

# Exhibit A

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**EXHIBIT A  
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**SKINNER ROBERT J JR & STEFANIE A (PLN220114-AMD1)**

**RESOLUTION NO. 25-033**

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project, as a remodel and addition to an existing single-family dwelling and accessory dwelling unit, qualifies for a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2;
- 2) Approving a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit and Design Approval (PLN220114) that allowed a 5,055 square foot addition to an existing 10,263 square foot single-family residence, a 315 square foot addition to an existing 880 square foot accessory dwelling unit, and development within 750 feet of known archaeological resources. This Minor and Trivial Amendment allows construction of 3,700 square feet of additions to the lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

[PLN220114-AMD1, SKINNER ROBERT J JR & STEFANIE A, 1151 Sombria Ln, Pebble Beach, CA 93953, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number 008-281-020-000)]

**The SKINNER ROBERT J JR & STEFANIE A application (PLN220114-AMD1) came on for an administrative decision hearing before the County of Monterey Chief of Planning on August 6, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:**

## FINDINGS

1. **FINDING:** **PROCESS REQUIREMENTS** – The County has received and processed an amendment (PLN220114) to a previously approved Coastal Administrative Permit and Design Approval (HCD-Planning File No. PLN220114; Chief of Planning Resolution No. 22-083) in compliance with all applicable procedural requirements.
- EVIDENCE:**
- a) On May 22, 2025, an application for a Minor and Trivial Amendment (PLN220114-AMD1) was submitted to HCD-Planning to modify the project scope approved under Coastal Administrative Permit and Design Approval HCD-Planning File No. PLN220114.
  - b) On December 7, 2022, the County of Monterey Chief of Planning approved a Coastal Administrative Permit and Design Approval (PLN220114, Chief of Planning Resolution No. 22-083) consisting of a:
    - 1) Coastal Administrative Permit and Design Approval to allow a 5,055 square foot addition to an existing 10,263 square foot single-family residence and a 315 square foot addition to an existing 880 square foot accessory dwelling unit; and
    - 2) Coastal Administrative Permit to allow development within 750 feet of archaeological resources.
  - c) Conditions of Approval. The Chief of Planning Resolution No. 22-083 was approved with seven conditions of approval. Two previously approved conditions of approval are partially met for tree root protection (Condition No. 5) and height verification (Condition No. 6). These two conditions will be carried forward to this amendment (PLN220114-AMD1).
  - d) The findings and evidence from PLN220114 (Chief of Planning Resolution No. 22-083) are incorporated by reference. The proposed Minor and Trivial Amendment (PLN220114-AMD1) will be the operating entitlement for the subject property.
  - e) The application, plans, and supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed amendment can be found in Project File Nos. PLN220114 and PLN220114-AMD1.
2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 Monterey County General Plan (General Plan);
    - Del Monte Forest Land Use Plan (DMF LUP);
    - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan (CIP); and
    - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No correspondence was received indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) Amendment. This Minor and Trivial Amendment reduces the overall site coverage by 742 square feet and the floor area ratio by 411 square



feet. The Amendment also allows construction of 3,700 square feet of additions to lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

- c) Allowed Use. The property is located at 1151 Sombria Lane, Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Number 008-281-020-000). The parcel is zoned Low Density Residential with a density of 1.5 acres per 1 unit and a Design Control Overlay (Coastal Zone) or "LDR/1.5-D(CZ)", which allows the first single-family dwelling on a legal lot of record and accessory dwelling units as principally allowed uses subject to a Coastal Administrative Permit in each case (Title 20 Sections 20.14.040.A. and 20.14.040.W). The project was previously approved (PLN220114) for a 5,055 square foot addition to an existing 10,263 square foot single-family residence, and a 315 square foot addition to an existing 880 square foot accessory dwelling unit (formerly "caretaker" unit). The project also included associated site improvements involving a new patio addition and walkway between the existing accessory dwelling unit and main residence. The amended project would involve the removal of the previously approved 539 square foot conservatory, 807 square foot gym, 9 square foot upper-level office, and 315 square foot from the existing accessory dwelling unit. The proposed additions to the existing single-family dwelling would include 33 square feet to the existing vanity room and 9 square feet of stairs to the main-level, a 459 square foot lounge and 491 square foot mechanical/storage room to the existing lower-level basement. Therefore, the proposed uses are allowable for this site.
- d) Lot Legality. The property is shown in its current configuration as lot 20 in the 1964 and 1972 Assessor's Map Book 8 Pg. 28. Therefore, the County recognizes the property as a legal lot of record.
- e) Design and Visual Resources. The property is subject to the Visual Resources protection policies of the DMF LUP, the applicable implementing regulations of those policies in the CIP, and the Design Control regulations outlined in Title 20 section 20.44.030, which requires a design review of structures and fences to assure protection of the public viewshed and neighborhood character.

The surrounding neighborhood consists of a mix of large one- and two-story single-family homes in a rural wooded atmosphere. Many are heavily screened from view by trees, other vegetation, and fences, which have the effect of subordinating them to the surrounding landscape, while preventing identification of a unified urban aesthetic. Of the structures that are visible, many have traditional hip or gabled roofs, and utilize natural materials such as wood or stone.

The project is consistent with these policies, regulations, and the surrounding neighborhood character as:

- the additions will utilize a muted warm grey smooth coat stucco, black metal clad doors and frames, and copper gutters and downspouts as primary finishes. These materials match the

existing residence and are subordinate to the surrounding natural environment in accordance with CIP Section 20.147.070.B.3;

- The previously approved (PLN220114) additions were staked and flagged, and the resulting staking and flagging demonstrate that the additions are in scale with the existing residence. Due to the large homes and abundance of vegetative screening in the area, the home will not be out of scale with any other residences in the neighborhood; and
  - A row of trees screens the home from view along Sombria and Porque Lane. Pursuant to CIP Section 20.147.070.B.4 and 5, all these trees are retained, assisting in subordinating the home to the natural landscape.
- f) Development Standards. The development standards of the base LDR zoning are found in Title 20 section 20.14.060. After the addition and remodel, the subject property would comply with the maximum building site coverage, floor area, and structure height requirements as shown below. As the proposed additions to the home match the maximum height requirement exactly, a height verification condition has been applied (Condition No. 6) to ensure the structure is constructed to adhere to this maximum.

	<i>Max Allowable</i>	<i>Proposed</i>
Building Site Coverage:	15% (14,433.6 sf)	14.1% (13,580 sf)
Floor Area Ratio:	17.5% (16,839.2 sf)	16.7% (16,102 sf)
Maximum Height (Home):	30 ft	30 ft
Maximum Height (ADU):	15 ft	14 ft 9 in

The additions to the home would meet the required minimum setbacks for primary structures, as shown below. An existing entry structure/porte cochere for the main home does encroach into the required front setback, being approximately 16 feet and 10 inches from the property line (see attached plans). However, this feature is existing and no structural alterations to it are proposed as part of this application.

	<i>Min Required</i>	<i>Proposed</i>
Front Setback (Home):	30 ft	30 ft 10 in
West Side Setback:	20 ft	109 ft 1 in
East Side Setback:	20 ft	41 ft 3 in
Rear Setback:	20 ft	73 ft 2 in
Main Residence/ADU	10 ft	23 ft 10 in

The Accessory Dwelling Unit complies with the minimum required setbacks for habitable accessory structures, as shown below:

	<i>Min Required</i>	<i>Proposed</i>
Front Setback:	50 ft	53 ft 6 in
West Side Setback:	6 ft	44 ft 6 in
East Side Setback:	6 ft	>40 ft
Rear Setback:	6ft	>126 ft

Therefore, the project is consistent with all applicable site development standards.

- g) Cultural Resources. The property is in an area that is mapped as being within 750 feet of and having a high sensitivity to the presence of archaeological resources. A Phase I Archaeological Report (LIB170213) was prepared for the property prior to the initial construction of the home in 1988 which assessed the potential of the project area to contain archaeological resources. The report included archival research and a pedestrian survey of the property, and concluded that the site did not contain evidence of archaeological resources. The report does note that only a small portion of the surface was visible (onsite vegetation had not been cleared for the construction of the home at the time of the survey), and recommended that work be halted if any previously unidentified resources were discovered. No resources were found during construction of the home, and the proposed construction activity takes place in areas already disturbed by previous development. Therefore, the County standard Condition No. 3 has been applied, which requires that the applicant stop work and contact HCD-Planning and a qualified archaeologist if any previously unknown resources are discovered during earthwork.
- h) Fuel Management. The subject property is identified to be in a high fire hazardous area as mapped by the Monterey County Geographic Information System. As demonstrated in Finding 4, evidence “c”, the project, as proposed and conditioned, is consistent with all the fuel management requirements for such areas.
- i) Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB170380), this site is suitable for the residential addition this project proposes, there are no geological or seismic hazards that would preclude this property from being developed, and the proposed development is adequately setback from the known fault trace. See Finding 4, evidence “d”.
- j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Del Monte Forest LUAC as it does not meet the criteria for referral outlined in Board of Supervisors Resolution No. 15-103.
- k) Staff reviewed street view and aerial imagery (Google Maps and Monterey County GIS) to verify that the project is consistent with the applicable plans and regulations.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

**3. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:** a) The project was previously reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and

there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) The following reports were prepared to review the potential of the project to impact cultural resources and soil hazards:
  - “Preliminary Cultural Resources Reconnaissance of Parcel A.P.N. 08-281-20, Cypress Point, Monterey County, California” (LIB170213) prepared by Charles R. Smith and Gary S. Breschini, SOPA, Salinas, CA, February 22, 1988.
  - “Geotechnical and Geological Hazards Report Update for the proposed Remodel and Additions Skinner Residence” (LIB170380) prepared by Lawrence E. Grice, P.E., Salinas, CA, July 2017 and updated July 2022.

County staff independently reviewed the reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use.

- c) Staff reviewed aerial imagery (Monterey County GIS) to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

**4. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was previously reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach CSD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities will be provided. The project receives and will continue to receive potable water service from the California American Water Company (Cal Am). The applicant submitted a Monterey Peninsula Water Management District (MPWMD) residential water release form indicating an overall decrease in usage. The property currently receives and will continue to receive wastewater service from the Pebble Beach Community Services District (CSD).
  - c) The property is located in an area mapped as having a high fire hazard according to the Monterey County Geographic Information System. Pursuant to DMF LUP Policy 38, new development shall be sited and designed to minimize risk from fire hazards. The proposed additions to the existing single-family dwelling are sited in previously developed areas and the materials used are fire-resistant. Additionally, the previously approved landscaping plans address fire hazards by including vegetation fuel management requirements from 0-30 feet from the

home, and from 30-100 feet from the home. Therefore, the project was found to be consistent with Policy 38.

- d) The project is located within 1/8 mile of the Cypress Point fault according to Monterey County GIS information. A geotechnical and geological hazards report was prepared to assess geologic hazards on the site, and whether they would impact the proposed development. The report included physical inspection of the site for fault induced features or other hazards and research and of published data on seismicity and other mapped geologic hazards. The report concluded that the site was suitable for the proposed use given that the recommendations in it were followed. The notice of report condition has been applied to ensure that the geotechnical engineer's recommendations are adhered to. (Condition No. 7)
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

**5. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and are not aware of any violations existing on the subject property.
  - b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

**6. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing private structures or topographical features.
  - b) The project fits into the criteria of this exemption as it's a remodel and addition to an existing single-family dwelling and accessory dwelling unit. The expansion will not add any new residential units, will not intensify the water use (or wastewater generation), and does not substantially alter the footprint of the existing structures, making it a negligible expansion of existing use consistent with the intent of the Class 1 Exemption.
  - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project:
    - Class 1 Exemptions are not qualified by their location.
    - A remodel and addition to an existing single-family residence and accessory dwelling unit would not contribute to a significant cumulative effect.

- There are no unusual circumstances associated with the project that would result in a reasonable possibility it will have a significant effect on the environment.
  - The property is not viewable from a State Scenic Highway. The nearest eligible state Scenic Highway is Highway 68, approximately 2.6 north east of the project site. However, due to distance, vegetation, and topography, the property is not visible from the highway.
  - The property is not on a hazardous waste site complied pursuant to Section 65962.5 of the Government code.
  - The project would not result in an adverse impact to any historical resources.
- d) No adverse environmental effects were identified during staff review of Monterey County GIS information.
- e) See supporting Finding Nos. 2 and 3, the application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

- 7. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.
- 8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) In accordance with Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) In accordance with Title 20 Section 20.86.080.A, this project is appealable to the California Coastal Commission as it is between the sea and the first through public road paralleling the sea. For the Del Monte Forest, this would be Highway 68.

## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning does hereby:

- 1) Find that the project, as a remodel and addition to an existing single-family dwelling and accessory dwelling unit, qualifies for a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2;
- 2) Approve a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit and Design Approval (PLN220114) that allowed a 5,055 square foot addition to an existing 10,263 square foot single-family residence, a 315 square foot addition to an existing 880 square foot accessory dwelling unit, and development within 750 feet of known archaeological resources. This Minor and Trivial Amendment allows construction of 3,700 square feet of additions to the lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 6<sup>th</sup> day of August 2025.

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Melanie Beretti, AICP,  
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

\_\_\_\_\_.  
THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.



# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220114-AMD1

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation  
Monitoring Measure:**

This Minor and Trivial Amendment (PLN220114-AMD1) allows a reduction in the overall site coverage by 742 square feet and the floor area ratio by 411 square feet, removal of the 539 square foot conservatory, 807 square foot gym, 9 square foot upper-level office, and 315 square foot accessory dwelling unit. Additions include a 33 square foot vanity and 9 square feet of stairs to the main-level, 459 square foot lounge and 491 square foot mechanical/storage room to the basement. The property is located at 1151 Sombria Ln, Pebble Beach, CA 93953, (Assessor's Parcel Number 008-281-020-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or  
Monitoring  
Action to be  
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Minor and Trivial Amendment (Resolution Number \_\_\_\_\_) was approved by the Chief of Planning for Assessor's Parcel Number 008-281-020-000 on August 6, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

#### 5. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 6. PD041 - HEIGHT VERIFICATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.





SITE PLAN

1/16"=1'-0" N

PLANNING INFO.

- PROPERTY OWNER: ROBERT AND STEFANIE SKINNER  
1151 SOMBRIA LANE  
PEBBLE BEACH, CA 93953
- PROJECT ADDRESS: 1151 SOMBRIA LANE  
PEBBLE BEACH, CA
- PROJECT SCOPE:
  - MINOR & TRIVIAL AMENDMENT TO A SINGLE FAMILY RESIDENCE W/ ATTACHED GARAGE REDUCING PROPOSED OVERALL COVERAGE BY 742 SF & REDUCING F.A.R. BY 411 SF;
  - OMITTING PREVIOUS ADDITIONS UNDER PLN220114 TO INCLUDE 539 SF CONSERVATORY, 807 SF GYM, 9 SF UPPER LEVEL OFFICE, & 315 SF A.D.U.
  - NEW MAIN LEVEL ADDITIONS TO INCLUDE 33 SF VANITY, 9 SF STAIR
  - NEW BASEMENT ADDITIONS TO INCLUDE 459 SF LOUNGE & 491 SF MECHANICAL/STORAGE ROOMS.

- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N.: 008-281-020
- ZONE: LDR/1.5-D(CZ)
- STORIES: 2
- MAX BLDG. HT: 30 FT
- GRADING: CUT: 225 CY / FILL: 190 CY
- TREE REMOVAL: NONE
- TOPOGRAPHY: GENTLY SLOPING
- LOT AREA: 96,224 S.F. (2.209 Ac.)
- LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	8,882	-108	2,007	10,781
ADU	880	0	0	880
TERRACES	1,524	-119	514	1,919
TOTAL	11,286	-227	2,521	13,580

- LOT COVERAGE ALLOWED: 14,433 SF (15%)
- LOT COVERAGE PROPOSED: 13,580 SF (14.1%)

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	8,882	-108	1,982	10,756
MAIN FLOOR	2,640	0	876	3,516
UPPER FLOOR	0	0	459	459
LOUNGE	0	0	491	491
MECH./STORAGE	0	0	989*	1,575*
LOWER LEVEL*	586*	0	0	586*
ADU	880	0	0	880
TOTAL	12,402	-108	3,808	16,102

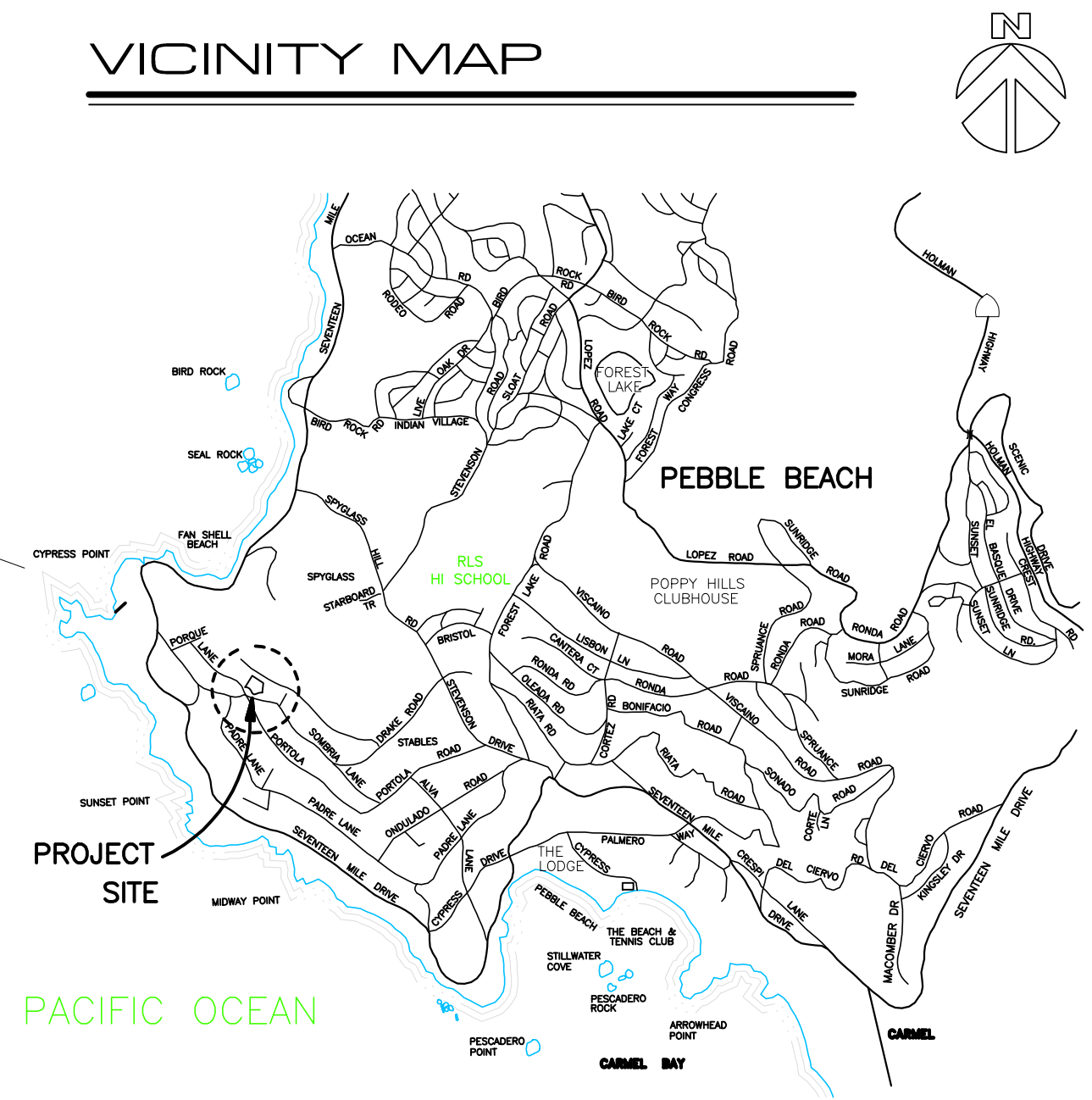
\*LOWER LEVEL ADDITIONS THAT ARE BELOW GROUND & NOT COUNTED IN F.A.R.

- F.A.R. ALLOWED: 16,839 SF (17.5%)
- F.A.R. PROPOSED: 16,102 SF (16.7%)

	LOT COVERAGE	F.A.R.
MAIN BUILDING	PROPOSED TOTAL 12,023	PROPOSED TOTAL 11,821
ADU	1,195	3,497
TERRACES	1,306	1,195
TOTAL	14,322	16,513

■ LOT COVERAGE PROPOSED: 14,322 SF (14.9%)  
■ F.A.R. PROPOSED: 16,513 SF (17.2%)

VICINITY MAP



JUN A. SILLAND, AIA



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RESIDENCE

PROJECT ADDRESS:

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PEBBLE BEACH, CA  
93953

APN: 008-281-020

DATE: AUGUST 18, 2022  
PLANNING SUBMITTAL

REVISIONS:

- 8/26/22 CLARIFICATION
- 9/23/22 GATE ADJUSTMENT
- 9/30/22 GENERATOR LOCATION
- 3/19/25 PLANNING AMENDMENT

SITE  
PLAN

SHEET NO.

A1.0



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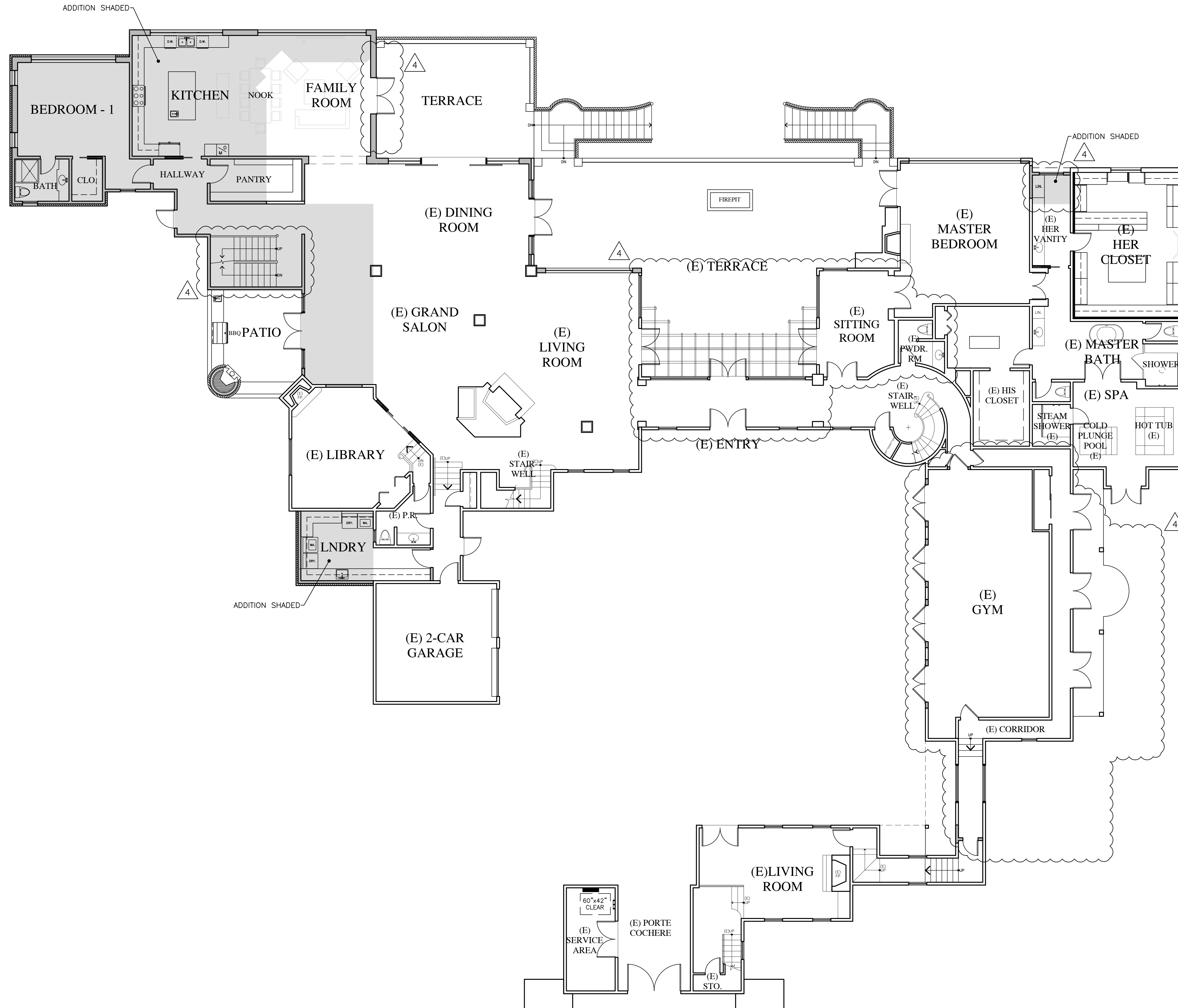
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MAIN LEVEL  
PLAN

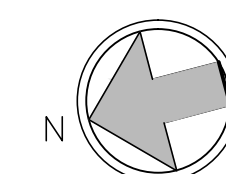
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A2.0



## MAIN LEVEL PLAN

1/8"=1'-0"



## WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.
	STONE VENEER
	CMU WALL - SEE STRUCTURAL DWG'S

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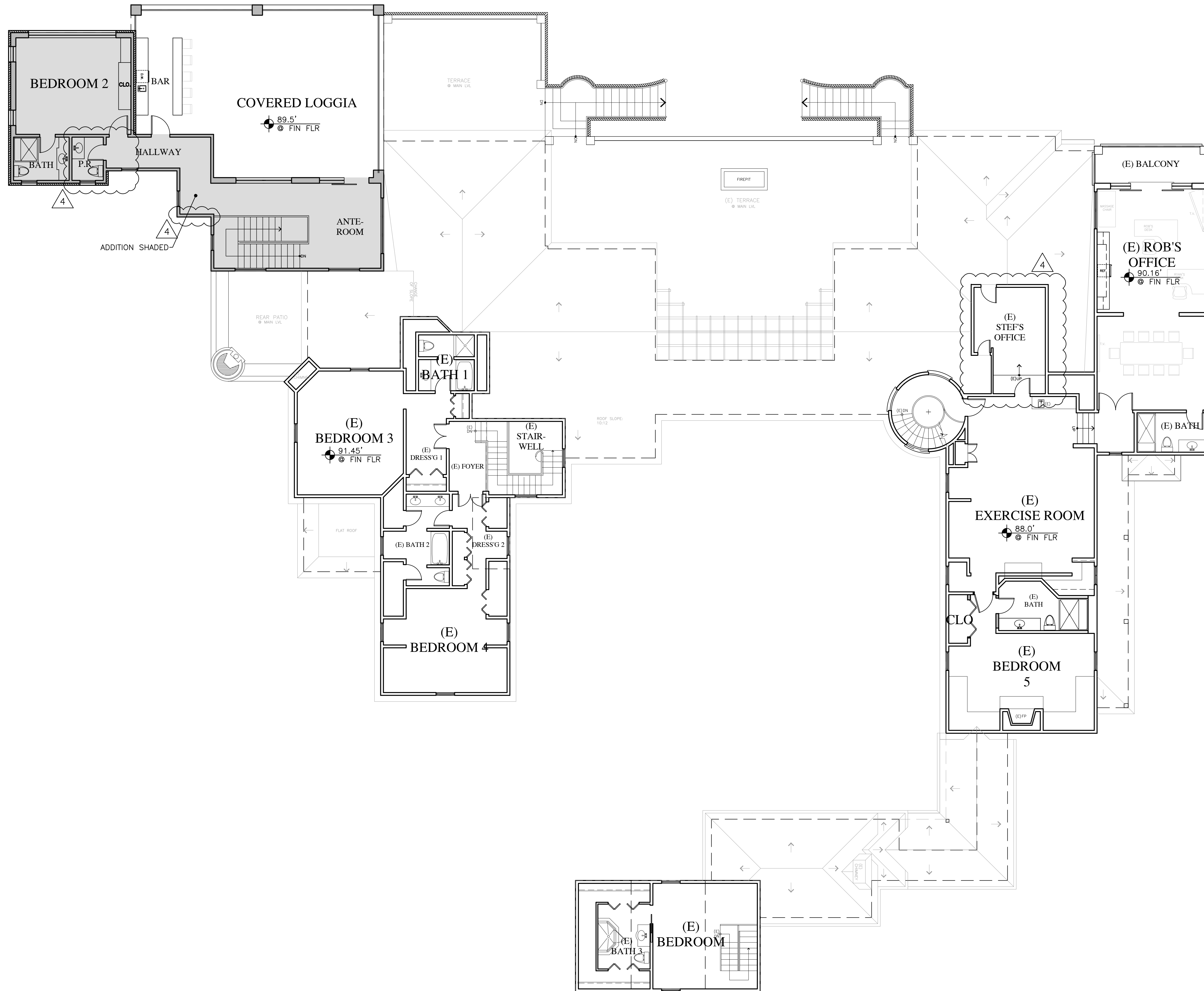
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**UPPER LEVEL  
PLAN**

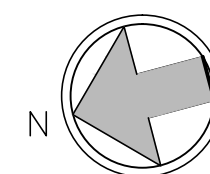
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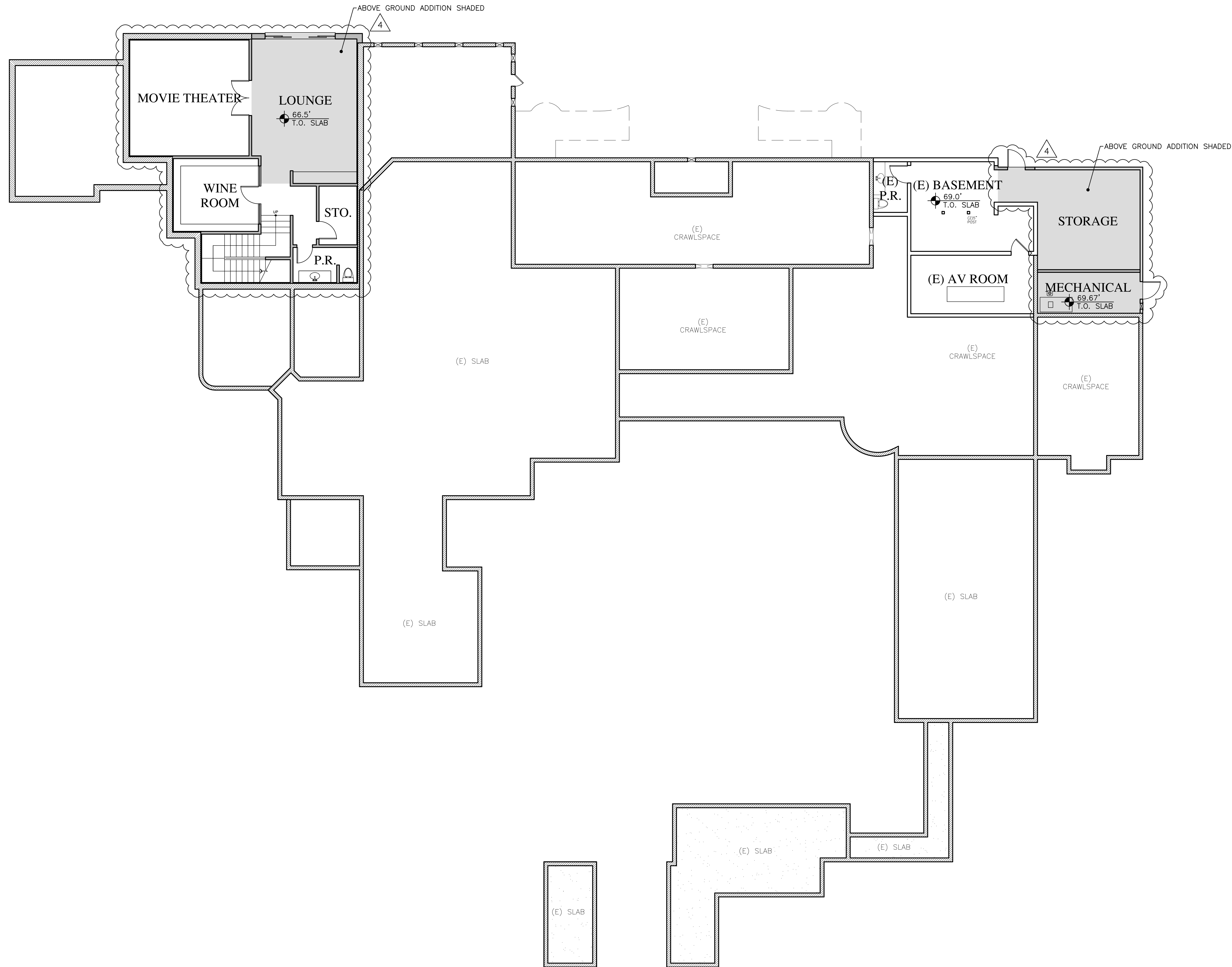
UPPER LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.
	STONE VENEER
	CMU WALL - SEE STRUCTURAL DWG'S



LOWER LEVEL PLAN

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

JUN A. SILLAND, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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LOWER LEVEL  
PLAN

SHEET NO.

A4.0



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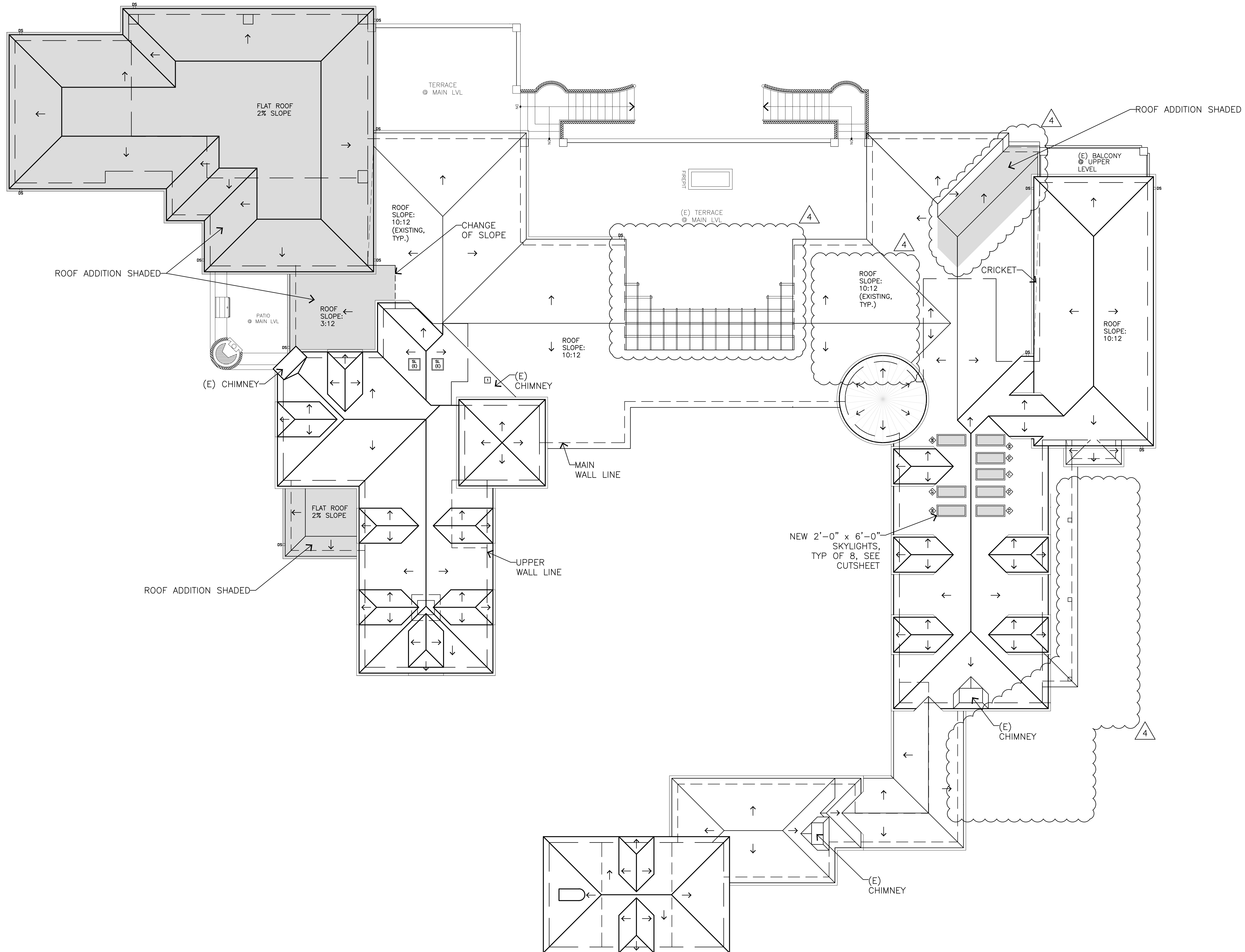
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**ROOF  
PLAN**

SHEET NO.

**A5.0**



ROOF PLAN

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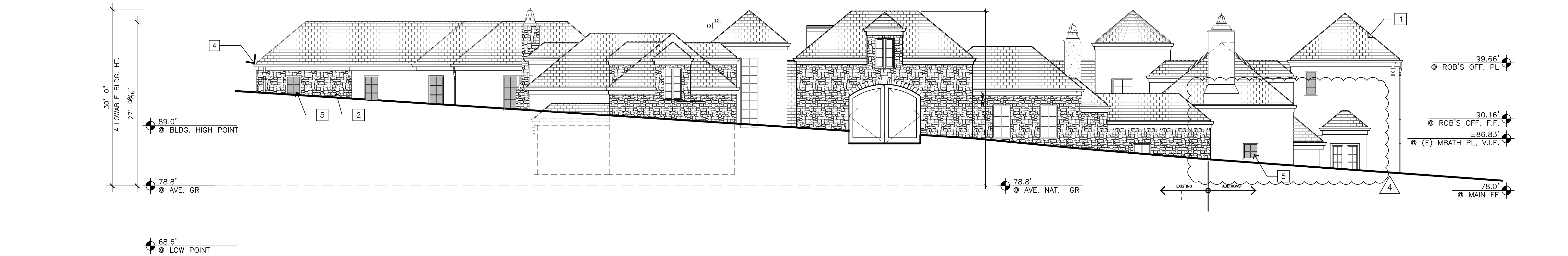
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## ELEVATIONS

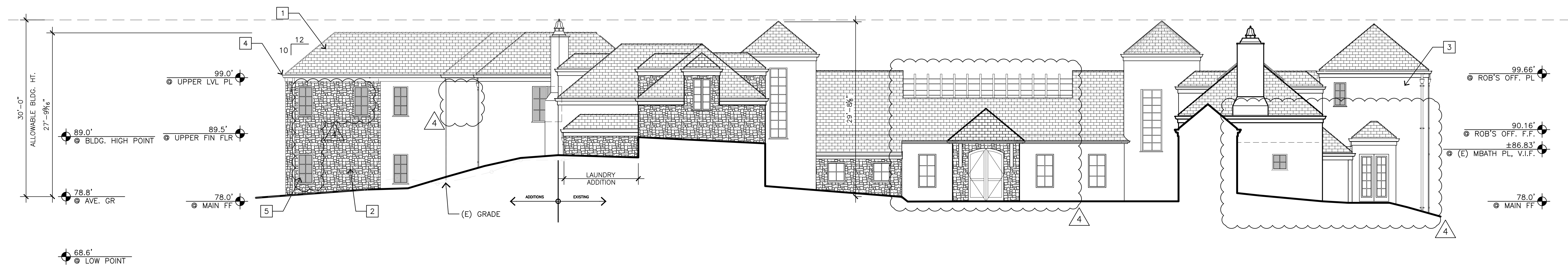
SHEET NO.

A6.0



A - SOUTH ELEVATION

1/8"=1'-0"



B - SOUTH ELEVATION AT COURTYARD

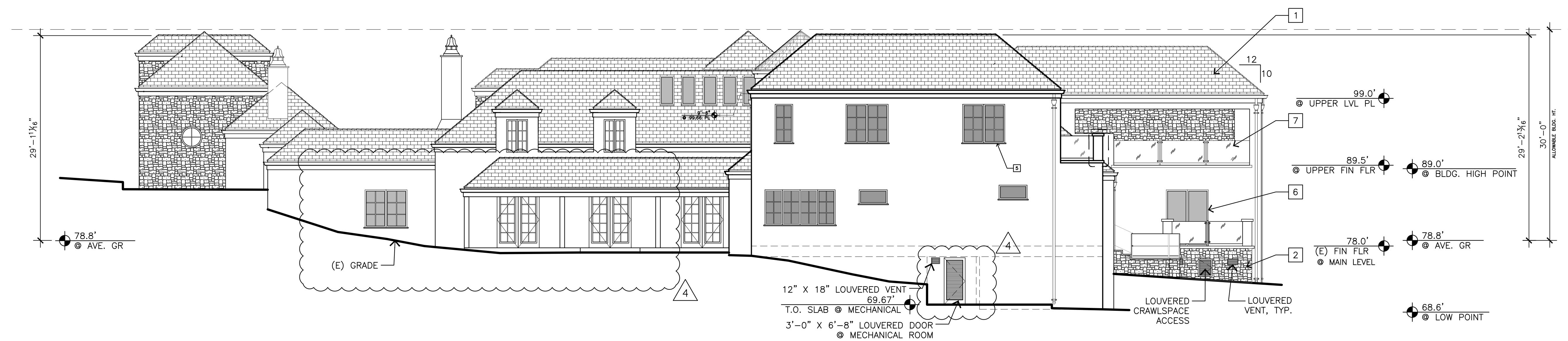
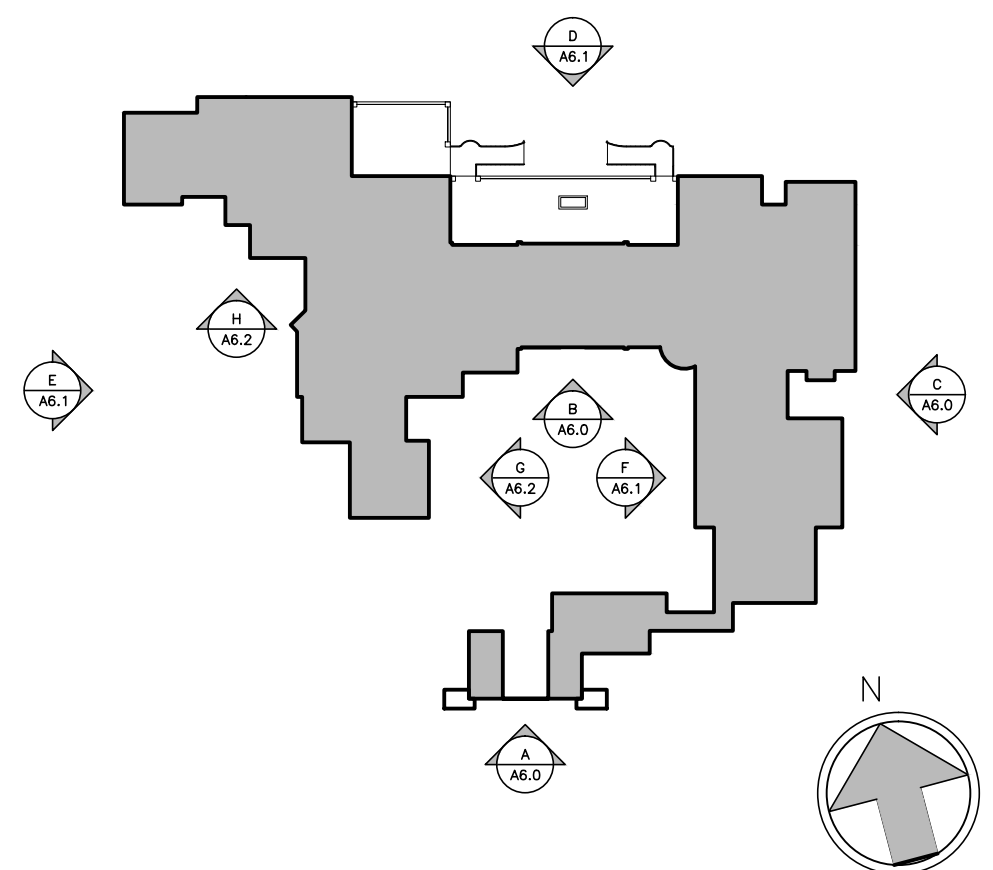
1/8"=1'-0"

## EXTERIOR FINISH LEGEND

- 1 SLATE ROOF - MATCH EXISTING
- 2 EXTERIOR RANDOM STONE - MATCH EXISTING
- 3 EXTERIOR STUCCO - MATCH EXISTING
- 4 COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING
- 5 WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS
- 6 BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O)
- 7 1/2" THK. GLASS RAILING WITH BRONZE POST
- 8 NEW SKYLIGHTS
- 9 NEW CONSERVATORY ROOF

## KEY PLAN

N.T.S.



EAST ELEV.

C - EAST ELEVATION

1/8"=1'-0"

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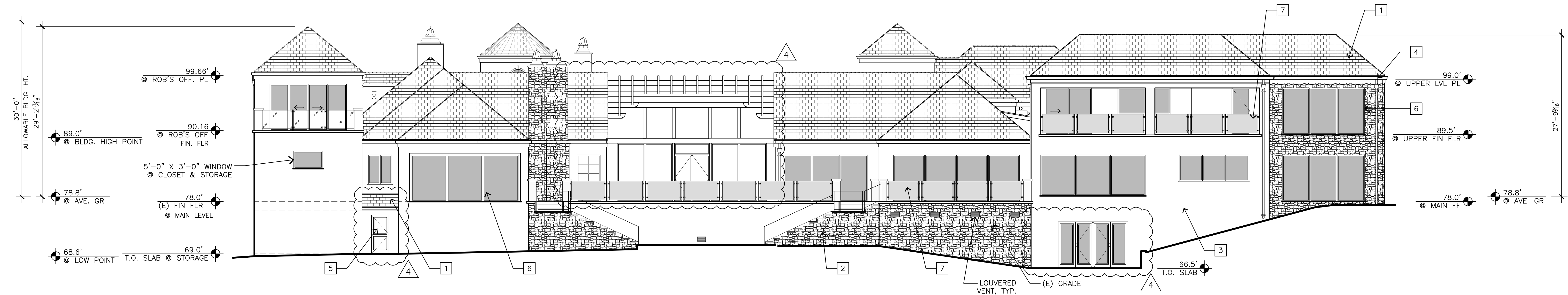
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## ELEVATIONS

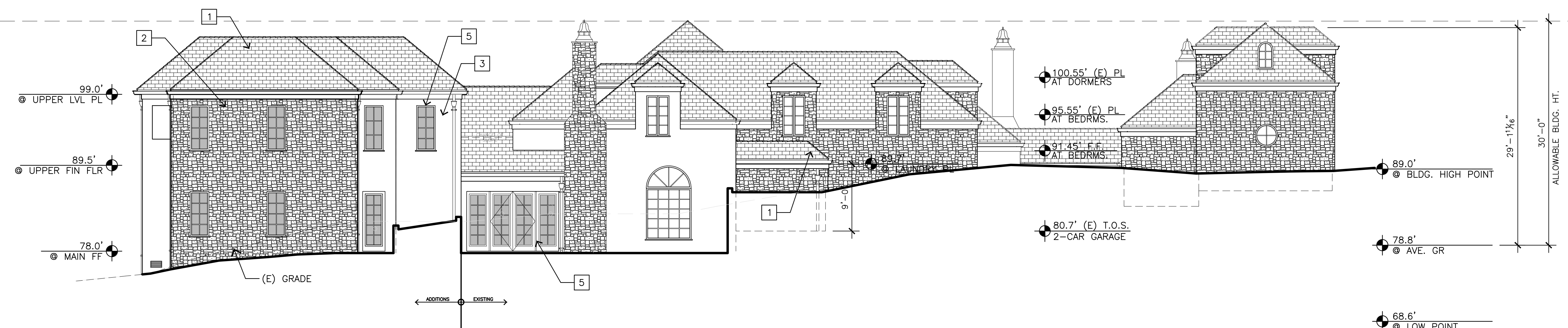
SHEET NO.

A6.1



D - NORTH ELEVATION

1/8"=1'-0"



E - WEST ELEVATION

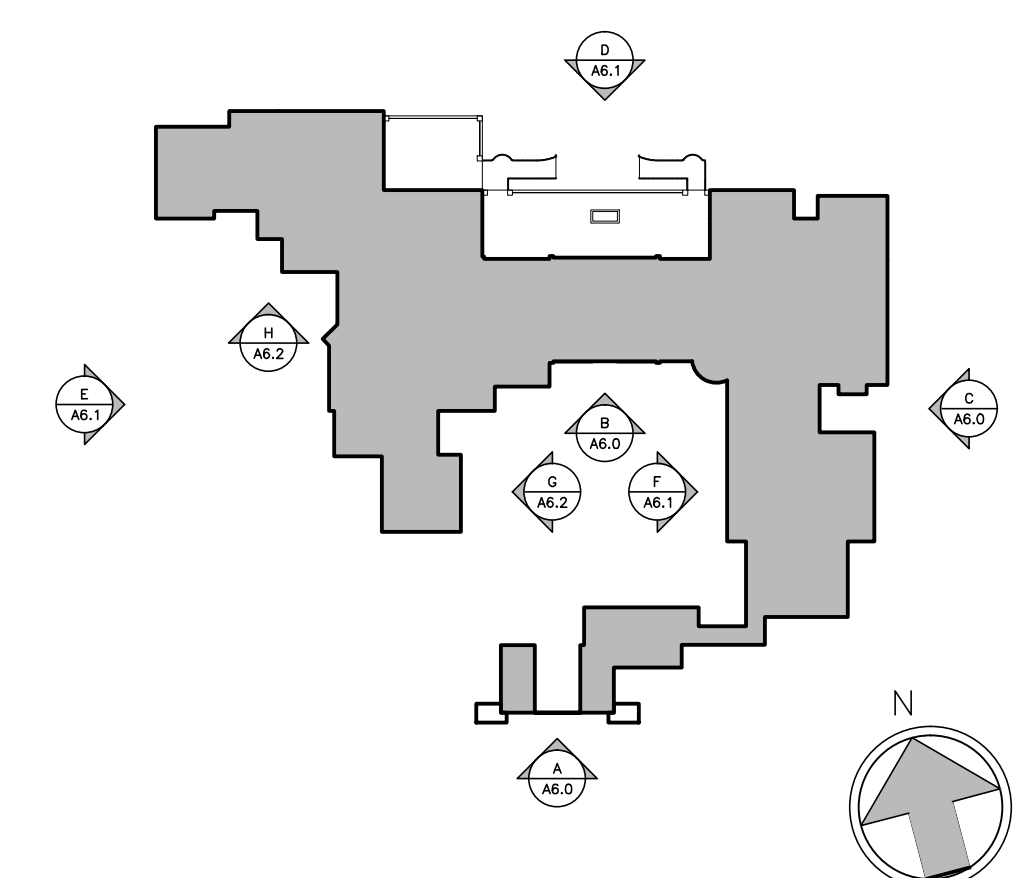
1/8"=1'-0"

## EXTERIOR FINISH LEGEND

- |   |   |
|---|---|
| 1 | SLATE ROOF - MATCH EXISTING                                   |
| 2 | EXTERIOR RANDOM STONE - MATCH EXISTING                        |
| 3 | EXTERIOR STUCCO - MATCH EXISTING                              |
| 4 | COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING                 |
| 5 | WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS               |
| 6 | BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O) |
| 7 | 1/2" THK. GLASS RAILING WITH BRONZE POST                      |
| 8 | NEW SKYLIGHTS   |
| 9 | NEW CONSERVATORY ROOF   |

## KEY PLAN

N.T.S.



F - WEST ELEVATION AT TERRACE, CONSERVATORY, AND COURTYARD

1/8"=1'-0"

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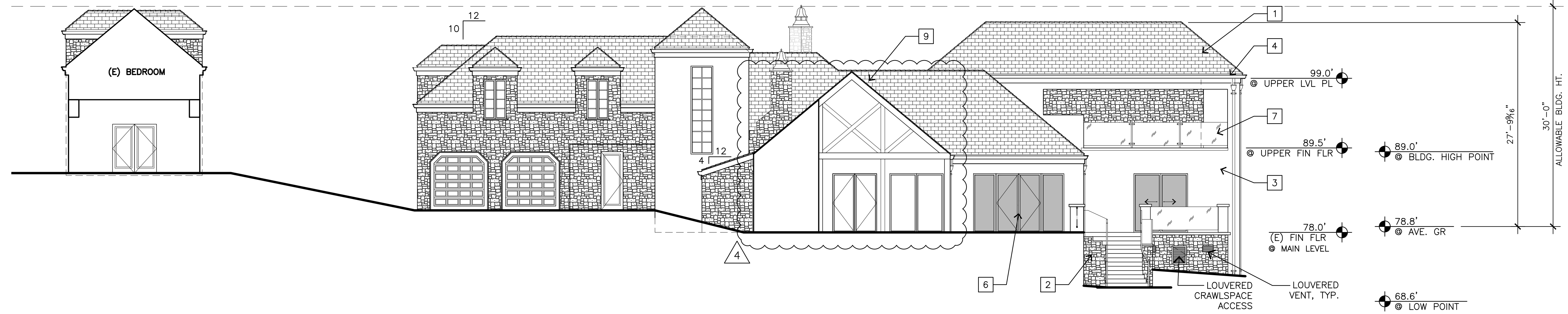
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△		

ELEVATIONS

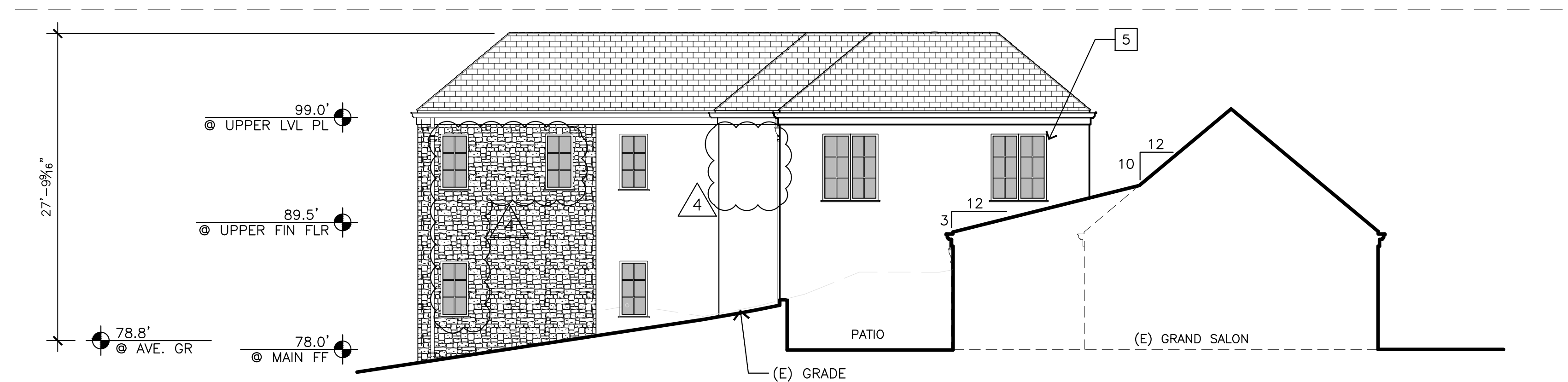
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A6.2



G - EAST ELEVATION AT TERRACE, CONSERVATORY, AND COURTYARD

1/8"=1'-0"



H - SOUTH ELEVATION AT PATIO - PARTIAL

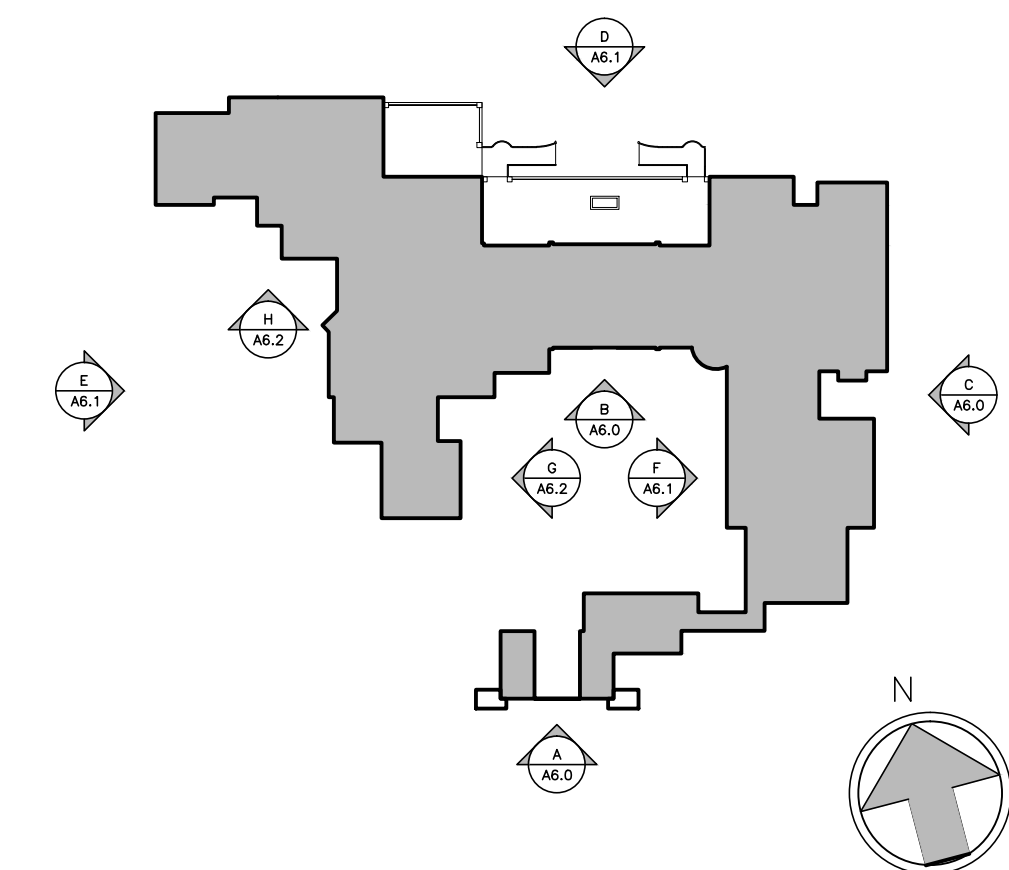
1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 SLATE ROOF - MATCH EXISTING
- 2 EXTERIOR RANDOM STONE - MATCH EXISTING
- 3 EXTERIOR STUCCO - MATCH EXISTING
- 4 COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING
- 5 WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS
- 6 BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O)
- 7 1/2" THK. GLASS RAILING WITH BRONZE POST
- 8 NEW SKYLIGHTS
- 9 NEW CONSERVATORY ROOF

KEY PLAN

N.T.S.





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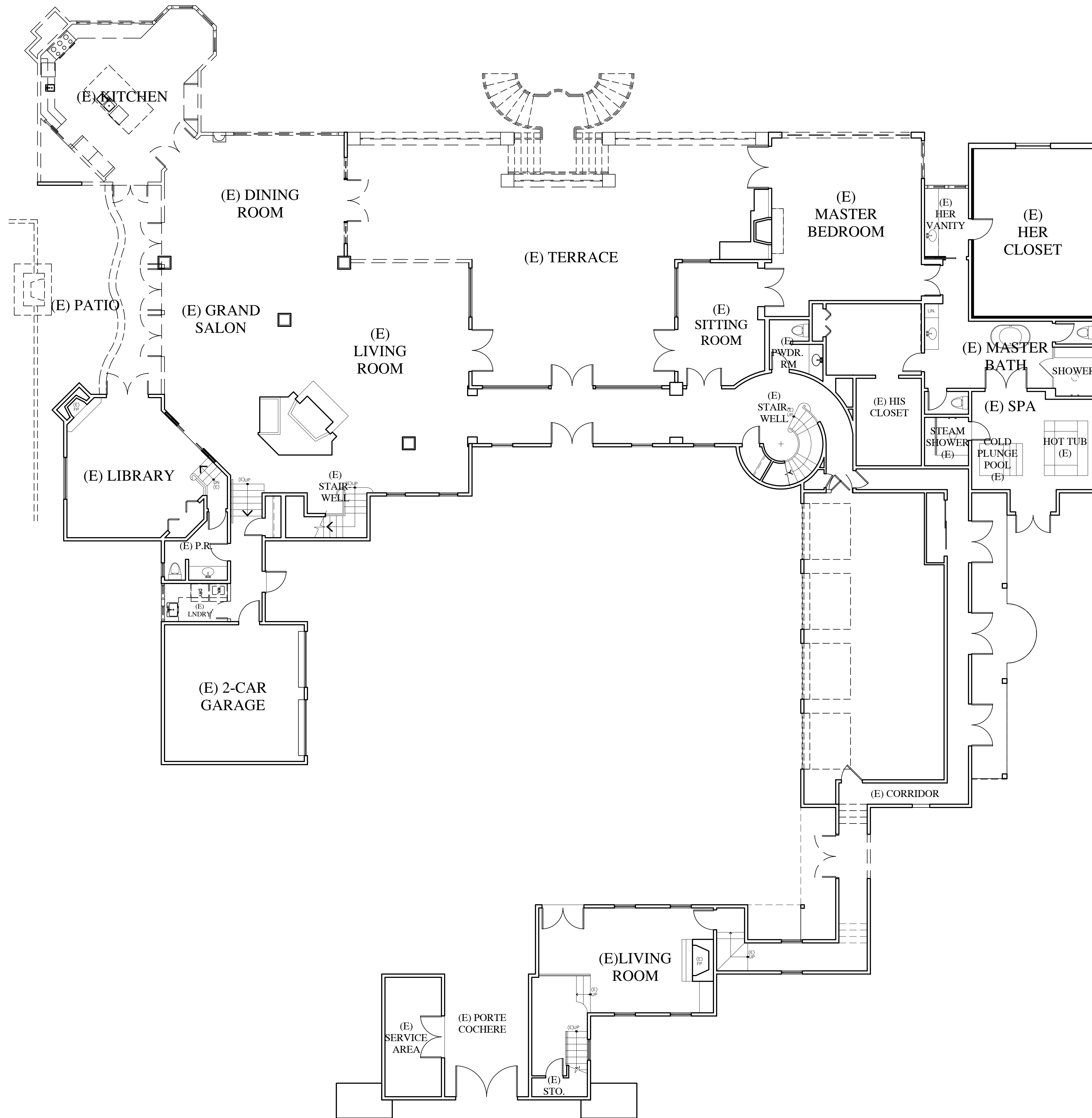
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8/26/22  
CLARIFICATION  
9/23/22  
GATE ADJUSTMENT  
9/30/22  
GENERATOR LOCATION  
3/19/25  
PLANNING AMENDMENT

MAIN LEVEL  
DEMO

SHEET NO.

D2.0

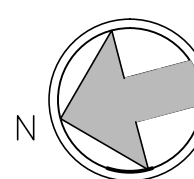


WALL LEGEND

2X EXISTING WALL TO REMAIN  
(E) DOOR OR WINDOW TO BE REMOVED  
2X EXISTING WALL TO BE REMOVED

MAIN LEVEL EXISTING - DEMOLITION PLAN

1/8"=1'-0"



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PLANNING SUBMITTAL

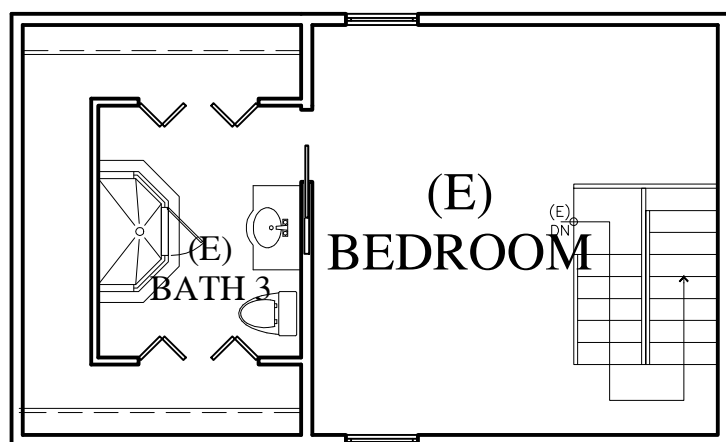
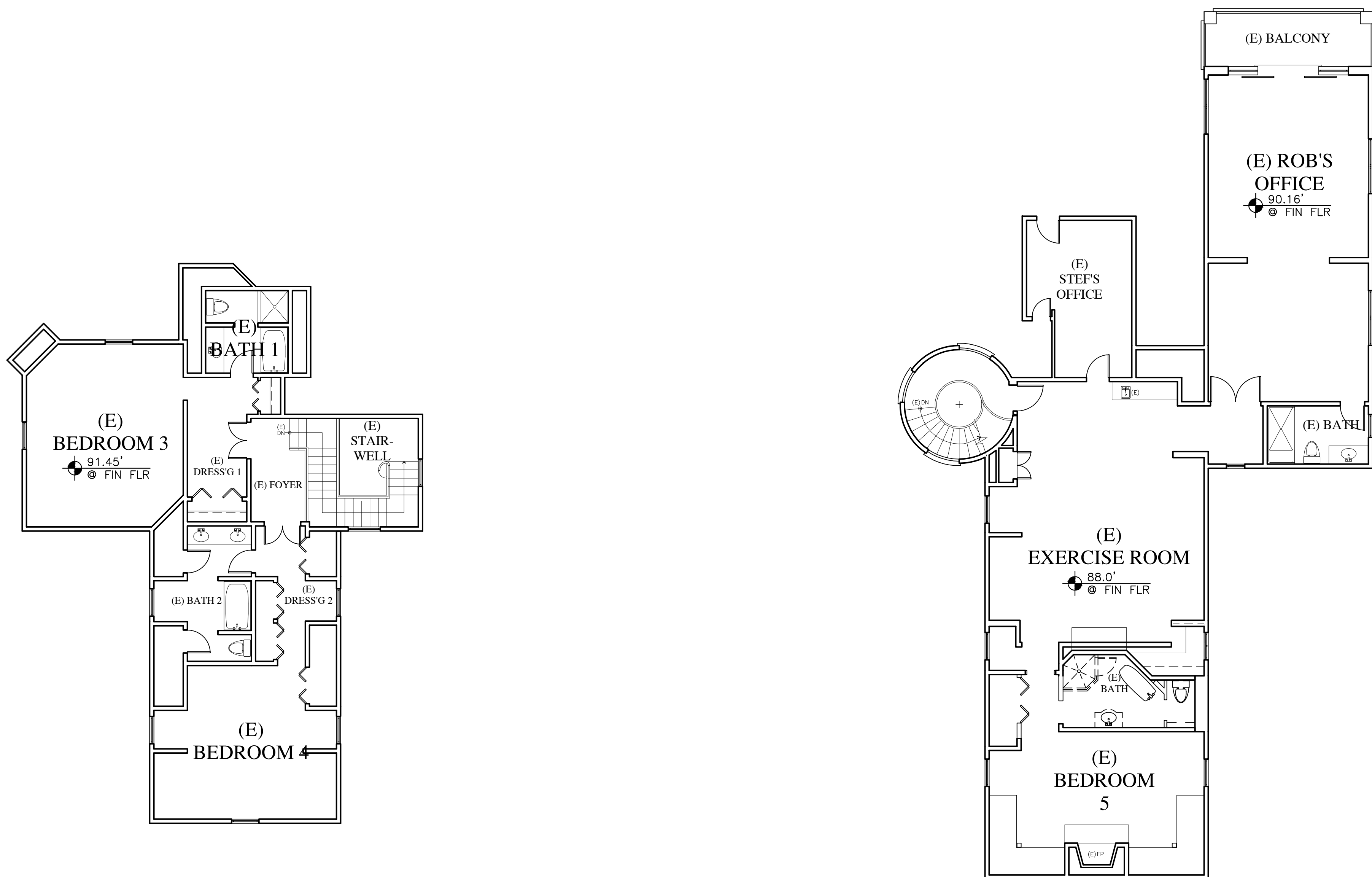
REVISIONS:

8/26/22  
CLARIFICATION  
9/23/22  
GATE ADJUSTMENT  
9/30/22  
GENERATOR LOCATION  
3/19/25  
PLANNING AMENDMENT

UPPER LEVEL  
DEMO

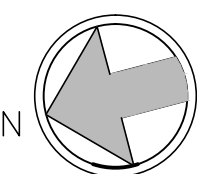
SHEET NO.

D3.0



UPPER LEVEL EXISTING - DEMOLITION PLAN

1/8" = 1'-0"



WALL LEGEND

2X EXISTING WALL TO REMAIN  
(E) DOOR OR WINDOW TO BE REMOVED  
2X EXISTING WALL TO BE REMOVED

731 LIGHTHOUSE AVE  
PACIFIC GROVE CA  
93950

PH: (831) 646-1261  
FAX: (831) 646-1260  
EMAIL: info@idg-inc.net  
WEB: idg-inc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY ORAL STATEMENTS OR ACTIONS. INTERNATIONAL DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ACCURATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

SKINNER  
RESIDENCE

PROJECT ADDRESS:

1151 SOMBRIA LN.  
PEBBLE BEACH, CA  
93953

APN: 008-281-020

DATE: AUGUST 18, 2022

PLANNING SUBMITTAL

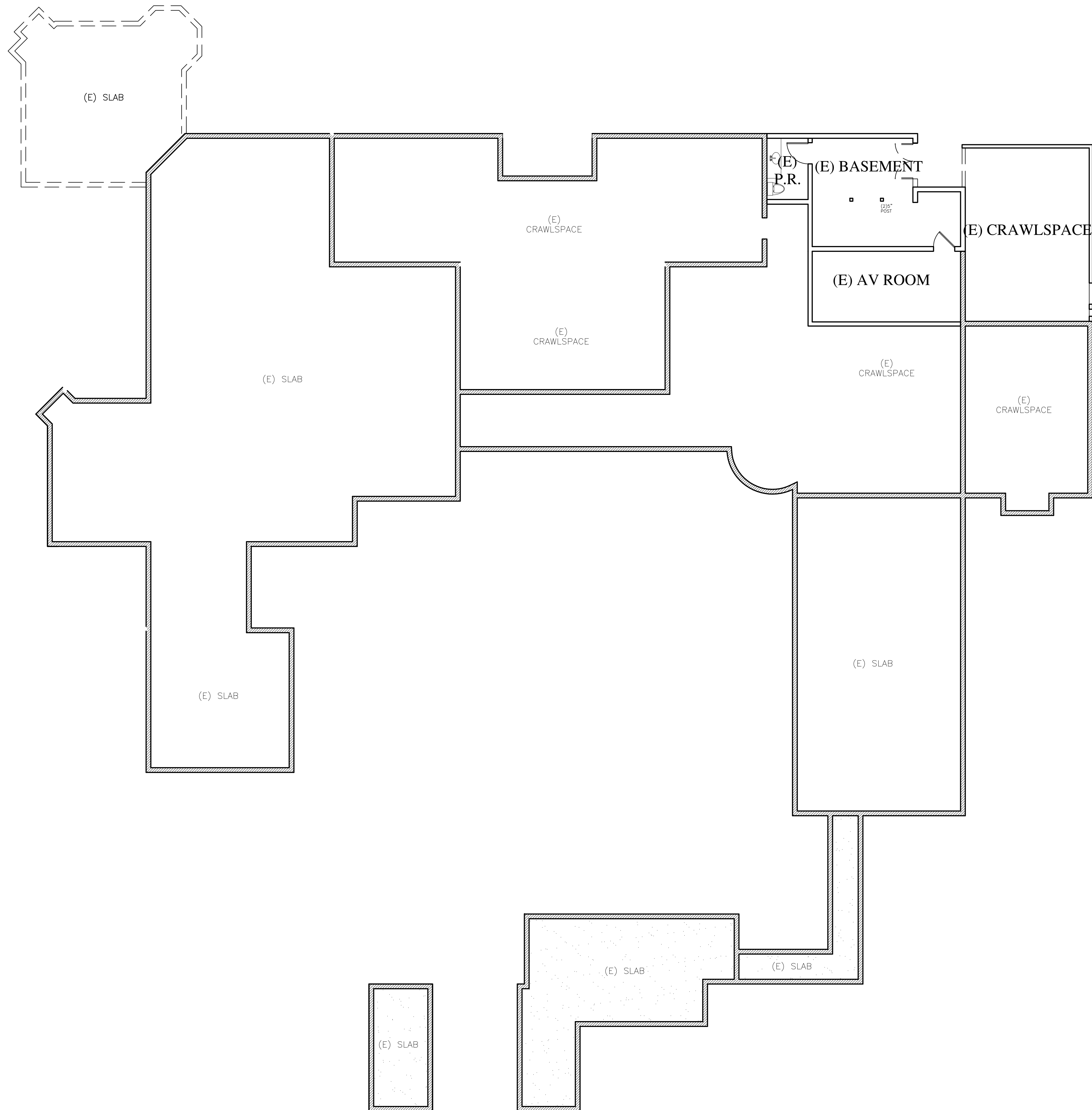
REVISIONS:

△	8/26/22	CLARIFICATION
△	9/23/22	GATE ADJUSTMENT
△	9/30/22	GENERATOR LOCATION
△	3/19/25	PLANNING AMENDMENT
△		
△		

LOWER LEVEL  
DEMO

SHEET NO.

D4.0

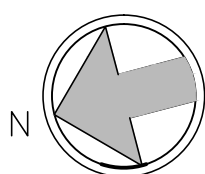


WALL LEGEND

—	2X EXISTING WALL TO REMAIN
- - -	(E) DOOR OR WINDOW TO BE REMOVED
- - - - -	2X EXISTING WALL TO BE REMOVED

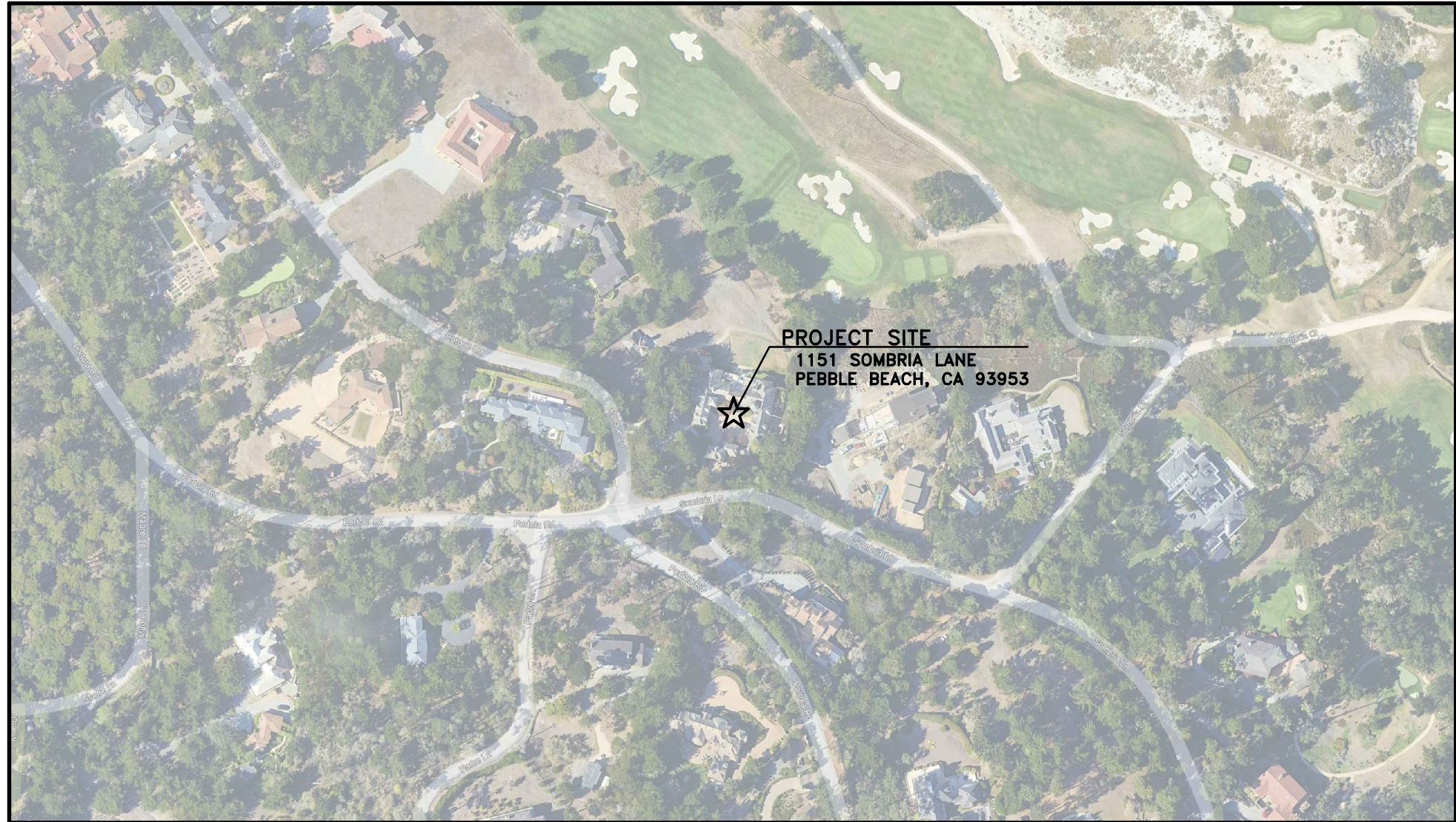
LOWER LEVEL EXISTING - DEMOLITION PLAN

1/8"=1'-0"

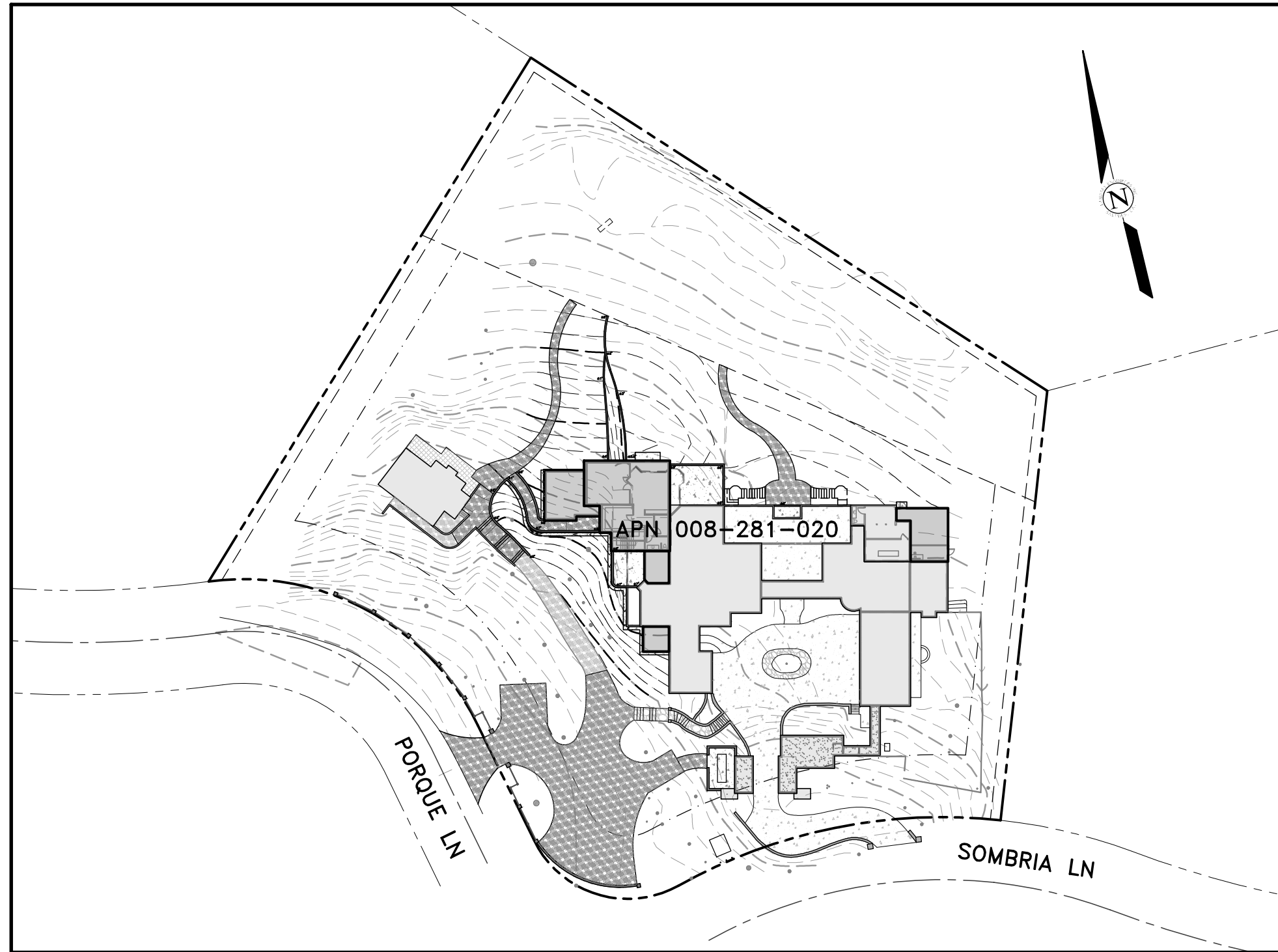




GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE SKINNER RESIDENCE  
APN: 008-281-020  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP  
NOT TO SCALE



LOT OVERVIEW  
SCALE: 1" = 60'

GENERAL NOTES:

- PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR THE SKINNER RESIDENCE PREPARED BY IDG, DATED 02/26/2025; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY SURVEYOR, DATED 11/27/2016.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY GRICE ENGINEERING, DATED JULY 2017; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 1275 CUBIC YARDS OF CUT AND 180 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 1095 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NOS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

LEGEND:

	PROPERTY BOUNDARY		EXISTING RESIDENCE FOOTPRINT		CATCH BASIN
	SETBACK		PROPOSED BUILDING FOOTPRINT		AREA DRAIN
	MAJOR CONTOUR (5' INTERVAL)		ASPHALT CONCRETE		JUNCTION BOX
	MINOR CONTOUR (1' INTERVAL)		CONCRETE		DOWNSPOUT W/ SPLASH BLOCK
	RETAINING WALL		DECOMPOSED GRANITE		DISPERSION TRENCH
	SWALE FLOW LINE		STONE		ENERGY DISSIPATOR
	STORM DRAIN PIPE				TREE
	RAINWATER LEADER				TREE TO BE REMOVED
	SUBDRAIN LINE				

ABBREVIATIONS:

±	= PLUS OR MINUS; APPROXIMATE	EVC	= END OF VERTICAL CURVE	PL	= PROPERTY LINE
Ø	= DIAMETER	EW	= EACH WAY	POC	= POINT OF CONNECTION
AB	= AGGREGATE BASE	EX	= EXISTING	PVC	= POLYVINYL CHLORIDE
ABAN	= ABANDON	FC	= FLUSH CURB	RC	= RELATIVE COMPACTION
AC	= ASPHALT CONCRETE	FD	= FIRE DEPARTMENT	RES	= RESIDENCE
AD	= AREA DRAIN	FF	= FINISHED FLOOR	RM	= ROOM
ADD	= ADDITION	FG	= FINISHED GRADE	RND	= ROUND
ADU	= ACCESSORY DWELLING UNIT	FL	= FLOWLINE	RW	= RETAINING WALL
BC	= BEGINNING OF CURVE	FM	= FORCE MAIN	RWL	= RAINWATER LEADER
B.E.	= BUILDING ENVELOPE	FP	= FINISHED PAD	SD	= STORM DRAIN
BLDG	= BUILDING	GAR	= GARAGE	SF	= SQUARE FEET
BOT	= BOTTOM	GB	= GRADE BREAK	SG	= SUBGRADE
BSMT	= BASEMENT	GR	= GRATE	SO	= SQUARE
BVC	= BEGINNING OF VERTICAL CURVE	HDPE	= HIGH-DENSITY POLYETHYLENE	SS	= SANITARY SEWER
CB	= CATCH BASIN	HP	= HIGH POINT	STA	= STATION
CF	= CUBIC FEET	HT	= HEIGHT	STN	= STONE
CL	= CENTERLINE	INV	= PIPE INVERT	STP	= STEP
CO	= CLEANOUT	JB	= JUNCTION BOX	SUBD	= SUBDRAIN
CONC	= CONCRETE	JT	= JOINT TRENCH	TBR	= TO BE REMOVED
CY	= CUBIC YARDS	LF	= LINEAR FEET	TD	= TRENCH DRAIN
DG	= DECOMPOSED GRANITE	LP	= LOW POINT	TW	= TOP OF WALL
DK	= DECK	MAX	= MAXIMUM	TYP	= TYPICAL
DS	= DOWNSPOUT	MIN	= MINIMUM	U.N.O.	= UNLESS NOTED OTHERWISE
DWY	= DRIVEWAY	OC	= ON-CENTER	VC	= VERTICAL CURB
EC	= END OF CURVE	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EG	= EXISTING GROUND	PCC	= PORTLAND CEMENT CONCRETE	W/O	= WITHOUT
ELEV	= ELEVATION	PERF	= PERFORATED	WD	= WOOD
ESMT	= EASEMENT	PERM	= PERMEABLE		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	GRICE ENGINEERING	Beginning of Project		
Subexcavation, fill placement, and compaction	GRICE ENGINEERING	Throughout grading operations		
Foundation Excavations	GRICE ENGINEERING	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	GRICE ENGINEERING	Prior to trench backfill operations		
Utility trench compaction	GRICE ENGINEERING	During backfill operations		
Retaining wall backfill compaction	GRICE ENGINEERING	During backfill operations		
Baserock subgrade compaction	GRICE ENGINEERING	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND NO SPECIAL STORMWATER FACILITY DESIGN IS REQUIRED.
- PER MONTEREY COUNTY CODE 16.12.070 RUNOFF CONTROL, THIS PROJECT SHALL INCLUDE STORMWATER FACILITIES DESIGNED TO LIMIT RUNOFF FROM THE 10-YR DESIGN STORM TO THE PRE-DEVELOPMENT RATE.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

**OWNER:**  
ROBERT AND STEFANIE SKINNER  
1151 SOMBRIA LANE  
PEBBLE BEACH, CA 93953

**ARCHITECT:**  
JUN SILLANO  
IDG  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

**SITE LOCATION:**  
1151 SOMBRIA LANE  
PEBBLE BEACH, CA 93953

	03/21/25	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION

"COVER SHEET"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF

THE SKINNER RESIDENCE

A.P.N.: 008-281-020

PEBBLE BEACH, CALIFORNIA

FOR  
ROBERT AND STEFANIE SKINNER

SCALE: AS SHOWN

DATE: MAR 2025

JOB No. 2536-01

SHEET

C1

OF 7 SHEETS





"GRADING & DRAINAGE PLAN"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF

THE SKINNER RESIDENCE

A.P.N.: 008-281-020

PEBBLE BEACH, CALIFORNIA

FOR

ROBERT AND STEFANIE SKINNER

SCALE: 1" = 16'

DATE: MAR 2025

JOB No. 2536-01

SHEET C2

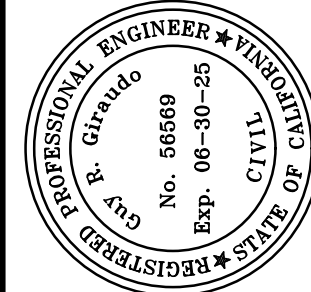
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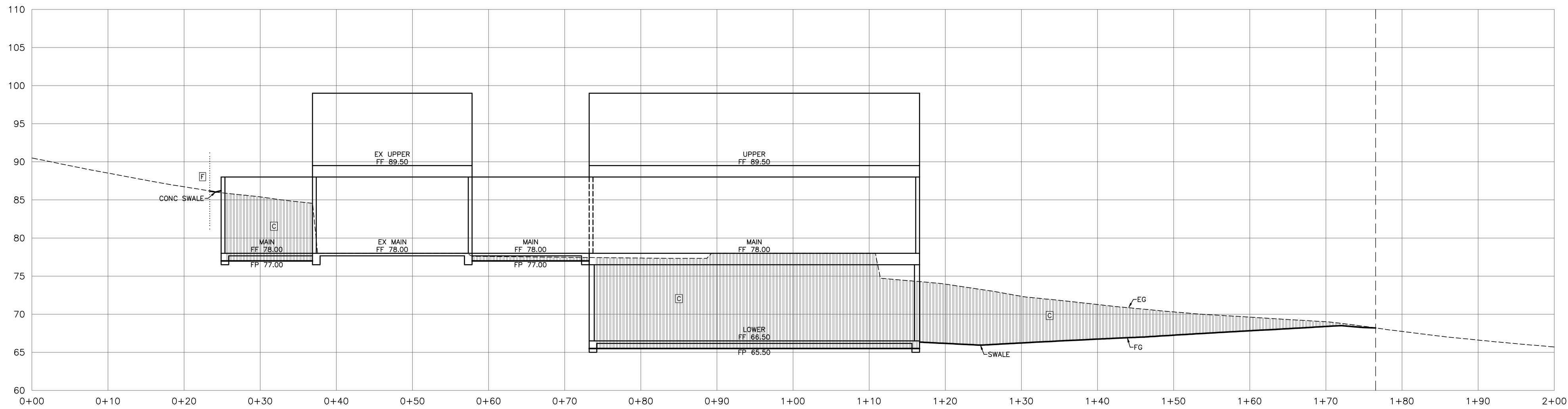


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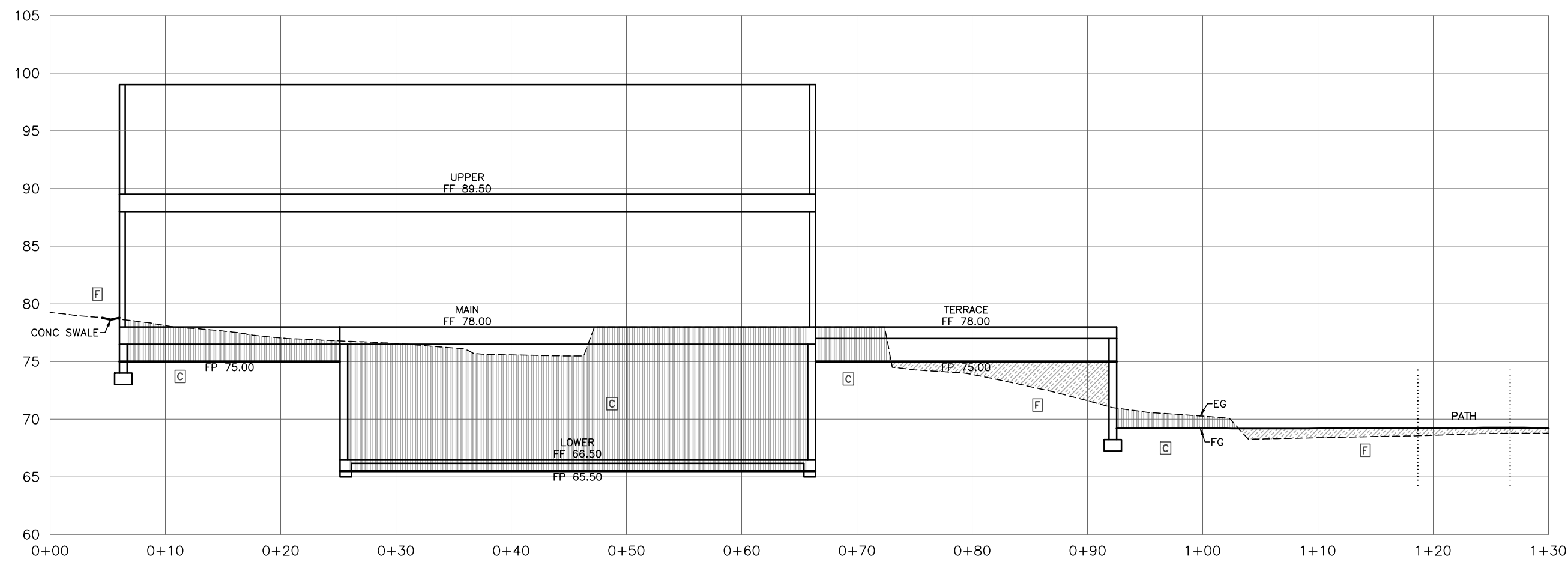
GUY R. GIRAUDO



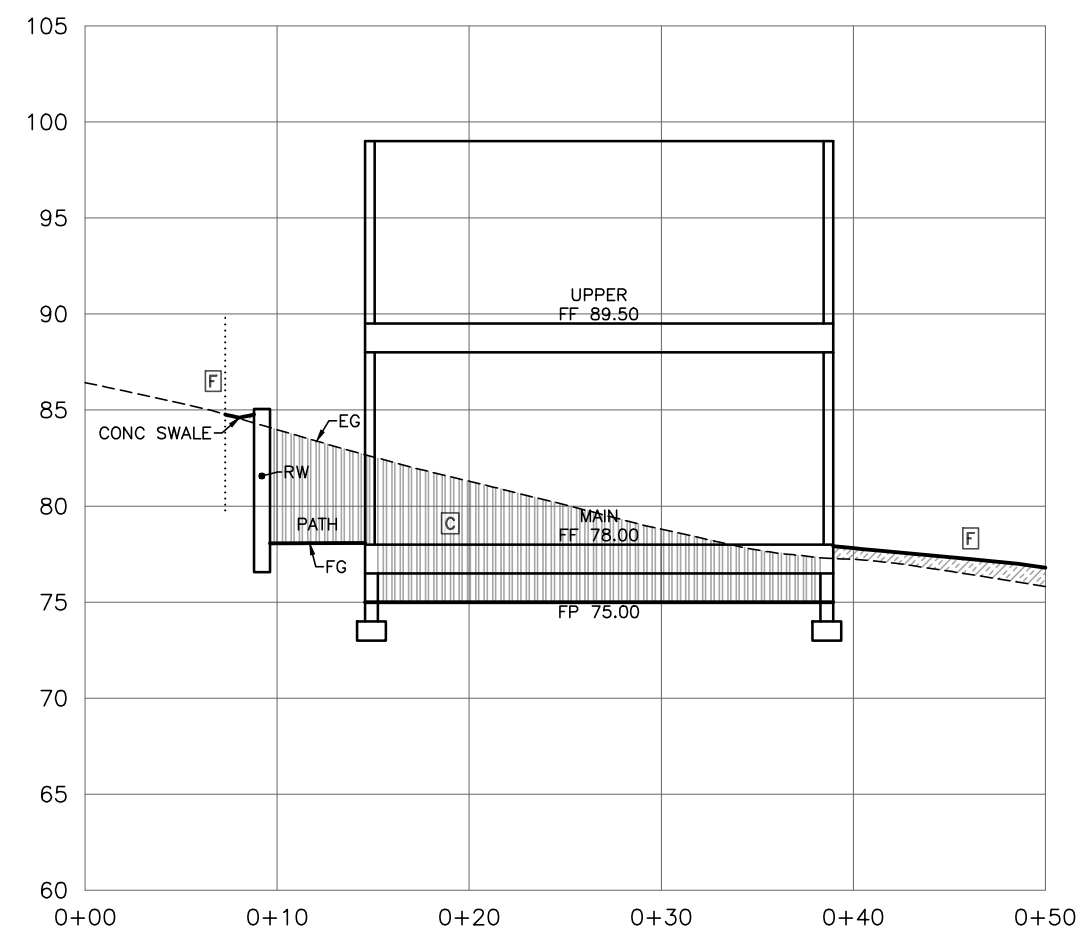




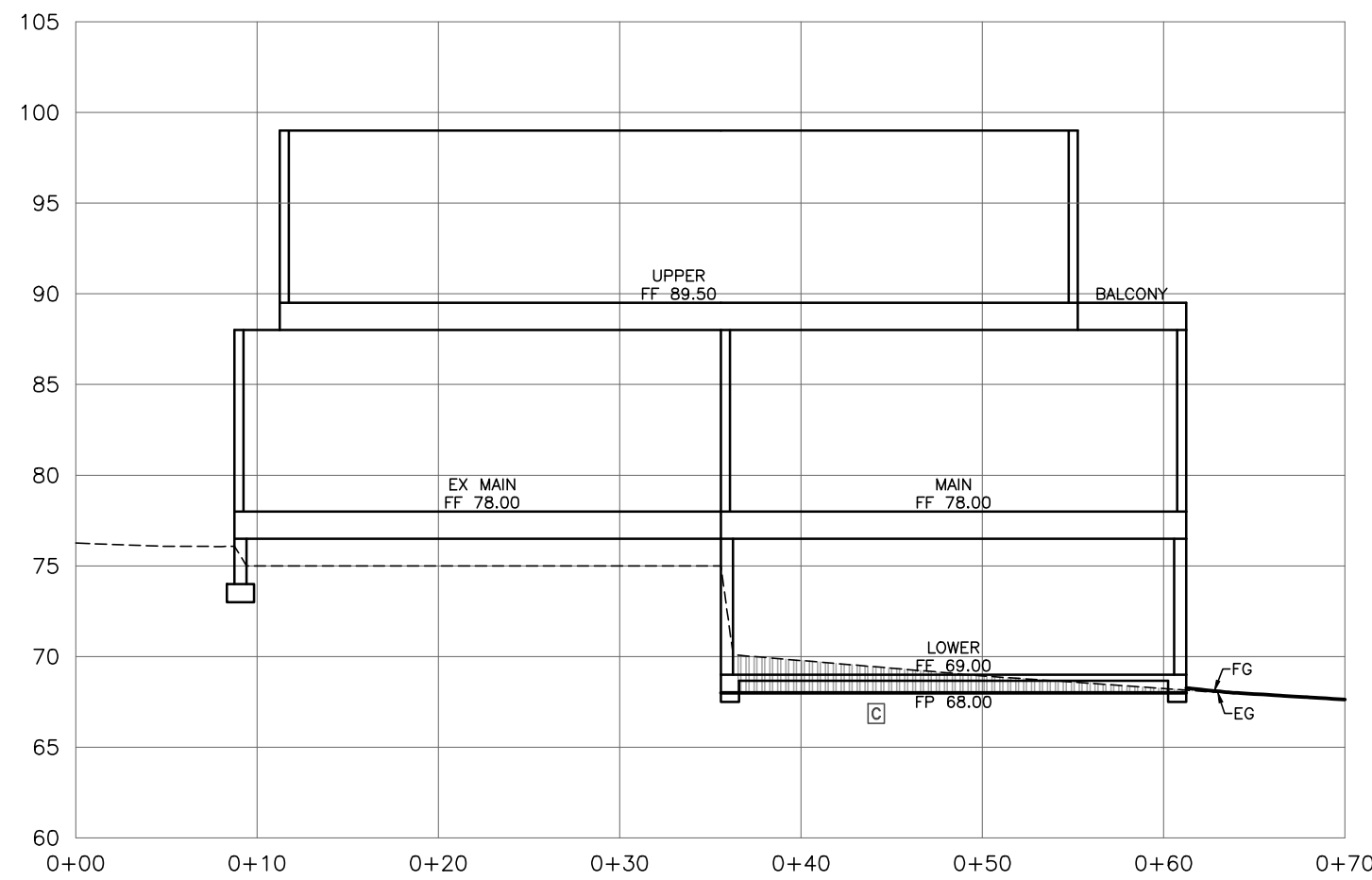
SECTION A-A  
SCALE: 1"=10' H&V



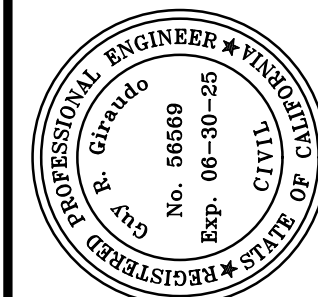
SECTION B-B  
SCALE: 1"=10' H&V



SECTION C-C  
SCALE: 1"=10' H&V



SECTION D-D  
SCALE: 1"=10' H&V



APPROVED BY:  
  
GUY R. GIRARDO



"GRADING SECTIONS & DETAILS"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE SKINNER RESIDENCE  
A.P.N.: 008-281-020  
PEBBLE BEACH, CALIFORNIA  
ROBERT AND STEFANIE SKINNER

SCALE: AS SHOWN  
DATE: MAR 2025  
JOB No. 2536-01

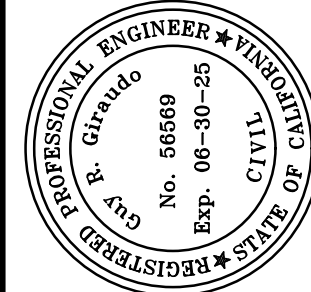
SHEET **C3**  
OF 7 SHEETS

No.	DATE	BY	REVISION
03/21/25	JAN	RELEASED TO CLIENT	





"UTILITY PLAN"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE SKINNER RESIDENCE  
A.P.N.: 008-281-020  
PEBBLE BEACH, CALIFORNIA  
ROBERT AND STEFANIE SKINNER



APPROVED BY:  
  
GUY R. GIRAUDO

SCALE: 1" = 16'  
DATE: MAR 2025  
JOB No. 2536-01

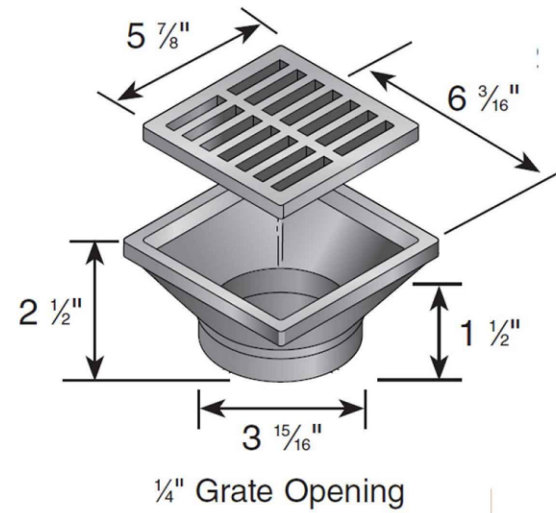
SHEET **C4**

OF 7 SHEETS

No.	DATE	BY	REVISION
	03/21/25	JAN	RELEASED TO CLIENT



6" x 6" x 4" Square Grate & Adapter



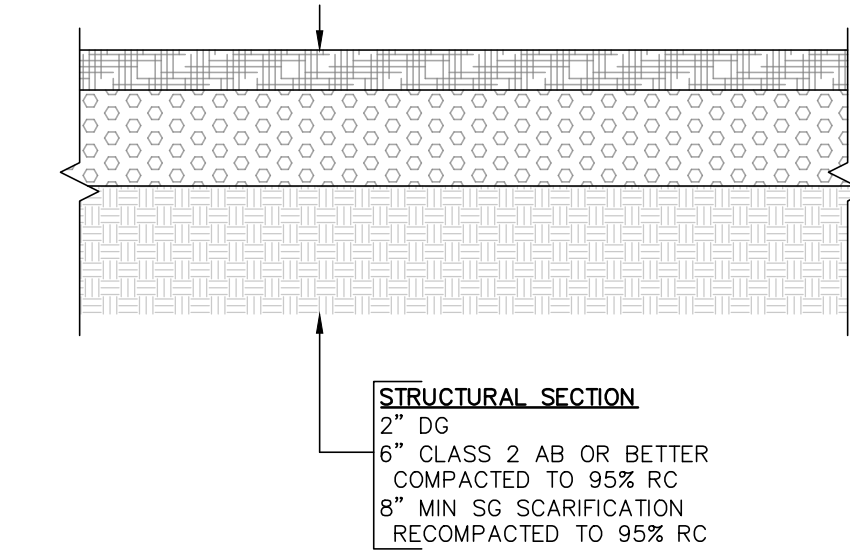
Part #: 640, 641, & 642  
Material: Grate (HDPE) High Density Polyethylene  
Adapter (HDPE) High Impact Polyethylene  
Color: 4640(Black), 4641(Green), & 4642(Gray)  
Fits: 3" & 4" sewer and drain pipe & fittings, 3" & 4" corrugated and triple wall pipe.  
Grate Opening: 1/4"  
Open Surface Area: 12.61 Sq. Inches  
Head Pressure / Flow Rate:  
Head (Inches) - Max. Flow:  
1" = 54.55 GPM  
0.5" = 38.58 GPM  
Weight Per Each: 0.83 lbs.  
UV inhibitor

Load Recommendation Guide

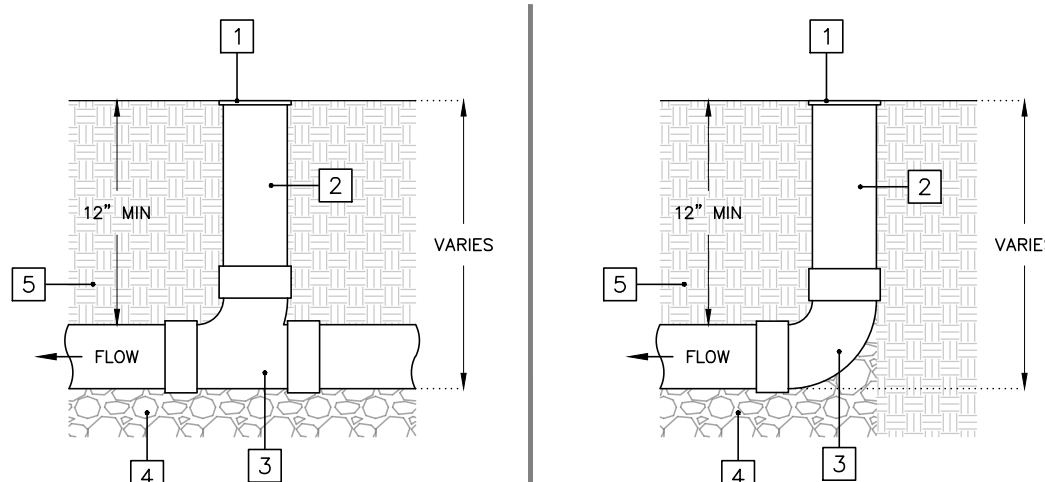
Class A  
• Loads of 500 psi.  
• Recommended for pedestrians, bicycles and wheel chair traffic.

ADA Compliant/Heel-proof

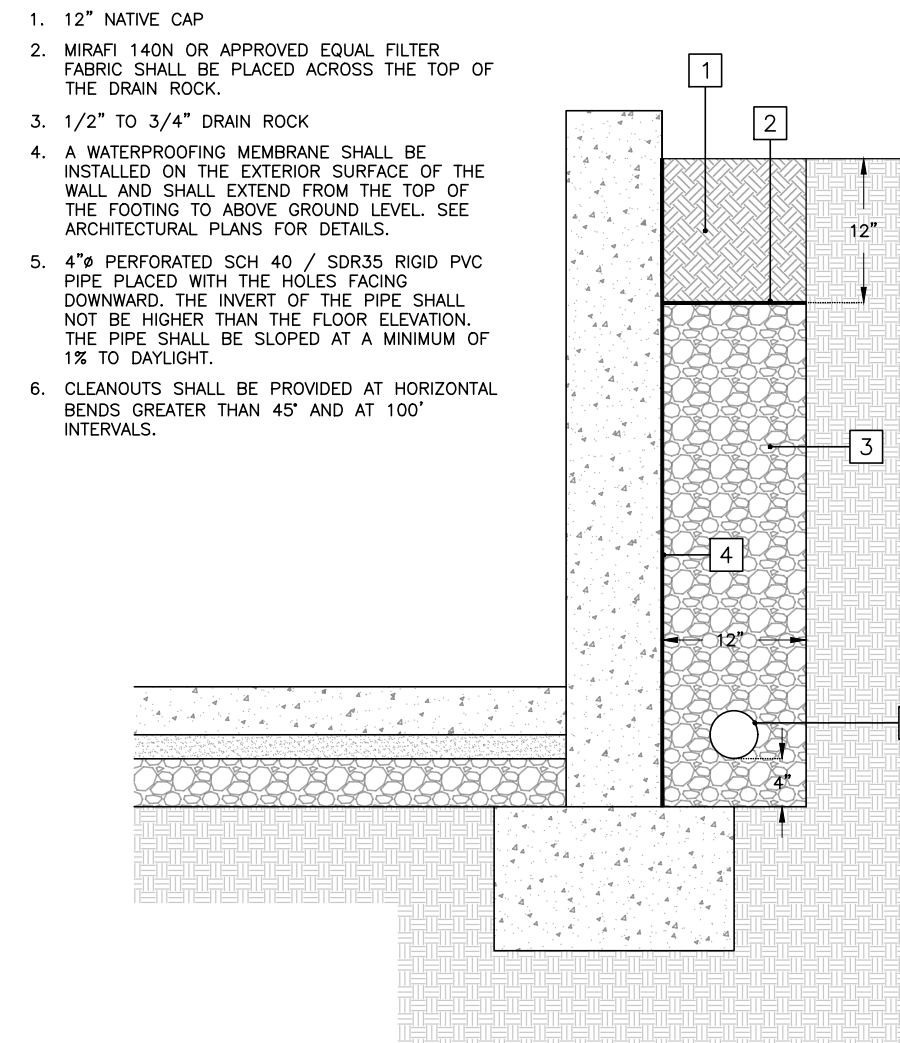
1 NDS 6" SQUARE GRATE



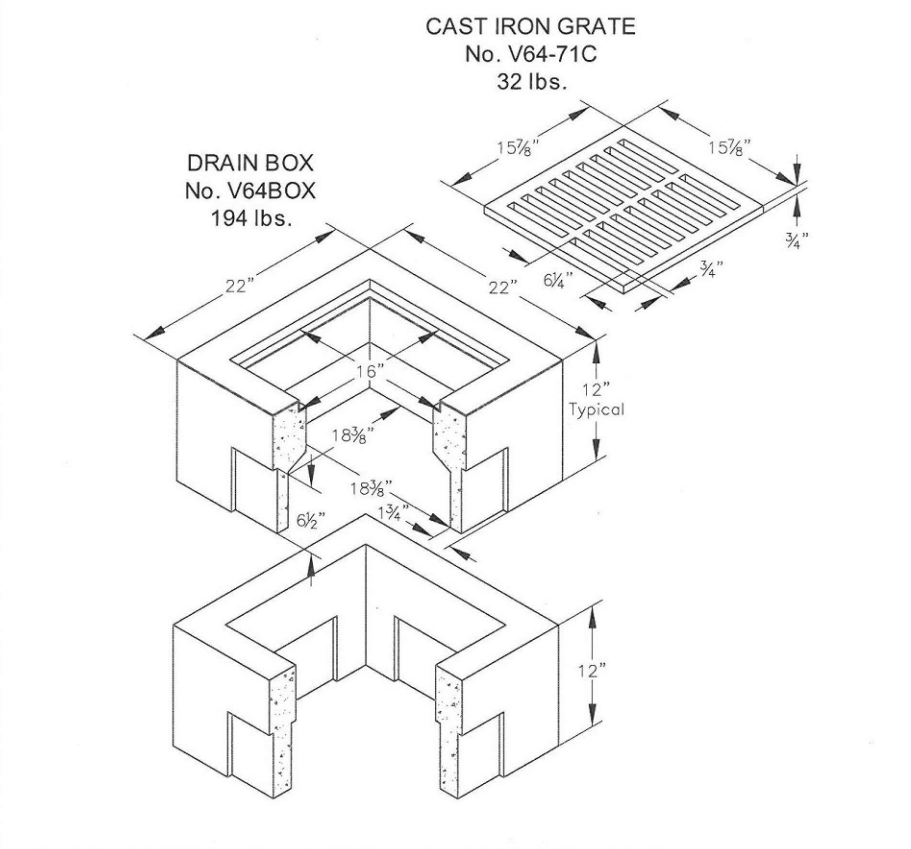
6 PAVEMENT SECTION (DG)



2 AREA DRAIN INSTALLATION



7 PERIMETER SUBDRAIN

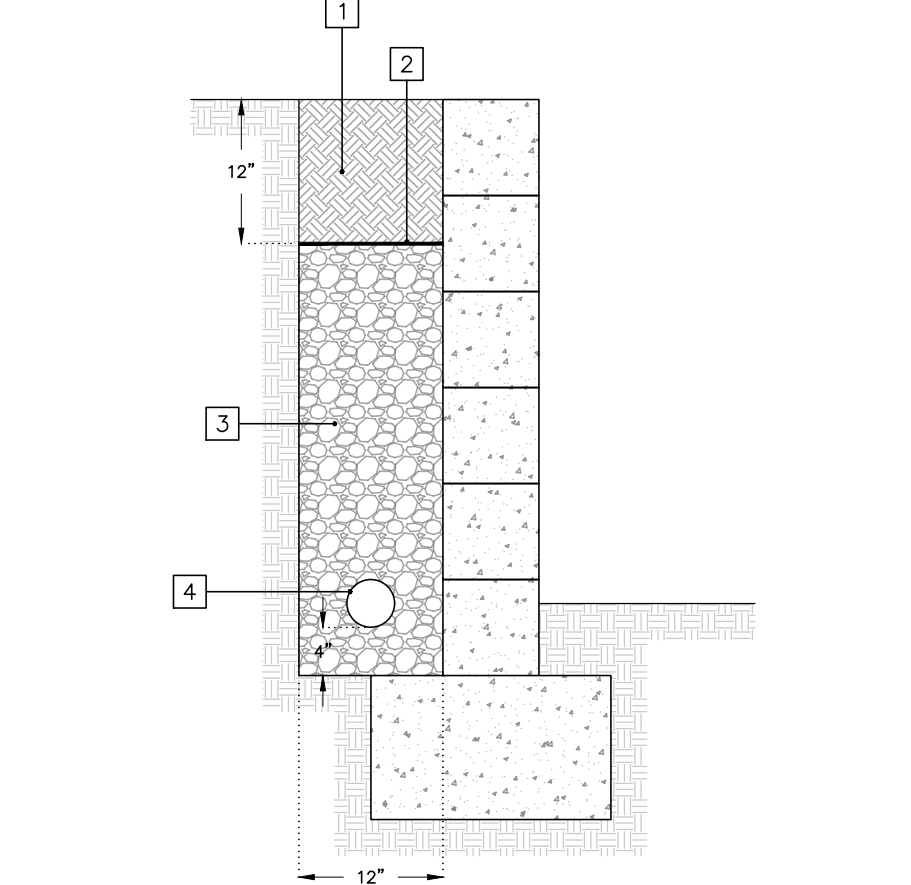


This concrete drain box has a cast in galvanized frame and is specifically engineered for drainage in medium areas such as parking lots, school grounds, walkways, etc. Its design permits final grading material to "lock in" and from open knock-outs accommodate up to 6" (30 gpm). Approximate dimensions and weight shown. Also available in ball down.

Ordering Code	Item	Approx. Weight	Description
V64BOX	DRAIN BOX	134	V64 Drain Box (18" x 18") - 12 per pallet
V64-71C	GRATE	32	Cast Iron
V64X12	EXTENSION	152	12" Reinforced concrete - 12 per pallet

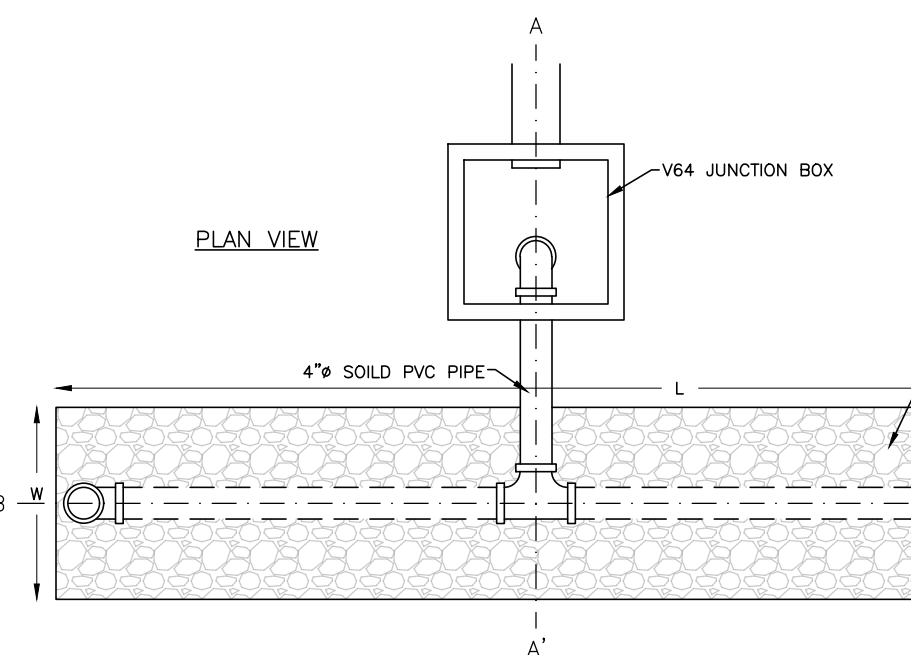
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Phone: (800) 488-0170 Fax: (800) 488-8804  
www.oldcastleprecast.com

3 CHRISTY V64 CATCH BASIN



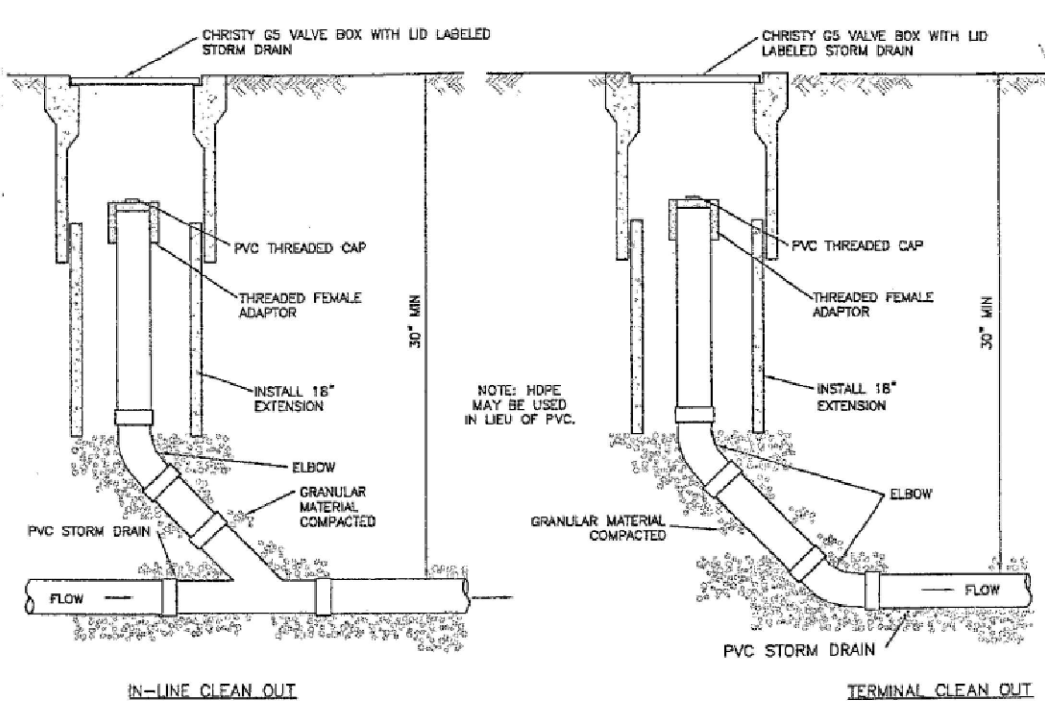
- 12" NATIVE CAP, TRENCH SURFACE SHALL BE RESTORED TO NATURAL/ORIGINAL CONDITION.
- MIRAFI 140N OR APPROVED EQUAL FILTER FABRIC SHALL BE PLACED ACROSS THE TOP OF THE DRAIN ROCK.
- 1/2" TO 3/4" DRAIN ROCK.
- 4" PERFORATED SCH 40/SDR 35 RIGID PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. THE PIPE SHALL BE SLOPED AT A MINIMUM OF 1% TO DAYLIGHT.
- CLEANOUTS SHALL BE PROVIDED AT THE UPSTREAM END OF ANY RUN OF PERFORATED PIPE, AT HORIZONTAL BENDS GREATER THAN 45°, AND AT A MAXIMUM SPACING OF 100'.

8 SUBDRAIN BEHIND RETAINING WALL

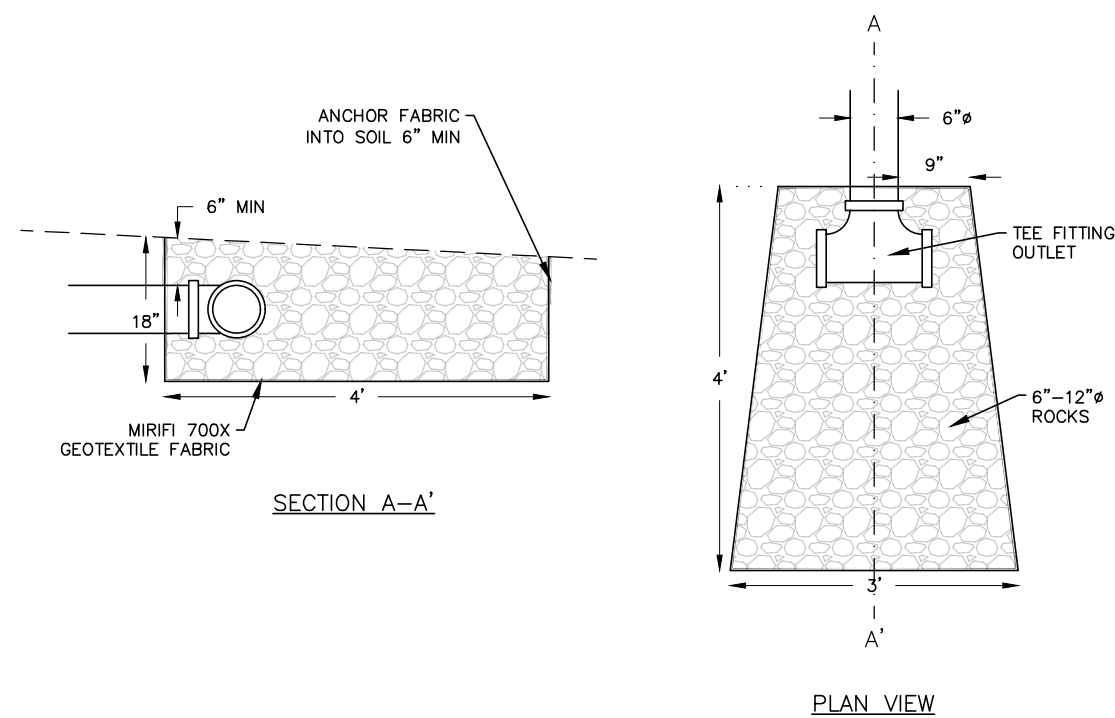


- DISPERSION PIPE SHALL BE LEVEL, AND TRENCH SHALL BE PARALLEL TO CONTOURS.
- MIRAFI 140 N' OR APPROVED EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP, AND BOTTOM OF TRENCH.
- DISPERSION TRENCH SHALL BE LOCATED A MINIMUM OF 20' FROM ANY STRUCTURES.
- DISPERSION TRENCH SHALL BE LOCATED ON THE LEAST STEEP AVAILABLE SLOPE.
- DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.

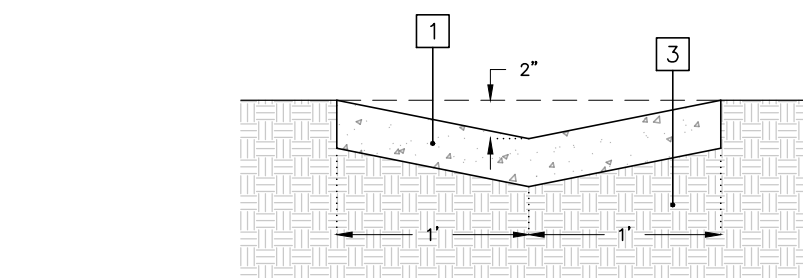
13 DISPERSION TRENCH



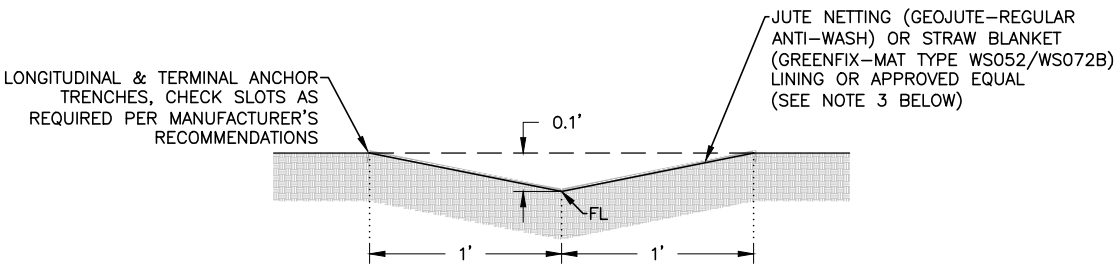
4 G5 STORM DRAIN CLEANOUT



5 ENERGY DISSIPATOR

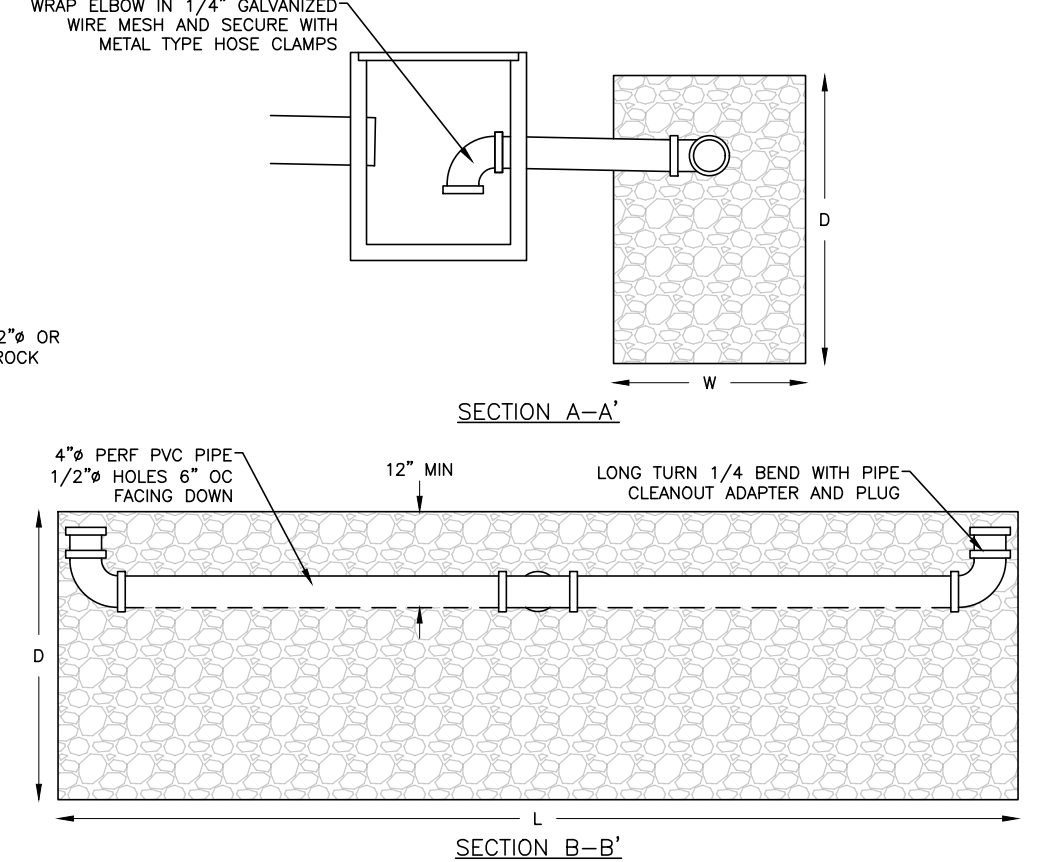


9 CONCRETE SWALE



- LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
- THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
- IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
- GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

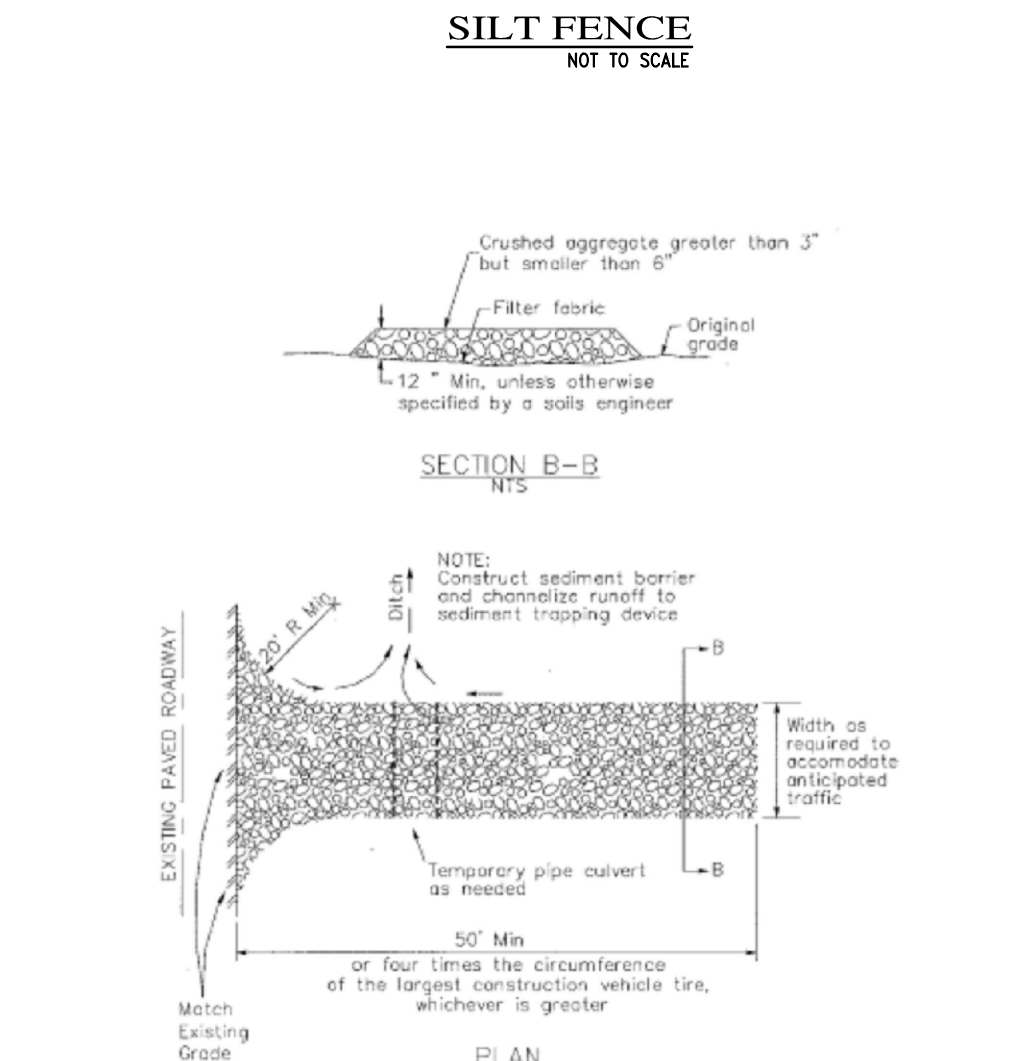
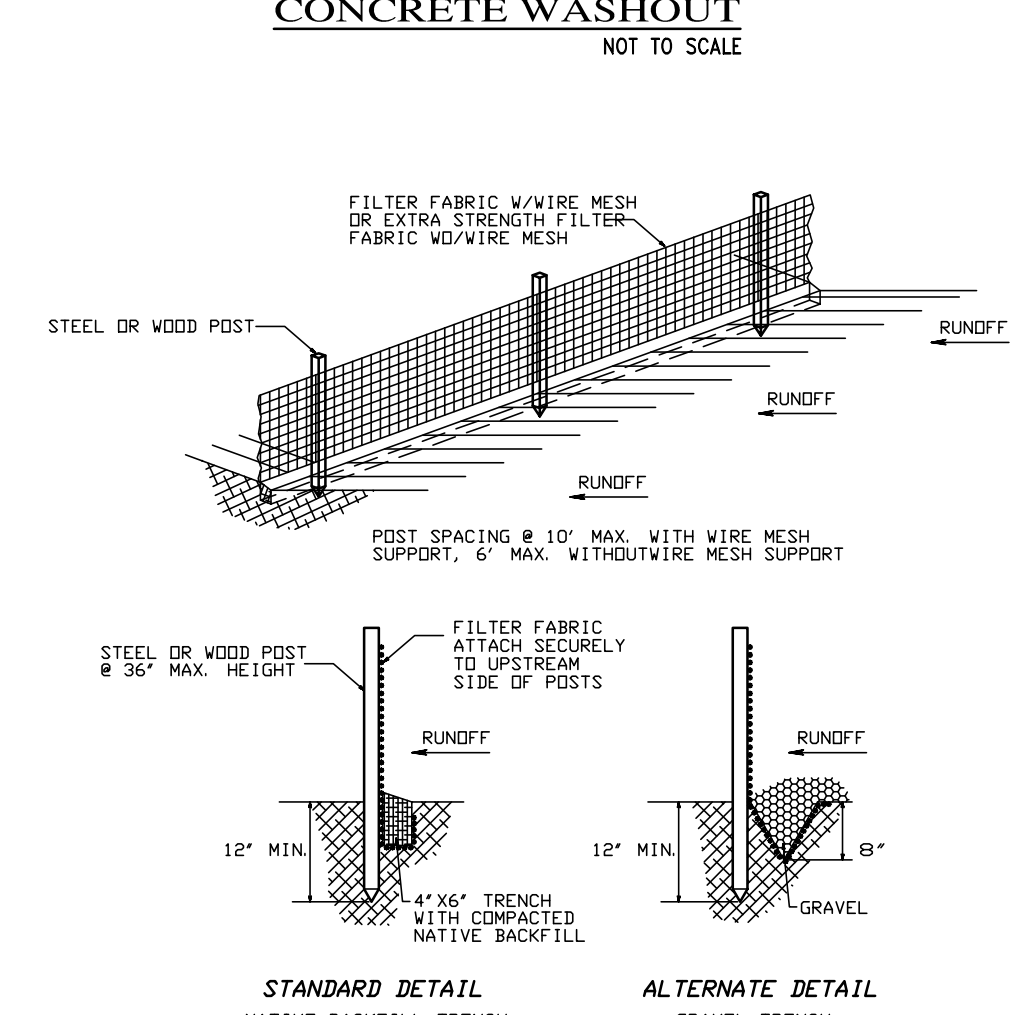
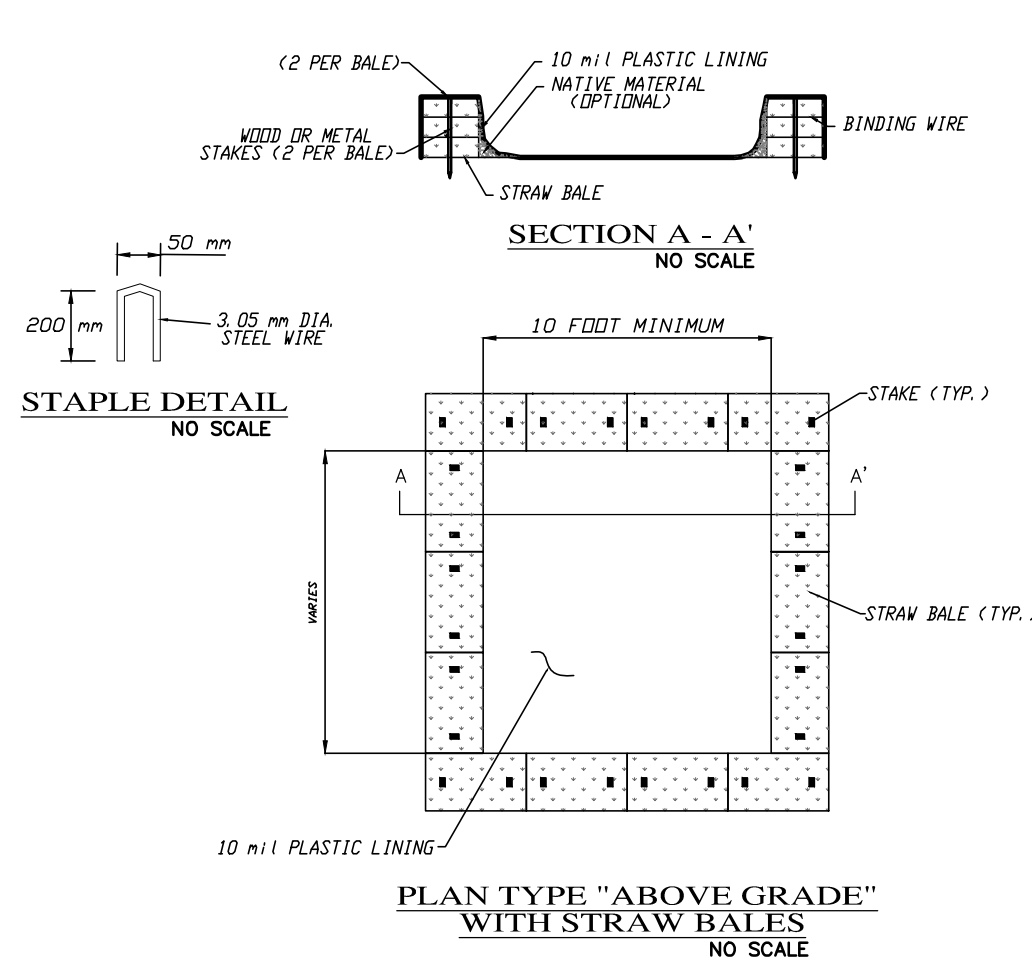
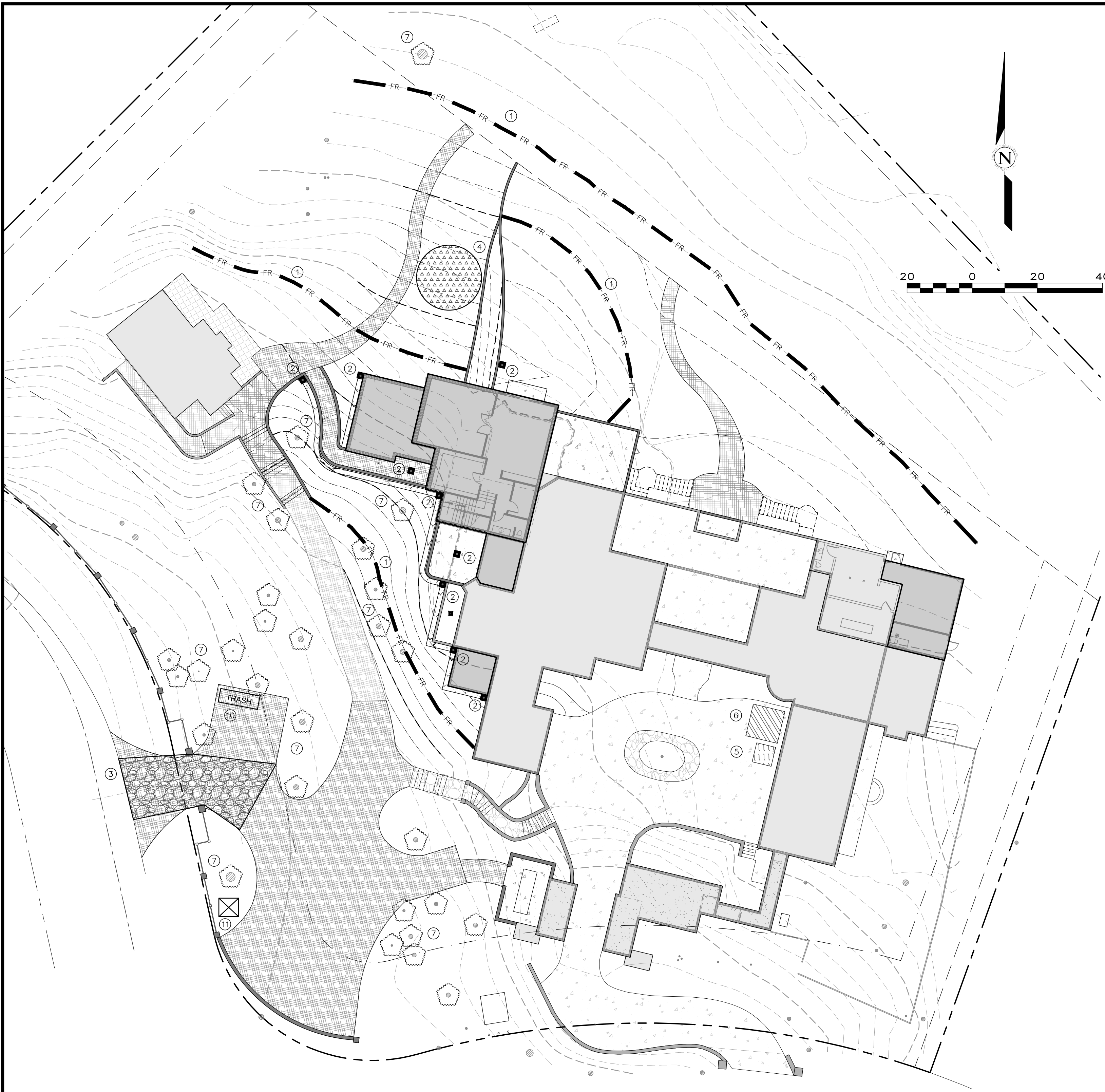
10 EARTH SWALE



9 CONCRETE SWALE

No.	DATE	BY	REVISION
03/21/25	JAN	RELEASED TO CLIENT	





- EROSION & SEDIMENT CONTROL NOTES:**
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE AUTHORITY HAVING JURISDICTION EROSION CONTROL ORDINANCE.
  - 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
  - 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
  - 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
  - 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
  - 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
  - 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
  - 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
  - 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMUS GLAUCUS* (BLUE WILD RYE), *HOREDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNNIMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
  - 10) SEEDS AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
  - 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH AUTHORITY HAVING JURISDICTION GRADING AND EROSION CONTROL REGULATIONS.
  - 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
  - 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
  - 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH THE AUTHORITY HAVING JURISDICTION DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

**BMP LEGEND:**

- 1) FR
  - 2) [Symbol]
  - 3) [Symbol]
  - 4) [Symbol]
  - 5) [Symbol]
  - 6) [Symbol]
  - 7) [Symbol]
  - 8) SF
  - 9) [Symbol]
  - 10) TRASH
  - 11) RECYCLE
- FIBER ROLLS:** THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- DRAIN INLET PROTECTION:** PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- STABILIZED CONSTRUCTION ACCESS:** INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- STOCKPILE MANAGEMENT:** SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- CONCRETE WASHOUT:** WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- CONTRACTOR'S STAGING AREA:** THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- TREE PROTECTION:** TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- SILT FENCE:** SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- GRAVEL BAG CHECK DAM:** GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- WASTE MANAGEMENT:** SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- SANITARY/SEPTIC WASTE MANAGEMENT:** PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

**DETAILS**  
NOT TO SCALE

**Material Delivery and Storage WM-1**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

**Solid Waste Management WM-5**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

**Hazardous Waste Management WM-6**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

**Sanitary/Septic Waste Management WM-9**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

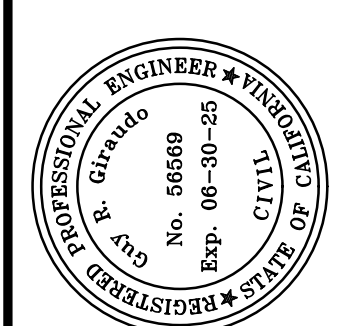
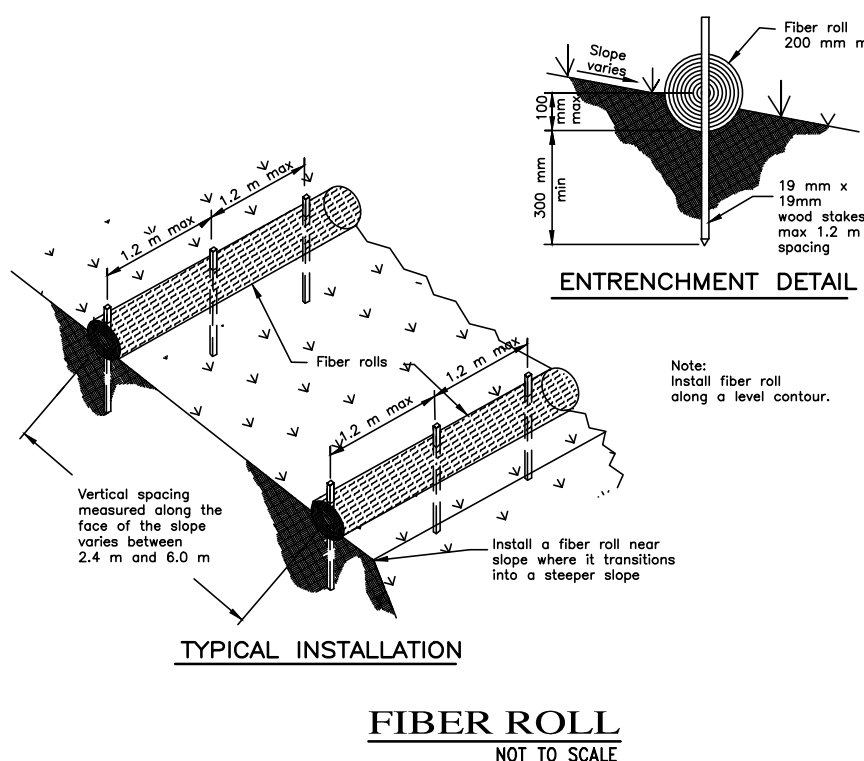
- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



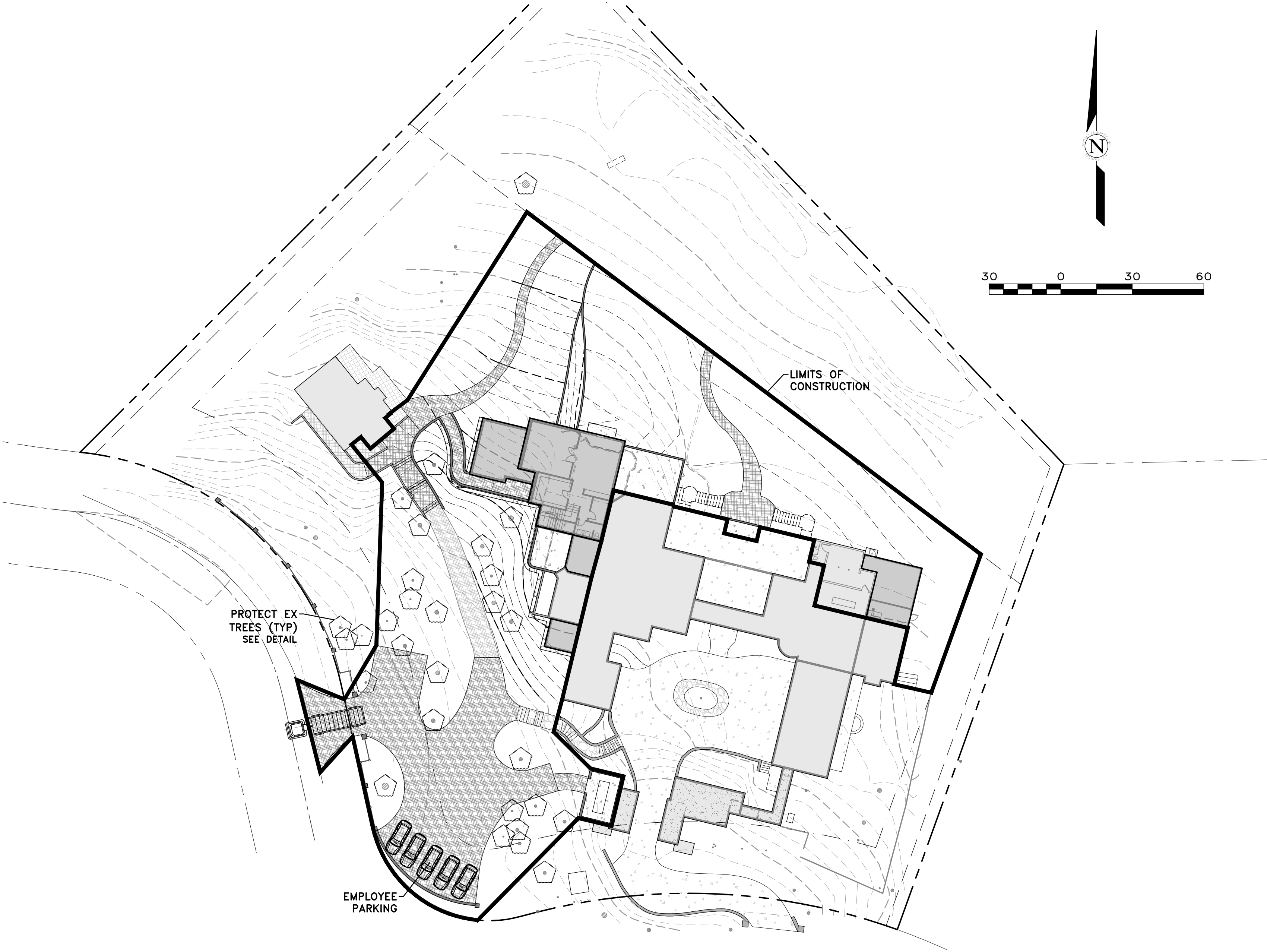
APPROVED BY:  
GUTY R. GRIJALVA



**"EROSION & SEDIMENT CONTROL PLAN"**  
**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**  
OF  
**THE SKINNER RESIDENCE**  
A.P.N.: 008-281-020  
**PEBBLE BEACH, CALIFORNIA**  
ROBERT AND STEFANIE SKINNER

GRADING, DRAINAGE	
SCALE: 1" = 20'	
DATE: MAR 2025	
JOB No. 2536-01	
SHEET	C6
OF 7 SHEETS	





**A PLAN**  
SCALE: 1" = 30'

**SITE GRADING:**  
THE PROPOSED GRADING INCLUDES APPROXIMATELY 1275 CY OF CUT & 180 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
  - B. SITE GRADING
  - C. UTILITY INSTALLATION
  - D. CONSTRUCT STRUCTURE
  - E. INSTALL PAVERS AND LANDSCAPING
  - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

**HAUL ROUTES:**  
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM PORQUE LN. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTH ON PORQUE LN. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM PORQUE LN TO SOMBRIA LN TO PORTOLA RD TO 17 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON PORQUE LN AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
VEHICLES OR TRUCKS SHALL NOT QUEUE ON PORQUE LN. TRUCKS SHALL QUEUE OFFSITE AND BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

**EMPLOYEE PARKING:**  
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG PORQUE LN AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:**  
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 10-20

**NUMBER OF TRUCK TRIPS/DAY:** 4

**AMOUNT OF GRADING/DAY:** 80 C.Y.

**HOURS OF OPERATION/DAY:** 8

**DAYS OF OPERATION:** MONDAY THROUGH FRIDAY

**TIME OF OPERATION:** 8:00 AM - 4:30 PM

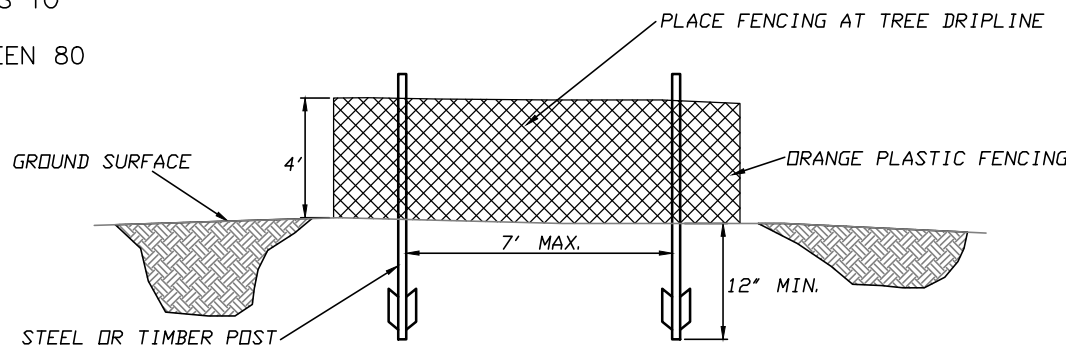
**PROJECT SCHEDULING:** PROJECTED START DATE IS JANUARY 1, 2026. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

**TRUCK TRIP GENERATION CHART:**

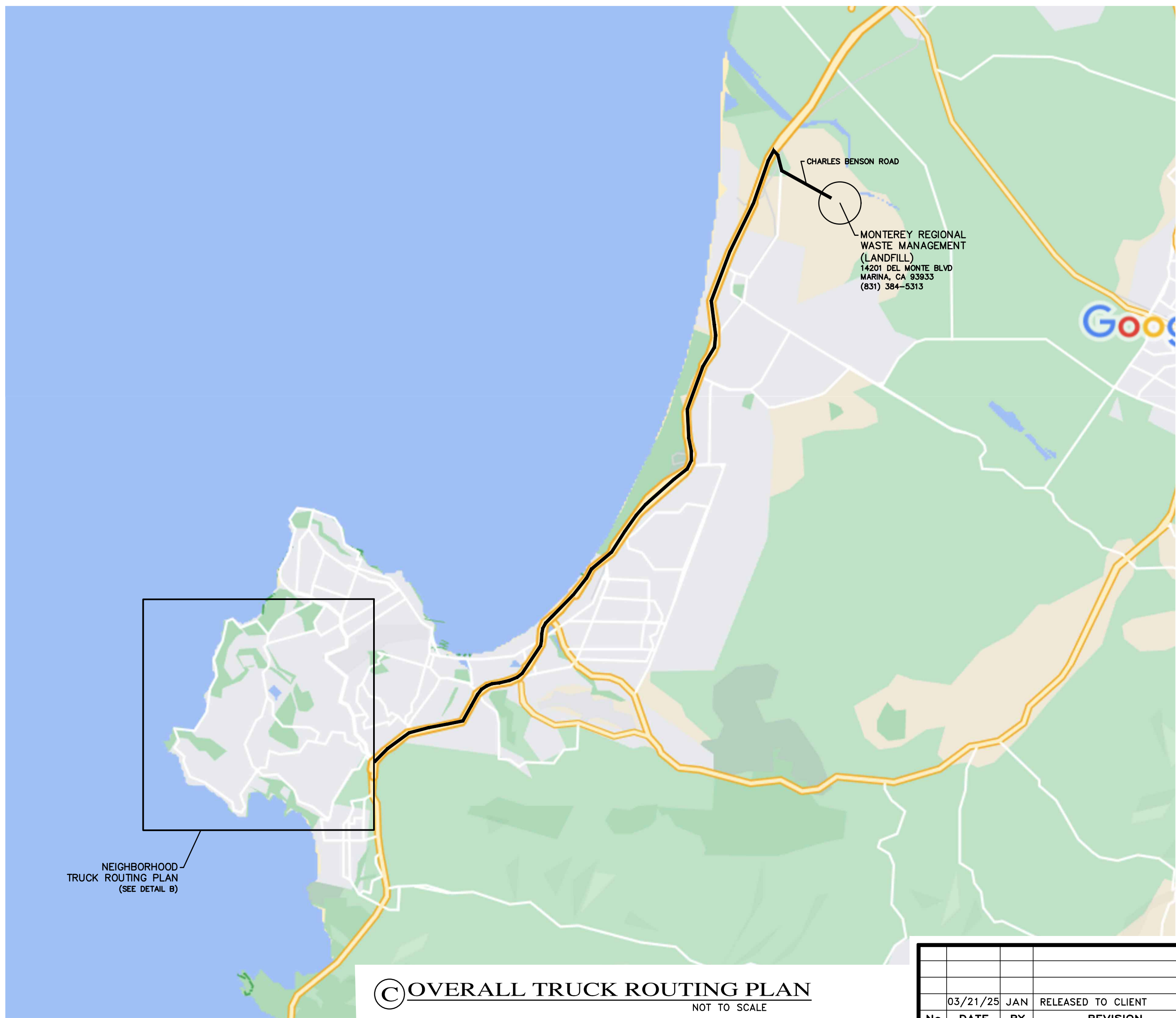
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	60	15
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	64	20

**TRUCK TRIP GENERATION NOTES:**

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 1095 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 20 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



**ESA FENCING**  
NOT TO SCALE



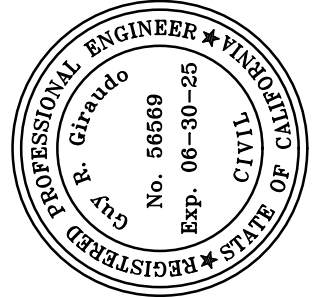
No.	DATE	BY	REVISION
03/21/25	JAN	RELEASED TO CLIENT	

"CONSTRUCTION MANAGEMENT PLAN"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE SKINNER RESIDENCE  
A.P.N.: 008-281-020  
PEBBLE BEACH, CALIFORNIA  
ROBERT AND STEFANIE SKINNER

SCALE: 1" = 30'  
DATE: MAR 2025  
JOB No. 2536-01

SHEET **C7**

OF 7 SHEETS



APPROVED BY:  
  
GUY R. GIRARDO





**COLOR AND MATERIAL SAMPLES FOR  
SKINNER RESIDENCE  
1151 SOMBRIA LN, PEBBLE BEACH, CA 93953  
APN: 008-281-020**

**EXTERIOR STUCCO - MATCH EXISTING**



**STONE TILES - MATCH EXISTING**

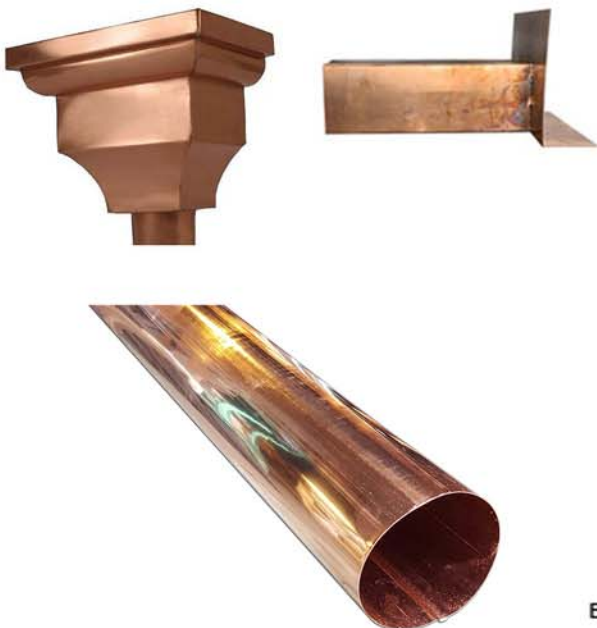


**METAL CLAD WOOD EXTERIOR DOORS  
LOEWEN OR EQUAL**



**METAL CLAD WOOD EXTERIOR WINDOWS  
LOEWEN OR EQUAL**

**COPPER SCUPPER, CONDUCTOR, &  
DOWNSPOUTS**



Black



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