

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

SKINNER ROBERT J JR & STEFANIE A (PLN220114-AMD1)

RESOLUTION NO. 25-033

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project, as a remodel and addition to an existing single-family dwelling and accessory dwelling unit, qualifies for a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2;
- 2) Approving a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit and Design Approval (PLN220114) that allowed a 5,055 square foot addition to an existing 10,263 square foot single-family residence, a 315 square foot addition to an existing 880 square foot accessory dwelling unit, and development within 750 feet of known archaeological resources. This Minor and Trivial Amendment allows construction of 3,700 square feet of additions to the lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

[PLN220114-AMD1, SKINNER ROBERT J JR & STEFANIE A, 1151 Sombria Ln, Pebble Beach, CA 93953, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number 008-281-020-000)]

The SKINNER ROBERT J JR & STEFANIE A application (PLN220114-AMD1) came on for an administrative decision hearing before the County of Monterey Chief of Planning on August 6, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: PROCESS REQUIREMENTS** – The County has received and processed an amendment (PLN220114) to a previously approved Coastal Administrative Permit and Design Approval (HCD-Planning File No. PLN220114; Chief of Planning Resolution No. 22-083) in compliance with all applicable procedural requirements.
- EVIDENCE:**
- a) On May 22, 2025, an application for a Minor and Trivial Amendment (PLN220114-AMD1) was submitted to HCD-Planning to modify the project scope approved under Coastal Administrative Permit and Design Approval HCD-Planning File No. PLN220114.
 - b) On December 7, 2022, the County of Monterey Chief of Planning approved a Coastal Administrative Permit and Design Approval (PLN220114, Chief of Planning Resolution No. 22-083) consisting of a:
 - 1) Coastal Administrative Permit and Design Approval to allow a 5,055 square foot addition to an existing 10,263 square foot single-family residence and a 315 square foot addition to an existing 880 square foot accessory dwelling unit; and
 - 2) Coastal Administrative Permit to allow development within 750 feet of archaeological resources.
 - c) Conditions of Approval. The Chief of Planning Resolution No. 22-083 was approved with seven conditions of approval. Two previously approved conditions of approval are partially met for tree root protection (Condition No. 5) and height verification (Condition No. 6). These two conditions will be carried forward to this amendment (PLN220114-AMD1).
 - d) The findings and evidence from PLN220114 (Chief of Planning Resolution No. 22-083) are incorporated by reference. The proposed Minor and Trivial Amendment (PLN220114-AMD1) will be the operating entitlement for the subject property.
 - e) The application, plans, and supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed amendment can be found in Project File Nos. PLN220114 and PLN220114-AMD1.
- 2. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan (General Plan);
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan (CIP); and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No correspondence was received indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Amendment. This Minor and Trivial Amendment reduces the overall site coverage by 742 square feet and the floor area ratio by 411 square

feet. The Amendment also allows construction of 3,700 square feet of additions to lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

- c) Allowed Use. The property is located at 1151 Sombria Lane, Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Number 008-281-020-000). The parcel is zoned Low Density Residential with a density of 1.5 acres per 1 unit and a Design Control Overlay (Coastal Zone) or "LDR/1.5-D(CZ)", which allows the first single-family dwelling on a legal lot of record and accessory dwelling units as principally allowed uses subject to a Coastal Administrative Permit in each case (Title 20 Sections 20.14.040.A. and 20.14.040.W). The project was previously approved (PLN220114) for a 5,055 square foot addition to an existing 10,263 square foot single-family residence, and a 315 square foot addition to an existing 880 square foot accessory dwelling unit (formerly "caretaker" unit). The project also included associated site improvements involving a new patio addition and walkway between the existing accessory dwelling unit and main residence. The amended project would involve the removal of the previously approved 539 square foot conservatory, 807 square foot gym, 9 square foot upper-level office, and 315 square foot from the existing accessory dwelling unit. The proposed additions to the existing single-family dwelling would include 33 square feet to the existing vanity room and 9 square feet of stairs to the main-level, a 459 square foot lounge and 491 square foot mechanical/storage room to the existing lower-level basement. Therefore, the proposed uses are allowable for this site.
- d) Lot Legality. The property is shown in its current configuration as lot 20 in the 1964 and 1972 Assessor's Map Book 8 Pg. 28. Therefore, the County recognizes the property as a legal lot of record.
- e) Design and Visual Resources. The property is subject to the Visual Resources protection policies of the DMF LUP, the applicable implementing regulations of those policies in the CIP, and the Design Control regulations outlined in Title 20 section 20.44.030, which requires a design review of structures and fences to assure protection of the public viewshed and neighborhood character.

The surrounding neighborhood consists of a mix of large one- and two-story single-family homes in a rural wooded atmosphere. Many are heavily screened from view by trees, other vegetation, and fences, which have the effect of subordinating them to the surrounding landscape, while preventing identification of a unified urban aesthetic. Of the structures that are visible, many have traditional hip or gabled roofs, and utilize natural materials such as wood or stone.

The project is consistent with these policies, regulations, and the surrounding neighborhood character as:

- the additions will utilize a muted warm grey smooth coat stucco, black metal clad doors and frames, and copper gutters and downspouts as primary finishes. These materials match the

- existing residence and are subordinate to the surrounding natural environment in accordance with CIP Section 20.147.070.B.3;
- The previously approved (PLN220114) additions were staked and flagged, and the resulting staking and flagging demonstrate that the additions are in scale with the existing residence. Due to the large homes and abundance of vegetative screening in the area, the home will not be out of scale with any other residences in the neighborhood; and
 - A row of trees screens the home from view along Sombria and Porque Lane. Pursuant to CIP Section 20.147.070.B.4 and 5, all these trees are retained, assisting in subordinating the home to the natural landscape.
- f) Development Standards. The development standards of the base LDR zoning are found in Title 20 section 20.14.060. After the addition and remodel, the subject property would comply with the maximum building site coverage, floor area, and structure height requirements as shown below. As the proposed additions to the home match the maximum height requirement exactly, a height verification condition has been applied (Condition No. 6) to ensure the structure is constructed to adhere to this maximum.

	<i>Max Allowable</i>	<i>Proposed</i>
Building Site Coverage:	15% (14,433.6 sf)	14.1% (13,580 sf)
Floor Area Ratio:	17.5% (16,839.2 sf)	16.7% (16,102 sf)
Maximum Height (Home):	30 ft	30 ft
Maximum Height (ADU):	15 ft	14 ft 9 in

The additions to the home would meet the required minimum setbacks for primary structures, as shown below. An existing entry structure/porte cochere for the main home does encroach into the required front setback, being approximately 16 feet and 10 inches from the property line (see attached plans). However, this feature is existing and no structural alterations to it are proposed as part of this application.

	<i>Min Required</i>	<i>Proposed</i>
Front Setback (Home):	30 ft	30 ft 10 in
West Side Setback:	20 ft	109 ft 1 in
East Side Setback:	20 ft	41 ft 3 in
Rear Setback:	20 ft	73 ft 2 in

Main Residence/ADU	10 ft	23 ft 10 in
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The Accessory Dwelling Unit complies with the minimum required setbacks for habitable accessory structures, as shown below:

	<i>Min Required</i>	<i>Proposed</i>
Front Setback:	50 ft	53 ft 6 in
West Side Setback:	6 ft	44 ft 6 in
East Side Setback:	6 ft	>40 ft
Rear Setback:	6ft	>126 ft

Therefore, the project is consistent with all applicable site development standards.

- g) Cultural Resources. The property is in an area that is mapped as being within 750 feet of and having a high sensitivity to the presence of archaeological resources. A Phase I Archaeological Report (LIB170213) was prepared for the property prior to the initial construction of the home in 1988 which assessed the potential of the project area to contain archaeological resources. The report included archival research and a pedestrian survey of the property, and concluded that the site did not contain evidence of archaeological resources. The report does note that only a small portion of the surface was visible (onsite vegetation had not been cleared for the construction of the home at the time of the survey), and recommended that work be halted if any previously unidentified resources were discovered. No resources were found during construction of the home, and the proposed construction activity takes place in areas already disturbed by previous development. Therefore, the County standard Condition No. 3 has been applied, which requires that the applicant stop work and contact HCD-Planning and a qualified archaeologist if any previously unknown resources are discovered during earthwork.
- h) Fuel Management. The subject property is identified to be in a high fire hazardous area as mapped by the Monterey County Geographic Information System. As demonstrated in Finding 4, evidence “c”, the project, as proposed and conditioned, is consistent with all the fuel management requirements for such areas.
- i) Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB170380), this site is suitable for the residential addition this project proposes, there are no geological or seismic hazards that would preclude this property from being developed, and the proposed development is adequately setback from the known fault trace. See Finding 4, evidence “d”.
- j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Del Monte Forest LUAC as it does not meet the criteria for referral outlined in Board of Supervisors Resolution No. 15-103.
- k) Staff reviewed street view and aerial imagery (Google Maps and Monterey County GIS) to verify that the project is consistent with the applicable plans and regulations.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

3. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project was previously reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and

there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) The following reports were prepared to review the potential of the project to impact cultural resources and soil hazards:
 - “Preliminary Cultural Resources Reconnaissance of Parcel A.P.N. 08-281-20, Cypress Point, Monterey County, California” (LIB170213) prepared by Charles R. Smith and Gary S. Breschini, SOPA, Salinas, CA, February 22, 1988.
 - “Geotechnical and Geological Hazards Report Update for the proposed Remodel and Additions Skinner Residence” (LIB170380) prepared by Lawrence E. Grice, P.E., Salinas, CA, July 2017 and updated July 2022.

County staff independently reviewed the reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use.

- c) Staff reviewed aerial imagery (Monterey County GIS) to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

4. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was previously reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach CSD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. The project receives and will continue to receive potable water service from the California American Water Company (Cal Am). The applicant submitted a Monterey Peninsula Water Management District (MPWMD) residential water release form indicating an overall decrease in usage. The property currently receives and will continue to receive wastewater service from the Pebble Beach Community Services District (CSD).
 - c) The property is located in an area mapped as having a high fire hazard according to the Monterey County Geographic Information System. Pursuant to DMF LUP Policy 38, new development shall be sited and designed to minimize risk from fire hazards. The proposed additions to the existing single-family dwelling are sited in previously developed areas and the materials used are fire-resistant. Additionally, the previously approved landscaping plans address fire hazards by including vegetation fuel management requirements from 0-30 feet from the

home, and from 30-100 feet from the home. Therefore, the project was found to be consistent with Policy 38.

- d) The project is located within 1/8 mile of the Cypress Point fault according to Monterey County GIS information. A geotechnical and geological hazards report was prepared to assess geologic hazards on the site, and whether they would impact the proposed development. The report included physical inspection of the site for fault induced features or other hazards and research and of published data on seismicity and other mapped geologic hazards. The report concluded that the site was suitable for the proposed use given that the recommendations in it were followed. The notice of report condition has been applied to ensure that the geotechnical engineer's recommendations are adhered to. (Condition No. 7)
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

5. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and are not aware of any violations existing on the subject property.
 - b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

6. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing private structures or topographical features.
 - b) The project fits into the criteria of this exemption as it's a remodel and addition to an existing single-family dwelling and accessory dwelling unit. The expansion will not add any new residential units, will not intensify the water use (or wastewater generation), and does not substantially alter the footprint of the existing structures, making it a negligible expansion of existing use consistent with the intent of the Class 1 Exemption.
 - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project:
 - Class 1 Exemptions are not qualified by their location.
 - A remodel and addition to an existing single-family residence and accessory dwelling unit would not contribute to a significant cumulative effect.

- There are no unusual circumstances associated with the project that would result in a reasonable possibility it will have a significant effect on the environment.
 - The property is not viewable from a State Scenic Highway. The nearest eligible state Scenic Highway is Highway 68, approximately 2.6 north east of the project site. However, due to distance, vegetation, and topography, the property is not visible from the highway.
 - The property is not on a hazardous waste site complied pursuant to Section 65962.5 of the Government code.
 - The project would not result in an adverse impact to any historical resources.
- d) No adverse environmental effects were identified during staff review of Monterey County GIS information.
- e) See supporting Finding Nos. 2 and 3, the application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

7. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File Nos. PLN220114 and PLN220114-AMD1.

8. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) In accordance with Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) In accordance with Title 20 Section 20.86.080.A, this project is appealable to the California Coastal Commission as it is between the sea and the first through public road paralleling the sea. For the Del Monte Forest, this would be Highway 68.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

- 1) Find that the project, as a remodel and addition to an existing single-family dwelling and accessory dwelling unit, qualifies for a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2;
- 2) Approve a Minor and Trivial Amendment to a previously approved Coastal Administrative Permit and Design Approval (PLN220114) that allowed a 5,055 square foot addition to an existing 10,263 square foot single-family residence, a 315 square foot addition to an existing 880 square foot accessory dwelling unit, and development within 750 feet of known archaeological resources. This Minor and Trivial Amendment allows construction of 3,700 square feet of additions to the lower-, main-, and upper-levels, resulting in a 16,102 square foot single-family dwelling, inclusive of a garage and 880 square foot accessory dwelling unit.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 6th day of August 2025.

Melanie Beretti, AICP,
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220114-AMD1

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Minor and Trivial Amendment (PLN220114-AMD1) allows a reduction in the overall site coverage by 742 square feet and the floor area ratio by 411 square feet, removal of the 539 square foot conservatory, 807 square foot gym, 9 square foot upper-level office, and 315 square foot accessory dwelling unit. Additions include a 33 square foot vanity and 9 square feet of stairs to the main-level, 459 square foot lounge and 491 square foot mechanical/storage room to the basement. The property is located at 1151 Sombria Ln, Pebble Beach, CA 93953, (Assessor's Parcel Number 008-281-020-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Minor and Trivial Amendment (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-281-020-000 on August 6, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.



PLANNING INFO.

- PROPERTY OWNER:
ROBERT AND STEFANIE SKINNER
1151 SOMBRIA LANE
PEBBLE BEACH, CA
- PROJECT ADDRESS:
1151 SOMBRIA LANE
PEBBLE BEACH, CA
- PROJECT SCOPE:
MINOR & TRIVIAL AMENDMENT TO A SINGLE FAMILY RESIDENCE W/
ATTACHED GARAGE REDUCING PROPOSED OVERALL COVERAGE BY 742
SF & REDUCING F.A.R. BY 411 SF;
-OMITTING PREVIOUS ADDITIONS UNDER PLN220114 TO INCLUDE 539 SF
CONSERVATORY, 807 SF GYM, 9 SF UPPER LEVEL OFFICE,
& 315 SF A.D.U.
-NEW MAIN LEVEL ADDITIONS TO INCLUDE 33 SF VANITY, 9 SF STAIR
-NEW BASEMENT ADDITIONS TO INCLUDE 459 SF LOUNGE & 491 SF
MECHANICAL/STORAGE ROOMS.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-281-020
- ZONE: LDR/1.5-D(CZ)
- STORIES: 2
- MAX BLDG. HT: 30 FT
- GRADING: CUT: 225 CY / FILL: 190 CY
- TREE REMOVAL: NONE
- TOPOGRAPHY: GENTLY SLOPING
- LOT AREA: 96,224 S.F. (2.209 Ac.)
- LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	8,882	-108	2,007	10,781
ADU	880	0	0	880
TERRACES	1,524	-119	514	1,919
TOTAL	11,286	-227	2,521	13,580

- LOT COVERAGE ALLOWED: 14,433 SF (15%)
- LOT COVERAGE PROPOSED: 13,580 SF (14.1%)

■ F.A.R. CALCULATIONS

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	8,882	-108	1,982	10,756
MAIN FLOOR	2,640	0	876	3,516
UPPER FLOOR	0	0	459	459
LOUNGE	0	0	491	491
MECH./STORAGE	0	0	989*	1,575*
LOWER LEVEL*	586*	0	0	586*
ADU	880	0	0	880
TOTAL	12,402	-108	3,808	16,102

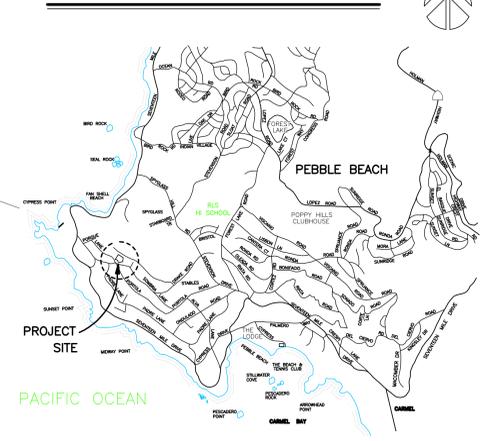
- *LOWER LEVEL ADDITIONS THAT ARE BELOW GROUND & NOT COUNTED IN F.A.R.
- F.A.R. ALLOWED: 16,839 SF (17.5%)
- F.A.R. PROPOSED: 16,102 SF (16.7%)

■ PREVIOUS PLANNING APPROVAL UNDER PLN220114

	LOT COVERAGE		F.A.R.	
	PROPOSED TOTAL	MAIN FLOOR	PROPOSED TOTAL	UPPER FLOOR
MAIN BUILDING	12,023	3,497	11,821	3,497
ADU	1,195	1,195	1,195	1,195
TERRACES	1,306	0	1,306	0
TOTAL	14,322	4,692	16,513	4,692

■ LOT COVERAGE PROPOSED: 14,322 SF (14.9%)
■ F.A.R. PROPOSED: 16,513 SF (17.2%)

VICINITY MAP



SITE PLAN

1/16"=1'-0" N

JUN A. SILLAND, AIA

 ARCHITECTURE • PLANNING • INTERIOR DESIGN
 721 LIGHTHOUSE AVE
 PACIFIC GROVE CA
 93950

PH: (831) 648-1261
 FAX: (831) 648-1260
 EMAIL: info@idg-inc.net
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STAMPS:

PROJECT/CLIENT:
SKINNER RESIDENCE

PROJECT ADDRESS:
 1151 SOMBRIA LN.
 PEBBLE BEACH, CA
 93953
 APN: 008-281-020

DATE: AUGUST 18, 2022
 PLANNING SUBMITTAL

- REVISIONS:
- ▲ 8/26/22 CLARIFICATION
 - ▲ 9/23/22 GATE ADJUSTMENT
 - ▲ 9/30/22 GENERATOR LOCATION
 - ▲ 3/19/25 PLANNING AMENDMENT

SITE PLAN

SHEET NO.
A1.0

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STAMPS:

PROJECT/CLIENT:

**SKINNER
RESIDENCE**

PROJECT ADDRESS:

1151 SOMBRIA LN.
PEBBLE BEACH, CA
93953

APN: 008-281-020

DATE: AUGUST 18, 2022
PLANNING SUBMITTAL

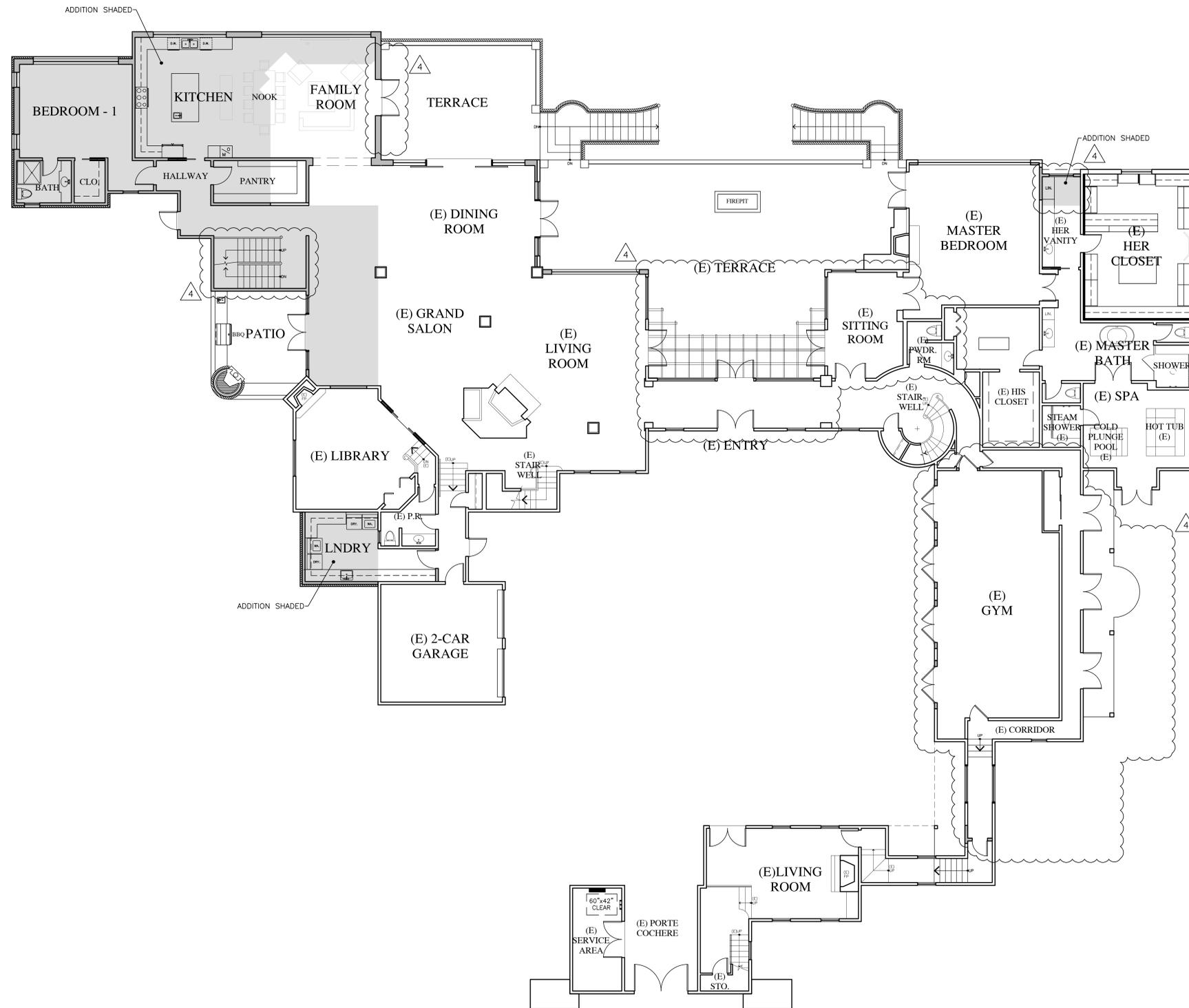
REVISIONS:

△	8/26/22	CLARIFICATION
△	9/23/22	GATE ADJUSTMENT
△	9/30/22	GENERATOR LOCATION
△	3/19/25	PLANNING AMENDMENT
△		
△		

**MAIN LEVEL
PLAN**

SHEET NO.

A2.0



MAIN LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

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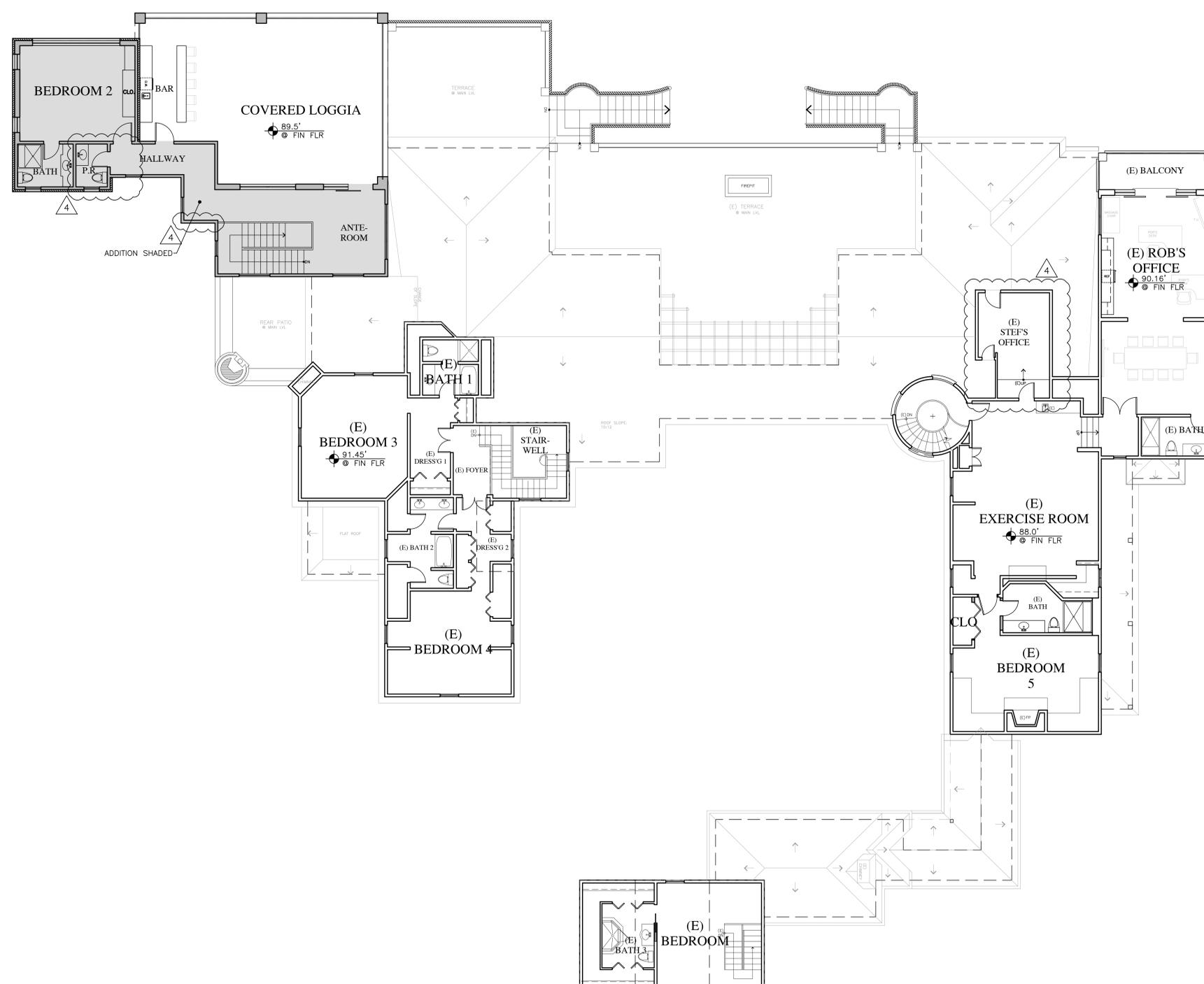
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△	9/30/22	GENERATOR LOCATION
△	3/19/25	PLANNING AMENDMENT
△		
△		

**UPPER LEVEL
PLAN**

SHEET NO.

A3.0



UPPER LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

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STAMPS:

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RESIDENCE**

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93953

APN: 008-281-020

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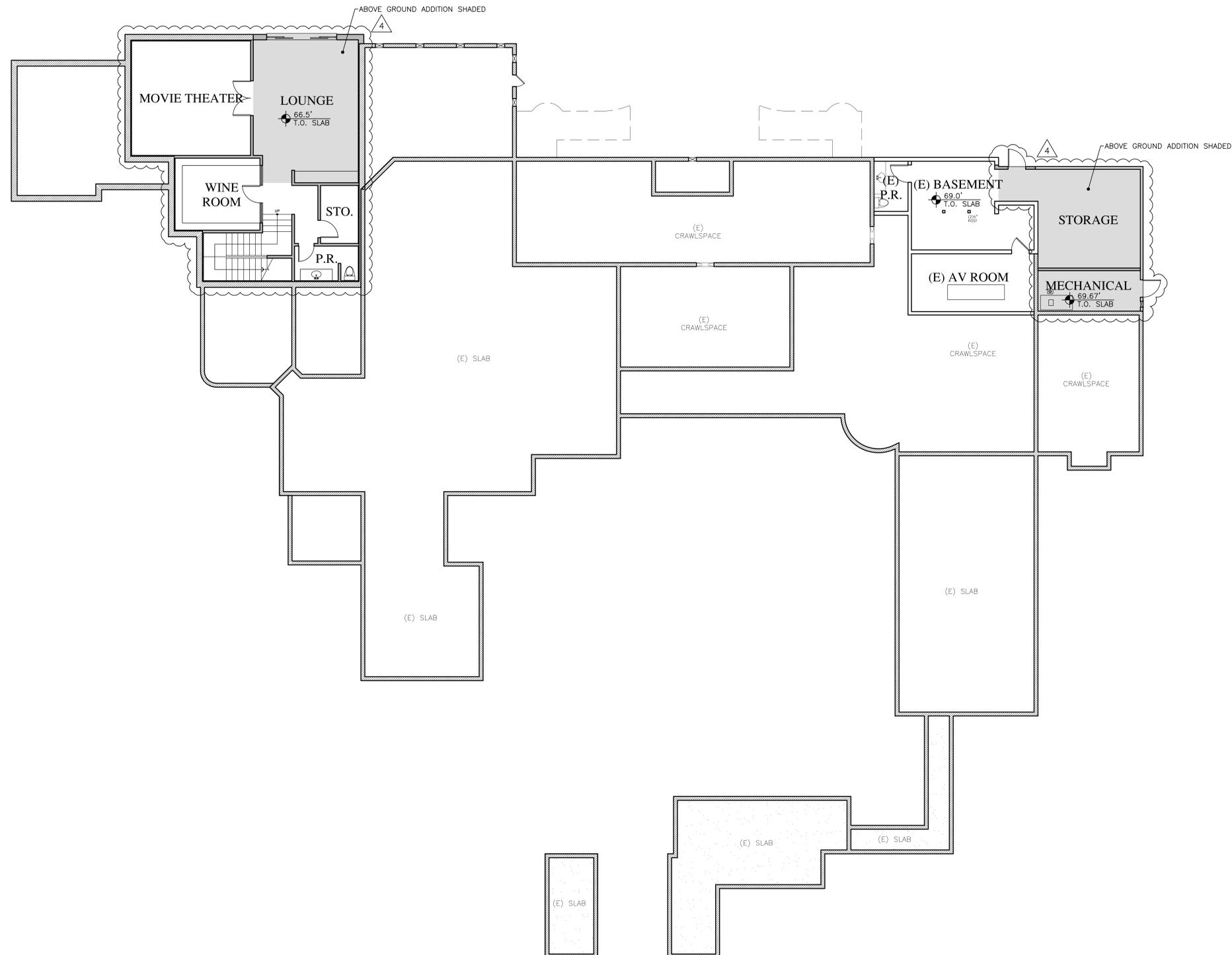
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△		
△		

**LOWER LEVEL
PLAN**

SHEET NO.

A4.0



LOWER LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

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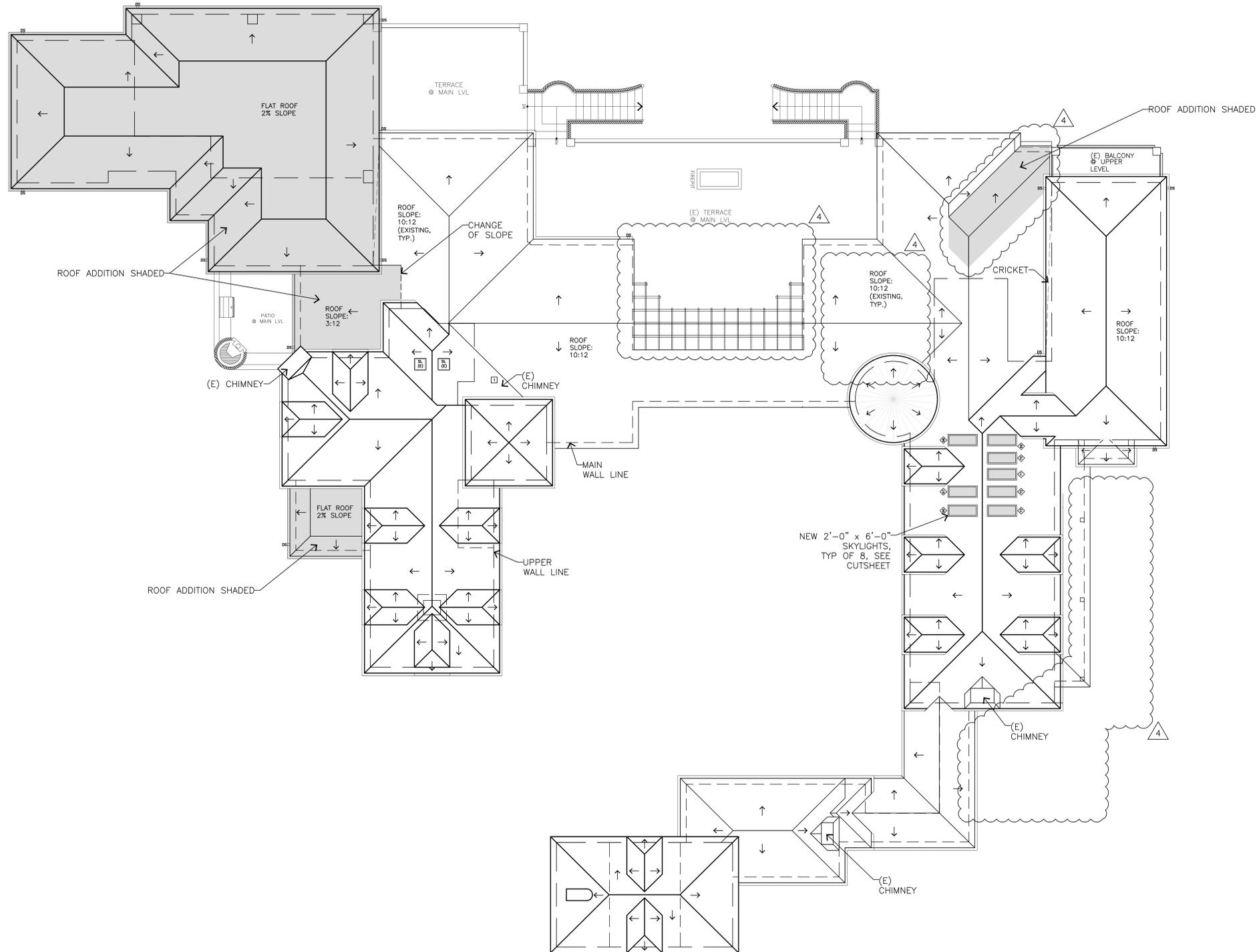
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△		

**ROOF
PLAN**

SHEET NO.

A5.0



ROOF PLAN

1/8" = 1'-0"



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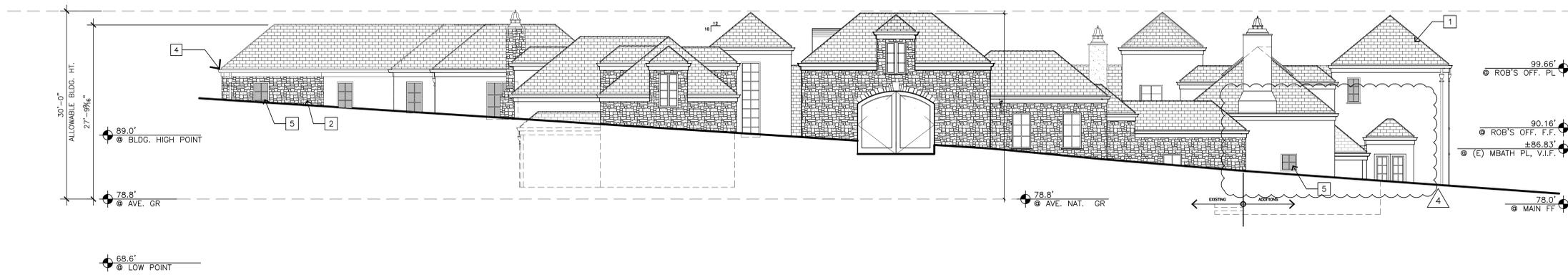
REVISIONS:

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9/30/22	GENERATOR LOCATION
3/19/25	PLANNING AMENDMENT

ELEVATIONS

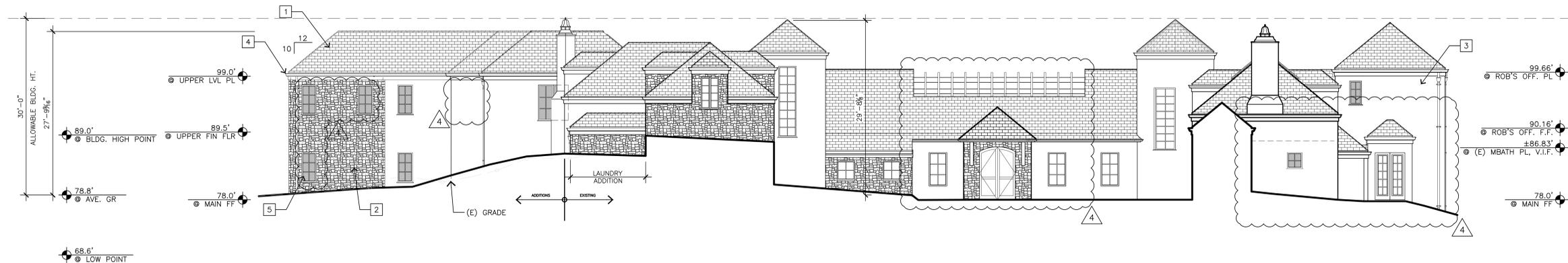
SHEET NO.

A6.0



A - SOUTH ELEVATION

1/8"=1'-0"



B - SOUTH ELEVATION AT COURTYARD

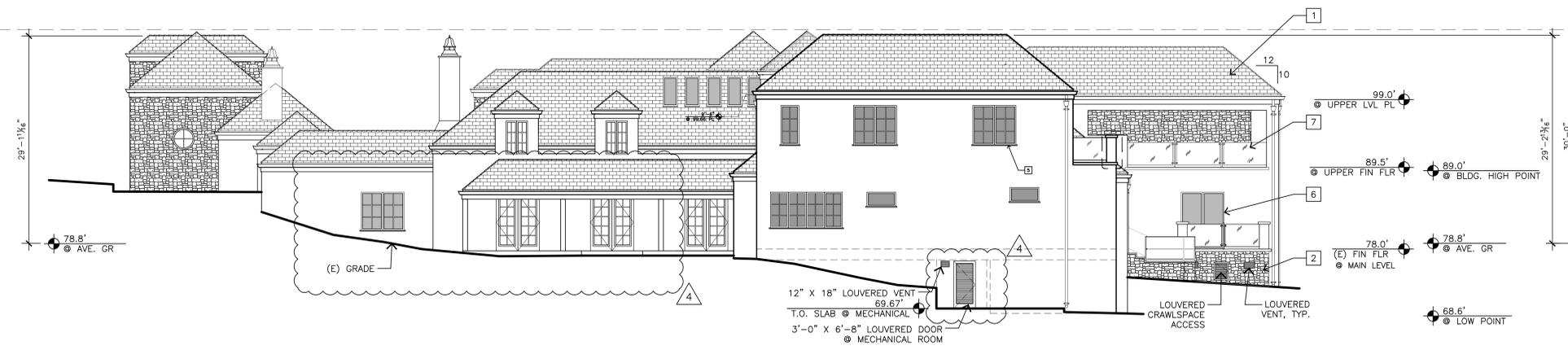
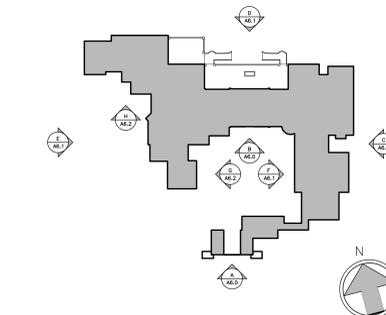
1/8"=1'-0"

EXTERIOR FINISH LEGEND

1	SLATE ROOF - MATCH EXISTING
2	EXTERIOR RANDOM STONE - MATCH EXISTING
3	EXTERIOR STUCCO - MATCH EXISTING
4	COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING
5	WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS
6	BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O)
7	1/2" THK. GLASS RAILING WITH BRONZE POST
8	NEW SKYLIGHTS
9	NEW CONSERVATORY ROOF

KEY PLAN

N.T.S.



EAST ELEV.

C - EAST ELEVATION

1/8"=1'-0"

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PROJECT ADDRESS:

1151 SOMBRINA LN,
PEBBLE BEACH, CA
93953

APN: 008-281-020

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PLANNING SUBMITTAL

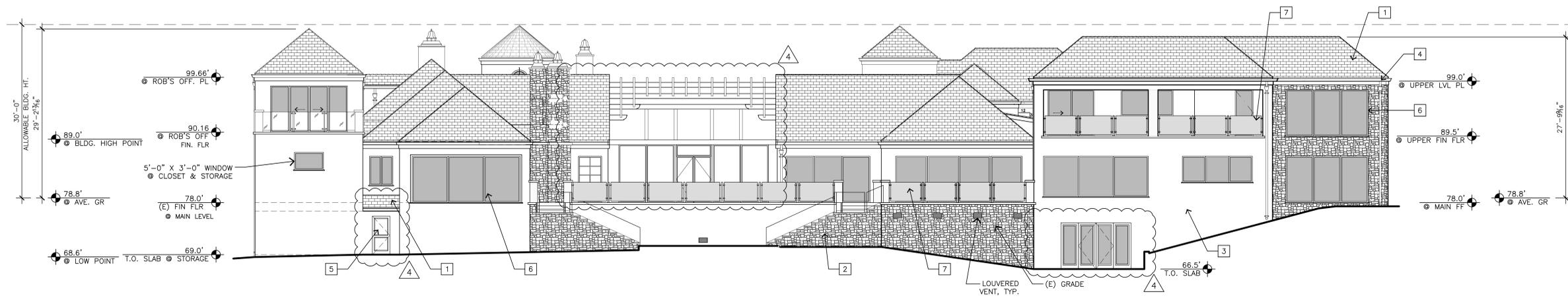
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ELEVATIONS

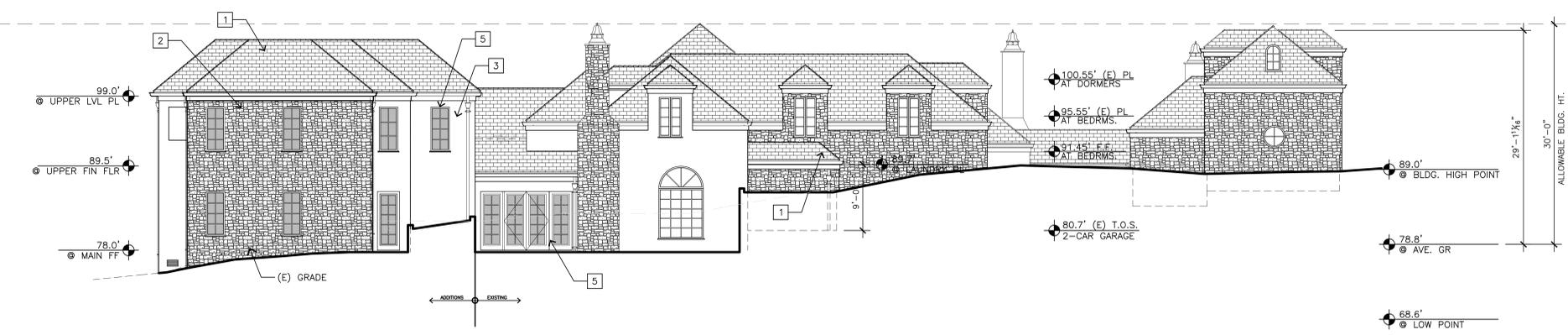
SHEET NO.

A6.1



D - NORTH ELEVATION

1/8"=1'-0"



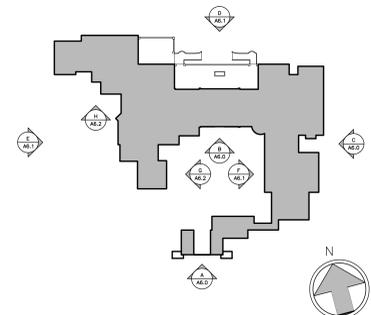
E - WEST ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND	
1	SLATE ROOF - MATCH EXISTING
2	EXTERIOR RANDOM STONE - MATCH EXISTING
3	EXTERIOR STUCCO - MATCH EXISTING
4	COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING
5	WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS
6	BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O)
7	1/2" THK. GLASS RAILING WITH BRONZE POST
8	NEW SKYLIGHTS
9	NEW CONSERVATORY ROOF

KEY PLAN

N.T.S.



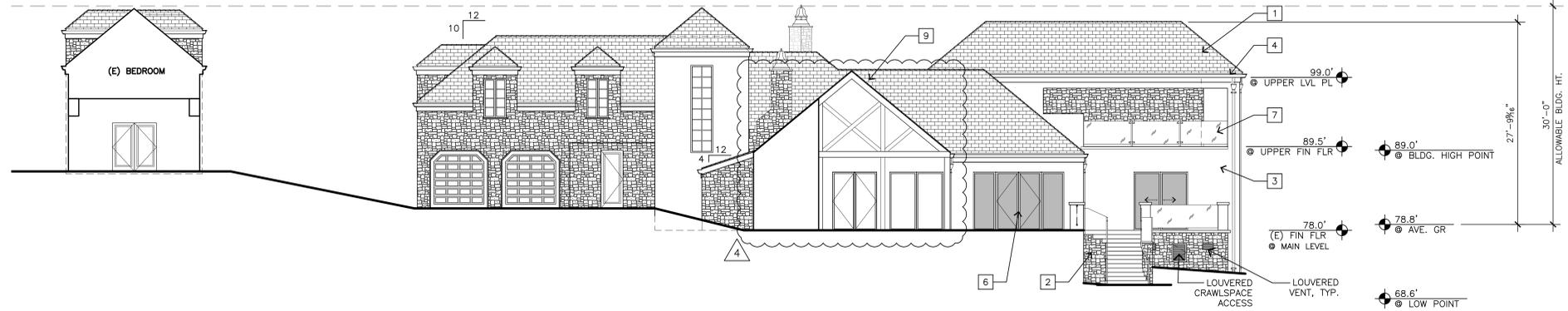
F - WEST ELEVATION AT TERRACE, CONSERVATORY, AND COURTYARD

1/8"=1'-0"

DISCLAIMER:

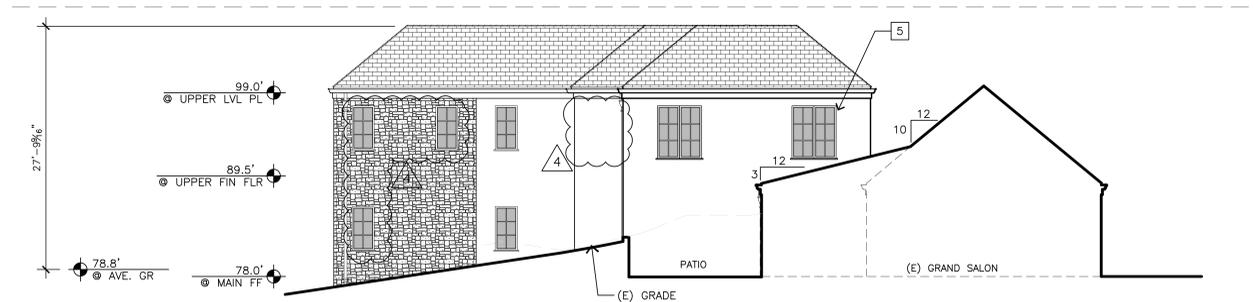
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STAMPS:



G - EAST ELEVATION AT TERRACE, CONSERVATORY, AND COURTYARD

1/8"=1'-0"



H - SOUTH ELEVATION AT PATIO - PARTIAL

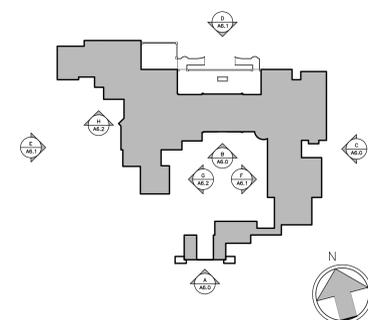
1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 SLATE ROOF - MATCH EXISTING
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- 3 EXTERIOR STUCCO - MATCH EXISTING
- 4 COPPER GUTTER AND DOWNSPOUTS - MATCH EXISTING
- 5 WOOD FRAME METAL CLAD EXTERIOR DOOR AND WINDOWS
- 6 BRONZE EXTERIOR DOOR AND WINDOWS (TYP. AT NORTH ELEV., U.N.O)
- 7 1/2" THK. GLASS RAILING WITH BRONZE POST
- 8 NEW SKYLIGHTS
- 9 NEW CONSERVATORY ROOF

KEY PLAN

N.T.S.



PROJECT/CLIENT:

**SKINNER
RESIDENCE**

PROJECT ADDRESS:

**1151 SOMBRIA LN.
PEBBLE BEACH, CA
93953**

APN: 008-281-020

DATE: AUGUST 18, 2022

PLANNING SUBMITTAL

REVISIONS:

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- 3/19/25 PLANNING AMENDMENT

ELEVATIONS

SHEET NO.

A6.2

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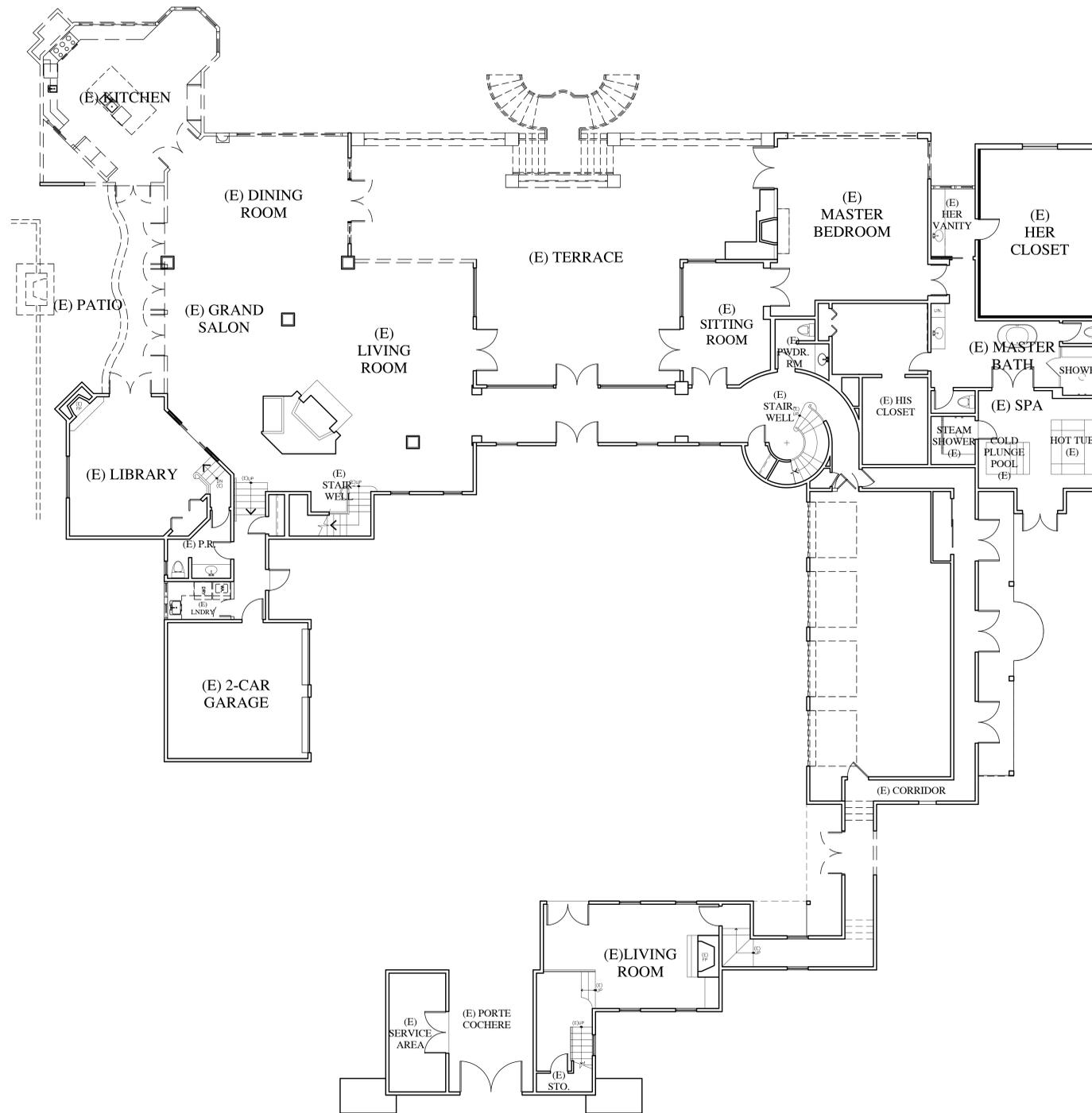
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△	9/30/22	GENERATOR LOCATION
△	3/19/25	PLANNING AMENDMENT
△		
△		

**MAIN LEVEL
DEMO**

SHEET NO.

D2.0



MAIN LEVEL EXISTING - DEMOLITION PLAN

1/8"=1'-0" N

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED

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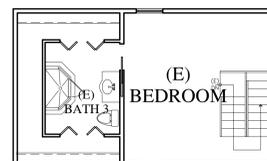
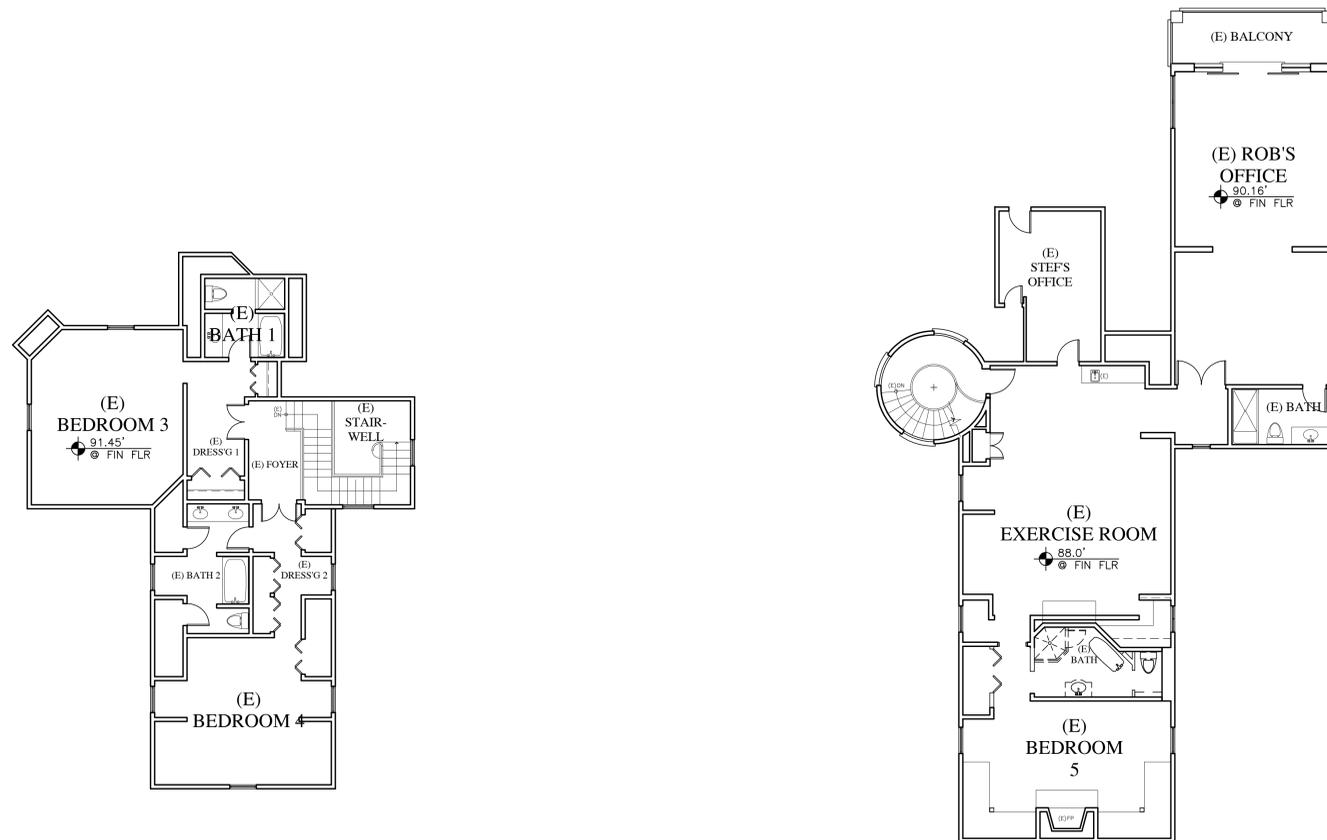
REVISIONS:

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- △ 3/19/25 PLANNING AMENDMENT

**UPPER LEVEL
DEMO**

SHEET NO.

D3.0



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- - - (E) DOOR OR WINDOW TO BE REMOVED
- = = = 2X EXISTING WALL TO BE REMOVED

UPPER LEVEL EXISTING - DEMOLITION PLAN

1/8" = 1'-0" N



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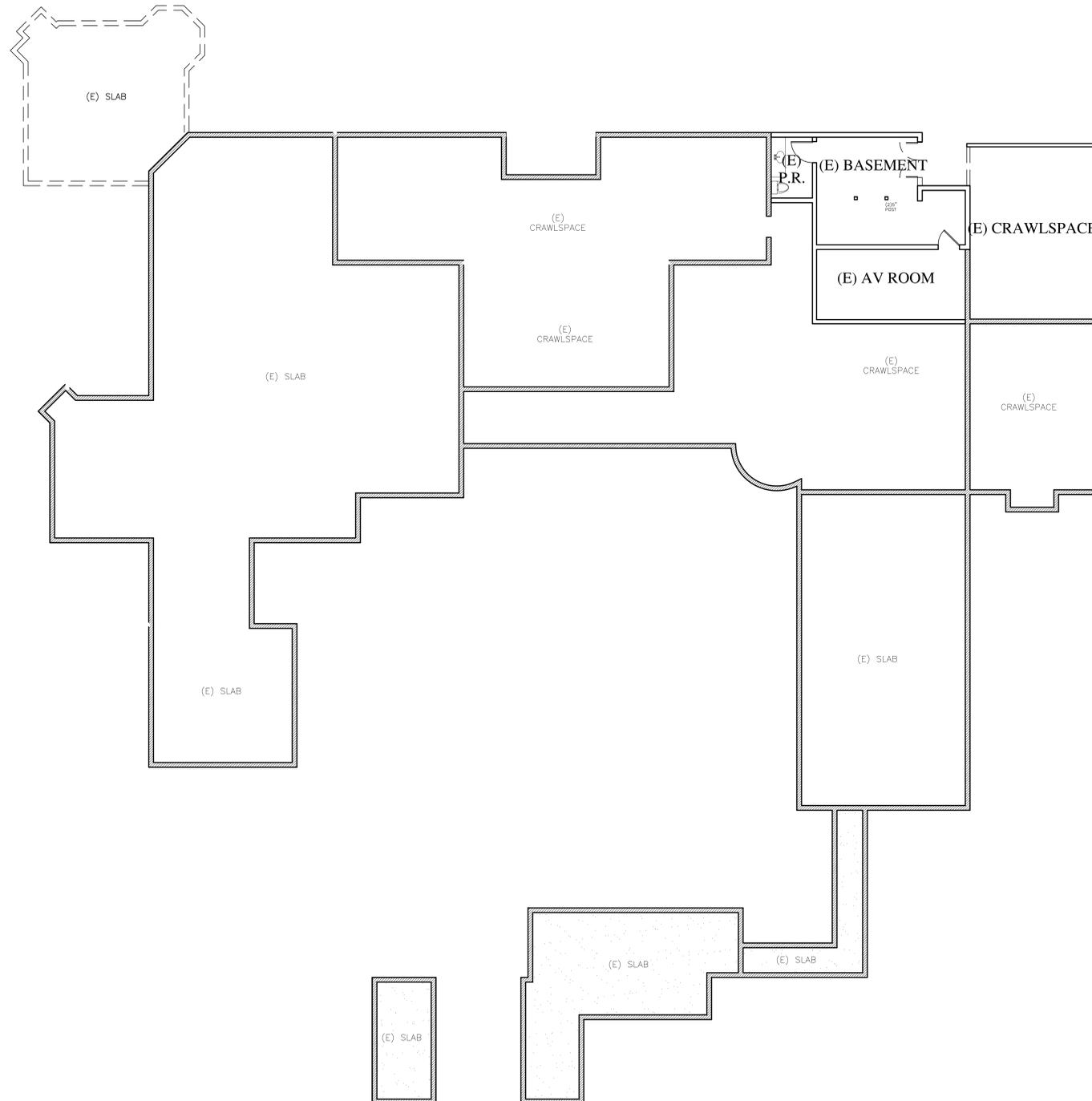
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- △ 9/23/22 GATE ADJUSTMENT
- △ 9/30/22 GENERATOR LOCATION
- △ 3/19/25 PLANNING AMENDMENT

**LOWER LEVEL
DEMO**

SHEET NO.

D4.0



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- - - - 2X EXISTING WALL TO BE REMOVED

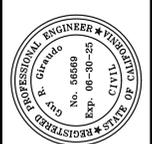
LOWER LEVEL EXISTING - DEMOLITION PLAN

1/8" = 1'-0"



GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF
THE SKINNER RESIDENCE
 APN: 008-281-020
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

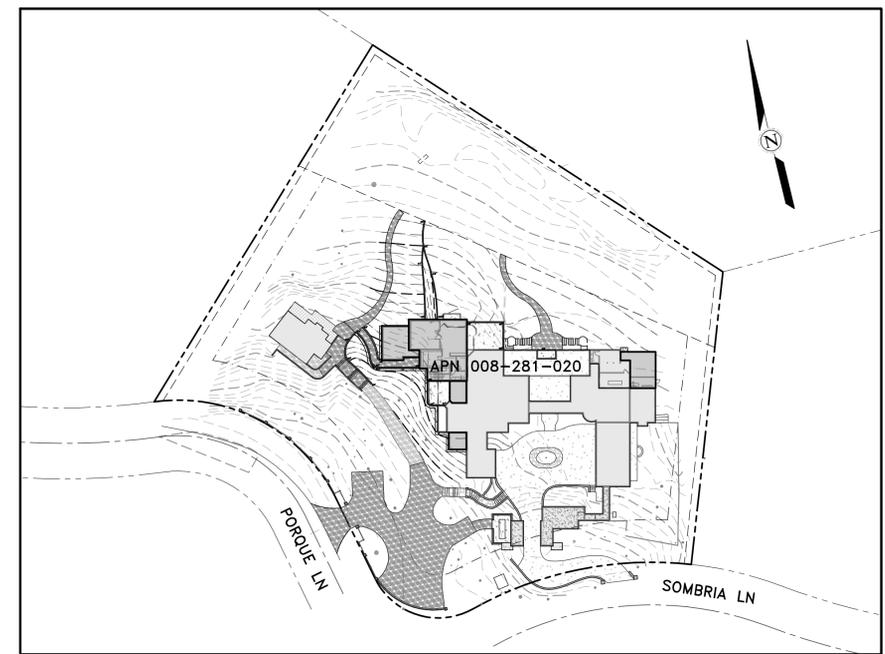


APPROVED BY:

 GUY R. GIRAUDO



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1" = 60'

ABBREVIATIONS:

±	= PLUS OR MINUS; APPROXIMATE	EVC	= END OF VERTICAL CURVE	PL	= PROPERTY LINE
Ø	= DIAMETER	EW	= EACH WAY	POC	= POINT OF CONNECTION
AB	= AGGREGATE BASE	EX	= EXISTING	PVC	= POLYVINYL CHLORIDE
ABAN	= ABANDON	FC	= FLUSH CURB	RC	= RELATIVE COMPACTION
AC	= ASPHALT CONCRETE	FD	= FIRE DEPARTMENT	RES	= RESIDENCE
AD	= AREA DRAIN	FF	= FINISHED FLOOR	RM	= ROOM
ADD	= ADDITION	FG	= FINISHED GRADE	RND	= ROUND
ADU	= ACCESSORY DWELLING UNIT	FL	= FLOWLINE	RW	= RETAINING WALL
BC	= BEGINNING OF CURVE	FM	= FORCE MAIN	RWL	= RAINWATER LEADER
B.E.	= BUILDING ENVELOPE	FP	= FINISHED PAD	SD	= STORM DRAIN
BLDG	= BUILDING	GAR	= GARAGE	SF	= SQUARE FEET
BOT	= BOTTOM	GB	= GRADE BREAK	SG	= SUBGRADE
BSMT	= BASEMENT	GR	= GRATE	SO	= SQUARE
BVC	= BEGINNING OF VERTICAL CURVE	HDPE	= HIGH-DENSITY POLYETHYLENE	SS	= SANITARY SEWER
CB	= CATCH BASIN	HP	= HIGH POINT	STA	= STATION
CF	= CUBIC FEET	HT	= HEIGHT	STN	= STONE
CL	= CENTERLINE	INV	= PIPE INVERT	STP	= STEP
CO	= CLEANOUT	JB	= JUNCTION BOX	SUBD	= SUBDRAIN
CONC	= CONCRETE	JT	= JOINT TRENCH	TBR	= TO BE REMOVED
CY	= CUBIC YARDS	LF	= LINEAR FEET	TD	= TRENCH DRAIN
DG	= DECOMPOSED GRANITE	LP	= LOW POINT	TW	= TOP OF WALL
DK	= DECK	MAX	= MAXIMUM	TYP	= TYPICAL
DS	= DOWNSPOUT	MIN	= MINIMUM	U.N.O.	= UNLESS NOTED OTHERWISE
DWY	= DRIVEWAY	OC	= ON-CENTER	VC	= VERTICAL CURB
EC	= END OF CURVE	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EG	= EXISTING GROUND	PCC	= PORTLAND CEMENT CONCRETE	W/	= WITH
ELEV	= ELEVATION	PERF	= PERFORATED	W/O	= WITHOUT
ESMT	= EASEMENT	PERM	= PERMEABLE	WD	= WOOD

GENERAL NOTES:

- PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR THE SKINNER RESIDENCE PREPARED BY IDG, DATED 02/26/2025; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY SURVEYOR, DATED 11/27/2016.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY GRICE ENGINEERING, DATED JULY 2017; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 1275 CUBIC YARDS OF CUT AND 180 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 1095 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NOS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:	
GRADING VOLUMES	
CUT	= 1275 CY
FILL	= 180 CY
NET	= 1095 CY CUT
IMPERVIOUS AREA*	
BUILDINGS	= 2910 SF
LANDINGS	= 63 SF
PATIOS / TERRACES	= 793 SF
SWALE	= 242 SF
WALLS	= 348 SF
TOTAL	= 4356 SF
	*CREATED OR REPLACED
PERMEABLE SURFACES	
DRIVEWAY	= 5019 SF
PATHWAYS	= 1978 SF
LANDSCAPE	= 10,102 SF
TOTAL	= 17,099 SF
AREA OF DISTURBANCE	
TOTAL	= 21,455 SF

LEGEND:

	PROPERTY BOUNDARY		CATCH BASIN
	SETBACK		AREA DRAIN
	MAJOR CONTOUR (5' INTERVAL)		JUNCTION BOX
	MINOR CONTOUR (1' INTERVAL)		DOWNSPOUT W/ SPLASH BLOCK
	RETAINING WALL		DISPERSION TRENCH
	SWALE FLOW LINE		ENERGY DISSIPATOR
	STORM DRAIN PIPE		TREE
	RAINWATER LEADER		TREE TO BE REMOVED
	SUBDRAIN LINE		
	EXISTING RESIDENCE FOOTPRINT		
	PROPOSED BUILDING FOOTPRINT		
	ASPHALT CONCRETE		
	CONCRETE		
	DECOMPOSED GRANITE		
	STONE		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	GRICE ENGINEERING	Beginning of Project		
Subexcavation, fill placement, and compaction	GRICE ENGINEERING	Throughout grading operations		
Foundation Excavations	GRICE ENGINEERING	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	GRICE ENGINEERING	Prior to trench backfill		
Utility trench compaction	GRICE ENGINEERING	During backfill operations		
Retaining wall backfill compaction	GRICE ENGINEERING	During backfill operations		
Baserock subgrade compaction	GRICE ENGINEERING	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2015-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND NO SPECIAL STORMWATER FACILITY DESIGN IS REQUIRED.
- PER MONTEREY COUNTY CODE 16.12.070 RUNOFF CONTROL, THIS PROJECT SHALL INCLUDE STORMWATER FACILITIES DESIGNED TO LIMIT RUNOFF FROM THE 10-YR DESIGN STORM TO THE PRE-DEVELOPMENT RATE.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
ROBERT AND STEFANIE SKINNER
1151 SOMBRIA LANE
PEBBLE BEACH, CA 93953

ARCHITECT:
JUN SILLANO
IDG
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA 93950

SITE LOCATION:
1151 SOMBRIA LANE
PEBBLE BEACH, CA 93953

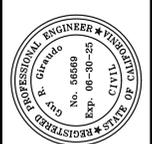
"COVER SHEET"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
THE SKINNER RESIDENCE
 A.P.N.: 008-281-020
 PEBBLE BEACH, CALIFORNIA
 FOR
 ROBERT AND STEFANIE SKINNER

SCALE: AS SHOWN
 DATE: MAR 2025
 JOB No. 2536-01

No.	DATE	BY	REVISION
	03/21/25	JAN	RELEASED TO CLIENT

SHEET **C1**
OF 7 SHEETS



APPROVED BY:
 GUY R. GIRARDO
 CIVIL ENGINEER

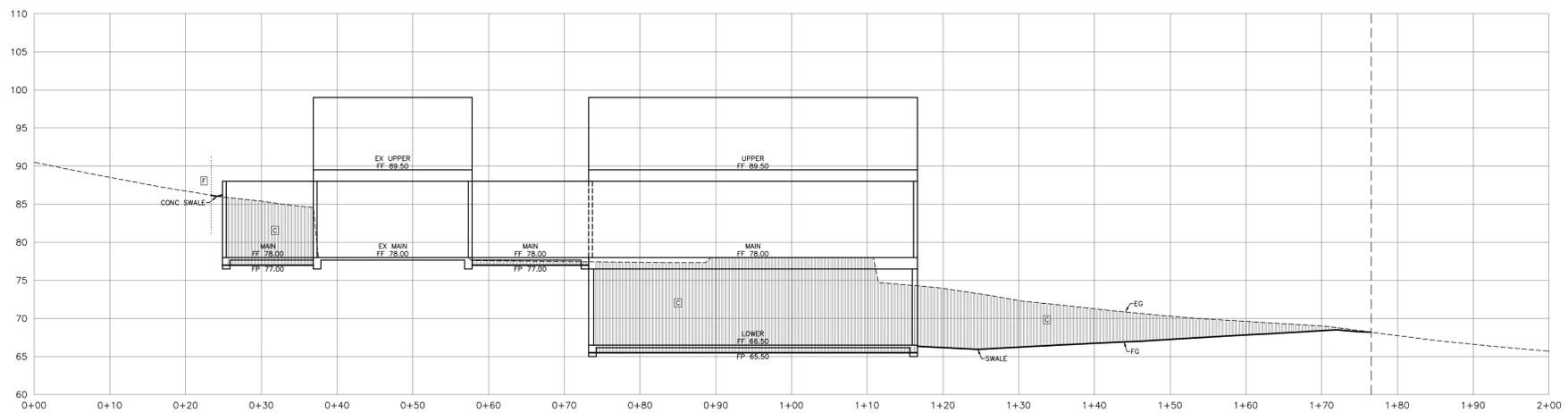


"GRADING & DRAINAGE PLAN"
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
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 A.P.N.: 008-281-020
 PEBBLE BEACH, CALIFORNIA
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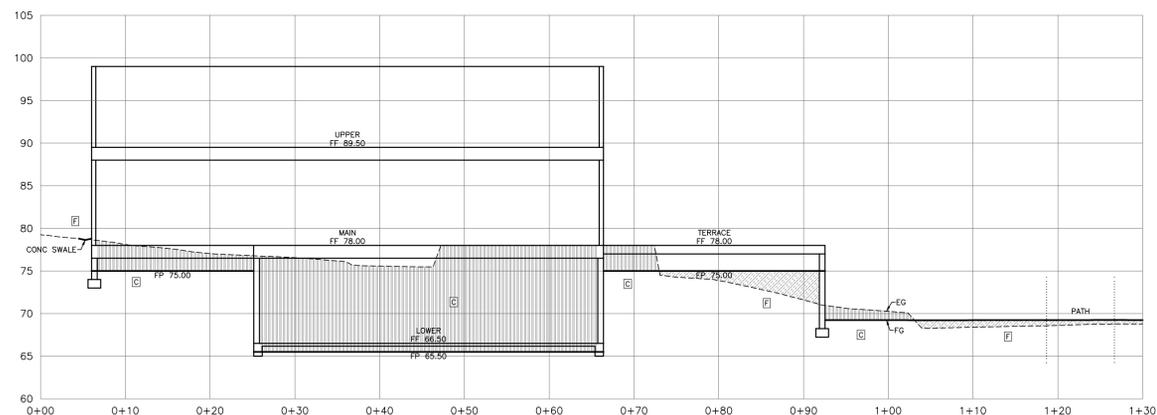
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 DATE: MAR 2025
 JOB No. 2536-01

No.	DATE	BY	REVISION

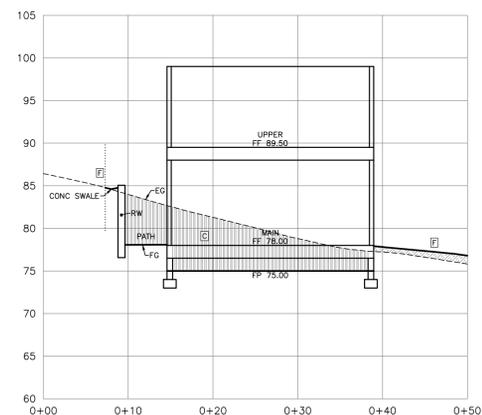
SHEET **C2**
 OF 7 SHEETS



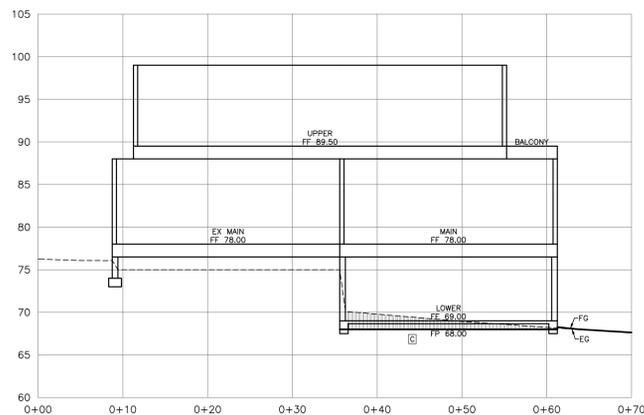
SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

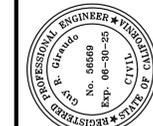
"GRADING SECTIONS & DETAILS"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF
THE SKINNER RESIDENCE
A.P.N.: 008-281-020
PEBBLE BEACH, CALIFORNIA
ROBERT AND STEFANIE SKINNER



APPROVED BY:
GUY R. GIRAUDO

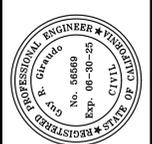
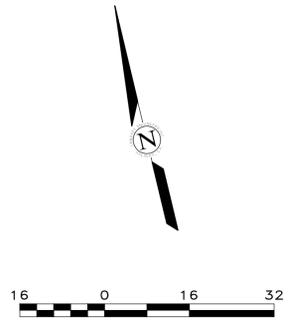


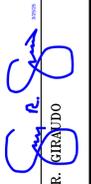
SCALE: AS SHOWN
DATE: MAR 2025
JOB No. 2536-01

SHEET C3

OF 7 SHEETS

No.	DATE	BY	RELEASED TO CLIENT	REVISION
	03/21/25	JAN	RELEASED TO CLIENT	



APPROVED BY:

 GUY R. GRANUDO

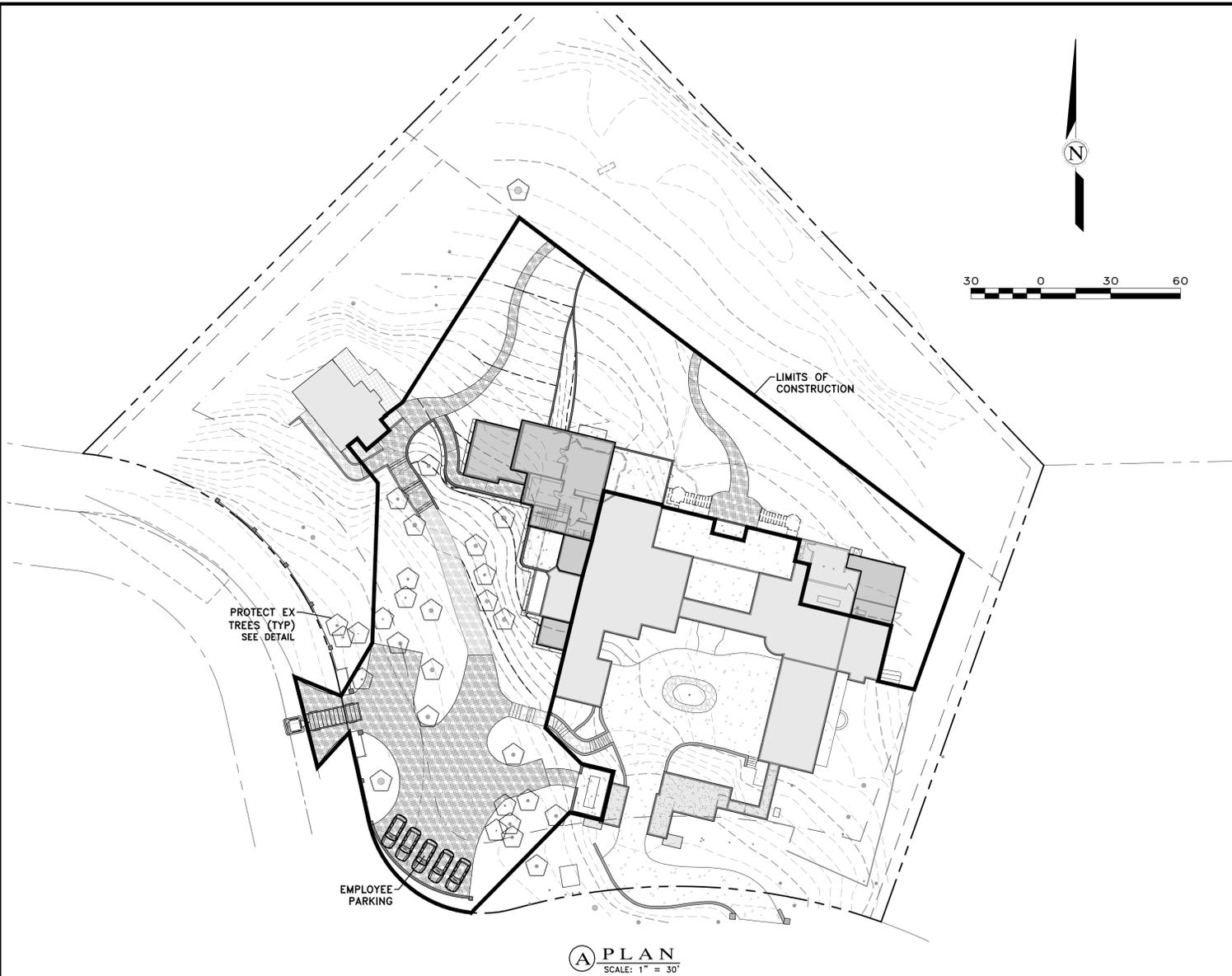


"UTILITY PLAN"
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
 THE SKINNER RESIDENCE
 A.P.N.: 008-281-020
 PEBBLE BEACH, CALIFORNIA
 ROBERT AND STEFANIE SKINNER

SCALE: 1" = 16'
 DATE: MAR 2025
 JOB No. 2536-01

No.	DATE	BY	REVISION

SHEET **C4**
 OF 7 SHEETS



A PLAN
SCALE: 1" = 30'

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 1275 CY OF CUT & 180 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM PORQUE LN. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTH ON PORQUE LN. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM PORQUE LN TO SOMBRIA LN TO PORTOLA RD TO 17 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON PORQUE LN AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON PORQUE LN. TRUCKS SHALL QUEUE OFFSITE AND BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG PORQUE LN AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

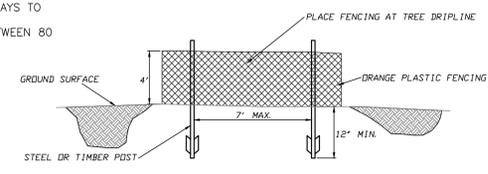
- NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 10-20
- NUMBER OF TRUCK TRIPS/DAY:** 4
- AMOUNT OF GRADING/DAY:** 80 C.Y.
- HOURS OF OPERATION/DAY:** 8
- DAYS OF OPERATION:** MONDAY THROUGH FRIDAY
- TIME OF OPERATION:** 8:00 AM - 4:30 PM
- PROJECT SCHEDULING:** PROJECTED START DATE IS JANUARY 1, 2026. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	60	15
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	64	20

TRUCK TRIP GENERATION NOTES:

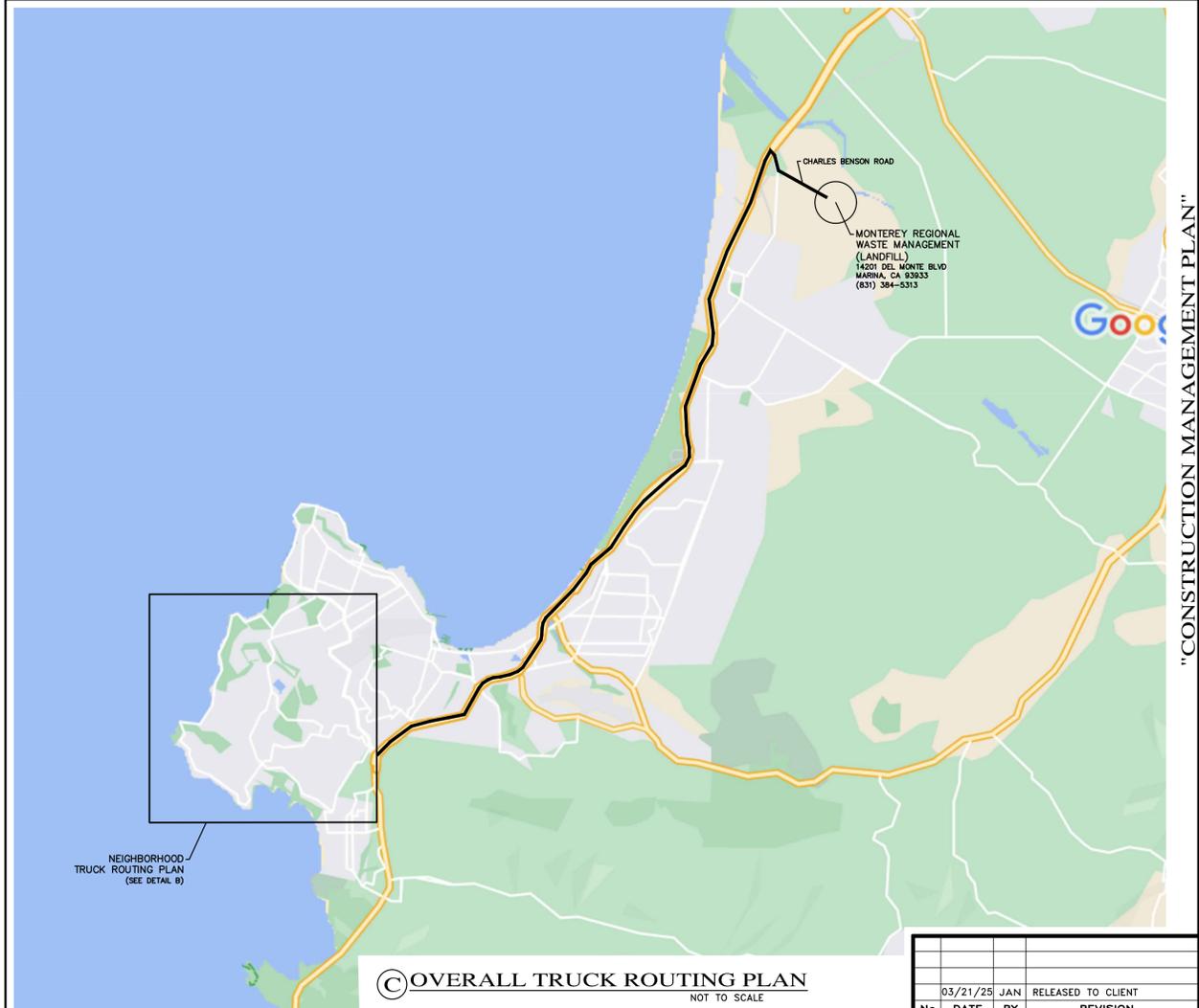
1. TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
2. THERE ARE APPROXIMATELY 1095 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 20 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



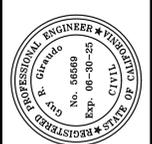
ESA FENCING
NOT TO SCALE



B NEIGHBORHOOD TRUCK ROUTING PLAN
NOT TO SCALE



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE



APPROVED BY:

GUY R. GIRARDO



"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
THE SKINNER RESIDENCE
A.P.N.: 008-281-020
PEBBLE BEACH, CALIFORNIA
ROBERT AND STEFANIE SKINNER

SCALE: 1" = 30'
DATE: MAR 2025
JOB No. 2536-01

No.	DATE	BY	REVISION
03/21/25	JAN	RELEASED TO CLIENT	

SHEET **C7**
OF 7 SHEETS

**COLOR AND MATERIAL SAMPLES FOR
SKINNER RESIDENCE
1151 SOMBRIA LN, PEBBLE BEACH, CA 93953
APN: 008-281-020**

EXTERIOR STUCCO - MATCH EXISTING



**METAL CLAD WOOD EXTERIOR DOORS
LOEWEN OR EQUAL**



STONE TILES - MATCH EXISTING



**METAL CLAD WOOD EXTERIOR WINDOWS
LOEWEN OR EQUAL**

**COPPER SCUPPER, CONDUCTOR, &
DOWNSPOUTS**



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