED TO DISCHARGE TO ADJACENT SLOPES IN AND UNCONTROLLED MANNER.

A SUB-SURFACE DISPERSAL SYSTEM MAY NOT BE USED. THE SITE LITHOLOGY IS NOT SUFFICIENTLY PERMEABLE TO DISPERSE SUCH DRAINAGE.

During construction, never store cut and fill material where it may wash into streams or drainage ways. Keep all culverts and drainage facilities free of silt and debris. KEEP EMERGENCY EROSION CONTROL MATERIALS SUCH AS STRAW MULCH, PLASTIC SHEETING, AND SANDBAGS ON-SITE AND INSTALL THESE AT THE END OF EACH DAY AS NECESSARY.

RE-VEGETATE AND PROTECT EXPOSED SOILS BY OCTOBER 15. USE APPROPRIATE GRASS/LEGUME SEED MIXES AND/OR STRAW MULCH FOR TEMPORARY COVER. PLAN PERMANENT VEGETATION TO INCLUDE NATIVE AND DROUGHT TOLERANT PLANTS. SEEDING AND RE-VEGETATION MAY REQUIRE SPECIAL SOIL PREPARATION, FERTILIZING, IRRIGATION, AND MULCHING.

USE OF SPUN FILTER FABRIC IS NOT RECOMMENDED FOR USE IN CONSTRUCTION SUBSURFACE DRAINS AS THIS TYPE OF FABRIC TYPICALLY BECOMES CLOGGED. SHOULD FILTER FABRIC BE NECESSARY IT IS RECOMMENDED THAT A WOVEN FABRIC BE USED SUCH AS MIRAEL FILTERWEAVE 300. OTHERWISE WE WOULD RECOMMEND OMISSION OF THE FABRIC AND PLACEMENT OF CALTRANS CLASS 1.

TYPE 'A" OR "B" DRAIN ROCK, AND THAT ANY FABRIC ONLY BE PLACED NEAR THE TOP OF THE TRENCH BETWEEN THE GRAVEL AND EARTH BACKFILL OR WHERE THE GRAVEL EXTENDS TO GRADE, 1

GENERAL GRADING RECOMMENDATIONS

FOR THOSE ITEMS NOT DIRECTLY ADDRESSED, IT IS RECOMMENDED THAT ALL EARTHWORK BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING.

GENERAL: THIS ITEM SHALL CONSIST OF ALL CLEARING AND GRUBBING; PREPARATION OF LAND TO BE FILLED; EXCAVATION AND FILL OF THE LAND; SPREADING, COMPACTION AND CONTROL OF THE FILL; AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADED AREA TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK AS SPECIFIED HEREIN, AS SHOWN ON THE APPROVED PLANS AS STATED IN THE PROJECT

SPECIFICATIONS. Preparation: site preparation will consist of clearing and grubbing any existing structures and deleterious materials from the site, and the earthwork required to shape THE SITE TO RECEIVE THE INTENDED IMPROVEMENTS, IN ACCORDANCE WITH THE RECOMMENDED GRADING SPECIFICATIONS AND THE RECOMMENDATIONS AS PROVIDED ABOVE.

ALL VEGETABLE MATTER, IRREDUCIBLE MATERIAL GREATER THAN 4 INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE AREAS IN WHICH GRADING IS TO BE DONE. SUCH MATERIALS NOT SUITABLE FOR REUSE SHALL BE DISPOSED OF AS DIRECTED.

AFTER THE FOUNDATION FOR FILL HAS BEEN CLEARED, IT SHALL BE BROUGHT TO THE PROPER MOISTURE CONTENT BY ADDING WATER OR AERATING AND COMPACTING TO A RELATIVE COMPACTION OF NOT LESS THAN 90% OR AS SPECIFIED. THE SOILS SHALL BE TESTED TO A DEPTH SUFFICIENT TO DETERMINE QUALITY AND SHALL BE APPROVED BY THE SOILS ENGINEER FOR FOUNDATION PURPOSES

GENERAL FILL: GENERAL FILL SHALL BE PLACED ONLY ON APPROVED SURFACES, AS ENGINEERED FILL, AND SHALL BE COMPACTED TO 90% RELATIVE COMPACTION. NATIVE SOILS ACCEPTED FOR FILL OR EXISTING AGGREGATE FILL MAY BE USED FOR FILL PURPOSES PROVIDED ALL AGGREGATE LARGER THAN 6 INCHES ARE REMOVED. THE MATERIAL FOR ENGINEERED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS.

EACH LAYER SHALL BE COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 90% OR AS SPECIFIED IN THE SOILS REPORT AND ON THE ACCEPTED PLANS. COMPACTION SHALL BE CONTINUOUS OVER THE ENTIRE AREA OF EACH LAYER.

THE SELECTED FILL MATERIAL SHALL BE PLACED IN LAYERS WHICH, WHEN COMPACTED, SHALL NOT EXCEED 6 INCHES IN THICKNESS. EACH LAYER SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. FILL SHALL BE PLACED SUCH THAT CROSS FALL DOES NOT EXCEED 1 FOOT IN 20 UNLESS

WHEN FILL MATERIAL INCLUDES ROCK OR CONCRETE RUBBLE, NO IRREDUCIBLE MATERIAL LARGER THAN 4 INCHES IN GREATEST DIMENSION WILL BE ALLOWED EXCEPT UNDER THE DIRECTION OF THE SOILS ENGINEER.

IMPORTED MATERIALS: MATERIALS IMPORTED FOR FILL PURPOSES SHALL BE CLASSIFIED AS: SAND, GROUP SYMBOL SW, SP, SC OR SM, AS GIVEN IN ASTM 2487-10, "THE CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES." IN ALL CASES THE PORTION FINER THAN THE NO. 200 SIEVE SHALL NOT CONTAIN ANY GREATLY EXPANSIVE CLAYS AND SHALL BE FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS MATERIALS. THE MATERIAL FOR ENGINEERED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS.

STRUCTURAL BACKFILL: TRENCH, WALL AND STRUCTURAL BACKFILL SHALL BE PLACED ONLY ON APPROVED SURFACES, AS ENGINEERED FILL, AND SHALL BE COMPACTED TO 95% RELATIVE COMPACTION, MATERIALS IMPORTED FOR BACKFILL PURPOSES SHALL HAVE A SAND EQUIVALENT OF NO LESS THAN 30 AND SHALL BE CLASSIFIED AS CLEAN SANDS AS DESIGNATED IN "THE CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES" (ASTM 2487-10).

PAVEMENT GRADES: ALL PAVEMENT GRADES SHALL BE OF UNIFORM THICKNESS, DENSITY AND MOISTURE PRIOR TO PLACEMENT OF THE NEXT GRADE. FLEXURE OF EACH OR ALL GRADES SHALL NOT EXCEED 0.25 INCHES IN 5 FEET UNDER AN AXIAL LOAD OF 18.5 KIP.

AGGREGATE BASE COURSE: ALL AGGREGATES USED FOR SPECIFIED BASE COURSES, SHALL BE HANDLED IN A MANNER WHICH PREVENTS SEGREGATION AND NON-UNIFORMITY OF GRADATION. COMPACTION: ALL RE-COMPACTED SOILS AND/OR ENGINEERED FILL SHOULD BE PLACED AT A MINIMUM 90% RELATIVE COMPACTION OR AT THE VALUE REQUIRED FOR THAT PORTION OF THE WORK, ALL PAVEMENT SECTIONS SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.

FIELD DENSITY TESTING SHALL BE COMPLETED BY THE SOILS ENGINEER ON EACH COMPACTED LAYER OR AS DETERMINED BY THE SOILS ENGINEER. AT LEAST ONE TEST SHALL BE MADE FOR EACH 500. CUBIC YARDS OR FRACTION THEREOF, PLACED WITH A MINIMUM OF TWO TESTS PER LAYER IN ISOLATED AREAS, WHERE A SHEEPS'-FOOT ROLLER IS USED. THE SOIL MAY BE DISTURBED TO A DEPTH OF SEVERAL INCHES. DENSITY TESTS SHALL BE TAKEN IN COMPACTED MATERIALS BELOW THE DISTURBED SURFACE. WHEN THESE TESTS INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF, IS BELOW THE REQUIRED DENSITY, THAT PARTICULAR LAYER OR PORTION SHALL BE REWORKED UNTIL THE REQUIRED DENSITY HAS BEEN OBTAINED.

MOISTURE: DURING COMPACTION MOISTURE CONTENT OF NATIVE SOILS SHOULD BE THAT CONSISTENT WITH THE MOISTURE RELATIVE TO 95% RELATIVE COMPACTION AND IN NO CASE SHOULD THESE MATERIALS BE PLACED AT LESS THAN 3 PERCENT ABOVE THE SPECIFIC OPTIMUM MOISTURE CONTENT FOR THE SOIL IN QUESTION. THE ENGINEER MAY ELECT TO ACCEPT HIGH MOISTURE COMPACTED SOILS PROVIDED THE MATERIALS ARE AT 95% RELATIVE WET DENSITY AT THAT MOISTURE CONTENT.

THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE MAINTAINED IN A SUITABLE RANGE TO PERMIT EFFICIENT COMPACTION. THE SOILS ENGINEER MAY REQUIRE ADDING MOISTURE, AERATING, OR BLENDING OF WET AND DRY SOILS.

ALL EARTH MOVING AND WORK OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO AND POOLING IN EXCAVATED AREAS. ALL SUCH WATER SHALL BE PROMPTLY

TESTS: ALL MATERIALS PLACED SHOULD BE TESTED IN ACCORDANCE WITH THE COMPACTION CONTROL TESTS: "DENSITY OF SOIL IN-PLACE BY SAND CONE METHOD" (ASTM D-1556-07), "MOISTURE-DENSITY RELATIONSHIP OF SOILS" (ASTM D-1557-09), AND "DENSITY OF SOILS IN-PLACE BY NUCLEAR METHOD" (ASTM D-6938-10).

REMOVED AND THE SITE KEPT DRAINED.

THE STANDARD TEST USED TO DEFINE MAXIMUM DENSITIES OF ALL COMPACTION WORK SHALL BE THEA.S.T.M. D-1557-09, MOISTURE DENSITY OF SOILS, USING A 10-POUND RAM AND 18-INCH DROP. ALL DENSITIES SHALL BE EXPRESSED AS A RELATIVE DENSITY IN TERMS OF THE MAXIMUM DENSITY OBTAINED IN THE LABORATORY BY THE FOREGOING STANDARD PROCEDURE.

DELETERIOUS MATERIALS: MATERIALS CONTAINING AN EXCESS OF 5% (BY WEIGHT) OF VEGETATIVE OR OTHER DELETERIOUS MATTER MAY BE UTILIZED IN AREAS OF LANDSCAPING OR OTHER NON-STRUCTURAL FILLS. DELETERIOUS MATERIAL INCLUDES ALL VEGETATIVE AND NONMINERAL MATERIAL, AND ALL NON-REDUCIBLE STONE, RUBBLE AND/OR MINERAL MATTER OF GREATER THAN 6

OVER-EXCAVATIONS: OVER-EXCAVATIONS, WHEN REQUIRED, SHOULD INCLUDE THE FOUNDATION AND PAVEMENT ENVELOPES. SUCH EXCAVATIONS SHOULD EXTEND BEYOND EDGE OF DEVELOPMENT A MINIMUM OF 5 FEET AND TO AN IMAGINARY LINE EXTENDING AWAY AND DOWNWARD AT A SLOPE OF 45 DEGREES FROM THE EDGE OF DEVELOPMENT. THE PROCESS SHALL INCLUDE THE COMPLETE REMOVAL OF THE REQUIRED SOILS AND SUBSEQUENT PLACEMENT OF ENGINEERED FILL. AFTER REMOVAL OF THE SOILS TO THE REQUIRED DEPTH, THE BASE OF THE EXCAVATION SHALL BE INSPECTED AND APPROVED BY THE SOILS ENGINEER OR HIS REPRESENTATIVE PRIOR TO FURTHER SOILS PROCESSING OR PLACEMENT. BASED ON THIS INSPECTION OTHER

RECOMMENDATIONS MAY BE MADE. EXISTING CONDITIONS: IN DEVELOPED AREAS UNDERGROUND UTILITIES MAY BE LOCATED WITHIN THE AREA OF PROPOSED CONSTRUCTION. IN ADDITION, BURIED OBJECTS OR DEEPLY DISTURBED SOILS MAY ALSO BE ENCOUNTERED. AS SUCH ALL CARE AND PRACTICE IS TO BE EXERCISED TO OBSERVE FOR AND LOCATE ANY SUCH OBJECTS. WHERE THESE OBJECTS ARE TO BE REMOVED OR USE DISCONTINUED, THEY ARE TO BE REMOVED IN THEIR ENTIRETY AND ALL DISTURBED SOILS ARE TO BE PROCESSED AS ENGINEERED FILL.

KEY: ALL FILLS ON SLOPES GREATER THAN 1 VERTICAL TO 6 HORIZONTAL SHALL BE KEYED INTO THE ADJACENT SOIL. THE TOE OF ALL SLOPES SHOULD BE SUPPORTED BY A KEY CUT A MINIMUM OF 3 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILLS TOE. THIS KEY SHOULD BE A MINIMUM OF 6 FEET IN WIDTH AND SLOPE AT NO LESS THAN 10% INTO THE SLOPE. IN ADDITION, AS THE FILL ADVANCES UP SLOPE BENCHES, 3 FEET ACROSS, SHOULD BE SCARIFIED INTO THE FILL/UNDISTURBED SOIL INTERFACE.

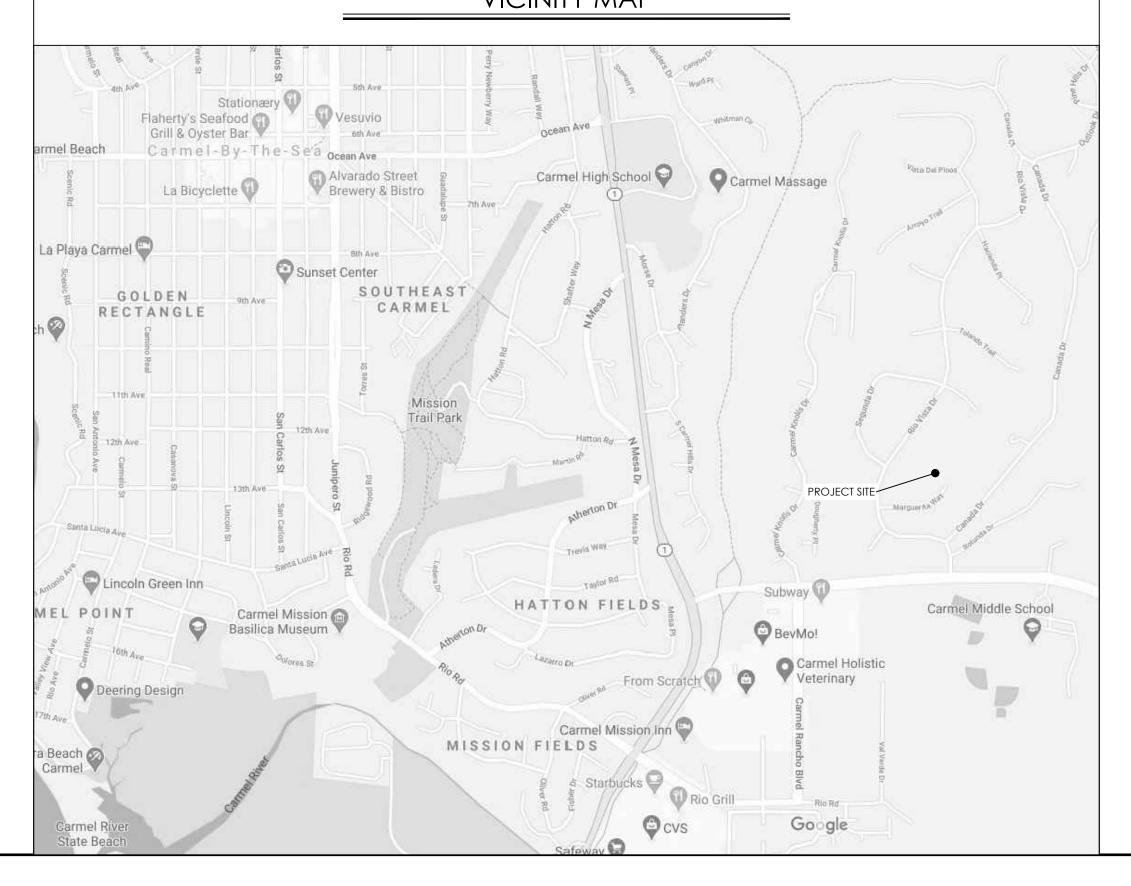
SEASONAL LIMITS: WHEN THE WORK IS INTERRUPTED BY RAIN, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TESTS BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL IS AS PREVIOUSLY SPECIFIED AND SOILS TO BE PLACED ARE IN SUITABLE CONDITION

UNUSUAL CONDITIONS: IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR THE SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.

LAND DISTURBANCE

LAND DISTURBANCE AREA = 24,375 SF

VICINITY MAP



EW RESIDENCE R=40.00' L=102.14 R=25 00' PK NAIL AND SHINER L=25.05' FP 157.03

SHEET INDEX

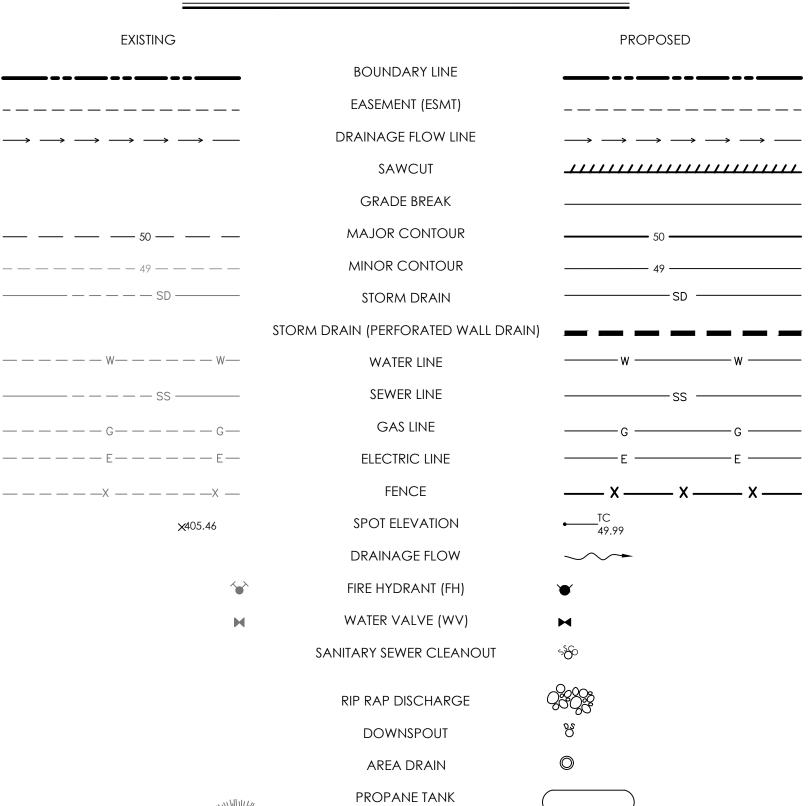
C1 TITLE SHEET

C2 GRADING & DRAINAGE PLAN

C3 PROFILE & CONSTRUCTION DETAILS

C4 EROSION CONTROL PLAN

LEGEND



TREE

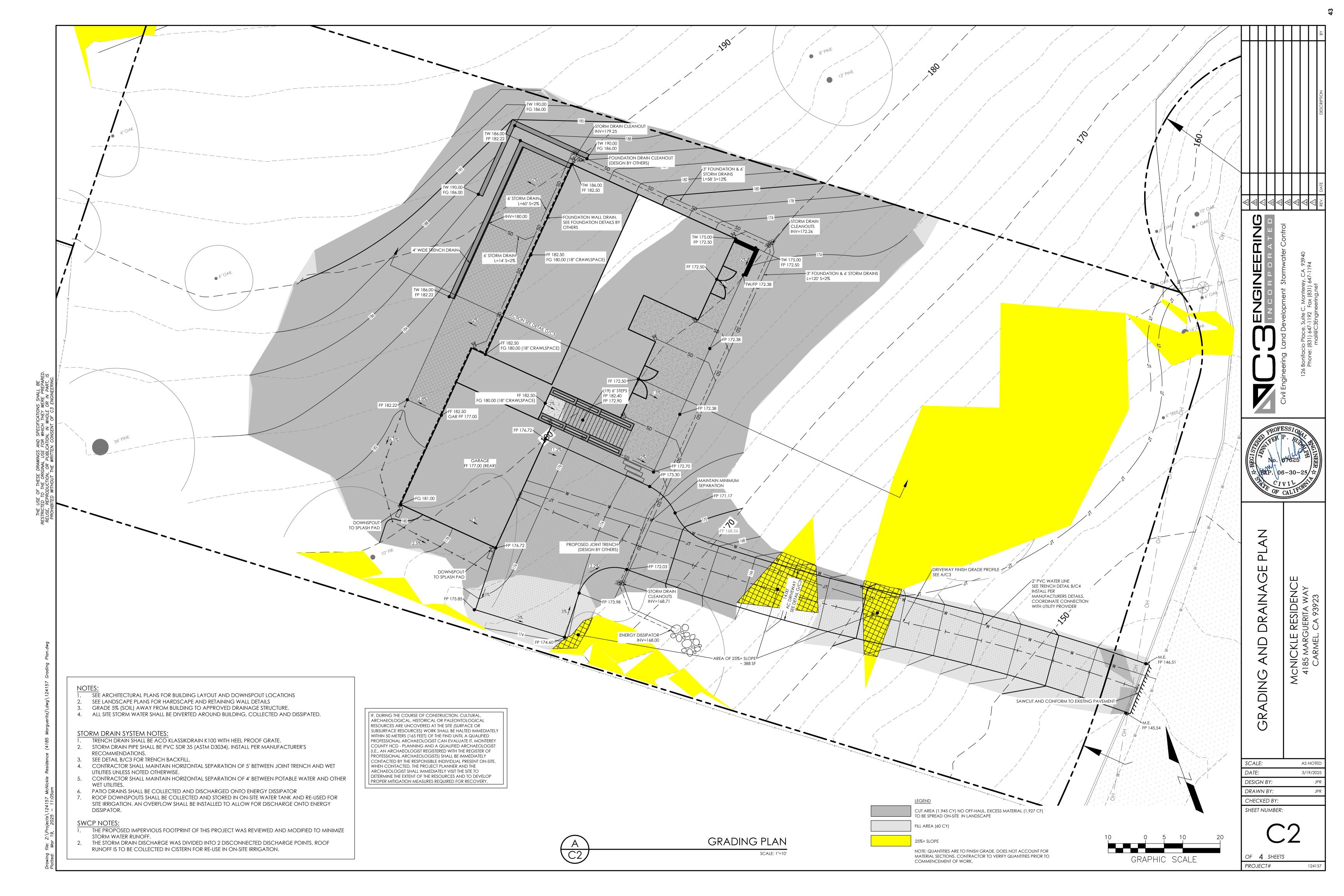
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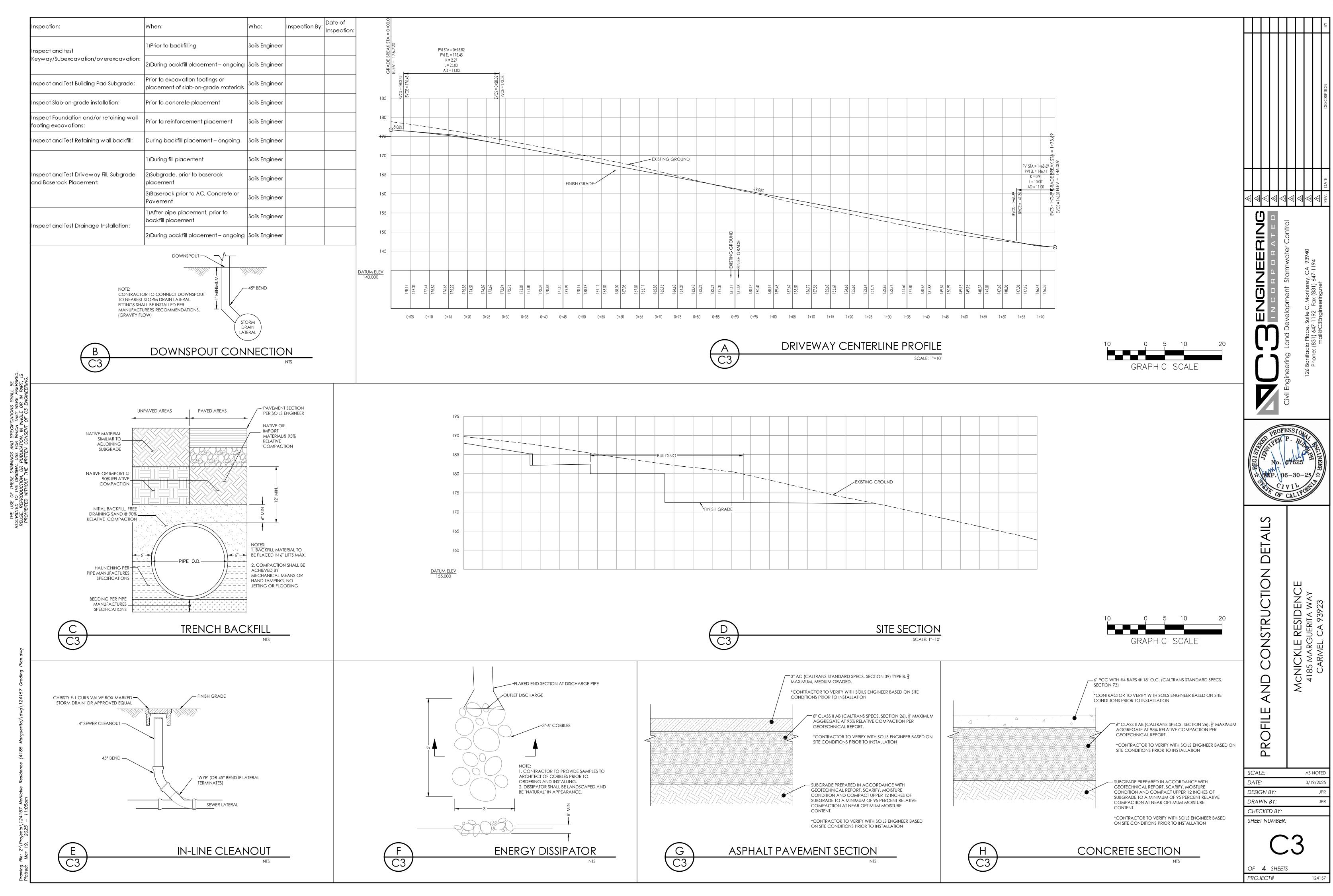
SCALE: AS NOTED 3/19/2025 **DESIGN BY:** DRAWN BY: CHECKED BY:

SHEET NUMBER:

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ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.

B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.

C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST

d) Landscape, seed, or cover portions of the site as soon as construction is complete HE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE COUNTY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN: A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL

B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.

C) RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.

GONZALES GRADING/EROSION ORD. 2806-16.12.090) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS

ARE NOT BEING CONTROLLED ADEQUATELY. 5. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

6. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED 7. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED; 8. SITE BMPS ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY). STABILIZATION BMPS INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.). BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT. CAN BE FOUND IN THE CASQA STORMWATER BEST

MONTEREY COUNTY INSPECTIONS

MANAGEMENT PRACTICE HANDBOOK.

.PRIOR TO COMMENCEMENT OF LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIROMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIUMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVEMNESS OF BMPS NSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE NSPECTION THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE

BEEN COMPLETED TO THAT POINT. B. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

4. THE APPLICANT SHALL PROVIDE CERTIFICATION FROM A LICENSED PRACTITIONER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTION IN ACCRODANCE WITH THE RECOMEMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

GOOD SITE MANAGEMENT "HOUSEKEEPING"

. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPILING OF MATERIALS.

-DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL TH AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL AND GREASE AND ORGANICS.

WASTE MANAGEMENT POLLUTION CONTROL

. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM

2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS

3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED

4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

5. PROCEDURES SHALL BE DEVELOPED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NONHAZARDOUS SPILLS. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP MMEDIATELY AND DISPOSED OF PROPERLY.

6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO HE SURROUNDING AREAS. . DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM

DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPS. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY. 8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE: WM-1, MATERIAL DELIVERY AND STORAGE

WM-2, MATERIAL USE WM-3, STOCKPILE MANAGEMENT WM-4, SPILL PREVENTION AND CONTROL WM-5, SOLID WASTE MANAGEMENT WM-6, HAZARDOUS WASTE MANAGEMENT WM-7 CONTAMINATED SOIL MANAGEMENT WM-8, CONCRETE WASTE MANAGEMENT

WM-9, SANITARY/SEPTIC WASTE MANAGEMENT WM-10, LIQUID WASTE MANAGEMENT (SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK) 9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS; SUCH AS LEAD CONTAMINATED SOILS, CONCRETE SAW-CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS' STORAGE AND

HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS. WHERE POSSIBLE,

EROSION CONTROL (SOIL STABILIZATION)

1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.

2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS. 3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY

ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF

PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION. 4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

EC-1, SCHEDULING

EC-2, PRESERVATION OF EXISTING VEGETATION EC-3, HYDRAULIC MULCH

CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

EC-4, HYDROSEEDING EC-5, SOIL BINDERS

EC-6, STRAW MULCH

EC-7, GEOTEXTILES AND MATS EC-8, WOOD MULCHING

EC-9, EARTH DIKES AND DRAINAGE SWALES EC-10, VELOCITY DISSIPATION DEVICES

EC-12, STREAMBANK STABILIZATION

EC-13, POLYACRYLAMIDE (SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING JNFAVORABLE WEATHER CONDITIONS.

SEDIMENT CONTROL

1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT 1 DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF PREDICTED RAIN AND FOR RAPID RESPONSE TO FAILURES OR EMERGENCIES.

2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE. 3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE AND ALL RUNOFF THAT

DISCHARGES OFF THE SITE. RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THIS PERMIT. 4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT

THE GRADE BREAKS OF EXPOSED SLOPES. 5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT. 6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMPS, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. TIRE WASHOFF LOCATIONS) ARE MAINTAINED AND PROTECTED

7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY. 8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS (BY VACUUMING OR SWFFPING

9. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL DURING CONSTRUCTION WHERE APPLICABLE: SE-1. SILT FENCE

SE-2, SEDIMENT BASIN SE-3, SEDIMENT TRAP

SE-4, CHECK DAMS SE-5, FIBER ROLLS

SE-6, GRAVEL BAG BERM SE-7, STREET SWEEPING AND VACUUMING

FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.

SE-8, SANDBAG BARRIER SE-9, STRAW BALE BARRIER SE-10, STORM DRAIN INLET PROTECTION

SE-11, CHEMICAL TREATMENT (SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

TRACKING CONTROL

I. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.

2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

TC-1, STABILIZED CONSTRUCTION ENTRANCE/EXIT

TC-2, STABILIZED CONSTRUCTION ROADWAY TC-3, ENTRANCE/OUTLET TIRE WASH

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

WIND EROSION CONTROL

I . WIND EROSION CONTROL BMPS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHEN SIGNIFICANT WIND AND DRY CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OI WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT SITE BY WIND. 2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:

WE-1. WIND EROSION CONTROL (SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

NON-STORMWATER MANAGEMENT POLLUTION CONTROL

1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).

2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING

CONSTRUCTION. 3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES. 4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER

DISCHARGES 5. IN ADDITION TO THE ABOVE. THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE

NON-STORMWATER MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:

NS-1, WATER CONSERVATION PRACTICES

NS-2. DEWATERING OPERATIONS NS-3, PAVING AND GRINDING OPERATIONS

NS-4, TEMPORARY STREAM CROSSING NS-5, CLEAR WATER DIVERSION

NS-6, ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING NS-7, POTABLE WATER / IRRIGATION

NS-8, VEHICLE AND EQUIPMENT CLEANING

NS-9, VEHICLE AND EQUIPMENT FUELING NS-10, VEHICLE AND EQUIPMENT MAINTENANCE

NS-11, PILE DRIVING OPERATIONS NS-12, CONCRETE CURING

NS-13, MATERIALS AND EQUIPMENT USE OVER WATER NS-14, CONCRETE FINISHING

EROSION CONTROL FACILITIES.

NS-15, STRUCTURE DEMOLITION/REMOVAL NS-16, TEMPORARY BATCH PLANTS

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

MONTEREYSEA.ORG STANDARD EROSION CONTROL NOTES:

THIS PLAN MAY NOT COVER ALL THE SITUATIONS OR PHASES THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS IN GENERAL. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES 2. EROSION CONTROL FACILITIES SHALL BE MAINTAINED THESE FACILITIES SHALL CONTROL AND CONTAIN

EROSION--CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT FREE STORM WATER INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE . THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALI

STORM WATER QUALITY MEASURES & IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR A PROJECT STOP ORDER. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.

5. IF EXISTING DRIVEWAY IS REMOVED DURING CONSTRUCTION, THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (8" MINIMUM THICKNESS FOR THE FULL WIDTH AND LENGTH OF SITE EGRESS AREA AS DEFINED IN THESE PLANS) AT ENTRANCE TO THE SITE. CONSTRUCTION EGRESS SHALL BE EQUIPPED WITH A TRUCK WASHING STATION. ALL TRUCKS SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE COUNTY ENGINEER. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM.

DURING PERIODS WHEN STORMS ARE FORECAST: A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.

B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY. C. WHERE STOCKPILING IS NECESSARY, USE A TARPAULIN OR SURROUND THE STOCKPILED MATERIAL WITH FIBER ROLLS, GRAVEL SEDIMENT BARRIER, SILT FENCE, OR OTHER RUNOFF CONTROLS. D. USE INLET CONTROLS AS NEEDED (E.G. BLOCK & GRAVEL SEDIMENT BARRIER) FOR STORM DRAIN ADJACENT TO

THE PROJECT SITE OR STOCKPILED SOIL THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT. STAND-BY CREWS SHALL BE ALERTED BY THE PERMIT APPLICANT OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.

10. AFTER OCTOBER 15TH TO APRIL 15TH, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. BREACHES IN DIKES AND TEMPORARY SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.

11. AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS. 12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.

13. SANDBAGS SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR 14. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO

16. AFTER RAINSTORMS CONTRACTOR SHALL CHECK FOR AND REMOVE SEDIMENT TRAPPED BY SAND BAGS AT STAGING. REPLACE SAND BAGS IF DETERIORATION IS EVIDENT. 17. DUST CONTROL SHOULD BE PRACTICED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEEDED. IT IS IMPORTANT IN WINDY OR WIND-PRONE AREAS. DUST CONTROL IS CONSIDERED A TEMPORARY MEASURE AND AS AN INTERMEDIATE TREATMENT BETWEEN SITE DISTURBANCE AND CONSTRUCTION, PAVING, OR REVEGITATION.

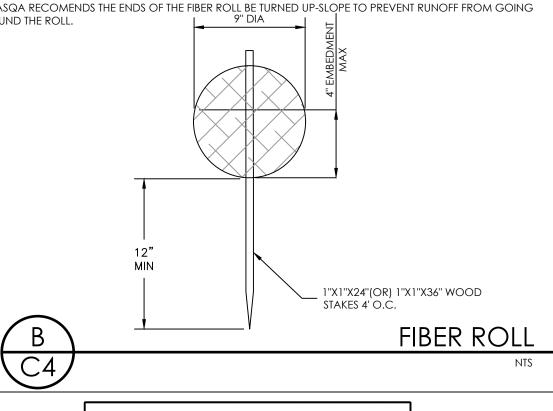
USE 1"X1"X2" OR 1"X1"X3" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER HE STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.

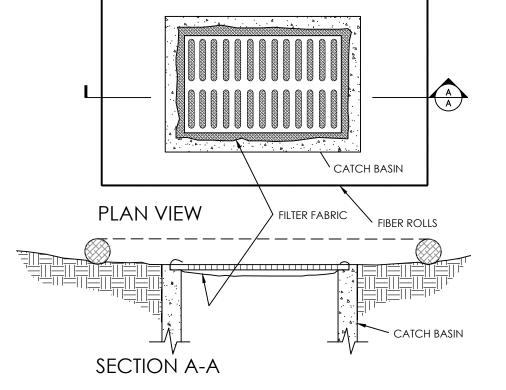
CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE iverlapped, not abutted.if contractor desires to position fiber rolls end-to-end, they shall tie the TTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.

. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

. CONSTRACTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE. (SE-5)

CASQA RECOMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP-SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.









7th Ave

CONCRETE WASHOUT

Vestivio

Ocean Ave

iset Center

6th Ave

Alvarado Street

Brewery & Bistro

SOUTHEAST

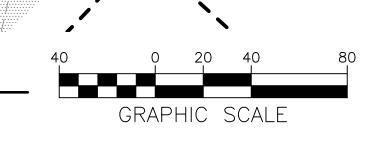
CARMEL

Trail Park

SEE DETAIL E/C5

MATERIAL STORAGE

PORTABLE TOIL



TO CARMEL

VALLEY ROAD

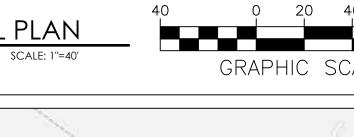
Carmel Middle School

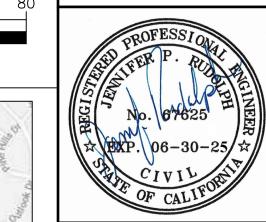
ONSTRUCTION ENTRANC

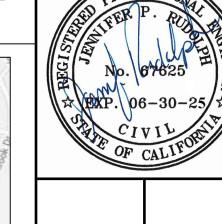
SEE DETAIL D/C5

INSTALL INLET PROTECTION ON

DOWNSTREAM CATCH BASIN INLET







 \Box

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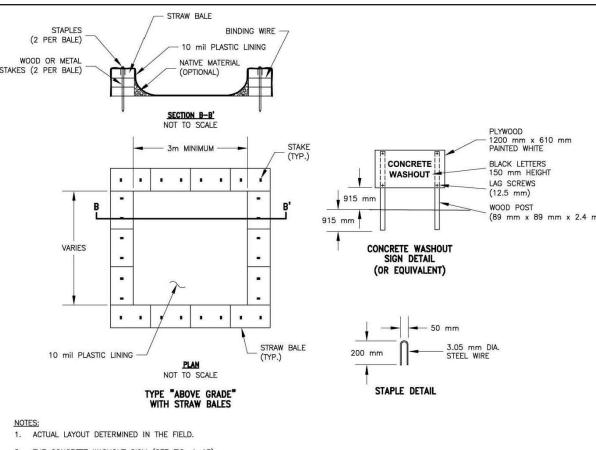
SCALE: AS NOTED 3/19/2025 **DESIGN BY:** DRAWN BY: CHECKED BY: SHEET NUMBER:

CONSTRUCTION HAUL ROUTE

MISSION FIELDS

HATTON FIELDS

ENTRANCE/EXIT TO STABILIZED CONSTRUCTION ENTRANCE AREA **FABRIC** UNDER 6"-8" FRACTURED ROCK CONSTRUCTION ENTRANCE



THE CONCRETE WASHOUT SIGN (SEE FIG. 4-15) SHALL BE INSTALLED WITHIN 10 m OF THE TEMPORARY CONCRETE WASHOUT FACILITY. SOURCE: CALTRANS CALTRANS/FIG4-14.DWG SAC 8-14-02

JSE FENCE TO CONFINE

CONCRETE WASHOUT

M × × 38 ≥

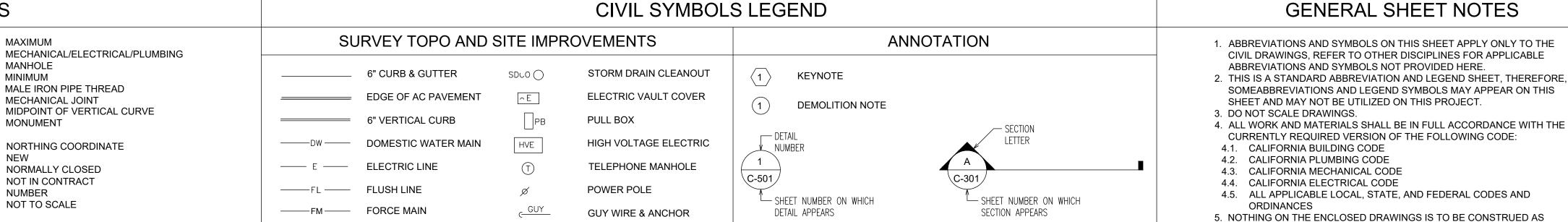
PROJECT#

EC-11, SLOPE DRAINS

C 89522 EXP 03/31/27 Checked By PEM PEM

Project No. 202302B | AS SHOWN MAR 2025

Date Revision/Issue



JOINT POLE

STREET LIGHT

ELECTROLIER

TRAFFIC SIGNAL

TRAFFIC SIGNAL

PEDESTRIAN LIGHT

PEDESTRIAN PUSH BUTTON

CROSSWALK DETECTOR

STREET LIGHT PULLBOX

SIGN (AS NOTED)

THRUST BLOCK

BUTTERFLY VALVE

GATE VALVE

CAP

DEMO

WELL

PUMP

BALL VALVE

SSD FILTER

CHECK VALVE

FLOW METER

FLOAT VALVE

ISOLATION VALVE

PRESSURE GAUGE

PRESSURE SWITCH

ACTUATED BALL VALVE

AIR/VACUUM BREAKER

PRESSURE REGULATOR

SOLENOID VALVE

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O DET

SL

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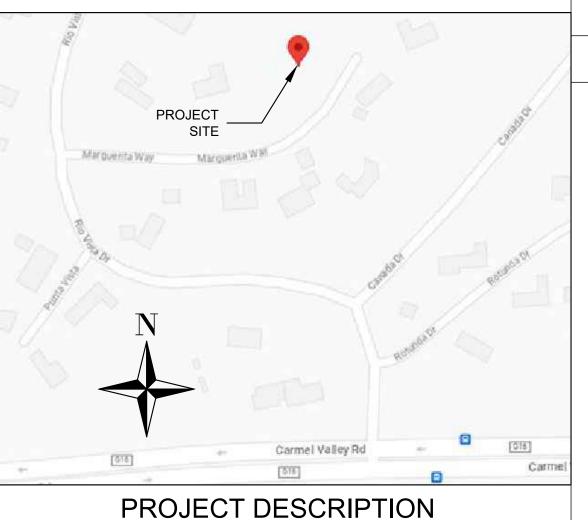
DETAIL INDICATOR

SITE VICINITY

SECTION INDICATOR

VILLAGE PEBBLE BEACH JACK S PEAK Carmel-By-The-Sea Hacienda Carmel **PROJECT** SITE Sea Lion Point State Natural

SITE LOCATION



GENERAL: NEW OWTS BASIS: NEW SFD

INDEX

6. ANY DEVIATIONS FROM THE PROPOSED PLANS SHALL BE DISCUSSED

WITH THE PROJECT ENGINEER PRIOR TO MAKING CHANGES IN THE

REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE CODES,

ORDINANCES, OR REGULATIONS DESCRIBED ABOVE.

	V	/ASTEWATER SHEETS
NO.	SHEET	TITLE
1	WW 1	COVER SHEET
2	WW 2	EXISTING SITE LAYOUT
3	WW 3	WASTEWATER SYSTEM PLAN
4	WW 4	WASTEWATER SYSTEM SCHEMATIC AND DETAILS
5	WW 5	WASTEWATER SYSTEM SPECIFICATIONS (AND EROSION CONTROL NOTES)

PROJECT DESIGN AND OPERATION NOTES

FACILITY TYPE: RESIDENTIAL UNIT FLOW BASIS: # OF BEDROOMS # OF UNITS: NEW 4 BEDROOM SFD AND FUTURE 1 BEDROOM ADU DESIGN FLOWS: 750 GPD TREATMENT CATEGORY: ENHANCED/ALTERNATIVE TREATMENT SYSTEM: ORENCO ADVANTEX AXRT25 WASTEWATER STRENGTH: DOMESTIC RESIDENTIAL STRENGTH

DOMESTIC STRENGTH DEFINITION: <220 MG/L BOD, <60 MG/L TSS, <60 MG/L TN

SOIL TESTING RESULTS AND DISPOSAL DESIGN

SITE 1: 4215 MARGUERITA WAY, CARMEL, CA APN: 015-42-015 (LOT 9B)

MYER ENGINEERING OBSERVED THE SOIL CHARACTERISTICS OF A TEST PIT EXCAVATED TO A DEPTH OF 13' BELOW GROUND LEVEL (BGL) AND A SOIL BORING DRILLED TO A DEPTH OF 25' BGL. THE LOCATION OF THE TEST PIT AND BORING ARE PROVIDED ON THE PROJECT DESIGN PLANS. THE FOLLOWING SOIL PROFILE WAS OBSERVED:

0'- 2' BGL: BLACK FINE SANDY LOAM 2'- 4.5' BGL: DARK GREY CLAY W/ SCATTERED CHERT/ SHALE FRAGMENTS 4.5'- 9' BGL: REDDISH BROWN SANDY CLAY 9'- 13' BGL: VERY DENSE GREY SANDY CLAY W/ CHERT/SHALE

GROUNDWATER WAS NOT ENCOUNTERED AND GROUNDWATER INDICATORS WERE NOT PRESENT

TEST HOLE #6 (P-6): DEPTH = 1.5', RATE = 60 MPI OVERALL AVERAGE STABILIZED RATE = 16.6 MPI

THE SEPTIC/WASTEWATER SYSTEM SHALL BE INSTALLED BY A QUALIFIED PROFESSIONAL

OVERHEAD ELECTRIC OFFICIAL RECORDS ——— IRR ——— IRRIGATION LINE PROPOSED —— OH —— OVERHEAD WIRES PAVEMENT ELEVATION PLANTER AREA ---- OHE---- OVERHEAD ELECTRIC PULL BOX POINT OF COMPOUND CURVATURE PCC OVERHEAD TELEPHONE PORTLAND CEMENT CONCRETE PLAIN END ----- RW ----- RECYCLED WATER PED PEDESTRIAN **PERF** PERFORATED —— SS —— SANITARY SEWER LINE POTHOLE PID POINT ID ----- SD ----- STORM DRAIN LINE POST INDICATOR VALVE PROPERTY LINE ----- SL ---- STREET LIGHT CONDUIT PM PARKING METER PMH **POWER MANHOLE** —— c —— TELECOMMUNICATIONS PO PUSH-ON POC POINT ON CURVE TEL—TEL—TELEPHONE LINE POI POINT OF INTERSECTION POWER POLE —— TV —— TELEVISION LINE PRC POINT OF REVERSE CURVATURE PRV PRESSURE REDUCING VALVE — W — WATER LINE **PRUE** PRIVATE UTILITY EASEMENT PΤ POINT OF TANGENCY -----UGE------ UNDERGROUND ELECTRIC PUE PUBLIC UTILITY EASEMENT PVC POLYVINYL CHLORIDE PIPE TRENCH DRAIN RIGHT RADIUS (CURVE) RELATIVE COMPACTION **RCP** REINFORCED CONCRETE PIPE RJ RESTRAINED JOINT - × - CHAIN LINK FENCE **RADIUS POINT RPBFP** REDUCED PRESSURE BACKFLOW PREVENTER ——···—— FLOW LINE RPPA R EDUCED PRESSURE PRINCIPLE ASSEMBLY RECEIVING AND SUPPORT CENTER RW RECYCLED WATER R/W, ROW RIGHT OF WAY — – CENTER LINE SOUTH, SLOPE — – – PROPERTY LINE SEE ARCHITECTURAL DRAWINGS SD STORM DRAIN — — — MONUMENT LINE SDCB STORM DRAIN CATCH BASIN SDI STORM DRAIN INLET ————— EASEMENT LINE SDMH STORM DRAIN MANHOLE SDCO STORM DRAIN CLEANOUT FINISH GRADE _____FG____ S.E.D. SEE ELECTRICAL DRAWINGS SF SILT FENCE

— # — CONTOUR ELEVATION LINE

—— G —— GAS LINE

乛 *\ SURFACE DRAINAGE SLOPE SPOT ELEVATION

2.0%_ ---- GRADE BREAK **IRRIGATION BOX**

— — — LIMIT OF WORK/GRADING GAS METER GAS VALVE WATER METER

WATER VALVE WATER METER OR BFP

FIRE HYDRANT FIRE DEPARTMENT CONNECTION WATER TAPPING SADDLE

SEWER MANHOLE SEWER CLEANOUT SEWER LAMP HOLE SEWER VENT

STORM DRAIN MANHOLE СВ CATCH BASIN

CURB INLET DRAINAGE INLET

DESIGN FLOWS, VOLUMES, AND TREATMENT

13'- 25' BGL: DENSE SANDY SHALE

TEST HOLE #1 (P-1): DEPTH = 2', RATE = 5.0 MPI TEST HOLE #2 (P-2): DEPTH = 1.5', RATE = 2.7 MPI TEST HOLE #3 (P-3): DEPTH = 2.5'. RATE = 21.8 MPI TEST HOLE #4 (P-4): DEPTH = 1.5', RATE = 8.6 MPI TEST HOLE #5 (P-5): DEPTH = 1.5', RATE = 1.3 MPI

SEE SHEETS WW3 AND WW4 FOR SYSTEM SIZING CALCULATIONS AND DETAILS

WATER SUPPLY: PUBLIC

OWNER IS RESPONSIBLE FOR GENERAL OPERATION AND MAINTENANCE OF THE WASTEWATER SYSTEM

FT FW GB GI GRD, G GV HORIZ

HP INST IRR

L=

FIRE HYDRANT LANDSCAPE LANDSCAPE ARCHITECT

WITH YDS YARDS

ABBREVIATIONS

MEP

MH

MIN

MIPT

MJ

MPVC

MON

NIC

NO

NTS

SG

SHT

S.L.D.

SMH

S.M.D

S.P.D

S.S.D.

SSD

SSCO

SSFM

SSMH

SSPS

STA

STD

STL

S/W

SVP

TC

TD

TEL

TFC

THK

TOD

TOE

TS

TYP

UON

U/G

TW,TOW

TEMP

SS

SHLDR

SUBGRADE

SHOULDER

STREETLIGHT

SIGNAL MANHOLE

SANITARY SEWER

SUBSURFACE DRIP

SEE LANDSCAPE DRAWINGS

SEE MECHANICAL DRAWINGS

SEE STRUCTURAL DRAWINGS

SANITARY SEWER CLEANOUT

SANITARY SEWER MANHOLE

SILICON VALLEY POWER

SANITARY SEWER FORCE MAIN

SANITARY SEWER PUMP STATION

SEE PLUMBING DRAWINGS

SHEET

STATION

STEEL

STANDARD

SIDEWALK

TELEPHONE

TELEPHONE

TEMPORARY

TOP OF DOCK

TOE OF SLOPE

TOP OF WALL

TOP OF SLAB

UNDERGROUND

VERTICAL CURVE

WEST, WATER

TYPICAL

THICK

TOP OF CURB

TRENCH DRAIN

TOP FACE OF CURB

UNLESS OTHERWISE NOTED

MANHOLE

MINIMUM

MONUMENT

NUMBER

NOT TO SCALE

DIAMETER

ABANDONED

AREA DRAIN

AGGREGATE

ALIGNMENT

ASPHALT

BEGIN

BUILDING

BOLLARD

BEGIN CURVE

ABDN

ACP

ACM

AGG

ALGN

ARV

ASB

ASPH

BC

BEG

BLDC

BLDG

BMP

BOD

BOL

BSW

BVC

BW

CB

CI

CIP

CL

CLR

CLSM

CMN

CMP

CONC

CONST

CONF

CSC

CU

CY

D=

DCDA

DEMO

DEPT

DET

DI

DIA

DIP

DW

EC

ELEC

EP

EVA

(E)

F/C,FC

FD

FDC

FG

FΗ

FIPT

FL

FLG

FOUND

FM

FS

FF,FFE

DOM

DWG

CO

C&G

CG&S/W

BFP

ΑD

AGGREGATE BASE

AIR RELEASE VALVE

AGGREGATE SUBBASE

BACK FLOW PREVENTER

BEST MANAGEMENT PRACTICES

FINISHED GRADE AT BOTTOM OF WALL

CONTROLLED LOW-STRENGTH MATERIAL

BUILDING CORNER

BOTTOM OF DOCK

BACK OF SIDEWALK

CONCRETE OR CIVIL

CURB AND GUTTER

CAST IRON PIPE

COMMUNICATION

CENTERLINE

CLEAN OUT

CONCRETE

CUBIC

CUBIC YARD

DEMOLISH

DIAMETER

DOMESTIC

DRAWING

EL, ELEV ELEVATION

EX,EXIST, EXISTING

END CURVE

ELECTRICAL

FUTURE

FOUND

FLANGE

FOUNDATION

FOOT, FEET

FIRE WATER

GRADE BREAK

GROUND

GATE VALVE

HORIZONTAL

HIGH POINT

IRRIGATION

JOINT POLE

JOINT TRENCH

LENGTH (CURVE)

HEIGHT

INVERT

INSTALL

GALVANIZED IRON

HOT MIX ASPHALT

FIRE ALARM

FACE OF CURB

FINISH GRADE

FIRE HYDRANT

FLOW LINE, FLANGE

FINISHED SURFACE

EXISTING GRADE

EDGE OF PAVEMENT

DUCTILE IRON PIPE

DOMESTIC WATER

DETAIL

DEPARTMENT

DELTA (CURVE)

CLEAR

CATCH BASIN

BEGIN VERTICAL CURVE

CURB, GUTTER & SIDEWALK

CAST IRON OR CURB INLET

CORRUGATED METAL PIPE

CONFORM TO EXISTING

CITY OF SANTA CLARA

CONSTRUCTION OR CONSTRUCT

DOUBLE CHECK DETECTOR ASSEMBLY

DROP INLET, DUCTILE IRON

EASTING COORDINATE, ELECTRIC

EMERGENCY VEHICLE ACCESS

FIRE DEPARTMENT CONNECTION

FINISHED FLOOR ELEVATION

FEMALE IRON PIPE THREAD

FLOWMETER/FORCE MAIN

GAS, GROUND ELEVATION

ACRE, ASPHALT CONCRETE

ASBESTOS CONTAINING MATERIAL

ASBESTOS CEMENT PIPE

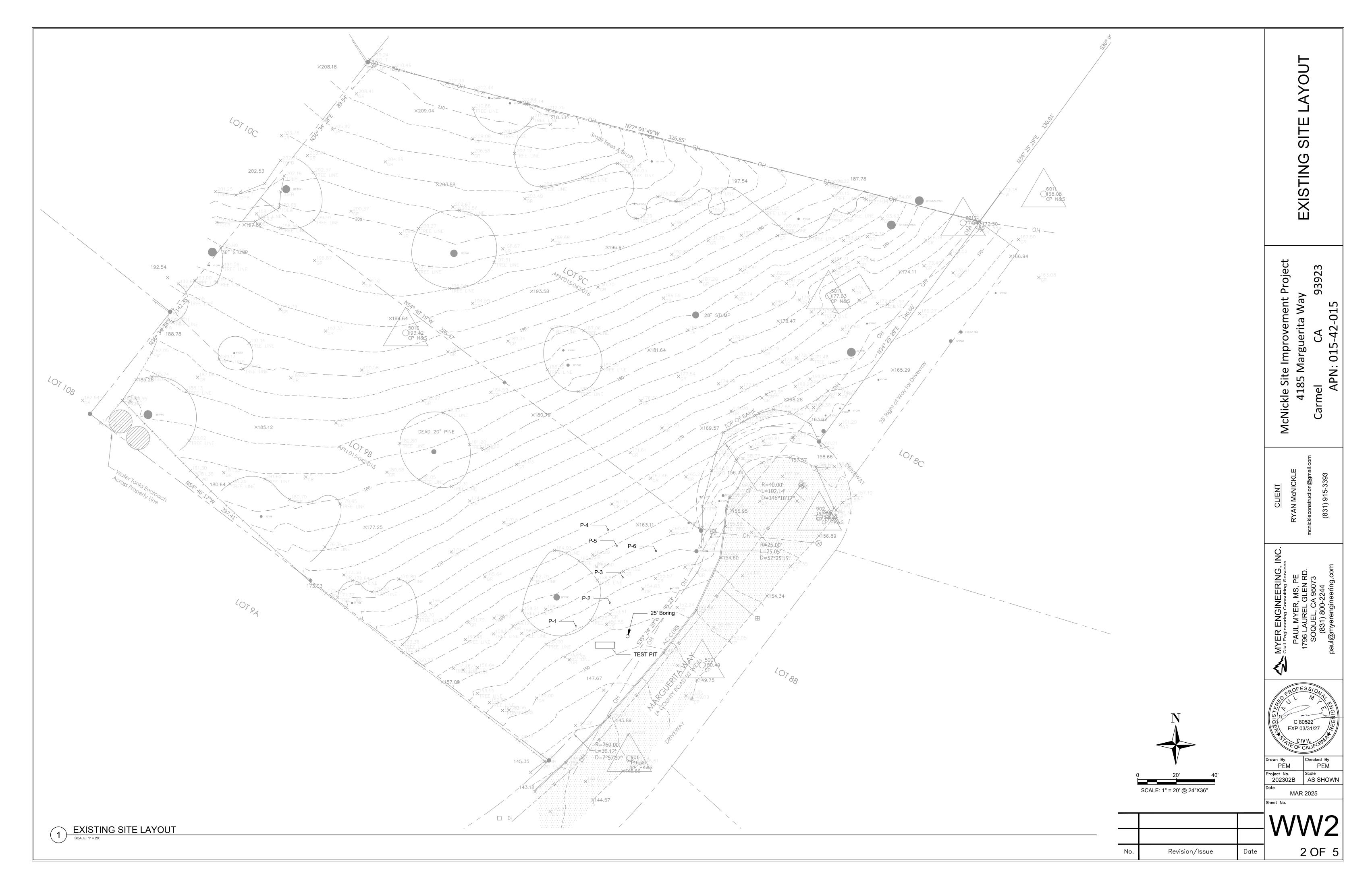
WELDED WIRE FABRIC

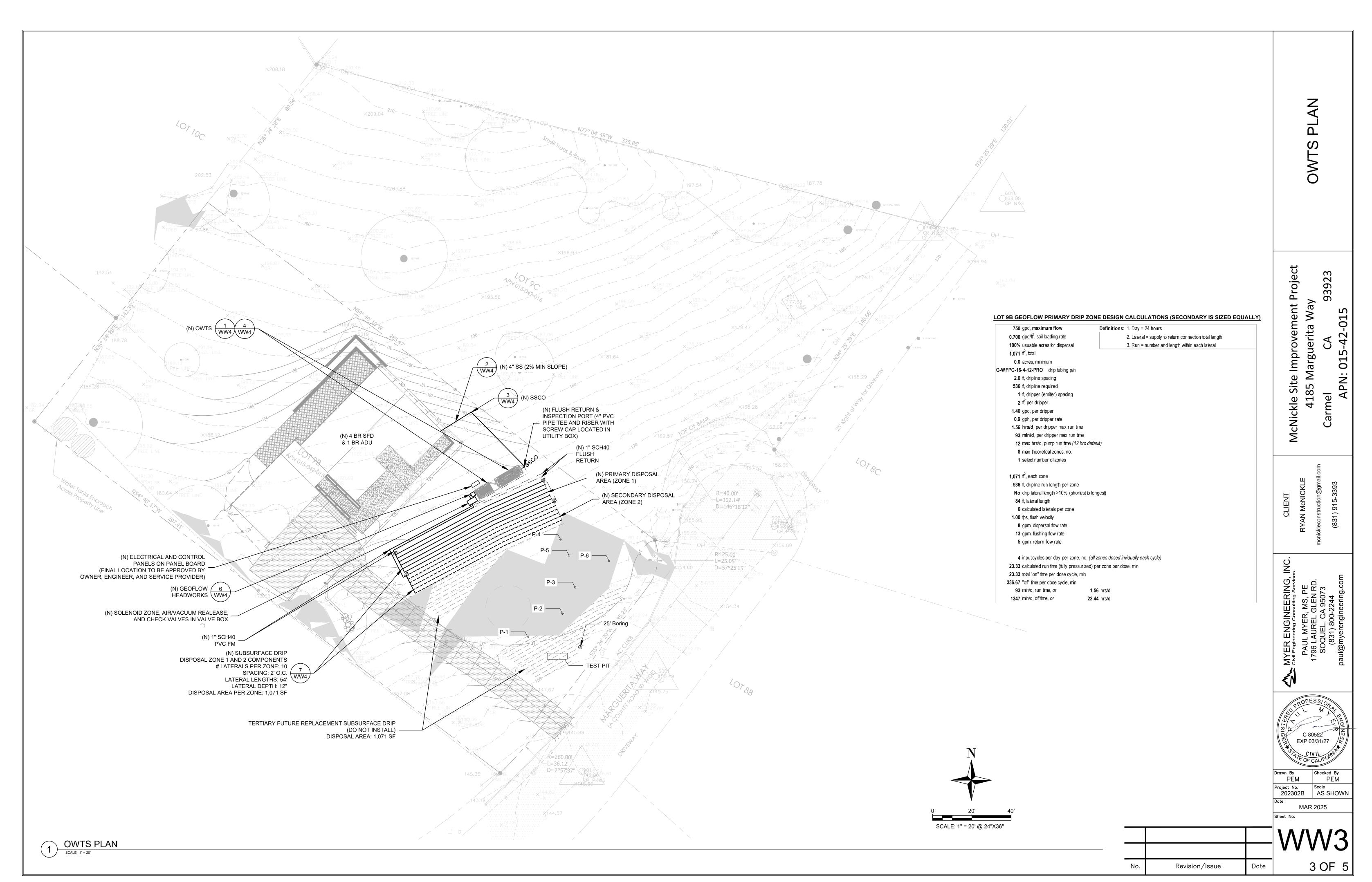
WWF

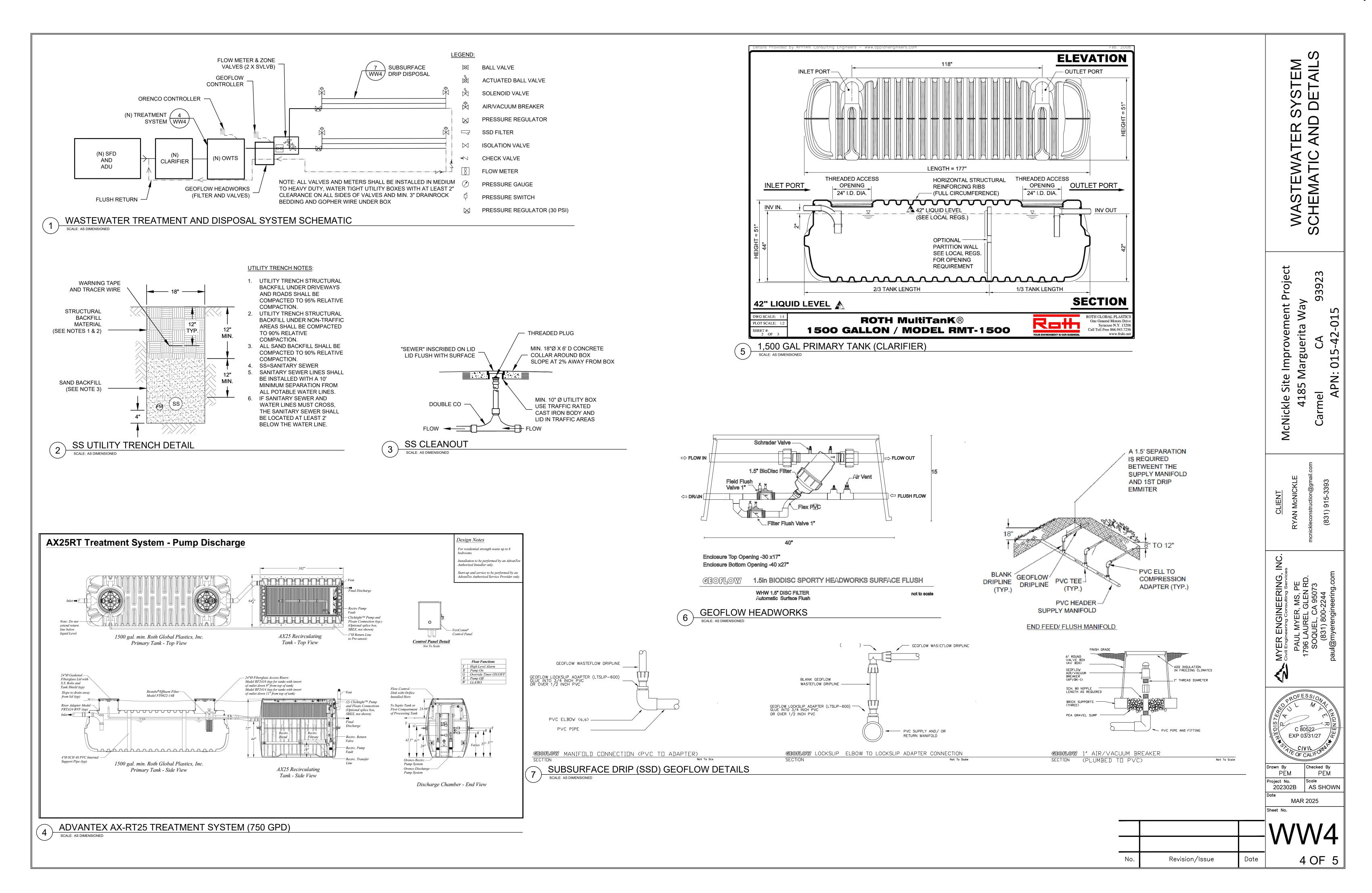
MEDICAL AIR

LIGHT POLE, LOW POINT WM WATER METER WV WATER VALVE LS LSA

LINEAR FEET LATERAL LIP LIP OF GUTTER LPFH







Project No.

Revision/Issue Date

GENERAL SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE FOR THE INSTALLATION OF THE ENHANCED WASTEWATER TREATMENT SYSTEM AT THE LOCATION SPECIFIED IN THE BORDER OF THESE DESIGN PLANS. THE ACCOMPANIED PLANS PRESENT THE GENERAL LAYOUT, PLUMBING CONFIGURATION, AND CONSTRUCTION

MATERIAL SPECIFICATIONS

THE FOLLOWING ARE MATERIAL SPECIFICATIONS FOR THE WASTEWATER SYSTEM COMPONENTS. ALL MATERIALS USED FOR THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND AS DESCRIBED IN THE ACCOMPANIED PLANS OR AN ENGINEER APPROVED EQUIVALENT.

SUBSURFACE TANKS

ALL SUBSURFACE TANKS SHALL MEET THE FOLLOWING SPECIFICATIONS:.

- 1.1. DIMENSIONS, FITTING SIZES AND LOCATIONS, AND OPTIONAL ACCESSORIES SHALL BE INCLUDED AS SHOWN ON TANK DRAWINGS. THE TANK SHALL BE WATERTIGHT AND TESTED IN THE FIELD AFTER
- 1.2. PRODUCT STORAGE. THE SUBSURFACE TANKS SHALL BE CAPABLE OF STORING SEPTAGE LIMITED TO THE COLLECTION AND STORAGE OF HUMAN SOLID OR LIQUID ORGANIC WASTE.
- 1.3. PIPING. SDR35 PVC PIPE, SCHEDULE 40 PVC PIPE, OR ABS PIPE SHALL BE USED FOR INLET AND OUTLET PIPING AS SHOWN ON DRAWINGS. ALL PIPING SHALL BE FACTORY SEALED TO ENABLE FIELD TIGHTNESS TESTING WITH AT LEAST ONE PIPE OPENING PROVIDED WITH A THREADED FITTING FOR CONNECTING A PRESSURE TEST MANIFOLD.
- 1.4. ACCESS OPENINGS. ALL ACCESS OPENINGS SHALL BE 30 INCHES IN DIAMETER OR LARGER AS SHOWN ON THE PLANS, SHALL BE MANUFACTURED OF FIBERGLASS, CONCRETE OR CAST IRON WITH RESPECT TO SPECIFIED TRAFFIC RATING. LOCATIONS SHALL BE AS SHOWN ON TANK DRAWINGS. EACH MANHOLE SHALL HAVE A WATERTIGHT RISER TO FINISH GRADE.
- 1.5. RISERS. RISERS SHALL BE REQUIRED FOR ACCESS TO INTERNAL VAULTS AND ACCESS INTO THE TANKS FOR SEPTAGE PUMPING. ALL RISERS SHALL BE CONSTRUCTED WITH WATERTIGHT SEALS PROVIDED. RISERS SHALL BE A MINIMUM OF 30" IN NOMINAL DIAMETER WHEN THE DEPTH OF BURY IS 36" OR GREATER. TO ENSURE PRODUCT COMPATIBILITY, RISERS, LIDS, AND ATTACHMENT COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER AND, WHERE APPLICABLE, SHALL BE FACTORY EQUIPPED WITH THE FOLLOWING:
 - 1.5.1. ADHESIVE. WHEN BONDING TO THE RISER RINGS, AN EPOXY PROVIDED BY THE MANUFACTURER SHALL BE USED. ADHESIVES AND SEALANTS SHALL BE WATERPROOF, CORROSION RESISTANT, AND APPROVED FOR THE INTENDED APPLICATION. THE RISER-TO-TANK CONNECTION SHALL BE WATERTIGHT AND STRUCTURALLY SOUND. THE RISER-TO-TANK CONNECTION SHALL BE CAPABLE OF WITHSTANDING A VERTICAL UPLIFT OF 5,000 POUNDS TO PREVENT RISER SEPARATION DUE TO TANK SETTLEMENT, FROST HEAVE, AND VEHICLE TRAFFIC OVER THE TANK.
 - 1.5.2. LIDS. ONE LID SHALL BE FURNISHED WITH EACH ACCESS RISER. LIDS SHALL BE WATERPROOF, CORROSION RESISTANT, AND UV RESISTANT. LIDS SHALL BE FLAT, WITH NO NOTICEABLE UPWARD DOME. LIDS SHALL NOT ALLOW WATER TO POND ON THEM. LIDS SHALL FORM A WATERTIGHT SEAL WITH THE TOP OF RISER. TRAFFIC-RATED LIDS SHALL BE CAPABLE OF WITHSTANDING A TRUCK WHEEL LOAD (36 SQUARE INCHES) OF 2500 POUNDS FOR 60 MINUTES WITH A MAXIMUM VERTICAL DEFLECTION OF 1-1/2". LIDS SHALL BE PROVIDED WITH TAMPER-RESISTANT STAINLESS STEEL FASTENERS AND A TOOL FOR FASTENER REMOVAL. TAMPER-RESISTANT FASTENERS INCLUDE RECESSED DRIVES, SUCH AS HEX, TORX, AND SQUARE. FASTENERS THAT CAN BE REMOVED WITH COMMON SCREWDRIVERS, SUCH AS SLOTTED AND PHILLIPS, OR FASTENERS THAT CAN BE REMOVED WITH STANDARD TOOLS, SUCH AS PLIERS OR CRESCENT WRENCHES, ARE NOT CONSIDERED TAMPER-RESISTANT. TO PREVENT A TRIPPING HAZARD, FASTENERS SHALL NOT EXTEND ABOVE THE SURFACE OF THE LID.
 - 1.5.3. RISER INSTALLATION. RISER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

2. PIPING AND FITTINGS

THE TYPE OF PIPE MATERIALS AND FITTINGS SHALL BE AS DESIGNATED ON THE PLANS AND SHALL COMPLY WITH THE FOLLOWING:

2.1. FITTINGS AND COUPLINGS

THE FITTINGS AND COUPLINGS FOR PVC PIPES SHALL BE THREADED OR SLIP-FITTED TAPERED SOCKET SOLVENT WELD. THREADED ADAPTERS SHALL BE PROVIDED WITH SOCKET PIPE FOR CONNECTIONS TO THREADED PIPE.

VALVES

3.1. GENERAL VALVES SHALL BE OF THE SIZE, TYPE, AND CAPACITY DESIGNATED ON THE PLANS OR IN THE SPECIFICATIONS AND SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN. ALL VALVES ON PRESSURIZED PORTIONS OF THE SYSTEM SHALL BE CAPABLE OF SATISFACTORY PERFORMANCE AT WORKING PRESSURE OF 150 PSI. ALL VALVES ON GRAVITY PORTIONS OF THE SYSTEM SHALL BE RATED FOR AT LEAST TWICE THE ESTIMATED STATIC HEAD ABOVE THE VALVE. VALVES SHALL BE DESIGNED TO PERMIT DISASSEMBLY TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE, SUCH AS TRUE UNION BALL VALVES AND CHECK VALVES.

4. PUMP SYSTEMS

ALL PUMP SYSTEMS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

ADDITIONAL COMPONENTS

ALL COMPONENTS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN MANUFACTURER RECOMMENDATIONS, AND THE DESIGN PLANS, THE PROJECT ENGINEER SHALL BE CONTACTED FOR APPROVAL OF INSTALLATION CONFIGURATION.

SUBSURFACE DRIP SYSTEM

THE SUBSURFACE DRIP SYSTEM SHALL PROVIDE ADDITIONAL TREATMENT AND DISPOSAL OF THE WASTEWATER. THE SYSTEM SHALL BE CONSTRUCTED PER MANUFACTURER RECOMMENDATIONS AND AS

6.1. SOIL COVER

THE SOIL COVER (CAP) SHALL BE PLACED OVER THE MOUND SYSTEM TO PROVIDE A SUBSTRATE FOR VEGETATION AND REDUCE EROSION CONTROL. THE SOIL SHALL BE A SANDY LOAM TO INCREASE THE POTENTIAL FOR AIR THROUGH THE DEPTH OF THE SOIL.

CONSTRUCTION SPECIFICATIONS

THE CONSTRUCTION OF THE PROJECT SHALL CONFORM TO THE PLANS AND FOLLOWING SPECIFICATIONS. ALL NECESSARY CONSTRUCTION PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ALL SITE

1. PRECONSTRUCTION CONFERENCE

THE CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE ENGINEER AND OWNER AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF SITE WORK. THE ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO THE MEETING CONFERENCE. THE MEETING SHOULD BE CONDUCTED TO REVIEW THE DESIGN, MATERIAL, AND CONSTRUCTION SPECIFICATIONS. ALL CONTRACTOR PROPOSED REVISIONS IN THE DESIGN SHALL BE APPROVED BY THE ENGINEER. THE INSTALLATION MUST BE INSPECTED BY THE ENGINEER FOR CONFORMANCE TO THE DESIGN.

STAKING

THE CONTRACTOR WILL PROVIDE SUFFICIENT HORIZONTAL AND VERTICAL CONTROL FOR INSTALLATION OF THE WORK AT DATUM POINTS NECESSARY TO ESTABLISH ALIGNMENT AND GRADE. THE PROTECTION AND CARE OF THE STAKES ONCE SET, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATION

ALL EXCAVATION WORK SHALL BE MADE TO THE LINES, GRADES AND DIMENSIONS SHOWN IN THE ACCOMPANIED PLANS. EXCAVATIONS SHALL BE PERFORMED IN THE DAY AND IN A MANNER THAT MINIMIZES EROSION, FLOODING AND SEDIMENTATION. EXCAVATED SOILS THAT ARE TO BE STOCKPILED ON-SITE SHALL BE PLACED IN A LOCATION AND MANNER THAT MINIMIZES EROSION AND CONTROLS SEDIMENTATION.

THE CONTRACTOR SHALL TAKE EXTRA PRECAUTION WHERE EXCAVATION EQUIPMENT MAY ENCOUNTER EXISTING UNDERGROUND UTILITIES AND OTHER FACILITIES OF ANY NATURE. CONTRACTOR SHALL PERSON HIS OPERATION IN SUCH A MANNER AND SHALL EXERCISE THE GREATEST OF CARE SO AS NOT TO INJURE IN ANY MANNER EXISTING UNDERGROUND UTILITIES, MAINS OR FACILITIES OF ANY NATURE. SHOULD THE CONTRACTOR INJURE, BREAK OR DAMAGE EXISTING UNDERGROUND UTILITIES, MAINS, OR FACILITIES OF ANY NATURE IN ANY MANNER, THEY SHALL REPAIR THE SAME AT THEIR OWN EXPENSE. IF IT DOES NOT APPEAR FEASIBLE THAT THE CONTRACTOR CAN MAKE NEEDED REPAIRS, THEN SUCH REPAIRS SHALL BE MADE BY THE OWNER AND THE CONTRACTOR SHALL BE CHARGED FOR SUCH REPAIRS.

4. POLLUTION CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITTING REQUIREMENTS RELEVANT TO THE CONSTRUCTION OF THE PROJECT ARE MET AT ALL TIMES. ACTIONS BY THE CONTRACTOR, THE SUBCONTRACTORS OR EMPLOYEES THEREOF RESULTING IN NONCOMPLIANCE OF

4.2. NOISE POLLUTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP NOISE POLLUTION, DUE TO THESE

PERMITTING REQUIREMENTS MAY BE GROUNDS FOR TERMINATION OF THIS CONTRACT.

THE CONTRACTOR SHALL NOT ALLOW REGULATED MATERIALS TO SPILL ON THE PROJECT SITE. ANY SPILLAGE OR REGULATED MATERIALS RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

4.4. STORAGE OF REGULATED MATERIALS THE STORAGE AND USE OF ANY REGULATED MATERIALS SHALL MEET ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SATISFY THE REQUIREMENTS OF ANY REGULATORY AGENCY FOR THE STORAGE, MONITORING, USAGE, TRANSPORTATION, SAFETY, REPORTING, OR ANY OTHER REQUIREMENTS REGARDING THE MANAGEMENT OF REGULATED

SITE WORK

MATERIALS ON AND OFF THE PROJECT SITE.

CONSTRUCTION ACTIVITIES, AS LOW AS POSSIBLE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARATORY WORK AND PLACEMENT OF MATERIALS IN A STAGING AREA REQUIRED FOR CONSTRUCTION OPERATIONS INCLUDING, BUT NOT LIMITED TO, THOSE NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE; FOR THE ESTABLISHMENT OF FACILITIES NECESSARY FOR WORK ON THE PROJECT; PROVIDING POLLUTION CONTROL MEASURES; AND FOR ALL OTHER WORK AND OPERATIONS WHICH MUST BE

THE CONTRACTOR SHALL PROVIDE MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK OF THIS SECTION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE COUNTY.

CLEAR THE SITE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION. CLEARING AND GRUBBING SHALL CONSIST OF ALL WORK INCLUDING, BUT NOT LIMITED TO, SALVAGED MATERIALS REMOVAL PROVIDING AND INSTALLING TEMPORARY EROSION CONTROL, AND PLACEMENT OF TREES, TREE BRANCHES, TREE STUMPS, BRUSH, ROOTS, BOULDERS, SHRUBS, SEDIMENT, AND ALL OBJECTIONABLE MATERIALS IN AN AGREED UPON LOCATION ADJACENT TO THE WORK SITE.

EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THE WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

ALL WASTES DISPOSAL SHALL BE CONDUCTED AS FOLLOWS:

- A. REMOVE WASTE FROM CLEARING OPERATIONS.
- B. DISPOSE OF AWAY FROM THE SITE IN A LEGAL MANNER. C. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE JOB SITE.
- D. DO NOT BURN DEBRIS AT THE SITE. 6. DELETERIOUS MATERIALS

MATERIALS CONTAINING AN EXCESS OF 5% (BY WEIGHT) OF VEGETATION OR OTHER DELETERIOUS MATTER MAY BE UTILIZED IN AREAS OF LANDSCAPING OR OTHER NON-STRUCTURAL FILLS. DELETERIOUS MATERIAL INCLUDES ALL VEGETATIVE AND NON-MINERAL MATTER, AND ALL NON-REDUCIBLE STONE, RUBBLE AND/OR MINERAL MATTER OF GREATER THAN 6 INCHES.

7. UTILITY TRENCHES

- A. A SELECT, NONCORROSIVE, GRANULAR, EASILY COMPACTED MATERIAL SHOULD BE USED AS BEDDING AND SHADING IMMEDIATELY AROUND UTILITY PIPES. THE SITE SOILS MAY BE USED FOR TRENCH BACKFILL ABOVE THE SELECT MATERIAL. IF OBTAINING COMPACTION IS DIFFICULT WITH THE SITE SOILS. USE OF A MORE EASILY COMPACTED SAND MAY BE DESIRABLE. THE UPPER FOOT OF BACKFILL IN LANDSCAPED OR OTHER OPEN AREAS SHOULD CONSIST OF NATIVE MATERIAL TO REDUCE THE POTENTIAL FOR SEEPAGE OF WATER INTO THE BACKFILL.
- TRENCH BACKFILL IN THE UPPER 12 INCHES OF SUBGRADE BENEATH AREAS TO RECEIVE PAVEMENT SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY. TRENCH BACKFILL IN OTHER AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY. JETTING OF UTILITY TRENCH BACKFILL SHOULD NOT BE ALLOWED.

8. PIPE INSTALLATION

8.1. GENERAL PIPE SHALL BE JOINED BY SOCKET TYPE SOLVENT-WELDED FITTINGS OR THREADED FITTINGS. PLASTIC PIPE SHALL BE CUT SQUARE, EXTERNALLY CHAMFERED APPROXIMATELY 10 TO 15 DEGREES, AND ALL BURRS AND FINS REMOVED. SOLVENT-WELDED JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2855. THE SOLVENT RECOMMENDED BY THE MANUFACTURER SHALL BE USED.

CARE SHALL BE EXERCISED IN ASSEMBLING A PIPELINE WITH SOLVENT WELDED JOINTS SO THAT STRESS ON PREVIOUSLY MADE JOINTS IS AVOIDED. HANDLING OF THE PIPES FOLLOWING JOINTING, SUCH AS LOWERING THE ASSEMBLED PIPELINE INTO THE TRENCH, SHALL NOT OCCUR PRIOR TO THE SET TIMES SPECIFIED BY THE MANUFACTURER.

SOLVENTS SHALL BE APPLIED TO PIPE ENDS IN SUCH A MANNER THAT NO MATERIAL IS DEPOSITED ON THE INTERIOR SURFACE OF THE PIPE OR EXTRUDED INTO THE INTERIOR OF THE PIPE DURING JOINTING. EXCESS CEMENT ON THE EXTERIOR OF THE JOINT SHALL BE WIPED CLEAN IMMEDIATELY AFTER ASSEMBLY.

THREADED PIPE JOINTS SHALL BE MADE USING TEFLON TAPE OR OTHER APPROVED JOINTING MATERIAL. SOLVENT SHALL NOT BE USED WITH THREADED JOINTS. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED, OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. PLASTIC PIPE SHALL BE SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW 1 FOOT OF EXPANSION AND CONTRACTION PER 100 FEET OF STRAIGHT

8.2 GRAVITY PIPE

GRAVITY PIPE FOR WASTEWATER SHALL PROVIDE 2 FT VERTICAL AND 10 FT HORIZONTAL CLEARANCE FROM WATER LINES, AND SHALL CROSS SUCH LINES AS NEARLY AS POSSIBLE TO 90 DEGREES, IF CROSSING CAN

THE PIPELINE SHALL NOT BE EXPOSED TO WATER FOR 24 HOURS AFTER THE LAST SOLVENT-WELDED JOINT

PIPE SLOPES SHALL NOT BE LESS THAN 2% FOR 4"Ø PIPE. PIPES SHALL ENTER AND LEAVE CONNECTIONS AS CLOSE TO PARALLEL AS POSSIBLE, BUT IN NO WAY TO EXCEED AN ANGLE OF 45°. 90° TEE CONNECTIONS ARE NOT ALLOWED.

EXCAVATION OF PIPE TRENCHES SHALL FOLLOW NEAT AND PARALLEL LINES, WITH TRENCH WIDTH, IN GENERAL, TO BE ONE FOOT, WITH SUCH WIDENING, AS REQUIRED TO PLACE VALVES AND FITTINGS WITH A MINIMUM OF 4 INCH CLEARANCE TO TRENCH WALL. THE TRENCH SHALL BE NO LESS THAN 24 INCHES DEEP. EXCEPT WHEN IT IS NECESSARY, TO AVOID UNDERGROUND OBSTRUCTIONS OR ROCKY CONDITIONS. IN ALL CASES, THE PIPE SHALL BE PLACED ON A BEDDING OF IMPORTED OR NATIVE MATERIAL PROVIDING CONTINUOUS SUPPORT THROUGHOUT ITS LENGTH.

BACKFILL FOR THE PIPE TO THE TOP OF THE PIPE PLUS 4 INCHES SHALL BE SELECTED OR IMPORTED SANDY MATERIAL, FREE OF STONE, CLAY, LIMBS OR OTHER DELETERIOUS MATERIALS IN EXCESS OF 1/2 INCH

MAXIMUM DIMENSION, PLACED AND TAMPED AND/OR PADDLED ABOUT THE PIPE TO ENSURE PROPER BEDDING PRIOR TO COMPLETION OF TRENCH FILL. THE REMAINING BACKFILL SHALL BE PLACED AT 90% RELATIVE COMPACTION.

9. FLUSHING AND TESTING

AFTER COMPLETION, ALL PIPELINES SHALL BE THOROUGHLY FLUSHED TO REMOVE DIRT, SCALE, OR OTHER MATERIAL. AFTER FLUSHING, THE LINE SHALL BE PRESSURE TESTED. ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM THE TESTS SHALL BE FURNISHED BY THE CONTRACTOR AND ALL TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER OR ENGINEER.

THE CONTRACTOR SHALL PERFORM A TEST TO DEMONSTRATE THAT THE TANKS AND BASINS ARE WATER TIGHT. THE INLET AND OUTLET PIPES OF THE TANKS SHALL BE CAPPED AND THE TANKS SHALL BE COMPLETELY FILLED WITH WATER. THE WATER LEVEL SHALL REMAIN CONSTANT FOR MORE THAN 24 HOURS, OR DURATION BY THE REVIEWING AGENCY JURISDICTION, WHICHEVER IS GREATER, TO DETERMINE IF IT IS

10. OPERATIONAL TEST

THE PERFORMANCE OF ALL COMPONENTS OF THE SYSTEMS SHALL BE EVALUATED BY THE CONTRACTOR. DURING THE TEST PERIOD AND AT LEAST 15 DAYS PRIOR TO FINAL INSPECTION, THE SYSTEM SHALL OPERATE SATISFACTORILY DURING SUCH PERIOD. ALL NECESSARY REPAIRS, REPLACEMENTS, AND ADJUSTMENTS SHALL BE MADE UNTIL ALL EQUIPMENT, ELECTRICAL WORK, CONTROLS, AND

INSTRUMENTATION ARE FUNCTIONING IN ACCORDANCE WITH THE CONTRACTORS DOCUMENTS OR

11. AS-BUILT DRAWINGS

MANUFACTURER SPECIFICATIONS.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF AS-BUILT DRAWINGS OF THE LAYOUT AND CONSTRUCTION OF THE SYSTEM.

12. OTHER ITEMS

ANY PROCEDURES NOT NOTED OR INCLUDED IN THE ENGINEERING PLANS OR SPECIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO IMPLEMENTATION.

EROSION CONTROL NOTES:

GENERAL. THE CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT EROSION CONTROL AND TEMPORARY STORMWATER CONTROL MEASURES TO CONTROL SEDIMENT AND RUNOFF IN ACCORDANCE WITH THESE PLANS AND THE LOCAL JURISDICTION.

- 1.1. THE CONSTRUCTION OF THIS PROJECT IS NOT EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
- 1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION
- 1.3. ALL GRADING SHALL CONFORM TO THE LOCAL GRADING ORDINANCE, EROSION CONTROL ORDINANCES,
- 1.4. ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO COMPLETED; C) MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH

SEED AND MULCH. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR HAND

BROMUS CARINATUS 10#/ACRE LEYMUS TRITICOIDES 8#/AC.

- FERTILIZER (6-3-3) SHALL BE HAND BROADCAST AND INCORPORATED AT 30-LB/ACRE OVER ENTIRE AREA. - MYCHORRHIZAL FUNGI SHALL BE ADDED AT 50 LB/ ACRE. - IF HYDROSEEDING, ADD MULCH AND TACKIFIER TO ABOVE.

IN A MANNER THAT WILL NOT CAUSE EROSION.

CONCRETE WASHOUT. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. THE CONCRETE WASHOUT FACILITY SHALL BE BELOW GRADE AND CONSTRUCTED WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET. TEMPORARY CONCRETE FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN OPERATIONS. THE WASHOUT SHALL HAVE A 10 MIL POLYETHYLENE PLASTIC LINER. WHEN CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE AND MATERIALS FOR THE WASHOUT SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS, OR OTHER

OTHER PROVISIONS. IF CONSTRUCTION OCCURS BETWEEN OCTOBER 15TH AND APRIL 15TH, EXPOSED SOIL NOT INVOLVED IN IMMEDIATE CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM EROSION AT ALL TIMES. AFTER APRIL 15TH, EROSION CONTROL MEASURES SHALL BE IN PLACE DURING INCLEMENT

EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE BY THE CONTRACTOR UNTIL NATIVE VEGETATION HAS BEEN ESTABLISHED AND PROVIDES NECESSARY SLOPE COVER (MINIMUM 70% COVER).

AND CALIFORNIA BUILDING CODE.

ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF: A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL B) PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS NEW VEGETATION, ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.

BROADCASTING OF THE FOLLOWING STERIL, WEED FREE, SEED MIX AND INCORPORATED OVER ALL DISTURBED SLOPES:

HORDEUM BRACHYANTHERUM 5#/AC. FESTUCA RUBRA 8#/AC. DESCHAMPSIA CESPITOSA 8#/AC. THE MIX/APPLICATION SHALL ALSO CONTAIN:

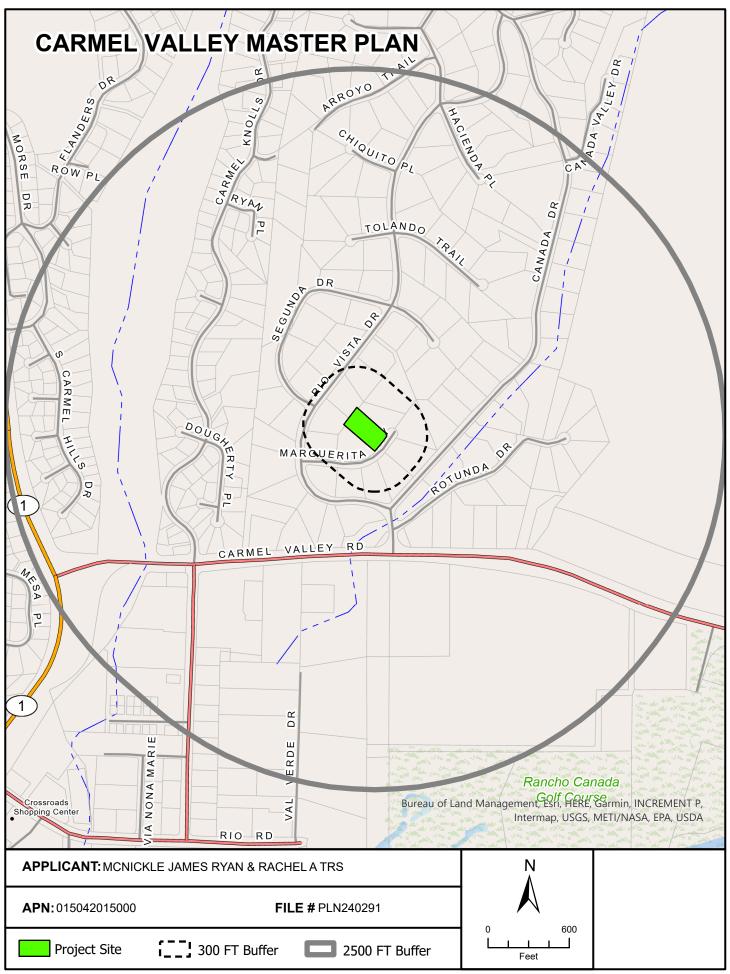
ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE

SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE CONCRETE WASHOUT SHOULD BE BACKFILLED

202302B | AS SHOWN

Exhibit B

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