

Exhibit C

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**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

**SALINAS 101 LLC [FORMERLY MARTINS]
(THE SOBEL COMPANY INC.) (PLN180441)**

RESOLUTION NO. 23-039

Resolution by the Monterey County Planning
Commission:

- 1) Adopting a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Standard Subdivision and Vesting Tentative Map to divide a 17.92 acre Light Commercial (LC) zoned parcel into ten LC zoned parcels;
 - b. a General Development Plan and Use Permit to allow a total of 98,926 square feet of mixed commercial space including four retail buildings, four quick serve restaurants, a fueling station, and a motel;
 - c. a Use Permit to allow construction of a pylon sign;
 - d. a Variance to increase the allowable height of main structures on Parcel 7 from 35 feet to 45 feet;
 - e. a Variance to increase the allowable pylon sign height from 35 feet to 57 feet; and
 - f. a Variance to increase the allowable pylon sign dimensions to 768 square feet; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

(PLN180441), SALINAS 101 LLC, intersection of Highway 101, Sala Road & Harrison Road, Salinas [no address assigned], Greater Salinas Area Plan (APN: 113-091-017-000)

CORRECTED

December 11, 2023

(This resolution corrects the previous
resolution mailed on November 15, 2023)

The SALINAS 101 LLC application (PLN180411) came on for a public hearing before the Monterey County Planning Commission on November 8, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project and use, as conditioned and mitigated, is consistent with the policies of the Monterey County 2010 General Plan, Greater Salinas Area Plan, Monterey County Zoning Ordinance (Title 21), Monterey County Subdivision

Ordinance (Title 19), and other County health, safety, and welfare ordinances related to land use development.

- EVIDENCE:** a) During the course of review of this application, the Project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
 - Greater Salinas Area Plan;
 - Monterey County Zoning Ordinance (Title 21); and
 - Monterey County Subdivision Ordinance (Title 19).

No conflicts were found to exist. No communications were received during the course of review of the Project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Description. The Project is located at the intersection of Highway 101, Sala Road & Harrison Road, Salinas and consists of a new highway-oriented commercial development that entails the subdivision of an existing lot into 10 parcels and various other on- and off-site improvements. The Project includes construction of a total of 10 structures totaling 98,926 square feet. These structures consist of a 41,693 square foot 95-room hotel [Parcel 7], four retail buildings totaling 40,202 square feet (including a 21,702 square foot retail building for Tractor Supply) [Parcels 1, 2, 4, and 8], four fast food restaurants with drive-through windows totaling 11,520 square feet [Parcels 3, 5, 6, and 9], and a vehicle service station with 16 fueling positions, a 4,359 square foot convenience store, and a 1,152 square foot drive-through car wash [Parcel 10]. The Project also includes a 57-foot illuminated highway-facing pylon sign on the western portion of the site. Salinas 101 LLC (“Applicant”) is applying for two Variances to increase the allowable height and overall dimensions of the proposed sign so that it can be seen by northbound drivers on Highway 101 above the existing Sala Road Overpass, which is over 23-feet tall and is located immediately south of the site (see Finding Nos. 8 and 9 and supporting evidence). The Applicant is also applying for a third Variance to increase in the allowable height of the hotel (Parcel 7) to 45 feet (see Finding No. 7 and supporting evidence). The Project includes grading consisting of 12,876 cubic yards of cut and approximately 12,309 cubic yards of fill. Major proposed landscape features include 174,430 square feet of shrubs and groundcover, 9,712 square feet of synthetic lawn, 4,522 square feet of cobble, and the planting of 160 trees. There are no trees on the Project site and therefore no tree removal is proposed.
- c) The property is located at the intersection of Highway 101, Sala Road and Harrison Road (Assessor’s Parcel Number [APN]: 113-091-017-000), Greater Salinas Area Plan. The parcel is zoned Light Commercial, which allows for the construction of convenience markets, hotels, parking lots, retail and wholesale sales, and service (gas) stations subject to the granting of a Use Permit in each case. Additionally, pursuant to Title 21 section 21.60.090, the Project includes a Use Permit to allow construction of a sign in a commercial zoning district. The Project also includes three Variances to increase the allowed height of the proposed hotel,

increase to the height of the proposed sign, and an increase the allowed sign square footage. As detailed in the preceding evidence, the Project proposes uses allowed within the LC zoning district and therefore, the Project is an allowed land use for this site.

- d) Lot Legality. The subject property (17.92 acres in size) is identified in its current configuration and under separate ownership as “Ranch A” in a Record of Survey dated January 2016, filed as Volume 22 of Surveys at Page 39, Monterey County Records. Further, the property is described as Lot 2 of “Parcel Two” as shown on a map entitled, “Partition Map Accompanying Report of Referees Showing Subdivisions, Espinosa Portion of the Rancho Bolsa De La Escarpinas, filed July 10, 1925, in Volume 2 of Surveys at Page 28, Monterey County Records. Therefore, the County recognizes the property as a legal lot of record.
- e) General Development Plan. Title 21 section 21.18.030.D requires the development to submit for review and approval a General Development Plan (GDP) for all development allowed within the LC zoning district. Accordingly, the Applicant has prepared a General Development Plan that details the Project components and addresses the long-range development and operation of the facilities including physical expansion and new development, operational changes, circulation or transport improvements, site design flexibility, environmental considerations, and conformance to the policies of the local area plan (see attached GDP). The GDP finds that a “broad range of commercial uses” would be appropriate for the site, specifically highway-oriented commercial development, such as service stations, restaurants, and visitor accommodations. The GDP does not allow for uses which include, but are provided in more detail in the attached document, auto sales, banks, theaters, residential uses, public quasi-public uses and assemblage of people, zoos, day care centers, exploration for and removal of oil and gas, day care centers, and funeral homes. The GDP allows for a maximum development capacity of 125,000 square feet. As proposed, the Project only includes a total square footage of 98,926 (78% of maximum allowed). Commercial use locations and arrangement of uses within the Project site, building square footage per parcel, parking and landscape design, and site design flexibility are built into the GDP. However, due to the height and need for a Variance, the proposed hotel is an exception to the GDP’s flexibility. Any relocation of the Hotel from Parcel 7 would require separate discretionary review and approval and may trigger supplemental environmental review. In accordance with Title 21 section 21.18.070, the GDP establishes maximum allowed heights of 35 feet for main structures (except for the Hotel) and 15 feet for accessory structures (such as trash enclosures and utility enclosures), site coverage of 50 percent, setbacks of 20 feet (front/from Harrison Road), 10 feet (rear), 5 feet sides, and 15 feet (sides to internal streets/driveways) and landscaping of at least 10 percent. GDP parking standards mirror Monterey County Code requirements, see subsequent Evidence “h”. The GDP includes a Sign Program that establishes multiple requirements including that

all signs to be compatible with a building's architectural style with regards to size, color, materials, and illumination. The Sign Program allows for the construction of a pylon sign with a maximum height of 57 feet. The Project is expected to generate approximately 221 new jobs at full build-out. The GDP allows details Project specific circulation improvements, road network improvements, public services, and future implementation of the GDP.

- f) Project Phasing. Construction would be completed in three phases, with scheduling to be determined based on market conditions. Phase 1 of the Project includes construction of the Tractor Supply Company retail store, four-story 95-guestroom hotel, and combined convenience store, car wash, and fueling station. Phase 2 of the Project includes the construction of two fast-food restaurants. Phase 3 of the Project includes construction of two additional fast-food restaurants, as well as three buildings intended for retail use.
- g) Site Development Standards. As proposed, the Project's main structures (restaurants, retail stores, gas station, and Tractor Supply building) will comply with the allowed height of 35 feet. A Variance has been granted to allow an increase of the allowable height for the Hotel (specific to Parcel 7) to 45 feet. The 17.92-acre site would allow a maximum site coverage of approximately 390,515 square feet. As proposed, the Project consists of 98,926 square feet of development (or up to 125,000 square feet per the GDP) and is therefore below the maximum allowed site coverage. As detailed in the attached plans, the proposed development complies with the required setbacks. The Project complies with the applicable site development standards established in the Title 21 section 21.18.070 and the Project's General Development Plan (see preceding Evidence "e.")
- h) Parking. The Project includes construction of two new vehicle driveways connecting to Harrison Road for site access. The Project would also include the installation of 534 parking spaces, which exceeds the minimum required pursuant to Title 21 section 21.58.040. As illustrated in the attached plans, 181 parking stalls will be associated with the proposed hotel, while 89 stalls will be provided for the Tractor Supply retail building.
- i) Design. The Project is not located near a designated scenic vista. Additionally, the property is not located in area subject to a Design Control zoning overlay, which regulates the size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. However, the Project has been designed to be compatible with the surrounding rural character, as intended by the 2010 General Plan. The Project includes several architectural design features to ensure visual cohesiveness throughout the site. Architectural design elements of the Project including natural building colors, roof and trellis designs, and security lighting. The proposed building colors would be a mix of neutral and earthtone colors including shades of beige, grey, and brown. These types of colors are typical of commercial development alongside highways in Monterey County and would not be visually obtrusive to drivers passing alongside the Project. The hotel, Tractor

Supply building, and illuminated 57-foot-tall pylon sign would be the most visible components of the Project from Highway 101. All structures were designed to conform to development standards for the Light Commercial zoning district, except for the proposed hotel and sign, which would have maximum heights of 45 feet and 57 feet, respectively (exceeding the 35-foot maximum). When directly adjacent to the Project site, the development and pylon sign will be less subordinate with the surrounding area. However, in the southbound and northbound directions, the development sign will be more subordinate with surrounding area as it is visually “busy” with the various Highway 101 directional signage, a Caltrans message boards and other traffic related signs, Salinas Self-Storage sign, and views of the surrounding mountain ranges and low lying residential and commercial development. All views of the illuminated pylon sign would be limited in duration and would not detract from the overall visual quality of the surrounding area. Although the pylon sign and hotel would create new prominent visual landmarks for northbound and southbound travelers on Highway 101, they would not substantially impact visual quality of the site. The Project includes planting of 160 trees throughout the site, including all parking areas, and a continuous evergreen hedge along the western property line to minimize views from Highway 101. The proposed landscaping would provide visual diversity and would reduce the apparent mass of the development. Finally, the Project requires an exterior lighting plan as a condition of approval consistent with LU-1.13 of the General Plan.

- j) Greater Salinas Area Plan Policy GS-16/2010 General Plan Policy LU-4.8. Greater Salinas Area Plan Policy GS-1.6 allows development of commercial designated parcel between Harrison Road and Highway 101, such as the subject property, may be allowed if such uses are neighborhood serving commercial or planner general commercial uses. As proposed, the Project consists of a combination of neighborhood serving uses (restaurants, gas station, and small retail stores) and general commercial uses (95 room hotel and larger retail stores). The Project is located directly adjacent to Highway 101 would provide access to commercial services consistent with Policy LU-4.8 of the General Plan, which requires convenient access to commercial uses.
- k) 2010 General Plan Policy LU-1.6. Policy LU-1.6 of the 2010 General establishes new development within designed urban services areas a priority. The Project site is designated for commercial use in the County’s General Plan and Zoning Ordinance and is surrounded by existing development to the north and south. Additionally, the subject property is located within the City of Salinas’s Economic Development Element (EDE) “Opportunity Area” identified as “North Entrance (Area K)” and adjacent to “Target Area K”. The City of Salinas EDE identifies Area K as being a priority opportunity site for predominately office and retail space. All of Area K is currently within the County of Monterey’s jurisdiction and would require approval of an annexation from the Local Agency Formation Commission of Monterey County to be a

part of the City of Salinas jurisdictional boundaries. No annexation is currently being sought by the City of Salinas. If and when Area K is annexed into the City of Salinas and is developed according to the EDE, it will be considered an urbanized area, as defined by CEQA Guidelines and the Census Bureau. The proposed development and uses are consistent with the vision of Area K. California Water Service Company has provided a “can-and-will serve-letter” to confirm they will supply water to the Project. Additionally, because the site is located outside of the City’s wastewater service area, the Applicant entered into an approved pre-annexation agreement with the city to allow for an extension of wastewater service boundaries. Monterey One Water has provided a “can-and-will serve-letter” formalizing its ability and agreement to accept the Project’s wastewater.

- l) 2010 General Plan Policies S-7.1 – 7.7/Noise. The nearest sensitive receptors are residences located approximately 200 feet northwest of the Project site. An Environmentally Noise Assessment (LIB200167) was prepared for the Project to analyze project related noise impacts. Construction activities will result in a temporary increase in noise levels in the vicinity of the Project and will expose occupants at the adjacent residences to temporary, short-term increases in noise and ground borne vibrations at a range between 61-74 dBA. This impact is not anticipated to be significant, however Mitigation Measure N-1 has been applied to ensure noise-limiting construction measures are adhered to. The noise assessment includes the results from traffic noise modeling on residential noise-sensitive receptors in the vicinity of the Project. The noise assessment concluded that the additional traffic would result in either no change or a 1 dBA increase in noise levels, and thus would not constitute a significant impact. The Project includes a Tractor Supply Company store that would include a loading dock on the west side of the building. The Tractor Supply Company could receive between five to six truck deliveries each week, typically occurring between the hours of 8:00 am and 6:00 pm and generating noise levels in the range of 60 to 66 dBA. The loading dock noise levels are expected to be in the range of 50 to 68 dBA at a distance of 250 feet (i.e., the location of the nearest residence to the north). If loading activities occur during the nighttime hours of 10:00 pm to 7:00 am, noise levels could exceed the nighttime noise level standard of 65 dB Lmax. Therefore, Mitigation Measure N-2 and N-3 have been applied to limit loading dock and delivery activities at the Track Supply building to the hours of 7:00am to 10:00pm.
- m) Development Evaluation System / 2010 Monterey County General Plan Policy LU-1.19. See Finding No. 10 and supporting evidence.
- n) Long Term Water Supply. See Finding No. 6 and supporting evidence.
- o) Traffic. The Project is anticipated to generate approximately 9,958 daily weekday trips, with 685 AM peak hour trips and 711 PM peak hour trips, or 13,395 daily weekend trips, with 1,090 mid-day peak hour trips. Based on the updated analysis, with the proposed mitigation improvements, Harrison and Sala Road would operate at

a level of service (LOS) of C or better under existing plus project and cumulative plus project conditions. Harrison Road and the main access (south driveway) will operate at an LOS of B or better under existing plus project and LOS C or better under cumulative plus project conditions.

- p) Off-Site Improvements. The Project includes off-site circulation improvements based on the recommendations of the Traffic Impact Analysis and Step 1 Intersection Control Evaluation prepared by Keith Higgins (Monterey County Library No. LIB200165 and LIB200166). The report identified that the Applicant would be responsible for constructing off-site improvements that would result in physical changes to the environment. In addition, HCD-Engineering Services has required off-site improvements to address the Project related traffic impacts. These off-site improvements are incorporated into Mitigation Measure No. TI-1. A description of the location and nature of these off-site improvements is provided below:

- *US 101 Northbound Ramps / Sala Road intersection:* 1) Signalize intersection (Modify existing all way stop-controlled intersection) and 2) add a special (overlap) signal phase that combines the northbound US 101 Northbound Ramps right turn and westbound Sala Road through movements.
- *Harrison Road / Sala Road intersection:* 1) Restripe existing striped median to add second eastbound Sala Road left turn lane, 2) widen northbound Harrison Road north of Sala Road to accommodate second receiving lane (from second eastbound left turn lane), 3) add southbound Harrison Road right turn overlap signal phase, 4) add second southbound Sala Road through lane, and 5) add second southbound Harrison Road right turn lane.
- *Harrison Road / Project Driveway (South) intersection:* 1) Signalize intersection, 2) add two northbound Harrison Road left turn lanes, 3) add a southbound Harrison Road right turn lane, 4) provide separate Project driveway eastbound left and right turn lanes, 5) provide two westbound Project driveway entry lanes, and 6) add an eastbound Project Driveway (South) right turn overlap signal phase.
- *Harrison Road/Project Driveway (North) intersection:* 1) Add a northbound Harrison Road left turn lane and 2) provide a combined eastbound left/right turn exit lane and single entrance lane.
- *Harrison Road:* Widen Harrison Road to include four through lanes (two northbound and southbound through lanes) along the Project frontage between the Project South Driveway and Sala Road.

Additionally, the Project includes pedestrian improvements along its frontage with Harrison Road. The proposed pedestrian improvements will connect to the existing crosswalks across Sala Road at Harrison Road and will integrate the Project with the existing pedestrian facilities on Harrison Road, as well as with

future pedestrian facilities constructed on Harrison Road as part of the future development of Area K.

- q) 2010 General Plan Policy AG-1.2. The Project would develop new urban land uses adjacent to active agricultural operations, including active farmland. Active agricultural operations occur on the parcel across Harrison Road to the east and across Highway 101 to the west. The subject parcel is not directly adjacent to these or any other agricultural uses as existing Harrison Road and Highway 101 provide physical separation between these agricultural uses and the property site. In addition, the Project includes a 20-foot building setback from Harrison Road. The Project is located outside more than 200 feet from nearby agricultural uses.
- r) The Project was not referred to a Land Use Advisory Committee (LUAC) for review because there is no LUAC in the Project area.
- s) Agricultural Advisory Committee. On December 3, 2020, the Agricultural Advisory Committee (AAC) reviewed the project and voted 12 - 0 (12 ayes, 0 nays) to recommend approval of the project as proposed to the Planning Commission. AAC members noted that the proposed development appeared to be adequately laid out and raised questions regarding traffic improvements. See Finding No. 1, Evidence “p”.
- t) The project planner conducted a site inspection on September 9, 2023 to verify that the Project on the subject parcel conforms to the plans listed above.
- u) The application, Project plans, and related support materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN180441.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The Project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Monterey County Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Traffic and Vehicles Mile Traveled, Noise, Soils, Hazards, Cultural resource, Biological resources, Hydrogeological resources, Air Quality, Greenhouse Gas Emissions, Energy, and Drainage. The following reports have been prepared:
 - “Sobel Company Commercial Development Traffic Impact Analysis” (LIB200166) prepared by Keith Higgin, Gilroy, CA on April 9, 2019, as amended on February 1, 2021 and June 22, 2023.
 - “Vehicle miles Traveled Analysis for the Sobel Mixed-Use Development” (LIB200165) prepared by Ollie Zhou, San Jose, CA on June 22, 2020.

- “Environmental Noise Assessment” (LIB200167) prepared by WJVA Acoustics Inc., Visalia, CA on July 27, 2020.
- “Geotechnical Engineering Investigation” (LIB200168) prepared by Ryan Privett, Pleasanton, CA on June 18, 2018.
- “Phase I Environmental Site Assessment” (LIB200169) prepared by Arthur Farkas, Clovis, CA on May 25, 2018.
- “Cultural and Biological Resources Assessment” (LIB200170) prepared by Gail Bellenger, Monterey, CA on July 18, 2018.
- “Sobel Commercial Project Hydrogeologic Assessment” (LIB230238) prepared by Clinton Sorensen, Santa Cruz, CA in May 2023.
- “Air Quality, Greenhouse Gas Emissions, and Energy Report” (LIB230239) prepared by Tanya Kalaskar, Monterey, CA on August 5, 2020.
- “Preliminary Stormwater Control Plan” (LIB230240) prepared by Adam Merrill, Duarte, CA on May 13, 2020.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed, as designed and mitigated. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Biological Resources. Surrounding land uses include agricultural fields located to the east, a residential subdivision and commercial uses to the north, Highway 101 and Caltrans detention pond facilities to the west, and a Caltrans detention pond on the south. The dominant plant community on the Project site and in the off-site improvements area on Harrison Road is ruderal (non-native) open grassland. The prepared biological and cultural resources assessment (LIB200170) identified potential habitat for Congdon’s tarplant, which is classified as a Rare Plant Rank 1B by California National Plant Society. Therefore, a focused plant survey was conducted on September 25, 2018 (LIB200170). No Congdon’s tarplant were observed at the Project site. The non-native grassland within the Project site and within the Harrison Road improvement impact area could provide marginally suitable foraging habitat for Burrowing owl. Therefore, Mitigation Measure BIO-1 has been applied to require a pre-construction survey for this species. Red-winged blackbirds and other avian species were also observed flying near the property and perching on adjacent fences. Construction activities have the potential to impact nesting birds protected under the Federal Migratory Bird Treaty Act and California Fish and Game Code. Therefore, the County’s standard “RAPTOR/MIGRATORY BIRD NESTING” condition of approval (Condition No. 14) has been applied which requires the Applicant to retain a qualified biologist to conduct pre-construction bird nesting survey during the typical nesting season (February 22 - August 1), if construction occurs during this period.
- d) Drainage. The subject property contains a drainage channel that crosses the site from east to west. This drainage channel was determined to not be a wetland but subject to the jurisdiction of the U.S. Army Corps of Engineers (“USACE”). USACE determined

that an after-the-fact Nationwide 39 permit was required to address past disturbances to the drainage channel. Therefore, Mitigation Measure BIO-2 has been applied to require that the Applicant obtain a Clean Water Act Section 404 Nationwide Permit (NWP) 39 from USACE. As part of the application for the NWP 39 Permit, a wetland mitigation plan for rerouting the drainage channel through the property as mitigation for impacts to the on-site wetland will be required for review and approval by USACE. A Water Quality Certification (per Section 401 of the Clean Water Act) from the Central Coast Regional Water Quality Control Board is also required.

- e) Stormwater Control. Development of all three Phases of the Project would result in approximately 626,348 square feet of new impervious surfaces on the site. These surfaces include proposed roads, walkways, structures, and parking areas. A preliminary stormwater control plan has been prepared (LIB230240). The Project includes several subsurface detention basins to detain stormwater runoff on the site. The on-site storm water retention features are designed to provide a volume greater than what is required to ensure that post-construction peak flows associated with development of the Project do not exceed the peak flows identified under existing site conditions.
- f) Groundwater is the primary source of water supply for both agricultural and municipal water demands in the Salinas Valley, with agricultural water use representing approximately 90 percent of all water demand in the Salinas Valley. California Water Service (“Cal Water”) would provide water to the Project. Cal Water extracts groundwater from two hydraulically connected subbasins of the Salinas Valley Groundwater Basin known as the 180/400 Foot Aquifer (or Pressure Subarea) and the East Side Aquifer. Impacts have resulted over time related to groundwater availability and quality due to the increased demand for groundwater within the Salinas Valley. However, Cal Water’s 2020 Urban Water Management Plan (“UWMP”) concluded that sufficient water supply is available to meet demand through 2035 under all hydrologic year-type scenarios (normal, dry, and multiple dry years).
- g) Water Demand. A comprehensive hydrological assessment for the Project was prepared by Balance Hydrologics, Inc. (LIB230238). The hydrological assessment examined existing hydrological conditions to determine whether there is an intensification of water use associated with the Project compared to baseline conditions. The water use baseline used for this analysis is based on the average water use over a 20-year baseline period spanning from 2000-2019. Balance Hydrologics determined that the Project site has had an average on-site water usage of 24.42 acre feet (“AF”) based on the 20-year baseline period. The Project would have a water demand of 23 AF per year. As a result, the Project would result in a 1.42 AF reduction of water use compared to historical demand.
- h) Air Quality. An Air Quality Assessment (LIB230239) was prepared for the Project. Construction activities will generate a maximum of

39.06 pounds per day of PM10 emissions, which is below the PM10 threshold of 82 pounds per day established by Monterey Bay Air Resources District (MBARD). Construction of the Project would include ground-disturbing construction activities that would result in localized emissions of dust and toxic air contaminants from heavy equipment diesel exhaust. These emissions could result in temporary impacts to adjacent land uses that include sensitive receptors (i.e., residences 200 feet north). Implementation of Mitigation Measures AQ-1 through AQ-3 would reduce the potential exposure of nearby sensitive receptors to pollutant concentrations during construction to a less-than-significant level by requiring implementation of dust construction measures and a Construction Staging Management Plan, and adherence to manufacture guidelines regarding the maintenance of construction equipment.

- i) Greenhouse Gas (GHG) Emissions. Construction GHG emissions would be generated primarily by equipment used during site preparation, grading, and building construction, while direct operational GHG emissions would be generated primarily by vehicle trips accessing the subject property site. The Project would also include indirect sources of GHG emissions, including electricity and natural gas used on site, electricity used to pump water supply and treat wastewater, and decomposition of solid waste generated by the Project. The Project would generate approximately 24.70 MT CO₂e (metric tons of carbon dioxide equivalent) of GHG emission per year per service population (5,457.90 MT CO₂e per year/221 service population). As such, the Project would exceed the threshold of significance of 3.82 MT CO₂e per year per service population for the year 2024 by a total of 4,614.48 MT CO₂e per year. Therefore, the Project would generate GHG emissions that would have a potentially significant impact on the environment. However, implementation of Mitigation Measure GHG-1 would reduce GHG emissions from the Project to below the threshold of significance of 3.82 MT CO₂e per year per service population. Mitigation Measure GHG-1 establishes three reduction approaches: 1) include additional on-site GHG emissions reduction measures; 2) participate in one or more off-site GHG reduction program(s); and/or 3) purchase carbon off-sets. The Applicant must implement one of more of the above approaches and provide evidence to HCD-Planning demonstrating the required reduction.
- j) Staff conducted a site inspection on September 9, 2023 to verify that the site is suitable for this use.
- k) The application, Project plans, and related support materials submitted by the Project applicant to Monterey County HCD - Planning for the proposed development found in Project File PLN180441.

- 3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or

injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The Project was reviewed by the HCD-Planning, Monterey County Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the Project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The Project is located in Area K, which is a planned growth area defined in the City of Salinas' General Plan. The pre-annexation agreement for the Project site has been approved, with the expectation that the site and the surrounding area, as part of Area K, would be annexed into the City in the future. The Applicant has received a can-and-will serve letter from Monterey One Water and the City of Salinas, indicating that the City would provide future sanitary sewer service to the Project. In addition, the Applicant has received a can-and-will serve letter from California Water Service Company (Cal Water), indicating that Cal Water would have sufficient water supply to provide service to the Project. The Project includes the installation of both new sewer lines to connect to the City's existing system and new water lines to connect to Cal Water's existing system (Condition Nos. 8 and 9).
 - c) Staff conducted a site inspection on September 9, 2023 to verify that the site is suitable for this use.
 - d) The application, plans and supporting materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180441.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on September 9, 2023 to verify that the site has no violations.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180441.

5. **FINDING:** **CEQA (Mitigated Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines Sections 15063(a)

and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the Project may have a significant effect on the environment, and shall prepare a Negative Declaration if there is no substantial evidence that the Project or any of its aspects may cause a significant effect on the environment.

- b) Monterey County as Lead Agency, through HCD-Planning, prepared an initial study pursuant to CEQA. The initial study is on file in the offices of HCD-Planning and is hereby incorporated by reference (HCD-Planning File No. PLN180441).
- c) There is no substantial evidence, based upon the record as a whole, that the Project may have a significant effect on the environment. The Initial Study identified several potentially significant effects, but the applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur. Based upon the analysis of the initial study, HCD-Planning prepared a mitigated negative declaration.
- d) The Draft Initial Study and Mitigated Negative Declaration for HCD-Planning File No. PLN180441 was prepared in accordance with the CEQA Guidelines; filed with the County Clerk on September 21, 2023; and circulated for public review from September 21, 2023 through October 23, 2023 (State Clearinghouse Number 2023090503).
- e) Resource areas that were analyzed in the IS/MND included: aesthetics, agriculture and forest resources, air quality, biological resources, cultural resources, energy, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, mineral resources, noise, population and housing, public services, recreation, transportation, tribal cultural resources, utilities and service systems, and wildfire.
- f) Evidence that has been received and considered includes: the application, technical studies/reports, staff reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (HCD-Planning File No. PLN180441) and are hereby incorporated herein by reference.
- g) The County also identified potentially significant impacts to biological resources, land use and planning, greenhouse gas emission, air quality, noise, and transportation. Mitigation measures have been proposed to reduce the identified impacts to a level of less than significant. Mitigation Measure BIO-1 and BIO-2 will reduce the potentially significant impacts to biological resources to a level of less than significant by requiring pre-construction surveys and issuance of the Clean Water Act Section 404 Nationwide Permit 39. Mitigation Measure Mitigation GHG-1 will reduce potentially significant impacts to greenhouse gasses by requiring a minimum reduction of 4,614.48 MT CO₂e per year (or 20.88 MT CO₂e per year per service population) to ensure the Project's GHG emissions are below the threshold of significance of 3.82 MT CO₂e per year per service population. Construction of the Project could expose

sensitive receptors to localized emissions of dust and toxic air contaminants and therefore Mitigation Measures AQ-1, AQ-2, and AQ-3 have been applied to require installation and adherence to dust control measures, preparation of a Construction Staging Management Plan, confirmation that all construction equipment is maintained in accordance with manufacturer's specifications and checked by a certified emissions evaluator. Implementation Mitigation Measure AQ-1 through AQ-3 will reduce the potential exposure of nearby sensitive receptors to pollutant concentrations during construction to a less-than-significant level. Mitigation Measure N-1, N-2, and N-3 will reduce potentially significant impacts to noise to a level of less than significant by requiring construction activities to adhere to noise-limiting measures and limiting the Track Supply Company's loading dock activities and truck deliveries to hours of 7:00am to 7:00pm. Mitigation Measure TI-1 will reduce transportation related impacts to a level of less than significant by requiring installation of off-site traffic improvements, see Finding No. 1, Evidence "o". These mitigation measures have been incorporated into the Project as conditions of approval (Condition Nos. 21 through 29).

- h) Pursuant to Public Resources Code section 21080.3.1 et seq., Monterey County HCD-Planning initiated consultation with local Native American tribes on May 31, 2023. No local Native American tribes requested tribal consultation. The Project site is mapped in a low sensitivity area for archaeological resources and has been highly disturbed by past agricultural uses. Therefore, the potential presence of unique archaeological resources on the site is considered low. Adherence to the County's standard cultural resource condition of approval (Condition No. 3) will result in less than significant impacts on cultural and tribal cultural resources.
- i) All Project changes required to avoid significant effects on the environment have been incorporated into the Project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during Project implementation, and is hereby incorporated herein by reference. The applicant must enter into an "Agreement to Implement a Mitigation Monitoring and/or Reporting Plan as a condition of Project approval (Condition No. 15).
- j) Analysis contained in the initial study and the record as a whole indicate the Project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Wildlife (CDFW) regulations. All land development projects that are subject to environmental review are subject to a state filing fee plus the County recording fee, unless CDFW determines that the Project will have no effect on fish and wildlife resources. In this case, for purposes of the Fish and Game Code, the Project may have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. The initial study was sent to CDFW for review, comment, and to recommend necessary conditions to Protect biological resources in this area. Although no comments

from CDFW have been received, the Project will be required to pay the state fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (Condition No. 13).

- k) During the public review period for the draft Initial Study, the County received comment from the Esselen Tribe of Monterey County (ETMC). EMTC requested 1) tribal consultation with the Lead Agency in accordance with AB52, 2) preparation of a comprehensive Phase I and Phase II geoarchaeological coring program evaluation to determine presence/absence of cultural landforms, 3) monitoring of the geoarchaeological program by EMTC representatives, and 4) participation with the Lead Agency in selection of cultural consultants. Additionally, pursuant to California Government Code 65352.3 and California Public Resources Code Section 21080.3.1, EMTC requested copies of Project alternatives. Pursuant to Public Resources Code section 21080.3.1 et seq., Monterey County HCD–Planning staff-initiated consultation with local Native American tribes, including EMTC, on May 31, 2023. EMTC did not respond within 30 days or prior to the preparation of the Initial Study (September 2023). As detailed in the draft IS/MND, the vacant property has been highly disturbed by historical agricultural purposes and is mapped in an area of low archaeological resource. Thus, the potential presence of unique archaeological resources on the site is considered low. Additionally, the prepared cultural resources assessment indicated that there are no recorded prehistoric properties, structures, or sites within the boundaries of the Project and there was no evidence of cultural resource were discovered during the pedestrian survey. There is no evidence that any cultural resources would be disturbed as part of this Project, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard Project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. Finally, pursuant to CEQA Guidelines section 15126.6, only projects resulting in unavoidable/unmitigated significant environmental impacts are required evaluate a range of reasonable project alternatives. As detailed in the draft IS/MND, mitigation measures have been incorporated to reduce impacts to a level of less than significant. County staff reviewed the comment received based on the specific circumstances of this Project, and determined that the comment does not conflict with or challenge the analysis and/or conclusions of the draft Initial Study, and no revisions to the draft Initial Study are necessary in response to the comment.
- l) During the public review period for the draft Initial Study, the County also received a comment letter from the California Department of Transportation (Caltrans). The Caltrans letter informed County staff that an encroachment permit would be required to allow the traffic control improvements at the Sala Road Highway 101 intersection/on ramp. This requirement has been applied as a condition of approval. The Caltrans letter also

confirmed that the conclusion contained in the prepared Step 1 Intersection Control Evaluation (ICE) analysis was satisfactory and no additional traffic assessments were required.

- m) The Planning Commission finds that there is no substantial evidence supporting a fair argument of a significant environmental impact.
- n) The Monterey County Planning Commission considered the Mitigated Negative Declaration, along with the Combined Development Permit, at duly noticed public hearings held on November 8, 2023.
- o) Pursuant to CEQA Guidelines Section 15073(e), no public agencies submitted comments on the Initial Study and Mitigated Negative Declaration.
- p) Monterey County HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Mitigated Negative Declaration is based.
- q) The application, plans and supporting materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180441.

6. **FINDING:** **LONG-TERM SUSTAINABLE WATER SUPPLY AND ADEQUATE WATER SUPPLY SYSTEM:** The Project has an adequate water supply system to serve the development. The Project is required to provide proof of a Long-Term Sustainable Water Supply under General Plan Policy PS-3.1.

- EVIDENCE:**
- a) The Project is new development consisting of 10 commercial structures totaling 98,926 square feet. These structures consist of a 41,693 square foot 95-room hotel, four retail buildings totaling 40,202 square feet (includes a 21,702 square foot retail building for Tractor Supply), four fast food restaurants with drive-through windows totaling 11,520 square feet, and a vehicle service station with 16 fueling positions, a convenience store, and drive-through car wash totaling 4,359 square feet. The Project also includes for a 57-foot illuminated highway-facing pylon sign on the western portion of the site.
 - b) The new development will use or require the use of water. The existing water use on site has historically averaged 24.42 acre feet (AF) per year over a 20 year baseline period spanning 2000-2019. The projected water demand for the development is 23 AF. As a result, the Project would result in a 1.42 AF reduction of water use compared to historical demand.
 - c) Historically, water on the Project site was provided by groundwater wells located on the Project site. No groundwater would be pumped on site for the Project. Instead, Cal Water would provide water to the Project. Cal Water's supply comes from multiple subbasins within their service area. Cal Water's 2020 UWMP concluded that sufficient water supply is available to meet demand through 2035 under all hydrologic year-type scenarios (normal, dry, and multiple dry years). The UWMP notes that some shortfalls may occur in 2040 and 2045 under single-year drought or multi-year drought

conditions. However, the UWMP notes that shortfalls would be alleviated by proactive drought planning on the part of Cal Water. Groundwater monitoring, including the potential effects on neighboring wells, for this water supply is the responsibility of Cal Water. Based on the conclusions made in the project specific Hydrogeological Report (LIB230238), the anticipated future water demand associated with the Project (23 AF) would have a minimal impact on groundwater supply due to the existing overall volume of water pumped by Cal Water to serve their overall system. The 2020 available excess source capacity for groundwater basins underlying Cal Water's Salinas District was 7,102 AF, while projected excess capacity ranged from 3,727 AF per year to 6,950 AF per year between 2021 and 2045. The water demand for the Project (23 AF) would be accommodated by existing supplies as forecasted in the UWMP. Moreover, Cal Water has issued a "will serve" letter indicating that they have available water supply to serve the Project.

- d) Cal Water has the technical, managerial, and financial capability to provide water to the subject site consistent with 2010 General Plan Policy PS-3.2(c) and has a proven record and has demonstrated its technical, managerial and financial capabilities to deliver water.
- e) 2010 General Plan Policy PS-3.2(d) requires consideration to the rights to water from the source. In this case, Cal Water's UWMP provides detailed information on the Salinas District's historical and projected water demands, water supplies, supply reliability and vulnerabilities, water shortage contingency planning, and demand management programs, including water conservation planning. The Draft IS/MND sufficiently analyzed water supply availability and reliability. As stated above, Cal Water projected that its groundwater supply will fully meet future demands through 2040 under all hydrologic conditions.
- f) 2010 General Plan Policy PS-3.2(e) and (g) state:
 - e. Cumulative impacts of existing and projected future demand for water from the source, and the ability to reverse trends contributing to an overdraft condition or otherwise affecting supply; and to those resources and species.*
 - g. Completion and operation of new projects, or implementation of best practices, to renew or sustain aquifer or basin functions.*

Although the Salinas Valley Groundwater Basin is currently in overdraft, actions taken by both Cal Water and Monterey County Water Resources Agency (MCWRA), including conservation, system improvements, and future projects are projected to continue to provide for a reliable water supply. Relevant efforts include the Salinas Valley Water Project, Conservation Master Plan, and Greater Monterey County Integrated Regional Water Management Program.
- g) Substantial evidence related to proof of sustainable water to support the Project, including the prepared Hydrogeological Report (LIB230238), Cal Water's can-and-will-serve-letter, and the analysis and references in the Draft IS/MND, including Section 10.0 (*Hydrology and Water Quality*), were reviewed and approved MCWRA and EHB.

- h) The Proposed Project is new development within benefit assessment Zone 2C of MCWRA. The Project will have a reduced water demand when compared to the past 20 years.
- i) The project planner conducted a site inspection on September 9, 2023 to verify that the Project would not conflict with zoning or building ordinances.
- j) The application, plans and supporting materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180441.

7. **FINDING:** **VARIANCE (HEIGHT)** - The Project meets the findings for a Variance as required by Title 21 section 21.72 (Variances). Pursuant to Section 21.18.010 of the Light Commercial (LC) zoning district, the purpose of this Chapter is to provide a zoning district to accommodate and maintain a broad range of light commercial uses suitable for the convenience of nearby residential areas. The Planning Commission finds that a Variance can be supported for Parcel 7, and the necessary findings made based on the following:

- EVIDENCE:**
- a) In September 2004, construction of the Sala Road Interchange and southbound Highway 101 Overcrossing at Russell Road and Espinosa Road in north Salinas was completed by California Department of Transportation (Caltrans). The work was done to ensure safer travel along Highway 101 between Sala Road and Boronda Road in north Salinas. Part of that construction involved an off-ramp from Highway 101 adjacent to the subject site. With the elevated construction of this off-ramp, the subject property is not visible when traveling northbound. According to Caltrans data, the clearance for the bridge connecting to the adjacent off ramp is at 19 feet and 9 inches and the roof of the bridge is at 23 feet and 5 inches. Vegetation along the bridge and off ramp intersection increases the height to approximately 25.5 feet.
 - b) To determine most appropriate siting and height of the site, the Applicant conducted various visibility tests using a boom crane to elevate a 12-foot by 8-foot wood placard above the ground to identify the height at which the lowest tenant sign could be visible in both direction on Highway 101. The results concluded that for adequate visibility the bottom of the lowest tenant sign on the proposed pylon sign would need to be at least 37 feet above average natural grade due to elevation changes and intervening development (Highway 101/Sala Road interchange). The allowable height for main structures within the LC zoning district is 35 feet.
 - c) Special circumstances are applicable to this property due to the substantial change in grades introduced by the highway improvements. Strict application of the LC zoning district's main height limitations would significantly limit all visibility of any structure or sign when traveling northbound along Highway 101, as well as restrict the size of the hotel. To assure adequate visibility from the highway and accommodate the minimum number of rooms and associated support uses, a typical highway-oriented hotel is four to five stories high. This is equivalent to a height of 40-45 feet. There are no highway-oriented hotels along the Highway 101

corridor within County of Monterey jurisdictional boundaries. All highway-oriented hotels along Highway 101 are located within incorporated jurisdictions (i.e. City of Salinas, City of Greenfield, and City of Soledad). At 95 rooms and 45 feet tall, the proposed hotel will be comparable to other Highway 101 oriented hotels in the City of Salinas, which establishes a height limit of 50 feet for hotels. Although the LC zoning district contemplates and allows for hotels, subject to appropriate discretionary review and approval, there are no other LC zoned properties along Highway 101 which are both within County of Monterey jurisdiction as well as being within a local City's sphere of influence or economic development plan (Area K). Although the subject property is not currently immediately adjacent to the existing urban edge of the city, it is expected to be annexed to the City in the foreseeable future. This is evident by the city's request that the Applicant enter into a pre-annexation agreement.

- d) This circumstance does not constitute a grant of special privilege. To staff's knowledge, there are no highway oriented commercial properties with existing or proposed highway serving uses that are as visibly constrained as the subject property. There are a very limited number of properties of notable size within the County of Monterey that are zoned to allow commercial center development at interchanges on Highway 101. Exceptions are properties located in the Prunedale area at the State Route 156/Highway 101 and the San Miguel Canyon Road/Highway 101 interchanges, a property in Soledad at the Highway 101/Front Street interchange, and a property in Gonzales at the U.S. Highway 101/Gloria Road interchange. The Prunedale shopping center properties adjacent Highway 101 are developed with retail and other commercial uses. These properties are elevated above Highway 101 and the nearby interchanges to not interfere with sign visibility, thus have greater visibility than the subject property. The properties along Highway 101 and near Soledad and Gonzales are in locations adjacent to agricultural land, where exceeding the allowable height for structures would likely not be necessary, as views to these sites are largely, if not completely, unobstructed.
- e) The Variance would not grant a use not authorized within the Light Commercial zoning designation since Commercial zoning districts in Monterey County allow for the establishment of hotels.
- f) The granting of this Variance to increase the allowable height is limited to Parcel 7, which contains the proposed hotel. Should design changes result in relocating the hotel, an Amendment to this permit would be required (see Condition No. 17).

8. **FINDING:** **VARIANCE (SIGN HEIGHT)** - The Project meets the findings for a Variance as required by Title 21 section 21.72 (Variances). Pursuant to Section 21.18.010 of the Light Commercial (LC) zoning district, the purpose of this Chapter is to provide a zoning district to accommodate and maintain a broad range of light commercial uses suitable for the convenience of nearby residential areas. The

- Planning Commission finds that a Variance can be supported, and the necessary findings made based on the following:
- EVIDENCE:**
- a) See preceding Finding No. 7, Evidence “a”.
 - b) The economic viability of highway-oriented commercial uses, and the associated sales tax, is highly correlated with the extent to which highway travelers can identify the services provided and exit the highway in a safe timely manner.
 - c) To determine most appropriate siting and height of the site, the Applicant conducted various visibility tests using a boom crane to elevate a 12-foot by 8-foot wood placard above the ground to identify the height at which the lowest tenant sign could be visible in both direction on Highway 101. The results concluded that for adequate visibility the bottom of the lowest tenant sign on the proposed pylon sign would need to be at least 37 feet above average natural grade. The tenant advertisement area is approximately 20 feet tall (four rows of 3.5-foot-tall tenant signs with 6 inches of spacing in between). Accordingly, the Project includes a 57-foot-tall pylon sign.
 - d) Special circumstances are applicable to this property due to the substantial change in grades introduced by the highway improvements that significantly limit the visibility of any signage from Highway 101 which would meet the height limits for this site. In the southbound direction along Highway 101, the proposed sign would be entirely visible for approximately 0.8 miles. Due to the interchange height (25.5 feet with vegetation), the 57-foot-tall sign will now appear to be approximately 32 feet tall when travelling northbound on Highway 101. When approaching the Sala Road northbound exist, the proposed sign would be generally subordinate to the surrounding area as the area is visually “busy” with the various Highway 101 directional signage, a Caltrans message boards and other traffic related signs, Salinas Self-Storage sign, and views of the surrounding mountain ranges and low lying residential and commercial development. In the southbound direction, with a placard bottom height of 37 feet (top height of 45 feet), the entire placard is blocked by an intervening soundwall and neighboring trees until about 50 yards prior to the Sala Road offramp exit or when traveling adjacent to the Project site. At the proposed height (57 feet), the Applicant found that the sign height would not be sufficient to safely capture a significant percentage of the southbound traffic via the Sala Road exit; however, the Applicant found that the northbound visibility was still sufficient.
 - e) This circumstance does not constitute a grant of special privilege inconsistent with other properties in the vicinity and zoning area since nearby businesses’ commercials signs were also affected by the elevation change of Highway 101. The Salinas Self-Storage Center (commercial business adjacent to the subject property) was allowed construction of 50-foot commercial sign through the granted of a Use Permit and Variance (PLN190348, Zoning Administrator Resolution No. 21-001). Special circumstances noted in Resolution No. 21-001 included that Highway 101 interchange

significantly limited visibility of the Salinas Self-Storage sign when travelling southbound on Highway 101.

- f) The Variance would not grant a use not authorized within the Light Commercial zoning designation since Commercial zoning districts in Monterey County allow for advertisement of businesses.

9. **FINDING:** **VARIANCE (SIGN SIZE)** - The Project meets the findings for a Variance as required by Title 21 section 21.72 (Variances). Pursuant to Section 21.18.010 of the Light Commercial (LC) zoning district, the purpose of this Chapter is to provide a zoning district to accommodate and maintain a broad range of light commercial uses suitable for the convenience of nearby residential areas. The Planning Commission finds that a Variance can be supported, and the necessary findings made based on the following:

- EVIDENCE:**
- a) See preceding Finding No. 8, Evidence “b”.
 - b) Special circumstances are applicable to this property. There are no known vacant sites in Monterey County at U.S. Highway 101 interchanges that are designated for commercial development and are of sufficient size to accommodate a highway-serving commercial center with multiple tenants. Title 21 section 21.60.090 limits all signs within the commercial and industrial zoning district to no more than 300 feet. Further, Title 21 section 21.60.090(C)(2) requires the granting of a Use Permit for any commercial or industrial sign that exceeds, in the aggregate, a total of 75 square feet. As such, the 75 square foot limitation is applied to tenant sign of the proposed pylon sign. Title 21 section 21.60.100 regulations apply to those properties adjacent to any state highway or freeway that approaches, passes through, or goes near a city or community. Community entrance signs are allowed to be no greater than 400 square feet. Although the subject property is zoned light commercial, it is also a highway-oriented property near the entrance of the City of Salinas. Therefore, due to the location of the proposed sign being adjacent to a state highway that approaches, passes through, or goes near a city, the HCD-Director interpreted the 400 square foot limitation of Title 21 section 21.60.100(A) to apply to the proposed pylon sign. The proposed sign includes four major tenants and four minor tenants, with individual sign faces of 70 square feet and 12 square feet, respectively, for a total of 384 square feet per overall sign face, or 768 total square feet of sign face area (front and back). Total sign face area exceeds limitation of 400 square feet of total sign face by 368 square feet. Although the Project contemplates 16 tenants, only four major tenants and four minor tenants will be advertised on the proposed pylon sign. Monterey County Code Chapter 21.60 (Regulations for Signs) do not contemplate free-standing pylon signage needs that are common for advertising the presence of multiple tenants within a single commercial center. Rather, Chapter 21.60 only establishes regulations oriented to signage needs of individual businesses with single signs, single community entrance signs, real estate signs, temporary (construction) signs, or clustered residential signs. The Project requires multiple signs faces of sufficient size for multiple

tenants (e.g., major and minor tenants) that are visible at distances before the Sala Road/Highway 101 offramps to enable travelers sufficient time to safely exit the highway and access the commercial center. The Applicant has demonstrated that 37 feet is the minimum visible sign (and building) height. However, a 20-foot-tall sign is required to adequately advertise eight tenants (8 of 16). Thus, the Project includes a 57-foot-tall pylon sign. See preceding Finding No. 8, Evidence “c” and “d”. Therefore, the substantial change in grades introduced by the highway improvements significantly limit the visibility of any signage from Highway 101 that would meet the height limits for this site.

- c) This circumstance does not constitute a grant of special privilege inconsistent with other properties in the vicinity and zoning area. The northbound exit at Sala Road is located approximately 0.30 miles north of the proposed sign location. The southbound exit at Sala Road is located approximately 0.05 miles south of the proposed sign location. For drivers to see the signage in sufficient time to make a decision to exit, the signage should be visible for a minimum of up to .25 miles before the offramp, or a minimum of about .55 miles from the subject property itself. Signage must be of sufficient size at this distance for travelers to identify the commercial center tenants. Although no appropriate sign height or size would allow the sign to be visible for southbound travelers, the proposed height and size will be adequate for northbound travelers.
- d) The Variance would not grant a use not authorized within the Light Commercial zoning designation since Commercial zoning districts in Monterey County allow for advertisement of businesses.

10. **FINDING:** **SUBDIVISION** – Section 66474 of the California Government Code (Subdivision Map Act) and Title 19 (Subdivision Ordinance) of the Monterey County Code (MCC) requires that a request for subdivision be denied if any of the following findings are made:

- 1. That the proposed map is not consistent with the applicable general plan and specific plans.
- 2. That the design or improvement of the proposed subdivision is not consistent with the applicable general plan and specific plans.
- 3. That the site is not physically suitable for the type of development.
- 4. That the site is not physically suitable for the proposed density of development.
- 5. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- 6. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- 7. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

EVIDENCE: a) Consistency. The Project as designed and conditioned is consistent with the 2010 Monterey County General Plan and Greater Salinas Area Plan (see Finding No. 1 and supporting evidence).

- b) Design. The lot design is consistent with the Lot Design Standards of Title 19 section 19.10.030. The proposed lots exceed 60 feet in width and 85 feet in depth, are parallel to the adjacent streets (Sala Road and Harrison Road), and will not impact any riparian corridor.
- c) Site Suitability. The site is suitable for the Project including the type and density of the development (see Finding No. 2 and supporting evidence).
- d) Environment. The subdivision design and improvements will not cause environmental damage to fish or wildlife habitat (see Finding 2, Evidence “c” and Finding No. 5 and supporting evidence).
- e) Health and Safety. The Project as designed and conditioned will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County (see Finding No. 3).
- f) Water Supply. Title 19 section 19.10.070 requires provision shall be made for domestic water supply as may be necessary to protect public health, safety, or welfare, and that the source of supply is adequate and potable. Title 19 sections 19.03.015.L require Water Supply and Nitrate Loading Information in order to assess these conditions and proof that there is a long-term water supply with the Project. The Project site has had an average on-site water usage of 24.42 acre feet (“AF”) per year based on the 20-year baseline period spanning 2000-2019. The Project will have a water demand of 23 AF per year. As a result, the Project would result in a 1.42 AF reduction of water use compared to historical demand. California Water Service Company (Cal Water) will provide water supply to the Project. Cal Water has provided a “can-and-will serve-letter” that confirms they will supply water to the subject property and proposed development. See Finding No. 2, Evidence “f” and “g”, and Finding No. 6 and supporting evidence.
- g) Sewage Disposal Title 19 sections 19.03.015.K requires issuance of a “can-and-will serve-letter” if the proposed subdivision will receive sewage disposal from a public or private entity. The City of Salinas and Monterey One Water will provide sewer service and appropriate documentation has been provided to the Environmental Health Bureau (see Finding 3, Evidence “b”).
- h) Easements. The subdivision or the type of improvements will not conflict with easements as no easements are currently conveyed over the property.
- i) Traffic. With implementation of the proposed mitigation improvements (TI-1), Harrison and Sala Road would operate at an LOS of C or better under existing plus project and cumulative plus project conditions. Harrison Road and the main access (south driveway) will operate at an LOS of B or better under existing plus project and LOS C or better under cumulative plus project conditions. See Finding No. 1, Evidence “o” and “p”.
- j) Affordable Housing. The Project does not create four or more residential units and therefore is not required to meet the County’s Inclusionary Housing Ordinance #04185 (Monterey County Code Chapter 18.40).

- k) Parks and Recreation. The Project does not include a residential subdivision and therefore compliance with Section 19.12.010 of Title 19/Quimby Act is not required.
- l) The project planner conducted a site inspection on September 9, 2023 to verify that the Project would not conflict with zoning or building ordinances.
- m) The application, plans and supporting materials submitted by the Project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN180441.

11. FINDING: DEVELOPMENT EVALUATION SYSTEM /MONTEREY COUNTY 2010 GENERAL PLAN POLICY LU-1.19 – The Project, as proposed and conditioned, is consistent with Policy LU-1.19 of the 2010 General Plan.

- a) The Project is outside of a Community Area, Rural Center or official Affordable Housing Overlay and is thus subject to Policy LU-1.19. While the Project is being considered in advance of adoption of the Development Evaluation System (DES), the County applies the criteria in Policy LU-1.19 to projects as applicable, pending adoption of the Development Evaluation System. Based on the specific facts associated with this application, it is determined that the Project meets the evaluation criteria set forth in Policy LU-1.19 and would pass the DES. Policy LU-1.19 states:

“Community Areas, Rural Centers and Affordable Housing Overlay districts are the top priority for development in the unincorporated areas of the County. Outside of those areas, a Development Evaluation System shall be established to provide a systematic, consistent, predictable, and quantitative method for decision-makers to evaluate developments of five or more lots or units and developments of equivalent or greater traffic, water, or wastewater intensity. The system shall be a pass-fail system and shall include a mechanism to quantitatively evaluate development in light of the policies of the General Plan and the implementing regulations, resources and infrastructure, and the overall quality of the development. Evaluation criteria shall include but are not limited to:

- a Site Suitability*
- b Infrastructure*
- c Resource Management*
- d Proximity to a City, Community Area, or Rural Center*
Mix/Balance of uses including Affordable Housing consistent with the County Affordable/Workforce Housing Incentive Program adopted pursuant to the Monterey County Housing Element
- e Environmental Impacts and Potential Mitigation*
- f Proximity to multiple modes of transportation*
- g Jobs-Housing balance within the community and between the community and surrounding areas*
- h Minimum passing score...”*

Policy LU-1.19 seeks to direct development to locations designated for development (Community Areas, Rural Centers and Affordable Housing Overlay districts). The subject parcel is designated for Light Commercial development and the site is suitable for the Project as the LC zoning district allows for the establishment of various commercial uses that serve the neighboring community, including highway serving uses, subject to the granting of a Use Permit. As noted in Finding No. 1, Evidence “b” above, the development on the site is consistent with the land use and zoning.

- b) Infrastructure exists to the Project site in the adjacent roadways and has the capacity to support the level of development proposed. The Project includes off-site roadway improvements. The Project will not encourage growth on parcels currently lacking utility connections.
- c) The site is not located in a Community area, Rural Center, or City; however, it is located within Area K of the City of Salina’s Economic Development Element and thus is anticipated to be annexed into the City boundaries and developed with various compatible commercial uses.
- d) Public services that will be needed by residents of the Project are sufficient and located adequately. The Project is expected to have less than significant impacts on public services such as police, fire, library, and medical services due to the nature of the project, and the existing services available within a serviceable distance.

12. **FINDING:** **APPEALABILITY** - The decision on this Project may be appealed to the Board of Supervisors.
- EVIDENCE:** Pursuant to Title 21 section, the Board of Supervisors is the Appeal Authority to consider appeals from the discretionary decisions of the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Planning Commission does hereby:

- 1) Adopt a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approve a Combined Development Permit consisting of:
 - a. Standard Subdivision and Vesting Tentative Map to divide a 17.92 acre Light Commercial (LC) zoned parcel into ten LC zoned parcels;
 - b. a General Development Plan and Use Permit to allow a total of 98,926 square feet of mixed commercial space including four retail buildings, four quick serve restaurants, a fueling station, and a motel;
 - c. a Use Permit to allow construction of a pylon sign;
 - d. a Variance to increase the allowable height of main structures on Parcel 7 from 35 feet to 45 feet;
 - e. a Variance to increase the allowable pylon sign height from 35 feet to 57 feet; and
 - f. a Variance to increase the allowable pylon sign dimensions to 768 square feet.
- 3) Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

PASSED AND ADOPTED upon motion of Commissioner Mendoza, seconded by Commissioner Roberts, and carried this 8th day of November, 2023, by the following vote:

AYES: Gonzalez, Diehl, Roberts, Monsalve, Getzelman, Mendoza, Work

NOES: Shaw

ABSENT: Gomez, Daniels

ABSTAIN: None

DocuSigned by:
Melanie S. Beretti

Melanie Beretti, AICP, Planning Commission
Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON 11/15/2023 .

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE 11/27/2023 .

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

Revised 10/22/2014

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180441

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Combined Development Permit consisting of 1) Standard Subdivision and Vesting Tentative Map to divide a 17.92 acre Light Commercial (LC) zoned parcel into ten LC zoned parcels; 2) a General Development Plan and Use Permit to allow a total of 98,926 square feet of mixed commercial space including four retail buildings, four quick serve restaurants, a fueling station, and a motel; 3) a Use Permit to allow construction of a pylon sign; 4) a Variance to increase the allowable height of main structures on Parcel 7 to 45 feet; 5) a Variance to increase the allowable pylon sign height to 57 feet; and 6) a Variance to increase the allowable pylon sign dimensions to 768 square feet. The property is located at the intersection of Highway 101, Sala Road & Harrison Road, Salinas [NO ADDRESS ASSIGNED TO PARCEL; OWNER HAS TO CONTACT HCD-ENGINEERING SERVICES) (Assessor's Parcel Number 113-091-017-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 23-039) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 113-091-017-000 on November 8, 2023. The permit was granted subject to 36 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD- Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring The Owner/Applicant shall adhere to this condition on an on-going basis.

Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044-CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) and Traffic Control Plan (TCP) TO County HCD - Engineering Services and Public Works review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit, Owner/Applicant/Contractor shall prepare a CMP and Traffic Control Plan and shall submit the CMP and Traffic Control Plan to the County HCD- Engineering Services and Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PW0045-COUNTYWIDE TRAFFIC IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to County HCD-Development Services.

6. PW0043-REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the County HCD-Development Services.

7. PW0007 - PARKING STANDARDS**Responsible Department:** Public Works**Condition/Mitigation Monitoring Measure:** The parking stalls and circulation shall meet County standards, and shall be subject to the approval of HCD-Engineering Services**Compliance or Monitoring Action to be Performed:** Prior to Building/Grading Permits Issuance, the Owner's/Applicant's engineer/architect shall prepare a parking plan and submit plans for review and approval.**8. PW0010 - SEWER CONNECTION****Responsible Department:** Public Works**Condition/Mitigation Monitoring Measure:** Submit utility improvement plans and construct sewer connection(s). The design and construction are subject to review and approval of HCD-Engineering Services and PWF&P. Owner/Applicant shall pay all applicable connection fees. Sewer connection permits are required prior to issuance of Encroachment Permit, and Encroachment Permits are required for all work within the public right-of-way.**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall submit the design for review and approval of the County HCD-Engineering Services and PWF&P; obtain a connection permit from City of Salinas/Monterey One and encroachment permit from the HCD-Engineering Services prior to issuance of building or grading permits; and construct and complete improvements prior to occupancy. Sewer improvements shall be constructed in compliance with approved plans. Applicant is responsible to obtain all permits and environmental clearances, and to pay all applicable fees.**9. PW0011 - SEWER (MONTEREY ONE)****Responsible Department:** Public Works**Condition/Mitigation Monitoring Measure:** Obtain sewer permits from the Monterey One Water and City of Salinas. Pay all applicable fees.**Compliance or Monitoring Action to be Performed:** Prior to Building Permits, Owner/Applicant shall obtain permits from Monterey One Water, City of Salinas and provide proof of payment to HCD-Engineering Services

10. EHSP03 – INSTALL OR BOND WATER SYSTEM IMPROVEMENTS (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Pursuant to Monterey County Code, Chapter 19.13, Improvement Agreements, the owner shall install the water system improvements to and within the subdivision and any appurtenances needed.

OR

The owner shall enter into a Subdivision Improvement Agreement with the County that shall provide security guaranteeing the installation of the water system improvements.

Compliance or Monitoring Action to be Performed: Prior to filing the final map, the applicant shall:
 - Install the water system improvements to and within the subdivision and any appurtenances needed and obtain approval of installation from the State Water Resources Control Board – Division of Drinking Water.

OR

- Execute a Subdivision Improvement Agreement that is acceptable to EHB. Record the Subdivision Improvement Agreement with the final map.

11. EHSP02 - FIRE FLOW STANDARDS (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Design the water system improvements to meet fire flow standards as required and approved by the local fire protection agency.

Compliance or Monitoring Action to be Performed: Prior to recordation of the final map, execution of a Subdivision Improvement Agreement, or issuance of construction permit, the applicant shall submit plans for the proposed water system improvements to the local fire protection agency for review and acceptance.

Submit a set of signed or wet-stamped water system plans approved by the local fire protection agency to EHB for review and acceptance.

12. EHSP01 – DESIGN WATER SYSTEM IMPROVEMENTS (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The water system improvements proposed with this application shall meet the California Waterworks Standards (Title 22 of the California Code of Regulations) and relevant sections of Title 17 of the California Code of Regulations pertaining to cross-connection control.

Compliance or Monitoring Action to be Performed: Prior to recordation of the final map, execution of a Subdivision Improvement Agreement, or issuance of construction permit, the applicant shall submit engineered water system improvement plans to the State Water Resources Control Board – Division of Drinking Water (SWRCB-DDW) and California Water Services (CWS) for review and acceptance. Submit to the EHB a copy of the approved plans and documentation confirming that the plans are acceptable to SWRCB-DDW and CWS.

13. PD005 - FISH & GAME FEE NEG DEC/EIR**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

14. PD050 - RAPTOR/MIGRATORY BIRD NESTING**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

15. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

16. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

17. PDSP001 - NOTE ON FINAL MAP

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A note shall be placed on the final map or a separate sheet to be recorded with the final map stating "The Variance to allow an increased height limit of 45 feet is restricted to Parcel 7, containing the hotel. Should rearrangement result in placement of the hotel to any other parcel than Parcel 7, an Amendment will be required." The note shall be located in a conspicuous location, subject to the approval of the County Surveyor and HCD-Planning (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recordation of final/parcel map, the Owner Applicant shall submit the final map with notes to the HCD - Planning and HCD - Public Works (County Surveyor) for review and approval.

18. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

19. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

20. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

21. MM AQ1 - DUST CONTROL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To reduce the exposure of nearby sensitive receptors to dust emissions from grading and construction activities on the project site, the following language shall be included on all grading and construction plans for the project prior to issuance of grading permits, subject to review and approval by County of Monterey HCD:

Dust control measures shall be employed to reduce visible dust leaving the site. The following measures recommended by the air district, or equally effective substitute measures shall be used:

- a. Use recycled water to add moisture to the areas of disturbed soils twice a day, every day until all grading activities are complete and disturbed soils are revegetated and/or developed, to prevent visible dust from being blown by the wind;
- b. Apply chemical soil stabilizers or dust suppressants on disturbed soils that will not be actively graded for a period of four or more consecutive days;
- c. Apply non-toxic binders and/or hydro seed to disturbed soils where grading is completed, but not on which more than four days will pass prior to paving, foundation construction, or placement of other permanent cover;
- d. Cover or otherwise stabilize stockpiles that will not be actively used for a period of four or more consecutive days, or water at least twice daily as necessary to prevent visible dust leaving the site, using raw or recycled water when feasible;
- e. Maintain at least 2.5 feet of freeboard and cover all trucks hauling dirt, sand, or loose materials;
- f. Install wheel washers at all construction site exit points, and sweep streets if visible soil material is carried onto paved surfaces;
- g. Stop grading and earth moving if winds exceed 15 miles per hour;
- h. Pave roads, driveways, and parking areas at the earliest point feasible within the construction schedule;
- i. Post a publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond and take corrective action within 48 hours of receiving the complaint. The phone number of MBARD shall also be visible to ensure compliance with Rule 402 (Nuisance); and
- j. Limit the area under construction at any one time.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading and/or building permit, the Applicant shall include a note on the construction plans that includes the language contained in Mitigation Measure AQ-1.

The applicant/contractor shall adhere and implement the measures contained in Mitigation Measure AQ-1 until completion of grading and construction of the Project.

Prior to final of any grading and/or building permit, the Applicant shall provide evidence to County of Monterey HCD that Mitigation Measure AQ-1 has been successfully implemented.

22. MM AQ2 - CONSTRUCTION STAGNIG MANAGEMENT PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of any grading and/or building permits, the Applicant shall prepare a Construction Staging Management Plan. The Construction Staging Management Plan shall be provided to Monterey County HCD for review and approval. The plan shall include the following restrictions:

- a. Heavy-duty diesel vehicles shall be required to have 2010 or newer model year engines, in compliance with the California Air Resources Board's Truck and Bus Regulation, and shall not be staged within 500 feet of nearest sensitive receptors; and
- b. Construction equipment and heavy-duty diesel trucks idling shall be avoided, where feasible, and if idling is necessary, it shall not exceed five minutes.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading and/or building permit, the HCD-Planning and Engineering Services shall review and approve the Construction Staging Management Plan to ensure that it contains the restrictions on construction equipment identified in Mitigation Measure AQ-2.

23. MM AQ3 - CONSTRUCTION EQUIPMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of any grading and/or building permits, the Applicant shall provide construction documents to the County of Monterey HCD for review and approval. The following language shall be included in all construction documents: "All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications and shall be checked by a certified visible emissions evaluator. All non-road diesel construction equipment shall, at a minimum, meet Tier 3 emission standards listed in the Code of Federal Regulations Title 40, Part 89, Subpart B, §89.112. Further, where feasible, construction equipment shall include the use of alternative fuels such as compressed natural gas, propane, electricity or biodiesel."

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading and/or building permit, HCD-Planning shall review and approve the construction documents to ensure that they contain the language contained in Mitigation Measure AQ-3.

24. MM BIO1 - BURROWING OWL**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: To avoid/minimize impacts to Burrowing owls potentially occurring onsite or within the Harrison Road widening impact area, the Applicant shall retain a qualified biologist to conduct a two-visit (i.e., morning and evening) presence/absence survey at areas of suitable habitat in these areas no less than 14 days prior to the start of construction or ground disturbance activities. The Applicant shall initiate consultation with the California Department of Fish and Wildlife if these pre-construction surveys locate occupied burrows in or near construction areas. If Burrowing owls are found present, the Applicant will work with the California Department of Fish and Wildlife to interpret survey results and develop a project-specific avoidance and minimization approach.

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and/or building permits, the Applicant shall retain a qualified biologist to provide a report documenting survey results shall be submitted to the HCD-Planning for review and approval. If the survey results are negative, construction may proceed without consultation with the California Department of Fish and Wildlife. If the survey results are positive, construction may not proceed until consultation with the California Department of Fish and Wildlife has occurred.

25. MM BIO2 - WETLAND MITIGATION PLAN**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: Prior to any additional grading, filling, or rerouting of the existing drainage channel, a Clean Water Act Section 404 Nationwide Permit (NWP) 39 from the U.S. Army Corps of Engineers ("USACE") shall be obtained. As part of the application for the NWP 39 Permit, a wetland mitigation plan for rerouting the drainage channel through the property as mitigation for impacts to the on-site wetland is required for review and approval by the USACE. A Water Quality Certification (per Section 401 of the Clean Water Act) from the Central Coast Regional Water Quality Control Board ("RWQCB") shall also be obtained.

Compliance or Monitoring Action to be Performed: Prior to issuance of grading permits, HCD-Planning shall be provided with copies of the NWP 39 Permit from USACE and a Water Quality Certification from the Central Coast RWQCB.

26. MM GHG1 - GHG EMISSIONS REDUCTION
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Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To ensure the Proposed Project's GHG emissions are below the threshold of significance of 3.82 MT CO₂e per year per service population, a minimum reduction of 4,614.48 MT CO₂e per year (or 20.88 MT CO₂e per year per service population) shall be achieved through implementing one or more of the following approaches:

- A. Include additional on-site GHG emissions reduction measures;
- B. Participate in one or more off-site GHG reduction program(s); and/or
- C. Purchase carbon off-sets.

If additional on-site GHG emissions reduction measures are utilized, the Applicant shall prepare a GHG Reduction Plan. The GHG Reduction Plan shall identify the proposed additional GHG reduction measures, GHG emissions reductions volumes associated with each, and evidence to support the level of reduction calculated for each. The GHG Reduction Plan shall be subject to review and approval of the County of Monterey Housing and Community Development Department prior to approval of any grading and/or building permits.

If the Applicant chooses to participate in an off-site GHG reduction project or program, evidence of such participation shall be provided to the County of Monterey Housing and Community Development Department by the agency/interest that is implementing the project or program. Evidence shall describe how the Applicant is participating, the expected GHG reduction volume that can be assigned to the project as a result of the Applicant's participation, and verification that the Applicant has met participation requirements. The evidence shall be subject to review and approval of Monterey County Housing and Community Development Department prior to issuance of any grading and/or building permits.

If the Applicant chooses to purchase carbon off-sets to secure all or the balance of GHG emission reductions not achieved through onsite measures or participation in off-site reduction programs, the Applicant shall provide evidence to the Monterey County Housing and Community Development Department that a contract for such purchase has been executed through a credible carbon off-set registry such as the Climate Action Reserve, a certified carbon off-set Applicant, or a broker. The evidence shall be subject to review and approval of the Monterey County Housing and Community Development Department prior to issuance of a grading and/or building permit.

If participating in one or more off-site GHG reduction programs the Applicant shall procure evidence of participation issued by the agency/interest overseeing the program. The Applicant shall provide this evidence to HCD-Planning for review and approval prior to issuance of any grading and/or building permits.

Compliance or Monitoring Action to be Performed: If additional on-site GHG reduction measures are proposed the Applicant shall provide a GHG Reduction Plan to HCD-Planning for review and approval, prior to issuance of any grading and/or building permits.

If the Applicant chooses to participate in an off-site GHG reduction project or program, the Applicant shall provide evidence of these actions to HCD-Planning for review and approval prior to issuance of any grading and/or building permits.

If the Applicant chooses to purchase carbon off-sets, the Applicant shall provide evidence of these actions to HCD-Planning for review and approval prior to issuance of any grading and/or building permits.

27. MM N1 - CONSTRUCTION RELATED NOISE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Applicant shall implement the following measures to limit construction-related noise:

- a. Limit noise-generating construction operations to non-holidays, Monday through Saturday, between the least noise-sensitive periods of the day (i.e. 7:00 am to 7:00 pm);
- b. Locate construction equipment and equipment staging areas at the furthest distance possible from nearby noise-sensitive land uses (i.e. residential uses to the northwest);
- c. Ensure that construction equipment is properly maintained and in good condition. All internal combustion engine driven machinery shall use intake and exhaust mufflers and engine shrouds, as applicable. Equipment engine shrouds shall be closed during equipment operation. Whenever feasible, electrical power shall be used to run air compressors and similar power tools rather than diesel equipment. The Applicant shall require all contractors, as a condition of contract, to maintain and tune-up all construction equipment to minimize noise emissions;
- d. Construction vehicles and equipment shall not be left idling for longer than five minutes when not in use; and
- e. Install temporary noise barriers when activities would affect daytime noise-sensitive receptors (i.e. residential uses to the northwest).

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading and/or building permits from Monterey County HCD, the Applicant shall provide copies of all contractor work documents, including all plan sheets, containing the conditions identified in Mitigation Measure N-1 to HCD-Planning for review and approval.

28. MM N2 - TRACTOR SUPPLY CO. LOADING DOCK HOURS**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: Loading dock activities at the Tractor Supply Company store shall be limited to daytime hours of 7:00 am to 10:00 pm. This requirement shall be included in any lease or sale agreement with the Tractor Supply Company with evidence of this agreement provided to the County of Monterey HCD prior to approval of an occupancy permit.

Compliance or Monitoring Action to be Performed: Prior to issuance of any occupancy permit for the Tractor Supply Company, the Applicant shall submit copies of the lease or sale agreements with the Tractor Supply Company that contain the restriction on loading dock activities identified in Mitigation Measure N-2 to HCD-Planning for review and approval.

On and ongoing basis, loading dock activities at the Tractor Supply Company store shall be limited to daytime hours of 7:00 am to 10:00 pm.

29. MM N3 - TRACTOR SUPPLY CO. DELIVERY HOURS**Responsible Department:** Planning

Condition/Mitigation Monitoring Measure: Truck deliveries to the Tractor Supply Company shall be limited to daytime hours of 7:00 am to 10:00 pm. This requirement shall be included in any lease or sale agreement with the Tractor Supply Company with evidence of this agreement provided to the HCD-Planning prior to approval of an occupancy permit.

Compliance or Monitoring Action to be Performed: Prior to issuance of any occupancy permits for the Tractor Supply company, the Applicant shall submit copies of the lease or sale agreements with the Tractor Supply Company that contain the restriction on truck deliveries identified in Mitigation Measure N-3 to Monterey County HCD for review and approval.

On and ongoing basis, truck deliveries to the Tractor Supply Company shall be limited to daytime hours of 7:00 am to 10:00 pm.

30. MMT1-TRAFFIC IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant/Owner shall install and construct following measures to ensure compliance with the County's level of service standards.

- 1. Implement the following at the US 101 Northbound Ramps / Sala Road intersection:
1) Signalize intersection (Modify existing all way stop-controlled intersection), 2) Add a special (overlap) signal phase that combines the northbound US 101 Northbound Ramps right turn and westbound Sala Road through movements,
- 2. Implement the following at the Harrison Road / Sala Road intersection: 1) Restripe existing striped median to add second eastbound Sala Road left turn lane, 2) Widen northbound Harrison Road north of Sala Road to accommodate second receiving lane (from second eastbound left turn lane), 3) Add southbound Harrison Road right turn overlap signal phase, 4) Add second southbound Sala Road through lane, 5) Add second southbound Harrison Road right turn lane.
- 3. Implement the following at the Harrison Road / Project Driveway (South) intersection: 1) Signalize intersection, 2) Add two northbound Harrison Road left turn lanes, 3) Add a southbound Harrison Road right turn lane, 4) Provide separate Project driveway eastbound left and right turn lanes, 5) Provide two westbound Project driveway entry lanes, 6) Add an eastbound Project Driveway (South) right turn overlap signal phase.
- 4. Widen Harrison Road to include four through lanes (two northbound and southbound through lanes) along the Project frontage between the Project South Driveway and Sala Road.
- 5. Implement the following at Harrison Road/Project Driveway (North) intersection: 1) Add a northbound Harrison Road left turn lane, 2) Provide a combined eastbound left/right turn exit land and single entrance lane.

Compliance or Monitoring Action to be Performed: Prior to Final Map recordation, the Applicant shall enter into a Subdivision Improvement Agreement and provide to HCD-Planning, Engineering Services, and the County Survey for review and approval a Subdivision Improvements Plan illustrating the required traffic improvements.

31. PWSP001 - ENCROACHMENT PERMIT

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct curb, gutter, driveway connections, sidewalk, and road widening, together with required drainage facilities, along the frontage of Harrison and Sala Road. The required improvements shall be designed in general conformance to Exhibit 21 of "The Sobel Company Commercial Development Traffic Impact Analysis" dated April 9, 2019. The design and construction is subject to the review and approval of HCD and PWF&P. Construction of the traffic signal at the at the US 101 Northbound Ramps / Sala Road intersection, is subject to review and approval of Caltrans. Signalization of intersection US 101 Northbound Ramps/ Sala Road shall be completed prior to issuance of building permits associated with Phase II improvements (quick serve restaurants, Parcel 3 and 6), subject to Caltrans review and approval. Encroachment Permits are required for all work within the public right-of-way. The Applicant/Owner is responsible for obtaining an encroachment permit from Caltrans. HCD and PWF&P shall be notified with a copy of the issued Caltrans encroachment permit.

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the Owner/Applicant shall submit the final design of the required traffic improvements for review and approval of the PWFP, obtain an encroachment permit from the HCD-Engineering Services, construct and complete improvement. Applicant is responsible to obtain all permits and environmental clearances including Caltrans encroachment permits.

Prior to issuance of building permits associated with Phase II improvements (quick serve restaurants; Parcels 3 and 6) and subject to Caltrans review and approval, the Applicant/Owner shall obtain and submit a copy of the issued Caltrans Encroachment Permit and complete the traffic improvements at the US 101 Northbound Ramps / Sala Road intersection: 1) Signalize intersection (Modify existing all way stop-controlled intersection), and 2) Add a special (overlap) signal phase that combines the northbound US 101 Northbound Ramps right turn and westbound Sala Road through movements.

32. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: CALIFORNIA CONSTRUCTION GENERAL PERMIT
The proposed project would disturb greater than one or more acres of soil, and therefore, is required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity Construction General Permit Order 2009-0009-DWQ. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation, but does not include regular maintenance activities performed to restore the original line, grade, or capacity of the facility.

If the project is exempt from obtaining coverage under the California Construction General Permit, the applicant shall provide a letter of exemption or erosivity waiver, with a valid waiver identification number, from the Central Coast Regional Water Quality Control Board to HCD-Environmental Services for review and approval.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

33. OPERATION AND MAINTENANCE AGREEMENT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to HCD-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to HCD-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to HCD-Environmental Services.

A copy of the standard Agreement can be obtained at HCD – Environmental Services.

34. OPERATION AND MAINTENANCE PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Operation and Maintenance Plan prepared by a registered Professional Engineer that includes, at a minimum, the following:

- A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices.

The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HCD-Environmental Services for review and approval.

35. STORMWATER CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Plan and Stormwater Control Report prepared by a registered professional engineer, to HCD-Environmental Services for review and approval. The plan and report shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include retention/detention facilities designed to limit post-development runoff rates to pre-development rates for the 2, 5, 10, 25, 50, and 100-year 24-hour design storms. The plan shall include the location of the drainage facilities, construction details and construction inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with their geotechnical recommendations.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan to HCD-Environmental Services for review and approval.

Prior to issuance of any grading or construction permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the stormwater control plan for conformance with their geotechnical recommendations.

36. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

General Development Plan

Sala Road Project

October 23, 2023

Prepared by
EMC Planning Group

GENERAL DEVELOPMENT PLAN

SALA ROAD PROJECT

PREPARED FOR

Monterey County Resource Management Agency

Cheryl Ku, Senior Planner

1441 Schilling Place, 2nd Floor

Salinas, CA 93901

Tel 831.796.6049

PREPARED BY

EMC Planning Group Inc.

301 Lighthouse Avenue, Suite C

Monterey, CA 93940

Tel 831.649.1799

Fax 831.649.8399

Ron Sissem, Senior Principal

sissem@emcplanning.com

www.emcplanning.com

October 23, 2023

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Summary

The Sala Road Project General Development Plan (GDP) area is located at the northwest corner of the Sala Road/Harrison Drive intersection approximately 0.70 miles north of the City of Salinas. The area is within the County of Monterey *Greater Salinas Area Plan*. The 17.93-acre property is currently vacant and fallow. A drainage channel bisects the property from east to west. The property is bordered by Harrison Road to the east, a Caltrans detention pond and Sala Road to the south, a Caltrans detention pond and U.S. Highway 101 to the west, existing residential uses to the northwest, and a vacant parcel to the north, which has been used as a Caltrans staging area for construction equipment and construction materials.

This GDP calls for the property to be developed with commercial development consistent with *2010 Monterey County General Plan* Commercial land use designation and Light Commercial zoning standards that apply to it.

The purpose of this GDP is to provide guidance for developing an integrated mix of commercial uses designed to meet demand for retail and highway-oriented commercial uses that serve the high volume of pass-by traffic on U.S. Highway 101.

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1.0 Introduction

This section states the purpose of the Sala Road Project General Development Plan (GDP), summarizes the authority for preparing the GDP, and identifies the GDP conformance with applicable County of Monterey (“County”) policies.

1.1 PURPOSE

This GDP has been prepared pursuant to requirements of the County. Its purpose is to address the existing and potential long-range development and operations of the property. This GDP shall govern the future uses, facilities, amenities and operations of the future uses. The *2010 Monterey County General Plan* (general plan) land use designation for the property is “Commercial.” This GDP establishes the allowable commercial uses and commercial development standards for future development.

1.2 AUTHORITY

Section 21.18.030 (A) of the zoning code requires that a GDP be prepared prior to developing a site zoned Light Commercial when the lot is in excess of one acre, or the development includes more than one use, or the development includes any form of subdivision. The plan area is in excess of one acre, includes more than one use, and includes a subdivision.

1.3 CONFORMANCE WITH LOCAL PLANS

The GDP must conform to applicable policies of the general plan and the area plan. An evaluation of GDP consistency with applicable policies of the general plan, the Greater Salinas Area Plan (area plan), which is a component of the general plan, and the County of Monterey Zoning Ordinance (“zoning ordinance” or “code”) has been prepared and is included in the project application submitted to the County. The proposed project has been found to be consistent with general plan and area plan policies, and with applicable development standards in the zoning code.

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2.0 Existing Setting

This section identifies the GDP site location, setting and characteristics.

2.1 LOCATION

The Sala Road General Development Plan Area (“plan area”) is located in unincorporated Monterey County, approximately 0.70 miles north of the City of Salinas (“City”), northwest of the intersection of Sala Road and Harrison Road and adjacent to U.S. Highway 101. The approximately 17.93-acre plan area is identified as Assessor’s parcel number 13-091-017. Regional access is via the U.S. Highway 101 interchange at Sala Road and Harrison Road. Sala Road is a short four-lane roadway connecting Harrison Road to U.S. Highway 101. The plan area location is illustrated in [Figure 2-1, Project Location](#).

2.2 PLAN AREA DESCRIPTION

The plan area is vacant. The property is disturbed from periodic mowing or disking. A drainage channel bisects the property east to west. Elevations range from a low of 118 feet in the western portion to 127 feet in the eastern portion. The plan area was in agricultural use and being cultivated in whole or part until about 2012 (Krazen and Associates 2018; Google Earth 2020). Since 2012, the property has not been used for agricultural purposes. There are no utilities available at the plan area. Plan area conditions are illustrated in [Figure 2-2, Aerial Photograph of Plan Area Boundaries](#) and [Figure 2-3, Plan Area Photographs](#).

The plan area is bordered by Harrison Road to the east, a Caltrans retention pond to the south, a Caltrans retention pond and U.S. Highway 101 to the west, a small residential area to the northwest, and a vacant parcel to the north, a portion of which is used as a Caltrans staging area for highway construction. Other surrounding land uses include active agriculture to the east across Harrison Road, a self-storage (mini-storage) facility to the south on Harrison Road, active agriculture to the west of U.S. Highway 101, and an automotive collision repair shop and a towing facility to the north on Harrison Road. Harrison and Sala Roads are each paved and consist of two lanes. Sala Road has an interchange with U.S. Highway 101 located approximately 550 feet to the west of the plan area. Harrison Road runs along the eastern border of the site and continues south into the City of Salinas.

As shown on [Figure 2-2](#), a Caltrans access easement is located on the northwest corner on the property. Its purpose is to allow Caltrans the right to access U.S. Highway 101 and the lands adjacent to it that are under Caltrans' control. The "relinquishment of abutters rights" shown along the western boundary and southern property boundaries denotes the owner of the project property (and his/her successors) do not have the right to access to the adjacent lands owned by Caltrans.

According to the Federal Emergency Management Agency, the plan area is not within a flood hazard zone (Federal Emergency Management Agency 2020); and therefore, is at low risk for flooding. According to the *Monterey County GIS/Maps* (Monterey County 2020), the plan area is not located within an active or potentially active fault zone. There are no known physical environmental or environmental hazards condition constraints to developing the plan area.

2.3 GENERAL PLAN LAND USE AND ZONING

General Plan Land Use

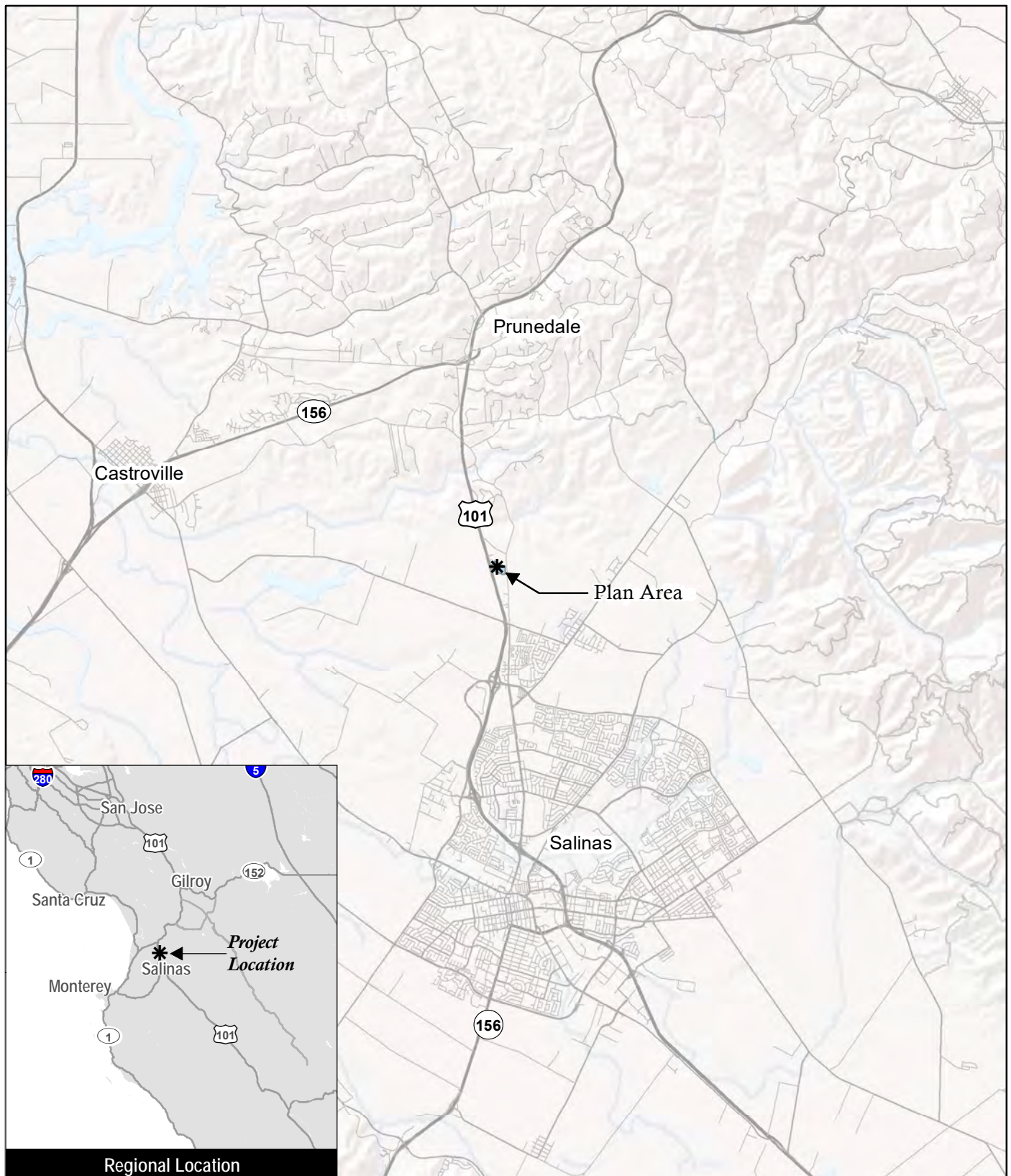
The plan area has a general plan land use designation of Commercial. The general plan establishes goals and policies for commercial development. The general plan also states that sufficient land must be allocated for commercial activities to support and serve the projected population, and must be located in areas that offer convenient access.

According to general plan policy LU-4.1, the County is to designate and establish regulations for three categories of commercial use, one of which is Light Commercial. This use is intended to accommodate a broad range of commercial uses such as stores, shops, restaurants, theaters, service stations and general office uses suitable for the convenience of nearby residential areas. General plan policy LU-4.8 states that "commercial areas shall be designated in locations that offer convenient access."

The project applicant plans provide a range of commercial uses within the plan area. The plan area has convenient access to U.S. Highway 101 via the adjacent U.S. Highway 101/ Sala Road interchange and convenient to local destinations in Salinas via Harrison Road.

Zoning

The plan area is zoned Light Commercial. Areas with this zoning are intended to accommodate and maintain a broad range of light commercial uses suitable for the convenience of nearby residential areas.



Source: ESRI 2014

Figure 2-1
Project Location

Sala Road General Development Plan

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Source: ESRI 2018, Google Earth 2018

Figure 2-2

Aerial Photograph of Plan Area Boundaries

Sala Road General Development Plan

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① View south with Harrison Road at left and Sala Road overpass at right



② Harrison Road facing west across the project site



--- Plan Area
--- Drainage Feature

Source: Google Earth 2018
 Photographs: EMC Planning Group 2020



③ View to northwest from Sala Road/Harrison Road intersection



④ Southbound U.S. 101 facing southeast across the project site

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As identified in section 21.18 of the zoning ordinance, uses allowed in the Light Commercial District with an administrative permit include:

- Appliance store;
- Barber shop;
- Beauty shop;
- Book store;
- Clothing and apparel store;
- Drug store;
- Banks less than five thousand (5,000) square feet;
- Shoe shop;
- Shoe store;
- Art gallery;
- Convenience market;
- Stationery and office supply store;
- Photography studio;
- Florist;
- Gift and card store;
- Office;
- Locksmith, key and lock shop;
- Bicycle shop;
- Hardware store, excluding lumber sales and outside storage of materials;
- Accessory structures and uses appurtenant to any permitted use provided there is not intensification of the permitted use;
- Reduction in setback requirements of ten (10) percent or less of the required setback;
- Small water system facilities including wells and storage tanks for five to fourteen (14) service connections;
- Picture framing business;
- Storage, rental and sale of irrigation equipment;
- Other uses of a similar character, density and intensity to those listed in this Section;
- Pet shop;

2.0 Existing Setting

- Additions to existing, approved wireless communications facilities, pursuant to Section 21.64.310; and
- Cannabis retailer pursuant to Chapter 21.67.

Uses allowed in the Light Commercial District with a use permit include:

- Hotels and motels (Zoning Administrator approval needed);
- Animal hospitals (Zoning Administrator approval needed);
- Parking lots (Zoning Administrator approval needed);
- Auto sales;
- Banks greater than five thousand (5,000) square feet;
- Open air retail and wholesale sales (Zoning Administrator approval needed);
- Mini warehouse storage warehouses;
- Theaters (Zoning Administrator approval needed);
- Restaurants (Zoning Administrator approval needed);
- Service stations (Zoning Administrator approval needed);
- Caretaker unit for the purpose of providing on-site security (Zoning Administrator approval needed);
- All residential uses provided that the gross square footage of the residential use does not exceed the gross square footage of the commercial use (Zoning Administrator approval needed);
- Assemblages of people, such as carnivals, festivals, races and circuses not exceeding ten (10) days and not involving construction of permanent facilities (Zoning Administrator approval needed);
- Public and quasi-public uses including churches, parks, playgrounds, schools, public safety facilities, public utility facilities, but not including uses such as jails, detention facilities, rehabilitation centers, or corporation yards;
- Water system facilities including wells and storage tanks serving fifteen (15) or more service connections (Zoning Administrator approval needed);
- Other uses of a similar character, density and intensity as those listed in this Section;
- Legal nonconforming use of a portion of a structure extended throughout the structure (Zoning Administrator approval needed);
- Legal nonconforming use changed to a use of a similar or more restricted nature;

- Zoos or zoological gardens for the purpose of raising, maintaining, keeping or exhibiting any wild animal;
- Commercial kennel (Zoning Administrator approval needed);
- Any lot or establishment where alcoholic beverages are served, commercial place of amusement or recreation, or any place where live entertainment is provided within two hundred (200) feet of the boundary of a residential district (Zoning Administrator approval needed);
- Ridgeline development;
- Removal of minerals and natural materials for commercial purposes;
- Development in the Carmel Valley Floodplain (Zoning Administrator approval needed);
- Wholesale and retail establishments distributing materials and products essential to agriculture and farming operations, except manure;
- Day care centers (Zoning Administrator approval needed);
- The exploration for and the removal of oil and gas (Zoning Administrator approval needed);
- Auto repair facilities (Zoning Administrator approval needed);
- Storage garage (Zoning Administrator approval needed);
- Funeral homes (Zoning Administrator approval needed);
- Development laboratories;
- Service centers; and
- Wireless communications facilities.

Uses proposed within the plan area are consistent with the uses allowed in the County's Light Commercial zoning district.

Site Development Standards

Site development standards for the Light Commercial district found in County code section 21.18.070 include the following:

- The maximum structure height is thirty-five feet unless superseded by a structure height limit noted on the zoning map;
- Setbacks for developments in the Light Commercial District are established by the approval of the GDP. Building site coverage is a maximum of 50 percent, excluding parking and landscaping;

2.0 Existing Setting

- All parking must be established pursuant to chapter 21.58 of the zoning code;
- All developments must have landscaping covering a minimum of ten percent of the developed site area, and landscaping shall be in place prior to the commencement of use; and
- All external lighting is required to be consistent with the County's *Design Guidelines for Exterior Lighting* (section 21.63.020).

The proposed plan area development standards are consistent with these standards.

General Development Plan Vision and Development Standards

This chapter articulates the land uses envisioned for the plan area, identifies land uses that are and are not allowable, presents plan area development standards, and provides a land use summary.

3.1 VISION

The fact that the plan area is designated commercial and zoned light commercial as shown on [Figure 3-1, General Development Plan Zoning](#), indicates the County's vision that it is an appropriate location for light commercial development.

A broad range of commercial uses would be appropriate. In particular, highway-oriented commercial development, such as service stations, restaurants, and visitor accommodations would be appropriate given the plan area location at the U.S. Highway 101/Sala Road interchange. A variety of retail uses would be appropriate at this location given the ease of access. Commercial development would provide employment opportunities and essential services along a major transportation corridor.

3.2 USES ALLOWED AND USES NOT ALLOWED

All uses identified in zoning code section 21.18 of the zoning ordinance are allowed within the plan area with the exception of those listed below.

Uses Not Allowed

- Auto sales;
- Banks greater than five thousand (5,000) square feet;
- Theaters;
- All residential uses provided that the gross square footage of the residential use does not exceed the gross square footage of the commercial use;

- Assemblages of people, such as carnivals, festivals, races and circuses not exceeding ten days and not involving construction of permanent facilities;
- Public and quasi-public uses including churches, parks, playgrounds, schools, public safety facilities, public utility facilities, but not including uses such as jails, detention facilities, rehabilitation centers, or corporation yards;
- Water system facilities including wells and storage tanks serving fifteen (15) or more service connections;
- Zoos or zoological gardens for the purpose of raising, maintaining, keeping or exhibiting any wild animal;
- Commercial kennel;
- Any place where live entertainment is provided within two hundred feet of the boundary of a residential district;
- Removal of minerals and natural materials for commercial purposes;
- Day care centers;
- The exploration for and the removal of oil and gas; and
- Funeral homes.

3.3 DEVELOPMENT STANDARDS

Development standards for land uses within plan area are presented below. It is the responsibility of the Resources Management Agency to administer and enforce the development standards. Where specific standards are not addressed in this GDP, regulations for the Light Commercial zoning district apply.

Maximum Development Capacity

A maximum of 125,000 square feet of building is allowed within the plan area.

Structure Size and Placement

Lot dimensions, height standards, and landscaping requirements are summarized in [Table 3-1, Lot Dimension, Height Standards, and Landscaping](#). Setback standards are provided in [Table 3-2, Setback Standards](#).



0 1250 feet



Plan Area



Light Commercial Zoning

Source: ESRI 2018, Google Earth 2018

Figure 3-1

General Development Plan Zoning

Sala Road General Development Plan



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Table 3-1 Lot Dimensions, Height Standards, and Landscaping

Standard	Maximum
Lot Coverage ¹	50%
Structure Height	35 feet
Height Accessory Building ²	15 feet
Minimum Landscaping Requirement	10%

SOURCE: EMC Planning Group 2020

NOTE:

1. Excluding parking and landscaping.

2. Accessory structures include, but are not limited to, trash and recycling bin enclosures, utility enclosures or screens, outdoor parking lot event structures, etc.

Table 3-2 Setback Standards

Standard	Minimum
Front Setback	0 feet
Rear Setback	10 feet
Side Setback	5 feet
Side Setback to Internal Streets/Driveways	15 feet
Setback from Harrison Road	20 feet

SOURCE: EMC Planning Group 2020

Parking

Parking shall be provided in accordance with zoning code chapter 21.58, with combined parking reductions allowed as described below.

Combined Parking Reductions

Notwithstanding County code section 21.58.050 (L), parking may be reduced to reflect shared parking between uses and/or parcels with use and implementation of a Reciprocal Easement Agreement or some other similar or appropriate mechanism. A Reciprocal Easement Agreement for reduced parking would require County approval. Reductions of up to 20 percent of the required parking spaces may be allowed as supported by evidence in a shared parking report prepared by a registered traffic engineer. The Reciprocal Easement Agreement or similar mechanism for Parking would allow for one or both of the following:

1. Shared parking between uses on one parcel; and/or
2. Shared parking and access across multiple parcels or lot lines.

Shared parking would allow flexibility to reduce the number of parking spaces to reflect demands that vary by the time of day or day of the week relative to other uses.

Parking standards for the plan area are summarized in [Table 3-3, Parking Standards](#), below.

Table 3-3 Parking Standards

Use	Parking Requirement ¹
Retail (Large Item i.e., Appliance Stores)	1 space/500 square feet
Retail	1 space/250 square feet
Fast-food	1 space/3 seats enclosed plus 3 and Drive-Through spaces/services window and 3 employee spaces
Hotel	1 space/unit plus 2 spaces/3 employees on largest shift plus other applicable requirement (i.e., restaurant, lounge, etc.)
Gas Station	1 space/500 square feet floor area
Other Light Commercial Use	Per County Code

SOURCE: EMC Planning Group 2020

NOTE:

1. Parking requirements may be reduced up to 20 percent to reflect shared parking between uses and/or parcels with a Reciprocal Easement Agreement for Parking.

Lighting

The guidelines for exterior lighting design are in accordance with the County's adopted *Design Guidelines for Exterior Lighting*. The following guidelines apply:

- Exterior and accessory building lighting shall provide adequate illumination that ensures pedestrian safety, while being unobtrusive to adjacent buildings or parkland;
- Lighting shall be designed with fixtures that provide visual interest, but are appropriate to the architectural context of the primary structure;
- Lighting fixtures shall be compatible with and complement the building's design and architectural style. Fixtures shall be appropriately sized and in scale with the building façade and surrounding context;
- Exterior building lighting shall be used to accentuate the building design and highlight architectural details and features integral to the building design;
- Building entrances and street numbers shall be illuminated and visible from the street; and
- Parking lot light sources shall be designed, located and/or shielded to prevent light spill on abutting residential units or parkland.

Landscaping

A landscape plan shall be provided to the County for review with building plans. As identified in [Table 3-1](#) above, landscape coverage shall be at least ten percent of the developed site area. Low and medium water use hardy trees, shrubs, and groundcover are preferred and plant species that perform well in the Salinas Valley weather conditions should be used.

The following landscape guidelines apply:

- The landscaping plan must comply with the County's landscaping guidelines and commercial water conservation measures (Ordinance 3539 and Ordinance 3190, Chapter 18.44).
- In the interest of improving overall quality of life, all parcels shall include trees and plants in the landscape and streetscape to create an inviting landscape aesthetic.
- Evergreen trees and shrubs should be used whenever a landscape screen or buffer is required.
- Planting should be placed along the base of the building with flowering shrubs, vines, and narrow upright shrubs to accentuate the architectural forms.
- Areas adjacent to driveways and outdoor seating areas should utilize accent planting beds and/or color pots with flowering annuals to emphasize focal points. Canopy trees and landscape structures should be used in these outdoor public or quasi-public areas to create "outdoor rooms" and to define spaces.
- Window box type planting beds at entries to buildings are appropriate to the context and are encouraged. Ground and hanging pots with colorful accent plantings should be used to accent entries and add color and visual interest to buildings.
- Regionally appropriate plantings (e.g., agricultural plant materials with ornamental value, low water use plants) are encouraged.
- Low water use or native drought-resistant plant material is required for all landscaped areas. If irrigated, landscaped areas shall use low precipitation sprinkler heads, bubblers, drip irrigation system and timing devices.
- Trash and recycling bin enclosures, utility enclosures or screens, carports, storage buildings, etc. shall be screened with landscaping and architecturally compatible materials consistent with the primary buildings. Storage and utility structures shall be placed out of view from the public right-of-way to the extent feasible.

Parking lot and streetscape landscape guidelines are as follows:

- Narrow upright accent trees should be placed along the main drive aisles with low growing plants.
- Planters and plantings at the perimeter of parking lots shall be designed and located for the purpose of creating a visual screen from the street or adjoining parcels. The parking lot and perimeter landscape should also be designed for safe and convenient pedestrian circulation, including designated paths across perimeter planters to connect pedestrians to sidewalks and to adjacent parcels.
- Within parking lots, a minimum of one (1) tree shall be planted for every ten (10) parking stalls, evenly spaced throughout the parking lot to provide shading of the parking lot area.
- A street tree program consisting of trees to be planted 40 feet on center shall apply to the street frontages and street medians adjacent to each parcel. Additional landscaping in the form of low shrubs is encouraged. Decorative pavement may be used but should not predominate. The use of protective and decorative tree wells is encouraged for street trees.
- The cutout area for the tree island should be of adequate size to accommodate a mature tree (typically five (5) foot clear minimum island width). Trees shall be separated from light poles by a minimum of ten (10) feet.

Sign Program

The sign program shall adhere to the applicable requirements of zoning code chapter 21.60. as well as to the additional standards and guidelines listed below.

Sign Type

Preferred building-attached signs include:

- Wall signs, flush-mount attached to the building façade or painted, including sign panels, individual letters, and graphics;
- Blade/Projecting signs, generally mounted on support brackets that extend at a 90-degree angle from the building façade so that the sign face is visible from two sides;
- Canopy signs, usually applied to an awning valance or canopy fascia for permanent business identification;
- Under canopy signs hang from the underside of a canopy or awning over the sidewalk or building entrance; and
- Window signs consisting of lettering or graphics painted or etched on the glass surface.

Preferred freestanding signs include:

- Monument signs constructed upon a solid base or pedestal with a generally horizontal orientation;
- Pylon signs attached to a single narrow support structure with a vertical orientation;
- Free standing pylon signs; and
- Portable signs, such as A-frame or sandwich board signs that are not permanently affixed to the ground, such as those used for temporary business identification during open hours.

Sign Design

- Signs shall be compatible with a building's architectural style with regards to size, color, materials, and illumination.
- Building-attached signs shall complement, rather than compete with, the architectural features and overall façade composition of the building. Such signs shall be proportional to the building so as not to dominate the appearance. Lettering style shall be appropriate to the building design.
- Signs may be located on parapets, towers, turrets, recessed wall areas, and/or other architectural features specifically designed for them.
- Awning and blade/projecting signs are encouraged for first floor façades.
- Signs shall be creative and emphasize artistic expression.
- Signs shall be positioned on buildings to complement the style and proportion of the entire building façade and should not extend above the roof fascia.
- Signs should relate in placement and size to other building elements and shall not obscure architectural elements such as windows, cornices or decorative details. Individual storefront shop signs along a single building façade should relate to each other in design, size, color, placement, and lettering size.
- Blade/projecting signs, hanging signs, icon or graphic signs, and window signs are encouraged for their pedestrian orientation.
- Signs shall be illuminated, internally and/or externally, from a concealed light source.
- Freestanding signs shall be designed to complement the architectural style of the primary building(s) and be small in scale and incorporated into the landscape plan of the site; the base of freestanding signs shall be located in landscaped areas.

3.0 General Development Plan Vision and Development Standards

- Freestanding pylon signs in highway-serving commercial areas shall be designed to ensure adequate visibility of signage for all commercial center tenants. A maximum pylon sign height of up to 57 feet is permitted.
- Portable signs must be located near the building entrance or ingress path and shall not obstruct pedestrian walkways. Portable signs shall not be located in the public right-of-way.
- Signs posted in windows (i.e., cardboard, etc. and not qualifying as window signs) shall not exceed a total of three (3) square feet for any one business.
- Signs not attached to structures shall be set back three (3) feet from property lines for each one (1) foot of sign height.

Proposed Site Improvements

The Sala Road GDP allows for a maximum of 125,000 square feet of commercial development within the plan area. A specific development project has been proposed for the plan area that is within the maximum development capacity and is consistent with the development standards set forth in this GDP. The specific project is known as the Sala Road Project. At full build out, the Sala Road Project is projected to include a total of 94,872 square feet of commercial uses. A tentative parcel map, an architectural plan, a landscape plan, and a plan set for the proposed ARCO gas station discussed later in this GDP have been prepared that together, constitute the primary components of the proposed project description. These plans are included in the application package submitted to the County.

This chapter summarizes the Sala Road Project and includes information which demonstrates that it is consistent with County land use and zoning designations for the plan area and the vision and development standards contained herein.

4.1 SITE PLAN

The Sala Road Project includes subdividing the site into ten parcels. A mix of commercial uses are planned, including retail, quick service restaurants (fast food restaurants), a gas station (including a convenience store, car wash, fueling bays for passenger vehicles, and three truck fueling bays) and a hotel are planned. Refer to [Figure 4-1, Sala Road Project Site Plan](#), which illustrates the planned subdivision as well as the arrangement of planned uses. Each of these uses is described in more detail below.

A total of 522 parking spaces would be allocated throughout the plan area. Parking capacity meets or exceeds County's parking requirements for each of the proposed uses and is consistent with parking standards contained in this GDP.

Retail

A mix of retail uses allowed in Chapter 3.2 of this GDP is proposed. The retail parcels total 7.73 acres.

Parcel 1, which is 4.68 acres, would contain a 21,702 square foot Tractor Supply Company store which is considered a large item retail use. This single-story building would be up to 32 feet in height. A total of 89 parking spaces would be provided. This exceeds the minimum parking ratio of one space/500 square feet.

Refer to Sheet A-1 of the architectural plan set for elevations of the proposed building.

Parcel 1 also includes a proposed retention basin.

Parcels 2, 4, and 9 would consist of general retail uses. The proposed one-story buildings would be approximately 25 feet in height and total 18,500 square feet of building area. Up to 38 parking spaces would be provided on Parcel 2, 54 spaces on Parcel 4, and 28 spaces on parcel 9 pursuant to the minimum parking requirement of one space per 250 square feet for general retail use. This would result in 18 more spaces, 18 more spaces, and 4 more spaces on Parcels 2, 4 and 9, respectively, than required. Refer to Sheet A-7 of the architectural plan set, for an illustration of the proposed buildings.

Quick-Service (Fast-food) Restaurants

Parcels 3, 5, 6, and 8 would all consist of fast-food uses. The parcels total approximately 3.53 acres. Parcel 3 would include an 1,875 square-foot building, Parcel 5 would include a 2,750 square-foot building, Parcel 6 would include a 4,395 square-foot building, and Parcel 8 would include a 5,000 square-foot building. All buildings would be one-story with a maximum height of 25 feet.

Parking for each parcel is identified on the architectural site plan and adheres to the parking standards of one space per three seats enclosed, plus three spaces per drive through/service window, plus three employee spaces for “restaurant, drive-in” uses. Parking for each parcel would be as follows:

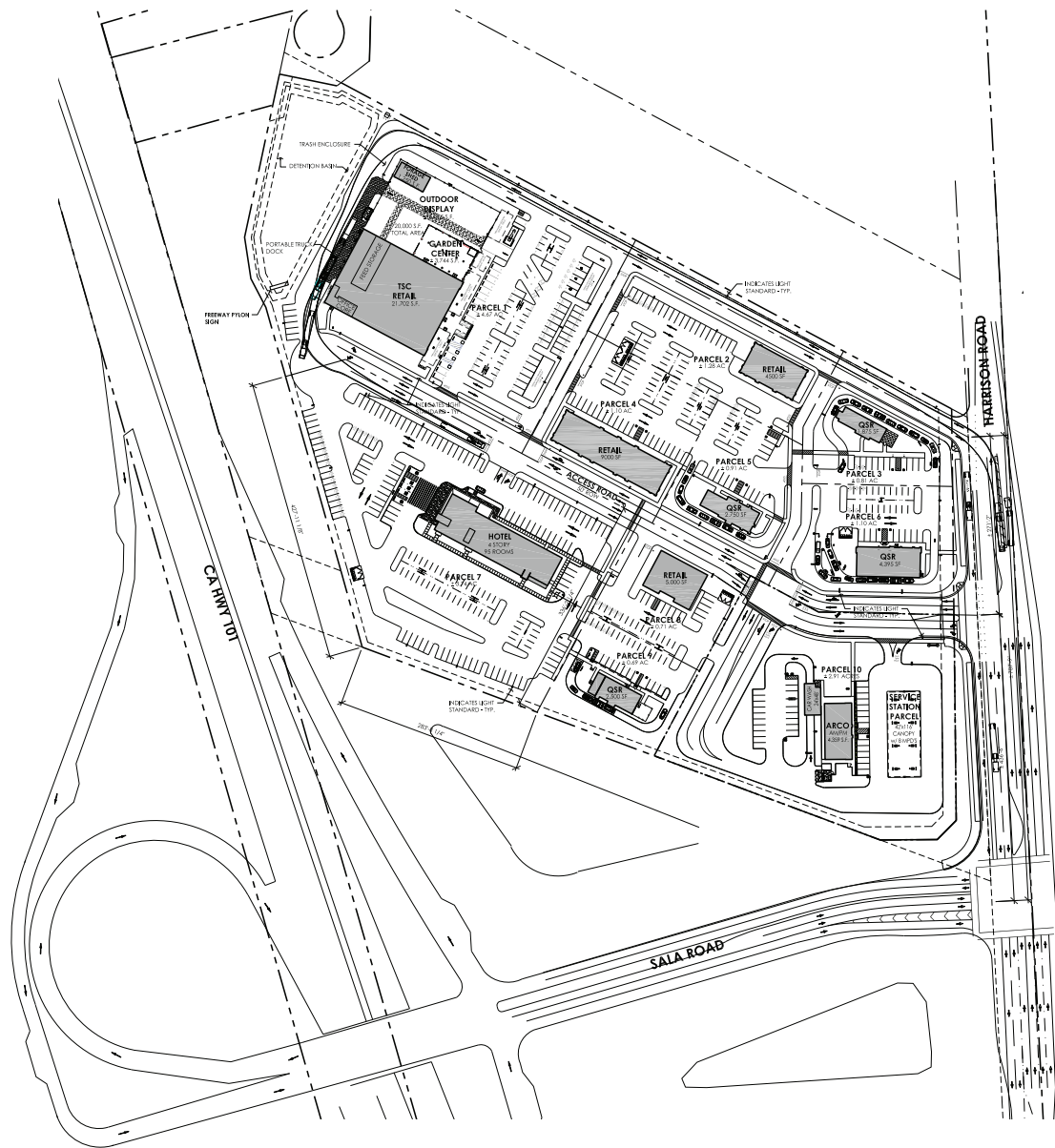
- Parcel 3 – 11 spaces (1 more than required);
- Parcel 5 – 26 spaces (1 more than required);
- Parcel 6 – 32 spaces; and
- Parcel 8 – 30 spaces (10 more than required).

Hotel

Parcel 7 is about 3.76 acres and is planned for a hotel use with 95 rooms. The hotel would be constructed as a 41,693 square-foot multi-story building with a maximum height of 50 feet. Amenities such as a gym, restaurant, or lounge may be included inside the building.

Parking would include 181 spaces, which is 83 more than required by the applicable parking regulations of 1 space/room, plus 2 spaces/3 employees (on the largest shift) and other applicable parking requirements for auxiliary uses (i.e., restaurant, lounge, etc.).

Refer to Sheets A-2, A-11, and A-12 of the architectural plan set for elevations of the hotel building.



Source: Siegfried Engineering, Inc. 2023

Figure 4-1
Sala Road Project Site Plan

Sala Road General Development Plan



4.0 Proposed Site Improvements

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Gas Station

Parcel 10 is planned for a gas/service station/retail on 2.91 acres. The gas station would include 16 vehicle fueling positions, a 4,359-square foot convenience market, and a 1,152 square-foot drive-through carwash. The buildings would be constructed as one-story structures with a height of 26 feet. Thirty-three parking spaces have been included, which is 18 more than required by the standard of 1 space/500 square feet of floor area.

Refer to the ARCO AM/PM plan set for illustrative elevations of the planned gas station.

Storm Water Retention Basin

A storm water management system would be required to ensure that the post-construction peak storm water runoff volume and rate does not exceed the pre-project conditions and to comply with other Monterey County storm water standards. This would ensure that the runoff would not exceed the capacity of the storm drain system or result in significant localized flooding.

Parcel 1 includes a retention basin. Drainage from Parcel 1 and 7 would flow into this retention basin. Four additional underground retention vaults would be incorporated into the plan. Refer to Sheets T-5 through T-10 of the tentative parcel map for the storm water management system design.

4.2 LAND USE SUMMARY

The parcel sizes, planned use on each parcel, and planned building area for each parcel are described in [Table 4-1, Sala Road Project Land Use Summary](#). The types and locations of planned uses are flexible and subject to change based on market demand as described in Section 5.0.

As shown in Table 4-1, at full build out, the Sala Road Project would include a total of 98,926 square feet of building area, less square footage than allowed by the GDP.

4.3 EMPLOYMENT

The Sala Road Project is projected to generate approximately 221 new jobs.

4.4 OPERATIONAL CHARACTERISTICS / PHASING

Business hours of operation for planned uses are expected to vary widely depending on the nature of the use. However, retail operations may be limited to 6:00 A.M. to 12:00 P.M. Fast food restaurants, the gas station/convenient market, and the hotel could operate 24 hours a day. Employment levels would vary as well, depending on the use types that locate within the site.

Table 4-1 Sala Road Project Land Use Summary

Parcel Number ¹	Parcel Area ² (Acres)	Building Area (Square Feet) ²	Proposed Land Use
1	4.68	21,702	Retail
2	1.25	4,500	Retail, general
3	0.81	1,875	Fast food
4	1.10	9,000	Retail, general
5	0.97	2,750	Fast food
6	1.04	4,395	Fast food
7	3.76	41,693	Hotel
8	0.71	2,500	Fast food
9	0.69	5,000	Retail, general
10	2.91	5,511 ³	Gas station/retail building and carwash
Total	17.92		
Total New Development		98,926	37,300 SF retail, 11,520 SF fast food, gas service station including a 4,359 SF foot convenience market and 1,152 SF drive-through carwash, and a 41,693 SF hotel

SOURCE: EMC Planning Group 2021

NOTE:

1. As identified on the Sala Road Project Site Plan (refer to Figure 4-1)

2. Approximate

3. Square footage = convenience market (4,359 square feet) plus car wash structure (1,152 square feet).

Preliminary development phasing is assumed to be as follows:

- Phase 1 –Retail (Tractor Supply store) at parcel 1, hotel at parcel 7, convenience market/gas station/ truck fueling at parcel 10;
- Phase 2 – Fast food restaurants at parcels 3 and 6; and
- Phase 3 – Fast food restaurants at parcels 5 and 8, and retail store buildings at parcels 2, 4, and 9.

The phases are illustrated in [Figure 4-2, Sala Road Project Development Phasing](#). Phasing may change depending on market conditions. Development phasing would be primarily market driven; the applicant would market and sell or lease sites to end users and each parcel would be developed as demand dictates and infrastructure would be installed accordingly.



Figure 4-2
Sala Road Project Development Phasing
Sala Road General Development Plan

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The tentative map subdivides the property into ten lots as shown in [Figure 4-1](#). The tentative map was prepared per Monterey County requirements and identifies the following:

- Existing property boundary, easements, roadways, topography, vegetation, right-of-way, utilities, and floodplain limits;
- Dimensioned site layout;
- Preliminary grading, drainage, and erosion control design;
- Preliminary utility plan, including sanitary sewer and water main design; and
- Circulation plan.

4.5 CIRCULATION IMPROVEMENTS

Access

Two driveways into the site from Harrison Road are planned. The locations have been presented to and discussed with the County. The south driveway would be the main driveway. The north driveway would be the secondary driveway. Refer to Sheet T-14 of the tentative map for more detailed plans.

The internal driveways are designed to meet County road design standards to ensure adequate circulation and fire/emergency access.

Pedestrian Circulation

The proposed uses are largely highway-oriented and would not likely generate significant volume of pedestrian traffic or need for pedestrian access from off-site properties.

The proposed project provides pedestrian improvements along its frontage with Harrison Road. The sidewalks would connect to existing crosswalks across Sala Road and across Harrison Road. There are existing sidewalks along a portion of the segment of Harrison Road located between the plan area and existing larger neighborhoods in the city. Those neighborhoods are about 0.7 miles to the south. The existing sidewalks do not extend the entire length of Harrison Road, so at present, do not provide connectivity between the plan area and the Salinas neighborhoods. As undeveloped/underdeveloped properties on Harrison between the plan area and neighborhoods in the city limits (properties included in “Area K” as referenced in the City of Salinas General Plan, Economic Development Element) are developed over time, the missing segments of sidewalk would be constructed.

Bicycle Circulation

Future commercial uses within the plan area would generate little bicycle traffic, as the uses are largely highway-oriented. Bicycle connectivity to the plan area from urban areas in

Salinas would be created as the undeveloped/underdeveloped properties within Area K are developed over time. The Transportation Agency for Monterey County Bicycle Plan includes bicycle facilities on this segment of Harrison Road.

Transit

The dominant sources of vehicle trips to the plan area would be diverted-link trips from U.S. Highway 101 and pass-by trips on Sala Road and Harrison. The potential to shift such trips to transit, if transit service existed, would likely be nominal. The potential for expanding local transit service, including potential for service to the plan area, could be significantly increased in the future with development of Area K.

The Sala Road Project is projected to generate about 221 jobs. At this low employment density, it would be financially infeasible for the applicant to operate and maintain an alternative to public transit, such as an employee shuttle service.

Roadway Network Improvements

When traffic from the Sala Road Project is added to existing traffic volumes, several circulation improvements would be needed. The improvements would be phased, commensurate with development phasing that generates the need for the respective improvements. The improvements are as follows:

- Harrison Road/Sala Road Intersection: Add a second eastbound Sala Road left turn lane; widen northbound Harrison Road north of Sala Road to accommodate a second receiving lane for the additional eastbound Sala Road left turn lane; and add a southbound Harrison Road right turn overlap signal phase. Add second southbound Harrison Road through lane. Add second southbound Harrison Road right turn lane;
- Harrison Road/South Project Driveway: Signalize intersection. Add two northbound Harrison Road left turn lanes, add a southbound Harrison Road right turn lane, provide separate project driveway eastbound left and right turn lanes, provide two westbound project driveway entry lanes; and add an eastbound south project driveway right turn overlap signal phase;
- Harrison Road / North Project Driveway: Add a northbound Harrison Road left turn lane; and
- Harrison Road, Sala Road to the Project Site (Frontage Improvements): The project would construct frontage improvements to add northbound left turn lanes and southbound right turn lanes or taper at project driveways. Harrison Road would be widened to four lanes (two northbound and southbound through lanes) along the project frontage between the project South Driveway and Sala Road.

The applicant would also pay the Transportation Agency for Monterey County regional development impact fee, the applicable Monterey County traffic impact fee, and fair-share fees for specific improvements to County and City roads. Monterey County staff would quantify the applicable fee to the project at the time of development.

The traffic improvement requirements have been reviewed with the County and City and are based on the traffic impact analysis and supplemental transportation analyses for the project.

4.6 LANDSCAPING

The proposed landscape plan design concept is to provide an enjoyable and aesthetic space for customers and employees that fits within the surrounding area and meets Monterey County requirements. Please refer to the landscape plan included in the project application package for details.

Plant material has been selected that performs well in the special conditions of the Salinas area. Irrigation has been designed to be compliant with the designed to meet the County's commercial water conservation measures (Ordinance 3539 and Ordinance 3190, Chapter 18.44) as well as the City of Salinas's Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respect the needs of the proposed project and its customers. Small accent trees would announce driveway entries; upright street trees would be provided along the main drive aisles; and parking lot shade trees are planned throughout the parking lot areas. The existing drainage channel that runs through the center of the plan area has been incorporated into the landscape and site design to create a transition between the ornamental site landscape design and the U.S. Army Corps of Engineers' requirements for the channel.

Landscape coverage would be at least ten percent of the developed site area. A preliminary landscape plan has been prepared and is part of the application package. Major proposed landscape features include 174,430 square feet of shrubs and groundcover, 9,712 square feet of synthetic lawn, and 4,522 square feet of cobble. A total of 160 trees would be planted throughout the site.

Proposed landscape plan features include:

- Low and medium water use hardy trees, shrubs, and groundcover are proposed for the landscape around the site;
- Plant species have been selected that perform well in the Salinas Valley, windy conditions, and foggy and cool conditions;

4.0 Proposed Site Improvements

- Small accent trees announce driveway entries; upright street trees are provided along the main drive aisles; and parking lot shade trees are placed throughout the parking lots;
- Shopping center entry with synthetic lawn or low growing lawn substitute;
- Street frontage landscape with public sidewalk and street trees;
- Vine-covered trash enclosures; and
- Planting along the base of the hotel building to accentuate architectural forms.

4.7 PUBLIC SERVICES

Water Service

California Water Service Company (Cal Water), Salinas District provides water service to the area. There is no water supply infrastructure available at the plan area. There is an existing 12-inch water line in Harrison Road that terminates about 970 feet south of the plan area near the existing mini-storage facility. The main would need to be extended north to the plan area. Refer to the utility plan on Sheet T-10 of the tentative map, which shows a segment of the required water line extension.

The applicant received a Will-Serve letter from Cal Water, which stated that Cal Water would provide water service assuming all required permits from the County were received.

The plan area has historically been in agricultural use. The baseline agricultural water demand is estimated to be approximately 47.92 acre-feet per year. Water demand from the proposed project is projected at 22.98 acre-feet per year. The proposed project would have a net benefit on groundwater sustainability by reducing groundwater demand relative to baseline conditions.

Wastewater Collection

There is no wastewater collection infrastructure available to serve the Sala Road Project. Sewer collection service would need to be provided by the City of Salinas. A sewer main would need to be extended north on Harrison Road to the plan area from the nearest terminus of Salinas' system, which is located about 4,100 feet to the south at North Main Street and Russell Road. Salinas has agreed to allow a tie-in to its collection system provided the applicant provides the new extended sewer trunk line to the plan area and pays fees to Salinas for the use of its system.

To determine the effect of new flows into the collection system that hadn't previously been contemplated by Salinas, the applicant prepared the *Sobel Commercial Development Sewer Capacity Study* (V&A Consulting Engineers 2019). This analysis has been reviewed and

accepted by Salinas as a basis for permitting the use of its system and for the associated costs the applicant must pay for this purpose. The analysis is included in the project application package. A sewer collection system use agreement between the applicant and Salinas has been completed and is part of the project application package.

Wastewater flow projections for the Sala Road Project are provided in the *Preliminary Sanitary Sewer Assessment* (Whitson Engineers 2019). The sewer assessment is included in the project application package. The sewer assessment also includes wastewater flow projections for two other potential development areas. The first is Area K, the largely undeveloped area along Harrison Road located between the plan area and the Salinas city limits. This area is unincorporated, but is included in the City of Salinas General Plan Economic Development Element as a future development area. The new sewer main would pass by Area K and could be available to support future development of that area. The second potential development is a farmworker housing project being considered by the County for a site located about 2,700 feet north of the plan area on Harrison Road. The main to be extended from within the city limits to the plan area would terminate at the plan area. To obtain sewer collection service, the farmworker housing project could potentially extend the main north from the plan area to that site. The sewer generation projections for the three areas were used to determine that the main should be sized at 10 inches.

Refer to the utility plan on Sheet T-10 of the tentative map which shows the sewer line extension.

Gas and Electric

The area is serviced by Pacific Gas & Electric Company (PG&E) for natural gas and electricity. PG&E has primary power service lines in close proximity to the plan area, including service lines along Harrison Road that serve the residential area to the northwest of the plan area.

Fire Protection

The plan area is not located within an area of moderate, high, or very high Fire Hazard Severity for the State or Local Responsibility Area; the nearest high fire hazard severity being approximately 0.7 miles north of the plan area (Monterey County 2020).

The plan area is within the jurisdiction of the Monterey County Regional Fire District. The closest station is located at 45 E. Bolivar Street in Salinas, approximately 1.3 miles to the south. Because there is no water supply infrastructure available to the plan area, there is no fire suppression supply infrastructure. Fire hydrants and an on-site water supply system with fire flow and pressure needed to meet Monterey County Building Code and fire district standards would be constructed as part of the project.

Law Enforcement

The Monterey County Sheriff's Office, located at 1414 Natividad Road in Salinas, would be responsible for serving the plan area. There are mutual aid agreements between all cities within the county and the Sheriff's Office. Additionally, the County has mutual aid agreements with the surrounding counties, including Santa Cruz, San Benito, and San Luis Obispo.

Solid Waste

The Salinas Valley Solid Waste Authority, commonly known as Salinas Valley Recycles would provide solid waste collection and recycling services for the proposed project as a means to comply with solid waste diversion goals. As a condition of approval, future development will be required to submit a written plan on how recyclables will be collected and stored to Recycling and Resource Recovery Services of Environmental Health Bureau for review and approval.

Consumer Health Protection Services

Food facilities shall be designed to meet or exceed all criteria in the California Health and Safety Code, Division 104, Part 7, California Retail Food Code. A food facility plan check from Environmental Health Bureau's Consumer Health Protection Services shall be required prior to issuance of construction permits.

Hazardous Materials Facility Operating Permits

The owner of the property is responsible to ensure that all uses are in compliance with Local, State and Federal requirements. As such, future tenants/uses of the property are unknown at this time. The lease agreement between the property owner and the tenant shall include the following information:

No Hazardous Material Handling or Storage or Hazardous Waste Generation is allowed onsite without proper permits from Environmental Health. All new tenants shall contact Environmental Health Bureau prior to commencement of operations to ensure all proper Health permits are obtained. No uses that involve any of the following will be allowed without a Hazardous Materials Facility Operating Permit from Environmental Health:

- Storage and Handling of Hazardous Materials;
- Generation of Hazardous Waste;
- Above Ground Petroleum Storage Tank(s);
- Underground Storage Tank(s); or

- Storage and Handling of Acutely Hazardous Materials or Extremely Hazardous Substances.

The tenant/applicant shall pay all applicable fees to the Environmental Health Bureau prior to commencement of operations.

4.8 ENVIRONMENTAL CONSIDERATIONS

Environmental impacts of constructing and operating the proposed project and mitigation measures for those impacts are provided in the CEQA document. No further CEQA review will need to be considered unless there is a change in use type or density beyond the provisions of this GDP.

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5.0 Development Flexibility

This chapter summarizes the development flexibility that is built into this GDP. This GDP is not intended to be proscriptive regarding the precise building development capacity allowed or the location or arrangement of land uses proposed. Flexibility regarding both is described below.

5.1 DEVELOPMENT CAPACITY AND SITE DESIGN FLEXIBILITY

Development Capacity Flexibility

The Light Commercial zoning district standard for maximum building site coverage is 50 percent, excluding parking and landscaping. The plan area is 17.93 acres. Therefore, a maximum of approximately 390,515 square feet of building site coverage could be allowed under current zoning. This GDP permits a maximum of 125,000 square feet of building coverage, excluding parking and landscaping, or approximately 68 percent less building capacity than is potentially allowed by zoning. The Sala Road Project described in Section 4.0 consists of 98,926 square feet of building, or about 21 percent less building capacity than this GDP allows and about 75 percent less building capacity than allowed by zoning.

The applicant has the flexibility to increase building square footage up to a maximum of 125,000 square feet. However, the County has prepared CEQA documentation for the Sala Road Project. If the applicant proposes to increase development capacity above 98,926 square feet, additional CEQA documentation may be required unless the applicant provides evidence to the County, and the County accepts the evidence, that the increase is consistent with development standards contained in this GDP and County code standards, and results in no greater traffic generation, water demand, or wastewater generation than the Sala Road Project evaluated in the County's CEQA documentation.

An increase in building square footage up to 125,000 square feet is not considered a substantial change to this GDP and, therefore, should be considered substantial conformance and would not require an amendment to this GDP.

Site Design Flexibility

This GDP allows for flexibility in location and arrangement of uses. Commercial use locations and arrangement of uses within the plan area, building square footage per parcel, parking and landscape design, and site design flexibility is built into this GDP provided. Changes are permitted provided they meet development standards herein and other applicable County code standards. Commercial use types may also be modified relative to those included in the Sala Road Project. For example, retail square footage may be converted to fast food and vice-versa. These types of changes of location, arrangement, and use types do not constitute a substantial change to this GDP as long as they do not increase density or change use types beyond the provisions of this GDP, and, therefore, should be considered in substantial conformance and would not require an amendment to this GDP.

Due to its proposed height, the hotel use is an exception to flexibility in use location. Due to its height, any proposal to relocate the hotel is allowed by the GDP, but could trigger supplemental CEQA analysis regarding visual impacts. Further, an amendment to PLN180441 may be triggered if a proposal is made to relocate the hotel to a different parcel.

6.0 Implementation

This chapter describes the legal function of this GDP, the permit process going forward to implement development, and the process necessary to amend the GDP.

6.1 GDP ENTITLEMENT

This GDP is considered a Master Use Permit for the development identified herein. All development identified in this GDP and summarized in [Table 4-1, Sala Road Project Land Use Summary](#), is permitted by right upon County approval of this GDP, as is any commercial development up to 125,000 square feet in the building area as described in Chapter 5. No further use permits are required, unless there is a request for a substantial change to the GDP, or the addition of building capacity beyond 125,000 square feet, or a use proposed that is not permitted by this GDP.

6.2 PROCESS

Implementation of mitigations and conditions placed on the approval of this GDP by the County may be completed in phases over time, as appropriate to the buildout of the plan area.

The Monterey County Housing and Community Development review and approval of grading, building, or similar ministerial development permits for individual uses/improvements described in the adopted GDP shall be limited to confirming that the individual uses and improvements substantially conform to this GDP.

Uses not conforming to this GDP may be subject to discretionary approval by amendment of this GDP or by approval of a separate Conditional Use Permit.

6.3 GDP AMENDMENTS

This GDP may be amended for purposes of a substantial change, or adding building capacity beyond the 125,000 square feet, or by adding uses that are not allowed or identified herein. A GDP amendment requires a discretionary approval from the Monterey County Planning

Commission. Changes described in Chapter 5.0 regarding development capacity and site design flexibility do not constitute a substantial change and, therefore, constitute substantial conformance and do not require discretionary approval. Any proposed changes pursuant to the flexibility provisions contained herein are to be reviewed at an administrative level and fall under consideration for substantial conformance.

6.4 ADMINISTRATION AND ENFORCEMENT

It is the responsibility of Monterey County Housing and Community Development to administer and enforce the provisions of this GDP. The provisions constitute the primary land use and development standards for the plan area. Where development standards are not addressed in this GDP, regulations for the Light Commercial zoning district and other applicable regulations in the County code apply.

7.0

List of References

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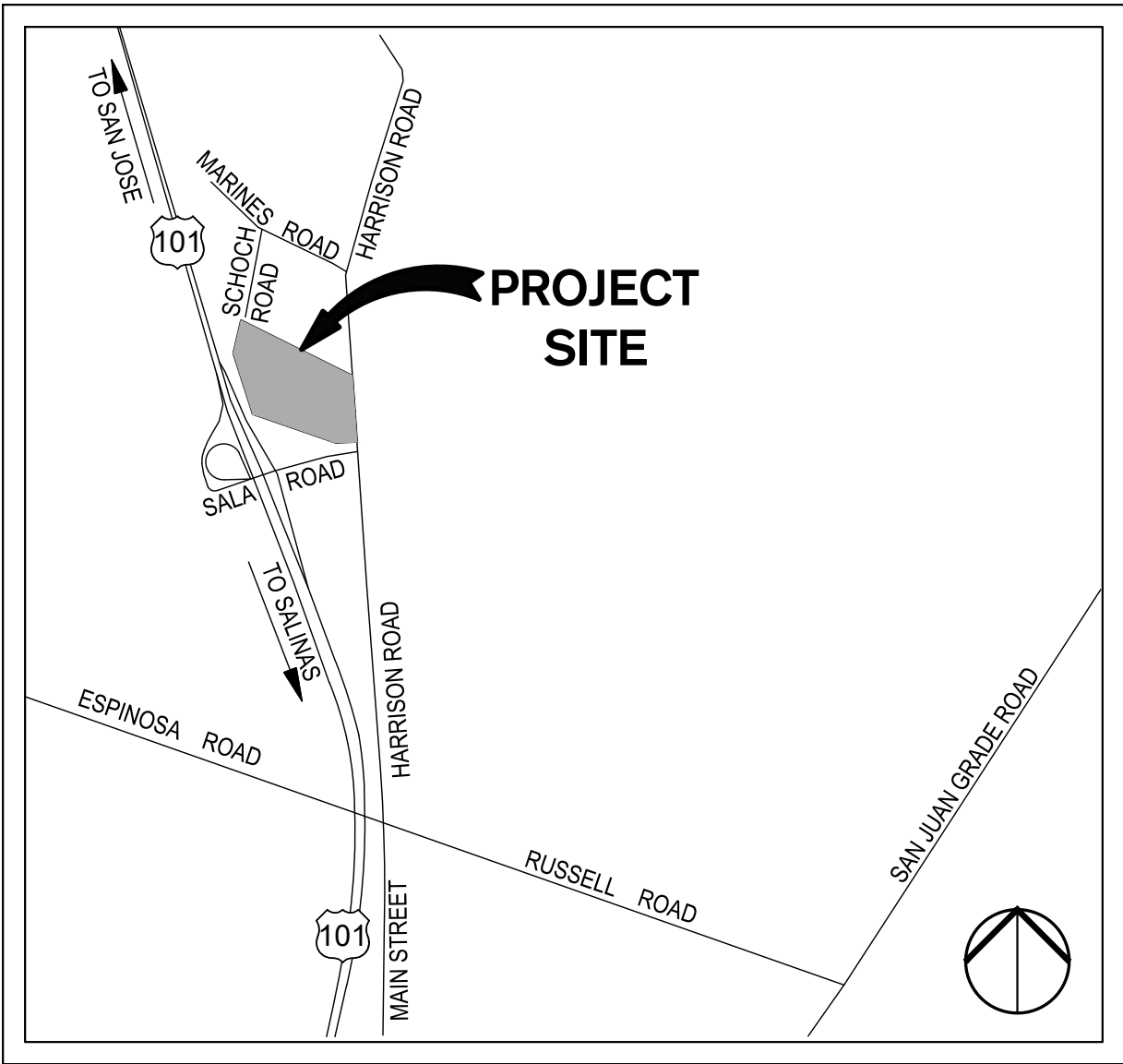
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TENTATIVE PARCEL MAP

SALA ROAD CENTER

HARRISON ROAD, SALINAS, CA 93907

October 13, 2023



VICINITY MAP
NO SCALE

SHEET INDEX:

SHEET NO.	SHEET TITLE
T-1	COVER SHEET
T-2	EXISTING BOUNDARY MAP
T-3	EXISTING CONDITIONS MAP
T-4	PROPOSED SITE MAP
T-5	OVERALL CONCEPTUAL ROUGH GRADING PLAN
T-6	CONCEPTUAL ROUGH GRADING PLAN I
T-7	CONCEPTUAL ROUGH GRADING PLAN II
T-8	CONCEPTUAL ROUGH GRADING PLAN III
T-9	CONCEPTUAL ROUGH GRADING PLAN IV
T-10	CONCEPTUAL UTILITY PLAN
T-11	CONCEPTUAL SEWER SYSTEM PLAN I
T-12	CONCEPTUAL SEWER SYSTEM PLAN II
T-13	EROSION CONTROL PLAN
T-14	CIRCULATION PLAN
T-15	CROSS SECTIONS

PROJECT TEAM:

OWNER:
SALINAS 101, LLC.
C/O THE SOBEL COMPANY, INC.
9454 WILSHIRE BLVD, SUITE #210
BEVERLY HILLS, CA 90212
O: 310-277-4697
C: 818-634-2339

PROJECT DEVELOPER:
SALINAS 101, LLC.
C/O THE SOBEL COMPANY, INC.
9454 WILSHIRE BLVD, SUITE #210
BEVERLY HILLS, CA 90212
O: 310-277-4697
C: 818-634-2339

CIVIL ENGINEER / SURVEYOR:
SIEGFRIED
3428 BROOKSIDE ROAD
STOCKTON, CA 95219
209-943-2021

GEOTECHNICAL ENGINEER:
KRAZAN & ASSOCIATES, INC.
215 WEST DAKOTA AVENUE
CLOVIS, CA 93612
559-348-2200

LEGEND:

EXISTING	PROPOSED	ABBREVIATION	DESCRIPTION
3.0	3.0	@	AT
11.93TC 11.43FL	11.93TC 11.43FL	AB	AGGREGATE BASE
15.50EP	15.50P	ABS	ACRYLONITRILE-BUTADIENE-STYRENE
15.50EC	15.50C	AC	ASPHALT CONCRETE
		BCR	BEGINNING OF CURB RETURN
		BMP	BEST MANAGEMENT PRACTICE
		BO	BLOWOFF
		BOC	BACK OF CURB
		BOW	BACK OF WALK
		BSL	BUILDING SETBACK LINE
		CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION
		C & G	CURB AND GUTTER
		C & SW	CURB, GUTTER, AND SIDEWALK
		CL	CENTERLINE
		CB	CATCH BASIN
		C.B.C.	CALIFORNIA BUILDING CODE 2010
		CJ	CONSTRUCTION JOINT
		CO	CLEANOUT
		DIA	DIAMETER
		DIP	DUCTILE IRON PIPE
		DWG	DRAWING
		EBOW	EXISTING BACK OF WALK
		ECR	END OF CURB RETURN
		EL	ELEVATION
		EFP	EDGE OF EXISTING PAVEMENT
		EP	EDGE OF PAVEMENT, EXISTING PAVEMENT
		ESMT	EASEMENT
		EX	EXISTING
		FL	FLOWLINE
		FH	FIRE HYDRANT
		FOC	FACE OF CURB
		FT.	FEET
		G	GROUND
		GB	GRADE BREAK
		HORIZ	HORIZONTAL
		HP	HIGH POINT
		ID	INSIDE DIAMETER
		INL	INCH
		LF	LINEAL FEET
		LH	LAMP HOLE
		LP	LOW POINT
		LT	LEFT
		LTS	LIME TREATED SUB-BASE
		MAX	MAXIMUM
		MH	MAINTENANCE HOLE
		MIN	MINIMUM
		NO.	NUMBER
		NRCP	NON-REINFORCED CONCRETE PIPE
		NTS	NOT TO SCALE
		OD	OUTSIDE DIAMETER
		P	PAVEMENT
		PC	POINT OF CURVATURE
		PCC	POINT OF COMPOUND CURVATURE
		POT	POINT OF TANGENCY
		PP	POWER POLE
		PRC	POINT OF REVERSE CURVATURE
		PT	POINT
		PUE	PUBLIC UTILITY EASEMENT
		PVC	POLYVINYL CHLORIDE
		PL	PROPERTY LINE
		R	RADIAL OR RADIUS
		R/W	RIGHT-OF-WAY
		RC	ROLL-CURB
		RCP	REINFORCED CONCRETE PIPE
		RET	RETURN
		RP	RADIUS POINT
		RT	RIGHT
		SD	STORM DRAIN
		SS	SANITARY SEWER
		SL	STREET LIGHT
		SW	SIDEWALK
		SDMH	STORM DRAIN MAINTENANCE HOLE
		SHT	SHEET
		SSMH	SANITARY SEWER MAINTENANCE HOLE
		STA	STATION
		STD	STANDARD
		TC	TOP OF CURB
		TOW	TOP OF WALL
		THRU	THROUGH
		TI	TRAFFIC INDEX
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		UV	UNDERGROUND VAULT
		VCP	VITRIFIED CLAY PIPE
		VERT	VERTICAL
		W	WATER
		WP	WEAKENED PLANE
		(W)	WEST
		(E)	EAST
		(S)	SOUTH
		(N)	NORTH
		±	PLUS OR MINUS

ABBREVIATIONS:

SUBDIVISION NOTES:

ASSESSOR'S PARCEL NUMBER: 113-091-017
GENERAL PLAN DESIGNATION: COMMERCIAL
EXISTING ZONING: (LC) LIGHT COMMERCIAL
PROPOSED ZONING: (LC) LIGHT COMMERCIAL
PROPOSED LAND USES: RETAIL, RESTAURANTS, GAS STATION (WITH RETAIL), HOTEL. SEE SITE SUMMARY.

UTILITY INFORMATION:
STORM DRAIN ON-SITE
SANITARY SEWER CITY OF SALINAS
WATER CALIFORNIA WATER SERVICE
GAS PACIFIC GAS AND ELECTRIC
ELECTRIC PACIFIC GAS AND ELECTRIC
ELECTRIC AT&T

LOT COVERAGE:
ALLOWED (PER LC ZONE) 50%
PROPOSED (ENTIRE SITE) 12% (SEE TABLE ON SHEET T-4 FOR DETAILS)

- NOTES:
- THE SITE HAS NO ADDRESS PER THE COUNTY OF MONTEREY GIS AND THE TITLE REPORT.
 - THERE ARE NO EXISTING TREES ON THE SITE.
 - THERE ARE NO EXISTING BUILDINGS ON THE SITE.
 - THERE ARE NO EXISTING STORM DRAIN MAINS, WATER MAINS OR SEWER MAINS ON THE SITE OR SITE FRONTAGE.
 - THERE ARE NO RIVERS OR WATER COURSES ON THE SITE.
 - SITE HAS EXISTING FRONTAGE ACCESS ON HARRISON AVENUE.
 - GRADING AND UTILITY DESIGN ARE PRELIMINARY.
 - EASEMENTS WILL BE INCLUDED IN CENTER-WIDE CC&Rs AND RECIPROCAL EASEMENT AGREEMENTS.

SITE SUMMARY:

PARCEL NUMBER	PARCEL AREA (AC)	BUILDING AREA (SFT)	GDP LAND USE
EXISTING	17.93±	—	—
1	4.68±	21,702	RETAIL
2	1.25±	4,500	RETAIL
3	0.81±	1,875	RESTAURANT
4	1.10±	9,000	RETAIL
5	0.97±	2,750	RESTAURANT
6	1.04±	4,395	RESTAURANT
7	3.76±	41,693	HOTEL
8	0.71±	5,000	RETAIL
9	0.69±	2,500	RESTAURANT
10	2.91±	5,511	GAS STATION /RETAIL
TOTAL	17.93±	98,926	

COVER SHEET

TENTATIVE PARCEL MAP

SALA ROAD CENTER

APN 113 091 013 000
HILDEBRAND & SONS TRUCKING, INC.

APN113-091-017
17.92 ACRES±

SCHOCH ROAD

N51°19'52"E 7.99'(M)(R1)

S63°03'21"E 1052.88'(M)(R1)

S79°35'05"E 89.18'(M)(R1)

ACCESS EASEMENT PER
2011022876, MONTEREY
COUNTY RECORDS.

N10°52'01"E 261.88'(M)(R1)

N9°43'45"W 63.80'(M)(R1)

N28°44'33"W 49.38'(M)(R1)

RELINQUISHMENT OF
ABUTTER'S RIGHHTS PER
2011022876, MONTEREY
COUNTY RECORDS.

N77°04'12"W 416.85'(M)(R1)

N16°49'17"W 120.46'(M)(R1)

RELINQUISHMENT OF
ABUTTER'S RIGHHTS PER
2011022876, MONTEREY
COUNTY RECORDS.

N70°45'11"W 840.57'(M)(R1)

S43°23'04"W 40.99'(M)(R1)

S88°21'15"W 86.79'(M)(R1)

HARRISON ROAD

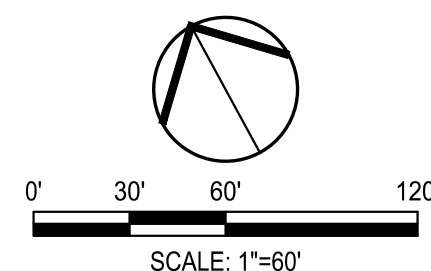
S1°48'45"E 225.63'(M)(R1)

SALA ROAD

REFERENCES:

(R1) VOLUME 33 OF SURVEYS, AT PAGE 39, MONTEREY COUNTY RECORDS.
(M) MEASURED

EXISTING BOUNDARY MAP
TENTATIVE PARCEL MAP
SALA ROAD CENTER



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- SURVEYING
- PLANNING

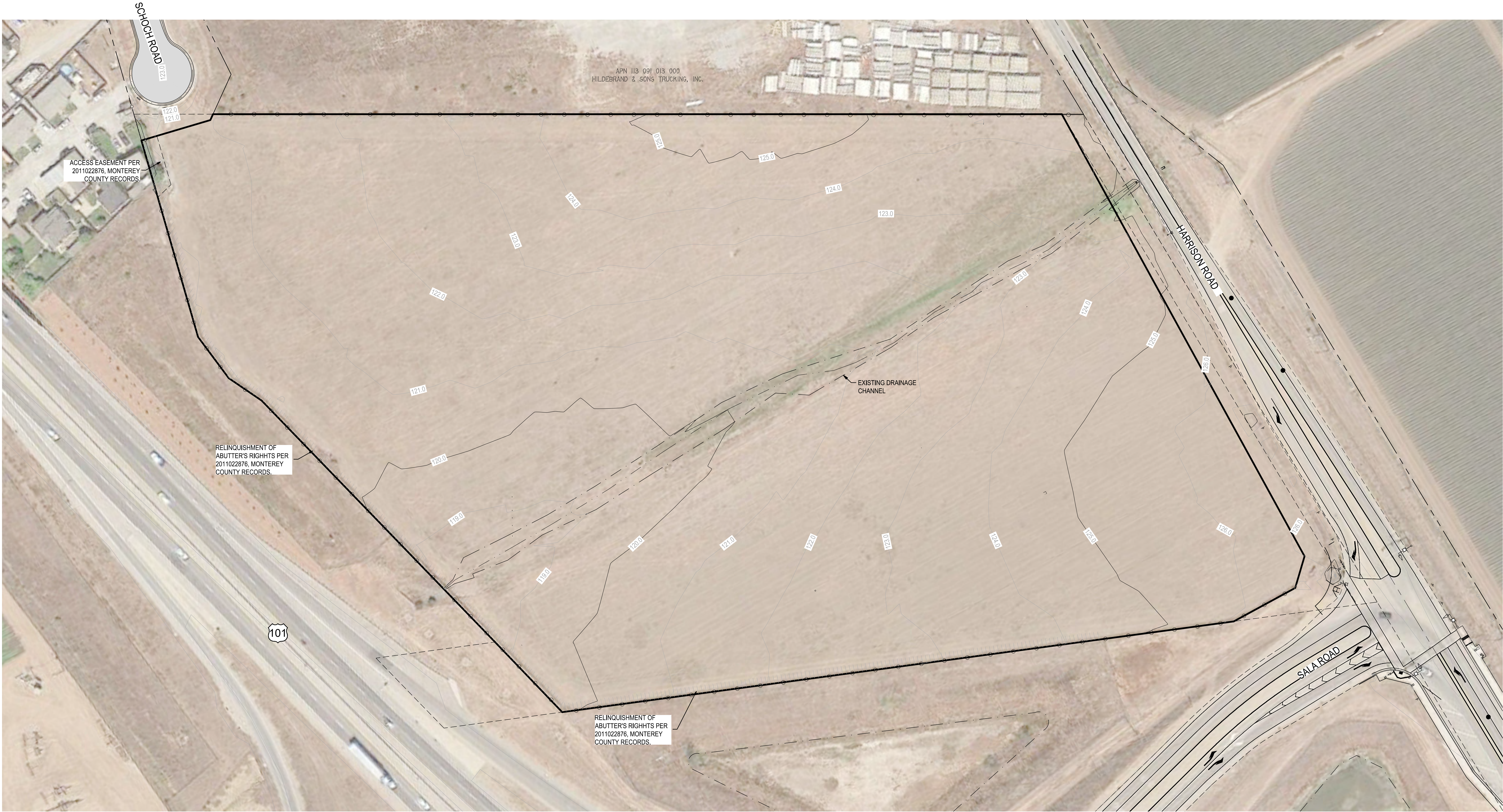
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Job No. 18106

SHEET:

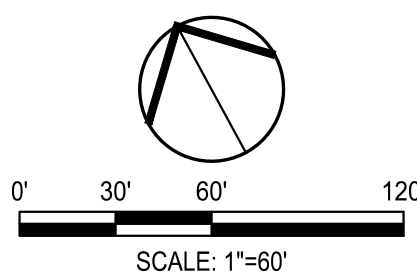
T-2

2 OF 17



- NOTES:
- 1. THERE ARE NO EXISTING STRUCTURES ON SUBJECT PROPERTY.
 - 2. THERE ARE NOT TREES ON THE SUBJECT PROPERTY.
 - 3. THERE ARE NO STORM DRAIN MAINS, SEWER MAINS, OR WATER MAINS ON THE PROPERTY OR IN THE PROPERTY FRONTAGE.
 - 4. EXISTING CONDITIONS BASED ON FIELD SURVEY PERFORMED BY SIEGFRIED ENGINEERING, INC.

EXISTING CONDITIONS MAP
TENTATIVE PARCEL MAP
SALA ROAD CENTER



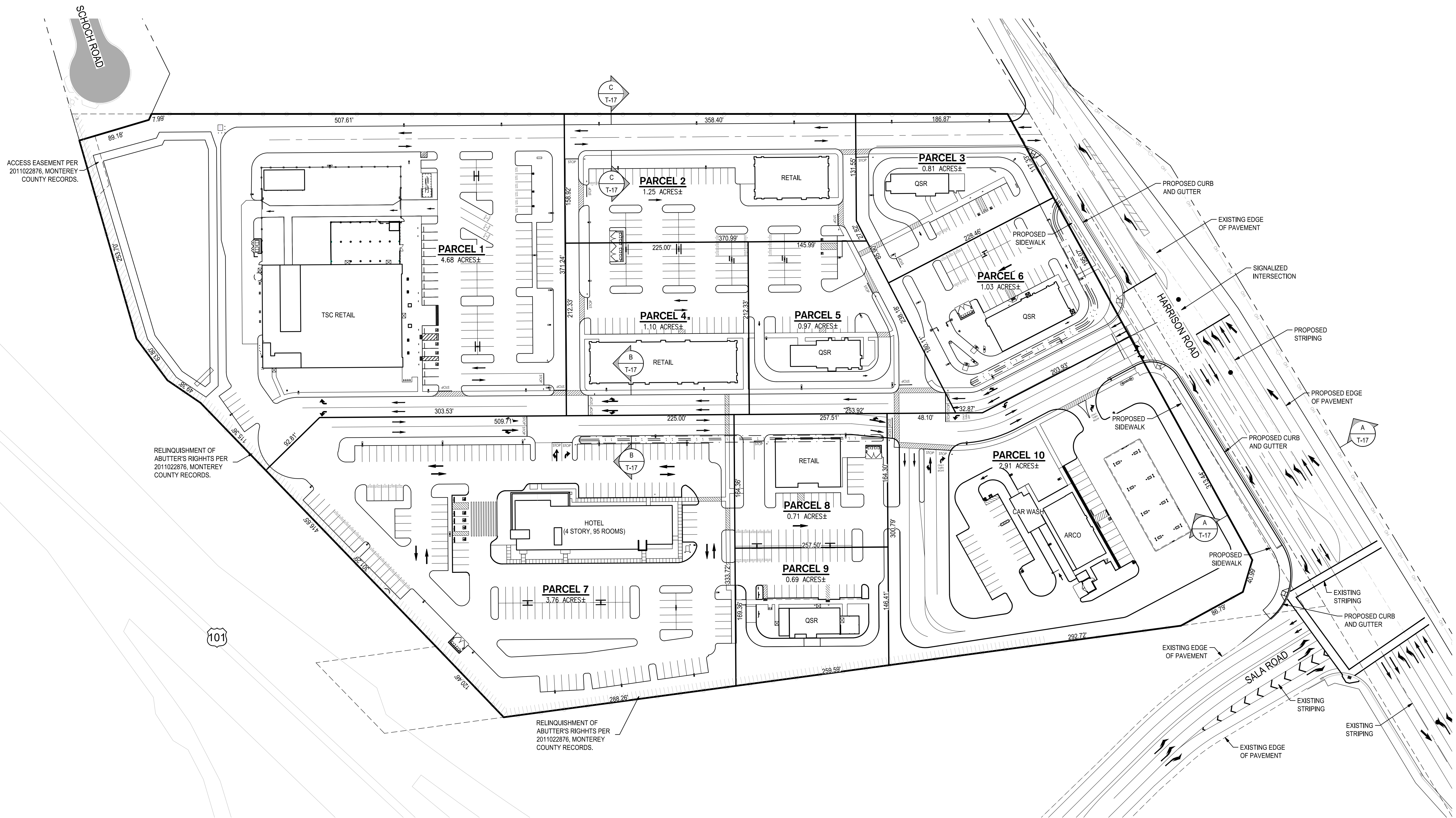


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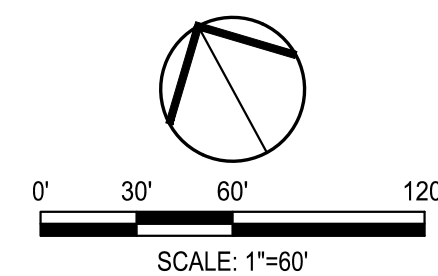
Date	10/24/2023
Job No.	18106
SHEET:	T-3
3 OF 17	

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AREA CALCULATIONS TABLE				
PARCEL NUMBER	PARCEL AREA (AC)	PARCEL AREA (SFT)	BUILDING AREA (SFT)	FLOOR AREA RATIO
EXISTING	17.93±	781,114±	—	—
1	4.68±	203,880±	21,702	11%
2	1.25±	55,709±	4,500	8%
3	0.81±	35,376±	1,875	5%
4	1.10±	47,773±	9,000	19%
5	0.97±	42,306±	2,750	7%
6	1.04±	45,083±	4,395	10%
7	3.76±	163,999±	41,693	25%
8	0.71±	30,934±	5,000	12%
9	0.69±	29,956±	2,500	6%
10	2.91±	126,733±	5,511	4%
TOTAL	17.93±	781,114±	98,926	13%

FULL BUILD OUT SITE MAP
TENTATIVE PARCEL MAP
SALA ROAD CENTER

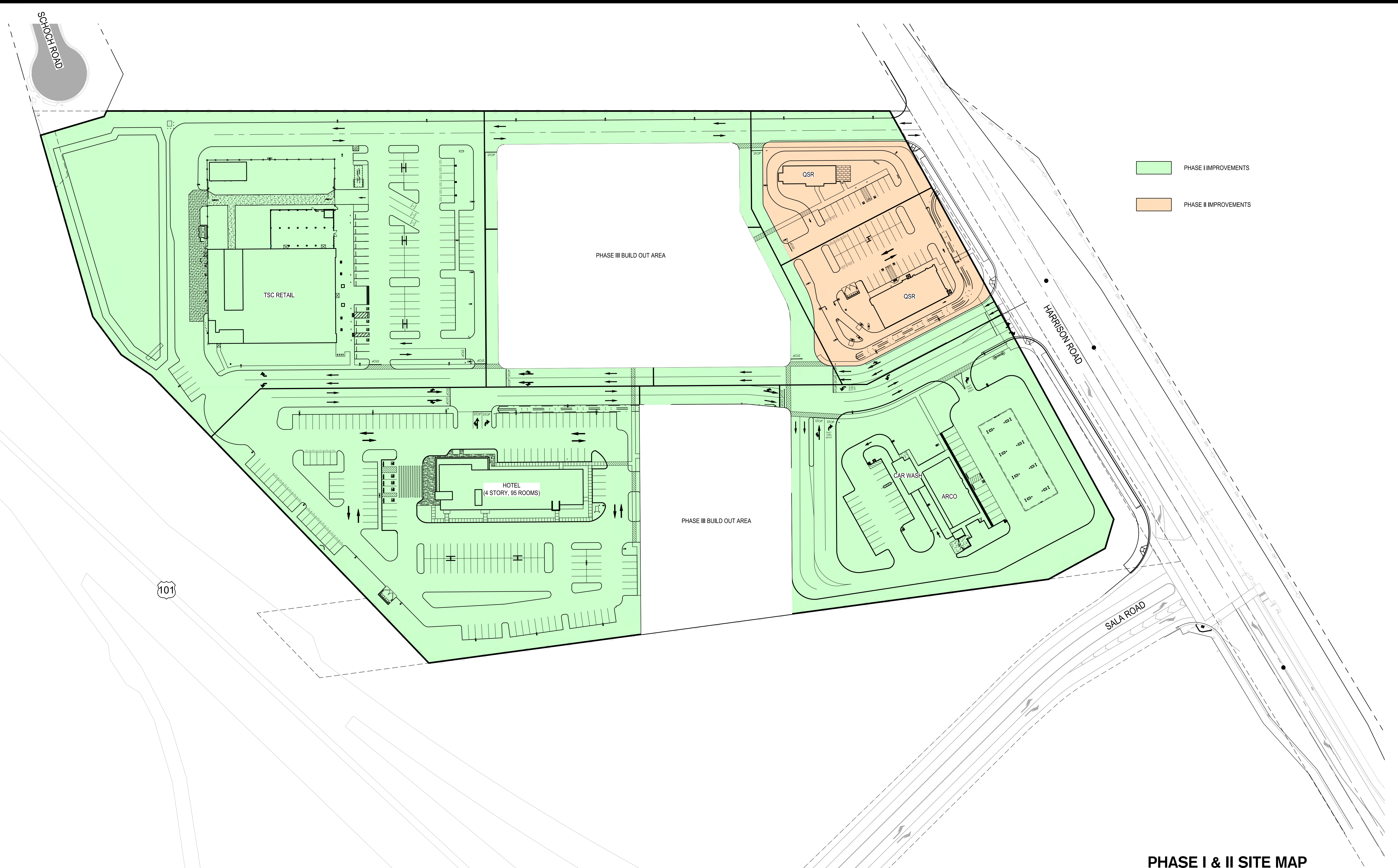


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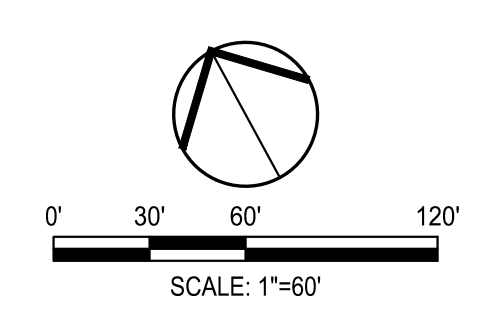
- CIVIL ENGINEERING
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- PLANNING

Date	10/24/2023
Job No.	18106
SHEET:	T-4
4 OF: 17	

F:\Projects\18106 - TSC Salina\Plans and Graphics\Improvement Plans\18106 T-5 PHASE I SITE MAP.dwg -- 10/24/23



PHASE I & II SITE MAP
TENTATIVE PARCEL MAP
SALA ROAD CENTER



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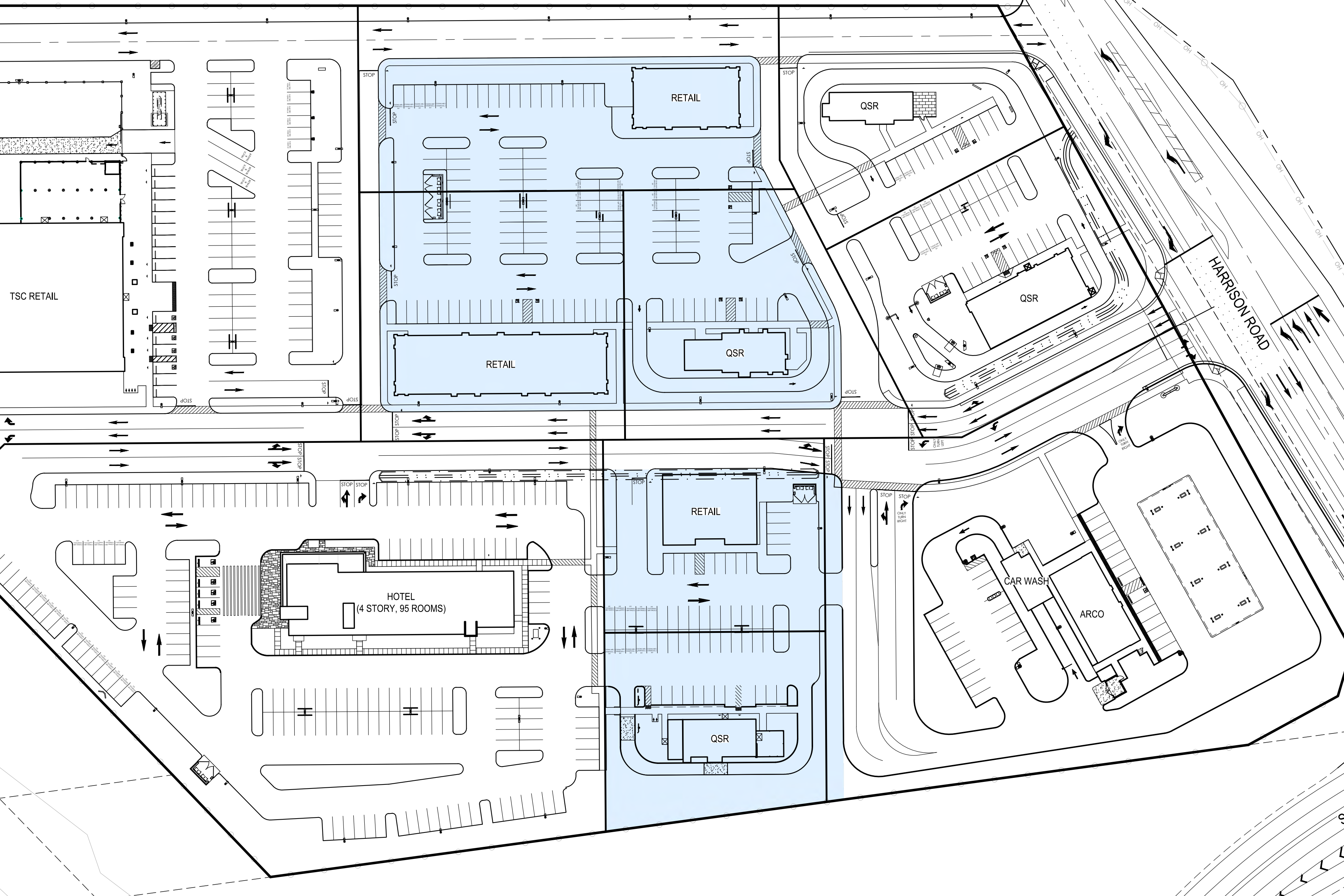
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- STRUCTURAL ENGINEERING
- SURVEYING
- PLANNING

Date	10/24/2023
Job No.	18106
SHEET:	T-5

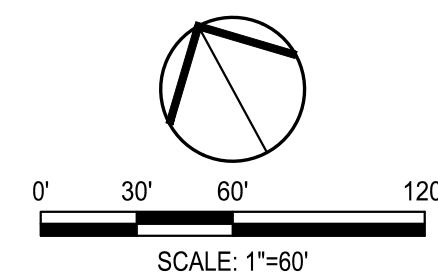
5 OF: 17

F:\Projects\18106 - TSC Salina\Plans and Graphics\Improvement Plans\18106 T-6 PHASE II SITE MAP.dwg --- 10/24/23

SCHOCH ROAD



PHASE III SITE MAP
TENTATIVE PARCEL MAP
SALA ROAD CENTER



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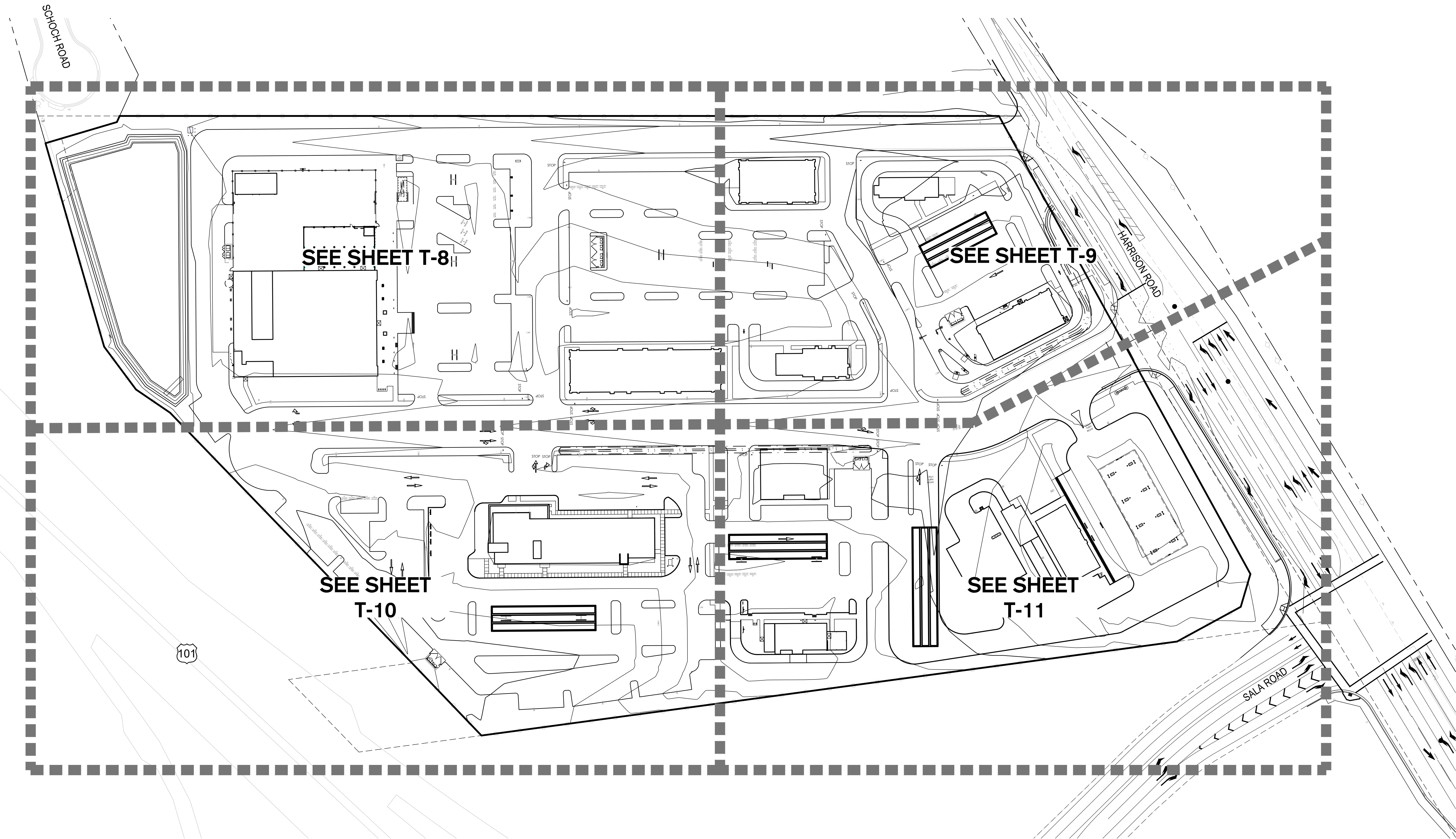
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- PLANNING

Date 10/24/2023

Job No. 18106

SHEET: T-6

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GRADING LEGEND

ABBREVIATION	DESCRIPTION
BW	BACK OF WALK
BOW	BOTTOM OF WALL
C	CONCRETE
DG	DECOMPOSED GRANITE
EC	EXISTING CONCRETE
EFL	EXISTING FLOWLINE
EG	EXISTING GROUND
EL	ELEVATION
EP	EXISTING PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISH GROUND
FP	FINISH PAD ELEVATION
FL	FLOWLINE
G	GROUND
GB	GRADE BREAK
HP	HIGH POINT
LB	LIGHT BASE
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
P	PAVEMENT
TC	TOP OF CURB
TOW	TOP OF WALL
TYP	TYPICAL

LEGEND

	OVERLAND RELEASE
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR
	RE-ROUTED DRAINAGE CHANNEL
	GRADE BREAK
	RIDGE

AREA OF DISTURBANCE AND MASS GRADING EARTHWORK SUMMARY		
DESCRIPTION	CUT (CY)	FILL (CY)
PROPOSED IMPROVEMENTS	12,876	12,309
NET	567 CY	
ESTIMATED AREA OF DISTURBANCE	19.7 AC	

NOTES

- TOTAL REQUIRED RETENTION FOR TIER 3 (95TH PERCENTILE = 1.2 INCHES) IS 87,847 CF
- CUT/FILL QUANTITIES ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN EXISTING GRADE AND FINISHED GRADE ELEVATIONS AS SHOWN ON THE PLANS. AN APPROXIMATE QUANTITY WAS USED FOR THE UNDERCUT OF THE PROPOSED IMPROVEMENTS BY ANTICIPATING AN AVERAGE DEPTH OF 1' FOR FUTURE ROADS, BUILDINGS, AND PARKING.
- GEOTECHNICAL REPORT PREPARED BY KRAZAN & ASSOCIATES, INC. KA PROJECT NO. 042-18008

STORMWATER CALCULATIONS

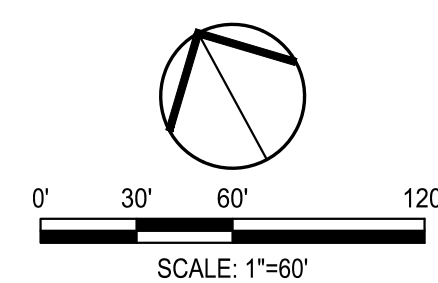
DESCRIPTION	ESTIMATED AREA
PERVIOUS AREA	171,648 SF
IMPERVIOUS AREA	686,595 SF
TOTAL	858,243 SF (19.7 ACRES)
RUNOFF COEFFICIENT "C"	0.80
WATERSHED MANAGEMENT ZONE	1
TIER 3 REQUIREMENT (95TH PERCENTILE)	1.20 INCHES
10-YEAR 48-HOUR RAIN EVENT	3.67 INCHES
ASSUMED SOIL GROUP/TYPE	C (CHULAR LOAM)
ABSORPTION RATE	0.21 GAL/DAY/FT^2

STORMWATER RETENTION (OVERALL SITE)

TIER 3 VOLUME REQUIREMENT	87,847 CF
TIER 4 PEAK RUNOFF VOLUME REQUIREMENT	204,505 CF
10-YEAR 48-HOUR VOLUME REQUIREMENT	212,608 CF
RETENTION VOLUME PROVIDED	215,000 CF

OVERALL CONCEPTUAL ROUGH GRADING PLAN

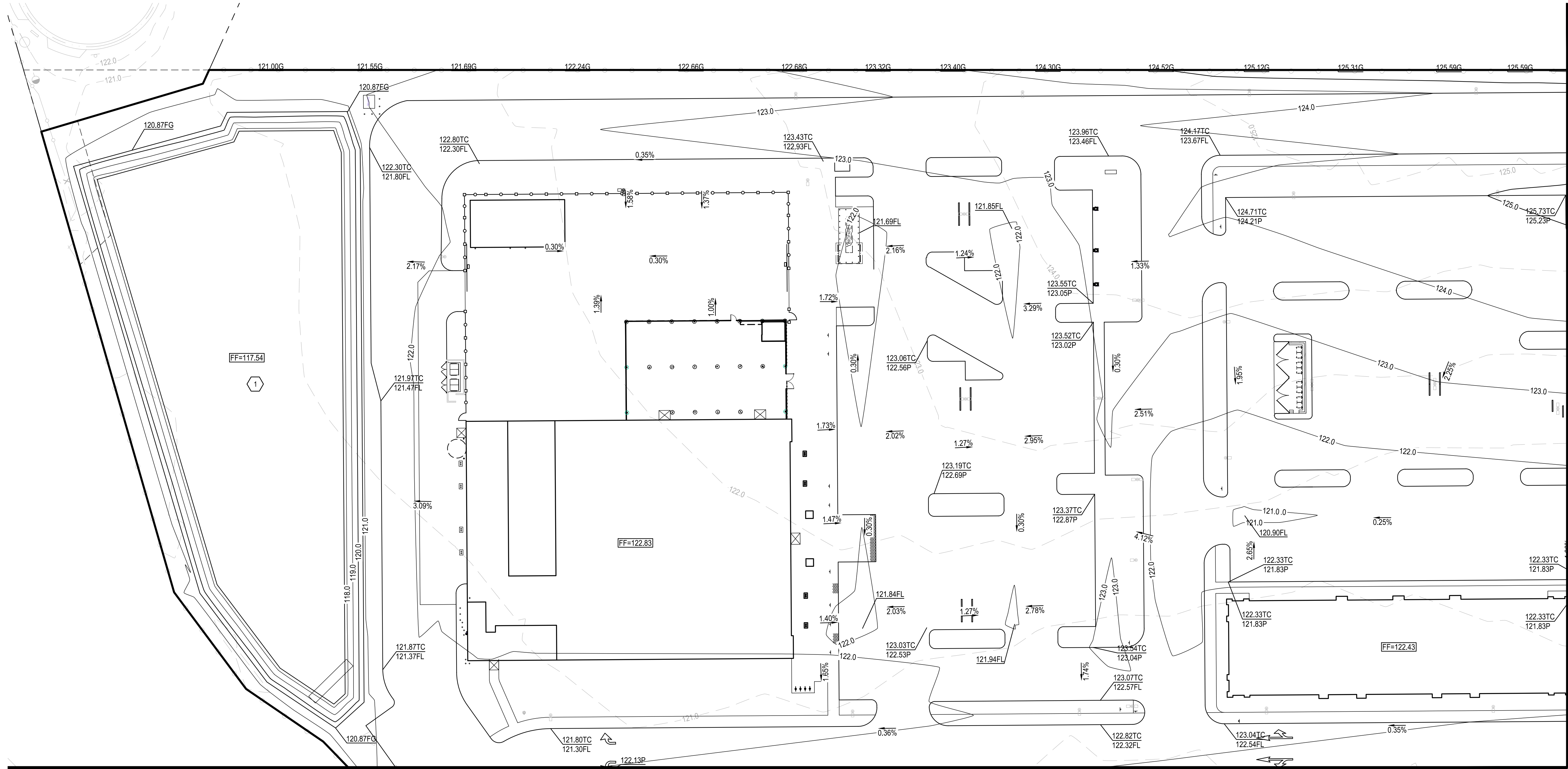
TENTATIVE PARCEL MAP SALA ROAD CENTER



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- SURVEYING
- PLANNING

Date	10/24/2023
Job No.	18106
SHEET:	T-7



FOR CONTINUATION SEE SHEET T-9 - CONCEPTUAL ROUGH GRADING PLAN II

FOR CONTINUATION SEE SHEET T-10 - CONCEPTUAL ROUGH GRADING PLAN III

GRADING LEGEND

ABBREVIATION	DESCRIPTION
BW	BACK OF WALK
BOW	BOTTOM OF WALL
C	CONCRETE
DG	DECOMPOSED GRANITE
EC	EXISTING CONCRETE
EFL	EXISTING FLOWLINE
EG	EXISTING GROUND
EL	ELEVATION
EP	EXISTING PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISH GROUND
FP	FINISH PAD ELEVATION
FL	FLOWLINE
G	GROUND
GB	GRADE BREAK
HP	HIGH POINT
LB	LIGHT BASE
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
P	PAVEMENT
TC	TOP OF CURB
TOW	TOP OF WALL
TYP	TYPICAL

LEGEND

	OVERLAND RELEASE
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR
	RE-ROUTED DRAINAGE CHANNEL
	GRADE BREAK
	RIDGE

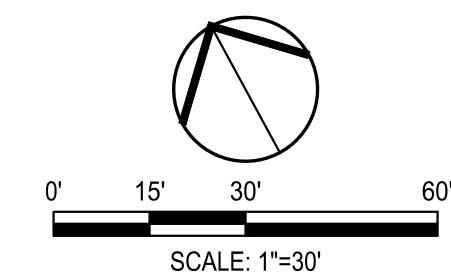
KEY NOTES

- 1 INSTALL DETENTION BASIN (96,105 CF)

CONCEPTUAL ROUGH GRADING PLAN I

TENTATIVE PARCEL MAP

SALA ROAD CENTER



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- PLANNING

Date	10/24/2023
Job No.	18106
SHEET:	T-8

F:\Projects\18106 - TSP Salinas\Plans and Graphics\Improvement Plans\18106 T-10 CONCEPTUAL ROUGH GRADING PLAN III.dwg --- 10/24/23

FOR CONTINUATION SEE SHEET T-8 - CONCEPTUAL ROUGH GRADING PLAN I

FOR CONTINUATION SEE SHEET T-11 - CONCEPTUAL ROUGH GRADING PLAN IV

GRADING LEGEND

ABBREVIATION

BW
BOW
C
DG
EC
EFL
EG
EL
EP
EX
FF
FG
FP
FL
G
GB
HP
LB
LP
MAX
MIN
P
TC
TOW
TYP

DESCRIPTION

BACK OF WALK
BOTTOM OF WALL
CONCRETE
DECOMPOSED GRANITE
EXISTING CONCRETE
EXISTING FLOWLINE
EXISTING GROUND
ELEVATION
EXISTING PAVEMENT
EXISTING
FINISHED FLOOR ELEVATION
FINISH GROUND
FINISH PAD ELEVATION
FLOWLINE
GROUND
GRADE BREAK
HIGH POINT
LIGHT BASE
LOW POINT
MAXIMUM
MINIMUM
PAVEMENT
TOP OF CURB
TOP OF WALL
TYPICAL

LEGEND

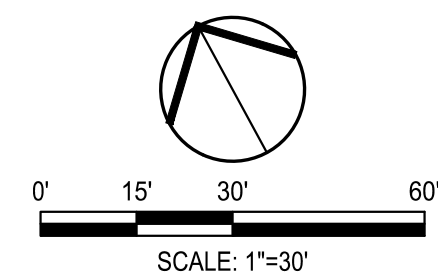
- OVERLAND RELEASE
- 3.0 --- EXISTING GROUND CONTOUR
- 3.0 --- PROPOSED GROUND CONTOUR
- RE-ROUTED DRAINAGE CHANNEL
- G.B. --- GRADE BREAK
- RIDGE --- RIDGE

KEY NOTES

- 1 INSTALL 6" DIAMETER HORIZONTAL FRENCH DRAIN SYSTEM (26.445 CF)
PER DETAIL 1, SHEET T-9

CONCEPTUAL ROUGH GRADING PLAN III

TENTATIVE PARCEL MAP SALA ROAD CENTER



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■ CIVIL ENGINEERING
■ STRUCTURAL ENGINEERING
■ SURVEYING
■ PLANNING

Date	10/24/2023
Job No.	18106
SHEET:	T-10
10	OF: 17

GRADING LEGEND

ABBREVIATION

BW
BOW
C
DG
EC
EFL
EG
EL
EP
EX
FF
FG
FP
FL
G
GB
HP
LB
LP
MAX
MIN
P
TC
TOW
TYP

DESCRIPTION

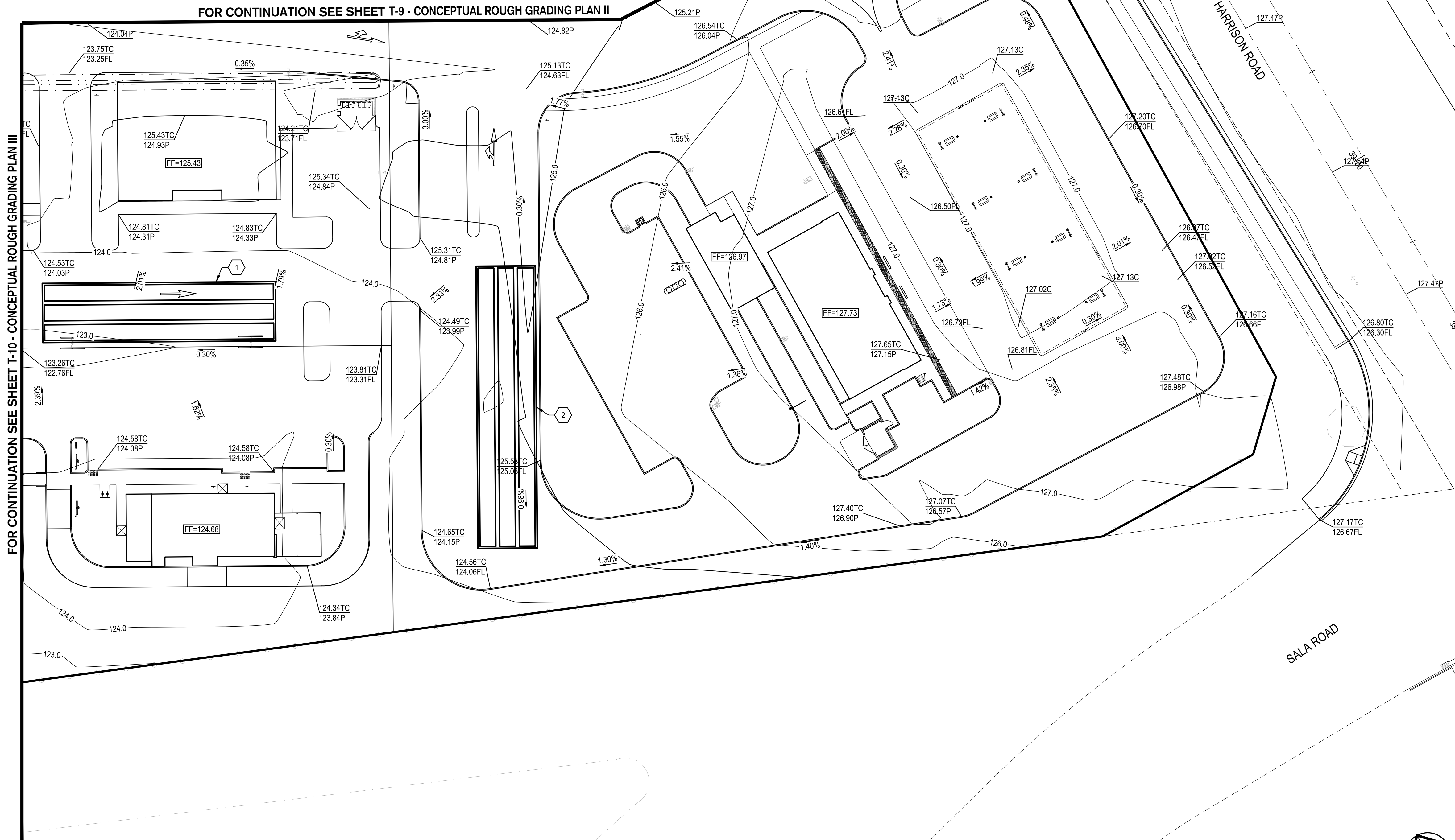
BACK OF WALK
BOTTOM OF WALL
CONCRETE
DECOMPOSED GRANITE
EXISTING CONCRETE
EXISTING FLOWLINE
EXISTING GROUND
ELEVATION
EXISTING PAVEMENT
EXISTING
FINISHED FLOOR ELEVATION
FINISH GROUND
FINISH PAD ELEVATION
FLOWLINE
GROUND
GRADE BREAK
HIGH POINT
LIGHT BASE
LOW POINT
MAXIMUM
MINIMUM
PAVEMENT
TOP OF CURB
TOP OF WALL
TYPICAL

LEGEND

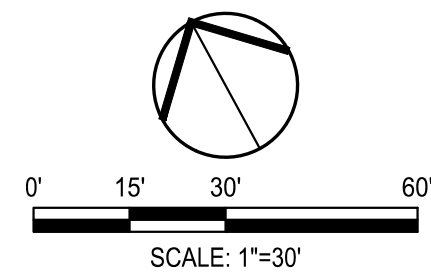
→ OVERLAND RELEASE
--- 3.0 --- EXISTING GROUND CONTOUR
--- 3.0 --- PROPOSED GROUND CONTOUR
--- G.B. --- RE-ROUTED DRAINAGE CHANNEL
--- G.B. --- GRADE BREAK
--- RIDGE --- RIDGE

KEY NOTES

- 1 INSTALL 6" DIAMETER HORIZONTAL FRENCH DRAIN SYSTEM (24,080 CF)
PER DETAIL 1, SHEET T-9
2 INSTALL 6" DIAMETER HORIZONTAL FRENCH DRAIN SYSTEM (42,355 CF)
PER DETAIL 1, SHEET T-9



CONCEPTUAL ROUGH GRADING PLAN IV

TENTATIVE PARCEL MAP
SALA ROAD CENTER**SIEGFRIED**

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Date 10/24/2023

Job No. 18106

SHEET:

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EXISTING UTILITIES:

- EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITHIN 48 HOURS PRIOR OF CONSTRUCTION TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

TRENCH EXCAVATION SAFETY PROTECTION:

CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS, AND / OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND / OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

UTILITY CONSTRUCTION NOTES:

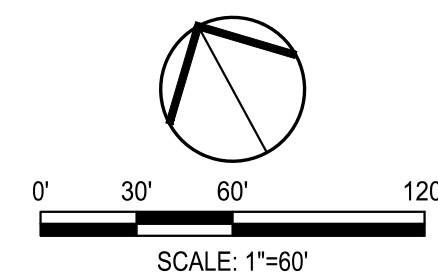
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF SALINAS STANDARD SPECIFICATIONS (LATEST EDITION) AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
- ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
- EXTREME CAUTION SHALL BE USED WHEN NEAR PG&E FACILITIES. EXACT DEPTH AND LOCATION OF PG&E GAS MAIN UNKNOWN.
- WATER SERVICES NOT USED SHALL BE REMOVED AT THE MAIN. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FROM CITY OF STOCKTON FOR THIS WORK.

LEGEND:

- SS EXISTING SANITARY SEWER TO BE PROTECTED
- SD EXISTING SANITARY SEWER TO BE PROTECTED
- W EXISTING POTABLE WATER TO BE PROTECTED
- HPG EXISTING HIGH PRESSURE GAS TO BE PROTECTED
- SS PROPOSED SANITARY SEWER TO BE INSTALLED
- SD PROPOSED STORM DRAIN TO BE INSTALLED
- W PROPOSED POTABLE WATER TO BE INSTALLED
- FS PROPOSED FIRE SPRINKLER LINE TO BE INSTALLED
- FH PROPOSED FIRE HYDRANT LINE TO BE INSTALLED
- ELECTROLIER APPROXIMATE LOCATION OF PROPOSED SITE LIGHTING. SHOWN FOR REFERENCE ONLY.

KEYNOTES:

- 1 SANITARY SEWER PUMP STATION
- 2 SAND/OIL SEPARATOR
- 3 DETENTION BASIN
- 4 UNDERGROUND DETENTION BASIN
- 5 CONNECT TO EXISTING STORM DRAIN CULVERT TO ONSITE SWALE
- 6 DISCHARGE INTO EXISTING STORM DRAIN FACILITY
- 7 DETENTION BASIN OVERFLOW

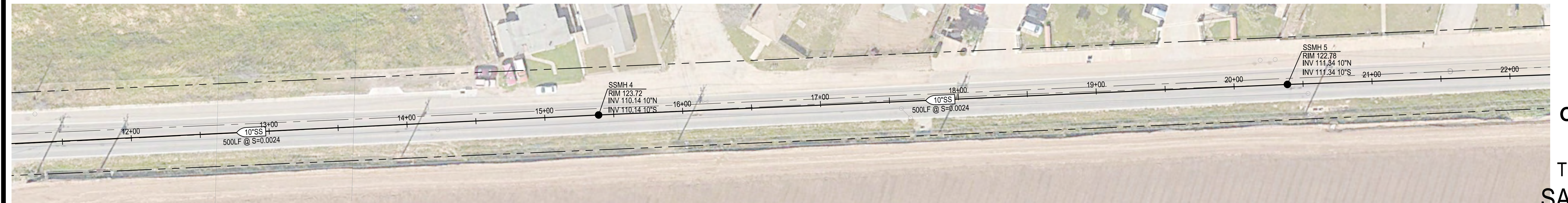
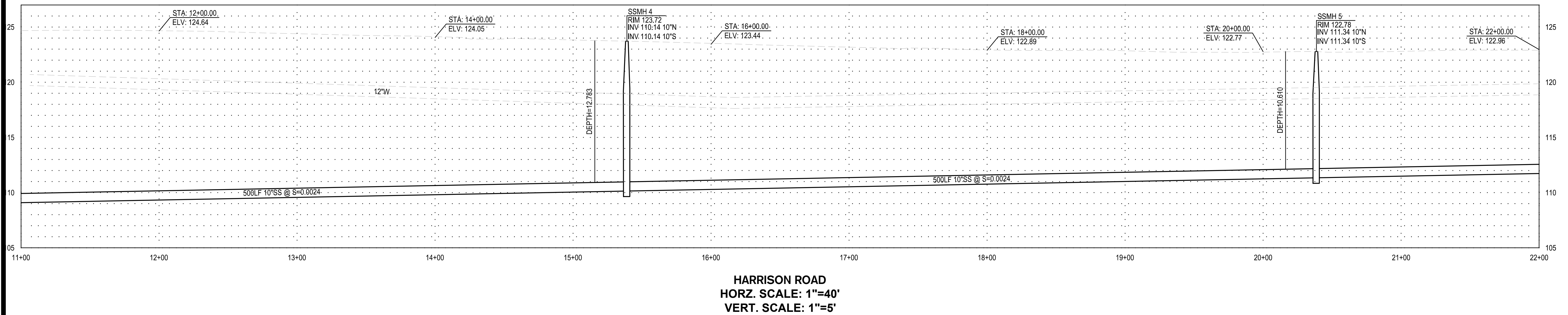
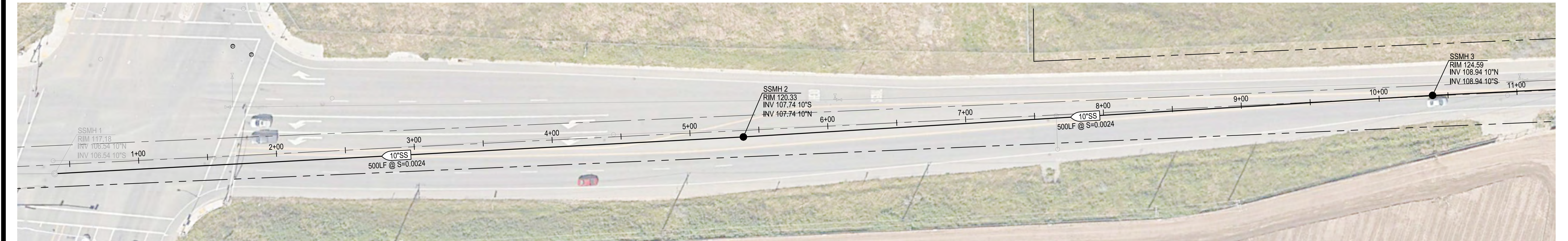
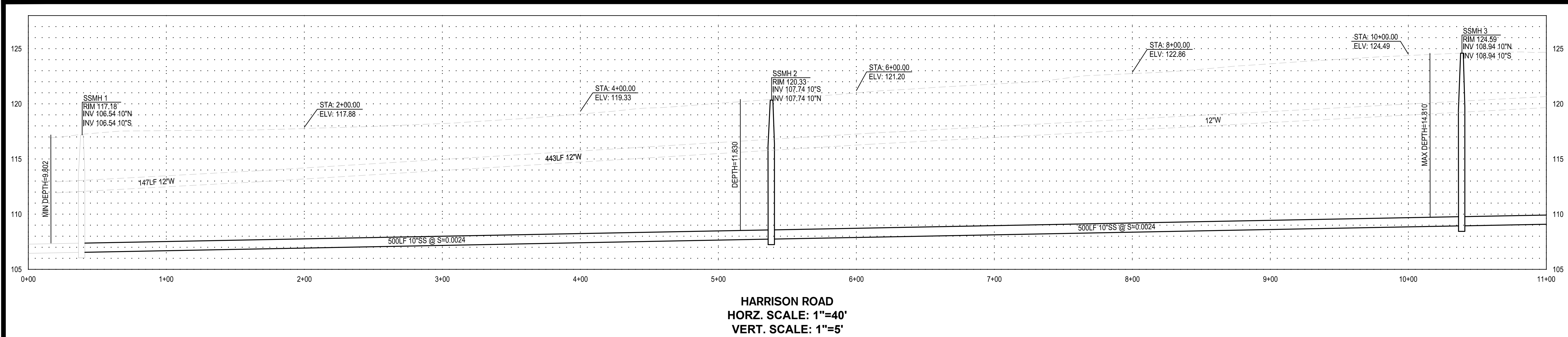


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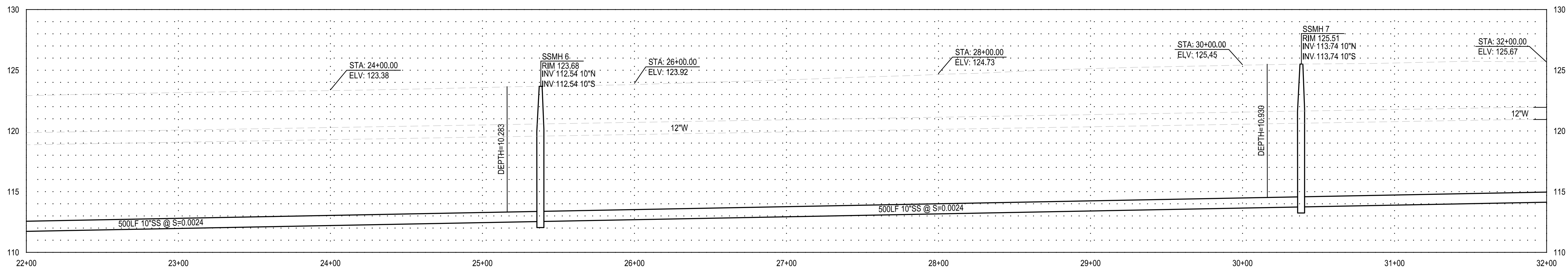
CONCEPTUAL UTILITY PLAN TENTATIVE PARCEL MAP SALA ROAD CENTER

Date 10/24/2023
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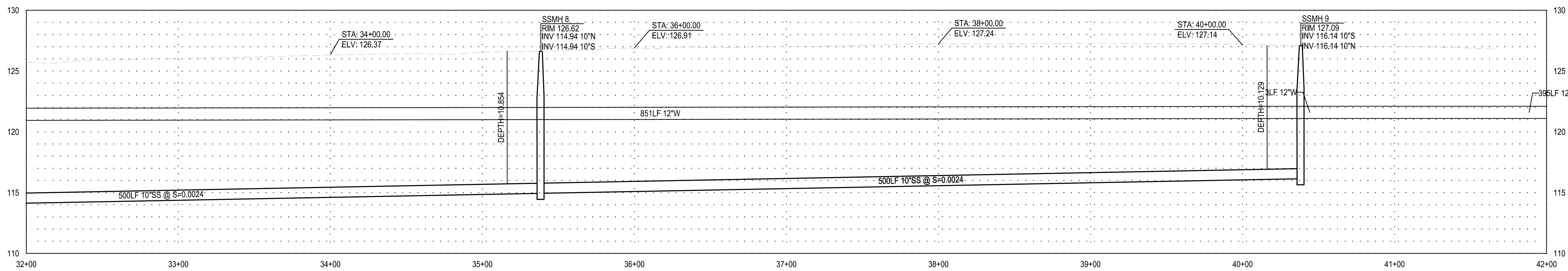
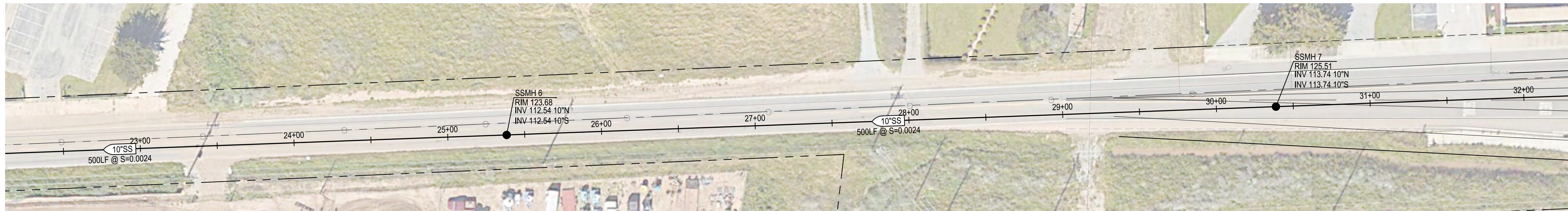


**CONCEPTUAL SEWER
SYSTEM PLAN I**
**TENTATIVE PARCEL MAP
SALA ROAD CENTER**

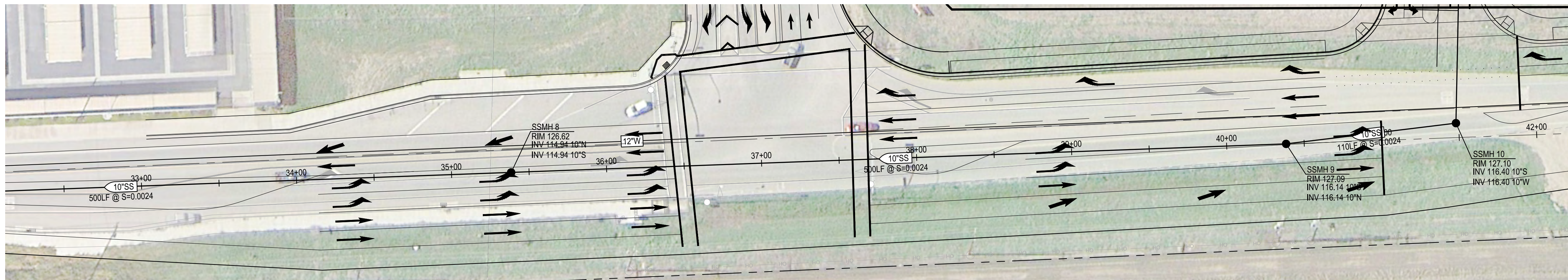
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HARRISON ROAD
HORZ. SCALE: 1"=40'
VERT. SCALE: 1"=5'

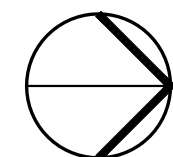


HARRISON ROAD
HORZ. SCALE: 1"=40'
VERT. SCALE: 1"=5'



CONCEPTUAL SEWER
SYSTEM PLAN II
TENTATIVE PARCEL MAP
SALA ROAD CENTER

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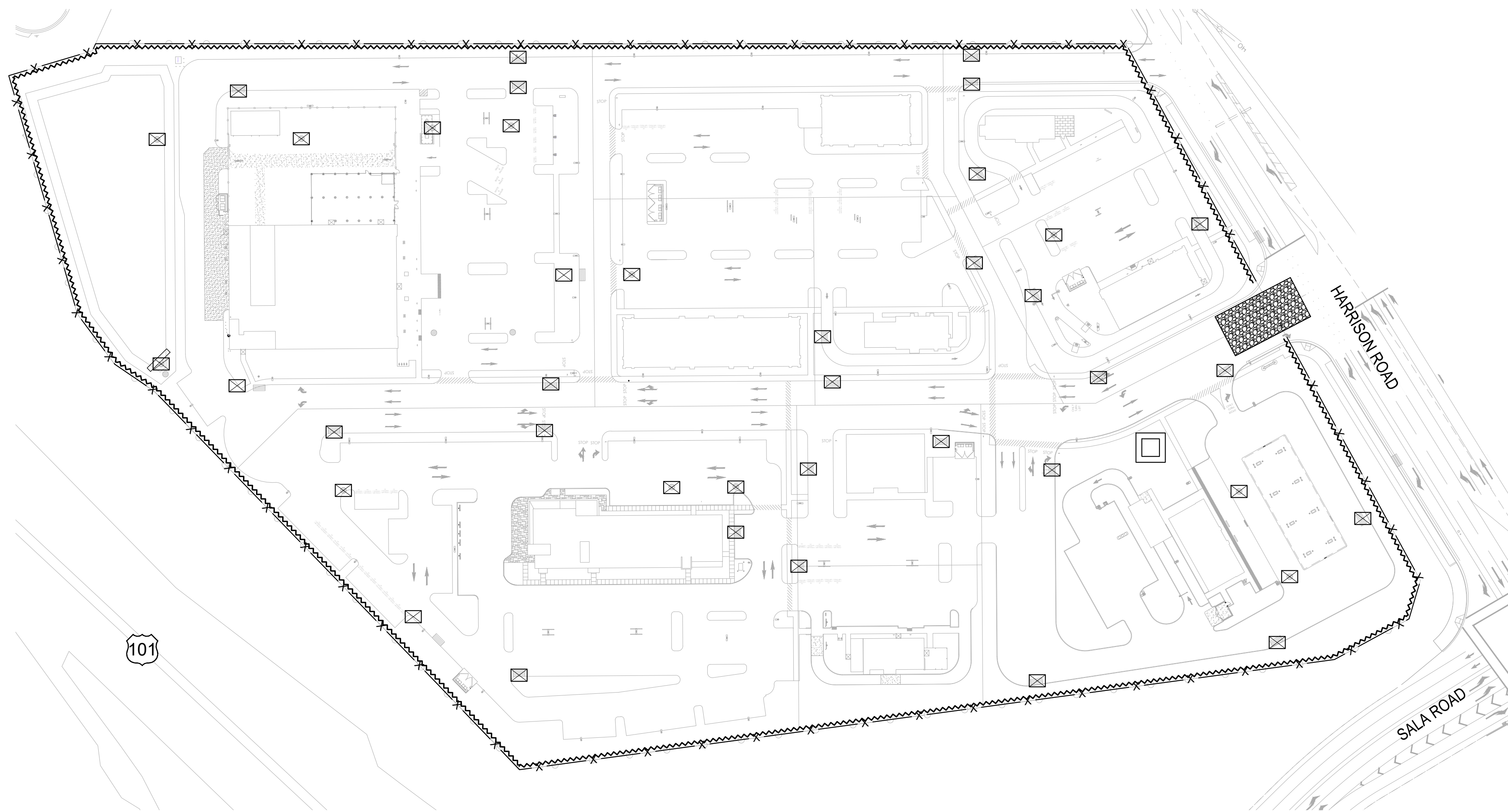
Job No. 18106

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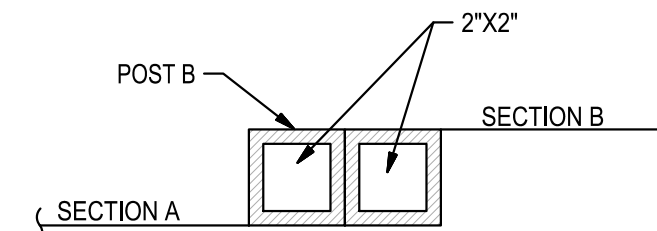
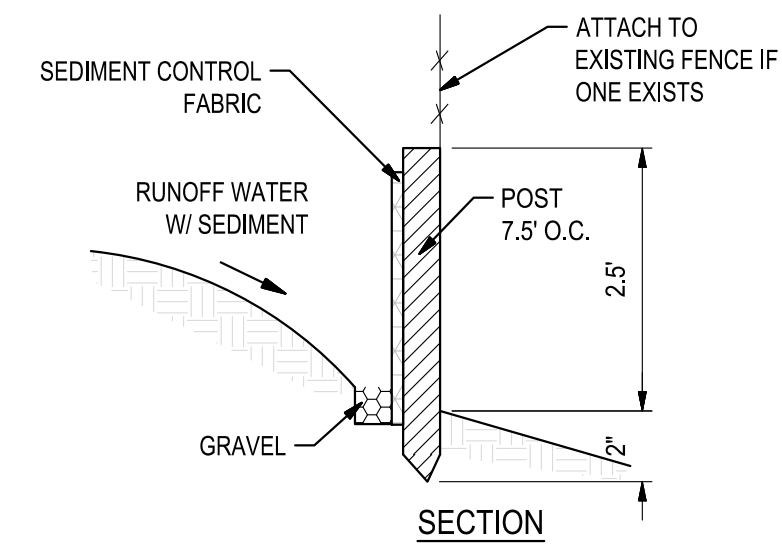
F:\Projects\18106 - TSP, Salas\Plans and Graphics\Improvement Plans\18106 T-15 EROSION CONTROL PLAN.dwg -- 10/24/23



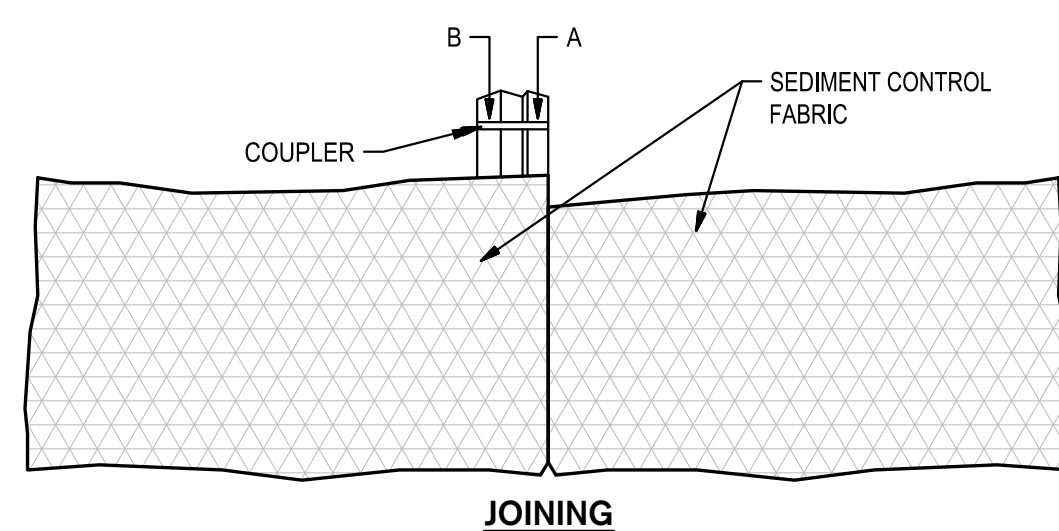
OVERALL EROSION CONTROL PLAN
SCALE: 1" = 80'

EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
	FIBER ROLLED WATTLE, SEE DETAIL THIS SHEET
	CONSTRUCTION FENCE
	SILT FENCE, SEE DETAIL THIS SHEET
	DRAIN INLET PROTECTION, SEE DETAIL THIS SHEET
	STABILIZED CONSTRUCTION ENTRANCE/EXIT, SEE DETAIL THIS SHEET
	CONCRETE WASHOUT, CONTRACTOR TO DETERMINE LOCATION, SEE DETAIL THIS SHEET
	FLOW DIRECTION (EXISTING)
	FLOW DIRECTION (PROPOSED)

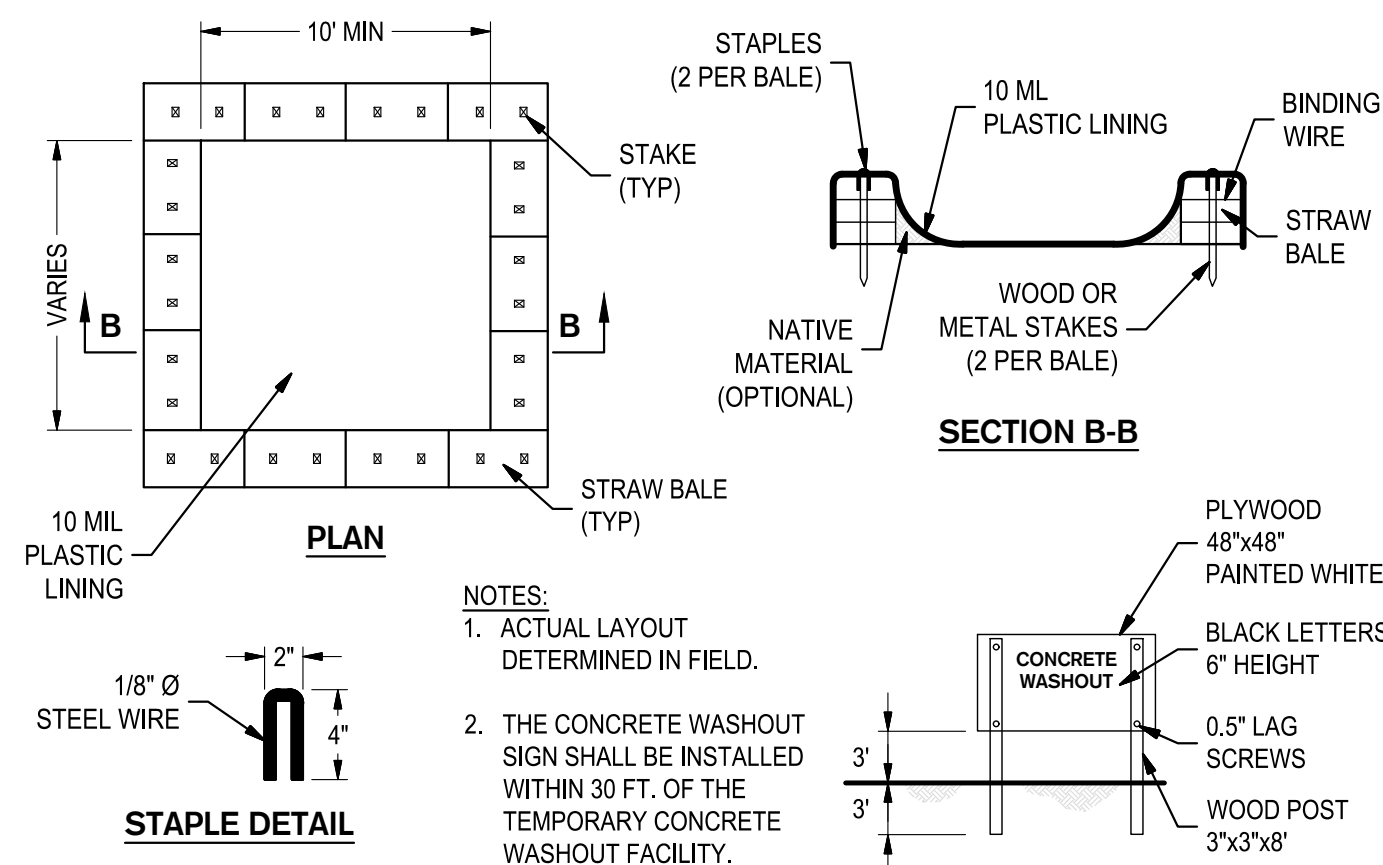


PLAN VIEW



JOINING

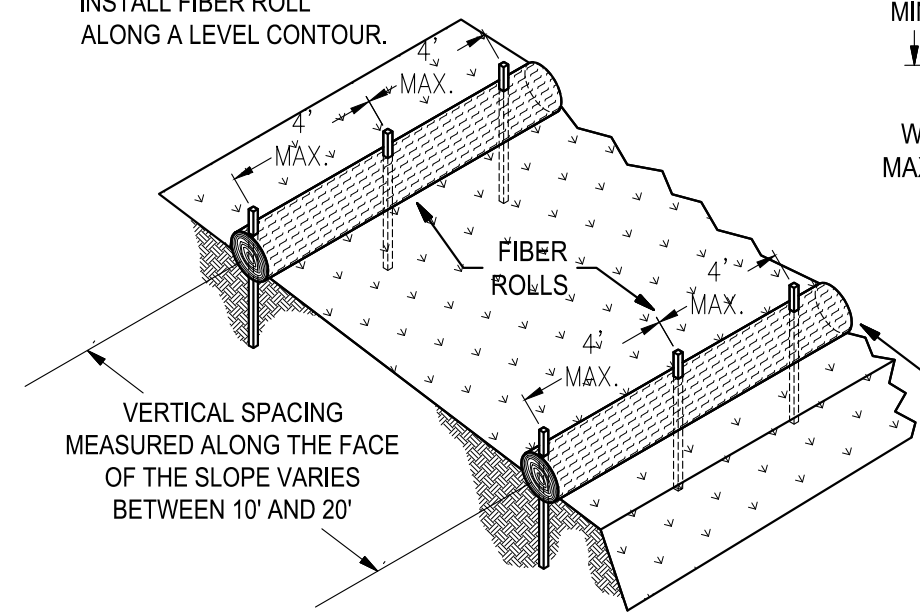
1 SILT FENCE SEDIMENT BARRIER (SE-1)
SCALE: NTS



2 CONCRETE WASH OUT (WM-8)
SCALE: NTS

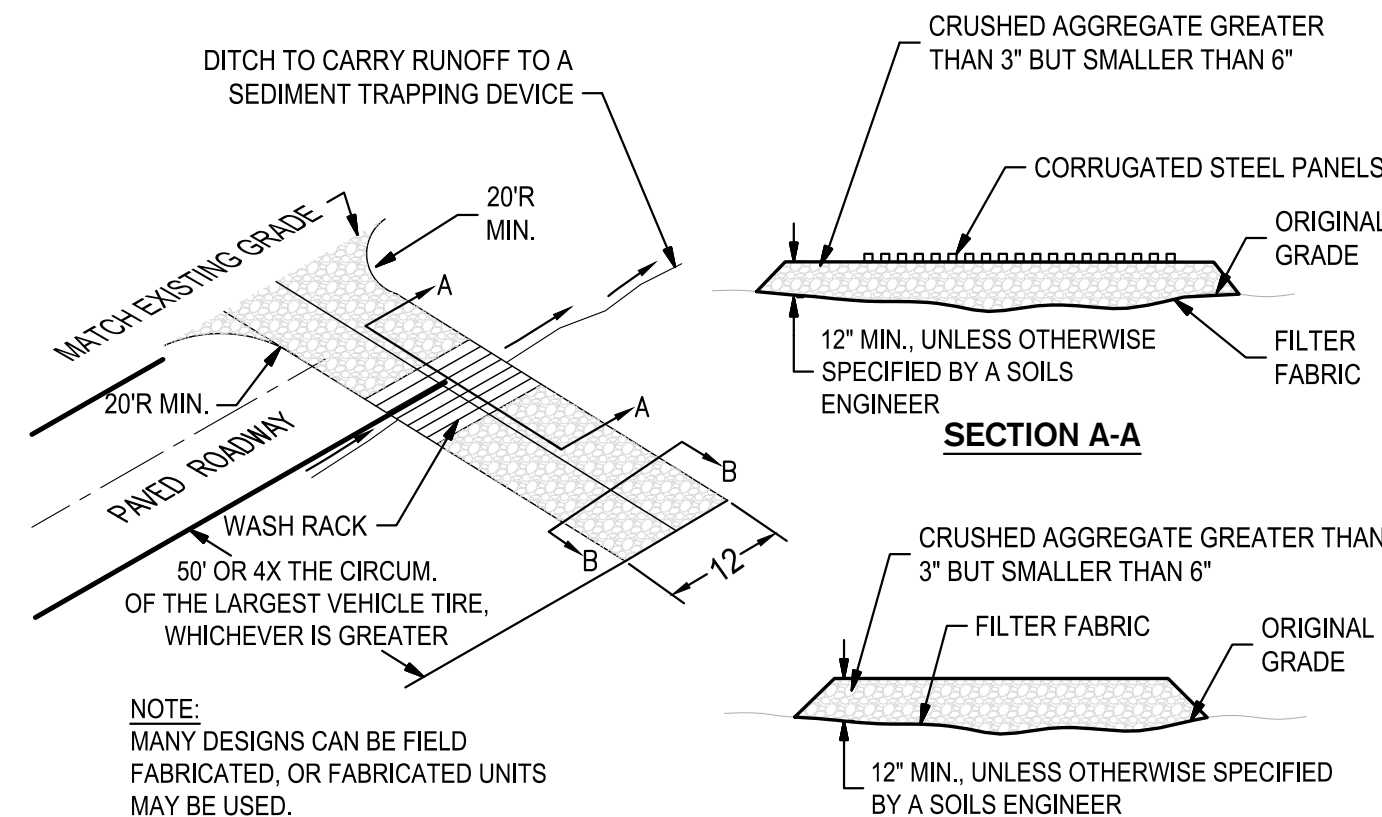
SLOPE %	ROLL SPACING
0-25	50 FT
25-50	15 FT
50% OF GREATER	10 FT

NOTE: INSTALL FIBER ROLL ALONG A LEVEL CONTOUR.



TYPICAL FIBER ROLL INSTALLATION

3 FIBER ROLLS (SE-5)
SCALE: NTS

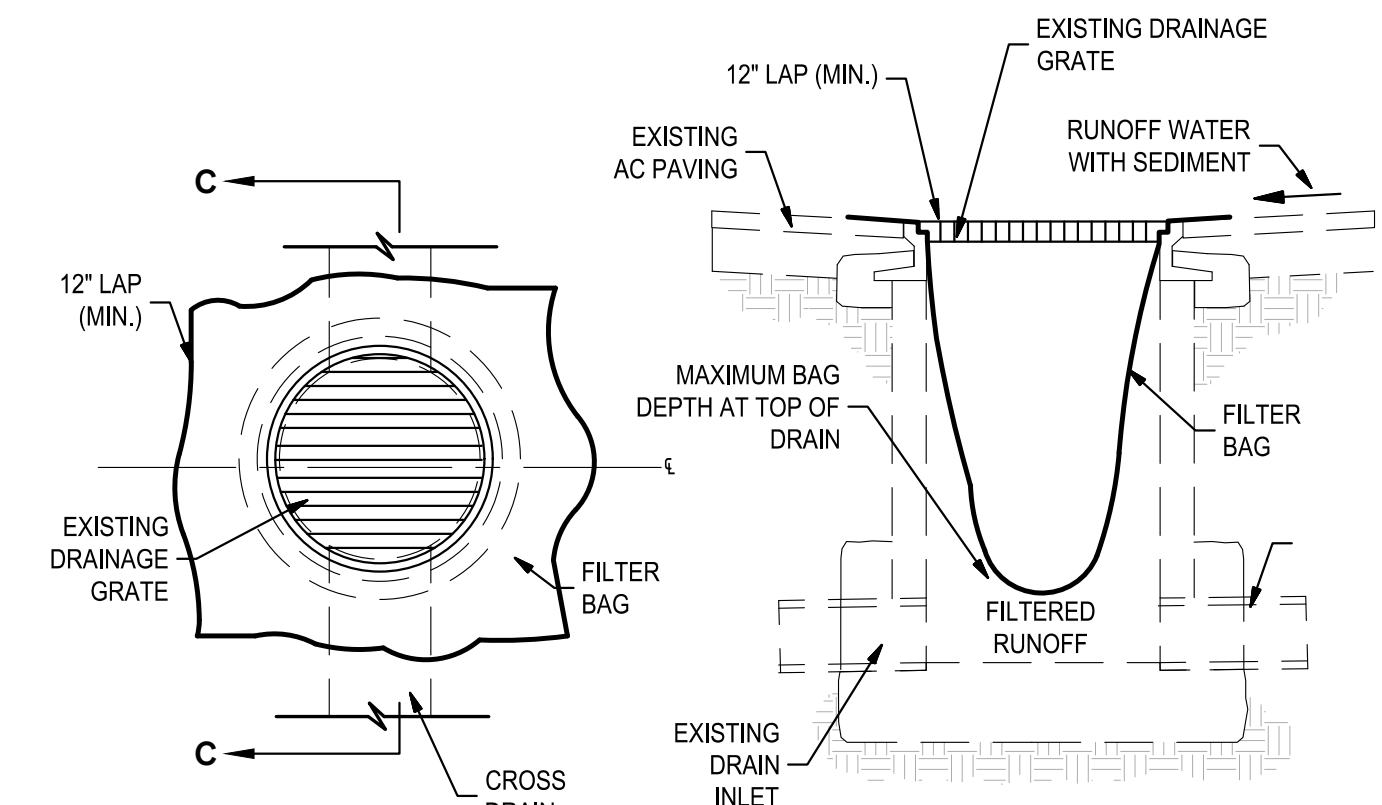


4 STABILIZED CONSTRUCTION ENTRANCE/EXIT TIRE WASH (TC-1)
SCALE: NTS

EROSION CONTROL GENERAL NOTES

- PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW ALL OFFSETS. THE SITE IS DYNAMIC AND CHANGES ON A DAILY BASIS. CHANGES SHOULD BE MADE ACCORDING TO EXISTING CONDITIONS. BECAUSE IT IS IMPOSSIBLE TO PREDICT ALL POSSIBLE SITUATIONS, CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES TO ENSURE QUALITY CONTROL.
- THE CONTRACTOR SHALL REVIEW THE CURRENT STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY FOR CONDUCTING HIS/HER OPERATIONS IN ADHERANCE TO THE SWPPP. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES, DELAYS, AND/OR DAMAGES RESULTING FROM ANY STATE WATER QUALITY CONTROL BOARD SANCTIONS CAUSED BY THE OPERATION OF THE CONTRACTOR OF HIS/HER SUBCONTRACTORS.
- THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY. THE CONTRACTOR SHALL FOLLOW THESE PLANS UNLESS FIELD CONDITIONS DICTATE MODIFICATION. IF MODIFICATION IS NECESSARY, A SWPPP AMENDMENT MUST BE DONE. THIS MAY REQUIRE MODIFICATION TO THESE DRAWINGS AND ENGINEER CONCURRENCE.
- INSPECT AND REPAIR FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE. SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM PAVEMENT OF ROAD.
- UNFINISHED AND DISTURBED AREAS ARE TO BE PROTECTED WITH AN APPLICATION OF BLOWN STRAW AND ORGANIC BINDER.

ITEM	LB/ACRE
STRAW	4,000
ORGANIC BINDER	200
- ALTERNATE INLET PROTECTION SHALL BE USED ON ROADS OPEN TO THE PUBLIC IF ANY HAZARDOUS MATERIALS OR WASTES WHICH HAVE BEEN TREATED, STORED, DISPOSED, SPILLED, OR LEAKED IN SIGNIFICANT QUANTITIES ONTO THE CONSTRUCTION SITE, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THEM FROM THE SITE AND DISPOSE OF PROPERLY.
- CHLORINATED OR DECHLORINATED WATER SHALL NOT BE DISCHARGED INTO THE STORM DRAIN SYSTEM. THE CONTRACTOR MAY DISPOSE THIS WATER INTO THE SANITARY SEWER SYSTEM UPON APPROVAL BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL KEEP MAINTENANCE, INSPECTION, AND REPAIR PROCEDURES TO ENSURE THAT ALL GRADED SURFACES, WALLS, BERMS, DRAINAGE STRUCTURES, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER CONTROLS ARE MAINTAINED IN GOOD AND EFFECTIVE CONDITION AND ARE PROMPTLY REPAIRED OR RESTORED WHEN NECESSARY. ANY DEWATERING WATER SHALL NOT BE DISCHARGED DIRECTLY INTO THE STORM WATER SYSTEM, AND SHALL NOT BE DISCHARGED INTO THE SEWER SYSTEM.
- ALL DEWATERING WATER MUST BE CHanneled THROUGH AN APPROVED SEDIMENT BARRIER PRIOR TO THE WATER ENTERING THE STORM SYSTEM.
- PAVEMENT CLEANING- FLUSHING OF STREETS/ PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. PREFERABLY, AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
- ALL STOCKPILES OF MATERIALS THAT ARE NOT GOING TO BE USED FOR 14 DAYS SHALL BE COVERED.
- CONTRACTOR TO USE BEST MANAGEMENT PRACTICES (BMPs) THROUGHOUT CONSTRUCTION. USE ALL BMPs THAT APPLY TO THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING BMPs:
 - DRAIN INLET PROTECTION - CALIFORNIA STORMWATER BMP HANDBOOK SECTION SE-10
 - SOLID WASTE MANAGEMENT - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-5
 - MATERIAL STORAGE - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-1
 - PAVING - CALIFORNIA STORMWATER BMP HANDBOOK SECTION NS-3
 - DUST CONTROL, SEDIMENT CONTROL, EROSION CONTROL AND CONCRETE WASHOUT AREAS - SHOWN ON THIS SHEET WITH DETAILS



PLAN VIEW

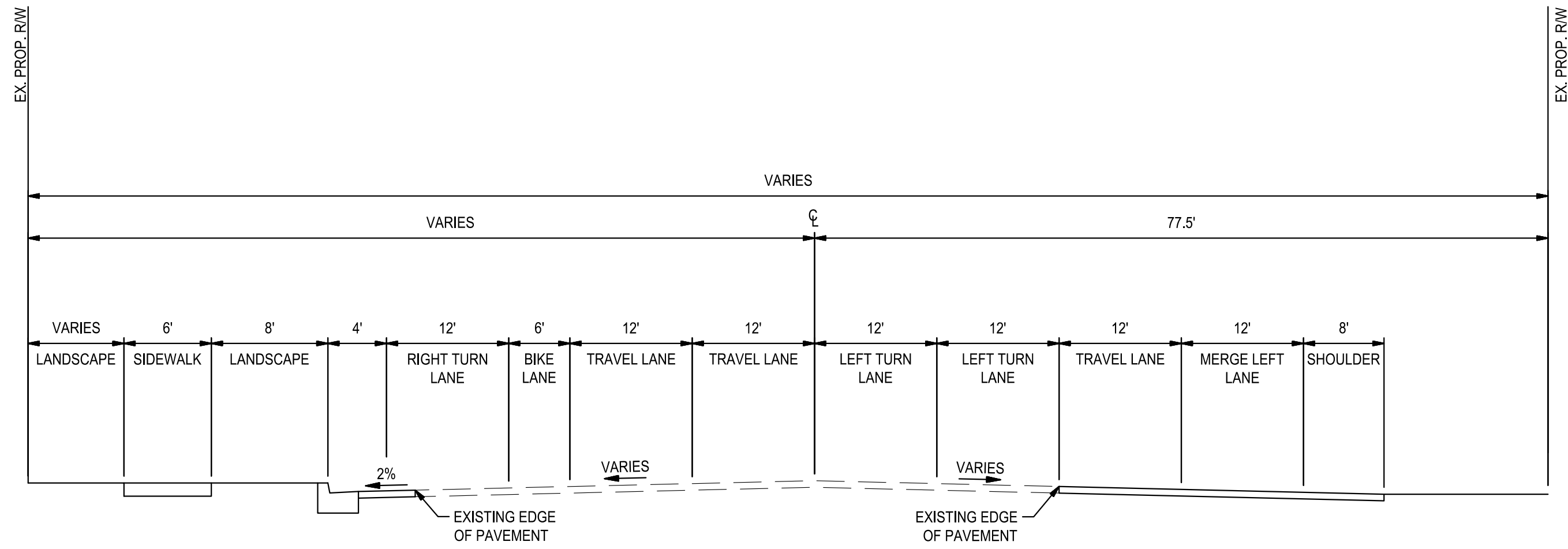
SECTION C-C

5 DI PROTECTION TYPE 3 - GRAVEL BAG DETAIL (SE-10)
SCALE: NTS

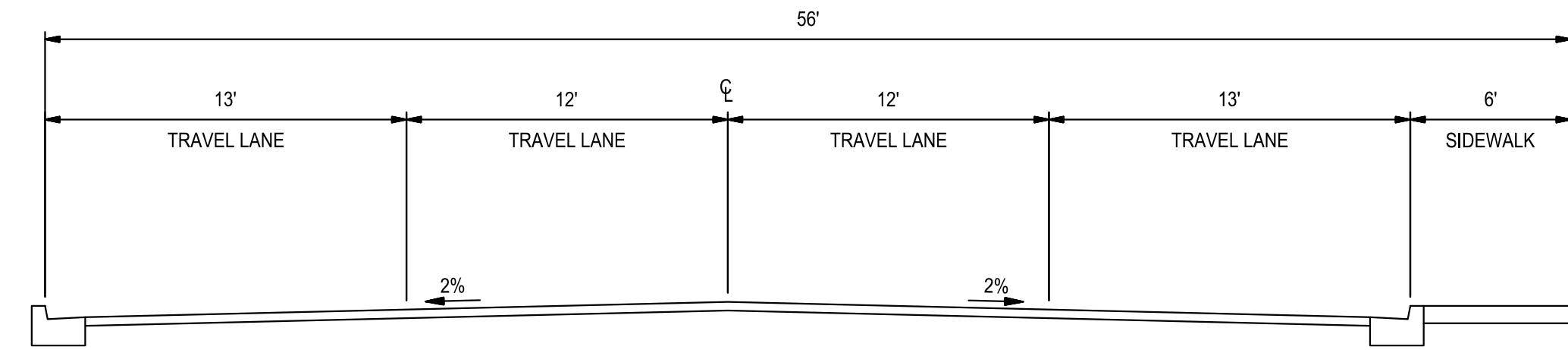
EROSION CONTROL PLAN

TENTATIVE PARCEL MAP

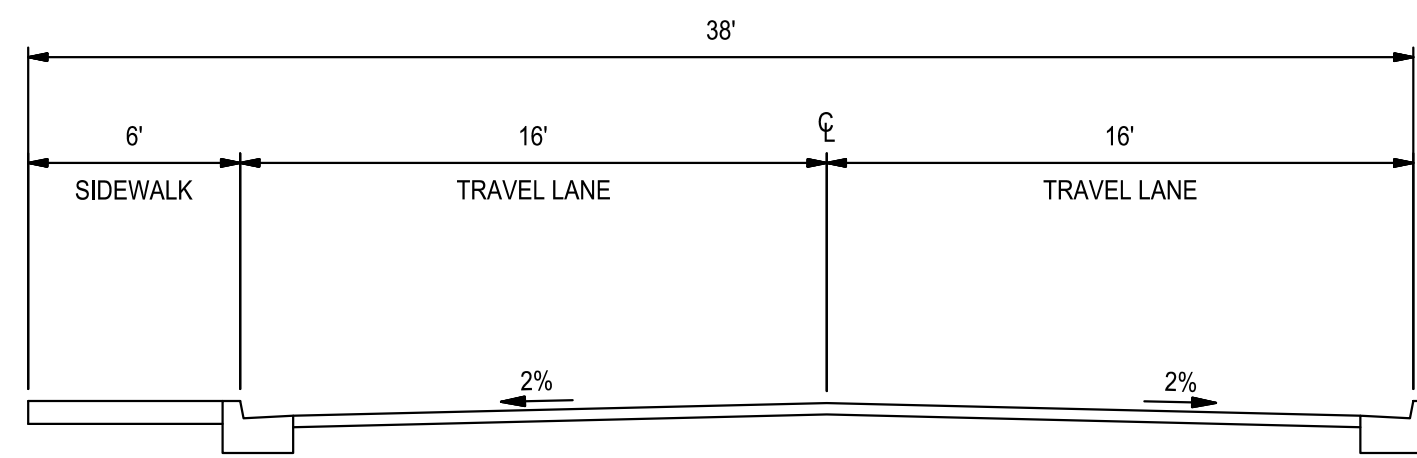
SALA ROAD CENTER



A SECTION A - HARRISON ROAD
SCALE: NTS



B SECTION B
SCALE: NTS

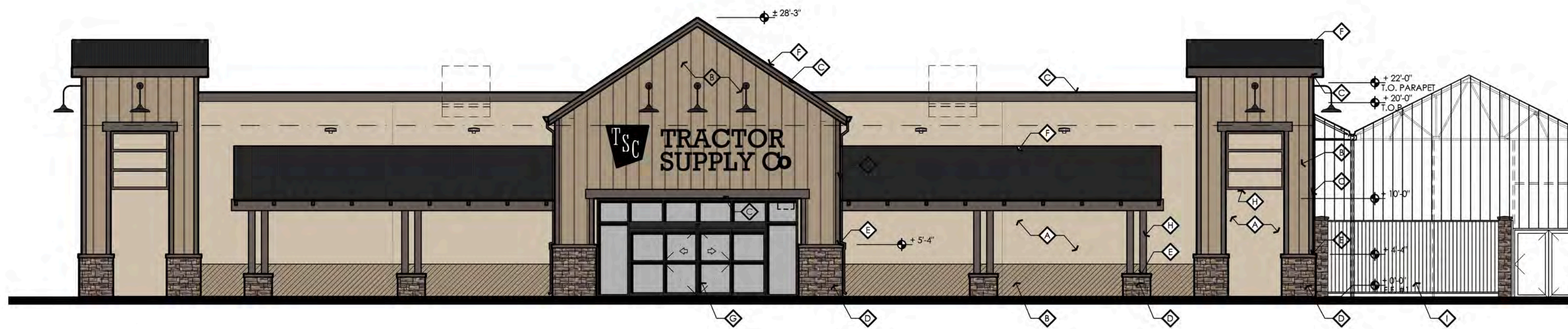


C SECTION C
SCALE: NTS

CROSS SECTIONS

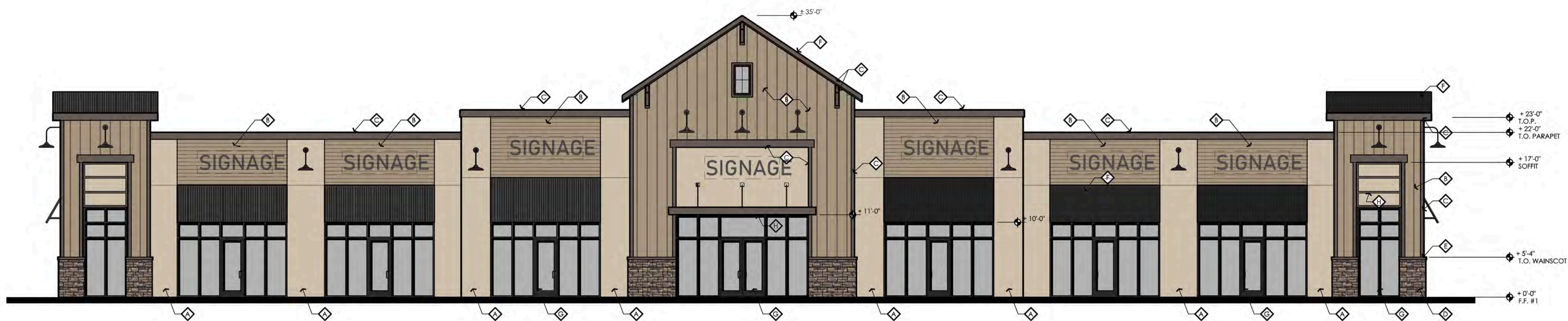
TENTATIVE PARCEL MAP

SALA ROAD CENTER



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES
BODY/TRIM COLOR:
◆ "SHERWIN WILLIAMS" - COLOR: SW7532 URBAN PUTTY
◆ "SHERWIN WILLIAMS" - COLOR: SW7513 SANDERLING
◆ "SHERWIN WILLIAMS" - COLOR: SW7505 MANOR HOUSE
VENEER:
◆ VENEER - CMU - SPLITFACE - COLOR: SW7513 SANDERLING
◆ VENEER - SILL CAP - PRECAST - COLOR: SW7505 MANOR HOUSE
ROOFING:
◆ "MBCF" - STANFING SEAM - GALVALUME PLUS
STOREFRONT SYSTEM:
◆ "VISTAWALL" - FRAME COLOR: CLEAR ANODIZED- GLAZING: BRONZE TINTED
DECORATIVE METAL:
◆ POWDER COATED - SW7505 MANOR HOUSE
FENCING:
◆ DECORATIVE METAL - BLACK

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A7 RETAIL - ELEVATIONS
A8 TRACTOR SUPPLY - FLOOR PLAN
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A10 NOT USED
A11 HOTEL - FLOOR PLANS
A12 HOTEL - ELEVATIONS
A13 HOTEL - ELEVATIONS
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A2.1 ARCO - COLORED ELEVATIONS
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L0.1 COLORED PRELIMINARY PLANTING PLAN
L0.2 PRELIMINARY PLANTING ENLARGED PLAN
L0.3 PRELIMINARY PLANTING ENLARGED PLAN
L0.4 PRELIMINARY PLANTING IMAGES
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T2 EXISTING BOUNDARY MAP
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T10 CONCEPTUAL UTILITY PLAN
T11 CONCEPTUAL SEWER SYSTEM PLAN I
T12 CONCEPTUAL SEWER SYSTEM PLAN II
T13 EROSION CONTROL PLAN
T14 CIRCULATION PLAN
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SALA ROAD PROJECT

Harrison Road
Salinas, CA.

PLANNING
ARCHITECTURE

api

ARCHITECTURE PLUS INC.
4335-B NORTH STAR WAY
MODESTO, CA 95356

ph. 209.577.4661
fx. 209.577.0213

www.apiarc.com

SHEET:

A1
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NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

**PROPOSED NEW
DEVELOPMENT:
SALA ROAD
PROJECT**

**Harrison Road
Salinas, CA.**

PLANNING
ARCHITECTURE

api

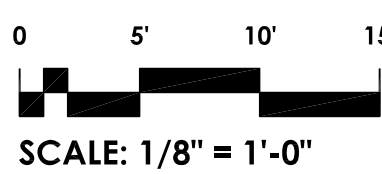
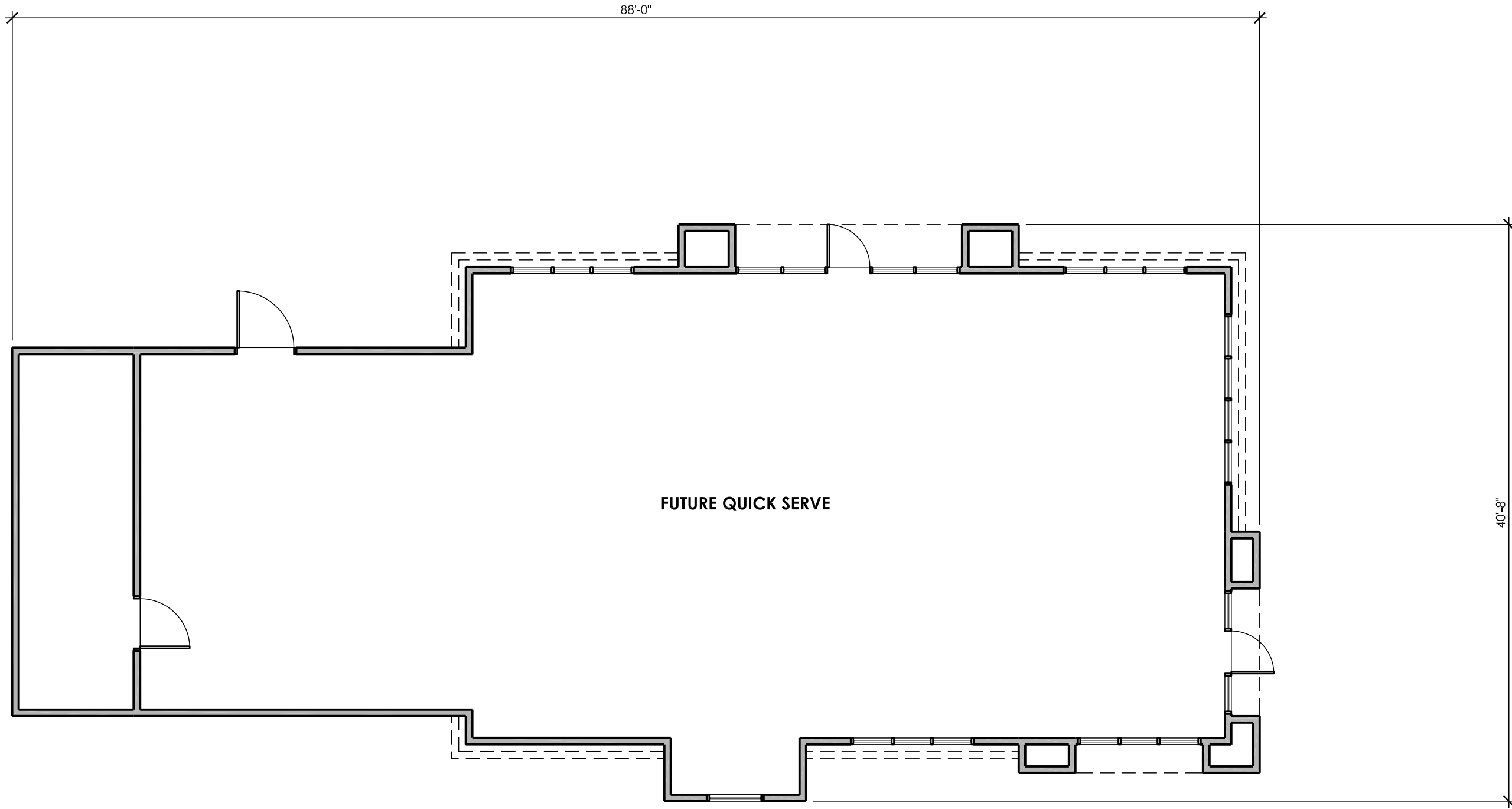
ARCHITECTURE PLUS INC.
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MODESTO, CA 95356

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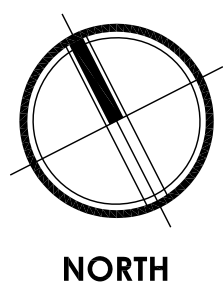
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QUICK SERVE (T.B.D.)

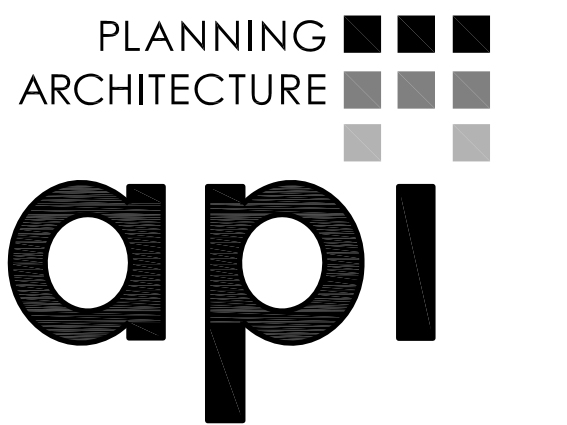
SCALE: 1/8" = 1'-0"

APPROX. FLOOR AREA:
FLOOR ± 2,750 S.F.



**PROPOSED NEW
DEVELOPMENT:
SALA ROAD
PROJECT**

**Harrison Road
Salinas, CA.**

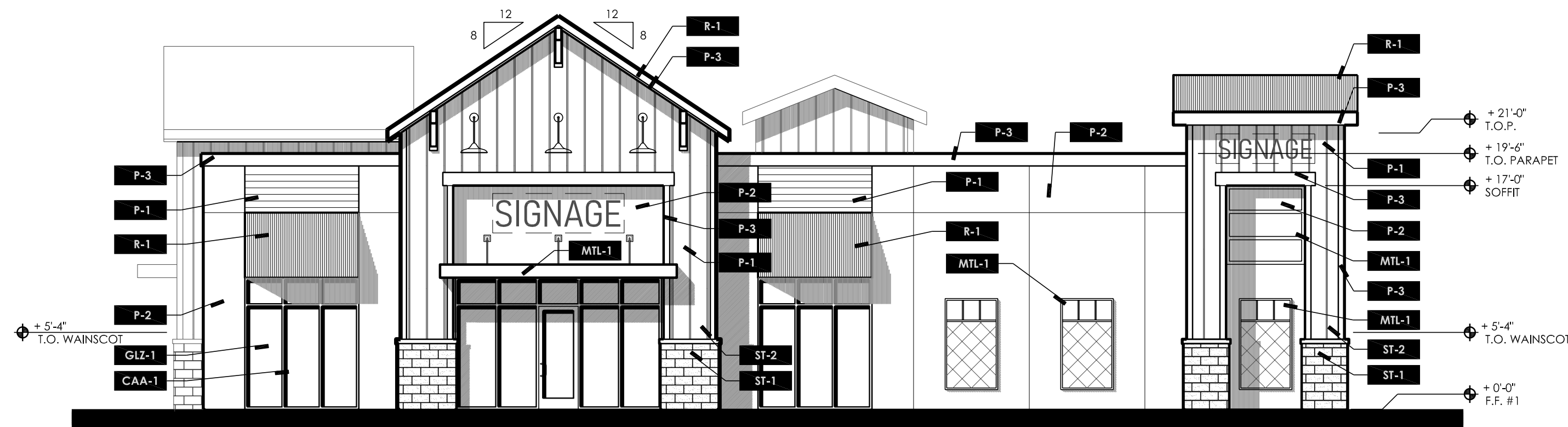


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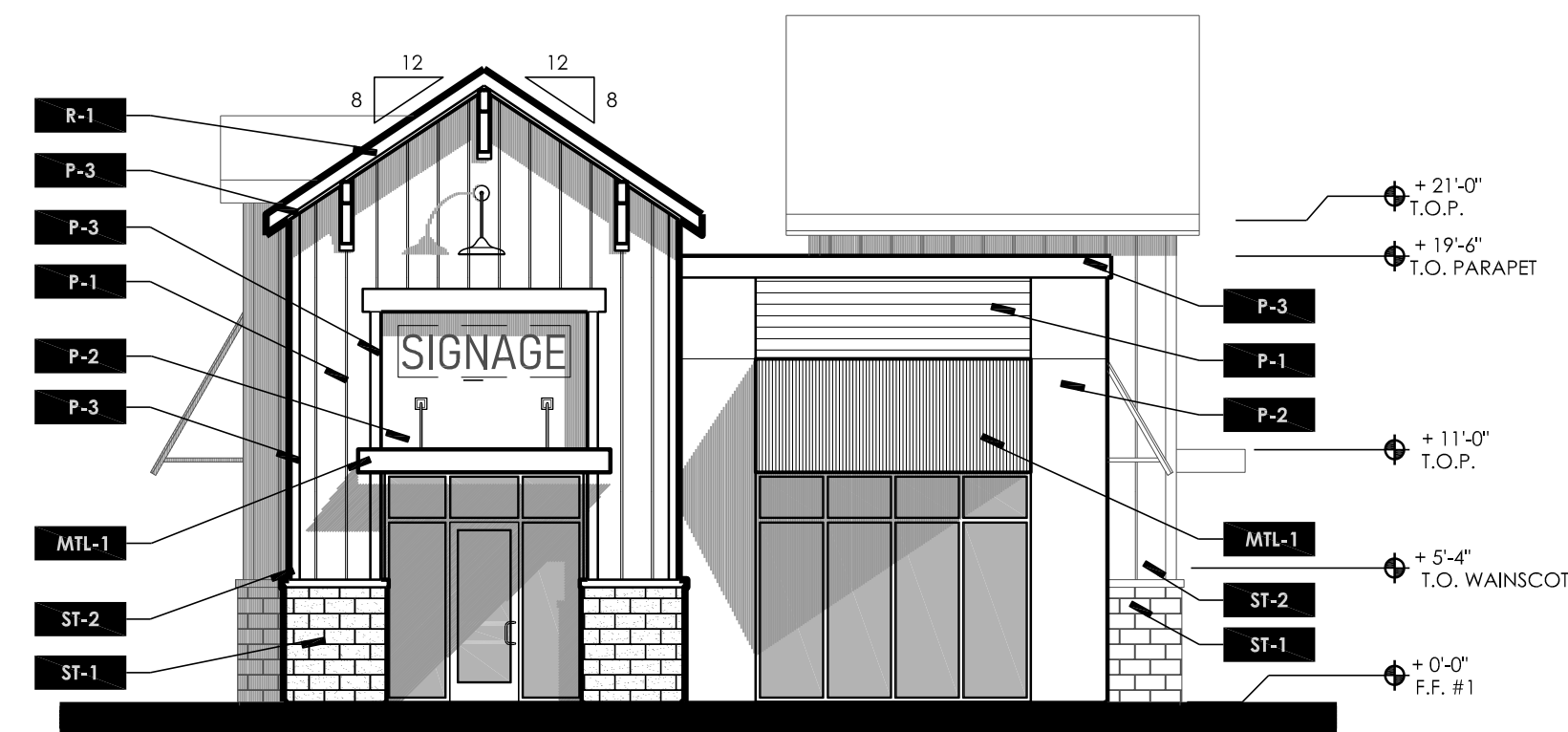
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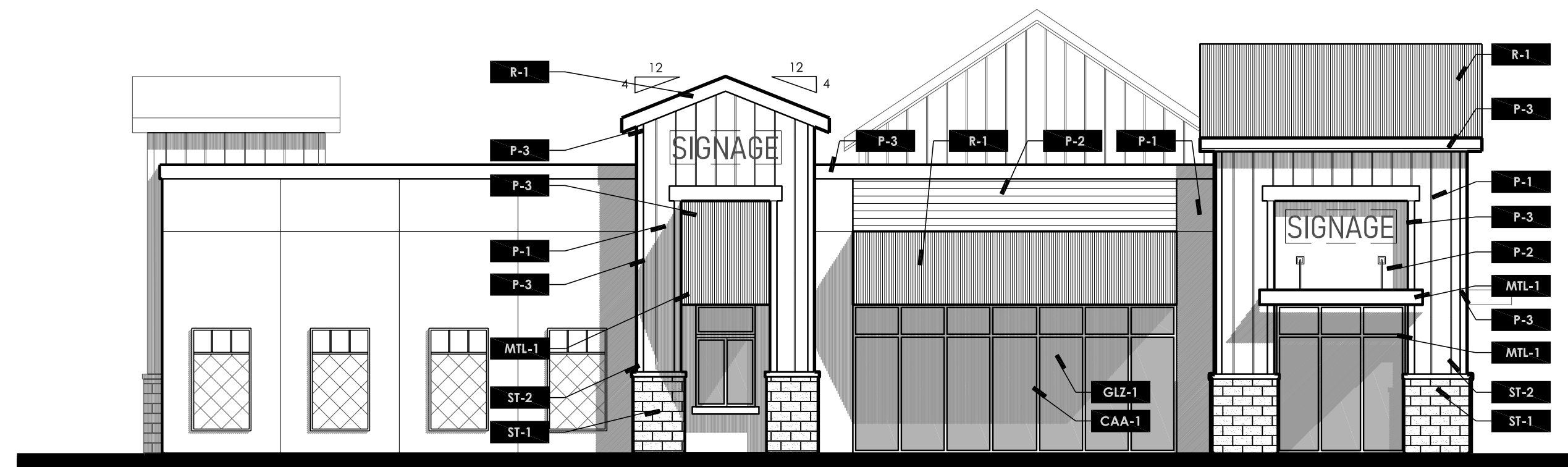
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



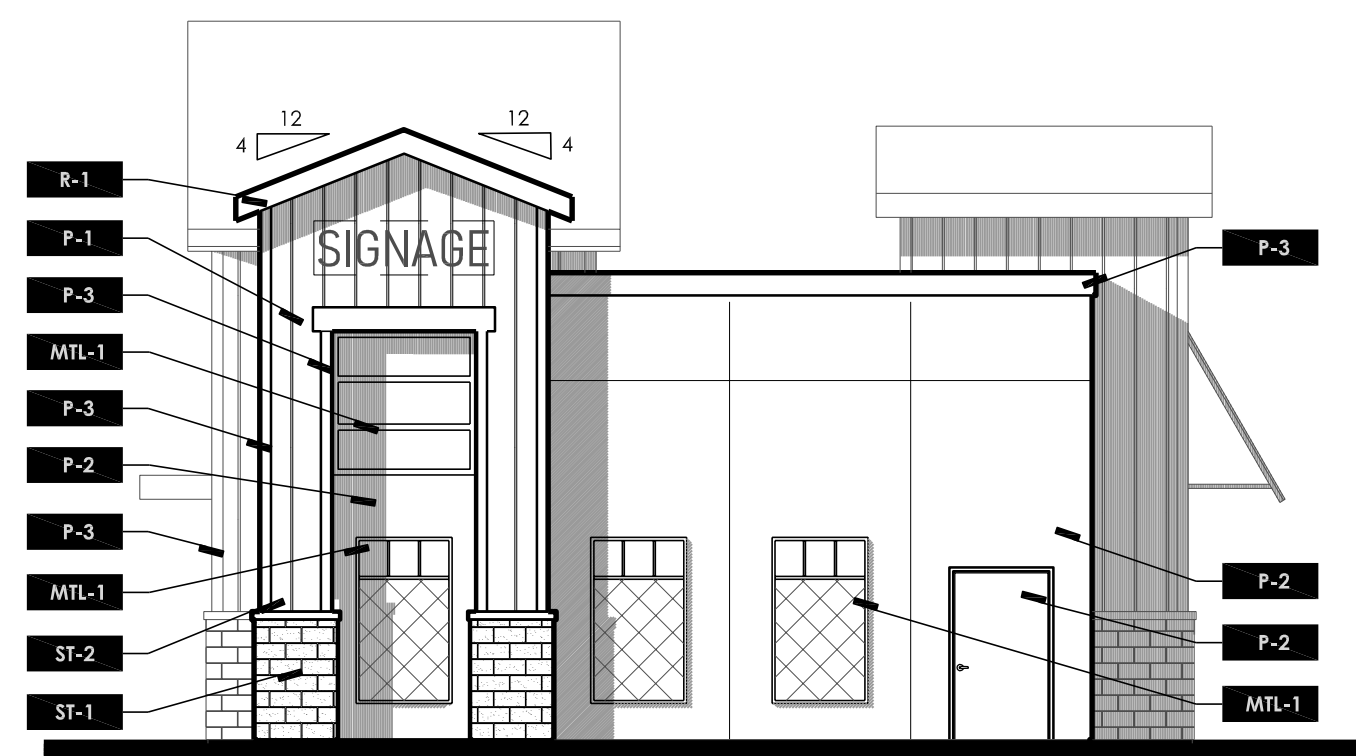
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

FINISH LEGEND

- P-1** "SHERWIN WILLIAMS" - COLOR: SW7532 URBAN PUTTY
- P-2** "SHERWIN WILLIAMS" - COLOR: SW7513 SANDERLING
- P-3** "SHERWIN WILLIAMS" - COLOR: SW7505 MANOR HOUSE
- ST-1** CMU WAINSCOT - "BASELITE" - RIVER ROCK - COLOR:
- ST-2** SILL CAP- "BASELITE" - COLOR:
- R-1** ROOF AT CANOPIES & AWNINGS - CORRUGATED PANELS - "MBCT" - COLOR - #5IG 300 GALVALUME PLUS
- MTL-1** STEEL CANOPY FRAMING / TRELLIS - PAINT / POWDER COAT - BLACK
- CAA-1** CLEAR ANODIZED ALUMINUM
- GLZ-1** GLAZING - BRONZE TINTED
- F-1** CHAIN LINK - VINYL COATED BLACK

SALA ROAD PROJECT

Harrison Road
Salinas, CA.

PLANNING
ARCHITECTURE

api

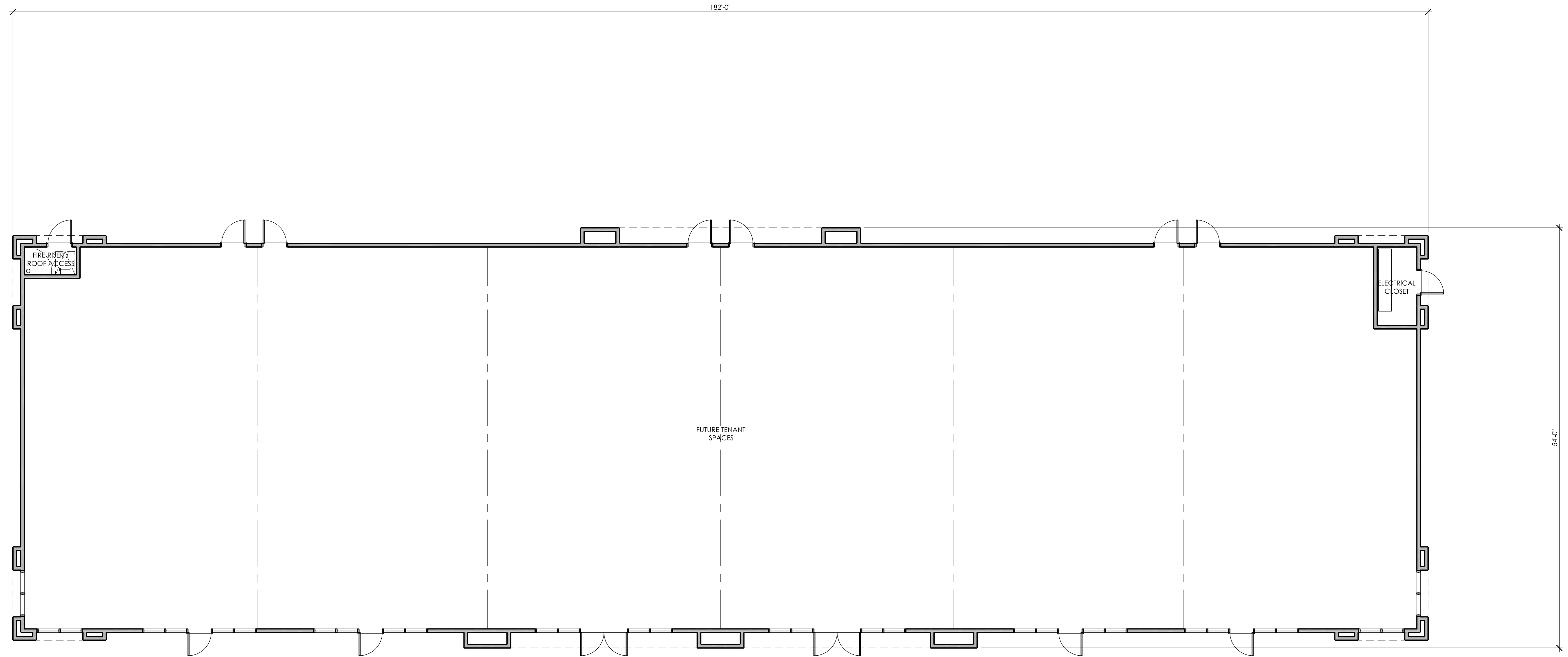
ARCHITECTURE PLUS INC.
4335-B NORTH STAR WAY
MODESTO, CA 95356

ph. 209.577.4661
fx. 209.577.0213

www.apiarc.com

SHEET:

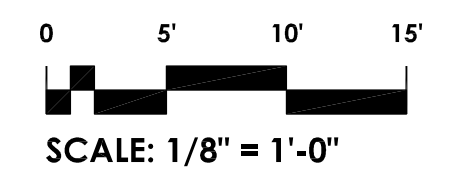
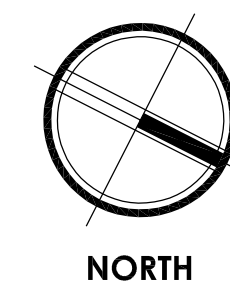
A5
OF 13



FLOOR PLAN - RETAIL BUILDING

SCALE: 1/8" = 1'-0"

FLOOR AREA:
FLOOR - 9,000 S.F. ±



SCALE: 1/8" = 1'-0"

**PROPOSED NEW
DEVELOPMENT:
SALA ROAD
PROJECT**

Harrison Road
Salinas, CA.

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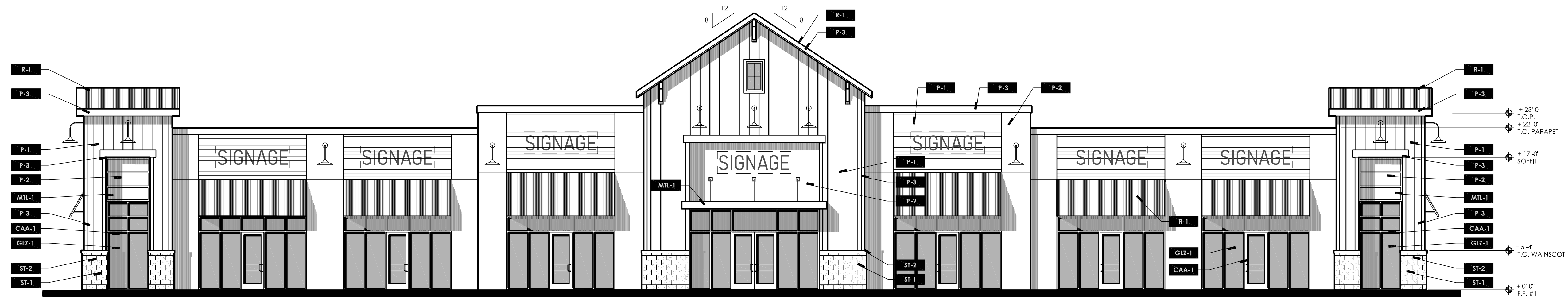
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SHEET:

A6
OF 13



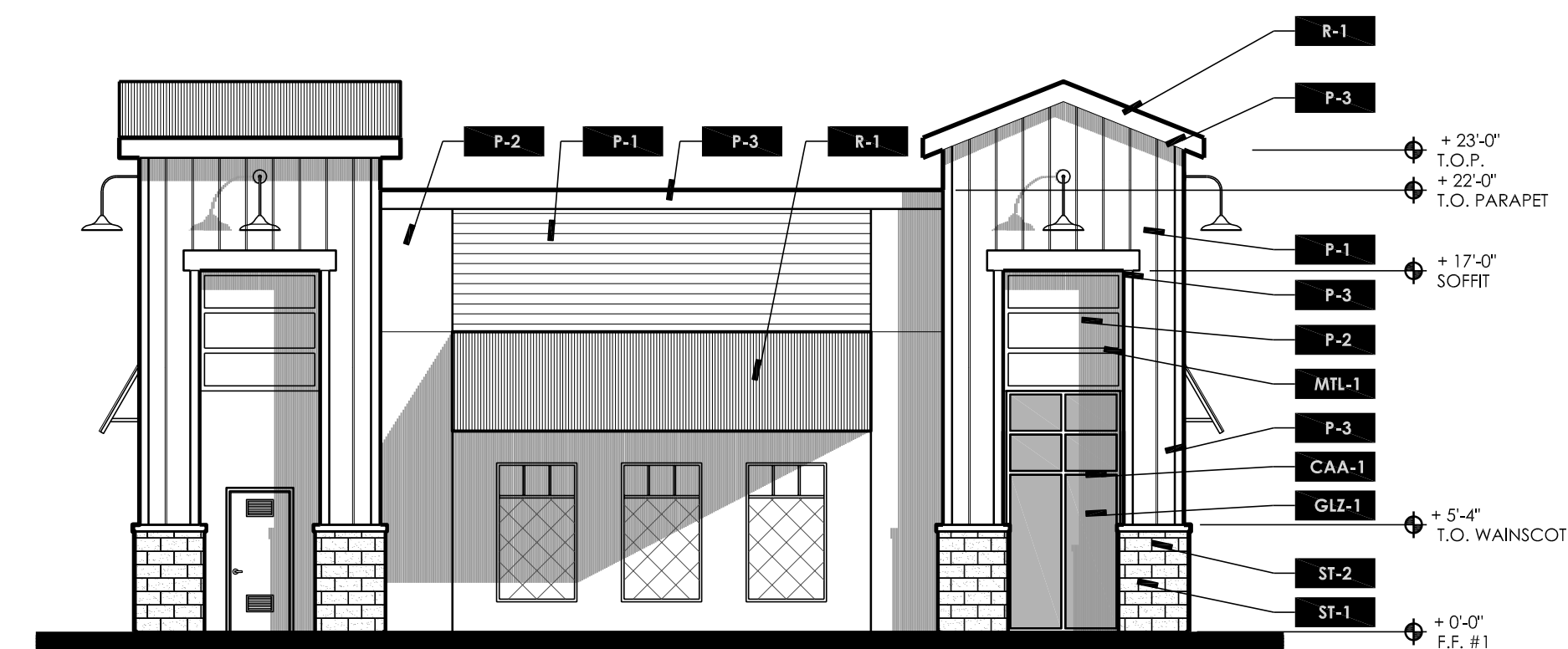
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

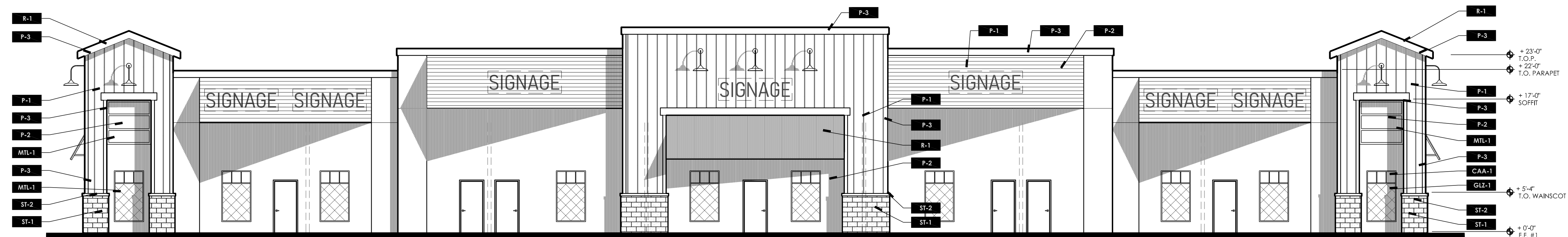


EAST ELEVATION

SCALE: 1/8" = 1'-0"

FINISH LEGEND

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- P-2** "SHERWIN WILLIAMS" - COLOR: SW7513 SANDERLING
- P-3** "SHERWIN WILLIAMS" - COLOR: SW7505 MANOR HOUSE
- ST-1** CMU WAINSCOT - "BASELITE" - RIVER ROCK - COLOR:
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- MTL-1** STEEL CANOPY FRAMING / TRELLIS - PAINT / POWDER COAT - BLACK
- CAA-1** CLEAR ANODIZED ALUMINUM
- GLZ-1** GLAZING - BRONZE TINTED
- P-1** CHAIN LINK - VINYL COATED BLACK



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

SALA ROAD PROJECT

Harrison Road
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ARCHITECTURE PLUS INC.
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MODESTO, CA 95356

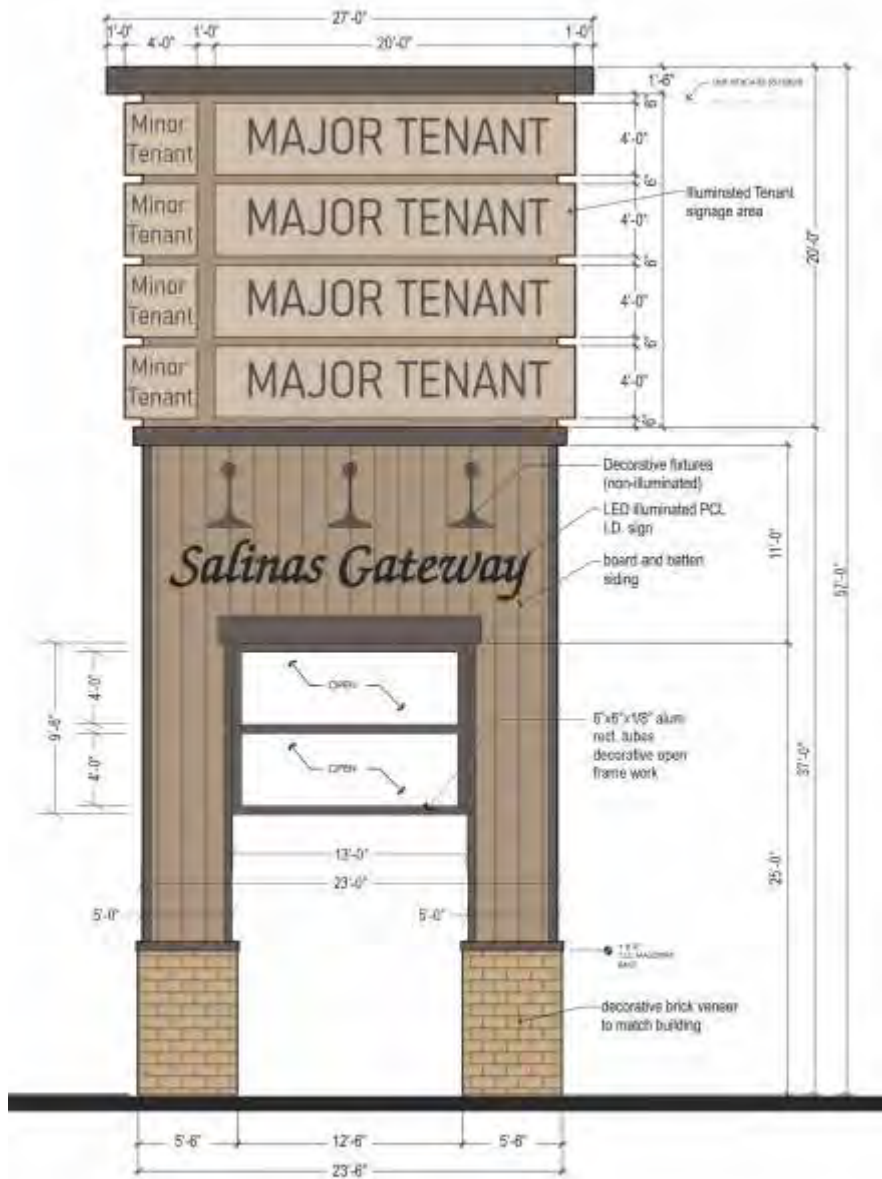
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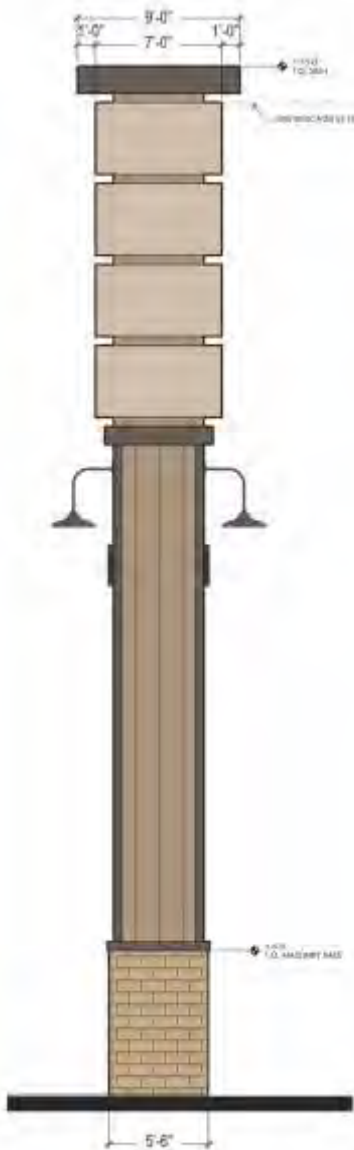
SHEET:

A7

OF 13



D/F LED ILLUMINATED PYLON SIGN
Scale: 3/32" = 1'-0"



SIDE VIEW
Scale: 3/32" = 1'-0"

D/F ILLUMINATED PYLON SIGN

Scale: 3/32" = 1'-0"

Custom Roof

Fab. Aluminum painted P3

Alum. fab. main cabinet painted P2

Tenant Cabinets

Major tenants -4' x 20' (80 Sq Ft Ea.)

alum. faces painted P1

Copy to be 3" deep pan channel
graphics and color per tenant specs.
LED's illumination.

Minor tenants - 4' x 4' (20 Sq Ft Ea.)

alum. shoe-box faces painted P1

Copy & Graphics to be routed out
w/ 3/4" acrylic push thru copy
graphics and colors per tenant specs
LED's illumination.

I.D. Sign

Graphics - 3" deep PC letters w/
black returns and 3/4" black trim caps

3/16" white acrylic face w/
perforated day/night vinyl overlays
(27" upper case /18" lower case)

Cladding - Aluminum w/ board and batten
siding to match building

2"x4" decorative alum. rect. tubes painted P3

alum. base caps painted P3

alum. base w/ stone veneer S1

SQUARE FOOTAGE CALCULATION:

I.D. SIGN : 2'-3" x 20'-0" = 45 sq. ft.

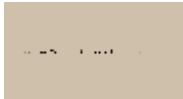
MAJOR TENANT SIGN : 4'-0" x 20'-0" x (4) = 320 sq. ft.

MINOR TENANT SIGNS 4'-0" x 4'-0" x (4) = 64 sq. ft.

TOTAL = 429 sq. ft.

COLORS AND STONE VENEER

P1



SHERWIN WILLIAMS
"URBAN PUTTY"
SW7532

P2



SHERWIN WILLIAMS
"SANDERLING"
SW7513

P3



SHERWIN WILLIAMS
"MANOR HOUSE"
SW7505

S1



BASELITE
"SPLITFACE"
SANDSTONE



TYPICAL SHOPPING CENTER ARCHITECTURE

1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

2) The location of the disconnect switch after installation shall comply with the Artical 600.6 (A)(1) of the National Electrical Code.

3) ALL WORK TO BE DONE IAW 2022 CBC, CEC, CFC COMPLIANT

FILE: salinas gateway pylon - salinas

Client Review Status

Revision

Date

Project Information

Date: 09-08-22

Job #00000

Page: 1

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United Sign Systems requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision

CLIENT APPROVAL DATE

LANDLORD APPROVAL DATE

per request

-

08-21-23 IL

00-00-00

Client: The Sobel Company, Inc.

Location: Salinas Gateway

Address: NEC Hwy 101

City/ST/Zip: Salinas, CA

Phone:

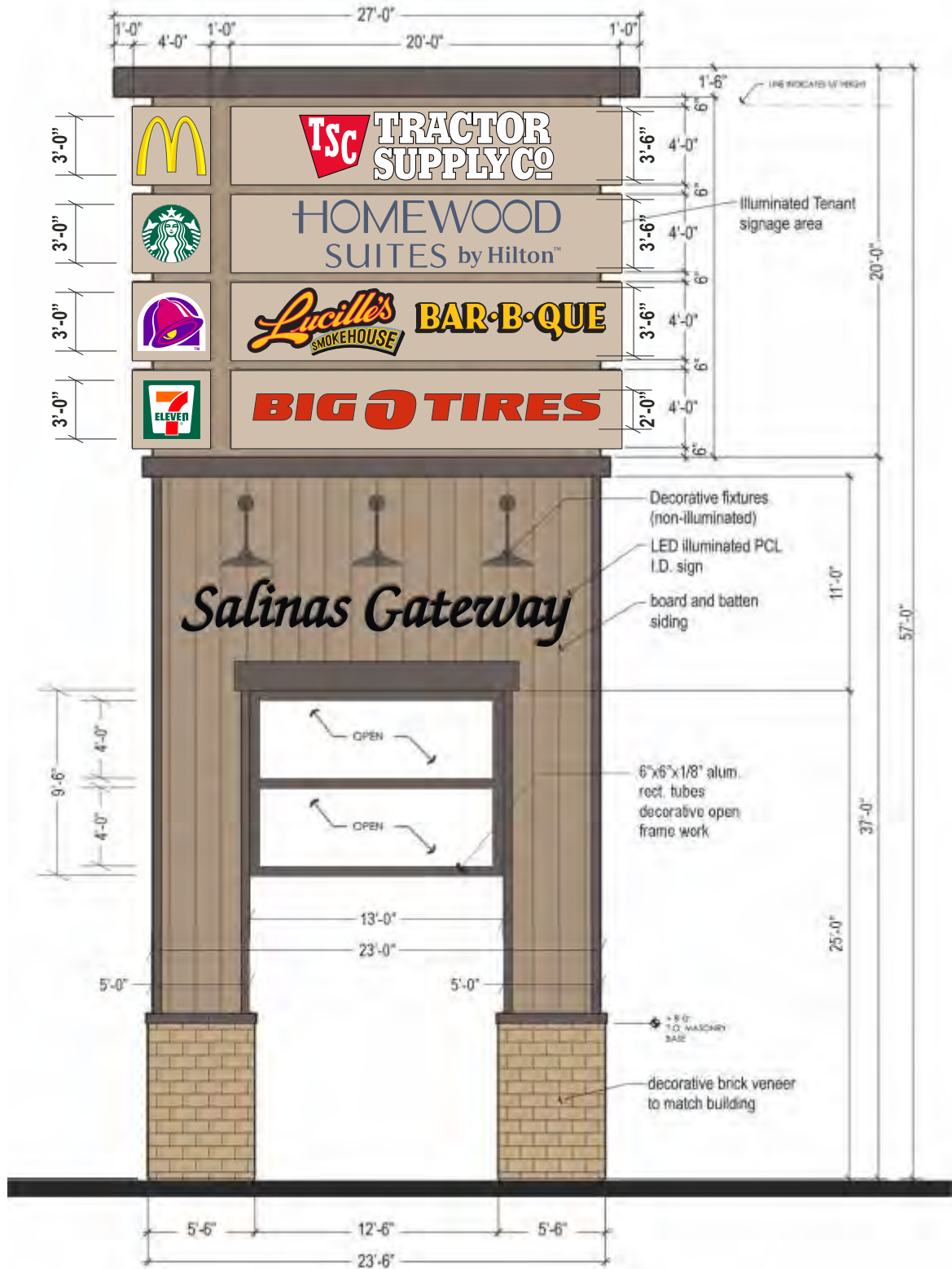
Fax:

Sales: Sean Campbell Designer: IL Release By: 00-00-00

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MAJOR TENANTS TO BE
3" DEEP PCL ON ALUM.
CABINET FACES.

MINOR TENANTS TO BE
2" DEEP SHOE-BOX FACES
WITH ROUTED OUT AND
BACKED W/ ACRYLIC
AND VINYL OVERLAY.



D/F LED ILLUMINATED PYLON SIGN

Scale: 1/8" = 1'-0"

- 1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
- 2) The location of the disconnect switch after installation shall comply with the Artical 600.6 (A)(1) of the National Electrical Code.
- 3) ALL WORK TO BE DONE IAW 2022 CBC, CEC, CFC COMPLIANT

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Page: 2

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C.S.C.L. #718965

5201 Pentecost Drive Modesto, Calif. 95356

1-800-481-SIGN

Phone: 209-543-1320 Fax: 209-543-1326

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